

18/14-04A Indoor Arena, Rickman Farm
Master Plan #18/14 **Joseph White House**

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	17314 Moore Road, Boyds	Meeting Date:	09/08/04
Resource:	<i>Master Plan</i> Site #18/14 Joseph White Farm	Report Date:	09/01/04
Review:	HAWP	Public Notice:	08/25/04
Case Number:	18/14-04A	Tax Credit:	None
Applicant:	M-NCPPC (Linda Komes, Agent)	Staff:	Michele Naru

PROPOSAL: Construction of a covered walkway addition onto a non-contributing building within the environmental setting.

RECOMMEND: Approval

PROJECT DESCRIPTION

SIGNIFICANCE: Joseph C. White House, *Master Plan* Site #18/14
DATE: c1822-4

Joseph Chiswell White, a descendant of two of the first settler families in the Poolesville area, built this distinguished brick house soon after he inherited the property in 1822. White was an important contributor to the success of agricultural reform practices in the early 1800s. He was a successful tobacco and wheat farmer and a charter member of the Montgomery County Agricultural Society. Notable architectural details are ornate transom tracery, double rows of cornice dentils, and 9/6 windows. The bricks on the southeast facade are laid with Flemish bond bricks while remaining sides are in common bond. In plan, the house is one-room deep with a center passage. The stairway has a slender turned newel post and square balusters. The brick side wing was added in the 1950s, replacing a log kitchen and connecting breezeway. The house was owned by the Whites and their descendants for over 160 years. Nearby a transitional gambrel roof barn combines traditional bank barn advantages of vehicular access to the upper level with 20th century concrete block construction.

PROPOSAL:

The applicant is proposing to construct a covered walkway addition on to the existing agricultural “butler-style” metal building on the property. The walkway addition is designed to be the handicapped accessible rout from the parking lot to the front door of the building. The walkway will be 85 feet long and 8 feet wide and covered with a metal roof to match the existing building.

STAFF DISCUSSION

Proposed new construction to Master Plan individually designated resources are reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Staff commends the applicant's desire to make this non-contributing building handicapped accessible. The proposed building materials for this project are compatible with the existing building and the structure will not negatively impact the existing historic landscape. Staff recommends approval.

STAFF RECOMMENDATIONS

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

Attachment A
(for HPC Application dated 8.13.04)

Name: Joseph White Farm
Region: N
Location: 17320
17400 Moore Rd. Boyds, MD
Associated Park:
Date or Period: 1822-1824
Priority:
Year in CIP: 2003
Condition: Fair
ID#: 18/014-000

Description: This seven bay, two-and-a-half story brick house faces southeast. Built on fieldstone foundations, the house has a northeast two bay section and a southeast five bay section. The southeast section is original. This section has Flemish bonded brick work which is painted red. The southwest and northwest walls are common bonded. The southeast (front) porch has a half hipped roof supported by six tapered columns. The porch is enclosed by a turned balustrade railing. The southeast door is a side wooden paneled door surmounted by a transom. A flight of ten stone steps, flanked by a wrought iron hand railing, leads to this door. The northwest door is wooden paneled. There are two-over-two double-hung windows throughout the house except at the second level of the southeast level, original section, where there are nine over six double hung windows. There are two gable roofs covered by black asbestos shingles. There is a decorative corniced line at the northeast and southwest gable ends of the original house. There are interior chimneys.

Work Needed:

Significance:

This house and land were owned by a prominent local family for 175 years. Joseph C. White had inherited the land from his father Benjamin White "of Benjamin", who had purchased part of "Wolf's Cow" from his brother-in-law Joseph Newton Chiswell in 1798. Joseph White married Mary Collinson Gott in 1824. Their son, John Collinson White, received the house upon Joseph's death c. 1886. John had fought for the confederates in a battalion commanded by his cousin, Lt. Col. Elijah Veirs White in the 35th Va. Cavalry Regiment, which included "Chiswell's Raiders" (many cousins). In 1911, John's heirs sold the property, now amounting to 208.34 acres, to John's youngest child Eliza Virginia and her husband John William Moore and remodeled the house razing the old kitchen and slave quarters and adding a kitchen wing. At the same time the present porch was added. In 1952 their three sons were deeded the property, and in 1974 seven acres were portioned off for John White Moore and his wife, Kay.

Marked: ?

Status: N/A

Category:

FILE



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: September 10, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Michele Naru, Senior Planner (m)
Historic Preservation Section

SUBJECT: Historic Area Work Permit # 355473, for covered walkway installation at 17314 Moore Road, *Master Plan* Site # 18/14, **Joseph White Farm**

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**. The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: M-NCPPC (Linda Komes, Agent)

Address: 17314 Moore Road, *Master Plan* Site # 18/14, **Joseph White Farm**

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Linda Komes
Daytime Phone No.: (301) 650-2860

Tax Account No.: _____
Name of Property Owner: MNCPPC Daytime Phone No.: (301) 495-2535
Address: 9500 Brunet Avenue Silver Spring, MD 20901
Street Number City Street Zip Code

Contractor: MNCPPC Central Maintenance Phone No.: (301) 670-8022 (Brian DeLong)

Contractor Registration No.: _____
Agent for Owner: Eileen Emmet Daytime Phone No.: (301) 495-2550
Park Development Division

LOCATION OF BUILDING/PREMISE
House Number: 17314 Street: MOORE ROAD
Town/City: Boyd's Nearest Cross Street: Buck Lodge Road
Lot: _____ Block: _____ Subdivision: n/a
Liber: 15108 Folio: 341 Parcel: P663 (D11)

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Foam Addition Porch Deck Shed
 Move Install Wreck/Reze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Reversible Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ \$ 6,500.00
1C. If this is a revision of a previously approved active permit, see Permit # n/a

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches n/a
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Eileen Emmet
Signature of owner or authorized agent

8-13-04
Date

Approved: Disapproved: _____
Signature: Julia O'Malley Date: 9/9/04
Application/Permit No.: 355473 Date Filed: 8/18/04 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE Attachment A

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE Attachment B

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

Attachment B

Rickman Farm Horse Park

Covered Walkway Addition and Paved Parking Lot

(for HPC Application dated August 13, 2004)

- a. Description of existing structure(s) and environmental setting. See Attachment B, Joseph White Farm Historic Preservation report dated June 14, 2004.
- b. General description of project and its effect on the historic resources:

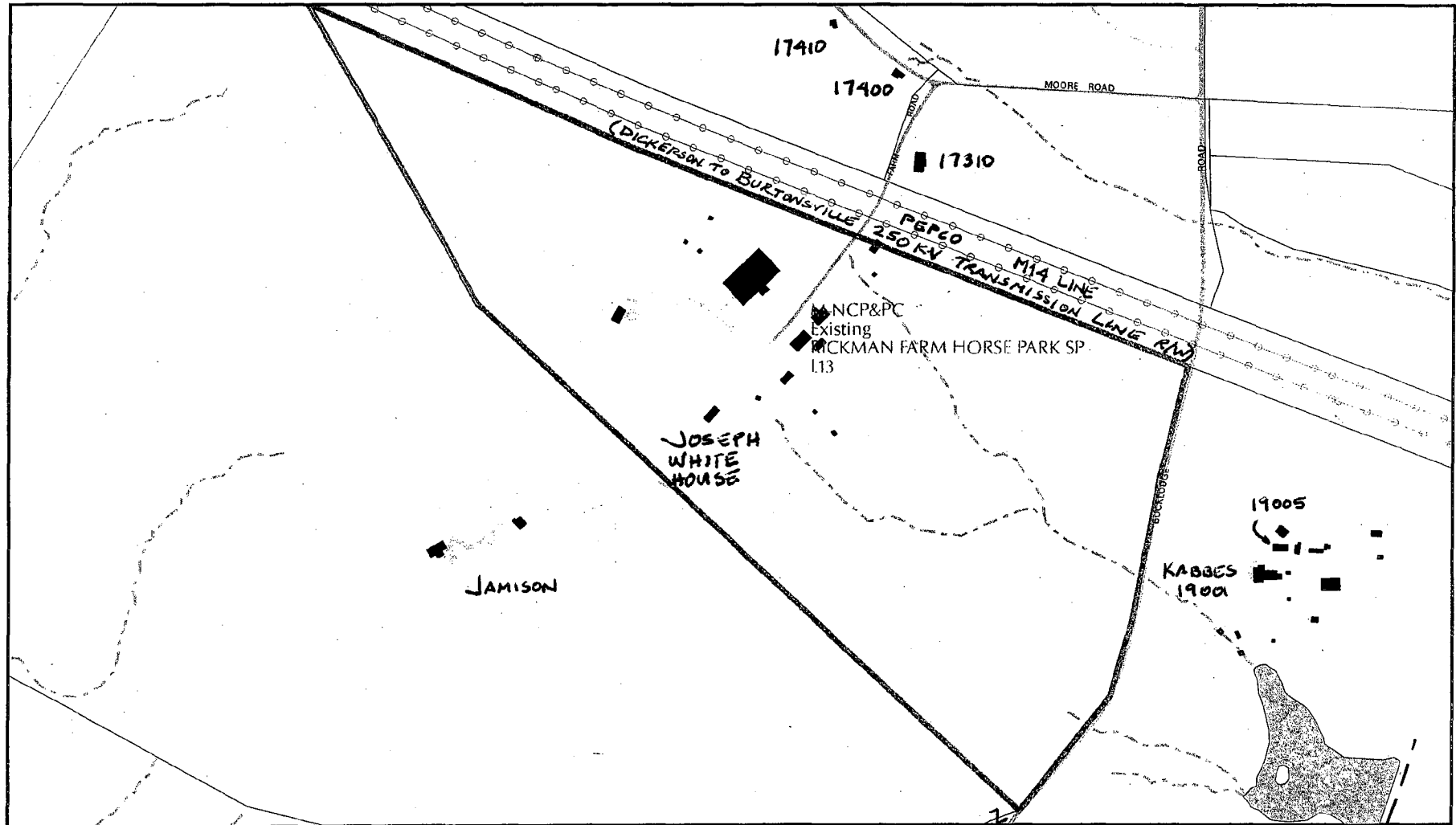
The project involves rehabilitating an existing agricultural "butler-style" metal building, called the Arena. Although the Arena itself is not historic, it is located within a one hundred acre historic setting called the Joseph White Farm. The property is owned by M-NCPPC and also known as the Rickman Farm Horse Park. Mr. William Rickman, Sr. donated the property in 1997 specifically for a therapeutic horse-riding program in Montgomery County.

M-NCPPC is rehabilitating the building for use by an organization called Great & Small. They run these therapeutic programs for children and adults. All rehab work will take place inside of the building, except for the covered walkway addition. The walkway will be the handicapped accessible route from the new parking lot to the front door of the building. It will be 85 feet long and 8 feet wide and its new metal shed roof will match the existing Arena building. The new asphalt parking lot will accommodate six handicapped parking spaces. (In the future, as shown on the engineering site plan, the parking lot will be expanded and an outdoor riding ring will be provided. Neither of these future elements are part of this application request.)

In general, the Arena consists of three parts, a central 100' x 200' open riding area, a rear 20' x 200' attached row of stables, and a front 25' x 30' office and public reception room.

We believe the covered walkway addition will enhance the historic setting by providing a human scale element to the long and boxy butler-style Arena. Also, the design of the walkway and character of the materials used are in an architectural style compatible to the agricultural setting. The parking lot is an essential part of the handicapped program and must be located at a reasonable distance to the building's public entry. In locating it to the west side of the Arena, it will be less visible to the north facing view shed than an alternate solution that would place it in front of the building.

RICKMAN FARM HORSE PARK



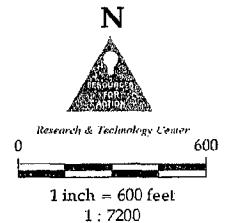
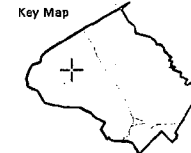
Map compiled on August 16, 2004 at 11:11 AM | Site located on base sheet no - 226NW17

NOTICE

The planimetric, property, and topographic information shown on this map is based on copyrighted Map Products from the Montgomery County Department of Park and Planning of the Maryland-National Capital Park and Planning Commission, and may not be copied or reproduced without written permission from M-NCPPC.

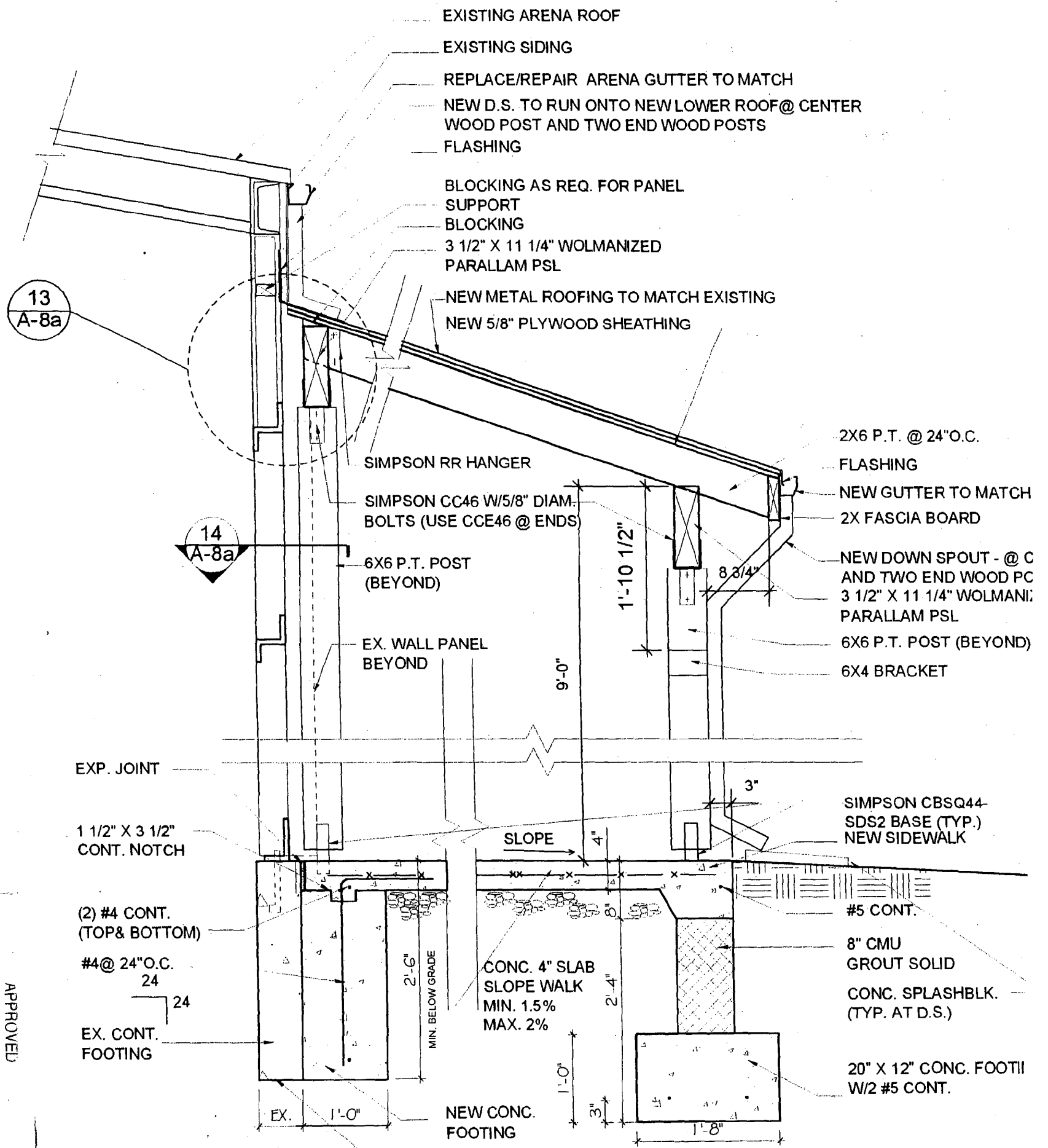
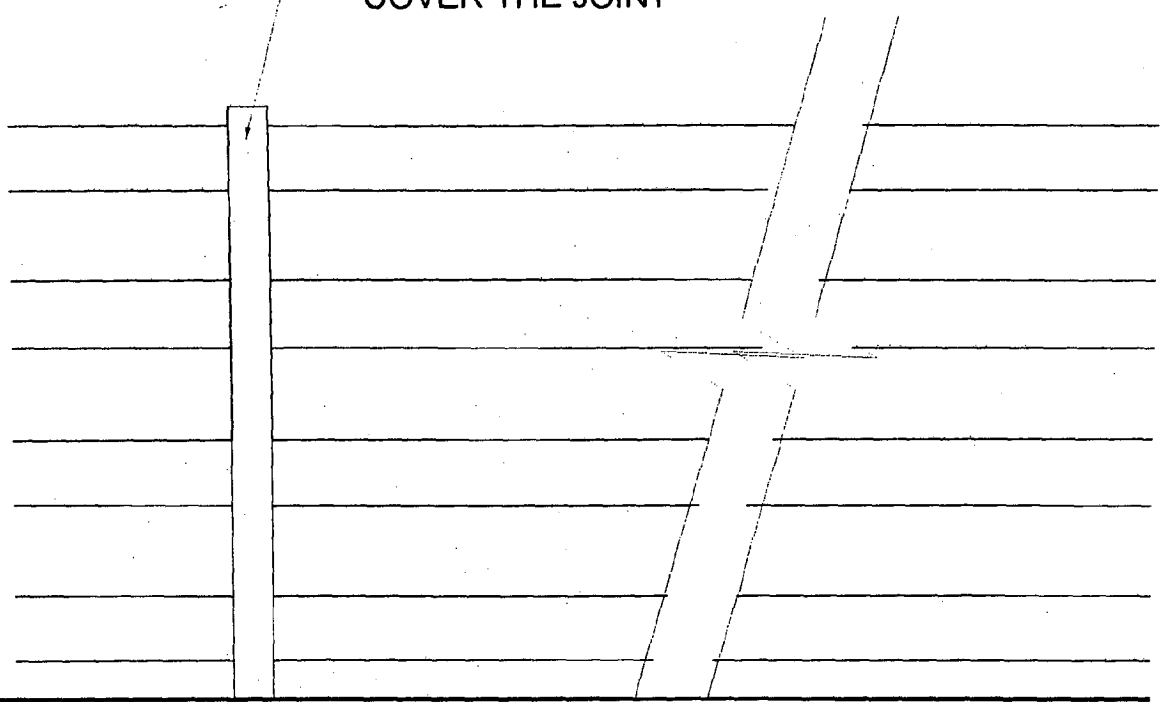
Property lines are compiled by adjusting the property lines to topography created from aerial photography and should not be interpreted as actual field surveys. Planimetric features were compiled from 1:14400 scale aerial photography using stereo photogrammetric methods.

This map is created from a variety of data sources, and may not reflect the most current conditions in any one location and may not be completely accurate or up to date. All map features are approximately within five feet of their true location. This map may not be the same as a map of the same area plotted at an earlier time as the data is continuously updated. Use of this map, other than for general planning purposes is not recommended. - Copyright 1998



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING
 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
 8787 Georgia Avenue - Silver Spring, Maryland 20910-3760

1X4 BATTEN AT POST TO COVER THE JOINT



NOTE: IF FOOTING IS NOT CONT. ALONG ARENA BETWEEN RIGID FRAMES, THEN USE SAME FOOTING & FOUNDATION DETAIL AS AT EXTERIOR OF WALKWAY

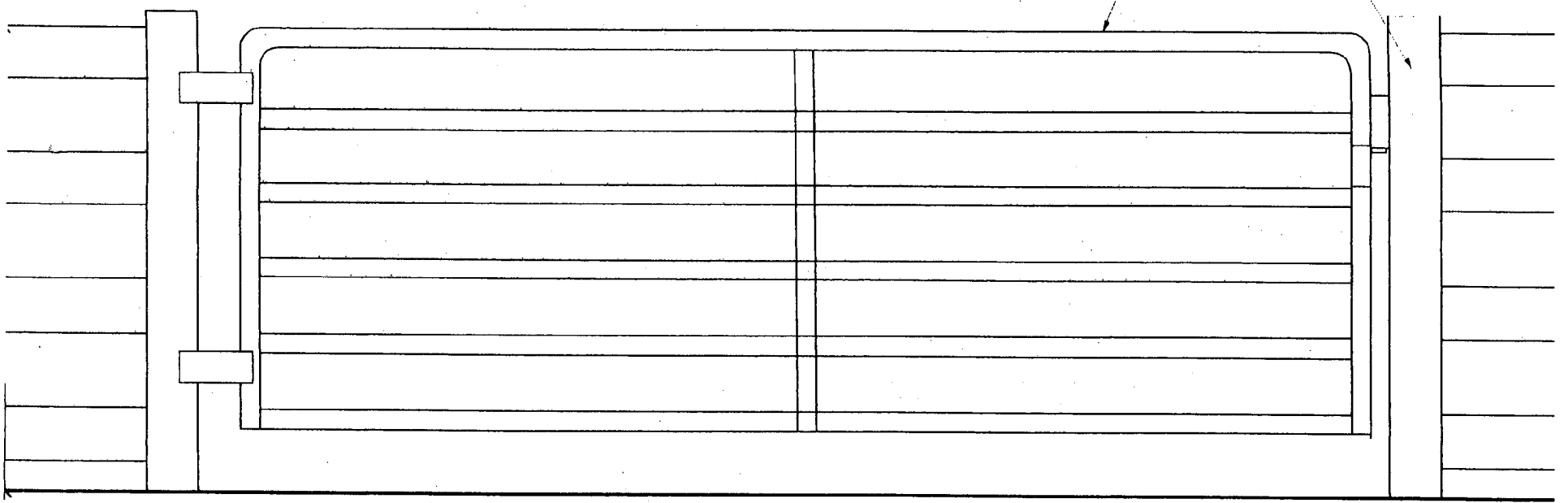
SECTION THROUGH COVERED WALKWAY BETWEEN COLUMNS

12 A-8a

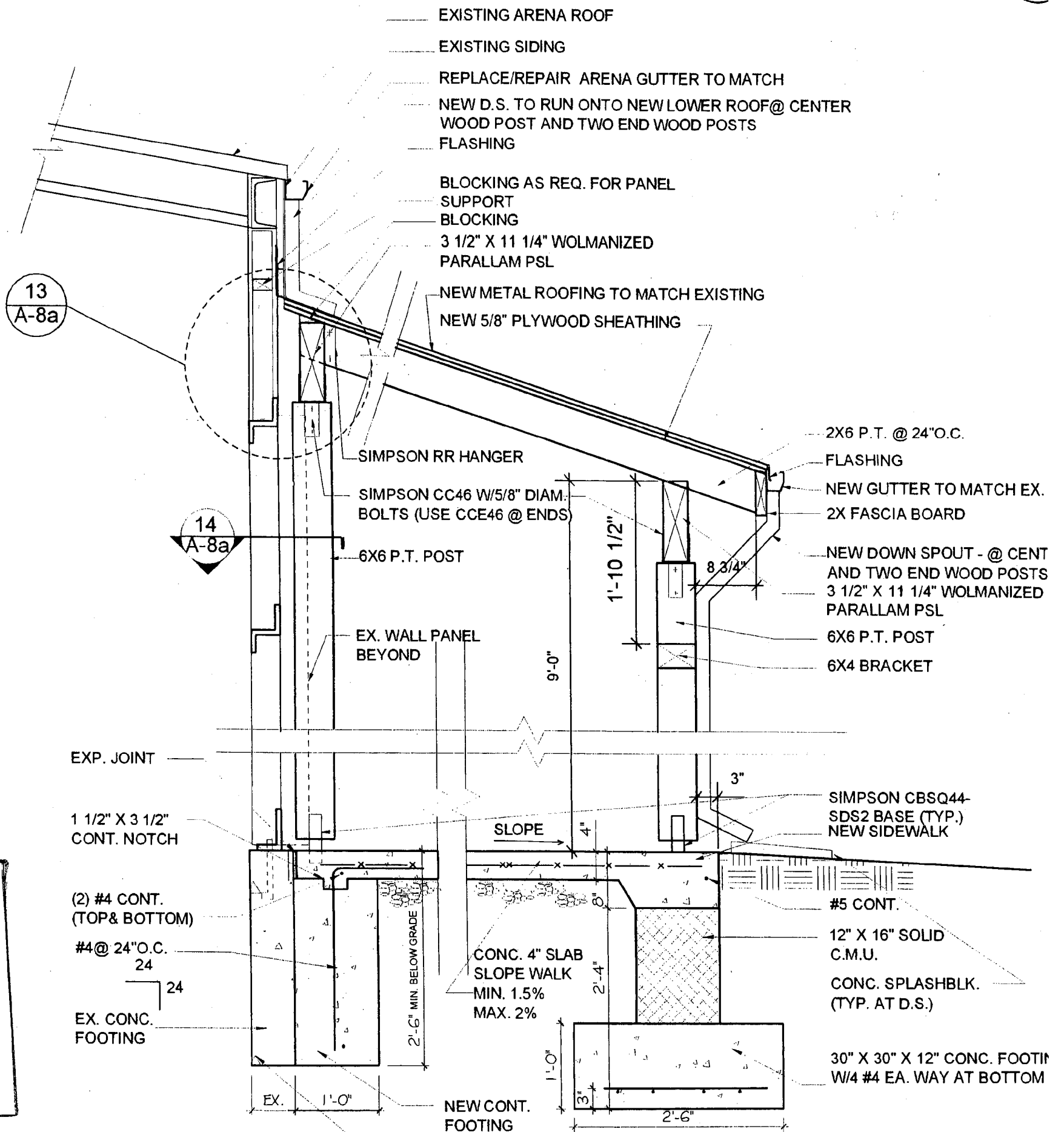
SCALE: 3/4" = 1'-0"

APPROVED
 Historic Preservation Commission
 Montgomery County
[Signature]

ORIGINAL FROM UNDER DRAW. 0.17.0



11
A-8



APPROVED
Montgomery County
Historic Preservation Commission
John D. Spallone

NOTE: IF FOOTING IS NOT CONT. ALONG ARENA BETWEEN RIGID FRAMES, THEN USE SAME FOOTING & FOUNDATION DETAIL AS AT EXTERIOR COLUMNS

SECTION THROUGH
COVERED WALKWAY AT COLUMN
SCALE: 3/4" = 1'-0"

RICKMAN FARM HORSE PARK
8-17-04

and approval.

