12/38 BREINER FARM 200

2002 HAWP

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HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 20201 Darnestown Rd., Beallsville	Meeting Date: October 23, 2002
Applicant: MNCPPC (Linda Komes, Agent)	Report Date: October 16, 2002
Resource: Brewer Farm, <i>Master Plan</i> Site #12/38	Public Notice: October 9, 2002
Review: HAWP	Tax Credit: None
Case No.: 12/38-02A	Staff: Gwen Wright
PROPOSAL: Alter entry walls, construct new gravel road and parking lot	RECOMMEND: Approve with condition

PROJECT DESCRIPTION

SIGNIFICANCE: Brewer Farm, Individual *Master Plan* Site **STYLE:** Stone and frame farm outbuildings **DATE:** Circa 1860 through early 20th century

PROPOSAL

The applicant proposes to construct a new gravel entrance drive and gravel parking lot. The entrance drive is proposed as a divided entry at Maryland Route 28 (Darnestown Road), with two, twelve-foot-wide lanes and a 20-foot-wide median strip. Construction of the new entrance drive will require dismantling and reconstructing one of two non-historic entrance walls. The wall on the north side of the existing drive will be rebuilt approximately 25 feet north of its current location. A new wall segment utilizing scavenged Seneca sandstone from a non-historic property across the road will be built in the median area to match the flanking walls.

The new drive soon transitions into a single, undivided, 24-foot-wide gravel drive. The drive terminates behind the cluster of historic outbuildings at a new gravel parking lot. The parking lot is intended to accommodate approximately 10 trucks with horse trailers and 15 cars. The new driveway was deliberately located north of the existing drive to avoid impacts to the cluster of historic outbuildings. Special attention has been given to site grading in an effort to limit the impact to existing trees and to preserve the rural character of the site. Two sand filters and a bioretention area are proposed.

STAFF DISCUSSION

The project is intended as the first phase of construction at the new, planned Woodstock Equestrian Park. This facility will be located on both side of Maryland Route 28, just north of the Beallsville Historic District. The property for the facility was donated to MNCPPC a couple of years ago by William Rickman and Herman Greenberg.

The current project affects the Brewer Farm, a *Master Plan* site designated in 1984. This property has undergone a number of changes since designation: the HPC approved demolition of the main house and the dairy barn on the property in 1986, several historic outbuildings were subsequently removed by the previous owner, William Rickman, without HPC review, and, finally, Mr. Rickman built two curved entry walls without HPC review. The remaining buildings on the site consist of two stone buildings from around 1860, and five frame outbuildings dating from the early to mid-20th century. There are also the foundation ruins of an original barn.

The property is now owned by MNCPPC and they have committed to following the HPC review process for all aspects of their work. They have been coordinating closed with Historic Preservation Section staff.

The current proposal to install a new gravel entry drive and parking lot and to move an existing, non-historic entry wall are appropriate and will not be detrimental to the cluster of historic outbuildings. Staff would, however, recommend that the existing gravel drive that provides access to the cluster of outbuildings be retained and connected in to the new gravel road.

MNCPPC staff from the Park Development Division will continue to work closely with Historic Preservation Section staff on additional planning for the Woodstock Equestrian Park and the HPC will be kept informed as the planning for this facility moves forward.

STAFF RECOMMENDATION

Staff recommends that the Commission approve the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

The proposal is also consistent with the Secretary of the Interior Guideline #9:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

With the following condition:

1. The existing gravel drive that provides access to the cluster of outbuildings shall be retained and connected in to the new gravel road.

And with the general condition applicable to all Historic Area Work Permits that the applicant shall also present any permit set of drawings to Historic Preservation Section staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services, Field Services Office, within two weeks following completion of the work.

BY: M-NPPC HISTORIC PRESERVATION OFF; 301 563 3 HISTORIC PRESERVATION 301/563-34 APPLICATION HISTORIC AREA WO	ON COMMISSION	ups - #8	
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Cont	act Person Linda F	omes	
Days	ime l'hone No.: <u>301- (850</u>	-28 <u>60</u>	
Exempt 30055314			
Name of Property Uwner; M-INC PPC	me Phone No ·		
Address: 60011 Kenslworth Ave River	erdale, MD	20737	
Contacion:			· •
Conirscial Registration No.:			
Agent (or Owner:	ma Phona No.:		
Address :			
	alpand	N Pd	
Throse Number: 120201 Sueer ME	28 Davriest	own <u>Na</u>	of p land 0
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Lot; Nock; Subdivisian:			
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PART ONE: TYPE OF PERMILACTION AND USE			
IA. CHECKAL APPLICABLE: CHECKAL APPLICABLE:	ur.		
	l') lionin Addibers 📋 Porch		
(.) Move (.) Install (.) WreckAlaze (.) Solar (.) Ficepbo	e I I Woodhuming Stove	1" Single Family	- entrance a
[] Revision [] Repair () Revocable [] Forro/Wall (complete [] B. Construction east estimate: \$ 75,000	e Woodkuning Slove	<u>N envian</u> ce O	rive and
18 Cancilluction east estimate: 5 19,000			parking 1
C. • • • • • • • • • • • • • • • • • • •	·····		
PART 1WU; COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS			
ZA. Type of sewage disposal; UI CJ WSSL 02 I I Soptic 03	[[Other		
2B. Type of water supprty: 01 [7] WSSC 07 1'1 With 03	I Oliner		
PART TUBLE: COMPLETE DNIVED TENCEMETAINING WALL			
21. Ilvight 61 I lees Incluse Entrance Wa	ll to match	existing	
20, Indicate whether the fence of relaining wall is to be constructed an one of the following to		1	
C.) On party line/property line 🔀 Enthety on land of owner I.1 On	public right of way/easement		
I bareby seeily that I have the antimity to make the foregoing application, that the opplication approach by all agencies listed and I berefy acknowledge and accept this to be a contribute la		r camply with plans	
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THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT See attached

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

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b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11° x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations Hacades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

if you are proposing construction adjacent to or within the dripline of any tree 6° or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For <u>ALL</u> projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcells) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE. PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of Existing structures(s) and environmental setting, including their historical features and significance:

The proposed improvements will be constructed on the site of the Brewer Farm (MP site #12/38) located at 20201 Darnestown Road in Beallsville, MD. The entire property was designated in the Montgomery County Master Plan for Historic Preservation in 1984. The Farm consists of a complex of small, Seneca sandstone and frame farm buildings. The existing structures appear to be from two eras, the two stone buildings appear to date from around 1860 and the frame outbuildings from 1908 or later. A masonry cistern is located within a fencerow atop a ridge and has not been dated. Permission was granted in 1986 by the Historic Preservation Commission to demolish the main house and dairy barn. The Seneca sandstone foundation of the main house was excavated and used to build a pair of entry walls on Rt. 28.

b. General description of Project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

This project is intended as the first phase of construction at the new Woodstock Equestrian Park. The site is located on the east side of MD 28 in what will be called the Dr. Wm. Rickman Equestrian Center. This phase consists of the construction of a new gravel entrance drive and gravel parking lot. The entrance drive is proposed as a divided entry at MD 28, with with two, twelve-foot-wide lanes and a 20-foot-wide median strip. The drive soon transitions into a single, undivided, 24-foot-wide drive. The drive terminates in a gravel parking lot, which is located east of, and behind, the historic structures. The parking lot is intended to accommodate approximately 10 trucks with horse trailers and 15 cars. The new driveway was deliberately and carefully located north of the existing drive to avoid impacts to the historic farm-building complex. Special attention has been given to site grading in an effort to limit the impact to existing trees and to preserve the rural image. Two sand filters and a bioretention area are proposed to satisfy Montgomery County stormwater management requirements.

It is necessary to remove one of the existing stone entrance walls in order to widen the entrance drive. It is our intention to dismantle the wall on the north side of the existing drive and rebuild it using the same stone on the north side of the new entrance. A new wall segment utilizing scavenged Seneca sandstone from the Greenberg property, will be built in the median strip to match the flanking walls.

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BREWER FARM (c1857-61) 20201 Darnestown Road

The Brewer Farm, part of a larger tract known as Woodstock, contains some important early stone outbuildings. The farm was in the Brewer family from 1834 to 1942. The Brewers moved to Montgomery County from

slave quarters and a stone spring house. Other structures include a large corncrib, early 20th century garage and storage buildings, and stone ruins of a bank barn. No longer standing are a log structure, which according to tradition was used as a school house, a log smokehouse, a board and batten building with interior chimney, and dairy barn. The main house, remodeled and enlarged in 1908, was demolished about 1983. M-NCPPC recently acquired the property as part of the proposed Woodstock

Anne Arundel County, already possessing wealth and social position. Dr. William Brewer, of Aix La Chapelle, was a progressive farmer and founder of the State Agricultural Society who educated small family farmers in the use of modern tools and fertilizers. In 1857, George Brewer acquired this 276- acre property. Like his grandfather, William, and father, George Chiswell, George Brewer practiced of modern farming techniques and Woodstock prospered.

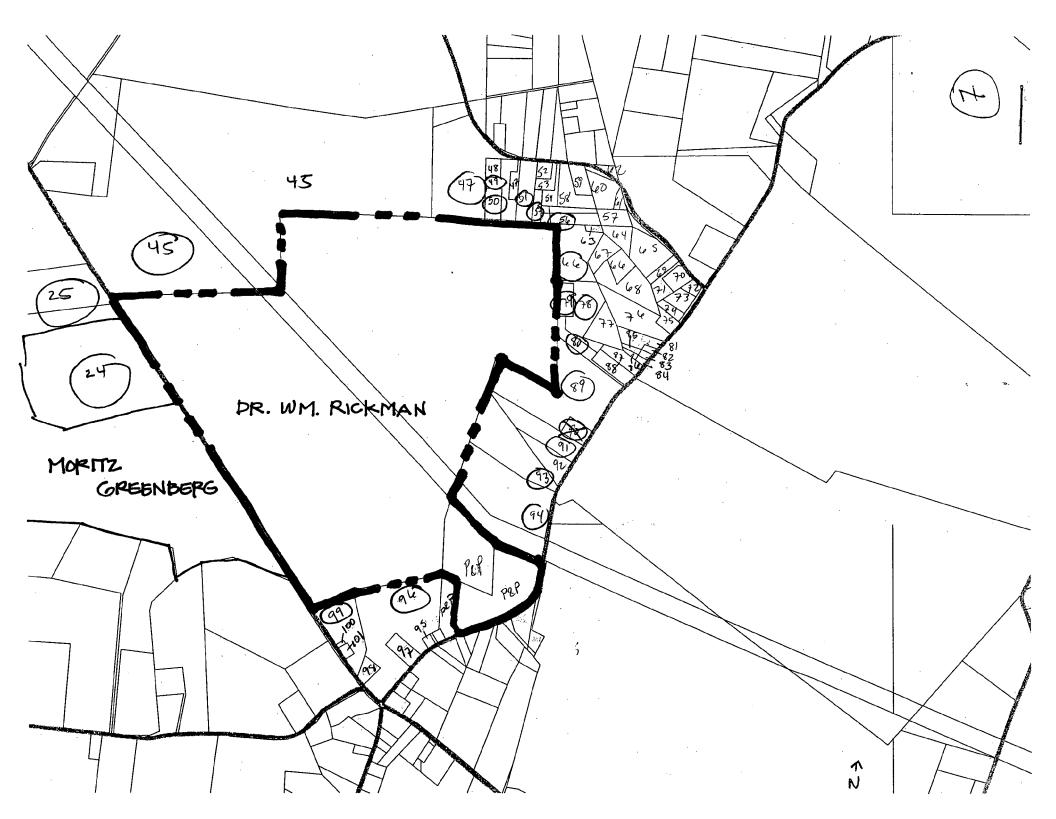
George Brewer added improvements valued at \$1,500 between 1857 and 1861. Still standing is a three-bay by one-bay stone dwelling that was likely used as

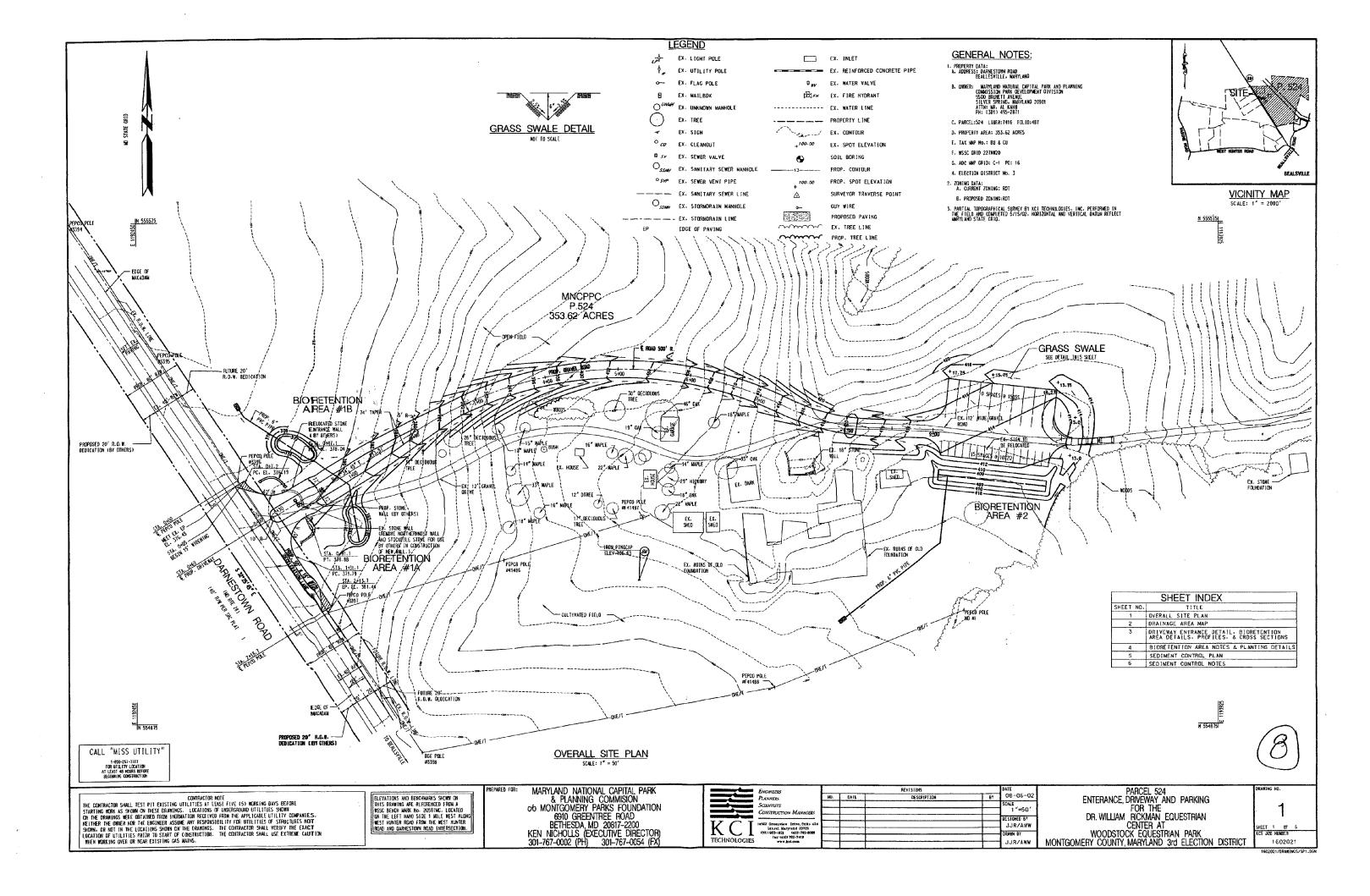
Equestrian Center.

