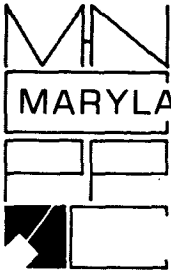


23/9-97A 3801 Elton Farm Road,
Brookeville (MP Site #23/9)



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 5/14/97

MEMORANDUM

TO: Robert Hubbard, Acting Director
Department of Permitting Services

FROM: ^{RDZ} Gwen Wright, Historic Preservation Coordinator
Montgomery County Department of Park and Planning

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. The application was:

Approved Denied

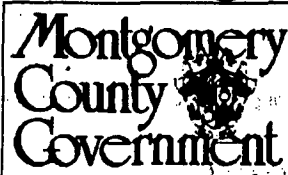
Approved with Conditions: _____

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: _____

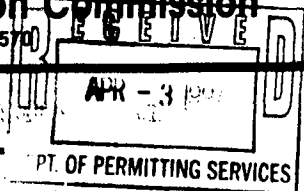
Address: _____

THE APPLICANT MUST ARRANGE FOR A FIELD INSPECTION BY CALLING THE DEPARTMENT OF PERMITTING SERVICES AT 217-6240 FIVE DAYS PRIOR TO COMMENCEMENT OF WORK AND WITHIN TWO WEEKS FOLLOWING COMPLETION OF WORK.



RETURN TO: Department of Environmental Protection
 Division of Development Services and Regulation
 250 Hungerford Drive, Rockville, Maryland 20850
 (301) 217-6370

Historic Preservation Commission
 (301) 495-4570



APPLICATION FOR HISTORIC AREA WORK PERMIT

CONTACT PERSON George E. Simms, Jr.
 DAYTIME TELEPHONE NO. (301) 827-0333
 TAX ACCOUNT # 1688772
 NAME OF PROPERTY OWNER GEORGE E. SIMMS, JR. DAYTIME TELEPHONE NO. (301) 827-0333
 ADDRESS 3801 ELTON FAR17 ROAD BROKEXVILLE, MD 20833-1303
CITY STATE ZIP CODE
 CONTRACTOR MIKE WHITE TELEPHONE NO. (301) 831-5262
 CONTRACTOR REGISTRATION NUMBER 19644
 AGENT FOR OWNER _____ DAYTIME TELEPHONE NO. ()

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 3801 STREET ELTON FAR17 ROAD
 TOWN/CITY BROKEXVILLE NEAREST CROSS STREET HOWARD CHAPEL ROAD
 LOT _____ BLOCK _____ SUBDIVISION _____
 LIBER 4612 FOLIO 448 PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CIRCLE ALL APPLICABLE: CIRCLE ALL APPLICABLE: A/C Slab Room Addition
 Construct Extend Alter/Renovate Repair Move Porch Deck Fireplace Shed Solar Woodburning Stove
 Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____
 1B. CONSTRUCTION COST ESTIMATE \$ _____
 1C. IF THIS IS A REVISION OF A PREVIOUSLY APPROVED ACTIVE PERMIT SEE PERMIT # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. TYPE OF SEWAGE DISPOSAL 01 () WSSC 02 () SEPTIC 03 () OTHER _____
 2B. TYPE OF WATER SUPPLY 01 () WSSC 02 () WELL 03 () OTHER _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. HEIGHT _____ feet _____ inches
 3B. INDICATE WHETHER THE FENCE OR RETAINING WALL IS TO BE CONSTRUCTED ON ONE OF THE FOLLOWING LOCATIONS:
 On party line/property line _____ Entirely on land of owner _____ On public right of way/easement _____

I HEREBY CERTIFY THAT I HAVE THE AUTHORITY TO MAKE THE FOREGOING APPLICATION, THAT THE APPLICATION IS CORRECT, AND THAT THE CONSTRUCTION WILL COMPLY WITH PLANS APPROVED BY ALL AGENCIES LISTED AND I HEREBY ACKNOWLEDGE AND ACCEPT THIS TO BE A CONDITION FOR THE ISSUANCE OF THIS PERMIT.

George E. Simms, Jr. Signature of owner or authorized agent _____ Date _____

APPROVED X For Chairperson, Historic Preservation Commission
 DISAPPROVED _____ Signature [Signature] Date 5/14/97

APPLICATION/PERMIT NO: 971040000175 DATE FILED: _____ DATE ISSUED: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS
MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

ELTON 9 9 CIRCA 1790 - STONE COLUMN RESIDENCE

(See Attached)

DEPARTMENT OF PERMITTING SERVICES

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

REPLACE EXISTING LEAKING ROOF WITH STANDING SEAM COPPER ROOF
EXISTING ROOF IS ASPHALT SHINGLE WHICH WAS INSTALLED OF THE
ORIGINAL STANDING SEAM TIN ROOF

2. SITE PLAN N/A

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" X 17". Plans on 8 1/2" X 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. **An existing and a proposed elevation drawing of each facade affected by the proposed work is required.**

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For all projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (279-1355).

Please print (in blue or black ink) or type this information on the following page. Please stay within the guides of the template, as this will be photocopied directly onto mailing labels.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

DATE: 5/14/92

MEMORANDUM


TO: Historic Area Work Permit Applicants

FROM: Gwen ^{DE} Marcus, Historic Preservation Coordinator
Design, Zoning, and Preservation Division
M-NCPPC

SUBJECT: Historic Area Work Permit Application - Approval of
Application/ Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Environmental Protection (DEP), at 250 Hungerford Drive, Second Floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DEP before work can begin.

 When you file for your building permit at DEP, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DEP. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DEP at 217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 495-4570.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DEP/Field Services at 217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

EXPEDITED HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 3801 Elton Farm Road, Brookeville

Meeting Date: 5/14/97

Resource: Elton, Master Plan Site #23/9

Review: HAWP

Case Number: 23/9-97A

Tax Credit: Yes

Public Notice: 4/30/97

Report Date: 5/7/97

Applicant: George Simms

Staff: Robin D. Ziek

PROPOSAL: Roof replacement

RECOMMEND: APPROVAL

DATE OF CONSTRUCTION: 1783

SIGNIFICANCE: Individual Master Plan Site
 Within a Master Plan Historic District
 Outstanding Resource
 Contributing Resource
 Non-Contributing/Out-of-Period Resource

ARCHITECTURAL DESCRIPTION: Federal style stone and stucco, telescoped with two sections

PROPOSAL: Replace existing asphalt shingle roof with copper standing-seam metal. There is an existing standing-seam roof under the asphalt shingle, but it is galvanized. Owner is concerned with need to paint a galvanized metal roof, and proposes to install copper instead.

RECOMMENDATION: Approval
 Approval with conditions:

1. _____
2. _____
3. _____

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or

2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

and subject to the general condition that the applicant arrange for a field inspection by calling the Montgomery County Department of Environmental Protection (DEP), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

HISTORIC AREA WORK PERMIT

DEPT. OF PERMITTING SERVICES

CONTACT PERSON George E. Simms, Jr.