The Maryland Notary

PROJECT: THE JOSEPH WHITE HOUSE
 17210 MOORE ROAD
 BOYDS, MARYLAND

OWNER: MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION
 6611 KENILWORTH AVENUE
 RIVERDALE, MARYLAND

CONTRACTOR: OAK GROVE RESTORATION COMPANY
 5815 RIGGS ROAD
 LAYTONSVILLE, MARYLAND

ENGINEER: STRUCTURAL DESIGN GROUP
 12 SOUTH SUMMIT AVE, SUITE 110
 GAITHERSBURG, MARYLAND 20877

DRAWING SCHEDULE	
1	COVER SHEET
2	BASEMENT PLAN
3	1st. Fl. PLAN
4	2nd. Fl. PLAN
5	3rd. Fl. PLAN
6	FRONT ELEVATION
7	REAR ELEVATION
8	SIDE ELEVATIONS
9	SECTION A AND B
10	SECTION C
11	DETAILS
12	1st. Fl. EXISTING FRAMING
13	2nd. Fl. EXISTING FRAMING
14	1st. Fl. NEW FRAMING
15	2nd. Fl. NEW FRAMING
16	STRUCTURAL NOTES 1
17	STRUCTURAL NOTES 2

PROJECT: JOSEPH WHITE HOUSE

DRAWING: COVER SHEET

SCALE: NTS

PAGE: 1 OF 17

DRAWN BY: MAS

REV.:

DATE: 5/1/03

OAK GROVE RESTORATION COMPANY

5815 RIGGS ROAD
 LAYTONSVILLE, MD. 20882

PHONE: (301)948-6412 FAX: (301)921-6301


NOTES


- THE PURPOSE OF THESE DRAWINGS IS TO DOCUMENT THE EXISTING CONDITIONS AND PROVIDE PROCEDURES FOR:
 - STRUCTURAL REPAIRS
 - MASONRY REPAIRS
 - PLASTER REPAIRS
 - RESTORATION OF WINDOWS AND DOORS
 - ROUGH-IN FOR HVAC AND PLUMBING
 - ROUGH-IN FOR ELECTRICAL
- ALL WINDOWS IN THE MAIN HOUSE WILL BE REMOVED AND REPAIRED USING THE SECRETARY OF THE INTERIOR GUIDELINES AND REINSTALLED.
- ALL STRUCTURAL REPAIRS WILL BE APPROVED AND STAMPED BY THE ENGINEER.
- THESE DRAWINGS SHOW THE 9/6 WINDOWS THAT WERE ORIGINAL TO THIS BUILDING. SOME OF THESE WINDOWS HAVE BEEN REPLACED AND THEREFORE WILL NOT BE 9/6.


LEGEND & ABBREVIATIONS

VIF VERIFY IN FIELD

(TYP) TYPICAL


 MASONRY WALL


 DOOR WITH DIRECTION OF SWING


 DOUBLE HUNG

HW HOT WATER HEATER

--- CENTER LINE


 TRIMMED OPENING


 SECTION CALLOUT/SHEET NUMBER


 DETAIL CALLOUT/SHEET NUMBER


CLO. CLOSET


ELECT./MECH. LEGEND


 CEILING FIXTURE

 WALL FIXTURE

 DUPLEX OUTLET

 DUPLEX OUTLET @ 42° AFF

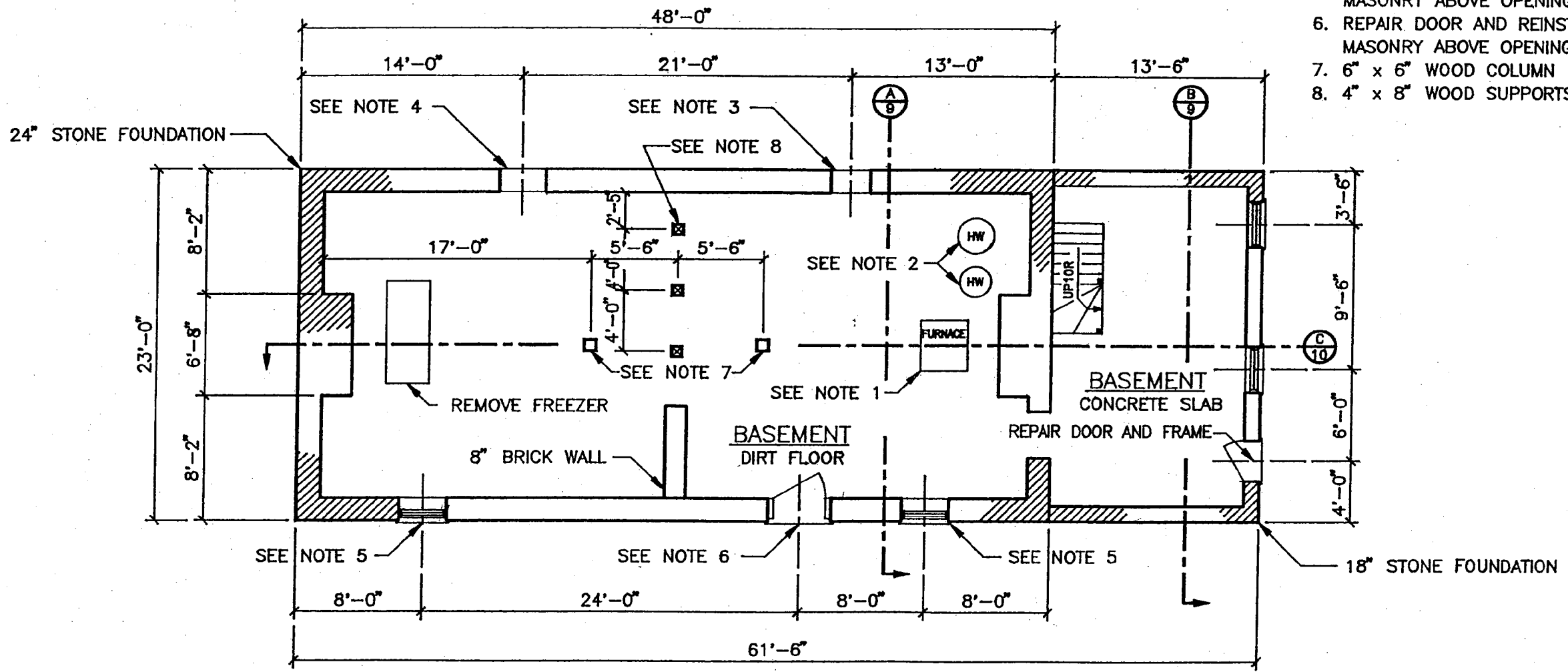
 S-WAY SWITCH

 SINGLE POLE SWITCH

APPROVED
 Montgomery County
 Historic Preservation Commission

Juan E. Velazquez

(M) 12/23/03



- NOTES:
1. REMOVE FURNACE AND ALL ASSOCIATED PIPING AND ACCESSORIES.
 2. REMOVE HOT WATER HEATERS AND PIPING.
 3. REMOVE OIL FILL PIPING AND METAL DOOR AND PATCH WITH STONE.
 4. REMOVE PREVIOUS PATCH OF OPENING AND PATCH WITH STONE.
 5. REPAIR WINDOW AND REINSTALL. PATCH MASONRY ABOVE OPENINGS.
 6. REPAIR DOOR AND REINSTALL. PATCH MASONRY ABOVE OPENINGS.
 7. 6" x 6" WOOD COLUMN
 8. 4" x 8" WOOD SUPPORTS, TYPICAL OF 3.

BASEMENT PLAN

APPROVED
 Montgomery County
 Historic Preservation Commission

Juan E. Velazquez

OAK GROVE RESTORATION COMPANY

5815 RIGGS ROAD
 LAYTONSVILLE, MD. 20882

PHONE: (301)948-6412 FAX: (301)921-6301

PROJECT: JOSEPH WHITE HOUSE

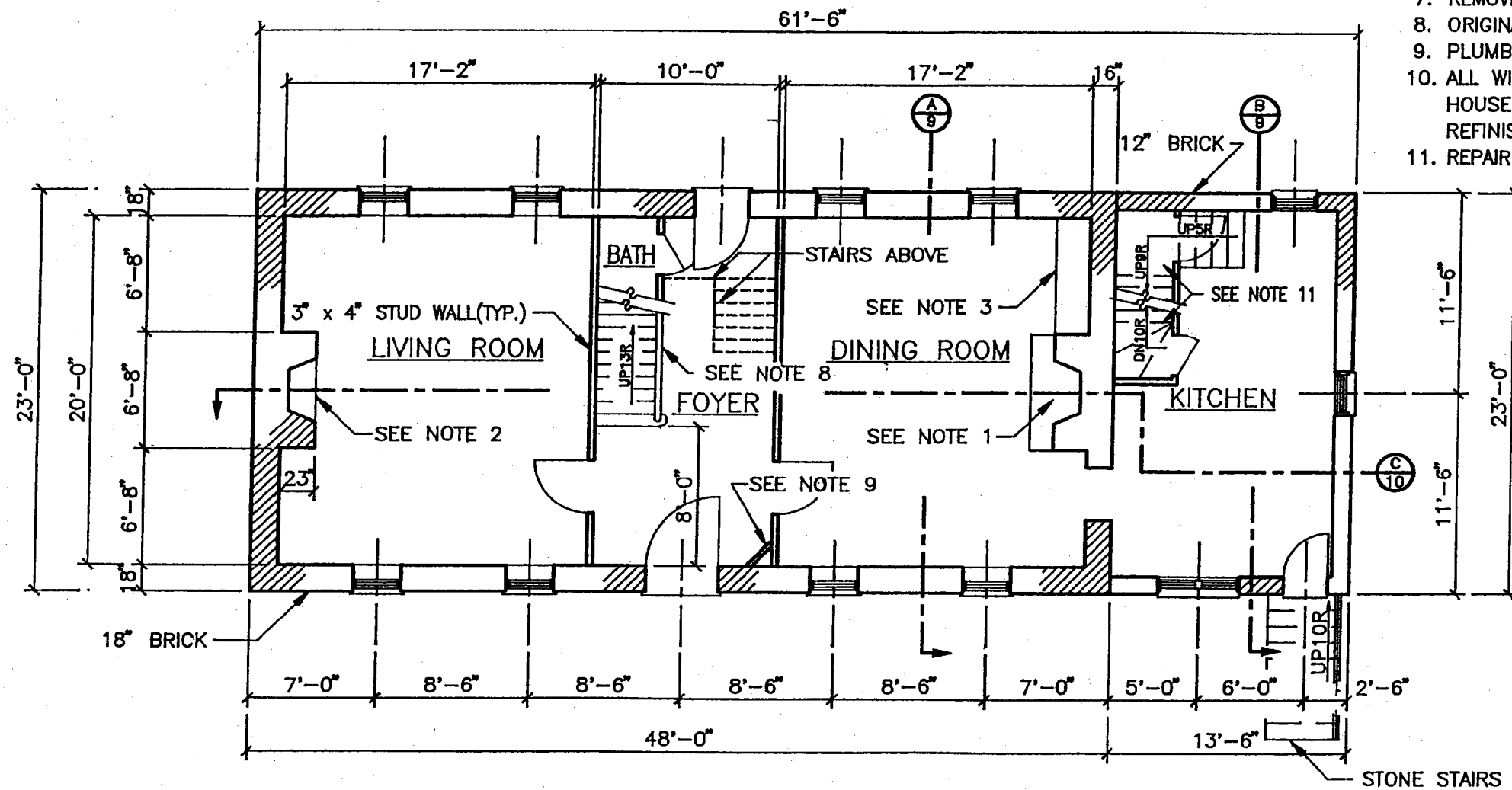
DRAWING: BASEMENT PLAN

DATE: 5/1/03 REV.:

DRAWN BY: MAS

PAGE 2 OF 17

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

NOTES:

1. 42" W x 32" H x 18" D FIREPLACE.
2. 42" W x 32" H x 18" D FIREPLACE, FILLED.
3. ORIGINAL BUILT-IN CABINET IS TO REMAIN.
4. REMOVE CEILING TO EXPOSE ALL FLOOR JOISTS THROUGHOUT FIRST FLOOR.
5. SCRAPE ALL LOOSE PAINT FROM PLASTER WALLS, PATCH PLASTER AND PAINT.
6. REMOVE MODERN PANELING ON FIRST FLOOR.
7. REMOVE ALL ITEMS IN KITCHEN.
8. ORIGINAL PANELING IS TO REMAIN.
9. PLUMBING CHASE.
10. ALL WINDOWS AND DOORS IN THE MAIN HOUSE ARE TO BE REMOVED, REPAIRED, REFINISHED AND REINSTALLED.
11. REPAIR STAIR TREADS.

APPROVED
Montgomery County
Historic Preservation Commission

Juan E. Velazquez

OAK GROVE RESTORATION COMPANY

5815 RIGGS ROAD
LAYTONSVILLE, MD. 20882

PHONE: (301)948-6412 FAX: (301)921-6301

PROJECT: JOSEPH WHITE HOUSE

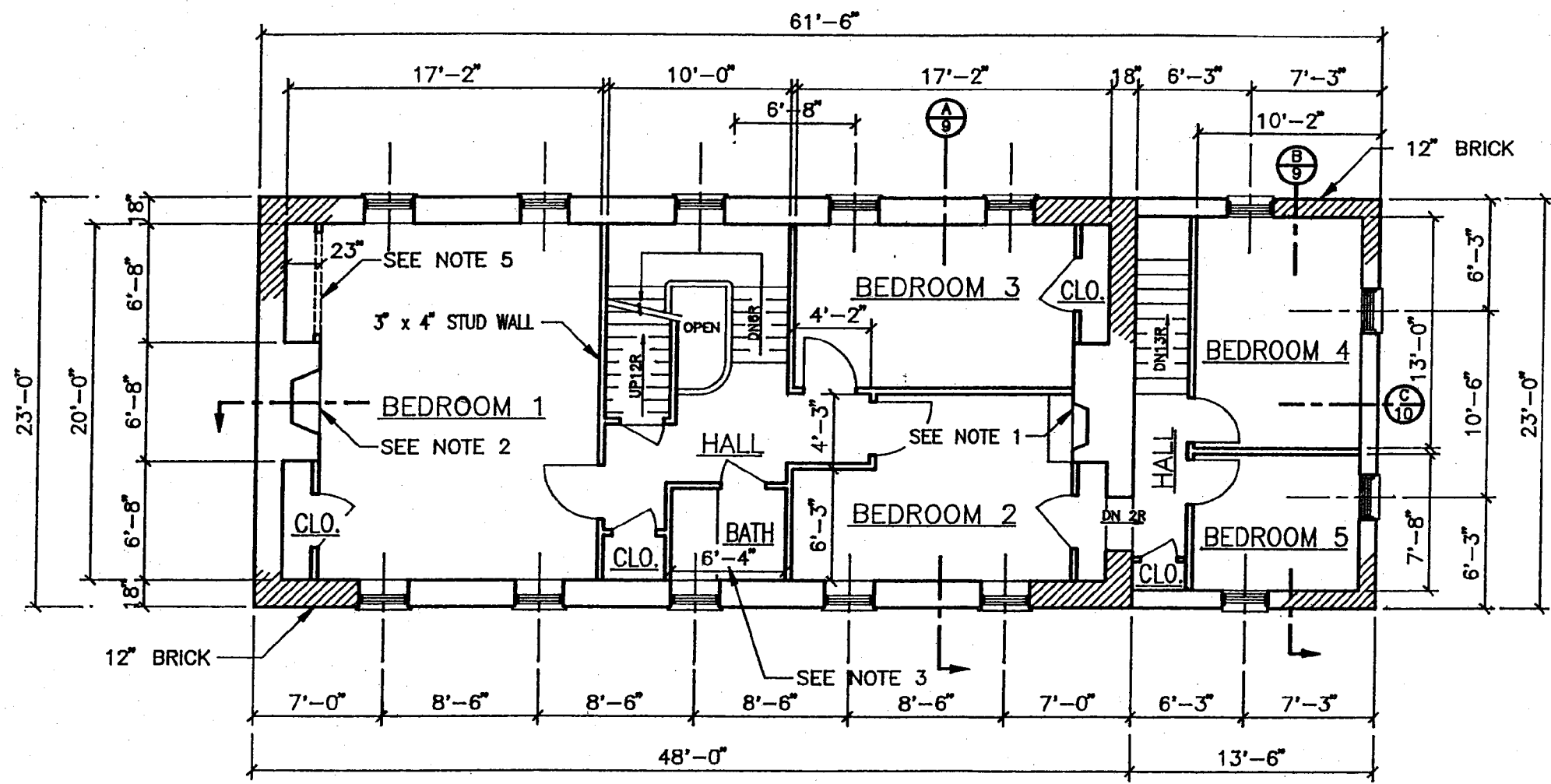
DRAWING: 1st Fl. PLAN

DATE: 5/1/03

DRAWN BY: MAS

PAGE 3 OF 17

SCALE: 1/8" = 1'-0"



- NOTES:
1. 30" W x 28" H x 18" D FIREPLACE, FILLED.
 2. 42" W x 32" H x 18" D FIREPLACE, FILLED.
 3. REMOVE ALL BATH FIXTURES.
 5. ARCH OPENING IS TO REMAIN.

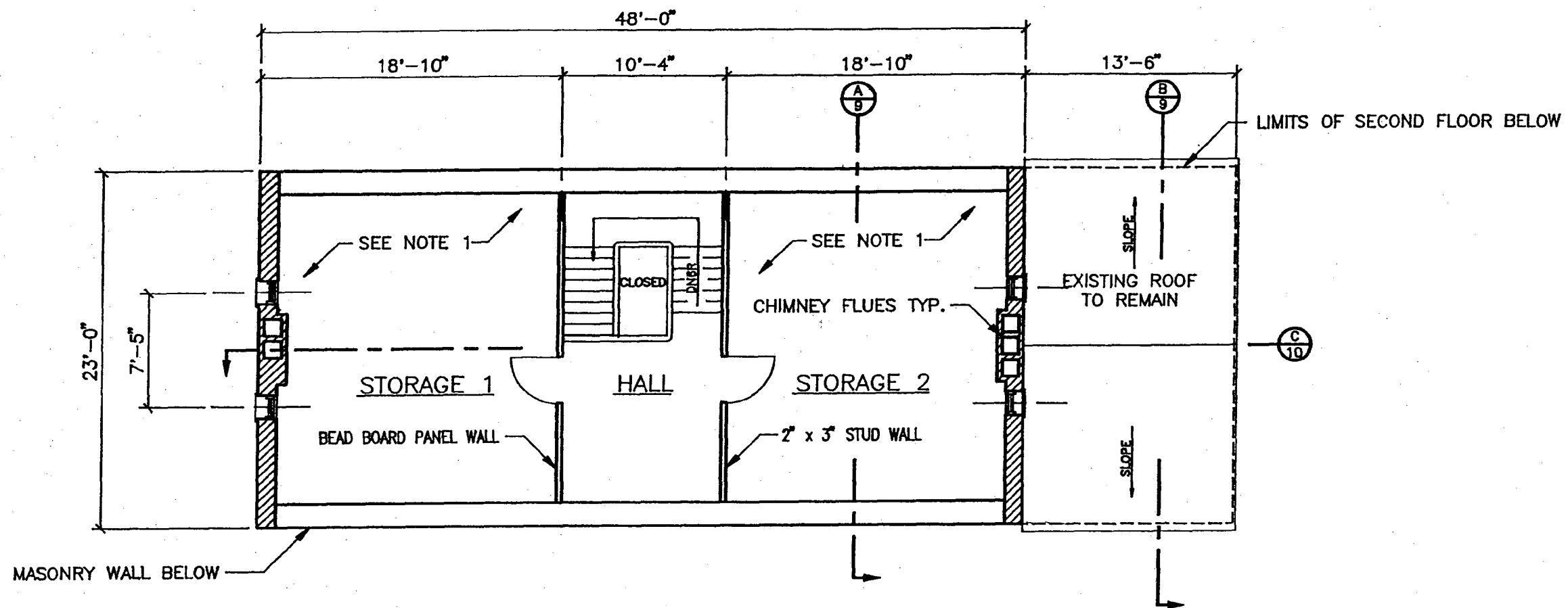
SECOND FLOOR PLAN

APPROVED
 Montgomery County
 Historic Preservation Commission

Juan C. Velazquez

OAK GROVE RESTORATION COMPANY
 5815 RIGGS ROAD
 LAYTONSVILLE, MD. 20882
 PHONE: (301)948-6412 FAX: (301)921-6301

PROJECT: JOSEPH WHITE HOUSE
 DRAWING: 2ND FL. PLAN
 DATE: 5/1/03 REV:
 DRAWN BY: MAS
 SCALE: 1/8" = 1'-0"
 PAGE 4 OF 17



NOTES:
 1. 1" THICK WOOD FLOORBOARDS

THIRD FLOOR PLAN

APPROVED
 Montgomery County
 Historic Preservation Commission
Queen E. Delaney

OAK GROVE RESTORATION COMPANY

5815 RIGGS ROAD
 LAYTONSVILLE, MD. 20882

PHONE: (301)948-6412 FAX: (301)921-6301

PROJECT: JOSEPH WHITE HOUSE

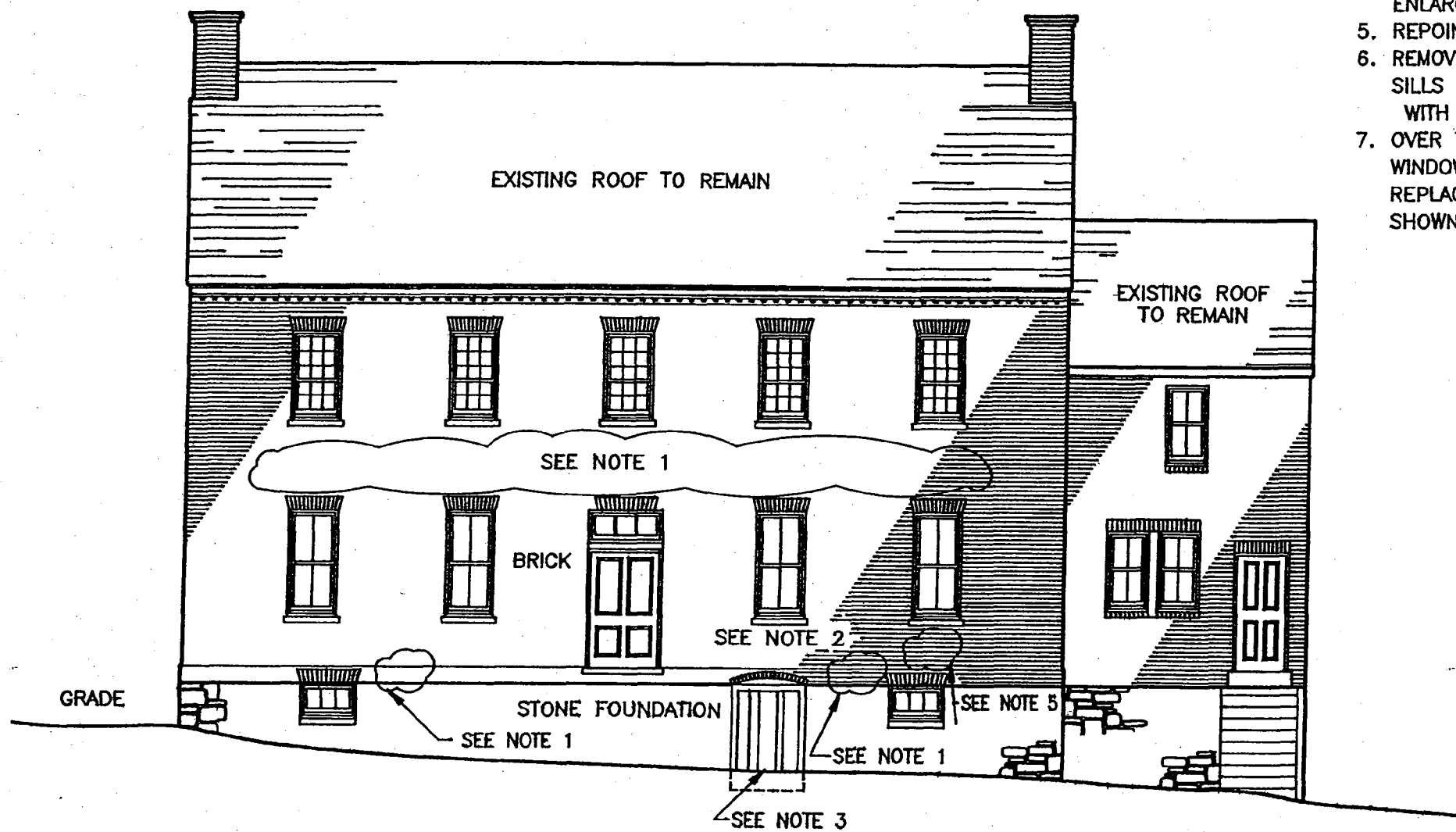
DRAWING: 3rd. Fl. PLAN

DATE: 5/1/03 REV.:

DRAWN BY: MAS

PAGE 5 OF 17

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

NOTES:

1. REPAIR MISSING BRICKS FROM OLD PORCH FRAMING. REPOINT WHERE FLASHING WAS.
2. REPAIR OR REPLACE WOOD SILL.
3. REPLACE BASEMENT DOOR.
4. THE FRONT DOOR OPENING HAS BEEN ENLARGED SINCE THE HOUSE WAS BUILT.
5. REPOINT BRICKS IN THIS AREA.
6. REMOVE PREVIOUS REPAIRS TO ALL WINDOW SILLS ON THE MAIN HOUSE AND REPLACE WITH NEW.
7. OVER THE YEARS THE ORIGINAL 9 OVER 6 WINDOWS IN THE MAIN HOUSE HAVE BEEN REPLACED WITH THE 2 OVER 2 WINDOWS SHOWN.

