

13/10-02A 23330 Frederick Road
(Clarksburg Historic District)

IIA - Robin

For JAN 9

12/12/01

RDZ

23330 Frederick Rd
Cardace House

probably built ca. 1911.

Cross-gable Colonial Revival structure of wrap-around porch
with jigsaw trim added in late 20th c.

For Jan. 9th Agenda.

- to open visitor Center April-May.

Repairs, Fence, ADA
demoving the hedge...

Mary Reader
Nancy Hughes

Nancy Hughes 713.966.4456 Real Estate.	Mary Reader Architect, Principal
ADG	1600 Prince Street Suite 114 Alexandria, VA 22314 Phone: 703.549.9556 x209 Fax: 703.549.4458
Architectural Design Group, Inc.	mary@archdesigngroup.com

Front door - Check the transom for alterations...

Call Clarksburg to see if there are any early
photos. Is entire done a
fabrication.

5-10 years! As long building goes on...
1300 units.

- Rear handicapped entrance - ramping in the porch itself?
at back blind corner of porch. Remove railing.

13/10-02A

23330 Fred. Rd
Clarksburg

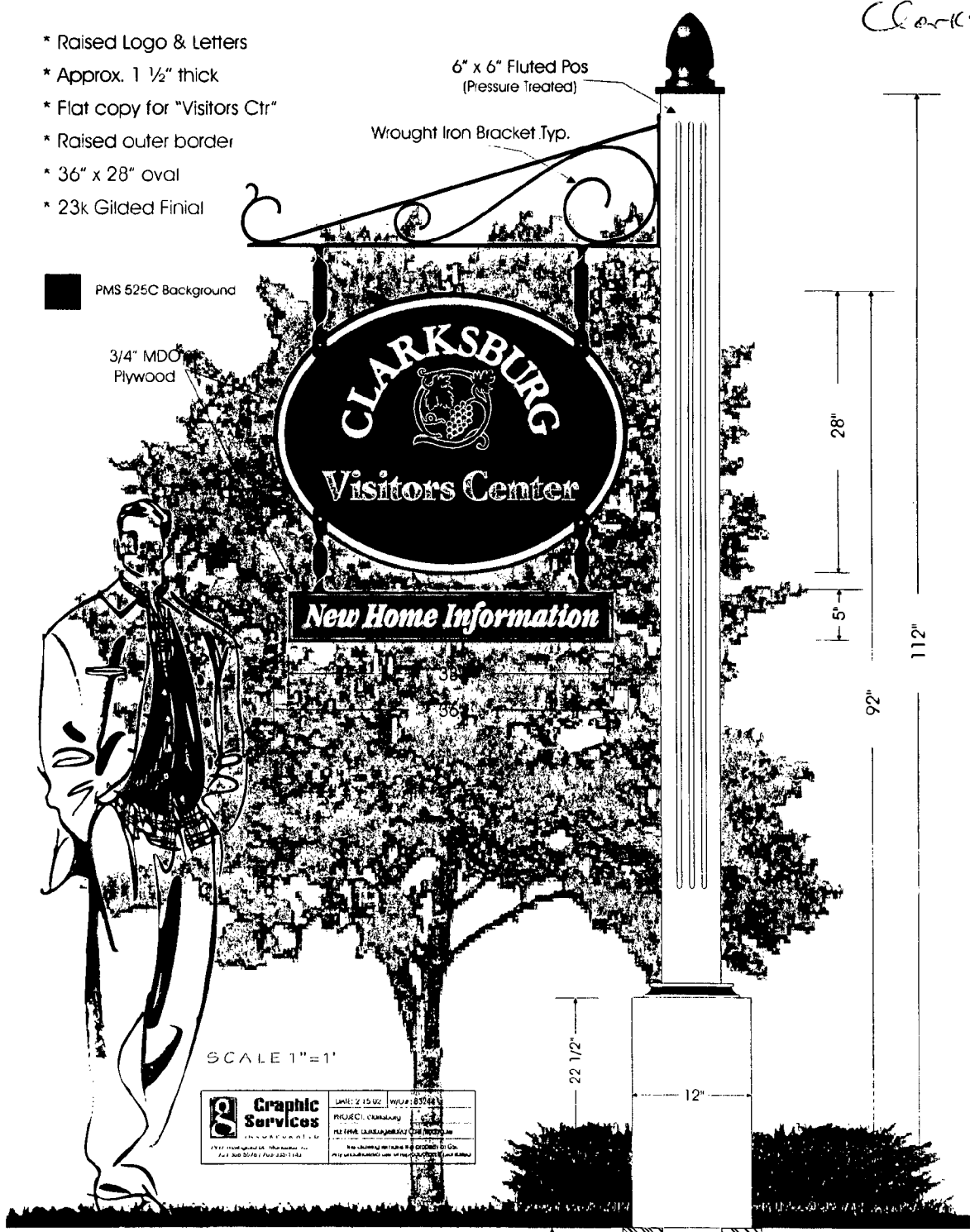
- * Raised Logo & Letters
- * Approx. 1 1/2" thick
- * Flat copy for "Visitors Ctr"
- * Raised outer border
- * 36" x 28" oval
- * 23k Gilded Finial

PMS 525C Background

3/4" MDO Plywood

6" x 6" Fluted Pos (Pressure Treated)

Wrought Iron Bracket Typ.



SCALE 1"=1'

	DATE: 2-15-02	PROJECT: CLARKSBURG
	PROJECT: CLARKSBURG	PROJECT: CLARKSBURG

22 1/2"

12"

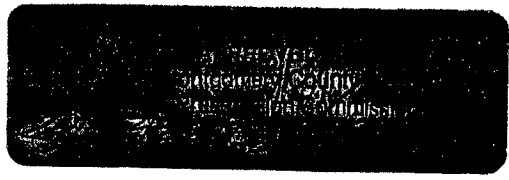
GRADE

30"

"SAKRETE"

6 X 6 Pressure Teated Post

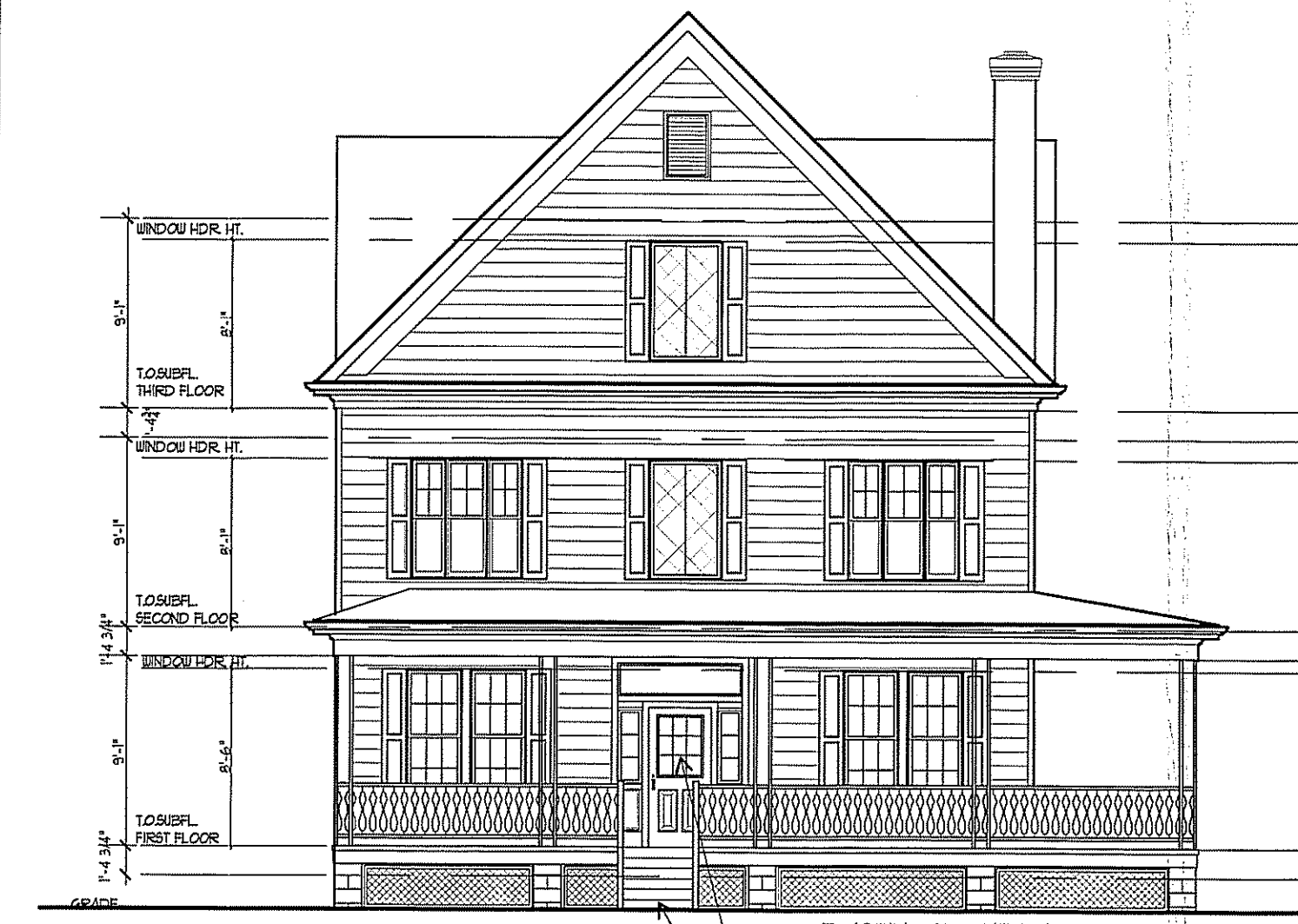
14"



APPROVED
Montgomery County
Historic Preservation Commission
RD 2 2/26/02

CLARKSBURG VISITOR CENTER

23330 FREDERICK ROAD
Clarksburg, Maryland



EXISTING FRONT ENTRY
DOOR PANEL TO BE REMOVED
EXISTING FRONT STAIRS
TO BE REMOVED

EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING WOOD STAIRS
TO BE REMOVED
EXISTING DOOR AND TRANSOM
TO BE REMOVED
EXISTING METAL STAIRS
BEYOND TO BE REMOVED

EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

ARCHITECT
Architectural Design Group, Inc.
1600 Prince Street #114
Alexandria, VA 22314
PH: 703-549-9556
FAX: 703-549-4458

OWNER/DEVELOPER
Westerra Management
42935 Waxpool Road
Ashburn, VA 20148
PH: (703) 742-6400
FAX: (703) 742-6447

STRUCTURAL ENGINEERS
Cates Engineering, Inc.
5675 Stone Road, Suite 240
Centreville, VA 22020
PH: 703-222-0004
FAX: 703-222-3667

M.E.P. ENGINEERS
Mendoza, Ridas, Farinas & Associates
6265 Executive Blvd
Rockville, MD 20852
PH: 301.468.8882
FAX: 301.770.2567

BUILDING CODE INFORMATION

LOCATION: MONTGOMERY COUNTY, MD

APPLICABLE CODES: 1996 BOCA

USE GROUP: B

CONSTRUCTION TYPE: 5B

SCOPE OF WORK: HANDICAP RAMP & FRONT STAIRS
& FRONT STAIR

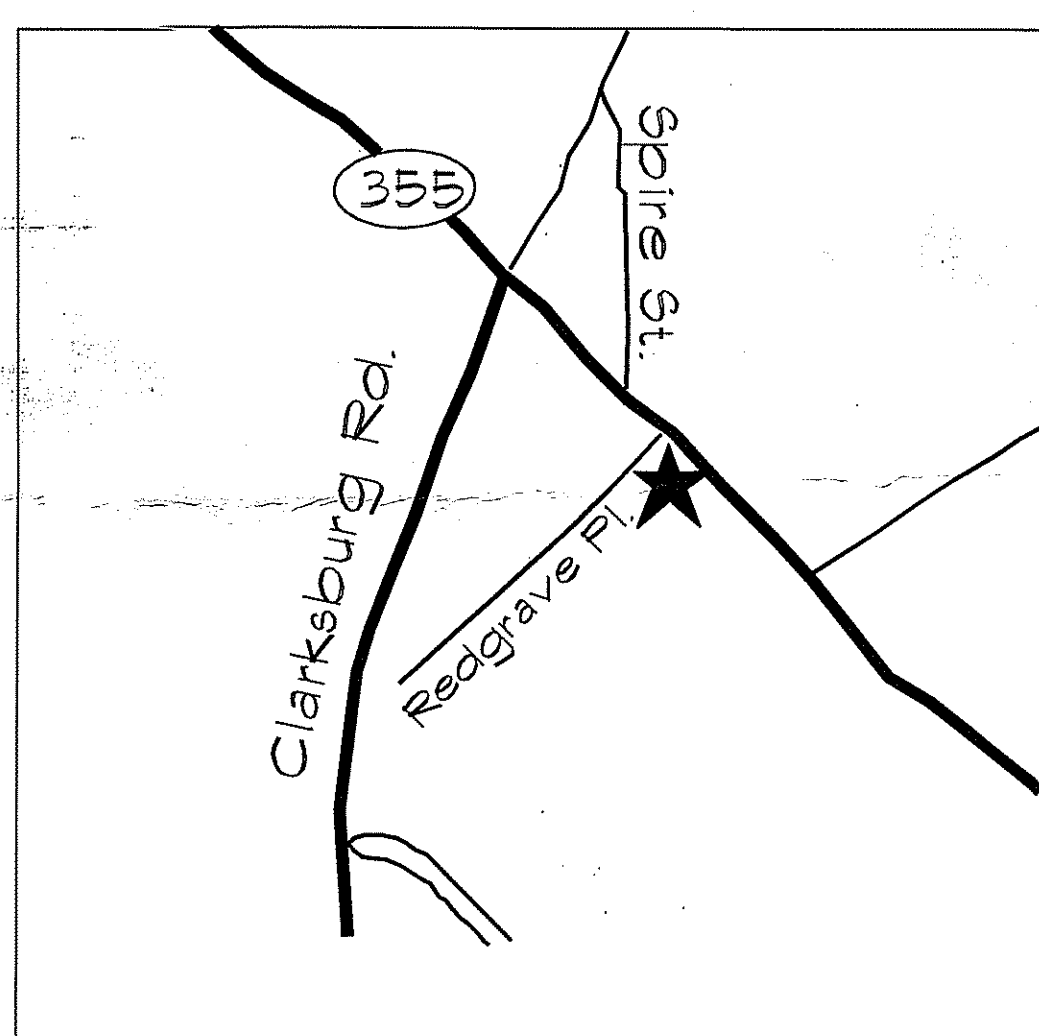
INDEX OF DRAWINGS

A00	COVER
A10	RAMP DRAWINGS
A11	FRONT ENTRY STAIR

ABBREVIATIONS

ADD'L	ADDITIONAL	MAS.	MASONRY
A.F.F.	ABOVE FINISH FLOOR	MAX.	MAXIMUM
APPROX.	APPROXIMATELY	MECH.	MECHANICAL
ARCH.	ARCHITECT	MTL.	METAL
BUILD.	BUILDING	MTD.	MOUNTED
BM.	BEAM	M.O.	MASONRY OPENING
BRG.	BEARING	NO.	NUMBER
C&G	CURB & GUTTERS	N.T.S.	NOT TO SCALE
C.J.	CONTROL JOINT	O.C.	ON CENTER
CLG.	CEILING	OPN'G.	OPENING
CLR.	CLEAR	PART.	PARTIAL
C.M.U.	CONCRETE MASONRY UNIT	PLYWD.	PLYWOOD
COLS.	COLUMNS	PLUMB.	PLUMBING
CONC.	CONCRETE	PRE-FAB	PRE-FABRICATED
CONT.	CONTINUOUS	PROP.	PROPERTY
DBL.	DOUBLE	P.T.	PRESERVATIVE TREATED
DET.	DETAILS	PTD.	PAINTED
D.S.	DOWNSPOUT	REINF.	REINFORCEMENT
DN.	DOWN	REV.	REVERSE
DRWS.	DRAWINGS	R.T.U.	ROOF TOP UNIT
EA.	EACH	S.A.T.	SUSPENDED ACOUSTICAL TILE
ELEV.	ELEVATION	S.	SANITARY
ELEC.	ELECTRIC	S.B.	SPLASH BLOCK
EXIST.	EXISTING	SECT	SECTION
EXP.	EXPANSION	S.D.	STORM DRAIN
EXT.	EXTERIOR	SHI.	SHEET
FIN.	FINISH	SIM.	SIMILAR
FUR.	FLOOR	SS.	STORM SEWER
F.O.	FACE OF	STD.	STANDARD
F.R.T.	FIRE RETARDANT TREATED	STL.	STEEL
FOUND.	FOUNDATION	STRUC.	STRUCTURAL
FTG.	FOOTING	SUSP.	SUSPENSION
GA.	GAGE	TEL.	TELEPHONE
GALV.	GALVANIZED	T.O.F.	TOP OF FOOTING
G.W.B.	GYP. WALL BOARD	T.O.	TOP OF
GYP. BD.	GYP. BOARD	U.N.O.	UNLESS NOTED OTHERWISE
HOR.	HORIZONTAL	U.L.	UNWRITERS LABORATORY
H.MTL.	HOLLOW METAL	VERT.	VERTICAL
H.P.	HIGH POINT	W.	WIDE
HR.	HOUR	W/	WITH
INFO.	INFORMATION	WDW.	WINDOW
INSUL.	INSULATION		
INV.	INVERT		
JOINT.	JOINT		
L.P.	LOW POINT		

VICINITY MAP

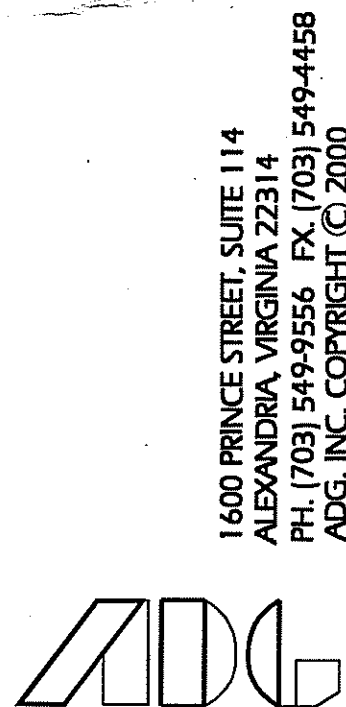


STRUCTURAL NOTES

- GENERAL NOTE:** ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE PROVISIONS OF THE 1996 BOCA BASIC NATIONAL BUILDING CODE.
- DESIGN LOADS**
 - Assembly Use: 100 PSF
 - Wind Load: WIND LOADS ARE EVALUATED IN ACCORDANCE WITH PROVISIONS OF SECTION 1609.0 OF THE BOCA BUILDING CODE 1996 BASED ON THE FOLLOWING PARAMETERS: BASIC WIND SPEED 80 MPH, WIND LOAD IMPORTANCE FACTOR 1.0, WIND EXPOSURE CATEGORY EXPOSURE "B"
 - Seismic Load: BASED ON SEISMIC EXPOSURE GROUP 1, SEISMIC PERFORMANCE CATEGORY A, AV<0.05 AND Ag<0.05.
- 1. **Site Work and Excavation**
 - A. Concrete slab footing calculations are based on an assumed soil bearing value of 2500 PSF. If site conditions indicate lesser values, notify architect so that necessary structural modifications can be made. Actual soil bearing values at foundation and slab shall be verified by a qualified geotechnical engineer.
 - 2. **Concrete**
 - A. All spread footings shall extend a minimum of 1'-0" into undisturbed soil or shall be founded in approved structural fill. Elevations at the top of footings shall not be higher than indicated on the plans. Final footings may extend below elevations shown where necessary to reach the above soil bearing values.
 - B. 4" drain tile shall be provided at bottom of concrete footings where noted. Tile to be set on 4" gravel bed with 5" gravel cover and should drain to daylight or sump pumps as per engineer's drawings. Filter fabric shall have on open area of 40% or less and equivalent opening size of No. 40 sieve.
- 2. **Wood Framing**
 - A. All framing shall be in accordance with The National Forest Products Association's "National Design Specification for Wood Construction".
 - B. All plywood shall bear the American Plywood Association's (APA) grading stamp for appropriate span and shall conform to "Plywood Design Specification".
 - C. All lumber in contact with ground, concrete, or masonry shall be preservative treated and graded and stamped.
- 3. **Footing depths** are shown on the sections. Unless otherwise noted, footings shall bear a minimum of 1'-0" into the original undisturbed soil and a minimum of 2'-6" below finished grade. Where required, step footings to ratio of 2 horizontal to 1 vertical.
- 4. **Anchor bolts** indicated on drawings may be replaced by anchor straps. Install as per manufacturer's recommendations - 12" from corners and at intervals of not more than 4 feet.
- 5. The minimum strength of concrete at 28 days shall be 3000 PSI. All concrete shall be normal weight concrete. Protective cover for reinforcing steel shall be as follows:
 - a. Footings - 3"
 - b. Slab - Mid Height
 - c. Walls - 1" at interior face, 2" at exterior face.
- 6. The minimum strength of concrete at 28 days shall be 3500 PSI where concrete is exposed to severe weathering. Example: stoops, steps, car port slabs & garage slabs.
- 7. All concrete shall be air entrained at 6%.
- 8. All pressure-treated lumber used in exposed and decorative locations shall be visually graded & selected to be free & clear of defects.
- 9. All lumber for ledger, rafters, beams, trusses, & sill plates exposed to concrete or weather shall be southern pine pressure-treated to D40 lb. retention, per AWPA C2 specifications having the following properties:
 - Fc per = 565 PSI
 - Fy = 90 PSI
 - E = 1,600,000 PSI
 - Fb = 1500 PSI for 4" wide sections
 - 1250 PSI for 6" wide sections
 - 1200 PSI for 8" wide sections
 - 1050 PSI for 10" wide sections, and
 - 975 PSI for 12" wide sections.
- 10. Job site fabrication cuts and bores shall be field-treated with copper naphthenate having a minimum of 2% metallic solution, in accordance with AWPA standard M4.
- 11. All hangers and connectors shall be galvanized.