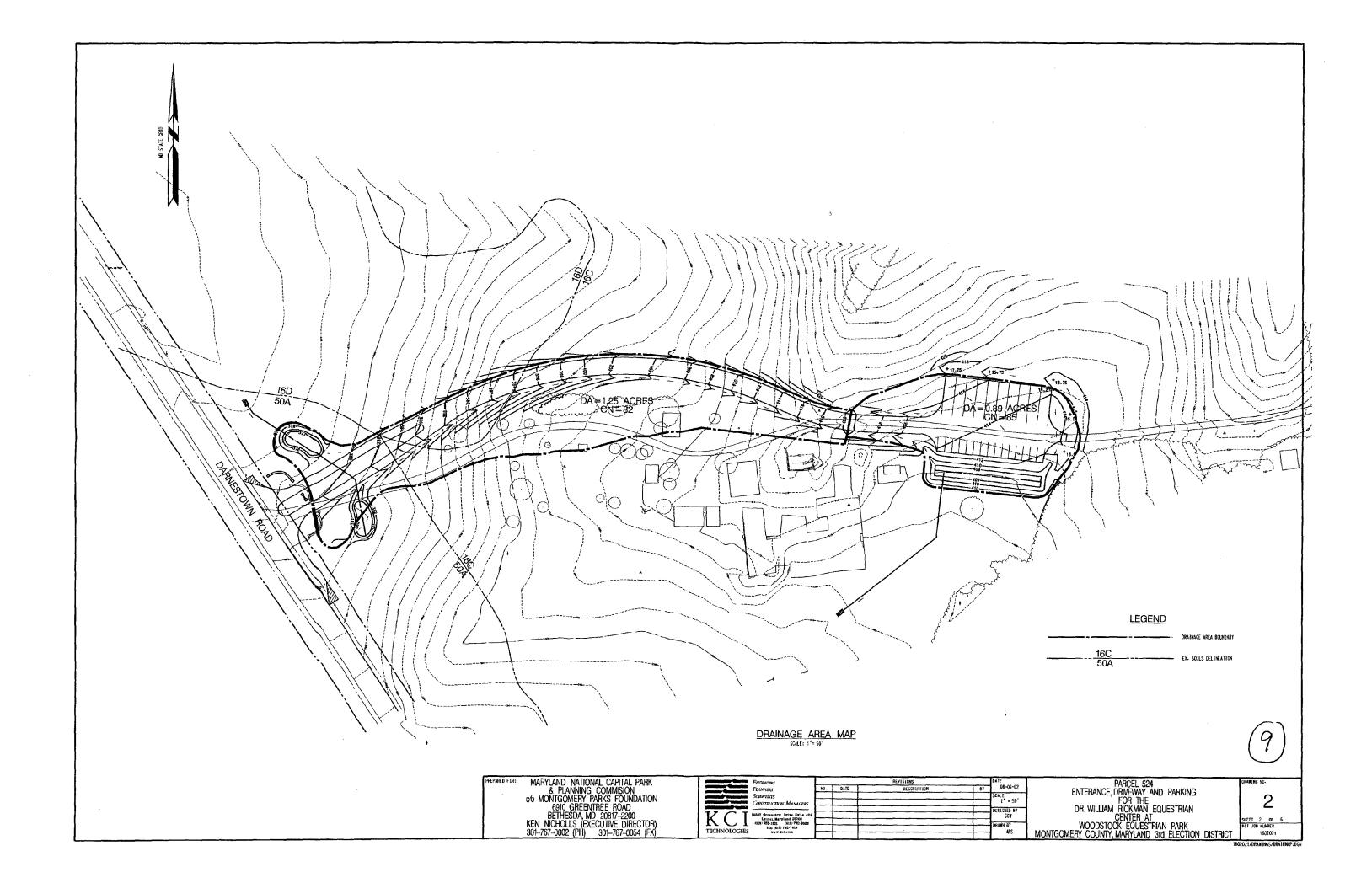
Brewer Farm (c1857-61)

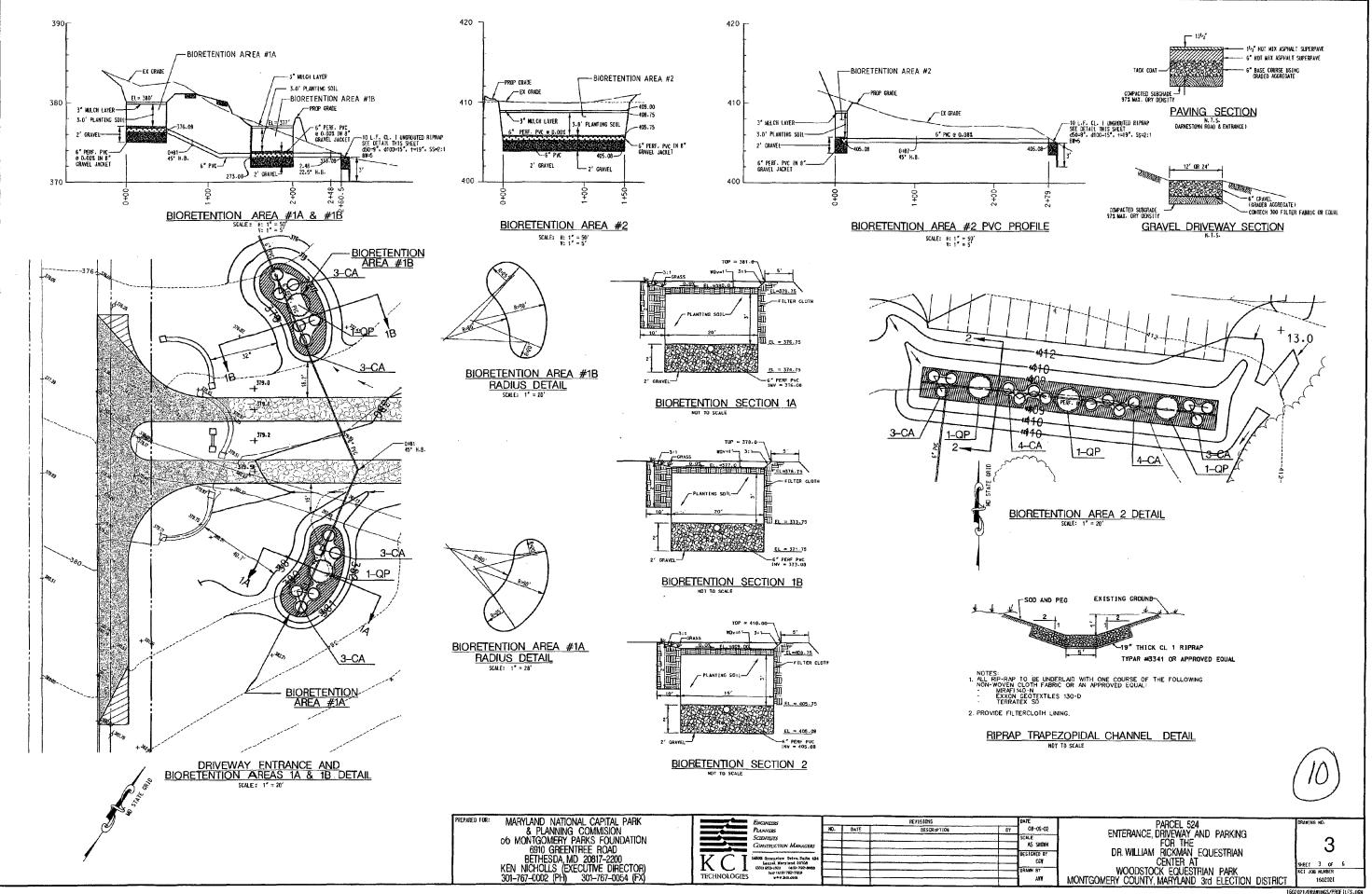
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I. BIORETENTION AREA SOIL SPECIFICATIONS

A. Planting Sei The blorestention areas shall consist of a plonting sail having a compasition of at least 10 to 25 percent clay and shall be of a sandy loam of loamy sand texture. Loamy coy is may be utilized for the planting sail but must consist of 135 stand. In addition, the furnished planting sail shall be of unifyrm compasition. Free of stones, sturps, roots or similar coilets larger than one inch. brugsh or any enter material or substance which may be harmful to plant gravith. or a bindrance to planting consistence operations.

The planting soil shall be free of plants or plant parts of Berinucia grass. Quock grass. Johnson grass. Migwort, Nutsedge, Polson Ivy, Canadian Thistle or others as specified.

Is shall not contain toxic substances harmful to plant arowth. The planting sail shall be tested and meet the following oriteria:

pH range 5.5 - 6.5 Ordonic matter 1.5 - 3.0% Magnesium - Mg 35 bls./acre Phosphorus - P205 100 bls./acre Parasium - K2D 85 bls./acre Salubie saits not ta exceed 500ppm

The following testing frequencies shall apply to the above soil constituents: pH, Organic Matter: 1 test per 9D cubic yards, but no more than 1 test per Bioretention \mbox{Area}

Magnesium, Phosphorus, Patassium, Soluble Salts: 1 test per 500 cubic yards, but na less than 1 test per borrow source

One groin size analysis shall per performed per 90 cubic yards of planting sall, but na less than 1 fest per Billowetention Area.

8. Mutch Layer Specifications A mulch layer shall be pravided on top of this planting soil. An caceptable mulch layer shall include shreddyd hardwood or shredded wood chips or other similar product capproved by the Maryland Department of Environment (MBC).

Of the approved mulch products all must be well aged, uniform in color, and free af foreign material including plant material. Well aged mulch is defined as mul ch that has been stackpiled or stored for at isost two (12) manths.

C. Sand Specifications The sond shall be free of deletsrious material end rocks greater than 1 inch in diameter D. Compaction

Soli shall be placed in lifts less than 18 inches and lightly compacted (minimal compactive effort) by tamping with a bucket from a dazer or a backhoe.

II. BIORETENTION AREA PLANT SPECIFICATIONS

General Planting Specifications

Root stock of the plant material shall be kept malet during transport from the source to the job site and until planted. Wollis of planting pit shall be dug so that they are vertical.

The diameter of the planting pit must be a minimum of six inches (6 "liarger than the diameter of the ball of the tree.

The planting plt shall be deep enough to allow u_4'' of the ball to be above the existing grode. Loose soil of the battom of the plt shall be tamped by hand.

The appropriate amount of fertilizer is to be placed at the bottom of the cit (see below for fertilization rates). The plant shall be removed from the container and placed in the planting pit by lifting and carrying the plant by its ball inever lift by branches or trunk). Set the plant straight and in the canter of the plt so that the top of the ball is approximately l_4^a above the final grade.

Backfill planting pit with existing soil.

Make sure plant remains straight during bookfilling procedure.

Never cover the top of the boli with soil. Nound soil around the exposed boil (1/4").

Trees shall be braced by using 2" by 2" white cak stakes. Stakes shall be placed parallel te walkways and buildings. Stakes are to be equally spaced on the cutside of the tyree ball. Utilizing hese and wire the tree is broad to the states.

BIORETENTION AREA SEQUENCE OF CONSTRUCTION

1. Install Phase I Silt Fence as shown on the plan. -Constructions time: ${}^{t}\!{}_{2}$ Day

2. Stabilize grading within Limit of Disturbance except for Biarestention Area. -Construction time: $^{1}2$ Day

3. Excavate Bioretention Area to proposed depth. -Construction + Time: 1/2 Bay

Fill Blanchention area with planting sail and sand, as shown. In the plans and detailed in the specifications. Construction time: 1 Day.

5. Plant vegetation specified in the planting plan Blanetention Area. -Construction time: l_2 Day 6. Upon authorization from DER inspector, remove all sediment contrais and stabilize all disturbed areas. Unblock curb openings, and provide drainage to the Bioretention. Areas, -Construction time: ½ Day Total Estimated Construction Time - 3.5 Boxs

- All plants (B&B or container) shall be property identified by weather-proof labels securely attached thereto before delivery to project site. Labels shall identify plants by name species, and size. Labels shall not be removed until the findi inspection by the Landscape Architect.
- 3. Any material and/or work may be rejected by the Landscape Architect if it does not meet the requirement of the specifications. All rejected materials shall be removed from the site by the Landscape Cantractor.
- The Londscape Contractor shall furnish all plants in cuantities and sizes to complete the work as specified on the landscape plan. The Londscape Contractor shall be responsible te verify on the plan all plant quantities prior to commencement of work. Duantities in the achequie are the Landscope Contractor's convenience.
- Substitutions in plant species or size shall not be permitted except with the written approval of the Landscape Architect.
- Pidnts shall be located as shawn on the drawings and by scaling or as designated in the field by the Landscope Architect.
- 7. Londscope Contractor shall contact Miss Utility prior to any excavotion.
- 8. If utility lines are encountered in excavation of tree pits, other locations for trees shall be aslected by the Landscope Architect. Such changes and the made by the contractor without additional compensation. No changes of location shall be made without the opport of the Landscape Architect.
- Londscape Contractor shall first locate and mark the underground utilities, prior to locating and digging the pits for the trees.
- All equipment and tools shall be placed so as not to interface or hinder the pedestrian and vehicular traffic flow.
- Ouring planting operations, excess and wasts matericle shall be promptly and frequently removed from the alte.
- 12. All disturbed areas of the alte not planted with shrubs or ground cover shall be sadded. Till sqli to a depth of 6*. Apply fartilizer of ondysis 5×10-5 of the rote of 20 lbs. per 1000 square feet. Water sod dolly until established.
- 13. All plant beds to received perennials, builts or ground never are to be thiled to a depth of 6° prior to installation of plants. Apply fertilizer of analysis 5-10-5 at the rate specified by monufacturer. Mater plants until establianed.
- 14. All beds containing shrubs, ground covers, perenniais, butbs or trees are to received 2²-3⁷ of shredded hardwood bark mulch after planting and clean up operations have been completed.

PLANTING NOTES

Ptonts shall confi	orm to current "Americon	Stondards for
Nursery Stock" by	American Association of	Nurserymen (AaN).
particularly with	regards to size, growth	sizo of
ball, and density	of branch structure.	

- - 5 CA Clethra Ainfolia-Sweet Pepperbush (18"-24" container) 200 JP Pschysandra terminalis - Japanese pschysandra

Hatching for Herbacious Cover

ty Key Botanical#Common Name TREES

SHRUBS

		BIORETENTION AREA 1B PLANT SCHEDULE
Qty	Көу	Botanical*Common Name
		TREES
1	QP	Quercus Palustris-Pin Dok (2.5" Cal., B&B, Full Crown)
		SHRUBS
6	CA	Clethra Ainfalio-Sweet Pepperbush (18"-24" container)
200	JP	Pechysondro terminalia - Japonese pschysandra

BIORETENTION AREA 1A PLANT SCHEDULE

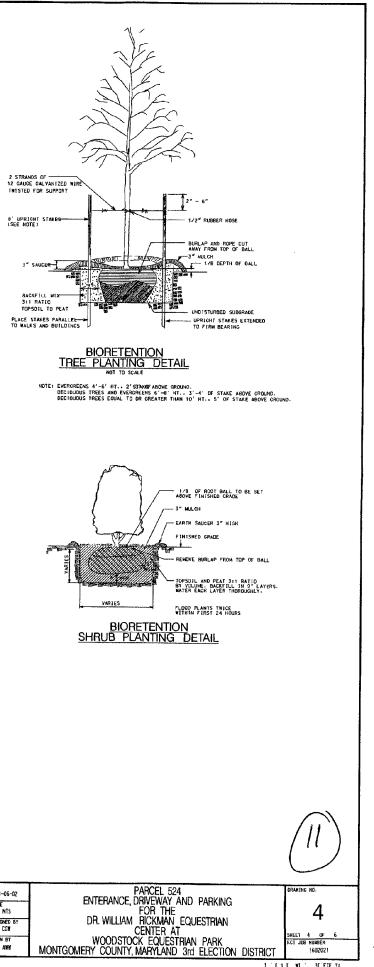
ap Quercus Palustris-Pin Dak (2.5" Cal., 888. Fuli Crown)

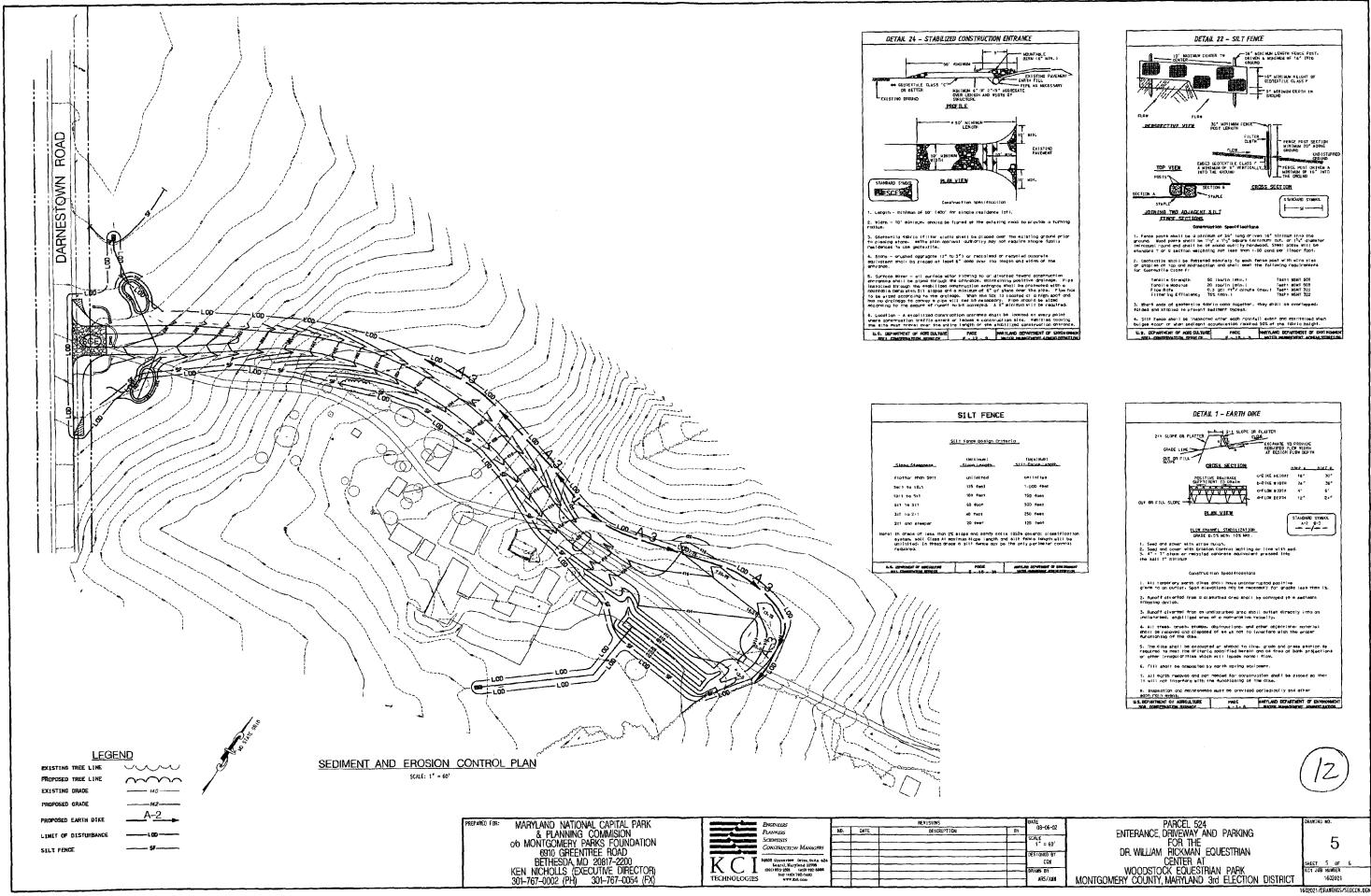
Hatching for Herbacious Cover

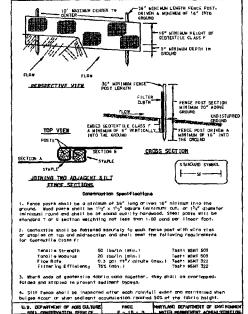
BIORETENTION AREA 2 PLANT SCHEDULE	
Key Botonical#Common Name	
TREES	
OP Quercus Palustris-Pin Dak (2.5" cal., B&B, Full Crown)	
SHRUBS	
CA Clethra Ainfolia-Sw8et Pepperbush (18"-24" contoiner)	-
JP Pechysandro terminoris - Japonese pschysandra	