PROJECT: JOSEPH WHITE HOUSE

DRAWING: FRONT ELEVATION

SCALE: 1/8" = 1'-0"

DATE: 5/1/03

DRAWN BY: MAS

PAGE: 6 OF 17

REV.:

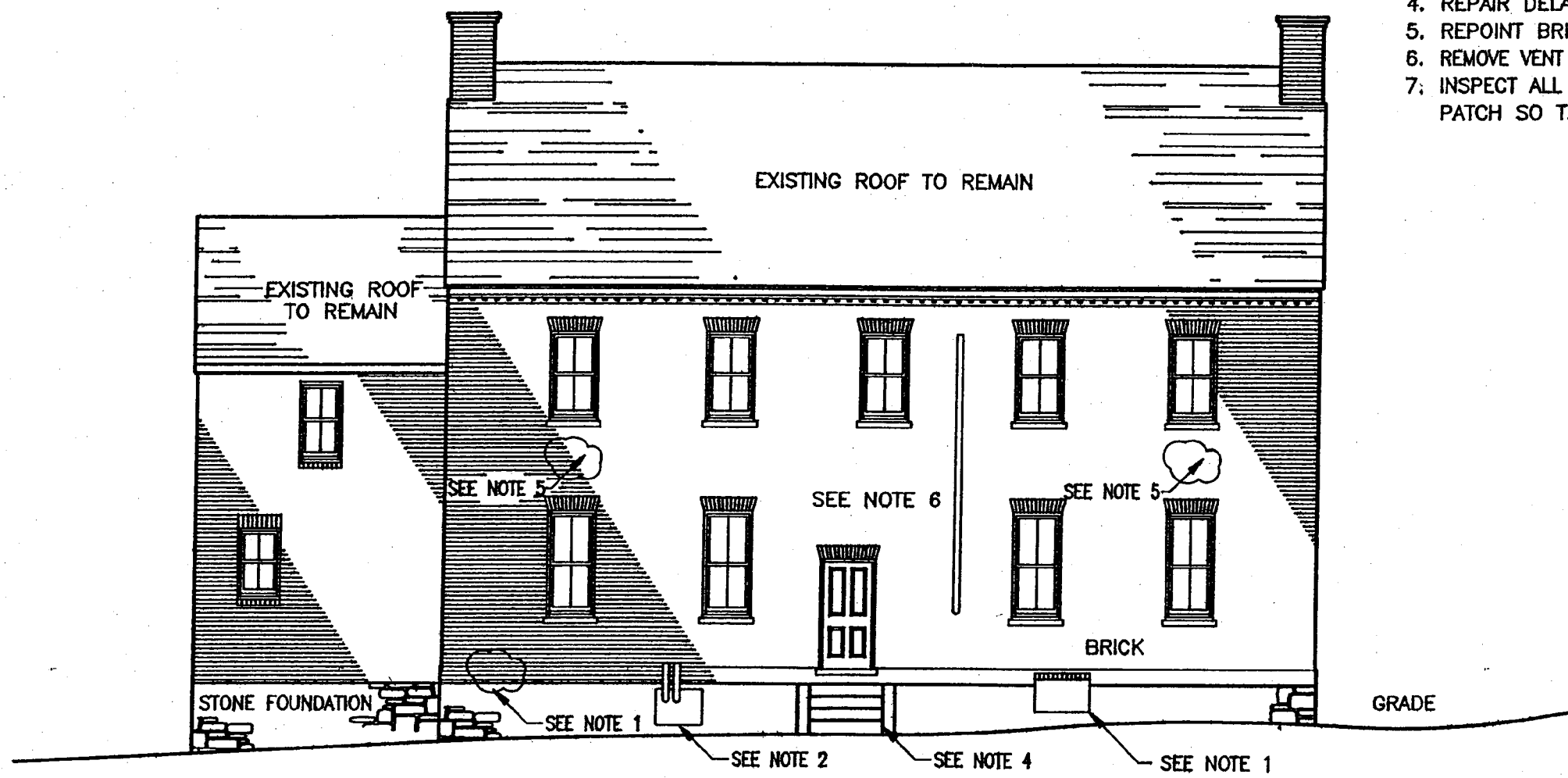
OAK GROVE RESTORATION COMPANY

5815 RIGGS ROAD
LAYTONSVILLE, MD. 20882

PHONE: (301)948-6412 FAX: (301)921-6301

APPROVED
Montgomery County
Historic Preservation Commission

Susan C. Wilsey



- NOTES:
1. REPAIR MISSING BRICKS.
 2. REMOVE OIL FILL PIPING AND METAL DOOR AND PATCH WITH STONE.
 3. REMOVE PREVIOUS PATCH OF OPENING AND AND PATCH WITH STONE.
 4. REPAIR DELAPITAED STONE STEPS.
 5. REPOINT BRICK IN THIS AREA.
 6. REMOVE VENT PIPE AND PATCH HOLE W/BRICK.
 7. INSPECT ALL CONCRETE WINDOW SILLS AND PATCH SO THEY ARE WEATHER TIGHT.

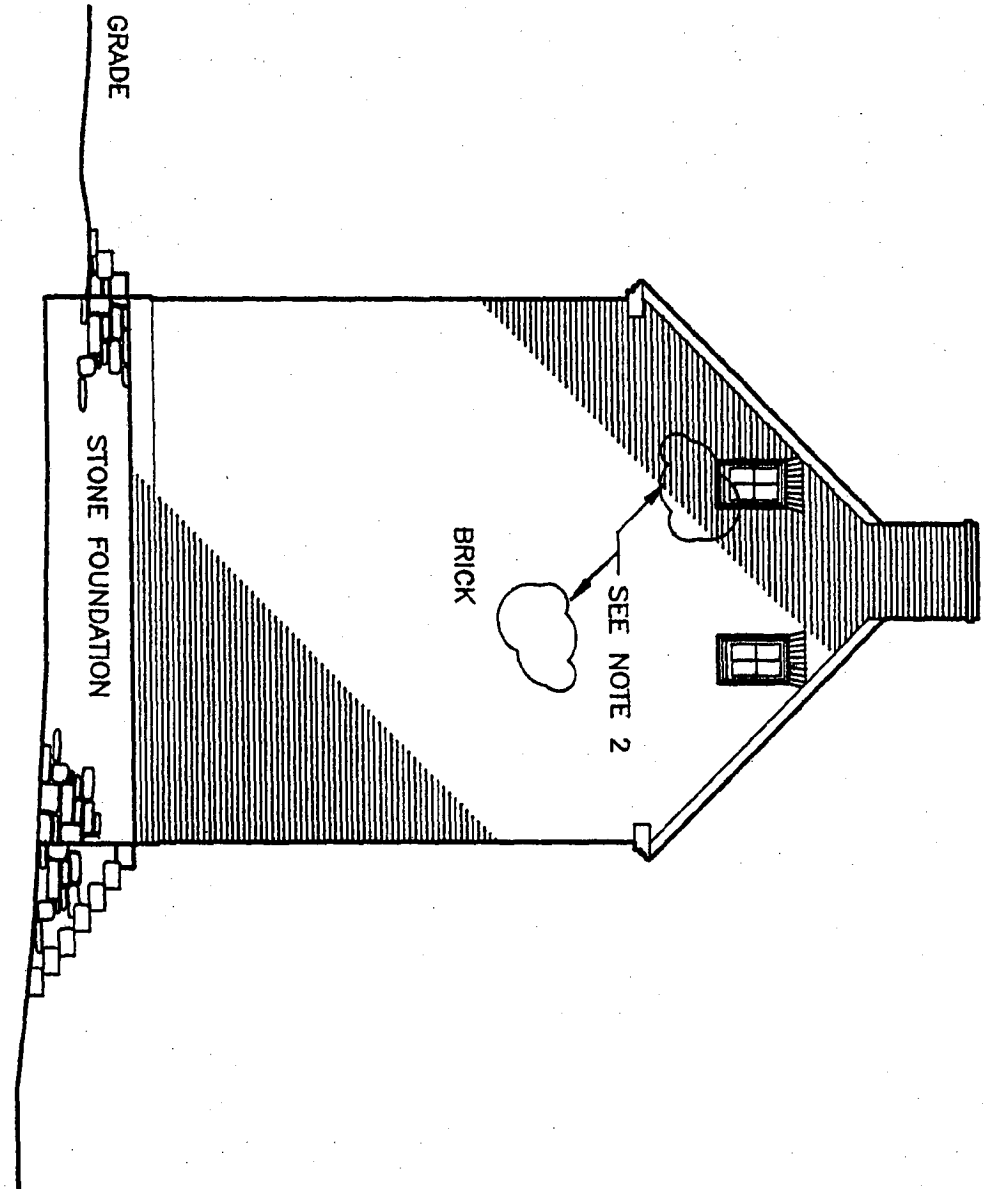
REAR ELEVATION

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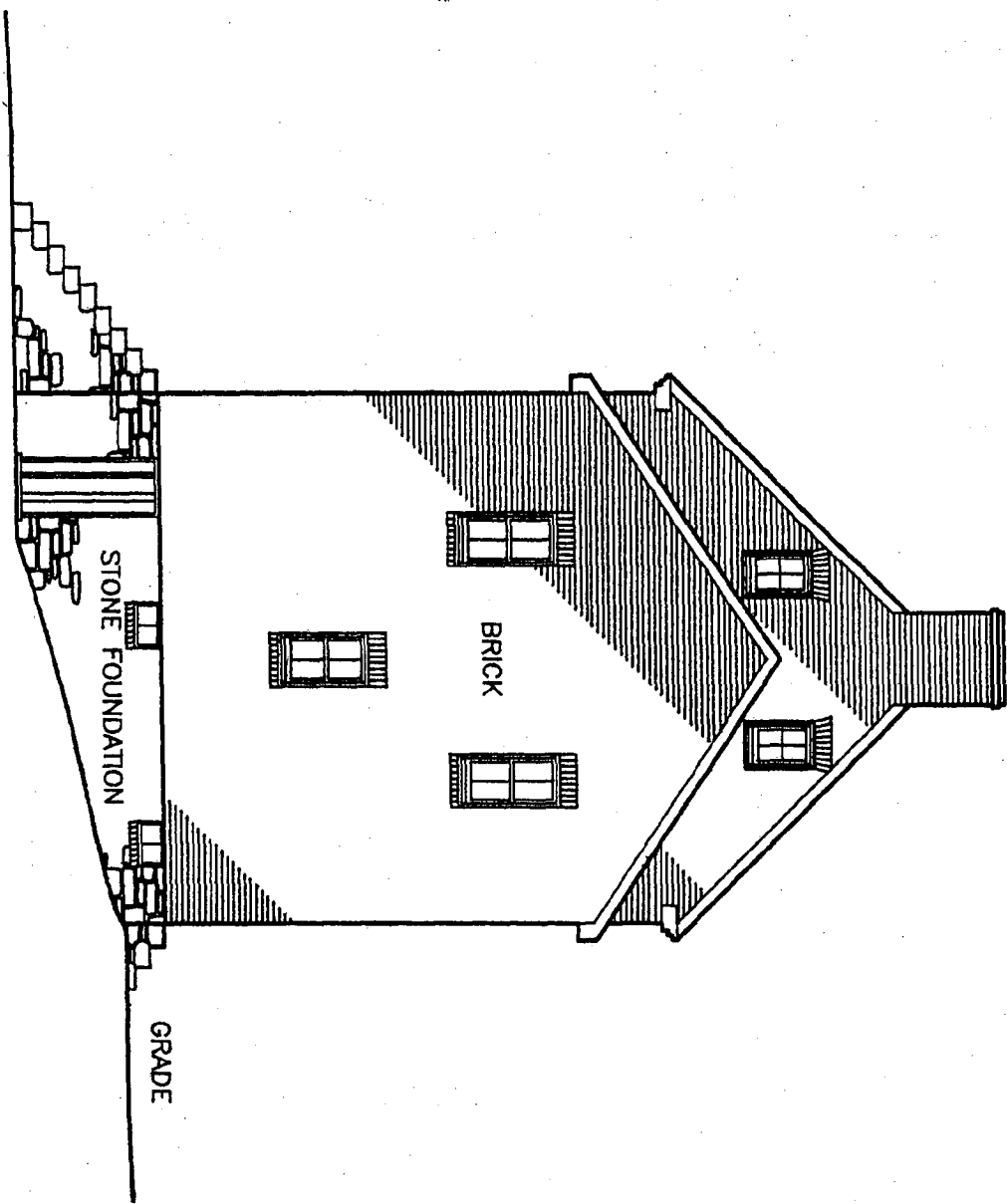
Susan E. Williams

PROJECT: JOSEPH WHITE HOUSE		SCALE: 1/8" = 1'-0"
DRAWING: REAR ELEVATION		PAGE: 7 OF 17
DATE: 5/1/03	REV.:	DRAWN BY: MAS
OAK GROVE RESTORATION COMPANY 5815 RIGGS ROAD LAYTONSVILLE, MD. 20882 PHONE: (301)948-6412 FAX: (301)921-6301		

LEFT ELEVATION



RIGHT ELEVATION



- NOTES:
1. REPLACE DAMAGED OR MISSING BRICKS.
 2. REPOINT BRICK IN THIS AREA.

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PROJECT: JOSEPH WHITE HOUSE

DRAWING: SIDE ELEVATIONS

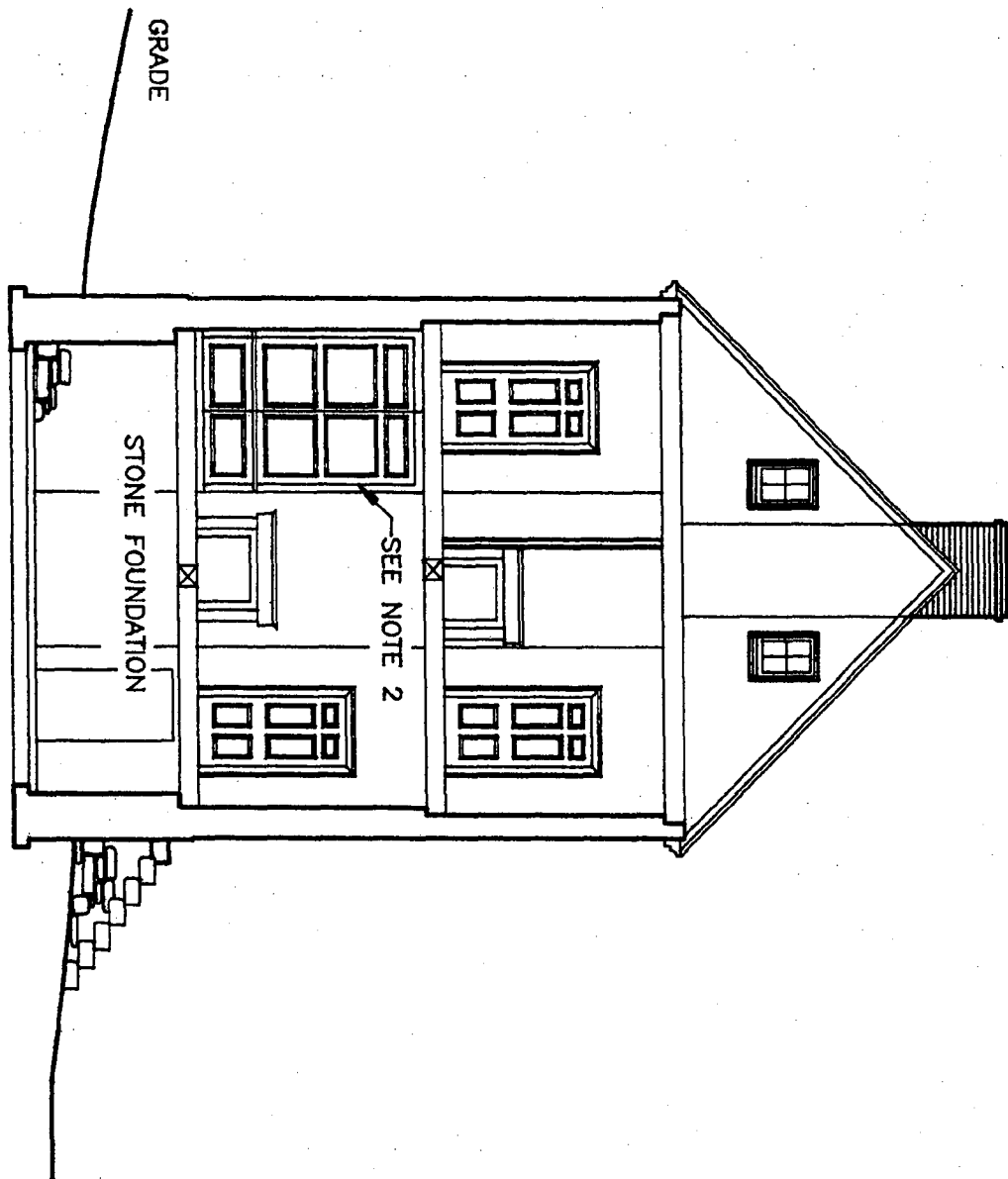
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DATE: 5/1/03

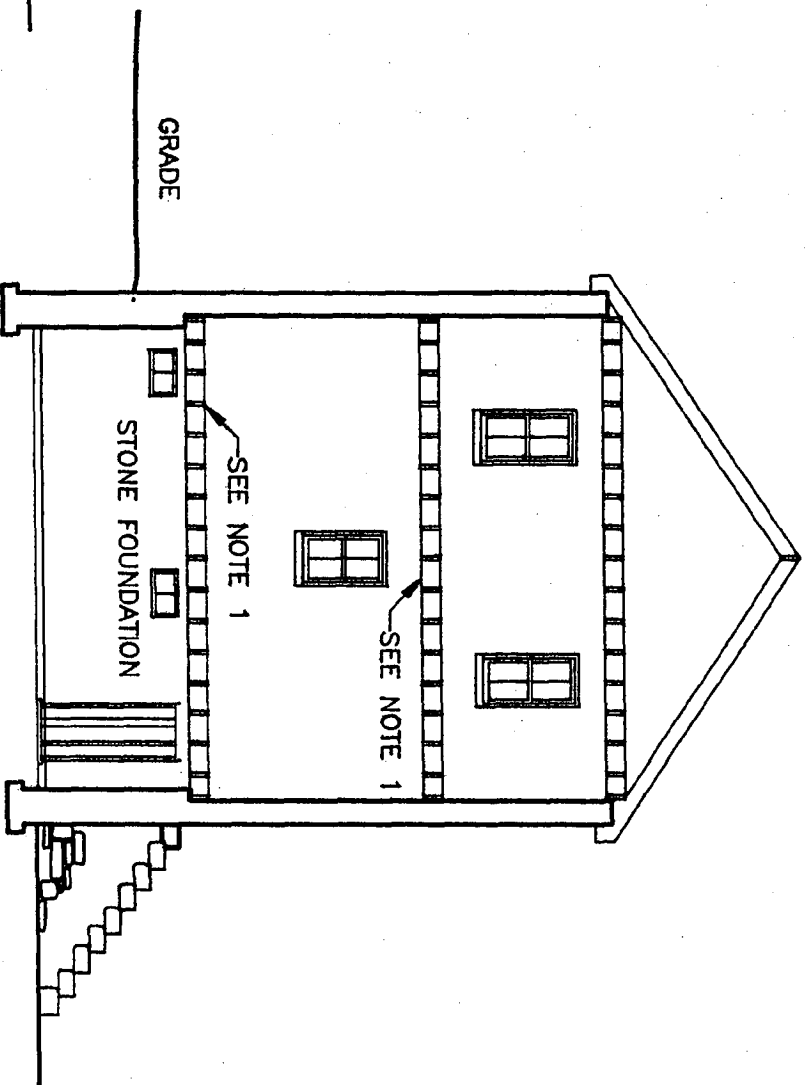
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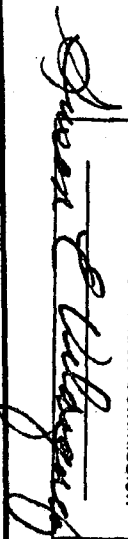
SECTION A



SECTION B

- NOTES:
1. EXISTING FLOOR FRAMING TO REMAIN.
 2. BUILT-IN CABINET

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PROJECT: JOSEPH WHITE HOUSE

DRAWING: SECTIONS A & B

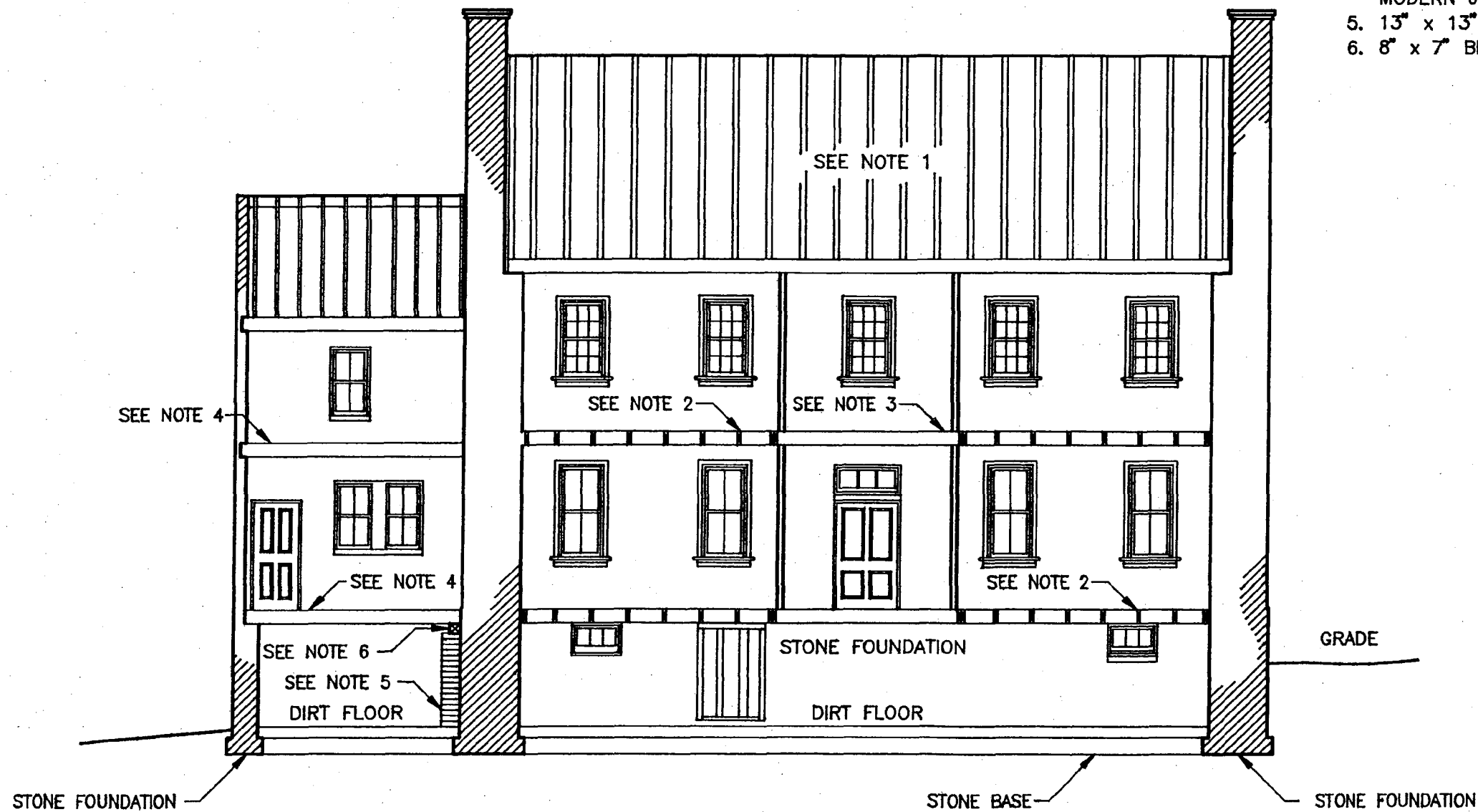
SCALE: 1/8" = 1'-0"

DATE: 5/1/03

REV.:

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SECTION C

- NOTES:
1. 3" x 4" RAFTERS AT 24" O.C., WITH RANDOM WIDTH SHEATHING.
 2. SEE SHEET 14 & 15 FOR NEW FRAMING.
 3. STAIRWELL NOT SHOWN FOR CLARITY.
 4. 1 3/4" x 9 3/4" JOISTS @ 16" O.C. MODERN JOISTS.
 5. 13" x 13" BRICK PIER.
 6. 8" x 7" BEAM.

