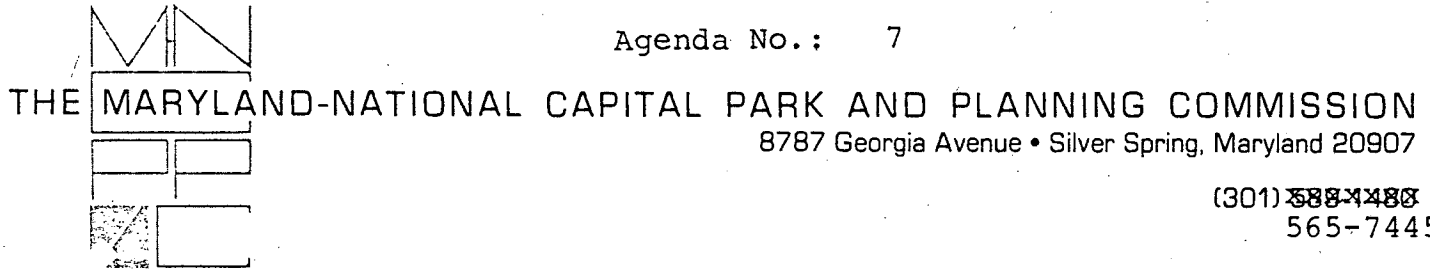


23/26 RIGGS HOOPER 1980 MOVE

Agenda Date: Feb. 14, 1980

Agenda No.: 7



(301) ~~588-4488~~
565-7445

MEMORANDUM

February 11, 1980

TO: Montgomery County Planning Board
FROM: Development Review Division
SUBJECT: Application for Historic Area Work Permit - Riggs House -
Riggs Road and Route 108

23/26

The "Riggs House" and associated structures are located on 550+ acres owned by Montgomery County. The application to move or raze the structures is necessary to provide an area for a landfill site and operation of same.

Application #101104 is for the relocation of six buildings and the demolition of fifteen additional buildings located on property containing the historic site known as the "Riggs House."

The Montgomery County Planning Board, in accordance with previous interim legislation concerning historic sites, considered this Historic Resource in October 1979 and requested that a feasibility study and a cost analysis be completed prior to a public hearing.

Since October 1979, the Historic Preservation Commission has been appointed in compliance with the present legislation titled "Preservation of Historic Resources" and has scheduled a public appearance on February 21, 1980. Furthermore, the Historic Area Work Permit and enclosed material have been forwarded to the Montgomery County Planning Board for their review and comments which, if any, are to be made prior to the Historic Preservation Commission's public appearance.

The applicant has supplemented the original permit request with additional data that includes "Moving Methods and Cost," "Valuation Study" and a section dealing with historical significance.

Memo to Planning Board
February 11, 1980
Page 2

The moving of the buildings (the number of buildings is yet to be finalized) from the present location to a relocation area can be accomplished in a one or two step method. A two-step method includes the use of a temporary storage area which allows time to determine a final relocation area yet results in added moving costs. Total cost for the moving of six buildings as mentioned by the applicant from present site to permanent location is \$65,000.00. Estimates include newly constructed foundation. Relocation of the remaining fifteen buildings will result in an additional cost of \$166,500.00. The enclosed information indicates that the applicant wishes to move buildings

- #1. Oaks/Riggs House
- #3. Garage
- #5. Outhouse
- #6. Storage Shed
- #8. Wood Shed
- #9. Meat House.

Staff, recognizing that this Historic Area Work Permit will be the first permit review by the newly appointed Historic Preservation Commission, recommends to the Board that any comments and recommendations will prove helpful to the Historic Preservation Commission.

REQUEST FOR ADVERTISING

AD NO. _____

From: Elizabeth Lawrence (279-1893)
Department of Housing & Community Development
100 Maryland Avenue, Room #200
Rockville, Maryland 20850

PLEASE INSERT THE FOLLOWING **DISPLAY ADVERTISEMENT** IN THE **GENERAL NEWS SECTION** OF THE FOLLOWING NEWSPAPERS: Journal

WITH AD TO APPEAR **AS FAR FORWARD AS POSSIBLE** AND TO APPEAR IN ISSUES PUBLISHED 1/30/80

NOTICE OF PUBLIC APPEARANCE BEFORE (b)
THE HISTORIC PRESERVATION COMMISSION (a)
FOR THE PURPOSE OF ACTING ON THE FOLLOWING: (c)
#

- 1) Application for historic area work permit by Friends of Historic Hyattstown. Incorporated to relocate the Chevy Chase Passenger Station (AKA Trolley Station) located in 8000 block Connecticut Avenue, Chevy Chase, Maryland.
- 2) Application for historic area work permit by Montgomery County, Maryland to relocate the Riggs House located at Riggs Road and Laytonsville Road (Md. 108).

THE PUBLIC APPEARANCE will be held on THURSDAY, FEBRUARY 21, 1980 at 7:30 p.m. in the 1st floor auditorium, County Office Building, Rockville.
#

TO SPEAK OR FOR FURTHER INFORMATION: Contact Elizabeth Lawrence at 279-1893 no later than February 19, 1980

WRITTEN COMMENTS: Must be submitted no later than February 19, 1980 to:
Elizabeth Lawrence
Department of Housing and Community Development
100 Maryland Avenue
Room #200
Rockville, Maryland 20850

Prepared by

Approved by

INSTRUCTIONS

PLEASE MAKE THE SUBJECT DISPLAY AD READ JUST AS ABOVE, SUBJECT TO THE FOLLOWING SPECIFICATIONS:

1. 4 point rule box around copy
2. Copy shown in caps:

CODE:

- a. 20 PT. type bold
 - b. 14 PT. type bold
 - c. 10 PT. type bold
 - d. 8 PT. type bold
3. Body copy set in 8 PT. light type except where underlined
Where underlining is shown, 8 PT. bold type to be used.
 4. All copy is to be single spaced with double spacing where indicated by "#".
 5. All ads should be set in TWO/THREE column width with depth to be determined by the body of the ad.

NOTE: Send copy of certification with one tearsheet to: (within one week after ad appears in newspaper)

Elizabeth Lawrence
Room #200, Department of Housing and Community Development
100 Maryland Avenue
Rockville, Maryland 20850

Send bill to the Montgomery County Department of Finance,
Accounts Payable, County Office Building, 100 Maryland Avenue,
Rockville, Maryland 20850

Accompanying bill should be two certification statements
as to when the ad requested appeared, and one tear sheet
of the ad attached to each certification.

County Attorney _____ Date _____

HISTORIC PRESERVATION COMMISSION
APPLICATION FOR CERTIFICATE OF APPROVAL

DIV. CONSTRUCTION
PERMITS

THIS APPLICATION MUST BE TYPEWRITTEN OR PRINTED AND SUBMITTED TO THE DEPARTMENT OF ENVIRONMENTAL PROTECTION FOR FILING. ALL ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

DO NOT WRITE IN THIS SPACE

Montgomery County Government
Applicant: Owner, or Authorized Agent

101104
Application No.

100 Maryland Ave., Rockville, MD 20850
Address

January 23, 1980
Filing Date

279-1044
Telephone Number

Decision/Date

Same as Applicant
Owner of Record (if other than applicant)

Address

Telephone Number

Location of Property: Address Riggs Rd. & Rt. 108, Laytonsville, Md.