Hatching for Herbacious Cover

	PREPARED FOR: MARYLAND NATIONAL CAPITAL PARK	ENGINEERS			REVISIONS	DATE	-
	& PLANNING COMMISION	PLANNERS	NO.	DATE	DESCR IPTION BY	08	
	0 MONTGOMERY PARKS FOUNDATION	CONSTRUCTION MANAGERS				SCALE	2
	6910 GREENTREE ROAD					DESIG	66
į	BETHESDA, MD 20817-2200 KEN NICHOLLS (EXECUTIVE DIRECTOR)	14562 Greenview Drive, Suite 424 Leurel, Maryland 20708				_	C
ĺ	301-767-0002 (PH) 301-767-0054 (FX)	TECHNOLOGIES (410) 792-6008				DRAW	×.
		WWW RECOM				1	A







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APPENDIX C

VEGETATIVE STABILIZATION Permanent and Temporary Seeding, Sodding and Mutching

<u>Site Preparation</u> Permanent or temporary vegetatian shollbe established within soven (7) days on the surface of all sediment contral practices such as diversians, grade stabilization structures, berms, waterways, sediment control basins, and all sleeps greater than 3 horizontal to 1 vertical (3):b and within 14 days for all other disturbed or graded areas an the project site. Mulching may any be used on disturbed areas as temporary cover where vegetation is not feasible or where seeing cormal be campited bacaus all weather.

1. Seedbed Preparation and Seeding Application Lossen the top layor of the solita a depth of 3 to 5 inches by means of suitable agricultural Locsern the top layar of the saint a depth of 3 to 5 inches by micros al suitable opricultural or construction equipment, incorporate the time end fertilizer into the top 3 to 5 inches of the solby disoring and y other suitable means. Rough areas should not be rolled an dragged amooth, but left in a roughened condition. Steep slopes greater than 31 should be tracked by a desar, taxing the solar on a inregular condition with ridges running paralet to the contour of the slope. The top 1 to 3 inches of sol should be toose and fridble. Permenent cover may require an oppleciation of tracket. If so it must meet the requirements set forth in Section 210 Standards and Specifications for tapsoinform the 1994 Standards and Specifications.

II. Soli Amendmanta Solitosts shall be made on sites over five acres to determine the exact requirements for both sime and for Uizar. For sites under S acres, in time of a solitest, apply the following:

Fertlizer Nitrogen 1.5 ibs/sq. ft. (65 ibs/ac) P205 3 ibs/sq. ft. (130 ibs/ac) K20 100 ibs/100D sq. ft. (2 ions/ac)

For low maintenance areas apply 150 iba/ac uncaform fertilizer (38-0-0) at 3.5 Ibs/1000 so. It. in addition to the above fertilizer at ths time of sseding.

Ground Limestone 2 tans/ac

- <u>iv. Sediment ContralPractice Secting</u> Select a secting mixture from tables 25 or 26 in Section G of the 1994 Standards and Specifications. Bocument secting and the grasina and sediment control plan using appropriate chart below. Note: if sediment control practices are in for longer than 12 months, permonent secting is required.
- <u>V. Temparary/Permanent Specing Mixtures and Rates</u> Select a seeding mixture from appropriate table 25 or 26 in Section G of the 1994 Standards and Specifications. Document seeding an the erosion and sediment control plan using appropriate chart below.

PERMANENT SEEDING SUMMARY

	Seed Mixture (For Hardiness Zane7e) (From Table 25)		Fertilizer Rote (10-20-20)			Lime		
Na.	Species	Application Rate (ib/ac)	Seeding Dotes	Seeding Depths	N	P205	K20	Rote
3	TALL FESCE 853 HEROML INTEREST NO HERTICAL BLIERINGS SA	125 15 10	3/1 TO 5/15 OR 8/15 TO 10/15	1"-2"				
					90 lb/ac (2,0 lb/ 1000 st)	(4 1b/	175 ib/ec (4 ib/ 1000 s1)	2 tans/ac (100 lb/ 1000 sf)

TEMPORARY SEEDING SUMMARY

5	Seed Mixture	(For Hardiness (From Table	Zone <u>7a</u> 26)	د	Fertilizer Rate	Lime
No.	Speciae	Application Rote (b/oc)	Seeding Ootes	Seeding Depths	(10-10-10)	Rate
1	8ARLEY	150	2/1 TO 4/30 OR 5/1 TO 8/14			
					600 lb/ac (15 lb/ (D00 sf)	2 tons/ac (100 lb/ 1000 sf)

<u>V. Turfarasz Establishment</u> This includes lawns, parts, playgrounds, and commercialistes which witreceive a medium to high level of mantenance. Areas to receive seed shelbe filed by diseing or by other approved methods to a depth of 3 to 5 inches, tweled and raked to proper a proper seedbed. Stance and debris over 1/2, inches in dame be shalled removed. The resulting seedbed shallbe in such condition that future maying at grasses witpose no difficulty, use cartified materialand cheape a utigrass muture from page C-20 of the 1994 Standards and Specifications or select from the fist in the mast current University of Maryland". See mimeo at end of this section.

<u>Yli, Mylching</u> Alissedings require mulching. Also mulch during non-seeding dotes until seeding con bo

Match shall be unrested, unchopped, smuligrain straw applied at a rots of 2 tans/nare or 90 libs/1000 ag, 14. (2 balas). If a mutch anchoring tools used, opply 2,5 tans/ora. Mutch materials shall be relatively frees of alkinds of weeks and shall be completively frees of a prohibited nozious weeds. Spread mutch unformy, reschandadly or by hands to a depth of 1-2 ineles. Mulch anchoring shall be accompliable dimensional bay of the mutch publicement to mining last by and or water. This may be done by mutch nethings, mulch enclosing task, unde excluses (bay and the fault in the start).

Apply wood cellulose fiber at a dry weight of 1.500 lbs/acre. If mixed with water, use 50 lbs, of wood cellulose fiber per 100 goltans of water.

Liquid binder should be applied heavier at the edge, where wind catches much in valleys, and an crast of banks. The remainder of the area should appear uniform after binder application. Apply rates recommencied by the manufacturar to ancher end much. Stapie light weight, plastic netting over the much according to manufacturer's recommendations.

VII. Sodding Class of furtheress sod shall be varyland av Virginia. State cartilista, ar Maryland or Virginia State oppraved sad. Sod shall be harvested, daivered and installed within a period of 36 hours. Sod is to be laid with the long edges parallel to the contaur using staggered joints with all ends tightly abutted and not over incipans. Sad shall be hard watered after ipetalation. Daily watering to maintain & inch depth of moisture for the first week is required in the absence of rainfall. Sod is not to be appied on frazen yound.

<u>IX. Mointsaonce</u> A. Irrigote - Apply minimum 1° of woter every 3 to 4 days depending an exitexture, when solit misture becames deficient to prevent loss of stand of protective vegetation.

Repairs - If stand provides between 4DX and 94X ground coverage, overseed and fertilize using holf of the roles originally applied. If stand provides less than 40X coverage, resetublish stand following originatroles and prosedures.

Nate: Use of this information doos not preciude meeting wit of the requirements of the 1994. Marytand Standards and Specifications for SollErasion and Sediment Control Vegetative Practices.

21.0 STANDARD AND SPECIFICATIONS FOR

TOPSOIL Definition

Placement of topeoil over a prepared subsorprior to establishment of permanent vegetation

Purpose

To provide a suitable sail medium far vegetative growth. Solis of cancern have low maisture content, low nutrient levels, low pH, materials taxic to plants, and/or unacceptable soligradation. Conditions Where Practice Applies

- 1. This practice is limited to areas having 2:1 or flatter slopes whers: A. The texture of the exposed subsoil/parent materialis not adequate to produce vegetative growth.
- B. The salmaterial is a shetaw that the raoling zame is not deep enough to support plants or furnish continuing supplies of meisture and plant mutrients.
- C. The original soil to be vegetated contains material taxic to plant growth
- D. The soilis so ecidic that treatment with limestone is not feasible.
- IL For the purpose of these Standards and Specifications, areas having slopes steeper than 21 require special consideration and design for adequate stabilization. Areas having slopes sleeper than 21 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

- L Tapsaisalvaged from the existing sile may be used provided that it meets the standards as set forth in these specifications. Typically, the depth of topsait to be solvaged for a given sailyzer can be found in the representative sailprofile section in the Sol Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.
- 1. Topsail Specifications Soil to be used as topsail must meet the following:
- A. Topsai shall be a loom, sandy loom, shy loom, shi tarm, sandy clay loom, loomy, sand. Other sails may be used if recommended by an agronomist or sall scientist and agreeved by the agronomic appropriate payrowel by the topsail shall be a mixture of contrasting lextured subsails and ahal contain loss than 5% by volume of cinders, stance, sdog, corose frogments, growel, stacks, roots, trash, cr other materies larger than 1%" in dometer.
- B. Tapsoi must be free of plonts an plant parts such as bermuda gross, quackgrass, Johnsangrass, nutsedge, paison ivy, thistle, or others as specified.
- C. Where the subsoil is either highly geidic or composed of heavy cloys, (ground fimestana shall be spread at the rate of 4-B tans/acrs (200-400 pounds per 1,000) smessions angings epirodo ut um rote or tes taining to 2007-900 pounda pe square feet) prior to the pickement of topsail. Linne shotbed distributed unifa-over designoted areas and worked into tho soll in conjunction with Milage Operations as described in the following procedures.
- II. Far sites having disturbed areas under 5 acres place topsoil (if required) and apply soil amendments as specified in 20.0. Vegetetive .Stabilization Section I- Vegetative Stabilization Medias and Noterials.

IV. For sites having disturbed cross over 5 ocres:

- A. Dn soltmeeting Tepsoltspecifications, abtoin test results dictating fartilizer and lime amendments required to bring the solitinto compliance with the following: pH for topsolisholibe between 6.0 and 7.5. If the tested solidemansurates a pH of loss than 6.0, sufficient time sholibe prescribed to raise the pH to 6.5 or higher.
- 2. Organic content of topsail shall be not less than 1.5 parcent by weight. Tapsoilhaving soluble salt content greater than SOO parts per million shall not be used.
- o sod ar seed shall be placed on soitwhich has been treated with sail sterijants or ehemicola used far weed cantraluntil sufficient time hos elapsed (14 days min.) to permit dissipction of phyta-taxic materiols,

Note: Topsoilsubstitutes or amendmente, as recommands by a qualified agranamist or scil scientist and opproved by the appropriate opprovalautharity, may be used in feu et natural topso

- B. Proce tapsoli(i) required) and copy soilamendments as specified in 20.0 Vegetative Stabilization Sestian I Vegetative Stabilization Methods and Materials.
- V. Tapsai Application
- A. When topsciling, maintain needed erosion and sediment control proctaces such as diversions, Grade Stabilization Structures, Earth Okes, Slope Sit Fence and Sadiment Traps and Basins.
 - Crades on the oreas to be topsalled, which have been previously established, shall be maintained, albeit 4" 8" higher in elevation.
 - 2. Tapsoitshatbe uniformity distributed in a 4" 8" layer and tighty compacted to a minimum threakness of 4". Spreading shall be performed in such a manar that adding or special with a minimum at additional solitoreariation and bilage. Any irreguterities in the surface resulting from topsating or other agerblans shallbe corrected in order to prevent the formation depressions nr water packets.
 - Topsaishalinot be placed while the topsail or subsoil is in a frazen ar muddy candition, when the subsoil is excessively wet or in a condition that may atherwise be detrimented to proper grading and secolable preparation.

Vi, Alternative for Permanent Seeding - instaad of applying the fuil amaunts of ime and commercial fertilizer, composied sludge and amendments may be applied as specified below.

- A. Compasted Studge Material for use as a sailconditioner far sites having disturbed areas over 3 ocres shall be tested to prescribe amendments and for sites having disturbed areas under 5 acres shall conform to the following, requirements:
- Camposted sludge shall be supplied by, or originate from, o person or persone that are permitted (of the time of acquisition of the composit) by the Maryland Depertment of the Environment under COMAR 20.04.06.
- Camposted siudge shallcontain ol least 1 percent nikragen, t5 percent phosphorus, and 0.2 percent potessium and have a Ph et 7 to 8.0. If compost daes not meet these requirements, the oppropriate constituents must be added to meet the requirements prior to use.
- 3. Composted sludge shallbe applied at a rate of iten/1,000 square leet. B. Composted sludge shallbe amended with a patassium fertilizer applied at the rate of 4 tb/1,000 square fact, and 1/3 the normatiline application rate.

References: Guideline Specifications, Soli Proparation and Sodding MD-VA, Pub. •1, Cooperative Extension Servica, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

PREPARED FOR:

19.0 STANDARDS AND SPECIFICATIONS EQR

LAND GRADING

Design Criteria

The grading plan should be based upon the incorporation of building designs and street layouts that fit and utilize exeting topography and desirable natural surroundings to avoid extreme grade modifications. Information submitted must pravide artification topographics are very and a soli investigations to determine fimilations that must be imposed on the grading operation related to slope stability. effect on adjacent properties and drainage patterns, measures for drainage and water remavail and vegetative treatment, etc.

Many counties have regulations and design procedures already established for kind grading and out and fillalopes. Where these requirements exist, they shall be followed. The plan must show existing and prograved cantours of the arosis is to be graded. The plan shall be include practices for eradion contral, slope stabilization, safe disposal of runal water and drainage such as include practices for eradion retaining water, and surfaces and subwarface craits. The han include practices are erading retaining water, and surfaces of around runal water and drainage such as include practices are erading retaining water, and surfaces and subwarface craits. The plan shall be following of these practices. The following shall be incorporated into the plan:

- Provisians shall be made to safely conduct surface runoff to starm draine, protected outlets or to stable water causes to insure that surface runoff willnot damage slopes or other graded
- II. Cut and fill slopes that are to be stabilized with grosses shall not be steeper than 21. (Where the slope is to be meased the slope should be no steeper than 316.4415 preferred becaus sofely factors related to moving target slope slopes 15.300 exceeding 2.1 shallreging special design and stabilization considerations that shall be adequately shown on the plans.
- II. Reverse benches shollbe provided whenever the verticulinterval(height) of any 2:1 slope exceeds 20 rest; for 3:1 slope it shallbe increased to 30 lest and for 4:1ta 40 feet. Benches shallbe located ta divide ins slope force as equally as passible and shall care the verter to a stable autiliat. Sais seeps, rock outerops, etc., shall elso be taken into consideration when designing benches.
 - A. Benchos shollibe a minimum of six-feet wide to pravide for ease of maintenance
- B. Benches shallbe designed with a reverse slope of 6:1 or flotter to the toe of the upper slope and with a minimum of one foot in depth. Bench gradient to the cutlet shall be between 2 percent and 3 percent, unless accompanied by appropriate defign and computations.
- C. The flow length within a bench shall not exceed 800 unlass eccompanied by appropriate design and computations. For flow channelstabilization see temparary approp swale.
- IV. Surface water shallbe diverted from the tace of alcut and/or filstopes by the use of earth dives, ditchee and swales or conveyed downsicpe by the use of a designed structure, except where:
- A. The face of the slope is or shall be stabilized and the face of all graded elaps shall be protected from surface runoif until they are stabilized.
- B. The face of the slope shall not be subject to any cancentrated flows of surface water such as from natural droinageways, graded swales, downspeuts, etc.
- C. The face of the skope will be protected by specialerasion controlimateriels, to include, but not limited to approved vegetative etablication practices (see section 0), rip-rop or ather approved stabilization methods.
- Cut slopes occurring in righter cack shollbe scrotad as shown an the following diagram. These servations shollow made with conventional outprent as the extanetion is made. Each step or servation shallow constructed on the conteur and willhow extanet out of normal tree-fact intervals with norminal three-fact harizent stephetys. These steps will vary depending on the slope ratio or the cut slope. The norminal slope line in th. These steps will way depending on the slope ratio or the cut slope. The norminal slope line in th. These steps will way the and act to had moliture, line, let liker and socd thus producing a much quicker and longer lived vegétalive caver and better dope stabilization. Over fand flow shall be diverted from the tep of diserrated cut slopes and carries to a suitchle autoit.
- . Subsurface drainage shallos pravided where recessory to intercept sespage that would etherwise adversaly affect slape stebility or create excessively wet site conditions.
- VI. Stopes shallnot be created so close to property lines as to endanger adjoining properties without adequately protecting such properties against selimentatien, erasion, slippage, settlement, subsidiance or other radiet d damages.
- VII. Fill materialshall be free of brush, rubbieh, racks, logs, stumps, building debris, and other abjectionable material. It shauld be free at stones aver two (2) inches in allameter where compacted by hand ar metchenical tampers or over sight (3) inches in diameter where compacted by railers or other equipment. Frozen material shall not be placed in the fill mar shall be fill materials be placed on a frazen foundation.
- IX. Stackpiles, borraw areas and spailshallbe shown on the plans and shellbe subject to the provisions of this Standard and Specifications.
- All disturbed areas sholl be stabilized etructurally or vsgetatively in compliance with 20.0 Standards and Specifications for Vagetative Stabilization.