PROJECT: JOSEPH WHITE HOUSE

DRAWING: SECTION C

SCALE: 1/8" = 1'-0"

DATE: 5/1/03

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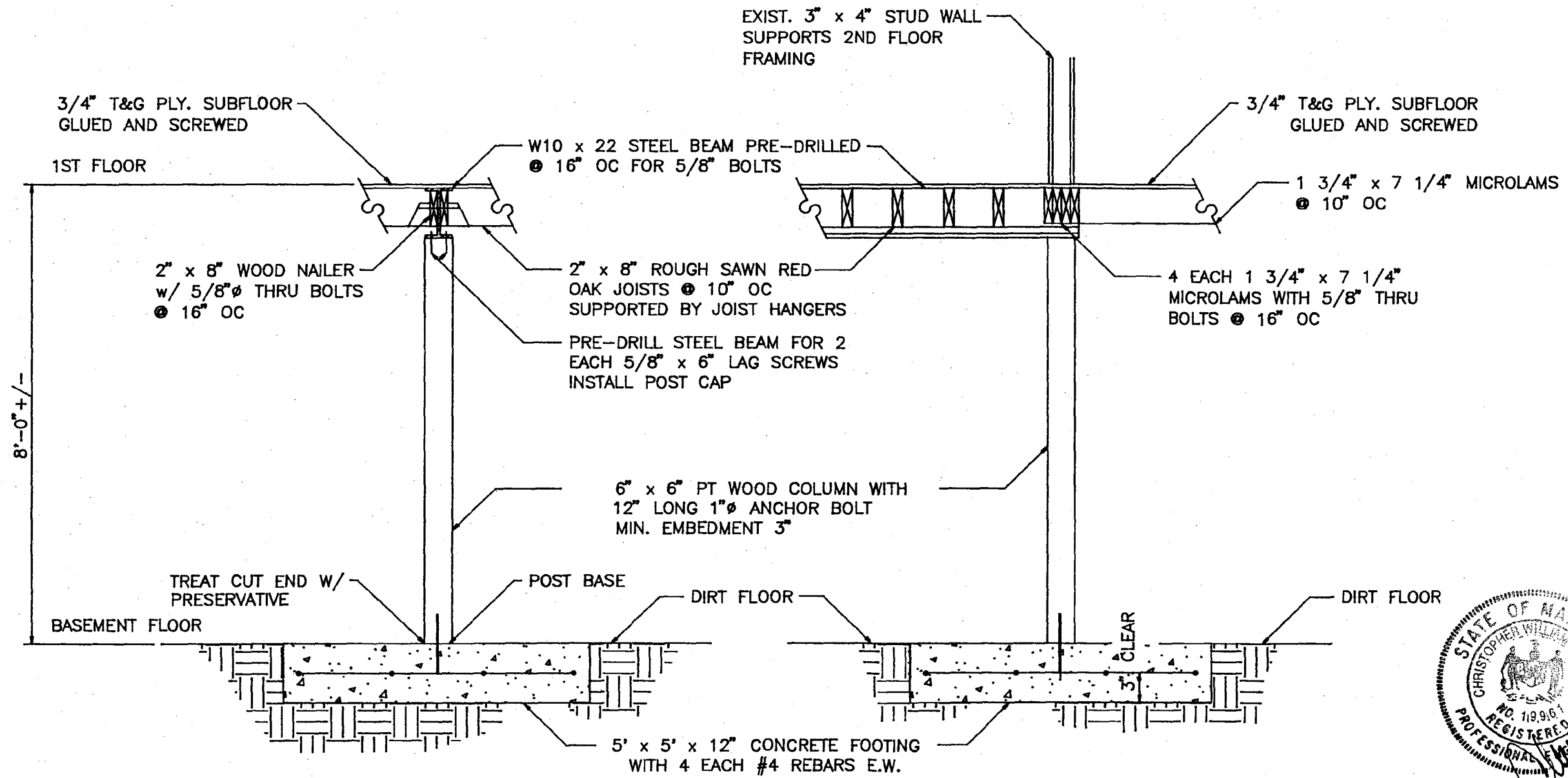
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SEE SHEETS 16 AND 17 FOR SPECIFICATIONS AND NOTES



DETAIL 2

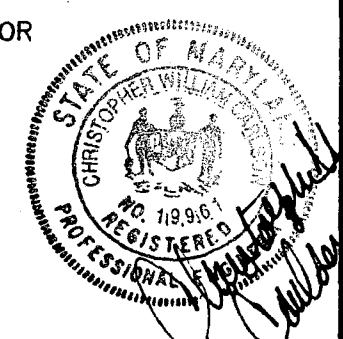
DETAIL 1

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Juan C. Velazquez



Structural Design Group, Limited
Consulting Structural Engineers
12 South Summit Avenue Suite 110
Gaithersburg, Maryland 20877
Phone 301-987-9234 Fax 301-987-9237



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PROJECT: JOSEPH WHITE HOUSE

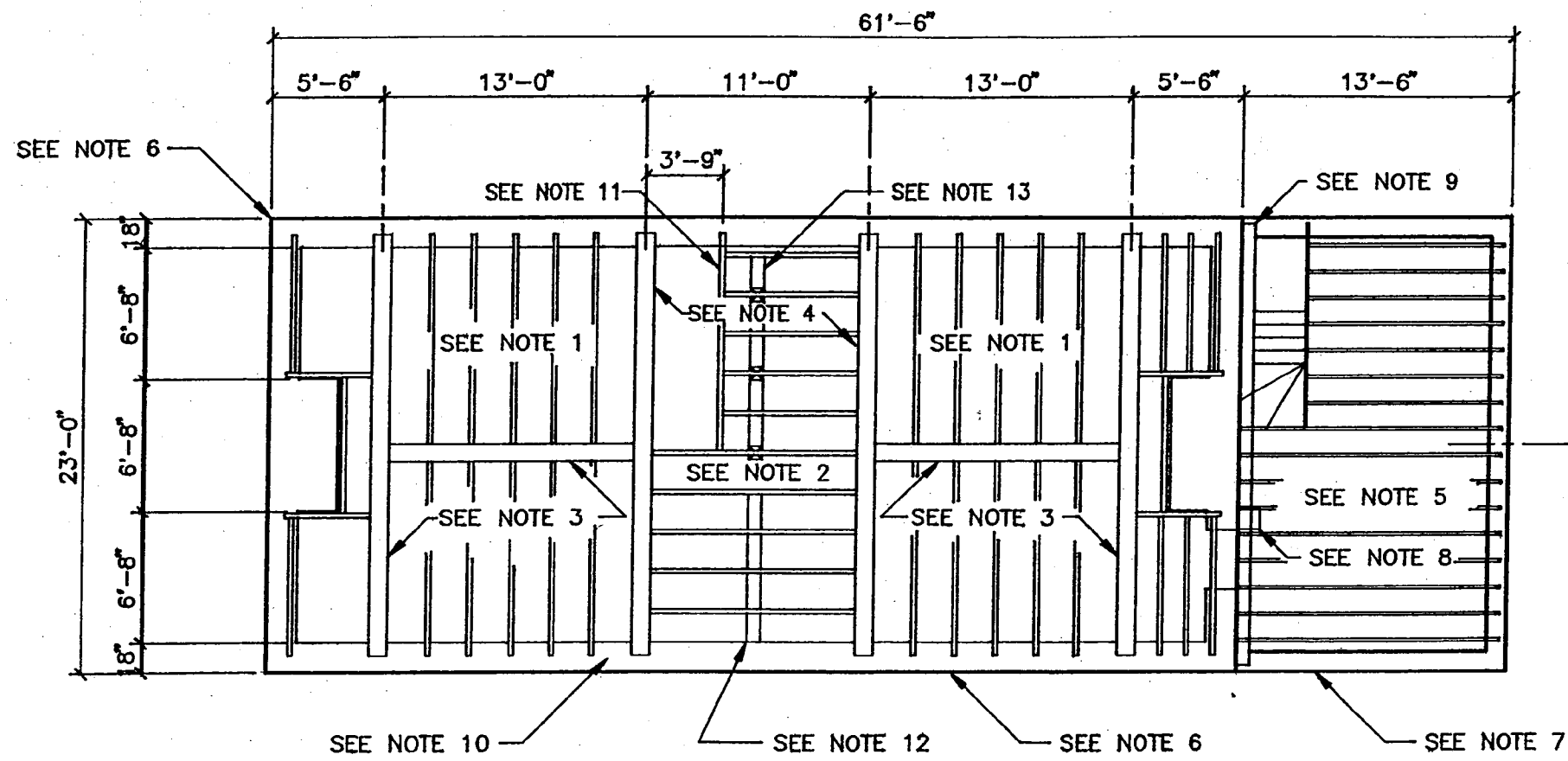
DRAWING: DETAILS

DATE: 5/1/03 REV:

DRAWN BY: MAS

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SCALE: 1/2" = 1'-0"



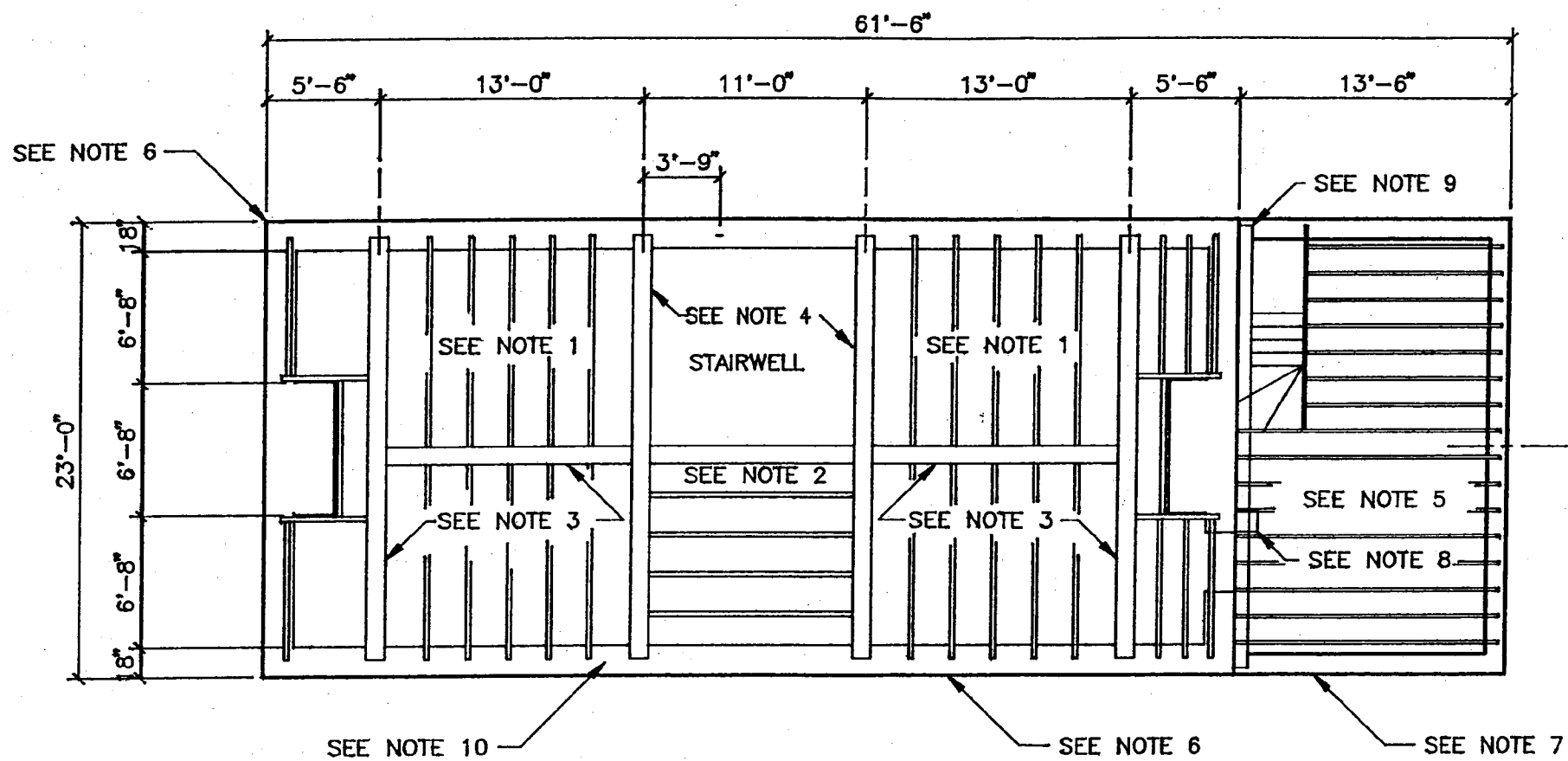
FIRST FLOOR EXISTING FRAMING PLAN

- NOTES:
1. 2 3/4" x 7 1/2" JOISTS @ 24" O.C.
 2. 2 3/4" x 8 1/2" JOISTS @ 24" O.C.
 3. 10 3/4" x 7 3/4" BEAM.
 4. 10 3/4" x 8 1/2" BEAM.
 5. 1 3/4" x 9 3/4" JOISTS @ 16" O.C.
 6. 24" STONE FOUNDATION TYP. MAIN HOUSE
 7. 18" STONE FOUNDATION TYP. KITCHEN WING
 8. 13" x 13" BRICK PIER.
 9. 8" x 7" BEAM.
 10. ALL JOISTS AND BEAMS HAVE 8" BEARING WITH BRICK IN-FILL BETWEEN.
 11. FRAMING FOR OLD STAIRS.
 12. 8" BRICK SUPPORT WALL.
 13. 3 EA. 4" x 8" WOOD SUPPORTS W/ 1" TOP PLATE.
 14. ALL EXISTING FLOOR FRAMING WILL BE REMOVED, DUE TO THE POOR CONDITION. SEE SHEET 14 FOR NEW LAYOUT.

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PROJECT: JOSEPH WHITE HOUSE
 DRAWING: 1st Fl. EXIST. FRAMING PLAN
 SCALE: 1/8" = 1'-0"
 DATE: 5/1/03
 REV.:
 DRAWN BY: MAS
 PAGE 12 OF 12



NOTES:

1. 2 3/4" x 7 1/2" JOISTS @ 24" O.C.
2. 2 3/4" x 8 1/2" JOISTS @ 24" O.C.
3. 10 3/4" x 7 3/4" BEAM.
4. 10 3/4" x 8 1/2" BEAM.
5. 1 3/4" x 9 3/4" JOISTS @ 16" O.C.
6. 20" BRICK WALL MAIN HOUSE
7. 12" BRICK WALL KITCHEN WING
8. 13" x 13" BRICK PIER.
9. 8" x 7" BEAM.
10. ALL JOISTS AND BEAMS HAVE 4" BEARING WITH BRICK IN-FILL BETWEEN.
11. ALL EXISTING FRAMING IN THE MAIN HOUSE WILL BE REMOVED AND REPLACED, SEE SHEET 15 FOR NEW LAYOUT.

SECOND FLOOR EXISTING FRAMING PLAN

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Susan C. [Signature]

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PROJECT: JOSEPH WHITE HOUSE

DRAWING: 2nd. Fl. EXIST. FRAMING PLAN

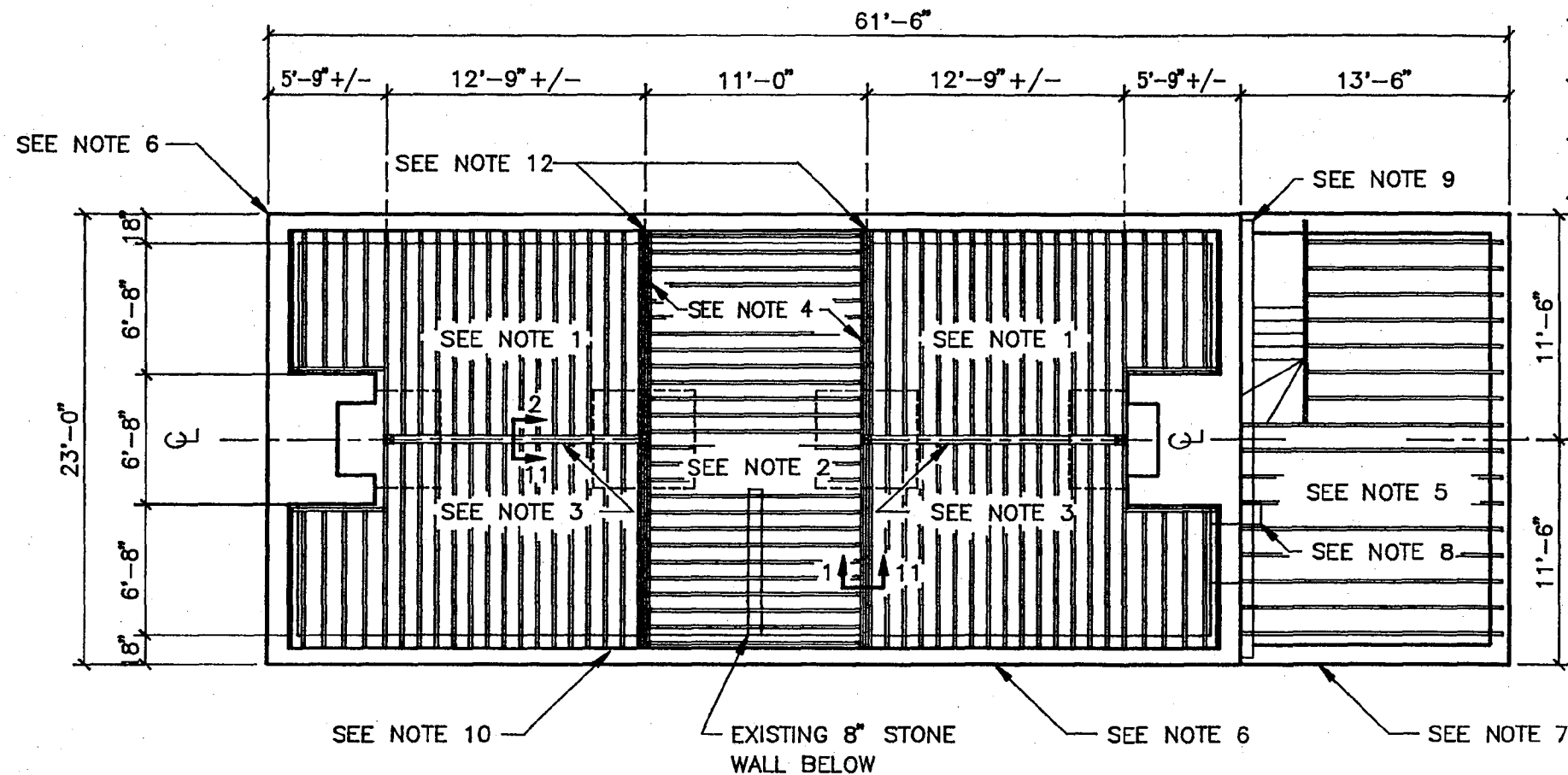
SCALE: 1/8" = 1'-0"

DATE: 5/1/03

REV.:

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- NOTES:
1. NEW 2" x 8" ROUGH SAWN OAK JOISTS @ 10" OC.
 2. NEW 1 3/4" x 7 1/4" MICROLAM JOISTS @ 10" OC.
 3. NEW W10 x 22 STEEL BEAM, A36 STEEL.
 4. (4) NEW 1 3/4" x 7 1/4" MICROLAM BEAM W/ 5/8" THRU BOLTS @ 16" OC WRAP ENDS FOR PROTECTION.
 5. 1 3/4" x 9 3/4" JOISTS @ 16" OC.
 6. EXIST. 24" STONE FOUNDATION MAIN HOUSE
 7. EXIST. 18" STONE FOUNDATION KITCHEN WING
 8. EXIST. 13" x 13" BRICK PIER.
 9. EXIST. 8" x 7" BEAM.
 10. ALL JOISTS WILL HAVE 4" MIN. BEARING ON FOUNDATION.
 11. NEW 6" x 6" STRUCTURAL GRADE PT WOOD WOOD COL. SHEET 11 FOR DETAIL.
 12. EXISTING 3" x 4" STUD WALL ABOVE SUPPORTS 2ND FLOOR FRAMING.
 13. 3/4" T&G PLY. SUBFLOOR ABOVE GLUED & SCREWED.

FIRST FLOOR NEW FRAMING PLAN
SEE SHEETS 16 AND 17 FOR SPECIFICATIONS AND NOTES

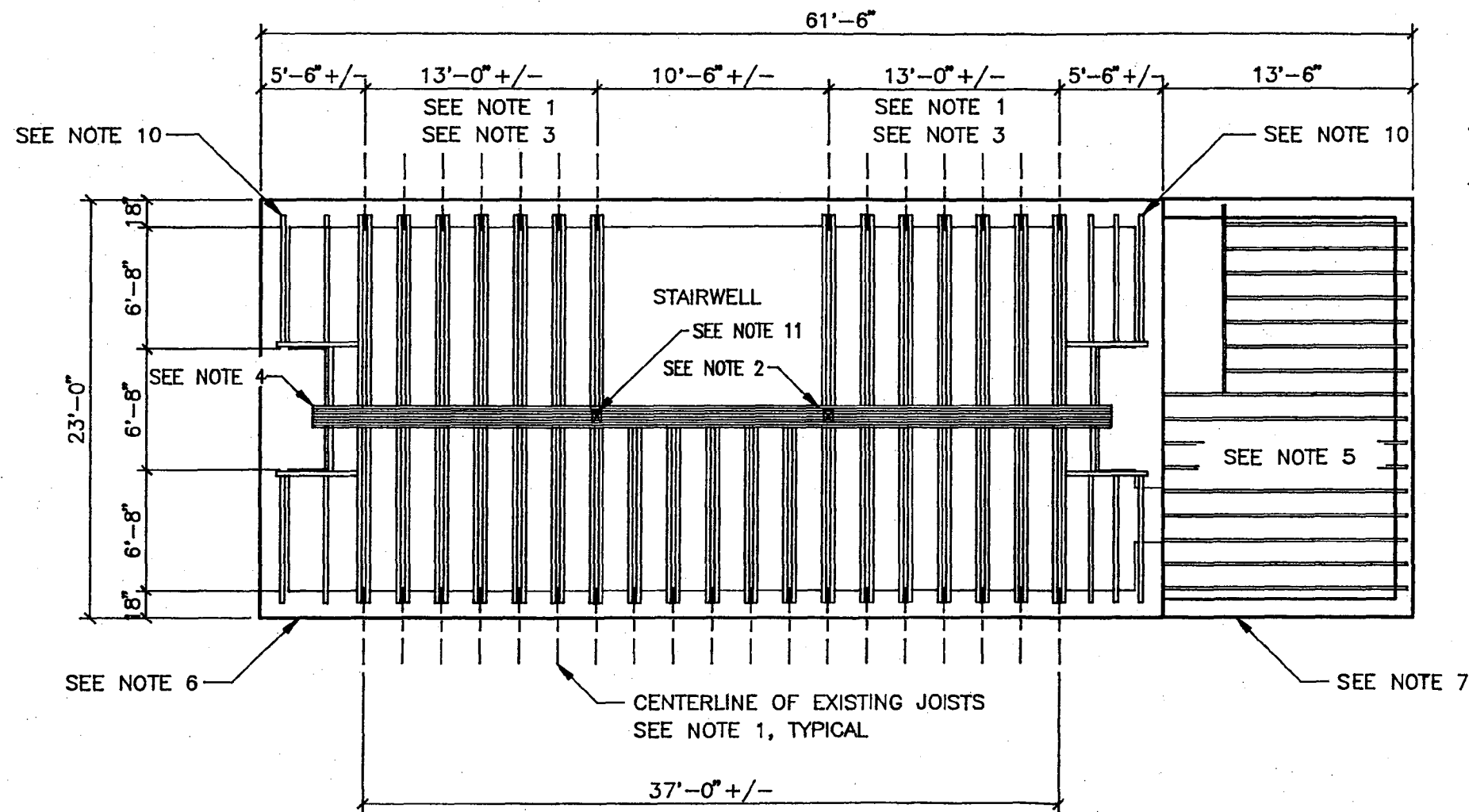
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Aileen C. Welby



sdg
Structural Design Group, Limited
Consulting Structural Engineers
12 South Summit Avenue Suite 110
Gaithersburg, Maryland 20877
Phone 301-987-9234 Fax 301-987-9237

PROJECT: JOSEPH WHITE HOUSE		SCALE: 1/8" = 1'-0"
DRAWING: 1st Fl. NEW FRAMING PLAN		DRAWN BY: MAS
DATE: 5/1/03	REV.:	PAGE 14 OF 17
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NOTES:

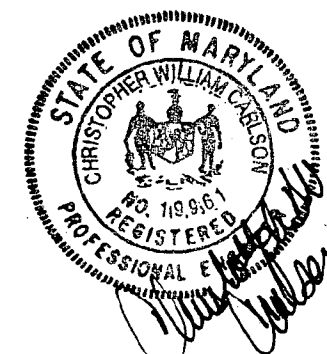
1. EXISTING 2 3/4" x 7 1/2" JOISTS @ 24" OC.
2. FASTEN EXIST. STAIR STRINGERS TO NEW BEAM.
3. ADD 1 EACH 2" x 8" ROUGH SAWN OAK JOISTS TO EACH SIDE OF EXISTING JOISTS W/ 5/8" THRU-BOLTS @ 16" OC. W/ NEW 6"W JOIST HANGERS FASTENED TO NEW LVL BEAM.
4. INSTALL 8 EACH 1 3/4" x 7 3/4" LVL'S AT LOCATION OF ORIGINAL BEAM AND EXTEND 4" INTO EXIST. MASONRY CHIMNEY, WRAP ENDS FOR PROTECTION.
5. EXISTING 1 3/4" x 9 3/4" JOISTS @ 16" OC.
6. 16" BRICK WALL MAIN HOUSE
7. 12" BRICK WALL KITCHEN WING
8. EXISTING 7/8" T&G FLOORING TO REMAIN.
9. 12" BRICK WALL KITCHEN WING
10. EXISTING 3" x 8" FRAMING WILL NOT BE MODIFIED ON EITHER SIDES OF CHIMNEY.
11. NEW 6" x 8" OAK COLUMN IN EXIST. 3" x 4" STUD WALL TO SUPPORT 2ND FLOOR FRAMING.