CLARKSBURG VISITOR'S CENTER
WESTERRA

ISSUED FOR
CONSTRUCTION



PROJECT No. 01038
DATE 9.21.01

REVISIONS AFTER ISSUE

NO.	DATE	TO

PROGRESS PRINTS

DATE	TO	USAGE
11/26/01	OWNER	REVIEW
02/04/02	COUNTY	PERMIT



ISSUED FOR
CONSTRUCTION



1600 PRINCE STREET, SUITE 114
ALEXANDRIA, VIRGINIA 22314
PH: (703) 549-9556 FAX: (703) 549-4458
ADG, INC. COPYRIGHT © 2000



PROJECT No. 01038
DATE 9.21.01

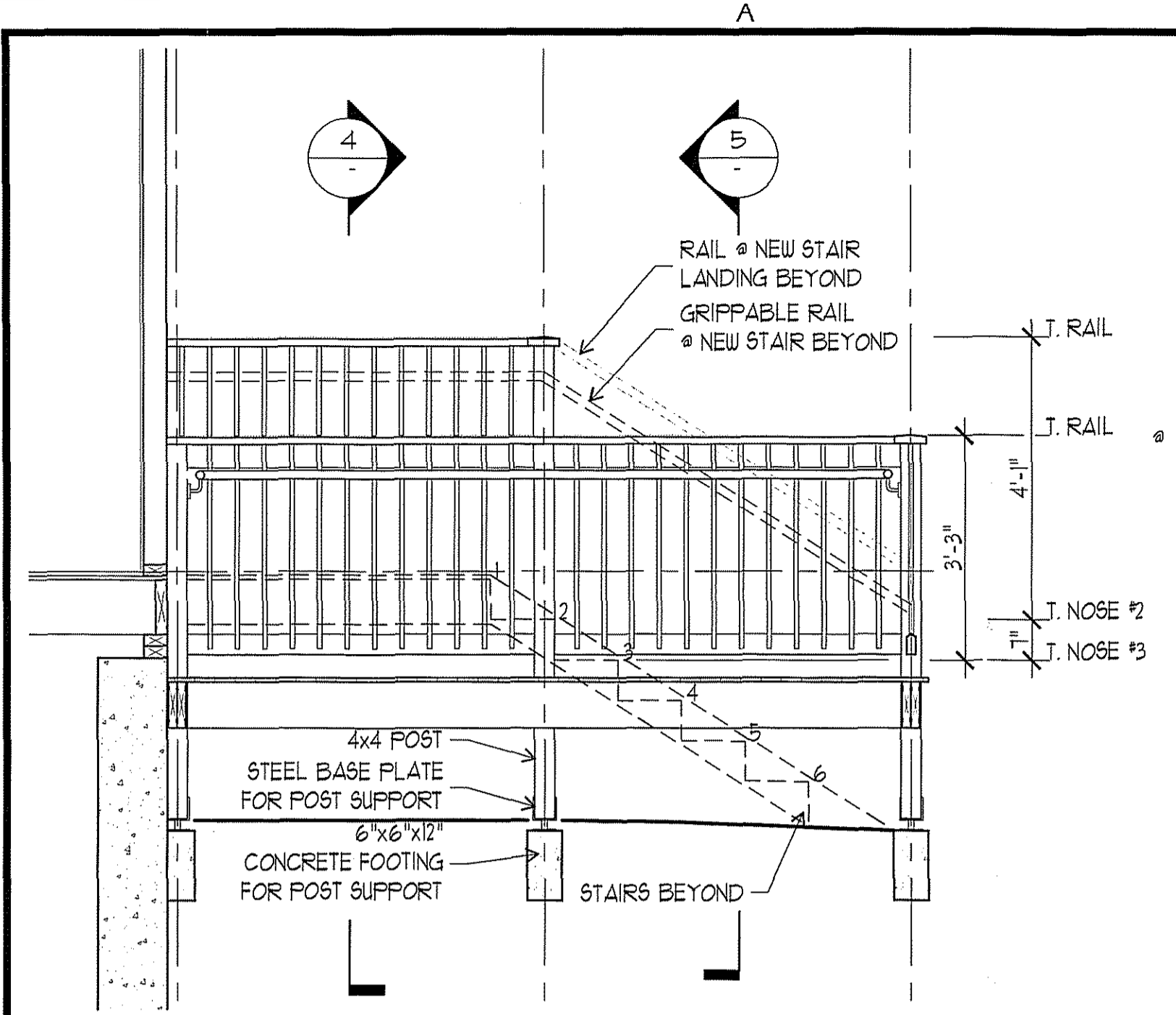
REVISIONS AFTER ISSUED

NO.	DATE	TO

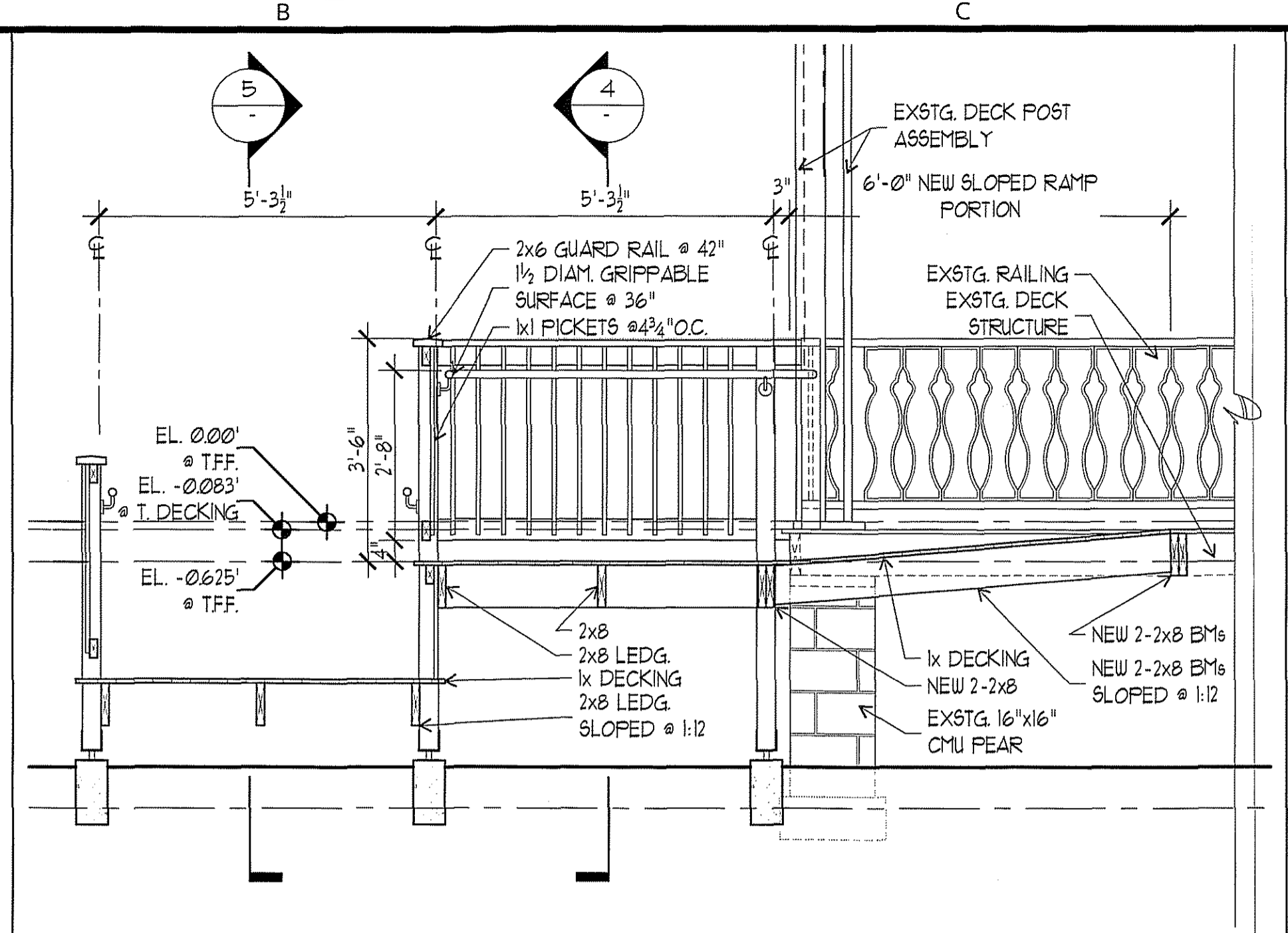
PROGRESS PRINTS
DATE TO USAGE
11/28/01 OWNER REVIEW
02/04/02 COUNTY PERMIT

DRAWN BY: C.C.