GEOTEXTILE FABRICS						
CLASS	APPARENT OPENING SIZE MM. MAX.	GRAB TENSILE STRENTGH LB- MJN	BURST STRENGTH PSI. MIN			
A	0.30	25D	5D0			
8	0.60	200	320			
c	0.30	200	320			
0	0.60	90	145			
E	0.30	90	145			
F (SILT FENCE)	0.40-D.80*	9D	190			

US \$td Sleve C#-00215

	STZE RANGE	D40	Dec	AASHTO	WEIGHT
NUMBER 57*	3/8"-11/2"	142"	11/2"	M-43	N/A
NUMBER 1	2*-3"	21,z"	3"	M-43	N/A
RIP-RAP**	4"-7"	51/2"	^۲	N/A	N/A
CLASS I	N/A	9.5"	15″	N/A	150 LB MAX
CLASS LI	N/A	16"	24"	N/A	TOO LB MAX
CLASS [1]	N/A	23"	34"	N/A	2000 L8 MAX

★★ This clossification is to be used when ever amount rip-rap is required. The Stote Highway Administration designation for this stone is State For Gabione (905.01.04)

NO. OATE

GENERAL NOTES		
1. The developer is responsible for the acquired easement right and/or rights	uisition of all	
to the discharge from the sedment right practices, starmwater management pra discharge of stormwater onto or acro other work to be performed an udjac praperties alfected by this plan,	and arosign control	
 Following initial soil disturbance or radistur permanent or temporary stabilization s within: 	bance, halibe completed	
 a) Seven calendar days as to perimetar controls, dikas, swalas perimetar slopes, and di slopes horizantaj ta one vertical (31) a 	ditches.	
b) Fourteen days far all other a graded areas on the project st	listurbed ar e.	
The in-place sediment contratmeasure maintained on a continuing basis unbit permanently stabilized and allpermit m mat.	s will be the site is squirements cre	
 On all sites with disturbed areas in excess ocres, epproval of the inspection open upon completion of installation of peri and sedment controls before proceed earth disturbance or grading. Other b grading inspection approvals will not be 	cy is requested neter prosion	
 grading inspection approvals will not be until this initial approval by the inspection made. 	authorized magency is	
 Appravalshall be requested upon find sto all sites with disturbed preas in excess before removal of controls. 	s of two acres	
Disturbed surface area:3.42 Valume of spairmaterial:7308	. <i>PC.</i>	
Volume of borrow material 423	с.у.	
List predominant soil types and genera PGSCD sailaurvey: <u>50A - Rowland sit toom, 0 to 3% sit</u>	acts, octasionally flooded	
160 - Grinklaw Bracktawn shannary 160 - Brinklaw Bracktawn shannary	sit Jooms, 8 to 15% slopes sit Jooms, 15 to 25% slopes	
5. SITE AREA STATEMENT Total lat aree - 353.62 Acres		
SEQUENCE OF CONSTRUCTION		
1. Meet with inspector for pre-construction		
 Cleor for and install sediment cantrol me construction entrances, earth dikes) as With the inspector's oppreval, clear and al disturbance. 2 WEEKS 	shown on the plans, 2 DAYS grade the site within the limits	
of disturbance, 2 WEEKS 4. Installipoving, 3 DAYS		
 Stabilize all disturbed areas. 2 DAYS With sitt fance protection, install Biorete 	nbian Areas 1A, 18, & 2, 3 DAYS	
 Stabilize all disturbed eress. 1 DAY 8. With the inspectors approval, remove a 	lisediment control measures. 2 DAYS	
DWNER	S/DEVELOPER'S CEERTIFICATION	
	groding, acostruction, and or development will be done pur molinovord in the construction projectival hove a Certific rolResources approved training program for the control t.	rsuant ta this cote of
Attendonce at a Deportment of Natu erasion before beginning the projec	rojRasources approved troining program far the control t.	al sediment and
Signature	Oote	
DES	GIGN CERTIFICATION	
That this plan has b Specification for SoilErasion and Se Executive Regulations 5-90 and 36	een prepared in accordance with the "1994 Maryland Sto diment Control", Mantgomery County Department of Permi 90, and Mantgamery County Department of Public Works "Criteria" doted August 1988.	ndarde and ting Sorvices gad
Transportation "Storm Oroin Design	Criteria'' doted August 1988.	
Decise Freiburg Finschurg	Dote	
Design Engineer Signature Marianne Klernan, PE MD Registration No. 25058		
	IFICATION OF THE QUANTITIES totalamaunt of excevation and fillas shown on these plan excavation, 423 cubic yords of filland the total area plans has been determined to be 148,975 square feet	ns has been
to be disturbed as shown an these	plans has been determined to be 148,975 square feet (3.42 Ac.)
Signature	Date	- ~
Noriarne Kiernan, PE MD Registratian Na. 25058	Dure	(12)
		(15)
DATE 08-06-02	PARCEL 524	DRAWING ND.
BY U0-06-02 SCALE NTS	ENTERANCE, DRIVEWAY AND F FOR THE	PARKING 6
DESTGNED BY	DR. WILLIAM RICKMAN EQUE CENTER AT	STRIAN
DRAWN BY	WOODSTOCK EQUESTRIAN	SHEET 6 OF 6

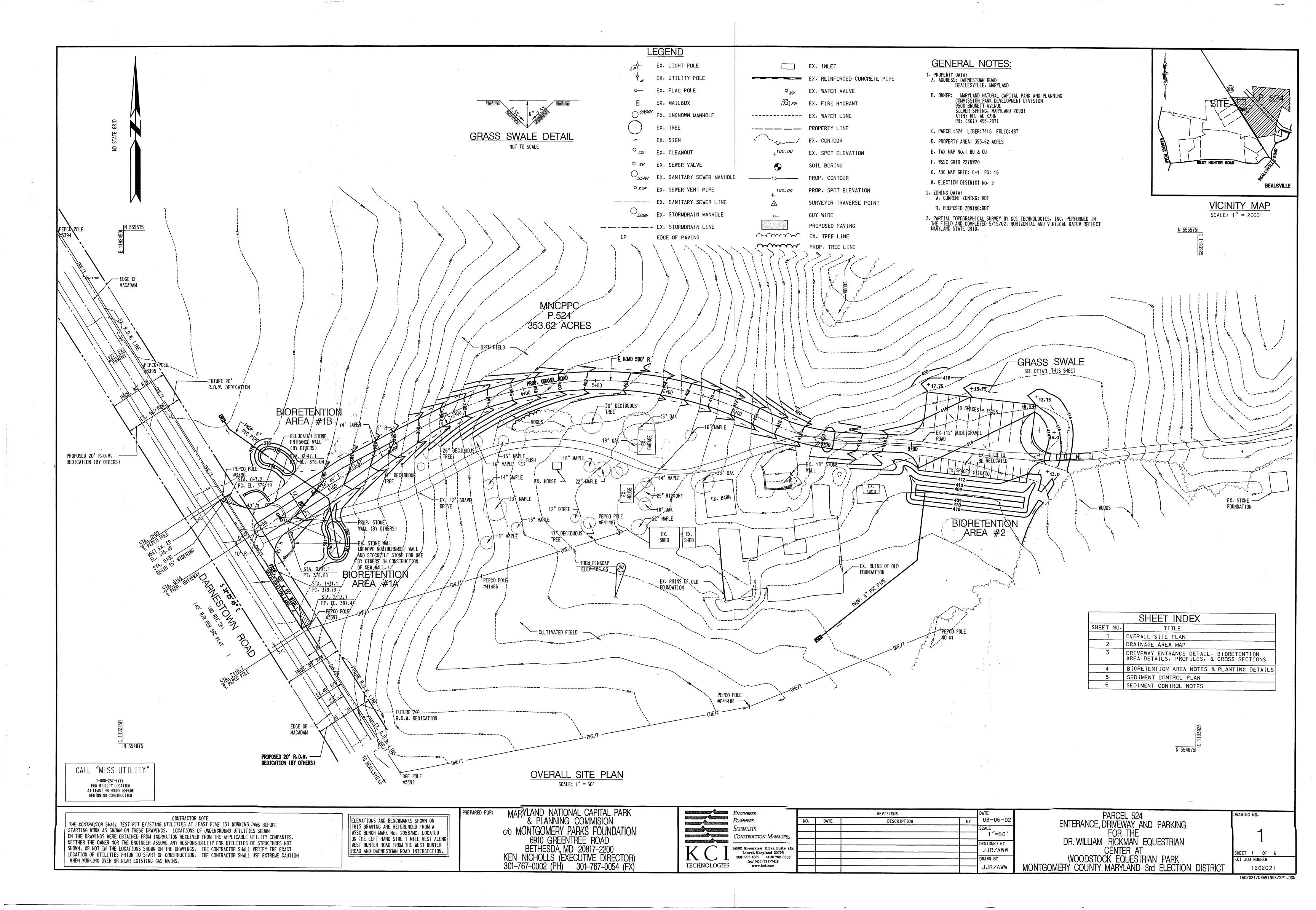
MONTGOMERY COUNTY, MARYLAND 3rd ELECTION DISTRICT

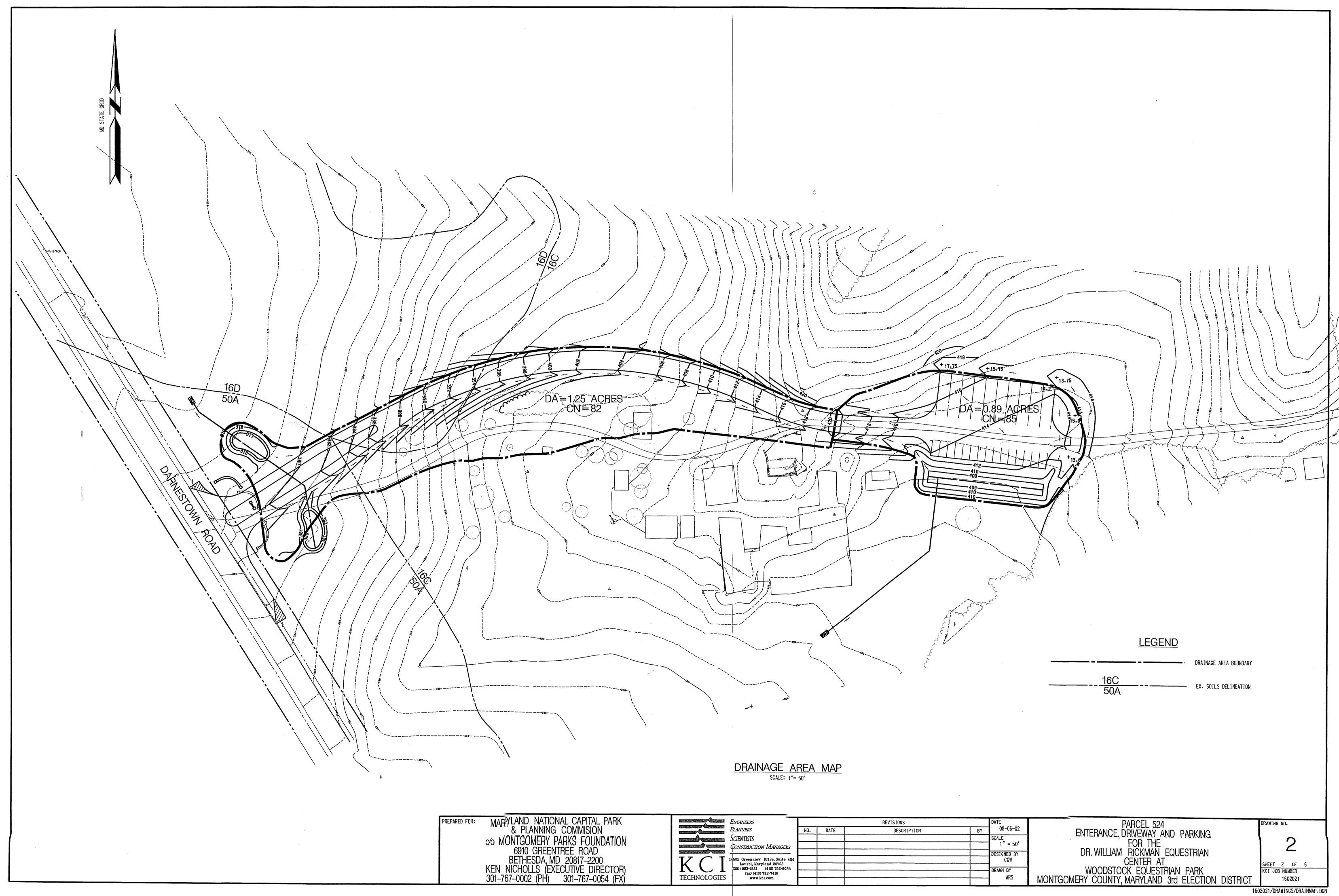
REVISIONS

DESCRIPTION

DRAWN BY

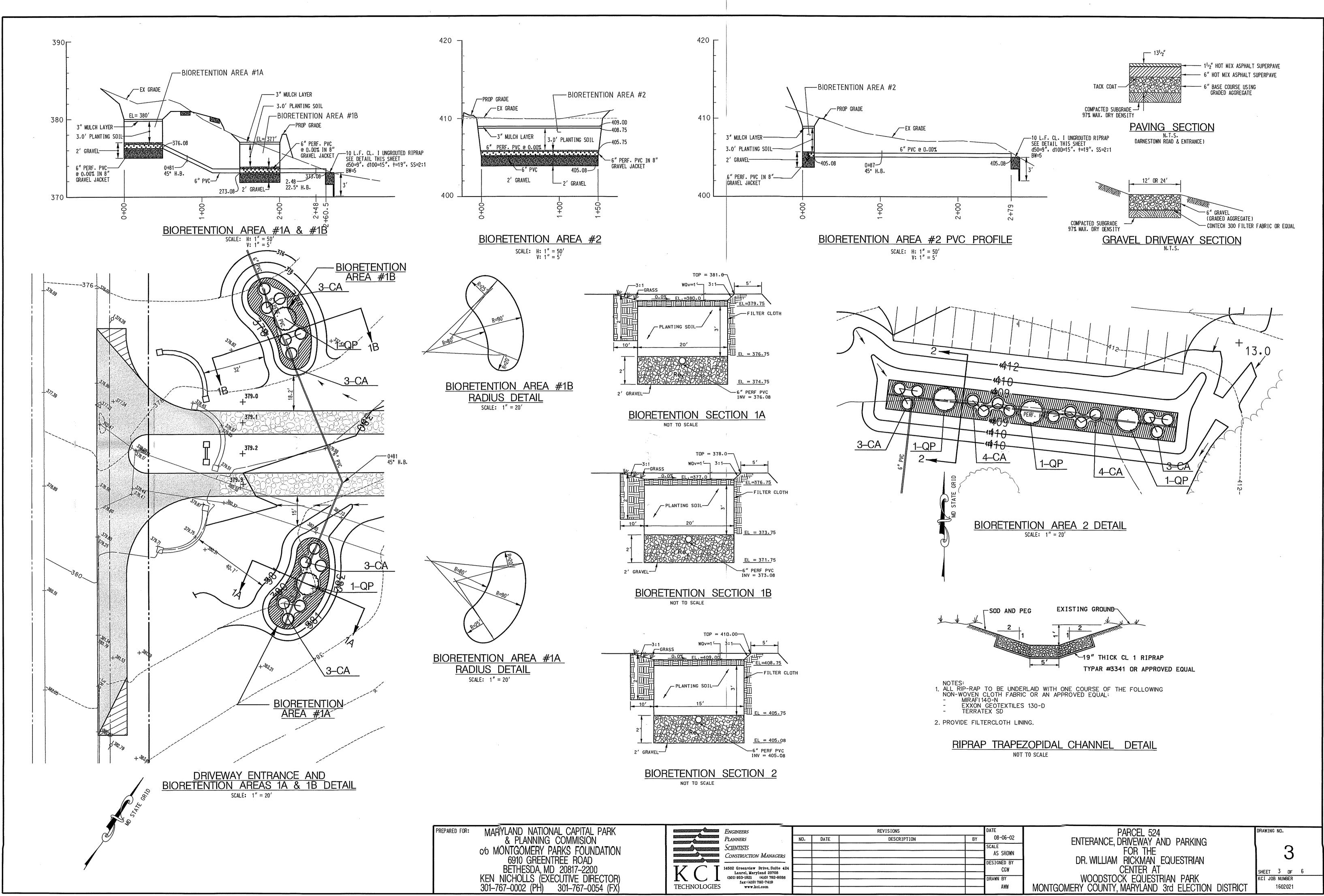
1602021 1502021/08 MUNGS / SE 99 FT 1, 9GN





