

12/38 BRENER FARM

2002 HAWP

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 20201 Darnestown Rd., Beallsville **Meeting Date:** October 23, 2002
Applicant: MNCPPC (Linda Komes, Agent) **Report Date:** October 16, 2002
Resource: Brewer Farm, *Master Plan* Site #12/38 **Public Notice:** October 9, 2002
Review: HAWP **Tax Credit:** None
Case No.: 12/38-02A **Staff:** Gwen Wright
PROPOSAL: Alter entry walls, construct new gravel road and parking lot **RECOMMEND:** Approve with condition

PROJECT DESCRIPTION

SIGNIFICANCE: Brewer Farm, Individual *Master Plan* Site
STYLE: Stone and frame farm outbuildings
DATE: Circa 1860 through early 20th century

PROPOSAL

The applicant proposes to construct a new gravel entrance drive and gravel parking lot. The entrance drive is proposed as a divided entry at Maryland Route 28 (Darnestown Road), with two, twelve-foot-wide lanes and a 20-foot-wide median strip. Construction of the new entrance drive will require dismantling and reconstructing one of two non-historic entrance walls. The wall on the north side of the existing drive will be rebuilt approximately 25 feet north of its current location. A new wall segment utilizing scavenged Seneca sandstone from a non-historic property across the road will be built in the median area to match the flanking walls.

The new drive soon transitions into a single, undivided, 24-foot-wide gravel drive. The drive terminates behind the cluster of historic outbuildings at a new gravel parking lot. The parking lot is intended to accommodate approximately 10 trucks with horse trailers and 15 cars. The new driveway was deliberately located north of the existing drive to avoid impacts to the cluster of historic outbuildings. Special attention has been given to site grading in an effort to limit the impact to existing trees and to preserve the rural character of the site. Two sand filters and a bioretention area are proposed.

STAFF DISCUSSION

The project is intended as the first phase of construction at the new, planned Woodstock Equestrian Park. This facility will be located on both side of Maryland Route 28, just north of

the Beallsville Historic District. The property for the facility was donated to MNCPPC a couple of years ago by William Rickman and Herman Greenberg.

The current project affects the Brewer Farm, a *Master Plan* site designated in 1984. This property has undergone a number of changes since designation: the HPC approved demolition of the main house and the dairy barn on the property in 1986, several historic outbuildings were subsequently removed by the previous owner, William Rickman, without HPC review, and, finally, Mr. Rickman built two curved entry walls without HPC review. The remaining buildings on the site consist of two stone buildings from around 1860, and five frame outbuildings dating from the early to mid-20th century. There are also the foundation ruins of an original barn.

The property is now owned by MNCPPC and they have committed to following the HPC review process for all aspects of their work. They have been coordinating closely with Historic Preservation Section staff.

The current proposal to install a new gravel entry drive and parking lot and to move an existing, non-historic entry wall are appropriate and will not be detrimental to the cluster of historic outbuildings. Staff would, however, recommend that the existing gravel drive that provides access to the cluster of outbuildings be retained and connected in to the new gravel road.

MNCPPC staff from the Park Development Division will continue to work closely with Historic Preservation Section staff on additional planning for the Woodstock Equestrian Park and the HPC will be kept informed as the planning for this facility moves forward.

STAFF RECOMMENDATION

Staff recommends that the Commission approve the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

The proposal is also consistent with the Secretary of the Interior Guideline #9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

With the following condition:

1. The existing gravel drive that provides access to the cluster of outbuildings shall be retained and connected in to the new gravel road.

And with the general condition applicable to all Historic Area Work Permits that the applicant shall also present any permit set of drawings to Historic Preservation Section staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services, Field Services Office, within two weeks following completion of the work.



288 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20860
240/77-9270

UPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Linda Komes
Daytime Phone No.: 301-650-2860

Exempt Tax Account No.: 30055314

Name of Property Owner: M-NCPPC Daytime Phone No.: _____
Address: 6011 Kenilworth Ave Riverdale, MD 20737
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

Address: _____

LOCATION OF BUILDING/PREMISE

Tract Number: 20001 Sheet: MD28/Darnestown Rd.
Town/City: Beallsville Nearest Cross Street: North of Beallsville Road South of Dickerson Rd.
Lot: _____ Block: _____ Subdivision: _____
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- I.A. CHECK ALL APPLICABLE:**
- Construct
 - Extend
 - Alter/Renovate
 - Move
 - Install
 - Wreck/Relaze
 - Revision
 - Repair
 - Relocable
- CHECK ALL APPLICABLE:**
- MG
 - Sid
 - Item Addition
 - Porch
 - Deck
 - Shed
 - Solar
 - Fireplace
 - Woodburning Stove
 - Single Family
 - Fence/Wall (complete Section 8)
 - Other: new entrance drive

I.B. Construction cost estimate: \$ 75,000

I.C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSL 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height 6'± feet _____ inches Entrance wall to match existing
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line
 - Entirely on land of owner
 - On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Wide fence
Signature of owner or authorized agent

10/7/02
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Form 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

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**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT** *see attached*

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of Existing structures(s) and environmental setting, including their historical features and significance:

The proposed improvements will be constructed on the site of the Brewer Farm (MP site #12/38) located at 20201 Darnestown Road in Beallsville, MD. The entire property was designated in the Montgomery County Master Plan for Historic Preservation in 1984. The Farm consists of a complex of small, Seneca sandstone and frame farm buildings. The existing structures appear to be from two eras, the two stone buildings appear to date from around 1860 and the frame outbuildings from 1908 or later. A masonry cistern is located within a fencerow atop a ridge and has not been dated. Permission was granted in 1986 by the Historic Preservation Commission to demolish the main house and dairy barn. The Seneca sandstone foundation of the main house was excavated and used to build a pair of entry walls on Rt. 28.

b. General description of Project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

This project is intended as the first phase of construction at the new Woodstock Equestrian Park. The site is located on the east side of MD 28 in what will be called the Dr. Wm. Rickman Equestrian Center. This phase consists of the construction of a new gravel entrance drive and gravel parking lot. The entrance drive is proposed as a divided entry at MD 28, with two, twelve-foot-wide lanes and a 20-foot-wide median strip. The drive soon transitions into a single, undivided, 24-foot-wide drive. The drive terminates in a gravel parking lot, which is located east of, and behind, the historic structures. The parking lot is intended to accommodate approximately 10 trucks with horse trailers and 15 cars. The new driveway was deliberately and carefully located north of the existing drive to avoid impacts to the historic farm-building complex. Special attention has been given to site grading in an effort to limit the impact to existing trees and to preserve the rural image. Two sand filters and a bioretention area are proposed to satisfy Montgomery County stormwater management requirements.

It is necessary to remove one of the existing stone entrance walls in order to widen the entrance drive. It is our intention to dismantle the wall on the north side of the existing drive and rebuild it using the same stone on the north side of the new entrance. A new wall segment utilizing scavenged Seneca sandstone from the Greenberg property, will be built in the median strip to match the flanking walls.

BREWER FARM (c1857-61)
20201 Darnestown Road

12/38

The Brewer Farm, part of a larger tract known as Woodstock, contains some important early stone outbuildings. The farm was in the Brewer family from 1834 to 1942. The Brewers moved to Montgomery County from Anne Arundel County, already possessing wealth and social position. Dr. William Brewer, of Aix La Chapelle, was a progressive farmer and founder of the State Agricultural Society who educated small family farmers in the use of modern tools and fertilizers. In 1857, George Brewer acquired this 276-acre property. Like his grandfather, William, and father, George Chiswell, George Brewer practiced of modern farming techniques and Woodstock prospered.

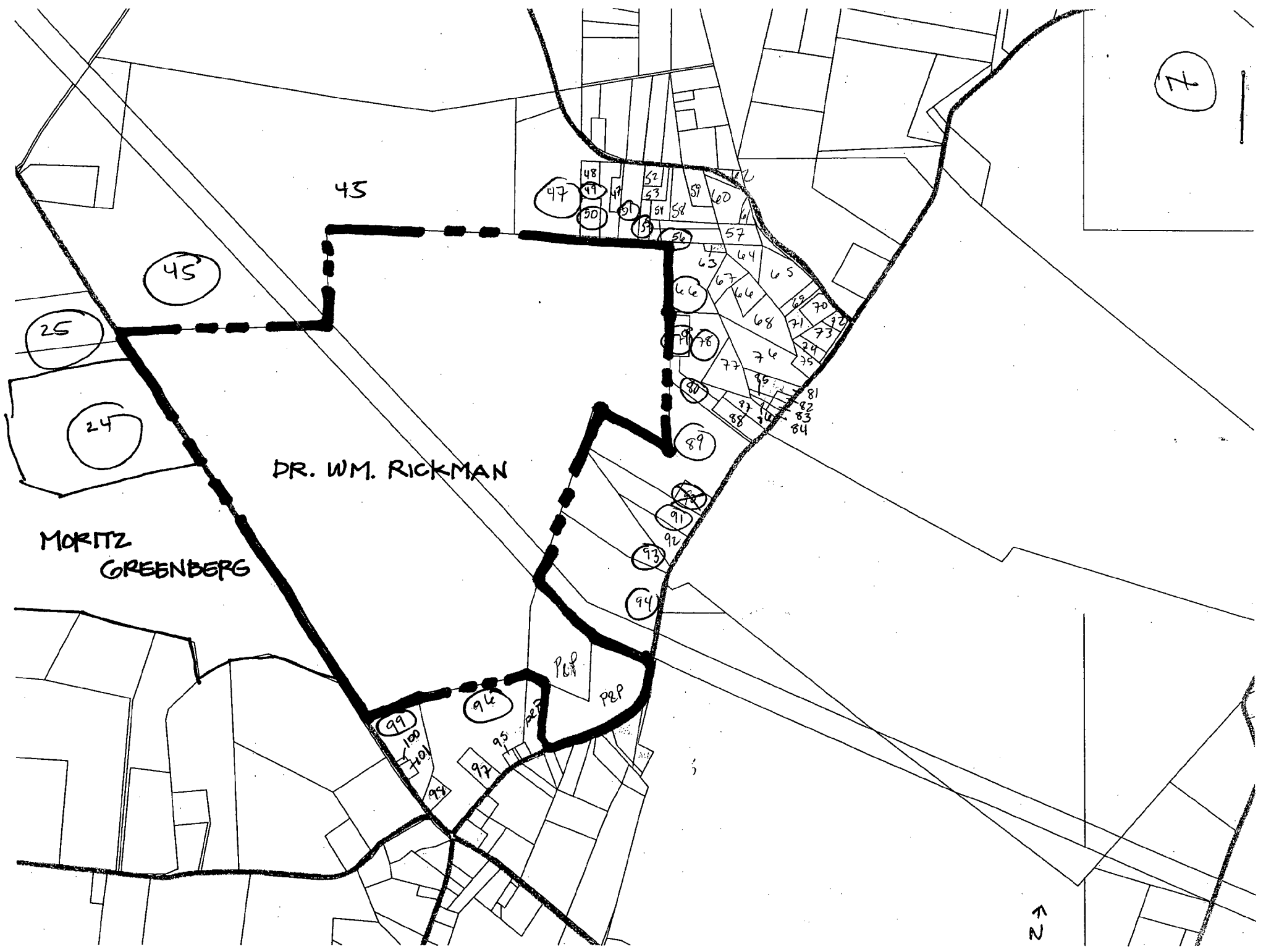
George Brewer added improvements valued at \$1,500 between 1857 and 1861. Still standing is a three-bay by one-bay stone dwelling that was likely used as slave quarters and a stone spring house. Other structures include a large corncrib, early 20th century garage and storage buildings, and stone ruins of a bank barn. No longer standing are a log structure, which according to tradition was used as a school house, a log smokehouse, a board and batten building with interior chimney, and dairy barn. The main house, remodeled and enlarged in 1908, was demolished about 1983. M-NCPPC recently acquired the property as part of the proposed Woodstock Equestrian Center.



M-NCPPC, 1986

Brewer Farm (c1857-61)

12/38



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DR. WM. RICKMAN

MORITZ GREENBERG

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P&P

P&P

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MD STATE GRID



GRASS SWALE DETAIL

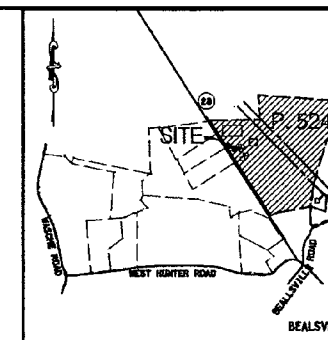
NOT TO SCALE

LEGEND

- EX. LIGHT POLE
- EX. UTILITY POLE
- EX. FLAG POLE
- EX. MAILBOX
- EX. UNKNOWN MANHOLE
- EX. TREE
- EX. SIGN
- EX. CLEANOUT
- EX. SEWER VALVE
- EX. SANITARY SEWER MANHOLE
- EX. SEWER VENT PIPE
- EX. SANITARY SEWER LINE
- EX. STORMDRAIN MANHOLE
- EX. STORMDRAIN LINE
- EX. EDGE OF PAVING
- EX. INLET
- EX. REINFORCED CONCRETE PIPE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. WATER LINE
- PROPERTY LINE
- EX. CONTOUR
- EX. SPOT ELEVATION
- SOIL BORING
- PROP. CONTOUR
- PROP. SPOT ELEVATION
- SURVEYOR TRAVERSE POINT
- GUY WIRE
- PROPOSED PAVING
- EX. TREE LINE
- PROP. TREE LINE

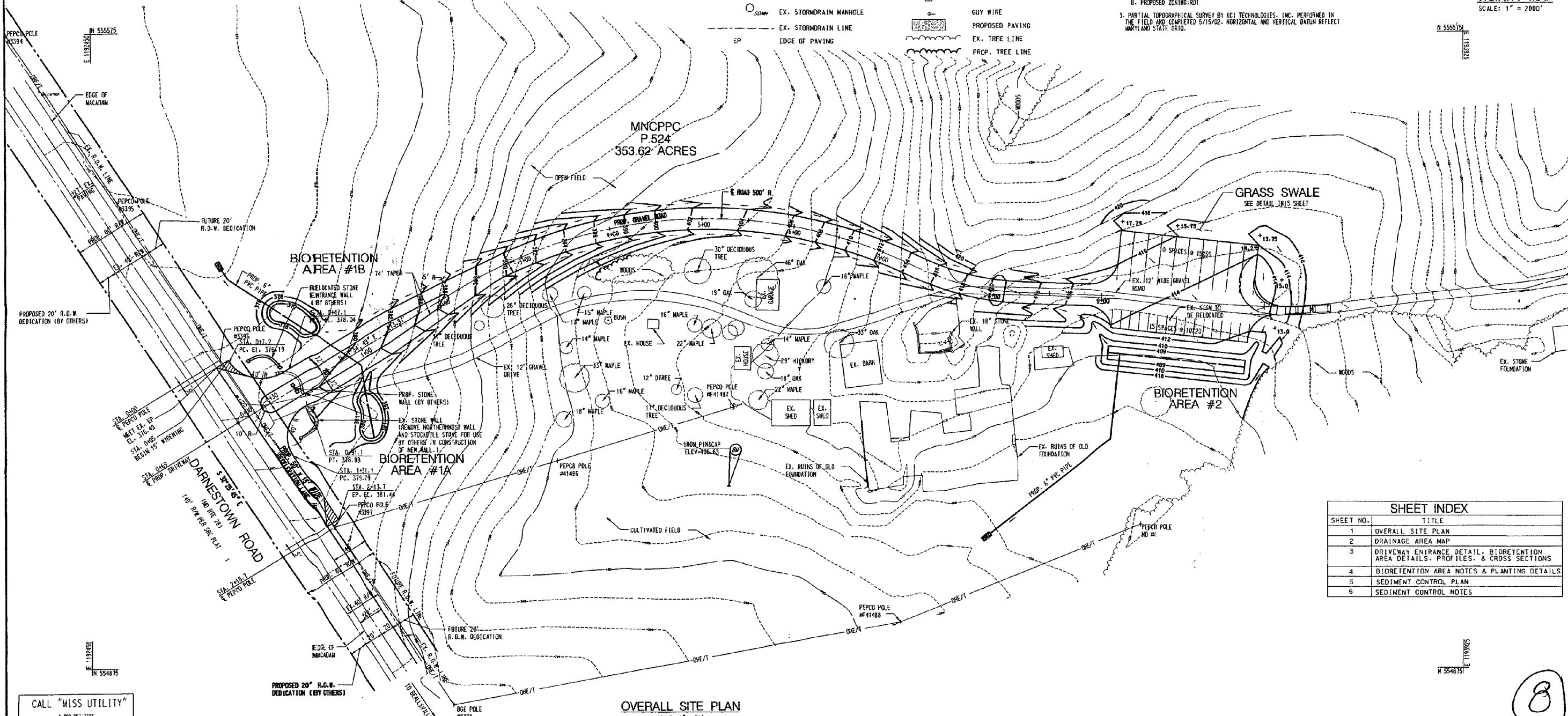
GENERAL NOTES:

- PROPERTY DATA:
 - A. ADDRESS: DARNESTOWN ROAD, BEALSVILLE, MARYLAND
 - B. OWNER: MARYLAND NATIONAL CAPITAL PARK AND PLANNING COMMISSION PARKS DEVELOPMENT DIVISION, 5500 BRUNETT AVENUE, SILVER SPRING, MARYLAND 20901, ATTN: MR. AL KAHN, PH: (301) 452-2811
 - C. PARCEL: 524 LIBR: 7416 FOLIO: 487
 - D. PROPERTY AREA: 353.62 ACRES
 - E. TAX MAP NO.: BU & CU
 - F. WSSC GRID 227NW20
 - G. ADC MAP GRID: C-1 PG: 16
 - H. ELECTION DISTRICT No. 3
- ZONING DATA:
 - A. CURRENT ZONING: ROT
 - B. PROPOSED ZONING: ROT
- PARTIAL TOPOGRAPHICAL SURVEY BY KCI TECHNOLOGIES, INC. PERFORMED IN THE FIELD AND COMPLETED 5/15/02. HORIZONTAL AND VERTICAL DATUM REFLECT MARYLAND STATE GRID.



VICINITY MAP

SCALE: 1" = 2000'



OVERALL SITE PLAN

SCALE: 1" = 50'

SHEET INDEX	
SHEET NO.	TITLE
1	OVERALL SITE PLAN
2	DRAINAGE AREA MAP
3	DRIVEWAY ENTRANCE DETAIL, BIORETENTION AREA DETAILS, PROFILES, & CROSS SECTIONS
4	BIORETENTION AREA NOTES & PLANTING DETAILS
5	SEDIMENT CONTROL PLAN
6	SEDIMENT CONTROL NOTES

CALL "MISS UTILITY"
1-800-251-1171
FOR UTILITY LOCATION
AT LEAST 48 HOURS BEFORE
BEGINNING CONSTRUCTION

CONTRACTOR NOTE
THE CONTRACTOR SHALL TEST ALL EXISTING UTILITIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK AS SHOWN ON THESE DRAWINGS. LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM INFORMATION RECEIVED FROM THE APPLICABLE UTILITY COMPANIES. NEITHER THE OWNER NOR THE ENGINEER ASSUME ANY RESPONSIBILITY FOR UTILITIES OF STRUCTURES NOT SHOWN, OR NOT IN THE LOCATIONS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING OVER OR NEAR EXISTING GAS MAINS.

ELEVATIONS AND BENCHMARKS SHOWN ON THIS DRAWING ARE REFERENCED FROM A NGS BENCHMARK NO. 20567MC, LOCATED ON THE LEFT HAND SIDE 1 MILE WEST ALONG WEST HUNTER ROAD FROM THE WEST HUNTER ROAD AND DARNESTOWN ROAD INTERSECTION.

PREPARED FOR:
MARYLAND NATIONAL CAPITAL PARK & PLANNING COMMISSION
c/o MONTGOMERY PARKS FOUNDATION
6910 GREENTREE ROAD
BETHESDA, MD 20817-2200
KEN NICHOLLS (EXECUTIVE DIRECTOR)
301-767-0002 (PH) 301-767-0054 (FX)

KCI TECHNOLOGIES
ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS
14502 Greenview Drive, Suite 424
Lanham, Maryland 20786
(301) 465-1422 (410) 792-8000
Fax: (301) 792-2418
www.kci.com

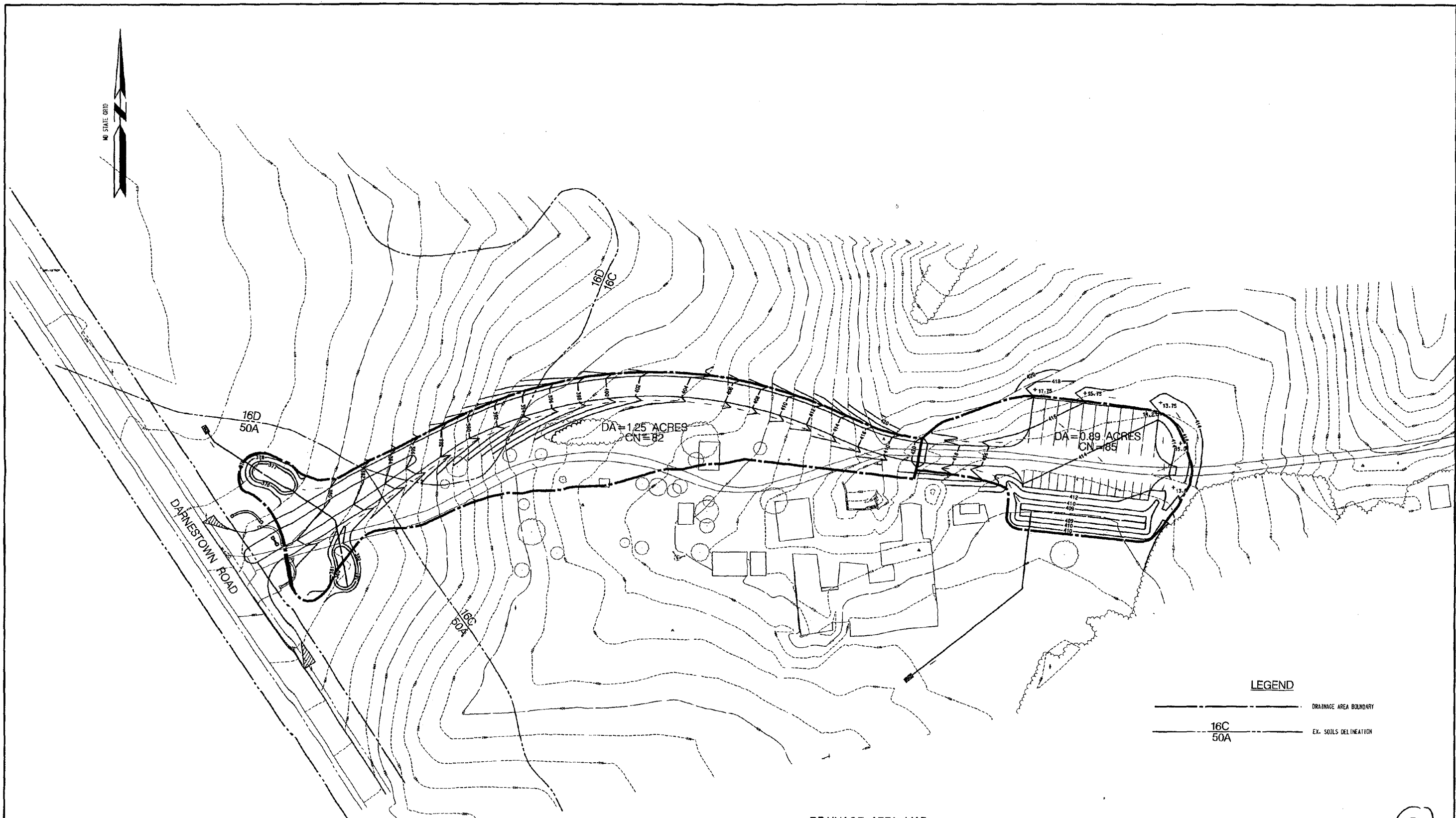
REVISIONS			
NO.	DATE	DESCRIPTION	BY

DATE: 08-06-02
SCALE: 1"=50'
DESIGNED BY: JJR/AWW
DRAWN BY: JJR/AWW

PARCEL 524
ENTRANCE, DRIVEWAY AND PARKING
FOR THE
DR. WILLIAM RICKMAN EQUESTRIAN
CENTER AT
WOODSTOCK EQUESTRIAN PARK
MONTGOMERY COUNTY, MARYLAND 3rd ELECTION DISTRICT