DAYTIME TELEPHONE NO. (301) 827-8333

TAX ACCOUNT # 1088772

NAME OF PROPERTY OWNER George E. Simms, Jr. DAYTIME TELEPHONE NO. (301) 827-8333

ADDRESS 3801 ELTON FARM ROAD BROOKVILLE, MD 20833-1303
CITY STATE ZIP CODE

CONTRACTOR MIKE WHITE TELEPHONE NO. (301) 831-5282

CONTRACTOR REGISTRATION NUMBER 19648

AGENT FOR OWNER _____ DAYTIME TELEPHONE NO. _____

LOCATION OF BUILDING/PREMISE

HOUSE NUMBER 3801 STREET ELTON FARM ROAD

TOWN/CITY BROOKVILLE NEAREST CROSS STREET HOWARD CHAPEL ROAD

LOT _____ BLOCK _____ SUBDIVISION _____

LIBER 4612 FOLIO 448 PARCEL _____

PART ONE: TYPE OF PERMIT ACTION AND USE

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Wreck/Raze Install Revocable Revision Fence/Wall (complete Section 4) Single Family Other _____

1B. CONSTRUCTION COST ESTIMATE \$ _____

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George E. Simms, Jr.
Signature of owner or authorized agent _____ Date _____

APPROVED _____ For Chairperson, Historic Preservation Commission

DISAPPROVED _____ Signature _____ Date _____

APPLICATION/PERMIT NO: 9710400015 DATE FILED: _____ DATE ISSUED: _____

2

THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

ELTON CIRCA 1790 - STONE COLONIAL RESIDENCE

(See attached)

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REPLACE EXISTING LEAKING ROOF WITH STANDING SEAM COPPER ROOF
EXISTING ROOF IS ASPHALT SHINGLE WHICH WAS INSTALLED OF
ORIGINAL STANDING SEAM TIN ROOF

2. SITE PLAN = N/A

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

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c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

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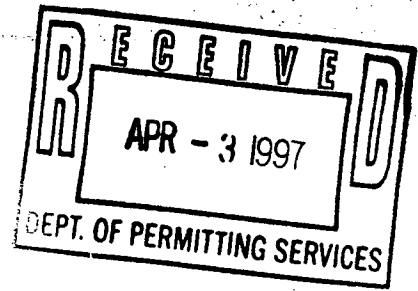
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b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY



ROOFING REPAIR AND REPLACEMENT AT ELTON
3801 Elton Farm, Road
Brookeville, MD 20833

Description of work to be performed
Existing Structure

Elton is a federal-style 2 story fieldstone house erected in three major sections. The oldest part was built circa 1790, the front and newest section was built in 1836.

Description of Project
Remove and replace existing roofing

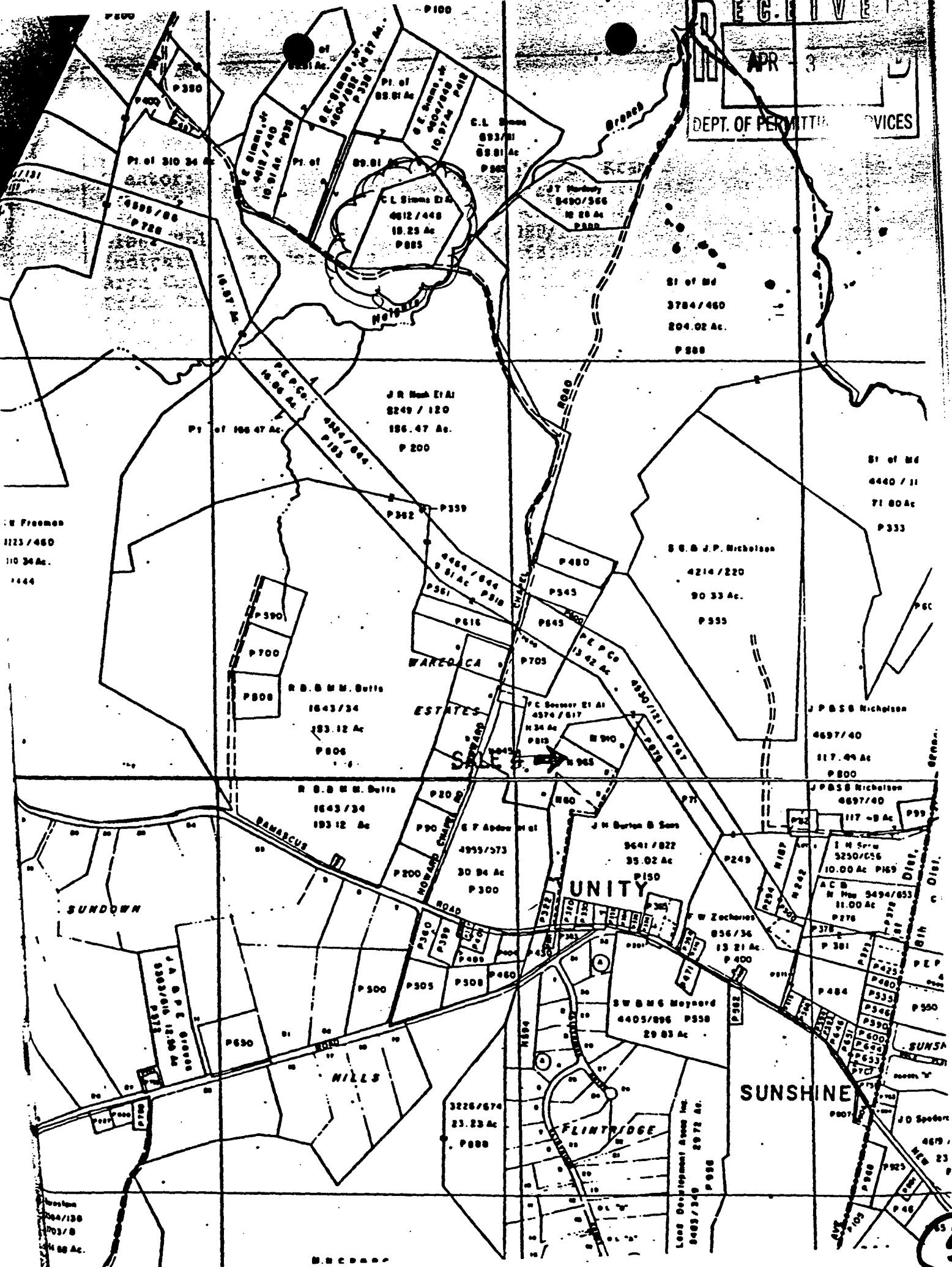
The original standing seam tin roofing is still in place under an overlaid asphalt shingle roofing. This shingle roofing was installed approximately 40 years ago is in serious need of replacement.

Proposed work to be done is:

- Remove the asphalt shingle roofing and the original tin roofing down to sheathing
- Install 2" R11 nailboard to existing sheathing
- Install new 16 oz copper standing seam (21"wide finished panel) over 15# felt and red rosin building paper

The proposed copper standing roofing approximates the original roofing with reduced maintenance, greater endurance and service.

