

13/14-04A 22900 Whelan Lane

MP Site 13/14 Moneysworth Farm



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: January 15, 2004

**MEMORANDUM**

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator *GW*  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

         Approved

  X   Approved with Conditions: \_\_\_\_\_

1. Any new "period-style" doors and windows must be approved by staff.
2. The applicant must be very judicious about replacing exterior wood siding - do not perform wholesale siding replacement and consult with staff as construction gets underway.
3. Efforts should be made to renovate the log meathouse and the chicken coop, rather than simply mothballing them.
4. The applicant shall work with HPC staff and invite them to attend preconstruction meetings and change order review meetings and other meetings as deemed appropriate by staff to assure that the objectives of the plan as presented are met.

and HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Montgomery County (Zavos Architecture + Design, Agent)

Address: Moneysworth Farm/22870 Whelan Lane, Clarksburg

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

NB

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: WILLIAM NOVAK  
Daytime Phone No.: (240) 777-6123

Tax Account No.: 02-00017352  
Name of Property Owner: MONTGOMERY CO. Daytime Phone No.: \_\_\_\_\_  
Address: EOB 101 MONROE ST. ROCKVILLE, MD 20850  
Street Number City State Zip Code  
Contractor: T. B. A. Phone No.: T. B. A.  
Contractor Registration No.: T. B. A.  
Agent for Owner: ZAVOS ARCHITECTURE + DESIGN Daytime Phone No.: (301) 698-0020

Dept. of Transportation  
Division of  
Cegework Management

### LOCATION OF BUILDING/PREMISE

House Number: T. B. A. Street: WHELAN LANE  
Town/City: CLARKSBURG Nearest Cross Street: CLARKSBURG RD. - RT 121  
Lot: — Block: — Subdivision: 1  
Liber: 4731 Folio: 487 Parcel: PART OF PARCEL 300

### PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 550,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] 12-24-03  
Signature of owner or authorized agent Date

Approved: X W/ CONDITIONS [Signature] Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature \_\_\_\_\_ Date: 1/15/04  
Application/Permit No.: 328428 Date Filed: 12/24/03 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

STRUCTURE IS AN 18<sup>TH</sup> CENTURY FARMHOUSE DESIGNATED AS A  
MONTGOMERY CO. HISTORIC SITE. STRUCTURE IS IN A PASTORIAL  
SETTING A ONCE WAS A WORKING FARM. THE FARMHOUSE  
CONSISTS OF TWO SECTIONS. THE ORIGINAL SECTION  
WAS BUILT BEFORE 1783 AND CONSISTS OF A TWO STORY  
LOG CONSTRUCTION REPRESENTING THE TIDEWATER  
COTTAGE STYLE OF THAT ERA. THE 2<sup>ND</sup> SECTION IS  
A 2 1/2 STORY BUILT AROUND 1859 AND IS OF THE GREEK  
RIVALRY STYLE.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

STRUCTURE TO BE RESTORED, PRESERVED AND  
ADAPTED FOR REUSE BY THE KINGSLEY  
WILDERNESS PROJECT. THE ENVIRONMENT IS TO BE  
PRESERVED WITH MINIMAL DISTURBANCE TO THE SITE.  
PROJECT TO BE KEPT AS AN ORIGINAL EXAMPLE OF THE  
HISTORIC SETTING.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

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General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

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- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

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**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: January 15, 2004

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator   
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application – Approval

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Your Historic Area Work Permit application was approved by the Historic Preservation Commission at its recent meeting. Enclosed is a transmittal memorandum stating conditions (if any) of approval.

Prior to applying for a county building permit from the Department of Permitting Services, you must schedule a meeting with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address: 22870 Whelan Lane, Clarksburg Meeting Date: 1/14/04  
Applicant: Montgomery County Report Date: 1/08/04  
(Zavos Architecture + Design, Agent)  
Resource: Moneysworth Farm Public Notice: 12/31/04  
(*Master Plan* Site #13/14)  
Review: **HAWP** Tax Credit: N/A  
Case Number: #13/14-04A Staff: Gwen Wright

**PROPOSAL:** Renovate Moneysworth Farmhouse

**RECOMMEND:** Approval with conditions

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**RECOMMENDATION**

Staff recommends approval with the following conditions:

1. Any new “period-style” doors and windows must be approved by staff.
2. The applicant must be very judicious about replacing exterior wood siding – do not perform wholesale siding replacement and consult with staff as construction gets underway.
3. Efforts should be made to renovate the log meathouse, rather than simply mothballing it.

**RESOURCE DESCRIPTION**

SIGNIFICANCE: Individual *Master Plan* Site  
STYLE: Tidewater Cottage with Greek Revival Addition  
DATE: 1783 and 1850

This is a very significant historic property. Important components of the historic farmstead are: a main house – which is a 1 ½ story Tidewater log cottage with a major 2 story wood-frame Greek Revival 3-bay front addition – and numerous outbuildings. The outbuildings with historic value are a log meathouse, a late 19<sup>th</sup> century chicken shed, a corn crib/machinery shed, an early 20<sup>th</sup> century storage shed, a 20<sup>th</sup> century dairy barn, and the stone foundation walls of a 19<sup>th</sup> century timber framed barn.

## **BACKGROUND**

Moneysworth Farm is on the site of the recently-constructed Seneca Correctional Facility. The historic farmstead and outbuildings are being used by the Kingsley Wilderness School as a campus for this alternative public school.

The HPC previously reviewed a number of different HAWPs for Moneysworth Farm including: 1.) approval of the installation of several modular classroom structures (set quite a distance from the historic house, behind the dairy barn and stone barn foundations walls – see attached site plan); 2.) installation of new driveway/parking/walkways for the classrooms; 3.) stabilization and renovation of the corn crib/machinery shed, the early 20<sup>th</sup> century storage shed, and the stone barn foundation walls; and 4.) appropriate buffering to mitigate the views of the new correctional facility.

Now, the County is coming forward with the final phase of this project: restoration of the Moneysworth farmhouse itself for reuse by the Kingsley Wilderness School, including parking and walkways. The current project will not include restoration of the log meathouse and the 19<sup>th</sup> century chicken shed – these buildings will be mothballed. Two non-historic outbuildings associated with the house – a 20<sup>th</sup> century garage and a 20<sup>th</sup> century shed – will be demolished.

## **PROPOSAL**

As noted above, the current HAWP proposal focuses on the restoration of the Moneysworth farmhouse and changes to the immediate area around the house to install parking and walkways.

Specific exterior work to be undertaken includes:

1. Repair/reconstruct front entry portico on Greek Revival section, re-using existing columns and trim that are salvageable
2. Repair/replace as needed/repaint exterior siding on Greek Revival section
3. Restore all existing windows on Greek Revival section
4. Restore front door and transom on Greek Revival section
5. Remove bathroom addition from the south porch of the Tidewater section
6. Restore the south porch of the Tidewater section
7. Remove “mud room” addition from the north side of the Tidewater section
8. Build a new porch and railing (with no roof) on the north side of the Tidewater section, which will include a ramp for accessibility
9. Repair/restore dormers on the Tidewaters section
10. Restore all existing windows on the Tidewater section
11. Install a new basement bulkhead door on the west side of the Tidewater section
12. Install a new cedar shingle roof on both the Greek Revival and Tidewater sections
13. Provide accessible entrances to both sections of the building
14. Repoint foundation walls as needed
15. Install new galvanized, half-round gutters and downspouts
16. Add five new parking spaces (one handicapped – new bituminous pavement)
17. Install new accessible path from parking area to house
18. Demolish a non-historic shed and garage
19. Mothball the log meathouse and chicken shed near the historic house

20. Regrade and create a swale around the house to divert runoff
21. Provide landscaping

### **STAFF DISCUSSION**

The restoration of the Moneysworth farmhouse has been needed for a long time and it is gratifying to see this project finally moving forward. In addition, it is extremely positive that this significant historic building is being put to an excellent public use – as space for the Kingsley Wilderness School.

Overall, the renovation plan is sensitive to the historic character of the building. The historic portions of the building are being maintained and restored, non-historic elements are being removed, and new additions (like the uncovered porch on the north side) are being designed in a simple, unobtrusive style.

However, like many renovation projects, the devil is in the details. Staff would encourage the applicants to work closely with staff as construction gets underway to assure that issues that come up during renovation are handled appropriately. For example, the packet and plans mention the need for replacement of damaged exterior wood siding. This should not be viewed by the applicant as an approval to remove all the wood siding and replace it with new matching materials. Retention of actual, existing historic fabric should be a goal of this renovation project. If unforeseen circumstances arise during construction and there is more deterioration than expected, the applicant should immediately confer with staff.

In addition, details – such as the design of new exterior doors to be installed in the Tidewater section of the building and any new windows (for example, the new fixed window noted on the west wall of the Greek Revival section) – that have not been fully fleshed out in this application need to be coordinated with staff during construction.

In terms of site changes, there is quite a bit of new paving – needed to provide handicapped accessibility – however, the walkways are curvilinear and informal and the parking is minimal. Staff had asked the applicant to move the parking as far to the north as possible, given the grading needed to provide accessibility, so that it would not be directly in front of the historic house. The submitted plans do reflect this effort. The plans do not require the removal of any live trees and do include additional landscaping.

The garage and shed proposed for demolition are not historic structures and staff agrees that they can be removed. Staff is somewhat concerned about the plan to mothball the log meathouse and the chicken coop. Understanding that there are budget constraints and that the first priority of this project is to renovate the house and make it usable, staff would still encourage the applicant to explore ways to restore at least the log meathouse. It has been falling into increasingly deteriorated condition such that mothballing this structure will be not without cost. It is a very small building and staff feels that funds needed to mothball the building would be better spent in beginning its renovation.



## STAFF RECOMMENDATION

Staff recommends the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with many of the *Secretary of the Interior's Standards for Rehabilitation* including #1, #2, #5, #6, #9 and #10.

Staff recommends the following conditions:

1. Any new "period-style" doors and windows must be approved by staff.
2. The applicant must be very judicious about replacing exterior wood siding – do not perform wholesale siding replacement and consult with staff as construction gets underway.
3. Efforts should be made to renovate the log meathouse, rather than simply mothballing it.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at [www.permits.emontgomery.org](http://www.permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

113

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: WILLIAM NOVAK

Daytime Phone No.: (240) 777-6123

Tax Account No.: 02-00017352

Name of Property Owner: MONTGOMERY CO. Daytime Phone No.: \_\_\_\_\_

Address: EOB 101 MONROE ST. ROCKVILLE, MD 20850  
Street Number City Street Zip Code

Contractor: T. B. A. Phone No.: T. B. A.

Contractor Registration No.: T. B. A.

Agent for Owner: ZANOS ARCHITECTURE + DESIGN Daytime Phone No.: (301) 698-0020

**LOCATION OF BUILDING/PREMISE**

House Number: T. B. A. Street: WHELAN LANE

Town/City: CLARKSBURG Nearest Cross Street: CLARKSBURG RD. - RT 121

Lot: — Block: — Subdivision: 1

Liber: 4731 Folio: 487 Parcel: PART OF PARCEL 300

**PART ONE: TYPE OF PERMIT ACTION AND USE**

**1A. CHECK ALL APPLICABLE:**

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

**CHECK ALL APPLICABLE:**

- A/C
- Stab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 550,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITDINS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

12-24-03  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 328428 Date Filed: 12/24/03 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

STRUCTURE IS AN 18<sup>TH</sup> CENTURY FARMHOUSE DESIGNATED AS A MONTGOMERY CO. HISTORIC SITE. STRUCTURE IS IN A PASTORIAL SETTING A ONCE WAS A WORKING FARM. THE FARMHOUSE CONSISTS OF TWO SECTIONS. THE ORIGINAL SECTION WAS BUILT BEFORE 1783 AND CONSISTS OF A TWO STORY LOG CONSTRUCTION REPRESENTING THE TIDEWATER COTTAGE STYLE OF THAT ERA. THE 2<sup>ND</sup> SECTION IS A 2 1/2 STORY BUILT AROUND 1859 AND IS OF THE GREEK REVIVAL STYLE.

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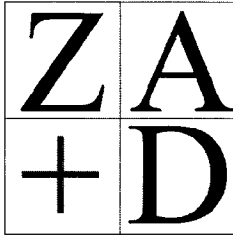
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**Zavos  
Architecture  
+  
Design**

**LETTER OF TRANSMITTAL**

**TO: Dept. Of Permitting Services  
Attention: Plan Review Board**

**FROM: Richard Cooper**

**DATE: December 24, 2003**

**RE: Moneysworth Farmhouse**

**WE TRANSMIT:**  Attached under separate cover via UPS the following items:

Shop Drawings       Prints       Plans       Samples       Specifications  
 Copy of Letter       Change Order     

| COPIES | DATE     | NO. | DESCRIPTION                  |
|--------|----------|-----|------------------------------|
| 2      | 12-24-03 |     | 11x17 Copy of HAWP Submittal |
| 2      | 12-24-03 |     | full size C-2 (civil)        |
| 2      | 12-24-03 |     | 8 1/2x14 Exhibit "B"         |
| 2      | 12-24-03 |     | Narrative                    |
| 2      | 12-24-03 |     | Project material data sheets |

**TRANSMITTED FOR:**

Approval       Review & Comment       Use       As Requested  
 Modifications / Corrections       **Review**

**REMARKS:** This copy is for your review and comment. Please contact me if you have any questions or further information you will need for your review. We are scheduled for The Mandatory Referral Meeting, on the 29<sup>th</sup> of Jan., 2004, at the Maryland National Park & Planning office.

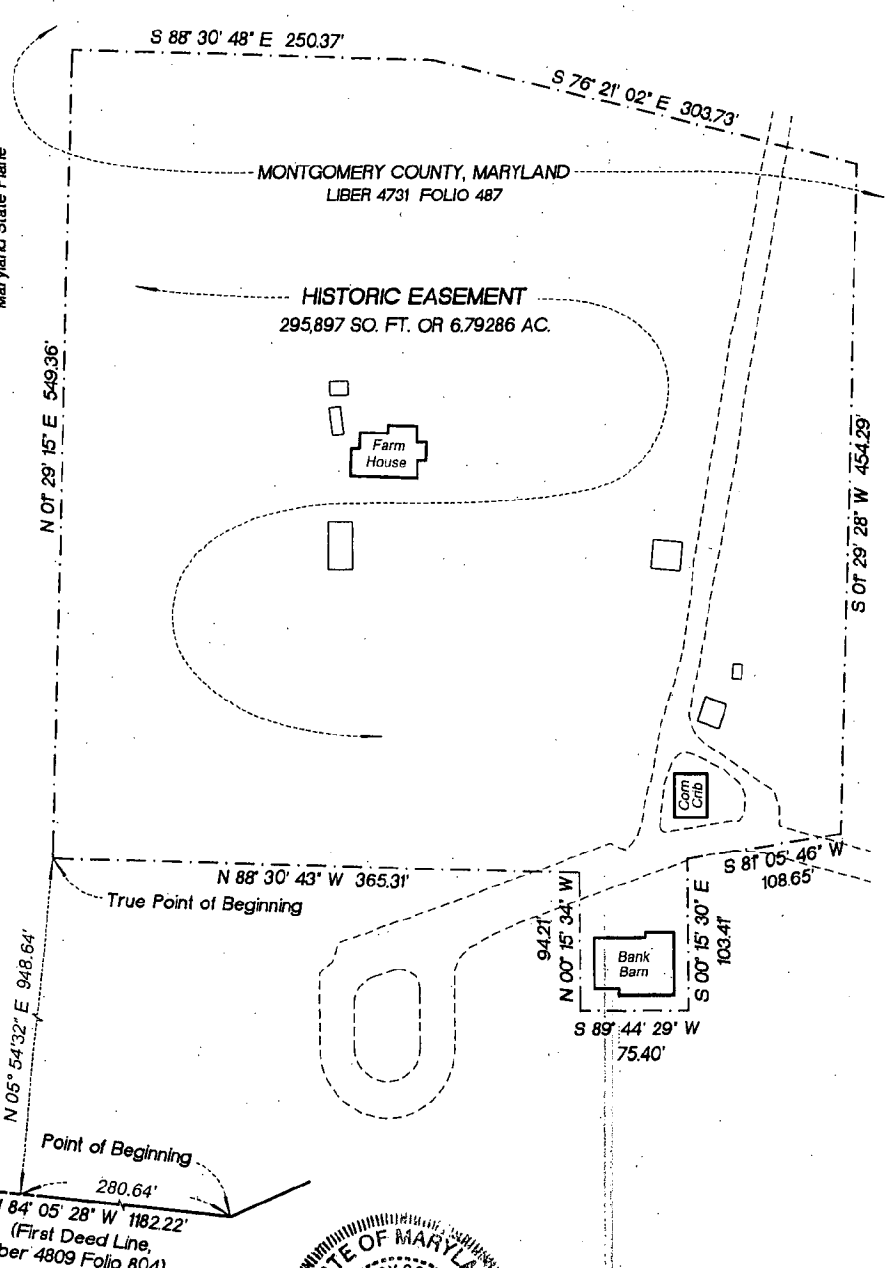
Thanks for your attention into this matter,

Richard Cooper, Zavos Architecture + Design

141 West Patrick Street, Ste. 27 (Temp. Location)  
323 West Patrick Street (Future Permanent Location)  
Frederick, MD 21701  
Telephone: (301) 698-0020  
Facsimile: (301) 698-0920  
[www.zavosarchitecture.com](http://www.zavosarchitecture.com)

**SURVEY NOTE:**  
 Survey performed without  
 benefit of title report.

**AMT**  
**A. Morton Thomas and Associates, Inc.**  
 Consulting Engineers  
 12750 Twinbrook Parkway, Rockville, MD 20852  
 Ph: 301-881-2545 Fax: 301-881-0814



AREA OF  
 MHT  
 EASEMENT



*[Signature]*  
 Daniel R. Schriever  
 Professional Land Surveyor  
 Maryland Reg. No. 11015

8-8-03

**EXHIBIT 'B'**  
 SKETCH OF  
 HISTORIC EASEMENT  
 ACROSS  
**THE LANDS OF  
 MONTGOMERY COUNTY,  
 MARYLAND**  
 LIBER 4731 FOLIO 487  
 CLARKSBURG (2ND) ELECTION DISTRICT  
 MONTGOMERY COUNTY, MARYLAND  
 AUGUST, 2003 SCALE: 1"=100'  
 AMT NO. 102-202-001S

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 AND CONENT.

COPYRIGHT 19

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 KING:  
 WILD:

SHEET TITLE

Site Plan  
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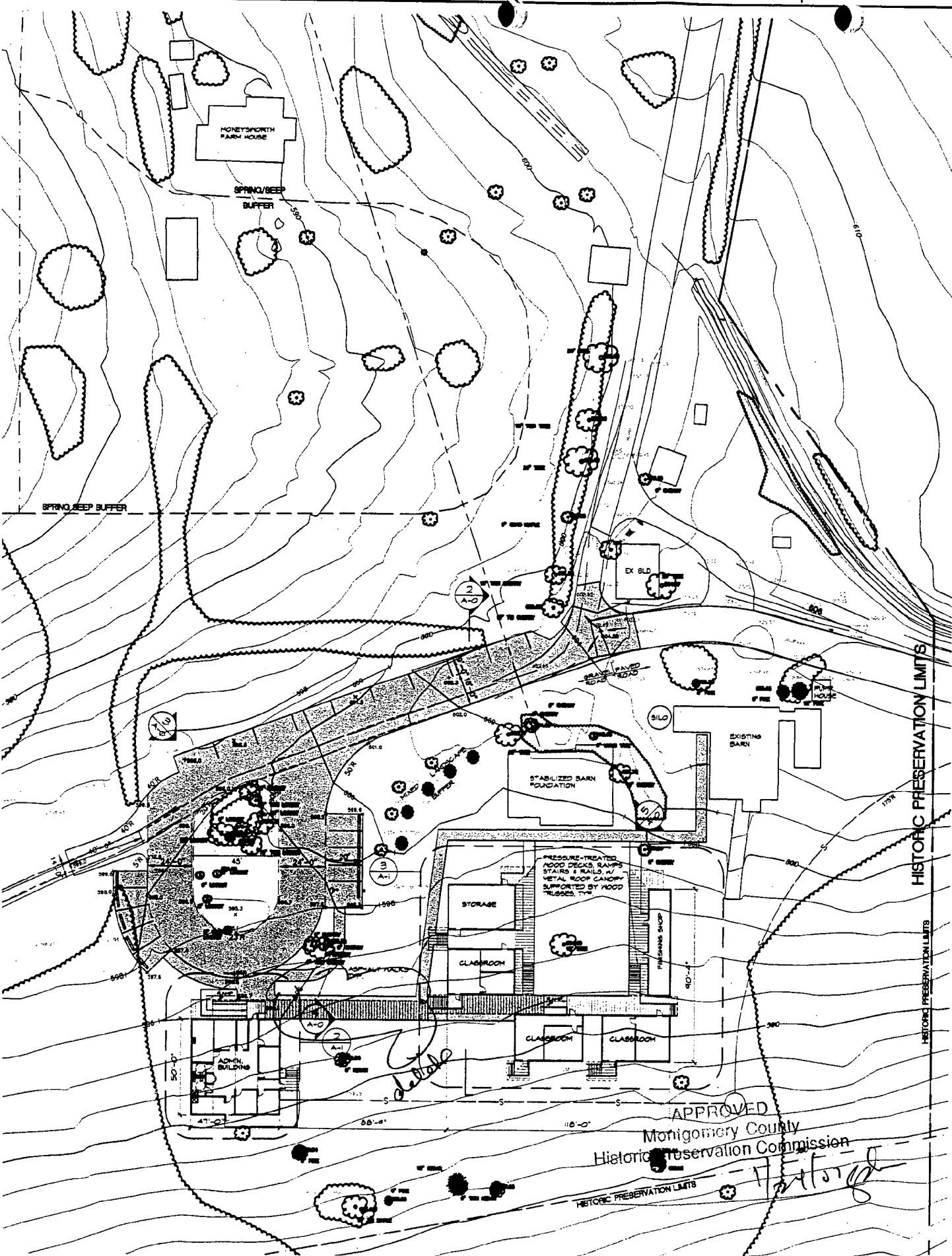
DRAWN

CHECKED

JOB NO. 20

ISSUED

WIEN  
 ARC



Architectural Site Plan  
 SCALE: 1" = 30'-0"

HPC - APPROVED CLASSROOM AREA

APPROVED  
 Montgomery County  
 Historic Preservation Commission



*Moneysworth Farmhouse*

Description Narrative for:

**Moneysworth Farmhouse**

December 24, 2003

(15)



*Moneyworth Farmhouse*

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# Moneyworth Farmhouse

## General History

The Moneyworth Farm is an 18<sup>th</sup> century farm designated as a Montgomery County Historic site. Part of the house is believed to be constructed before 1783. This house is the sole remaining example of this type of house - a Log Tidewater Cottage - in the Montgomery/Prince George's County region.

The house is broken up into two sections. The original house that was built before 1783 is a fairly rare style of building in this region. This part of the house is unique because it was built using rough-hewn logs indigenous to the Midland region. This part of the house is 2 stories. The second part of the house which is the front half of the house that includes the primary entrance was built around 1859. The style of construction is Vernacular Greek Revival. This newer part of the house is 2-1/2 stories.

Since the house is in a restorable condition it is believed that the house should be saved and restored to a condition that can be used for educational purposes. The additions to the house that are more current, within the last 100 years, are to be removed so to return the house to the pre 1870 condition. These parts include the bathroom addition and the south porch enclosure. As stated in the Preliminary Historic Preservation Survey and Needs Analysis from January 31, 1997, "Water is the greatest enemy of old buildings. In this case it is attacking from all sides and must be dealt with promptly to avoid an exponential increase in the cost of future restoration efforts." This referenced survey was completed in 1997. The proper effort was not taken to ensure that water would not come into contact with wood members of the house and it appears that some parts of the house need more attention than others. This will be an important point to keep in mind when reading through the observations that are included with the following part of this survey.

(12)



*Moneyworth Farmhouse*

## Structural Report

### Outside of house:

#### Observations:

1. The primary entrance where the east porch is connected to the house is in very bad condition. The floor and foundation of the porch is in need of repair. The columns that support the roof of the porch are not all standing. See first floor plan.
2. The right side of the house facing the corrections facility appears to have a termite infestation and also decay. The siding on the north side of the house adjacent to the corrections facility has major problems. The stud wall appears to have significant amount of decayed members. This means there is a need for further investigation after the wood siding is removed.
3. The addition of the bathroom on the back of the building is evident from the different types of siding used on the main house and the bathroom. The wood siding differs from the asbestos siding. Another indication is that the foundation is concrete masonry units compared to the original house that has a fieldstone and mortar foundation. This part of the house is being removed so there will be no recommendations on what to do with this part of the building.
4. There is bee hive in the wall of the south parlor. These bees must be removed because of the damage that they may have done to the structure and will continue to do. Further investigation will be required in this area.





# Moneyworth Farmhouse

## Inside of the house:

### Observations:

1. The first room that was inspected was the north parlor. See first floor plan. The floor is not stable. The floor system below the planking has been compromised in some way and there needs to be further investigation.
2. The floor and roof of the south porch is also in very bad condition. The roof cannot be salvaged. See first floor plan
3. The kitchen has major structural issues. This appears to be the area of the house with the largest problem including decay of the wood members and also termite infestation. The ceiling is falling and the roof system is damaged. See first floor plan.
4. The living quarters which is the main room of the original house does need further inspection to ensure that the whole floor is safe. There is three layers of material on the floor. The first appears to be a tar paper type material, the second looks like linoleum flooring and the third appears to be some straw matting. These layers of material are not good for the floor because the layers are keeping moisture from escaping the wood and in time this will cause the wood to decay. See first floor plan.
5. The second story over the living room in the center of the house is in satisfactory condition. The floor is not completely stable but the walls and ceiling are intact. The stairs up to the second floor need to be reinforced to minimize the amount of deflection when using them. See second floor plan.
6. The second story of the house that is accessible near the front door appears to be structurally sound. The stairway appears to be in good condition. Some of the floors of the second story rooms need to be checked because of the deflection that occurs by just walking on the floor planks. The walls and ceilings for this part of the house are intact. See second floor plan.
7. The attic of the house is in good condition. All of the wood members for the roof are in good condition. There is no moisture damage or any indications that termites have damaged this part of the house.

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# Moneyworth Farmhouse

8. The last part of the house that we inspected was the root cellar. We were able to inspect the floor joists under the living room. The floor system seems to be stable. The floor joists are 8" round logs placed 24" o.c. and the floor is a 15' span. The other parts of the house also have crawl spaces but we were unable to access the crawl spaces to inspect the other parts of the house.

## **Outside of house:**

### Recommendation:

1. The east porch, which is the primary entrance, needs to be replaced. The foundation needs to be repoured and the whole floor needs to be replaced. The columns need to be placed to match that of the original house. See first floor plan.
2. The siding at the right side (north) of the house which is decaying needs to be removed and there needs to be more inspection of the condition of the stud walls. Some replacement of the stud walls will most likely be required.

## **Inside of the house:**

### Recommendation:

1. The north parlor first floor needs to be inspected further because the floor is very unstable and structurally unsafe. The floor planking in this entire room must be removed to check the structural integrity of the floor joists. See first floor plan.
2. Additional exploratory holes will be required in each first floor room to insure the structural integrity of the floor system. We recommend that 4'-0" x 4'-0" openings be cut in the floor to perform this investigation. It is imperative that this is done in order to insure the structural integrity of all the support members. Great care is to be taken in removing the plank so that it can be properly reinstalled into its original position.
3. The whole roof and floor system in the south porch area (area facing the chicken coop) needs to be replaced. Major damage was observed throughout this area. See first floor plan.
4. The kitchen ceiling has major deterioration. Besides rotting there is a good chance that there is termite damage in this area. The ceiling is falling down and the roof system needs to be inspected in more detail.

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# Moneyworth Farmhouse

The ceiling should be taken down in order to inspect the roof system more thoroughly. Since the ceiling was falling down we were unable to walk completely around the room to test the floor stability. This should be done at a later time to check the amount of deflection or instability there is in this room. See first floor plan.

5. The living room has problems with the floor and walls. The plaster walls are falling down in some areas and might need to be replaced. When these walls are being fixed the wall studs should be inspected in order to determine the condition. The floor needs attention in that the coverings mentioned in the observations needs to be removed as soon as possible to allow the wood planking to dry. See first floor plan.
6. The sleeping loft and bedroom directly over the living room needs to be improved. The floor appears to be unstable and therefore we recommend that several exploratory holes be made to verify the condition of the floor members. The walls and ceilings appear to be in good condition in this room. See second floor plan.
7. The crawl spaces below the house are vital to inspect the floor systems. Especially if the floor planking is not to be removed. The only way to check the 1<sup>st</sup> floor, floor system is to remove the planking or to obtain access to the crawl spaces below the house. This is very important since the floor systems appears to be very unstable in many areas of the house.
8. Throughout the house the floors are unstable to walk on. If it is found by further inspection that the floor joists throughout the house are in good condition then the floor planking can be reinforced by:
  1. Removing the floor planks without damaging them.
  2. Placing plywood sheathing on the floor joists.
  3. Putting the original floor planks over the plywood sheathing.
9. The wall system at the north end of the building will most likely have to be replaced in some areas. Further investigation will be need in order to make this determination.

It should be noted that there may be items which were not visible or may not have been apparent at the time of our site visit but may become apparent at a later date. This report is our professional opinion regarding the above-



*Moneyworth Farmhouse*

mentioned structure only at the time of our visit to the job site and is in no way a guarantee of the structural longevity of the building.

The evaluation of an existing building requires that certain assumptions be made regarding existing conditions, many of which are not able to be reviewed by reasonable visual observation. These assumptions cannot be verified without additional cost or demolition. The Client understands that actual field conditions may subsequently be found to vary from design assumptions that in turn may alter or increase the scope of the design and/or construction.

We did not perform any testing for asbestos, radon, termite damage or for any other environmental pollutants or hazardous material. If there are any questions concerning this report, or if we can be of further service please do not hesitate to contact our office.





## Scope of Work for Moneysworth Farm

### **Greek Revival Addition**

#### Exterior

- Reconstruct front entry portico from exterior trim and siding-replace deteriorated wood and repaint
- Restore existing windows
- Remove existing galvanized tin roofing and Cyprus shingles below. Provide new cedar singles
- Provide accessible entrance
- Restore lightning protection system
- Repoint foundation walls

#### Interior

- Remove existing wallpaper and strip all lead paint from interior surfaces. Repair plaster and wood finishes. Paint.
- Refinish existing wood floors
- Provide accessibility throughout first floor
- Provide remedial structural work to achieve required floor loading

### **Tidewater Log House**

#### Exterior

- Abate lead paint – refinish
- Remove bathroom addition from south porch
- Remove enclosures and windows from south porch and provide new post supports-restore
- Remove existing galvanized tin roof and replace with cedar shingles
- Restore dormers
- Restore existing windows
- Provide accessible entrance
- Repoint foundation walls



Moneyworth Farmhouse

Interior

- Remove paint and all interior finishes.
- Raise floor in kitchen area and north addition.- remove ceiling and rafters
- Add new kitchen and toilet room in north addition
- Excavate existing root cellar and pour new concrete slab
- Provide accessibility to rooms on first floor
- Provide remedial structural work to achieve required floor loading

Site

- Add parking and provide handicap accessible parking
- Provide an accessible path from HC parking to house by sidewalk and ramps
- Regrade and create swale around house to divert runoff
- Provide landscaping

HVAC/Mechanical/Electrical

- Provide new heating and cooling system
- Provide all new electrical system
- Underground existing overhead electrical service
- Provide new water and sewer system to tie into existing on-site lines
- Provide fire alarm and security systems







# Moneysworth Farmhouse

## Program of Requirements

### Restoration and Adaptive Reuse of Moneysworth Farm

#### Overview

The existing house is currently an unoccupied farmhouse originally built as an 18<sup>th</sup> century Tidewater log house. It was later added on to with a kitchen extension in a Tidewater/Midland style, an 'I' house addition in vernacular Greek Revival style, and small porch and bathroom additions between the 19<sup>th</sup> and the 20<sup>th</sup> century.

The farmhouse will be adaptively reused as a educational/office facility for the Kingsley Wilderness School, an alternative education program within Montgomery County Public Schools for students involving a multifaceted program of academic classroom course, trades education in workshops, work, and outdoor lifetime sports and wilderness exposure.

#### Project Description

The project provides for an adaptive reuse of the Moneysworth Farm as described in the Memorandum of Agreement (MOA) among the Maryland Historic Trust (MHT) and the Maryland Department of General Services (DGS) dated the 30<sup>th</sup> of October 2001, by and between the Department of General Services, the Maryland Historic Trust, and concurred by Montgomery County (the County).

The existing Moneysworth Farmhouse facility contains approximately 1,125 square feet of usable space. An additional uninhabitable space of 638 square feet is available in attic locations.





**Program of Requirements**

|                                  |  |
|----------------------------------|--|
| Space                            | <b>English/Social Studies Classroom</b>                      |
| Function                         | Academic   |
| Area                             | Approximately 600 sf.  |
| Staff                            | One  |
| Visitor capacity                 | 6 to 8 students  |
| Adjacency                        | Away from Administration and Assembly areas                  |
| Furniture, Fixture and Equipment | Tables, chairs, desk, chalkboard                             |
| Special Considerations           | Computer cabling, small partitioned area fro reading library |
| Space                            | <b>Counseling</b>  |
| Function                         | Time out and Parent Counseling                               |
| Area                             | Approximately 200 sf.  |
| Staff                            | Two  |
| Visitor capacity                 | 3  |
| Adjacency                        | Coordinators office  |
| Furniture, Fixture and Equipment | Desk, files, chairs, shelving, computer                      |
| Special Considerations           | none   |
| Space                            | <b>Unisex toilet</b>   |
| Function                         | Toilet   |
| Area                             | 42 sf.   |
| Staff                            | None   |
| Visitor capacity                 | one  |
| Adjacency                        | classrooms   |
| Furniture, Fixture               | Typical toilet fixtures                                      |



*Moneyworth Farmhouse*

and Equipment  
Special Considerations      Handicapped Accessible

|                                     |                       |
|-------------------------------------|-----------------------|
| Space                               | <b>Storage Areas</b>  |
| Function                            | General Storage       |
| Area                                | Approximately 638 sf. |
| Staff                               | None                  |
| Visitor capacity                    | None                  |
| Adjacency                           | None                  |
| Furniture, Fixture<br>and Equipment | Shelving              |
| Special Considerations              | Lockable              |

|                                     |  |
|-------------------------------------|--|
| Space                               | <b>Kitchen Area</b>                        |
| Function                            | Food preparation and Serving               |
| Area                                | Approximately 103 sf.                      |
| Staff                               | None                                       |
| Visitor capacity                    | None                                       |
| Adjacency                           | None                                       |
| Furniture, Fixture<br>and Equipment | Cabinets, sink, microwave and refrigerator |
| Special Considerations              | Cleanable surfaces, lockable               |

**Stipulations of the Memorandum of Agreement**

Meat house and chicken coop are not slated for rehabilitation but shall be mothballed in accordance with the National Park Service’s Preservation Brief Number 31, Mothballing Historic Buildings. Corncrib, the Barn ruins and Equipment shed are covered under a separate contract.



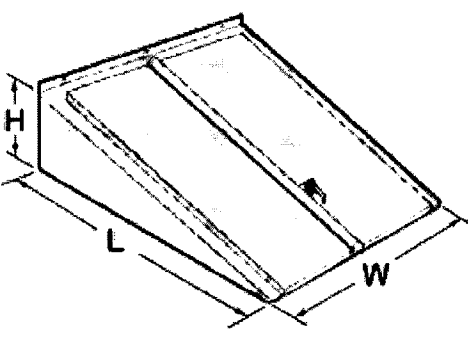
# Moneysworth Farmhouse

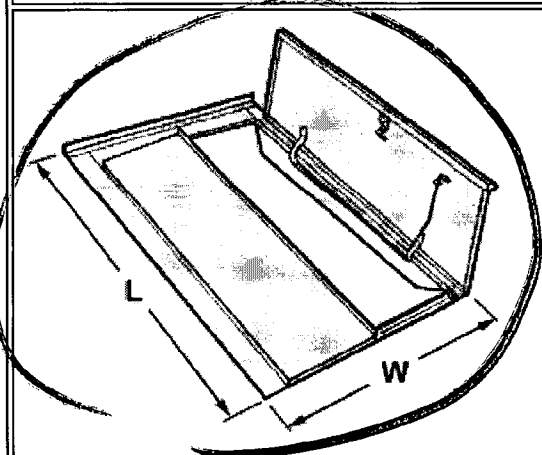
A mobile exhibit that documents the history of the Moneysworth Farm shall be prepared. The exhibit will draw on the documentation contained within the Maryland Historic Trust Inventory Form (M:36:14), the photographic documentation and architectural plans prepared pursuant to the MOA.

A landscape plan is to be developed to provide a buffer area and additional vegetative screening between the Moneysworth Farm and the Montgomery County Correctional Facility

Any new construction within the boundary of the historic Moneysworth Farm property and its environmental setting shall be compatible with the Moneysworth Farm in terms of scale, massing, color and materials and consistent with the recommended approaches to rehabilitation and new construction as set forth in the Secretary of the Interior's *Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings*.

### Bilco Basement Door Standard Sizes and Dimensions

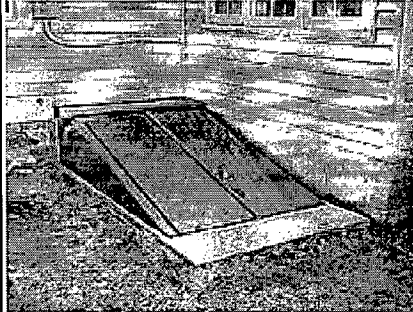
| Steel Slided Doors  |      |       |         |         |
|---|------|-------|---------|---------|
|    | SIZE | WIDTH | LENGTH  | HEIGHT  |
|   | B    | 51"   | 64"     | 22"     |
|   | C    | 55"   | 72"     | 19-1/2" |
|   | O    | 47"   | 58"     | 30"     |
|   | SL   | 51"   | 43-1/4" | 52"     |
| Extensions are available to increase the door length for Size C only. Extensions can be supplied in 6", 12", 18" and 24" lengths. |      |       |         |         |

| Sloped Wall Doors  |         |         |                   |
|--|---------|---------|-------------------|
|  | SIZE    | WIDTH   | LENGTH            |
|  | SLW3641 | 45-1/4" | 65-1/4" - 67-3/4" |
|  | SLW4651 | 55-1/4" | 65-1/4" - 67-3/4" |
|  | SLW4751 | 55-1/4" | 74-1/2" - 77"     |
|  | SLW5055 | 59-1/4" | 67-3/4" - 70-1/4" |
|  | SLW5459 | 63-1/4" | 74-1/2" - 77"     |
| Note: The SLW Door length is adjustable for installation flexibility               |         |         |                   |

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Old House Improvements:

## Replacing An Old Basement Entry With A New Bilco Door

### In This Article:

An old wooden basement access door is demolished, some new concrete is poured to form a smooth level rim, and a new Bilco steel door is installed.

### Related Info:

- Index of [Door Articles](#)
- Bilco's [Web Site](#).

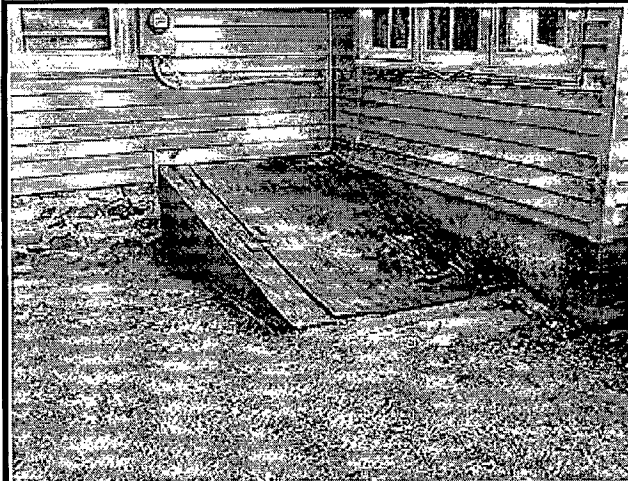
**Skill Level:** 3-4 (Moderate to Difficult)

**Time Taken:** About 16 Hours.

By [Bruce W. Maki](#), Editor

### Introduction:

Recently some friends who own an old house asked me to replace an old decrepit basement door with a new Bilco steel door.



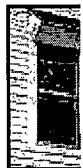
The existing basement door was home-made, and poorly made too.

There were many problems with this door, such as leaks, and general insecurity.