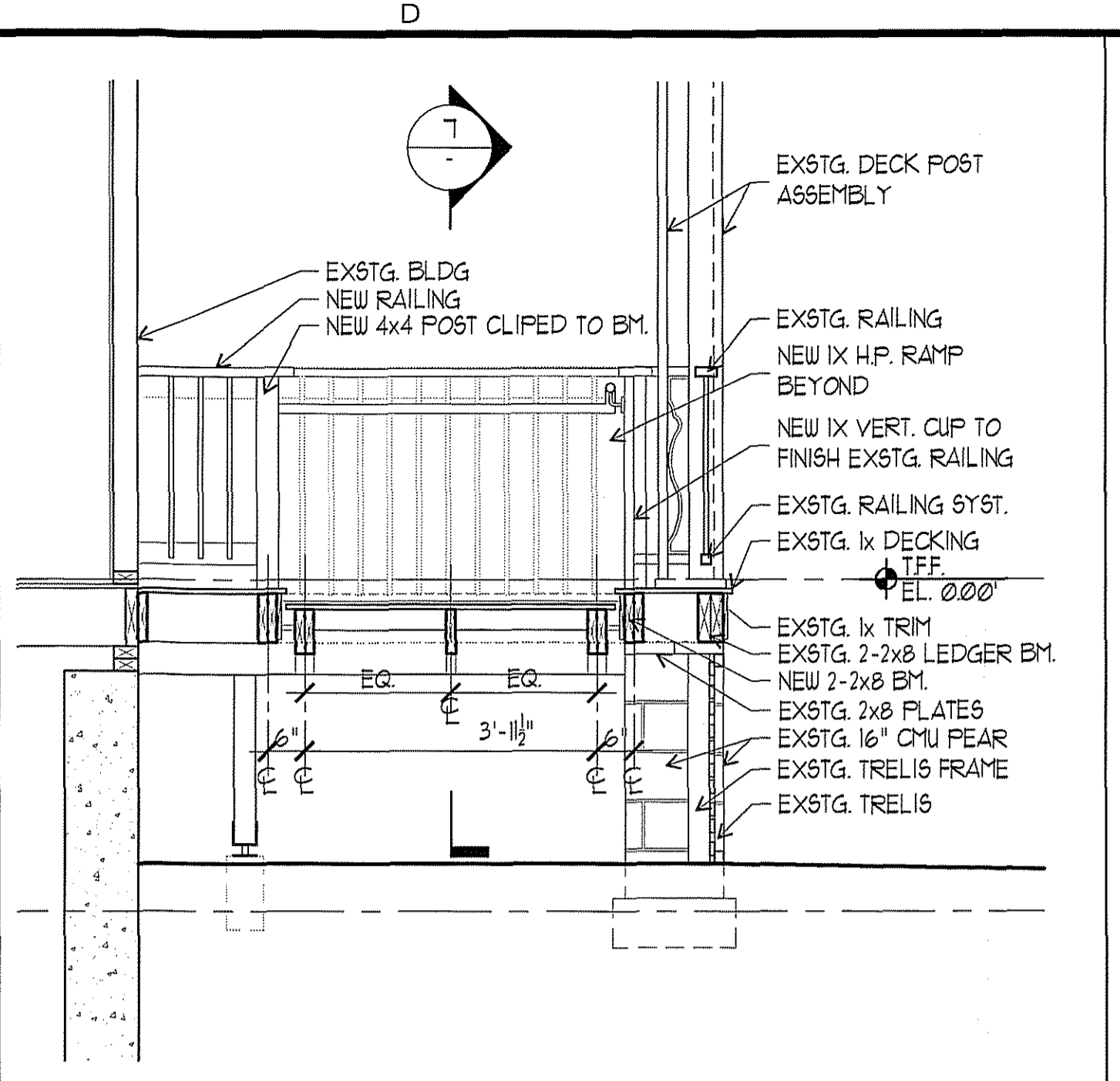
FRONT ELEVATION
SHEET # A1.0



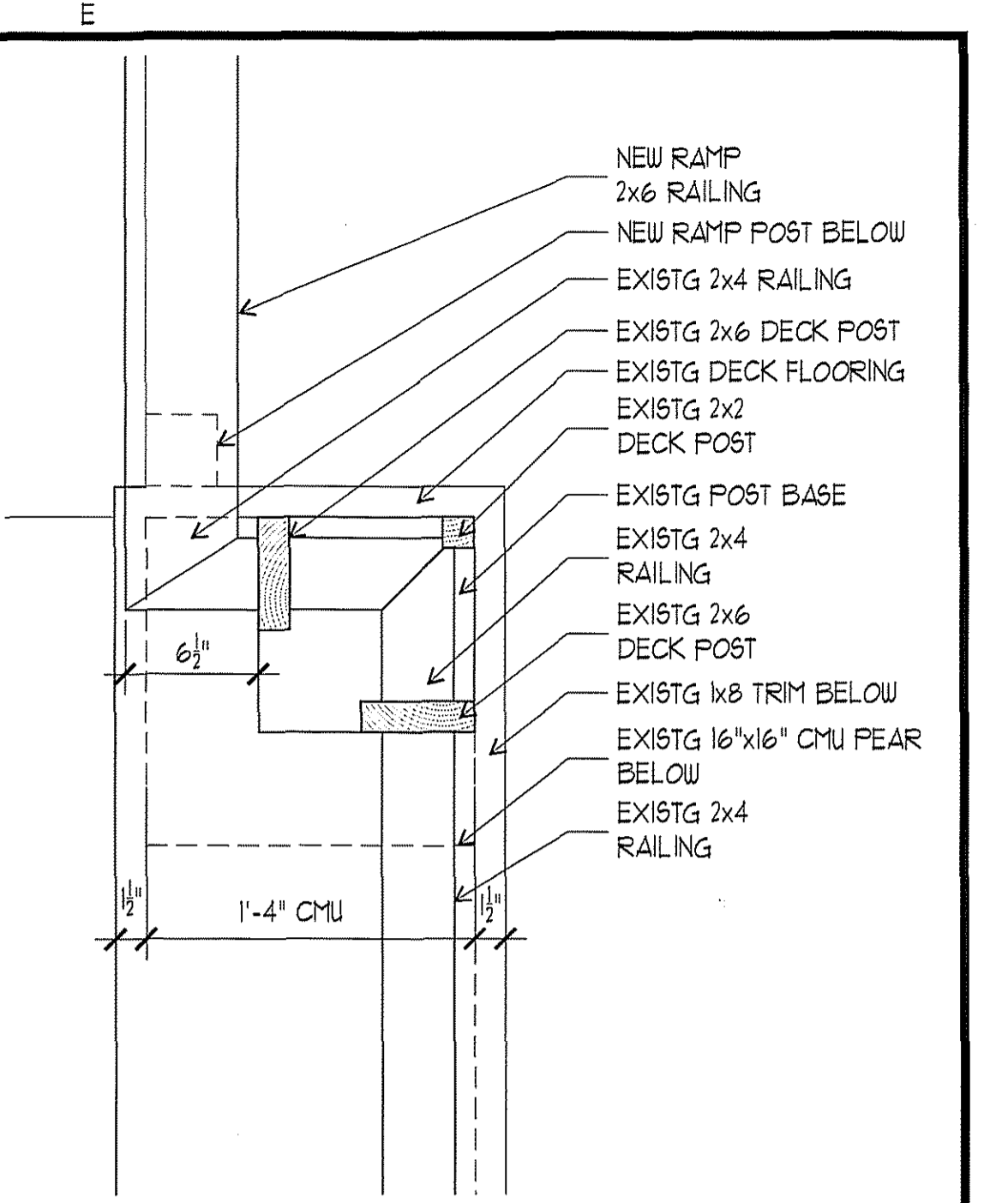
PART. SECTION 1/2"=1'-0" 8



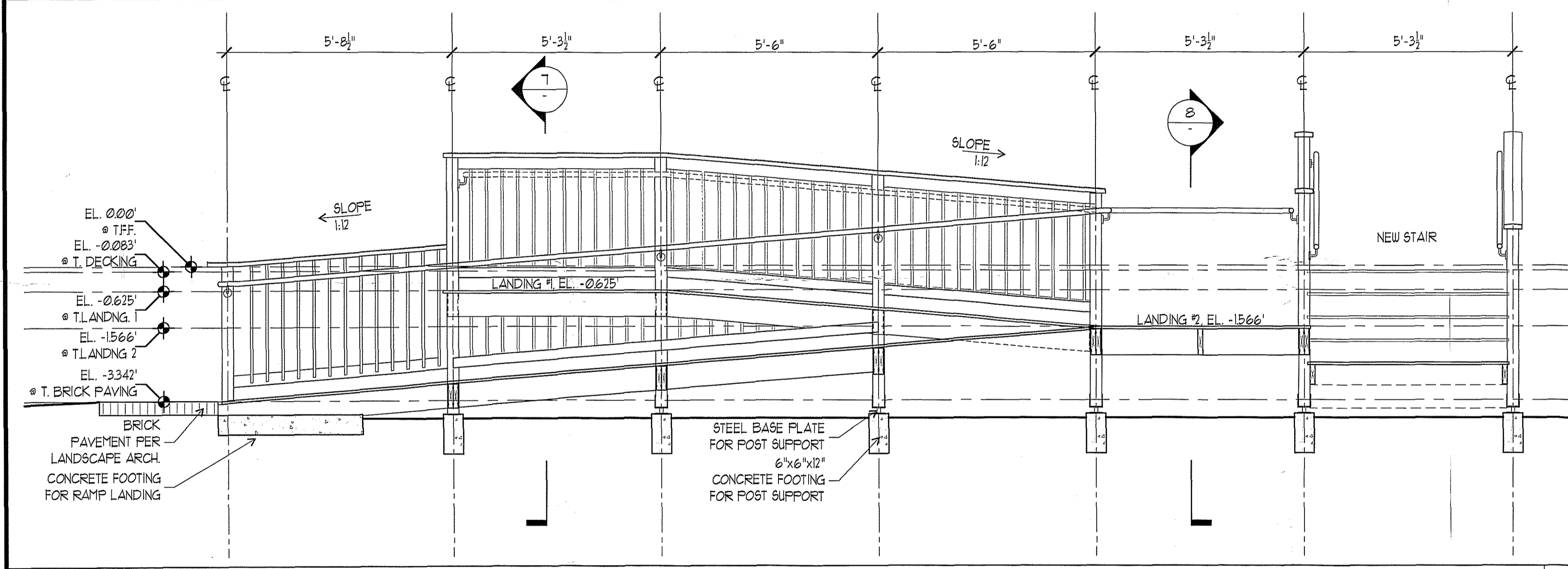
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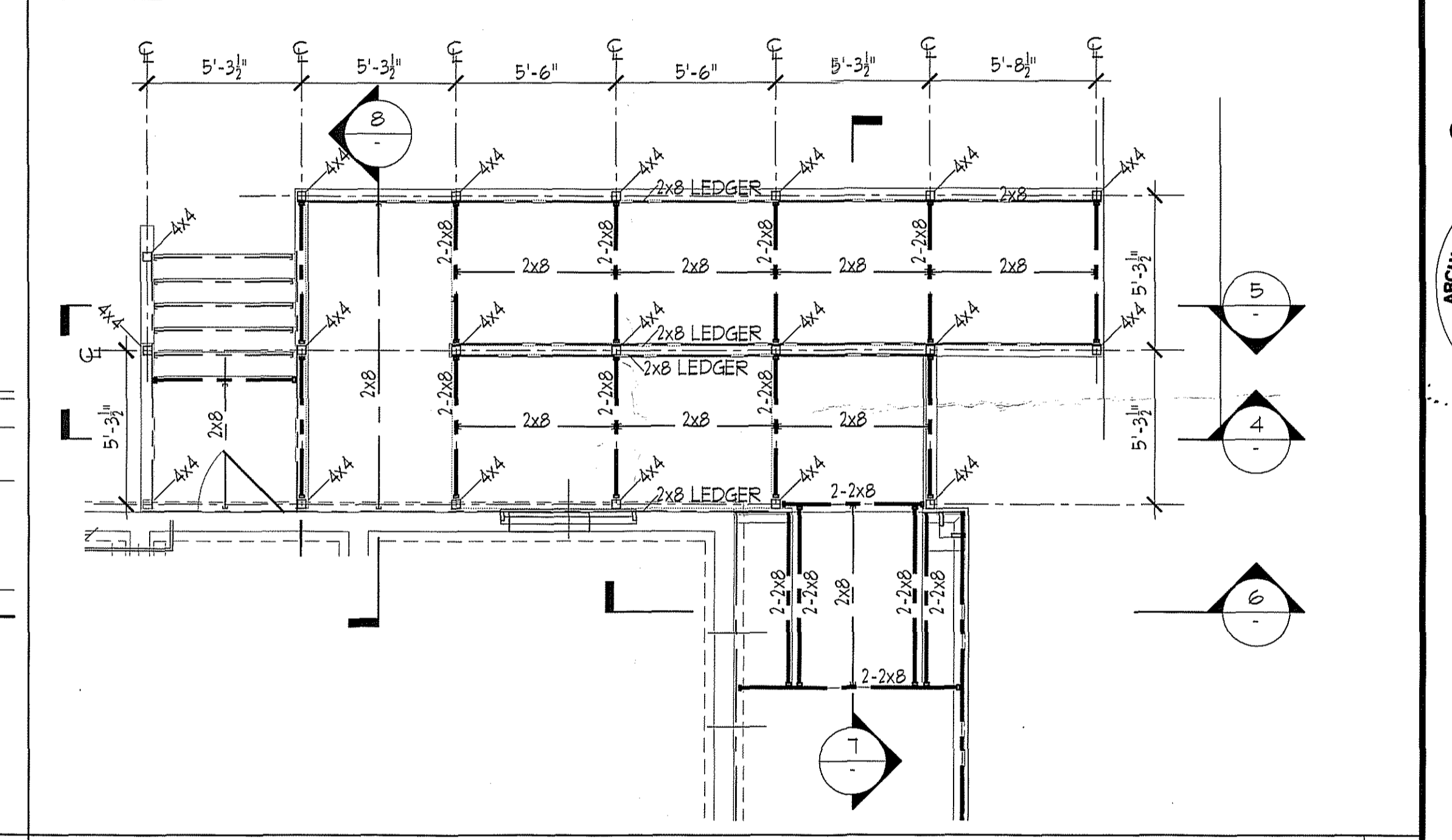
PART. SECTION 1/2"=1'-0" 6



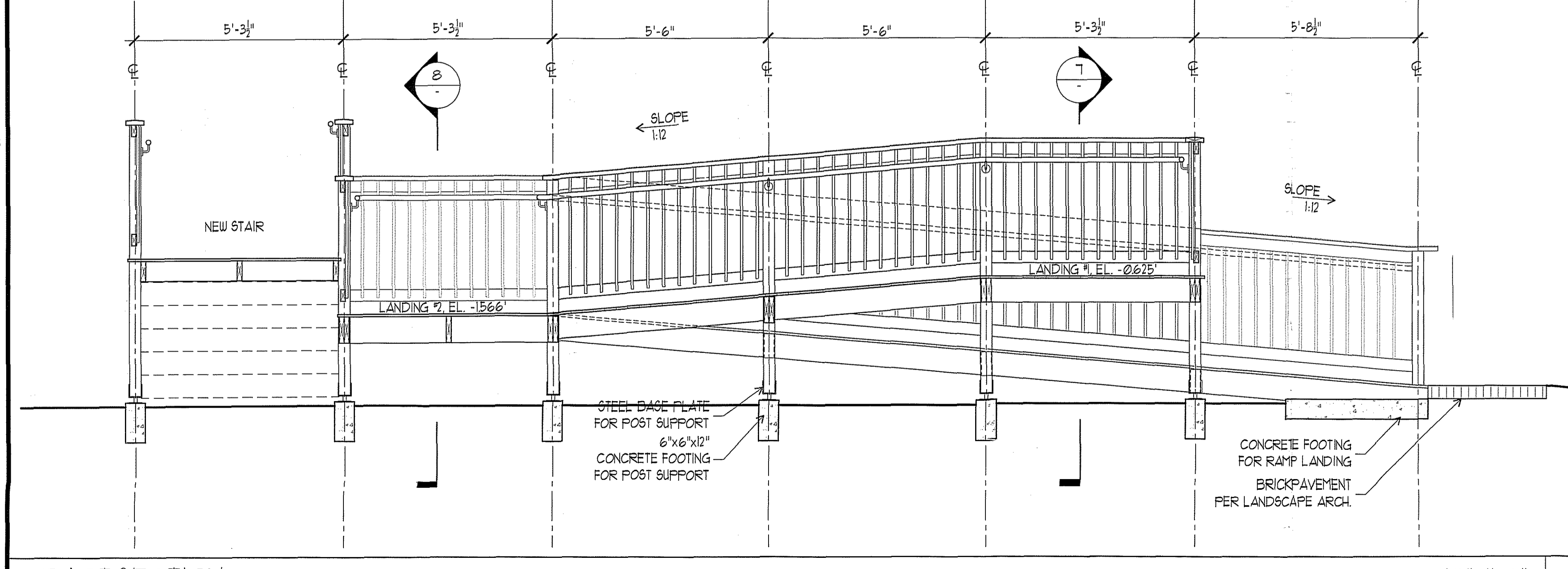
DET. @ CORNER POST 1 1/2"=1'-0" 3



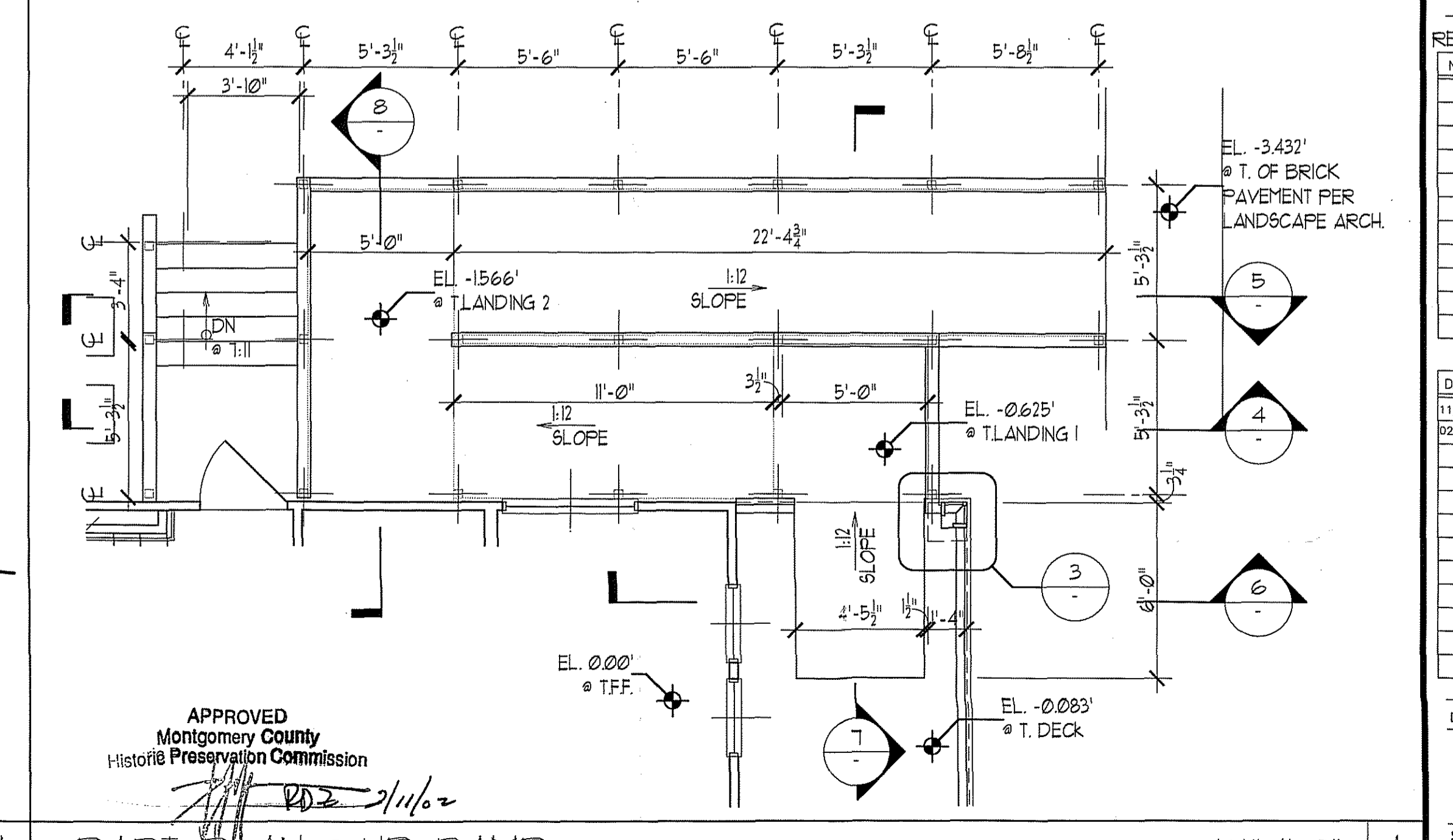
PART. SECTION 1/2"=1'-0" 5



PART. FRAMING PLAN @ HP. RAMP 1/4"=1'-0" 2



PART. SECTION 1/2"=1'-0" 4



PART. PLAN @ HP. RAMP 1/4"=1'-0" 1

APPROVED
Montgomery County
Historic Preservation Commission
2/11/02

A

B

C

D

E

CLARKSBURG VISITOR'S CENTER WESTERRA

ISSUED FOR
CONSTRUCTION



1600 PRINCE STREET, SUITE 114
ALEXANDRIA, VIRGINIA 22304
PH: (703) 549-9555 FX: (703) 549-4458
ADC, INC. COPYRIGHT © 2000



PROJECT No. 01038
DATE 9.21.01

REVISIONS AFTER ISSUE

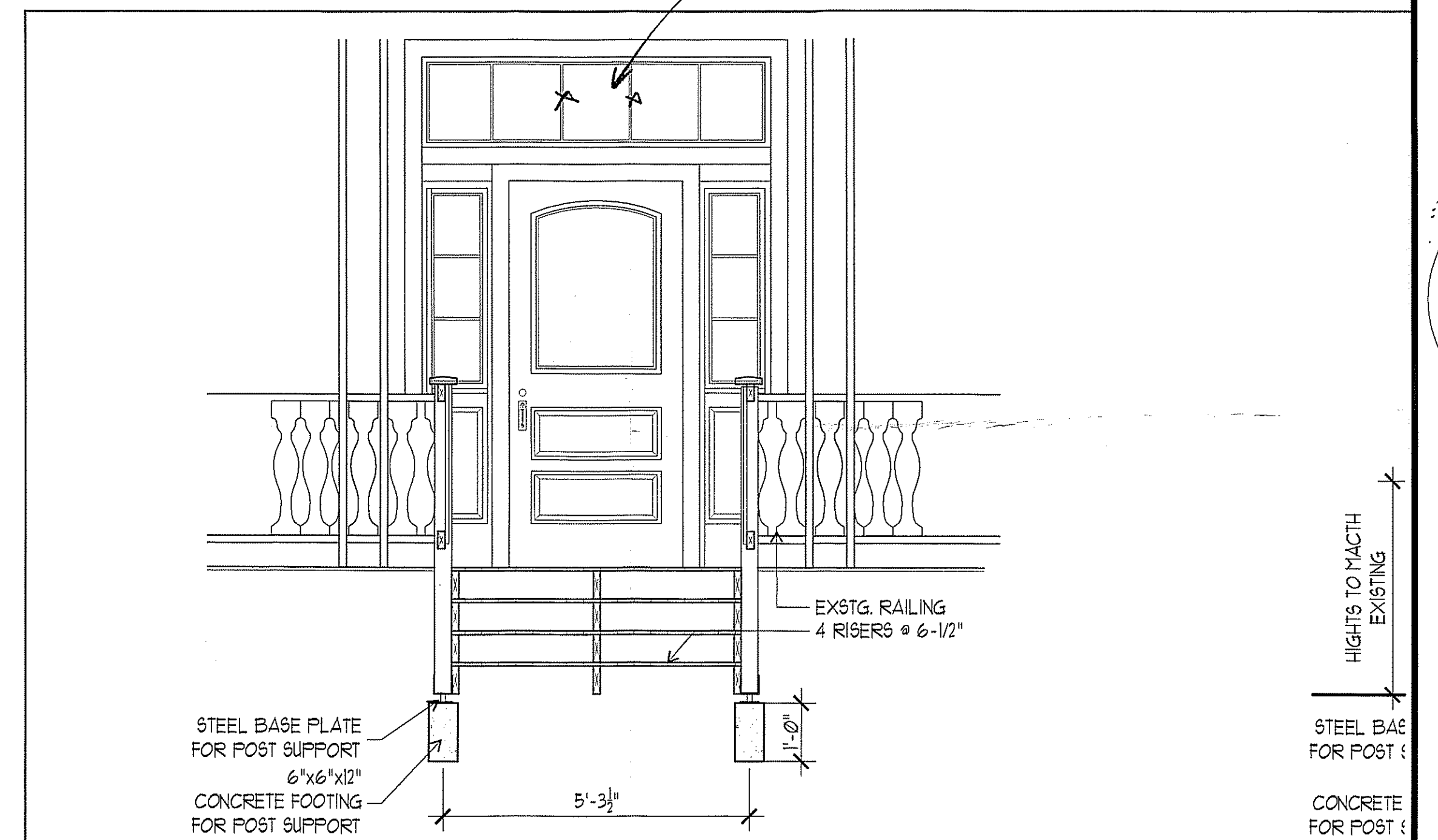
NO.	DATE	TO

PROGRESS PRINTS

DATE	TO	USAGE
11/26/01	OWNER	REVIEW
02/04/02	COUNTY	PERMIT

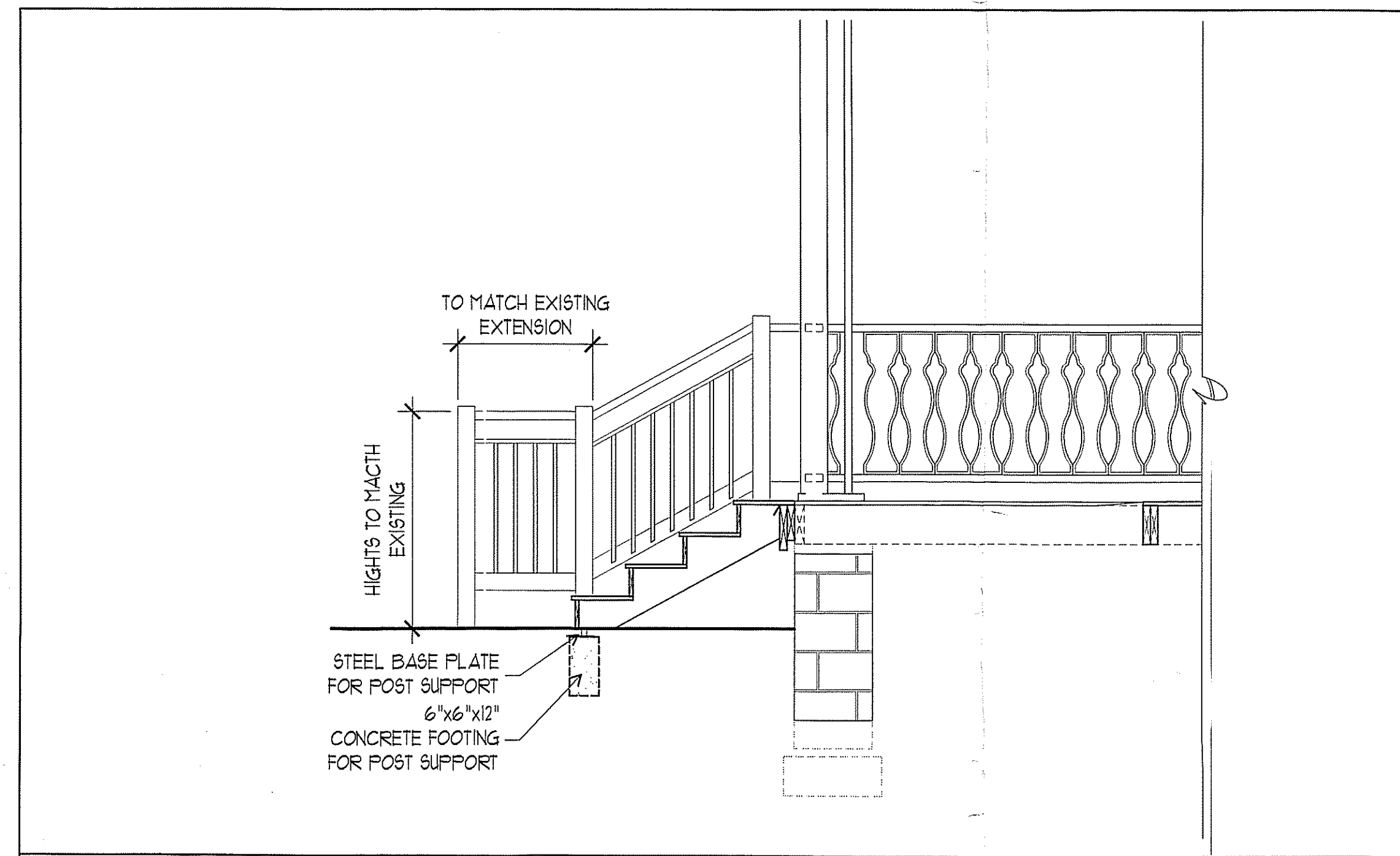
DRAWN BY: C.C.