REGISTRATION
APR 3 1968
DEPT. OF PERMITTING SERVICES



W. Freeman
1223/460
110.34 Ac.
P444

SI of M4
3784/460
204.02 Ac.
P888

SI of M4
4440/11
71.80 Ac.
P333

S.B.J.P. Nicholson
4214/220
90.33 Ac.
P333

P390
P700
P808

R.B.M.M. Butts
1643/34
183.12 Ac.
P806

R.B.M.M. Butts
1643/34
183.12 Ac.
P208

WARD, CA
ESTATES
SALES
P362
P359
P480
P345
P616
P645
P705
P208
P390
P200
P300
P350
P399
P460
P500
P305
P308

J.C. Sawyer Et Al
4374/817
18.34 Ac.
P812

J.M. Burton & Sons
3641/822
35.02 Ac.
P150

J.P.S.B. Nicholson
4697/40
117.49 Ac.
P800

J.P.S.B. Nicholson
4697/40
117.49 Ac.
P99

I.M. Serrin
3250/656
10.00 Ac. P169
A.C.B.
M. Nash 3494/853
11.00 Ac.
P276

W. Zacharias
856/36
13.21 Ac.
P400

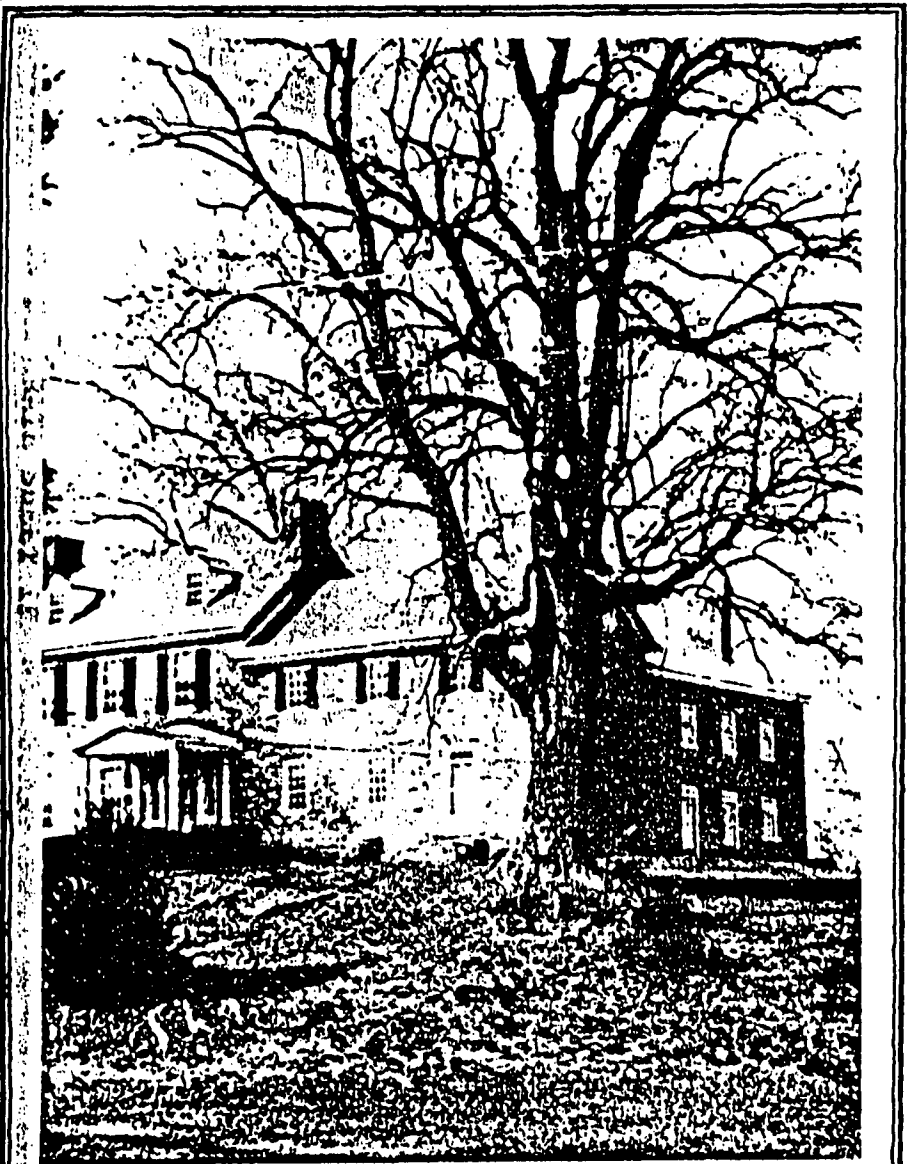
S.W.M.C. Maynard
4405/896 P358
29.83 Ac.

P249
P254
P259
P277
P378
P381
P484
P480
P333
P346
P390
P600
P604
P633
P637

3226/674
23.23 Ac.
P888

Lead Development Assoc. Inc.
8483/346
2072 Ac.
P988

SUNSHINE
SUNSA
J.D. Spedert
4679/1
NEW 23
P923
P48
P908
P909



• ELTON •
3801 Elton Farm Road, Unity

6

ELTON

Elton is an example of an Eastern Montgomery County Federal-style fieldstone house. It is associated with three early Montgomery County families: first, Henry Griffith, an early settler who may have built the rear wing as early as 1783; secondly, George Gaither, who probably built the main section of the home before 1836. (The sturdy rough stone is typical of a Gaither-built house.); and, third, with Ridgley Brown, a Civil War hero.

The house was bought for Sarah Ridgley Griffith Brown by her brother. Sarah had married Amos Brown in 1808. Their children lived in the house until the death of the last one in 1892. Amos and Sarah Griffith Brown's son, Ridgely, joined the Confederacy in June of 1861. As a member of the First Maryland Cavalry, he rose to the rank of Major. He was loved by his comrades and was voted the rank of Lt. Colonel after his death in battle in 1864. He is buried at Elton.

The house was bought in 1907 by John R.W. Frazier. He and his descendants have lived there since that time. The house is owned by his daughter, Mrs. George Simms.

Preservation and restoration have been fundamental elements of the 76 years that Mrs. Simms has lived at Elton. The floors of the living room, hall and staircase are entirely of the original walnut — preserved with paste wax and "elbow grease." The marbleized mantel in the living room has been recently restored to its early 1800 look. The dining room, part of the early house, has the original mantel and china cupboard; the three windows are 9-over-6 and careful observation will reveal where a fourth window once existed. In the kitchen, once detached from the main house because of fire danger, the stone fireplace has been uncovered by the Simms. The hearth goes all the way across the room. Once outside, don't miss the springhouse and smokehouse.

RECEIVED
APR - 3 1997
EPT. OF PERMITTING SERVICES

ELTON -
3801 Elton Farm Road, Brookeville, MD. 20833

Enclosed are the additional information and photos requested for the re-roofing application.