BUILD  
WORK



FOR



VIS

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PLAN

25

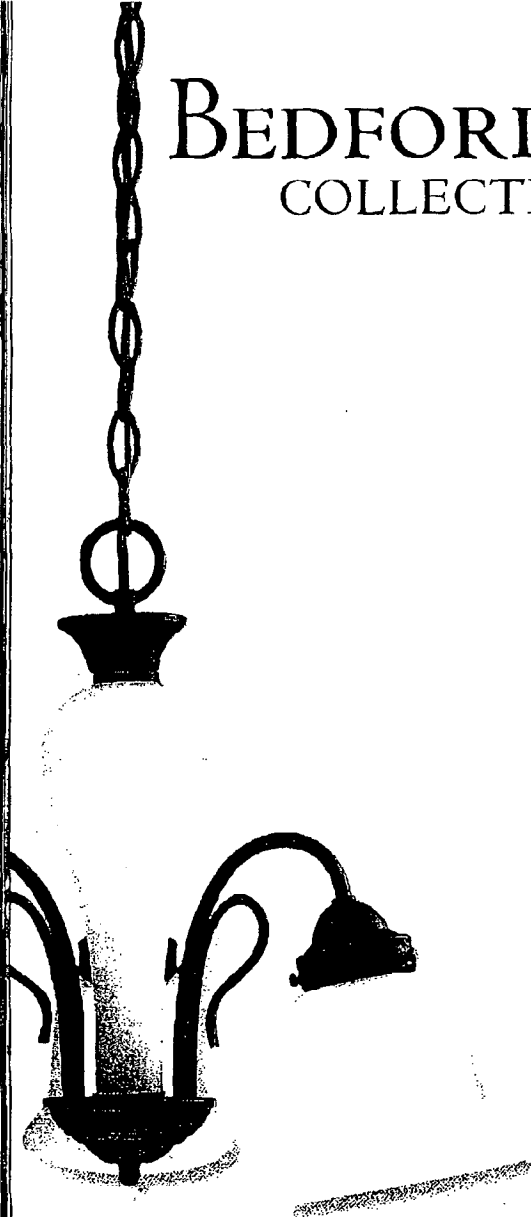
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MRF

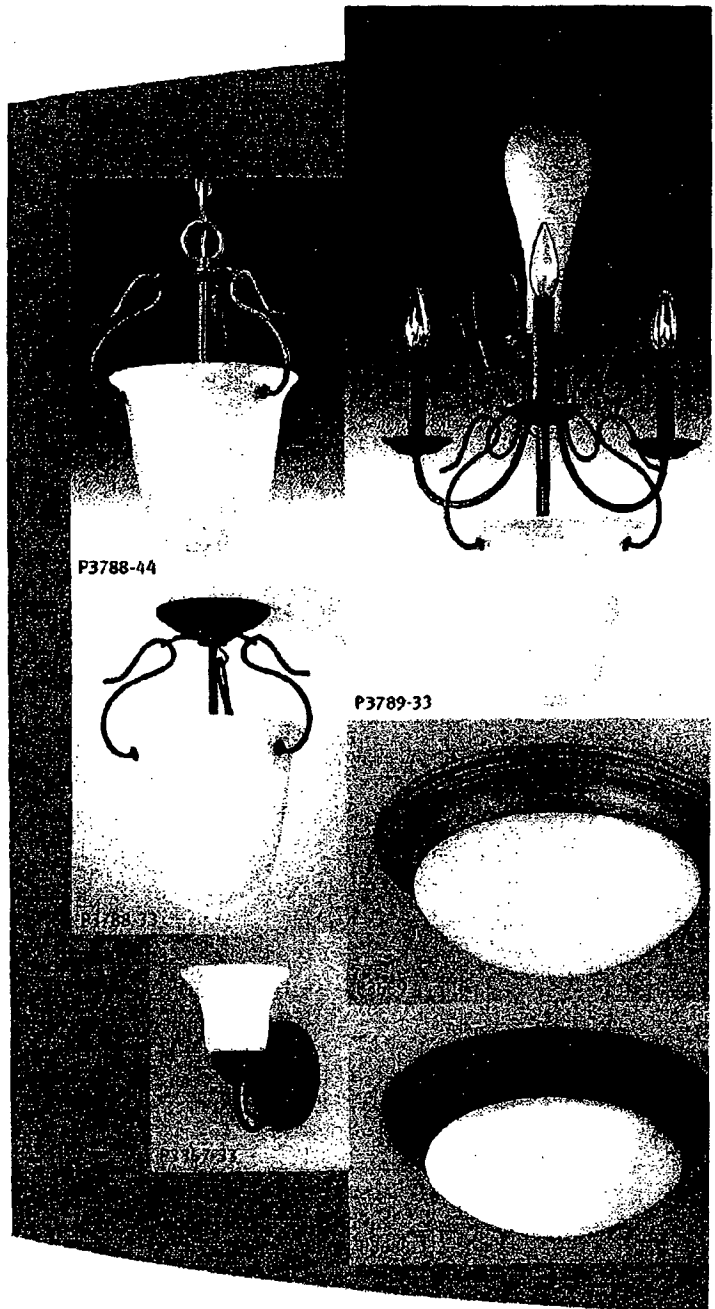
PAGE 01

MONEY'S WORTH

# BEDFORD COLLECTION



*The Bedford Collection offers  
alabaster style glass in finishes of  
Cobblestone and Oxford Silver.*



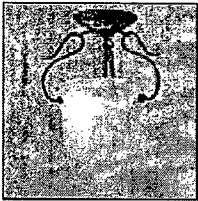
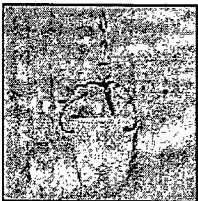

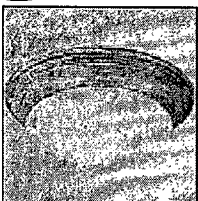
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# Search Results

Your search found 20 items

To see a complete product description and a larger picture (if available) click on the [View Details](#) hypertext link. Thank you.

| Key Specs   | Photo   | Description  | Actions   |
|---|---|--|---|
| <b>SKU:</b> P3788-33<br><b>Category:</b> Hall & Foyer<br><b>Finish:</b> Cobblestone<br><b>Glass:</b> Etched Alabaster<br>Style<br><b>Price:</b> \$75.00       |    | One-light foyer fixture with etched alabaster glass. Chain & ceiling mounts both included.               | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P3788-44<br><b>Category:</b> Hall & Foyer<br><b>Finish:</b> Oxford Silver<br><b>Glass:</b> Etched Alabaster<br>Style<br><b>Price:</b> \$75.00     |  | One-light foyer fixture with etched alabaster glass. Chain & ceiling mounts both included.               | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P3688-33<br><b>Category:</b> Close-to-Ceiling<br><b>Finish:</b> Cobblestone<br><b>Glass:</b> Etched Alabaster<br>Style<br><b>Price:</b> \$49.50   |  | One-light close-to-ceiling fixture with etched alabaster style glass. Twist on glass for easy relamping. | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P3688-44<br><b>Category:</b> Close-to-Ceiling<br><b>Finish:</b> Oxford Silver<br><b>Glass:</b> Etched Alabaster<br>Style<br><b>Price:</b> \$49.50 |  | One-light close-to-ceiling fixture with etched alabaster style glass. Twist on glass for easy relamping. | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P3689-33  |   | Two-light close-to-ceiling fixture   | <a href="#">View</a>  |

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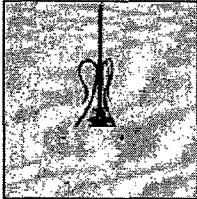
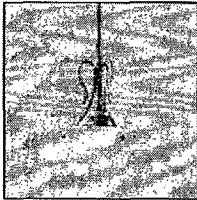
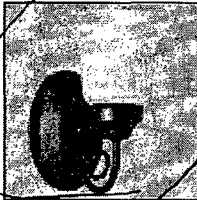
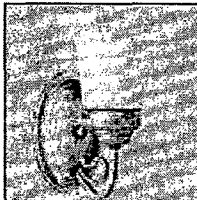




# Search Results

Your search found 20 items

To see a complete product description and a larger picture (if available) click on the [View Details](#) hypertext link. Thank you.

| Key Specs   | Photo   | Description   | Actions   |
|---|---|---|---|
| <b>SKU:</b> P5053-33<br><b>Category:</b> Pendants<br><b>Finish:</b> Cobblestone<br><b>Glass:</b> Etched<br><b>Price:</b> \$90.00                        |    | One-light stem-hung mini-pendant with etched glass        | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P5053-44<br><b>Category:</b> Pendants<br><b>Finish:</b> Oxford Silver<br><b>Glass:</b> Etched<br><b>Price:</b> \$90.00                      |  | One-light stem-hung mini-pendant with etched glass        | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P3367-33<br><b>Category:</b> Bath & Vanity<br><b>Finish:</b> Cobblestone<br><b>Glass:</b> Etched Alabaster Style<br><b>Price:</b> \$46.20   |  | One-light bath bracket with etched alabaster style glass. | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P3367-44<br><b>Category:</b> Bath & Vanity<br><b>Finish:</b> Oxford Silver<br><b>Glass:</b> Etched Alabaster Style<br><b>Price:</b> \$46.20 |  | One-light bath bracket with etched alabaster style glass. | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P4390-33  |   | Three-light chandelier with etched                        | <a href="#">View</a>  |

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**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

|  |   |
|--|---|
| <b>Owner's mailing address</b><br>MONTGOMERY COUNTY<br>101 MONROE STREET<br>ROCKVILLE, MD. 20850 | <b>Owner's Agent's mailing address</b><br>ZAVOS ARCHITECTURE + DESIGN LLC<br>323 WEST PATRICK STREET<br>FRERICK, MD 21701 |
|--|---|

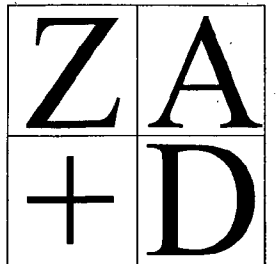
**Adjacent and confronting Property Owners mailing addresses**

|  |  |
|--|--|
| KINGSLEY WILDERNESS<br>22870 WHELAN LANE<br>CLARKSBURG, MD 20841 | MONTGOMERY COUNTY<br>CORRECTIONAL FACILITY<br>22880 WHELAN LANE<br>BOYDS, MD 20841 |
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Zavos Architecture + Design

# Restoration and Adaptive Reuse of Moneysworth Farmhouse: Whelan Lane Clarksburg, Maryland 20841

Owner:

Montgomery Co. Dept. Of Public Works & Transportation

101 Monroe Street, Rockville, MD 20850

Phone: (240) 777-6123

- Zavos Architecture + Design, LLC**  
323 West Patrick Street, Frederick, Maryland 21701 PH. (301) 698-0020

- Mendoza, Ribas, Farinas**  
6265 Executive Boulevard, Rockville, Maryland 20852 (301) 468-8882

- Wolfman + Associates**  
8720 Georgia Avenue, Suite 908, Silver Spring, Maryland 20910 (301) 587-0260

Architects •

Consulting Engineers •

Structural Engineers •

|         |  |
|---------|--|
| T0.0.1  | TITLE SHEET  |
| C-2     | SITE DEVELOPMENT PLAN                                |
| A0.0.1  | ARCHITECTURAL SITE PLAN                              |
| A1.0.1  | DEMOLITION CELLAR AND FIRST FLOOR PLANS              |
| A1.0.2  | DEMOLITION SECOND AND THIRD FLOOR PLANS              |
| A1.0.3  | DEMOLITION NORTH AND SOUTH EXTERIOR ELEVATIONS       |
| A1.0.4  | DEMOLITION EAST AND WEST EXTERIOR ELEVATIONS         |
| A2.0.1  | NEW CONSTRUCTION FOUNDATION AND FIRST FLOOR PLANS    |
| A2.0.2  | NEW CONSTRUCTION SECOND AND THIRD FLOOR PLANS        |
| A3.0.1  | NEW CONSTRUCTION NORTH AND SOUTH EXTERIOR ELEVATIONS |
| A3.0.2  | NEW CONSTRUCTION EAST AND WEST EXTERIOR ELEVATIONS   |
| A4.0.1  | BUILDING CROSS SECTIONS AND EXTERIOR WALL SECTIONS   |
| A5.0.1  | INTERIOR ELEVATIONS                                  |
| A6.0.1  | NEW CONST. EXTERIOR DETAILS                          |
| E-01    | SYMBOLS LIST, NOTES, AND SCHEDULES                   |
| E-02    | BASEMENT AND FIRST FLOOR PLANS ELECTRICAL            |
| E-03    | SECOND AND THIRD FLOOR PLANS ELECTRICAL              |
| M-01    | HVAC SCHEDULE AND DETAILS                            |
| M-02    | HVAC PLANS   |
| M-03    | HVAC ELEVATIONS                                      |
| P-01    | SYMBOLS, SCHEDULES, RISERS, AND DETAILS              |
| P-02    | FLOOR PLANS PLUMBING                                 |
| PH0.0.1 | PHOTO DOCUMENTATION EXTERIORS                        |
| PH0.0.2 | PHOTO DOCUMENTATION EXTERIORS                        |
| PH0.0.3 | PHOTO DOCUMENTATION INTERIORS                        |

PRINTS ISSUED

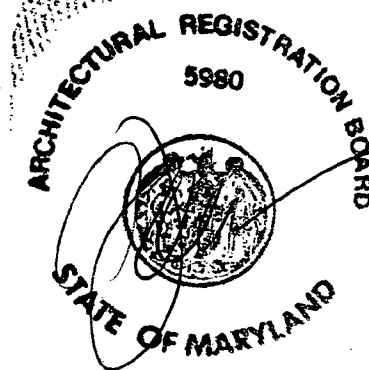
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REVISIONS

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ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ARCHITECT HEREBY EXPRESSLY RESERVES HIS COMMON LAW COPYRIGHT & AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY MANNER OR MANNER WHATSOEVER, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF ZAVOS ARCHITECTURE DESIGN. THIS NOTE AND THESE TERMS ARE TO BE ATTACHED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

DRAWING LIST



MONTGOMERY COUNTY  
DEPT. OF PUBLIC WORKS  
AND TRANSPORTATION  
101 MONROE ST.  
ROCKVILLE, MD 20850

MONEYSWORTH FARMHOUSE  
WHELAN LANE  
CLARKSBURG, MD 20841

SHEET TITLE  
TITLE SHEET

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|---------------|------------|
| DRAWN         | 82C        |
| CHECKED       | 82         |
| JOB NO.       | 303-321-01 |
| ISSUED        |            |
| SCALE         | AS NOTED   |
| CADFILE       | 323_701    |
| <b>T0.0.1</b> |            |
| DWG. NO.      |            |

P. 301.698.0020  
F. 301.698.0920  
323 WEST PATRICK ST.  
FREDERICK, MD 21701

BUILDING CODE DATA

Applicable Code: 2000 I.B.C.  
Use Group: Business (B)  
Type of Construction: 5B  
Height/No. of Stories: 30 ft / 2 1/2 -story  
Fully Sprinklered (Y/N): N

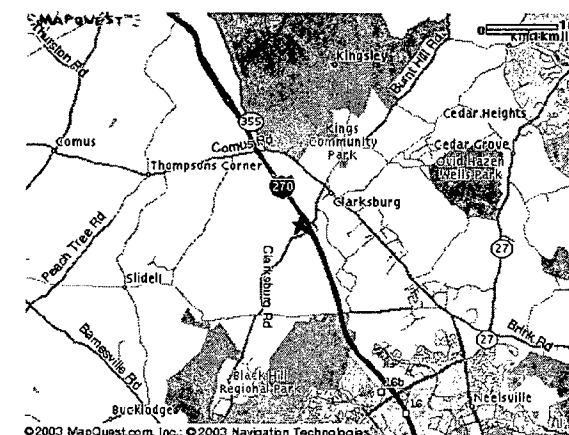
Gross Floor Area allowed: 4,000 GSF (Table 503) Actual: 2,484 GSF  
Gross Floor Area provided: Farmhouse TOTAL = 2,484 GSF

Egresses req'd: 1 (per NFPA 26-2.4, Exception #1)  
Accessible egresses req'd: 1 (NFPA 5-5.4.1, Exception #B)  
Egresses provided: 2 (1 with wheelchair accessible ramp)  
Max. distance to public way: 84 ft (100 ft allowed by NFPA 26-2.4, Exception #1)

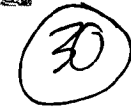
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|--|-----------------------------|--|------------------|
|  | ALUMINUM                    |  | WALL PARTITION   |
|  | STEEL                       |  | SEALANT          |
|  | WOOD-ROUGH (CONTINUOUS)     |  | BATT INSULATION  |
|  | WOOD-ROUGH (NON-CONTINUOUS) |  | RIGID INSULATION |
|  | PLYWOOD                     |  | GYPSUM BOARD     |
|  | WOOD FINISH                 |  | ACOUSTICAL TILE  |
|  | EARTH                       |  | CONCRETE         |
|  | C.M.U. (SOLID)              |  | GRANULAR FILL    |
|  | C.M.U.                      |  |                  |
|  | FACE BRICK                  |  |                  |

|  |  |
|--|--|
|  | INDICATES DIRECTION OF ELEVATION/SECTION |
|  | DETAIL NUMBER                            |
|  | SHEET WHERE REFERENCED                   |
|  | SHEET WHERE DRAWN                        |
|  | SIMILAR/OPPPOSITE OF INDICATED DETAIL    |
|  | DETAIL NUMBER                            |
|  | SHEET WHERE REFERENCED                   |
|  | SHEET WHERE DRAWN                        |
|  | INTERIOR ELEVATION                       |
|  | ELEVATION                                |
|  | DOOR NUMBER                              |
|  | WINDOW TYPE                              |
|  | LOWER PANEL TYPE                         |
|  | ARCHITECTURAL PANEL TYPE                 |
|  | FINISH DESIGNATION                       |
|  | KEYED NOTE                               |

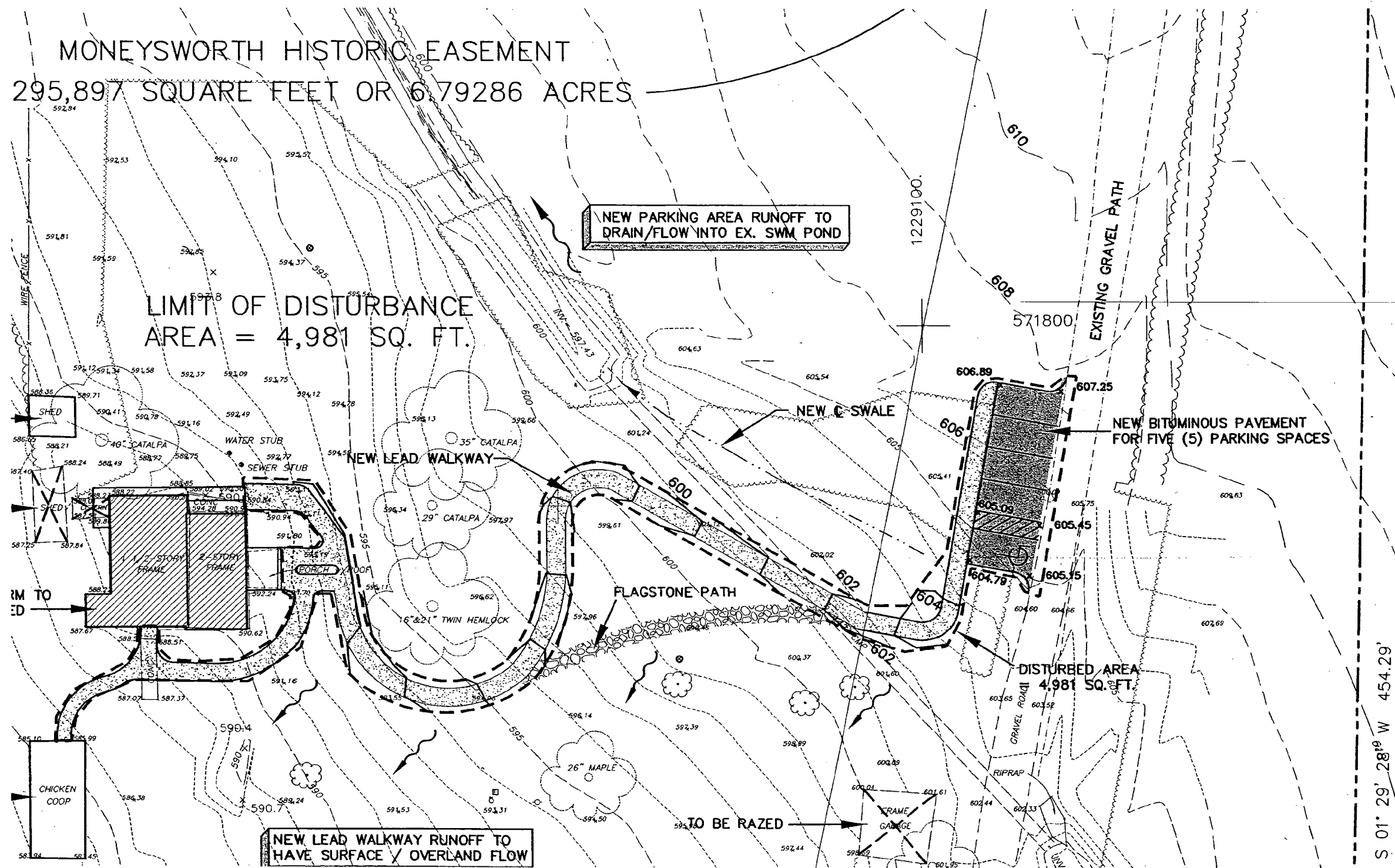
LEGENDS AND SYMBOLS



LOCATION MAP  
NOT TO SCALE



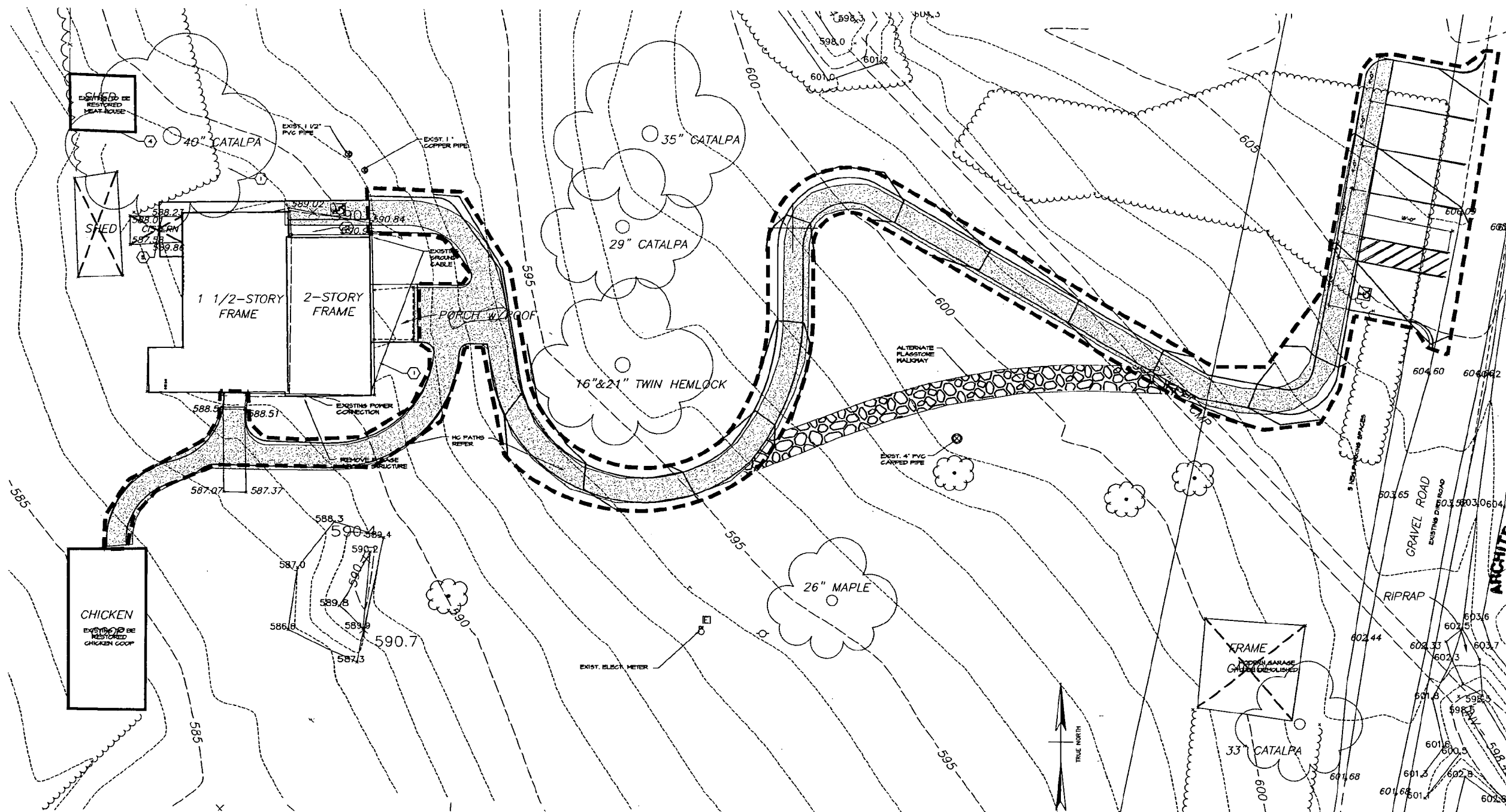
MONEYSWORTH HISTORIC EASEMENT  
295,897 SQUARE FEET OR 6.79286 ACRES



LIMIT OF DISTURBANCE  
AREA = 4,981 SQ. FT.

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C2



PRINTS ISSUED

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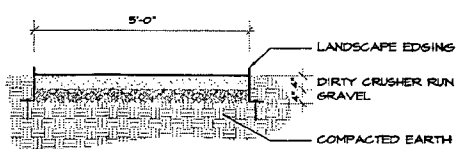
ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS. ARCHITECT HEREBY ACCEPTS COMMON LAW CONTRACTOR'S RESPONSIBILITY FOR THE FIELD. THESE DRAWINGS ARE NOT TO BE USED, REPRODUCED, COPIED, IN ANY FORM OR BY ANY MEANS, WITHOUT THE EXPRESS WRITTEN PERMISSION AND CONTROL OF THE ARCHITECTURE FIRM. THEY ARE TO BE USED ONLY BY THE THIRD PARTY WITH WHOM THE ORIGINAL SALES CONTRACT FOR DESIGN AND CONSTRUCTION HAS BEEN SIGNED.



STATE OF MARYLAND  
ARCHITECTURE REGISTRATION BOARD  
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CLARKSBURG, MD 20841

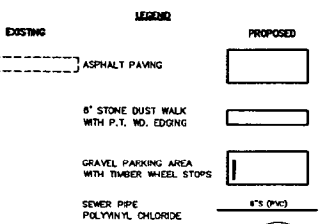
**1** Architectural Site Plan  
SCALE: 1" = 10'



**2** Handicapped Path Section  
SCALE: 1/2" = 1'-0'

- 3** Demolition General Notes  
SCALE: NONE
- ALL ITEMS SHOWN AS DASHED ARE TO BE REMOVED, UNLESS OTHERWISE INDICATED. COORDINATE EXTENT OF DEMOLITION WITH NEW WORK.
  - CAP AND ABANDON ALL UNNECESSARY PLUMBING SUPPLY, WASTE VENT & SPECIALTY GAS PIPING LINES.
  - REFER TO CIVIL DRAWINGS FOR EXTENT OF SITE WORK.

- 4** Demolition Plan Keyed Notes  
SCALE: NONE
- REMOVE SCRUB VEGETATION AWAY FROM STRUCTURE.
  - REMOVE OLD COMPRESSOR FROM SITE. DEMOLISH SLAB UNDER EQUIPMENT.
  - CAP OLD SISTERN AND REGRADE.
  - REMOVE RUBBISH AND REGRADE.



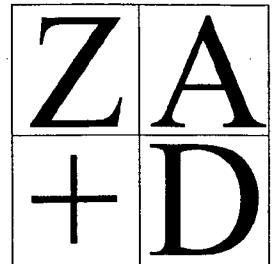
**5** Legend  
SCALE: NONE

| SYMBOL | DESCRIPTION                  | SYMBOL | DESCRIPTION    |
|--------|------------------------------|--------|----------------|
| —      | CAP                          | —      | 4" (D.I.P.)    |
| —      | TEE                          | —      | EXISTED        |
| ○      | TREE                         | ○      | SCALE          |
| ⊗      | TREE (TO BE REMOVED)         | ○      | CADFILE        |
| —      | WATER LINE DUCTILE IRON PIPE | □      | STORM INLET    |
| —      | EXIST. CONTOUR               | ▽      | SPOT ELEVATION |
| —      | PROPOSED CONTOUR             | ◇      | VALVE          |
| ○      | STORM INLET                  | ○      | STORM MANHOLE  |
| ▽      | SPOT ELEVATION               | ○      | FIRE HYDRANT   |
| ◇      | VALVE                        |        |                |
| ○      | STORM MANHOLE                |        |                |
| ○      | FIRE HYDRANT                 |        |                |

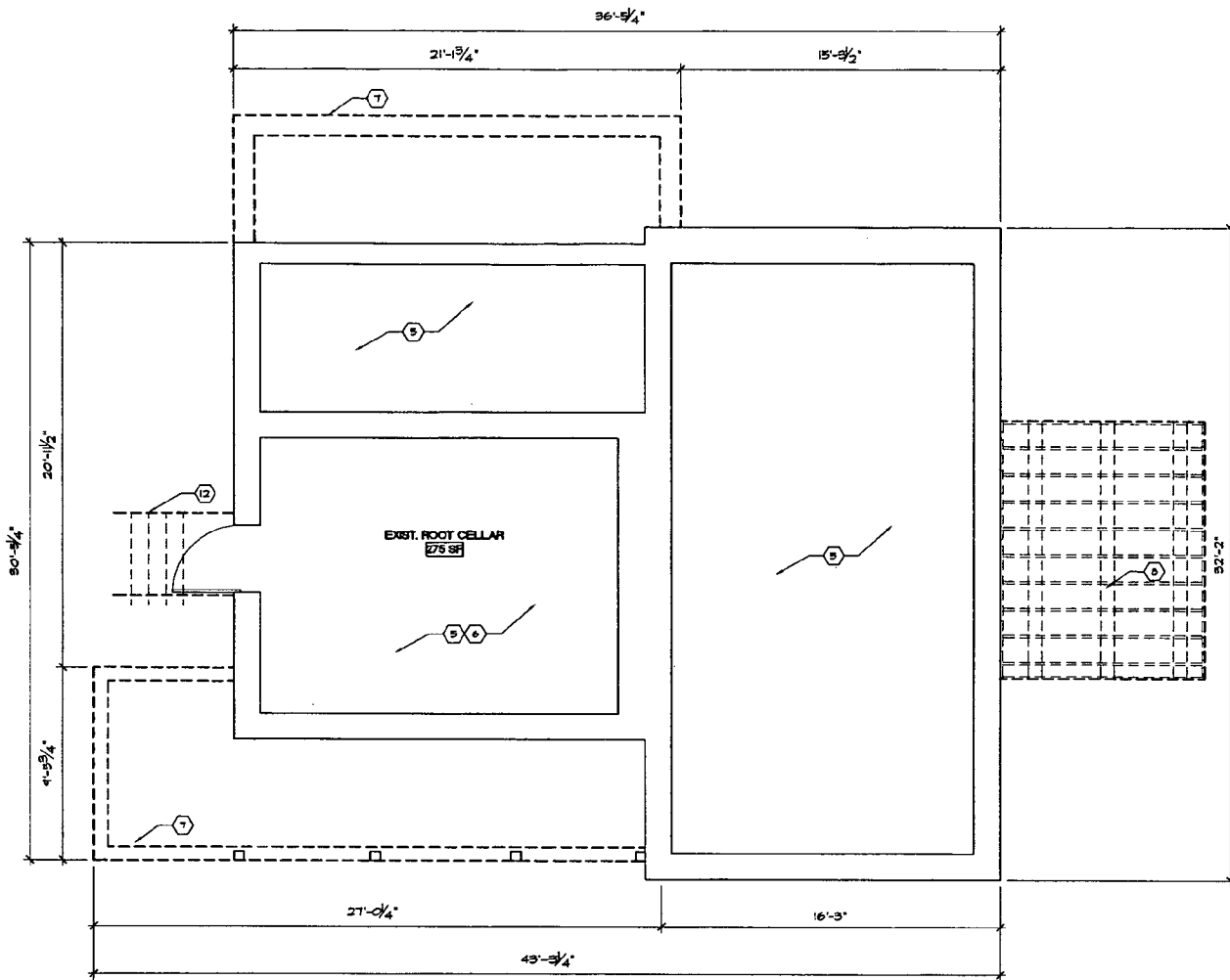
**A0.0.1**

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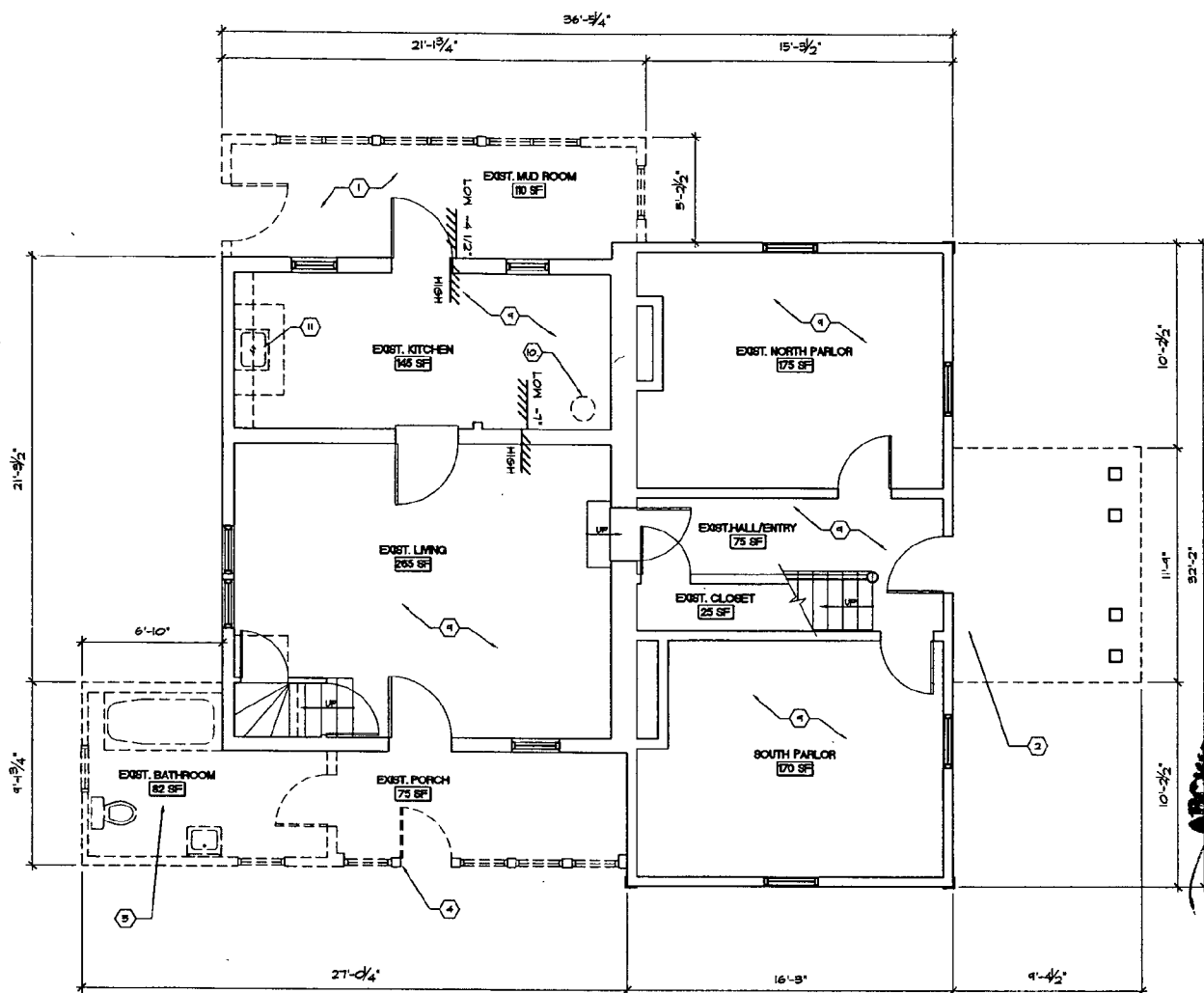
Zavos Architecture + Design



**1 Demolition Root Cellar Plan**  
A1.0.1 SCALE: 1/4" = 1'-0"

- A. DEMOLITION SCHEDULES/PROCEDURES: THE GENERAL CONTRACTOR SHALL FORWARD SCHEDULE AND SAFETY PROCEDURES TO THE ARCHITECT AND SHALL NOT PROCEED WITH DEMOLITION UNTIL THESE ARE APPROVED. SLAB CUTTING, SLAB REMOVAL AND OTHER NOISY/HEAVY DEMOLITION SHALL HAVE LANDLORD'S PERMISSION BEFORE WORK PROCEEDS.
- B. THE GENERAL CONTRACTOR SHALL RETURN ALL SALVAGEABLE MATERIALS AND / OR EQUIPMENT REMOVED TO THE TENANT TO BE STORED AT THEIR DISCRETION. THE GENERAL CONTRACTOR SHALL DISPOSE OF ALL NON-SALVAGEABLE MATERIALS IN ACCORDANCE WITH LANDLORD'S RECOMMENDATION AND LOCAL ZONING CODES.
- C. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT ON ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DRAWINGS.
- D. ADDITIONAL DEMOLITION MAY BE REQUIRED AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES DAMAGED BY HIS WORK.
- E. REFER TO MECHANICAL DWGS. FOR DEMOLITION INFORMATION AND REQUIREMENTS.
- F. REMOVE ALL EXISTING LIGHT FIXTURES & OTHER DEVICES IN FLOORS, WALLS AND CEILING. REMOVE PLUMBING FIXTURES AND ACCESSORIES IN BATHROOMS AND KITCHENS. REFER TO ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS FOR DEMOLITION INFORMATION AND REQUIREMENTS.
- G. ALL ITEMS SHOWN AS DASHED ARE TO BE REMOVED, UNLESS OTHERWISE INDICATED. COORDINATE EXTENT OF DEMOLITION WITH NEW WORK.
- H. CAP AND ABANDON ALL UNNECESSARY PLUMBING SUPPLY, WASTE, VENT & SPECIALTY PIPING LINES BOTH IN FLOORS, WALLS AND CEILING. REFER TO MECHANICAL DRAWINGS FOR DEMOLITION INFORMATION AND REQUIREMENTS.
- I. REMOVE ALL EXISTING ELECTRICAL SERVICE, FIXTURES AND ASSEMBLIES. CAP AND ABANDON ALL WIRING ETC. REFER TO ELECTRICAL DRAWINGS FOR DEMOLITION REQUIREMENTS AND INFORMATION. COORDINATE TEMPORARY AND NEW ELECTRICAL SERVICE WITH SCHEDULED WORK.
- J. REMOVE ALL CEILING PLASTER PRIOR TO ANY WALL STUD DEMOLITION. VERIFY THAT NO WALLS OTHER THAN THOSE INDICATED ARE STRUCTURALLY BEARING. IF OTHER WALLS APPEAR TO BE BEARING, DO NOT DEMOLISH & NOTIFY ARCHITECT.
- K. DIMENSIONS WERE TAKEN FROM EXISTING FIELD CONDITIONS. VERIFY DIMENSIONS IN FIELD. ANY DISCREPANCIES IN DIMENSIONS SHOWN NOTIFY ARCHITECT.

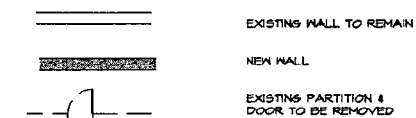
**3 Demolition General Notes**  
A1.0.1 SCALE: NONE



**2 Demolition First Floor Plan**  
A1.0.1 SCALE: 1/4" = 1'-0"

- 1. DEMOLISH EXISTING MUDROOM ENTIRELY.
- 2. DEMOLISH EXISTING PORTICO. RESTORE COLUMNS, TRIM, ETC. FOR NEW SCHEDULED WORK.
- 3. EXISTING BATHROOM ADDITION TO BE DEMOLISHED ENTIRELY. REMOVE ALL FIXTURES, APPLIANCES, ETC. CAP UTILITIES PER CODE.
- 4. EXISTING PORCH ENCLOSURE TO BE DEMOLISHED ENTIRELY.
- 5. EXISTING FOUNDATION TO REMAIN. PATCH AND REPAIR FOUNDATION TO MATCH EXISTING. TAKE GREAT CARE IN MAINTAINING STRUCTURAL INTEGRITY.
- 6. EXISTING ROOT CELLAR TO BE EXCAVATED AND LEVELED 6". SEE NEW WORK PLANS FOR NEW CONCRETE SLAB.
- 7. DEMOLISH EXISTING CONCRETE FOUNDATION SYSTEM AS INDICATED.
- 8. REMOVE WOODEN SLEEPER SYSTEM UNDER PORTICO ENTIRELY INCLUDING ALL DECKING ETC. BRACE PORTICO ROOF ABOVE AND PROVIDE TEMPORARY ROOF DURING RENOVATION.
- 9. REMOVE EXISTING FINISHES AND STRIP ALL LEAD PAINT FROM INTERIOR SURFACES. PATCH AND REPAIR EXISTING INTERIOR WALLS INCLUDING BATT BOARDS AND PLASTER.
- 10. REMOVE EXISTING HOT WATER HEATER AND ACCESSORIES. REFER TO PLUMBING DRAWINGS. CAP ALL PIPING PER CODE. REFER TO MECHANICAL DRAWINGS.
- 11. REMOVE EXISTING SINK, COUNTERTOPS, CABINETS, ETC.
- 12. EXCAVATE OLD STAIRWELL AT CELLAR IN PREPARATION FOR NEW STAIRWELL ACCESS. REFER TO NEW CONSTRUCTION PLANS.

**4 Demolition Plan Keyed Notes**  
A1.0.1 SCALE: NONE



**5 Legend**  
A1.0.1 SCALE: NONE

PRINTS ISSUED

REVISIONS

ALL DIMENSIONS, UNLESS OTHERWISE SPECIFIED, ARE TO FACE UNLESS NOTED OTHERWISE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.



MONTGOMERY COUNTY  
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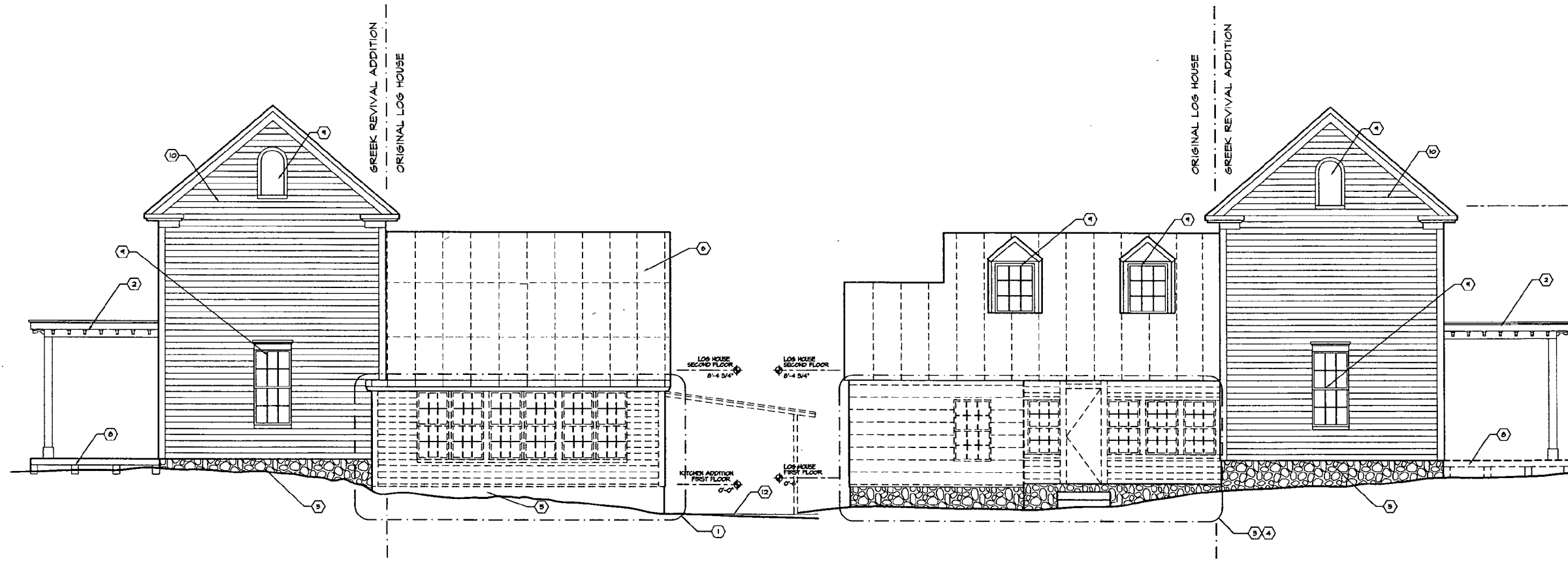
SHEET TITLE  
DEMOLITION CELLAR AND  
FIRST FLOOR PLANS

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ISSUED: \_\_\_\_\_  
SCALE: \_\_\_\_\_  
DATE: \_\_\_\_\_  
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**1** Demolition North Elevation  
A1.0.3 SCALE: 1/4" = 1'-0"

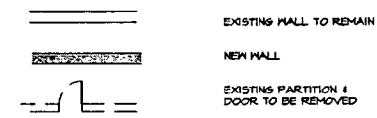
**2** Demolition South Elevation  
A1.0.3 SCALE: 1/4" = 1'-0"

- A. DEMOLITION SCHEDULES/PROCEDURES: THE GENERAL CONTRACTOR SHALL FORWARD SCHEDULE AND SAFETY PROCEDURES TO THE ARCHITECT AND SHALL NOT PROCEED WITH DEMOLITION UNTIL THESE ARE APPROVED. SLAB CUTTING, SLAB REMOVAL AND OTHER NOISY/HEAVY DEMOLITION SHALL HAVE LANDLORD'S PERMISSION BEFORE WORK PROCEEDS.
- B. THE GENERAL CONTRACTOR SHALL RETURN ALL SALVAGEABLE MATERIALS AND / OR EQUIPMENT REMOVED TO THE TENANT TO BE STORED AT THEIR DISCRETION. THE GENERAL CONTRACTOR SHALL DISPOSE OF ALL NON-SALVAGEABLE MATERIALS IN ACCORDANCE WITH LANDLORD'S RECOMMENDATION AND LOCAL ZONING CODES.
- C. THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT ON ANY CONCEALED CONDITIONS UNCOVERED DURING DEMOLITION THAT IMPEDES THE EXECUTION OF THE DESIGN AS INDICATED ON THE DRAWINGS.
- D. ADDITIONAL DEMOLITION MAY BE REQUIRED AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING ALL FINISHES DAMAGED BY HIS WORK.
- E. REFER TO MECHANICAL DWGS. FOR DEMOLITION INFORMATION AND REQUIREMENTS.
- F. ALL ITEMS SHOWN AS DASHED ARE TO BE REMOVED, UNLESS OTHERWISE INDICATED. COORDINATE EXTENT OF DEMOLITION WITH NEW WORK.
- G. CAP AND ABANDON ALL UNNECESSARY PLUMBING SUPPLY, WASTE, VENT & SPECIALTY PIPING LINES BOTH IN FLOORS, WALLS AND CEILINGS. REFER TO MECHANICAL DRAWINGS FOR DEMOLITION INFORMATION AND REQUIREMENTS.
- H. REMOVE ALL EXISTING ELECTRICAL SERVICE, FIXTURES AND ASSEMBLIES. CAP AND ABANDON ALL WIRING ETC. REFER TO ELECTRICAL DRAWINGS FOR DEMOLITION REQUIREMENTS AND INFORMATION. COORDINATE TEMPORARY AND NEW ELECTRICAL SERVICE WITH SCHEDULED WORK.
- I. DIMENSIONS WERE TAKEN FROM EXISTING FIELD CONDITIONS. VERIFY DIMENSIONS IN FIELD. ANY DISCREPANCIES IN DIMENSIONS SHOWN NOTIFY ARCHITECT.