Legal Description Liber S253/Folio 170-172, 1st Election District

Description of Proposed Work: including composition, color and texture of materials to be used:

(see attached) - Description of Proposed Work

Attached to this application are 2 copies of: Site plans, (lot dimensions, building location with dimensions, drives, walks, fences, patios, etc. - proposed and existing) and/or architectural drawings (floor plans, elevations), photographs of area affected, as are necessary to describe the proposed work

N O T I C E

In accordance with Section 24A-6 (c), of Ordinance No. 9-4 adopted July 24, 1979, titled "Preservation of Historic Resources," please complete the following:

- () This property is not a historic site
- () This property is a historic site as identified in the Locational Atlas.
- (X) This is an historic site located on the Master Plan.



Signature

January 23, 1980
Date

Robert W. Wilson
Print Name
Chief Administrative Officer

279-1215
Telephone Number

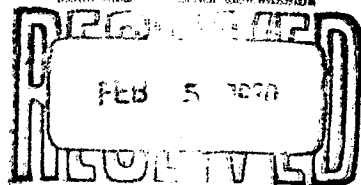
Application No. 101104
Riggs Rd. & Rt. 108, Laytonsville, Md.
Liber S253/Folio 170-172, 1st Election District

DESCRIPTION OF PROPOSED WORK

Move and relocate the Riggs House in accordance with the Historic Master Plan to permit construction and operation of the public landfill as required by emergency health order of the Maryland Department of Health and Mental Hygiene. Also, move and relocate associated appurtenant structures necessary to preserve the environmental setting and yet not overly burden a future private owner with maintenance time and expense. Five appropriate appurtenant structures are proposed to be relocated with the Riggs House on the site.

Relocation can be accomplished in one or two stages. The one stage process would relocate the house and appurtenances on their permanent foundations immediately upon moving them. The two stage process contemplates a temporary storage of the structures on special trailers at a designated site until further study by the Commission and County government, with comment from the public. A permanent site would then be selected for final relocation which could include certain areas now temporarily necessary for construction activities, but available for siting of the structures after restoration of proper contours, top soil and grass. Also, this latter two stage process would permit sale of the structures to a private owner for relocation on a suitable property outside of the present site.

MONTGOMERY COUNTY, MARYLAND
Department of Environmental Protection
6110 Executive Blvd., Rockville, Md. 20852



1 6
101104
APPLICATION/PERMIT NO.
10 17
5 39 8
PARCEL ACCOUNT NO.

7 8 9
1 1

APPLICATION FOR BUILDING PERMIT
Please print clearly - Complete all items

NAME OF OWNER MONTGOMERY COUNTY Telephone 279-1044
Address 100 MARYLAND AVE., ROCKVILLE, MD. 20850 Zip _____
CONTRACTOR _____ Telephone _____
Address _____ Zip _____
Registration Number _____
ARCHITECT/ENGINEER COOPER-LECKY PARTNERSHIP Telephone _____
Address 3203 GRACE ST., N.W., WASHINGTON, D.C. 20007 Zip 20007
State Registration _____

SILVER SPRING, MD.
Filing Fee _____
Date Filed 12 4 80
Expected Date of Start _____
Expected Date of Completion _____
Permit Area _____

LOCATION Street Address Liber S253/Folio 170-172 Nearest Cross Street Riggs Rd. & Rt. 108
of Building Lot N/A Block N/A Subdivision N/A Acreage 550 +
Town LAYTONSVILLE Election District 1st

A. TYPE OF ACTION (33)
1. Construct
2. Extend/Add
3. Alter/Renovate
4. Repair
5. Wreck/Raze
6. Move
7. Foundation Only
8. Revocable
9. Revision

E. (51) Is this structure part of a larger complex such as a hospital, university, industrial plant, shopping center, office building etc.
Yes _____ No
(If yes, enter principal activity of the complex)

K. DIMENSIONS
Basement: Yes _____ No _____
Number of stories _____
Height _____
Width _____
Depth _____
Total land area (square feet) _____
Total impervious area (other than single and two family dwellings) _____
Total square feet _____
Live load per square foot, per floor _____

B. OWNERSHIP (34)
(Public) (Private)
1. Federal 6. Taxable
2. State 7. Tax exempt
3. County
4. City/Town
5. Other

F. FOUNDATION SET-BACKS FROM PROPERTY LINES
Front 120 Minimum Side 400
Rear 900 Side Street n/a Total Side n/a
Complete for new and additions 2 1 C

L. OFF-STREET PARKING
Spaces required 2 Spaces provided _____
Garage/carport: Attached Detached _____

C. COST ESTIMATE (35-43)
\$ _____

G. PRINCIPAL TYPE OF FRAME (11)
1. Masonry (wall bearing)
2. Wood frame
3. Structural Steel
4. Reinforced concrete
5. Other /N.A.

M. TYPE OF MECHANICAL
Air conditioning 2
1. Central Electric
2. Central Gas
3. Individual Room
4. None
Trash compactor 1
1. Yes
2. No/N.A.
Elevators (26-27) Number _____
Hydraulic _____ Cable _____

D. PROPOSED USE (Residential) (44-45)
01. Single Family
02. Two Family
03. Townhouse-Number units _____
04. Apartment-Number of units _____
05. Transient Hotel
06. Garage
07. Carport
08. Mobile Home
09. Other

H. PRINCIPAL TYPE OF HEATING FUEL (12)
1. Gas 3. Electricity
2. Oil 4. Other /N.A.

N. Complete only for new residential buildings (Single family and townhouses)
Total number of bedrooms _____
Total number of bathrooms _____ Full _____ Half _____

(Non-residential)
10. Amusement
11. Church
12. Parking Garage
13. Service Station
14. Hospital/Institutional
15. Office/Bank/Professional
16. Public Utility
17. Private School
18. Public School
19. Stores
24. Private Swimming Pool
25. Community Swimming Pool
26. Tanks
27. Towers
28. Other
29. Industrial Building

I. UTILITIES (Type of Sewage Disposal) (13)
Number of gallons expected per day _____
1. Community - WSSC
2. Community - Municipal
3. Community - Other
4. Individual - Septic
5. Individual - Septic Interim
6. Individual - Other
7. Multi-user - Septic
8. Multi-user - Septic Interim
9. Multi-user - Other/N.A.
(Type of Water Supply) (21)
1. Community - WSSC
2. Community - Municipal
3. Community - Other
4. Individual - Well
5. Individual - Other
6. Multi-user - Well
7. Multi-user - Other/N.A.