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OR:	MARYLAND NATIONAL CAPITAL PARK		Engineers			REVISIONS
	WWWW & PLANNING COMMISION		Planners	ND.	DATE	DESCRIPTION
	0/20 MONTGOMERY PARKS FOUNDATION		Scientists			
	6910 GREENTREE ROAD		Construction Managers			
	BETHESDA, MD 20817–2200		4502 Greenview Drive, Suite 424 Laurel, Maryland 20708			1 100 00 00 00000000000000000000000000
	KEN NICHOLLS (EXECUTIVE DIRECTOR)		(301) 953-1821 (410) 792-8086 fax: (410) 792-7419			
	301–767–0002 (PH) 301–767–0054 (FX)	TECHNOLOGIES	www.kci.com			



1602021/ORAWINGS/PROFILES.DGN

I. BIORETENTION AREA SOIL SPECIFICATIONS

A. Planting Soil
The bioretention areas shall consist of a planting soil having a composition of at least 10 to 25 percent clay and shall be of a sondy loam or loamy sand texture. Loamy soils may be utilized for the planting soil but must consist of 35% sand. In addition, the furnished planting soil shall be of uniform composition, free of stones, stumps, roots or similar objects larger than one inch, brush, or any other material or substance which may be harmful to plant growth, or a hindrance to planting or maintenance operations.
The planting soil shall be free of plonts or plant parts of Bermudo grass, Quack gross, Johnson grass, Mugwort, Nutsedge, Poison Ivy, Conadian Thistle or others as specified.
Is sholl not contain toxic substances harmful to plant growth.
The planting soil shall be tested and meet the following criteria:
pH ronge 5.5 - 6.5 Organic matter 1.5 - 3.0% Magnesium - Mg 35 lbs./acre Phosphorus - P205 100 lbs./acre Potassium - K20 85 lbs./acre Soluble salts not to exceed 500ppm
The following testing frequencies shall apply to the above soil constituents:
pH, Organic Matter: 1 test per 90 cubic yards, but no more thon 1 test per Bioretention Area
Magnesium, Phosphorus, Potassium, Soluble Solts:
1 test per 500 cubic yards, but no less than 1 test per borrow source
One grain size onalysis shall per performed per 90 cubic yards of plonting soil, but no less than 1 test per Bioretention Areo.
B. Mulch Layer Specificotions
A mulch layer shall be provided on top of the planting soil. An acceptable mulch layer sholl include shredded hordwood or shredded wood chips or other similar product approved by the Maryland Department of Environment (MDE).
Of the approved mulch products all must be well aged, uniform in color, and free of foreign material including plant material. Well aged mulch is defined os mul ch that has been stockpiled ar stored for at least twelve (12) months.
C. Sand Specifications
The sand shall be free of deleterious material and rocks greater than 1 inch in diameter.
D. Compaction
Soil shall be placed in lifts less than 18 inches and lightly compacted (minimal compactive effort) by tamping with o bucket from a dozer ar a bockhoe.
II. BIORETENTION AREA PLANT SPECIFICATIONS
General Planting Specifications
Root stock of the plant material shall be kept moist during transport from the source to the job site and until

planted. Walls of planting pit shall be dug so that they are vertical. The diameter of the planting pit must be a minimum of six inches (6") larger than the diameter of the ball of the tree. The planting pit shall be deep enaugh to allow¹/₄" of the ball to be above the existing grade. Loose soil at the bottom of the pit shall be tamped by hand. The appropriate amount of fertilizer is to be placed at the bottom of the pit (see below for fertilizotion rates). The plant shall be removed from the container ond placed in the planting pit by lifting and carrying the plant by its' ball (never lift by branches or trunk).

Set the plant straight and in the center of the pit so that the top of the boll is approximately¹/4" above the final grade. Bockfill planting pit with existing soil.

Make sure plant remains stroight during backfilling procedure. Never cover the tap of the ball with soil. Mound soil around the exposed ball (1/4").

Trees shall be braced by using 2" by 2" white oak stakes. Stakes shall be ploced parallel to walkways and buildings. Stokes are to be equally spaced on the outside of the tree ball. Utilizing hose ond wire the tree is braced to the stakes.

BIORETENTION AREA SEQUENCE OF CONSTRUCTION

1. Install Phase I Silt Fence as shown on the plan. -Construction time: $^{1}\!\!\!/_{2}$ Day

2. Stobilize grading within Limit of Disturbance except for Bioretention Area. -Construction time: 1/2 Day

 Excavate Bloretention Area to proposed depth. -Construction time: ¹/₂ Day
 Fill Bioretention Areo with planting soil and sand, os shown in the plans and detailed in the specifications. Construction time: 1 Day

5. Plant vegetation specified in the planting plan Bioretention Area. -Construction time: ¹/₂ Day
 6. Upon authorization from DER inspector, remove all sediment controls and stabilize all disturbed areas. Unblock curb openings, and provide drainage to the Bioretention Areas. -Construction time: ¹/₂ Day
 Total Estimated Construction Time - 3.5 Days

PLANTING NOTES

 Plants shall conform to current "American Standards for Nursery Stock" by American Association of Nurserymen (AAN), particularly with regards to size, growth, size of ball, and density of branch structure.

2. All plants (B&B or container) shall be property identified by weather-proof labels securely ottached thereto before delivery to project site. Labels shall identify plants by name species, and size. Labels shall not be removed until the final inspection by the Londscape Architect.

3. Any material and/or work may be rejected by the Landscape Architect if it does not meet the requirement of the specifications. All rejected materials shall be removed from the site by the Landscape Cantractor.

4. The Landscape Contractar shall furnish all plants in quantities and sizes to complete the work as specified on the landscape plan. The Landscape Contractor shall be responsible to verify on the plan all plant quantities prior to commencement of work. Quantities in the schedule are the Landscope Contractor's convenience.

 Substitutions in plant species or size shall not be permitted except with the written approval of the Landscope Architect.

 Plants shall be located as shown on the drawings ond by scaling or os designated in the field by the Londscope Architect.

 Landscape Controctor shall contoct Miss Utility prior to any excavation.

8. If utility lines are encountered in excavation of tree pits, other locations for trees sholl be selected by the Landscape Architect. Such changes shall be made by the contractor without additional compensation. No changes of location shall be made without the approval of the Landscape Architect.

9. Landscape Contractor shall first locate and mark the underground utilities, prior to locoting and digging the pits for the trees.

10. All equipment and tools shall be placed so as not to interfere or hinder the pedestrian and vehicular traffic flow.

 During planting operations, excess and waste materials shall be pramptly ond frequently removed from the site.

12. All disturbed areas of the site not planted with shrubs or ground cover shall be sodded. Till soil to a depth of 6". Apply fertilizer of analysis 5-10-5 at the rate of 20 lbs. per 1000 square feet. Water sod doily until established.

13. All plant beds to received perenniols, bulbs or ground cover are to be tilled to a depth of 6" prior to installation of plants. Apply fertilizer of analysis 5-10-5 at the rate specified by manufacturer. Water plants until established.

14. All beds cantaining shrubs, graund cavers, perennials, bulbs or trees are to received 2"-3" of shredded hardwood bark mulch after planting ond clean up operations have been completed.

PRF

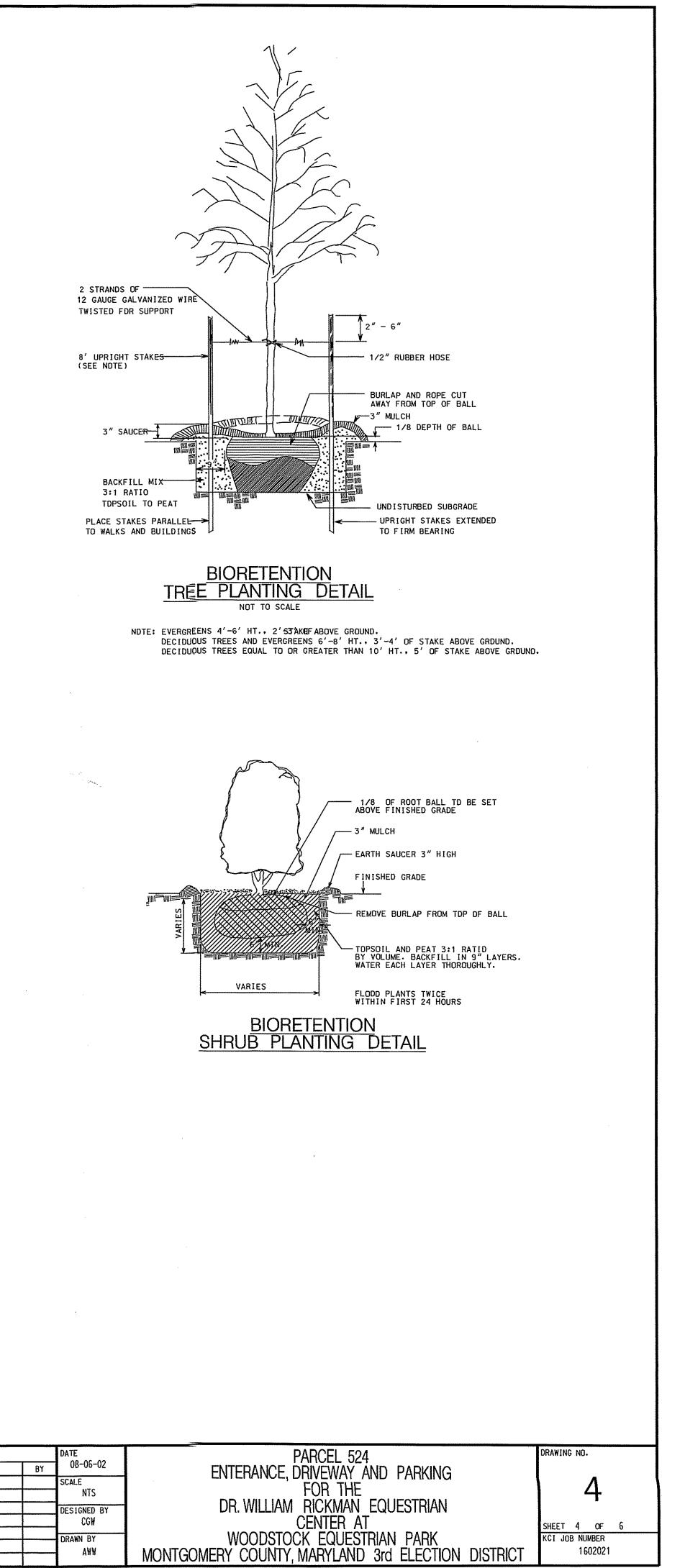
Hatching for Herbacious Cover

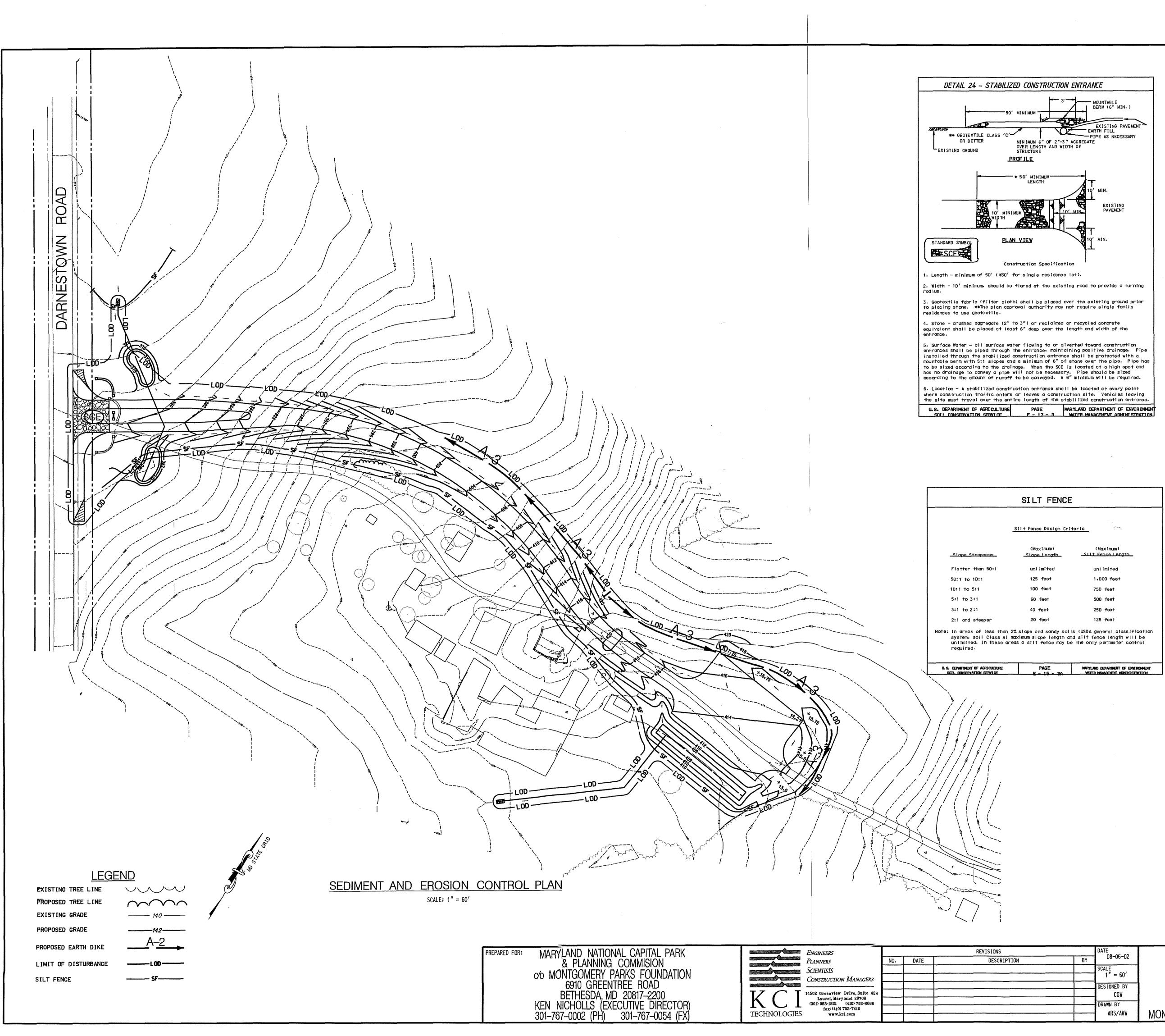
Hatching for Herbacious Cover

	В	IORETENTION AREA 2 PLANT SCHEDULE
Q†y	Кеу	Botanical*Common Name
		TREES
3	QP	Quercus Palustris-Pin Dak (2.5" Cal., B&B, Full Crown)
		SHRUBS
14	CA	Clethra Ainfolia-Sweet Pepperbush (18"-24" container)
500	JP	Pschysandra terminalis – Japanese pschysandra

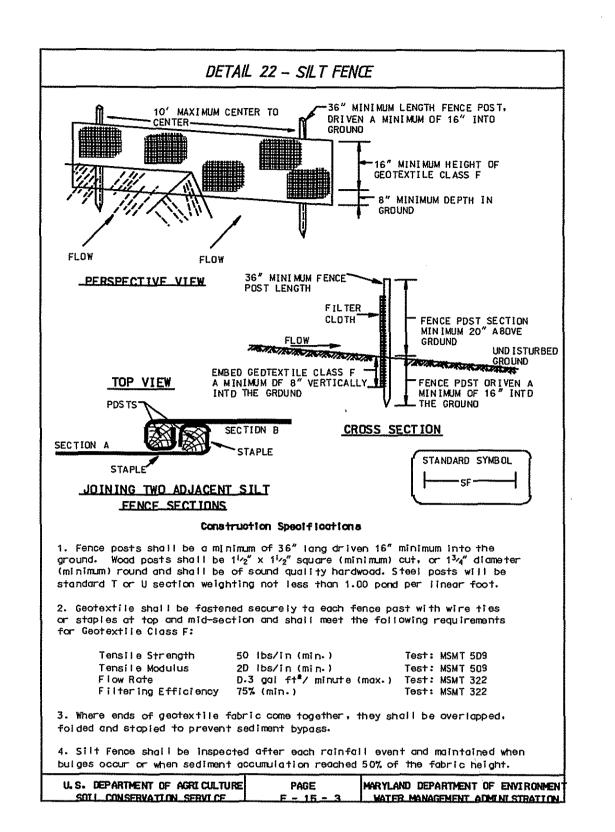
Hatching for Herbacious Cover

PARED FOR:	MARYLAND NATIONAL CAPITAL PARK	Engineers			REVISIONS
	% & PLANNING COMMISION % MONTGOMERY PARKS FOUNDATION	Planners Scientists Construction Managers	ND.	DATE	DESCRIPTIO
	6910 GREENTREE ROAD BETHESDA, MD 20817–2200 KEN NICHOLLS (EXECUTIVE DIRECTOR) 301–767–0002 (PH) 301–767–0054 (FX)	14502 Greenview Drive, Suite 424 Laurel, Maryland 20708 (301) 953-1821 (410) 792-8086 fax: (410) 792-7419			