**3** Demolition General Notes  
A1.0.3 SCALE: NONE

- 1. DEMOLISH EXISTING MUD ROOM ENTIRELY.
- 2. DEMOLISH EXISTING PORTICO. SALVAGE AND/OR REPLACE COLUMNS, TRIM, ETC. FOR NEW SCHEDULED WORK.
- 3. EXISTING BATHROOM ADDITION TO BE DEMOLISHED ENTIRELY. REMOVE ALL FIXTURES, APPLIANCES, FINISHES AS REQUIRED. CAP UTILITIES AS REQUIRED PER CODE.
- 4. EXISTING PORCH ENCLOSURE TO BE DEMOLISHED ENTIRELY.
- 5. EXISTING FIELD STONE FOUNDATION TO REMAIN BEHIND MUD ROOM CONC. FOUNDATION. REPOINT AND REPAIR FIELD STONE FOUNDATION TO MATCH EXISTING SURFACES. MAINTAIN STRUCTURAL INTEGRITY OF FOUNDATION.
- 6. REMOVE EXISTING METAL ROOF AS INDICATED. PATCH AND REPAIR UNDER STRUCTURE AS NECESSARY AND COORDINATE REMOVAL WITH NEW ROOF INSTALLATION.
- 7. DEMOLISH EXISTING CONCRETE FOUNDATION SYSTEM AS INDICATED AT EXIST. MUD ROOM.
- 8. REMOVE WOODEN SLEEPER SYSTEM UNDER PORTICO ENTIRELY INCLUDING DOCKING BRACE STRUCTURE ABOVE.
- 9. RESTORE AND/OR REPLACE EXISTING WINDOWS AND TRIM. PATCH AND REPLACE EXISTING SURFACES FOR NEW FINISHES.
- 10. REPAIR AND RESTORE SIDING AND TRIM. REPLACE ANY DAMAGED AREAS REQUIRING REPLACEMENT SHALL MATCH NEW ADJACENT FINISHES.
- 11. DEMOLISH CONCRETE FOUNDATION AT MUD ROOM ENCLOSURE AS NECESSARY FOR NEW CONSTRUCTION.
- 12. CAP EXISTING CISTERN AND FASTEN METAL PLATE TO INSURE SAFETY DURING DEMOLITION. REMOVE STRUCTURE ABOVE.
- 13. REMOVE EXISTING METAL ROOF AS INDICATED. PATCH AND REPAIR UNDER STRUCTURE AS NECESSARY AND COORDINATE REMOVAL WITH NEW ROOF INSTALLATION.

**4** Demolition Plan Keyed Notes  
A1.0.3 SCALE: NONE



**5** Legend  
A1.0.3 SCALE: NONE

PRINTS ISSUED

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NO REVISIONS

REVISIONS

ARCHITECTURAL REGISTRATION BOARD  
STATE OF MARYLAND  
5980  
ZAVOS ARCHITECTURE + DESIGN

MONTGOMERY COUNTY  
DEPT. OF PUBLIC WORKS  
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CLARKSBURG, MD 20841

SHEET TITLE  
DEMOLITION NORTH  
AND SOUTH ELEVATIONS  
EXTERIOR ELEVATIONS

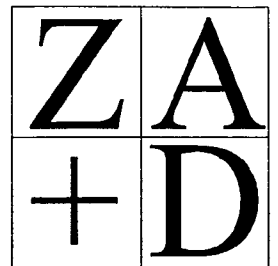
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DWG. NO.

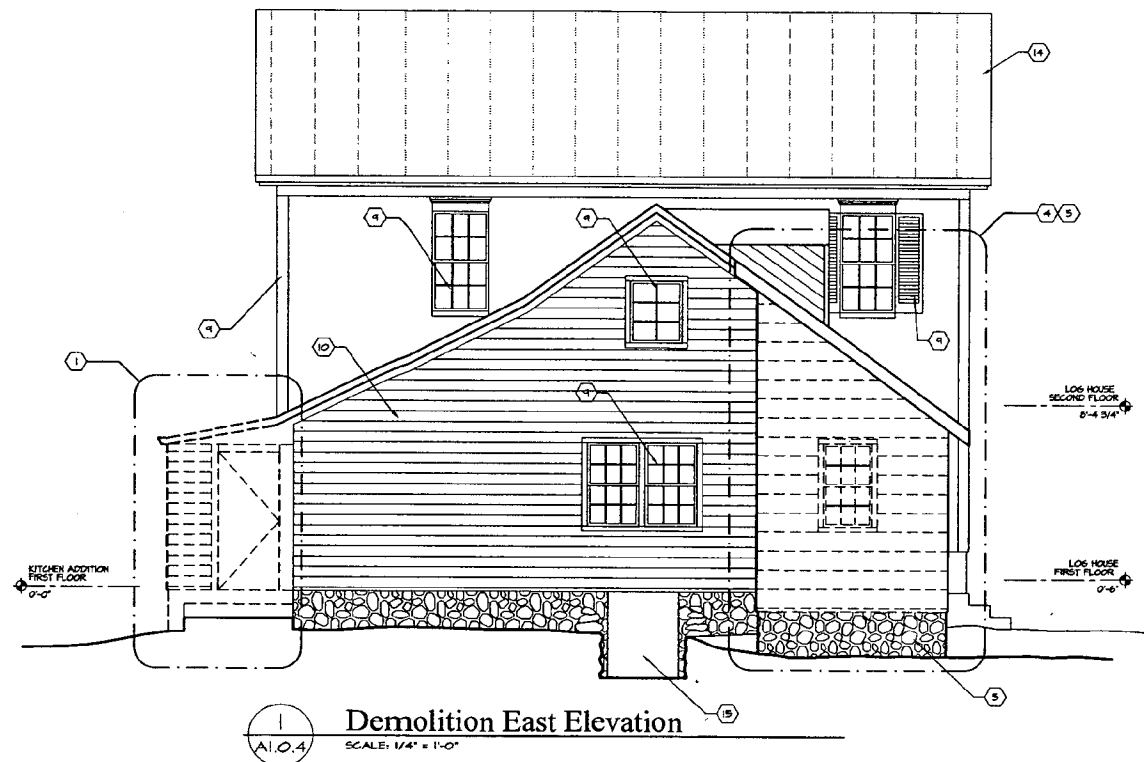
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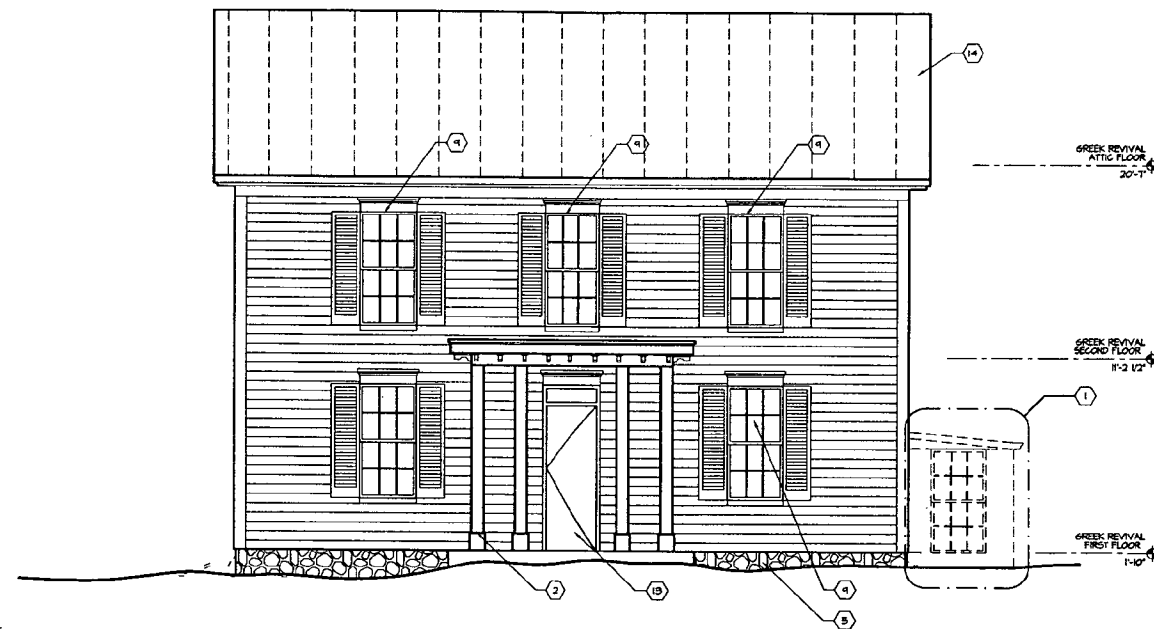




Zavos Architecture + Design



1 Demolition East Elevation  
A1.0.4 SCALE: 1/4" = 1'-0"



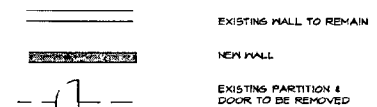
2 Demolition West Elevation  
A1.0.4 SCALE: 1/4" = 1'-0"

- A. DEMOLITION SCHEDULES/PROCEDURES: THE GENERAL CONTRACTOR SHALL FORWARD SCHEDULE AND SAFETY PROCEDURES TO THE ARCHITECT AND SHALL NOT PROCEED WITH DEMOLITION UNTIL THESE ARE APPROVED. SLAB CUTTING, SLAB REMOVAL AND OTHER NOISY/HEAVY DEMOLITION SHALL HAVE LANDLORD'S PERMISSION BEFORE WORK PROCEEDS.
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- H. REMOVE ALL EXISTING ELECTRICAL SERVICE, FIXTURES AND ASSEMBLIES. CAP AND ABANDON ALL WIRING ETC. REFER TO ELECTRICAL DRAWINGS FOR DEMOLITION REQUIREMENTS AND INFORMATION. COORDINATE TEMPORARY AND NEW ELECTRICAL SERVICE WITH SCHEDULED WORK.
- I. DIMENSIONS WERE TAKEN FROM EXISTING FIELD CONDITIONS. VERIFY DIMENSIONS IN FIELD. ANY DISCREPANCIES IN DIMENSIONS SHOWN NOTIFY ARCHITECT.

1. DEMOLISH EXISTING MID ROOM ENTIRELY. REPAIR DAMAGED AREAS TO MATCH ADJACENT SURFACES.
2. REPAIR AND/OR REPLACE EXISTING PORCH INCLUDING COLUMNS, TRIM, ETC. FOR NEW SCHEDULED WORK.
3. EXISTING BATHROOM ADDITION TO BE DEMOLISHED ENTIRELY. REMOVE ALL FIXTURES, APPLIANCES, FINISHES AS REQUIRED. CAP UTILITIES AS REQUIRED PER CODE.
4. EXISTING PORCH ENCLOSURE TO BE DEMOLISHED ENTIRELY.
5. EXISTING FOUNDATION TO REMAIN. REPORT AND REPAIR FIELD STONE FOUNDATION TO MATCH EXISTING SURFACES. MAINTAIN STRUCTURAL INTEGRITY OF FOUNDATION.
6. REMOVE EXISTING METAL ROOF AS INDICATED. PATCH AND REPAIR UNDER STRUCTURE AS NECESSARY AND COORDINATE WITH CONTRACTOR FOR NEW ROOF INSTALLATION.
7. DEMOLISH EXISTING CONCRETE FOUNDATION SYSTEM AS INDICATED.
8. REMOVE WOODEN SLEEPER SYSTEM UNDER PORCH TO ENTIRELY INCLUDING DECKING.

9. RESTORE EXISTING WINDOWS AND TRIM. PATCH AND REPLACE EXISTING SURFACES FOR NEW FINISHES.
10. REMOVE DAMAGED SIDING AND TRIM IN PREPARATION FOR RESTORATION. ANY DAMAGED AREAS REQUIRING REPLACEMENT SHALL MATCH EXISTING SURFACES.
11. DEMOLISH CONCRETE FOUNDATION AT MID ROOM ENCLOSURE AS NECESSARY FOR NEW CONSTRUCTION.
12. GREEK REVIVAL ADDITION BEYOND.
13. PROVIDE SECURITY DOOR DURING DEMOLITION PHASE.
14. REMOVE EXISTING METAL ROOF AS INDICATED. PATCH AND REPAIR UNDER STRUCTURE AS NECESSARY AND COORDINATE REMOVAL WITH NEW ROOF INSTALLATION.
15. REMOVE EXISTING CELLAR DOOR AND STEPS. PROVIDE TEMP. DOOR AND ACCESS DURING DEMOLITION PHASE. SEE NEW CONSTRUCTION DRAWINGS.



5 Legend  
A1.0.4 SCALE: NONE

3 Demolition General Notes  
A1.0.4 SCALE: NONE

4 Demolition Plan Keyed Notes  
A1.0.4 SCALE: NONE

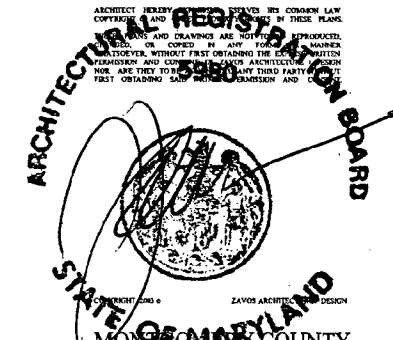
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WHELAN LANE  
CLARKSBURG, MD 20841

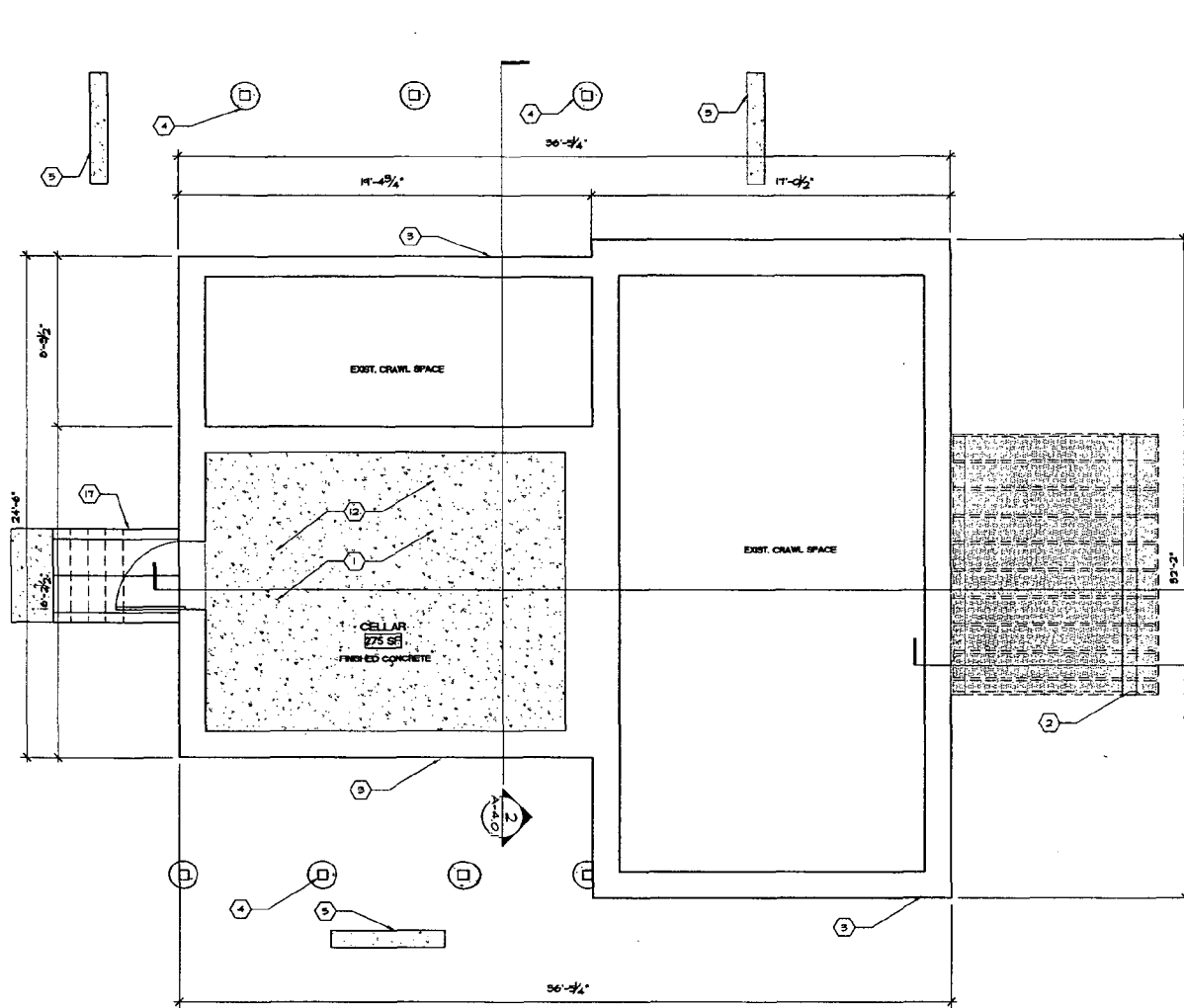
SHEET TITLE  
DEMOLITION EAST AND  
WEST EXTERIOR  
ELEVATIONS

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SCALE  
DATE

A1.0.4  
DWG. NO.

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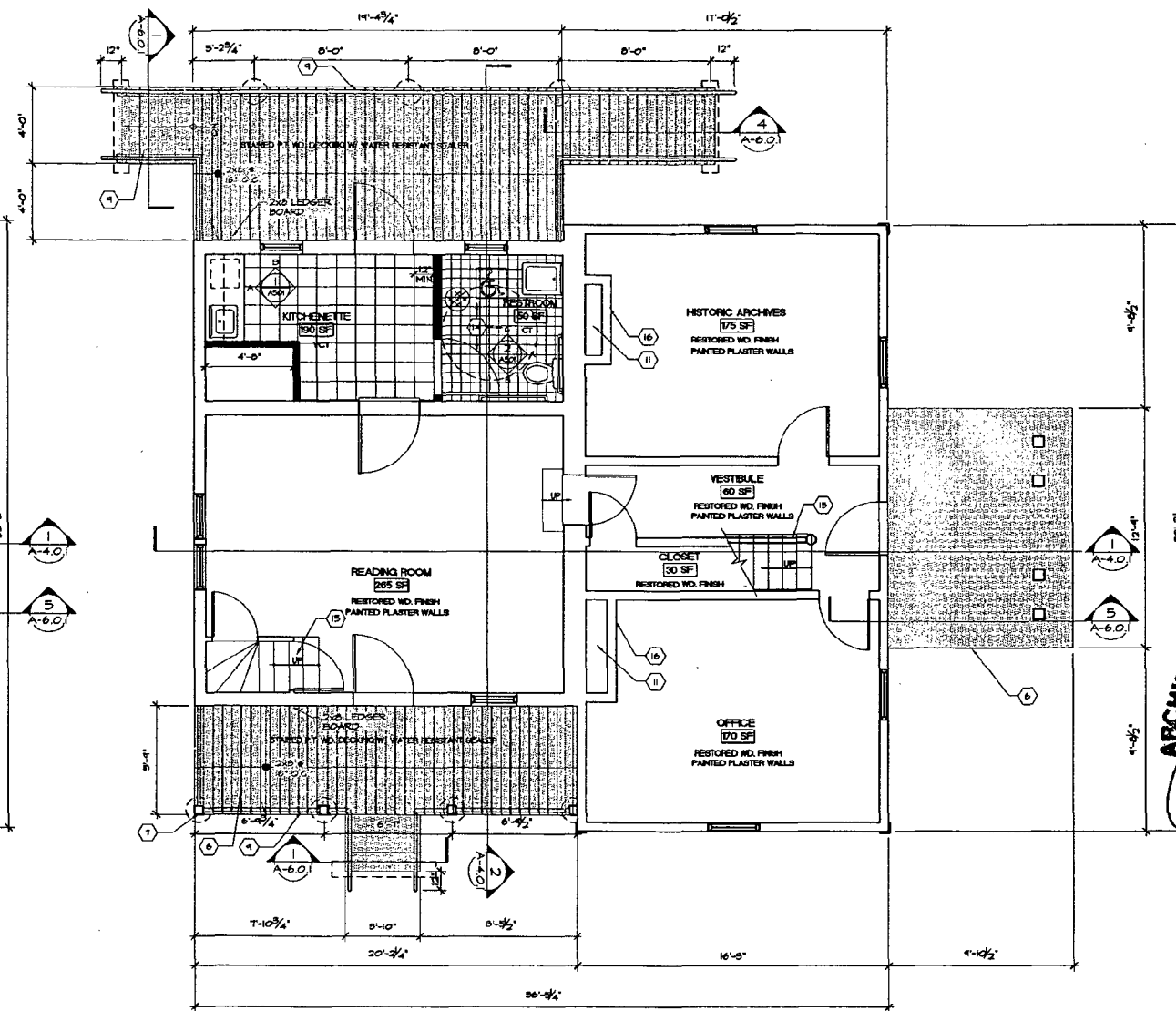
36



**1** New Construction Foundation Plan  
A2.0.1 SCALE: 1/4" = 1'-0"

- A. PAINT ALL WALLS, EXISTING UNPAINTED DOORS AND TRIM TO REMAIN. FINISH NEW TRIM TO MATCH EXISTING.
- B. PROVIDE NEW UNDERLAYMENT OVER EXISTING FLOORING TO RECEIVE NEW VCT AND CT.
- C. STRUCTURAL DECKING MEMBERS TO BE PRESSURE TREATED WOOD, DECKING AND HANDRAILS TO BE PRESSURE TREATED WOOD.
- D. PATCH AND/OR REPLACE ALL EXISTING HOLES AND UNUSED PENETRATIONS IN FLOORING, PLASTER WALLS AND CEILINGS.
- E. REPAIR ANY DAMAGED WALLS, CEILINGS AND FLOORS, REPLACE WD. FRAMING AND PROVIDE NEW FINISHES TO MATCH EXISTING.
- F. PATCH AND REPAIR AND REFINISH ALL WOOD FLOORING TO REMAIN.
- G. PROVIDE DUR-O-ROC UNDERLAYMENT FOR CERAMIC TILE (CT) FINISHES.
- H. DIMENSIONS ON PLANS ARE FIELD MEASUREMENTS TAKEN FROM THE SITE AND SHOULD BE VERIFIED BY CONTRACTOR BEFORE EXECUTING WORK.

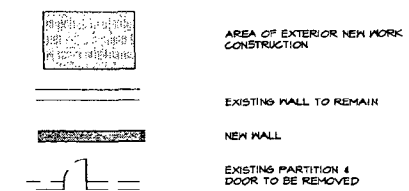
**3** New Construction Plan General Notes  
A2.0.1 SCALE: NONE



**2** New Construction First Floor Plan  
A2.0.1 SCALE: 1/4" = 1'-0"

- 1. NEW CONCRETE SLAB, SEE DETAIL 1/A4.0.1
- 2. PROVIDE NEW 12" x 30" DEEP CONTINUOUS PIER FOUNDATION, COORDINATE LENGTH WITH EXISTING STRUCTURE. SEE DRAWING A-6.0.1.
- 3. RESTORE AND TUCK POINT AS NECESSARY FIELD STONE FOUNDATION. RESTORE AND MAINTAIN STRUCTURAL INTEGRITY.
- 4. PROVIDE 12" DIA. x 30" DEEP CONCRETE FOOTINGS, (TYP) COORDINATE LOCATION W/ POST LAYOUT.
- 5. INSTALL 12" x 30" DEEP CONCRETE FOOTING FOR GRADE TRANSITION TO DECK, COORDINATE LENGTH WITH STRUCTURE ABOVE.
- 6. RECONSTRUCT PORTICO INCLUDING ROOF, POSTS, TRIM AND DECKING. REPLACE OR REPAIR MATERIALS AS NECESSARY TO MATCH NEW FINISHES.
- 7. PROVIDE P.T. MD. POSTS FOR NEW WD. DECKING.
- 8. INSTALL P.T. 2x6 WD. DECKING, MAINTAIN A MAX. GAP OF 3/8" BETWEEN PLANKS.
- 9. PROVIDE WOOD RAILING WITH 2x2 P.T. VERTICAL PICKETS, SEE ARCHITECTURAL ELEVATIONS.
- 10. COORDINATE NUMBER OF RISERS WITH GRADE REFER TO SECTION 2/A4.0.1.
- 11. CLEAN CHASE CAVITY, REPAIR AS REQUIRED.
- 12. PROVIDE R-19 BATT INSULATION IN CEILING OF BASEMENT.
- 13. PROVIDE NEW HANDICAPPED RAMP W/ RAILINGS, REFER TO A4.0.1.
- 14. PROVIDE NEW 1/2" MOISTURE RESISTANT GYPSUM WALL BOARD LAMINATED TO EXISTING FINISH IN RESTROOM.
- 15. REFINISH EXISTING STAIRS, REPAIR AND RESTORE HANDRAILS, BALUSTERS, NEWEL POSTS, ETC..
- 16. REFINISH EXISTING WOOD MANTEL AND TRIM.
- 17. NEW SLOPED WALL, BULKHEAD DOOR AT ENTRY TO CELLAR BY BILCO DOORS OR EQUAL, REFER TO MANUFACTURERS SPECIFICATIONS.

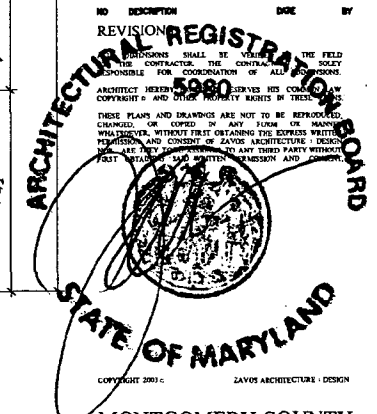
**4** New Construction Plan Keyed Notes  
A2.0.1 SCALE: NONE



**5** Legend  
A2.0.1 SCALE: NONE

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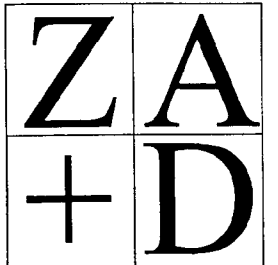
MONEYSWORTH FARMHOUSE  
WHELAN LANE  
CLARKSBURG, MD 20841

SHEET TITLE  
**NEW CONSTRUCTION  
FOUNDATION AND  
FIRST FLOOR PLANS**  
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SCALE AS NOTED  
CADFILE

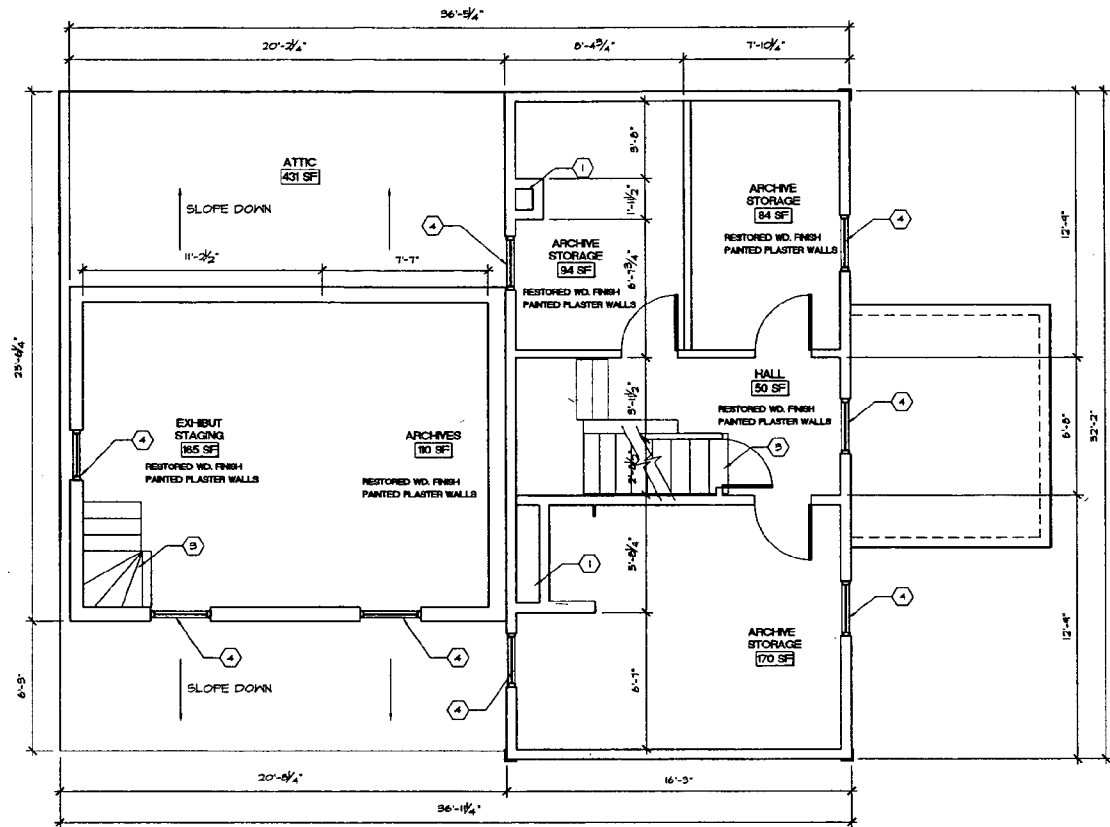
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DWG. NO.

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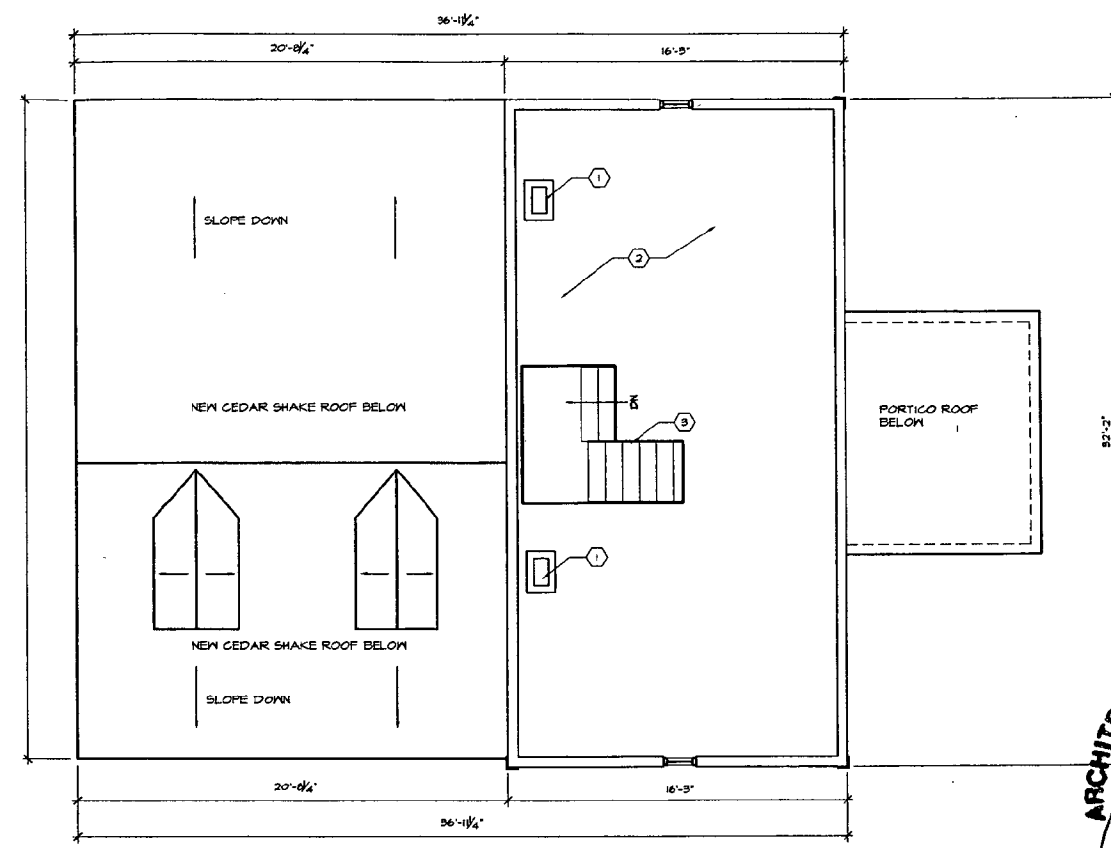
37



Zavos Architecture + Design



1 New Construction Second Floor Plans  
A2.0.2 SCALE: 1/4" = 1'-0"



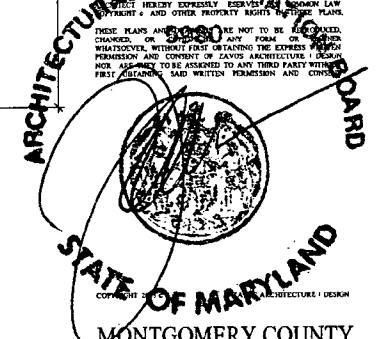
2 New Construction Third Floor Plan  
A2.0.2 SCALE: 1/4" = 1'-0"

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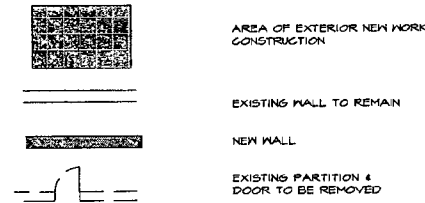
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SHEET TITLE  
NEW CONSTRUCTION  
SECOND AND THIRD  
FLOOR PLANS

DRAWN  
CHECKED  
JOB NO.  
ISSUED  
SCALE: AS NOTED  
CADFILE  
A2.0.2  
DWG. NO.

- A. PAINT ALL WALLS, EXISTING UNPAINTED DOORS AND TRIM TO REMAIN. FINISH NEW TRIM TO MATCH EXISTING.
- B. PROVIDE NEW UNDERLAYMENT OVER EXISTING FLOORINGS TO RECEIVE NEW VCT AND CT.
- C. STRUCTURAL DECKING MEMBERS TO BE PRESSURE TREATED WOOD, DECKING AND HANDRAILS TO BE PRESSURE TREATED WOOD.
- D. PATCH AND/OR REPLACE ALL EXISTING HOLES AND UNUSED PENETRATIONS IN WOOD FLOORINGS, PLASTER WALLS AND CEILINGS.
- E. REPAIR ANY DAMAGED WALLS, CEILINGS AND FLOORS. REPLACE WD. FRAMING AND PROVIDE NEW FINISHES TO MATCH EXISTING.
- F. PATCH AND REPAIR AND REFINISH ALL WOOD FLOORINGS TO REMAIN.
- G. PROVIDE DUR-O-ROC UNDERLAYMENT FOR CERAMIC TILE (C.T.) FINISHES.
- H. DIMENSIONS ON PLANS ARE FIELD MEASUREMENTS TAKEN FROM THE SITE AND SHOULD BE VERIFIED BY CONTRACTOR.

- 1. CLEAN CHIMNEYFLUE, RESTORE AND SEAL.
- 2. PROVIDE CRAFT FACED R-30 BATT INSULATION IN CEILING OF ATTIC SPACE.
- 3. REFINISH EXISTING STAIRS, RESTORE HANDRAILS, BALUSTERS, NEWEL POSTS, ETC..
- 4. RESTORE WINDOWS, TRIM, SHUTTERS, ETC. RE-CAULK AND SEAL. SHUTTERS ON GREEK REVIVAL BUILDING ONLY.



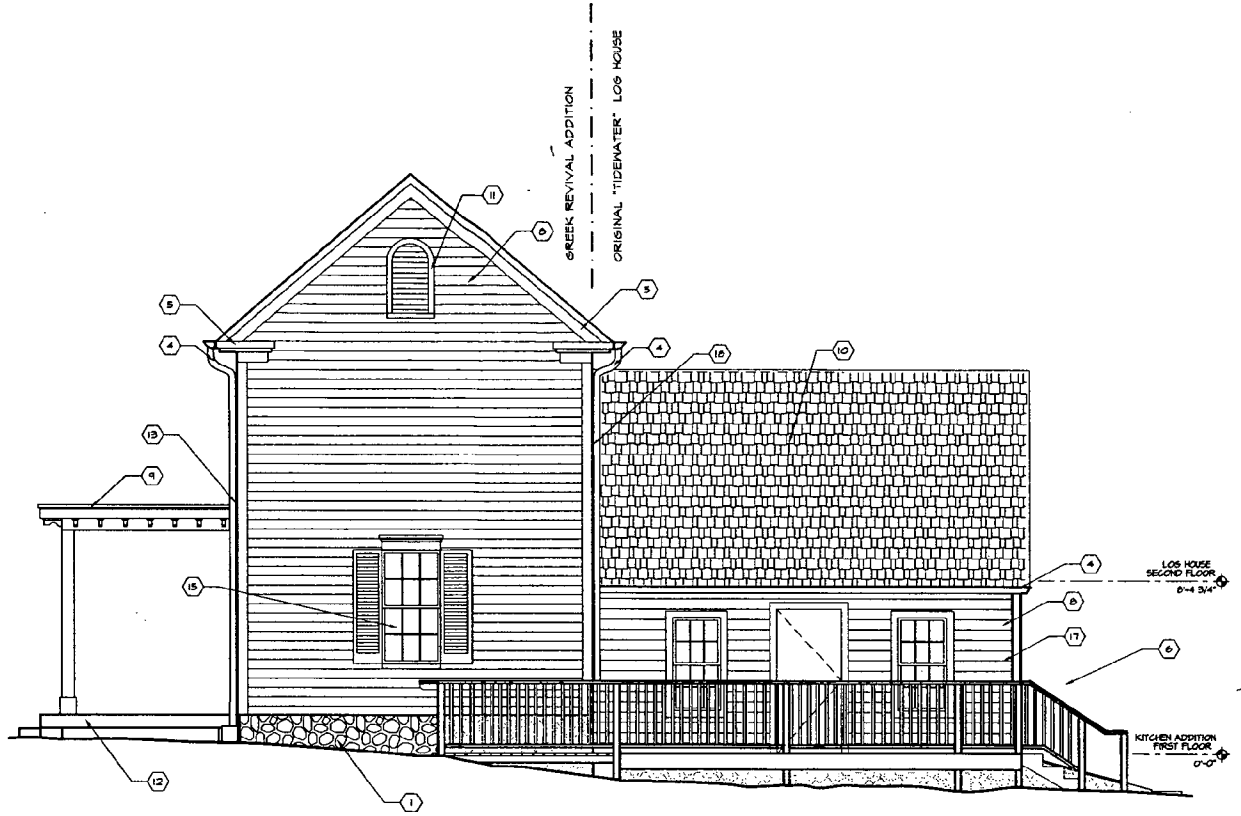
5 Legend  
A2.0.2 SCALE: NONE

3 New Construction Plan General Notes  
A2.0.2 SCALE: NONE

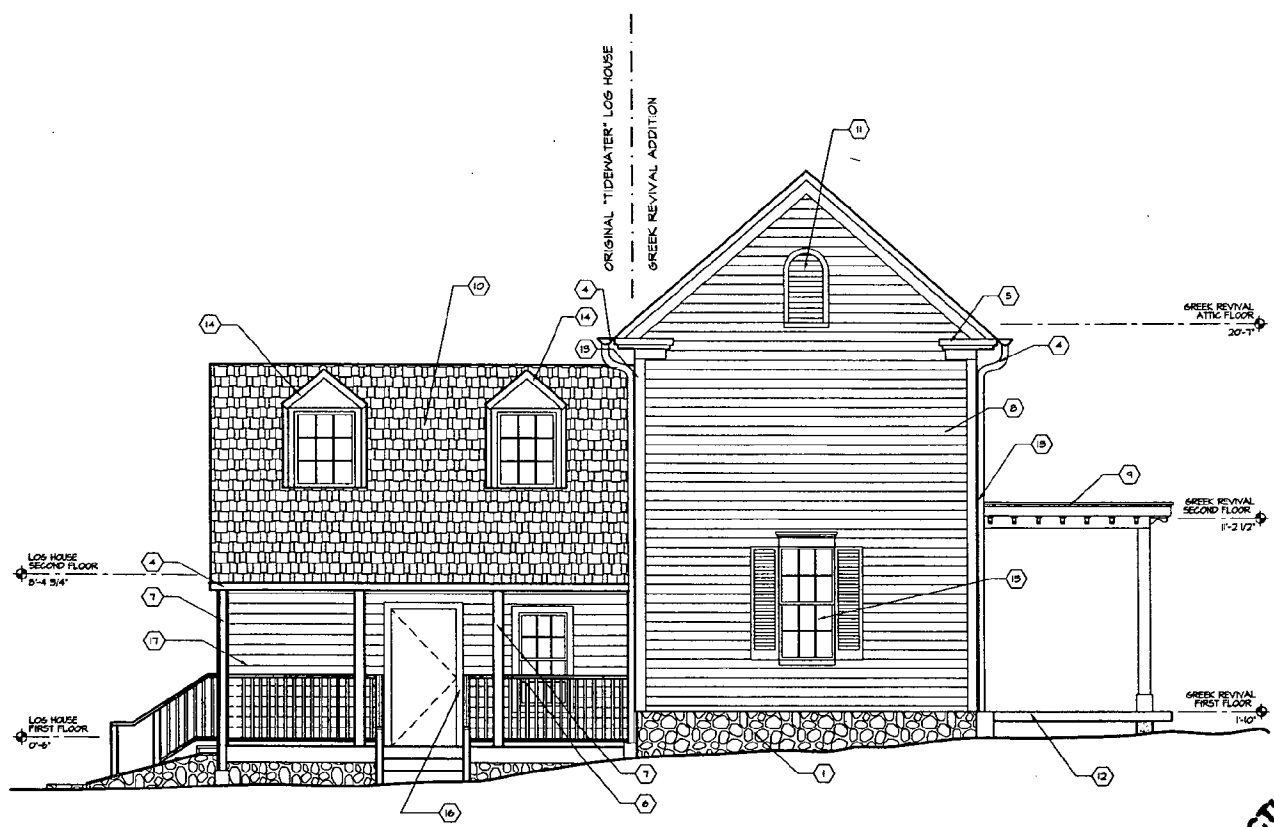
4 New Construction Plan Keyed Notes  
A2.0.2 SCALE: NONE

38

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**1**  
A3.0.1  
New Construction North Elevation  
SCALE: 1/4" = 1'-0"



**2**  
A3.0.1  
New Construction South Elevation  
SCALE: 1/4" = 1'-0"

- 3**  
A3.0.1  
New Construction Elevation General Notes:  
SCALE: NONE
- A. ALL SITE WORK INCLUDING THE EXISTING LOCATIONS OF ALL BUILDINGS SHALL BE REQUIRED TO BE REVIEWED AND APPROVED BY A MARYLAND REGISTERED ARCHITECT OR ENGINEER TO VERIFY CODE COMPLIANCE AND THE UNIFORM STANDARDS SET BY THE MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING.
  - B. WHEN APPLICABLE, CONSTRUCTION DOCUMENTS, INCLUDING SITE AND DEVELOPMENT DRAWINGS, SHALL BE SUBMITTED TO THE LOCAL GOVERNMENT AGENCY FOR REVIEW AND APPROVAL BY THEM VIA NORMAL INSPECTION AND PERMIT PROCESS.
  - C. EXISTING BUILDINGS SHALL BE CLEARED AWAY OF VEGETATION AND DEBRIS BEFORE THE EXECUTION OF NEW WORK. POWER WASH AND REMOVE ALL MOSS/ALGAE AND VEGETATION AROUND FOUNDATION PERIMETERS OF ALL EXISTING STRUCTURES.
  - D. PROVIDE NEW STORM WINDOWS WITH INSUL. GLASS IN ALL EXISTING EXTERIOR WINDOWS. PROVIDE NEW SHUTTERS AS REQUIRED TO MATCH EXISTING.
  - E. REMOVE ALL SURFACE MOUNTED, ABANDONED UTILITY LINES. REFER TO ELECTRICAL DRAWINGS FOR NEW ELECTRICAL SERVICE.