*NOT TO BE CHANGED
PDT*



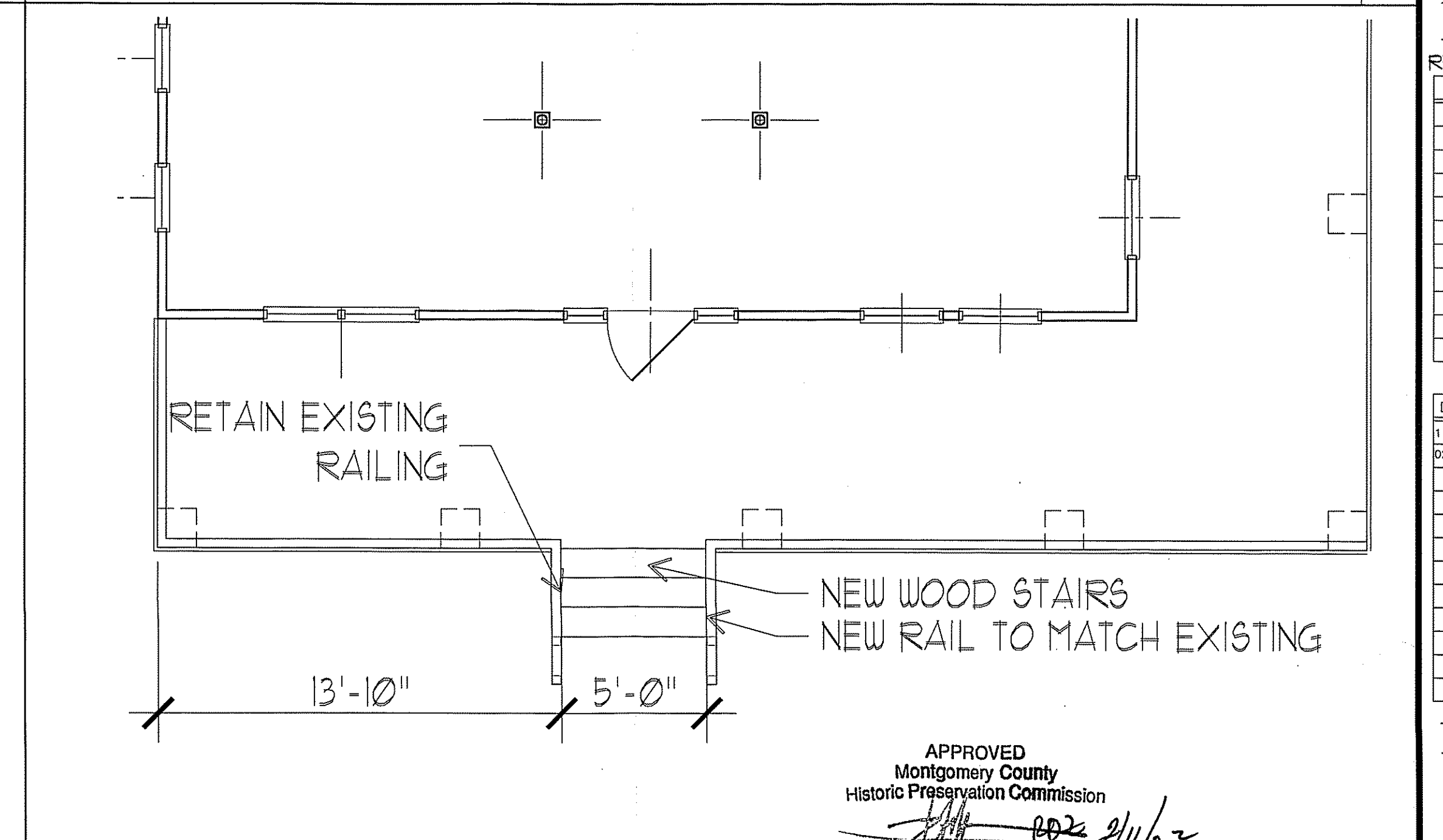
PART. SECTION @ HP. RAMP

1/4"=1'-0" 2



PART. SECTION @ HP. RAMP

1/2"=1'-0" 3

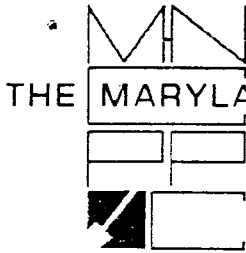


PART. PLAN @ FRONT STAIR

1/4"=1'-0" 1

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

FRONT ENTRY STAIR
SHEET # A1.1



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 1-14-02

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: *POE* Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

 Approved

X Approved with Conditions: (1) Staff to work with applicant at the time of lighting installation, + lighting levels will be approved at a staff level;
(2) The transom over the front door may not be removed, and shall remain in place.

*** and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Terrebroke Clarksburg, LLC (Nancy Hughes, Agent)

Address: 1 Piedmont Road, Clarksburg, MD, 20871

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



IN TO DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Nancy L. Hughes
Daytime Phone No.: (703) 966-4456

Tax Account No.: 75-2858155
Name of Property Owner: Terrabrook Clarksburg, LLC Daytime Phone No.: (301) 540-9763
Address: 1 Piedmont Road Clarksburg MD 20871
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Nancy L. Hughes Daytime Phone No.: (703) 966-4456

LOCATION OF BUILDING/PREMISE

House Number: 23330 Street: Frederick Road
Town/City: Clarksburg Nearest Cross Street: Redgrave Place
Lot: _____ Block: _____ Subdivision: _____
Liber: _____ Folio: _____ Parcel: Parcel P228, Montgomery County
Tax Map EW

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: H.C ramp & stairs

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 3 feet 6 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

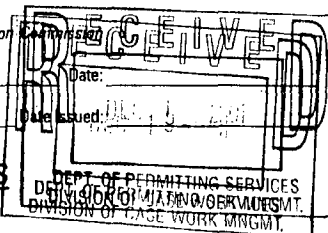
I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Nancy L. Hughes 12/18/01
Signature of owner or authorized agent Date

Approved: X with Conditions For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: [Signature] Date: 1-9-02
Application/Permit No.: 265929 Date Filed: _____
Date Issued: _____

Edit 2/4/98

SEE REVERSE SIDE FOR INSTRUCTIONS



**THE FOLLOWING ITEMS MUST BE COMPLETE AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing structure is an early twentieth century, late Victorian influenced, cross gable frame residence. The cross-gabled, Colonial Revival structure, has a wrap-around porch which now exhibits late Victorian influences in its jigsaw trim dating from a recent rehabilitation. The house was probably built in 1911 by John Gardner & his wife Laura. The house is located within the Clarksburg Historic District, at the corner of Frederick Road & Redgrave Place & is oriented towards ~~the~~ Frederick Rd.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed improvements to the Gardner House, in order to use the building as a Visitors Center for Clarksburg Town Center, are intended to enhance the property without adversely affecting the historical character of the site and the surrounding Clarksburg Historic District. The proposed work is necessary to improve the aesthetic quality of the grounds and building and to provide for safety and address ADA requirements such as handicap accessibility.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 23330 Frederick Road Meeting Date: 1/09/02
 Applicant: Terrabrooke Clarksburg, LLC Report Date: 1/02/02
 (Mary Reader, Agent)
 Resource: Clarksburg Historic District Public Notice: 12/26/01
 Review: **HAWP** Tax Credit: No
 District Number: 13/10-02A Staff: Robin D. Ziek

PROPOSAL: Handicapped ramp, fencing, parking, lighting

RECOMMEND: Approval with Conditions:

1. Staff to work with applicant at the time of lighting installation, and lighting levels to be approved at that time at a staff level.

*2 - the transom over the front door will
 NOT be replaced ~~with a new one~~*

PROJECT DESCRIPTION

RESOURCE: The Gardner House, Contributing Resource
 STYLE: Cross-Gable Colonial Revival, with Victorian Features
 DATE: c 1916-1927

This 2-1/2 story frame structure sits on a prominent corner in the Clarksburg Historic District, facing Frederick Road. Redgrave Place currently leads west to the historic Clarksburg School building, and serve as a pedestrian-friendly road linking the proposed train stop to the west and the new town center to the east, when the Clarksburg new town is built. This property has been used, most recently, as an antique store. The new owner is Terrabrooke, a major developer of the new Clarksburg, and they plan to use this building for their Visitors' Center during the construction period (over the next 5-10 years).

PROPOSAL

The applicant proposes several alterations to the property to adapt it to its new use. As a Visitors Center, the site will serve to orient new Clarksburg residents to the different home site options, and to also orient them to the area in terms of schools, shopping, sites, etc. The owner envisions a welcoming atmosphere in a beautiful garden setting. As a commercial site, universal access is important, as well as adequate lighting and signage.

Proposed:

1. Remove the existing shrubbery around the house, and install a wood picket fence (see Circle 32, 33).
2. At the front entrance, remove the existing concrete steps and wooden hand rails; install wider wood stairs, with a new handrail. The new rail will be a simple wood picket and will not match the existing shaped porch rail (see Circle 21, 25, 31)
3. Replace the existing (non-original) front door with a new wood front door (see Circle 28, 29)
4. On the rear elevation, remove the existing 2nd-story door and fire stairs. Build a small hood over the first floor back door, and install new wood stairs. (19, 23, 27)
5. Install a handicapped ramp at the NW corner of the house, with access to the side door on the Redgrave Place elevation. The ramp will run partially under the porch roof at the back corner of the side-wrapping porch. The end porch rail will be partially removed to accommodate the installation of the ramp. This approach will shorten the run of the ramp, containing the size of the ramp, and leaving room for the handicapped parking space immediately adjacent to the ramp (see Circle 32, 24, 27).
6. Two porch lights are proposed on either side of the front door (see Circle 25, 30), projecting 180 watts of light on either side of the door.
7. The existing walkways will be resurfaced with unit pavers (see Circle 32, 37).
8. Several pathway lights are proposed (see Circle 32, 39). These are simple and make no historic references, while keeping the light low and directed to the walkway.
9. New signage is proposed, announcing the "Clarksburg Visitors Center" (see Circle 32, 34) The applicant proposes to light this with an at-grade lamp on either side of the sign (see Circle 38).
10. An arched trellis is proposed at the garden entrance (see Circle 32, 35).
11. The HVAC condensers will be located at the back door. Wood lattice fencing is proposed to screen the machinery from the parking lot (see Circle 32, 36).
12. The existing parking lot will be repaved with asphalt. It is currently gravel and asphalt.

* Proposal included transom replacement.
HPC did not approve this aspect.

STAFF DISCUSSION

The proposed alterations are residential in scale and character. The design of the handicapped ramp, partially tucked under the existing porch roof, is a clever way to reduce the impact of the required length of ramping on the site. The applicant has chosen to use historic materials for steps and railing, but not to replicate the existing porch rail design. This is appropriate, and serves to clearly differentiate the old and new work.

In a similar way, the choice to remove the existing shrubbery and replace it with a fence reflects a time-honored concern with the edges and boundaries of the site. This will be just one more variation on the theme. The applicant is retaining most of the existing trees on the site, except for two damaged/unhealthy trees. These will be certified by an arborist before removal, as staff has explained to the applicant.

Staff has expressed some concern with possible over-lighting of the site. The applicant has responded to these concerns by substituting full-height lamp posts with the small lamps at the walkway entrances only. Staff is still concerned that the lighting at the front door (two lamps with 3-60 watt bulbs each, or 360 watts of light at the front door) will be out of scale with the site. This concern also applies to the up-lighting for the sign boards. The lighting levels could be checked by staff after installation, with the potential for reducing the lighting levels at that time if the site is over-lit for the district.

STAFF RECOMMENDATION

Staff recommends, **with the following conditions**, the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with *Secretary of the Interior's Standards for Rehabilitation #2*:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

CONDITIONS:

1. Staff to work with applicant at the time of lighting installation, and lighting levels to be approved at that time at a staff level.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 HUNGERFORD DRIVE, 2nd FLOOR ROCKVILLE, MD 20850
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Nancy L. Hughes
Daytime Phone No.: (703) 906-4456

Tax Account No.: 75-2858155

Name of Property Owner: Terrabrook Clarksburg, LLC Daytime Phone No.: (301) 540-9703

Address: 1 Piedmont Road Clarksburg MD 20871
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Nancy L. Hughes Daytime Phone No.: (703) 906-4456

LOCATION OF BUILDING/PREMISE

House Number: 23330 Street: Frederick Road

Town/City: Clarksburg Nearest Cross Street: Redgrave Place

Lot: _____ Block: _____ Subdivision: _____

Liber: _____ Folio: _____ Parcel: Parcel P278, Montgomery County
Tax Map EW

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|---|--|---|--|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input checked="" type="checkbox"/> Install | <input checked="" type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input checked="" type="checkbox"/> Fence/Wall (complete Section 4) | <input checked="" type="checkbox"/> Other: <u>H.C. ramp & stairs</u> | | | | |

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 3 feet 6 inches

(4)

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing structure is an early twentieth century, late Victorian influenced, cross gable frame residence. The cross-gabled Colonial Revival structure has a wrap-around porch which now exhibits late Victorian influence in its jigsaw trim dating from a recent rehabilitation. The house was probably built in 1911 by John Gardner & his wife, Laura. The house is located within the Clarksburg Historic District, at the corner of Frederick Road & Redgrave Place & is oriented towards ~~the~~ Frederick.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The proposed improvements to the Gardner House, in order to use the building as a visitors center for Clarksburg Town Center, are intended to enhance the property without adversely affecting the historical character of the site and the surrounding Clarksburg Historic District. The proposed work is necessary to improve the aesthetic quality of the grounds and building and to provide for safety and address ADA requirements such as handicap accessibility.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

5

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing structure is an early twentieth century, late Victorian influenced, cross gable frame residence. The cross-gabled Colonial Revival structure has a wrap-around porch which now exhibits late Victorian influence in its jigsaw trim dating from a recent rehabilitation. The house was probably built in 1911 by John Gardner & his wife Laura. The house is located within the Clarksburg Historic District, at the corner of Frederic Road & Redgrave Place & is oriented towards ~~the~~ Frederic.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

The proposed improvements to the Gardner House, in order to use the building as a visitors center for Clarksburg town center, are intended to enhance the property without adversely affecting the historical character of the site and the surrounding Clarksburg Historic District. The proposed work is necessary to improve the aesthetic quality of the grounds and building and to provide for safety and address ADA requirements such as handicap accessibility.

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6. **TREE SURVEY**

(5)

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Terrabrook Clarksburg, LLC
1 Piedmont Road
Clarksburg, MD 20871
Attn: Nancy L. Hughes

Owner's Agent's mailing address

Nancy L. Hughes
10124 Ballynahown Circle
Fairfax, VA 22030

Adjacent and confronting Property Owners mailing addresses
see attached lists

Clarksburg Civic Association
John Fauerby
26517 Aiken Dr.
Clarksburg, MD 20871

Terrabrook Clarksburg LLC
23330 Frederick Rd.
Clarksburg, MD 20871

Clarksburg Initiatives Assn.
Tom & Melan Hoffman
23801 Peach Tree Rd.
Clarksburg, MD 20871

Albert B. & L. M. Randall
23340 Frederick Rd.
Clarksburg, MD 20871

Rodney H. & A. T. Darby
6125 Tuckerman Lane
Rockville, MD 20852

Gary & M. E. Poole
23310 Frederick Rd.
Clarksburg, MD 20871

William K. & B. L. Watkins
11610 Piedmont Rd.
Clarksburg, MD 20871

Board of Education
850 Hungerford Dr.
Rockville, MD 20850

Sol Rudden Tr. et. al.
P.O. Box 236
Clarksburg, MD 20871

Sol Rudden Tr. et. al.
22610 Clarksburg Rd.
Boys, MD 20841

7

Clarksburg Civic Association
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26517 Aiken Dr.
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Boyd's, MD 20841

7

United States Post Office
23321 Frederick Rd.
Clarksburg, MD 20871

Roy M. Jr. & P. J. Bradley
1524 22nd Street, West
Bradenton, FL 34205

Sugarloaf Citizens Assn.
Bob Zarnetske
20900 Martinsburg Rd.
Dickerson, MD 20842

Sandra Campbell et. al.
c/o Henry K. Miles
Box 529
113 WM Bartram Dr.
Welaka, FL 32193

Committee for the Up-County
Ron Wohl
14501 Antigone Dr.
Gaithersburg, MD 20878

Northern Montgomery County Alliance
Julius Cinque
223 Slidell Rd.
Boyd's, MD 20841

8

ADJOINING AND CONFRONTING PROPERTY OWNERS LIST

12/12/01

Tax ID #	Name	Mailing Address	Lot/Parcel	Block
Subject Property				
02-00021684	Terrabrook Clarksburg LLC	23330 Frederick Rd. Clarksburg, MD 20871	P228	
EW 31				
02-00020771	Albert B. & L. M. Randall	23340 Frederick Rd. Clarksburg, MD 20871	P206	
02-00019008	Rodney H. & A. T. Darby	6125 Tuckerman Lane Rockville, MD 20852	P258	
02-00021673	Gary & M. E. Poole	23310 Frederick Rd. Clarksburg, MD 20871	P311	
02-00030347	William K. & B. L. Watkins	11610 Piedmont Rd. Clarksburg, MD 20871	P257	
02-00017077	Board of Education	850 Hungerford Dr. Rockville, MD 20850	P333	
02-00027316	Sol Rudden Tr. et. al.	P.O. Box 236 Clarksburg, MD 20871	P176	
02-00027327	Sol Rudden Tr. et. al.	22610 Clarksburg Rd. Boys, MD 20841	P203	
02-00024404	United States Post Office	23321 Frederick Rd. Clarksburg, MD 20871	P177	
02-00024255	Roy M. Jr. & P. J. Bradley	1524 22 nd Street, West Bradenton, FL 34205	P150	
EW21				
02-00026128	Sandra Campbell et. al.	c/o Henry K. Miles Box 529 113 WM Bartram Dr. Welaka, FL 32193	P303	
Homeowners Associations				
683	Northern Montgomery County Alliance	Julius Cinque 223 Slidell Rd. Boys, MD 20841	301-972- 1098	
672	Committee for the Up- County	Ron Wohl 14501 Antigone Dr. Gaithersburg, MD 20878	301-340- 2821	
288	Sugarloaf Citizens Assn.	Bob Zarnetske 20900 Martinsburg Rd. Dickerson, MD 20842	301-407- 0764	
885	Clarksburg Initiatives Assn.	Tom & Melan Hoffman 23801 Peach Tree Rd. Clarksburg, MD 20871		
159	Clarksburg Civic Association	John Fauerby 26517 Aiken Dr. Clarksburg, MD 20871	301-253- 1748	

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9

CLARKSBURG VISITORS CENTER

23330 Frederick Road
Clarksburg, Maryland



**1600 Prince Street Suite 114
Alexandria, Virginia 22314
PH: 703.549.9556 FAX: *.4458**



**1414 Prince Street, Suite 400
Alexandria, Virginia 22314
PH: 703.549.7784 FAX: *.4984**

LIST OF DRAWINGS

SHEET#	SHEET TITLE	SHEET#	SHEET TITLE
A0.0	COVER		DETAILS
A0.1	SUMMARY OF EXTERIOR RENOVATION AREAS	A4.0	DETAIL, NEW ENTRY DOOR
A0.2	MECH. UNITS SPEC SHEETS	A4.1	PHOTO, NEW ENTRY DOOR
A0.3	MECH. UNITS SPEC SHEETS	A4.2	DETAIL, PORCH LIGHT FIXTURE
		A4.3	DETAIL, NEW RAIL
	ARCHITECTURAL		
	EXISTING CONDITION PHOTOGRAPHS		
A1.0	PHOTO, EXISTING FRONT		LANDSCAPE
A1.1	PHOTO, EXISTING FRONT-LEFT	L-1	SITE PLAN
A1.2	PHOTO, EXISTING FRONT-RIGHT	L-2	DETAIL, PICKET FENCE
A1.3	PHOTO, EXISTING SIDE-REAR	L-3	DETAIL, CLARKSBURG V. CENTER SIGN
A1.4	PHOTO, EXISTING SIDE	L-4	DETAIL, TRELIS/GATEWAY W/ DOWN-LIGHT
A1.5	PHOTO, EXISTING REAR	L-5	DETAIL, CONDENSER SCREEN
	EXISTING CONDITION DRAWINGS	L-6	DETAIL, SPECIAL PAVERS
A2.0	EXISTING FLOOR PLAN	L-7	DETAIL, SIGN UPLIGHT
A2.1	EXISTING FRONT ELEVATION	L-8	DETAIL, PATHWAY LIGHT
A2.2	EXISTING SIDE ELEVATION	L-9	PHOTO, FRONT ELEVATION 'A'
A2.3	EXISTING REAR ELEVATION	L-10	PHOTO, FRONT ELEVATION 'B'
	PROPOSED PLANS	L-11	PHOTO, VIEW FROM REDGRAVE PLACE
A3.0	PROPOSED FLOOR PLAN	L-12	PHOTO, VIEW FROM REAR
A3.1	PROPOSED FRONT ELEVATION	L-13	PHOTO, PHOTO AREA
A3.2	PROPOSED SIDE ELEVATION		
A3.3	PROPOSED REAR ELEVATION		

COVER

DATE: DECEMBER 19, 2001

CLARKSBURG VISITORS CENTER

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

23330 FREDERICK ROAD
CLARKSBURG, MD 20871


ARCHITECTURAL DESIGN GROUP, INC.