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DETAIL 1 - EARTH DIKE							
2:1 SLOPE DR FLATTER GRADE LINE CUT DR FILL SLOPE	ROSS SECTION	EXCAVATE TI REQUIRED FI					
	VE DRAINAGE ENT TO ORAIN	a-DIKE HEIGHT b-DIKE WIDTH c-FLOW WIDTH d-FLOW DEPTH	18" 30" 24" 36" 4' 6' 12" 24"				
FLDW CHA	AN VIEW NNEL STABILIZATION	<u> </u>	STANDARD SYMBOL A-2 B-3				
 Seed and cover with straw Seed and cover with Erosic 4" - 7" stone or recycled the soil 7" minimum 	on Control Matting	or line with s nt pressed into	od.				
Construct	tion Specification	5					
1. All temporary earth dikes grade to an outlet. Spot elev	sholl have uninter ations may be nec	rrupted positiv essary for grad	e es less than 1%.				
 Runoff diverted from a dia trapping device. 	sturbed area shall	be conveyed to	a sediment				
3. Runoff diverted from an ur undisturbed, stabilized area			ctly into an				
4. All trees, brush, stumps, shall be removed and disposed functioning of the dike.							
5. The dike shall be excavated or shoped to line, grade and cross section as required to meet the criteria specified herein and be free of bank projections or other irregularities which will impede normal flow.							
6. Fill shall be compacted by	vearth moving equ	ipment.					
7. All earth remaved and not it will not interfere with th			placed so that				
 Inspection and maintenance each rain event. 	must be provided	periodically a	nd after				
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE	PAGE <u>A - 1 - 6</u>	1	RTMENT OF ENVIRONMENT				

	DATE	PARCEL 524	DRAWING NO.
ВҮ	- 08-06-02	ENTERANCE, DRIVEWAY AND PARKING	
	SCALE $1'' = 60'$	FOR THE	5
	-	DR. WILLIAM RICKMAN EQUESTRIAN	
	DESIGNED BY CGW	CENTER AT	
	DRAWN BY	WOODSTOCK EQUESTRIAN PARK	SHEET 5 OF 6 KCI JOB NUMBER
	- ARS∕A₩₩	MONTGOMERY COUNTY, MARYLAND 3rd ELECTION DISTRICT	1602021

21.0 STANDARD AND SPECIFICATIONS

APPENDIX C VEGETATIVE STABILIZATION

Permanent and Temporary Seeding, Sodding and Mulching

<u>I. Site Preparation</u> Permanent or temporary vegetatian shall be established within seven (7) days on the surface of all sediment control practices such as diversions, grade stabilization structures, berms, waterways, sediment control basins, and all slopes greater than 3 horizontal to 1 vertical (3:1) and within 14 days for allother disturbed or graded areas on the project site. Mulchina may only be used on disturbed areas as temporary caver where vegetation is not feasible or where seeding cannot be completed because of weather.

II. Seedbed Preparation and Seeding Application

Loasen the top layer of the soil to a depth of 3 to 5 inches by means of suitable agricultural or construction equipment such as disc harrows, chiselplows or rippers mounted on construction equipment. Incorporate the lime and fertilizer into the top 3 to 5 inches of the soil by discing or by other suitable means. Raugh areas should not be rolled or dragged smooth, but left in a roughened condition. Steep slopes greater than 3:1 should be tracked by a dozer, leaving the soil in an irregular condition with ridges running parallel to the contour of the slope. The top 1 to 3 inches of soil should be loose and friable. Permanent cover may require an application of topsail. If so, it must meet the requirements set farth in Section 21.0 Standards and Specifications for topsoil from the 1994 Standards and Specifications.

III. Soil Amendments

Fer

Soil tests shall be made on sites over five acres to determine the exact requirements for both lime and fertilizer. For sites under 5 acres, in lieu of a soil test, apply the following:

rtilizer	Nitrogen	1.5 lbs/sq. ft. (65 lbs/ac)	
	P205	3 lbs/sq. ft. (130 lbs/ac)	
	K20	100 lbs/1000 sq. ft. (2 tons/ac)	

For low maintenance greas apply 150 lbs/ac ureaform fertilizer (38-0-0) at 3.5 Ibs/1000 sq. ft. in addition to the above fertilizer at the time of seeding. Ground Limestone 2 tons/ac

IV. Sediment Control Practice Seeding Select a seeding mixture from tables 25 or 26 in Section G of the 1994 Standards and Specifications. Document seeding on the erosion and sediment control plan using

appropriate chart below. Note: if sediment control practices are in for longer than 12 months, permanent seeding is required.

V. Temparary/Permanent Seeding Mixtures and Rates elect a seeding mixture from appropriate table 25 or 26 in Section G of the 1994 Standards and Specifications. Document seeding on the erosion and sediment control plan using appropriate chart below.

PERMANENT SEEDING SUMMARY	
---------------------------	--

Seed Mixture (For Hardiness Zone <u>7a</u>) (From Table 25)					F	ertilizer Rat (10-20-20)	e	Lime
No.	Species	Application Rate (Ib/ac)	Seeding Dates	Seeding Depths	N	P205	К2О	Rate
3	TALL FESCUE B5X PERENAL RYEGRASS NDX NENTUCKY BLUEGRASS 57	125 15 10	3/1 TO 5/15 OR 8/15 TO 10/15	1"~2"				
					90 lb/ac (2.0 lb/ 1000 sf)	175 lb/ac (4 lb/ 1000 sf)	175 lb/ac (4 lb/ 1000 sf)	2 tons/ac (100 lb/ 1000 sf)

	`		TEMPORARY	SEEDING	SUMMARY	
	Seed Mixture	(For Hardiness (From Table :)	Fertilizer Rate	Lime
No.	Species	Application Rate (lb/ac)	Seeding Dotes	Seeding Depths	(10-10-10)	Rate
1	BARLEY	150	2/1 T0 4/30 OR 5/1 T0 8/14			
					600 lb/ac (15 lb/ 1000 sf)	2 tons/ac (100 lb/ 1000 sf)
						1

<u>VI. Turfgrass Establishment</u>

This includes lawns, parks, playgrounds, and commercial sites which will receive a medium to high level of maintenance. Areas to receive seed shall be tilled by discing ar by other approved methods to a depth of 3 to 5 inches, leveled and raked to prepare a proper seedbed. Stones and debris over $1\frac{1}{2}$ inches in diameter shall be removed. The resulting seedbed shall be in such condition that future mowing of grasses will pose no difficulty. Use certified material and choose a turfgrass mixture fram page G-20 of the 1994 Standards ond Specifications or select from the list in the most current University of Moryland publication, Agronomy Mimeo *77, "Turfgrass Cultivar Recommendations for Maryland". See mimeo at end of this section.

VII. Mulching

All seedings require mulching. Also mulch during non-seeding dates until seeding can be done

Mulch shall be unrotted, unchopped, small grain straw applied at a rate of 2 tons/acre ar 90 ibis/1000 sq.ft. (2 bales). If a mulch anchoring tool is used, apply 2.5 tons/ocre. Mulch materials shall be relatively free of all kinds of weeds and shall be completely free of prohibited noxious weeds. Spread mulch uniformly, mechanically or by hand, to a depth of 1-2 inches. Mulch anchoring shall be accomplished immediately after mulch placement to minimize loss by wind or water. This may be done by mulch nettings, mulch anchoring tool, wood cellulose fiber or liquid mulch binders.

Apply wood cellulose fiber at a dry weight of 1,500 lbs/acre. If mixed with water, use 50 Ibs. of wood cellulose fiber per 100 gallons of water.

Liquid binder should be applied heavier at the edge, where wind catches mulch in valleys, and on crest of banks. The remainder of the area should appear uniform after binder application. Apply rates recommended by the manufacturer to anchor and mulch. Staple light weight, plastic netting over the mulch according to manufacturer's recommendations.

VIII. Sodding

Class of turfgrass sod shall be Maryland or Virginia State certified, or Maryland or Virginia State approved sod. Sod shall be harvested, delivered ond installed within a period of 36 hours. Sod is to be laid with the long edges parallel to the contour using staggered joints with allends tightly abutted and not over lapping. Sod shall be rolled and thoroughly watered after installation. Daily watering to maintain 4 inch depth of moisture for the first week is required in the absence of rainfall. Sod is not to be applied on frozen ground.

IX. Maintenance

A. Irrigate - Apply minimum 1" of water every 3 to 4 days depending on sail texture, when soil moisture becomes deficient to prevent loss of stand of protective vegetation.

B. Repairs - If stand provides between 40% and 94% ground coverage, overseed and fertilize using half of the rates originally applied. If Sand provides less than 40% coverage, reestablish stand following original rates an procedures.

Note: Use af this information does not preclude meeting all of the requirements of the 1994 Maryland Standards and Specifications for SoilErosion and Sediment Control Vegetotive Practices.

To provide a suitable soil medium for vegetative growth. Soils of concern have low moisture content, low nutrient levels, low pH, materials taxic to plants, and/or unacceptable soil gradation.

- I. This practice is limited to areas having 2:1 or flatter slopes where:
- veaetative arowth.

- II. Topsoil Specifications Soil to be used as topsoil must meet the following:

- Stabilization Methods and Materials.
- IV. For sites having disturbed areas over 5 acres:

 - 6.5 or higher.

 - not be used.
 - elapsed (14 days min.) to permit dissipation of phyto-toxic materials

topsoil.

- V. Topsoil Application
 - Traps and Basins.

References: Guideline Specifications, Soil Preparation and Sodding MD-VA, Pub. *1, Cooperative Extension Service, University of Maryland and Virginia Polytechnic Institutes. Revised 1973.

PREPARED FOR:

<u>FOR</u>

TOPSOIL

<u>Definition</u>

Placement of topsoil over a prepared subsoil prior to establishment of permanent vegetation.

Purpose

Conditions Where Practice Applies

A. The texture of the exposed subsoil/parent materialis not adequate to produce

B. The soil material is so shallow that the rooting zone is not deep enough to support plants or furnish continuing supplies of moisture and plant nutrients.

C. The original soil to be vegetated contains material toxic to plant growth.

D. The sollis so acidic that treatment with limestone is not feasible.

I. For the purpose of these Standards and Specifications, areas having slopes steeper than 2:1 require special consideration and design for adequate stabilization. Areas having slopes steeper than 2:1 shall have the appropriate stabilization shown on the plans.

Construction and Material Specifications

I. Topsoil salvaged from the existing site may be used provided that it meets the standards as set farth in these specifications. Typically, the depth of topsoil to be salvaged for a given soiltype ran be found in the representative soilprofile section in the Soil Survey published by USDA-SCS in cooperation with Maryland Agricultural Experimental Station.

A. Topsoil shall be a loam, sandy loam, clay loam, silt loam, sandy clay loam, loamy sand. Other soils may be used if recommended by an agronomist or sail scientist and approved by the appropriate approval autharity. Regardless, topsoil shallnot be a mixture of contrasting textured subsoils and shall contain less than 5% by volume of cinders, stones, slag, coarse fragments, gravel, sticks, roots, trash, or other materials larger than $1\frac{1}{2}$ " in diameter.

B. Topsoil must be free of plants or plant parts such as bermuda grass, quackgrass, Johnsongrass, nutsedge, poison ivy, thistle, or others as specified.

C. Where the subsoil is either highly acidic or composed of heavy clays, (ground limestone shall be spread at the rate of 4-8 tons/acre (200-400 pounds per 1,000 square feet) prior to the placement of topsoil. Lime shall be distributed uniformly over designated areas and worked into the soil in conjunction with tillage operations as described in the following procedures.

III. For sites having disturbed areas under 5 acres place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetative .Stabilization - Section I- Vegetative

A. On soil meeting Topsoil specifications, obtain test results dictating fertilizer and lime amendments required to bring the soil into compliance with the following: 1. pH for topsoil shall be between 6.0 and 7.5. If the tested soil demonstrates a pH of less than 6.0, sufficient lime shall be prescribed to raise the pH to

2. Organic content of topsoil shall be not less than 1.5 percent by weight. 3. Topsoil having soluble salt content greater than 500 parts per million shall

4. No sod or seed shall be placed on soil which has been treated with soil sterilants or chemicals used for weed controluntil sufficient time has

Note: Topsail substitutes or amendments, as recommends by a qualified agronomist or soil scientist and approved by the appropriate approval authority, may be used in lieu of natural

B. Place topsoil (if required) and apply soil amendments as specified in 20.0 Vegetotive Stabilization - Section I - Vegetative Stabilization Methods and

A. When topsoiling, maintain needed erosion and sediment control practices such as diversions, Grade Stabilization Structures, Earth Dikes, Slope Silt Fence and Sediment

Grades on the areas to be topsoiled, which have been previously established, shall be maintained, albeit 4" - 8" higher in elevation.

2. Topsoil shall be uniformly distributed in a 4" - 8" layer and lightly compacted to a minimum thickness of 4". Spreading shall be performed in such a monner that sodding or seeding can proceed with a minimum of additional soil preparation and tillage. Any irregularities in the surface resulting, from topsoiling or other operations shall be corrected in order to prevent the formation of depressions or water pockets.

3. Topsoil shall not be placed while the topsoil or subsoil is in o frozen or muddy condition, when the subsoil is excessively wet or in a condition that may otherwise be detrimental to proper grading and seedbed preparation.

VI. Alternative for Permanent Seeding - Instead of applying the full amounts of lime and commercial fertilizer, composted sludge and amendments may be applied as specified below:

A. Composted Sludge Material for use as a soil conditioner for sites having disturbed areas over 5 acres shall be tested to prescribe amendments and far sites having disturbed areas under 5 acres shall conform to the following, requirements:

1. Composted sludge shall be supplied by, or originate from, a person or persons that are permitted (at the time of acquisition of the compost) by the Maryland Department of the Environment under COMAR 26.04.06.

 Composted sludge shall contain at least 1 percent nitrogen, 1.5 percent phosphorus, and 0.2 percent potassium and have a Ph of 7.0 to 8.0. If compost does not meet these requirements, the appropriate constituents must be odded to meet the requirements prior to use.

3. Composted sludge shallbe applied at a rate of iton/1,000 square feet.

B. Composted sludge shall be amended with a potassium fertilizer applied at the rate of 4 lb/1,000 square feet, and 1/3 the normallime application rate.

19.0 STANDARDS AND SPECIFICATIONS

FOR LAND GRADING

<u>Design Criterio</u>

The grading plan should be based upon the incorporation of building designs and street layouts that fit and utilize existing tapography and desirable natural surroundings to avoid extreme grade madifications. Information submitted must pravide sufficient topographic surveys and soil investigations to determine limitations that must be imposed on the grading operation related to slape stability, effect on adjacent properties and drainage patterns, measures for drainage and water removal and vegetative treatment, etc.

Many counties have regulations and design procedures already established for land grading and cut and fill slopes. Where these requirements exist, they shall be followed. The plan must show existing and proposed contours of the area(s) to be graded. The plan shall also include practices for erosion control, slope stabilization, safe disposal of runoff water and drainage, such as waterways, lined ditches, reverse slope benches (include grade and cross section), grade stabilization structures, retaining walls, and surface and subsurface drains. The plan shall also include phasing of these practices. The following shall be incorporated into the plan:

I. Provisions shall be made to safely conduct surface runoff to storm drains, protected outlets or to stable water courses to insure that surface runoff will not damage slopes or other graded areas.