- 4**  
A3.0.1  
New Construction Elevation Keyed Notes:  
SCALE: NONE
- 1. PATCH AND REPAIR EXISTING FIELDSTONE FOUNDATION AS REQUIRED.
  - 2. EXISTING ROOF STRUCTURE TO REMAIN. FIELD REPAIR ANY DAMAGED OR LEAKING AREAS. SEAL ALL ROOF PENETRATIONS TO MAKE WATER TIGHT.
  - 3. REPAIR EXISTING WINDOW AND FRAME AS REQUIRED. REMOVE UNSALVAGEABLE MATERIALS AND RESTORE TO ORIGINAL CONDITION.
  - 4. GALVANIZED, "HALF-ROUND", GUTTERS WITH DOWNSPOUTS.
  - 5. REPAIR DETERIORATED WOOD TRIM AND STRUCTURE AS REQUIRED TO RESTORE TO ORIGINAL CONDITION. SCRAPE AND PAINT AREAS TO MATCH EXISTING FINISHES.
  - 6. NEW P.T. WOOD DECK, SEE DRAWING A6.0.1
  - 7. NEW PAINTED WOOD COLUMN AND RECONSTRUCTED STRUCTURE SYSTEM FOR EXISTING ROOF.
  - 8. EXISTING DETERIORATED AREAS OF WOOD SIDING TO BE PATCHED AND REPLACED AS REQUIRED. RESTORED AREAS TO MATCH EXISTING SURFACES.
  - 9. RECONSTRUCT PORTICO TO ORIGINAL CONDITION. REMOVE UNSALVAGEABLE MATERIALS AND REPLACE. PROVIDE NEW ROOF TO MATCH EXISTING SURFACES.
  - 10. NEW CEDAR SHAKE ROOF.
  - 11. NEW LOUVERED WINDOW ASSEMBLY TO FIT INTO EXISTING OPENINGS. REFER TO ELECTRICAL DRAWINGS FOR VENTILATION FAN REQUIREMENTS.
  - 12. NEW PORTICO FOUNDATION, SEE DRAWING S/A6.0.1
  - 13. PROVIDE NEW METAL FLASHING AS REQUIRED.
  - 14. RESTORE DORMER WINDOWS AND TRIM.
  - 15. RESTORE WINDOWS, TRIM, SHUTTERS, ETC. RE-CALK AND SEAL. SHUTTERS ON GREEK REVIVAL ADDITION ONLY.
  - 16. PROVIDE HISTORICAL PERIOD EXTERIOR DOOR WITH SECURITY LOCKSET AND HARDWARE.
  - 17. RESTORE AND RE-CHINK LOG STRUCTURE.
  - 18. NEW STEP FLASHING.

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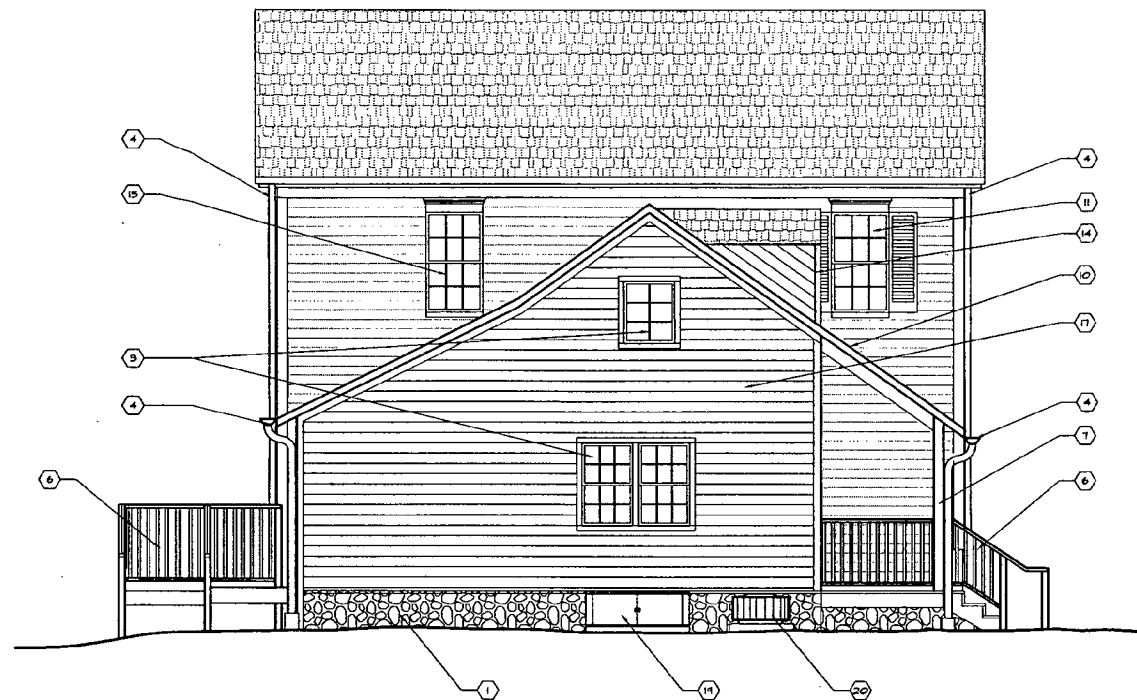
MONEYWORTH FARMHOUSE  
WHELAN LANE  
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SHEET TITLE  
NEW CONSTRUCTION  
NORTH AND SOUTH  
ELEVATIONS

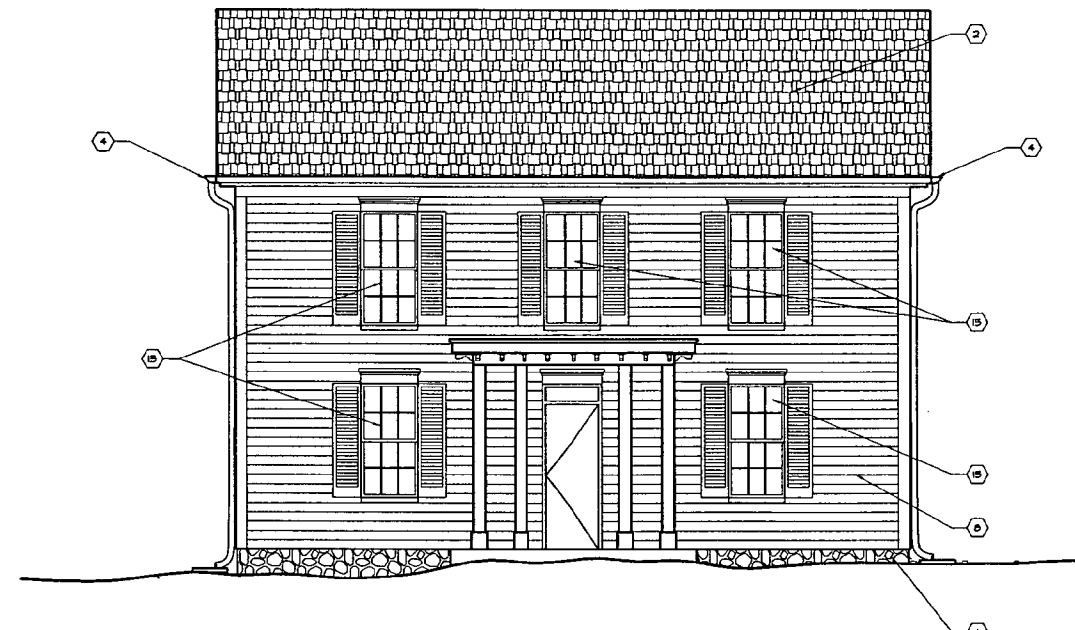
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DWG NO.

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**1** New Construction East Elevation  
A3.0.2 SCALE: 1/4" = 1'-0"



**2** New Construction West Elevation  
A3.0.2 SCALE: 1/4" = 1'-0"

- A. ALL SITE WORK INCLUDING THE EXISTING LOCATIONS OF ALL BUILDINGS SHALL BE REQUIRED TO BE REVIEWED AND APPROVED BY A MARYLAND REGISTERED ARCHITECT OR ENGINEER TO VERIFY CODE COMPLIANCE AND THE UNIFORM STANDARDS SET BY THE MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING.
- B. WHEN APPLICABLE CONSTRUCTION DOCUMENTS, INCLUDING SITE AND DEVELOPMENT DRAWINGS, SHALL BE SUBMITTED TO THE LOCAL GOVERNMENT AGENCY FOR REVIEW AND APPROVAL BY THEM VIA NORMAL INSPECTION AND PERMIT PROCESS.
- C. EXISTING BUILDINGS SHALL BE CLEANED AWAY OF VEGETATION AND DEBRIS BEFORE THE EXECUTION OF NEW WORK. POWER WASH AND REMOVE ALL MOSS/ALGAE AND VEGETATION AROUND FOUNDATION PERIMETERS OF ALL EXISTING STRUCTURES.
- B. PROVIDE NEW STORM WINDOWS WITH INSUL. GLASS IN ALL EXISTING EXTERIOR WINDOWS. PROVIDE NEW SHUTTERS AS REQUIRED TO MATCH EXISTING.
- C. REMOVE ALL SURFACE MOUNTED, ABANDONED UTILITY LINES. REFER TO ELECTRICAL DRAWINGS FOR NEW ELECTRICAL SERVICE.

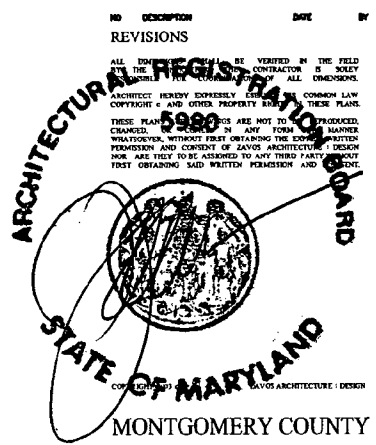
**3** New Construction Elevation General Notes:  
A3.0.2 SCALE: NONE

- 1. PATCH AND REPAIR EXISTING STONE MASONRY.
- 2. EXISTING ROOF STRUCTURE TO REMAIN. FIELD REPAIR ANY DAMAGED OR LEAKING AREAS. SEAL ALL ROOF PENETRATIONS TO MAKE WATER TIGHT.
- 3. REPAIR EXISTING WINDOW AND FRAME AS REQUIRED. REMOVE UNSALVAGEABLE MATERIALS AND REPLACE.
- 4. GALVANIZED, "HALF-ROUND", SUTTERS WITH DOWNSPOUTS.
- 5. REPLACE DETERIORATED WOOD TRIM AND STRUCTURE. SCRAPE AND PAINT.
- 6. NEW P.T. WOOD DECK, SEE DRAWING A6.0.1
- 7. NEW PAINTED WOOD COLUMN AND RECONSTRUCTED STRUCTURE SYSTEM FOR EXISTING ROOF.
- 8. EXISTING WOOD SIDING TO BE PATCHED AND REPLACED TO MATCH RESTORED SURFACES AS NECESSARY.
- 9. RECONSTRUCT PORTICO TO ORIGINAL CONDITION. REMOVE UNSALVAGEABLE MATERIALS AND REPLACE. PROVIDE NEW ROOF TO MATCH EXISTING SURFACES.
- 10. NEW CEDAR SHAKE ROOF.
- 11. NEW FIXED WINDOW TO FIT INTO EXISTING OPENINGS.
- 12. NEW PORTICO FOUNDATION, SEE DRAWING 5/A6.0.1
- 13. PROVIDE METAL FLASHING AS REQUIRED.
- 14. RESTORE DORMER WINDOWS AND TRIM.
- 15. RESTORE WINDOWS, TRIM, SHUTTERS, ETC. RE-CAULK AND SEAL. GREEK REVIVAL BUILDING ONLY.
- 16. PROVIDE "PERIOD STYLE" EXTERIOR DOOR WITH SECURITY LOCKSET AND HARDWARE.
- 17. RESTORE AND RE-CHINK LOG STRUCTURE.
- 18. NEW STEP FLASHING.
- 19. PROVIDE NEW BASEMENT BULKHEAD DOOR BY BILCO. REFER TO MANUFACTURERS SPECIFICATIONS.
- 20. NEW HEAT PUMP ON 6" CONC. SLAB. REFER TO MECHANICAL DRAWINGS.

**4** New Construction Elevation Keyed Notes:  
A3.0.2 SCALE: NONE

PRINTS ISSUED

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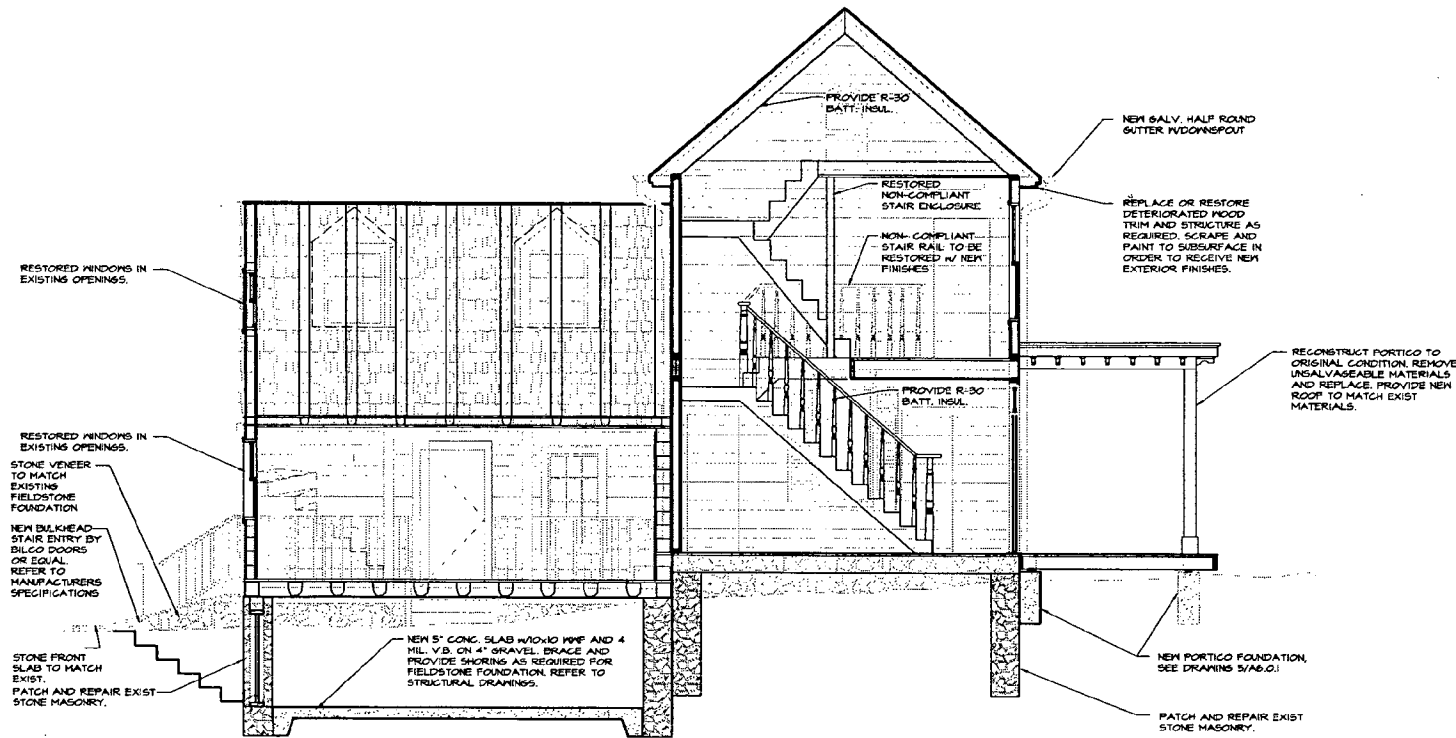
SHEET TITLE  
NEW CONSTRUCTION  
EAST AND WEST ELEVATIONS

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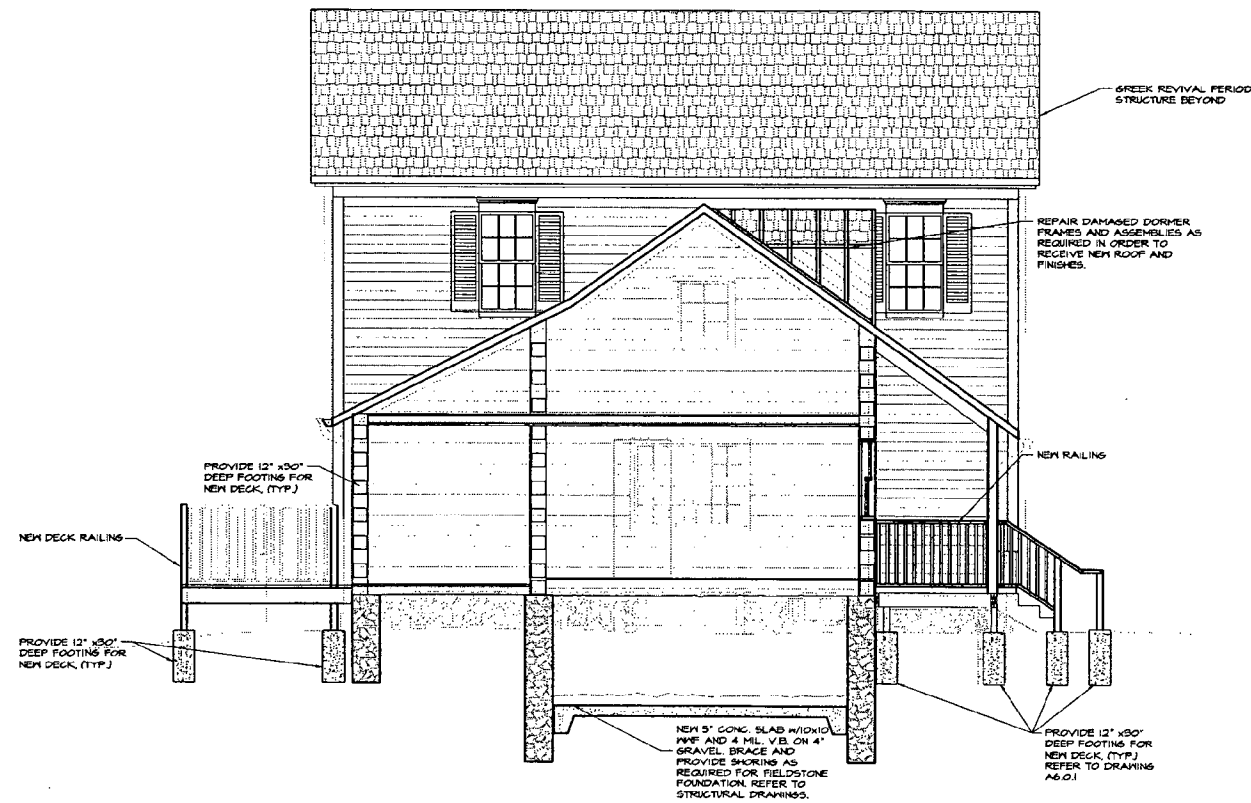
**A3.0.2**

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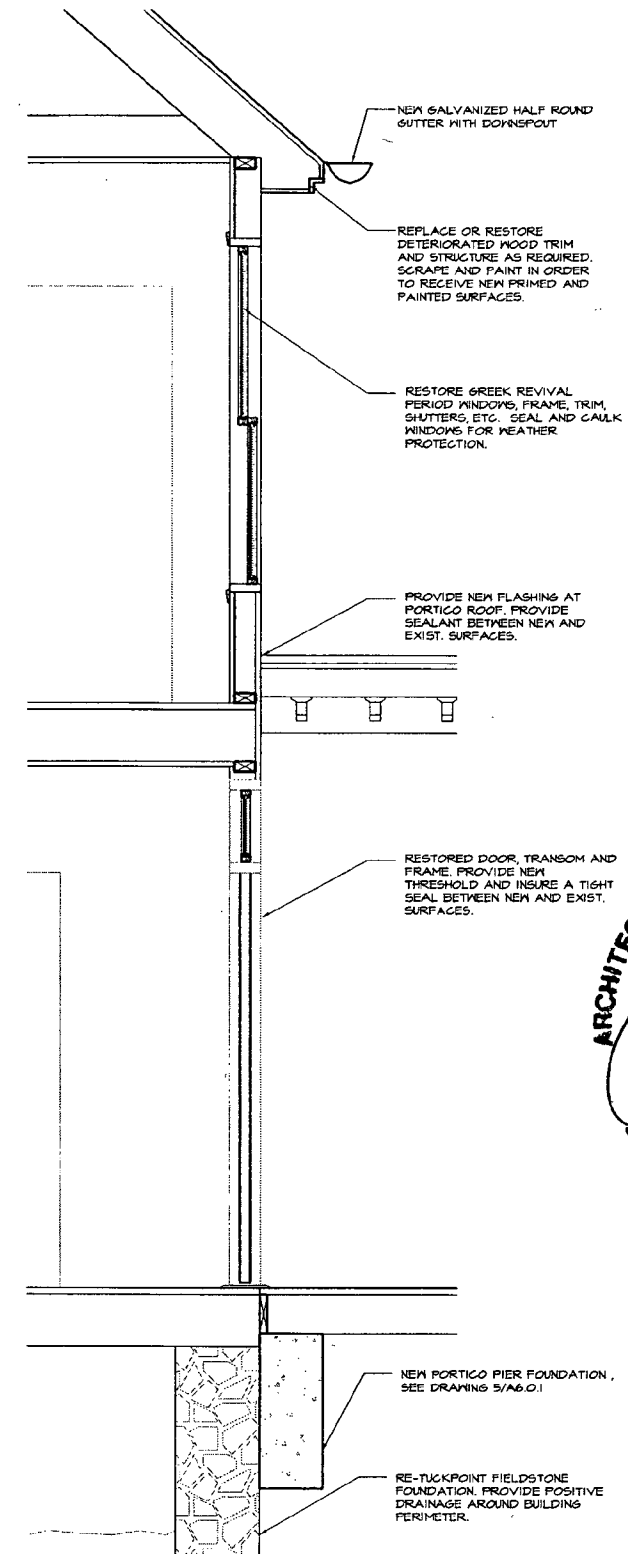
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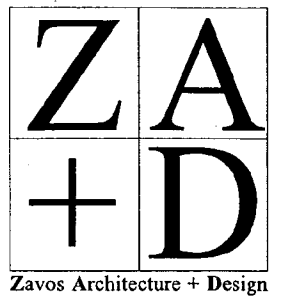
1 Building Cross Section  
A401 SCALE: 1/2" = 1'-0"



2 Building Cross Section  
A401 SCALE: 1/2" = 1'-0"



3 Exterior Wall Section  
A401 SCALE: 3/4" = 1'-0"

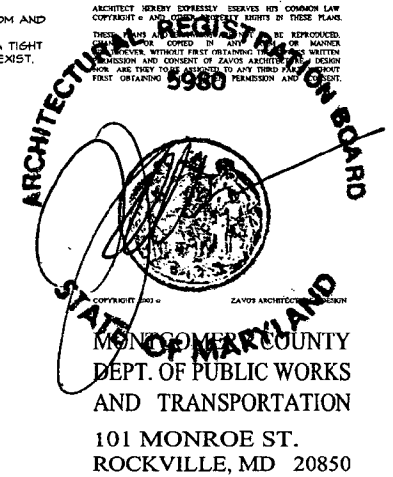


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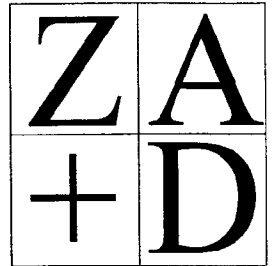
MONEYSWORTH FARMHOUSE  
WHELAN LANE  
CLARKSBURG, MD 20841

SHEET TITLE  
NEW CONSTRUCTION  
BUILDING SECTIONS  
EXTERIOR WALL SECTIONS

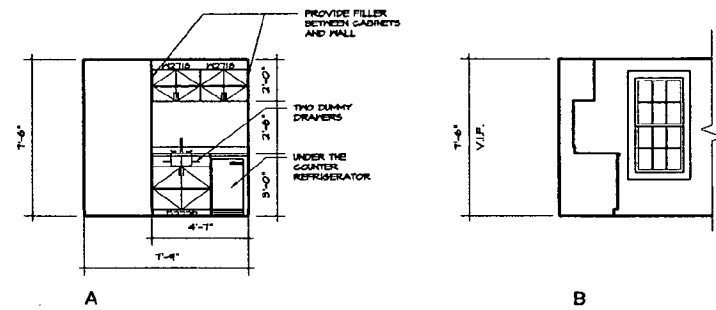
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JOB NO: 202-2641  
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SCALE: AS NOTED  
DATE: 12/14/11  
DWG. NO. A4.0.1

P. 301.698.0020  
F. 301.698.0920  
323 WEST PATRICK ST.  
FREDERICK, MD 21701

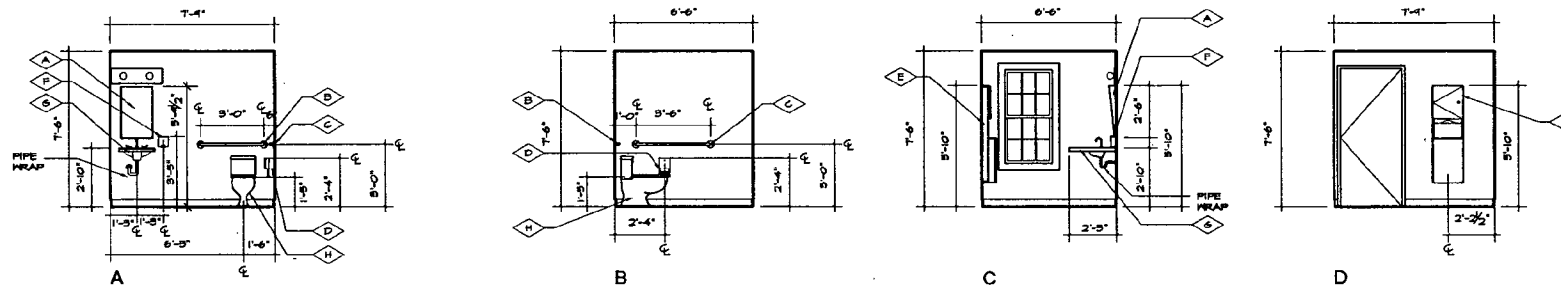
41



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**1 Kitchen Elevations**  
SCALE: 1/4" = 1'-0"



**2 Bathroom Elevations**  
SCALE: 1/4" = 1'-0"

**TOILET ROOM ACCESSORY SCHEDULE**

ACCESSORIES INDICATED ARE BOBRICK WASHROOM EQUIPMENT, INC. FOR ESTABLISHING STANDARDS OF ACCESSORIES ONLY. EQUAL PRODUCTS BY OTHER MANUFACTURERS ARE ACCEPTABLE.

| Item   | Model      | Mounting Height                    |
|--|------------|------------------------------------|
| A 18" X 30" MIRROR   | B-243-1B30 | 64-1/2" A.F.F.                     |
| B 36" GRAB BAR   | B-6836     | 36" A.F.F. TO CL OF GRAB BAR       |
| C 42" GRAB BAR   | B-6842     | 36" A.F.F. TO CL OF GRAB BAR       |
| D SURFACE MOUNTED TOILET PAPER HOLDER                        | B-4200     | 28" A.F.F.                         |
| E SURFACE MOUNTED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE | B-4344     | 70" A.F.F.                         |
| F SOAP DISPENSER   | B-40       | 41" A.F.F.                         |
| G AMERICAN STANDARD LAVATORY                                 | 4140.013   | TOP OF LAVATORY AT 34" MAX. A.F.F. |
| H AMERICAN STANDARD TOILET                                   | 2160.162   | SEAT AT 17" MIN. A.F.F.            |

**TOILET ROOM ACCESSORY NOTES**

1. PROVIDE ADEQUATE BACK UP BEHIND ALL ACCESSORIES.
2. MOUNTING HEIGHTS INDICATED ARE FROM FINISH FLOOR TO DISPENSING MECHANISM, START BUTTON, COIN SLOT OR DISPENSER OPENINGS. FOR MIRRORS THE HEIGHT IS TO THE BOTTOM OF THE REFLECTIVE SURFACE.
3. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL ACCESSORIES. CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ALL CONFLICTS.

**3 ACCESSORY SCHEDULE AND NOTES**  
SCALE: NONE

**PRINTS ISSUED**

| NO. | DESCRIPTION | DATE     | BY |
|-----|-------------|----------|----|
| 1   | REVISION    | 10-02-03 | AC |
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MONTGOMERY COUNTY  
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WHELAN LANE  
CLARKSBURG, MD 20841

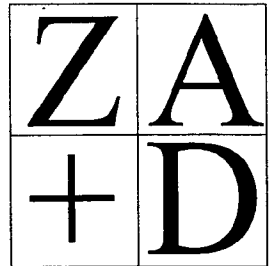
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INTERIOR ELEVATIONS

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| CHECKED  | AC         |
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| ISSUED   | 10-02-03   |
| SCALE    | AS NOTED   |
| CAD FILE | 100_A501   |

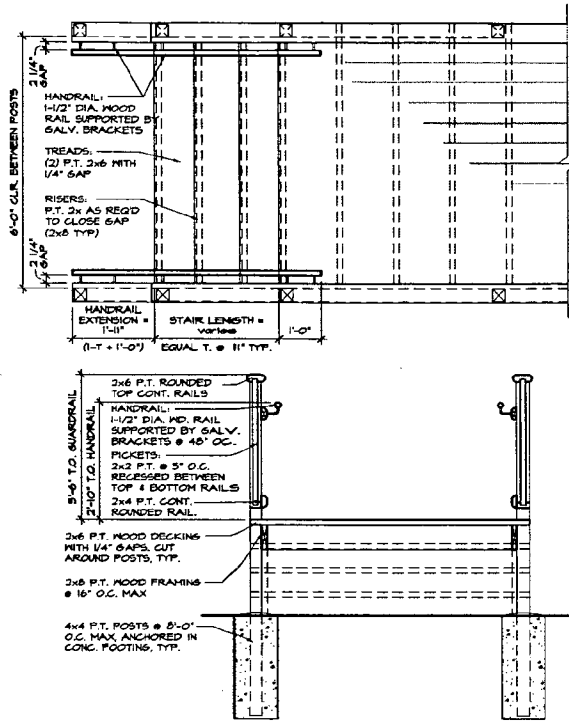
**A5.0.1**

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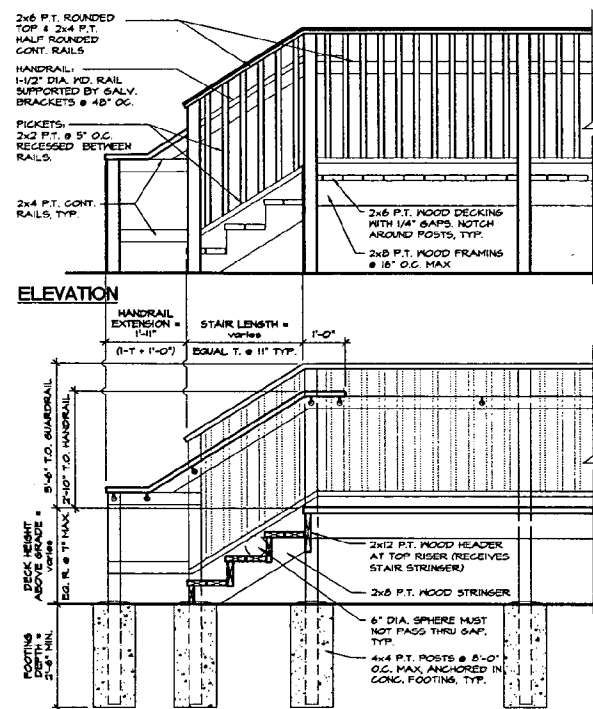


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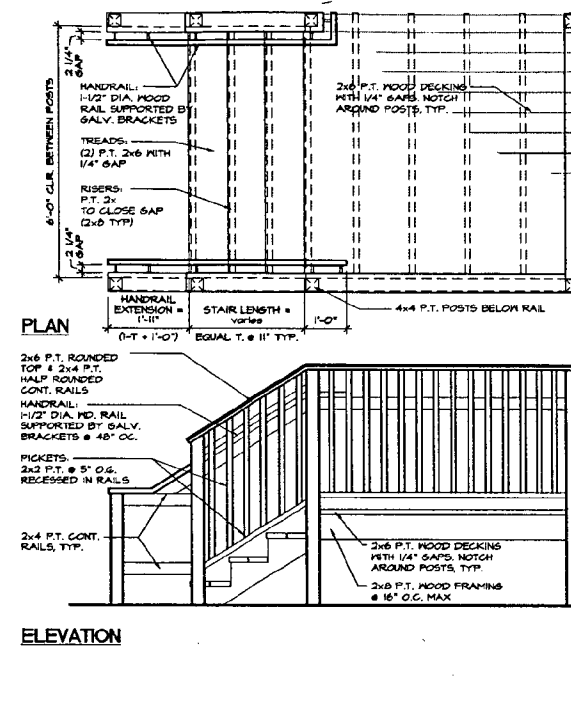
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1 WOOD STAIR PLAN & SECTION  
SCALE: 1/2" = 1'-0"



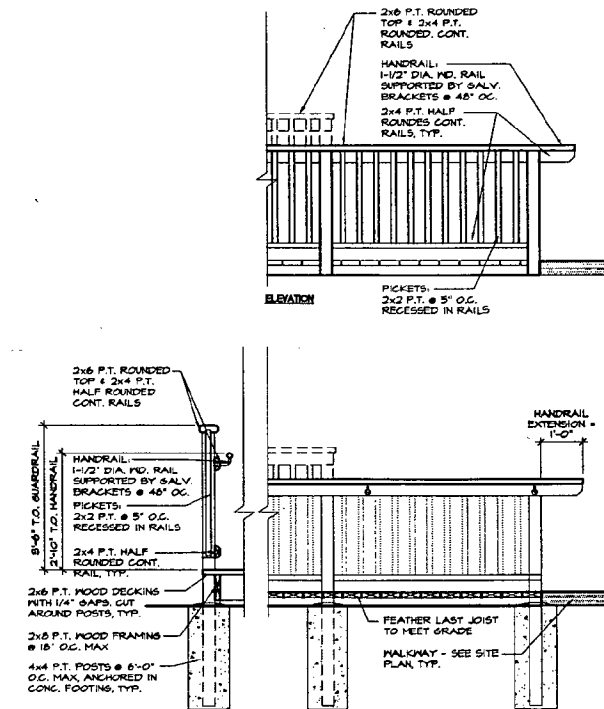
SEE NOTES ON 6/A6.0.1 FOR INFORMATION REGARDING TYPICAL WOOD CONSTRUCTION.

2 WOOD STAIR ELEV & SECTION  
SCALE: 1/2" = 1'-0"



SEE NOTES ON 6/A6.0.1 FOR INFORMATION REGARDING TYPICAL WOOD CONSTRUCTION.

3 WOOD STAIR PLAN & ELEVATION  
SCALE: 1/2" = 1'-0"



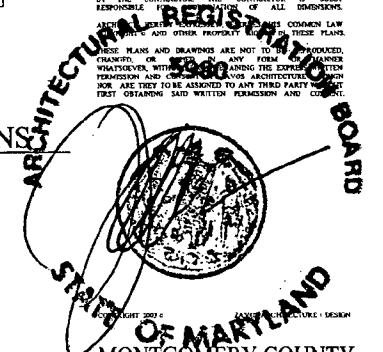
SEE NOTES ON 6/A6.0.1 FOR INFORMATION REGARDING TYPICAL WOOD CONSTRUCTION.

4 WOOD RAMP ELEV & SECTIONS  
SCALE: 1/2" = 1'-0"

PRINTS ISSUED

NO DESCRIPTION DATE BY REVISIONS

ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS. ANY ERRORS OR OMISSIONS SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. THESE PLANS AND SPECIFICATIONS ARE NOT TO BE REPRODUCED, COPIED, CHANGED, OR ALTERED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION AND ARCHITECTURAL FEE. ANY SUCH REPRODUCTION OR ALTERATION SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO ZAVOS ARCHITECTURE + DESIGN. ANY QUESTIONS REGARDING THESE PLANS SHOULD BE DIRECTED TO THE ARCHITECT AT THE CONTACT INFORMATION LISTED BELOW.



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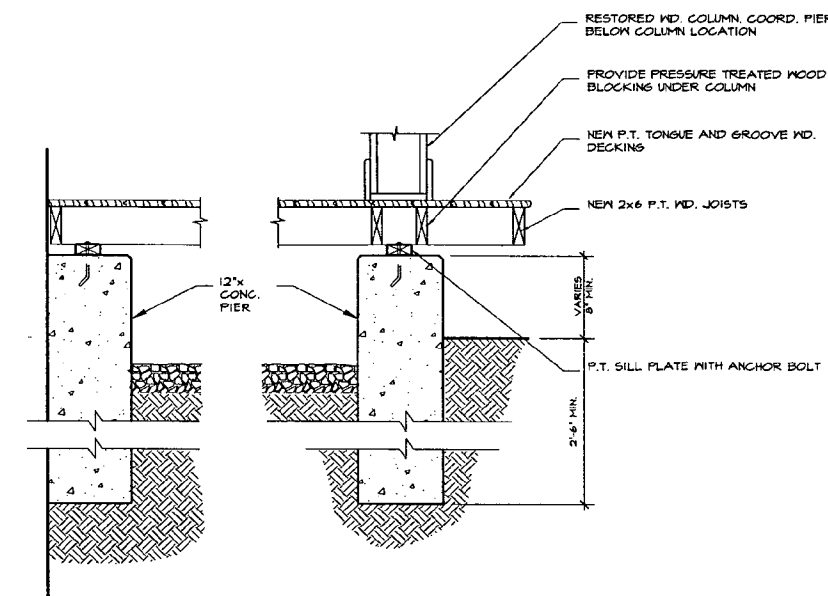
MONEYSWORTH FARMHOUSE  
WHELAN LANE  
CLARKSBURG, MD 20841

SHEET TITLE  
NEW CONSTRUCTION  
EXTERIOR DETAILS

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JOB NO.: 2025-20-01  
DATED: [Date]  
SCALE: AS NOTED  
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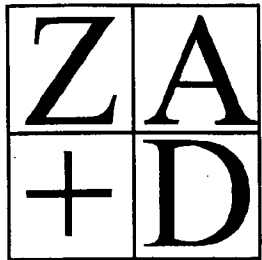
5 PIER SECTION AT PORTICO  
SCALE: 1" = 1'-0"

6 TYP. WOOD CONSTRUCTION GENERAL NOTES  
SCALE: 1/2" = 1'-0"

- A. ALL WORK TO BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF ALL APPLICABLE CODES (INCLUDING I.B.C. 2000, NFPA 1971, ADAAG 1991, NEC) AND ALL OTHER REGULATIONS OF MONTGOMERY COUNTY AND STATE OF MARYLAND.
- B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS AND CERTIFICATES OF INSPECTION REQUIRED TO COMPLETE THE WORK.
- C. CONTRACTOR SHALL CHECK THE SITE, AND REVIEW WITH "MISS UTILITY" (1-800-251-7777) BEFORE DRILLING OR EXCAVATING. ANY DISTURBANCES TO SITE SHALL BE RESTORED TO SIMILAR ADJACENT CONDITIONS WITH LIKE MATERIAL, AS REQ'D.
- UNIT PLACEMENT
  - D. SITE CONDITIONS AND GRADES WILL VARY. HEIGHT OF PIERS, DISTANCE OF DECK ABOVE GRADE, AND NUMBER OF RISERS MUST BE FIELD VERIFIED AT SITE PRIOR TO PLACEMENT OF UNITS, TYP.
  - E. PIER FOOTINGS LAYOUT AND CONSTRUCTION, DECK SET-UP, ANCHORS & STRAPS ALL TO BE IN STRICT ACCORDANCE WITH THE SPECIFIC MANUFACTURER'S REQUIREMENTS FOR UNIT SIZES IN USE AT SITE.
  - F. SOIL BEARING CAPACITY ASSUMED TO BE 3500 PSI, MIN. & FREE OF ORGANIC MATERIALS. IF SOIL OF THIS TYPE IS NOT ENCOUNTERED, NOTIFY THE OWNER OR THE ARCHITECT BEFORE PROCEEDING.
  - G. ALL CONCRETE SHALL HAVE 3000 PSI 28-DAY STRENGTH OR BETTER, TYP.
- WOOD CONSTRUCTION
  - H. ALL HARDWARE (NAILS, BOLTS, STRAPS, TIES, ETC.) SHALL BE GALVANIZED.
  - I. ALL EXTERIOR WOOD LUMBER AND FRAMING SHALL BE PRESSURE TREATED (P.T.) NUMBER 2 OR BETTER.
  - J. ALL CONNECTIONS FROM 2" FRAMING MEMBERS TO 4x4 POSTS TO BE WITH (2) 3/8" LAG BOLTS, TYP.
  - K. ALL WOOD DECKING ON DECKS, RAMPS, STAIRS TO BE LAID TRUE, FLUSH AND EVEN, AND FREE OF TRIPPING CONDITIONS. ALL WOOD RAILS TO BE FREE OF SPLINTERS AND SANDED SMOOTH.
  - L. PLATFORM LANDING LAYS LAID ADJACENT TO UNIT DOORS ARE TO BE SET 1/2" LOWER THAN FINISH FLOOR OF UNIT, WITH BEVELED DOOR THRESHOLDS (2:1) IN ACCORDANCE WITH ADA REGS.