PROJECT# 01038
SHEET: A0-0

Clarksburg Visitors Center

Summary of Exterior Renovation Areas

Item	Justification	Applicable Drawings
New front entry stairs	Replace existing front entrance stairs with a wider wood stair structure 5'0" clear opening, centered to the front entry door.	-A1.0 Existing Front Photo -A2.0 Existing Floor Plan -A2.1 Existing Front Elev. -A3.0 Proposed Floor Plan. -A3.1 Proposed Front Elev.
New Front Entry Door	Replace existing front entry door, transom, and sidelights	-A1.0 Existing Front Photo -A2.0 Existing Floor Plan -A2.1 Existing Front Elev. -A3.1 Proposed Front Elev. -A4.1 Detail @ New Door -A4.1 Photo @ New Door
Handicap Access	Handicap Ramp addition for 1 st floor accessibility from the rear elevation. The ramp is a wood structure and meets the applicable codes.	-A2.2 Existing Rear Elev. -A3.0 Proposed Floor Plan. -A3.1 Proposed Side Elev. -A3.1 Proposed Rear Elev.
New rear entry stairs	Replace existing metal stairs on the rear entry of bldg with new wood structure stair.	-A2.2 Existing Rear Elev. -A3.0 Proposed Floor Plan. -A3.3 Proposed Rear Elev.
Removal of wood stairs at the rear elevation	Remove wooden staircase located in the rear side of the building.	-A1.3 Exist. Rear Photo -A2.0 Existing Floor Plan -A2.2 Existing Rear Elev.
Elimination of door at 2 nd floor rear entry	Remove door at the rear elevation in the 2 nd floor. The remaining opening will be covered with siding to match existing elevation	-A1.3 Exist. Rear Photo -A2.2 Existing Rear Elev. -A3.3 Proposed Rear Elev.
Mech. Condenser locations	New condenser locations at the rear side of bldg.	-A2.2 Existing Rear Elev. -A3.0 Proposed Floor Plan. -A3.3 Proposed Rear Elev.
Mech. Flues locations	New Mech. Flues locations at the rear elevation / roof	-A2.2 Existing Rear Elev. -A3.3 Proposed Rear Elev.
Installation of pathway, porch, and sign lighting.	Will improve night visibility.	L-1, L-8 L-7, A4.2
Sign	Sign to read "Clarksburg Visitors Center"	L-1, L-9, L-3
Resurfacing of walks	Will reduce potential for tripping or falling	L-1, L-6
Installation of picket fence and trellis	Will define property boundary in traditional manner.	L-1, L-2, L-4
Condenser Screen	3' lattice condenser screen enclosing new locations at the rear side of bldg.	L-1, L-5



SUMMARY OF EXT. RENOVATION AREAS

DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

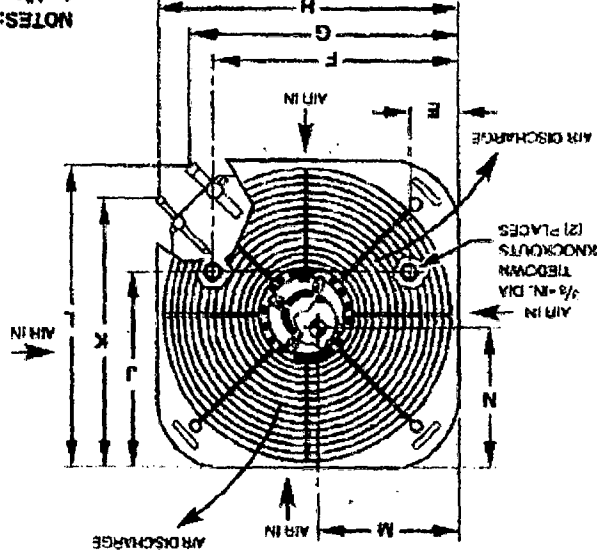
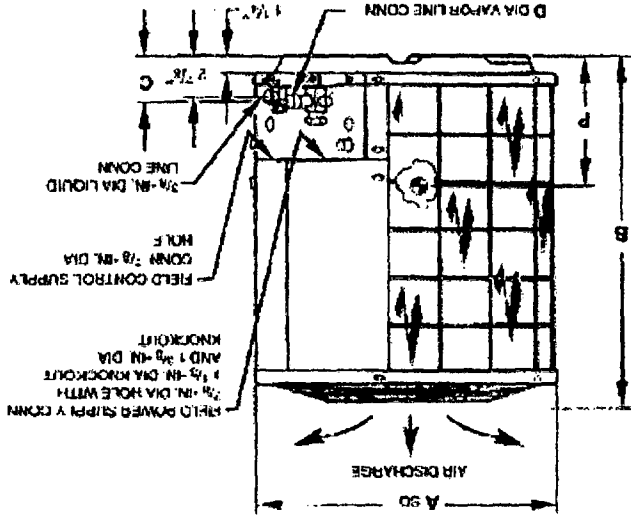
CLARKSBURG
VISITORS CENTER
23330 FREDERICK ROAD
CLARKSBURG, MD 20871


ARCHITECTURAL DESIGN GROUP, INC.

 **LandDesign**
PROJECT# 01038
SHEET: AO-1 

Dimensions—38YCC

A9704S



- NOTES:**
1. Allow 30 in. clearance to service side of unit, 48 in. above unit, 6 in. on one side, 12 in. on remaining side, and 24 in. between units for proper airflow.
 2. Minimum outdoor operating ambient in cooling mode is 55°F (untare low ambient control is used) max. 125°F.
 3. Maximum outdoor operating ambient in heating mode is 66°F.
 4. Series designation is the 13th position of the unit model number.
 5. Center of gravity Φ .

DIMENSIONS (IN.)

UNIT SIZE	SERIES	A	B	C	D	E	F	G	H	I	J	K	L	M	N	P	MINIMUM MOUNTING PAD DIMENSIONS
018	30, 31	22-1/2	25-15/16	3-3/16	5/8	0-11/16	18-1/8	19-3/4	21-5/8	14-3/8	18-7/8	22-1/16	22-1/16	11	5	12	22-1/2 X 22-1/2
024	30, 31	22-1/2	25-15/16	3-3/16	5/8	3-11/16	18-1/8	19-3/4	21-5/8	14-3/8	18-7/8	22-1/16	22-1/16	10	5	13	22-1/2 X 22-1/2
030	30, 50	22-1/2	29-15/16	3-3/16	3/4	3-11/16	18-1/8	19-3/4	21-5/8	14-3/8	18-7/8	22-1/16	22-1/16	12	14	14	22-1/2 X 22-1/2
030	31	22-1/2	37-15/16	3-3/16	3/4	3-11/16	18-1/8	19-3/4	21-5/8	14-3/8	18-7/8	22-1/16	22-1/16	14	14	15	22-1/2 X 22-1/2
036	30, 31, 50, 51, 52, 60	30	27-15/16	3-3/16	3/4	0-1/2	23-1/2	27-1/4	29-1/8	20	26-3/8	29-9/16	29-9/16	16-3/4	15	12	30 X 30
042	30, 50, 52, 60, 62	30	33-15/16	3-1/4	7/8	0-1/2	23-1/2	27-1/4	29-1/8	20	26-3/8	29-9/16	29-9/16	15	15-3/4	13-1/2	30 X 30
042	31, 51, 61	30	31-15/16	3-1/4	7/8	0-1/2	23-1/2	27-1/4	29-1/8	20	26-3/8	29-9/16	29-9/16	15	15	13	30 X 30
044	30, 50, 52, 60, 62	30	39-15/16	3-1/4	7/8	0-1/2	23-1/2	27-1/4	29-1/8	20	26-3/8	29-9/16	29-9/16	15	16-3/4	15-1/2	30 X 30
048	31, 51, 61	30	31-15/16	3-1/4	7/8	0-1/2	23-1/2	27-1/4	29-1/8	20	26-3/8	29-9/16	29-9/16	15	15	13	30 X 30
060	30, 31, 50, 51, 52, 60, 61, 62	30	27-15/16	3-3/16	3/4	0-1/2	23-1/2	27-1/4	29-1/8	20	26-3/8	29-9/16	29-9/16	15	15	15	30 X 30

MECH. UNITS SPECIFICATIONS

DATE: DECEMBER 19, 2001

CLARKSBURG VISITORS CENTER

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

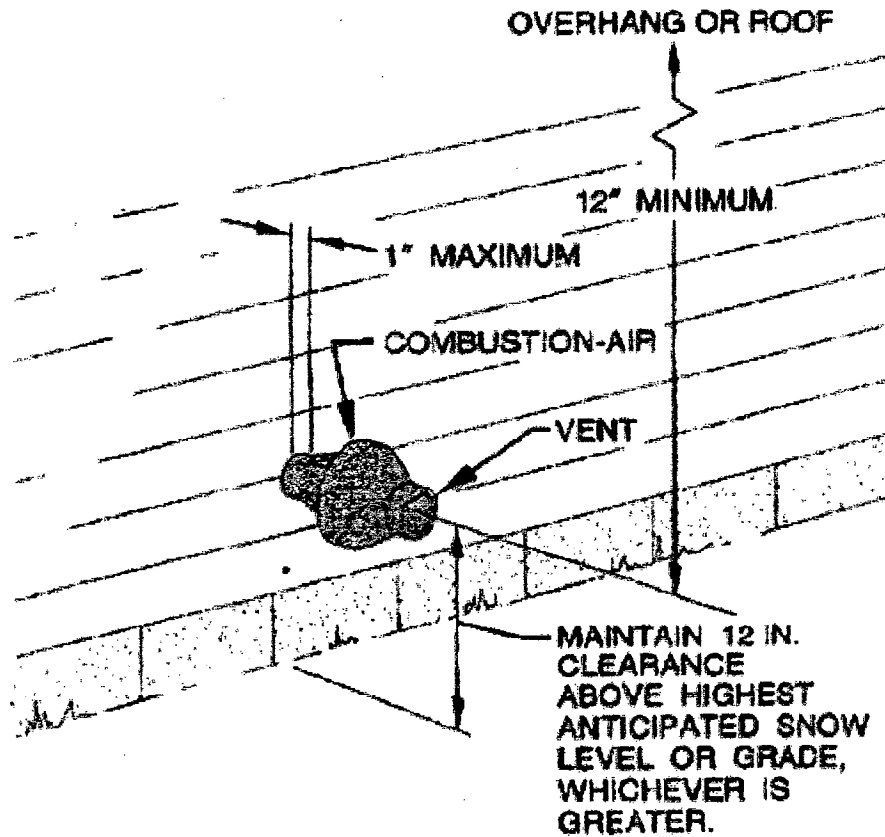
23330 FREDERICK ROAD
CLARKSBURG, MD 20871



PROJECT # 01038
SHEET: AO-2

12

A87224



A83055

Concentric Vent and Combustion-Air Side Termination

MECH. UNITS SPECIFICATIONS

DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

**CLARKSBURG
VISITORS CENTER**

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

ADG
ARCHITECTURAL DESIGN GROUP, INC.

LandDesign

PROJECT# 01038

SHEET: A0-3

13



EXISTING FRONT PHOTOGRAPH

DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

ADG
ARCHITECTURAL DESIGN GROUP, INC.

LandDesign

PROJECT# 01038

SHEET: A1-0

(14)



EXISTING FRONT - LEFT PHOTOGRAPH


DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

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CLARKSBURG, MD 20871


ARCHITECTURAL DESIGN GROUP, INC.

 LandDesign

PROJECT# 01038

SHEET: A1-1

18



EXISTING - FRONT-RIGHT PHOTOGRAPH


DATE: DECEMBER 19, 2001

OWNER:
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1 PIEDMONT ROAD
CLARKSBURG, MD 20871

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23330 FREDERICK ROAD
CLARKSBURG, MD 20871


ARCHITECTURAL DESIGN GROUP, INC.

 LandDesign

PROJECT# 01038

SHEET: A1-2

16



EXISTING SIDE-REAR PHOTOGRAPH


DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871


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 LandDesign

PROJECT# 01038

SHEET: A1-3 (17)



EXISTING SIDE PHOTOGRAPH

DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

ADG
ARCHITECTURAL DESIGN GROUP, INC.

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PROJECT# 01038

SHEET: A1-4

(18)



EXISTING REAR PHOTOGRAPH

DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

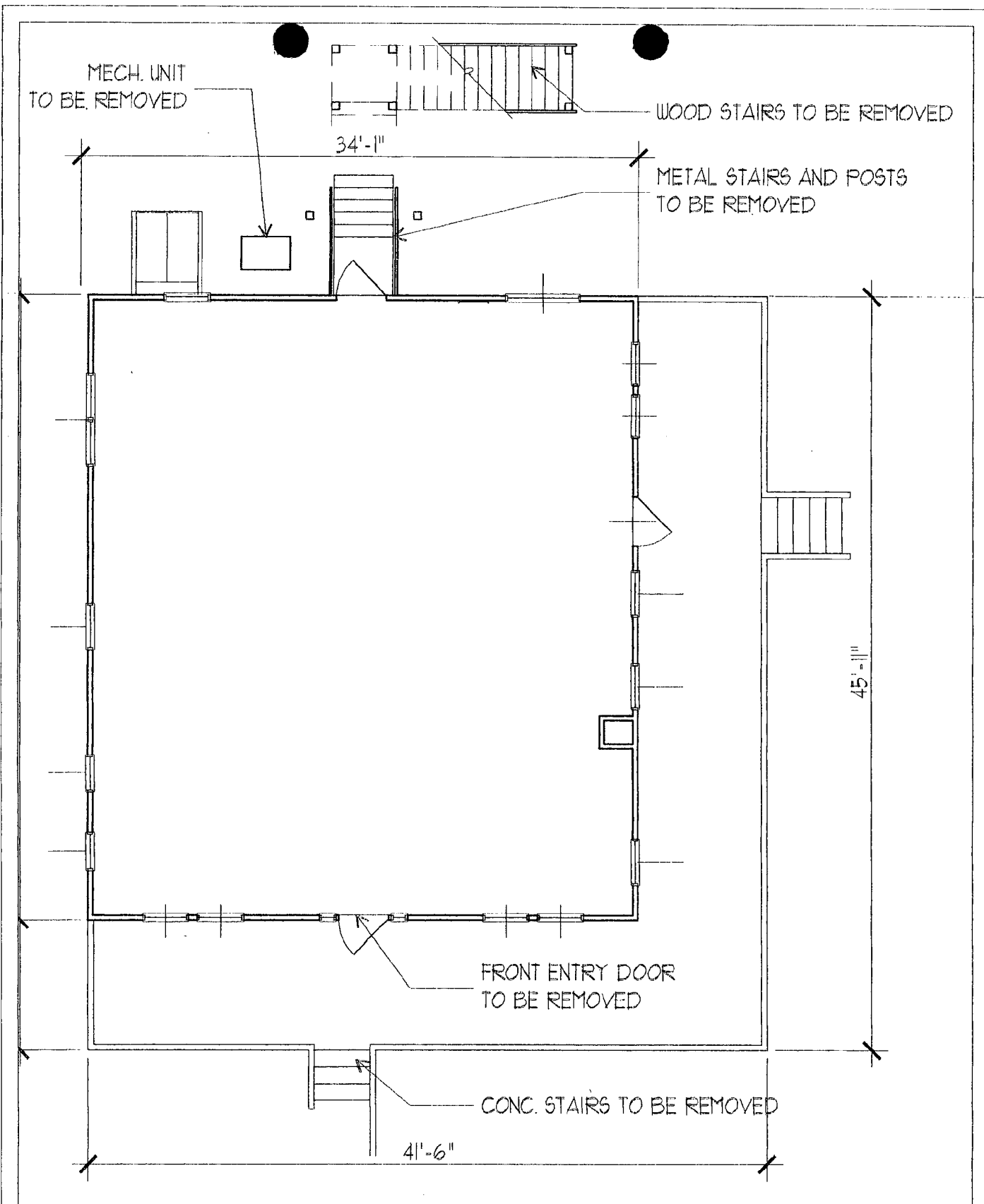
ADG
ARCHITECTURAL DESIGN GROUP, INC.

LandDesign

PROJECT# 01038

SHEET: A1-5

(19)



EXISTING FLOOR PLAN

1/8" = 1'-0"

DATE: DECEMBER 19, 2001

CLARKSBURG VISITORS CENTER

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

ADG
ARCHITECTURAL DESIGN GROUP, INC.

LandDesign

PROJECT# 01038

SHEET: A2-0 (20)



EXISTING FRONT ENTRY
DOOR PANEL TO BE REMOVED
EXISTING FRONT STAIRS
TO BE REMOVED

EXISTING FRONT ELEVATION

1/8" = 1'-0"

DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

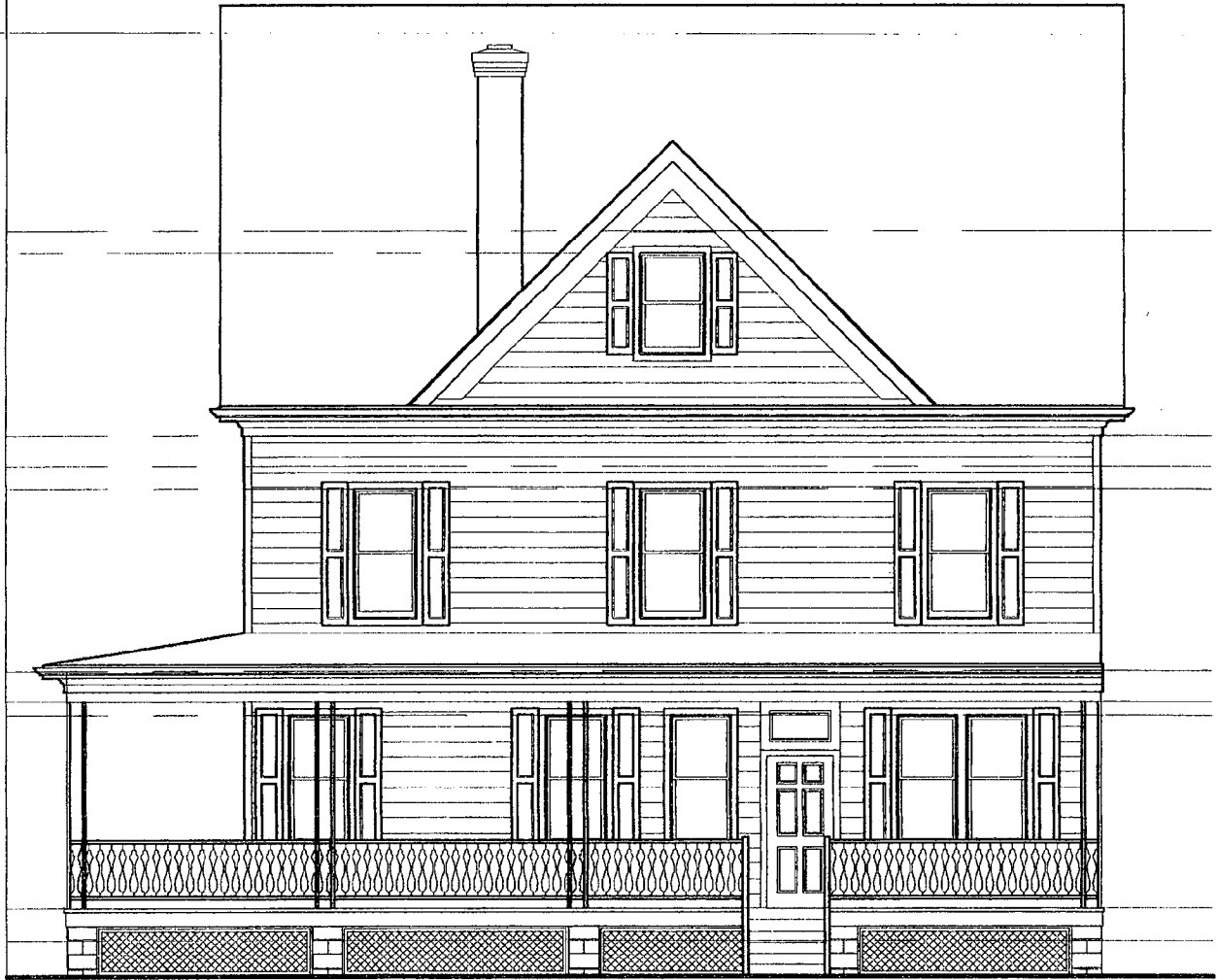
ADG
ARCHITECTURAL DESIGN GROUP, INC.