DRAWING NO. 1
SHEET 1 OF 6
KCI JOB NUMBER 1602021
1602021/DRAWINGS/SP1.DWG

8



LEGEND

- DRAINAGE AREA BOUNDARY
- 16C
50A — EX. SOILS DELINEATION

DRAINAGE AREA MAP
SCALE: 1" = 50'

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PREPARED FOR: MARYLAND NATIONAL CAPITAL PARK & PLANNING COMMISSION
OF MONTGOMERY PARKS FOUNDATION
6910 GREENTREE ROAD
BETHESDA, MD 20817-2200
KEN NICHOLLS (EXECUTIVE DIRECTOR)
301-767-0002 (PH) 301-767-0054 (FX)

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TECHNOLOGIES

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CONSTRUCTION MANAGERS

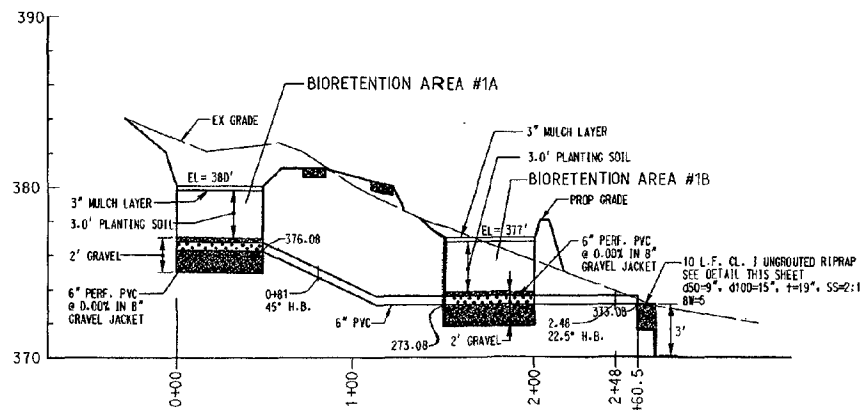
14402 Greenview Drive, Suite 424
GaitHERS, Maryland 20878
(301) 953-1800 (410) 790-0000
FAX (410) 790-7410
www.kci.com

REVISIONS			
NO.	DATE	DESCRIPTION	BY

DATE: 08-06-02
SCALE: 1" = 50'
DESIGNED BY: CGW
DRAWN BY: ARS

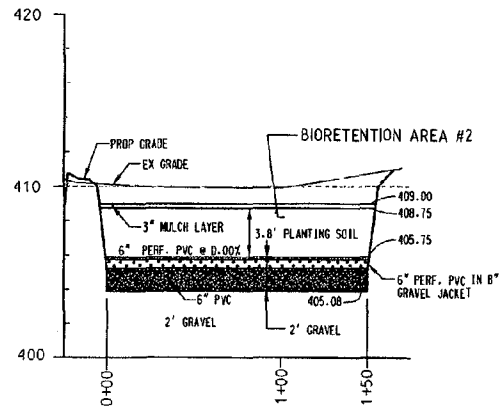
PARCEL 524
ENTRANCE, DRIVEWAY AND PARKING
FOR THE
DR. WILLIAM RICKMAN EQUESTRIAN
CENTER AT
WOODSTOCK EQUESTRIAN PARK
MONTGOMERY COUNTY, MARYLAND 3rd ELECTION DISTRICT

DRAWING NO.: 2
SHEET 2 OF 6
ACT JOB NUMBER: 1602021



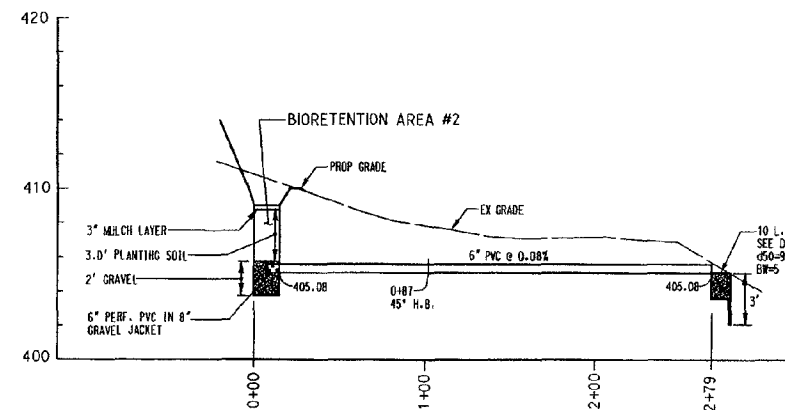
BIORETENTION AREA #1A & #1B

SCALE: H: 1" = 50'
V: 1" = 5'



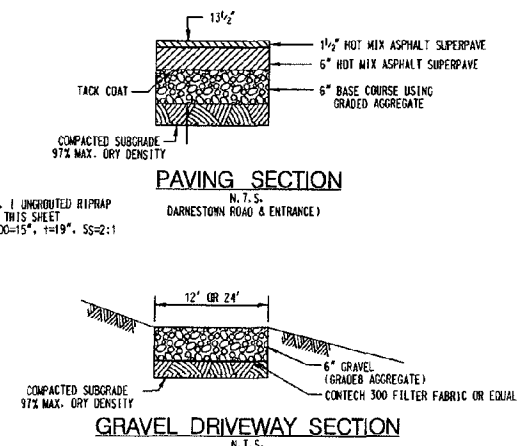
BIORETENTION AREA #2

SCALE: H: 1" = 50'
V: 1" = 5'



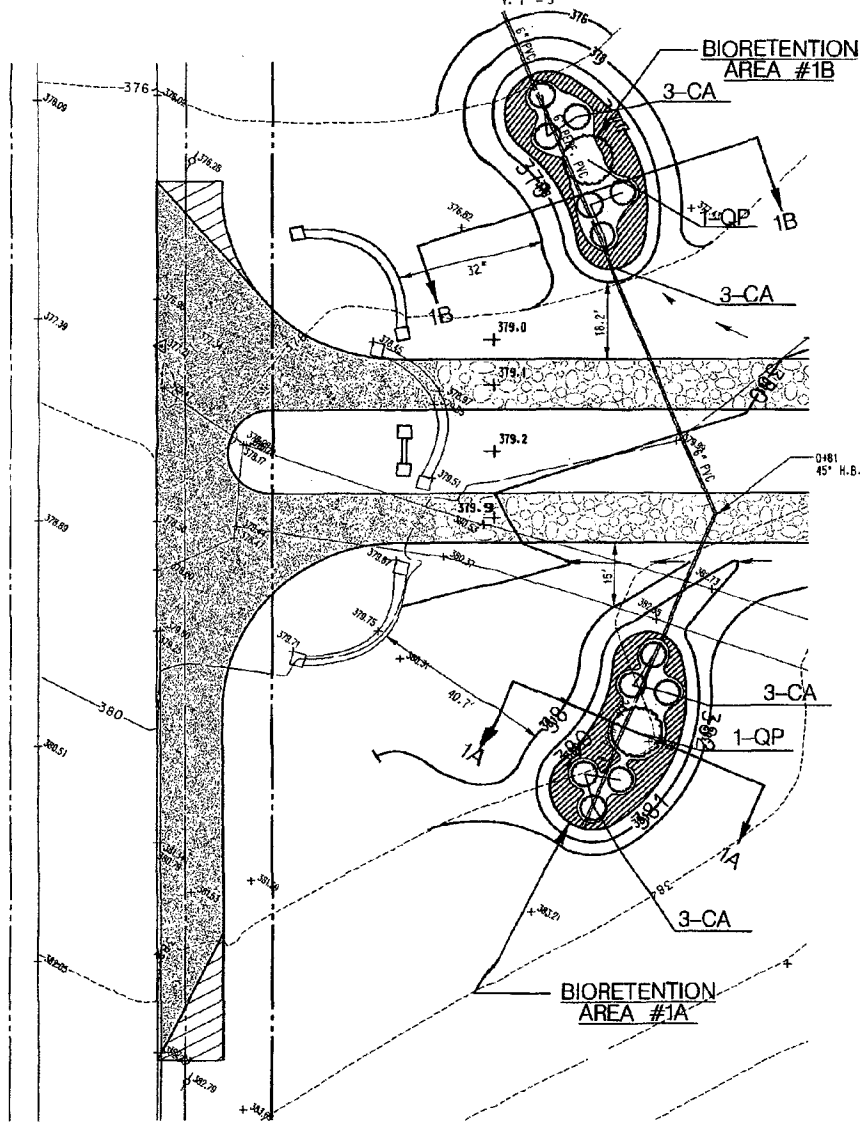
BIORETENTION AREA #2 PVC PROFILE

SCALE: H: 1" = 50'
V: 1" = 5'



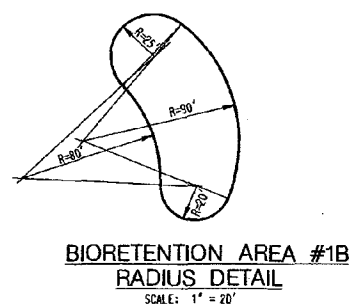
PAVING SECTION

GRAVEL DRIVEWAY SECTION



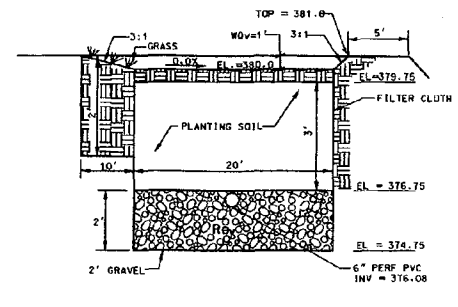
DRIVEWAY ENTRANCE AND BIORETENTION AREAS 1A & 1B DETAIL

SCALE: 1" = 20'



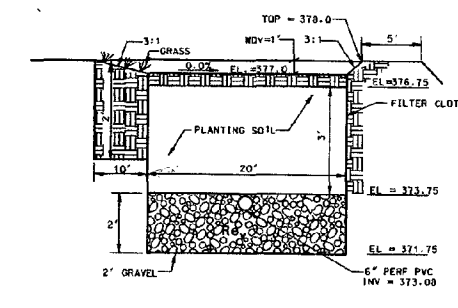
BIORETENTION AREA #1B RADIUS DETAIL

SCALE: 1" = 20'



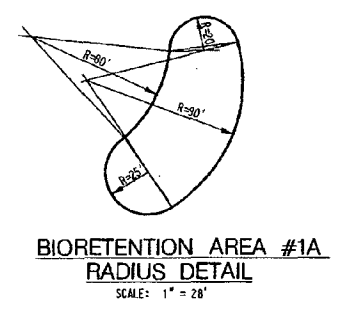
BIORETENTION SECTION 1A

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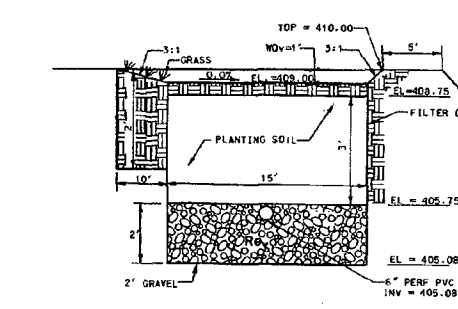
BIORETENTION SECTION 1B

NOT TO SCALE



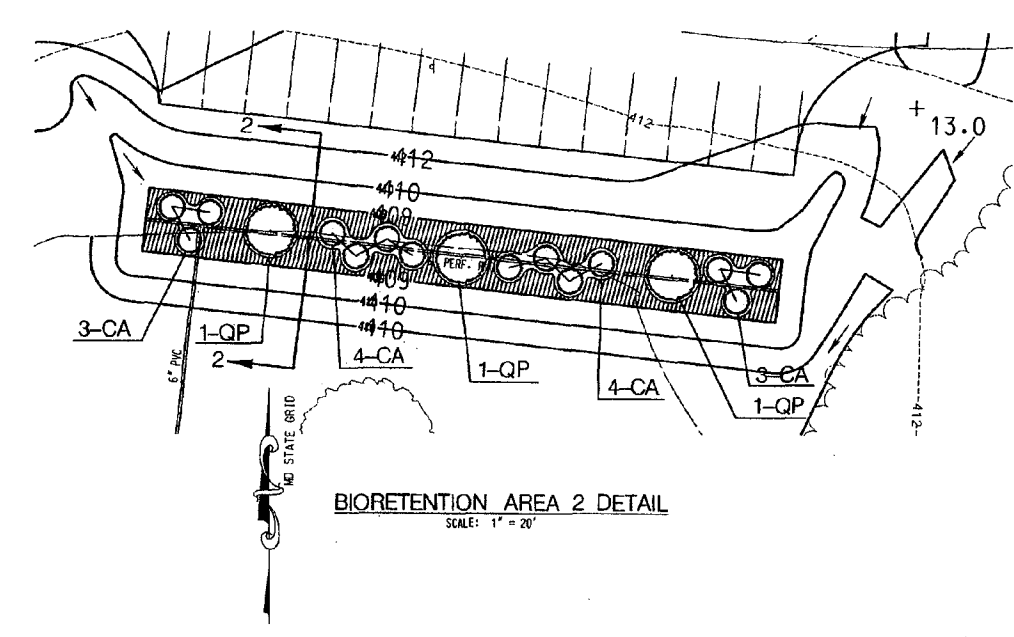
BIORETENTION AREA #1A RADIUS DETAIL

SCALE: 1" = 28'



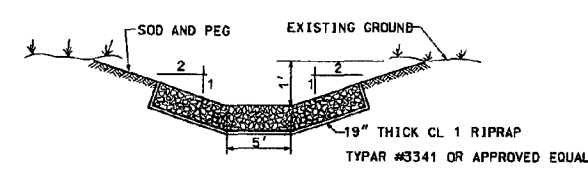
BIORETENTION SECTION 2

NOT TO SCALE



BIORETENTION AREA 2 DETAIL

SCALE: 1" = 20'



RIPRAP TRAPEZOIDAL CHANNEL DETAIL

NOT TO SCALE

- NOTES:
- ALL RIP-RAP TO BE UNDERLAID WITH ONE COURSE OF THE FOLLOWING NON-WOVEN CLOTH FABRIC OR AN APPROVED EQUAL:
 - MIRAFI 140-N
 - EXXON GEOTEXTILES 130-D
 - TERRATEX 30
 - PROVIDE FILTERCLOTH LINING.

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PREPARED FOR: MARYLAND NATIONAL CAPITAL PARK & PLANNING COMMISSION c/o MONTGOMERY PARKS FOUNDATION 6910 GREENTREE ROAD BETHESDA, MD 20817-2200 KEN NICHOLLS (EXECUTIVE DIRECTOR) 301-767-0002 (PH) 301-767-0054 (FX)	ENGINEERS PLANNERS SCIENTISTS CONSTRUCTION MANAGERS 14600 Greenway Drive, Suite 404 Laurel, Maryland 20708 (301) 251-1011 FAX (301) 251-1010 www.kci.com	REVISIONS <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>			NO.	DATE	DESCRIPTION	BY													DATE 08-05-02 SCALE AS SHOWN DESIGNED BY CDF DRAWN BY AMW	PARCEL 524 ENTRANCE, DRIVEWAY AND PARKING FOR THE DR. WILLIAM RICKMAN EQUESTRIAN CENTER AT WOODSTOCK EQUESTRIAN PARK MONTGOMERY COUNTY, MARYLAND 3rd ELECTION DISTRICT	DRAWING NO. 3 SHEET 3 OF 6 KCI JOB NUMBER 1602021
		NO.	DATE	DESCRIPTION	BY																		
1602021/Drawings/PROF FILES.DGN		1602021																					

I. BIORETENTION AREA SOIL SPECIFICATIONS

A. Planting Soil

The bioretention areas shall consist of a planting soil having a composition of at least 10 to 25 percent clay and shall be of a sandy loam or loamy sand texture. Loamy soil may be utilized for the planting soil, but must consist of 35% sand. In addition, the furnished planting soil shall be of uniform composition, free of stones, stumps, roots or similar objects larger than one inch, brush, or any other material or substance which may be harmful to plant growth, or a hindrance to planting or maintenance operations.

The planting soil shall be free of plants or plant parts of Bermuda grass, Quack grass, Johnson grass, Mowbray, Mueselgrass, Poison Ivy, Canada Thistle or others as specified.

It shall not contain toxic substances harmful to plant growth. The planting soil shall be tested and meet the following criteria:

- pH range 5.5 - 6.5
- Organic Matter 1.5 - 3.0%
- Magnesium - 15 lbs./acre
- Phosphorus - 200 lbs./acre
- Potassium - 200 lbs./acre
- Soluble Salts - not to exceed 500ppm

The following testing frequencies shall apply to the above soil constituents:

Organic Matter: 1 test per 90 cubic yards, but no more than 1 test per Bioretention Area

Magnesium, Phosphorus, Potassium, Soluble Salts:

1 test per 500 cubic yards, but no less than 1 test per borrow source

One grain size analysis shall be performed per 90 cubic yards of planting soil, but no less than 1 test per Bioretention Area.

B. Mulch Layer Specifications

A mulch layer shall be provided on top of the planting soil. An acceptable mulch layer shall include shredded hardwood or shredded wood chips or other similar product approved by the Maryland Department of Environment (MDE).

Of the approved mulch products all must be well aged, uniform in color, and free of foreign material, including plant material. Well aged mulch is defined as mulch that has been stockpiled or stored for at least twelve (12) months.

C. Sand Specifications

The sand shall be free of deleterious material and rocks greater than 1 inch in diameter.

D. Compaction

Soil shall be placed in lifts less than 18 inches and lightly compacted (minimal compactive effort) by tamping with a bucket from a dozer or a backhoe.

II. BIORETENTION AREA PLANT SPECIFICATIONS

General Planting Specifications

Root stock of the plant material shall be kept moist during transport from the source to the job site and until planted.

Walls of planting pit shall be dug so that they are vertical.

The diameter of the planting pit must be a minimum of six inches (6") larger than the diameter of the ball of the tree.

The planting pit shall be deep enough to allow 1/2" of the ball to be above the existing grade. Loose soil at the bottom of the pit shall be tamped by hand.

The appropriate amount of fertilizer is to be placed at the bottom of the pit (see below for fertilization rates).

The plant shall be removed from the container and placed in the planting pit by lifting and carrying the plant by its ball (never lift by branches or trunk).

Set the plant straight and in the center of the pit so that the top of the ball is approximately 1/2" above the final grade.

Backfill planting pit with existing soil.

Make sure plant remains straight during backfilling procedure.

Never cover the top of the ball with soil. Mound soil around the exposed ball 1/4".

Trees shall be braced by using 2" by 2" white oak stakes. Stakes shall be placed parallel to walkways and buildings. Stakes are to be equally spaced on the outside of the tree ball. Utilizing hose and wire the tree is braced to the stakes.

BIORETENTION AREA SEQUENCE OF CONSTRUCTION

1. Install Phase I Silt Fence as shown on the plan. -Construction time: 1/2 Day
2. Stabilize grading within Limit of Disturbance except for Bioretention Area. -Construction time: 1/2 Day
3. Excavate Bioretention Area to proposed depth. -Construction time: 1/2 Day
4. Fill Bioretention Area with planting soil and sand, as shown in the plans and detailed in the specifications. -Construction time: 1 Day
5. Plant vegetation specified in the planting plan Bioretention Area. -Construction time: 1/2 Day
6. Upon authorization from DER Inspector, remove all sediment controls and stabilize all disturbed areas. Unblock curb openings, and provide drainage to the Bioretention Areas. -Construction time: 1/2 Day

Total Estimated Construction Time - 3.5 Days

PLANTING NOTES

1. Plants shall conform to current "American Standards for Nursery Stock" by American Association of Nurserymen (AAN), particularly with regards to size, growth, size of ball, and density of branch structure.
2. All plants (B&B or container) shall be properly identified by weather-proof labels securely attached thereto before delivery to project site. Labels shall identify plants by name, species, and size. Labels shall not be removed until the final inspection by the Landscape Architect.
3. Any material and/or work may be rejected by the Landscape Architect if it does not meet the requirements of the specifications. All rejected materials shall be removed from the site by the Landscape Contractor.
4. The Landscape Contractor shall furnish all plants in quantities and sizes to complete the work as specified on the landscape plan. The Landscape Contractor shall be responsible to verify on the plan all plant quantities prior to commencement of work. Quantities in the schedule are the Landscape Contractor's convenience.
5. Substitutions in plant species or size shall not be permitted except with the written approval of the Landscape Architect.
6. Plants shall be located as shown on the drawings and by setting or as designated in the field by the Landscape Architect.
7. Landscape Contractor shall contact Miss Utility prior to any excavation.
8. If utility lines are encountered in excavation of tree pits, other locations for trees shall be selected by the Landscape Architect. Such changes shall be made by the contractor without additional compensation. No changes of location shall be made without the approval of the Landscape Architect.
9. Landscape Contractor shall first locate and mark the underground utilities prior to locating and digging the pits for the trees.
10. All equipment and tools shall be placed so as not to interfere or hinder the pedestrian and vehicular traffic flow.
11. During planting operations, excess and waste materials shall be promptly and frequently removed from the site.
12. All disturbed areas of the site not planted with shrubs or ground cover shall be seeded. Till soil to a depth of 6". Apply fertilizer of analysis 5-10-5 at the rate of 20 lbs. per 1000 square feet. Water sod daily until established.
13. All plant beds to receive perennials, bulbs or ground cover are to be tilled to a depth of 6" prior to installation of plants. Apply fertilizer of analysis 5-10-5 at the rate specified by manufacturer. Water plants until established.
14. All beds containing shrubs, ground covers, perennials, bulbs or trees are to receive 2"-3" of shredded hardwood bark mulch after planting and clean up operations have been completed.