SECOND FLOOR NEW FRAMING PLAN

SEE SHEETS 16 AND 17 FOR SPECIFICATIONS AND NOTES

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Jason E. Wolcott



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OAK GROVE RESTORATION COMPANY

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PROJECT: JOSEPH WHITE HOUSE

DRAWING: 2nd. Fl. NEW FRAMING PLAN

DATE: 5/1/03

DRAWN BY: MAS

SCALE: 1/8" = 1'-0"

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EXISTING CONDITIONS

1. THE DRAWINGS MAY REFLECT INFORMATION PROVIDED BY OTHERS AND/OR EXISTING CONDITIONS THAT HAVE BEEN SURVEYED AND/OR DOCUMENTED TO THE GREATEST POSSIBLE EXTENT BUT NOT VERIFIED. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO FULLY COORDINATE THE WORK, INCLUDING, BUT NOT NECESSARILY LIMITED TO, THE VERIFICATION OF ALL EXISTING CONDITIONS SHOWN IN THE DRAWINGS, COORDINATION OF ALL NECESSARY BUILDING TRADES, ETC. ANY AND ALL CONDITIONS THAT ARE MIS-REPRESENTED IN THESE DOCUMENTS, OR ANY CONDITIONS THAT ARE NOT SHOWN BUT WARRANT THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER, SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND/OR ENGINEER.
2. MEANS AND METHODS OF CONSTRUCTION AND TEMPORARY SHORING AND BRACING OF THE EXISTING STRUCTURE(S) ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. THE ENGINEER MAY INCLUDE PHASING, SEQUENCING, SHORING, REQUIREMENTS, ETC. IN THE CONSTRUCTION DOCUMENTS TO ALERT, ASSIST, OR OTHERWISE DICTATE PROCEDURAL REQUIREMENTS THAT MAY BE NECESSARY TO PROPERLY IMPLEMENT THE STRUCTURAL PORTION OF THE WORK OR THAT MAY BE REQUIRED TO INSURE BUILDING STABILITY; HOWEVER, THE CONTRACTOR SHALL PROPERLY COORDINATE THESE REQUIREMENTS AND SHALL REMAIN COMPLETELY AND SOLELY RESPONSIBLE FOR ERECTING THE BUILDING STRUCTURE IN A SAFE AND TIMELY MANNER.
3. UNLESS OTHERWISE INDICATED, IT HAS BEEN ASSUMED THAT THE EXISTING STRUCTURE(S) ARE IN SERVICEABLE CONDITION. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY AND ALL AREAS OF STRUCTURAL DISTRESS (INCLUDING, BUT NOT LIMITED TO, CRACKS, SPALLING, ETC.) NOT INDICATED IN THE STRUCTURAL DRAWINGS. THE CONTRACTOR SHALL NOT PROCEED WITH WORK IN SUCH AREAS WITHOUT DIRECTION FROM THE ENGINEER.

GENERAL

1. PROVIDE ALL LABOR, MATERIAL EQUIPMENT AND MISCELLANEOUS ITEMS INCLUDING BUT NOT LIMITED TO CLIPS, INSERTS, TIES, ANCHOR STRAPS, HANGERS, BOLTS, AND OTHER FASTENERS REQUIRED TO COMPLETE THE WORK.
2. VERIFY ALL FLOOR AND ROOF OPENINGS WITH THE ARCHITECTURAL AND MEP DRAWINGS. VERIFY ALL DEPRESSIONS, DIMENSIONS, AND SLOPES FROM THE ARCHITECTURAL DRAWINGS. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
3. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE SAFETY, AND THE STABILITY OF ALL NEW, TEMPORARY, AND EXISTING STRUCTURES, WALLS, SLABS, ETC. DURING THE CONSTRUCTION PHASE.

SHOP DRAWINGS

1. SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ARCHITECT FOR APPROVAL. THE ARCHITECT SHALL FORWARD ALL STRUCTURAL RELATED SHOP DRAWINGS TO THE STRUCTURAL ENGINEER FOR HIS REVIEW. SHOP DRAWINGS ARE REVIEWED AS A CONVENIENCE TO THE CONTRACTOR AND SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO CONSTRUCT THE BUILDINGS OR STRUCTURES IN ACCORDANCE WITH THE CONTRACT DOCUMENTS, SPECIFICATIONS AND ALL APPLICABLE BUILDING CODES. THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMITTING TO THE ARCHITECT TO COORDINATE ALL QUANTITIES, LENGTHS, SIZES, GRADES, DIMENSIONS, ETC. WITH THE CONTRACT DOCUMENTS.

FOUNDATIONS

1. ASSUMED SOIL BEARING VALUE OF 1,200PSF TO BE VERIFIED BY GEOTECHNICAL ENGINEER OR QUALIFIED SOILS TECHNICIAN. REFER TO GEOTECHNICAL REPORT FOR EARTHWORK PROCEDURES, COMPACTION AND ADDITIONAL INFORMATION.
2. ALL FOOTINGS SHALL PROJECT AT LEAST 1'-0" INTO UNDISTURBED NATURAL SOIL OR COMPACTED CONTROLLED FILL HAVING A BEARING VALUE AT LEAST EQUAL TO THAT SPECIFIED ABOVE.

3. BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE AT LEAST 2'-6" BELOW FINISHED GRADE OR AS REQUIRED BY LOCAL CODE REQUIREMENTS. FOOTING ELEVATIONS INDICATED ON DRAWINGS HAVE BEEN ESTABLISHED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS AND MAY NOT VIOLATE CRITERIA ESTABLISHED ABOVE. FOOTING ELEVATIONS SHALL BE LOWERED AS SITE CONDITIONS WARRANT FOR POOR SOIL CONDITIONS OR AS REQUIRED TO FACILITATE SITE UTILITIES OR EXISTING CONDITIONS.
4. ALL DISTURBED EARTH UNDER FOOTINGS SHALL BE REPLACED WITH LEAN CONCRETE.
5. ALL BEARING STRATA SHALL BE ADEQUATELY DRAINED BEFORE FOUNDATION CONCRETE IS PLACED.
6. NO EXCAVATION SHALL BE CLOSER THAN AT A SLOPE OF 2:1 (2 HORIZONTAL TO ONE VERTICAL) TO AN EXISTING FOOTING OR STRUCTURE.
7. DO NOT PLACE CONCRETE OVER FROZEN SOIL.
8. CENTERLINE OF FOOTING SHALL MATCH CENTER OF COLUMN, PEDESTAL ETC. UNLESS SHOWN OTHERWISE.

CONCRETE

1. ALL CONCRETE CONSTRUCTION INCLUDING DETAILING, FABRICATION, PLACEMENT OF REINFORCING, MIXING, HANDLING, PLACING, FINISHING, AND CURING TO ACI "STRUCTURAL CONCRETE FOR BUILDINGS" (ACI 301), ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" (ACI-315), AND "ACI BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (ACI318).
2. ALL CONCRETE SHALL CONFORM TO ASTM C94. MINIMUM COMPRESSIVE STRENGTH AND MAXIMUM WATER/CEMENT RATIO SHALL BE AS FOLLOWS:

A. FOUNDATIONS, WALLS, SLABS ON GRADE	3000 PSI (0.58)
B. GARAGE SLABS ON GRADE	3500 PSI (0.50)
C. COLUMNS (SEE SCHEDULE), FRAMED SLABS	4000 PSI (0.40)
D. COLUMNS (SEE SCHEDULE)	5000 PSI (X.XX)
3. MAXIMUM AGGREGATE SIZE FOR REGULAR CONCRETE SHALL BE 3/4" AND PEA-GRAVEL CONCRETE SHALL BE 3/8". AGGREGATE FOR REGULAR WEIGHT CONCRETE SHALL CONFORM TO ASTM C33 AND LIGHTWEIGHT CONCRETE SHALL CONFORM TO ASTM C330.
4. ALL CONCRETE EXPOSED TO THE WEATHER SHALL BE AIR ENTRAINED W/ 6% +/- 1% AIR. ALL OTHER CONCRETE SHALL BE AIR ENTRAINED W/ 4% +/- AIR UNLESS CONCRETE IS INTERIOR-EXPOSED AND IS TO RECEIVE A HARD-TROWELED FINISH. SLUMP SHALL BE 4" +/- 1".

REINFORCEMENT STEEL

- ALL REINFORCING STEEL EXCEPT BEAM STIRRUPS AND COLUMN TIES SHALL CONFORM TO ASTM-A615, GRADE 60. STIRRUPS AND TIES SHALL CONFORM TO ASTM A615, GRADE 40 UNLESS OTHERWISE NOTED.
2. WELDED WIRE MESH TO CONFORM TO ASTM-A185, AND HAVE MINIMUM SIDE AND END LAPS OF 8".
 3. FABRICATE AND PROVIDE STANDARD SUPPORTING ACCESSORIES IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES ACI 315.

CONCRETE PROTECTION FOR REINFORCEMENT

1. REINFORCING BARS AND MESH TO HAVE CONCRETE COVER AS FOLLOWS:

FOOTINGS AND OTHER CONCRETE POURED AGAINST EARTH	3"
FORMED CONCRETE EXPOSED TO EARTH FOR BARS LARGER THAN #5	2"
FORMED CONCRETE EXPOSED TO EARTH FOR BARS #5 OR SMALLER BARS	1 1/2"
INTERIOR FACES OF WALLS	1"
BEAMS, COLUMNS AND TOP REINFORCING IN GARAGE SLABS	1 1/2"
FRAMED SLABS	3/4"
SLABS ON GROUND TO HAVE REINFORCEMENT IN TOP THIRD OF THICKNESS	



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PROJECT: JOSEPH WHITE HOUSE

DRAWING: STRUCTURAL NOTES 1

SCALE: NTS

DATE: 5/1/03

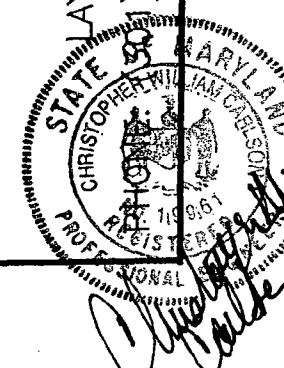
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STRUCTURAL STEEL

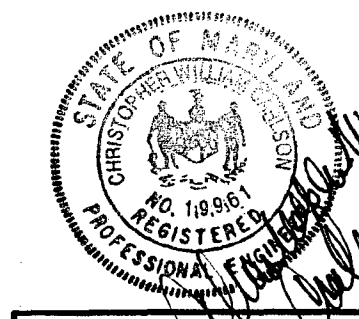
1. STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST AISC "SPECIFICATIONS FOR DESIGN, FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".
2. STRUCTURAL STEEL SHAPES SHALL CONFORM TO THE FOLLOWING:
 - W-SHAPES - ASTM A572 (GRADE 50) OR ASTM A992
 - PLATES, CHANNELS, ANGLES, BARS - ASTM A36 OR ASTM A992
 - PIPES - ASTM A53 (GRADE B)
 - STRUCTURAL TUBES - ASTM A500 (GRADE B)
 THOSE MEMBERS INDICATED TO BE A36 STEEL SHALL CONFORM TO ASTM A36.
3. SHOP AND FIELD CONNECTIONS SHALL BE WELDED OR MADE WITH 3/4" DIAMETER HIGH STRENGTH BOLTS CONFORMING TO ASTM A325 OR ASTM A490.
4. ALL WELDING SHALL CONFORM TO AWS SPECIFICATIONS.
5. NO HOLES SHALL BE LOCATED IN FLANGES OF BEAMS OR COLUMNS UNLESS APPROVED BY THE ENGINEER. NO FIELD CUTTING OF THE STEEL MEMBERS SHALL BE PERMITTED WITHOUT PRIOR AUTHORIZATION OF THE STRUCTURAL ENGINEER.
6. STEEL BEAMS BEARING ON MASONRY OR CONCRETE WALLS SHALL HAVE STANDARD ANGLE WALL ANCHORS.
7. STRUCTURAL STEEL MEMBERS SHALL BE SHOP PAINTED/COATED PER PROJECT SPECIFICATIONS. IN THE ABSENCE OF PROJECT SPECIFICATIONS, PROVIDE ONE COAT OF PRIMER IN COMPLIANCE WITH MANUFACTURER'S INSTRUCTIONS TO SURFACES EXCEPT THOSE TO BE GALVANIZED, AREAS TO BE FIELD WELDED, CONCEALED BY FIREPROOFING, OR EMBEDDED IN CONCRETE.
8. SPLICING OF STEEL MEMBERS IS PROHIBITED WITHOUT APPROVAL BY STRUCTURAL ENGINEER.

TIMBER FRAMING

1. DIMENSIONAL LUMBER FOR POSTS, BEAMS AND JOISTS SHALL BE HEM FIR #2, SOUTHERN PINE #2 OR APPROVED EQUAL W/THE FOLLOWING MINIMUM PROPERTIES: Fb=850psi, E=1,300,000 psi, Fc=1250 psi.
2. WALL STUDS SHALL BE STUD GRADE W/THE FOLLOWING MIN. PROPERTIES: Fc=1150psi, E=1,400,000psi.
3. FRAMING LUMBER SHALL HAVE 19% MAXIMUM MOISTURE CONTENT.
4. LVL BEAMS SHALL HAVE THE FOLLOWING MIN. PROPERTIES: Fb=2600psi, E=1,800,000psi.
5. JOISTS SHALL HAVE MIN. 4" BEARING ON MASONRY.
6. FLOOR SHEATHING SHALL BE 3/4" T&G PLY. AND SHALL BE GLUED AND SCREWED TO JOISTS OR FLOOR TRUSSES NO MORE THAN 8" OC.
7. WOOD JOISTS AND BEAMS SHALL NOT BE CUT/DRILLED UNLESS AUTHORIZED BY THE ENGINEER.
8. LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED AGAINST DECAY.
9. PROVIDE APPROVED HEAVY DUTY FRAMING ANCHORS AT ALL BEAM CONNECTIONS NOT DIRECTLY OVER BEARING WALLS OR COLUMNS. REFER TO DRAWINGS FOR BEAM CONNECTIONS.
10. PROVIDE END SEALER AND CUT BEAMS OF ALL LUMBER TO BE UTILIZED BELOW GRADE OR IN CONTACT WITH MSY, CONCRETE OR GRADE.

POST INSTALLED MECHANICAL AND CHEMICAL ANCHORS

1. ALL MECHANICAL AND CHEMICAL ANCHORS INDICATED WITHIN THESE DOCUMENTS SHALL BE PROVIDED BY HILTI, INC. OR AN SDG-APPROVED EQUIVALENT. ALTERNATE ANCHORS SHALL BE SUBMITTED TO SDG FOR APPROVAL, INCLUDING ALL RELEVANT TECHNICAL INFORMATION.
2. ALL ANCHORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATION.
3. UNLESS OTHERWISE NOTED, ALL ANCHORS SHALL HAVE STANDARD EMBEDMENT DEPTH AS DEFINED BY THE MFG.
4. WHEN ANCHORS ARE TO BE INSTALLED INTO EXIST. MASONRY, THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD-TESTING THE ANCHORS PRIOR TO FABRICATION OF ANY MATERIALS TO VERIFY THAT THE ALLOWABLE LOADS PUBLISHED BY THE MFG., OR THOSE INDICATED ON STRUCTURAL DRAWINGS, ARE OBTAINABLE.



PROJECT: JOSEPH WHITE HOUSE

DRAWING: STRUCTURAL NOTES 2

SCALE: NTS

DATE: 5/1/03

REV.:
DRAWN BY: MAS

PAGE: 17 OF 17

OAK GROVE RESTORATION COMPANY

5815 RIGGS ROAD
LAYTONSVILLE, MD. 20882

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RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
 240/777-6370

Rickman Farm

DPS - #8

HISTORIC PRESERVATION COMMISSION
 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

HP

Contact Person: Linda Komes
 Daytime Phone No.: (301) 650-2860

Tax Account No.: _____
 Name of Property Owner: MNCPPC Daytime Phone No.: (301) 495-2535
 Address: 9500 Brunetti Avenue Silver Spring, Md 20901
Street Number City State Zip Code
 Contractor: MNCPPC Central Maintenance Phone No.: (301) 670-8022 (Brian DeLong)
 Contractor Registration No.: _____
 Agent for Owner: Eileen Emmet Daytime Phone No.: (301) 495-2550
Park Development Division

LOCATION OF BUILDING/PREMISE

House Number: 17314 Street: MOORE ROAD
 Town/City: Boyd's Nearest Cross Street: Buck Lodge Road
 Lot: _____ Block: _____ Subdivision: n/a
 Lier: 15108 Folio: 341 Parcel: P663 (DUM)

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
 1B. Construction cost estimate: \$ 6,500.00
 1C. If this is a revision of a previously approved active permit, see Permit # n/a

RECEIVED
 AUG 18 2004
 Dept. of Permitting Services
 Division of
 Casework Management

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches n/a
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Eileen Emmet
 Signature of owner or authorized agent

8.13.04
 Date

Approved: _____ For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: _____
 Application/Permit No.: 355 473 Date Filed: 8/18/04 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE Attachment A

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE Attachment B

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the drip-line of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address MNC PPC / MC PARKS / PDD LINDA KOMES, PROJ. MGR. PARKSIDE 9500 BRUNET AVE. SILVER SPRING MD. 20901</p>	<p>Owner's Agent's mailing address EILEEN EMMET, ARCH. SAME ADDRESS</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>CHARLES H. JAMISON, INC. P.O. BOX 86 POOLESVILLE MD 20837-0086</p>	<p>RAJABALI POURSHOUSH TARI 17310 MOORE RD. BOYDS MD 20841-9529</p>
<p>MARK R. KABBES & MDR FRIENDS ADVIC. 19001 BUCKLODGE RD. BOYDS MD 20841</p>	<p>KATHLEEN B. MOORE, ET AL 17410 MOORE RD. BOYDS MD 20841-9529</p>
<p>FAMILY 17400 MOORE RD. BOYDS MD 20841</p>	<p>FAMILY 19005 BUCKLODGE RD. BOYDS MD 20841</p>

MORE →

PEPCO

REAL ESTATE DEPT, ROOM #9426

VERNON GIBSON, SUPERVISOR

701 9TH ST., N.W.

WASHINGTON, D.C. 20068

MNCPPL / RICKMAN ~~HW~~ HWP

6

Attachment A
(for HPC Application dated 8.13.04)

Name: Joseph White Farm
Region: N
Location: 17320
17400 Moore Rd. Boyds, MD
Associated Park:
Date or Period: 1822-1824
Priority:
Year in CIP: 2003
Condition: Fair
ID#: 18/014-000

Description: This seven bay, two-and-a-half story brick house faces southeast. Built on fieldstone foundations, the house has a northeast two bay section and a southeast five bay section. The southeast section is original. This section has Flemish bonded brick work which is painted red. The southwest and northwest walls are common bonded. The southeast (front) porch has a half hipped roof supported by six tapered columns. The porch is enclosed by a turned balustrade railing. The southeast door is a side wooden paneled door surmounted by a transom. A flight of ten stone steps, flanked by a wrought iron hand railing, leads to this door. The northwest door is wooden paneled. There are two-over-two double-hung windows throughout the house except at the second level of the southeast level, original section, where there are nine over six double hung windows. There are two gable roofs covered by black asbestos shingles. There is a decorative corniced line at the northeast and southwest gable ends of the original house. There are interior chimneys.

Work Needed:

Significance: This house and land were owned by a prominent local family for 175 years. Joseph C. White had inherited the land from his father Benjamin White "of Benjamin", who had purchased part of "Wolf's Cow" from his brother-in-law Joseph Newton Chiswell in 1798. Joseph White married Mary Collinson Gott in 1824. Their son, John Collinson White, received the house upon Joseph's death c. 1886. John had fought for the confederates in a battalion commanded by his cousin, Lt. Col. Elijah Veirs White in the 35th Va. Cavalry Regiment, which included "Chiswell's Raiders" (many cousins). In 1911, John's heirs sold the property, now amounting to 208.34 acres, to John's youngest child Eliza Virginia and her husband John William Moore and remodeled the house razing the old kitchen and slave quarters and adding a kitchen wing. At the same time the present porch was added. In 1952 their three sons were deeded the property, and in 1974 seven acres were portioned off for John White Moore and his wife, Kay.

Marked: ?
Status: N/A
Category:

Attachment B

Rickman Farm Horse Park

Covered Walkway Addition and Paved Parking Lot

(for HPC Application dated August 13, 2004)

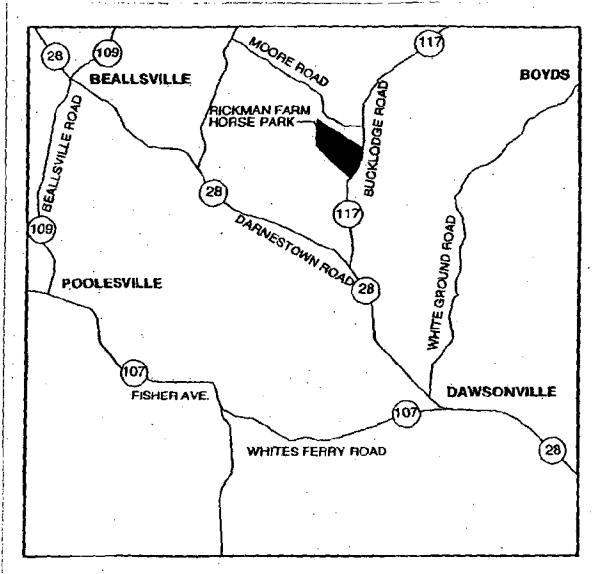
- a. Description of existing structure(s) and environmental setting. See Attachment B, Joseph White Farm Historic Preservation report dated June 14, 2004.
- b. General description of project and its effect on the historic resources:

The project involves rehabilitating an existing agricultural "butler-style" metal building, called the Arena. Although the Arena itself is not historic, it is located within a one hundred acre historic setting called the Joseph White Farm. The property is owned by M-NCPPC and also known as the Rickman Farm Horse Park. Mr. William Rickman, Sr. donated the property in 1997 specifically for a therapeutic horse-riding program in Montgomery County.

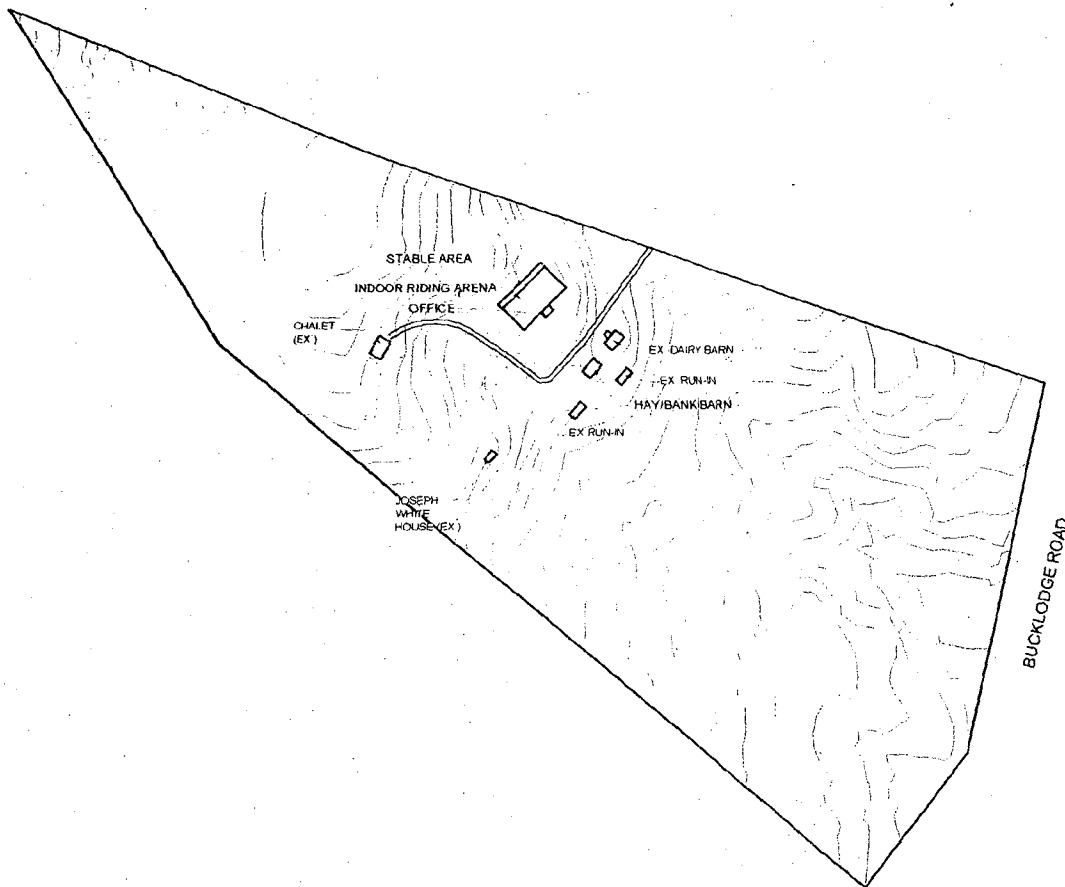
M-NCPPC is rehabilitating the building for use by an organization called Great & Small. They run these therapeutic programs for children and adults. All rehab work will take place inside of the building, except for the covered walkway addition. The walkway will be the handicapped accessible route from the new parking lot to the front door of the building. It will be 85 feet long and 8 feet wide and its new metal shed roof will match the existing Arena building. The new asphalt parking lot will accommodate six handicapped parking spaces. (In the future, as shown on the engineering site plan, the parking lot will be expanded and an outdoor riding ring will be provided. Neither of these future elements are part of this application request.)