Total number of kitchens _____
Total number of bathrooms _____ Full _____ Half _____
Total number other rooms _____
(Number of apartments by number of bedrooms)
Efficiency _____ 3 Bedroom _____
1 Bedroom _____ 4 Bedroom _____
2 Bedroom _____ 5 Bedroom _____

J. SEDIMENT CONTROL PLAN TYPE (22-23)
1. Single family residential
2. Development

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Robert W. Wilson 1/17/80
Signature of owner or authorized agent* Title Date
Robert W. Wilson, Chief Administrative Officer

APPROVED _____
DISAPPROVED _____
Chief, Division of Construction Permits

IF APPLICANT IS OTHER THAN THE OWNER IN FEE, EXECUTE AFFIDAVIT

AFFIDAVIT

*State of Maryland
County of Montgomery*

I hereby certify that on this _____ day of _____, 19____, before the subscriber, a Notary Public in and for the foresaid State and County, personally appeared personally well known to me (or satisfactorily proven) to be the person whose name is subscribed to this building permit application, and did swear and acknowledge that the proposed work is authorized by the owner in fee and that he is authorized to make this application.

Notary Public

IF OWNER IS A CORPORATION, INDICATE THE NAME AND ADDRESS OF CORPORATION SECRETARY

Secretary

Address

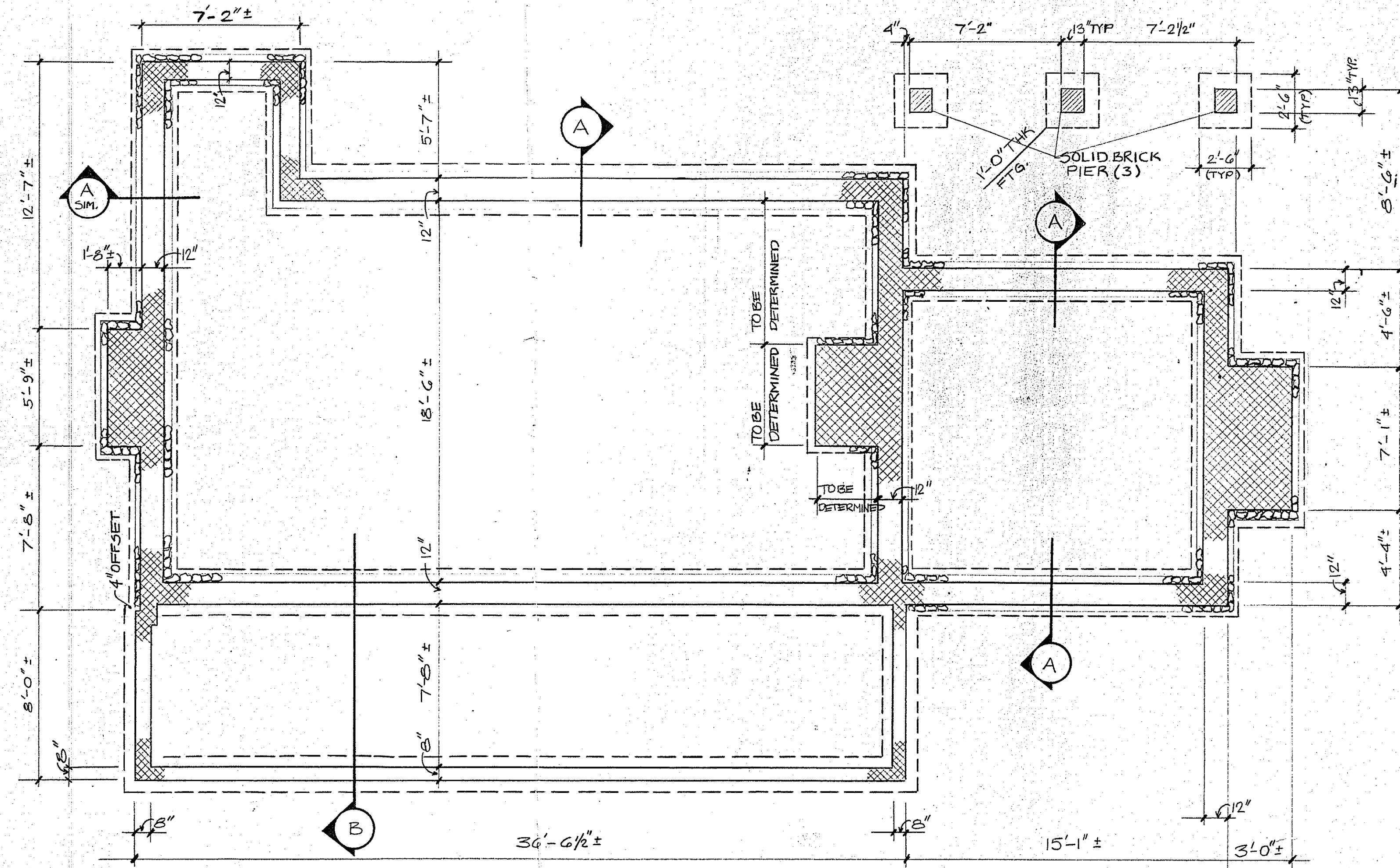
OWNERS STATEMENT

I hereby apply for an exemption to the licensing provisions under Chapter 79A of the Montgomery County Code, 1965 as amended on the basis that:

I do hereby certify that I or a member of my immediate family will perform any and all construction associated with the foregoing application for building permit: that the type of improvement indicated on said application is designed for use as a residence or dwelling place for my own or immediate family's use: that I understand the provisions of Chapter 79A, of the Montgomery County Code, 1965 amended, which make it a violation of the County laws to make this application "in order to evade the provisions of this Chapter requiring construction by a licensed contractor" whenever such construction is performed for "a fixed price, commission, fee or percentage."

Signed

Date



FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

NOTES: (UNLESS OTHERWISE SPECIFIED)

- 1. LOCATION OF FOUNDATION, SEE SITE PLAN
- 2. CONCRETE TO BE 2500 PSI. @ 28 DAYS

NOTES:

FOUNDATION BEARING: Foundation supporting soils shall be capable of supporting 3000 psf. Field verification as to soil bearing capacity shall be made by the Structural Engineer prior to placing footings.

FOUNDATIONS: Are to be placed on undisturbed soil, not less than 1'-0" below existing grade, nor less than 2'-6" below adjacent finished grade. Contractor shall take note of any water conditions at the site and ensure that excavations remain dry during construction. The bearing level under all footings shall be level and free of loose stone, loose earth or debris. No footings shall be poured until after bottoms are inspected and approval is given. Building moving contractor shall set elevations of footings as required to successfully relocate structure on new foundations but in no case, less than elevations shown on drawings.

BACKFILL COMPACTION: The Contractor shall take all necessary precautions to brace new foundation walls when backfilling and when there is a possibility of damage by excess water. Backfill against such walls shall be done in a manner that will not damage walls, but should be well tamped in 6" layers of rough thickness to 90% density. All precautions should be taken for adequate drainage prior to and after such backfilling. Backfilling against walls will not be permitted until superstructure is in place and properly anchored to foundation walls.