BIORETENTION AREA 1A PLANT SCHEDULE

Qty	Key	Botanical/Common Name
TREES		
1	QP	Quercus Palustris-Pin Oak (2.5" Cal., B&B, Full Crown)
SHRUBS		
6	CA	Clethra Alnifolia-Sweet Pepperbush (18"-24" container)
200	JP	Pachysandra terminalis - Japanese pachysandra

Hatching for Herbaceous Cover

BIORETENTION AREA 1B PLANT SCHEDULE

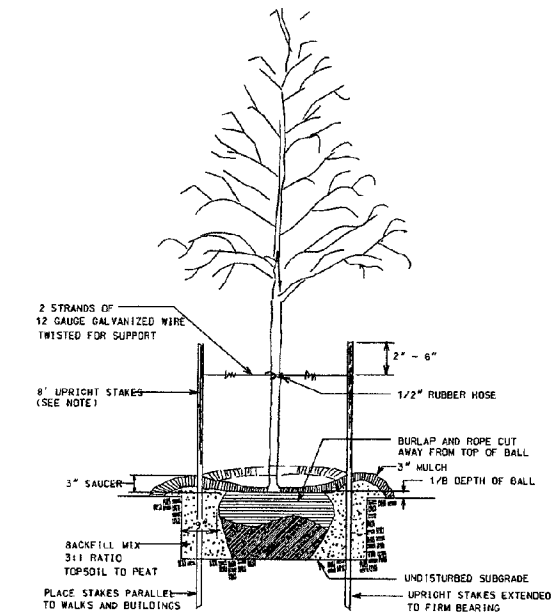
Qty	Key	Botanical/Common Name
TREES		
1	QP	Quercus Palustris-Pin Oak (2.5" Cal., B&B, Full Crown)
SHRUBS		
6	CA	Clethra Alnifolia-Sweet Pepperbush (18"-24" container)
200	JP	Pachysandra terminalis - Japanese pachysandra

Hatching for Herbaceous Cover

BIORETENTION AREA 2 PLANT SCHEDULE

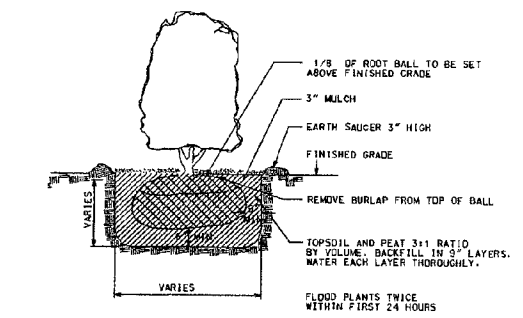
Qty	Key	Botanical/Common Name
TREES		
3	QP	Quercus Palustris-Pin Oak (2.5" Cal., B&B, Full Crown)
SHRUBS		
14	CA	Clethra Alnifolia-Sweet Pepperbush (18"-24" container)
500	JP	Pachysandra terminalis - Japanese pachysandra

Hatching for Herbaceous Cover



BIORETENTION TREE PLANTING DETAIL
NOT TO SCALE

NOTE: EVERGREENS 4'-6" HT., 2" STAKE ABOVE GROUND.
DECIDUOUS TREES AND EVERGREENS 6'-8" HT., 3'-4" OF STAKE ABOVE GROUND.
DECIDUOUS TREES EQUAL TO OR GREATER THAN 10" HT., 5' OF STAKE ABOVE GROUND.

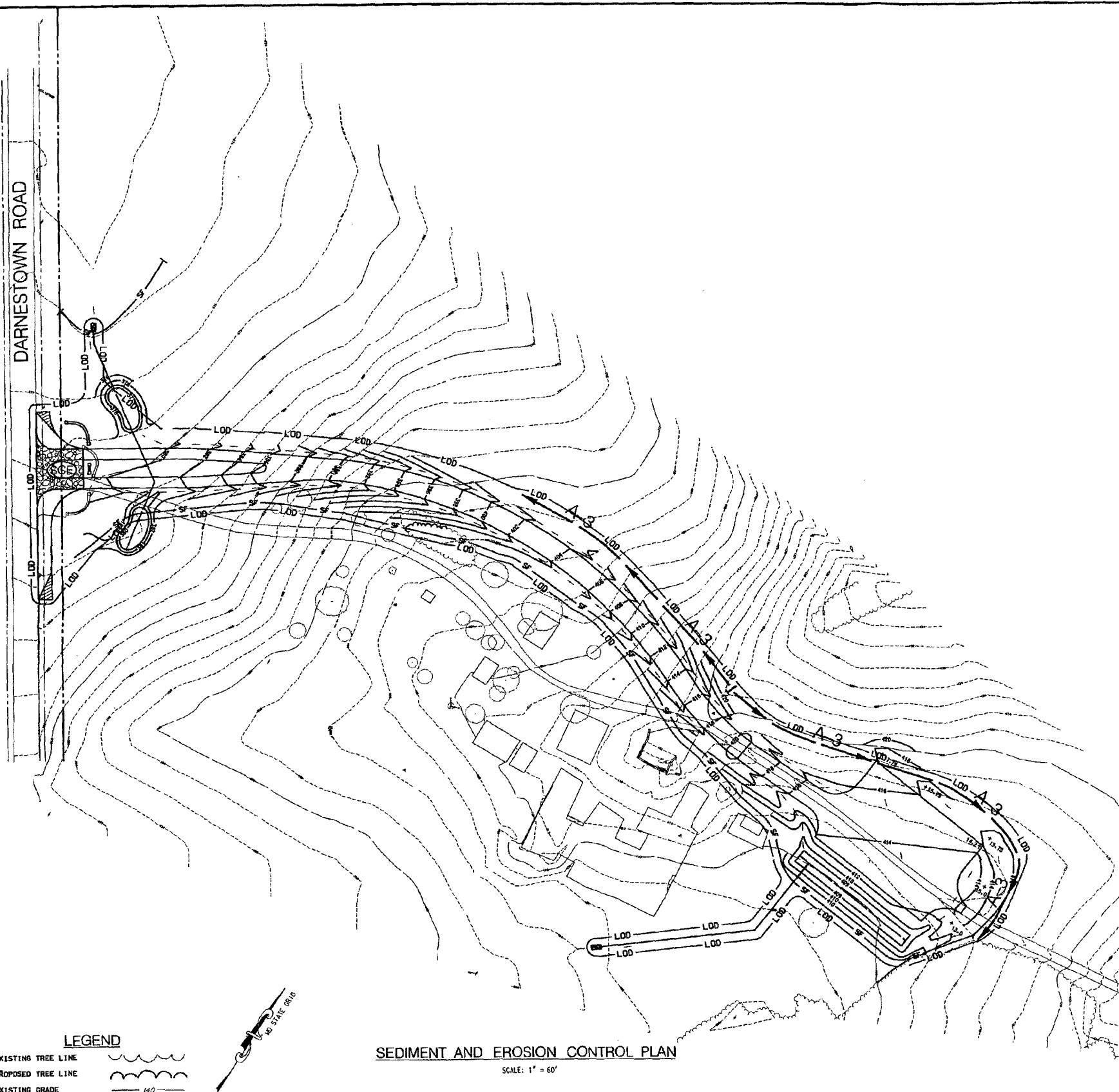


BIORETENTION SHRUB PLANTING DETAIL

11

<p>PREPARED FOR: MARYLAND NATIONAL CAPITAL PARK & PLANNING COMMISSION c/o MONTGOMERY PARKS FOUNDATION 6910 GREENTREE ROAD BETHESDA, MD 20817-2200 KEN NICHOLLS (EXECUTIVE DIRECTOR) 301-767-0002 (PH) 301-767-0054 (FX)</p>	 KCI TECHNOLOGIES	<p>ENGINEERS PLANNERS SCIENTISTS CONSTRUCTION MANAGERS</p> <p>14000 Greentree Drive, Suite 404 Lanham, Maryland 20706 410-782-0001 Fax: (410) 782-7410 www.kci.com</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th colspan="4">REVISIONS</th> </tr> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REVISIONS				NO.	DATE	DESCRIPTION	BY									<p>DATE: 08-06-02 SCALE: NTS DESIGNED BY: CDV DRAWN BY: ANW</p>	<p>PARCEL 524 ENTRANCE, DRIVEWAY AND PARKING FOR THE DR. WILLIAM RICKMAN EQUESTRIAN CENTER AT WOODSTOCK EQUESTRIAN PARK MONTGOMERY COUNTY, MARYLAND 3rd ELECTION DISTRICT</p>	<p>DRAWING NO. 4 SHEET 4 OF 6 RCT JOB NUMBER 162021</p>
REVISIONS																						
NO.	DATE	DESCRIPTION	BY																			

DARNESTOWN ROAD

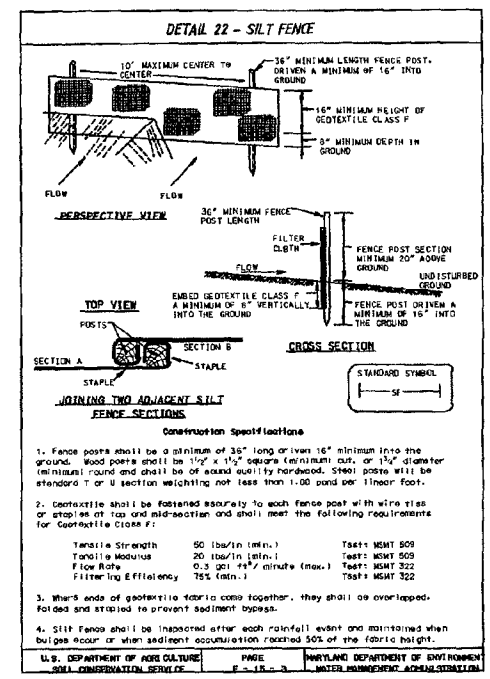
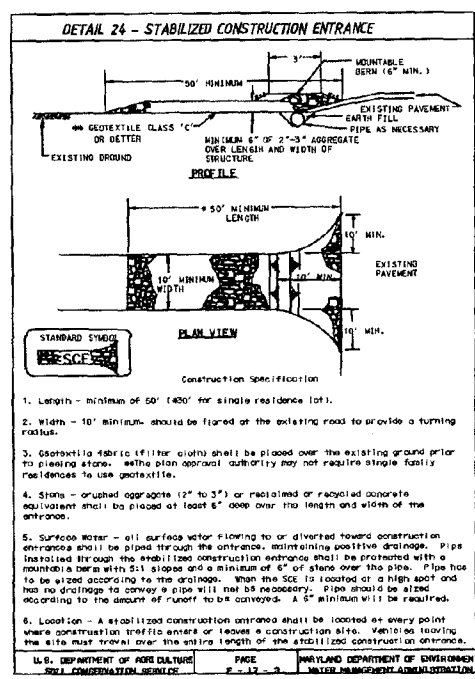


SEDIMENT AND EROSION CONTROL PLAN

SCALE: 1" = 60'

LEGEND

EXISTING TREE LINE	
PROPOSED TREE LINE	
EXISTING GRADE	
PROPOSED GRADE	
PROPOSED EARTH DIKE	
LIMIT OF DISTURBANCE	
SILT FENCE	



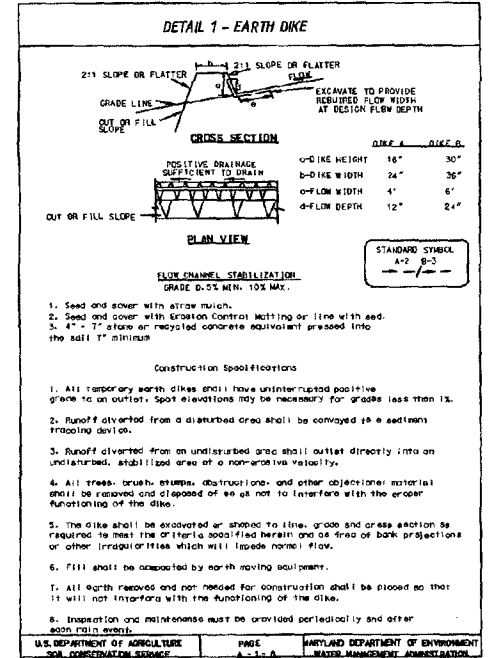
SILT FENCE

Silt fence design criteria

Slope Categories	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 5:1	unlimited	0-117 feet
5:1 to 10:1	125 feet	1-100 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2:1 slope and sandy soils USDA general classification system, soil Class A1 maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

U.S. DEPARTMENT OF AGRICULTURE
SOIL CONSERVATION SERVICE



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PREPARED FOR: MARYLAND NATIONAL CAPITAL PARK & PLANNING COMMISSION
c/o MONTGOMERY PARKS FOUNDATION
6910 GREENTREE ROAD
BETHESDA, MD 20817-2200
KEN NICHOLLS (EXECUTIVE DIRECTOR)
301-767-0002 (PH) 301-767-0054 (FX)

ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS

KCI
TECHNOLOGIES

14600 Greenview Drive, Suite 404
Bethesda, Maryland 20814
(301) 950-1500 (400) 900-9000
fax (301) 782-7430
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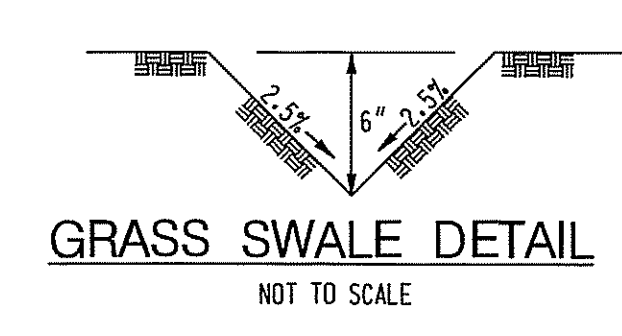
REVISIONS		DATE
NO.	DATE	DESCRIPTION

SCALE: 1" = 60'
DESIGNED BY: CN
DRAWN BY: ARS/AM

PARCEL 524
ENTRANCE, DRIVEWAY AND PARKING
FOR THE
DR. WILLIAM RICKMAN EQUESTRIAN
CENTER AT
WOODSTOCK EQUESTRIAN PARK
MONTGOMERY COUNTY, MARYLAND 3rd ELECTION DISTRICT

DRAWING NO. 5
SHEET 5 OF 6
ACT JOB NUMBER 162021

162021.DRAWINGS/SECTION.DGN

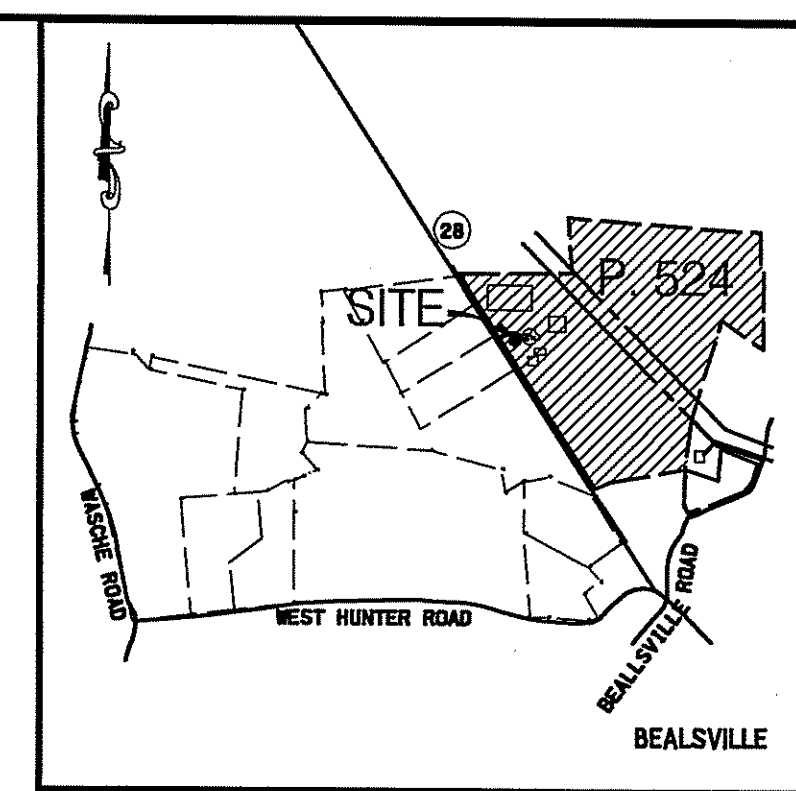


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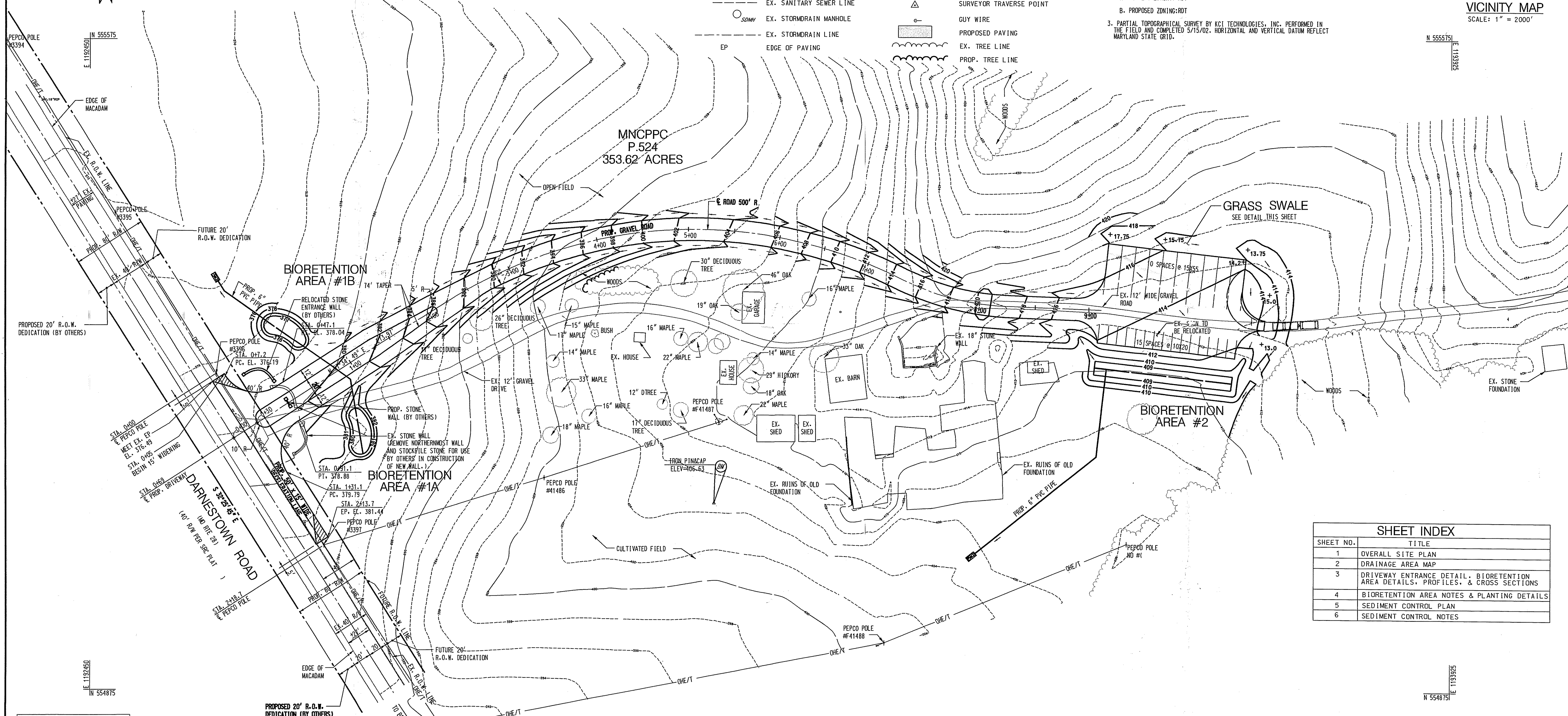
- EX. LIGHT POLE
- EX. UTILITY POLE
- EX. FLAG POLE
- EX. MAILBOX
- EX. UNKNOWN MANHOLE
- EX. TREE
- EX. SIGN
- EX. CLEANOUT
- EX. SEWER VALVE
- EX. SANITARY SEWER MANHOLE
- EX. SEWER VENT PIPE
- EX. SANITARY SEWER LINE
- EX. STORMDRAIN MANHOLE
- EX. STORMDRAIN LINE
- EP
- EX. INLET
- EX. REINFORCED CONCRETE PIPE
- EX. WATER VALVE
- EX. FIRE HYDRANT
- EX. WATER LINE
- PROPERTY LINE
- EX. CONTOUR
- EX. SPOT ELEVATION
- SOIL BORING
- PROP. CONTOUR
- PROP. SPOT ELEVATION
- SURVEYOR TRAVERSE POINT
- GUY WIRE
- PROPOSED PAVING
- EX. TREE LINE
- PROP. TREE LINE

GENERAL NOTES:

1. PROPERTY DATA:
 - A. ADDRESS: DARNESTOWN ROAD BEALLESVILLE, MARYLAND
 - B. OWNER: MARYLAND NATURAL CAPITAL PARK AND PLANNING COMMISSION PARK DEVELOPMENT DIVISION 9500 BRUNETT AVENUE SILVER SPRING, MARYLAND 20901 ATTN: MR. AL KAHN PH: (301) 495-2871
 - C. PARCEL: 524 LIBER: 7416 FOLIO: 487
 - D. PROPERTY AREA: 353.62 ACRES
 - E. TAX MAP No.: BU & CU
 - F. WSSC GRID 227NW20
 - G. ADC MAP GRID: C-1 PG: 16
 - H. ELECTION DISTRICT No. 3
2. ZONING DATA:
 - A. CURRENT ZONING: RDT
 - B. PROPOSED ZONING: RDT
3. PARTIAL TOPOGRAPHICAL SURVEY BY KCI TECHNOLOGIES, INC. PERFORMED IN THE FIELD AND COMPLETED 5/15/02. HORIZONTAL AND VERTICAL DATUM REFLECT MARYLAND STATE GRID.



VICINITY MAP
SCALE: 1" = 2000'



OVERALL SITE PLAN
SCALE: 1" = 50'

SHEET INDEX	
SHEET NO.	TITLE
1	OVERALL SITE PLAN
2	DRAINAGE AREA MAP
3	DRIVEWAY ENTRANCE DETAIL, BIORETENTION AREA DETAILS, PROFILES, & CROSS SECTIONS
4	BIORETENTION AREA NOTES & PLANTING DETAILS
5	SEDIMENT CONTROL PLAN
6	SEDIMENT CONTROL NOTES

CALL "MISS UTILITY"
1-800-251-7777
FOR UTILITY LOCATION
AT LEAST 48 HOURS BEFORE
BEGINNING CONSTRUCTION

CONTRACTOR NOTE
THE CONTRACTOR SHALL TEST PIT EXISTING UTILITIES AT LEAST FIVE (5) WORKING DAYS BEFORE STARTING WORK AS SHOWN ON THESE DRAWINGS. LOCATIONS OF UNDERGROUND UTILITIES SHOWN ON THE DRAWINGS WERE OBTAINED FROM INFORMATION RECEIVED FROM THE APPLICABLE UTILITY COMPANIES. NEITHER THE OWNER NOR THE ENGINEER ASSUME ANY RESPONSIBILITY FOR UTILITIES OF STRUCTURES NOT SHOWN OR NOT IN THE LOCATIONS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF UTILITIES PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL USE EXTREME CAUTION WHEN WORKING OVER OR NEAR EXISTING GAS MAINS.

ELEVATIONS AND BENCHMARKS SHOWN ON THIS DRAWING ARE REFERENCED FROM A WSSC BENCH MARK NO. 20587MC, LOCATED ON THE LEFT HAND SIDE 1 MILE WEST ALONG WEST HUNTER ROAD FROM THE WEST HUNTER ROAD AND DARNESTOWN ROAD INTERSECTION.