LandDesign

PROJECT# 01038

SHEET: A2-1

21



EXISTING SIDE ELEVATION

1/8" = 1'-0"

DATE DECEMBER 19, 2001

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

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LandDesign

PROJECT# 01038

SHEET: A2-2

22



EXISTING WOOD STAIRS
TO BE REMOVED

EXISTING DOOR AND TRANSOM
TO BE REMOVED

EXISTING METAL STAIRS
BEYOND TO BE REMOVED

EXISTING REAR ELEVATION 1/8" = 1'-0"

DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

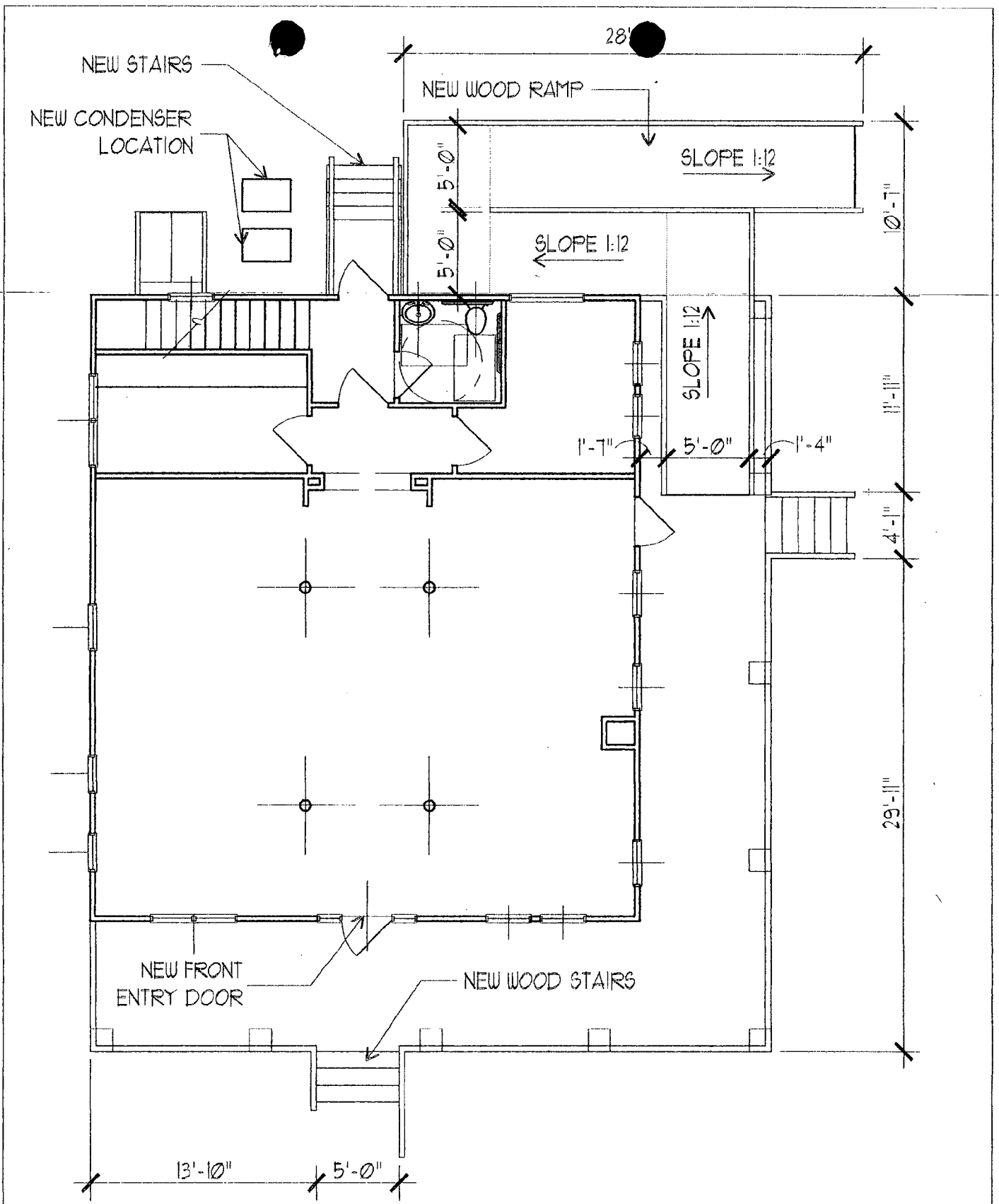
**CLARKSBURG
VISITORS CENTER**

23330 FREDERICK ROAD
CLARKSBURG, MD 20871


 ARCHITECTURAL DESIGN GROUP, INC.

 PROJECT# 01038
 SHEET: A2-3

23



PROPOSED FLOOR PLAN

1/8" = 1'-0"

DATE: DECEMBER 19, 2001

CLARKSBURG VISITORS CENTER

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

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ARCHITECTURAL DESIGN GROUP, INC.

LandDesign

PROJECT# 01038

SHEET: A3-0

24



1
A4-Ø

NEW FRONT ENTRY
DOOR PANEL AND TRANSOM

NEW WOOD STAIRS
CENTERED ON THE ENTRANCE

PROPOSED FRONT ELEVATION 1/8" = 1'-0"

DATE: DECEMBER 19, 2001

CLARKSBURG VISITORS CENTER

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

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LandDesign

PROJECT# 01038

SHEET: A3-1

25



NEW RAILING TO MATCH
EXISTING RAILING
AT THE STAIRS
NEW WOODEN RAMP

PROPOSED SIDE ELEVATION 1/8" = 1'-0"


DATE: DECEMBER 19, 2001

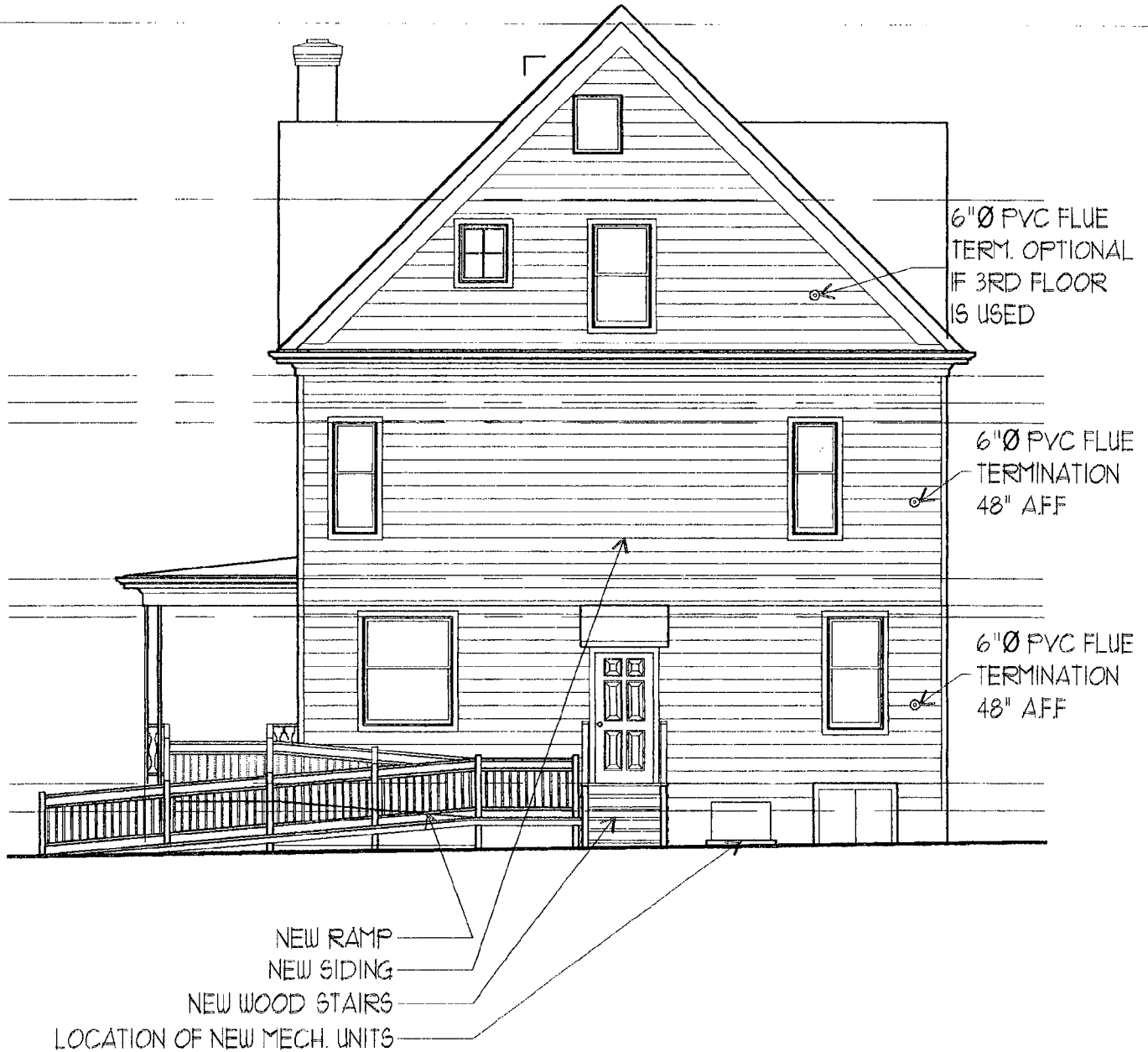
CLARKSBURG VISITORS CENTER

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

 ARCHITECTURAL DESIGN GROUP, INC.

 LandDesign
PROJECT# 01038
SHEET: A3-2 26



PROPOSED REAR ELEVATION

1/8" = 1'-0"

DATE: DECEMBER 19, 2001

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

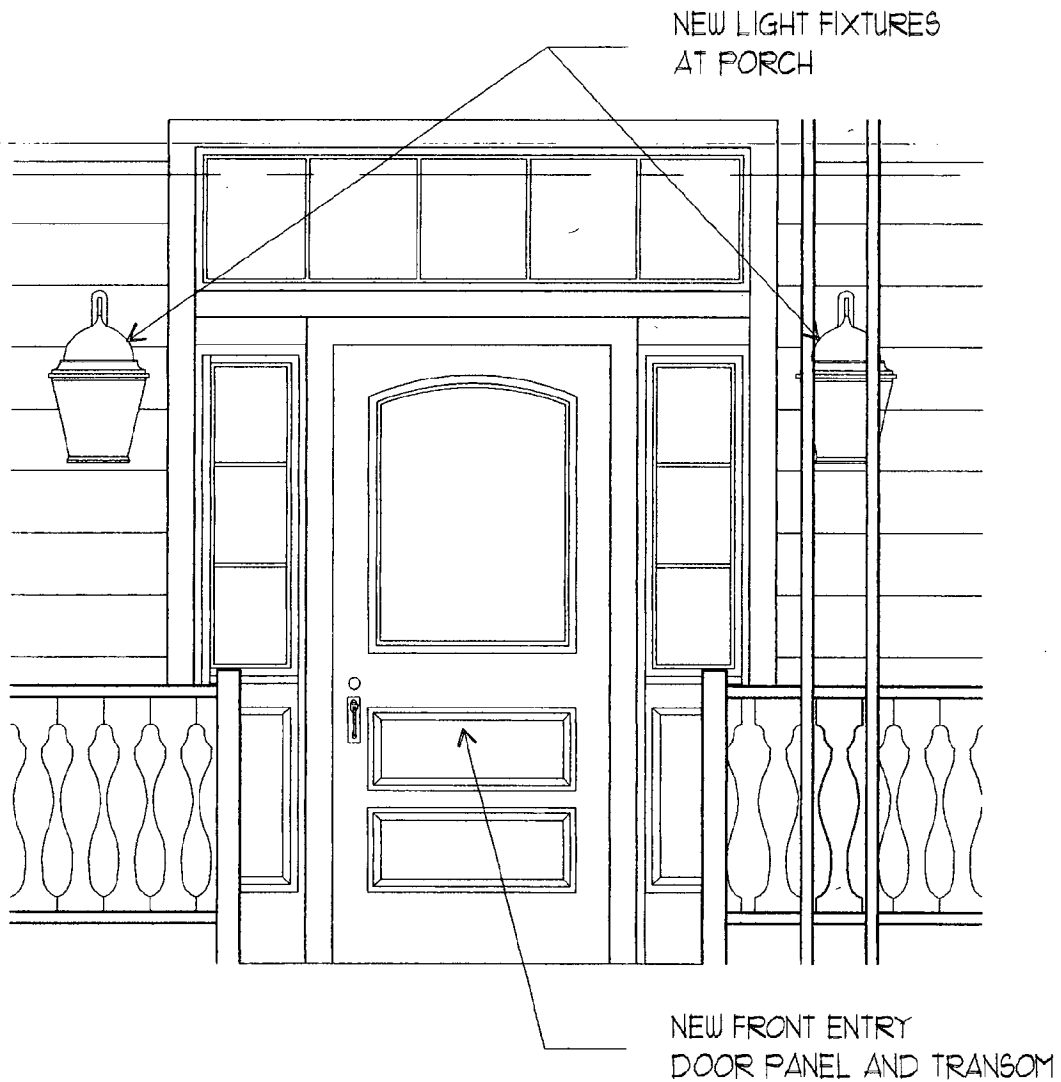
ADG
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LandDesign

PROJECT# 01038

SHEET: A3-3

27



ENLARGED FRONT ENTRY ELEVATION

1/2" = 1'-0"

DATE: DECEMBER 19, 2001

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

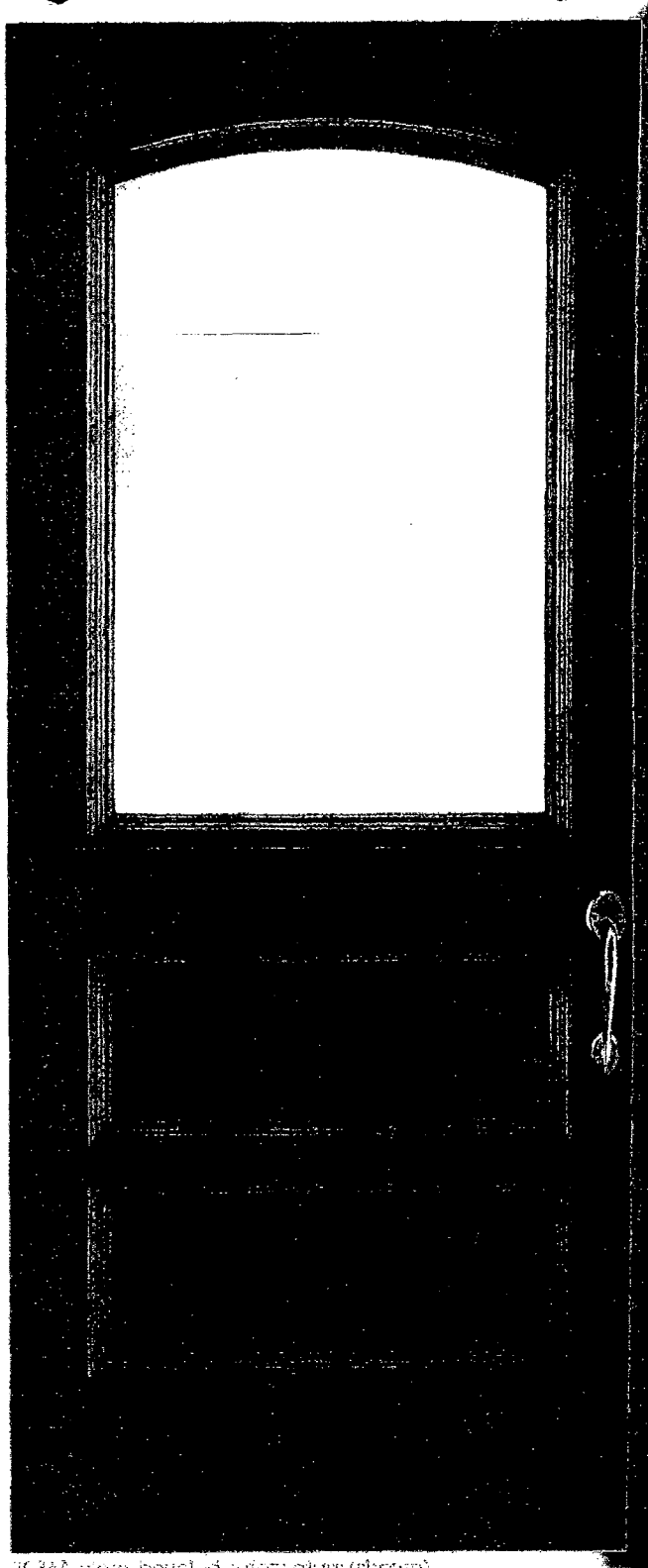
ADG
ARCHITECTURAL DESIGN GROUP, INC.

LandDesign

PROJECT# 01038

SHEET: A4-0

28



PROPOSED NEW ENTRY DOOR

DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

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ARCHITECTURAL DESIGN GROUP, INC.

LandDesign

PROJECT# 01038

SHEET: A4-1

29



P5690-31 Textured Black
P5690-30 Textured White
Wall lantern with delicately
detailed, cast, scroll arm
combined with the brilliant
clarity of clear, beveled glass.
Size: 13" W., 27-1/4" ht.
Extends 14". H/CTR 8-1/2".
Lamps: Three candelabra base
lamp, each 60w max.

PROPOSED NEW PORCH LIGHT, BY "PROGRESS LIGHTING"

DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

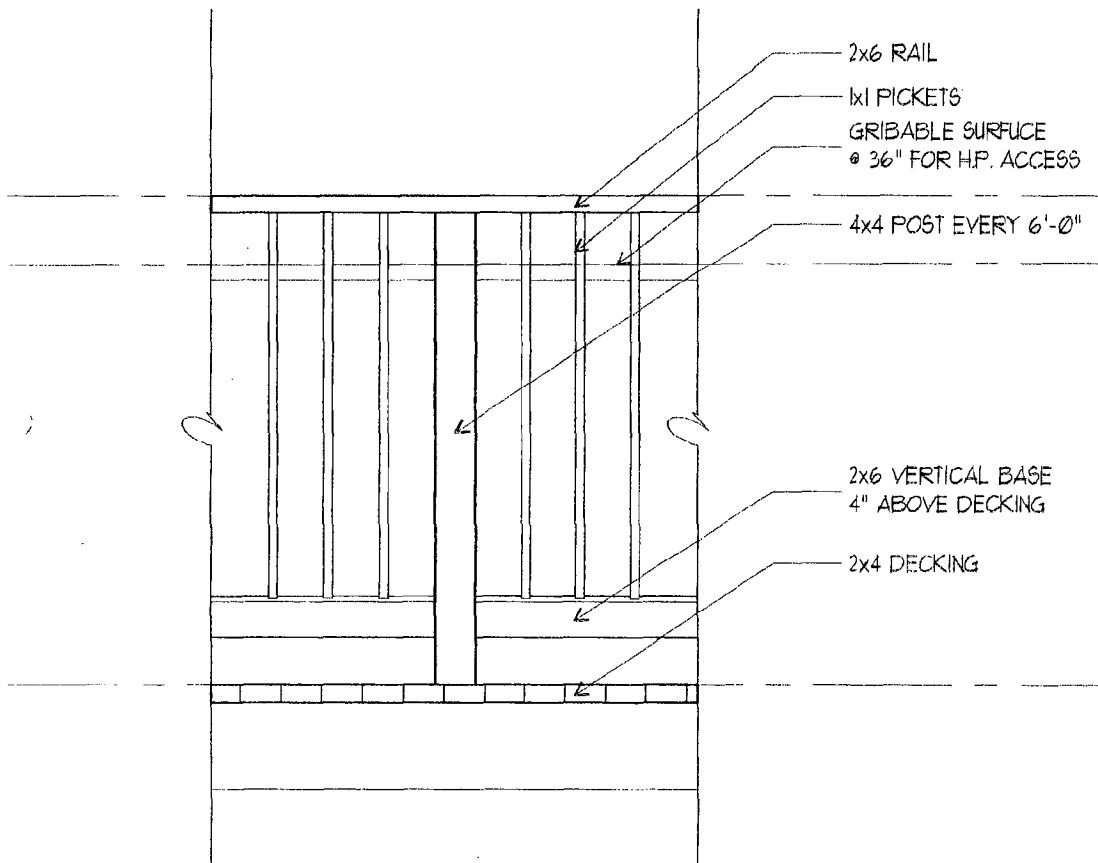
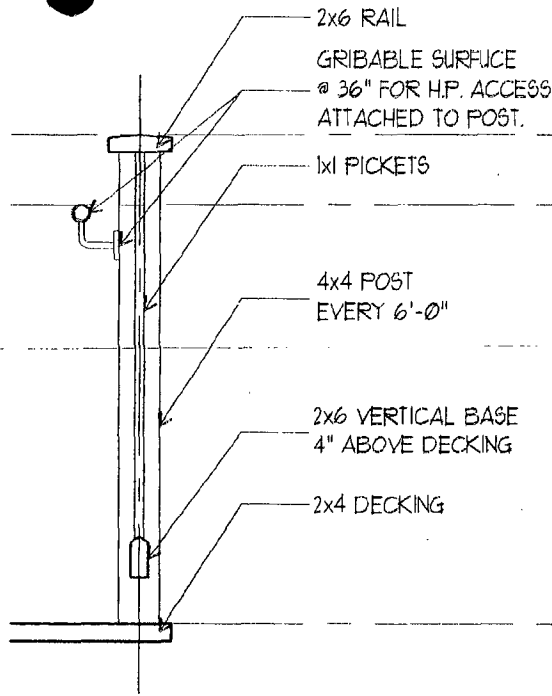
ADG
ARCHITECTURAL DESIGN GROUP, INC.