MASONRY: Concrete masonry units shall conform to ASTM C90 for Hollow Load Bearing Units and C145 for Solid Load Bearing Units. Mortar shall conform to Type S (1 part Portland Cement, 1/4 to 1/2 parts hydrated lime, and not less than 2-1/4 and not more than 3 times the sum of the volumes of the cement and lime for damp, loose volume, sand). Provide Cur-O-Wall at 16" o.c. vertically to include corner units.

VENEER: Provide rubble stone veneer (from existing structure foundation) on all faces of concrete masonry foundations which are exposed to view. Rubble stone shall be installed in sufficient thickness to insure stability and anchored to CMU foundation wall using stone veneer ties of not more than 2'-0" o.c. Mortar for veneer shall be a soil-cement mixture approved by the Structural Engineer.

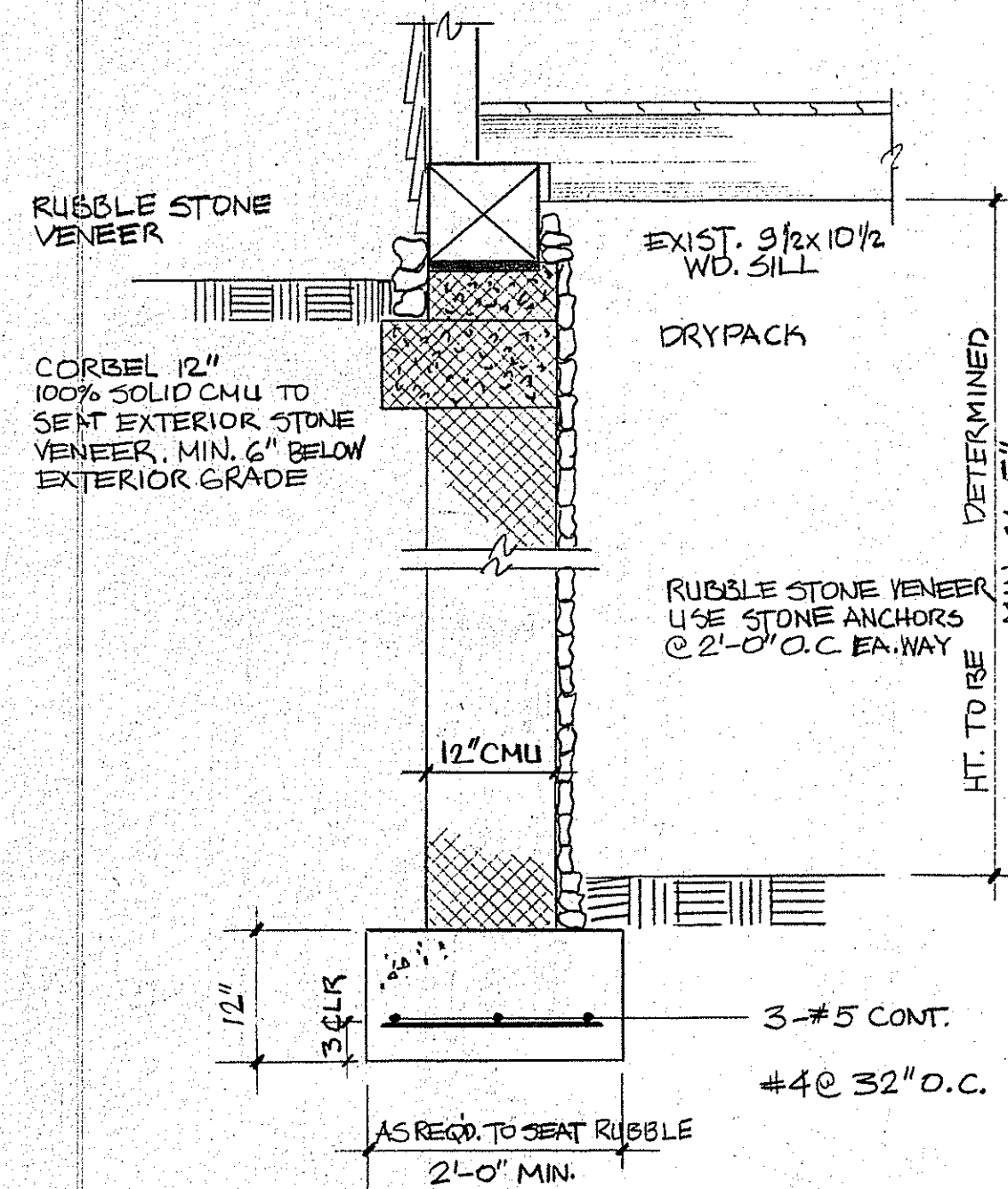
CONCRETE: All concrete to have a compressive strength of 2500 psi at 28 days.

REINFORCEMENT: Shall conform to ASTM A 615, Grade 40. Provide 3' x 3' corner bars in footings to match horizontal reinforcement.

SHORING AND BRACING: Main building superstructure shall be adequately and completely banded, braced and shored prior to lifting. All building components which in the opinion of the Contractor, Structural Engineer, or County, may be damaged during the relocation of the main building, shall be separately moved or dismantled and moved and reconstructed later on the new foundation.