PREPARED FOR:
MARYLAND NATIONAL CAPITAL PARK & PLANNING COMMISSION
c/o MONTGOMERY PARKS FOUNDATION
6910 GREENTREE ROAD
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KEN NICHOLLS (EXECUTIVE DIRECTOR)
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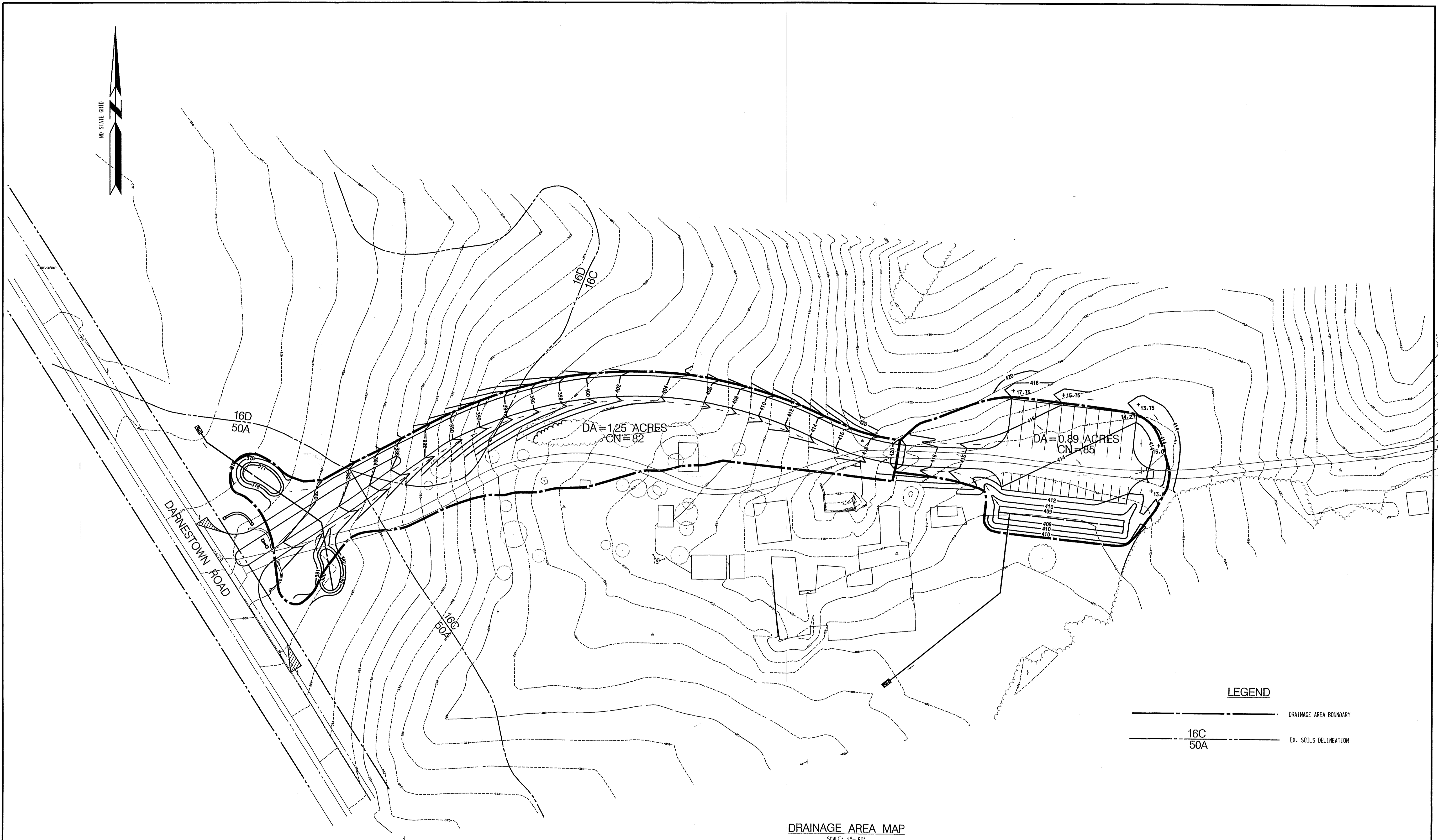
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Lanver, Maryland 20708
(301) 953-1821 (410) 792-8088
Fax: (410) 792-7439
www.kci.com

REVISIONS		DATE
NO.	DATE	DESCRIPTION

DATE: 08-06-02
SCALE: 1"=50'
DESIGNED BY: JJR/AWW
DRAWN BY: JJR/AWW

PARCEL 524
ENTRANCE, DRIVEWAY AND PARKING
FOR THE
DR. WILLIAM RICKMAN EQUESTRIAN
CENTER AT
WOODSTOCK EQUESTRIAN PARK
MONTGOMERY COUNTY, MARYLAND 3rd ELECTION DISTRICT

DRAWING NO. **1**
SHEET 1 OF 6
KCI JOB NUMBER 1602021
1602021/DRAWINGS/SP1.DGN



LEGEND

- DRAINAGE AREA BOUNDARY
- EX. SOILS DELINEATION

DRAINAGE AREA MAP
SCALE: 1" = 50'

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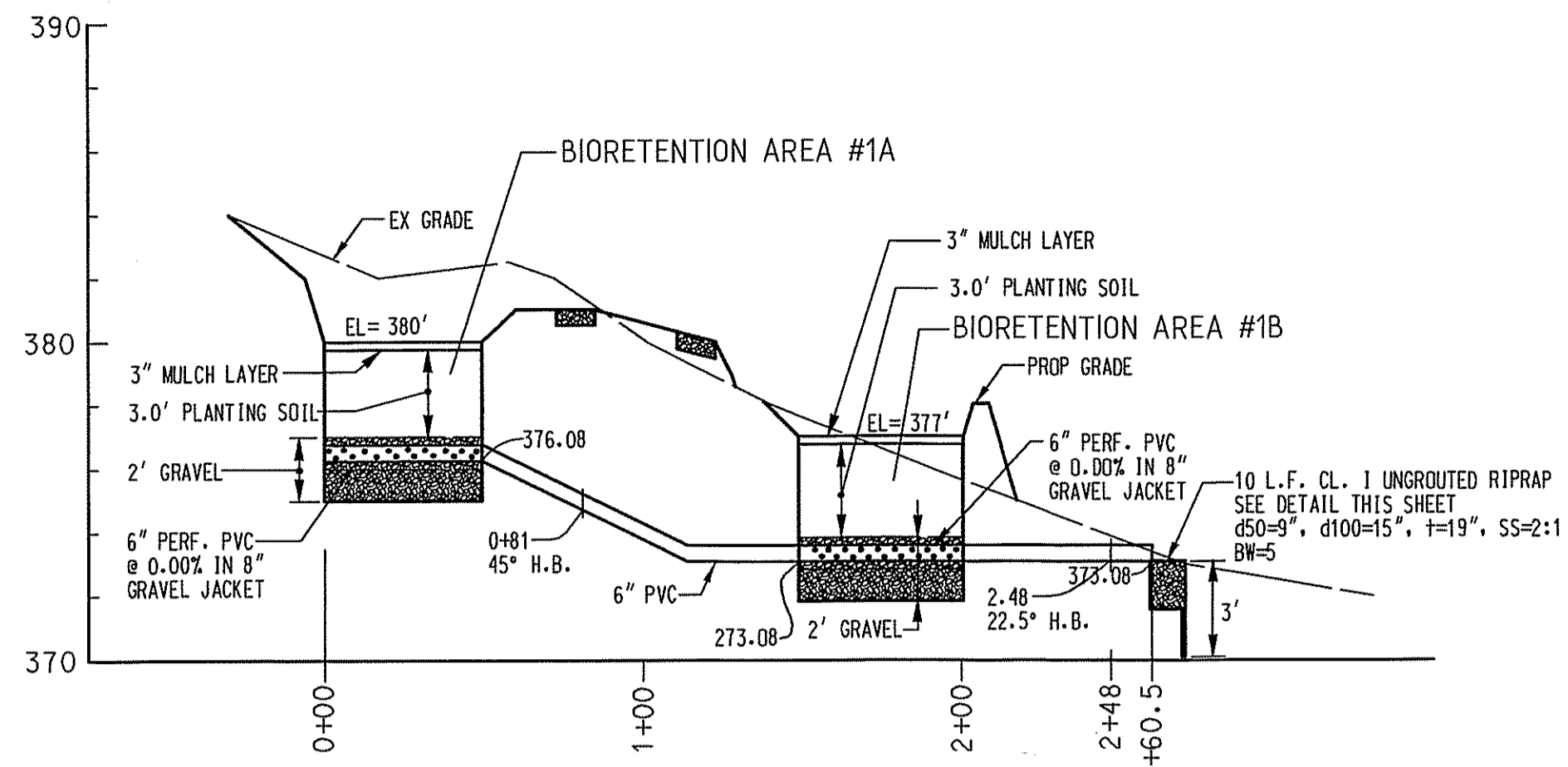
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 Laurel, Maryland 20708
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REVISIONS			
NO.	DATE	DESCRIPTION	BY

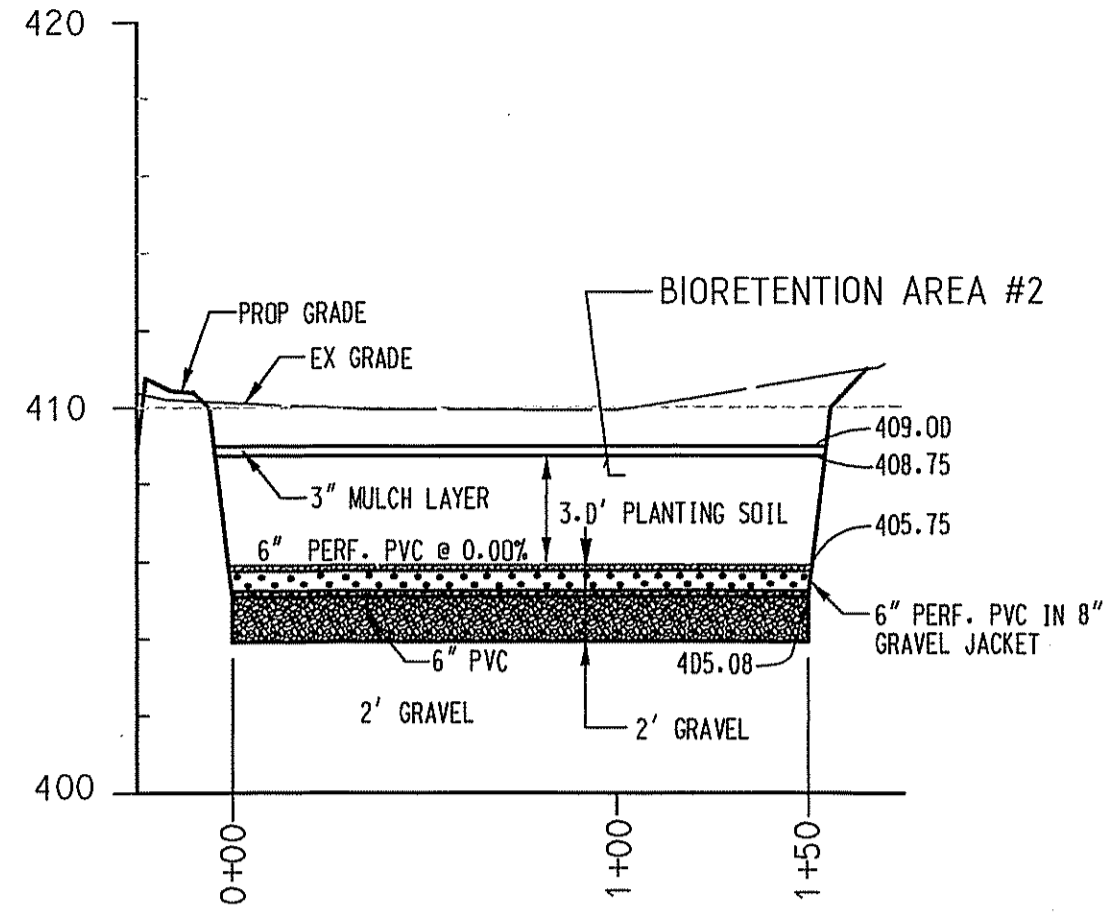
DATE: 08-06-02
 SCALE: 1" = 50'
 DESIGNED BY: CCW
 DRAWN BY: ARS

PARCEL 524
 ENTERANCE, DRIVEWAY AND PARKING
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 DR. WILLIAM RICKMAN EQUESTRIAN
 CENTER AT
 WOODSTOCK EQUESTRIAN PARK
 MONTGOMERY COUNTY, MARYLAND 3rd ELECTION DISTRICT

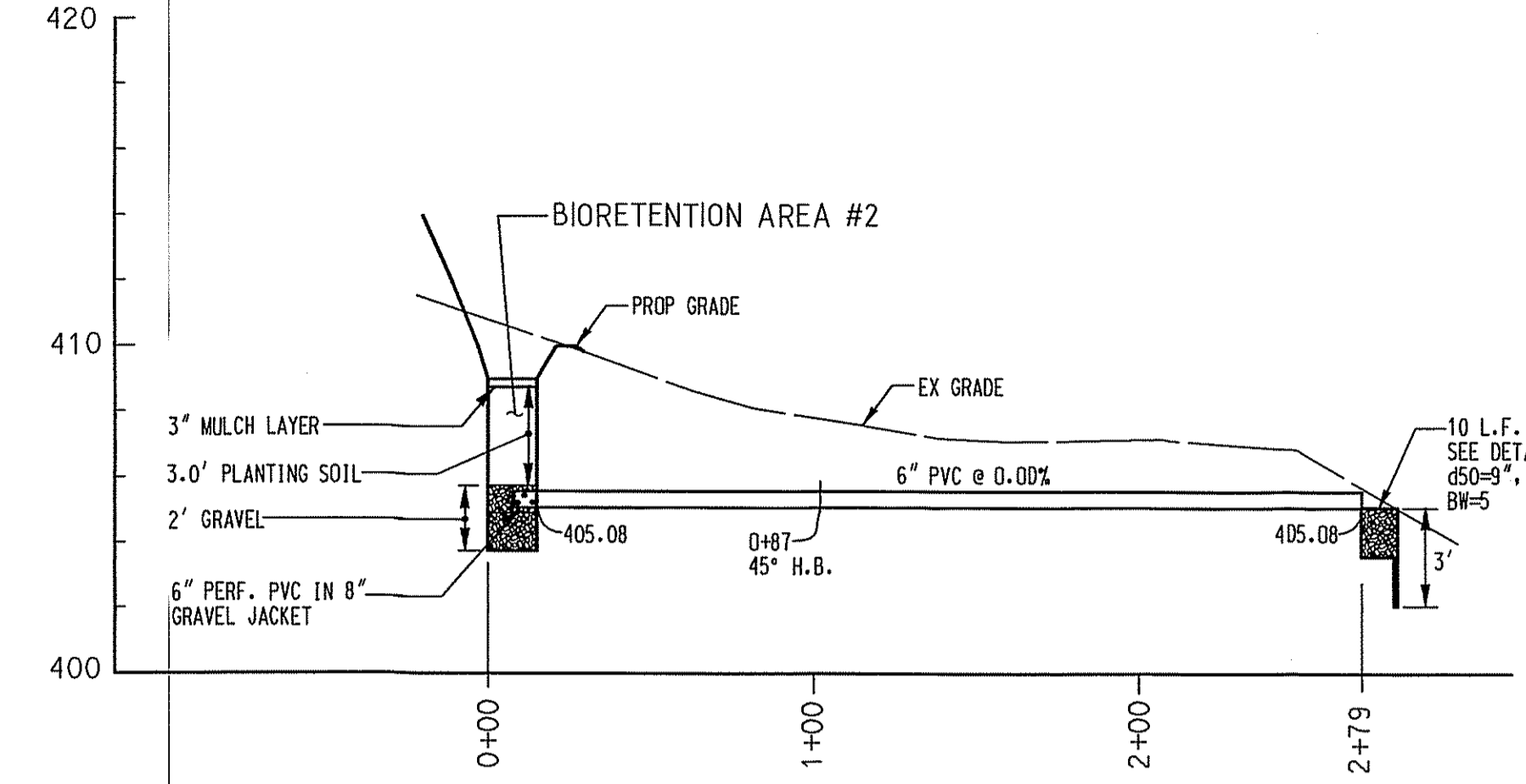
DRAWING NO. **2**
 SHEET 2 OF 6
 KCI JOB NUMBER 1602021



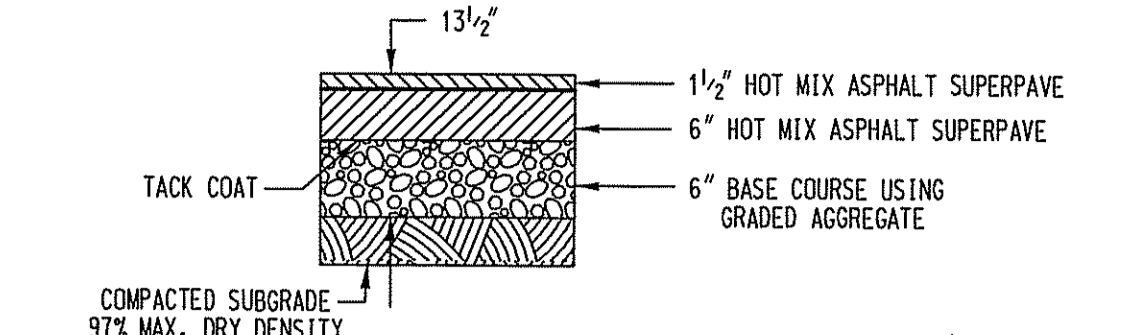
BIORETENTION AREA #1A & #1B
SCALE: H: 1" = 50'
V: 1" = 5'



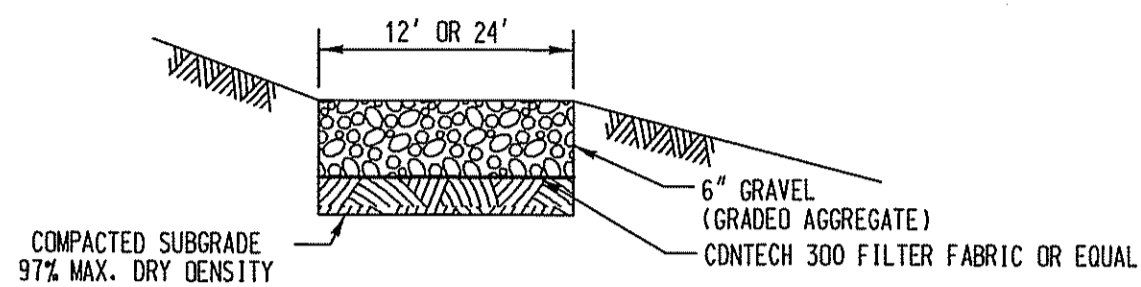
BIORETENTION AREA #2
SCALE: H: 1" = 50'
V: 1" = 5'



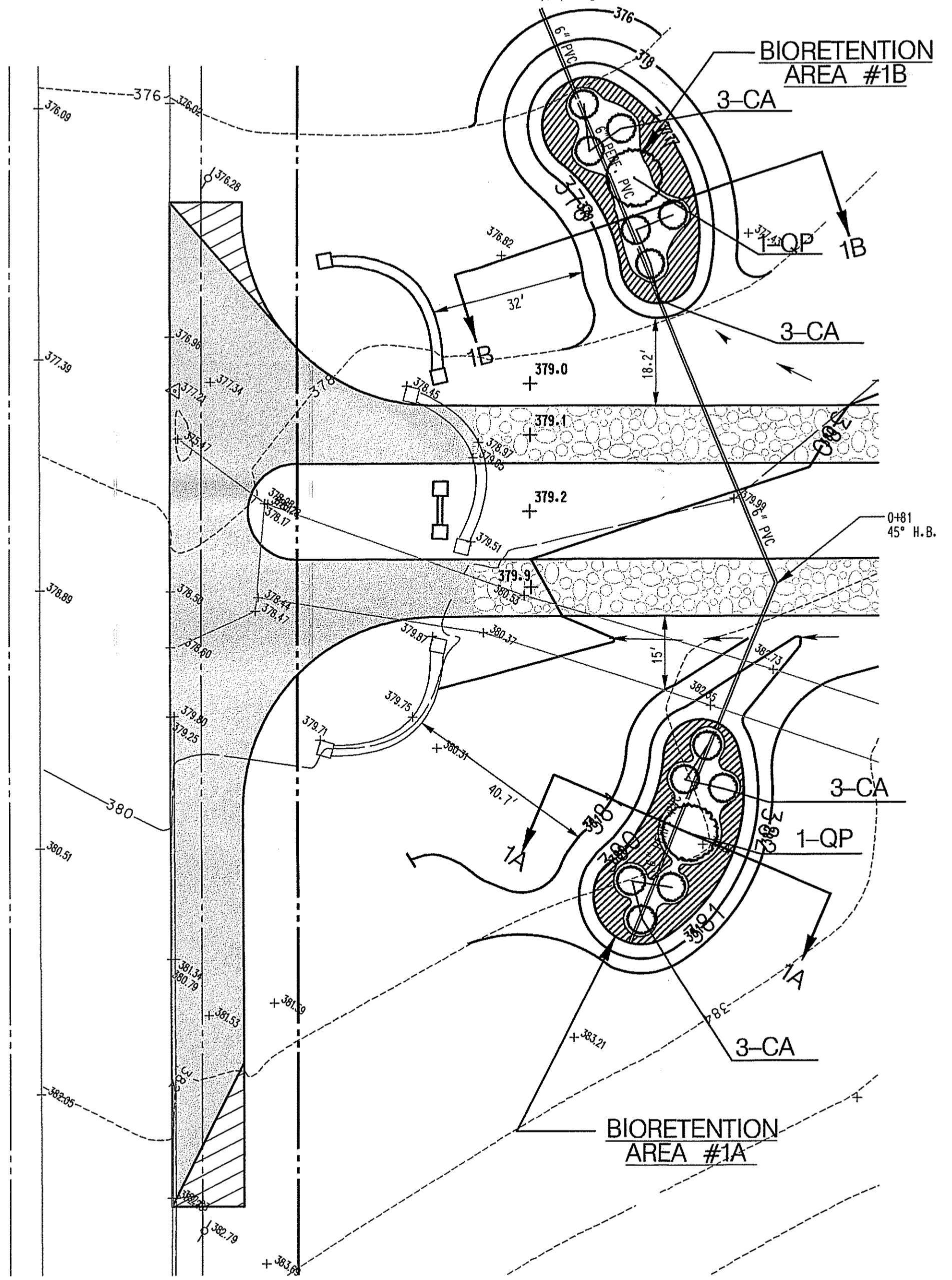
BIORETENTION AREA #2 PVC PROFILE
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V: 1" = 5'



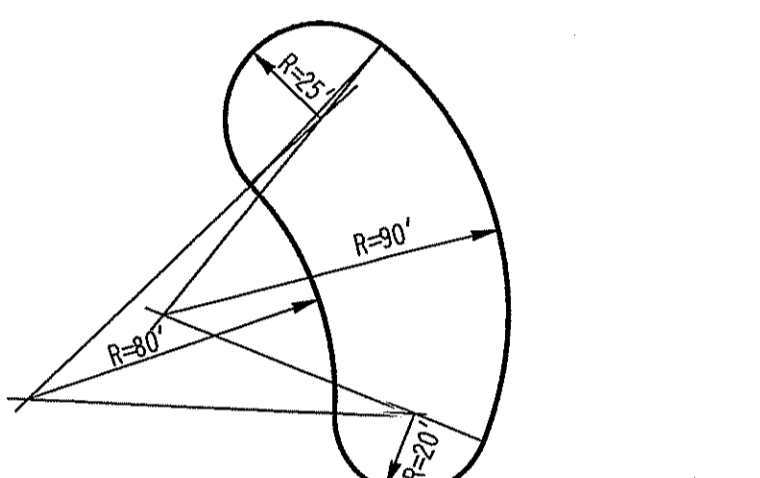
PAVING SECTION
N.T.S.
DARNESTOWN ROAD & ENTRANCE



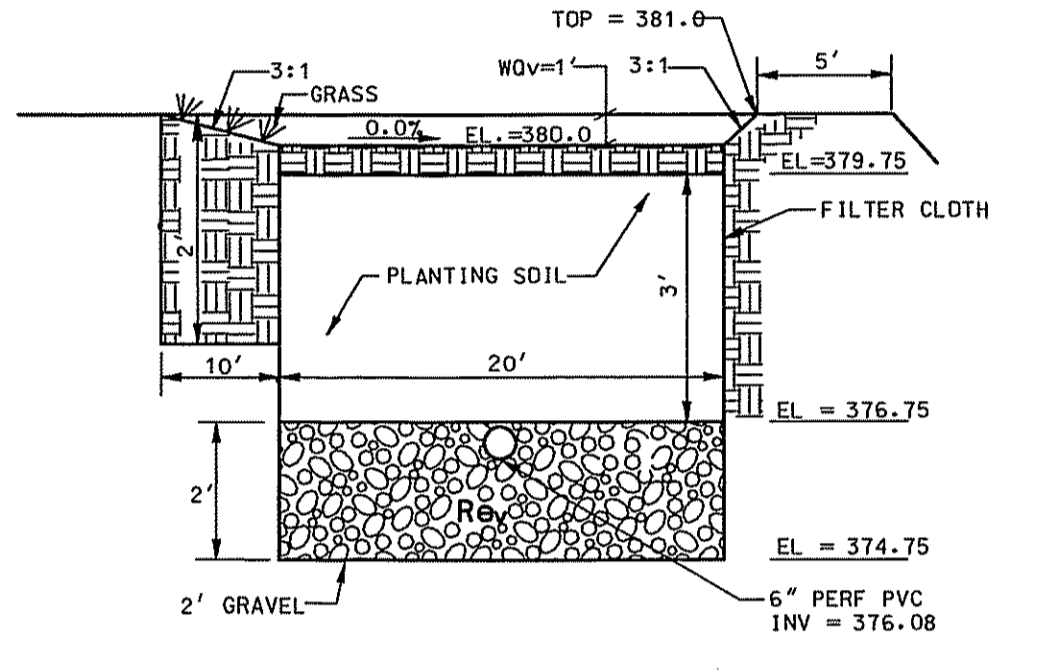
GRAVEL DRIVEWAY SECTION
N.T.S.