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**ELECTRICAL GENERAL NOTES:**

- IT IS THE INTENT OF THESE DRAWINGS AND OTHER RELATED DOCUMENTS TO PROVIDE A COMPLETE AND FUNCTIONING ELECTRICAL SYSTEM. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIAL, TEST AND OTHER SERVICES AS MAY BE NECESSARY TO ACHIEVE THIS PROJECT. THE CONTRACTOR SHALL ACKNOWLEDGE ACCEPTANCE OF THE PLANS AS AN ADEQUATE DEFINITION OF THE SCOPE OF WORK AND EXTRA COST CLAIMS BASED ON DISCREPANCIES ON THE PLANS WILL NOT BE CONSIDERED.
- ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC), U. AND ALL LOCAL CODES HAVING JURISDICTION.
- THE ELECTRICAL CONTRACTOR SHALL OBTAIN ALL PERMITS AND PAY SUCH FEES AS MAY BE NECESSARY FOR INSPECTIONS, TESTS, AND OTHER SERVICES AS MAY BE REQUIRED FOR THE COMPLETION OF HIS WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR TO COORDINATE EXACT REQUIREMENTS FOR PROVISION SERVICE OF LOCAL UTILITIES FOR POWER AND TELEPHONE.
- CONTRACTOR SHALL VISIT THE SITE AND EXAMINE CONDITIONS OF THE PREMISES AND THE CHARACTER AND EXTENT OF WORK REQUIRED PRIOR TO SUBMISSION OF BIDS. ANY DIFFICULTIES IN COMPLYING WITH THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE BIDDING.
- ELECTRICAL PLANS ARE DIAGNOMATIC. DO NOT SCALE DRAWINGS.
- CONSULT PLANS OF ALL OTHER TRADES FOR COORDINATION AND FOR RELATED AND ADJOINING WORK.
- CONSULT ARCHITECTURAL, STRUCTURAL PLANS AND DETAILS FOR CONSTRUCTION TYPE, HEADROOM, ROOM FINISHES, BEILINGS, ETC.
- CIRCUIT NUMBERS ARE FOR IDENTIFICATION PURPOSES ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTLY PHASING THE CIRCUITS IN THE PANEL AND BALANCE THE LOAD ON THE PHASES UNDER NORMAL OPERATING CONDITIONS.
- SHOP DRAWINGS FOR ALL ELECTRICAL EQUIPMENT, FIXTURES, DEVICES AND MATERIALS SHALL BE SUBMITTED TO THE ARCHITECT AND/OR ENGINEER FOR APPROVAL BEFORE INSTALLATION.
- CONTRACTOR SHALL VERIFY WIRE SIZES, C/S AND FUSE RATINGS FOR ALL HVAC EQUIPMENT, AND BRING TO THE ATTENTION OF THE ARCHITECT ANY DISCREPANCIES AFFECTING THE WORK PRIOR TO PROCEEDING.
- ALL WORK SHALL BE DONE AT SUCH TIMES AND IN SUCH A MANNER AS WILL LEAST INTERFERE WITH THE MAINTENANCE AND OPERATION OF ALL RELATED OR AFFECTED SYSTEMS. ALL POWER OUTAGES, FIRE ALARM SHUT DOWNS, ETC. SHALL BE COORDINATED WITH THE OWNER.
- CONTRACTOR SHALL VERIFY THAT ALL DOOR SWINGS ARE CORRECT BEFORE INSTALLING LIGHT SWITCH OUTLETS.
- HORSEPOWER RATINGS INDICATED ON DRAWINGS MAY DIFFER FROM ACTUAL EQUIPMENT FURNISHED. IF FURNISHED EQUIPMENT DIFFERS FROM RATINGS ON DRAWINGS, CONTRACTOR SHALL NOTIFY ARCHITECT/ENGINEER FOR APPROPRIATE ACTION TO BE TAKEN.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER SIZING OF ALL MOTOR OVERLOAD DEVICES (HEATERS) IN STARTERS BASED ON ACTUAL NAMEPLATE RATINGS ON THE MOTORS BEING INSTALLED.
- CONTRACTOR SHALL NOTE U.L. LABELS ON PACKAGED TYPE MECHANICAL EQUIPMENT. IF U.L. LABELS OR MECHANICAL EQUIPMENT TO ACTUALLY BE INSTALLED CALLS FOR THE OVERCURRENT PROTECTIVE DEVICES TO BE FUSES, THE ELECTRICAL CONTRACTOR SHALL PROVIDE A FUSED DISCONNECT SWITCH WITH PROPER SIZE FUSES AT THE SWITCH LOCATION INDICATED ON DRAWINGS AT NO ADDITIONAL CHARGE TO THE OWNER.
- THE ELECTRICAL CONTRACTOR SHALL VERIFY THE TYPE OF CEILING SYSTEM WITH THE GENERAL CONTRACTOR OR CEILING CONTRACTOR TO INSURE THAT ALL RECESSED LIGHTING FIXTURES ARE COMPATIBLE WITH THE CEILING SYSTEM BEING INSTALLED. LIGHTING FIXTURES SHOULD NOT BE ORDERED UNTIL TYPE OF CEILING HAS BEEN VERIFIED.
- THE CORRECT NUMBER OF WIRES MAY NOT BE INDICATED FOR ALL CIRCUITS. ONLY THOSE WHERE CLARIFICATION IS NECESSARY. THE ELECTRICAL CONTRACTOR SHALL PROVIDE ALL WIRES NECESSARY FOR THE PROPER FUNCTION OF THE SYSTEM WHETHER INDICATED ON DRAWINGS OR NOT.
- ALL CIRCUITS 120/240 VOLT OVER 100 FEET FROM PANEL TO FIRST OUTLET SHALL HAVE CONDUCTORS ONE SIZE LARGER THAN NORMALLY REQUIRED WHETHER INDICATED ON PANEL SCHEDULE OR NOT.
- ALL CONDUCTORS, RACEWAYS AND CABLES SHALL BE CONCEALED IN CEILING OR WALL UNLESS INDICATED OTHERWISE.
- ALL WIRE/CABLE SHALL BE COPPER AND ALL WIRE SIZES ARE BASED ON COPPER CONDUCTORS UNLESS INDICATED OTHERWISE. ALL WIRE AND CABLE SHALL BE COPPER WITH THRU/THRU INSULATION THE MINIMUM WIRE SIZE SHALL BE #14 AWG UNLESS OTHERWISE NOTED.
- THE LIGHTING FIXTURES SHALL BE FURNISHED AND INSTALLED COMPLETE WITH ALL ACCESSORIES, INCLUDING LAMPS, BY THE ELECTRICAL CONTRACTOR.
- SYMBOLS SHOWN ON THIS SHEET ARE STANDARD SYMBOLS AND MAY NOT NECESSARILY ALL BE APPLICABLE TO THIS PROJECT.
- THE CONTRACTOR SHALL GUARANTEE ALL HIS WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE BY OWNER.
- CONDUCTORS SHALL BE INSTALLED CONTINUOUS BETWEEN DEVICES, WITH SPLICES LOCATED ONLY IN JUNCTION BOXES OR IN CABINETS. CONDUCTORS SHALL BE OF SUFFICIENT LENGTH TO REACH THE FARTHEST TERMINAL IN PANELS. A MINIMUM 6" LOOPS SHALL REMAIN WHERE CONNECTIONS OR TAPS ARE TO BE MADE IN BRANCH CIRCUIT WIRING.
- PROVIDE UPDATED PRINTED PANEL DIRECTORY IN EACH PANEL AFTER COMPLETION OF WORK.
- ALL ELECTRICAL PANEL SHALL BE FACTORY FINISHED WITH ENAMEL COLOR.
- ELECTRICAL CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS AND ALL MANUFACTURERS DATA AND WARRANTY LITERATURE AT THE COMPLETION OF THE CONTRACT.
- THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL MOUNTING HEIGHTS FOR SWITCHES, RECEPTACLES, WALL MOUNTED LIGHT FIXTURES AND TELEPHONE OUTLETS BY THE USE OF THE ARCHITECTURAL AND ENGINEERING DRAWINGS. SHOULD ANY CONFLICTS BECOME APPARENT THE CONTRACTOR SHALL REQUEST CLARIFICATION PRIOR TO INSTALLATION. IF THE WORK IS NOT COORDINATED ANY REMEDIAL WORK SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
- WHENEVER NON UL LISTED LIGHTING FIXTURES ARE INSTALLED IN FIRE RATED FLOOR/CEILING ASSEMBLIES, THE GENERAL CONTRACTOR SHALL SUPPLY AND INSTALL DRYWALL, ACoustICAL MATERIALS, Batts OR BLANKETS AS REQUIRED TO SATISFY THE UL DESIGN SPECIFIED BY THE ARCHITECT.

**SYMBOL LIST**

- FLUORESCENT LIGHTING FIXTURE
- ◆○ INCANDESCENT, FLUORESCENT OR HID LIGHTING FIXTURE, CLG OR WALL MTD.
- INCANDESCENT OR FLUORESCENT RECESSED LIGHTING FIXTURE
- EXIT LIGHT WITH EMERGENCY BATTERY BACK-UP AND LIGHTS
- UNDER CABINET LIGHTING FIXTURE, LENGTH DETERMINED BY LOCATION.
- S SINGLE POLE TOGGLE SWITCH, 120V, 15 OR 20 AMP +40° A.F.F.
- Si THREE WAY SWITCH 120V 15 OR 20 AMP, +40° A.F.F.
- ◆ DUPLEX RECEPTACLE, 120V, 15 OR 20 AMP +40° A.F.F.
- ◆ DUPLEX RECEPTACLE ABOVE COUNTER 120V, 15 OR 20 AMP +44° A.F.F.
- ◆ DUPLEX RECEPTACLE W/ BUILT IN GROUND FAULT PROTECTION 15 OR 20 AMP, 120V, +44° U.O.M.
- ◆ DOUBLE DUPLEX RECEPTACLE 120V, 15 OR 20 AMP +40° A.F.F. U.O.M.
- ◆ DUPLEX RECEPT. W/ BUILT IN GROUND FAULT PROTECTION & WEATHER PROOF COVER, 15 OR 20 AMP, 120V, +44° U.O.M.
- ◆ DUPLEX RECEPTACLE HALF SWITCHED 120V, 15 AMP +40° A.F.F.
- ◆ RANGE RECEPTACLE, 250V, 50 AMP, 14-30R, +18° A.F.F. U.O.M.
- ◆ DRYER RECEPTACLE, 250V, 30 AMP, 14-30R, +44° A.F.F. U.O.M.
- ▷ TELEPHONE OUTLET +60° A.F.F. (3-FOUR PAIR, 5-SINGLE PAIR) VERIFY EXACT LOCATION PRIOR TO ROUGH-IN.
- ▷ TELEPHONE OUTLET +18° A.F.F. (3-FOUR PAIR, 5-SINGLE PAIR) VERIFY EXACT LOCATION PRIOR TO ROUGH-IN.
- TV OUTLET +18° A.F.F. VERIFY EXACT LOCATION PRIOR TO ROUGH-IN.
- JUNCTION BOX-SIZE AS REQUIRED.
- DISCONNECT SWITCH (FSS-FUSIBLE; NFSS-NON-FUSIBLE).
- Si MOTOR RATED SWITCH.
- ⊕ MOTOR CONNECTION
- ⊕ EXHAUST FAN CONNECTION
- ⊕ UNIT HEATER CONNECTION
- ⊕ BRANCH CIRCUIT CONCEALED IN WALL, CEILING OR CONCRETE SLAB.
- ⊕ NOMENCLATURE TO PANELSCHEDULE, ARROWS DENOTE NUMBER OF CIRCUITS, CROSS MARKS DENOTE NUMBER OF CONDUCTOR WHEN MORE THAN TWO.
- WIRING AND CONDUIT IN FLOOR / BELOW GRADE.
- ⊕ EQUIPMENT DESIGNATION, SEE SCHEDULE.
- ⊕ SMOKE DETECTOR, BATTERY BACK-UP & INTERCONNECTED
- [FAS] FIRE ALARM CONTROL PANEL
- [F] FIRE ALARM STRIKING STATION +40° A.F.F.
- 15 FIRE ALARM AUDI/VISUAL DEVICE CEILING MOUNTED OR WALL MOUNTED AT +40 A.F.F. OR 6" BELOW CEILING WHICHEVER IS LOWER - NUMBER INDICATES CAVELTA RATING
- ▽ FIRE ALARM VISUAL DEVICE WALL MOUNTED AT +40 A.F.F. OR 6" BELOW CEILING WHICHEVER IS LOWER
- A.F.F. ABOVE FINISHED FLOOR
- CF CEILING FIN
- EX EXISTING
- U.O.M. UNLESS OTHERWISE NOTED
- WP WEATHERPROOF

PRINTS ISSUED

| PERMIT SET | D/MS/MS |
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NO REVISIONS

ALL DIMENSIONS SHALL BE NOTED BY THE USER BY THE CONTRACTOR. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE CORRECTNESS OF ALL DIMENSIONS. ARCHITECT HEREBY EXPRESSLY DISCLAIMS THE CONTRACT LAW CONTRACT AND OTHER LIABILITY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, COPIED, RE-CREATED, OR ANY OTHER USE WITHOUT THE WRITTEN AND EXPLICIT APPROVAL OF ZAVOS ARCHITECTURE + DESIGN. ALL RIGHTS ARE RESERVED TO ANY THIRD PARTY/ENTITY THAT OBTAINED THE WRITTEN PERMISSION AND CONSENT.

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CLARKSBURG, MD 20841

SHEET TITLE  
SYMBOL LIST, NOTES  
& SCHEDULES

**E-01**

**LIGHTING FIXTURE SCHEDULE**

| TYPE | LOCATION                  | MANUFACTURER | CATALOG NO. | LAMPS       | MOUNTING  | VOLTS | REMARKS        |
|------|---------------------------|--------------|-------------|-------------|-----------|-------|----------------|
| A    | HALLWAY / STAIRS          | PROGRESS     | P5780-44    | 1-100W MED. | CEILING   | 120   |                |
| B    | BATH                      | PROGRESS     | P3300-44    | 3-100W MED. | WALL      | 120   | MTD. OVER SINK |
| C    | FRONT ENTRANCE            | PROGRESS     | P6880-44    | 1-100W MED. | CEILING   | 120   |                |
| D    | F. ENTRANCE / R. ENTRANCE | PROGRESS     | P6884-44    | 1-60W MED.  | WALL      | 120   |                |
| E    | EXIT                      | MCPHOLSEN    | WCV         | INCLUDED    | UNIVERSAL | 120   |                |
| F    | KITCHEN / ARCHIVES        | PROGRESS     | P3880-44    | 2-60W MED.  | CEILING   | 120   |                |
| G    | OFFICE / READING ROOM     | PROGRESS     | P3580-44    | 4-100W MED. | CEILING   | 120   |                |
| H    | MECH. RM / CLOSET         | PROGRESS     | P3400-33    | 1-60W MED.  | CEILING   | 120   |                |
| J    | BASEMENT                  | DAYRITE      | T232130     | 2-F32T8     | SURFACE   | 120   |                |
| K    | ATTICE                    | DAYRITE      | SH9232120   | 2-F32T8     | SURFACE   | 120   |                |

- ALL FLUORESCENT FIXTURES SHALL BE PROVIDED WITH ELECTRONICS BALLASTS
- ALL LIGHTING FIXTURES SHALL BE PROVIDED WITH ALL MOUNTING ACCESSORIES AS RECOMMENDED BY THE MANUFACTURER.

| CCT.  | DESCRIPTION          | PANEL 'A' 100 AMP 120/240V 1φ 3W |      |       | SURFACE MOUNT | CONNECTED LOAD |
|-------|----------------------|----------------------------------|------|-------|---------------|----------------|
|       |                      | POLES                            | TRIP | FIRME |               |                |
| 1     | APL-1                | 2                                | 30   | 100   | 10 SEC        | X              |
| 2     | AP-1                 | 2                                | 30   | 100   | 10 SEC        | X              |
| 3     | EDU-1                | 2                                | 30   | 100   | 10 SEC        | X              |
| 4     | APPLANCE             | 1                                | 20   | 100   | 12/2 RM       | X              |
| 5     | HBI                  | 2                                | 20   | 100   | 12/2 RM       | X              |
| 6     | SMOKE DETECTORS      | 1                                | 15   | 100   | 14/2 RM       | X              |
| 7     | BASEMENT LIGHTING    | 1                                | 15   | 100   | 14/2 RM       | X              |
| 8     | BATH RM. GFCI        | 1                                | 15   | 100   | 14/2 RM       | X              |
| 9-11  | 1ST FLOOR LIGHTING   | 1                                | 15   | 100   | 14/2 RM       | X              |
| 12-15 | 2ND FLOOR LIGHTING   | 1                                | 15   | 100   | 14/2 RM       | X              |
| 16,17 | 3RD FLOOR LIGHTING   | 1                                | 15   | 100   | 14/2 RM       | X              |
| 18    | EXIT LIGHT/EMERGENCY | 1                                | 15   | 100   | 14/2 RM       | X              |
| 19    | APPLANCE             | 1                                | 20   | 100   | 12/2 RM       | X              |

\* PROVIDE LOCK-ON DEVICE ON CIRCUIT BREAKER.

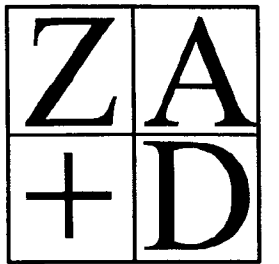


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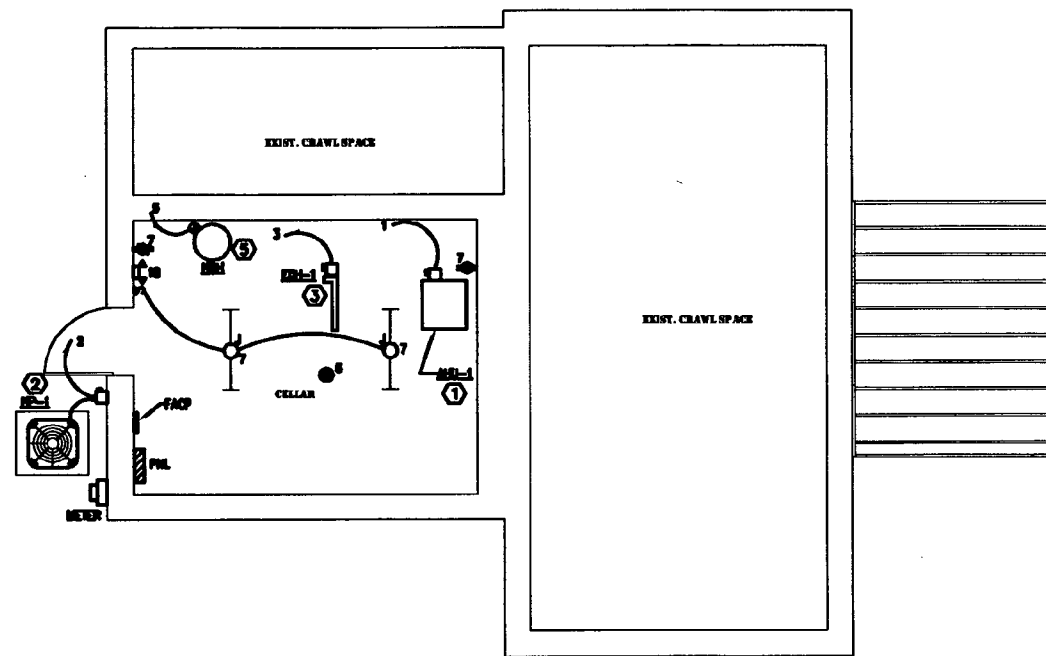
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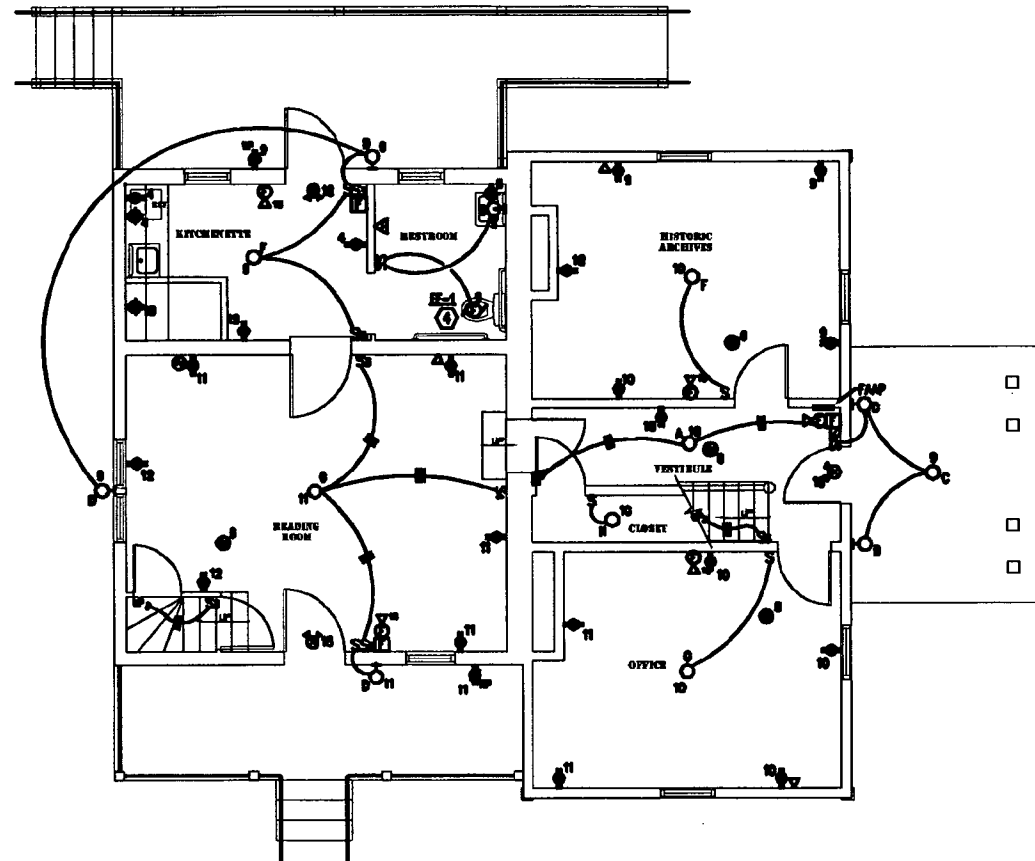
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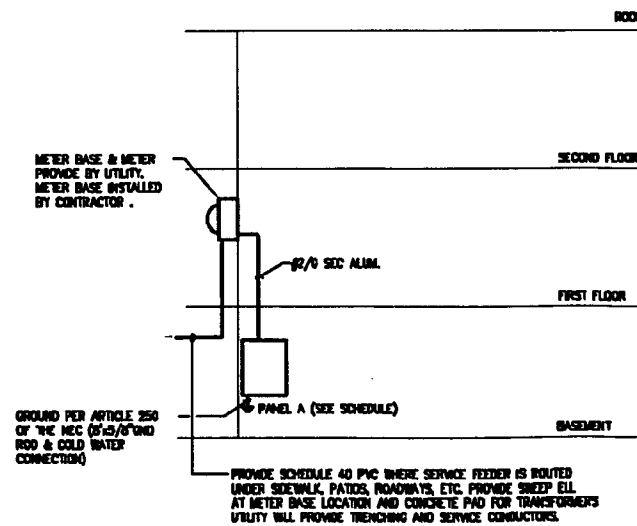
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1 BASEMENT FLOOR PLAN  
SCALE 1/4"=1'-0"



2 FIRST FLOOR PLAN  
SCALE 1/4"=1'-0"



3 POWER RISER DIAGRAM  
SCALE N.T.S.

| EQUIPMENT SCHEDULE |  |
|--------------------|--|
| ITEM               | DESCRIPTION  |
| 1                  | SELF SYSTEM AIR HANDLING UNIT (SHU)-1 - 240V 1Ø<br>FAN 1/3 HP<br>HEATER 120 KW<br>MOOP 50.0 AMP<br>PROVIDE 2P-80 AMP FUSED DISCONNECT SWITCH WITH 80 AMP FUSES MOUNTED ADJACENT TO UNIT                          |
| 2                  | SELF SYSTEM CONDENSING UNIT (SCU)-1 - 240V 1Ø<br>COMPRESSOR 3/8 H.P.A.<br>CONDENSER FAN 1.4 FLA<br>MOOP 80.0 AMP<br>PROVIDE 2P-80 AMP NEMA 3R FUSED DISCONNECT SWITCH WITH 80 AMP FUSES MOUNTED ADJACENT TO UNIT |
| 3                  | ELECTRIC DUCT HEATER (EDH)-1 - 240V 1Ø<br>HEATER 120 KW<br>FLA 50.0 AMP<br>PROVIDE 2P-80 AMP FUSED DISCONNECT SWITCH WITH 80 AMP FUSES MOUNTED ADJACENT TO UNIT  |
| 4                  | EXHAUST FAN (EF)-1 115V 1Ø<br>80 WATTS   |
| 5                  | ELECTRIC HOT WATER HEATER 240V 1Ø<br>3.0 KW  |

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| 1   | PERMIT SET  | 07/25/23 |
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SHEET TITLE  
BASEMENT & FIRST  
FLOOR PLANS ELECTRICAL

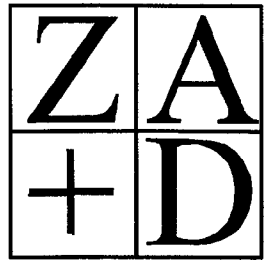


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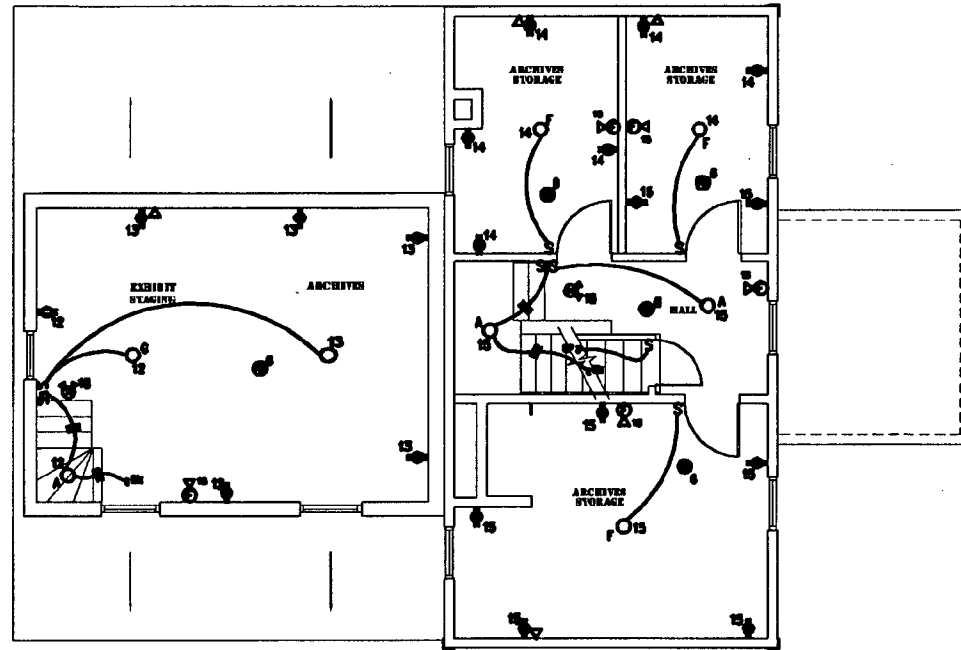
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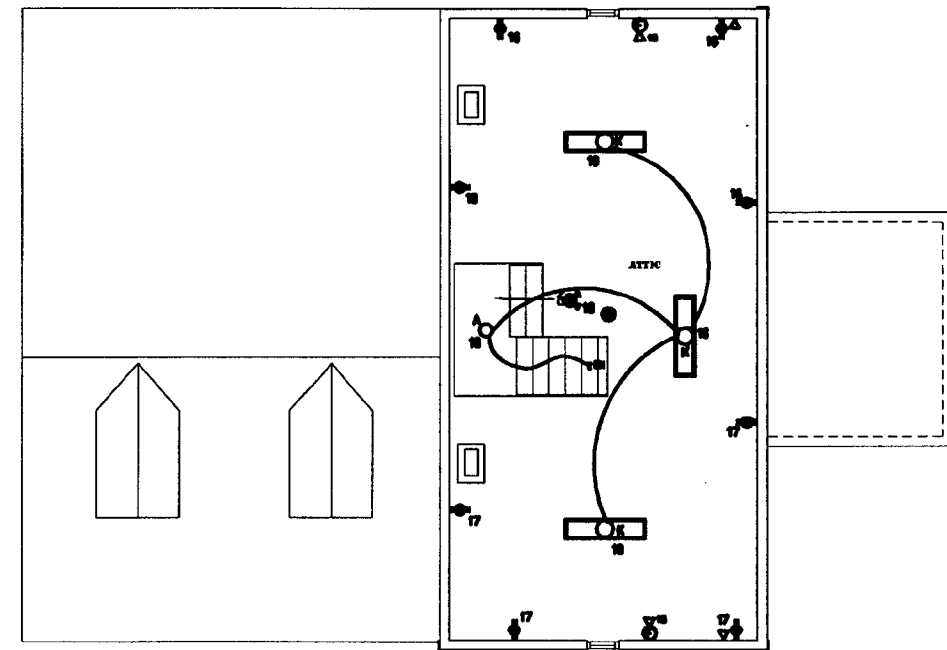
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1 SECOND FLOOR PLAN  
E03



2 THIRD FLOOR PLAN  
E03

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PERMIT SET 12/15/03

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SHEET TITLE  
SECOND & THIRD  
FLOOR PLANS ELECTRICAL

DESIGNED BY  
CHECKED BY  
DATE  
AS NOTED



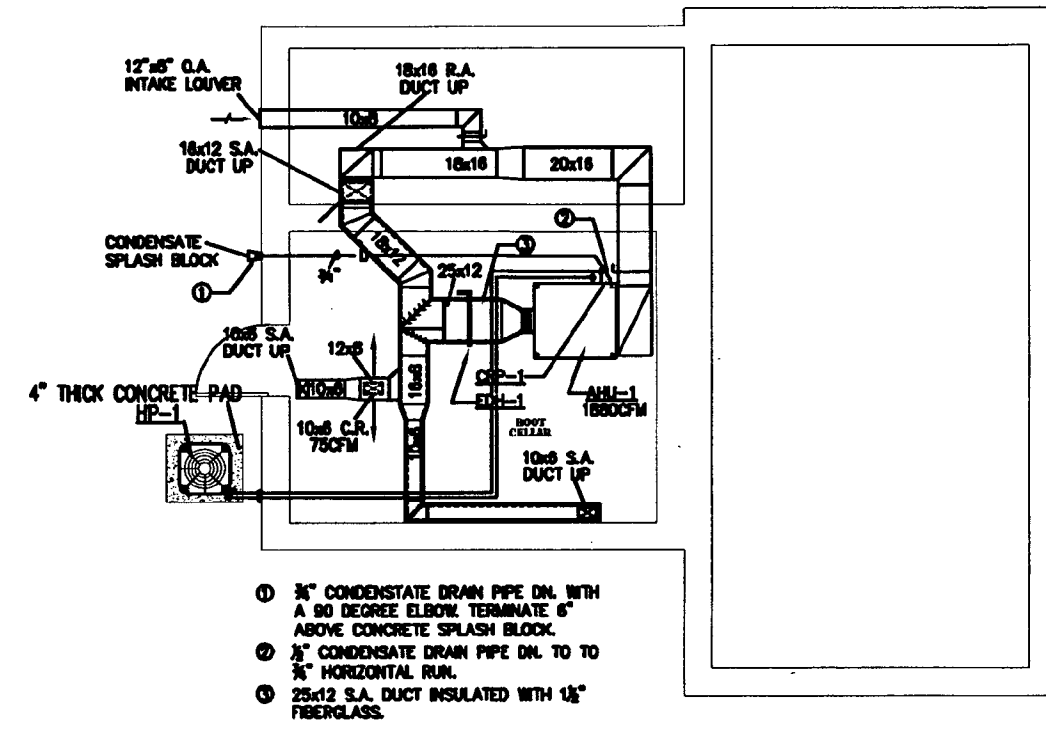
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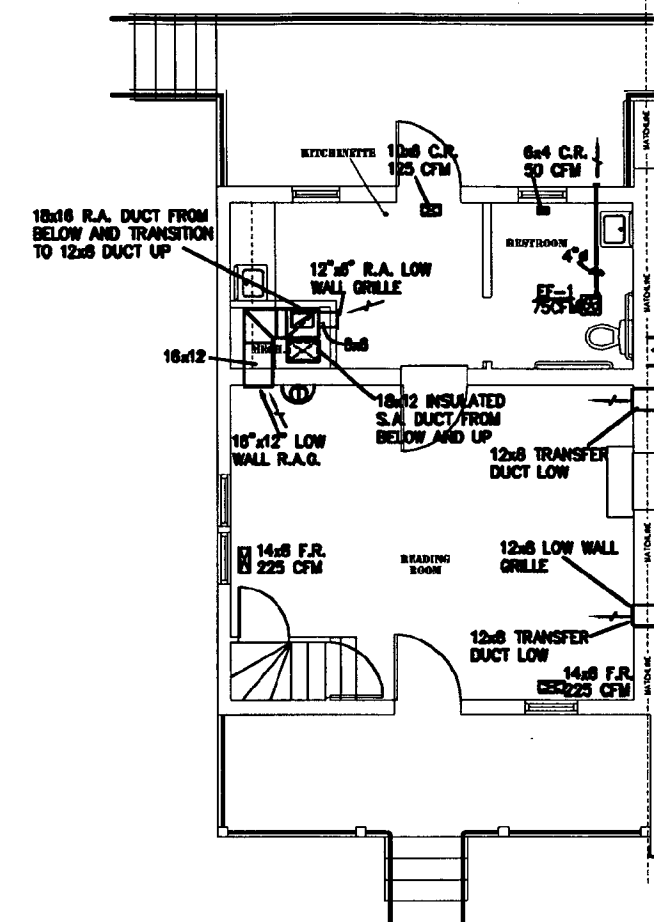
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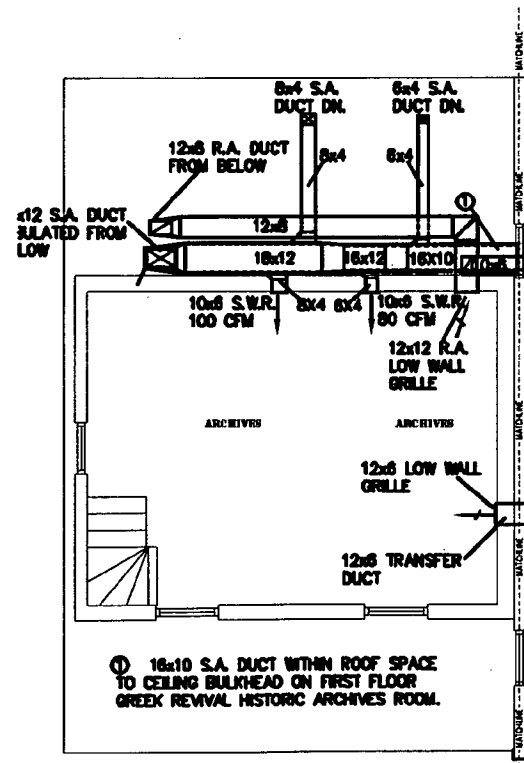


- ① 3/4" CONDENSATE DRAIN PIPE DN. WITH A 90 DEGREE ELBOW. TERMINATE 6" ABOVE CONCRETE SPLASH BLOCK.
- ② 1/2" CONDENSATE DRAIN PIPE DN. TO TO 3/4" HORIZONTAL RUN.
- ③ 25" x 12" S.A. DUCT INSULATED WITH 1 1/2" FIBERGLASS.

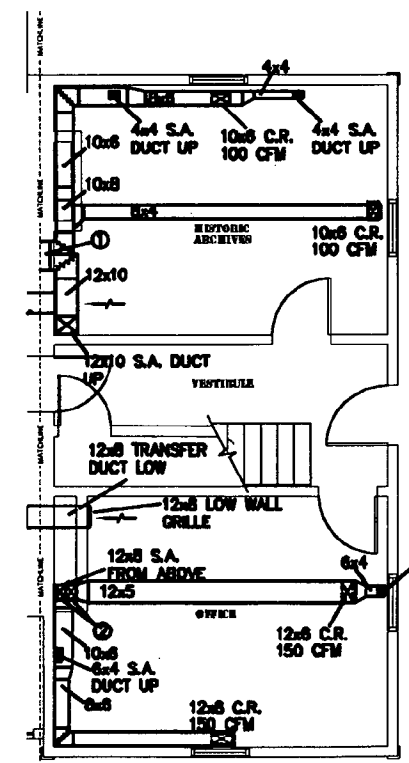
① BASEMENT FLOOR-HVAC



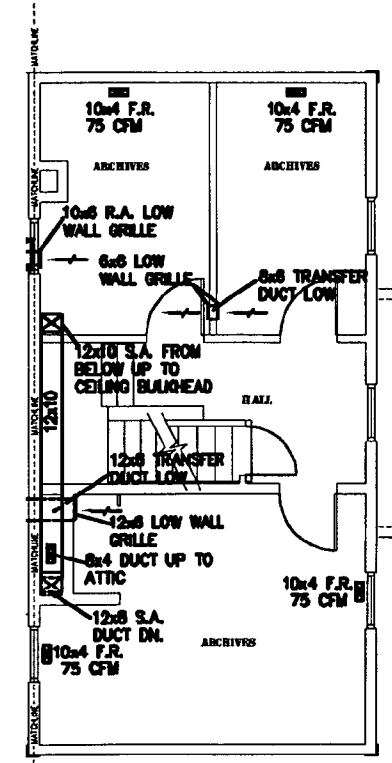
① TIDEWATER FIRST FLOOR-HVAC



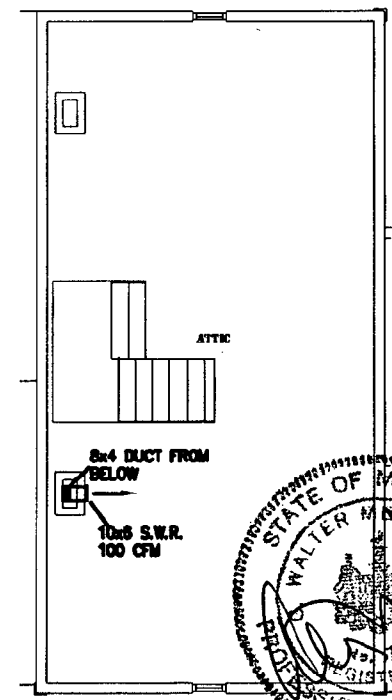
① TIDEWATER SECOND FLOOR-HVAC



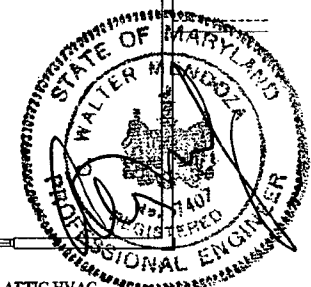
① GREEK REVIVAL FIRST FLOOR-HVAC



① GREEK REVIVAL SECOND FLOOR-HVAC



① GREEK REVIVAL ATTIC-HVAC



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**SHEET TITLE**  
**HVAC FLOOR PLANS**

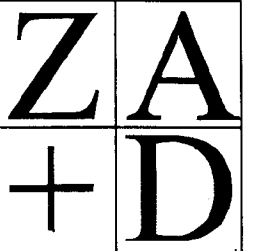
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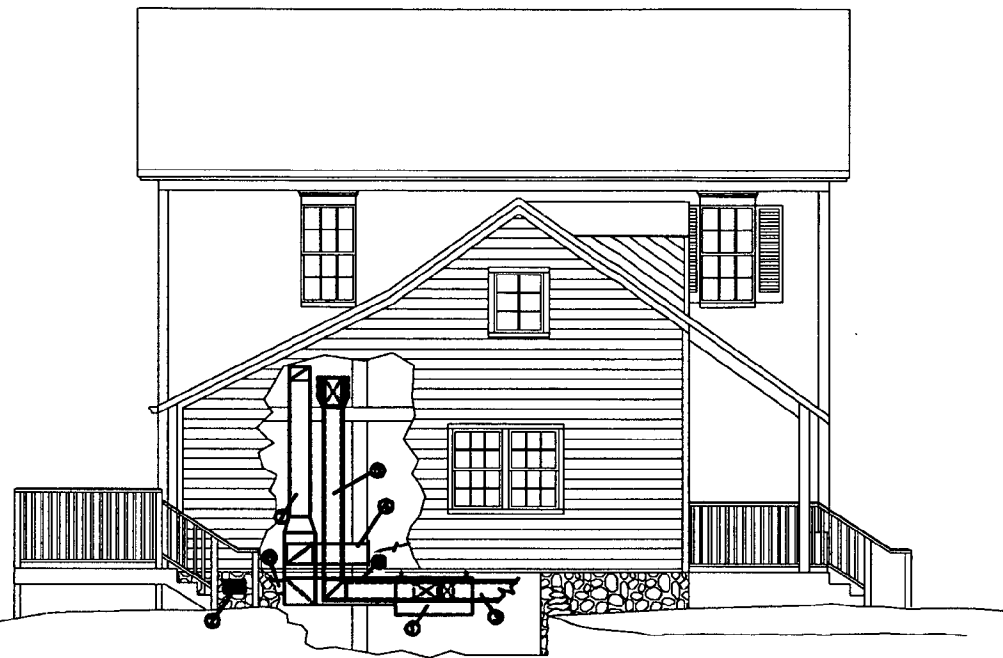
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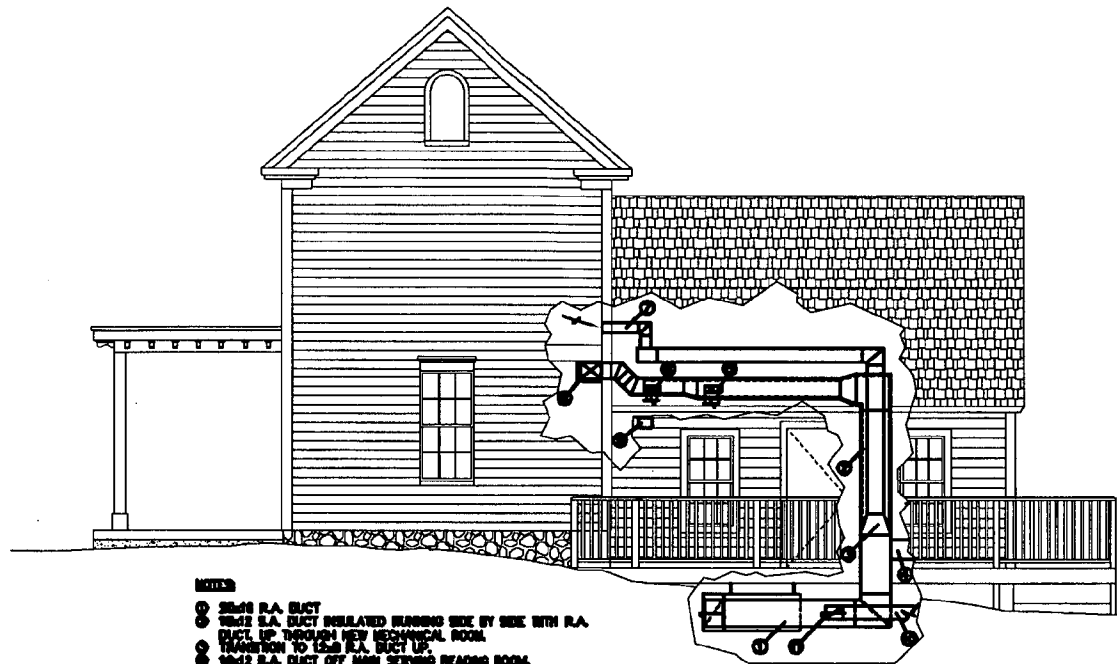
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NOTES:

- 1. AHU MOUNTED FROM BLANK CEILING OF ROOT CELLAR WITH (4) 2" x 4" HANGER ROIDS SEE M-01 FOR DETAILS.
- 2. 12" MIN S.A. INSULATED BLANKING, METAL-WIRE OR EQUAL.
- 3. 12" MIN S.A. DUCT INSULATED SERVING CELLAR AND READING ROOM ABOVE.
- 4. 12" MIN S.A. DUCT OFF MAIN TO READING ROOM.
- 5. 12" MIN S.A. DUCT INSULATED TO RUN THROUGH MECH. ROOM UP INTO ROOT SPACE ABOVE.
- 6. 12" MIN S.A. DUCT CONNECTED TO FLEXIBLE TRANSITION TO 12" MIN S.A. DUCT UP THROUGH MECH. ROOM TO RUN IN ROOT SPACE ABOVE.
- 7. 12" MIN S.A. DUCT

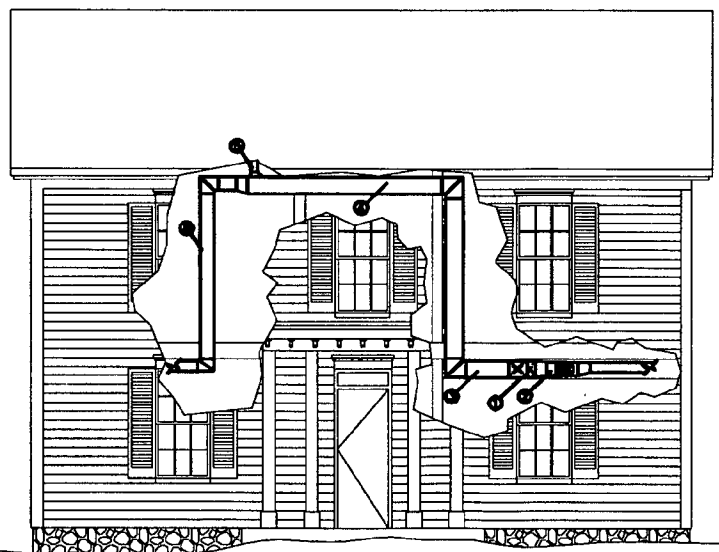
1 New Construction East Elevation  
SCALE 1/4" = 1'-0"



NOTES:

- 1. 12" MIN S.A. DUCT
- 2. 12" MIN S.A. DUCT INSULATED BLANKING SIDE BY SIDE WITH S.A. DUCT UP THROUGH NEW MECHANICAL ROOM.
- 3. TRANSITION TO 12" MIN S.A. DUCT UP.
- 4. 12" MIN S.A. DUCT OFF MAIN SERVING READING ROOM.
- 5. 12" MIN S.A. DUCT OFF MAIN SERVING READING ROOM.
- 6. 8" MIN S.A. DUCT OFF MAIN SERVING BATHROOM.
- 7. 12" MIN S.A. DUCT OFF MAIN TO SECOND FLOOR GREEK REVENUE ROOMS.
- 8. NEW BLANKING. SEE ARCHITECTURAL DWG. FOR SIZE.
- 9. TRILEY EXHAUST WALL CAP.
- 10. 12" MIN S.A. DUCT
- 11. MINIMAL VELUXE DAMPER ON S.A. DUCT.