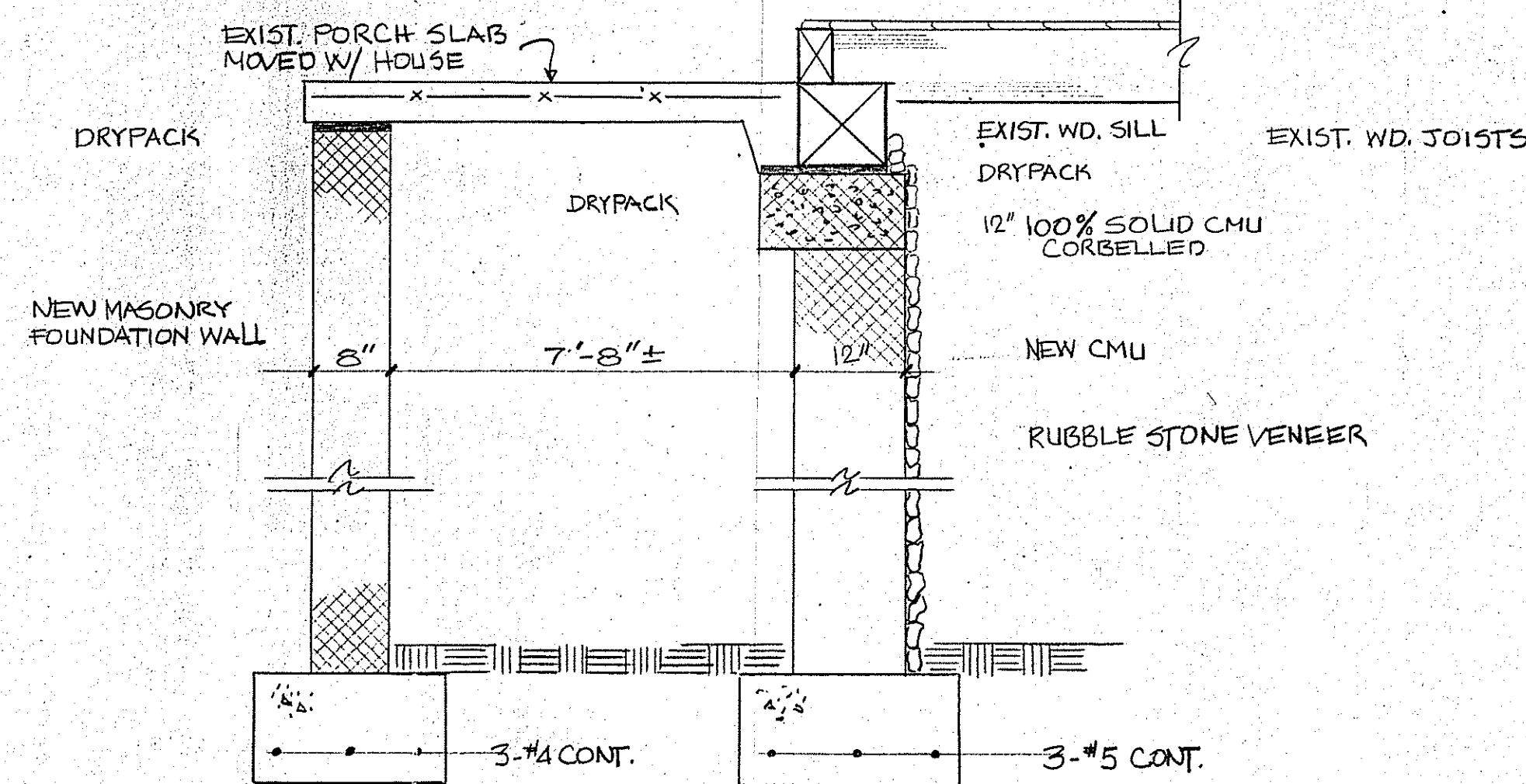
The Contractor shall carefully mark and note all dismantled components and shall reconstruct as originally found.

GENERAL: Contractor shall position building superstructure over footings and construct CMU foundation walls as required to provide required support prior to removal of bracing and shoring. Pockets left in masonry wall shall be completely filled with concrete masonry units.



TYPICAL FOUNDATION WALL SECTION A
SCALE: 3/4" = 1'-0"

SHEARED TIMBER SOISTS @ 2'-0" O.C. SIZE VARIES (TYPICALLY 8" x 8" AVG.)

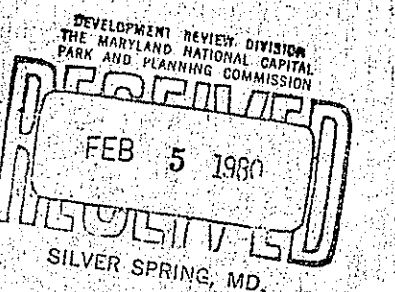


SECTION B
SCALE: 3/4" = 1'-0"

REVISIONS

DRAWN	DATE	SCALE
AS SHAW	1-24-1980	AS SHAW

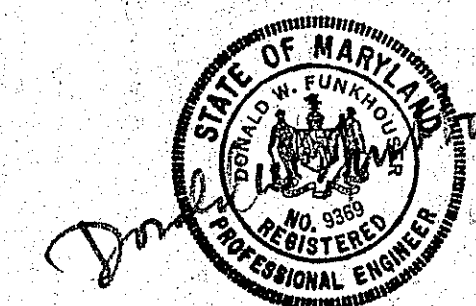
COOPER • LECKY PARTNERSHIP ARCHITECTS
3203 GRACE ST. N.W. WASHINGTON D.C.

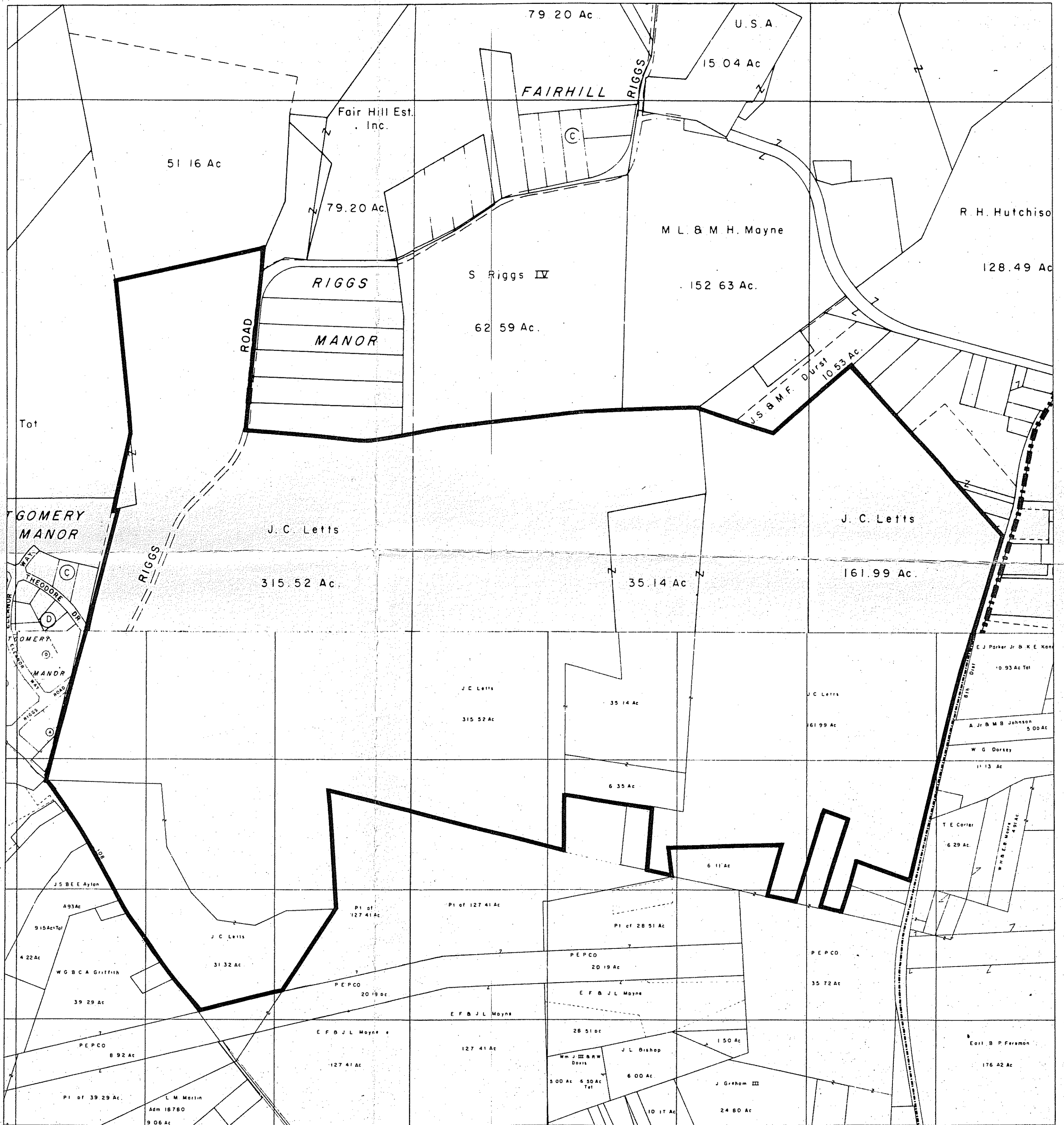


RIGGS HOUSE

DRAWING NO.