The woodland property directly across from ELTON, belong to:

Ms. Janet Nash
5100 Twinbrook Rd
Fairfax, VA 22032

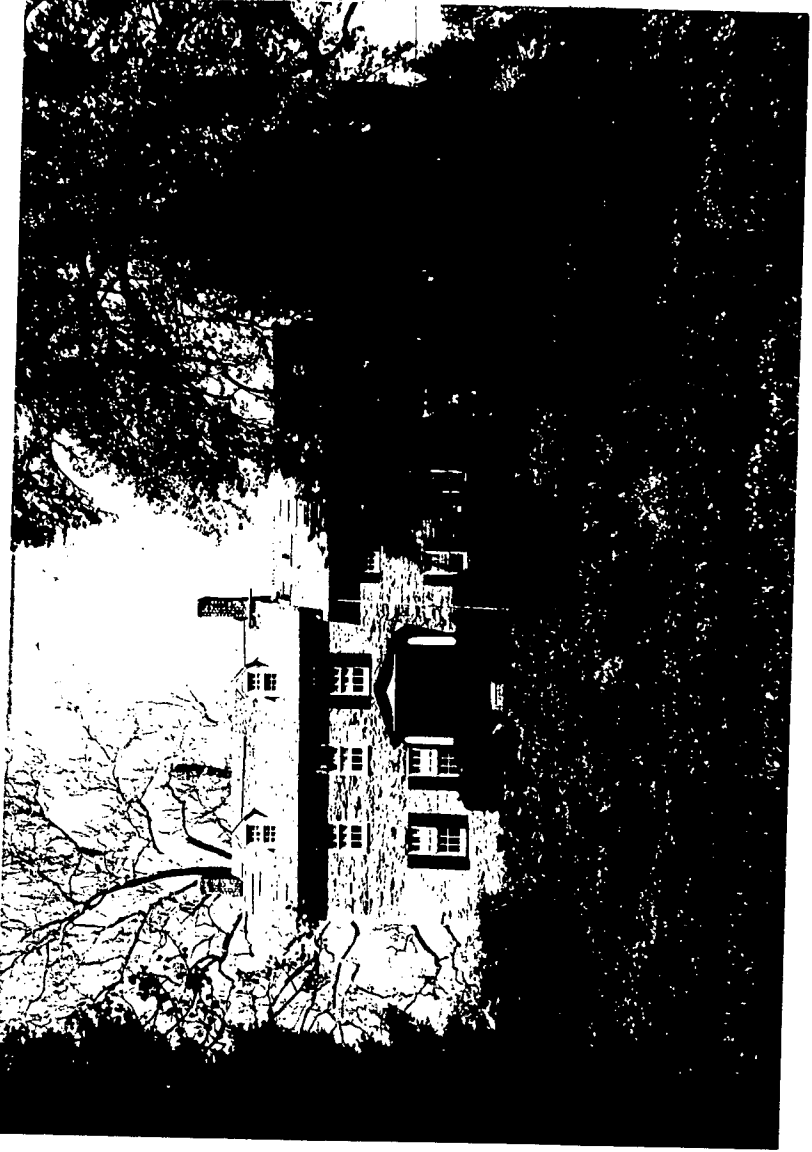
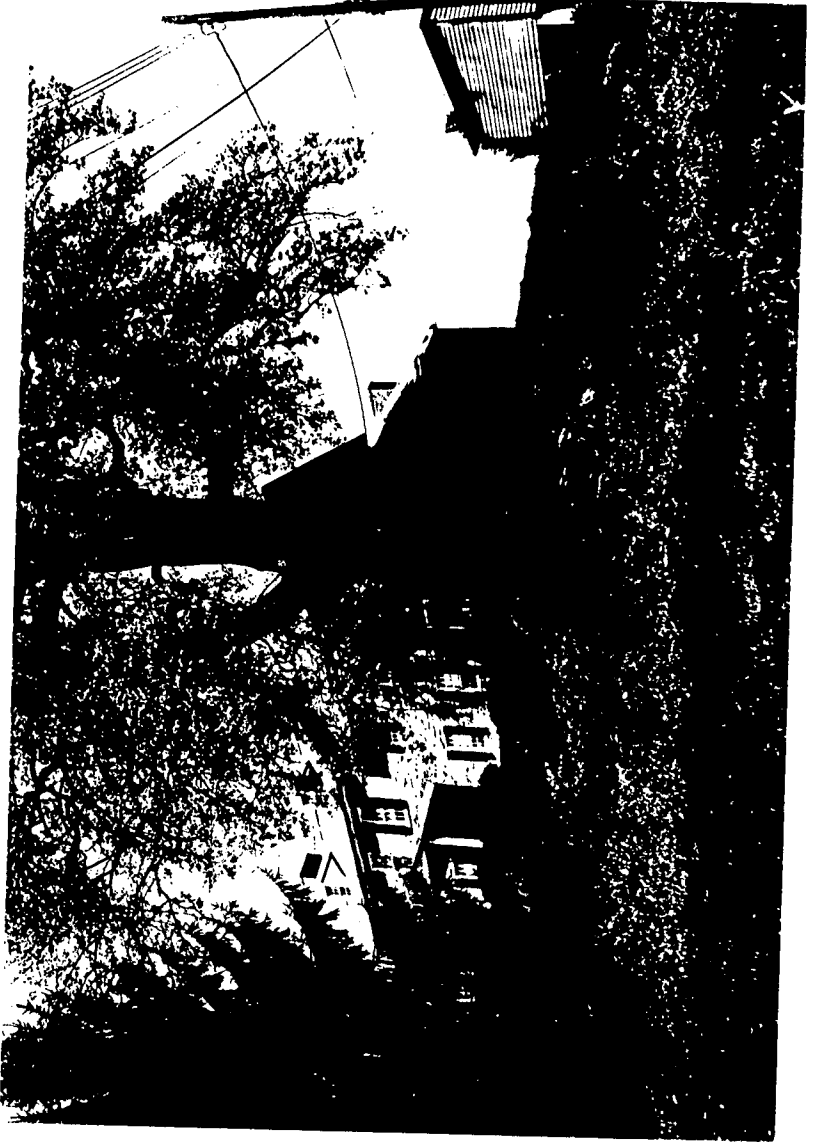
There are three houses adjacent to ELTON concealed by the Nash woodland. The closet neighbors, which are approximately ½ mile from ELTON are:

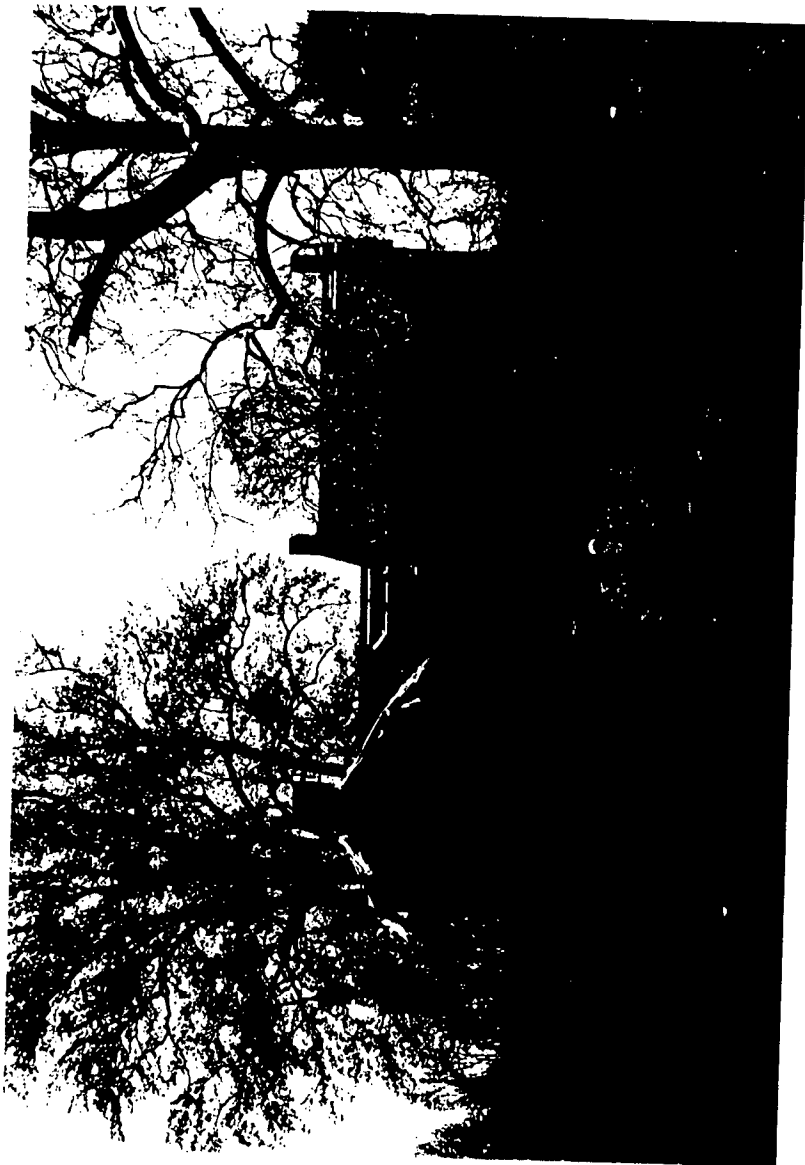
Mr. & Mrs. Curtiss
3400 Elton Farm Rd ? (approx. address, no address on mailbox)
Brookeville, MD 20833

Mr. & Mrs. Leshefski
4400 Elton Farm Road
Brookeville, MD 20833

Mr. & Mrs. Turnicky
4410 Elton Farm Road
Brookeville, MD 20833

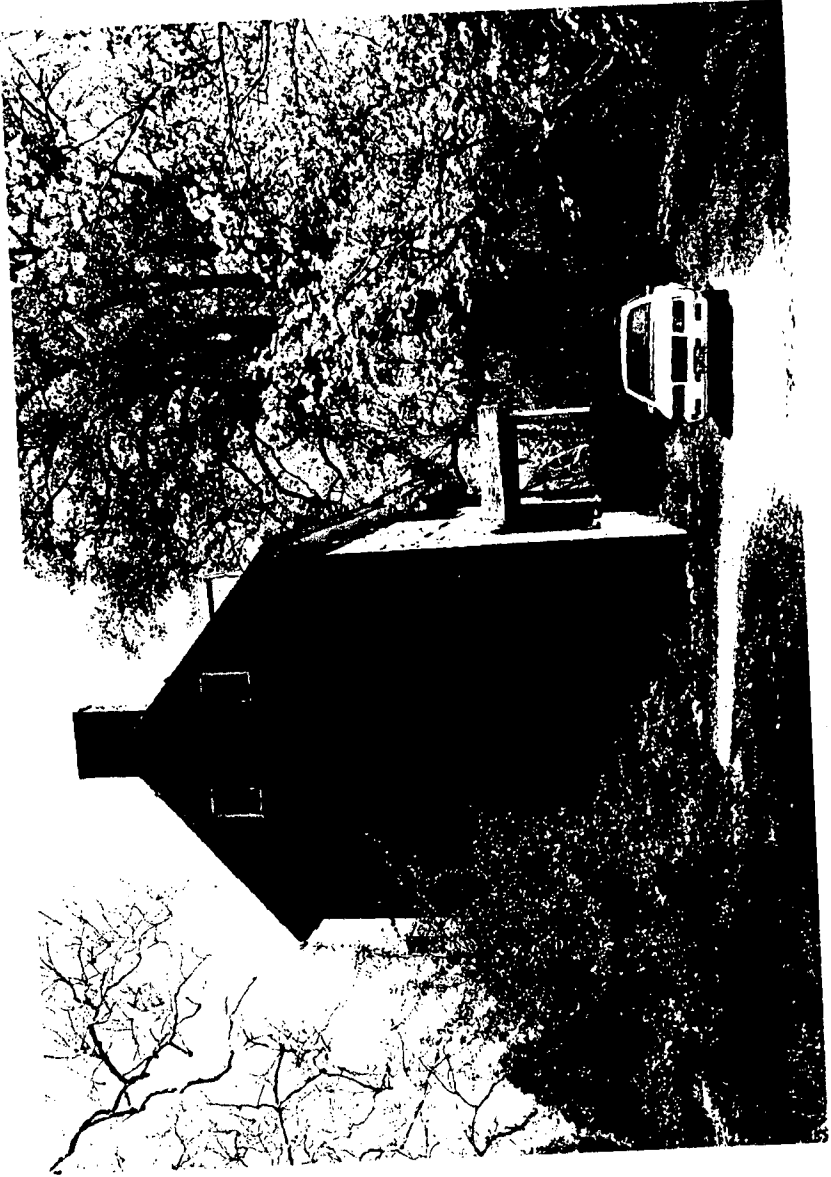
Prof. E. Lewis Jr.