In general, the Arena consists of three parts, a central 100' x 200' open riding area, a rear 20' x 200' attached row of stables, and a front 25' x 30' office and public reception room.

We believe the covered walkway addition will enhance the historic setting by providing a human scale element to the long and boxy butler-style Arena. Also, the design of the walkway and character of the materials used are in an architectural style compatible to the agricultural setting. The parking lot is an essential part of the handicapped program and must be located at a reasonable distance to the building's public entry. In locating it to the west side of the Arena, it will be less visible to the north facing view shed than an alternate solution that would place it in front of the building.



VICINITY MAP



SITE PLAN

SCALE: 1" = 400'-0"



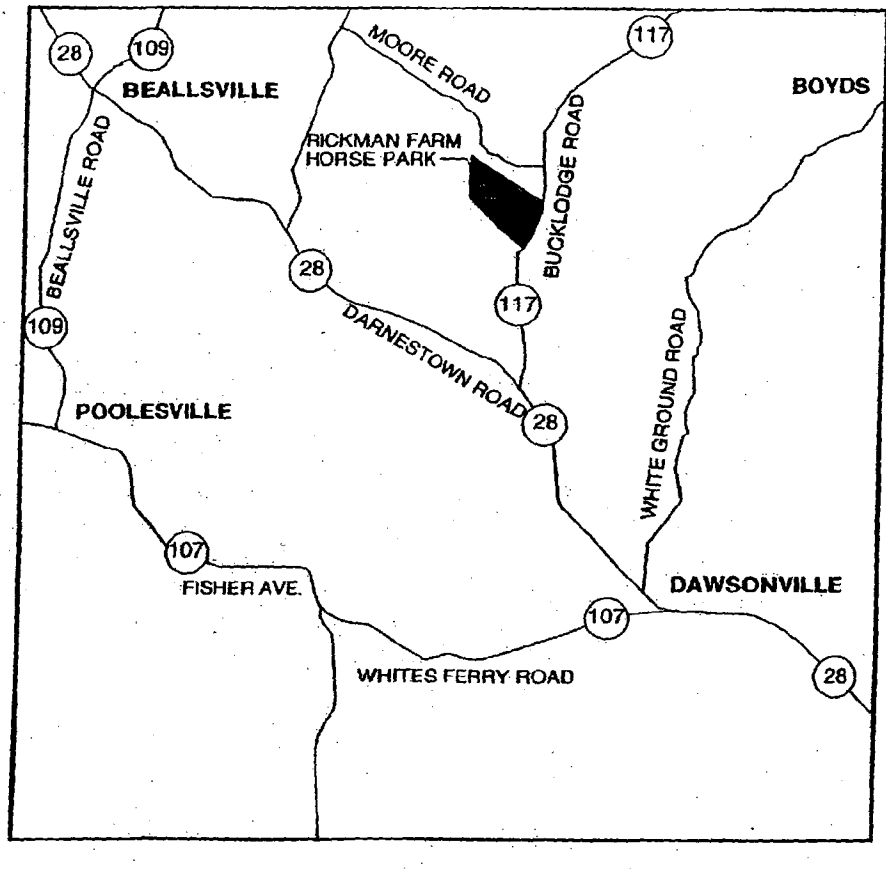
8-17-04

RICKMAN FARM HORSE PARK

3.

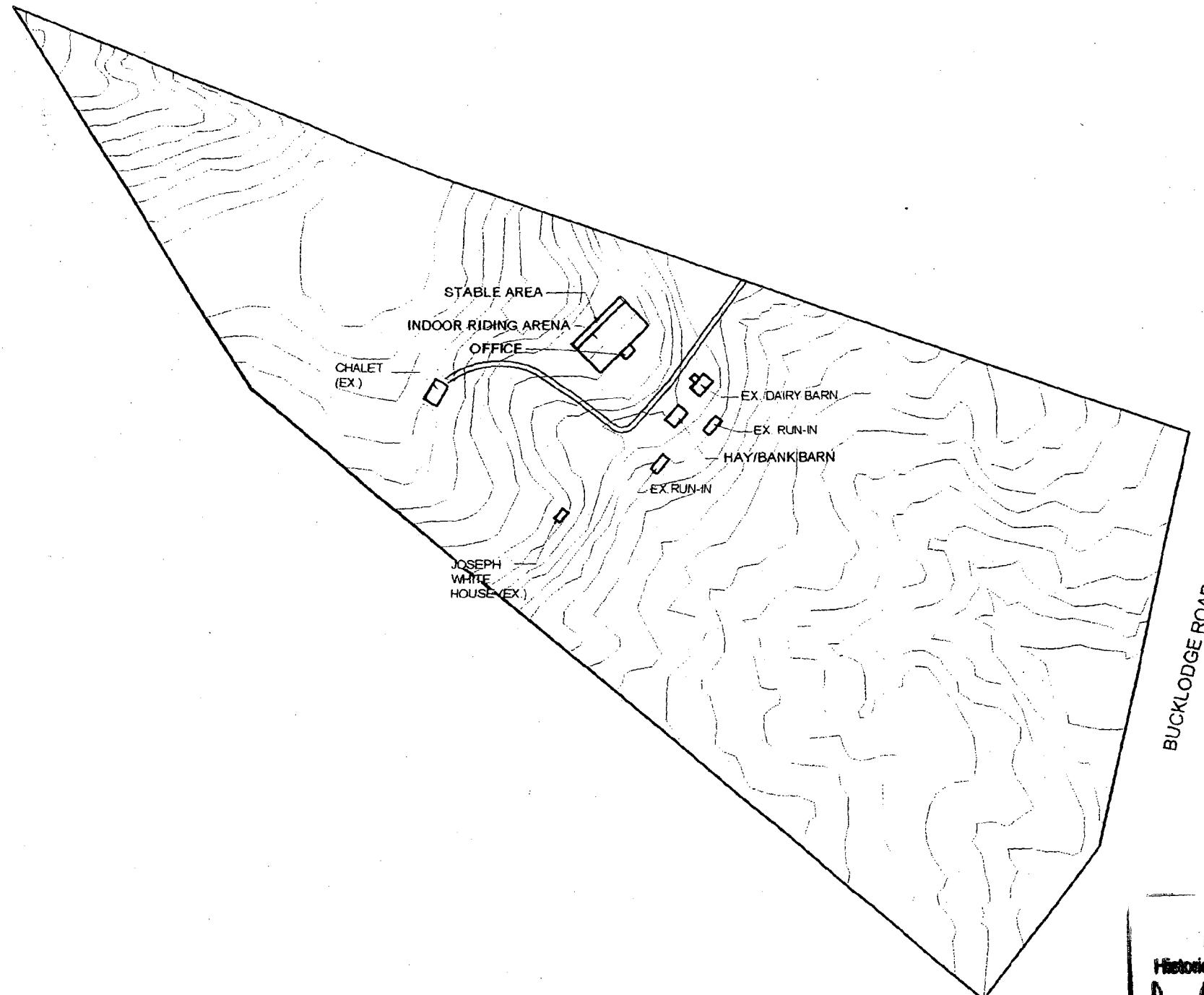
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VICINITY MAP

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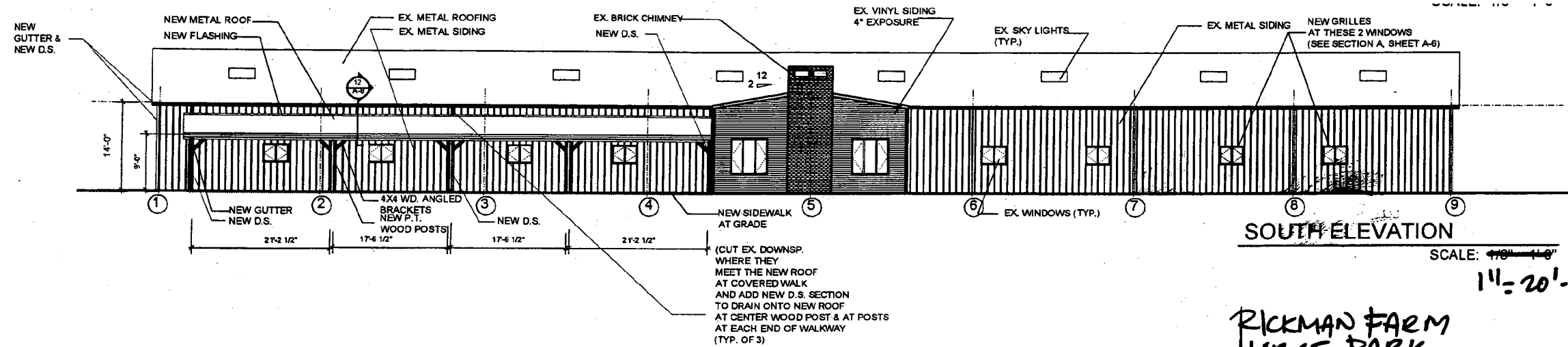
APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley

SITE PLAN

SCALE: 1" = 400'-0"

8-17-04

RICKMAN FARM HORSE PARK



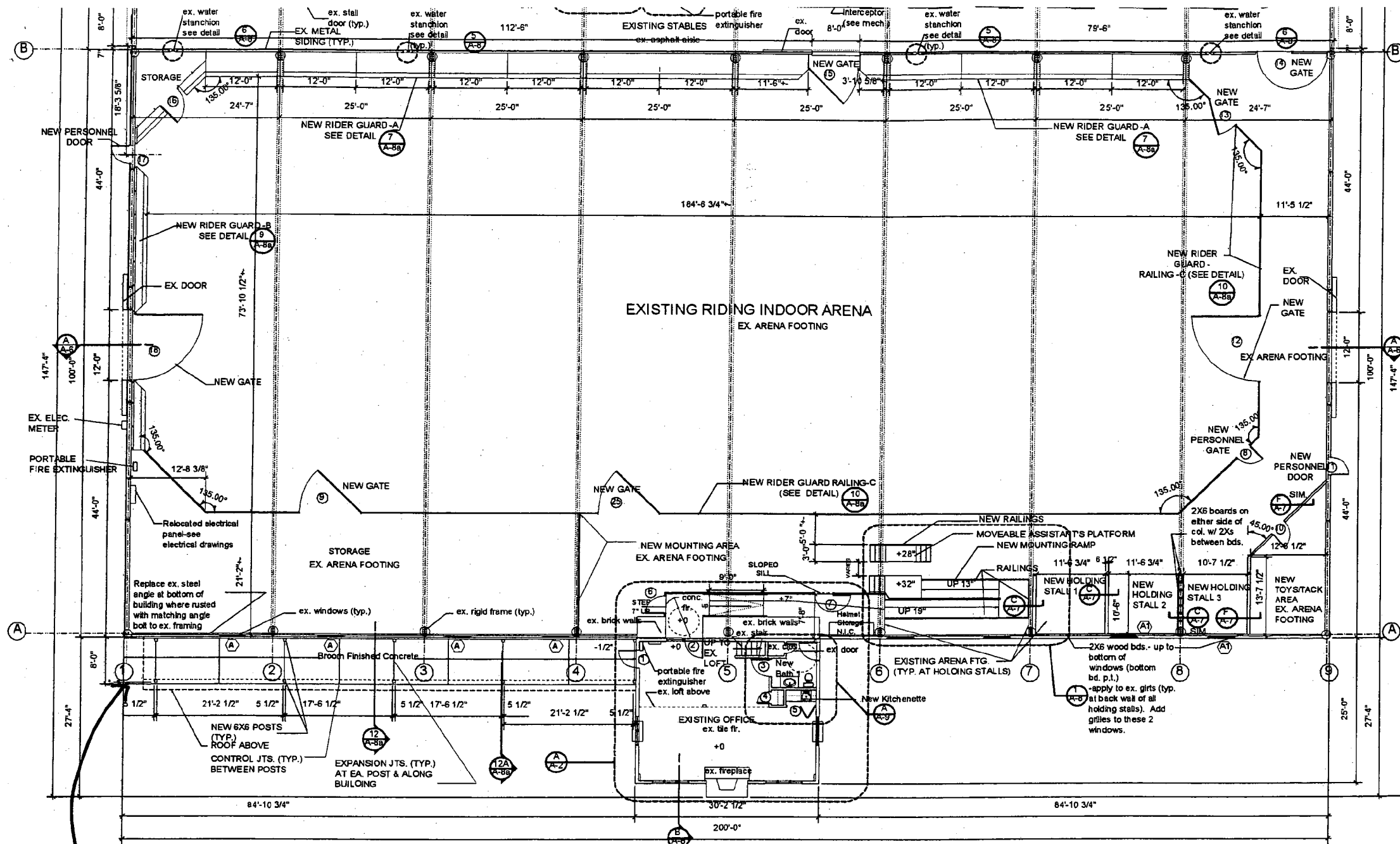
SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

1" = 20' - 0"

**RICKMAN FARM
HORSE PARK**

(CUT EX. DOWNSP.
WHERE THEY
MEET THE NEW ROOF
AT COVERED WALK
AND ADD NEW D.S. SECTION
TO DRAIN ONTO NEW ROOF
AT CENTER WOOD POST & AT POSTS
AT EACH END OF WALKWAY
(TYP. OF 3)

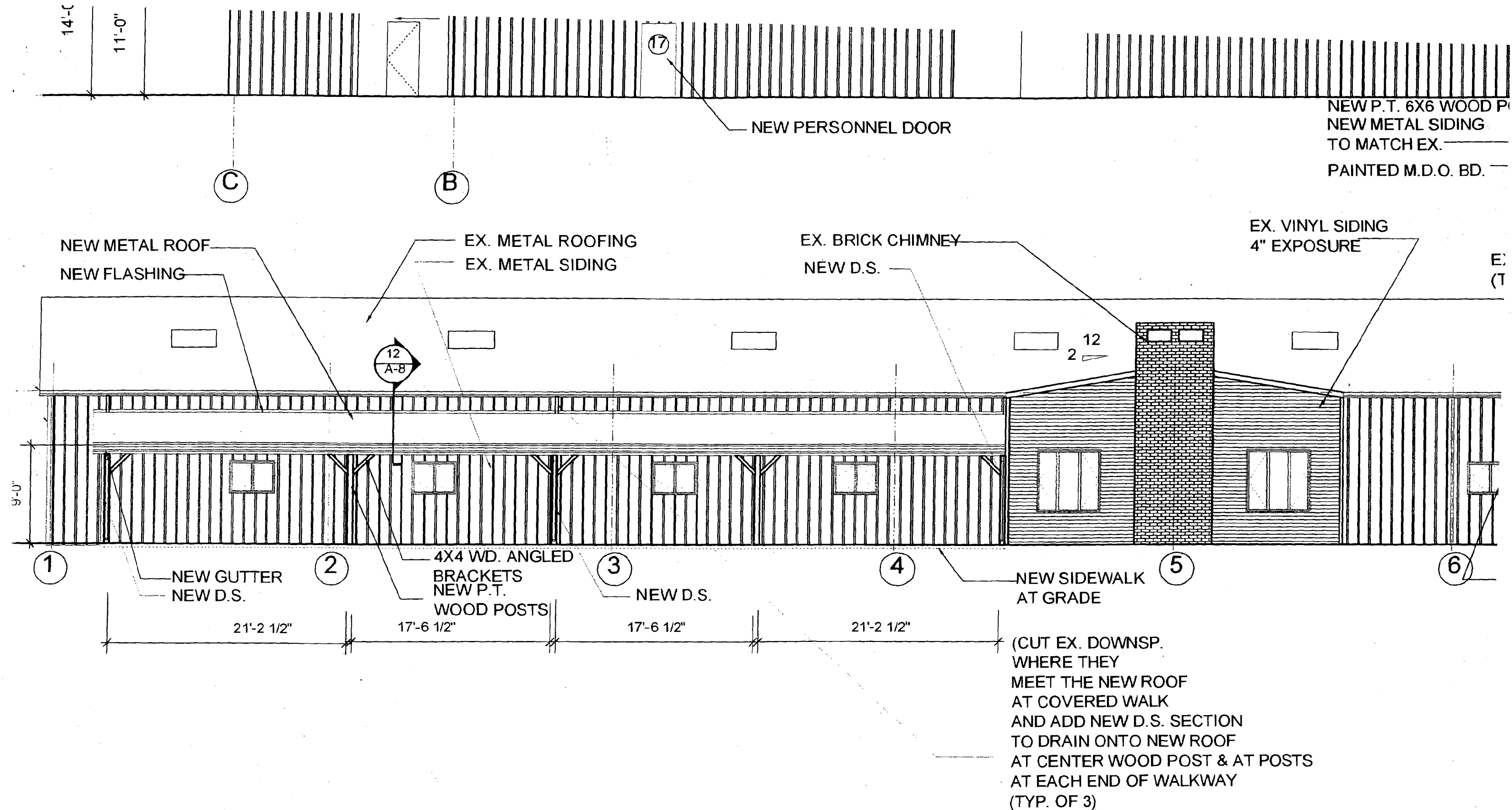
APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley
9/9/04



PROPOSED COVERED WALKWAY

NEW
ARENA FLOOR PLAN
SCALE: 1" = 20'-0"
RICKMAN FARM HORSE PARK

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley
9/9/09



NEW P.T. 6X6 WOOD P
 NEW METAL SIDING
 TO MATCH EX. _____
 PAINTED M.D.O. BD. _____

EX. VINYL SIDING
 4" EXPOSURE

EX. BRICK CHIMNEY
 NEW D.S.

EX. METAL ROOFING
 EX. METAL SIDING

NEW METAL ROOF
 NEW FLASHING

9'-0"

1 NEW GUTTER NEW D.S. 2 4X4 WD. ANGLED BRACKETS NEW P.T. WOOD POSTS 3 NEW D.S. 4 5 NEW SIDEWALK AT GRADE 6

21'-2 1/2" 17'-6 1/2" 17'-6 1/2" 21'-2 1/2"

(CUT EX. DOWNSP. WHERE THEY MEET THE NEW ROOF AT COVERED WALK AND ADD NEW D.S. SECTION TO DRAIN ONTO NEW ROOF AT CENTER WOOD POST & AT POSTS AT EACH END OF WALKWAY (TYP. OF 3))

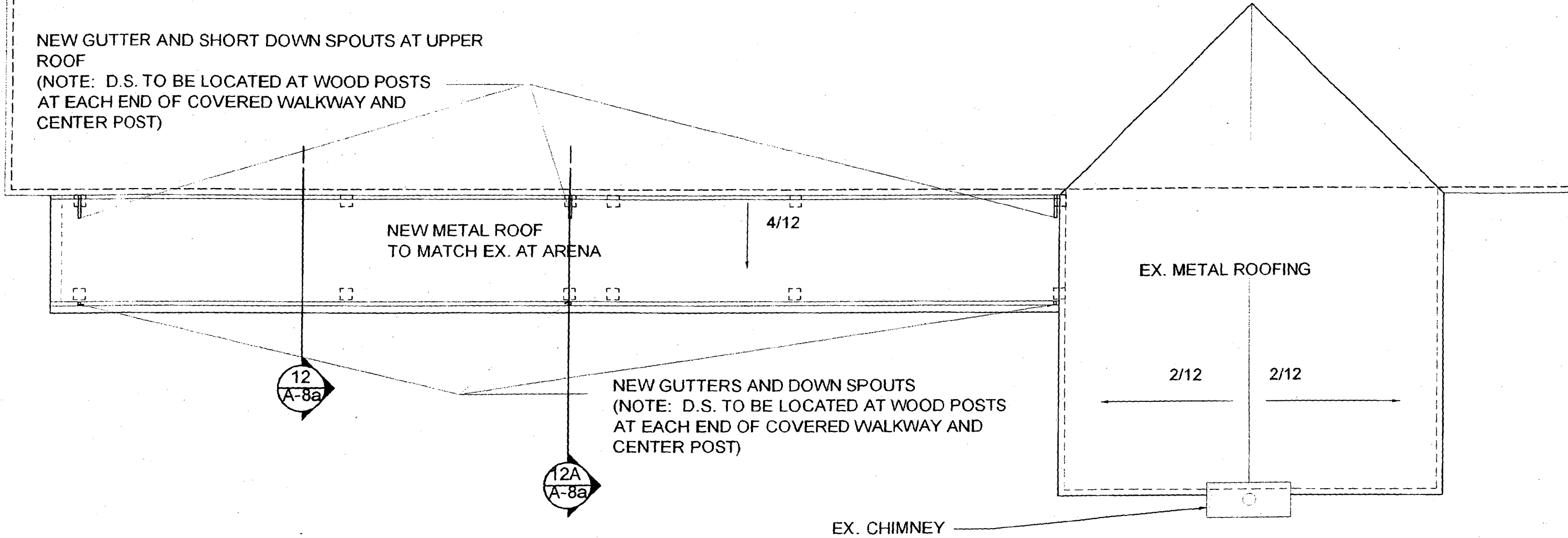
NEW SOUTH ELEVATION
 1/8" = 1'-0"
 RICKMAN FARM HORSE PARK 8-17-04

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia D. Malley

9/9/04

1

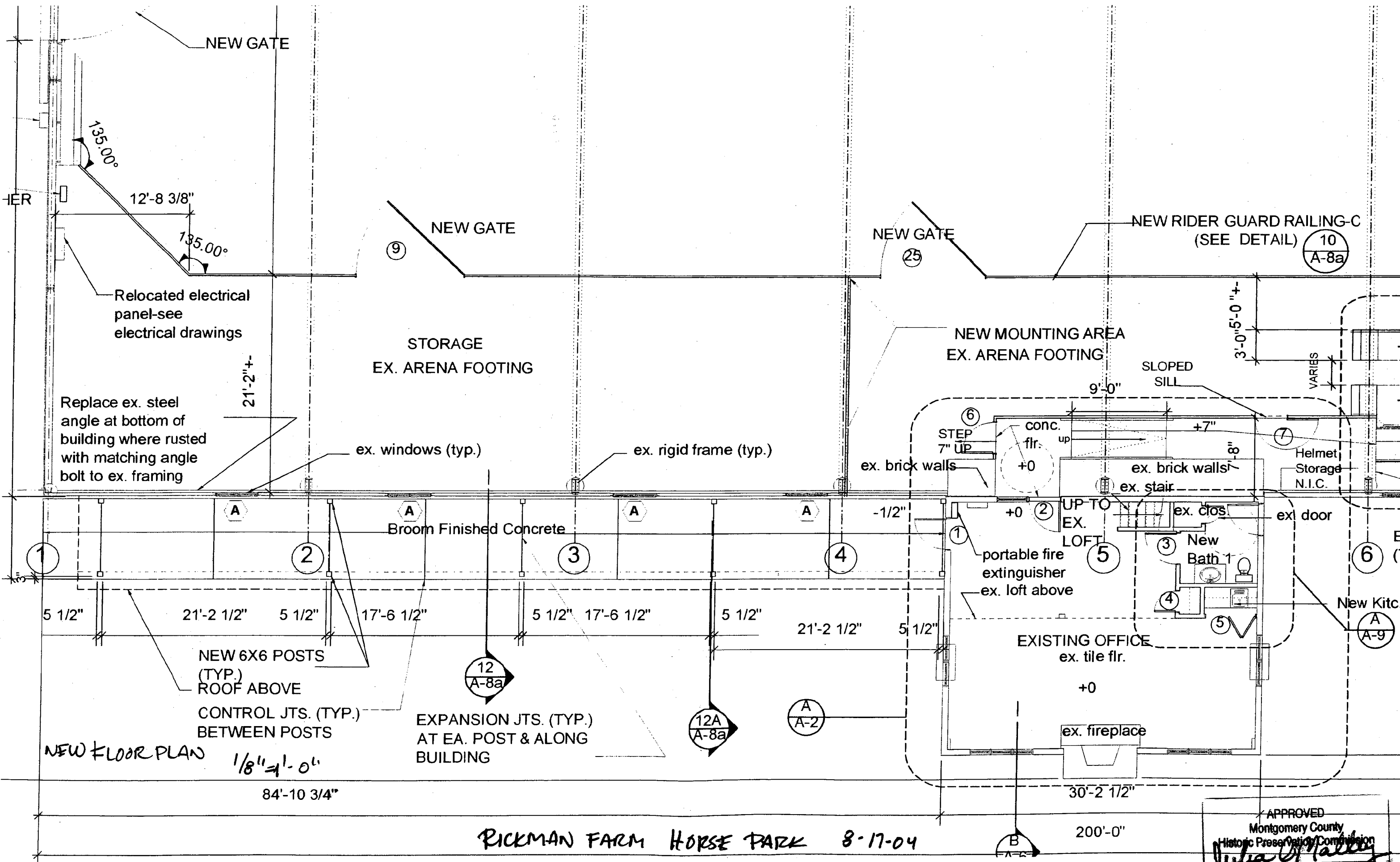
NEW GUTTER AND SHORT DOWN SPOUTS AT UPPER ROOF
(NOTE: D.S. TO BE LOCATED AT WOOD POSTS AT EACH END OF COVERED WALKWAY AND CENTER POST)