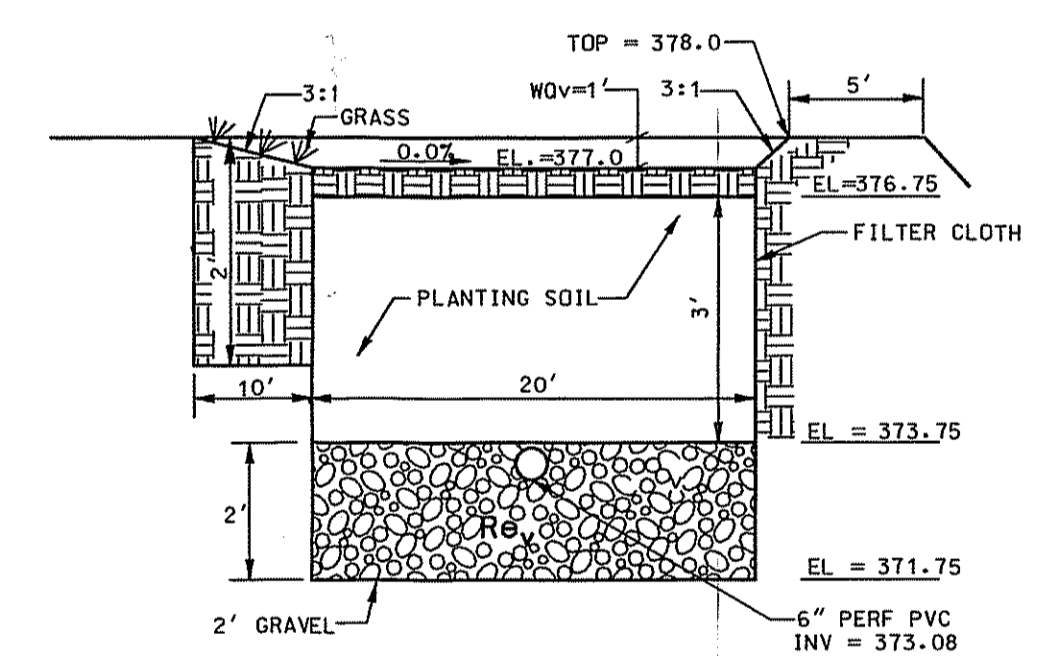
DRIVEWAY ENTRANCE AND BIORETENTION AREAS 1A & 1B DETAIL
SCALE: 1" = 20'



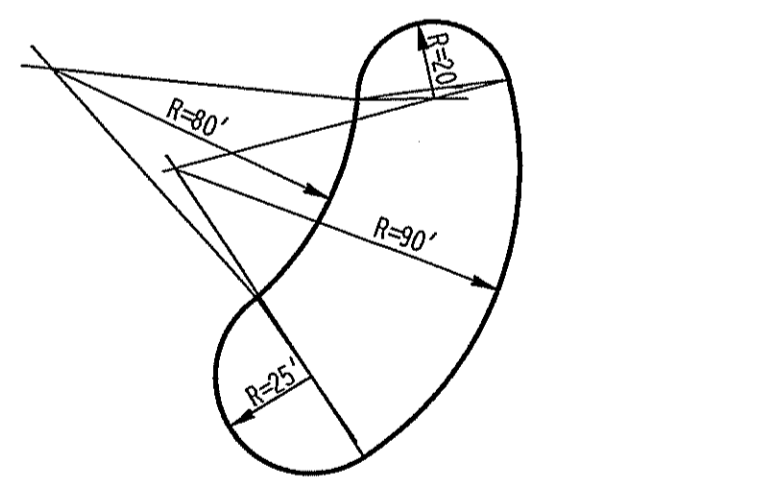
BIORETENTION AREA #1B RADIUS DETAIL
SCALE: 1" = 20'



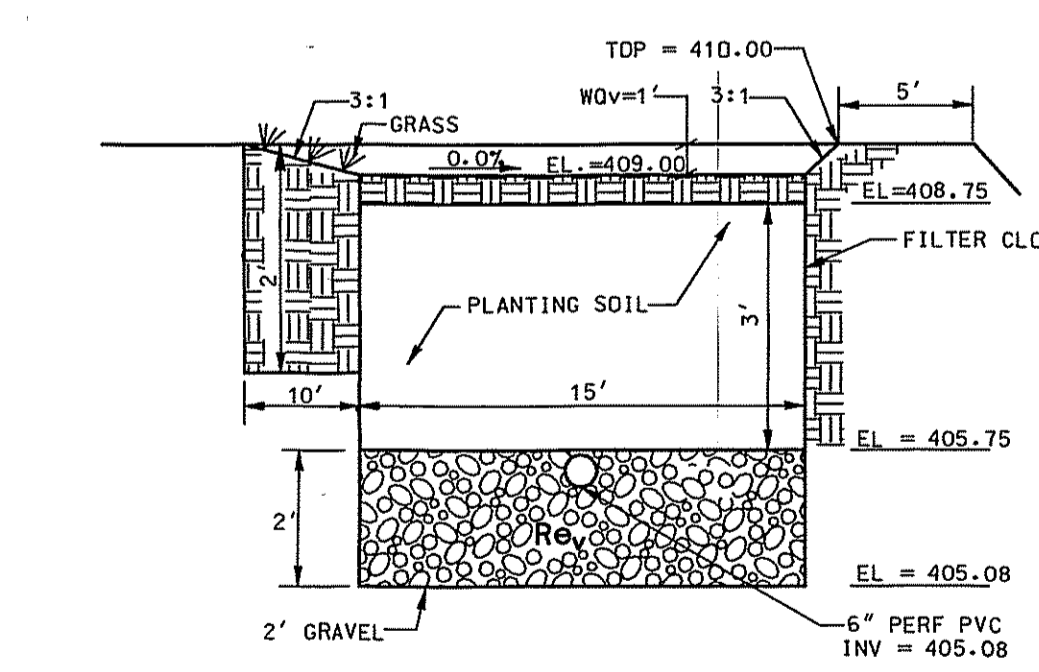
BIORETENTION SECTION 1A
NOT TO SCALE



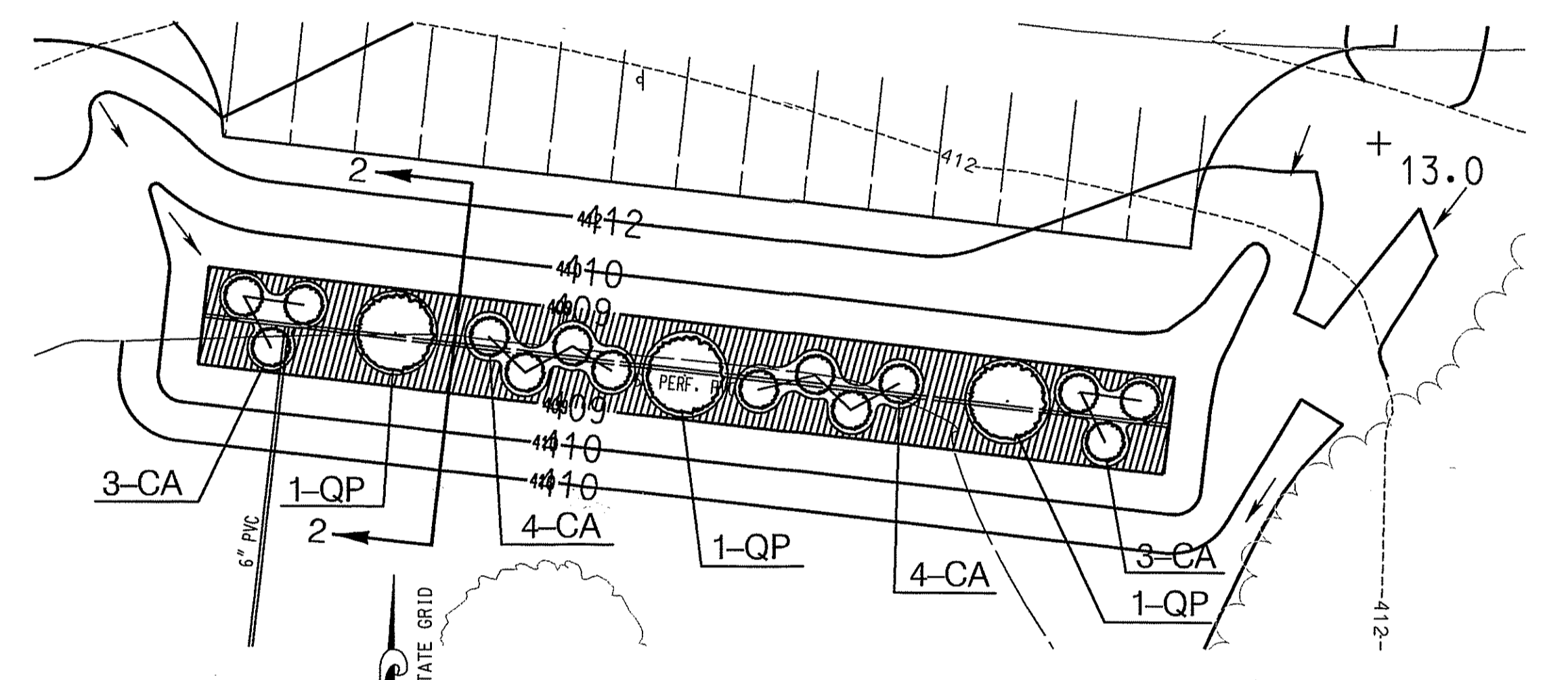
BIORETENTION SECTION 1B
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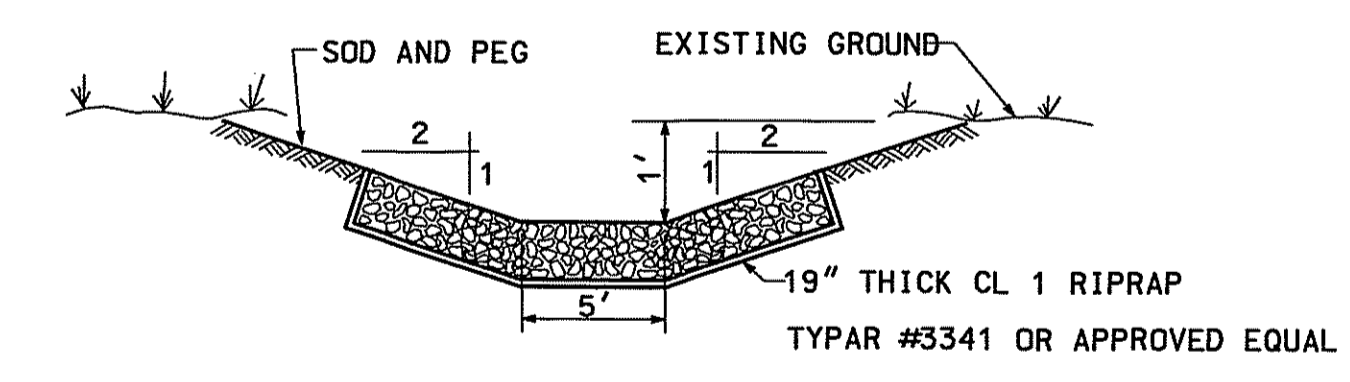
BIORETENTION AREA #1A RADIUS DETAIL
SCALE: 1" = 20'



BIORETENTION SECTION 2
NOT TO SCALE



BIORETENTION AREA 2 DETAIL
SCALE: 1" = 20'



- NOTES:
- ALL RIP-RAP TO BE UNDERLAID WITH ONE COURSE OF THE FOLLOWING NON-WOVEN CLOTH FABRIC OR AN APPROVED EQUAL:
 - MIRAFI 140-N
 - EXXON GEOTEXTILES 130-D
 - TERRATEX SD
 - PROVIDE FILTERCLOTH LINING.

RIPRAP TRAPEZOIDAL CHANNEL DETAIL
NOT TO SCALE

PREPARED FOR: MARYLAND NATIONAL CAPITAL PARK & PLANNING COMMISSION
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ENGINEERS PLANNERS SCIENTISTS CONSTRUCTION MANAGERS
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FAX (410) 792-7419 www.kci.com

REVISIONS		DATE
NO.	DATE	DESCRIPTION

DATE: 08-06-02
SCALE: AS SHOWN
DESIGNED BY: CGW
DRAWN BY: ANW
PARCEL 524
ENTRANCE, DRIVEWAY AND PARKING
FOR THE
DR. WILLIAM RICKMAN EQUESTRIAN
CENTER AT
WOODSTOCK EQUESTRIAN PARK
MONTGOMERY COUNTY, MARYLAND 3rd ELECTION DISTRICT
DRAWING NO. 3
SHEET 3 OF 6
KCI JOB NUMBER 1602021

I. BIORETENTION AREA SOIL SPECIFICATIONS

A. Planting Soil

The bioretention areas shall consist of a planting soil having a composition of at least 10 to 25 percent clay and shall be of a sandy loam or loamy sand texture. Loamy soils may be utilized for the planting soil but must consist of 35% sand. In addition, the furnished planting soil shall be of uniform composition, free of stones, stumps, roots or similar objects larger than one inch, brush, or any other material or substance which may be harmful to plant growth, or a hindrance to planting or maintenance operations.

The planting soil shall be free of plants or plant parts of Bermuda grass, Quack grass, Johnson grass, Mugwort, Nutsedge, Poison Ivy, Canadian Thistle or others as specified.

It shall not contain toxic substances harmful to plant growth.

The planting soil shall be tested and meet the following criteria:

pH range 5.5 - 6.5
Organic matter 1.5 - 3.0%
Magnesium - Mg 15 lbs./acre
Phosphorus - P205 100 lbs./acre
Potassium - K2O 85 lbs./acre
Soluble salts not to exceed 500ppm

The following testing frequencies shall apply to the above soil constituents:

pH, Organic Matter: 1 test per 90 cubic yards, but no more than 1 test per Bioretention Area

Magnesium, Phosphorus, Potassium, Soluble Salts:

1 test per 500 cubic yards, but no less than 1 test per borrow source

One grain size analysis shall be performed per 30 cubic yards of planting soil, but no less than 1 test per Bioretention Area.

B. Mulch Layer Specifications

A mulch layer shall be provided on top of the planting soil. An acceptable mulch layer shall include shredded hardwood or shredded wood chips or other similar product approved by the Maryland Department of Environment (MDE).

Of the approved mulch products all must be well aged, uniform in color, and free of foreign material including plant material. Well aged mulch is defined as mulch that has been stockpiled or stored for at least twelve (12) months.

C. Sand Specifications

The sand shall be free of deleterious material and rocks greater than 1 inch in diameter.

D. Compaction

Soil shall be placed in lifts less than 18 inches and lightly compacted (minimal compactive effort) by tamping with a bucket from a dozer or a backhoe.

II. BIORETENTION AREA PLANT SPECIFICATIONS

General Planting Specifications

Root stock of the plant material shall be kept moist during transport from the source to the job site and until planted.

Walls of planting pit shall be dug so that they are vertical.

The diameter of the planting pit must be a minimum of six inches (6") larger than the diameter of the ball of the tree.

The planting pit shall be deep enough to allow 1/4" of the ball to be above the existing grade. Loose soil at the bottom of the pit shall be tamped by hand.

The appropriate amount of fertilizer is to be placed at the bottom of the pit (see below for fertilization rates).

The plant shall be removed from the container and placed in the planting pit by lifting and carrying the plant by its ball (never lift by branches or trunk).

Set the plant straight and in the center of the pit so that the top of the ball is approximately 1/4" above the final grade.

Backfill planting pit with existing soil.

Make sure plant remains straight during backfilling procedure.

Never cover the top of the ball with soil. Mound soil around the exposed ball (1/4").

Trees shall be braced by using 2" by 2" white oak stakes. Stakes shall be placed parallel to walkways and buildings. Stakes are to be equally spaced on the outside of the tree ball. Utilizing hose and wire the tree is braced to the stakes.


BIORETENTION AREA SEQUENCE OF CONSTRUCTION

1. Install Phase I Silt Fence as shown on the plan. -Construction time: 1/2 Day
 2. Stabilize grading within Limit of Disturbance except for Bioretention Area. -Construction time: 1/2 Day
 3. Excavate Bioretention Area to proposed depth. -Construction time: 1/2 Day
 4. Fill Bioretention Area with planting soil and sand, as shown in the plans and detailed in the specifications. -Construction time: 1 Day
 5. Plant vegetation specified in the planting plan Bioretention Area. -Construction time: 1/2 Day
 6. Upon authorization from DER inspector, remove all sediment controls and stabilize all disturbed areas. Unblock curb openings, and provide drainage to the Bioretention Areas. -Construction time: 1/2 Day
- Total Estimated Construction Time - 3.5 Days


PLANTING NOTES

1. Plants shall conform to current "American Standards for Nursery Stock" by American Association of Nurserymen (AAN), particularly with regards to size, growth, size of ball, and density of branch structure.
2. All plants (B&B or container) shall be properly identified by weather-proof labels securely attached thereto before delivery to project site. Labels shall identify plants by name, species, and size. Labels shall not be removed until the final inspection by the Landscape Architect.
3. Any material and/or work may be rejected by the Landscape Architect if it does not meet the requirement of the specifications. All rejected materials shall be removed from the site by the Landscape Contractor.
4. The Landscape Contractor shall furnish all plants in quantities and sizes to complete the work as specified on the landscape plan. The Landscape Contractor shall be responsible to verify on the plan all plant quantities prior to commencement of work. Quantities in the schedule are the Landscape Contractor's convenience.
5. Substitutions in plant species or size shall not be permitted except with the written approval of the Landscape Architect.
6. Plants shall be located as shown on the drawings and by scaling or as designated in the field by the Landscape Architect.
7. Landscape Contractor shall contact Miss Utility prior to any excavation.
8. If utility lines are encountered in excavation of tree pits, other locations for trees shall be selected by the Landscape Architect. Such changes shall be made by the contractor without additional compensation. No changes of location shall be made without the approval of the Landscape Architect.
9. Landscape Contractor shall first locate and mark the underground utilities, prior to locating and digging the pits for the trees.
10. All equipment and tools shall be placed so as not to interfere or hinder the pedestrian and vehicular traffic flow.
11. During planting operations, excess and waste materials shall be promptly and frequently removed from the site.
12. All disturbed areas of the site not planted with shrubs or ground cover shall be sodded. Till soil to a depth of 6". Apply fertilizer of analysis 5-10-5 at the rate of 20 lbs. per 1000 square feet. Water sod daily until established.
13. All plant beds to receive perennials, bulbs or ground cover are to be tilled to a depth of 6" prior to installation of plants. Apply fertilizer of analysis 5-10-5 at the rate specified by manufacturer. Water plants until established.
14. All beds containing shrubs, ground covers, perennials, bulbs or trees are to receive 2"-3" of shredded hardwood bark mulch after planting and clean up operations have been completed.