- II. Cut and fill slopes that are to be stabilized with grasses shall not be steeper than 2:1. (Where the slope is to be mowed the slope should be no steeper than 3:1; 4:1 is preferred because of safety factors related to moving steep slopes.) Slopes exceeding 2:1 shall require special design and stabilization considerations that shall be adequately shown on the plans.
- III. Reverse benches shallbe provided whenever the vertical interval (height) of any 2:1 slope exceeds 20 feet; for 3:1 slope it shall be increased to 30 feet and for 4:1 to 40 feet Benches shall be located to divide the slope face as equally as possible and shall convey the water to a stable outlet. Soils, seeps, rock outcrops, etc., shall also be taken into consideration when designing benches.
- A. Benches shallbe a minimum of six-feet wide to provide for ease of maintenance.
- B. Benches shall be designed with a reverse slope of 6:1 or flatter to the toe of the upper slope and with a minimum of one foot in depth. Bench gradient to the outlet shall be between 2 percent and 3 percent, unless accompanied by apprapriate design and computations.
- C. The flow length within a bench shall not exceed 800' unless accompanied by appropriate design and computations. For flow channel stabilization see temporary
- IV. Surface water shall be diverted from the face of all cut ond/or fillslopes by the use of earth dikes, ditches and swales or conveyed downslope by the use of a designed structure, except
- A. The face of the slope is or shall be stabilized and the face of all graded slopes shall be protected from surface runoff until they are stabilized.
- B. The face of the slope shall not be subject to any concentrated flows of surface water -such as from natural drainageways, graded swales, downspouts, etc.
- C. The face of the slope will be protected by special erosion control materials, to include, but not limited to: approved vegetative stabilization Bractices (see section G), rip-rap or other opproved stabilization methods.
- V. Cut slopes occurring in ripable rock shallbe serrated as shown on the following diagram. These serrations shollbe mode with conventianal equipment as the excavation is mode. Each step or serrotion shall be constructed on the contour and will have steps cut at nominal twofoot intervols with nominal three-foot horizontal shelves. These steps will vary depending on the slope ratio or the cut slope. The nominal slope line is 1:1. These steps will weather and act to hold moisture, lime, fertilizer and seed thus producing o much quicker and longer lived vegetative cover and better slope stabilization. Overland flow shall be diverted from the top of all servated cut slopes and carries to o suitable outlet.
- VI. Subsurface drainage shall be provided where necessary to intercept seepage that would otherwise adversely affect slope stability or create excessively wet site conditions.
- VII. Slopes shall not be created so close to property lines as to endanger adjoining properties without adequately protecting such properties against sedimentation, erosion, slippage, -settlement, subsidence or other related damages.
- VIII. Fill material shall be free of brush, rubbish, rocks, logs, stumps, building debris, and other objectionable material. It should be free of stones over two (2) inches in diameter where - Compacted by hand or mechanical tampers or over eight (8) inches in diameter where compacted by rollers or other equipment. Frozen material shall not be placed in the fill nor shall the fill material be placed on a frozen foundation.
- IX. Stockpiles, borrow areas and spoil shall be shown on the plans and shall be subject to the provisions of this Standard and Specifications.
- X. All disturbed areas shall be stabilized structurally or vegetatively in compliance with 20.0 Standards and Specifications for Vegetative Stabilization

GEOTEXTILE FABRICS

CLASS	APPARENT OPENING SIZE MM. MAX.	GRAB TENSILE STRENTGH LB. MIN	BURST STRENGTH PSI. MIN
Α	0.30	250	500
В	0.60	200	320
С	0.30	200	320
· D	0.60	90	145
E	0.30	90	145
F (SILT FENCE)	0.40-0.80*	90	190

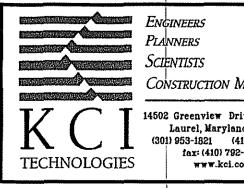
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STONE SIZE SIZE RANGE D₅₀ D₁₀₀ AASHTO WEIGHT 1/2" 11/2" 3/8"-11/2" NUMBER 57* M-43 N/A 2¹/2" 3" 2″-3″ NUMBER 1 M--43 N/A 4″-7″ 51/2" 7" RIP-RAP** N/A N/A 9.5" 15" CLASS I N/A N/A 150 LB MAX 16" 24" CLASS II N/A N/A 700 LB MAX 23" 34" CLASS III N/A N/A 2000 LB MAX

* This calssification is to be used on the inside face of stone outlets and check dams

** This classification is to be used when ever small rip-rap is required. The State Highway Administration designation for this stone is Stone For Gabions (905.01.04)

MARYILAND NATIONAL CAPITAL PARK & PLANNING COMMISION ∽ MONTGOMERY PARKS FOUNDATION 6910 GREENTREE ROAD BETHESDA, MD 20817-2200 KEN NICHOLLS (EXECUTIVE DIRECTOR) 301-767-0002 (PH) 301-767-0054 (FX)



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x: (410) 792-7419 www.kci.com			· · ·		AWW		
						MONTGOMERY COUNTY, MARYLAND 3rd ELECTION DISTRICT	1602021

LANNERS

Laurel, Marylan

fax: (410) 792

GENERAL NOTES

- 1. The developer is responsible for the acquisition of all required easement, right and/or rights-of-ways pursuant to the discharge from the sediment and erosion contral practices, starmwater management practices, and the discharge of stormwater onto or across and grading or ather work to be performed on adjacent or downstream properties affected by this plan.
- 2. Following initial soil disturbance or redisturbance, permanent or temporary stabilization shall be completed

a) Seven calendar days as to the surface of all perimeter controls, dikes, swales, ditches, perimeter slopes, and all slopes grater than three horizontal to one vertical (3:1) and

b) Fourteen days for all other disturbed or graded areas on the project site.

The in-place sediment control measures will be maintained on a continuing basis until the site is permanently stabilized and all permit requirements are

3. On all sites with disturbed areas in excess of two acres, approval of the inspection agency is requested upon completion of installation of perimeter erosion and sediment controls before proceeding with any other earth disturbance or grading. Other building or grading inspection approvals will not be authorized until this initial approval by the inspection agency is

4. Approval shall be requested upon final stabilization of all sites with disturbed areas in excess of two acres before removal of controls.

Disturbed surface area:	<u>3.42 Ac.</u>
/olume of spoil material: _	7308 c.y.
Volume of borrow materia	al:423_c.y.

List predominant soil types and general description per PGSCD soilsurvey:

50A - Rowland silt loam, O to 3% slopes, ocassionally flooded 16C - Brinklow-Brocktown channery silt loams, 8 to 15% slopes 16D - Brinklow-Brocktown channery silt loams, 15 to 25% slopes

SITE AREA STATEMENT 5. Total lot oreo 📼 353.62 Acres

SEQUENCE OF CONSTRUCTION

- 1. Meet with inspectar for pre-canstruction meeting. 1 DAY
- 2. Clear for and install sediment control measures (IE, Silt fence stabilized construction entrances, earth dikes) as shown on the plans. 2 DAYS
- 3. With the inspector's opproval, clear and grade the site within the limits
- of disturbance. 2 WEEKS 4. Install paving. 3 DAYS
- 5. Stabilize all disturbed areas. 2 DAYS
- 6. With silt fence protection, install Bioretention Areas 1A, 1B, & 2. 3 DAYS
- 7. Stabilize all disturbed areas. 1 DAY

Signature

8. With the inspectors approval, remove all sediment control measures. 2 DAYS

OWNER'S/DEVELOPER'S CEERTIFICATION

I/We hereby certify that all clearing grading, construction, and or development will be done pursuant to this plan ond thot any responsible personnel involved in the construction projectwill have a Certificate of Attendance at o Department of Natural Resources approved training program for the control of sediment ond erosion before beginning the project.

DESIGN CERTIFICATION

Thereby certify that this plan has been prepared in accordance with the "1994 Maryland Stondards ond Specification for Soil Erosion and Sediment Control", Montgomery County Department of Permitting Services Executive Regulations 5-90 and 36-90, and Montgomery County Department of Public Works and Transportation "Storm Drain Design Criteria" dated August 1988.

Design Engineer Signoture Marianne Kiernan, PE MD Registration No. 2505B

CERTIFICATION OF THE QUANTITIES

I hereby certify that the estimated totol amount of excavation and fill as shown on these plans has been computed to 7,308 cubic yards of excavation, 423 cubic yards of fill and the total oreo to be disturbed as shown on these plans hos been determined to be 148,975 square feet (3.42 Ac.)

Signature Marianne Kiernan, PE MD Registration No. 25058

Date

Date

Date

10/9/02 Gwen For noticing for Brewe Farm Project : Jim Brown Jim Brown Sugar loaf Cotizens Assoc. P.O. BOX 442 Barnesville, MD. 20838 Perry Kayesch Historic Medley I told Perry, na voice Mail, That we would plus the notice + info. to The P.O. box address you have one and if V she wants some Thing Sent to her home address she Should call as with The address Login • • •

Gewen: For one, My Cellphone # is (703) 625-5413. Clam out at Kensigton HD, Takoma Park HD, E Hawkins have - I forgot yesterday to remind you of the "Interested prop. Owners" Which need to be polified for Case A of the gravel road improvenents) for the Brewers Farm. The LAP has not been notified either - all that Stuff is ready to be "sorta" sent and are partially done on the big table. Robin & O assembled the Information, but needed adjacent addressog Which are not included with the plans & HAWPform. Obope This all makes Serve. Call moif you have any greations - Thanks, & See you later! (probably Afternoon ...)

Corri

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Owner Name: TIBBS, WI	LLIAM R ET AL	Ŭ	Jse: RESIDENTIAL
Mailing Address: 20955 BIG DICKERSC	WOODS RD DN MD 20842	P	rincipal Residence: YES
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Special Tax Areas		Town:	
		Ad Valorem:	
	· ·	Tax Class:	42
Primary Structure Da	ata		
Year Built:		ea: Property Land	Area: County Use:
1966	1,009 SF	3.75 AC	111
Base Value		formation Phase-In Value Ph	ase-in Assessments
	As Of		As Of As Of
	01/01/2001		7/01/2000 07/01/2001
Land: 34,370			
Impts: 67,920 Total: 102,290			40,910 103,616
	Pari	tial Exempt Assess	ments
	Code	07/01/2000	07/01/2001
County	000	0	0
State	000	0	0
Municipal	000	. 0	0
	[Go Back]	[Start Over]	(Ir

Page 1 of 2-

Real Property Information		eartment of Asse		axation	(50)
[Go Back]	MONTGOMER	Y COUNTY	[S	tart Over]	
D	STRICT: 11 ACC		7		
	<u>Owner Info</u>	rmation			
	RTHS&AS		Use: RESID	DENTIAL	
Mailing Address: POBOX 36 BARNESVI	4 LLE MD 20838		Principal R	esidence:NO	
Transferred					
From: IRVIN E HACKETT		Date: 10/13/19	<b>P95 Price:</b>	\$0	
<b>Deed Reference:</b> 1)/13	686/ 186	- Specia	l Tax Recapti	ure:	
2)					•
			* NONE *		
Tax Exempt: NO					
L	ocation Informat	ion [View Map	]		
Premises Address:		Legal Descri	-		
21010 BIG WOODS RD DICKERSON 20842	R200	CASE 4418 I	BLANTYN		
Map Grid Parcel	Subdiv Sect	Block Lot	Group Plat	No:	
CV31 P964	1		80 Plat	Ref:	
Special Tax Areas		Town:			
-		Ad Valorem:			
		Tax Class:		42	
Primary Structure Dat	a				
Year Built:	<b>Enclosed Area</b>	: Property La	nd Area: Co	unty Use:	
1926		2.00 A	C	111	
	Value Info	rmation			
Base Value	Current Value Pl		Phase-in As	sessments	
N	As Of	As Of	As Of	As Of	
	01/01/2001	07/01/2001	07/01/2000	07/01/2001	•
Land: 15,000	15,000				
Impts: 0 Total: 15,000	0 15,000	15,000	6,000	15,000	
Pref Land: 0	0	0	0	0	
	Partial	Exempt Asse	essments		
	Code	07/01/2000		7/01/2001	
County	000	0		0	
State	000	0		0	
Municipal	000	0		0	
	[Go Back] [S	Start Over]			0
					(II)

	Property mation	Maryland	-	rtment of Ass al Propert			axation	5
[Go Back]		MONTGO	MERY	COUNTY		[S	tart Over]	
•	DIS	TRICT: 11			232			
Owner Name: *	SEELY, GAR	<u>Owner</u> HC&AR	mon	nation	Use:	RESID	ENTIAL	
Mailing Address:	P O BOX 364 BARNESVILI	E MD 2083	8		Prin	cipal R	esidence:NO	
Transferred				$\mathbf{D} = - 1 \mathbf{O} (1 \cdot \mathbf{A})$	1005	<b>n</b> • ¹	ф <u>го ооо</u>	
From: JOHN		0/166		Dātē: 12/14/			\$50,000	
Deed Referen	ce: 1) /1381 2)	9/ 100		Spec	ial Tax ]	кесари	ire:	
	2)				* NOI	NE *		
Tax Exempt:	NO							
	Loc	cation Infor	matic	n [View Ma	ap]			
Premises A	ddress:	Zo	ning:	Legal Desc	ription:			
BIG WOO	DDS RD	R	R200	BARNESV	ILLE DI	STRIC	Г	
Map G CV31	rid Parcel P906	Subdiv S	Sect	Block Lot	Grouj 80	•	No: Ref:	
Special Tay	k Areas			Town:				
				Ad Valorem	:		10	
Drimon	Structure Data			Tax Class:			42	
•	ar Built:		A rea:	Property L	and Ar	ea. Co	unty Use:	
	0000	Lineroseu i		4.00		<i>.</i>	910	
		Value	Infor	nation			1103 GEORGE ALTO & CLAIDENNE (1999)	
E	Base Value C				e Phas	e-in As	sessments	
		As (		As C		As Of	As Of	
	24 000	01/01/200		07/01/200	1 07/0	1/2000	07/01/2001	·
Land: Impts:	34,000 0	34,00	0					
Total: Pref Land:	34,000 0	34,00	00	34,00	0	13,600 0	34,000 0	
FIGI Land:	v	₽s	•	Exempt As:	•	•		
		Code		07/01/200			7/01/2001	
	County	000			0	Ū	0	
	State	000			0		Ō	
n	Aunicipal	000			0		0	
		[Go Back]	[St	art Over]				

13

	Real Property Information Maryland Department of Assessments and Taxation Real Property System								
[Go Back]		MONTGO	MERY	COUNTY		[Star	t Over]		
1	DIS	STRICT: 11 A Owner		' NO: 0163444	0				
Owner Name: 🜌 🏼	VLEY, LAR			nation	Use: RE	SIDEN	TIAL		
		JOHNSBUR WN MD 208'			Principa	l Resid	lence:NO		
Transferred									
From:				Date: 02/19/19	981 <b>Pr</b> i	<b>ce:</b> \$0			
Deed Reference:	1) / 565	59/754		Special	Tax Reca	pture:			
	2)								
Tax Exempt: NC	)				* NONE *				
	Lo	cation Infor	matic	n [View Map	1				
Premises Add BIG WOODS	ress:	Zo		Legal Descri WOODSTOC	ption:				
Map Grid	Parcel	Subdiv S	ect ]	Block Lot	Group F	lat No	:		
CV31	P986	1			80 H	Plat Re	f:		
Special Tax A	reas			Town:					
•			-	Ad Valorem:					
			,	Tax Class:			42		
Primary Stru				<b>D</b> / T	<b>7</b> 4	<b>a</b> .	**		
Year E		Enclosed A	Area:	Property La		•	•		
000	U		··	1.00 A	.C	99	U		
_		Value				_			
Bas	e Value C			ase-In Value					
	•	As 0 01/01/200		As Of 07/01/2001	As	-	As Of		
Land:	3,000	3,00		07/01/2001	07/01/20	00 07	01/2001		
Impts:	· 0		0				0 000		
Total: Pref Land:	3,000 0	3,00	0	3,000 0	1,2	00.	3,000 0		
		Ра	rtial E	Exempt Asse	ssments				
		Code		07/01/2000		07/01	/2001		
C	ounty	000		0			0		
	State	000		0			0		
Mur	nicipal	000		0			0		

Real Propert Information	7 PT	Maryland Department of Assessments and Taxation Real Property System							
[Go Back]	MON	TGOMERY	COUNTY		[Start Over]	-			
10 (12) 10 (12)	Ow	ner Infor	「NO: 0092087 mation	-					
	'ER, MARTHA STEAD OAKS'	A	Use: RESIDENTIAL						
Mailing Address: PO BO		3 <b>49</b> .5.7	Principal Residence:NO						
Transferred									
From:			Date: 07/23/19		i <b>ce:</b> \$0				
Deed Reference:	1) / 9854/ 113 2)		Specia	l Tax Rec	apture:				
Tax Exempt: NO	_,			* NONE *	k				
	Location	Informatio	on [View Map	1	······································				
Premises Address BIG WOODS RI	:		Legal Descri WOODSTOC	ption:	25				
1	Parcel Subdi	v Sect	Block Lot	Group	Plat No:				
	P018 1			80	Plat Ref:				
Special Tax Areas	5		Town: Ad Valorem:		10				
Primary Structu	re Data		Tax Class:		42				
Year Built		sed A rea	Property La	nd Area	County Use				
0000		Sed III cul	2.00 A		910				
	Va	alue Infor	mation						
Base V				Phase-ir	n Assessments				
Land: 18		As Of /2001 L8,000	As Of 07/01/2001		Of As Of 000 07/01/2001				
Impts: Total: 18 Pref Land:	0 3,000 1 0	0 18,000 0	18,000 0	7,2	200 18,000 0 0				
		Partial	Exempt Asse	ssments	i i				
	Code		07/01/2000		07/01/2001				
Cou Sta Municij	at <b>e</b> 000		0 0 0		0 0 0				
	[Go Ba	<u>.ck] [St</u>	art Over]			(14)			

	Property ormation		Maryland Department of Assessments and Taxation Real Property System						
[Go Back]		MONTGOMERY	COUNTY	[Start Over	1				
Owner Name:	BAUER, KEI	STRICT: 06 ACCT Owner Inforr THAL& TEWOOD BAUER		Use: RESIDENTIAL					
Mailing Address:	12231 GALE		74	Principal Residence: Y	ÆS.				
Transferred	,								
From: STEP	HENS, JERRY	A & R O	Date: 08/11/200	00 <b>Price:</b> \$330,000					
Deed Referen	nce: 1)/183	10/ 742	Special	Tax Recapture:					
	2)		*	NONE *					
Tax Exempt:		ocation Information							
GAITHER	LESVILLE DR SBURG 20878 rid Parcel S	3-2074 Subdiv Sect Bloc 4 F	QUINCE ORC Y	HARD VALLE					
Primary	Structure Data	<b>1</b>							
	ar Built:			d Area: County Use:					
	1988	3,604 SF	14,312.00	SF 111					
		Value Inform			<b>.</b> .				
	Base Value (			Phase-in Assessmen As Of As G					
Land: Impts: Total: Pref Land:	64,310 244,480 308,790 0	108,620	07/01/2001	As Of As 0 07/01/2000 07/01/200 123,510 311,1	01				
			Exempt Asses						
I	County State Municipal	<b>Code</b> 000 000 000	<b>07/01/2000</b> 0 0 0	<b>07/01/2001</b> 0 0 0					