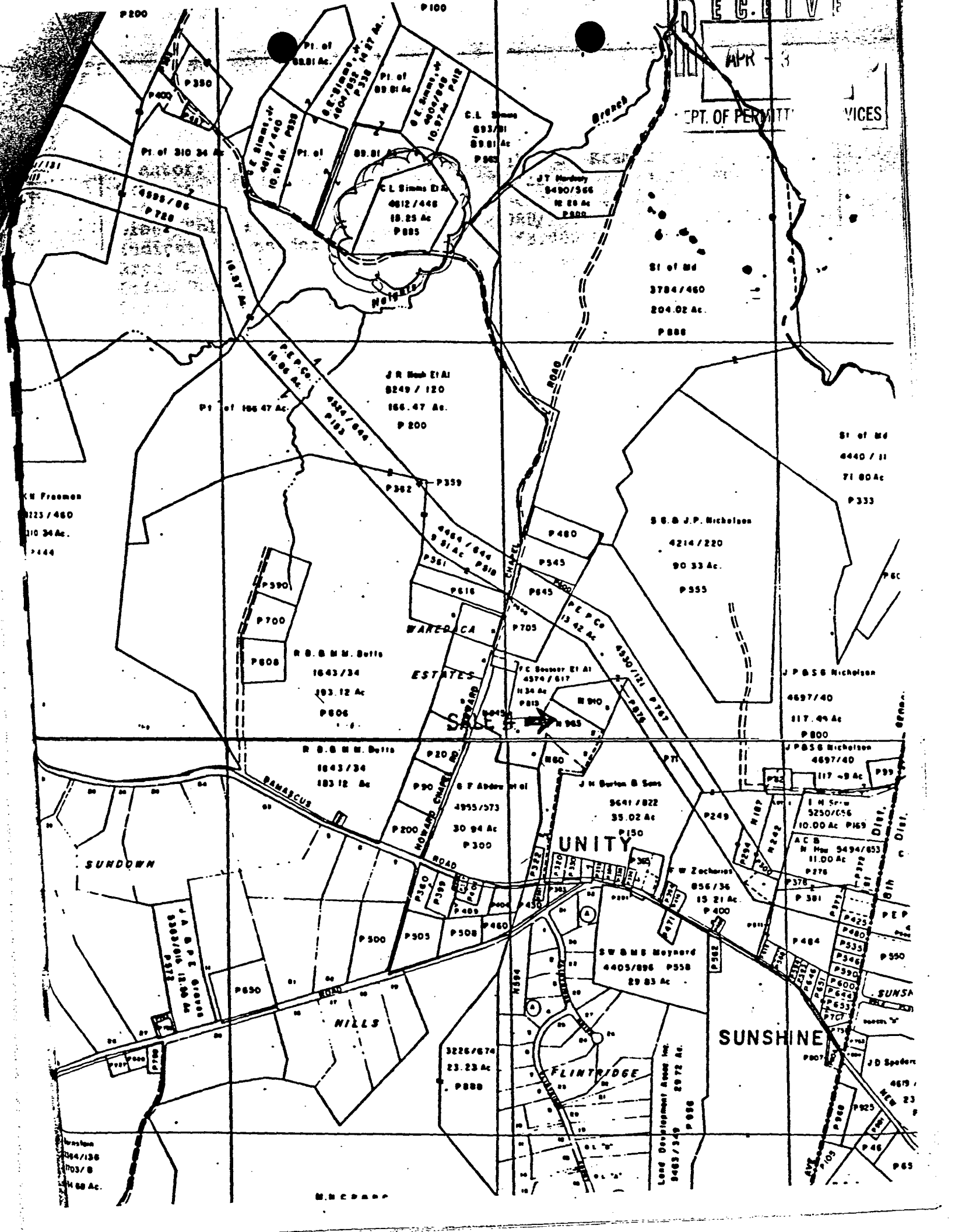




9

10





APR 3

DEPT. OF PERMIT VICES

C.L. Simms Estate
4812/448
18.25 Ac
P885

J.T. Harborty
8490/566
16.88 Ac
P880

St of Md
3784/460
204.02 Ac
P888

J.R. Nash Et Al
8249/120
166.47 Ac
P200

St of Md
4440/11
71.80 Ac
P333

S.E. J.P. Michelson
4214/220
90.33 Ac
P355

R.B.M.M. Batts
1643/34
193.12 Ac
P806

J.C. Seaman Et Al
4574/617
113.34 Ac
P815

J.P.S.B. Michelson
4697/40
117.49 Ac
P800

R.B.M.M. Batts
1643/34
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35.02 Ac
P150

J.P.S.B. Michelson
4697/40
117.49 Ac
P800

SUNDOWN

UNITY

J.A. & P.E. Graves
8300/18
18.00 Ac
P372

HILLS

S.W.M.S. Maynard
4405/896
29.83 Ac
P358

SUNSHINE

3226/674
23.23 Ac
P888

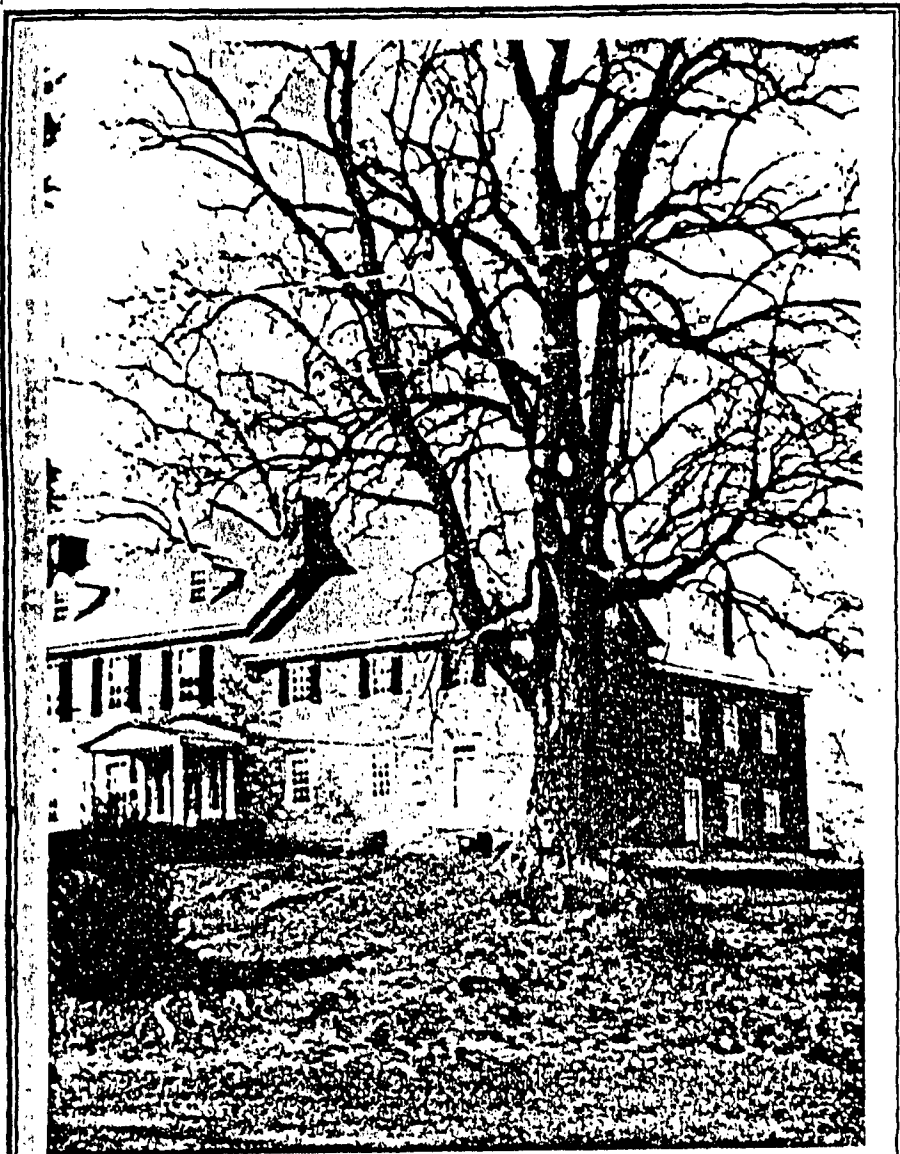
FLINTRIDGE

Lord Development Assoc Inc
8483/349
29.72 Ac
P886

J.D. Speders
4619/1
NEW 23
P880
P882
P884
P886
P888
P890
P892
P894
P896
P898
P900
P902
P904
P906
P908
P910