ROOF PLAN
1/8" = 1'-0"

RICKMAN FARM HORSE PARK
8-17-04

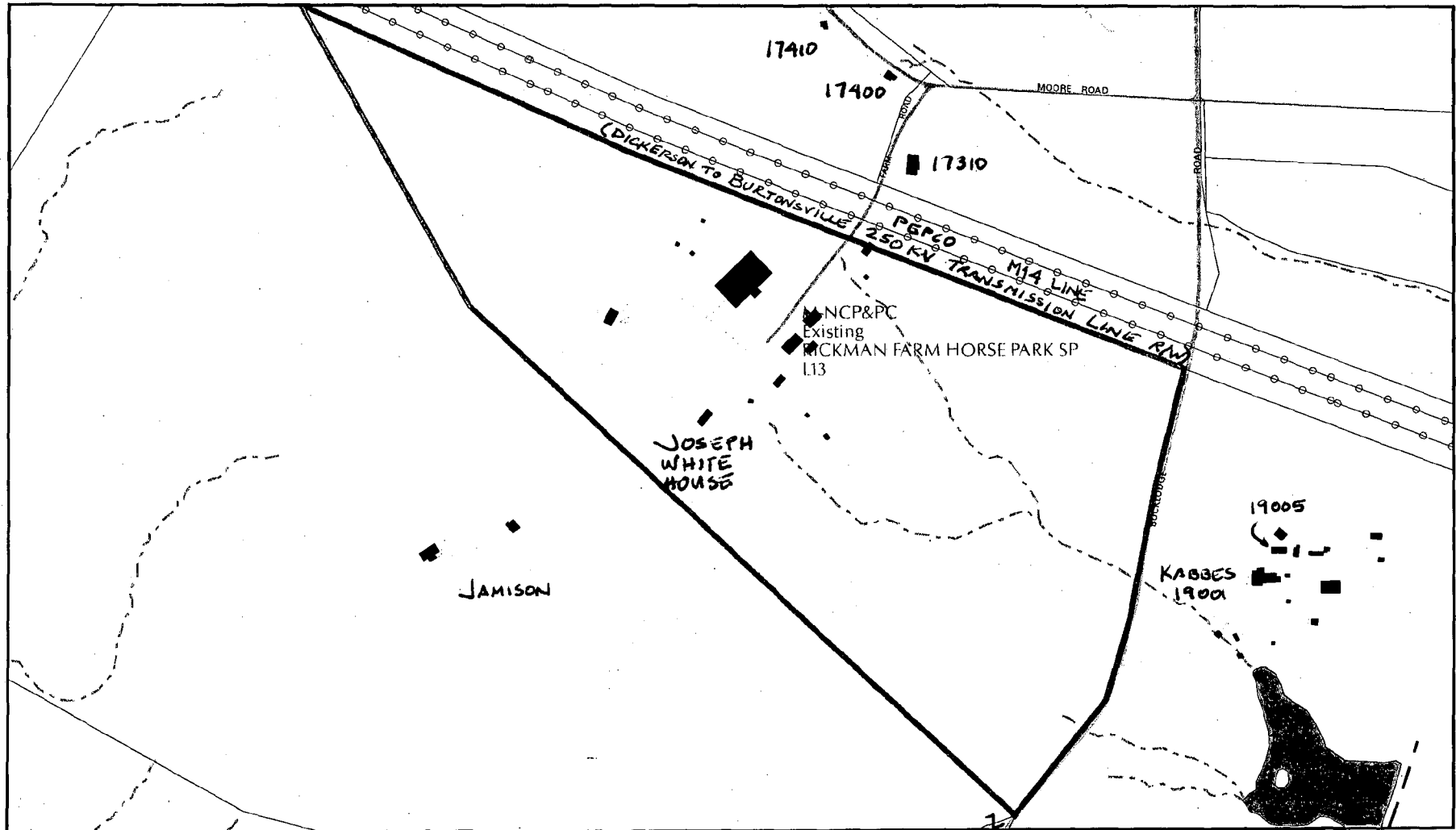
APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley
8/19/04



RICKMAN FARM HORSE PARK 8-17-04

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia M. Hally
 (m) 9/1/04

RICKMAN FARM HORSE PARK



Map compiled on August 16, 2004 at 11:11 AM | Site located on base sheet no - 226NW17

NOTICE

The planimetric, property, and topographic information shown on this map is based on copyrighted Map Products from the Montgomery County Department of Park and Planning of the Maryland-National Capital Park and Planning Commission, and may not be copied or reproduced without written permission from M-NCPPC.

Property lines are compiled by adjusting the property lines to topography created from aerial photography and should not be interpreted as actual field surveys. Planimetric features were compiled from 1:14400 scale aerial photography using stereo photogrammetric methods.

This map is created from a variety of data sources, and may not reflect the most current conditions in any one location and may not be completely accurate or up to date. All map features are approximately within five feet of their true location. This map may not be the same as a map of the same area plotted at an earlier time as the data is continuously updated. Use of this map, other than for general planning purposes is not recommended. - Copyright 1998

Key Map



Research & Technology Center

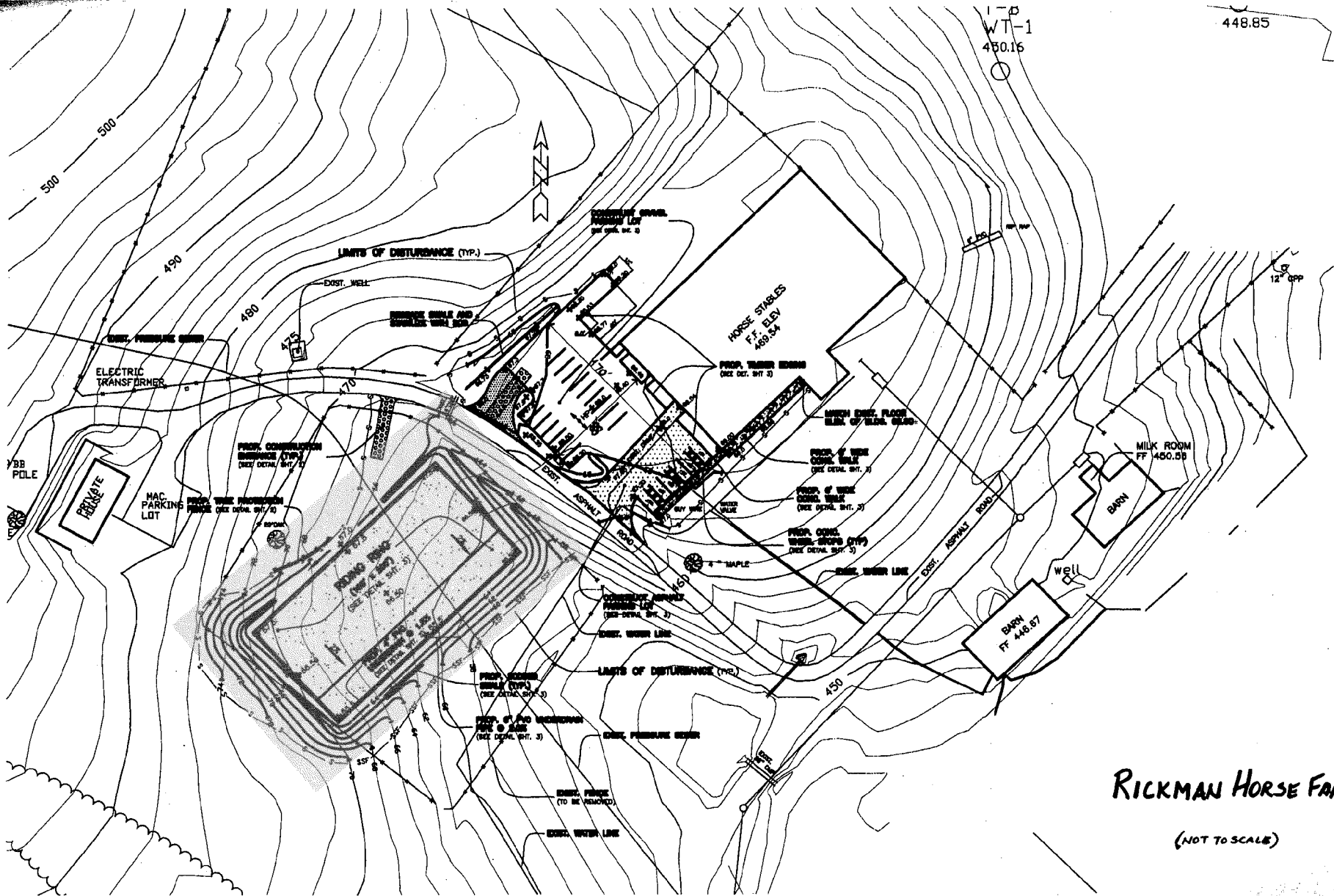


1 inch = 600 feet
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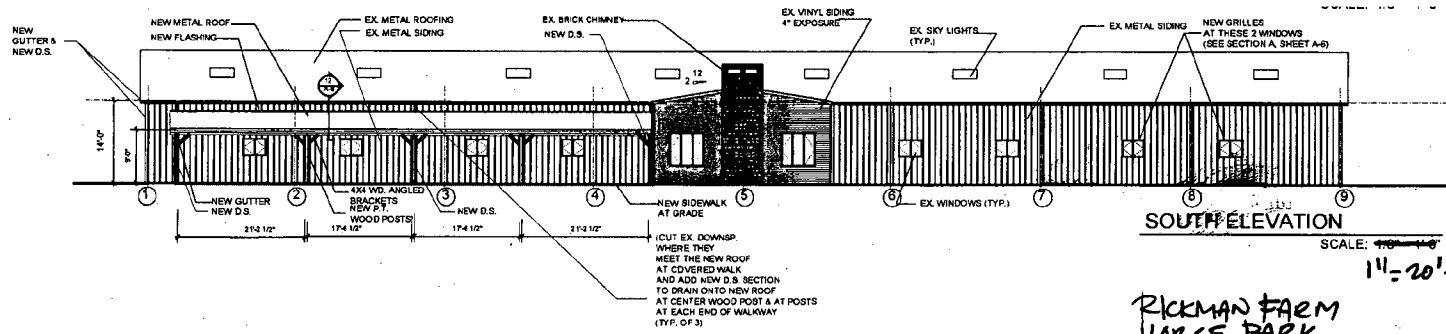
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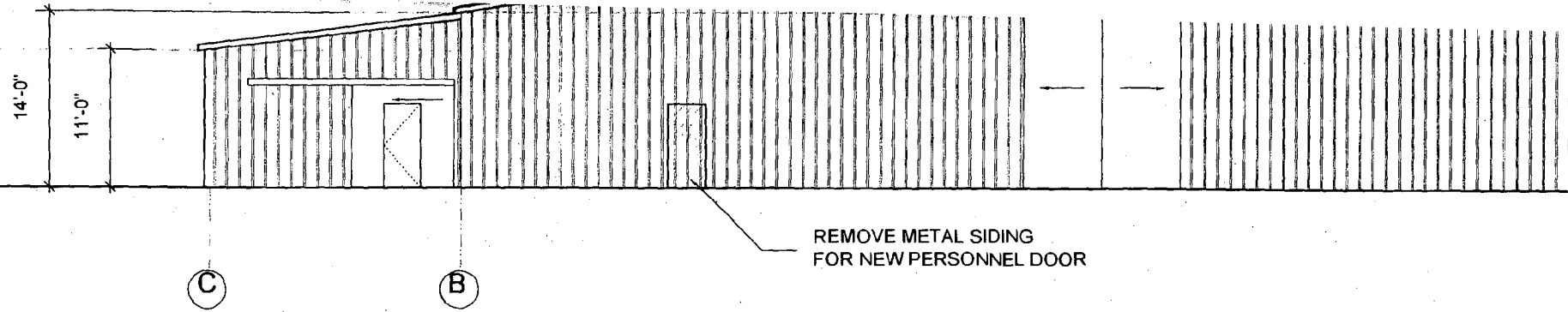


RICKMAN HORSE FARM PARK
 (NOT TO SCALE)

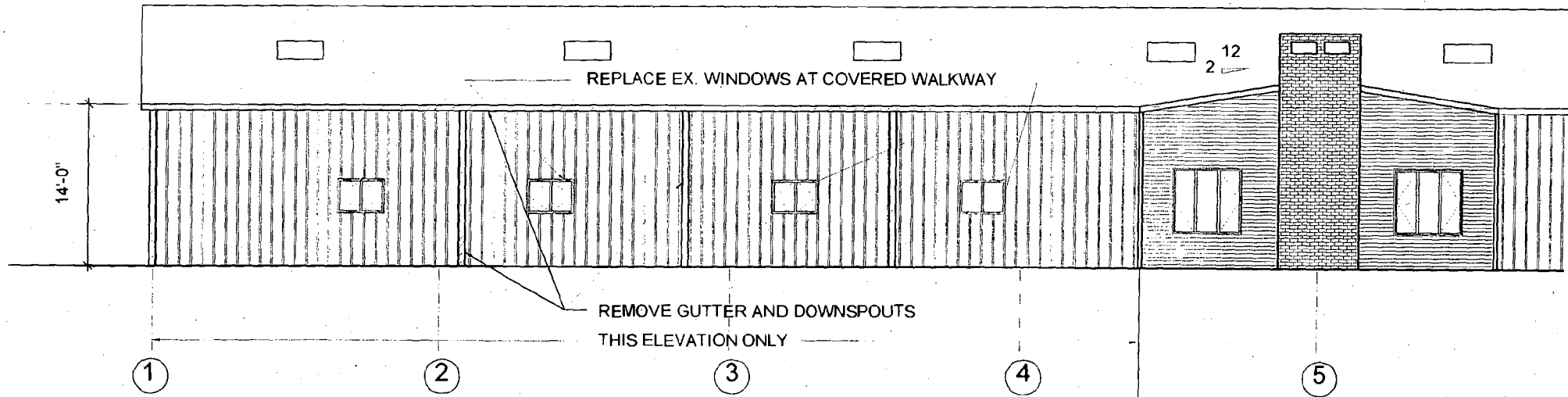


**RICKMAN FARM
HORSE PARK**

11



REMOVE METAL SIDING
FOR NEW PERSONNEL DOOR

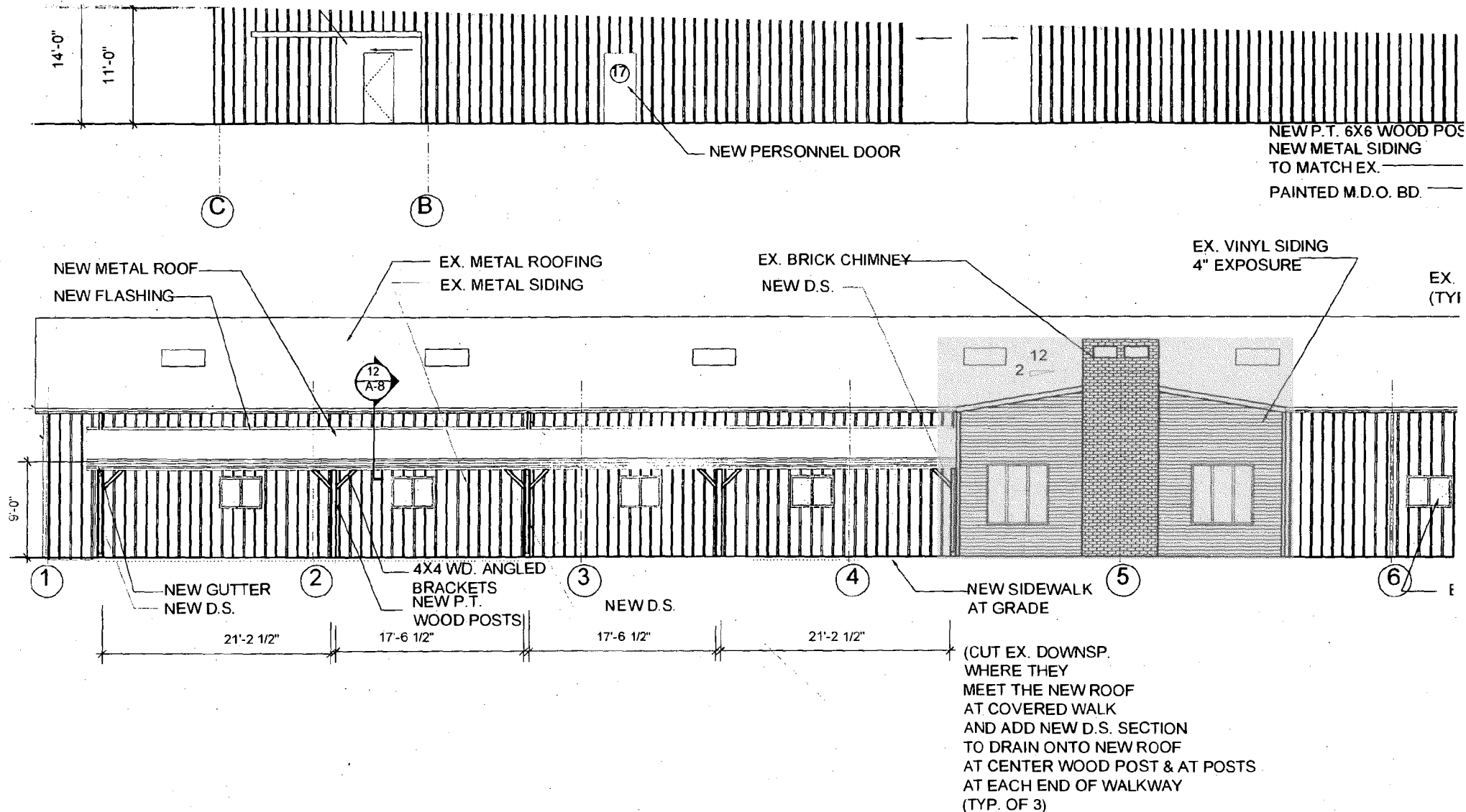


REPLACE EX. WINDOWS AT COVERED WALKWAY

REMOVE GUTTER AND DOWNSPOUTS
THIS ELEVATION ONLY

EXISTING SOUTH ELEVATION
 $\frac{1}{8}'' = 1'-0''$
 RICKMAN FARM HORSE PARK 8-11-04

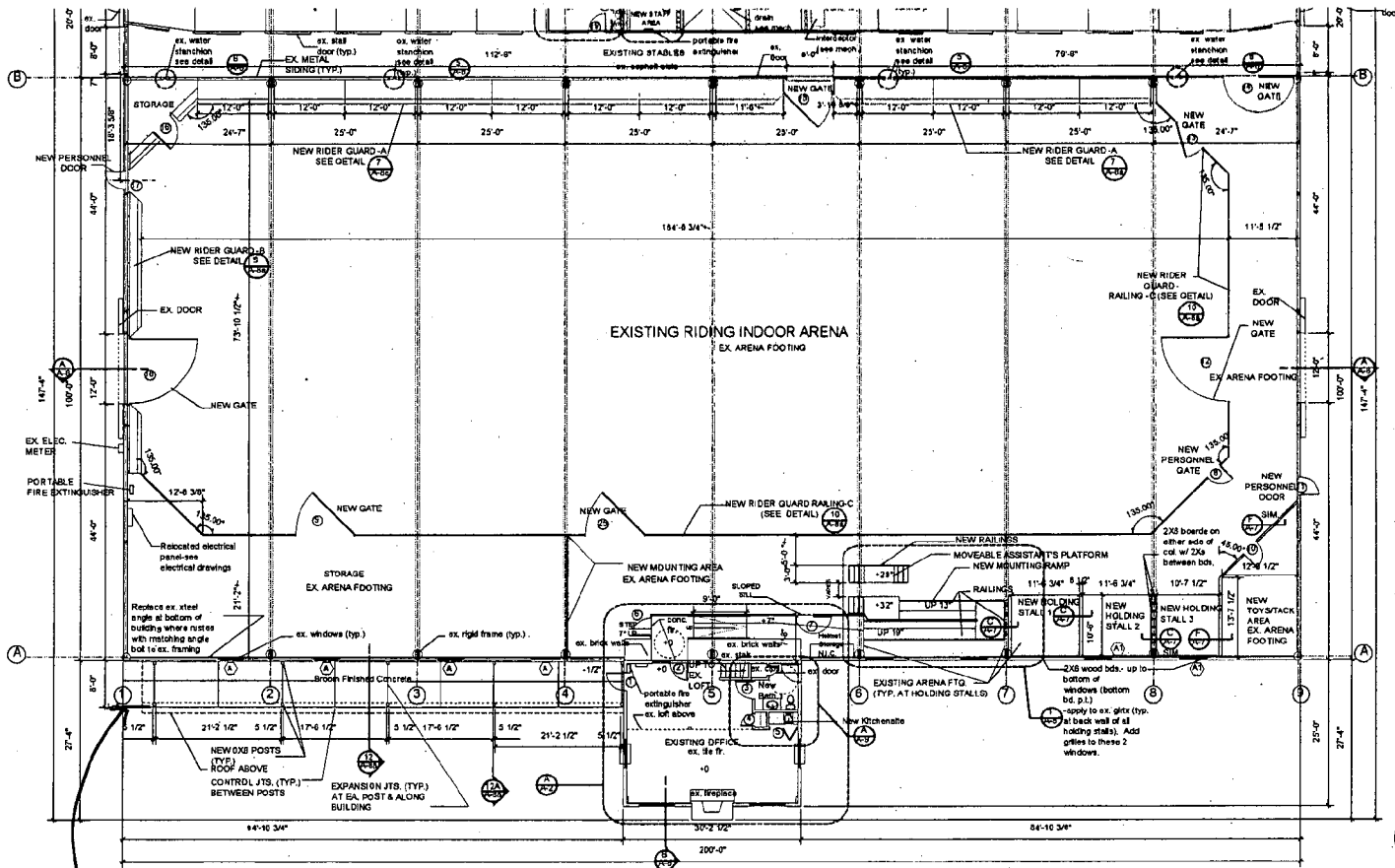
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NEW SOUTH ELEVATION
 1/8" = 1'-0"
 RICKMAN FARM HORSE PARK 8-17-04

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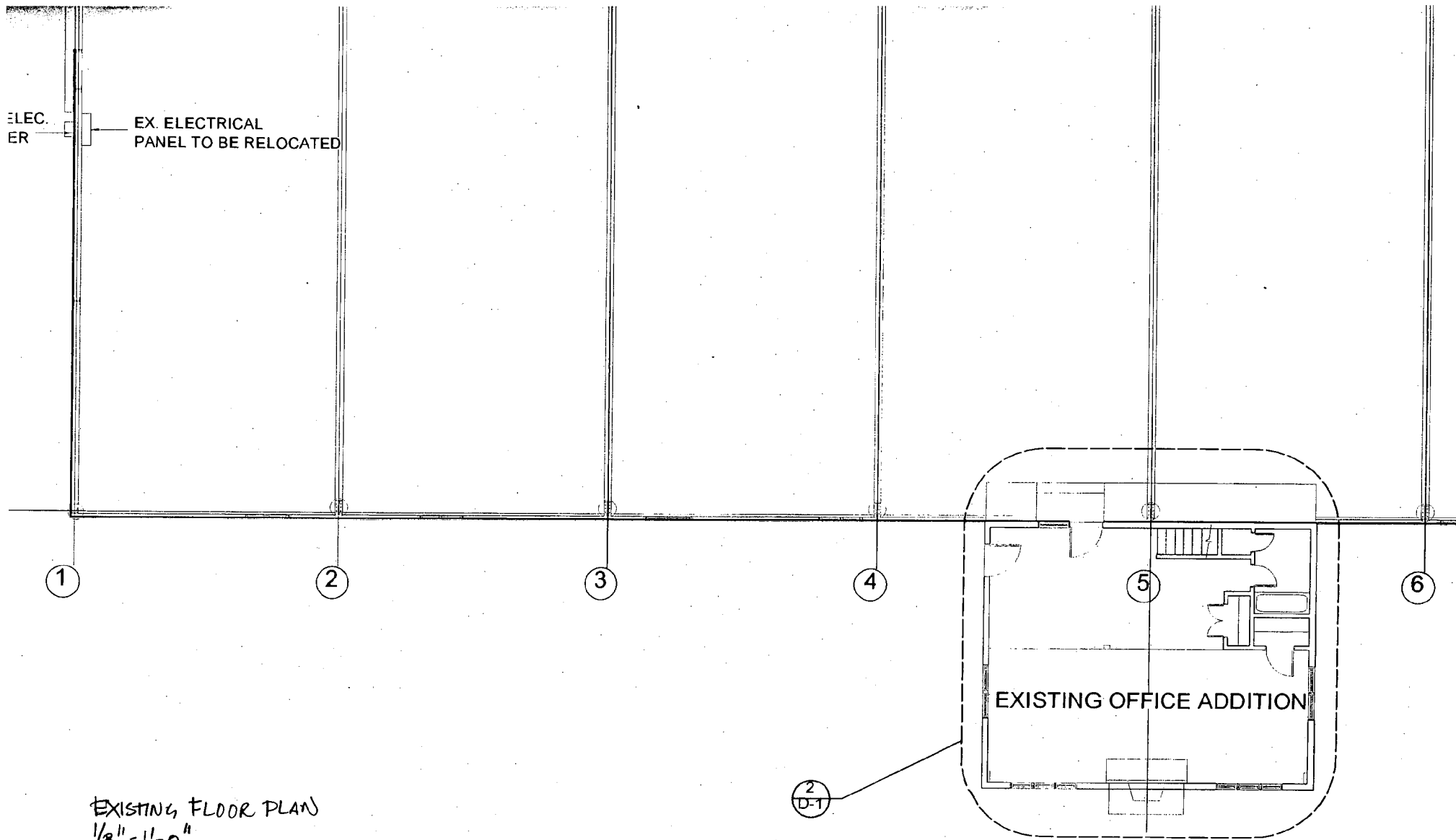
13