BIORETENTION AREA 1A PLANT SCHEDULE	
Qty	Botanical*Common Name
TREES	
1	QP Quercus Palustris-Pin Oak (2.5" Cal., B&B, Full Crown)
SHRUBS	
6	CA Clethra Ainfolia-Sweet Pepperbush (18"-24" container)
200	JP Pachysandra terminalis - Japanese pachysandra

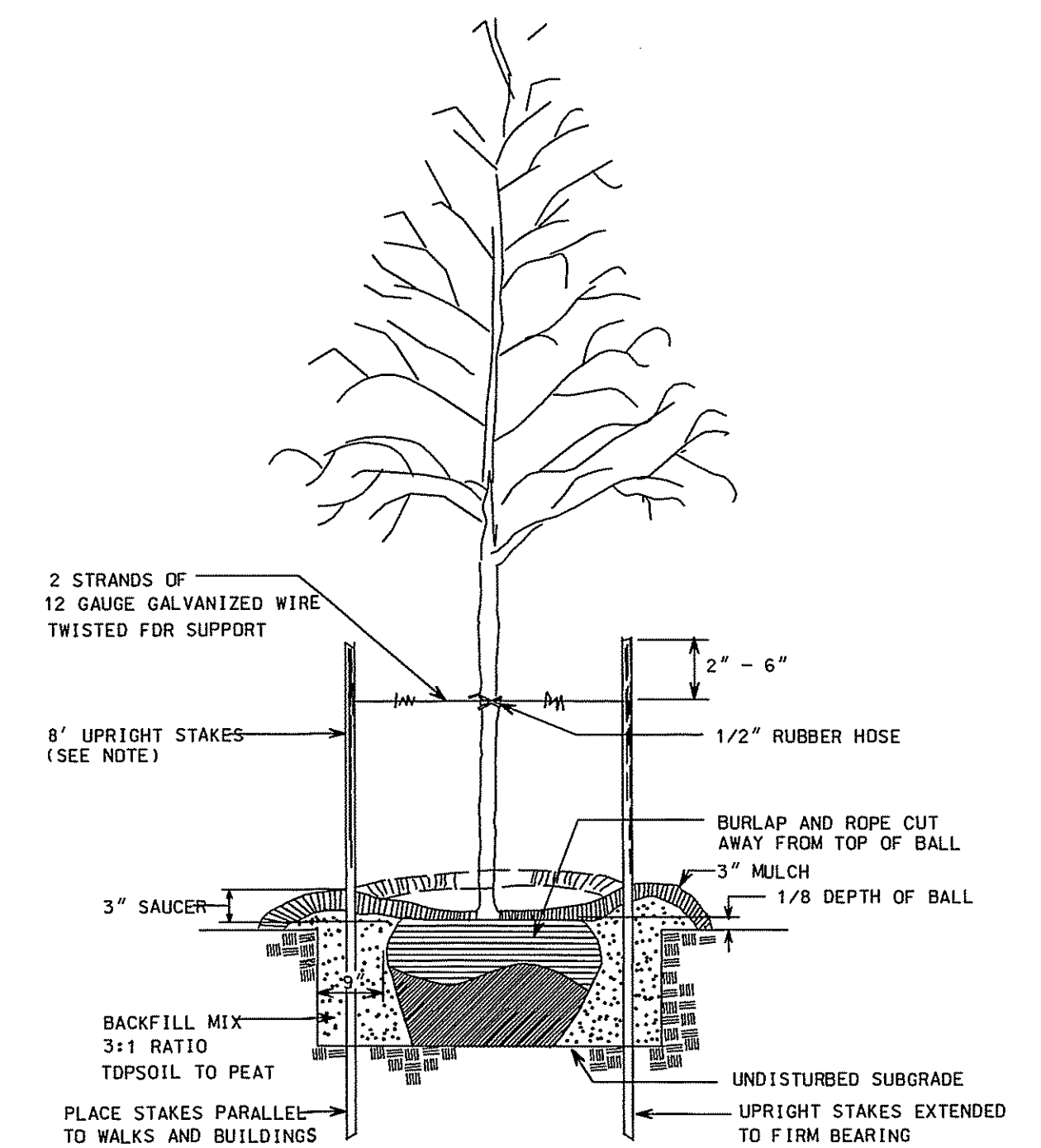
 Hatching for Herbaceous Cover

BIORETENTION AREA 1B PLANT SCHEDULE	
Qty	Botanical*Common Name
TREES	
1	QP Quercus Palustris-Pin Oak (2.5" Cal., B&B, Full Crown)
SHRUBS	
6	CA Clethra Ainfolia-Sweet Pepperbush (18"-24" container)
200	JP Pachysandra terminalis - Japanese pachysandra

 Hatching for Herbaceous Cover

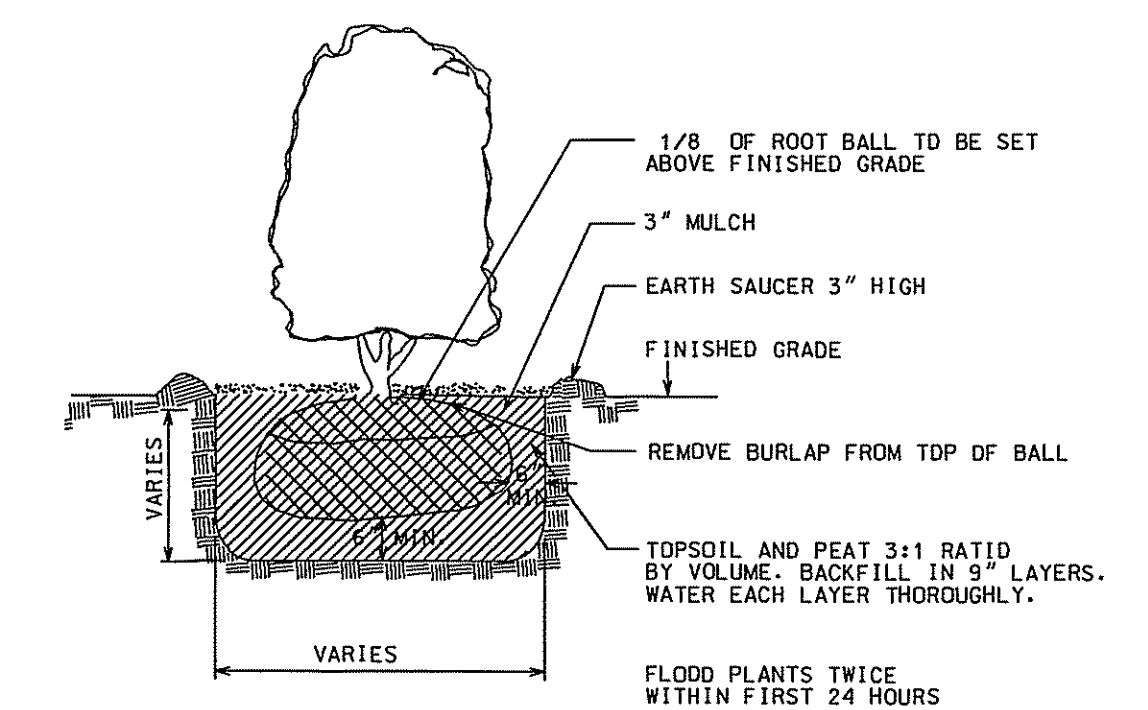
BIORETENTION AREA 2 PLANT SCHEDULE	
Qty	Botanical*Common Name
TREES	
3	QP Quercus Palustris-Pin Oak (2.5" Cal., B&B, Full Crown)
SHRUBS	
14	CA Clethra Ainfolia-Sweet Pepperbush (18"-24" container)
500	JP Pachysandra terminalis - Japanese pachysandra

 Hatching for Herbaceous Cover



BIORETENTION TREE PLANTING DETAIL
NOT TO SCALE

NOTE: EVERGREENS 4'-6' HT., 2" STAKE ABOVE GROUND.
DECIDUOUS TREES AND EVERGREENS 6'-8' HT., 3'-4' OF STAKE ABOVE GROUND.
DECIDUOUS TREES EQUAL TO OR GREATER THAN 10' HT., 5' OF STAKE ABOVE GROUND.



BIORETENTION SHRUB PLANTING DETAIL

PREPARED FOR: MARYLAND NATIONAL CAPITAL PARK & PLANNING COMMISSION
c/o MONTGOMERY PARKS FOUNDATION
6910 GREENTREE ROAD
BETHESDA, MD 20817-2200
KEN NICHOLLS (EXECUTIVE DIRECTOR)
301-767-0002 (PH) 301-767-0054 (FX)

ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS

KCI TECHNOLOGIES

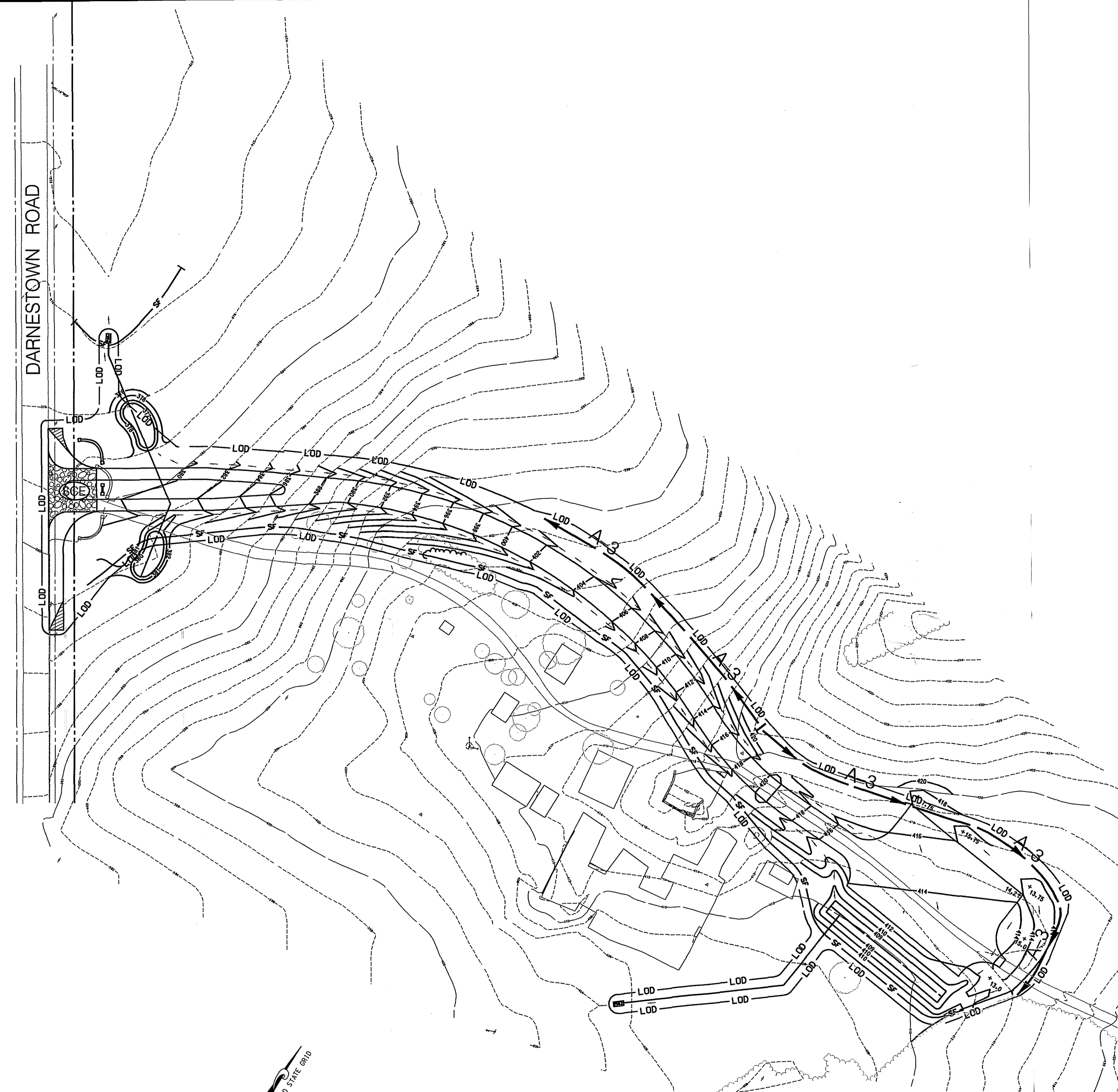
14608 Greenview Drive, Suite 404
Laurel, Maryland 20708
(301) 953-1821 (410) 792-0080
Fax: (410) 792-7419
www.kci.com

REVISIONS			
NO.	DATE	DESCRIPTION	BY

DATE 08-06-02
SCALE NTS
DESIGNED BY CCW
DRAWN BY ANW

PARCEL 524
ENTRANCE, DRIVEWAY AND PARKING
FOR THE
DR. WILLIAM RICKMAN EQUESTRIAN
CENTER AT
WOODSTOCK EQUESTRIAN PARK
MONTGOMERY COUNTY, MARYLAND 3rd ELECTION DISTRICT

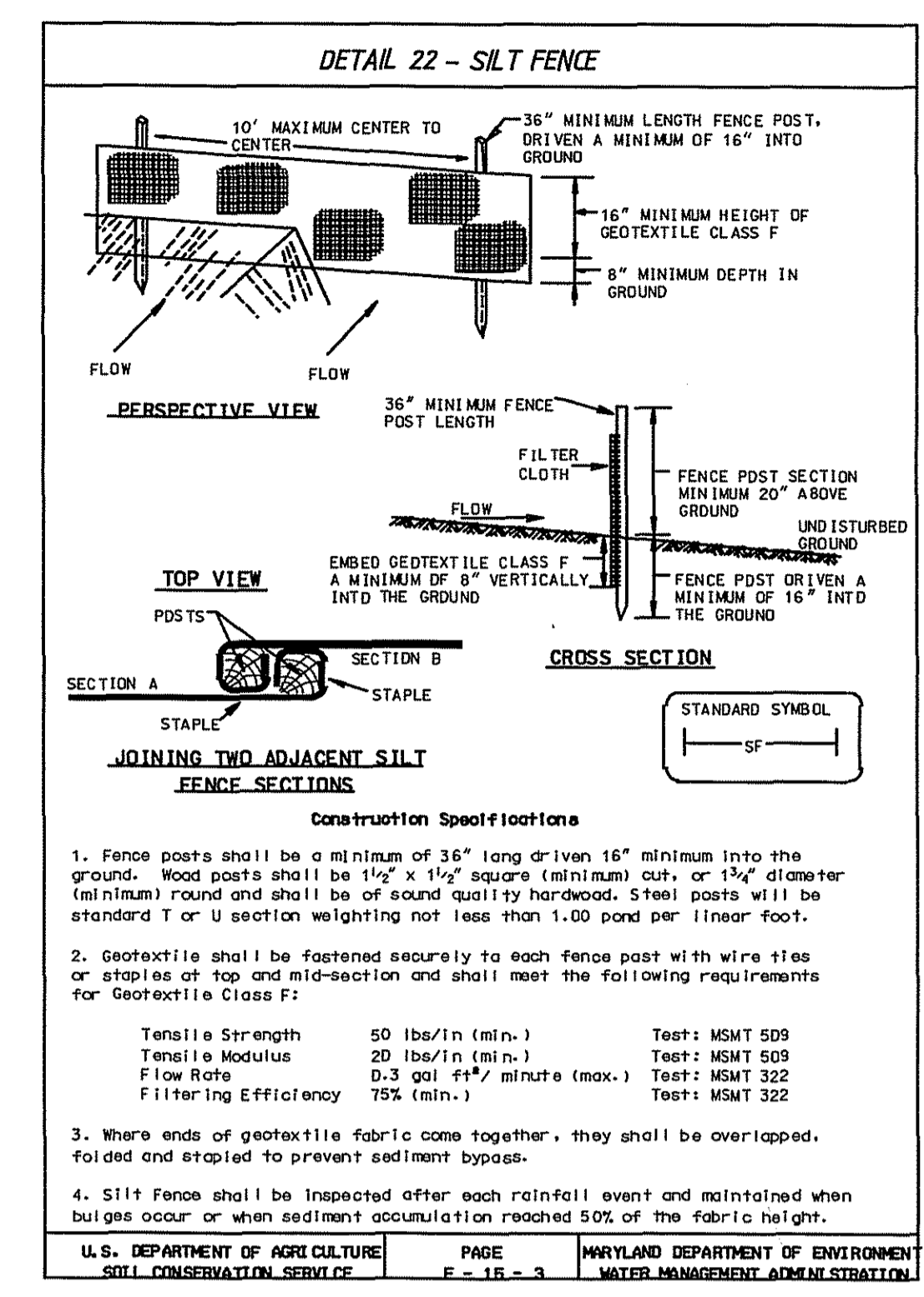
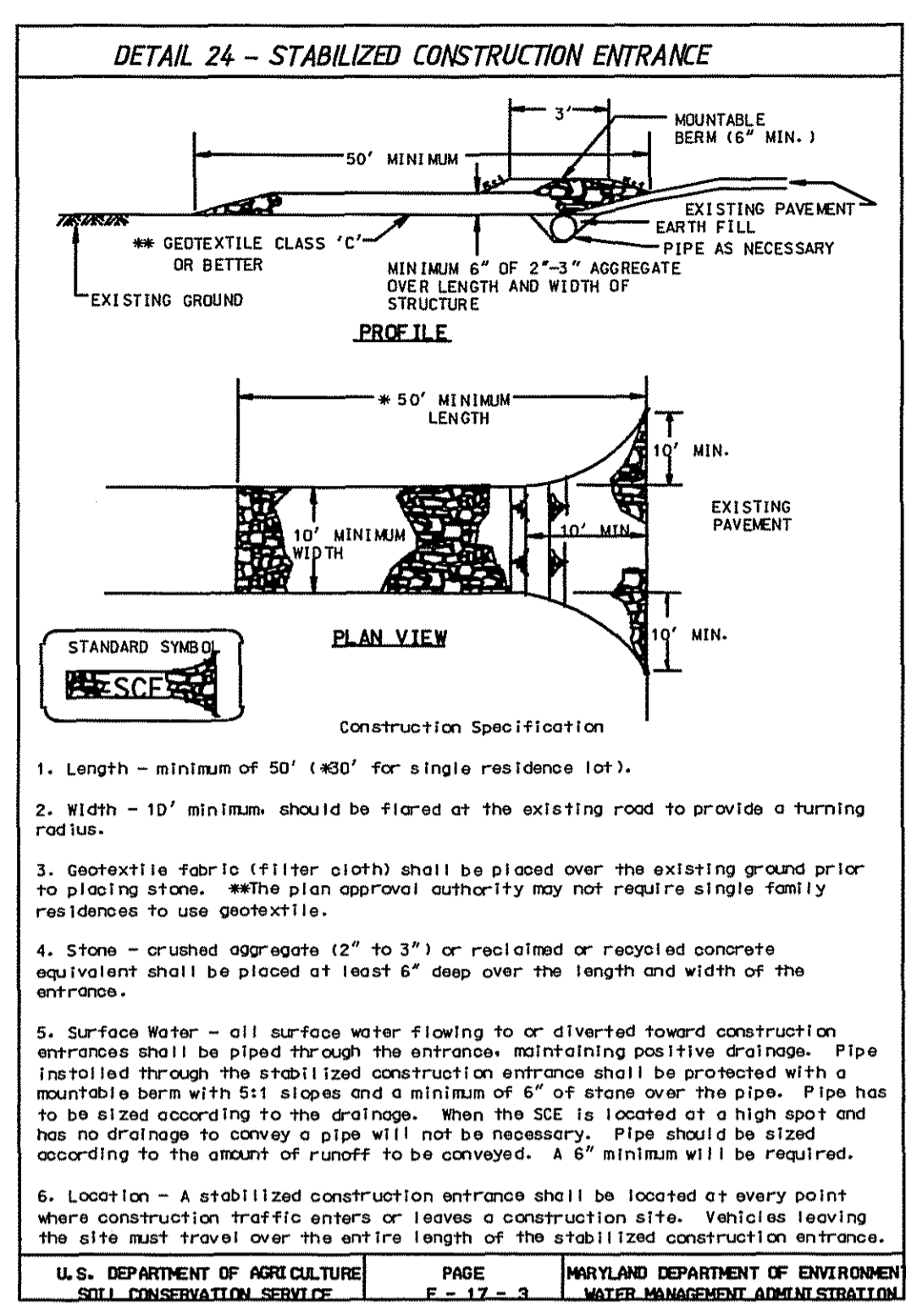
DRAWING NO. 4
SHEET 4 OF 6
KCI JOB NUMBER 1602021



LEGEND

EXISTING TREE LINE	
PROPOSED TREE LINE	
EXISTING GRADE	
PROPOSED GRADE	
PROPOSED EARTH DIKE	
LIMIT OF DISTURBANCE	
SILT FENCE	

SEDIMENT AND EROSION CONTROL PLAN
SCALE: 1" = 60'



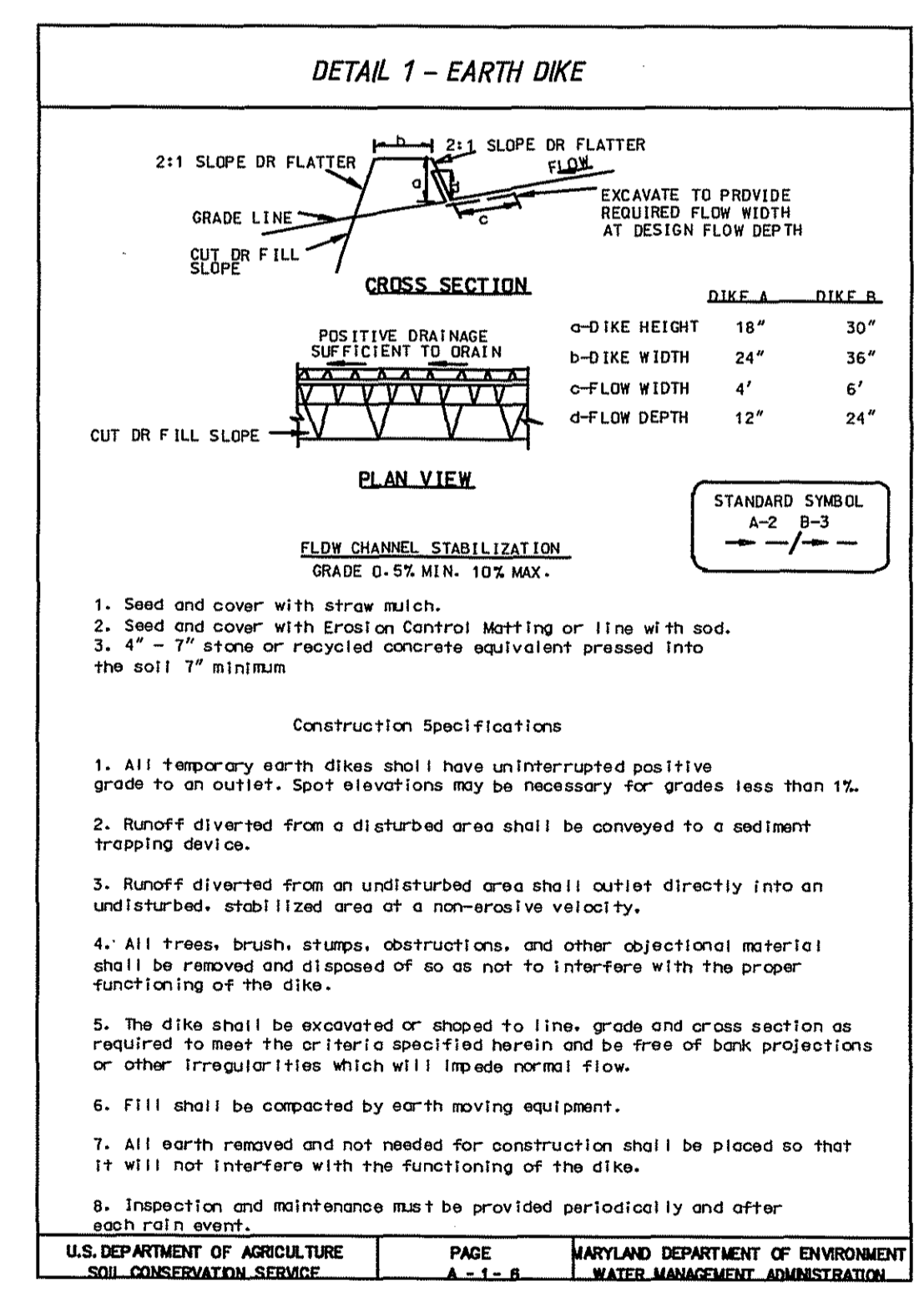
SILT FENCE

Silt Fence Design Criteria

Slope Steepness	(Maximum) Slope Length	(Maximum) Silt Fence Length
Flatter than 50:1	unlimited	unlimited
50:1 to 10:1	125 feet	1,000 feet
10:1 to 5:1	100 feet	750 feet
5:1 to 3:1	60 feet	500 feet
3:1 to 2:1	40 feet	250 feet
2:1 and steeper	20 feet	125 feet

Note: In areas of less than 2% slope and sandy soils (USDA general classification system, Soil Class A) maximum slope length and silt fence length will be unlimited. In these areas a silt fence may be the only perimeter control required.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE E-15-3A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



PREPARED FOR: MARYLAND NATIONAL CAPITAL PARK & PLANNING COMMISSION
c/o MONTGOMERY PARKS FOUNDATION
6910 GREENTREE ROAD
BETHESDA, MD 20817-2200
KEN NICHOLLS (EXECUTIVE DIRECTOR)
301-767-0002 (PH) 301-767-0054 (FX)

KCI TECHNOLOGIES
ENGINEERS PLANNERS SCIENTISTS CONSTRUCTION MANAGERS
14600 Greenview Drive, Suite 404
Lanham, Maryland 20706
410-953-8821 (410) 792-8088
fax: 410-792-7418 www.kci.com

REVISIONS		DATE
NO.	DATE	DESCRIPTION

DATE: 08-06-02
SCALE: 1" = 60'
DESIGNED BY: CGW
DRAWN BY: ARS/ANW

PARCEL 524
ENTRANCE, DRIVEWAY AND PARKING
FOR THE
DR. WILLIAM RICKMAN EQUESTRIAN
CENTER AT
WOODSTOCK EQUESTRIAN PARK
MONTGOMERY COUNTY, MARYLAND 3rd ELECTION DISTRICT

DRAWING NO. 5
SHEET 5 OF 6
KCI JOB NUMBER 1602021
1602021/DRAWINGS/SEDCON.DGN

APPENDIX C
VEGETATIVE STABILIZATION

Permanent and Temporary Seeding, Sodding and Mulching

I. Site Preparation

Permanent or temporary vegetation shall be established within seven (7) days on the surface of all sediment control practices such as diversions, grade stabilization structures, berms, waterways, sediment control basins, and all slopes greater than 3:1 horizontal to 1 vertical (3:1) and within 14 days for all other disturbed or graded areas on the project site. Mulching may only be used on disturbed areas as temporary cover where vegetation is not feasible or where seeding cannot be completed because of weather.