Horstman
1064/136
1703/8
14.88 Ac

M.C. PARR



• ELTON •
3801 Elton Farm Road, Unity

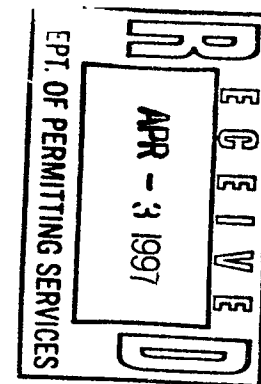
ELTON

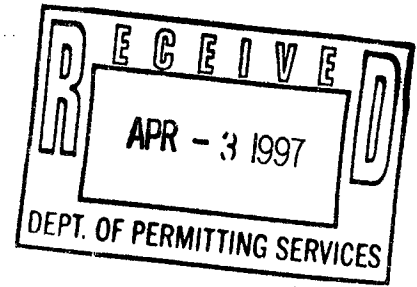
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ROOFING REPAIR AND REPLACEMENT AT ELTON
3801 Elton Farm, Road
Brookeville, MD 20833

Description of work to be performed

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Description of Project

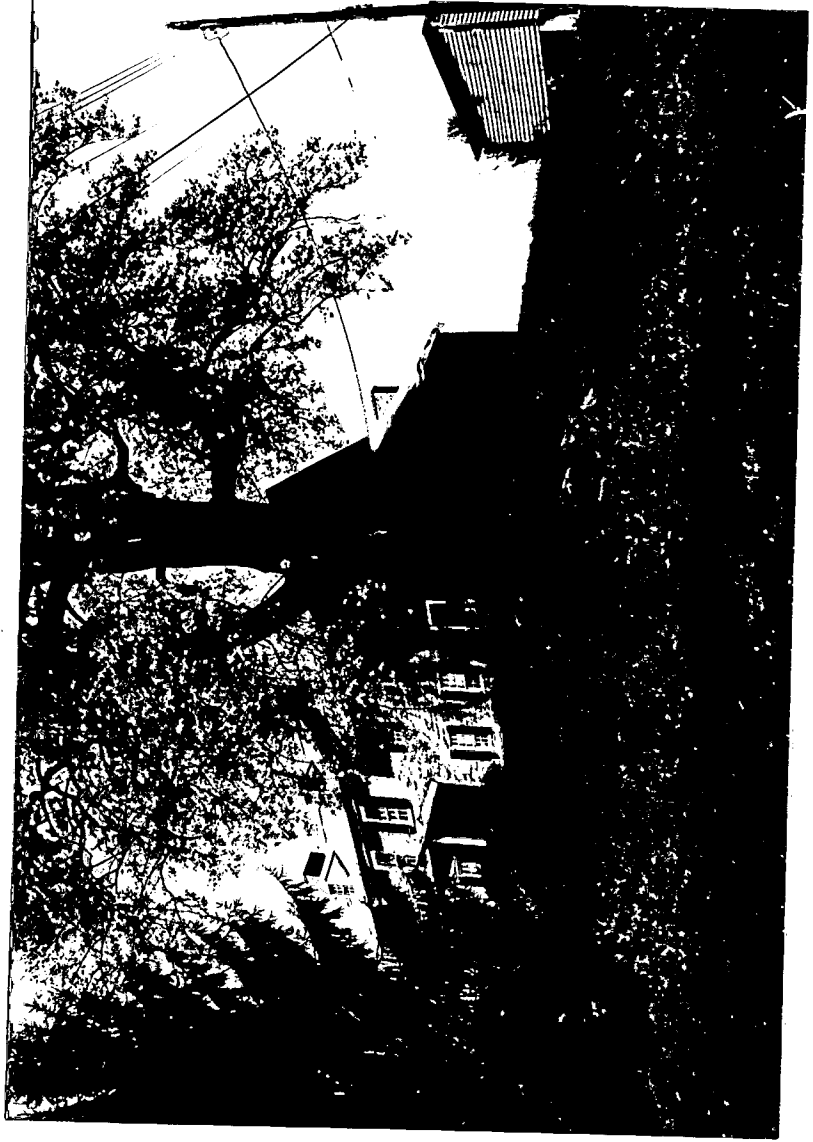
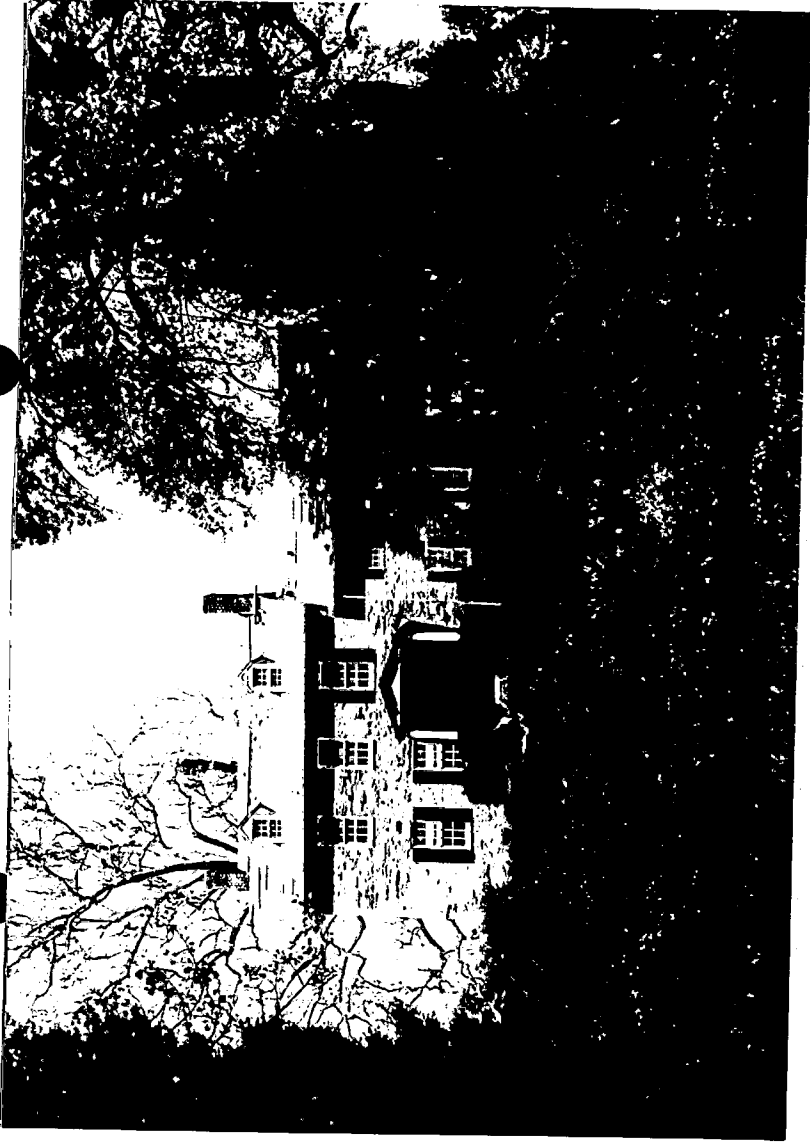
Remove and replace existing roofing

The original standing seam tin roofing is still in place under an overlaid asphalt shingle roofing. This shingle roofing was installed approximately 40 years ago is in serious need of replacement.