SI





LEGEND

— PROPERTY BOUNDARY DELINEATED BY PARCEL BOUNDARY

REFERENCE: REAL ESTATE ATLAS OF MONTGOMERY COUNTY, MARYLAND: 10th EDITION (1977)

600 0 600 1200
 FEET

100 0 100 200
 METERS

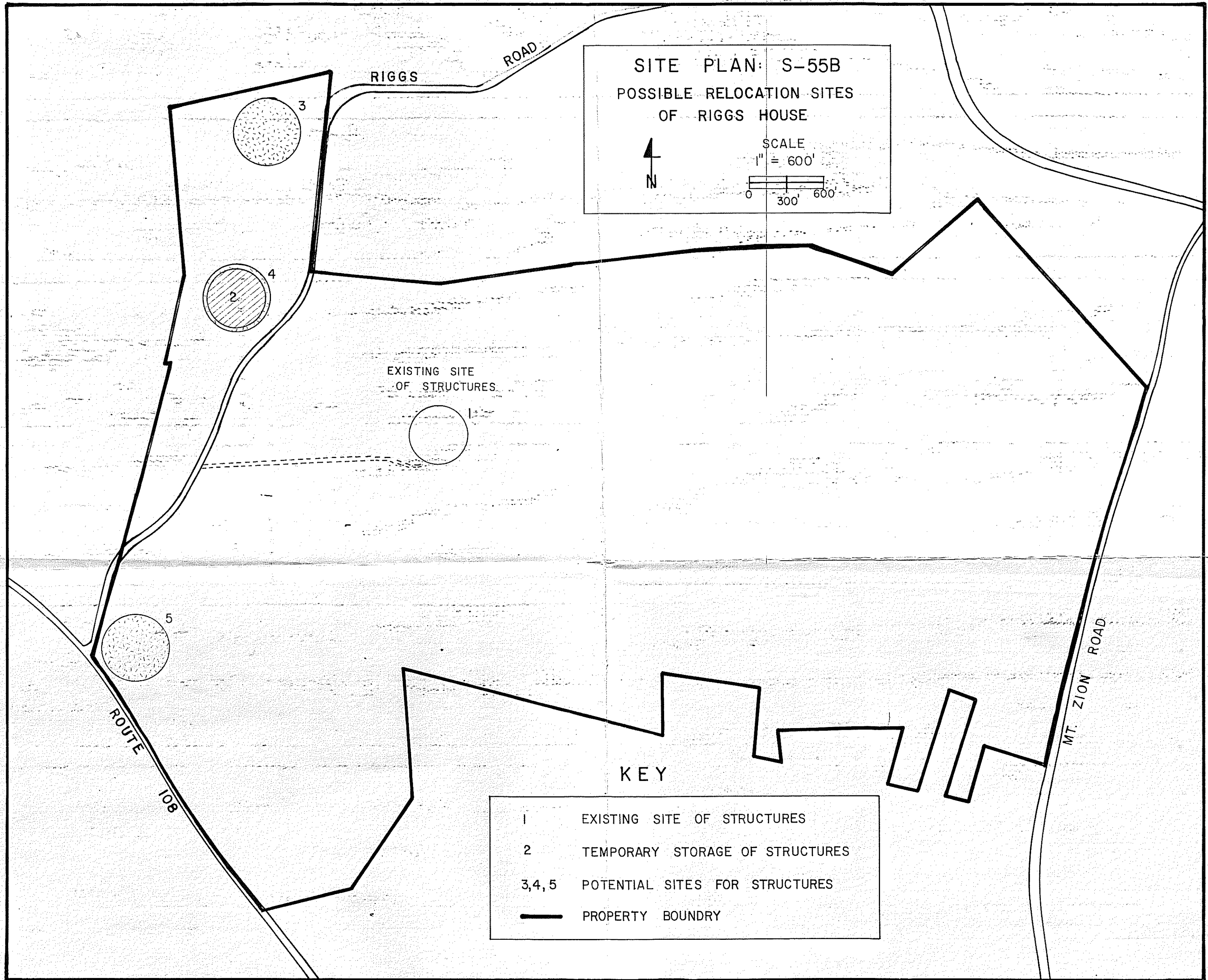
Approved
 Initials: JSM
 Date: 7-8-78

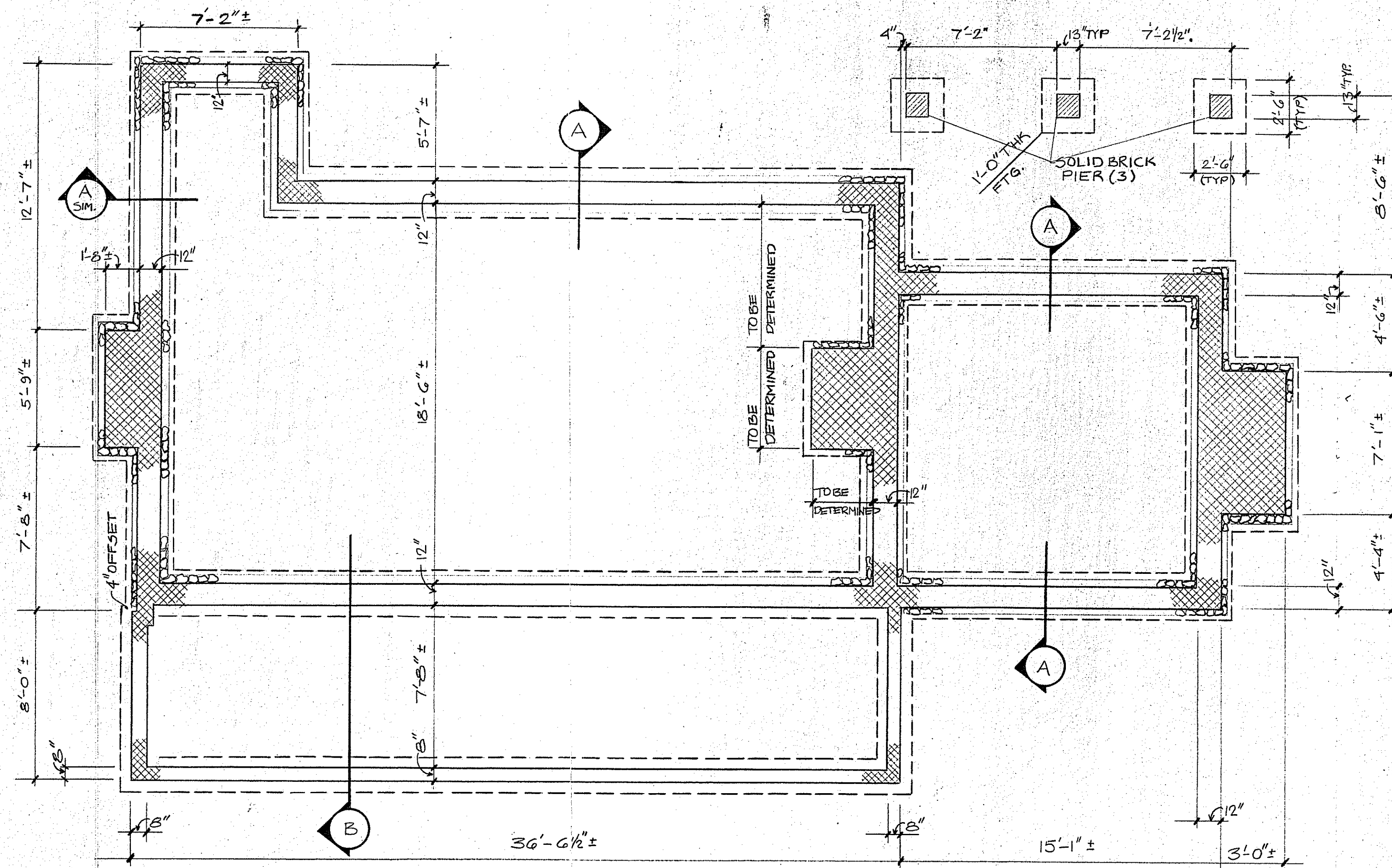
SITE PROPERTY BOUNDARY
 S-55B

Site Selection & Evaluation Study
 For
 Sanitary Landfills
 Montgomery County, Maryland

FIGURE 4-59

DAMES & MOORE





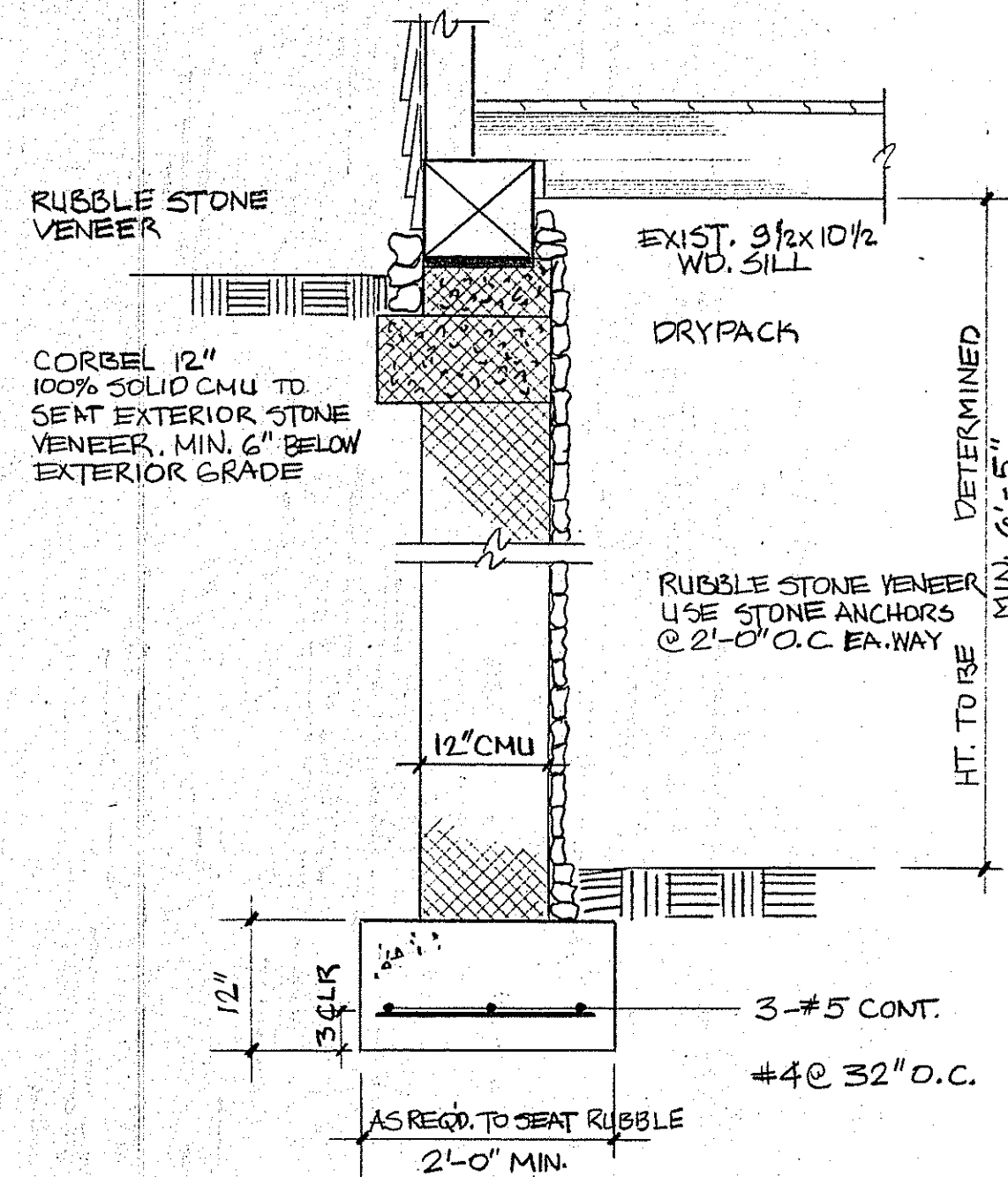
- NOTES:**
- FOUNDATION BEARING:** Foundation supporting soils shall be capable of supporting 3000 psf. Field verification as to soil bearing capacity shall be made by the Structural Engineer prior to placing footings.
- FOUNDATIONS:** Are to be placed on undisturbed soil, not less than 1'-0" below existing grade, nor less than 2'-6" below adjacent finished grade. Contractor shall take note of any water conditions at the site and ensure that excavations remain dry during construction. The bearing level under all footings shall be level and free of loose stone, loose earth or debris. No footings shall be poured until after bottoms are inspected and approval is given. Building moving contractor shall set elevations of footings as required to successfully relocate structure on new foundations but in no case, less than elevations shown on drawings.
- BACKFILL COMPACTION:** The Contractor shall take all necessary precautions to brace new foundation walls when backfilling and when there is a possibility of damage by excess water. Backfill against such walls shall be done in a manner that will not damage walls, but should be well tamped in 6" layers of rough thickness to 90% density. All precautions should be taken for adequate drainage prior to and after such backfilling. Backfilling against walls will not be permitted until superstructure is in place and properly anchored to foundation walls.