II. Seedbed Preparation and Seeding Application

Loosen the top layer of the soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment such as disc harrows, chiselplows or rippers mounted on construction equipment. Incorporate the lime and fertilizer into the top 3 to 5 inches of the soil by discing or by other suitable means. Rough grass should not be rolled or dragged across, but left in a roughened condition. Steep slopes greater than 3:1 should be tracked by a dozer, leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 1 to 3 inches of soil should be loose and friable. Permanent cover may require an application of topsoil. If so, it must meet the requirements set forth in Section 21.0 Standards and Specifications for Topsoil from the 1994 Standards and Specifications.

III. Soil Amendments

Soil tests shall be made on sites over five acres to determine the exact requirements for both lime and fertilizer. For sites under 5 acres, in lieu of a soil test, apply the following:

Fertilizer	Nitrogen P205 K20	1.5 lbs/sq. ft. 3 lbs/sq. ft. 100 lbs/1000 sq. ft.	(65 lbs/ac) (130 lbs/ac) (12 tons/ac)
------------	-------------------	--	---

For low maintenance areas apply 150 lbs/ac ureaform fertilizer (38-0-0) at 3.5 lbs/1000 sq. ft. in addition to the above fertilizer at the time of seeding.

Ground Limestone 2 tons/ac

IV. Sediment Control Practice Seeding

Select a seeding mixture from Tables 25 or 26 in Section G of the 1994 Standards and Specifications. Document seeding on the erosion and sediment control plan using appropriate chart below. Note: If sediment control practices are in for longer than 12 months, permanent seeding is required.

V. Temporary/Permanent Seeding Mixtures and Rates

Select a seeding mixture from appropriate Table 25 or 26 in Section G of the 1994 Standards and Specifications. Document seeding on the erosion and sediment control plan using appropriate chart below.

PERMANENT SEEDING SUMMARY

No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	Fertilizer Rate (lb/1000-20)			Lime Rate
					N	P205	K20	
3	TALL FESCUE OR PERENNIAL RYEGRASS OR MIXTURE WITH LESPEDEZA	125	3/1 TO 5/15 OR 8/15 TO 10/15	1"-2"	90 lb/ac (2.0 lb/1000 sf)	175 lb/ac (4 lb/1000 sf)	175 lb/ac (4 lb/1000 sf)	2 tons/ac (100 lb/1000 sf)

TEMPORARY SEEDING SUMMARY

No.	Species	Application Rate (lb/ac)	Seeding Dates	Seeding Depths	Fertilizer Rate (lb/10-10-10)			Lime Rate
					N	P205	K20	
1	BARLEY	150	2/1 TO 4/30 OR 5/1 TO 8/14		600 lb/ac (15 lb/1000 sf)			2 tons/ac (100 lb/1000 sf)

VII. Turfgrass Establishment

This includes lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance. Areas to receive seed shall be tilled by discing or by other approved methods to a depth of 3 to 5 inches, leveled and raked to prepare a proper seedbed. Stones and debris over 1 1/2 inches in diameter shall be removed. The resulting seedbed shall be in such condition that future mowing of grasses will pose no difficulty. Use certified material and choose a turfgrass mixture from page G-20 of the 1994 Standards and Specifications or select from the list in the most current University of Maryland publication, Agronomy Mimeo #77, "Turfgrass Cultivar Recommendations for Maryland". See memo at end of this section.

VIII. Mulching

All seedings require mulching. Also mulch during non-seeding dates until seeding can be done.

Mulch shall be unrotted, unchopped, small grain straw applied at a rate of 2 tons/acre or 90 lbs/1000 sq. ft. (2 bales). If a mulch anchoring tool is used, apply 2.5 tons/acre. Mulch materials shall be relatively free of all kinds of weeds and shall be completely free of prohibited noxious weeds. Spread mulch uniformly, mechanically or by hand, to a depth of 1-2 inches. Mulch anchoring shall be accomplished immediately after mulch placement to minimize loss by wind or water. This may be done by mulch nettings, mulch anchoring tool, wood cellulose fiber or liquid mulch binders.

Apply wood cellulose fiber at a dry weight of 1,500 lbs/acre. If mixed with water, use 50 lbs. of wood cellulose fiber per 100 gallons of water.

Liquid binder should be applied heavier at the edge, where wind catches mulch in valleys, and on crest of banks. The remainder of the area should appear uniform after binder application. Apply rates recommended by the manufacturer to anchor and mulch. Staple light weight, plastic netting over the mulch according to manufacturer's recommendations.

VIII. Sodding

Class of turfgrass sod shall be Maryland or Virginia State certified, or Maryland or Virginia State approved sod. Sod shall be harvested, delivered and installed within a period of 36 hours. Sod is to be laid with the long edges parallel to the contour using staggered joints with offsets lightly abuted and not overlapping. Sod shall be rolled and thoroughly watered after installation. Daily watering to maintain 4 inch depth of moisture for the first week is required in the absence of rainfall. Sod is not to be applied on frozen ground.

IX. Maintenance

A. Irrigation - Apply minimum 1" of water every 3 to 4 days depending on soil texture, when soil moisture becomes deficient to prevent loss of stand of protective vegetation.

B. Repairs - If stand provides between 40% and 84% ground coverage, overseed and fertilize using half of the rates originally applied. If stand provides less than 40% coverage, reestablish stand following original rates and procedures.

Note: Use of this information does not preclude meeting all of the requirements of the 1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control Vegetative Practices.

21.0 STANDARD AND SPECIFICATIONS
FOR
TOPSOIL

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials toxic to plants, and/or unacceptable soil gradation.

Conditions Where Practice Applies

I. This practice is limited to areas having 2:1 or flatter slopes where:

- The texture of the exposed subsoil/parent materials is not adequate to produce vegetative growth.
- The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.
- The original soil to be vegetated contains material toxic to plant growth.
- The soils so acidic that treatment with limestone is not feasible.

II. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsoil to be salvaged for a given soil type can be found in the representative soil profile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experiment Station.

II. Topsoil Specifications - Soil to be used as topsoil must meet the following:

- Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or soil scientist and approved by the appropriate approval authority. Regardless, topsoil shall not be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than 1 1/2" in diameter.
- Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, johnsongrass, nutcase, poison ivy, thistle, or others as specified.
- Where the subsoil is either highly acidic or composed of heavy clays, (ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

III. For sites having disturbed areas under 5 acres place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

IV. For sites having disturbed areas over 5 acres:

- On soil meeting Topsoil specifications, obtain test results denoting fertilizer and lime amendments required to bring the soil into compliance with the following:
 - pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to 6.5 or higher.
 - Organic content of topsoil shall be not less than 1.5 percent by weight.
 - Topsoil having soluble salt content greater than 500 parts per million shall not be used.
 - No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed control unless sufficient time has elapsed (14 days min.) to permit dissipation of phytotoxic materials.

Note: Topsoil substitutes or amendments, as recommended by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural topsoil.

- Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative Stabilization - Section I - Vegetative Stabilization Methods and Materials.

V. Topsoil Application

- When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment Traps and Basins.
 - Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.
- Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a manner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.
- Topsoil shall not be placed while the topsoil or subsoil is in a frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

- Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following requirements:
 - Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.
 - Composted sludge shall contain at least 1 percent nitrogen, 15 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be added to meet the requirements prior to use.
 - Composted sludge shall be applied at a rate of 1 ton/1,000 square feet.
- Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normal lime application rate.

References: Guideline Specifications, Soil Preparation and Sodding MD-VA, Pub. #1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institute. Revised 1973.

19.0 STANDARDS AND SPECIFICATIONS
FOR
LAND GRADING

Design Criteria

The grading plan should be based upon the incorporation of building designs and street layouts that fit and utilize existing topography and existing structures to avoid extreme grade modifications. Information submitted must provide sufficient topographic surveys and soil investigations to determine limitations that must be imposed on the grading operation related to slope stability, effect on adjacent properties and drainage patterns, measures for drainage and water removal and vegetative treatment, etc.

Many counties have regulations and design procedures already established for land grading and cut and fill slopes. Where these requirements exist, they shall be followed. The plan must show existing and proposed contours of the area(s) to be graded. The plan shall also include practices for erosion control, slope stabilization, safe disposal of runoff water and drainage, such as waterways, lined ditches, reverse slope benches (include grade and cross section), grade stabilization structures, retaining walls, and surface and subsurface drains. The plan shall also include phasing of these practices. The following shall be incorporated into the plan:

I. Provisions shall be made to safely conduct surface runoff to storm drains, protected outlets or to stable water courses to insure that surface runoff will not damage slopes or other graded areas.

II. Cut and fill slopes that are to be stabilized with grasses shall not be steeper than 2:1. (Where the slope is to be mowed the slope should be no steeper than 3:1-4:1 is preferred because of safety factors related to mowing steep slopes.) Slopes exceeding 2:1 shall require special design and stabilization considerations that shall be adequately shown on the plans.

III. Reverse benches shall be provided whenever the vertical interval (height) of any 2:1 slope exceeds 20 feet; for 3:1 slope it shall be increased to 30 feet and for 4:1 to 40 feet. Benches shall be located to divide the slope face as equally as possible and shall convey the water to a stable outlet. Soils, seeps, rock outcrops, etc., shall also be taken into consideration when designing benches.

A. Benches shall be a minimum of six-feet wide to provide for ease of maintenance.

B. Benches shall be designed with a reverse slope of 6:1 or flatter to the toe of the upper slope and with a minimum of one foot in depth. Bench gradient to the outlet shall be between 2 percent and 3 percent, unless accompanied by appropriate design and computations.

C. The flow length within a bench shall not exceed 800' unless accompanied by appropriate design and computations. For flow channel stabilization see Temporary Swale.

IV. Surface water shall be diverted from the face of all cut and/or fill slopes by the use of earth dikes, ditches and swales or conveyed downslope by the use of a designed structure, except where:

- The face of the slope is or shall be stabilized and the face of all graded slopes shall be protected from surface runoff until they are stabilized.
- The face of the slope shall not be subject to any concentrated flows of surface water such as from natural drainageways, graded swales, downspouts, etc.
- The face of the slope will be protected by special erosion control materials, to include, but not limited to: approved vegetative stabilization practices (see section G), rip-rap or other approved stabilization methods.

V. Cut slopes occurring in ripable rock shall be serrated as shown on the following diagram. These serrations shall be made with conventional equipment as the excavation is made. Each step or serration shall be constructed on the contour and will have steps cut at nominal two-foot intervals with nominal three-foot horizontal shelves. These steps will vary depending on the slope ratio or the cut slope. The nominal slope line is 1:1. These steps will weather and act to hold moisture, lime, fertilizer and seed thus producing a much quicker and longer lived vegetative cover and better slope stabilization. Overland flow shall be diverted from the top of all serrated cut slopes and carries to a suitable outlet.

VI. Subsurface drainage shall be provided where necessary to intercept seepage that would otherwise adversely affect slope stability or create excessively wet site conditions.

VII. Slopes shall not be created so close to property lines as to endanger adjoining properties without adequately protecting such properties against sedimentation, erosion, slippage, settlement, subsidence or other related damages.

VIII. Fill material shall be free of brush, rubbish, rocks, logs, stumps, building debris, and other objectionable material. It shall be free of stones over two (2) inches in diameter where compacted by hand or mechanical tampers or over eight (8) inches in diameter where compacted by rollers or other equipment. Frozen material shall not be placed in the fill nor shall the fill material be placed on a frozen foundation.

IX. Stockpiles, borrow areas and spoil shall be shown on the plans and shall be subject to the provisions of this Standard and Specifications.

X. All disturbed areas shall be stabilized structurally or vegetatively in compliance with 20.0 Standards and Specifications for Vegetative Stabilization.

GEOTEXTILE FABRICS

CLASS	APPARENT OPENING SIZE MM. MAX.	GRAB TENSILE STRENGTH LB. MIN	BURST STRENGTH PSI. MIN
A	0.30	250	500
B	0.60	200	320
C	0.30	200	320
D	0.60	90	145
E	0.30	90	145
F (SILT FENCE)	0.40-0.80*	90	190

* US Std Sieve CW-00215

STONE SIZE

	SIZE RANGE	D ₁₀	D ₅₀	AASHTO	WEIGHT
NUMBER 57*	3/8"-1 1/2"	1/2"	1 1/2"	M-43	N/A
NUMBER 1	2"-3"	2 1/2"	3"	M-43	N/A
RIP-RAP**	4"-7"	5 1/2"	7"	N/A	N/A
CLASS I	N/A	9.5"	15"	N/A	150 LB MAX
CLASS II	N/A	16"	24"	N/A	700 LB MAX
CLASS III	N/A	23"	34"	N/A	2000 LB MAX

* This classification is to be used on the inside face of stone outlets and check dams

** This classification is to be used when ever small rip-rap is required. The State Highway Administration designation for this stone is Stone For Gobions (905.01.04)

GENERAL NOTES

- The developer is responsible for the acquisition of all required easement, right and/or rights-of-way pursuant to the discharge from the sediment and erosion control practices, stormwater management practices, and the discharge of stormwater onto or across and grading or other work to be performed on adjacent or downstream properties affected by this plan.
- Following initial soil disturbance or redistribution, permanent or temporary stabilization shall be completed within:
 - Seven calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes greater than three horizontal to one vertical (3:1) and
 - Fourteen days for all other disturbed or graded areas on the project site.

The in-place sediment control measures will be maintained on a continuing basis until the site is permanently stabilized and all permit requirements are met.

- On all sites with disturbed areas in excess of two acres, approval of the inspection agency is requested upon completion of installation of perimeter erosion and sediment controls before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals will not be authorized until this initial approval by the inspection agency is made.

- Approval shall be requested upon final stabilization of all sites with disturbed areas in excess of two acres before removal of controls.

Disturbed surface area: 3.42 Ac.
 Volume of soil material: 7308 c.y.
 Volume of borrow material: 423 c.y.
 List predominant soil types and general description per PGSCD soil survey:

50A - Rowland silt loam, 0 to 3% slopes, occasionally flooded
 18C - Brynlow-Brownstown channel silt loams, 8 to 15% slopes
 18D - Brynlow-Brownstown channel silt loams, 15 to 25% slopes

- SITE AREA STATEMENT
Total lot area = 353.62 Acres

SEQUENCE OF CONSTRUCTION

- Meet with inspector for pre-construction meeting. 1 DAY
- Clear for and install sediment control measures (E, Silt fence stabilized construction entrances, earth dikes) as shown on the plans. 2 DAYS
- With the inspector's approval, clear and grade the site within the limits of disturbance. 2 WEEKS
- Install paving. 3 DAYS
- Stabilize all disturbed areas. 2 DAYS
- With silt fence protection, install Bioretention Areas 1A, B, & 2. 3 DAYS
- Stabilize all disturbed areas. 1 DAY
- With the inspector approval, remove all sediment control measures. 2 DAYS

OWNER'S/DEVELOPER'S CERTIFICATION

I/We hereby certify that all clearing, grading, construction, and/or development will be done pursuant to this plan and that any responsible personnel involved in the construction project will have a Certificate of Attendance at a Department of Natural Resources approved training program for the control of sediment and erosion before beginning the project.

Signature _____ Date _____

DESIGN CERTIFICATION

I hereby certify that this plan has been prepared in accordance with the "1994 Maryland Standards and Specifications for Soil Erosion and Sediment Control", Montgomery County Department of Permitting Services Executive Regulations 5-90 and 36-90, and Montgomery County Department of Public Works and Transportation "Storm Drain Design Criteria" dated August 1988.

Design Engineer Signature _____ Date _____
 Marianne Kiernan, PE
 MD Registration No. 25058

CERTIFICATION OF THE QUANTITIES

I hereby certify that the estimated total amount of excavation and fills shown on these plans has been computed to be 7,308 cubic yards of excavation, 423 cubic yards of fill and the total area to be disturbed as shown on these plans has been determined to be 148,875 square feet (3.42 Ac.)

Signature _____ Date _____
 Marianne Kiernan, PE
 MD Registration No. 25058

PREPARED FOR:
 MARYLAND NATIONAL CAPITAL PARK & PLANNING COMMISSION
 c/o MONTGOMERY PARKS FOUNDATION
 6910 GREENTREE ROAD
 BETHESDA, MD 20817-2200
 KEN NICHOLLS (EXECUTIVE DIRECTOR)
 301-767-0002 (PH) 301-767-0054 (FX)

ENGINEERS PLANNERS SCIENTISTS CONSTRUCTION MANAGERS
KCI TECHNOLOGIES
 16502 Greenleaf Drive, Suite 424
 Laurel, Maryland 20776
 (301) 953-1821 (410) 782-8088
 fax (410) 792-7418
 www.kci.com

REVISIONS			
NO.	DATE	DESCRIPTION	BY
	08-06-02		

PARCEL 524
 ENTRANCE, DRIVEWAY AND PARKING
 FOR THE
 DR. WILLIAM RICKMAN EQUESTRIAN
 CENTER AT
 WOODSTOCK EQUESTRIAN PARK
 MONTGOMERY COUNTY, MARYLAND 3rd ELECTION DISTRICT

DRAWING NO.
6
 SHEET 6 OF 6
 RCT JOB NUMBER
 1602021

10/9/02

Owen -

For noticing for Brewer Farm project:

Jim Brown
Sugarloaf Citizens Assoc.
P.O. Box 442
Barnesville, MD. 20838

Perry Kaysch -
Historic Medley

I told Perry, via voice
mail, that we would
send the notice + info.
to the P.O. Box address
you have ... and if
✓ she wants something sent
to her home address, she
should call us with the
address. ...

Robin

Gwen:

For one, My cellphone # is (703) 625-5413.

Clam out at Kensington HP, Takoma Park HP, & Hawkins Lane — I forgot yesterday to remind you of the "Interested prop. Owners" which need to be notified for Case A (the gravel road improvements) for the Brewers Farm. The LAP has not been notified either — all that stuff is ready to be "sorta" sent and are partially done on the big table. Robin & I assembled the information, but needed adjacent addresses, which are not included with the plans & HAWP form.

I hope this all makes sense. Call me if you have any questions — Thanks, & see you later!
(probably Afternoon...)

Corri

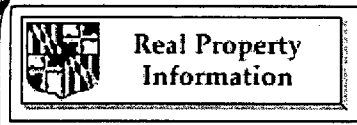
see attached

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	

g'addresses: noticing table

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Maryland Department of Assessments and Taxation
Real Property System

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MONTGOMERY COUNTY

DISTRICT: 03 ACCT NO: 00040687

Owner Information

Owner Name: SCOTT, DAVID O & J N
Mailing Address: 20400 DARNESTOWN RD
DICKERSON MD 20842

Use: AGRICULTURAL
Principal Residence: NO

Transferred

From: Date: 11/21/1977 Price: \$100,000
Deed Reference: 1) / 5052/ 417 Special Tax Recapture:
2) AGRICULTURAL TRANSFER TAX

Tax Exempt: NO

Location Information [View Map]

Premises Address: 20320 DARNESTOWN RD
DICKERSON 20842
Zoning: RDT
Legal Description: WOODSTOCK ETC

Map Grid Parcel Subdiv Sect Block Lot Group Plat No:
CU13 P262 1 80 Plat Ref:

Special Tax Areas

Town:
Ad Valorem:
Tax Class: 42

Primary Structure Data

Year Built: 0000 Enclosed Area: 2,404 SF Property Land Area: 26.11 AC County Use: 812

Value Information

Base Value Current Value Phase-In Value Phase-In Assessments

	As Of 01/01/2001	As Of 07/01/2001	As Of 07/01/2000	As Of 07/01/2001
Land:	54,550	54,550		
Impts:	85,980	92,130		
Total:	140,530	146,680	142,580	142,580
Pref Land:	4,550	4,550	4,550	4,550

PREFERENTIAL LAND VALUE

INCLUDED IN LAND VALUE

Partial Exempt Assessments

	Code	07/01/2000	07/01/2001
County	000	0	0
State	000	0	0
Municipal	000	0	0

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 <p>Real Property Information</p>	<p>Maryland Department of Assessments and Taxation Real Property System</p>
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MONTGOMERY COUNTY

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DISTRICT: 03 ACCT NO: 01538850

Owner Information

Owner Name: STEWART BRAVO GREENBERG PTNS **Use:** AGRICULTURAL

Mailing Address: 1050 CONNECTICUT AVE NW
WASHINGTON DC 20036-5303 **Principal Residence:** NO

Transferred

From: **Date:** 12/19/1986 **Price:** \$473,191

Deed Reference: 1) / 7455/ 827 **Special Tax Recapture:**
2) AGRICULTURAL TRANSFER TAX

Tax Exempt: NO

Location Information [View Map]

Premises Address: DARNESTOWN RD
DICKERSON 20842 **Zoning:** RDT **Legal Description:** WOODSTOCK

Map	Grid	Parcel	Subdiv	Sect	Block	Lot	Group	Plat No:
CU13		P501	1				80	Plat Ref:

Special Tax Areas

Town:
Ad Valorem:
Tax Class: 42

Primary Structure Data

Year Built:	Enclosed Area:	Property Land Area:	County Use:
0000		81.88 AC	812

Value Information

	Base Value	Current Value	Phase-In Value	Phase-in Assessments	
		As Of	As Of	As Of	As Of
		01/01/2001	07/01/2001	07/01/2000	07/01/2001
Land:	15,350	15,350			
Impts:	0	0			
Total:	15,350	15,350	15,350	6,140	15,350
Pref Land:	15,350	15,350	15,350	6,140	15,350

PREFERENTIAL LAND VALUE
INCLUDED IN LAND VALUE

	Code	07/01/2000	07/01/2001
County	000	0	0
State	000	0	0
Municipal	000	0	0

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Maryland Department of Assessments and Taxation
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MONTGOMERY COUNTY

DISTRICT: 11 ACCT NO: 01467488

Owner Information

Owner Name: ~~TIBBS, WILLIAM R ET AL~~

Use: RESIDENTIAL

Mailing Address: ~~20955 BIG WOODS RD
DICKERSON MD 20842~~

Principal Residence: YES

Transferred

From:

Date: 09/07/1982 **Price:** \$0

Deed Reference: 1) / 5925/ 626
2)

Special Tax Recapture:

* NONE *

Tax Exempt: NO

Location Information [View Map]

Premises Address:
20955 BIG WOODS RD
DICKERSON 20842

Zoning: R200 **Legal Description:** WOODSTOCK 5271-634

Map	Grid	Parcel	Subdiv	Sect	Block	Lot	Group	Plat No:
CV31		P909	1			P1	80	Plat Ref:

Special Tax Areas

Town:
Ad Valorem:
Tax Class: 42

Primary Structure Data

Year Built:	Enclosed Area:	Property Land Area:	County Use:
1966	1,009 SF	3.75 AC	111