1 New Construction South Elevation  
SCALE 1/4" = 1'-0"



NOTES:

- 1. 12" MIN S.A. SPLIT FROM ROOT SPACE OF TOBACCO SECTION.
- 2. 12" MIN S.A. DUCT SERVING HISTORIC ARCHIVES ROOM AND ROOMS DIRECTLY ABOVE.
- 3. 12" MIN S.A. DUCT UP THROUGH NEW FURRED OUT CHASE.
- 4. NEW BLANKING BLANKING ABOVE LANDING OF STAIRS ON SECOND FLOOR GREEK REVENUE SECTION. SEE ARCH. FOR SIZE.
- 5. 8" MIN S.A. DUCT UP TO ATTIC.
- 6. 12" MIN S.A. DUCT DOWN THROUGH EXISTING CHASE SERVING 1ST FLOOR OFFICE AND SECOND ROOM DIRECTLY ABOVE.

1 New Construction West Elevation  
SCALE 1/4" = 1'-0"

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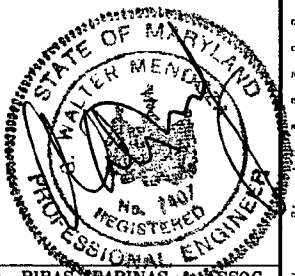
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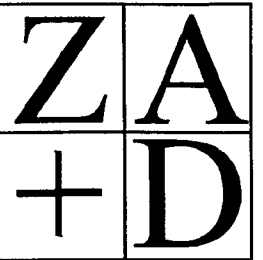
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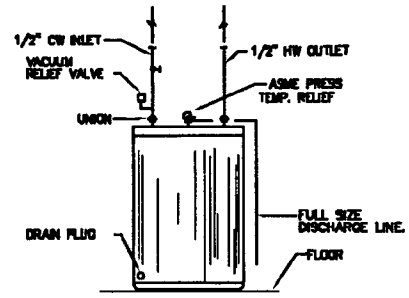
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| PLUMBING FIXTURE SCHEDULE |  |         |        |      |      |   |
|---------------------------|--|---------|--------|------|------|---|
| ITEM                      | DESCRIPTION                                | WASTE   | VENT   | CW   | HW   | SPECIFICATIONS  |
| WC                        | WATER CLOSET<br>FLUSH TANK,<br>HANDICAPPED | 4" x 3" | 2"     | 1/2" | ---  | AMERICAN STANDARD "CAJET ADA 1774" (2398.013 WITH BENEKE S23 ELONGATED OPEN FRONT SEAT LESS COVER, PROVIDE CHROME PLATED SUPPLY AND ANGLE STOP VALVE.   |
| LAV                       | LAVATORY<br>HANDICAPPED                    | 1 1/2"  | 1 1/2" | 1/2" | 1/2" | AMERICAN STANDARD "COMRADE" (0124.024 WALL MOUNT LAVATORY WITH "RELIANT" (2385.403 SINGLE LEVER FAUCET SET WITH GRID DRAIN, INSULATE TRAP, SUPPLIES AND STOP VALVES WITH "TRUEBRO" PRE MOLDED INSULATION. |
| KS                        | KITCHEN SINK                               | 1 1/2"  | 1 1/2" | 1/2" | 1/2" | ELKAY MODEL CR-2522 BOWL WITH LK4100 FAUCET AND LK99 STRAINER, PROVIDE CHROME PLATED SUPPLY AND ANGLE STOP VALVE.   |

| PLUMBING SYMBOL LIST. |                          |
|-----------------------|--------------------------|
| SYMBOLS               | DESCRIPTIONS             |
| ---                   | WASTE OR SOIL            |
| - - - -               | VENT PIPE                |
| ---                   | COLD WATER (C.W.)        |
| ---                   | HOT WATER (H.W.)         |
| +                     | SHUT-OFF VALVE           |
| +                     | WALL HYDRANT (WH)        |
| ○                     | CLEANOUT (C.O.)          |
| F.F.E.                | FINISHED FLOOR ELEVATION |
| INV. EL.              | INVERT ELEVATION         |



ELECTRIC WATER HEATER - "E"  
30 GALLON CAPACITY  
3 K.W. - 240V - 1 PHASE  
A.O. SMITH MODEL No. PLSF-8

1 WATER HEATER DETAIL  
SCALE NONE

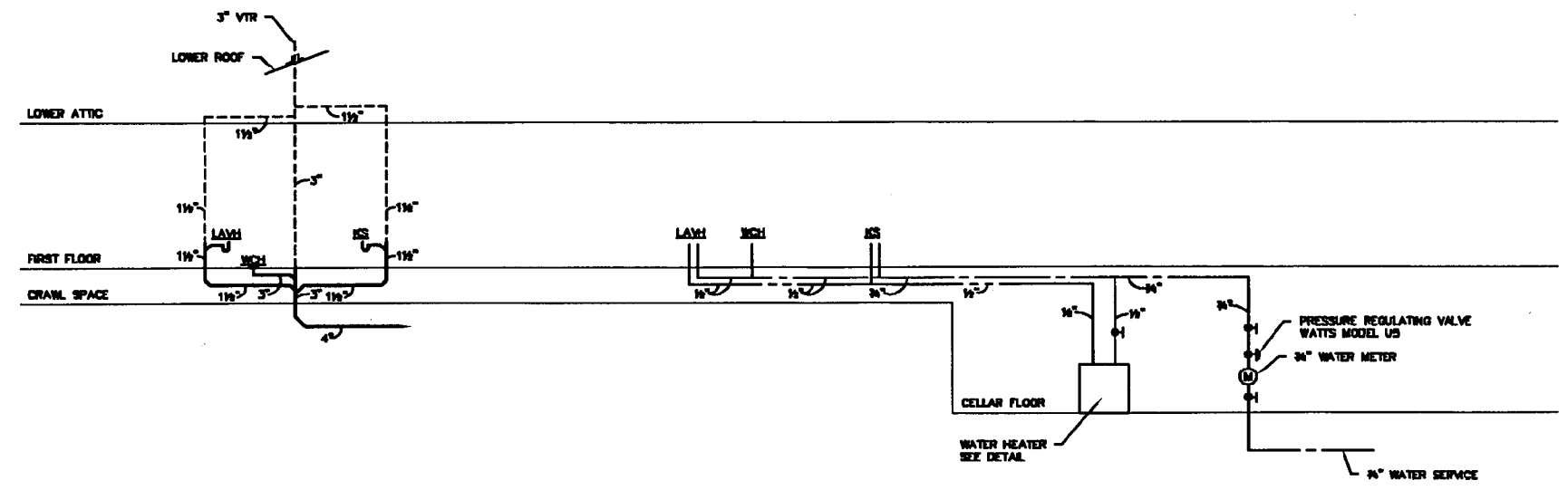
PLUMBING NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS.
2. CONTRACTOR SHALL VISIT SITE TO ASCERTAIN CONDITIONS THAT MAY AFFECT HIS BID.
3. CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT.
4. ALL SOIL, WASTE, STORM AND VENTS SHALL BE PVC SCHEDULE 40 WITH DRW FITTINGS.
5. DOMESTIC WATER PIPING SHALL BE COPPER TYPE "L" ABOVE FLOOR AND TYPE "C" BELOW FLOOR.
6. PROVIDE STOP VALVES AT ALL FIXTURE AND EQUIPMENT SUPPLIES. ALL EXPOSED FIXTURE CONNECTIONS SHALL BE CHROME PLATED.
7. ALL PIPING SHALL RUN CONCEALED ABOVE CEILING OR IN WALL CHASES UNLESS OTHERWISE INDICATED. EXPOSED PIPING SHALL BE 3/4-INCH MINIMUM FROM ANY WALL SURFACE.
8. ALL WATER PIPING SHALL BE PITCHED TO DRAIN POINTS AT 1-INCH IN 40 FEET MINIMUM. ENTIRE SYSTEM SHALL BE DRAINABLE FOR WINTERIZATION.

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3 SANITARY RISER DIAGRAM  
SCALE NONE

2 WATER RISER DIAGRAM  
SCALE NONE

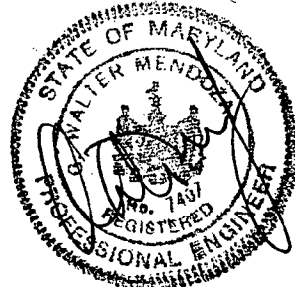
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SHEET TITLE  
SYMBOLS, SCHEDULES  
RISERS AND DETAIL

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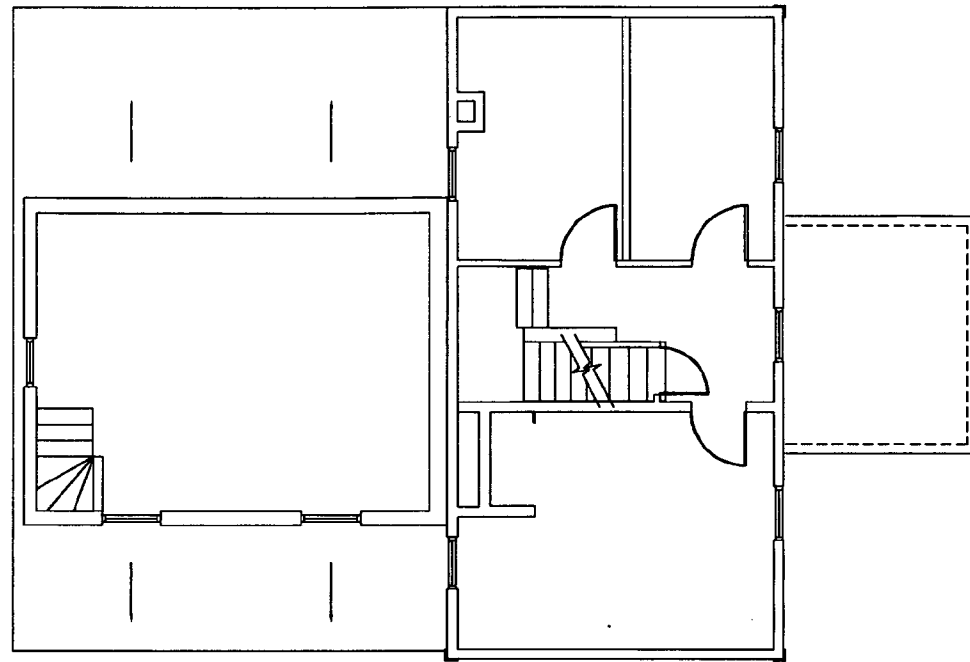
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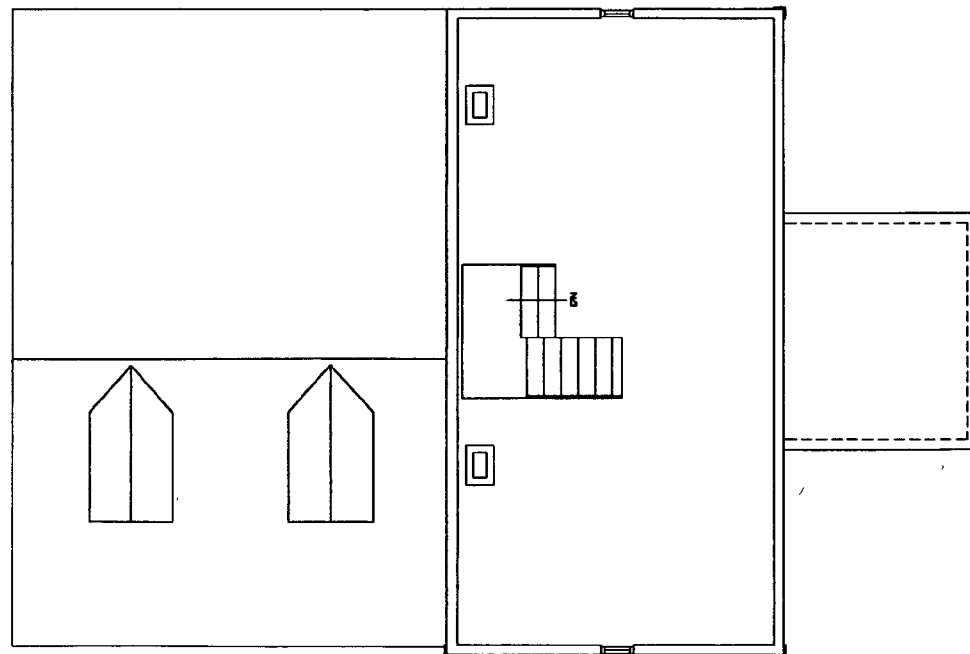
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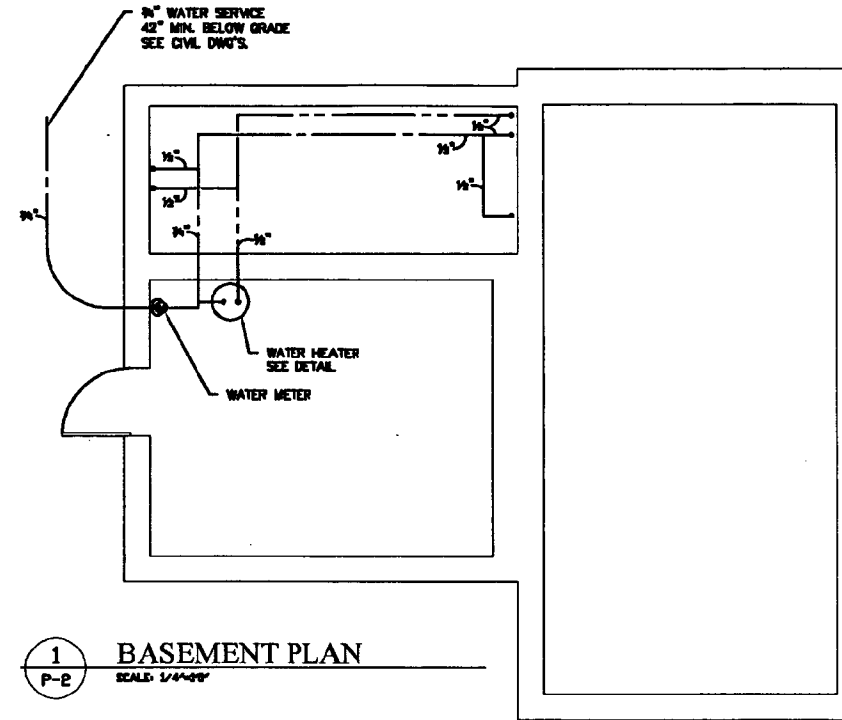
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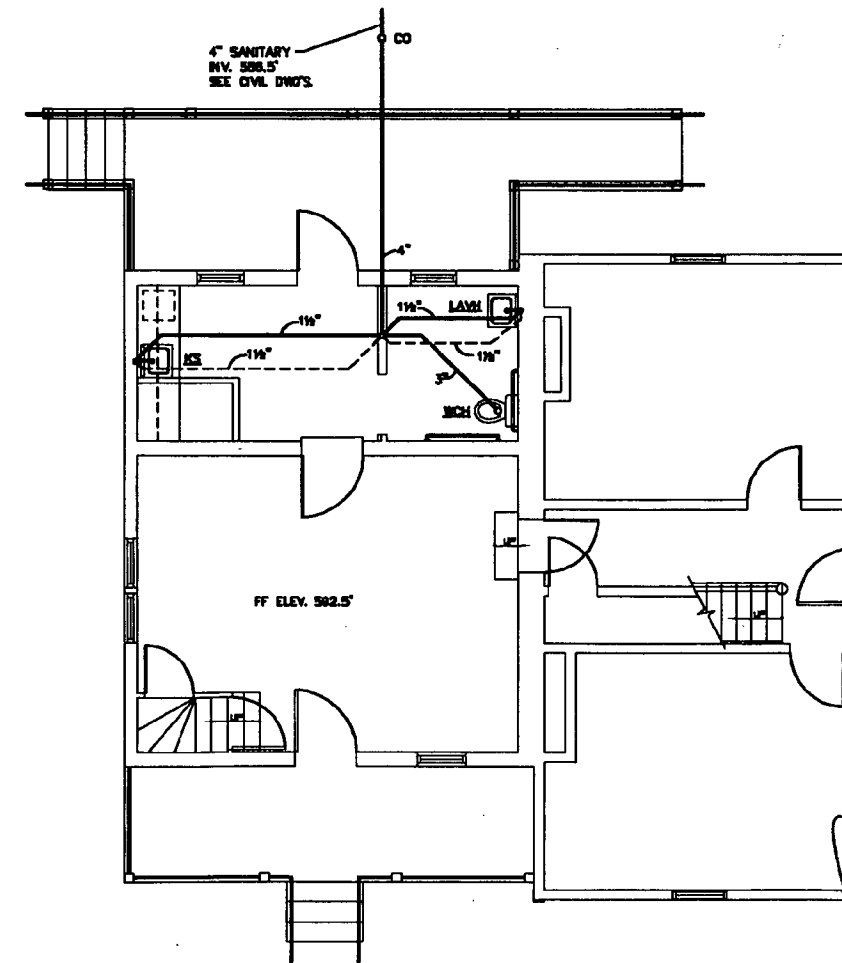
**3 SECOND FLOOR PLAN**  
SCALE 1/4"=1'-0"



**4 THIRD FLOOR PLAN**  
SCALE 1/4"=1'-0"



**1 BASEMENT PLAN**  
SCALE 1/4"=1'-0"



**2 FIRST FLOOR PLAN**  
SCALE 1/4"=1'-0"



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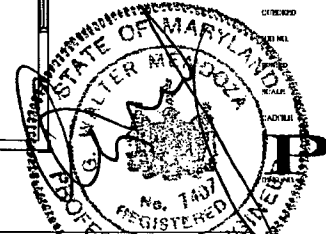
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**WORK TITLE**  
FLOOR PLANS  
PLUMBING



**P-02**

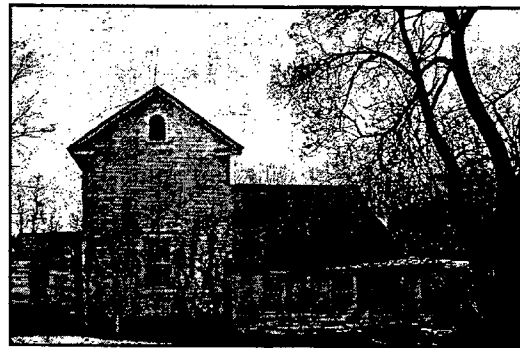
MENDOZA, RIBAS, PARINAS & ASSOC.  
CONSULTING ENGINEERS  
6265 Executive Boulevard, Rockville, Maryland 20852  
(301) 486-8882

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323 WEST PATRICK ST.  
FREDERICK, MD 21701

PLS 8/20/03/12/03

(51)





REMOVE METAL ROOFING ENTIRELY IN PREPARATION FOR NEW CEDAR SHAKE ROOF.  
MUD ROOM ENCLOSURE TO BE REMOVED ENTIRELY

1 NORTH ELEVATION (EXIST.)  
SCALE: NONE



REMOVE METAL ROOFING ENTIRELY IN PREPARATION FOR NEW CEDAR SHAKE ROOF.  
PORCH ENCLOSURE TO BE REMOVED IN ITS ENTIRETY WITH EXCEPTION OF THE FIELD STONE FOUNDATION.  
JAIL

2 SOUTH ELEVATION (EXIST.)  
SCALE: NONE



REMOVE EXISTING SURFACE MOUNTED UTILITIES, LINES, AND FIXTURES

KINGSLLEY WILDERNESS TO SOUTH

3 SOUTHEAST ELEVATION (EXIST.)  
SCALE: NONE



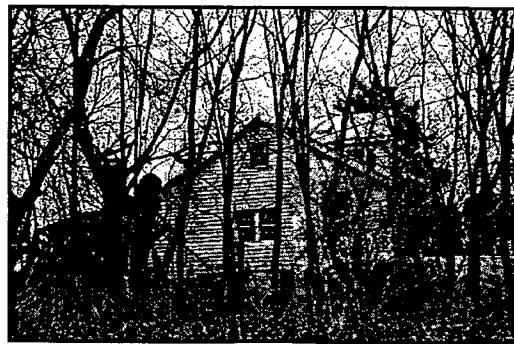
REMOVE UNSALVAGEABLE MATERIALS AT PORTICO INCLUDING MOOD DECAINS, TRIM, ETC. RESTORE REUSABLE MATERIALS TO ORIGINAL CONDITION.  
REMOVE TREE  
JAIL TO NORTH

4 EAST ELEVATION (EXIST.)  
SCALE: NONE



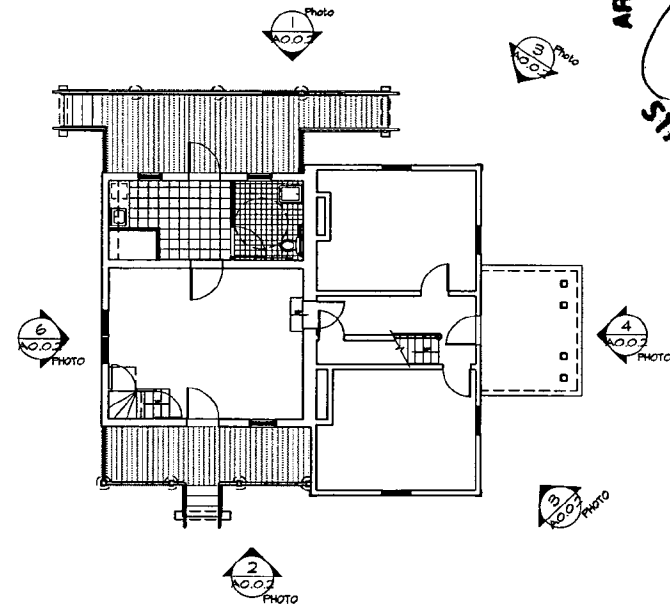
REMOVE OLD COMPRESSOR ENTIRELY. SEAL ALL PIPING PENETRATIONS WHERE STRUCTURE IS TO REMAIN.  
DEMOLISH EXISTING MUDROOM. REF. TO ARCHITECTURAL DRAWINGS.  
REMOVE TRASH AND RUBBISH

5 NORTHEAST ELEVATION (EXIST.)  
SCALE: NONE



RESTORE WINDOWS AND TRIM.  
REMOVE TREES

6 WEST ELEVATION (EXIST.)  
SCALE: NONE



7 PHOTO KEY PLAN  
SCALE: 1/8" = 1'-0"

PRINTS ISSUED

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DEPT. OF PUBLIC WORKS  
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WHELAN LANE  
CLARKSBURG, MD 20841

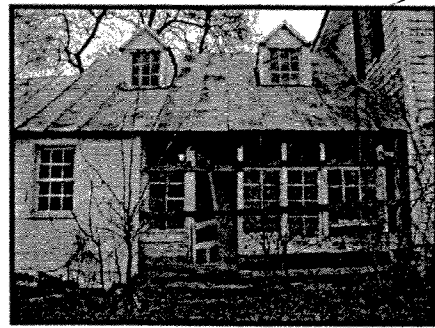
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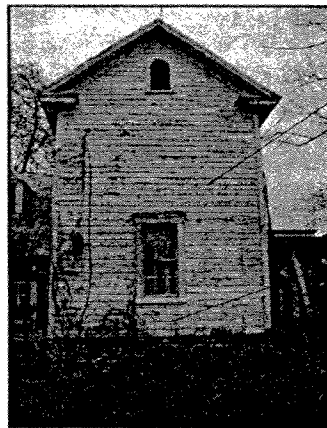
52



SOUTH PORCH ENCLOSURE TO BE REMOVED. ROOF AND STRUCTURE TO BE RESTORED TO ORIGINAL CONDITION

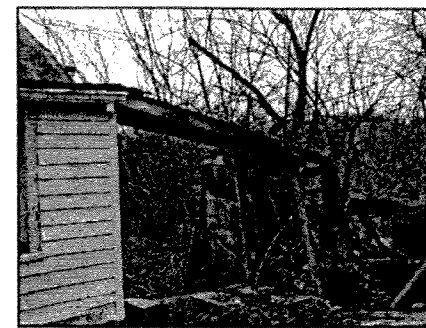
SOUTH PORCH ENCLOSURE TO BE REMOVED. ROOF AND STRUCTURE TO BE RESTORED TO ORIGINAL CONDITION

RESTORE OR REPLACE CONCRETE FOUNDATION FOR NEW CONSTRUCTION. REF. ARCHITECTURAL DRAWINGS



SIDING AND EXTERIOR TRIM ON GREEK REVIVAL ADDITION APPEARS TO BE IN GOOD CONDITION

EXTERMINATE BEES AND REMOVE NEST IN SOUTH HALL OF GREEK REVIVAL ADDITION



ROOF OVERHANGS EXTENDING TO MODERN WELL IN POOR CONDITION TO BE REMOVED

LARGE AMOUNT OF TRASH AND DEBRIS TO BE REMOVED



REMOVE EXISTING ROOF MEMBERS AT SOUTH PORCH

REMOVE ELECTRICAL WIRING AND FOLIAGE

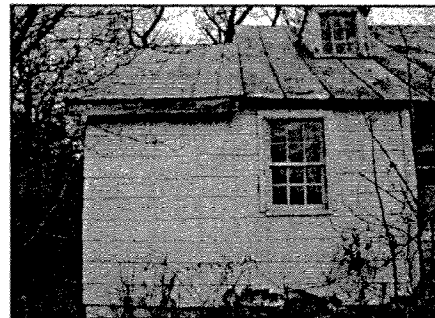


RESTORE SHUTTERS



RESTORE AREAS OF SIDING AND TRIM ON THE WEST END

TRANSITION BETWEEN CONCRETE AND FIELD STONE FOUNDATION



SOUTH PORCH ENCLOSURE AND BATHROOM ADDITION TO BE REMOVED



MISSING BRACKET ON CANOPY OVERHANGS, OTHERS STILL IN FAIR CONDITION



REPAIR AND RESTORE FIELDSTONE FOUNDATION MAINTAINING STRUCTURAL INTEGRITY.



NORTH SHED ADDITION IN DISARRAY, TO BE REMOVED. KITCHEN BEHIND IS ALSO IN DISARRAY WITH PARTS OF THE CEILING HANGING DOWN AND LARGE AMOUNTS OF MOOD DECAY

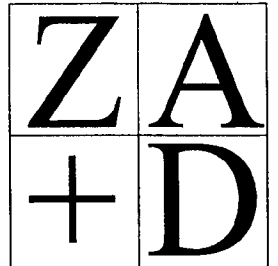


FLOOR BOARDS, FOUNDATIONS AND STRUCTURE NEED TO BE REPLACED. REFER TO DRAWING S/A&O.1



REMOVE OVERGROWTH

NORTH SHED ADDITION TO BE REMOVED



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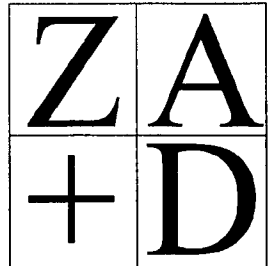
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EXTERIORS

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JOB NO. 2013.044.01  
REVISED: [blank]  
SCALE AS NOTED  
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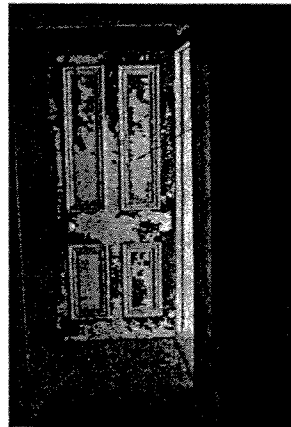
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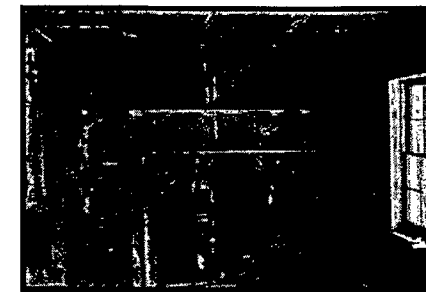
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REMOVE COLORED FILM AND RESTORE TRANSOM WINDOW AND TRIM TO ORIGINAL CONDITION



FRONT DOOR ALSO IN GOOD CONDITION. HARDWARE NEEDS TO BE REPLACED. RESTORE TO ORIGINAL CONDITION. PROVIDE NEW HARDWARE AND LOCKSETS



MANTLE AND TRIM TO BE RESTORED. DEBRIS AND EXCESS WOOD TO BE CLEANED OUT. PATCH AND REPAIR ALL SURFACES.



BASEBOARDS AND TRIM THROUGHOUT ARE IN GOOD CONDITION. FLOOR BOARDS IN NORTH PARLOR ARE NOT LEVEL AND ARE CUPPING. RESTORE BASEBOARDS AND MATCH TO ADJACENT SURFACES



STAIRS IN GREEK REVIVAL ADDITION TO BE RESTORED TO ORIGINAL CONDITIONS

BALUSTER AND RAIL IN GOOD CONDITION

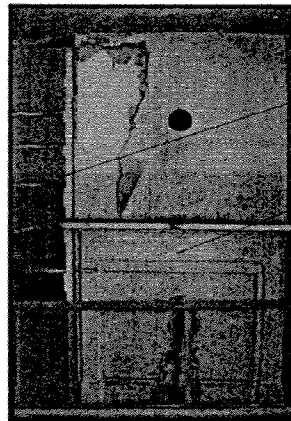
FLOOR BOARDS LEADING TO MAIN LIVING ROOM ARE CUPPING TO BE REMOVED FOR NEW FLOOR STRUCTURE



STYROFOAM INSULATION ON THE PLASTER CEILING OF THE LIVING ROOM IN THE MAIN HOUSE. TO BE REMOVED



MAJORITY OF DOORS IN GREEK REVIVAL ADDITION ARE IN GOOD CONDITION. HARDWARE IS MISSING OR INOPERABLE ON SOME DOORS



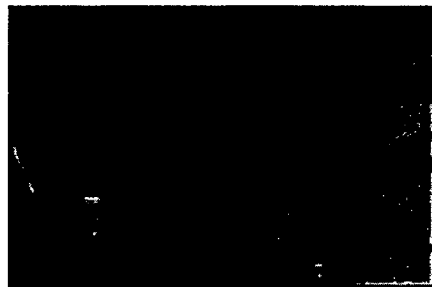
RESTORE BUILT-IN SHELVES

RESTORE MANTLE AND TRIM

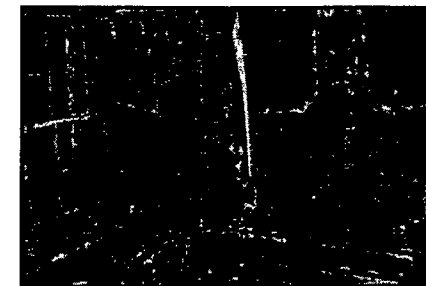


RE-CONSTRUCT CEILING STRUCTURE

EXISTING CASWORK TO BE REMOVED



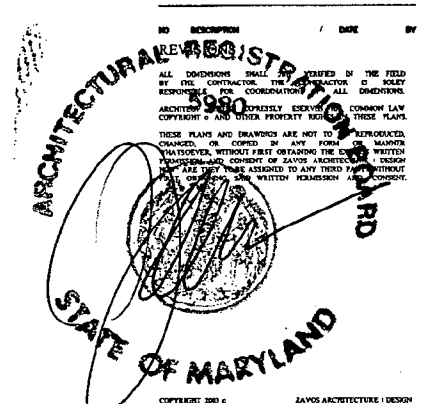
STAIRS LEADING TO UPPER LEVEL OF MAIN HOUSE IN NEED OF REINFORCING. GUARD RAILS AROUND STAIR DO NOT MEET CODE



PROVIDE NEW HANDICAP LAVATORY REFER TO AS.01

PRINTS ISSUED

Table for tracking print issues with columns for NO, DESCRIPTION, DATE, and BY.



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SHEET TITLE PHOTO DOCUMENTATION INTERIORS

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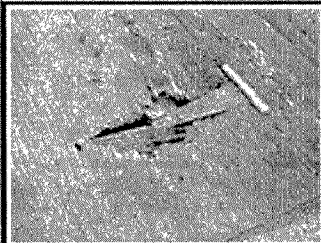
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54

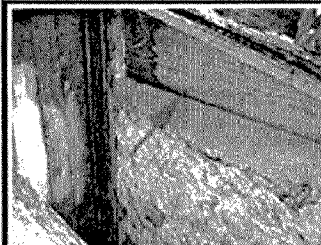
A

The underside of the door was badly decayed. All those white patches are fungal growth.



There were holes in the plywood door, and moss was growing on the wood. Moss growth is not a good sign, especially when it's on the *south* side of the house.

The concrete pad at the entry was acceptable but slightly cracked.



The wooden support framing (red arrow) was mostly intact. I could have simply made a better door, but the homeowners wanted something more secure and sturdy.

Using hammers and pry bars, I removed

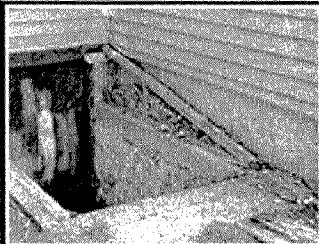
the door and all the plywood skin.

At this point I realized that the plywood and lumber was all pressure treated. This told me that the door was probably less than 30 years old.

In spite of this preservative, the wood managed to rot in places where it was exposed to the elements.



I suspect that the Chromated Copper Arsenate (CCA) preservative got washed away from years of rain dripping on the plywood door.



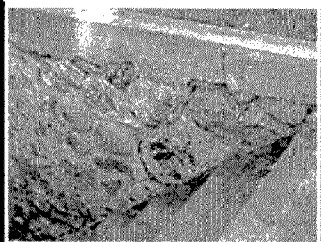
There was a large pile of dead leaves behind the far side. Fortunately these leaves were dry, otherwise there would have been some interesting flora and fauna growing in the "compost".

The good news: The **side foundations** were in excellent condition.

The bad news: The **front foundation** (red arrow) was thin, weak, and cracked. It also sloped sharply away from the side foundations, which meant that the new Bilco door would not have a uniform and flush surface to rest on.

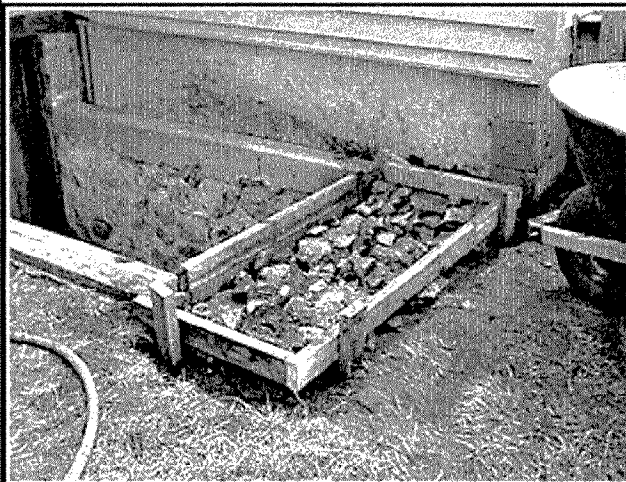


The side walls of the entry foundation were made from stone rubble, just like the rest of the foundation. Most of this foundation was intact.



I used a sledge hammer to break up the front slab part of the foundation, being careful not to damage the stone rubble wall that extends a couple of feet below grade.

This front slab was basically a pile of rocks with mortar smoothed over the top.



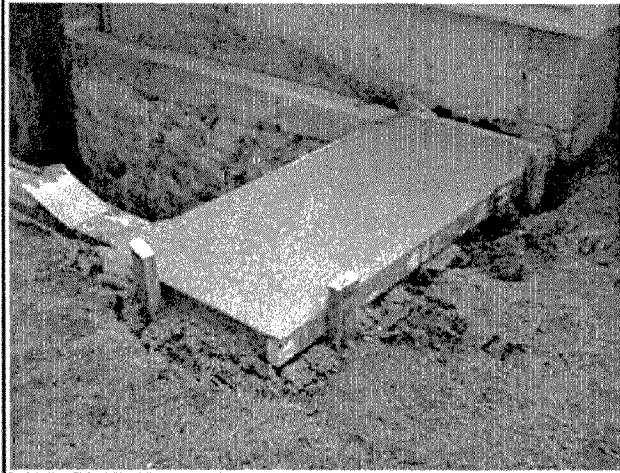
I made some concrete forms from 2x4's (the lumber from the old door frame).

I placed some of the rocks from the old front slab into the forms, to reduce the volume of concrete I would need.

These rocks weren't just thrown into the hole. They were laid out to occupy the center portion of the slab. I tried to keep the rocks away from the form boards, so the slab would be 4 inches thick (or greater) around the perimeter, and at the center there would be some rocks embedded in the slab.

Also, before I put the rocks in place, I used a **tamper** to pack the soil down. This should help prevent settling later.

I poured the concrete slab. This took 6 eighty-pound bags of Quickcrete. It was getting pretty late in the evening when I finally finished this slab.



For this small concrete slab I used:

- a wheelbarrow for mixing,
- a hoe (to mix the concrete in the wheelbarrow),
- a small flat shovel (to help guide the concrete as it was poured),
- a small magnesium float (to "float" the concrete, or push the rocks below the surface) and
- a broom to add the final texture (as is standard with outdoor concrete slabs).

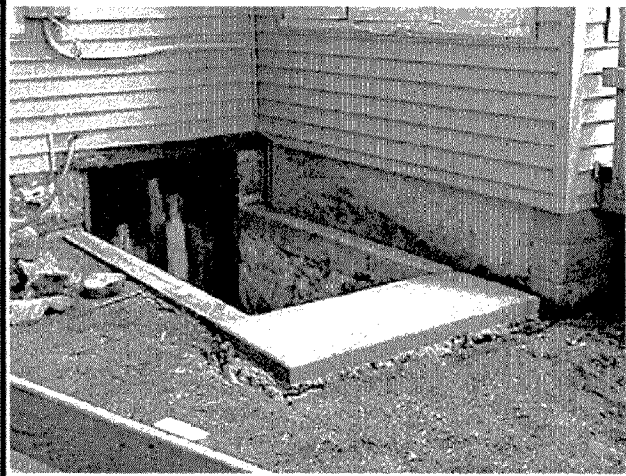
#### Estimating Concrete:

To determine the number of bags of concrete, I first compute the **volume** of the slab, by multiplying the **length** by the **width** by the **depth** (or thickness). Of course, this can only be done if the units of measure are all the same, either in inches or feet. (Multiplying inches times feet results in unusable information.)

If I use dimensions measured in inches, I multiply the three dimensions together to get the volume in **cubic inches**. Then I divide that number by 1,728 (which is  $12 \times 12 \times 12$ , the number of cubic inches in a cubic foot) to get the volume in **cubic feet**.

Concrete weighs between 120 and 140 pounds per cubic foot. If I multiply the volume (in cubic feet) by 120, I find that I get a good estimate of the total weight of dry concrete mix I need. Then I can divide the total weight by 80 pounds to determine the number of 80 pound bags to buy, or I can divide by 60 to get the number of 60 pound bags I'll need, whatever the store carries.

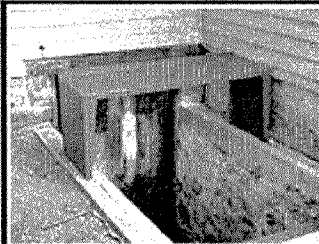
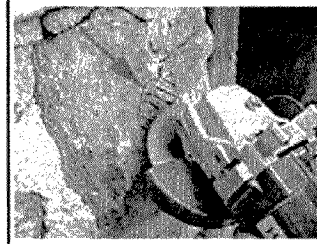




**The next day** the slab was hard enough to walk on, though still soft enough that it could be chipped if I wasn't careful.