- MASONRY:** Concrete masonry units shall conform to ASTM C90 for Hollow Load Bearing Units and C145 for Solid Load Bearing Units. Mortar shall conform to Type S (1 part Portland Cement, 1/4 to 1/2 parts hydrated lime, and not less than 2-1/4 and not more than 3 times the sum of the volumes of the cement and lime for damp, loose volume, sand). Provide Cur-O-Wall at 16" o.c. vertically to include corner units.
- VENEER:** Provide rubble stone veneer (from existing structure foundation) on all faces of concrete masonry foundations which are exposed to view. Rubble stone shall be installed in sufficient thickness to insure stability and anchored to CMU foundation wall using stone veneer ties of not more than 2'-0" o.c. Mortar for veneer shall be a soil-cement mixture approved by the Structural Engineer.
- CONCRETE:** All concrete to have a compressive strength of 2500 psi at 28 days.
- REINFORCEMENT:** Shall conform to ASTM A 615, Grade 40. Provide 3' x 3' corner bars in footings to match horizontal reinforcement.
- SHORING AND BRACING:** Main building superstructure shall be adequately and completely banded, braced and shored prior to lifting. All building components which in the opinion of the Contractor, Structural Engineer, or County, may be damaged during the relocation of the main building, shall be separately moved or dismantled and moved and reconstructed later on the new foundation.
- The Contractor shall carefully mark and note all dismantled components and shall reconstruct as originally found.
- GENERAL:** Contractor shall position building superstructure over footings and construct CMU foundation walls as required to provide required support prior to removal of bracing and shoring. Pockets left in masonry wall shall be completely filled with concrete masonry units.