LandDesign

PROJECT# 01038

SHEET: A4-2

30



DETAIL @ RAILING

3/4" = 1'-0"

DATE: DECEMBER 19, 2001

CLARKSBURG VISITORS CENTER

OWNER:
TERRABROOK
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

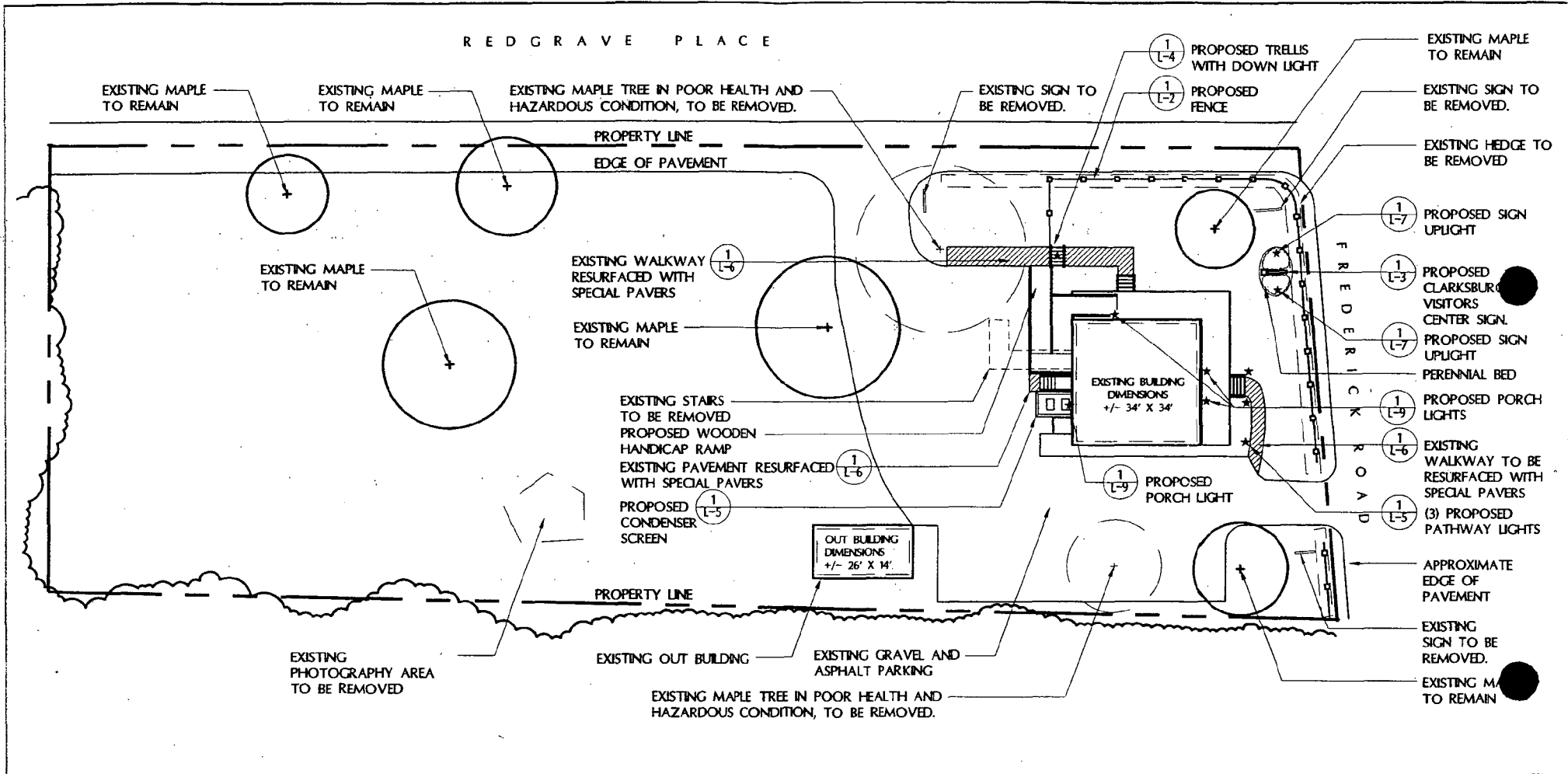
23330 FREDERICK ROAD
CLARKSBURG, MD 20871

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ARCHITECTURAL DESIGN GROUP, INC.

LandDesign

PROJECT# 01038

SHEET: A4-3



ADG
 Architectural Design Group, Inc.
 1600 PRINCE STREET, SUITE 111 ALEXANDRIA, VIRGINIA 22314 (703) 544-9555

LandDesign

PROJ. #200110 SHEET L-1 DEC. 19, 2001

CLARKSBURG VISITORS CENTER SITE PLAN

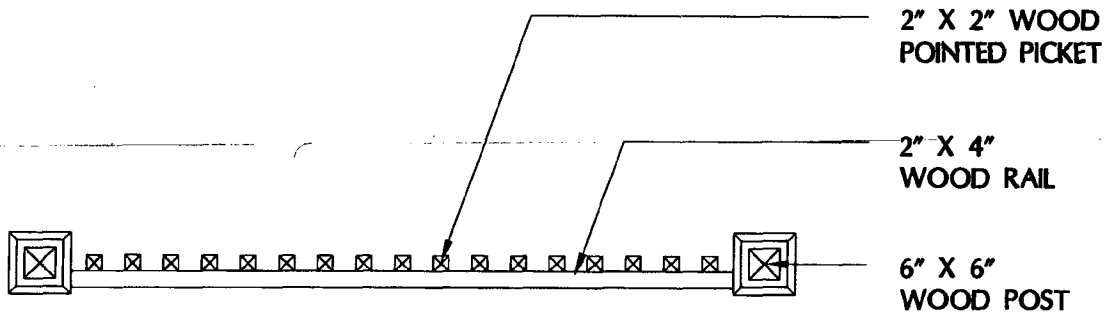
23330 FREDERICK ROAD
 CLARKSBURG, MD 20871

OWNER:
 TERRABROOK CLARKSBURG, LLC
 1 PIEDMONT ROAD
 CLARKSBURG, MD 20871

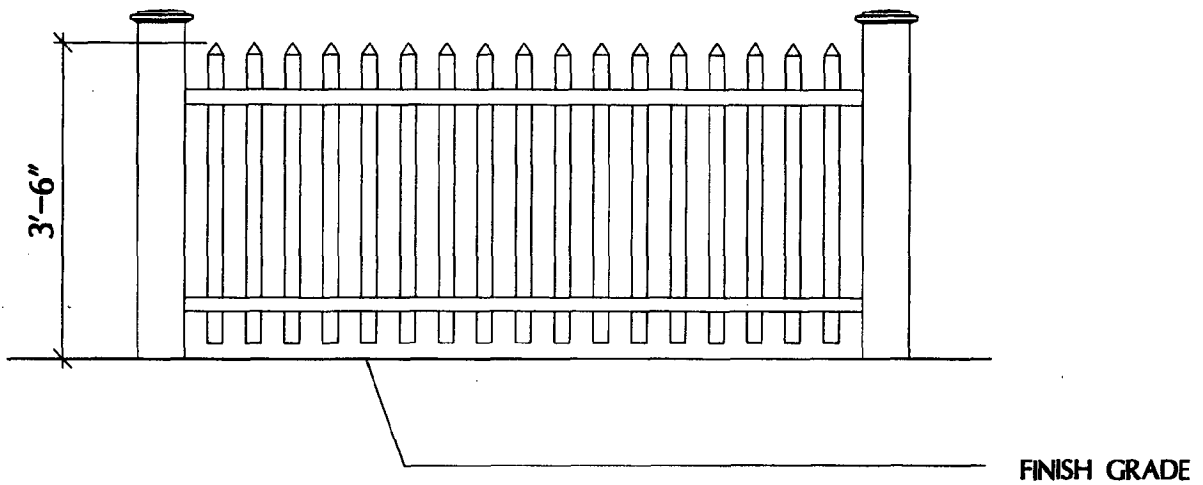
SCALE: 1"=25'

0 25' 50'

32



PLAN



FRONT ELEVATION

NOTES:

1. FINISH: TO BE PAINTED WHITE

PICKET FENCE

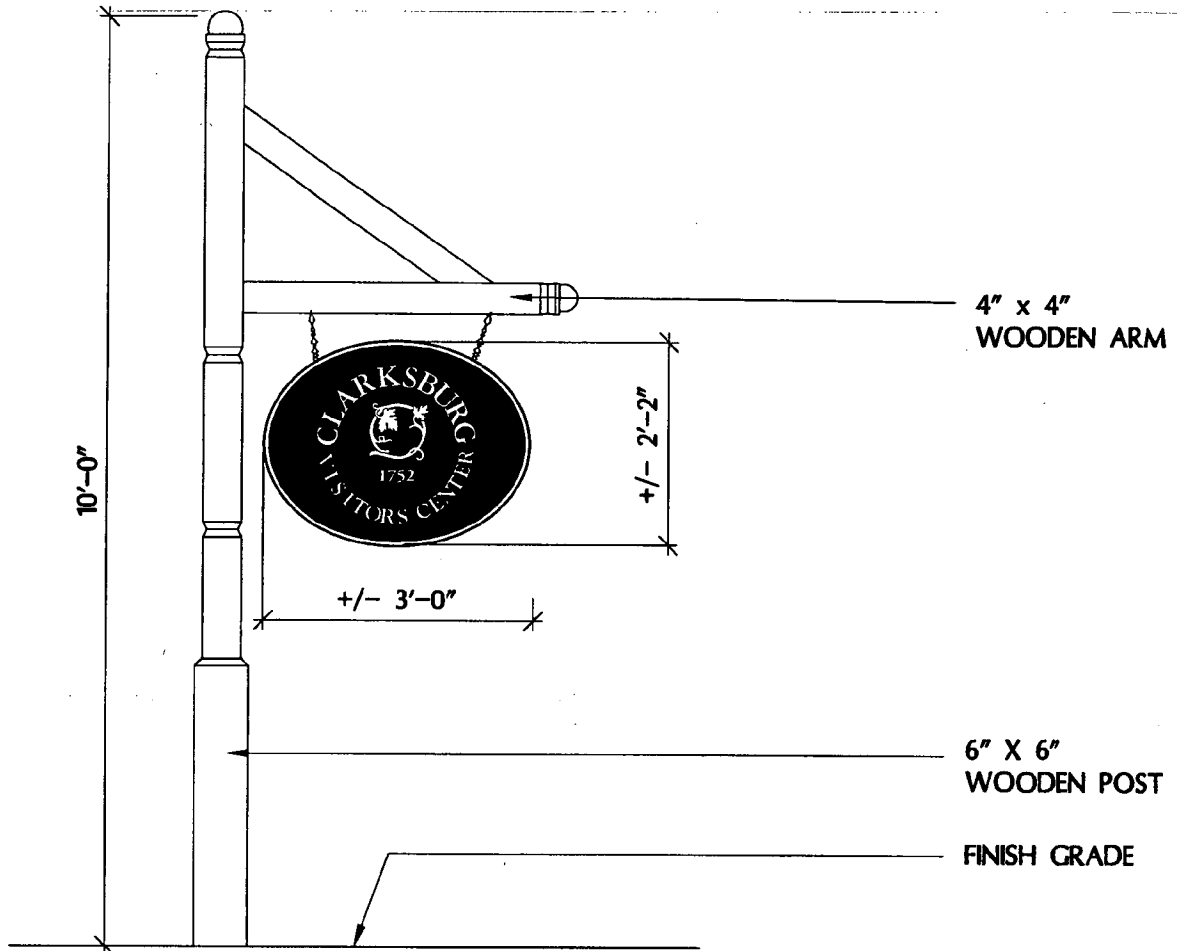
DATE: DECEMBER 19, 2001

SCALE: 1/2" = 1'-0"

OWNER:
TERRABROOK
CLARKSBURG, LLC
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

**CLARKSBURG
VISITORS CENTER**
23330 FREDERICK ROAD
CLARKSBURG, MD 20871

ADG
ARCHITECTURAL DESIGN GROUP, INC.
LandDesign
PROJECT# 02001110
SHEET: L-2



NOTES:

1. FINISH OF SUPPORT TO BE PAINTED WHITE WITH VARIOUS COLOR TRIM.
2. SIGN TO BE EGGPLANT.
3. LETTERING TO BE GOLD.
4. SIGN TO BE 2 SIDED.

CLARKSBURG VISITORS SIGN

SCALE: 1/2" = 1'-0"

DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
CLARKSBURG, LLC
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

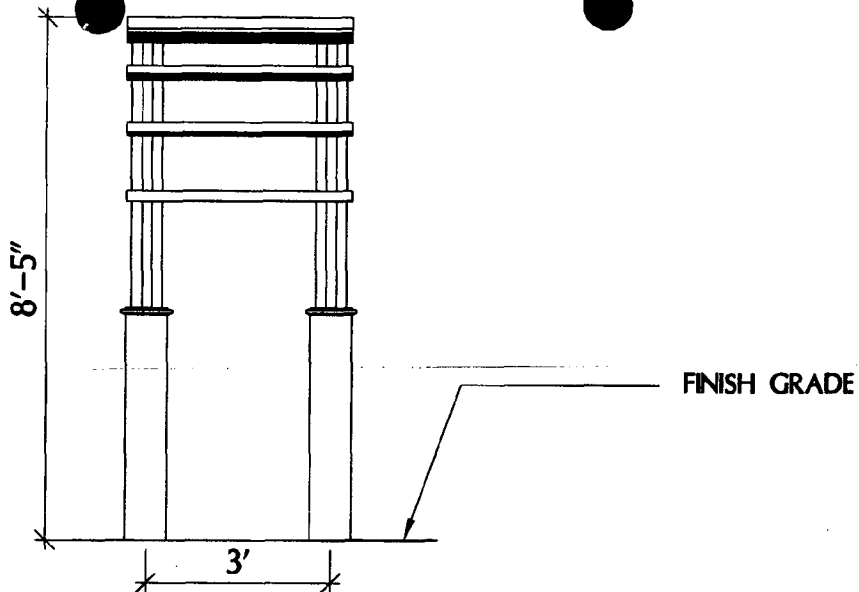
CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

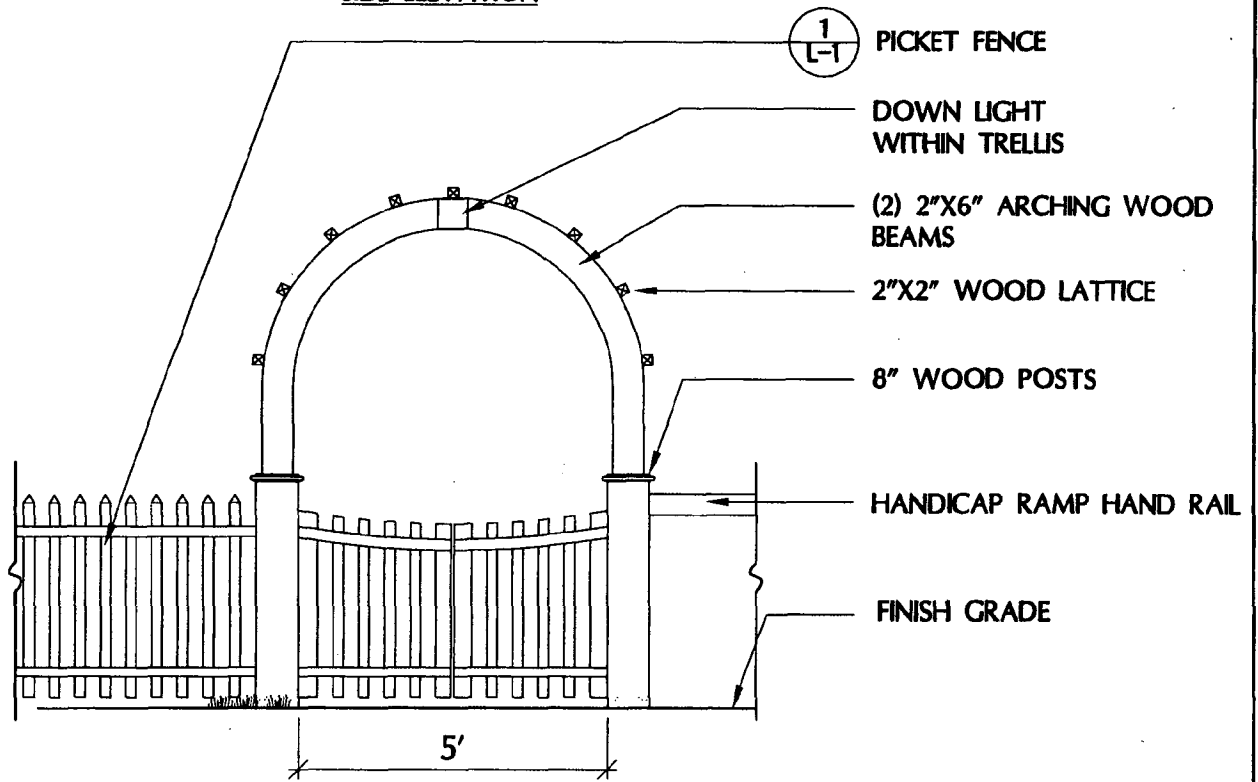
ADG
ARCHITECTURAL DESIGN GROUP, INC.

LandDesign
PROJECT# 02001110
SHEET: L-3

34



SIDE ELEVATION



**WALKWAY
FRONT ELEVATION**

NOTES:

- 1. FINISH: TO BE PAINTED WHITE

TRELLIS/GATEWAY WITH DOWN LIGHT

SCALE: N.T.S.

DATE: DECEMBER 19, 2001

**CLARKSBURG
VISITORS CENTER**

OWNER:
TERRABROOK
CLARKSBURG, LLC
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

ADG
ARCHITECTURAL DESIGN GROUP, INC.