I could tell that the rough surface of the stone wall was going to keep the Bilco door from meeting the house correctly. There were a couple of high spots, which I shaded in black with a marker pen (red arrow).

I used a 4 inch diamond wheel on a grinder to cut away the rock. This took a few minutes.

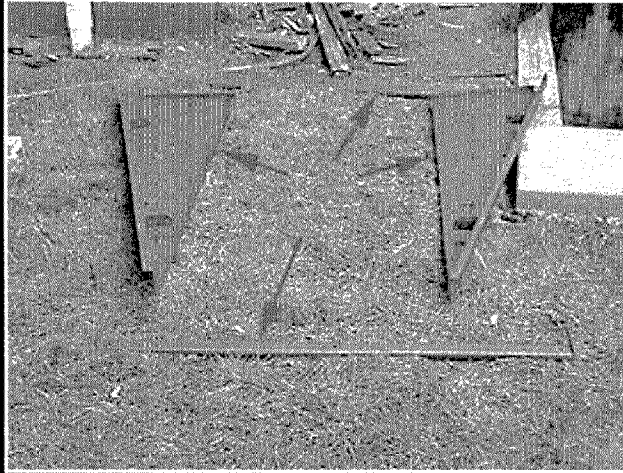


I assembled the door extension and set it in place on the foundation.

I placed the extension close to the house and marked the mounting hole locations on the stone foundation.

Then I used a hammer-drill and a carbide masonry bit to drill some mounting holes in the foundation wall. The Bilco door came with some large plastic anchors for mounting to masonry.

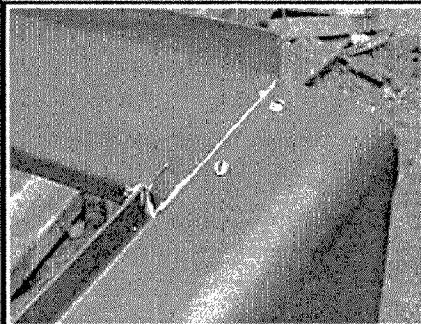
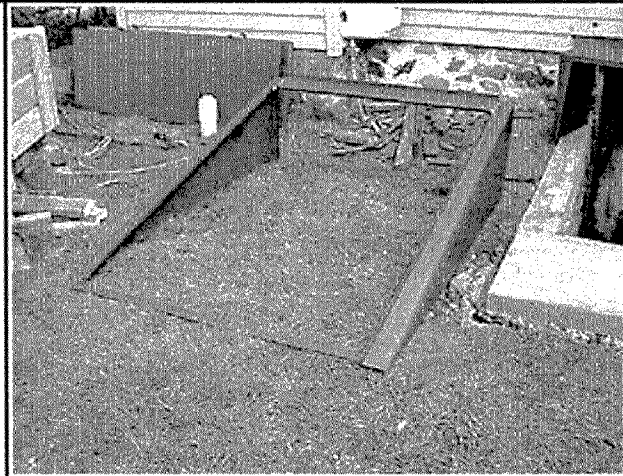




The main parts of the Bilco door frame.

- Two sides,
- a back rail,
- a front rail.

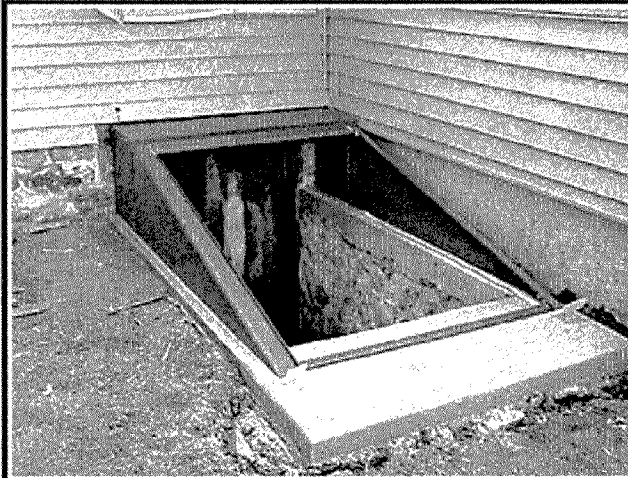
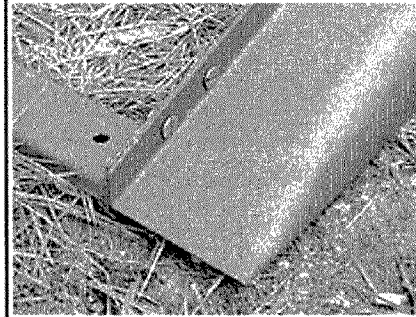
I assembled the door frame according to the instructions. There were two bolts at each corner.



At the upper corners there was some special caulking that had to be applied to the lower pieces (the triangle-shaped sides).

This caulking (provided with the door hardware) was just a small strip of soft pliable goo that got squished down as the screws were tightened.

A bottom corner. Assembly of the frame was simple and took about 15 minutes.

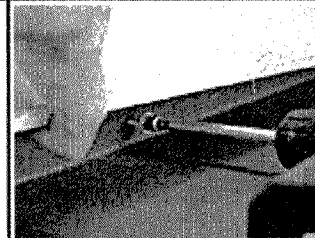


I set the frame in place to test the fit.

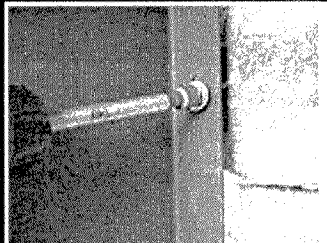
Note how there is green paint on the back side. I pre-painted the side that would be inaccessible after installation. Bilco says to paint the entire door and frame with an oil-based paint, or the metal will rust.

#### Attaching the extension to the house:

I pried up the metal flashing that remained from the previous basement door installation, and I drove in a couple of small lag screws into the wood structure of the house.



Flashing is important: Careful attention must be given to the point where the siding meets the top of the Bilco door.



I drove lag screws into the plastic anchors that I had earlier installed in the stone foundation.

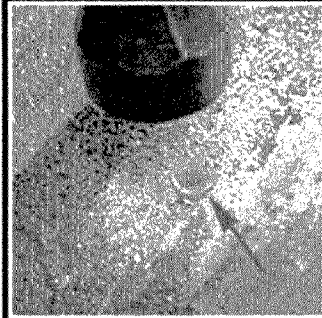
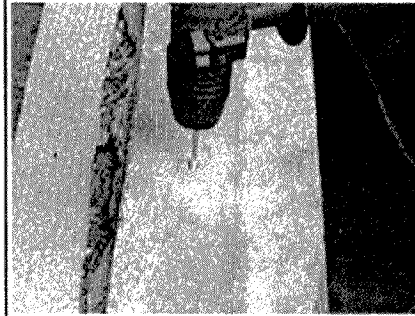
This completed the installation of the **extension**.

I then placed the Bilco door frame on the foundation and aligned the mounting holes with

those on the extension. I also slipped some strips of **sill seal** foam (the blue stuff in the photos below) under the door frame. I poked a screwdriver through the mounting holes to rip openings in the thin foam.

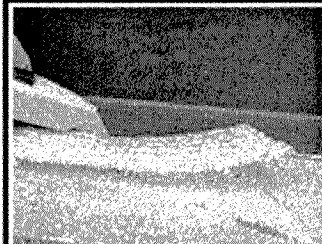
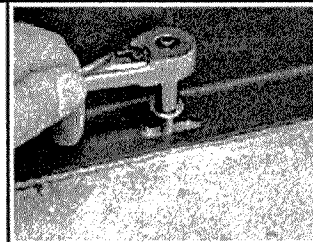
Using a felt tip marker I marked the mounting hole locations on the concrete foundation.

I removed the frame and drilled large holes with a hammer drill and a carbide masonry drill bit.



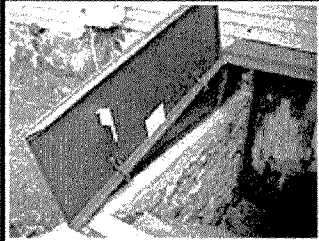
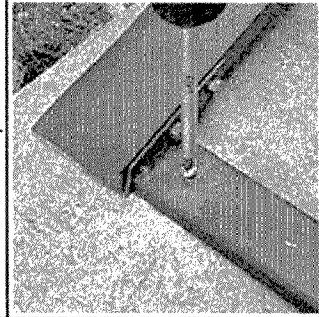
I tapped the plastic anchors into the holes.

I set the door frame back into position and secured it with the small lag screws provided.



Using a utility knife I trimmed away the excess sill seal foam.

There were a couple of smaller screws that held the front section of the frame to the concrete.



With the frame attached, I installed the doors.



Each door has two hinges, and each hinge is held in place with a steel pin (red arrow). A cotter pin prevents the pin from falling out.

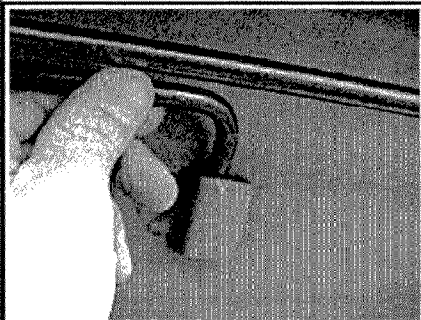
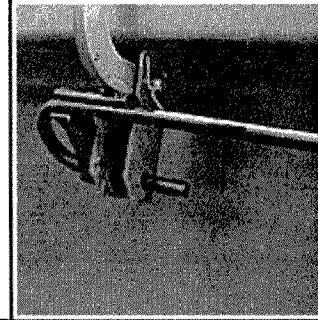
**Important:**

Bilco doors are very heavy, and if the **torsion rod springs** are not installed correctly somebody could get **badly hurt**. Follow the instructions included with the Bilco doors.

The photos that I show here may **not** be an accurate representation of the installation sequence of the 4 torsion springs that help lift the doors.

These photos portray the *some* of the installation steps for the torsion rods on the **right hand** door.

After the first rod was installed, (which on the right hand side is the *lower* rod), I hooked the "J"-shaped end of the second torsion rod into the hinge bracket...



... and then I slipped the "L"-shaped end into the retaining socket.

This photo of the **right-hand door** shows how the lower torsion spring (the black rod on the right) is **behind and above** the upper torsion spring.

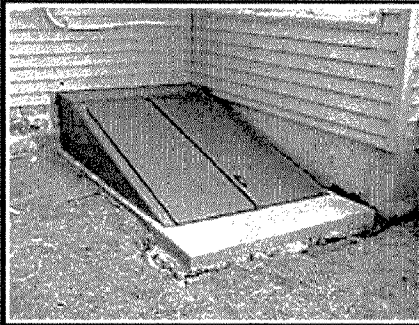
The upper rod holds the lower rod in place. The rod that goes **in front and below** (and holds the other rod in place) must have its "L" end pointing **downward**.



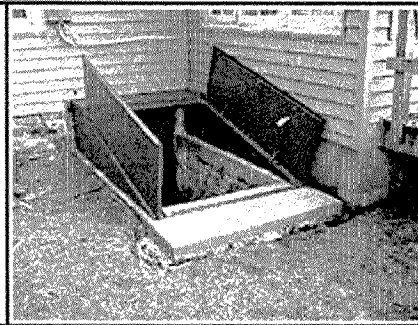
The torsion rod installation for the left hand door is similar, but different. The first rod installed is the upper, and the lower rod holds the upper in place.

On both doors the rod with the "L" end that points downward is **below** the other rod (which has the "L" end that points up).

The torsion rods have number 1 and number 2 markings on their plastic parts. Also, Bilco includes a small tube of special grease to lubricate the torsion rods where they rub against the steel hinges.



The doors after installation. The torsion rod springs make lifting the doors almost effortless.

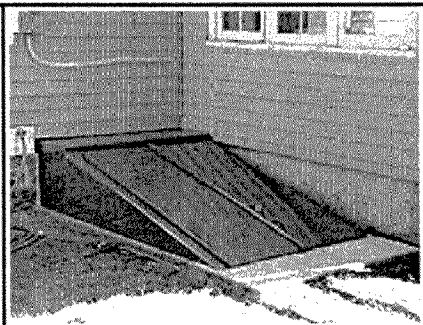


Using a can of expanding foam insulation, I filled the gaps behind the steel extension and the rough stone foundation.

After the foam had cured completely (a couple of hours) I trimmed away the excess with a sharp knife. Then I covered the cut foam with siliconized acrylic latex caulk.

I later painted the doors with oil-based paint, as per Bilco's instructions. The doors are primed at the factory and must be painted to prevent them from rusting.

It took about a quart of paint.

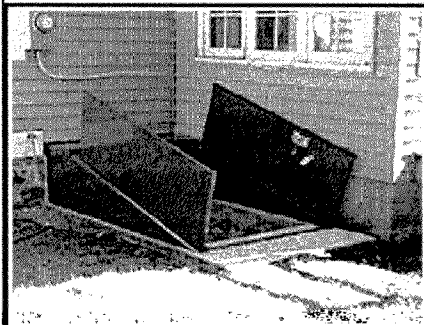


I also installed a Bilco-supplied keyed lock (an option that cost about \$60). Installing this lock involved drilling several holes through the thick steel doors. The holes need to be located rather precisely, and Bilco provides a paper template to lay out the holes. But... drill bits tend to wander when drilling in steel, so achieving precision was not easy. I found that making heavy dimples with a center punch was very important.

I recall that it took me several hours to install just the lock, much longer than the entire door installation.

There is a simple sliding drawbar locking mechanism on the inside of the Bilco door (which is

standard equipment), so the door can be locked from the inside. But the owners of this house wanted to be able to access the basement from the outside, so they needed the additional keyed lock.



The completed and painted door adds a degree of security and convenience to the older home. In fact, I would seriously consider adding this type of exterior basement access to *any* house.

Having spent plenty of time around this house, I find it very convenient to be able to walk directly into the basement without having to go through the house.

From the perspective of a mechanical engineer, I find the Bilco door to be well designed and very sturdy. I understand that Bilco has been making these doors for many decades, and I'm sure they have fine-tuned their design over the years.

The Bilco door is not cheap. This "size C" door with a 12 inch extension and a keyed lock was almost \$700. We bought this Bilco door at a local lumberyard. These are normally special-order items that may take a few days or weeks to arrive.

**Web Links:**

[Click Here for the Bilco Company web site.](#)

**Tools Used:**

- Cordless Drill/Driver
- Basic Carpentry Tools
- Basic Concrete Tools
- Hammer-Drill
- Ratchet Wrench and Sockets

**Materials Used:**

- Bilco Door
- Bilco Door Extension
- Bilco Door Lock
- Expanding Foam
- Caulk
- Concrete
- 2x4's for Concrete Forms

[Back To Top Of Page](#)

Read our [Disclaimer](#).

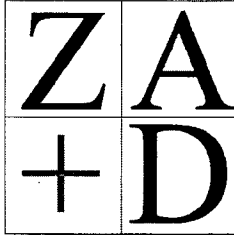
[Search Page](#)



## Sloped Wall Basement Door Specifications

### Specifications:

Bulkhead door to basement shall be Bilco Size \_\_\_\_ (and size of extension, if required) with Size \_\_\_\_ Bilco Stair Stringers (and size E extension, if required). Door and stringers shall be packaged assemblies available from lumber and building supply dealers. Basement Door assembly shall be constructed of .090 - .100 thickness steel with Torsion Cam Lift System. Basement Door (and extension if specified) shall have flow-coated and baked-on factory prime finish and shall be furnished complete with hardware assembly bolts and anchors for securing to masonry. Stringers shall be 14 gauge galvanized steel and manufacturer shall provide nails for securing to masonry walls. Installation shall be in accordance with manufacturer's instructions. Painting contractor shall apply finish coat of \_\_\_\_\_ (color) alkyd outdoor enamel to all interior and exterior surfaces after installation.



**Zavos  
Architecture  
+  
Design**

**LETTER OF TRANSMITTAL**

**TO: MNCPPC  
Attention: Gwen Wright**

**FROM: Richard Cooper**

**DATE: March 25, 2004**

**RE: Moneysworth Farmhouse**

**WE TRANSMIT:**  Attached under separate cover via UPS the following items:

Shop Drawings     Prints     Plans     Samples     Specifications  
 Copy of Letter     Change Order   

| COPIES | DATE     | NO. | DESCRIPTION                           |
|--------|----------|-----|---------------------------------------|
| 1      | 03-11-04 |     | Structural Report -Wolfman Associates |
|        |          |     |                                       |
|        |          |     |                                       |
|        |          |     |                                       |
|        |          |     |                                       |

**TRANSMITTED FOR:**

Approval     Review & Comment     Use     As Requested  
 Modifications / Corrections     **Review**

**REMARKS:**

cc: File Copy

**SIGNED BY: Richard Cooper**

141 West Patrick Street, Ste. 27 (Temp. Location)  
323 West Patrick Street (Future Permanent Location)  
Frederick, MD 21701  
Telephone: (301) 698-0020  
Facsimile: (301) 698-0920  
[www.zavosarchitecture.com](http://www.zavosarchitecture.com)

**WOLFMAN & ASSOCIATES, P.C.**  
**CONSULTING STRUCTURAL ENGINEERS**8720 GEORGIA AVENUE, SUITE 908  
SILVER SPRING, MARYLAND 20910

MEMBER ACEC

RC  
F

Ronald F. Wolfman, P.E.

**Date:** March 11, 2004

**Client:** Bruce Zavos  
Zavos Architecture + Design  
323 West Patrick Street  
Frederick, Maryland 21701

**Re:** Moneyworth House  
Survey of Existing House  
Clarksburg, MD 20871  
22104.SR2

Dear Mr. Cooper:

At your request, on Tuesday, March 9, 2004 Wolfman & Associates, P.C., performed a structural survey at the above referenced address. The purpose of our survey was to review the structural integrity of the existing house.

The following people accompanied us during our site visit:

|                   |   |  |
|-------------------|---|--|
| Richard Cooper    | - | Zavos Architecture + Design                  |
| William H. Novak  | - | Montgomery County Department of Public Works |
| Ronald F. Wolfman | - | Wolfman & Associates, P.C.                   |

The Moneyworth Farm is an 18<sup>th</sup> century farm designated as a Montgomery County Historic site. Part of the house is believed to be constructed before 1783. This house is the sole remaining example of this type of house - a Log Tidewater Cottage - in the Montgomery/Prince George's County region.

The house is broken into two sections. The original house that was built before 1783 is a fairly rare style of building in this region. This part of the house is unique because it was built using rough-hewn logs indigenous to the Midland region. This part of the house is two stories. The second part of the house which is the front half of the house that includes the primary entrance was built around 1859. The style of construction is Vernacular Greek Revival. This newer part of the house is 2-1/2 stories.

Since the house is in a restorable condition, it is believed that the house should be saved and restored to a condition that can be used for educational purposes. The current additions to the house that were done within the last 100 years are to be removed, so the house can return to the pre1870 condition. These parts include the bathroom addition and the south porch enclosure.

As stated in the Preliminary Historic Preservation Survey and Needs Analysis from January 31, 1997, "Water is the greatest enemy of old buildings.

Page 2  
Moneyworth House  
22104.SR2

In this case, it is attacking from all sides and must be dealt with promptly to avoid an exponential increase in the cost of future restoration efforts." This referenced survey was completed in 1997. **The proper effort was not taken to ensure that water would not come into contact with wood members of the house and it appears that some parts of the house need more attention than others.** This will be an important point to keep in mind when reading through the observations that are included with the following part of this survey.

Note: See Figures 1 and 2 to reference rooms.

**The following observations were made:**

**Outside of the house:**

Observations:

1. The primary entrance where the east porch is connected to the house is in very bad condition. The floor and foundation of the porch are in need of repair. The columns that support the roof of the porch are not all standing. See Figure 1.
2. The right side of the house facing the corrections facility appears to have a termite infestation and decay. The siding on the north side of the house adjacent to the corrections facility has major problems. The stud wall appears to have a significant amount of decayed members. The area adjacent to the kitchen has completely decayed. The floor system planking was removed and exposed showing even more deterioration.
3. The addition of the bathroom on the back of the building is evident from the different types of siding used on the main house and the bathroom. The wood siding differs from the asbestos siding. Another indication is that the foundation is concrete masonry units compared to the original house that has a field stone and mortar foundation. This part of the house is being removed, so there will be no recommendations on what to do with this part of the building.
4. There is a beehive in the wall of the south parlor. These bees must be removed because of the damage that they may have done to the structure and will continue to do. Further investigation will be required in this area. The wall in this area needs to be removed in order to make the proper investigation. This should be done before the spring when the bees will become more active. We anticipate that some type of corrective measure will be required in this area.

**Inside of the house:**

Observation:

1. The first room that was inspected was the north parlor. See Figure 1. The floor is not stable. The floor system below the planking has been compromised in some way and there needs to be further investigation. The floor planking was removed along the front wall.

Page 3  
Moneyworth House  
22104.SR2

We observed major termite damage and the structural integrity of the entire floor system have been compromised. Some of the floor members have completely collapsed. The floor joist span approximately 15 feet from the front wall to the interior wall. We also observed major deterioration along the side wall sill plate. The walls appear to be stable, but further investigation is required. We recommend that the bottom 3 feet of wall plaster be removed around the entire north parlor to review the condition of the sill plates and stud walls.

Exploratory holes were placed in the ceiling of the north parlor room. The second floor members and planking appeared to be in good condition. Also, where we could observe, the top of the wall studs appears to be in good condition.

2. The planking at the north parlor has been removed along the front wall. We were able to observe the floor joists. These members appear to be in moderately good condition. Some minor termite damage was observed along the top of the joists and along the bottom surface of the plank where it was in contact with the joists. Most of the removed planks either need to be replaced or requires major restoration. We recommend that the area below this floor system be cleaned out of all trash including webs etc. after this has been completed, further investigation will be done in order to determine if any of the remaining plank has to be removed.

Some exploratory ceiling holes were made in the ceiling of the north parlor. It appears that the second floor system is in good condition.

3. Further investigation is needed along the front entrance foyer. Soft areas indicated that there might be some problems in this area. We recommend that the floor planking in this area be removed in order to determine the condition of the floor members.

4. The floor and roof of the south porch are also in very bad condition. The roof cannot be salvaged. See Figure 1.

5. The kitchen has major structural issues. This appears to be the area of the house with the largest problem including decay of the wood members and termite infestation. The ceiling is falling and the roof system is damaged. The floor planking was removed in this area. The floor members observed has major deterioration. See Figure 1.

6. The living quarters, which are the main room of the original house (located at the rear), do need further inspection to ensure that the whole floor is safe. There are three layers of material on the floor. The first appears to be a tar paper type material, the second looks like linoleum flooring and the third appears to be some straw matting.

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Moneyworth House  
22104.SR2

These layers of material are not good for the floor because the layers are keeping moisture from escaping the wood and in time this will cause the wood to decay. All of the layered coverings have been removed. The floor system appears to be solid and little or no deterioration was observed. Some exploratory openings were made in the ceiling of the living quarters. The floor members above appeared to be in stable condition. No major deterioration was observed to the floor members. We made observations in the basement (crawl space area) located below the main room. The floor joists appear to be in relatively good condition. The plank also appeared to be in good condition. See Figure 1.

7. The second story over the living room in the center of the house is in satisfactory condition. The floor is not completely stable but the walls and ceiling are intact. The stairs up to the second floor need to be reinforced to minimize the amount of deflection when using them. See Figure 2.

8. The second story of the house that is accessible near the front door appears to be structurally sound. The stairway appears to be in good condition. Some of the floors of the second story rooms need to be checked because of the deflection that occurs by just walking on the floor planks. The walls and ceilings for this part of the house are intact. See Figure 2.

9. The attic of the house is in good condition. All of the wood members for the roof are in good condition. There is no moisture damage or any indication that termites have damaged this part of the house. No deflections were observed in the roof system.

10. The last part of the house that we inspected was the root cellar. We were able to inspect the floor joists under the living room. The floor system seems to be stable. The floor joists are 8" round logs placed 24" o.c. and the floor is a 15' span. The other parts of the house also have crawl spaces, but we were unable to access the crawl spaces to inspect the other parts of the house.

**Outside of the house:**

**Recommendation:**

1. The east porch, which is the primary entrance, needs to be replaced. A new foundation needs to be repoured and the whole floor needs to be replaced. The columns must either be restored or placed to match that of the original house. See Figure 1.
2. The siding at the right side (north, facing the detention facility) of the house which is decaying needs to be removed and there needs to be more inspection as to the condition of the stud walls. Some replacement of the stud walls will most likely be required.

Page 5  
Moneyworth House  
22104.SR2

**Inside of the house:**

**Recommendation:**

1. The entire floor system of the north parlor must be replaced. Some of the floor planking might be salvageable, but indications are that major restoration will be needed. The sill plates in this area must be checked. It appears that at least 50% of them will have to be replaced. See Figure 1.
2. Additional investigation will be required in the south parlor. It should be noted that the south parlor is in much better condition than the north parlor. We recommend that a good portion of the plaster at the side exterior wall be removed in order to determine the extent of damage done by the bees. This should be done before warmer weather is upon us. Also, the crawl space is to be cleaned out in order to perform a final structural investigation. We believe that most of the plank and all of the joist members can be left as they are.
3. The whole roof and floor system in the south porch area (area facing the chicken coop) needs to be replaced. Major damage was observed throughout this area. See Figure 1.
4. The kitchen ceiling has major deterioration. The ceiling and floor plank have been removed in order to review the floor and roof system. From the observations we were able to make the entire floor and roof system must be removed and replaced. The walls are also decayed to a point where they must be removed and replaced. See Figure 1.
5. The living room has problems with the floor and walls. The plaster walls are falling down in some areas and might need to be replaced. When these walls are being fixed, the wall studs should be inspected in order to determine the condition. The floor needs attention in that the coverings mentioned in the observations needs to be removed as soon as possible to allow the wood planking to dry. All of the coverings were removed so we could make proper observations. The floor system, even though they were uneven, appeared to be structurally sound. See Figure 1.
6. The sleeping loft and bedroom directly over the living room needs to be improved. The floor appears to be unstable and therefore we recommend that several exploratory holes be made to verify the condition of the floor members. The walls and ceilings appear to be in good condition in this room. See Figure 2.
7. Throughout the house the floors are unstable to walk on. If it is found by further inspection that the floor joists throughout the house are in good condition then the floor planking can be reinforced by:
  - A. Removing the floor planks without damaging them.
  - B. Placing plywood sheathing on the floor joists.
  - C. Putting the original floor planks over the plywood sheathing.

Page 6  
Moneyworth House  
22104.SR2

It should be noted that there may be items which were not visible or may not have been apparent at the time of our site visit but may become apparent at a later date. This report is our professional opinion regarding the above-mentioned structure only at the time of our visit to the job site and is in no way a guarantee of the structural longevity of the building.

The evaluation of an existing building requires that certain assumptions be made regarding existing conditions, many of which are not able to be reviewed by reasonable visual observation. These assumptions cannot be verified without additional cost or demolition. The Client understands that actual field conditions may subsequently be found to vary from design assumptions that in turn may alter or increase the scope of the design and/or construction.

We did not perform any testing for asbestos, radon, termite damage or for any other environmental pollutants or hazardous material. If there are any questions concerning this report, or if we can be of further service please do not hesitate to contact our office.

Sincerely,



Ronald F. Wolfman, P.E.

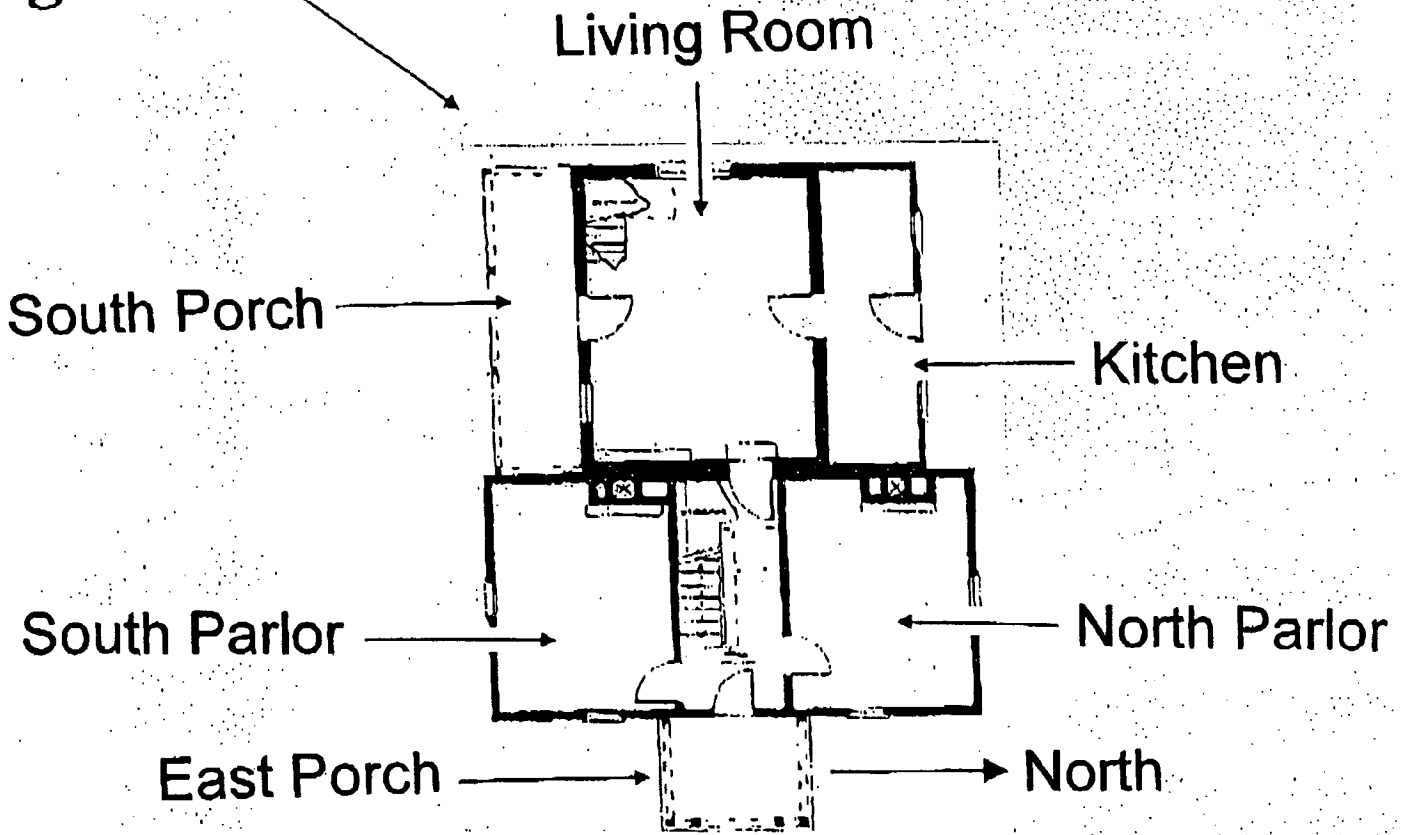
For: Wolfman & Associates, P.C.

RFW/ab

Fax: Zavos - Richard Cooper - 1-301-698-0920

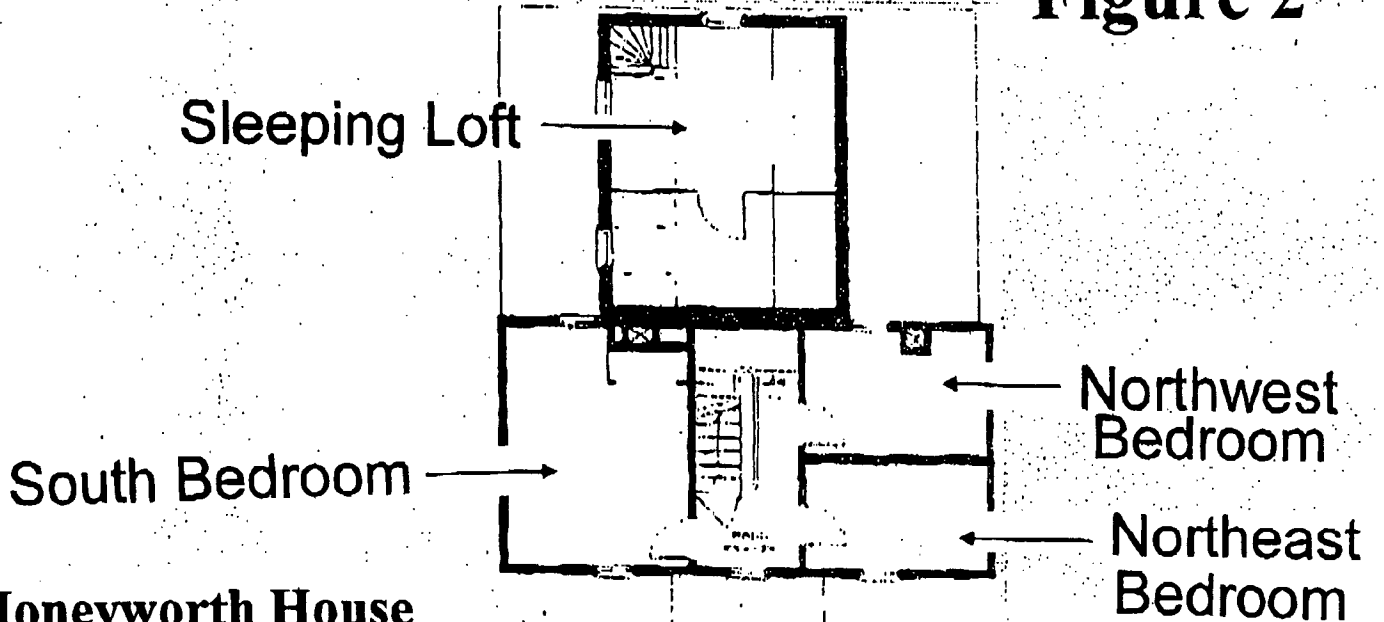


# Figure 1



1<sup>st</sup> floor with Greck Revival addition

# Figure 2



2<sup>nd</sup> floor with Greck Revival addition

**Moneyworth House**  
**Clarksburg, MD**  
**22-104**

**American Standard**

**WHEELCHAIR  
USERS LAVATORY**

VITREOUS CHINA

 **BARRIER FREE**

**WHEELCHAIR USERS LAVATORY**

- Vitreous china
- Front overflow
- For concealed arms support (by others)
- Faucet ledge (faucet not included)

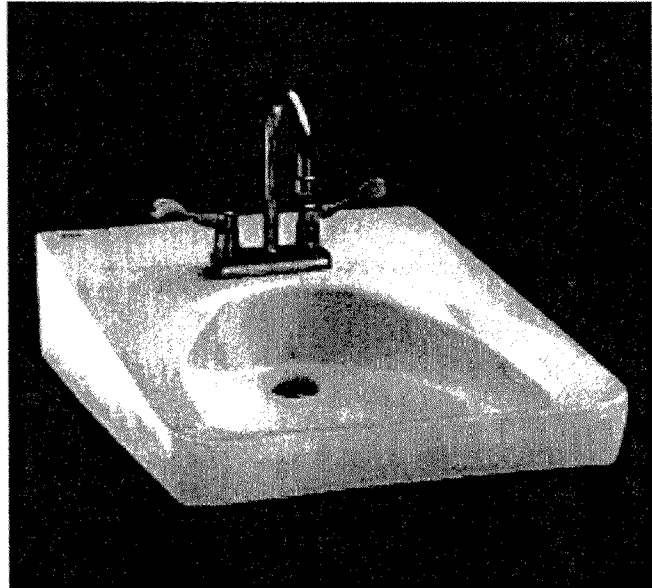
**9141.011** (Illustrated)  
Faucet holes on 102mm (4") centers

**9140.013**  
Faucet holes on 305mm (12") centers

**9140.047**  
Center hole only

Nominal Dimensions:  
508 x 686mm  
(20" x 27")

**Compliance Certifications -  
Meets or Exceeds the Following Specifications:**  
• ASME A112.19.2M for Vitreous China Fixtures



**NOTE:** Roughing-in information shown on reverse side of page

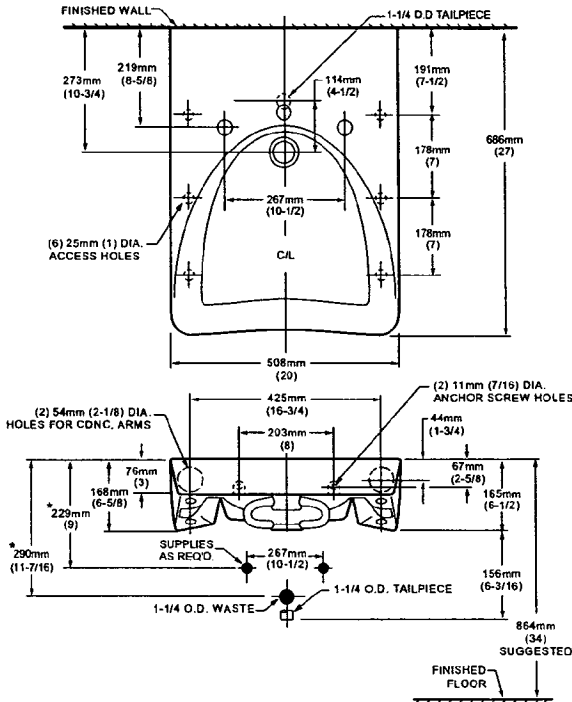
To Be Specified

- Color:
- Faucet\*:
- Faucet Finish:
- Supplies with Stop:
- 1-1/4" Trap:
- Nipple:
- Concealed Arms Support (by others):
- Offset Grid Drain Assembly: 7723.018

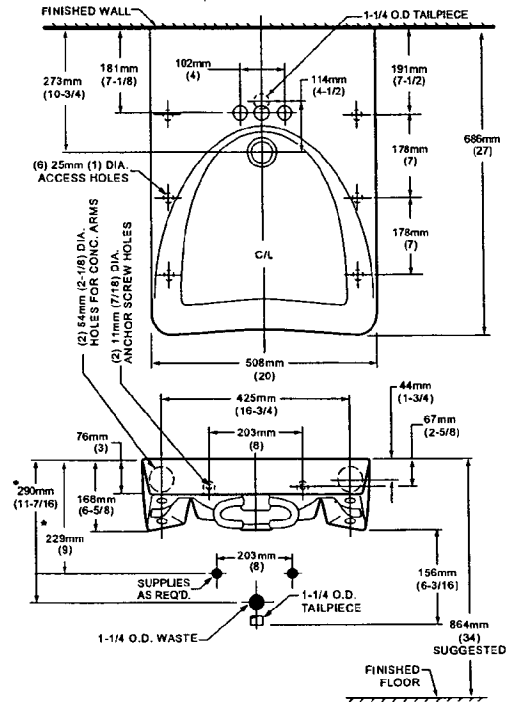
\* See faucet section for additional models available

 Top of front rim mounted 864mm (34") from finished floor.  
**MEETS THE AMERICAN DISABILITIES ACT GUIDELINES AND ANSI A117.1 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES - CHECK LOCAL CODES.**

9140.013



9141.011



Top of front rim mounted 864mm (34") from finished floor.  
MEETS THE AMERICAN DISABILITIES ACT GUIDELINES AND ANSI A117.1 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES - CHECK LOCAL CODES.

NOTES:

\* DIMENSIONS SHOWN FOR LOCATION OF SUPPLIES AND "P" TRAP ARE SUGGESTED.

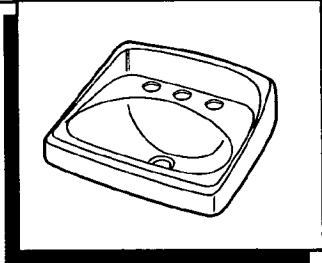
CONCEALED ARM SUPPORT AS REQUIRED TO BE FURNISHED BY OTHERS.

FITTINGS NOT INCLUDED AND MUST BE ORDERED SEPARATELY.

PROVIDE SUITABLE REINFORCEMENT FOR ALL WALL SUPPORTS.

IMPORTANT: Dimensions of fixtures are nominal and may vary within the range of tolerances established by ANSI Standard A112.19.2. These measurements are subject to change or cancellation. No responsibility is assumed for use of superseded or voided pages.

Wall Hung Bathroom Sink



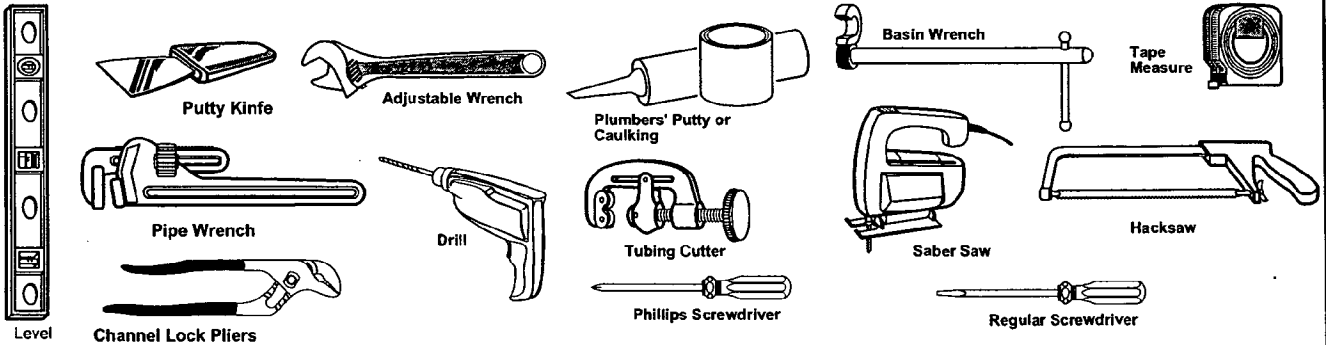
**\*NOTE:** For installation of models using concealed or exposed arms, follow instruction provided by arms manufacturer.

**Introduction:** Thank you for selecting our products...products which have been the benchmarks of fine quality for years. To help insure that the installation process will proceed smoothly, please read these instructions carefully before you begin. Also, review the recommended tools and materials list; carefully unpack and examine your new plumbing fixture.

**CAUTION: PRODUCT IS FRAGILE. TO AVOID BREAKAGE AND POSSIBLE INJURY HANDLE WITH CARE!**

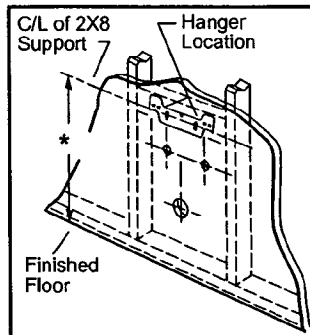
**NOTE:** Pictures may not exactly define contour of china and components.

Recommended Tools & Materials



**1** Provide suitable reinforcement behind finished wall for lavatory hanger mounting screws. \*Determine horizontal center line location of support from the table listed in Step 2. (Make sure support bottom extends to lavatory back wall bottom.)

**NOTE:** If replacing an existing sink be certain to shut off water supply before removing old sink.



**3** Position hanger according to Step 2, making sure its center is aligned with the waste hole centerline. Mark the hanger screw locations through its mounting holes.