PROPOSED COVERED WALKWAY

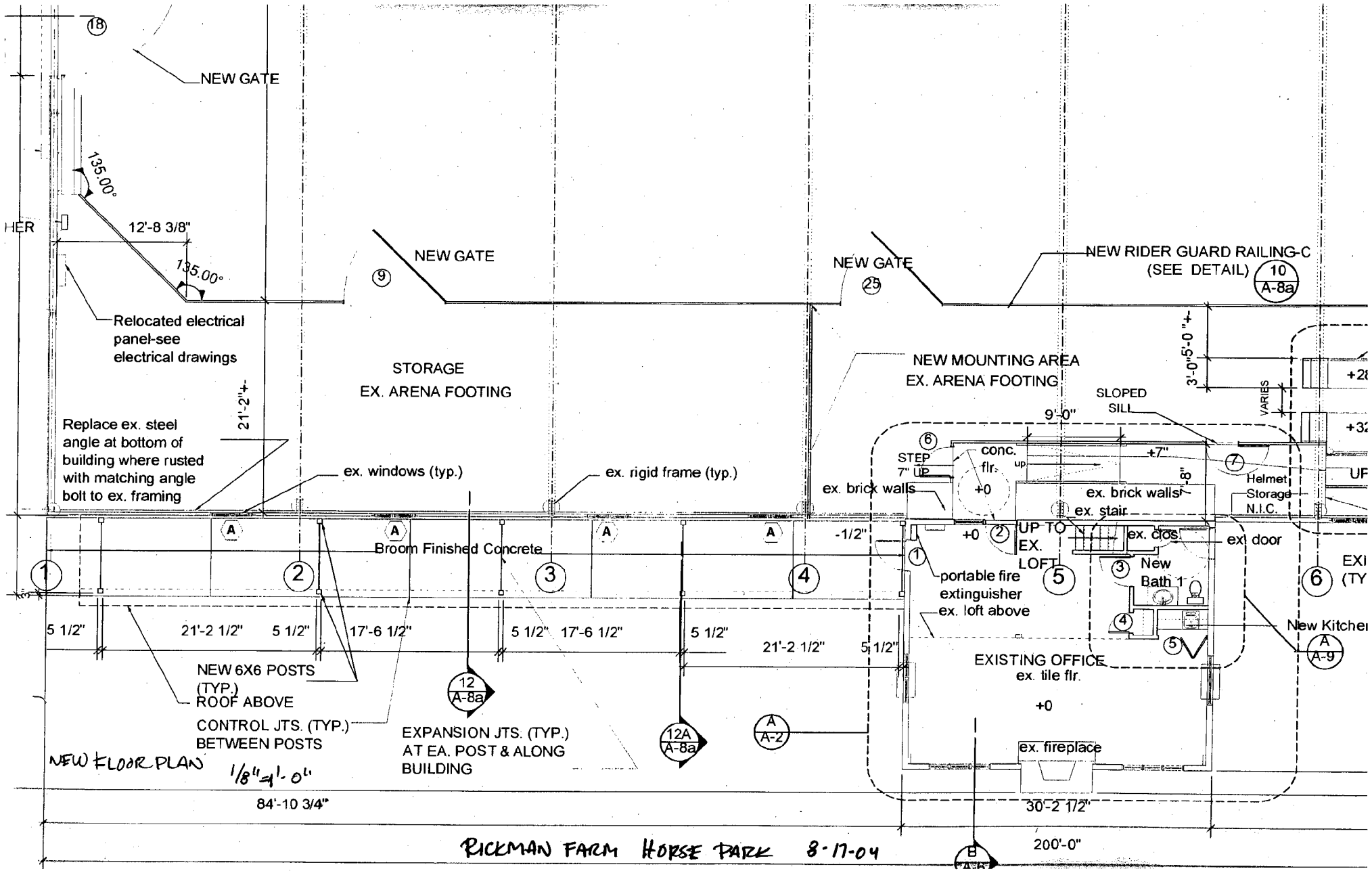
NEW
ARENA FLOOR PLAN
SCALE: 1/8" = 1'-0"
1" = 20'-0"
RICKMAN FARM HORSE PARK

61



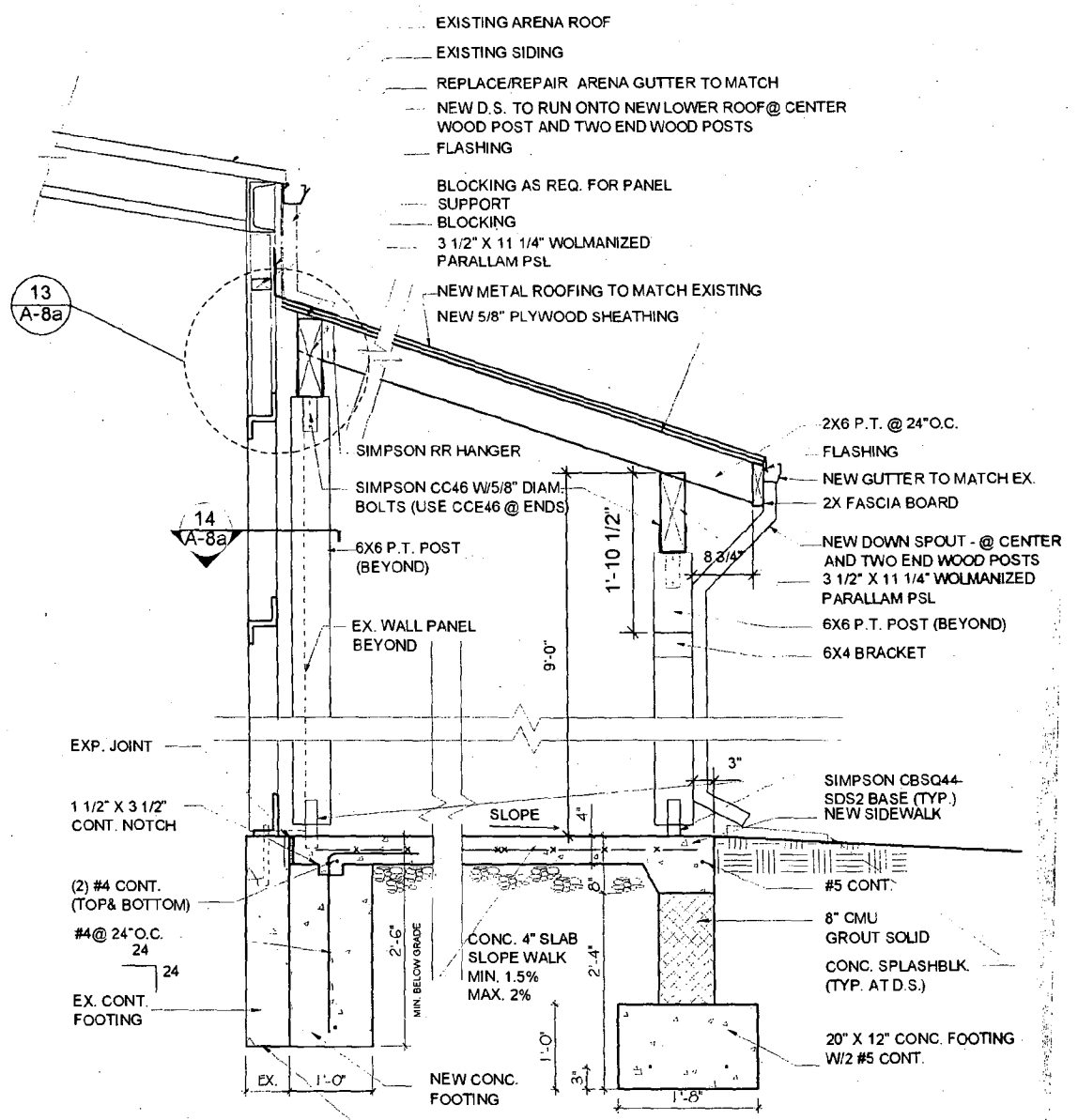
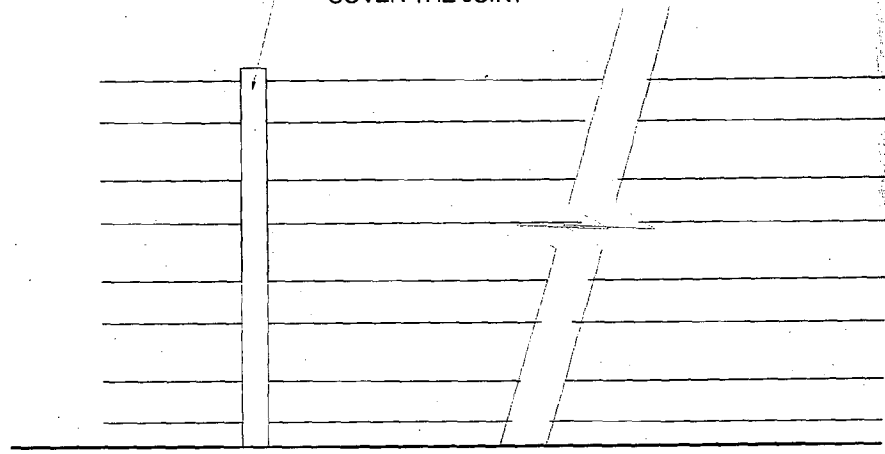
EXISTING FLOOR PLAN
 1/8" = 1'-0"
 PICKMAN FARM HORSE PARK
 8-17-04

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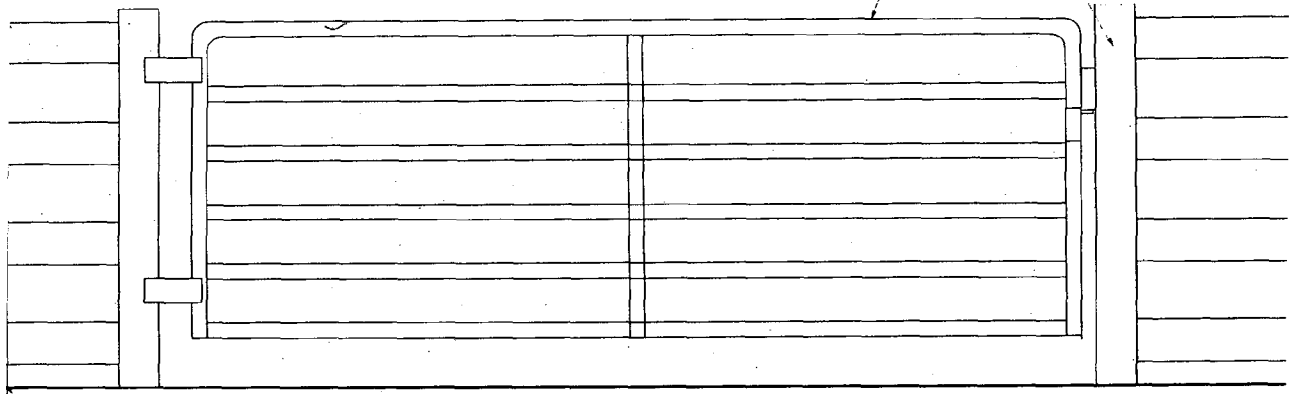
1X4 BATTEN AT POST TO COVER THE JOINT



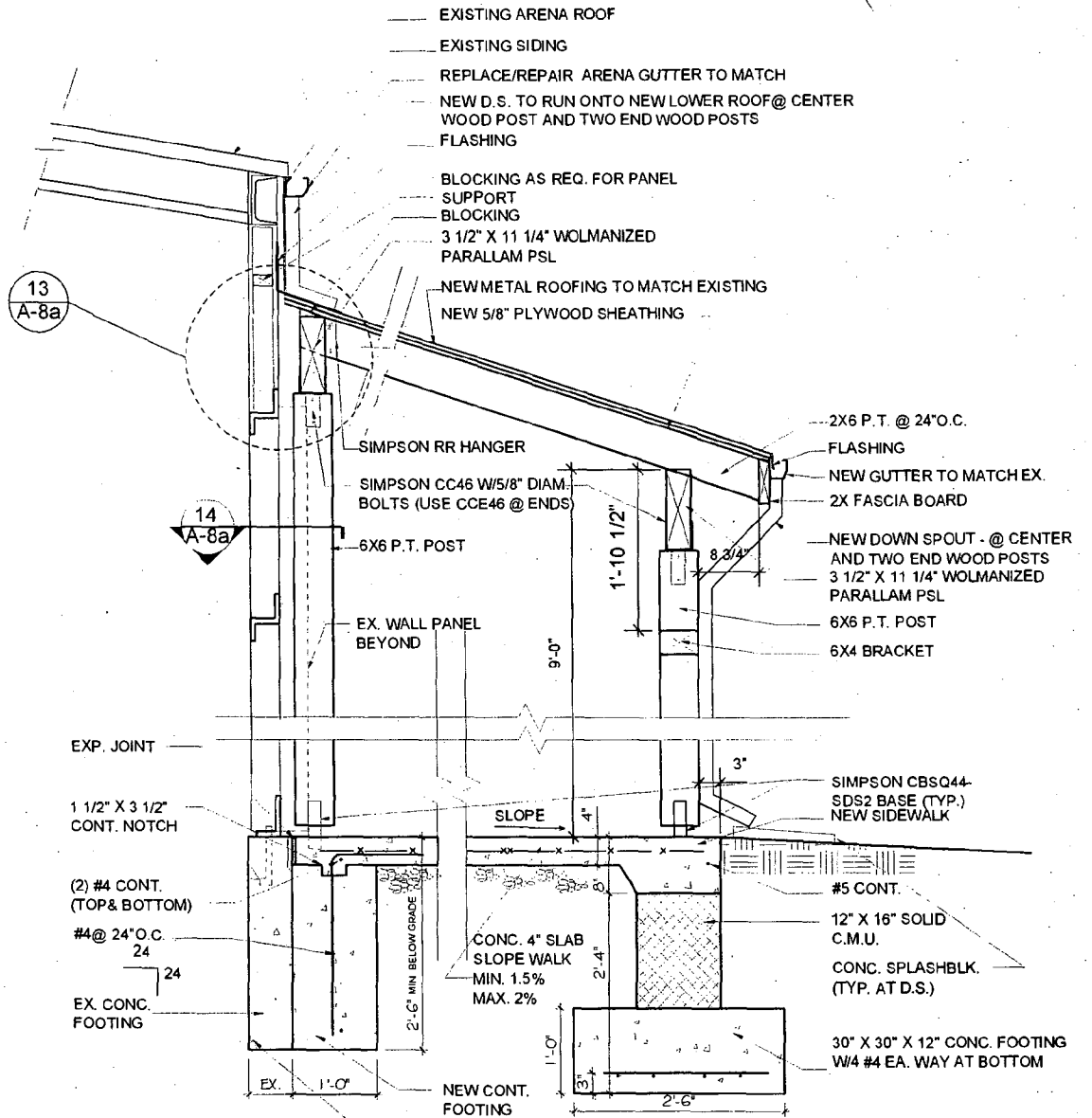
NOTE: IF FOOTING IS NOT CONT. ALONG ARENA BETWEEN RIGID FRAMES, THEN USE SAME FOOTING & FOUNDATION DETAIL AS AT EXTERIOR OF WALKWAY

SECTION THROUGH COVERED WALKWAY BETWEEN COLUMNS
 SCALE: 3/4" = 1'-0"

12 A-8a



11 ELEV
A-8a SCAL



NOTE: IF FOOTING IS NOT CONT. ALONG ARENA BETWEEN RIGID FRAMES, THEN USE SAME FOOTING & FOUNDATION DETAIL AS AT EXTERIOR COLUMNS

SECTION THROUGH

COVERED WALKWAY AT COLUMN

SCALE: 3/4" = 1'-0"

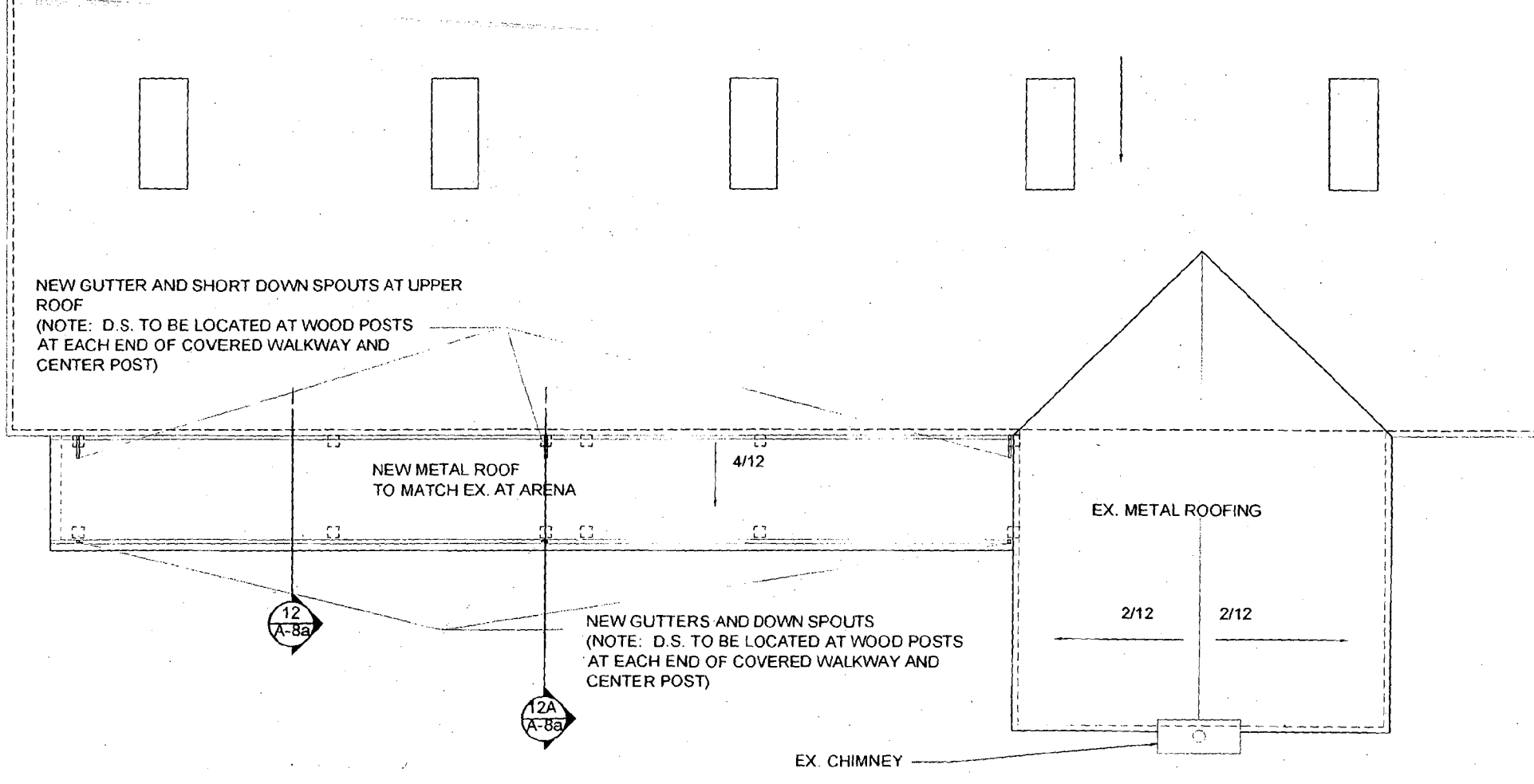
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RICKMAN FARM HORSE PARK
8-17-04

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ROOF PLAN
 1/8" = 1'-0"

RICKMAN FARM HORSE PARK
 8-17-04

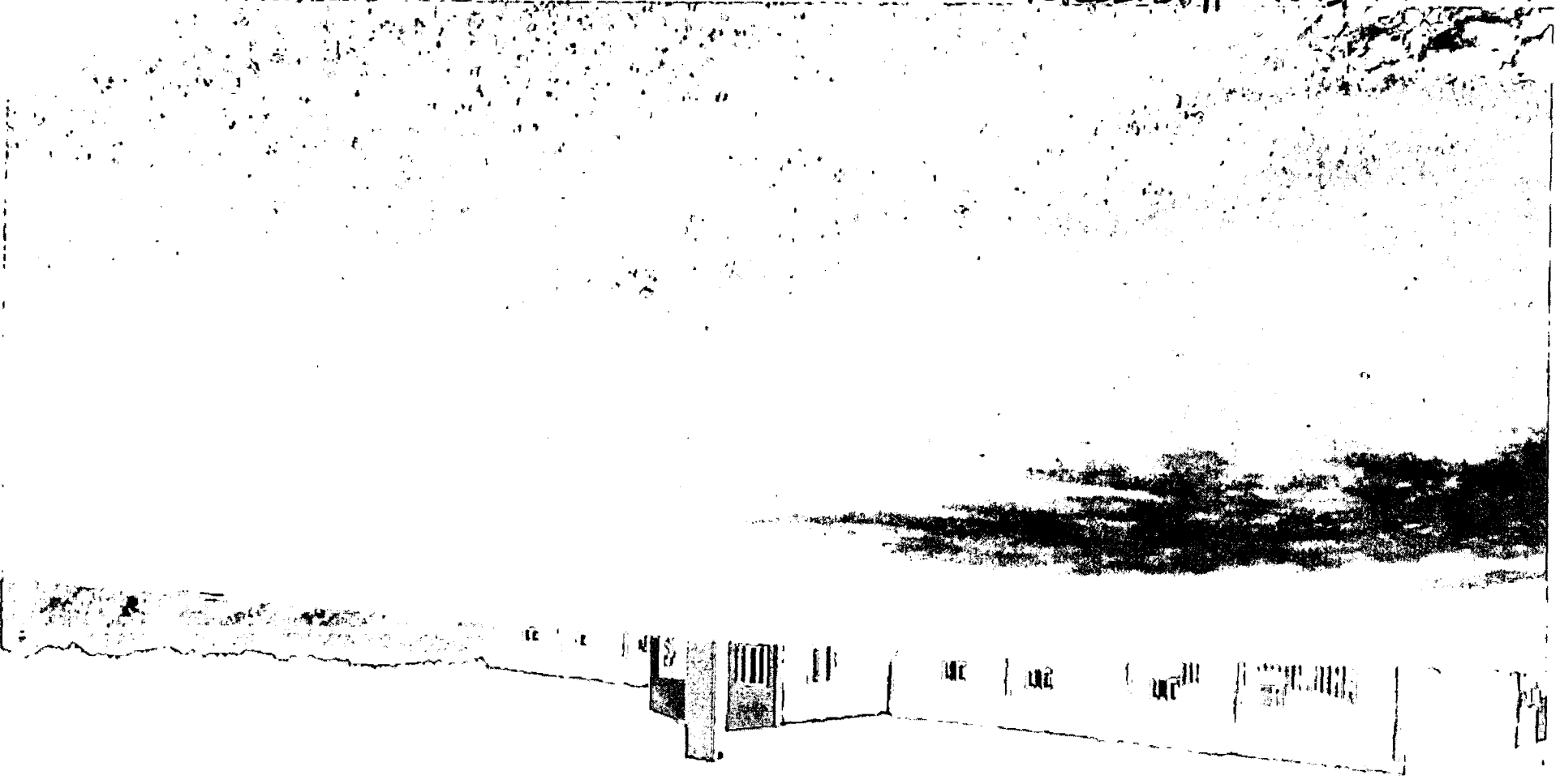
The Maryland-National C

14

20

RICKMAN FARM HORSE PARK

VIEW LOOKING AT EXISTING SOUTH
ELEVATION



20



(12)

RICKMAN FARM HORSE PARK

VIEW LOOKING AT SIDE WHERE
PROPOSED COVERED WALKWAY IS PLANNED