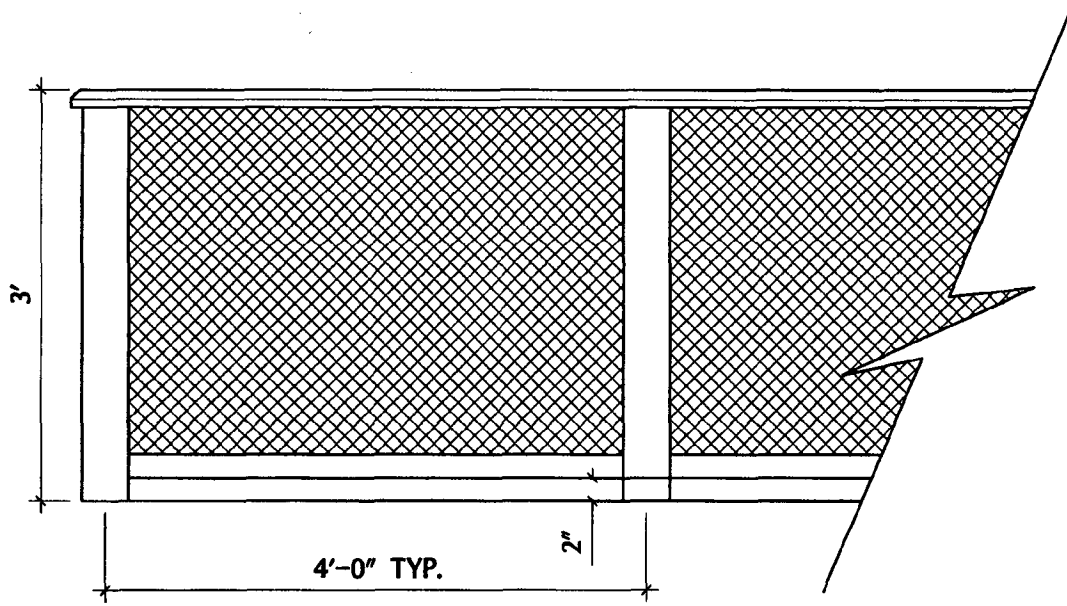
LandDesign
PROJECT# 02001110
SHEET: L-4

2" X 8" WOOD CAP

DIAGONAL WOOD LATTICE
PANEL

4" X 4" WOOD
POST

SECTION



ELEVATION

NOTES:

- 1. FINISH TO BE PAINTED WHITE

CONDENSER SCREEN

DATE: DECEMBER 19, 2001

SCALE: 3/4" = 1'-0"

OWNER:
TERRABROOK
CLARKSBURG, LLC
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

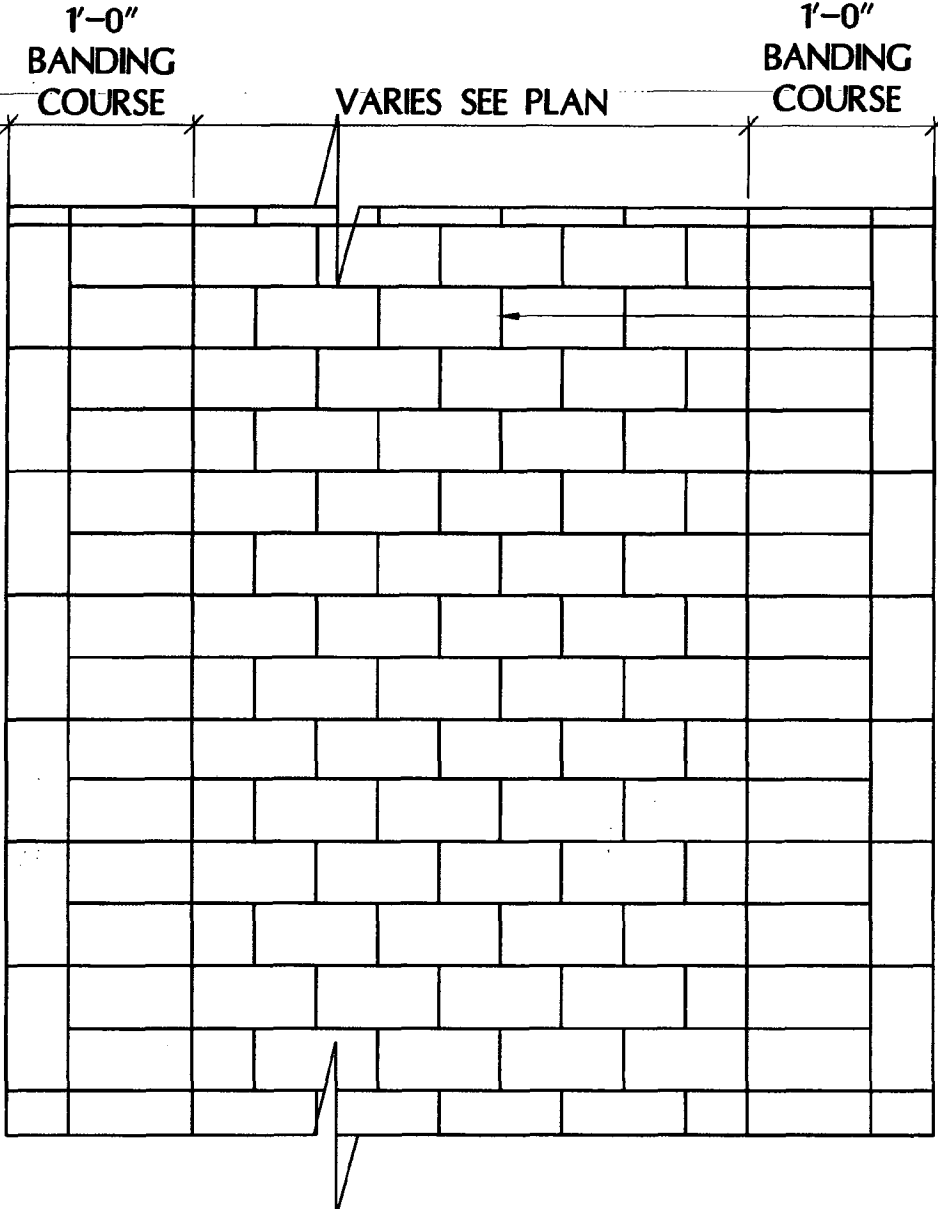
CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

ADG
ARCHITECTURAL DESIGN GROUP, INC.

LandDesign
PROJECT# 02001110
SHEET: L-5

36



SPECIAL PAVERS

SCALE: 1" = 1'-0"

DATE: DECEMBER 19, 2001

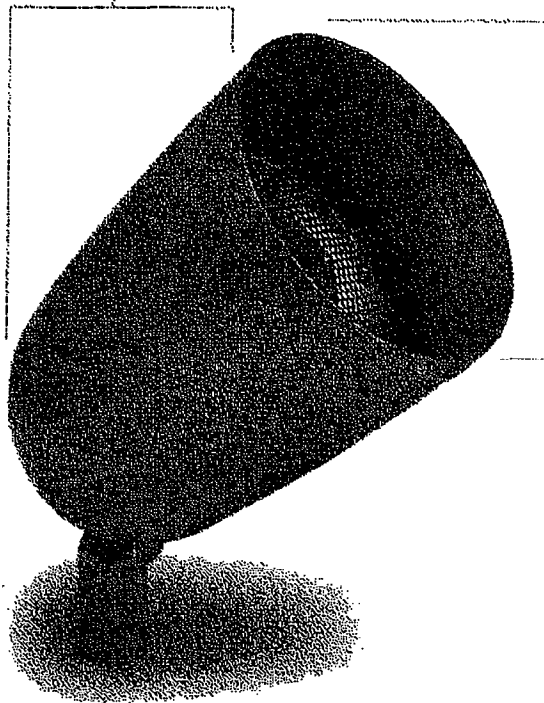
OWNER:
 TERRABROOK
 CLARKSBURG, LLC
 1 PIEDMONT ROAD
 CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
 CLARKSBURG, MD 20871

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LandDesign
 PROJECT# 02001110
 SHEET: L-6

8-3/4"
(222mm)



6"
(152mm)

1/2" (13mm) N.P.T. fitter

UPLIGHT TO BE:

HADCO B4-A/ALO
UPLIGHT WITH
LONG SHROUD AND
NARROW SPOT
120 VOLT

LAMP TO BE:

PHILIPS
MASTERCOLOR
METAL HALIDE 70
WATT PAR30L SPOT
LAMP WITH UV
FADEBLOCK.

SIGN UPLIGHT

DATE: DECEMBER 19, 2001

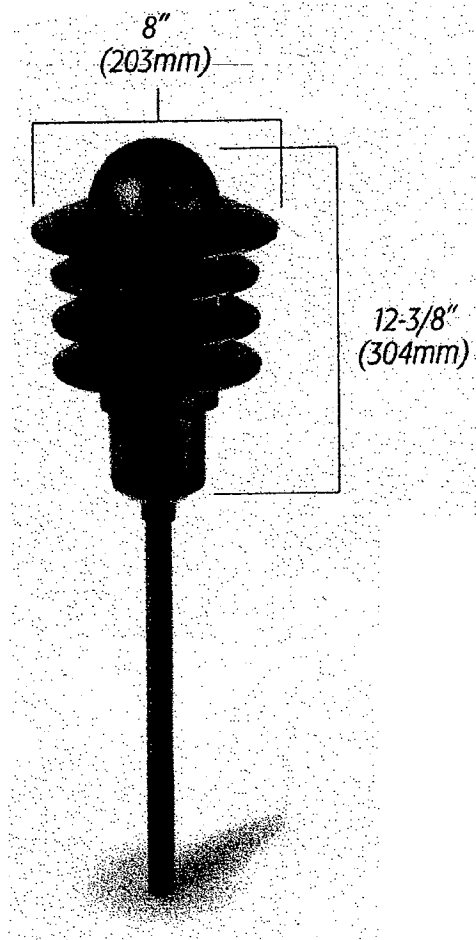
OWNER:
TERRABROOK
CLARKSBURG, LLC
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

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ARCHITECTURAL DESIGN GROUP, INC.
LandDesign
PROJECT# 02001110
SHEET: L-7

38



PATHWAY LIGHTING TO BE
HADCO CF4-A/ PS12A WITH 12" STEM.

FINISH TO BE BLACK

FOR AN AVERAGE OF 1 FOOT CANDLE
ALONG THE PATHWAY, LIGHT TO BE
LOCATED 10' O.C.

HORIZONTAL FOOTCANDLE FROM
CENTER OF FIXTURE WITH 12" STEM.

VOLT/LAMP	1'	2'	3'	4'	5'	6'	7'	8'
120V, 13W PL13	15	2.4	1.4	.7	.3	.07	.03	-

PATHWAY LIGHT

SCALE: N.T.S.

DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
CLARKSBURG, LLC
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

ADG
ARCHITECTURAL DESIGN GROUP, INC.
LandDesign
PROJECT# 02001110
SHEET: L-8



FRONT ELEVATION 'A'

DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
CLARKSBURG, LLC
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

ADG
ARCHITECTURAL DESIGN GROUP, INC.

 LandDesign

PROJECT# 02001110

SHEET: L-9

40



FRONT ELEVATION 'B'

DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
CLARKSBURG, LLC
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

ZDC
ARCHITECTURAL DESIGN GROUP, INC.

 LandDesign

PROJECT# 02001110

SHEET: L-10

41



VIEW FROM REDGRAVE PLACE

DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
CLARKSBURG, LLC
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

ADG
ARCHITECTURAL DESIGN GROUP, INC.

 LandDesign

PROJECT# 02001110

SHEET: L-11

42



VIEW FROM REAR OF BUILDING

DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
CLARKSBURG, LLC
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

ADG
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 LandDesign

PROJECT# 02001110

SHEET: L-12

(43)



PHOTOGRAPHY AREA


DATE: DECEMBER 19, 2001

OWNER:
TERRABROOK
CLARKSBURG, LLC
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

CLARKSBURG VISITORS CENTER

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

ADG
ARCHITECTURAL DESIGN GROUP, INC.

 LandDesign

PROJECT# 02001110

SHEET: L-13

44

Robin

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

301-563-3400

**WEDNESDAY
January 9, 2002**

MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
MRO AUDITORIUM
8787 GEORGIA AVENUE
SILVER SPRING, MARYLAND 20910

PLEASE NOTE: The HPC agenda is subject to change any time after printing or during the commission meeting. Please contact the Historic Preservation Commission at the number above to obtain current information. If your application is included on this agenda, you or your representative is expected to attend.

I. HPC WORKSESSION - 7:00 p.m.

II. HISTORIC AREA WORK PERMITS - 7:30 p.m. in MRO Auditorium.

R A. Terrabrooke Clarksburg, LLC (Mary Reader, Agent), for handicapped ramp, fence and other alterations at 23330 Frederick Road (The Gardner House) (HPC Case No. 13/10-02A) (Clarksburg Historic District).

P B Amy & Mike King, for rear addition, garage/breezeway construction, and outbuilding reconstruction at 15308 Morningmist Lane, Silver Spring (HPC Case No. 27/06-02A) (~~Master Plan Site #27/06, A. J. Cashell House~~)

BP Mark & Mary Del Bianco, for deck construction at 3929 Washington Street, Kensington (HPC Case No. 31/6-02A) (Kensington Historic District).

CR Sue Utterback, for fence replacement at 15 West Irving Street, Chevy Chase (HPC Case No. 35/13-02A) (Chevy Chase Village Historic District).

III. MINUTES

A. December 5, 2001

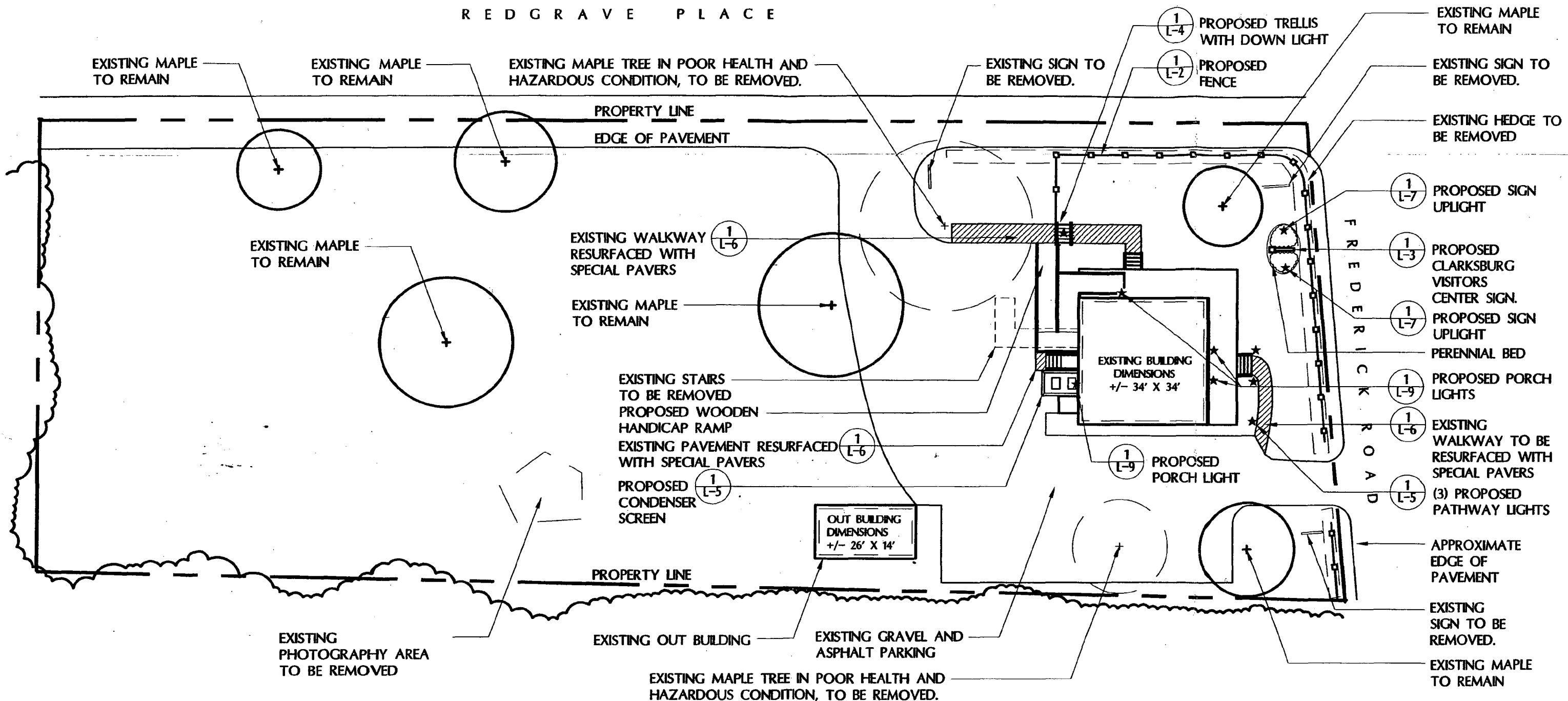
IV. OTHER BUSINESS

A. Commission Items

B. Staff Items

V. ADJOURNMENT

RED GRAVE PLACE



Architectural Design Group, Inc.
1600 PRINCE STREET, SUITE 114 ALEXANDRIA, VIRGINIA 22314 (703) 549-9556



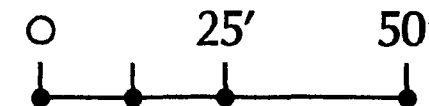
PROJ. #2001110 SHEET L-1 DEC. 19, 2001

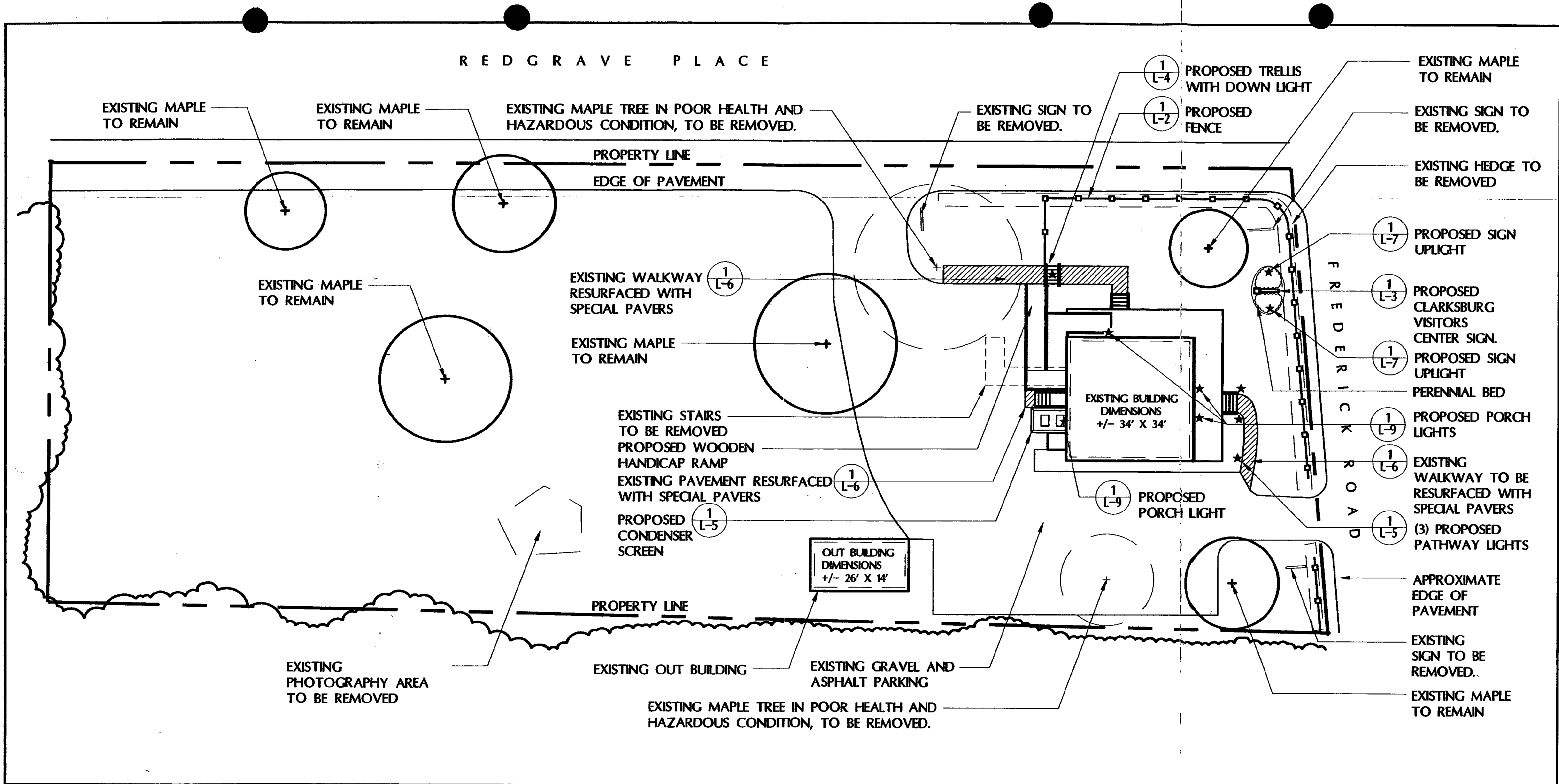
CLARKSBURG VISITORS CENTER SITE PLAN

23330 FREDERICK ROAD
CLARKSBURG, MD 20871

OWNER:
TERRABROOK CLARKSBURG, LLC
1 PIEDMONT ROAD
CLARKSBURG, MD 20871

SCALE:
1"=25'






Architectural Design Group, Inc.
 1600 PRINCE STREET, SUITE 114 ALEXANDRIA, VIRGINIA 22314 (703) 549-9556

 PROJ. #2001110 SHEET L-1 DEC. 19, 2001

CLARKSBURG VISITORS CENTER SITE PLAN

23330 FREDERICK ROAD
 CLARKSBURG, MD 20871

OWNER:
 TERRABROOK CLARKSBURG, LLC
 1 PIEDMONT ROAD
 CLARKSBURG, MD 20871

SCALE:
 1"=25'