	Real Property Information Maryland Department of Assessments and Taxation Real Property System								
[Go Back]		MONTGOMERY	COUNTY	[S1	tart Over]				
	DIS	STRICT: 11 ACC Owner Infor		ó					
<b>Owner Name:</b>	WATSON, TH	RRELLC&LM		Use: RESID	ENTIAL				
Mailing Addres	s: / DICKERSON	SVILLE RD MD 20842		Principal R	esidence:YES	5			
Transferre	d								
From:		·** ··•	<b>Date:</b> 06/06/19	68 Price:	\$3,500				
Deed Refer	,	5/ 58	-	x Recapture					
	2)		HOMEOWNE	RS TAX CRE	EDIT				
Tax Exemp	ot: NO		L.	119-19-11-11-11-11-11-11-11-11-11-11-11-					
	Lo	cation Information	on [View Map]	]					
20440 B	s <mark>Address:</mark> EALLSVILLE RI RSON 20842	0	Legal Descrip WOODSTOC						
Мар	Grid Parcel	Subdiv Sect	Block Lot	Group Plat	No:				
CU33	P306	1	Diver Lot	I	Ref:				
	Fax Areas	-	Town:						
1			Ad Valorem:						
			Tax Class:		42				
Primar	y Structure Data								
	/ear Built:	<b>Enclosed Area:</b>	<b>Property Lan</b>	d Area: Co	unty Use:				
	1975	1,350 SF	6.00 A	С	111				
		Value Infor	mation	1999 - Jan Manadalah Bana addara di Andria (1999 - 1999 - 1999 - 1999 - 1999 - 1999 - 1999 - 1999 - 1999 - 1999					
	Base Value C	urrent Value Ph		Phase-in As	sessments				
		As Of	As Of	As Of	As Of				
		01/01/2001	07/01/2001	07/01/2000	07/01/2001				
Land Impts		56,000 130,230							
Total	: 180,120	186,230	182,156	72,040	182,156				
Pref Land	l <b>:</b> 0	0	0	0	0				
			Exempt Asse						
	_	Code	07/01/2000	07	7/01/2001				
	County	000	0		0				
	State	000	0		0				
	Municipal	000	0		0				
		[Go Back] [St	tart Over]						

	Property ormation	Maryland Department of Assessments and Taxation Real Property System						
[Go Back]		MONTGOMERY	COUNTY	[S	tart Over]	$\bigcirc$		
		TRICT: 11 ACC Owner Infor	mation	5				
<b>Owner Name:</b>		RRELL C & L M	· ·	Use: RESID	ENTIAL			
Mailing Address:	20440 BEALL DICKERSON		Principal Residence:NO					
Transferred			Deter 11/20/10	65 Price:	ቀሳ			
From:	1)/244	01256	Date: 11/29/19		•			
Deed Referer	nce: 1) / 344 2)	0/ 300	Special	Tax Recaptu	ire:			
	2)		*	* NONE *				
Tax Exempt:	NO							
	Lo	cation Informati	on [View Map	]				
Premises A	ddress:	Zoning:	Legal Descrip	otion:				
20436 BEA	ALLSVILLE RI	R200 [·]	WOODSTOC	K				
DICKERS	ON 20842							
Map C CU33	Frid Parcel P287	Subdiv Sect	Block Lot	Group Plat 80 Plat	No: Ref:	·		
Special Ta	x Areas		Town:					
			Ad Valorem:					
	•		Tax Class:		42			
Primary	Structure Data							
Ye	ar Built:	<b>Enclosed Area:</b>	- •					
[	0000		2.00 A	С	910			
		Value Infor			_			
	Base Value C	urrent Value Ph						
		As Of 01/01/2001	As Of 07/01/2001	As Of	As Of			
Land:	15,000	15,000	07/01/2001	07/01/2000	07/01/2001			
Impts:	0	0						
Total: Pref Land:	15,000	15,000 0	15,000 0	6,000	15,000 0			
		Partial	Exempt Asse	ssments				
		Code	07/01/2000		7/01/2001			
	County	000	0		0			
	State	000	0		0			
	Municipal	000	0		0			
		[Go Back] [S	tart Over]					

	Real Property Information	Maryland Department of Assessments and Taxation Real Property System							
[Go Back]	<u> </u>	MONTGOMER	COUNTY	[Start Over]					
	DIS	STRICT: 11 ACC Owner Info							
<b>Owner Name:</b>	THOMAS, M	ARYLETAL		se: RESIDENTIAL					
Mailing Addre	20430 BEAL SS: BEALLSVIL	LSVILLE RD LE MD,20839-334	348 Principal Residence: YES						
Transferr									
From: AL	LEN H & M L TH	IOMAS	-Date:-01/04/1999	Price: \$0					
Deed Refe	erence: 1) /166	27/ 481	Special Tax	Recapture:					
	2)		HOMEOWNER	S TAX CREDIT					
Tax Exem	pt: NO								
	Lo	cation Informati	on [View Map]						
Premise	es Address:		Legal Description	on:					
20430 I	BEALLSVILLE R	D R200	WOODSTOCK						
DICKE	RSON 20842-334	8							
Map CU33	Grid Parcel P395	Subdiv Sect		oup Plat No: 0 Plat Ref:					
	Tax Areas	1	c Town:	o Plat Kel:					
Special	Tax Areas		Ad Valorem:						
			Tax Class:	42					
Prima	ry Structure Data	1							
	Year Built:		Property Land	Area: County Use:					
	1963	864 SF	2.00 AC	111					
		Value Info	mation						
	Base Value (			ase-in Assessments					
		As Of	As Of	As Of As Of					
		01/01/2001		/01/2000 07/01/2001					
Lan		45,000							
Impt Tota		66,980 111,980	110,033	43,620 110,033					
Pref Lan	-	0	0	0 0					
		Partial	Exempt Assess	nents					
		Code	07/01/2000	07/01/2001					
	County	000	0	0					
	State	000	0	0					
	Municipal	000	0	0					
		[Go Back] [S	tart Over]						

Real Propert Information		Maryland D	epartment Real Pro				ation	(V)
[Go Back]		MONTGOME	RY COUN	тү	•	[Sta	art Over]	I
	DISTR	ICT: 11 AC			1			
Owner Name: JONE	SISTEPHE	<u>Owner In</u> N M & A C	ornatio	[]	Use: A	GRICI	JLTURAL	
Mailing Address 40500		LE PIKE #1	705				sidence:NO	
Transferred								
From:		· · · · ·	Date:	01/31/19	69 Pi	ice: \$	190,000	
<b>Deed Reference:</b>	1) / 3828/ 3	97	-	pecial Ta				
	2)		AGRICU	JLTURA	L TRAN	SFER	TAX	
Tax Exempt: NO								
		ion Inform						
Premises Address	-		g: Lega	-				
BEALLSVILLE R		RD	Г RES	ON HAN	NOVER			
BEALLSVILLE 2				<b>-</b> /	a			
Map Grid D CU33	Parcel Si P610	ubdiv Sec	t Block	Lot	Group 80	Plat N Plat F		
Special Tax Area	- · ·	1	Town		80	riat r	ker:	
Special Tax Area	3			alorem:				
			Tax C				42	
Primary Structu	ire Data							
Year Buil	t: E	Inclosed Ar	ea: Prop	erty Lar	nd Area:	Cou	nty Use:	
0000				26.10 A	VC		839	
······································		Value In	formatio	n				
Base \	/alue Curr	ent Value	Phase-Ir					
	0	As Of	07/0	As Of		s Of	As Of	
Land:	3,260 U	1/01/2001 3,260	07/0	01/2001	07/01/2	000 (	07/01/2001	
Impts:	0	0						
	3,260 3,260	3,260 3,260		3,260 3,260		300 300	3,260 3,260	•
PREFERENTIAL LA		-,	Partia	ai Exem			-	
INCLUDED IN LAN			Code	07/01			/01/2001	
		County	000		0	2.1	0	
	•	State	000		0		0	
		unicipal	000		0		0	
	[G	o Back]	[Start C	over]				

# Page 1 of 2

	Property mation		partment of Asse Real Property		axation
[Go Back]		MONTGOMER	YCOUNTY	[8	tart Over]
	DIS	TRICT: 11 ACC Owner Info	CT NO: 0091599	1	
Owner Name:	TYSER, CATI	<b>ERINE E</b>		Use: RESID	ENTIAL
Mailing Address:	20220 BEALL BEALLSVILL	SVILLE RD / E MD 20839		Principal R	esidence:YES
Transferred					
From:			<b>Date:</b> -08/11/19	992 Price:	\$207,000
Deed Reference	ce: 1) /1056 2)	5/ 777	- Specia	l Tax Recaptı	ire:
				* NONE *	
Tax Exempt: 1	NO				
	Loc	cation Informa	tion [View Map		
Premises A	ddress:	Zoning	: Legal Descri	ption:	
20220 BEA	LLSVILLE RE	RDT	WOODSTOC	CK	
BEALLSVI	LLE 20839				
Map G CU33	r <b>id Parcel</b> P689	Subdiv Sect	Block Lot	-	No: Ref:
Special Tax	Areas		Town:		
-			Ad Valorem:		
			Tax Class:		42
Primary S	tructure Data				
Yea	r Built:	<b>Enclosed</b> Area	a: Property La	nd Area: Co	unty Use:
1	1933	1,664 SF	6.60 A	C	111
C		Value Info	ormation		
E	ase Value C	urrent Value P	hase-In Value	Phase-in As	sessments
		As Of	As Of	As Of	As Of
		01/01/2001	07/01/2001	07/01/2000	07/01/2001
Land: Impts:	83,000 75,190	83,000 99,370	•		
Total:	158,190	182,370	166,250	63,270	166,250
Pref Land:	0	0	0	0	0
			I Exempt Asse		
		Code	07/01/2000	0	7/01/2001
	County	000	0		0
	State	000	0		0
N	Iunicipal	000	0		0
	2 2	[Go Back] [	Start Over]		

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	Property ormation	Marylar	-	Department of Assessments and Taxation Real Property System						
[Go Back]		MONTGO	OMERI	COUNT	Y		[St	art Over]		
	DIS	STRICT: 11	ACC	T NO: 0	091674	45				
		<u>Owne</u>	r Info	<u>rmation</u>						
wner Name:	FUNK, DENI	NIS B & R A	Ş			Use: R	ESIDI	ENTIAL		
ailing Address:	©20120 BEAL BEALLSVIL	SVILLE RI LE MD 2083	) 39:::			Princi	pal Re	esidence: YE	S,	
Transferred										
From:				Date: 0	5/17/1	990 P	rice: §	50		
Deed Referen	<b>Deed Reference:</b> 1) / 9320/ 841				Specia	l Tax Re	captur	re:		
					- <b>I</b>		- <u>+</u>			
	,					* NONE	*			
Tax Exempt:	NO									
P**						_				
		cation Info		-	•	-				
Premises A			oning:	0		-				
	ALLSVILLE R	D	RDT							
BEALLSV	/ILLE 20839			/160						
<b>Мар (</b> СU33	Grid Parcel P767	Subdiv 1	Sect	Block	Lot	Group 80	Plat I Plat I			
Special Ta		1		Town:		00	Ilat			
Special Ta	IX AI Cas			Ad Val	Orom.					
				Tax Cla				42		
Darima a una	Stanistume Dote				199.			42		
•	Structure Data			n			0			
Ye	ar Built:	Enclosed				nd Area:	Cou			
	1990	2,924	SF		11.69	AC		111		
		Value	e Info	rmation		·				
	Base Value C	Current Val	ue Pł	nase-In `	Value	Phase-i	n Ass	sessments	i	
		As	Of		As Of	A	s Of	As Of	ļ	
		01/01/20	01	07/01	/2001	07/01/2	000	07/01/2001		
Land:	86,760	86,7								
Impts: Total:	204,780 291,540	217,1 303,8		29	5,653	116	,610	295,653		
Pref Land:	0	,	0	,	0		0	0		
		Р	artial	Exemp	t Asse	essment	s			
		Code		-	/2000			/01/2001		
	County	000			0000			0		
	State	000			Ő			0		
	Municipal	000			0			0		
		[Go Back]	[8]	start Ov	er]	,				
		Faa meatri	. <u>.</u>							

	Property rmation	Maryland	Department Real Pr				xation	
[Go Back]		MONTGON		ТҮ		[Sta	art Over]	. L
	DI	STRICT: 11 A	ACCT NO:	0091563	57			
		<u>Owner I</u>	nformatio	<u>n</u>				
		, THOMAS M			Use: A	AGRICI	JLTURAL	
ailing Address:	20100 BEAL BEALLSVIL	LSVILLE RD LE MD 20839	-3342		Princi	ipal Re	sidence:YE	5
Transferred								
From: MELVI					997I		425,000	
Deed Reference		11/721		-	ax Reca	-		
	2)		AGRICU				TAX	
				FCMA	PENAL	ΤY		
Tax Exempt: 1	NU				<u> </u>			
20100 BEA	LLSVILLE R	D RI	OT RES		NOVER			
	LLE 20839-33			011111				
BEALLSVI Map Gi	LLE 20839-33 rid Parcel	342 Subdiv Se	ect Block		Group	Plat N		
BEALLSVI Map Gi CU33	LLE 20839-3: rid Parcel P909	342	ect Block	Lot		Plat N Plat R		
BEALLSVI Map Gi	LLE 20839-3: rid Parcel P909	342 Subdiv Se	ect Block Town:	Lot	Group			
BEALLSVI Map Gi CU33	LLE 20839-3: rid Parcel P909	342 Subdiv Se	ect Block Town: Ad Va	Lot lorem:	Group		Ref:	
BEALLSVI Map Gi CU33 Special Tax	LLE 20839-33 rid Parcel P909 Areas	342 Subdiv Se 1	ect Block Town:	Lot lorem:	Group			
BEALLSVI Map Gr CU33 Special Tax Primary St	LLE 20839-3: rid Parcel P909	342 Subdiv Se 1	ect Block Town: Ad Va Tax Cl	Lot lorem: lass:	Group 80	Plat R	<b>Ref:</b> 42	
BEALLSVI Map Gi CU33 Special Tax Primary St Year	LLE 20839-33 rid Parcel P909 Areas	342 Subdiv Se 1	ect Block Town: Ad Va Tax Cl rea: Prop	Lot lorem: lass:	Group 80 nd Area:	Plat R	<b>Ref:</b> 42	
BEALLSVI Map Gi CU33 Special Tax Primary St Year	LLE 20839-33 rid Parcel P909 Areas tructure Data r Built:	342 Subdiv Se 1 Enclosed A 2,109 SF	ect Block Town: Ad Va Tax Cl rea: Prop	Lot lorem: lass: erty Lar 16.98 A	Group 80 nd Area:	Plat R	Ref: 42 nty Use:	
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Real Property Information		eal Property	sments and Taxation System
[Go Back]	MONTGOMER	Y COUNTY	[Start Over]
D	ISTRICT: 11 ACC	CT NO: 00914917	7
	Owner Info	rmation	
	ARRY D & E T NESTOWN RD		Use: RESIDENTIAL/COMM
Mailing Address: PO BOX 74	LE MD 20839-007	4	Principal Residence: YES
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From:		Date:	Price:
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2)			
Tax Exempt: NO		*	* NONE *
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<b>Map Grid Parcel</b> CU22 P300	Subdiv Sect	Block Lot	Group Plat No: 81 Plat Ref:
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		Ad Valorem:	
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Land: 266,830 Impts: 114,000	240,000 113,000		
Impts: 114,000 Total: 380,830 Pref Land: 0	353,000	353,000 0	141,200 353,000 0 0
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County	000	0	0
State	000	0	0
Municipal	000	0	0

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### **Real Property** Maryland Department of Assessments and Taxation Information **Real Property System** [Go Back] [Start Over] MONTGOMERY COUNTY **DISTRICT: 11 ACCT NO: 00919500 Owner Information Owner Name: RICKETTS, DOROTHY E Use: RESIDENTIAL** A9841 DARNESTOWN RD **Mailing Address: Principal Residence: YES** BEALLSVILLE MD 20839 Transferred From: Date: 05/02/1986 **Price:** \$0 **Deed Reference:** 1) / 7104/ 449 **Special Tax Recapture:** 2) * NONE * Tax Exempt: NO Location Information [View Map] **Premises Address: Zoning:** Legal Description: 19841 DARNESTOWN RD RDT PLAT 6215 CHAPPEL FO **BEALLSVILLE 20839** REST Sect Block Lot Map Grid Parcel Subdiv Group Plat No: **CU22** N414 1 1 80 **Plat Ref:** Special Tax Areas Town: Ad Valorem: Tax Class: 42 **Primary Structure Data** Year Built: Enclosed Area: Property Land Area: County Use: 1962 864 SF 21,780.00 SF 111 **Value Information** Base Value Current Value Phase-In Value Phase-in Assessments As Of As Of As Of As Of 01/01/2001 07/01/2001 07/01/2000 07/01/2001 40,890 40,890 Land: 57,050 60,370 Impts: 97,940 101,260 99,046 39,170 Total: 99,046 0 Pref Land: Ω 0 0 Partial Exempt Assessments Code 07/01/2000 07/01/2001 County 000 0 0 State 000 0 0 000 0 Municipal 0 [Go Back] [Start Over]

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