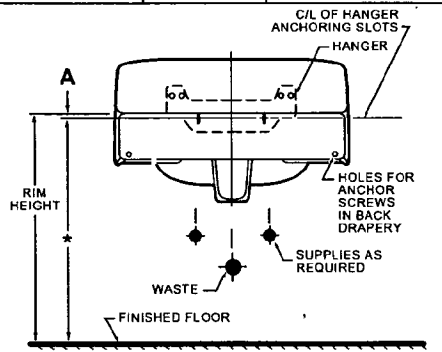
**2** Determine the desired rim height (for example 32") then select from the Table at right the height of the hanger mounting bolts centerline

**EXAMPLE:**

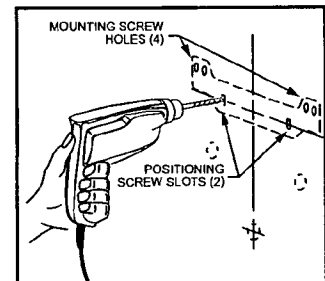
For Lucerne:  
32"-1"=31"

For Ledgewood:  
32"+2-7/8"=34-7/8"

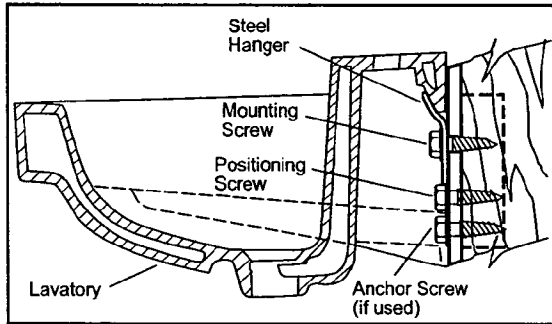
| TABLE     |           |                 |
|-----------|-----------|-----------------|
| Part #    | Model     | Distance "A"    |
| 0124      | Comrade   | - 2-1/2" (64mm) |
| 0321      | Declyn    | - 2-3/4" (70mm) |
| 0355/0356 | Lucerne   | - 1" (25mm)     |
| 0372/0373 | Penlyn    | - 1/8" (3mm)    |
| 4300      | Ledgewood | + 2-7/8" (73mm) |
| 4867/4869 | Regalyn   | + 2-3/4" (70mm) |
| 5300      | Ledgemere | + 2-1/2" (64mm) |



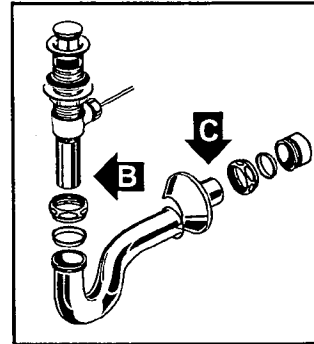
**4** Drill pilot holes in positioning screw slots of hanger. (Note: Some models are supplied with anchor screws, or steel hangers for lavatory installations. Other models are not provided with mounting hardware which can be purchased at local hardware outlets. Lavatories with bottom anchor screw holes should be secured with anchor screws in addition to hangers.)



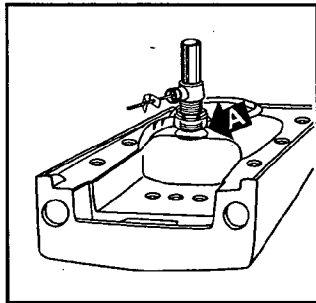
**5** Affix hanger to wall (hand tighten only). Mount lavatory for positioning, level the deck, and mark bottom anchor screw holes (if applicable). Remove lavatory, tighten the hanger positioning screws and drill pilot holes for anchor screws and 4 mounting screws. Install and tighten the mounting screws.



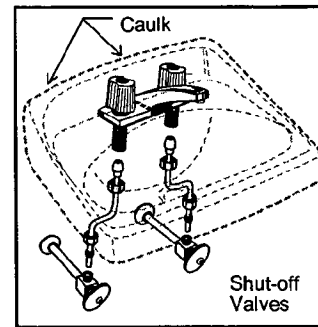
**7** Return the fitted lavatory to the installed position. Connect trap to drain assembly hand tight to check alignment. It may be necessary to cut off part of the tailpiece (area "B") or part of the horizontal leg of the trap (area "C").



**6** Following manufacturers instructions, install faucet and drain assembly. (Not included). Be certain to apply a bead of sealing putty on the underside of the drain (Part "A") in order to ensure a watertight seal between the lavatory and drain. Remove excess putty after installing drain on lavatory.



**8** Secure lavatory on hanger as shown in 5. Insert and tighten anchor screws if applicable. Connect hot and cold supply lines to the shut-off valves. Tighten trap joints for watertight assembly. Apply a bead of caulk around the edge which contacts the wall as shown.



*American Standard*

*Ideal Standard*

*Inosa Standard*

*Sadona Standard*

*Cedexa*

**Saniwares**

**AMERICAN STANDARD ONE-YEAR LIMITED WARRANTY**

If inspection of this American Standard plumbing product, within one year after its initial installation, confirms that it is defective in materials or workmanship, American Standard will repair or, at its option, exchange the product for a similar model.

This limited warranty **does not apply** to local building code compliance; since local building codes vary considerably, the purchaser of this product should check with a local building or plumbing contractor to insure local code compliance before installation.

This warranty **shall be void** if the product has been moved from its initial place of installation; if it has been subjected to faulty maintenance, abuse, misuse, accident or other damage; if it was not installed in accordance with American Standard's instructions; or if it has been modified in a manner inconsistent with the product as shipped by American Standard.

American Standard's option to repair or exchange the product under this warranty does not cover any labor or other costs of removal or installation, **nor shall American Standard be responsible for any other incidental or consequential damages attributable to a product defect or to the repair or exchange of a defective product, all of which are expressly excluded from this warranty.** (Some states or provinces do not allow the exclusion or limitation of implied warranties, so this exclusion may not apply to you.)

This warranty gives you specific legal rights. You may have other statutory rights that vary from state to state or from province to province, in which case this warranty does not affect statutory rights.

For service under this warranty, it is suggested that a claim be made through the contractor or dealer from or through whom the product was purchased, or that a service request (including a description of the product model and of the defect) be sent to the following address:

**In the United States:**  
 American Standard, Inc.  
 One Centennial Ave.  
 Piscataway, New Jersey 08855  
 Attention: Director of Consumer Affairs

**In Canada:**  
 American Standard, Inc.  
 2480 Stanfield Rd.,  
 Mississauga, Ontario  
 Canada L4Y 1S2  
 Toll Free: (800) 387-0369

**In Mexico:**  
 Customer Service Manager  
 American Standard, Inc.  
 Via Morelos #330  
 Col. Santa Clara  
 Ecatepec 55540 Edo. Mexico

Toll Free: (800) 442-1902

Moneysworth

American Standard

# CADET™ 16-1/8"H EL 1.6/PA ELONGATED TOILET

VITREOUS CHINA

## CADET™ 16-1/8"H EL 1.6/PA

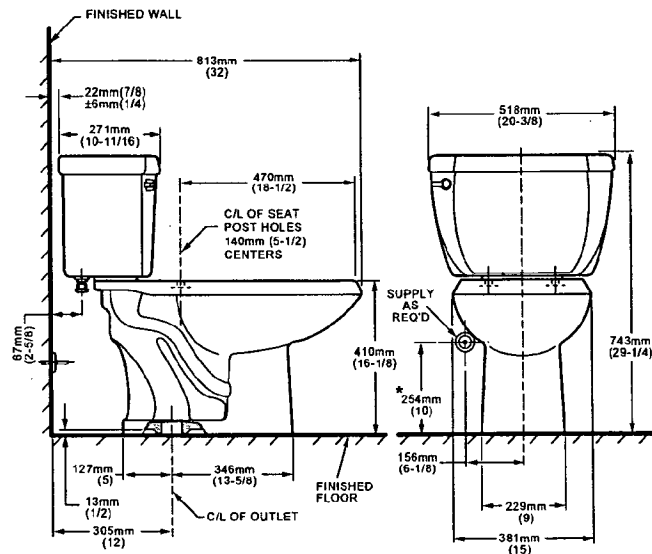
- 2168.162**
  - Vitreous china
  - Low-consumption (6.0 Lpf/1.6 gpf)
  - 16-1/8" rim height
  - Elongated bowl
  - Pressure-assisted siphon jet flush action
  - Close-coupled flushometer tank\*
  - Side-mounted chrome trip lever
  - Speed Connect™ tank/bowl coupling system
  - 2 bolt caps
  - Fully-glazed trapway
  - 100% factory flush tested
  - 3042.102** Bowl
  - 4086.100** Tank
- 2168.456** with Slotted Rim for Bedpan holding
  - 3042.456** Bowl
  - 4086.100** Tank

Nominal Dimensions:  
813 x 518 x 743mm  
(32" x 20-3/8" x 29-1/4")

Fixture only, seat and supply by others

Hydraulic performance, water surface area, trap seal depth, ballpass diameter, and all fixture dimensions meet or exceed ANSI Standard A112.19.2 requirements.

Recommended static pressure range  
20 psi - 80 psi



### To Be Specified

- Color:
- Seat: American Standard #5324.019 "Rise and Shine" (with easy to clean lift-off hinge system) solid plastic closed front seat with cover. See page TBU-001.
- Seat: American Standard #5311.012 "Laurel" molded closed front seat with cover. See page TBU-001.
- Seat: Pressalit seats for American Standard, closed front seat with cover (thermoset compound material). See pages TBU-002 through TBU-005.
- Alternate Seat:
- Supply with stop:

\* Flushometer tank system by Flushmate® Div. of Sloan Valve Co.

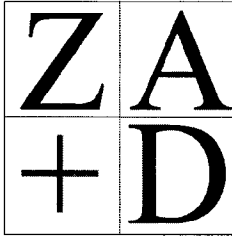
### NOTES:

THIS TOILET IS DESIGNED TO ROUGH-IN AT A MINIMUM DIMENSION OF 305MM (12") FROM FINISHED WALL TO C/L OF OUTLET.  
SUPPLY NOT INCLUDED WITH FIXTURE AND MUST BE ORDERED SEPARATELY.  
\* DIMENSIONS SHOWN FOR LOCATION OF SUPPLY IS SUGGESTED.  
FOR ADDITIONAL INFORMATION REFER TO INSTALLATION INSTRUCTIONS SUPPLIED.  
IMPORTANT: Dimensions of fixtures are nominal and may vary within the range of tolerances established by ANSI Standard A112.19.2.  
These measurements are subject to change or cancellation. No responsibility is assumed for use of superseded or voided pages.



● When installed so top of seat is 432 to 483mm (17" to 19") from the finished floor.  
**MEETS THE AMERICAN DISABILITIES ACT GUIDELINES AND ANSI A117.1 REQUIREMENTS FOR PEOPLE WITH DISABILITIES**





**Zavos  
Architecture  
+  
Design**

**RECEIVED**  
**DEC 24 2003**  
Dept. of Permitting Services  
Division of  
Casework Management

**LETTER OF TRANSMITTAL**

**TO: Dept. Of Permitting Services  
Attention: Plan Review Board**

**FROM: Richard Cooper**

**DATE: December 24, 2003**

**RE: Moneysworth Farmhouse**

**WE TRANSMIT:**  Attached under separate cover via UPS the following items:

- Shop Drawings       Prints       Plans       Samples       Specifications
- Copy of Letter       Change Order

| COPIES | DATE     | NO. | DESCRIPTION                  |
|--------|----------|-----|------------------------------|
| 2      | 12-24-03 |     | 11x17 Copy of HAWP Submittal |
| 2      | 12-24-03 |     | full size C-2 (civil)        |
| 2      | 12-24-03 |     | 8 1/2x14 Exhibit "B"         |
| 2      | 12-24-03 |     | Narrative                    |
| 2      | 12-24-03 |     | Project material data sheets |

**TRANSMITTED FOR:**

- Approval       Review & Comment       Use       As Requested
- Modifications / Corrections       **Review**

**REMARKS:** This copy is for your review and comment. Please contact me if you have any questions or further information you will need for your review. We are scheduled for The Mandatory Referral Meeting, on the 29<sup>th</sup> of Jan., 2004, at the Maryland National Park & Planning office.

Thanks for your attention into this matter,

Richard Cooper, Zavos Architecture + Design

141 West Patrick Street, Ste. 27 (Temp. Location)  
323 West Patrick Street (Future Permanent Location)  
Frederick, MD 21701  
Telephone: (301) 698-0020  
Facsimile: (301) 698-0920  
[www.zavosarchitecture.com](http://www.zavosarchitecture.com)



**American Standard**



**BARRIER FREE**

**WHEELCHAIR  
USERS LAVATORY**

VITREOUS CHINA

**WHEELCHAIR USERS LAVATORY**

- Vitreous china
- Front overflow
- For concealed arms support (by others)
- Faucet ledge (faucet not included)

**9141.011** (Illustrated)  
Faucet holes on 102mm (4") centers

**9140.013**  
Faucet holes on 305mm (12") centers

**9140.047**  
Center hole only

Nominal Dimensions:  
508 x 686mm  
(20" x 27")

**Compliance Certifications -  
Meets or Exceeds the Following Specifications:**  
• ASME A112.19.2M for Vitreous China Fixtures



**NOTE:** Roughing-in information shown on reverse side of page

To Be Specified

- Color:
- Faucet\*:
- Faucet Finish:
- Supplies with Stop:
- 1-1/4" Trap:
- Nipple:
- Concealed Arms Support (by others):
- Offset Grid Drain Assembly: 7723.018

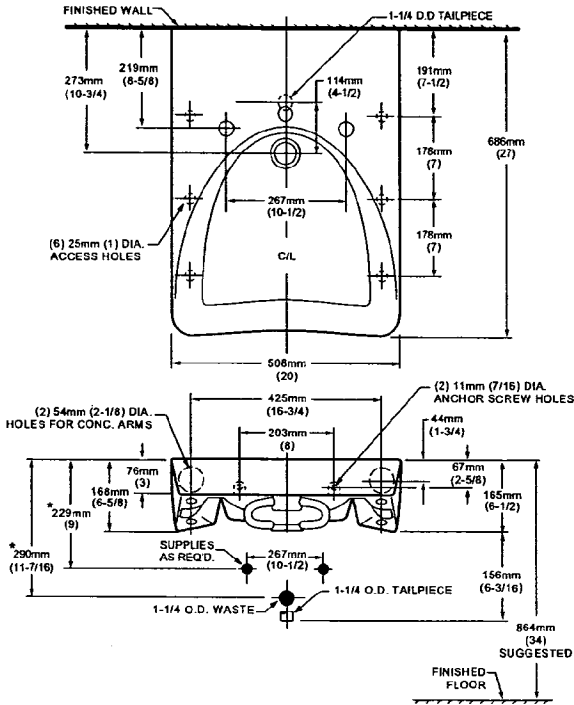
\* See faucet section for additional models available



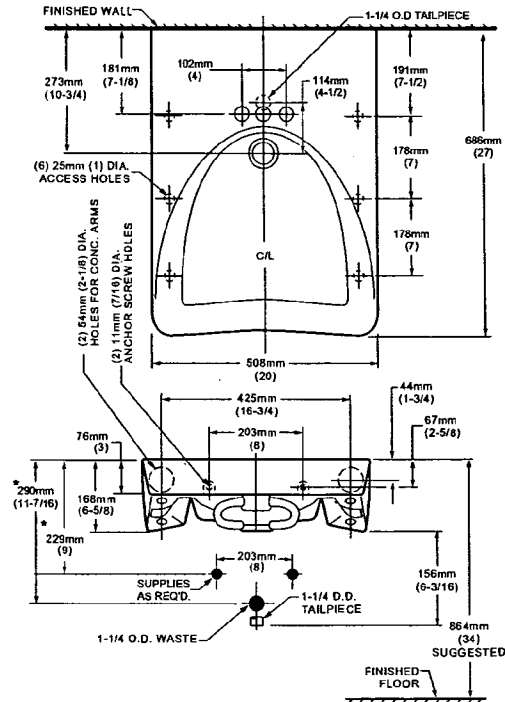
Top of front rim mounted 864mm (34") from finished floor.  
**MEETS THE AMERICAN DISABILITIES ACT GUIDE-  
LINES AND ANSI A117.1 ACCESSIBLE AND USEABLE  
BUILDINGS AND FACILITIES - CHECK LOCAL CODES.**



9140.013



9141.011



Top of front rim mounted 864mm (34") from finished floor.  
MEETS THE AMERICAN DISABILITIES ACT GUIDELINES AND ANSI A117.1 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES - CHECK LOCAL CODES.

NOTES:

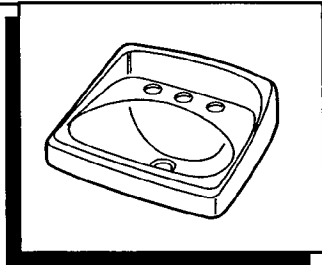
\* DIMENSIONS SHOWN FOR LOCATION OF SUPPLIES AND "P" TRAP ARE SUGGESTED.

CONCEALED ARM SUPPORT AS REQUIRED TO BE FURNISHED BY OTHERS.

FITTINGS NOT INCLUDED AND MUST BE ORDERED SEPARATELY.

PROVIDE SUITABLE REINFORCEMENT FOR ALL WALL SUPPORTS.

IMPORTANT: Dimensions of fixtures are nominal and may vary within the range of tolerances established by ANSI Standard A112.19.2. These measurements are subject to change or cancellation. No responsibility is assumed for use of superseded or voided pages.



# Wall Hung Bathroom Sink

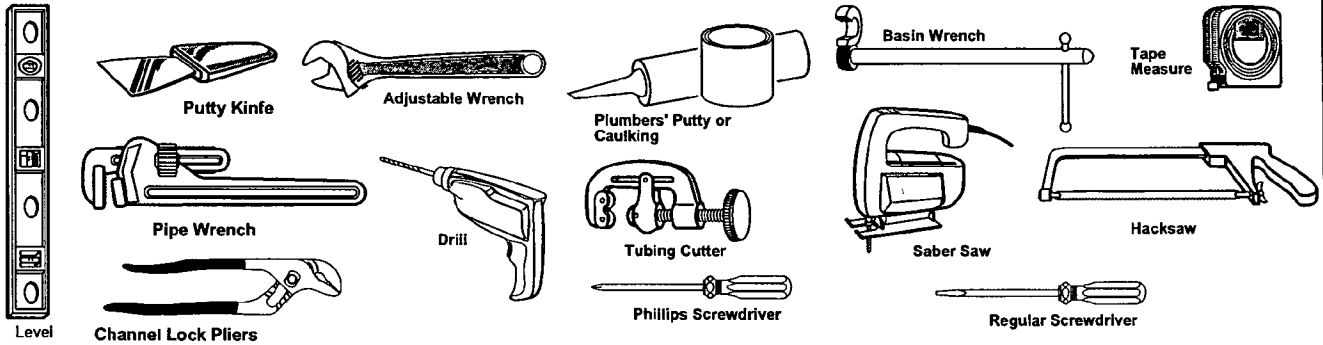
**\*NOTE:** For installation of models using concealed or exposed arms, follow instruction provided by arms manufacturer.

**Introduction:** Thank you for selecting our products...products which have been the benchmarks of fine quality for years. To help insure that the installation process will proceed smoothly, please read these instructions carefully before you begin. Also, review the recommended tools and materials list; carefully unpack and examine your new plumbing fixture.

**CAUTION: PRODUCT IS FRAGILE. TO AVOID BREAKAGE AND POSSIBLE INJURY HANDLE WITH CARE!**

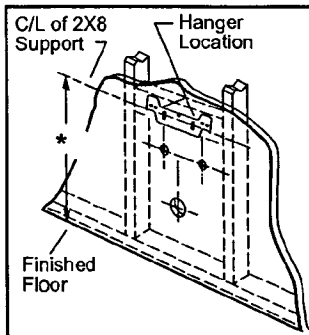
**NOTE:** Pictures may not exactly define contour of china and components.

## Recommended Tools & Materials



**1** Provide suitable reinforcement behind finished wall for lavatory hanger mounting screws. \*Determine horizontal center line location of support from the table listed in Step 2. (Make sure support bottom extends to lavatory back wall bottom.)

**NOTE:** If replacing an existing sink be certain to shut off water supply before removing old sink.



**3** Position hanger according to Step 2, making sure its center is aligned with the waste hole centerline. Mark the hanger screw locations through its mounting holes.

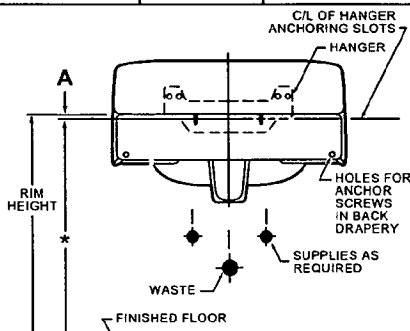
**2** Determine the desired rim height (for example 32") then select from the Table at right the height of the hanger mounting bolts centerline

**EXAMPLE:**

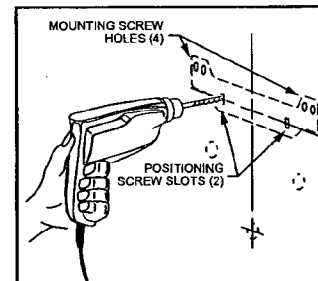
For Lucerne:  
32"-1"=31"

For Ledgewood:  
32"+2-7/8"=34-7/8"

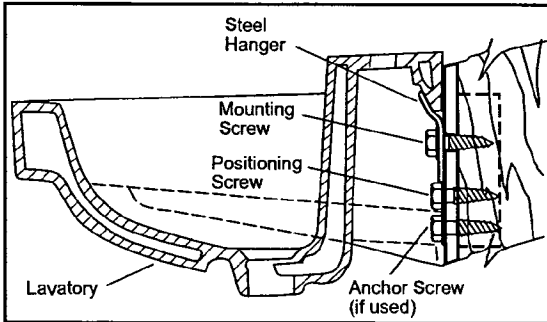
| TABLE     |           |                 |
|-----------|-----------|-----------------|
| Part #    | Model     | Distance "A"    |
| 0124      | Comrade   | - 2-1/2" (64mm) |
| 0321      | Declyn    | - 2-3/4" (70mm) |
| 0355/0356 | Lucerne   | - 1" (25mm)     |
| 0372/0373 | Penlyn    | - 1/8" (3mm)    |
| 4300      | Ledgewood | + 2-7/8" (73mm) |
| 4867/4869 | Regalyn   | + 2-3/4" (70mm) |
| 5300      | Ledgemere | + 2-1/2" (64mm) |



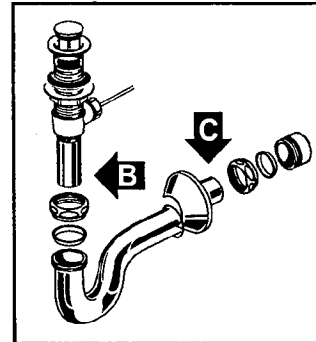
**4** Drill pilot holes in positioning screw slots of hanger. (Note: Some models are supplied with anchor screws, or steel hangers for lavatory installations. Other models are not provided with mounting hardware which can be purchased at local hardware outlets. Lavator-ies with bottom anchor screw holes should be secured with anchor screws in addition to hangers.)



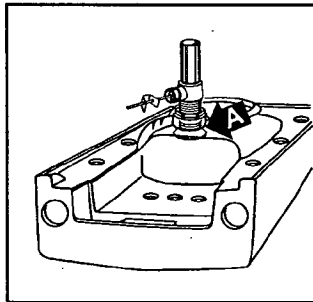
**5** Affix hanger to wall (hand tighten only). Mount lavatory for positioning, level the deck, and mark bottom anchor screw holes (if applicable). Remove lavatory, tighten the hanger positioning screws and drill pilot holes for anchor screws and 4 mounting screws. Install and tighten the mounting screws.



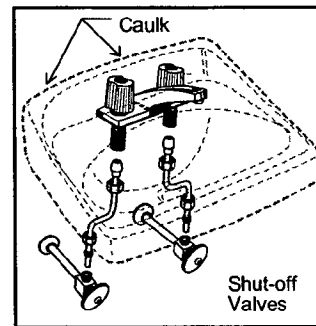
**7** Return the fitted lavatory to the installed position. Connect trap to drain assembly hand tight to check alignment. It may be necessary to cut off part of the tailpiece (area "B") or part of the horizontal leg of the trap (area "C").



**6** Following manufacturers instructions, install faucet and drain assembly. (Not included). Be certain to apply a bead of sealing putty on the underside of the drain (Part "A") in order to ensure a watertight seal between the lavatory and drain. Remove excess putty after installing drain on lavatory.



**8** Secure lavatory on hanger as shown in 5. Insert and tighten anchor screws if applicable. Connect hot and cold supply lines to the shut-off valves. Tighten trap joints for watertight assembly. Apply a bead of caulk around the edge which contacts the wall as shown.



*American Standard*

*Ideal Standard*

*Inessa Standard*

*Sadona Standard*

*Cedelca*

**Saniwares**

#### AMERICAN STANDARD ONE-YEAR LIMITED WARRANTY

If inspection of this American Standard plumbing product, within one year after its initial installation, confirms that it is defective in materials or workmanship, American Standard will repair or, at its option, exchange the product for a similar model.

This limited warranty **does not apply** to local building code compliance; since local building codes vary considerably, the purchaser of this product should check with a local building or plumbing contractor to insure local code compliance before installation.

This warranty **shall be void** if the product has been moved from its initial place of installation; if it has been subjected to faulty maintenance, abuse, misuse, accident or other damage; if it was not installed in accordance with American Standard's instructions; or if it has been modified in a manner inconsistent with the product as shipped by American Standard.

American Standard's option to repair or exchange the product under this warranty does not cover any labor or other costs of removal or installation, **nor shall American Standard be responsible for any other incidental or consequential damages attributable to a product defect or to the repair or exchange of a defective product, all of which are expressly excluded from this warranty.** (Some states or provinces do not allow the exclusion or limitation of implied warranties, so this exclusion may not apply to you.)

This warranty gives you specific legal rights. You may have other statutory rights that vary from state to state or from province to province, in which case this warranty does not affect such statutory rights.

For service under this warranty, it is suggested that a claim be made through the contractor or dealer from or through whom the product was purchased, or that a service request (including a description of the product model and of the defect) be sent to the following address:

**In the United States:**  
American Standard, Inc.  
One Centennial Ave.  
Piscataway, New Jersey 08855  
Attention: Director of Consumer Affairs

**In Canada:**  
American Standard, Inc.  
2480 Stanfield Rd.,  
Mississauga, Ontario  
Canada L4Y 1S2  
Toll Free: (800) 387-0369

**In Mexico:**  
Customer Service Manager  
American Standard, Inc.  
Via Morelos #330  
Col. Santa Clara  
Ecatepec 55540 Edo. Mexico

Toll Free: (800) 442-1902

Moneysworth

American Standard

# CADET™ 16-1/8" H EL 1.6/PA ELONGATED TOILET

VITREOUS CHINA

## CADET™ 16-1/8" H EL 1.6/PA

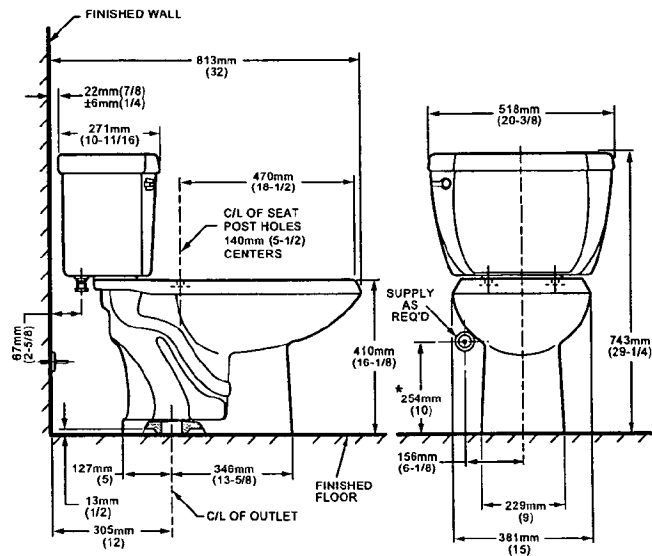
- 2168.162**
  - Vitreous china
  - Low-consumption (6.0 Lpf/1.6 gpf)
  - 16-1/8" rim height
  - Elongated bowl
  - Pressure-assisted siphon jet flush action
  - Close-coupled flushometer tank\*
  - Side-mounted chrome trip lever
  - Speed Connect™ tank/bowl coupling system
  - 2 bolt caps
  - Fully-glazed trapway
  - 100% factory flush tested
  - 3042.102** Bowl
  - 4086.100** Tank
- 2168.456** with Slotted Rim for Bedpan holding
  - 3042.456** Bowl
  - 4086.100** Tank

Nominal Dimensions:  
 813 x 518 x 743mm  
 (32" x 20-3/8" x 29-1/4")

Fixture only, seat and supply by others

Hydraulic performance, water surface area, trap seal depth, ballpass diameter, and all fixture dimensions meet or exceed ANSI Standard A112.19.2 requirements.

Recommended static pressure range  
 20 psi - 80 psi



**NOTES:**  
 THIS TOILET IS DESIGNED TO ROUGH-IN AT A MINIMUM DIMENSION OF 305MM (12") FROM FINISHED WALL TO C/L OF OUTLET.  
 SUPPLY NOT INCLUDED WITH FIXTURE AND MUST BE ORDERED SEPARATELY.  
 \* DIMENSIONS SHOWN FOR LOCATION OF SUPPLY IS SUGGESTED.  
 FOR ADDITIONAL INFORMATION REFER TO INSTALLATION INSTRUCTIONS SUPPLIED.  
 IMPORTANT: Dimensions of fixtures are nominal and may vary within the range of tolerances established by ANSI Standard A112.19.2.  
 These measurements are subject to change or cancellation. No responsibility is assumed for use of superseded or voided pages.

### To Be Specified

- Color:
- Seat: American Standard #5324.019 "Rise and Shine" (with easy to clean lift-off hinge system) solid plastic closed front seat with cover. See page TBU-001.
- Seat: American Standard #5311.012 "Laurel" molded closed front seat with cover. See page TBU-001.
- Seat: Pressalit seats for American Standard, closed front seat with cover (thermoset compound material). See pages TBU-002 through TBU-005.
- Alternate Seat:
- Supply with stop:

\* Flushometer tank system by Flushmate® Div. of Sloan Valve Co.



● When installed so top of seat is 432 to 483mm (17" to 19") from the finished floor.  
**MEETS THE AMERICAN DISABILITIES ACT GUIDELINES AND ANSI A117.1 REQUIREMENTS FOR PEOPLE WITH DISABILITIES**

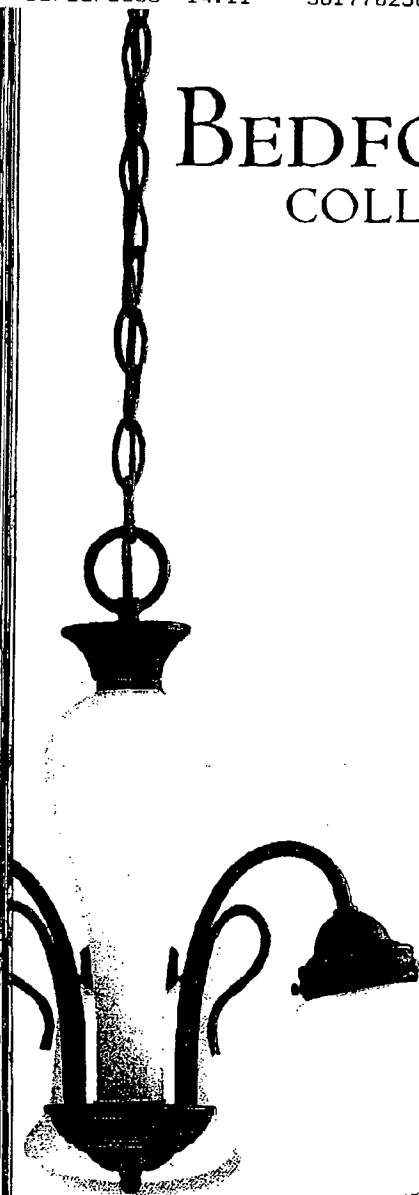
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MRF

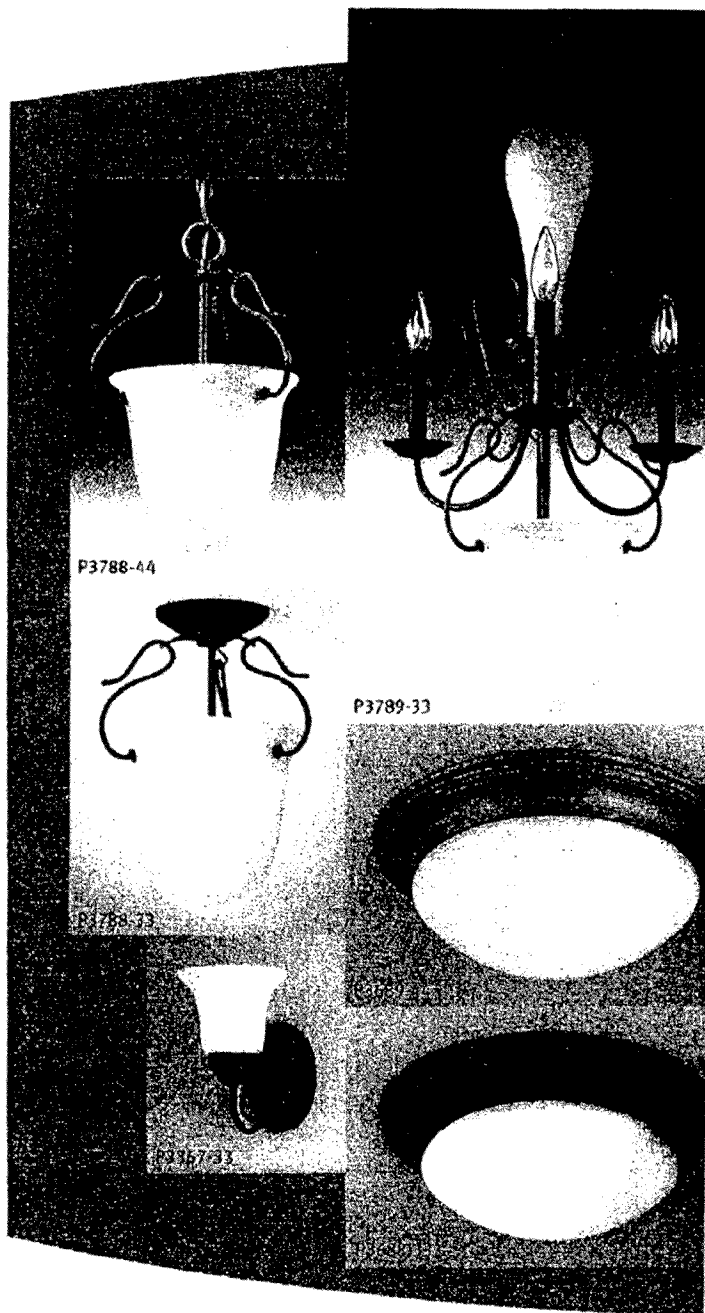
PAGE 01

MONEY'S WORTH

# BEDFORD COLLECTION



*The Bedford Collection offers  
alabaster style glass in finishes of  
Cobblestone and Oxford Silver.*



P3788-44

P3789-33

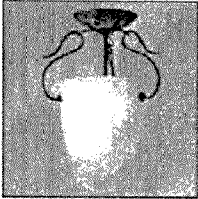
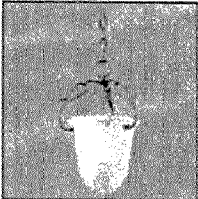
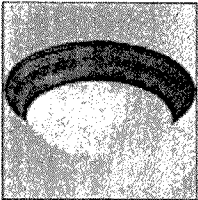

P3787-33



# Search Results

Your search found 20 items

To see a complete product description and a larger picture (if available) click on the [View Details](#) hypertext link. Thank you.

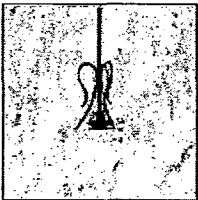
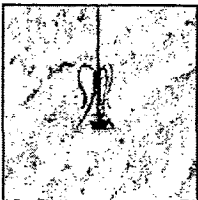
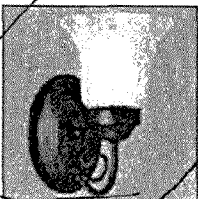

| Key Specs  | Photo   | Description  | Actions   |
|--|---|--|---|
| <b>SKU:</b> P3788-33<br><b>Category:</b> Hall & Foyer<br><b>Finish:</b> Cobblestone<br><b>Glass:</b> Etched Alabaster Style<br><b>Price:</b> \$75.00       |    | One-light foyer fixture with etched alabaster glass. Chain & ceiling mounts both included.               | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P3788-44<br><b>Category:</b> Hall & Foyer<br><b>Finish:</b> Oxford Silver<br><b>Glass:</b> Etched Alabaster Style<br><b>Price:</b> \$75.00     |  | One-light foyer fixture with etched alabaster glass. Chain & ceiling mounts both included.               | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P3688-33<br><b>Category:</b> Close-to-Ceiling<br><b>Finish:</b> Cobblestone<br><b>Glass:</b> Etched Alabaster Style<br><b>Price:</b> \$49.50   |  | One-light close-to-ceiling fixture with etched alabaster style glass. Twist on glass for easy relamping. | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P3688-44<br><b>Category:</b> Close-to-Ceiling<br><b>Finish:</b> Oxford Silver<br><b>Glass:</b> Etched Alabaster Style<br><b>Price:</b> \$49.50 |  | One-light close-to-ceiling fixture with etched alabaster style glass. Twist on glass for easy relamping. | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P3689-33   |   | Two-light close-to-ceiling fixture   | <a href="#">View</a>  |



# Search Results

Your search found 20 items

To see a complete product description and a larger picture (if available) click on the [View Details](#) hypertext link. Thank you.

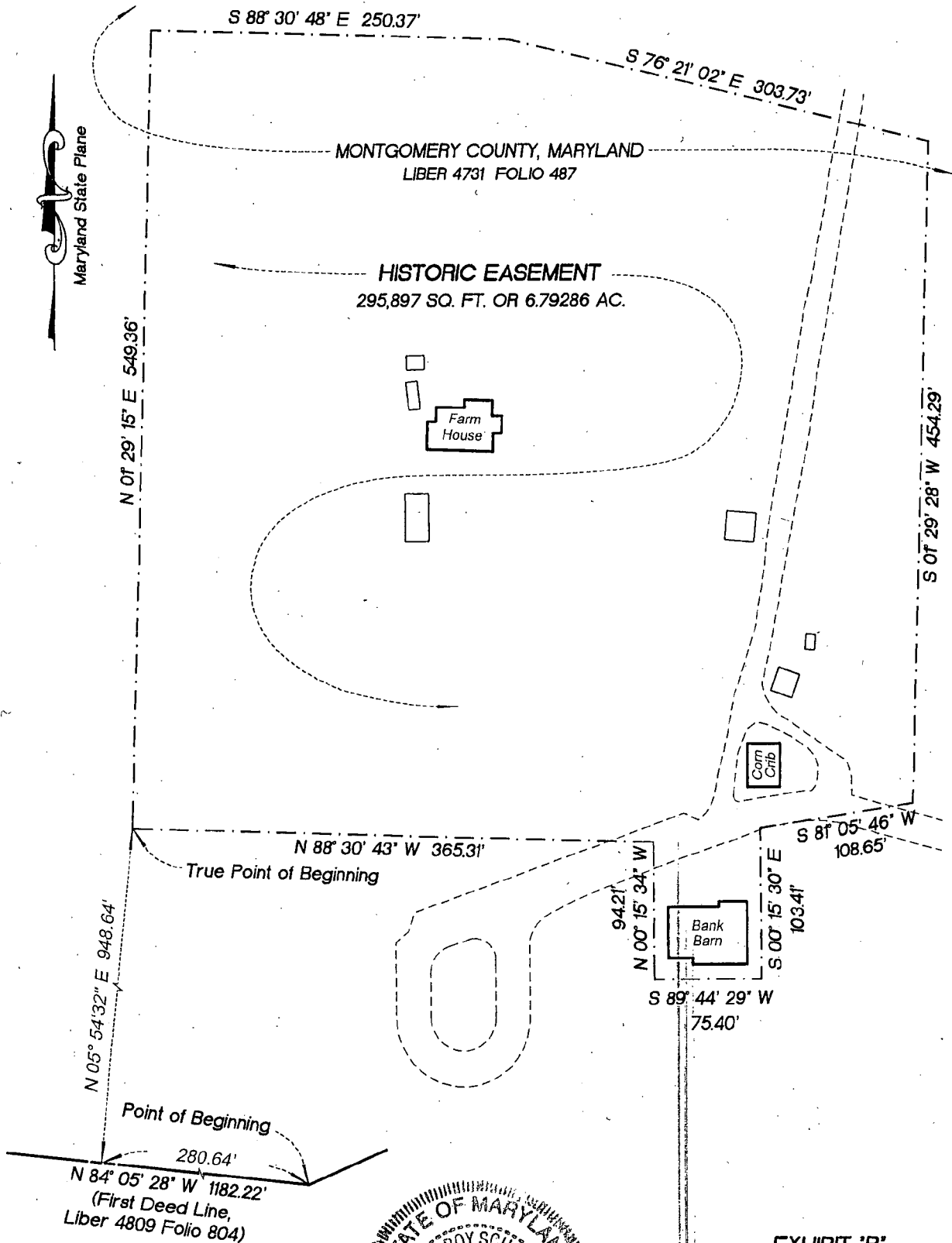
| Key Specs   | Photo   | Description   | Actions   |
|---|---|---|---|
| <b>SKU:</b> P5053-33<br><b>Category:</b> Pendants<br><b>Finish:</b> Cobblestone<br><b>Glass:</b> Etched<br><b>Price:</b> \$90.00                        |    | One-light stem-hung mini-pendant with etched glass        | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P5053-44<br><b>Category:</b> Pendants<br><b>Finish:</b> Oxford Silver<br><b>Glass:</b> Etched<br><b>Price:</b> \$90.00                      |   | One-light stem-hung mini-pendant with etched glass        | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P3367-33<br><b>Category:</b> Bath & Vanity<br><b>Finish:</b> Cobblestone<br><b>Glass:</b> Etched Alabaster Style<br><b>Price:</b> \$46.20   |  | One-light bath bracket with etched alabaster style glass. | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P3367-44<br><b>Category:</b> Bath & Vanity<br><b>Finish:</b> Oxford Silver<br><b>Glass:</b> Etched Alabaster Style<br><b>Price:</b> \$46.20 |  | One-light bath bracket with etched alabaster style glass. | <a href="#">View Details</a><br><input type="button" value="Buy it"/> |
| <b>SKU:</b> P4390-33  |   | Three-light chandelier with etched                        | <a href="#">View</a>  |





**SURVEY NOTE:**  
 Survey performed without  
 benefit of title report.

**AMT**  
**A. Morton Thomas and Associates, Inc.**  
 Consulting Engineers  
 12750 Twinbrook Parkway, Rockville, MD 20852  
 Ph: 301-881-2545 Fax: 301-881-0814



*[Signature]*  
**Daniel R. Schriever**  
 Professional Land Surveyor  
 Maryland Reg. No. 11015



8-8-03

**EXHIBIT 'B'**  
 SKETCH OF  
 HISTORIC EASEMENT  
 ACROSS  
**THE LANDS OF  
 MONTGOMERY COUNTY,  
 MARYLAND**  
 LIBER 4731 FOLIO 487  
 CLARKSBURG (2ND) ELECTION DISTRICT  
 MONTGOMERY COUNTY, MARYLAND  
 AUGUST, 2003 SCALE: 1"=100'  
 AMT NO. 102-202-001S