Value Information

	Base Value	Current Value	Phase-In Value Phase-in Assessments	
			As Of 01/01/2001	As Of 07/01/2001
Land:	34,370	34,370		
Impts:	67,920	71,900		
Total:	102,290	106,270	103,616	40,910
Pref Land:	0	0	0	0

Partial Exempt Assessments

	Code	07/01/2000	07/01/2001
County	000	0	0
State	000	0	0
Municipal	000	0	0

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 <p>Real Property Information</p>	<p>Maryland Department of Assessments and Taxation</p> <p>Real Property System</p>
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MONTGOMERY COUNTY

DISTRICT: 11 ACCT NO: 00916027

Owner Information

Owner Name: SEELY, GARTH S & A S **Use:** RESIDENTIAL
Mailing Address: P.O. BOX 364 **Principal Residence:** NO
 BARNESVILLE MD 20838

Transferred

From: IRVIN E HACKETT **Date:** 10/13/1995 **Price:** \$0

Deed Reference: 1) /13686/ 186 **Special Tax Recapture:**

2)

* NONE *

Tax Exempt: NO

Location Information [View Map]

Premises Address: 21010 BIG WOODS RD
 DICKERSON 20842 **Zoning:** R200 **Legal Description:** CASE 4418 BLANTYN

Map	Grid	Parcel	Subdiv	Sect	Block	Lot	Group	Plat No:
CV31		P964	1				80	Plat Ref:

Special Tax Areas

Town:
Ad Valorem:
Tax Class: 42

Primary Structure Data

Year Built:	Enclosed Area:	Property Land Area:	County Use:
1926		2.00 AC	111

Value Information

	Base Value	Current Value	Phase-In Value	Phase-In Assessments
		As Of	As Of	As Of
		01/01/2001	07/01/2001	07/01/2000
Land:	15,000	15,000		
Impts:	0	0		
Total:	15,000	15,000	15,000	6,000
Prof Land:	0	0	0	0

Partial Exempt Assessments

	Code	07/01/2000	07/01/2001
County	000	0	0
State	000	0	0
Municipal	000	0	0

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 <p>Real Property Information</p>	<p>Maryland Department of Assessments and Taxation Real Property System</p>
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MONTGOMERY COUNTY

DISTRICT: 11 ACCT NO: 00918232

Owner Information

Owner Name: SEELY, GARTH C & A R **Use:** RESIDENTIAL
Mailing Address: P.O. BOX 364 **Principal Residence:** NO
 BARNESVILLE MD 20838

Transferred

From: JOHN T HARDISTY **Date:** 12/14/1995 **Price:** \$50,000

Deed Reference: 1) /13819/ 166 **Special Tax Recapture:**

2)

* NONE *

Tax Exempt: NO

Location Information [View Map]

Premises Address: BIG WOODS RD **Zoning:** R200 **Legal Description:** BARNESVILLE DISTRICT

Map	Grid	Parcel	Subdiv	Sect	Block	Lot	Group	Plat No:
CV31		P906	1				80	Plat Ref:

Special Tax Areas

Town:
Ad Valorem:
Tax Class: 42

Primary Structure Data

Year Built:	Enclosed Area:	Property Land Area:	County Use:
0000		4.00 AC	910

Value Information

	Base Value	Current Value	Phase-In Value	Phase-in Assessments	
		As Of	As Of	As Of	As Of
		01/01/2001	07/01/2001	07/01/2000	07/01/2001
Land:	34,000	34,000			
Impts:	0	0			
Total:	34,000	34,000	34,000	13,600	34,000
Pref Land:	0	0	0	0	0

Partial Exempt Assessments

	Code	07/01/2000	07/01/2001
County	000	0	0
State	000	0	0
Municipal	000	0	0

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 <p>Real Property Information</p>	<p>Maryland Department of Assessments and Taxation Real Property System</p>
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MONTGOMERY COUNTY

DISTRICT: 11 ACCT NO: 01634440

Owner Information

Owner Name: ~~ONLEY, LARRY S~~

Use: RESIDENTIAL

Mailing Address: ~~19313 SAINT JOHNSBURY LN
GERMANTOWN MD 20876-1608~~

Principal Residence: NO

Transferred

From:

Date: 02/19/1981 **Price:** \$0

Deed Reference: 1) / 5659/ 754
2)

Special Tax Recapture:

* NONE *

Tax Exempt: NO

Location Information [View Map]

Premises Address:

Zoning: Legal Description:

BIG WOODS RD

R200 WOODSTOCK

Map	Grid	Parcel	Subdiv	Sect	Block	Lot	Group	Plat No:
CV31		P986	1				80	Plat Ref:

Special Tax Areas

Town:

Ad Valorem:

Tax Class: 42

Primary Structure Data

Year Built:

Enclosed Area:

Property Land Area:

County Use:

0000

1.00 AC

990

Value Information

Base Value Current Value Phase-In Value Phase-in Assessments

		As Of	As Of	As Of	As Of
		01/01/2001	07/01/2001	07/01/2000	07/01/2001
Land:	3,000	3,000			
Impts:	0	0			
Total:	3,000	3,000	3,000	1,200	3,000
Pref Land:	0	0	0	0	0

Partial Exempt Assessments

	Code	07/01/2000	07/01/2001
County	000	0	0
State	000	0	0
Municipal	000	0	0

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MONTGOMERY COUNTY

DISTRICT: 11 ACCT NO: 00920873

Owner Information

Owner Name: ~~CARTER, MARTHA A~~ **Use:** RESIDENTIAL
TIBBSTEAD OAKS
Mailing Address: PO BOX 1183 **Principal Residence:** NO
 ROCKVILLE MD 20849

Transferred

From: **Date:** 07/23/1991 **Price:** \$0

Deed Reference: 1) / 9854/ 113 **Special Tax Recapture:**
 2)

* NONE *

Tax Exempt: NO

Location Information [View Map]

Premises Address: **Zoning:** **Legal Description:**
 BIG WOODS RD R200 WOODSTOCK 1068/225

Map	Grid	Parcel	Subdiv	Sect	Block	Lot	Group	Plat No:
CU33		P018	1				80	Plat Ref:

Special Tax Areas **Town:**
Ad Valorem:
Tax Class: 42

Primary Structure Data

Year Built: 0000 **Enclosed Area:** 2.00 AC **Property Land Area:** 2.00 AC **County Use:** 910

Value Information

		Base Value	Current Value	Phase-In Value	Phase-in Assessments	
			As Of	As Of	As Of	As Of
			01/01/2001	07/01/2001	07/01/2000	07/01/2001
Land:	18,000	18,000				
Impts:	0	0				
Total:	18,000	18,000	18,000	7,200	18,000	
Prof Land:	0	0	0	0	0	0

Partial Exempt Assessments

		Code	07/01/2000	07/01/2001
County	000		0	0
State	000		0	0
Municipal	000		0	0

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MONTGOMERY COUNTY

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DISTRICT: 06 ACCT NO: 02577468

Owner Information

Owner Name: **BAUER, KEITH L & TRESSA GATEWOOD BAUER** Use: RESIDENTIAL

Mailing Address: **12231 GALESVILLE DR GAITHERSBURG MD 20878-2074** Principal Residence: YES

Transferred

From: STEPHENS, JERRY A & R O Date: 08/11/2000 Price: \$330,000

Deed Reference: 1) /18310/ 742 Special Tax Recapture:

2)

* NONE *

Tax Exempt: NO

Location Information [\[View Map\]](#)

Premises Address: 12231 GALESVILLE DR
GAITHERSBURG 20878-2074

Zoning: R200

Legal Description: QUINCE ORCHARD VALLE Y

Map Grid: ET51

Parcel: 4

Subdiv: F

Sect: 87

Block: 80

Lot: 80

Group: 15702

Plat No: 15702

Plat Ref:

Special Tax Areas

Town:

Ad Valorem:

Tax Class: 42

Primary Structure Data

Year Built: 1988

Enclosed Area: 3,604 SF

Property Land Area: 14,312.00 SF

County Use: 111

Value Information

Base Value Current Value Phase-In Value Phase-in Assessments

	As Of	As Of	As Of	As Of
	01/01/2001	07/01/2001	07/01/2000	07/01/2001
Land:	64,310	108,620		
Impts:	244,480	207,350		
Total:	308,790	315,970	311,183	311,183
Pref Land:	0	0	0	0

Partial Exempt Assessments

	Code	07/01/2000	07/01/2001
County	000	0	0
State	000	0	0
Municipal	000	0	0

 <p>Real Property Information</p>	<p>Maryland Department of Assessments and Taxation Real Property System</p>
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MONTGOMERY COUNTY

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DISTRICT: 11 ACCT NO: 00921456

Owner Information

Owner Name: WATSON, TERRELL C & L M **Use:** RESIDENTIAL
Mailing Address: 20440 BEALLSVILLE RD **Principal Residence:** YES
 DICKERSON MD 20842

Transferred

From: **Date:** 06/06/1968 **Price:** \$3,500
Deed Reference: 1) / 3745/ 58 **Special Tax Recapture:**
 2) HOMEOWNERS TAX CREDIT

Tax Exempt: NO

Location Information [View Map]

Premises Address: **Zoning:** **Legal Description:**
 20440 BEALLSVILLE RD R200 WOODSTOCK
 DICKERSON 20842

Map	Grid	Parcel	Subdiv	Sect	Block	Lot	Group	Plat No:
CU33		P306	1				80	Plat Ref:

Special Tax Areas

Town:
Ad Valorem:
Tax Class: 42

Primary Structure Data

Year Built:	Enclosed Area:	Property Land Area:	County Use:
1975	1,350 SF	6.00 AC	111

Value Information

Base Value Current Value Phase-In Value Phase-in Assessments

		As Of 01/01/2001	As Of 07/01/2001	As Of 07/01/2000	As Of 07/01/2001
Land:	56,000	56,000			
Impts:	124,120	130,230			
Total:	180,120	186,230	182,156	72,040	182,156
Pref Land:	0	0	0	0	0

Partial Exempt Assessments

	Code	07/01/2000	07/01/2001
County	000	0	0
State	000	0	0
Municipal	000	0	0

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 <p>Real Property Information</p>	<p>Maryland Department of Assessments and Taxation Real Property System</p>
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MONTGOMERY COUNTY

DISTRICT: 11 ACCT NO: 00921445

Owner Information

Owner Name: ~~WATSON, TERRELL C & L M~~ **Use:** RESIDENTIAL
Mailing Address: ~~20440 BEALLSVILLE RD~~ **Principal Residence:** NO
~~DICKERSON MD 20842~~

Transferred

From: **Date:** 11/29/1965 **Price:** \$0

Deed Reference: 1) / 3440/ 356 **Special Tax Recapture:**

2)

* NONE *

Tax Exempt: NO

Location Information [View Map]

Premises Address: **Zoning:** **Legal Description:**
 20436 BEALLSVILLE RD R200 WOODSTOCK
 DICKERSON 20842

Map	Grid	Parcel	Subdiv	Sect	Block	Lot	Group	Plat No:
CU33		P287	1				80	Plat Ref:

Special Tax Areas

Town:
Ad Valorem:
Tax Class: 42

Primary Structure Data

Year Built:	Enclosed Area:	Property Land Area:	County Use:
0000		2.00 AC	910

Value Information

	Base Value	Current Value	Phase-In Value	Phase-in Assessments
	As Of	As Of	As Of	As Of
	01/01/2001	07/01/2001	07/01/2000	07/01/2001
Land:	15,000	15,000		
Impts:	0	0		
Total:	15,000	15,000	15,000	6,000
Prof Land:	0	0	0	0

Partial Exempt Assessments

	Code	07/01/2000	07/01/2001
County	000	0	0
State	000	0	0
Municipal	000	0	0

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 <p>Real Property Information</p>	<p>Maryland Department of Assessments and Taxation Real Property System</p>
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MONTGOMERY COUNTY

DISTRICT: 11 ACCT NO: 00920782

Owner Information

Owner Name: THOMAS, MARY L ET AL **Use:** RESIDENTIAL
Mailing Address: 20430 BEALLSVILLE RD **Principal Residence:** YES
 BEALLSVILLE MD 20839-3348

Transferred

From: ALLEN H & M L THOMAS **Date:** 01/04/1999 **Price:** \$0

Deed Reference: 1) /16627/ 481 **Special Tax Recapture:**
 2) HOMEOWNERS TAX CREDIT

Tax Exempt: NO

Location Information [View Map]

Premises Address: **Zoning:** **Legal Description:**
 20430 BEALLSVILLE RD R200 WOODSTOCK
 DICKERSON 20842-3348

Map	Grid	Parcel	Subdiv	Sect	Block	Lot	Group	Plat No:
CU33		P395	1				80	Plat Ref:

Special Tax Areas

Town:
Ad Valorem:
Tax Class: 42

Primary Structure Data

Year Built:	Enclosed Area:	Property Land Area:	County Use:
1963	864 SF	2.00 AC	111

Value Information

	Base Value	Current Value	Phase-In Value	Phase-in Assessments
		As Of	As Of	As Of
		01/01/2001	07/01/2001	07/01/2000 07/01/2001
Land:	45,000	45,000		
Impts:	64,060	66,980		
Total:	109,060	111,980	110,033	43,620 110,033
Pref Land:	0	0	0	0 0

Partial Exempt Assessments

	Code	07/01/2000	07/01/2001
County	000	0	0
State	000	0	0
Municipal	000	0	0

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 <p>Real Property Information</p>	<p>Maryland Department of Assessments and Taxation Real Property System</p>
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MONTGOMERY COUNTY

DISTRICT: 11 ACCT NO: 00917341

Owner Information

Owner Name: JONES, STEPHEN M & A C **Use:** AGRICULTURAL
Mailing Address: 10500 ROCKVILLE PIKE #1705 **Principal Residence:** NO
 ROCKVILLE MD 20852

Transferred

From: _____ **Date:** 01/31/1969 **Price:** \$190,000

Deed Reference: 1) / 3828/ 397 **Special Tax Recapture:**
 2) AGRICULTURAL TRANSFER TAX

Tax Exempt: NO

Location Information [View Map]

Premises Address: BEALLSVILLE RD
 BEALLSVILLE 20839 **Zoning:** RDT **Legal Description:** RES ON HANOVER

Map	Grid	Parcel	Subdiv	Sect	Block	Lot	Group	Plat No:
CU33		P610	1				80	Plat Ref:

Special Tax Areas **Town:**
Ad Valorem:
Tax Class: 42

Primary Structure Data

Year Built:	Enclosed Area:	Property Land Area:	County Use:
0000	26.10 AC	839	

Value Information

	Base Value	Current Value	Phase-In Value	Phase-in Assessments	
		As Of	As Of	As Of	As Of
		01/01/2001	07/01/2001	07/01/2000	07/01/2001
Land:	3,260	3,260			
Impts:	0	0			
Total:	3,260	3,260	3,260	1,300	3,260
Pref Land:	3,260	3,260	3,260	1,300	3,260

PREFERENTIAL LAND VALUE

INCLUDED IN LAND VALUE

Partial Exempt Assessments

	Code	07/01/2000	07/01/2001
County	000	0	0
State	000	0	0
Municipal	000	0	0

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 <p>Real Property Information</p>	<p>Maryland Department of Assessments and Taxation Real Property System</p>
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MONTGOMERY COUNTY

DISTRICT: 11 ACCT NO: 00915991

Owner Information

Owner Name: ~~LYSER, CATHERINE F~~ **Use:** RESIDENTIAL
Mailing Address: ~~20220 BEALLSVILLE RD~~ **Principal Residence:** YES
~~BEALLSVILLE MD 20839~~

Transferred

From: _____ **Date:** 08/11/1992 **Price:** \$207,000

Deed Reference: 1) /10565/ 777 **Special Tax Recapture:**
 2)

* NONE *

Tax Exempt: NO

Location Information [\[View Map\]](#)

Premises Address: 20220 BEALLSVILLE RD
 BEALLSVILLE 20839
Zoning: RDT **Legal Description:** WOODSTOCK

Map	Grid	Parcel	Subdiv	Sect	Block	Lot	Group	Plat No:
CU33		P689	1				80	Plat Ref:

Special Tax Areas

Town:
Ad Valorem:
Tax Class: 42

Primary Structure Data

Year Built:	Enclosed Area:	Property Land Area:	County Use:
1933	1,664 SF	6.60 AC	111

Value Information


		Base Value	Current Value	Phase-In Value	Phase-in Assessments
		As Of		As Of	As Of
		01/01/2001		07/01/2001	07/01/2000
		07/01/2001		07/01/2001	
Land:	83,000	83,000			
Impts:	75,190	99,370			
Total:	158,190	182,370	166,250	63,270	166,250
Prof Land:	0	0	0	0	0

Partial Exempt Assessments

		Code	07/01/2000	07/01/2001
County	000		0	0
State	000		0	0
Municipal	000		0	0

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 <p>Real Property Information</p>	<p>Maryland Department of Assessments and Taxation Real Property System</p>
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MONTGOMERY COUNTY

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DISTRICT: 11 ACCT NO: 00915637

Owner Information

Owner Name: MCCARTIN, THOMAS M & J **Use:** AGRICULTURAL
Mailing Address: 20100 BEALLSVILLE RD
 BEALLSVILLE MD 20839-3342 **Principal Residence:** YES

Transferred

From: MELVIN J & E R LOEWEN **Date:** 12/30/1997 **Price:** \$425,000

Deed Reference: 1) /15411/ 721 **Special Tax Recapture:**
 2) AGRICULTURAL TRANSFER TAX
 FCMA PENALTY

Tax Exempt: NO

Location Information [View Map]

Premises Address: 20100 BEALLSVILLE RD **Zoning:** RDT **Legal Description:** RES ON HANOVER
 BEALLSVILLE 20839-3342

Map	Grid	Parcel	Subdiv	Sect	Block	Lot	Group	Plat No:
CU33		P909	1				80	Plat Ref:

Special Tax Areas

Town:
Ad Valorem:
Tax Class: 42

Primary Structure Data

Year Built:	Enclosed Area:	Property Land Area:	County Use:
1928	2,109 SF	16.98 AC	839

Value Information


	Base Value	Current Value	Phase-In Value	Phase-in Assessments
		As Of	As Of	As Of
		01/01/2001	07/01/2001	07/01/2000 07/01/2001
Land:	64,680	64,680		
Impts:	163,860	175,560		
Total:	228,540	240,240	232,440	91,410 232,440
Pref Land:	1,870	1,870	1,870	750 1,870

PREFERENTIAL LAND VALUE
 INCLUDED IN LAND VALUE

		Partial Exempt Assessments		
		Code	07/01/2000	07/01/2001
County	000		0	0
State	000		0	0
Municipal	000		0	0

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 <p>Real Property Information</p>	<p>Maryland Department of Assessments and Taxation Real Property System</p>
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MONTGOMERY COUNTY

DISTRICT: 11 ACCT NO: 00914917

Owner Information

Owner Name: DARBY, HARRY D & E T **Use:** RESIDENTIAL/COMM
 19811 DARNESTOWN RD
Mailing Address: PO BOX 74 **Principal Residence:** YES
 BEALLSVILLE MD 20839-0074

Transferred

From: **Date:** **Price:**
Deed Reference: 1) / 1910/ 214 **Special Tax Recapture:**
 2) * NONE *

Tax Exempt: NO

Location Information [View Map]

Premises Address: **Zoning:** **Legal Description:**
 19811 DARNESTOWN RD RUR RES ON DISAPPOINTMEN
 BEALLSVILLE 20839 T
Map Grid Parcel Subdiv Sect Block Lot Group Plat No:
 CU22 P300 1 81 Plat Ref:
Special Tax Areas **Town:**
 Ad Valorem:
 Tax Class: 42

Primary Structure Data

Year Built: **Enclosed Area:** **Property Land Area:** **County Use:**
 0000 24.00 AC 111

Value Information

	Base Value	Phase-in Value Phase-in Assessments			
		Current Value	As Of 01/01/1999	As Of 07/01/2001	As Of 07/01/2000
Land:	266,830	240,000			
Impts:	114,000	113,000			
Total:	380,830	353,000	353,000	141,200	353,000
Pref Land:	0	0	0	0	0

Partial Exempt Assessments

	Code	07/01/2000	07/01/2001
County	000	0	0
State	000	0	0
Municipal	000	0	0

 <p>Real Property Information</p>	<p>Maryland Department of Assessments and Taxation Real Property System</p>
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MONTGOMERY COUNTY

DISTRICT: 11 ACCT NO: 00919500

Owner Information

Owner Name: ~~RICKETTS, DOROTHY E~~ **Use:** RESIDENTIAL
Mailing Address: ~~19841 DARNESTOWN RD~~ **Principal Residence:** YES
~~BEALLSVILLE MD 20839~~

Transferred

From: **Date:** 05/02/1986 **Price:** \$0

Deed Reference: 1) / 7104/ 449 **Special Tax Recapture:**

2)

* NONE *

Tax Exempt: NO

Location Information [View Map]

Premises Address: 19841 DARNESTOWN RD **Zoning:** RDT **Legal Description:** PLAT 6215 CHAPPEL FO
 BEALLSVILLE 20839 **REST**

Map	Grid	Parcel	Subdiv	Sect	Block	Lot	Group	Plat No:
CU22		N414	1			1	80	Plat Ref:

Special Tax Areas

Town:

Ad Valorem:

Tax Class: 42

Primary Structure Data

Year Built:	Enclosed Area:	Property Land Area:	County Use:
1962	864 SF	21,780.00 SF	111

Value Information

	Base Value	Current Value	Phase-In Value	Phase-in Assessments
		As Of	As Of	As Of
		01/01/2001	07/01/2001	07/01/2000
		As Of	As Of	As Of
		07/01/2001	07/01/2000	07/01/2001
Land:	40,890	40,890		
Impts:	57,050	60,370		
Total:	97,940	101,260	99,046	39,170
Pref Land:	0	0	0	0

Partial Exempt Assessments

	Code	07/01/2000	07/01/2001
County	000	0	0
State	000	0	0
Municipal	000	0	0

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 <p>Real Property Information</p>	<p>Maryland Department of Assessments and Taxation Real Property System</p>
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MONTGOMERY COUNTY

DISTRICT: 11 ACCT NO: 00914017

Owner Information

Owner Name: ~~BOLDEN, CLARENCE U~~ **Use:** RESIDENTIAL
Mailing Address: ~~PO BOX 41~~ **Principal Residence:** NO
~~BEALLSVILLE MD 20839-0041~~

Transferred

From:	Date:	Price:
Deed Reference: 1) / 2809/ 187		Special Tax Recapture:
2)		* NONE *

Tax Exempt: NO

Location Information [\[View Map\]](#)

Premises Address: DARNESTOWN RD **Zoning:** RDT **Legal Description:** RES ON DISAPPOINTMENT

Map	Grid	Parcel	Subdiv	Sect	Block	Lot	Group	Plat No:
CU22		P396	1				80	Plat Ref:

Special Tax Areas **Town:**
Ad Valorem:
Tax Class: 42

Primary Structure Data

Year Built: 0000	Enclosed Area: .11 AC	Property Land Area: 990	County Use:
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Value Information

	Base Value	Current Value	Phase-In Value	Phase-in Assessments
		As Of	As Of	As Of
		01/01/2001	07/01/2001	07/01/2000 07/01/2001
Land:	330	330		
Impts:	0	0		
Total:	330	330	330	130 330
Pref Land:	0	0	0	0 0

Partial Exempt Assessments

	Code	07/01/2000	07/01/2001
County	000	0	0
State	000	0	0
Municipal	000	0	0

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