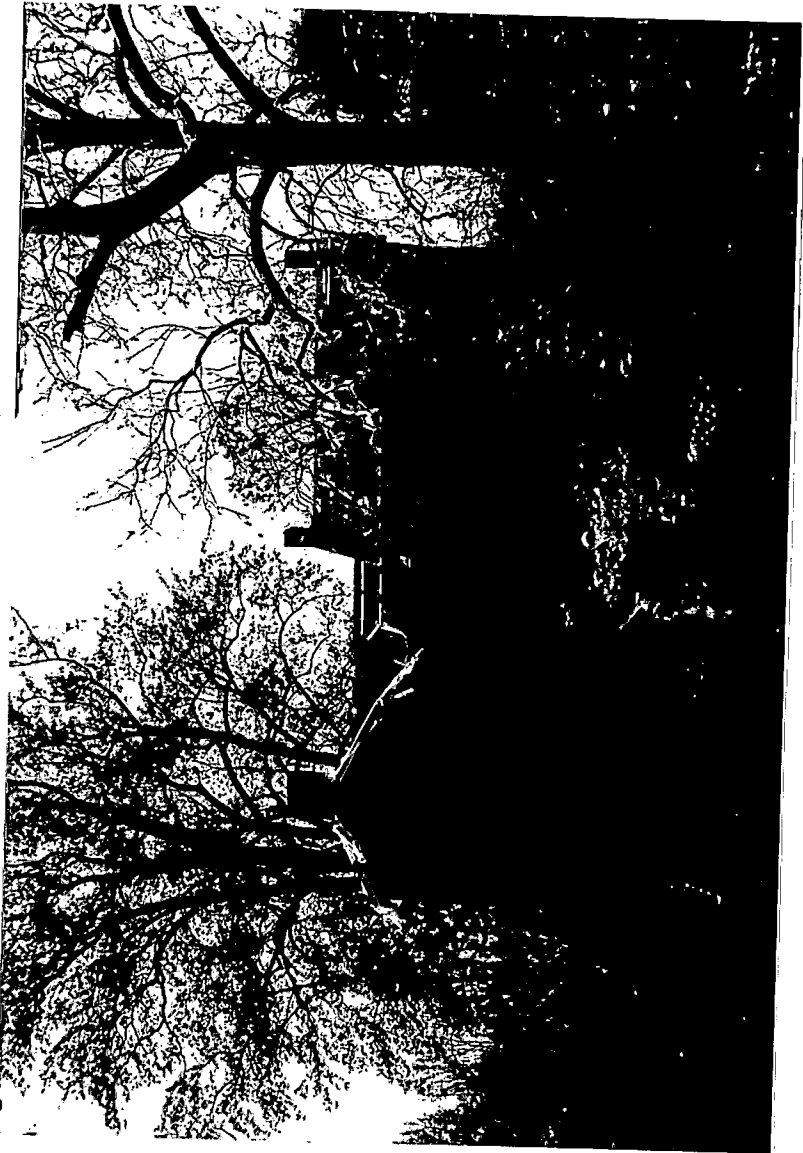
Proposed work to be done is:

- Remove the asphalt shingle roofing and the original tin roofing down to sheathing
- Install 2" R11 nailboard to existing sheathing
- Install new 16 oz copper standing seam (21"wide finished panel) over 15# felt and red rosin building paper

The proposed copper standing roofing approximates the original roofing with reduced maintenance, greater endurance and service.

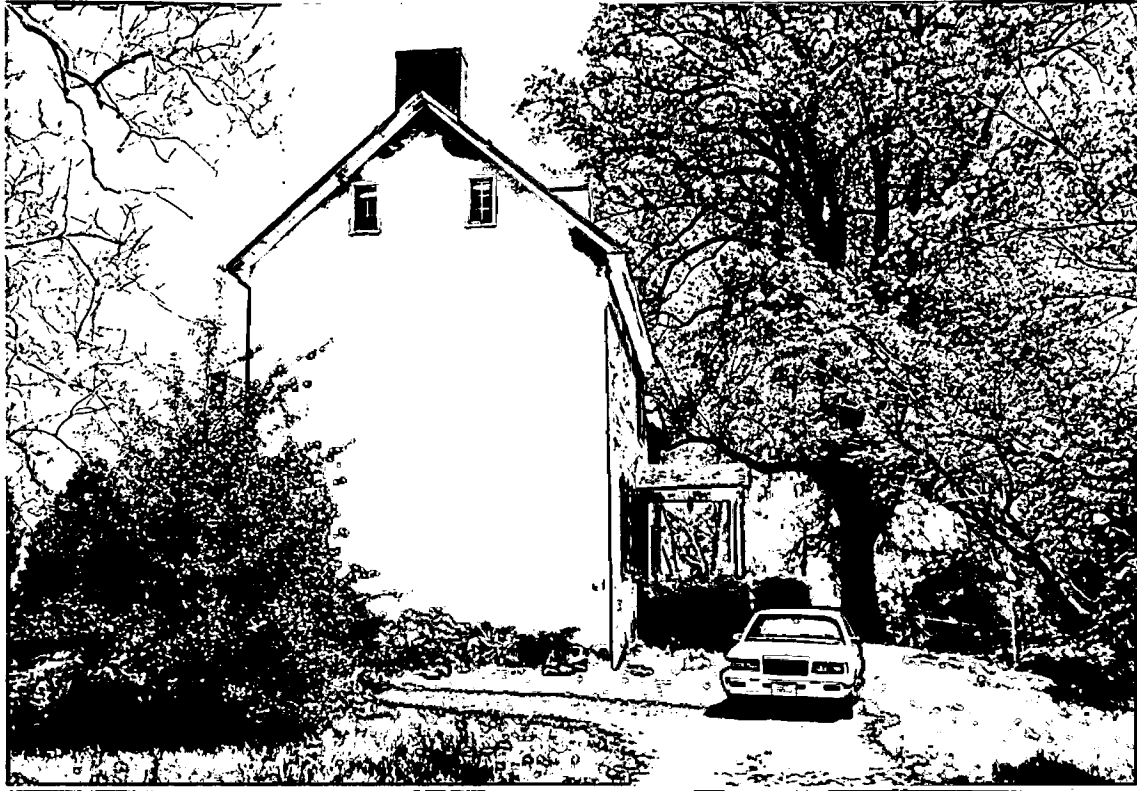


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