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

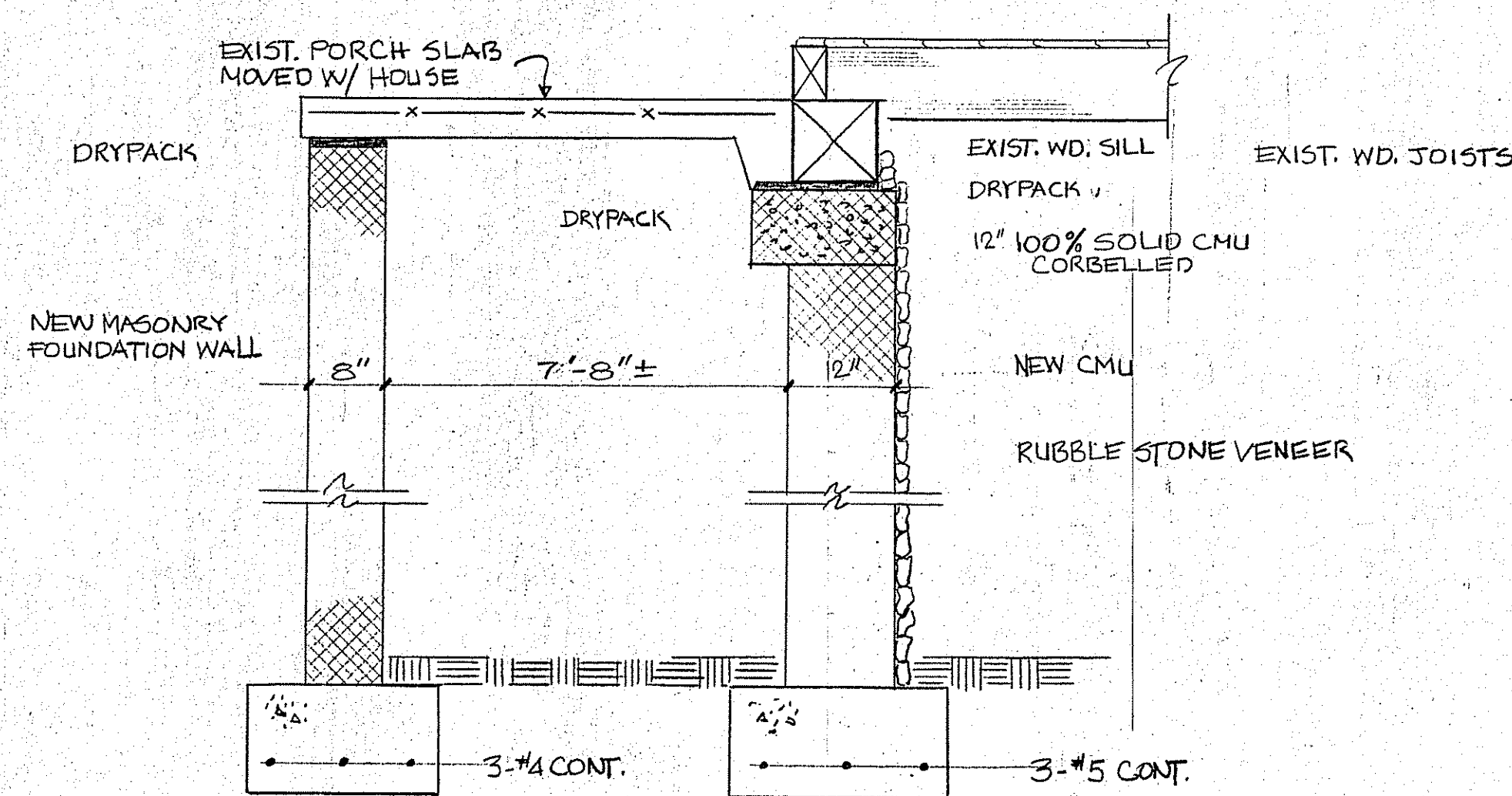
NOTES: (UNLESS OTHERWISE SPECIFIED)

1. LOCATION OF FOUNDATION, SEE SITE PLAN
2. CONCRETE TO BE 2500 PSI. @ 28 DAYS

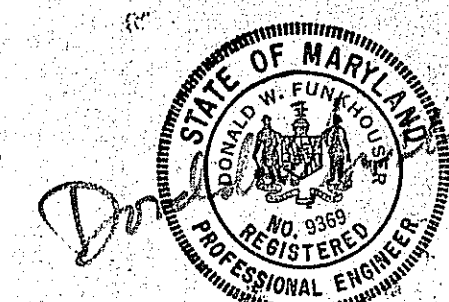


TYPICAL FOUNDATION WALL SECTION A
SCALE: 3/4" = 1'-0"

SHEARED TIMBER SOISTS @ 2'-0"± O.C. (SIZE VARIES (TYPICALLY 3" x 8" AVG.)



SECTION B
SCALE: 3/4" = 1'-0"



REVISIONS		
DRAWN	DATE	SCALE
	1-24-1980	AS SHOWN
COOPER • LECKY PARTNERSHIP ARCHITECTS 3203 GRACE ST. N.W. WASHINGTON D.C.		
RIGGS HOUSE		
DRAWING NO. S1		