

19/13-03 A Parcel 277
(Germantown Historic District)

II G

III A

Michels

III A 19/13-03A

9/3/04

Signed

new site plan.

Mrs. Forst will
be sending me

new Dwg -

she only had
2 copies of the plan.



Fax Cover Sheet

FedEx Kinko's of Anytown Telephone: 301.515.8955 Fax: 301.515.8974

Date 8.17.04 Number of pages 4 (including cover page)

To:
Name Michelle Naru
Company _____
Telephone _____
Fax 301-563-3412

From:
Name Debra R Forst
Company _____
Telephone 301-353-0698

Comments

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DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan
County Executive

August 9, 2004

Robert C. Hubbard
Director

Albert and Debra Forst
19310 Mateny Hill Road
Germantown, Maryland 20874

Re: Permit # 344013

Dear Mr. and Mrs. Forst:

This letter is in reference to your residential building permit application. The following information is required in order to complete the zoning review of your plans. Please submit the following information as soon as possible.

1. Provide the lots and setbacks distances used to determine the established building line. *Established building line:* A front yard building line which is greater than the minimum setback required for structures in a designated zone. The buildings considered in determining the established building line must: be within 300 feet of the side property line of the proposed construction site (excluding corner lots); be along the same side of the street; be between intersecting streets; exist at the time when the building permit application is filed; not be nonconforming, unlawfully constructed, or constructed pursuant to a lawfully granted variance; and not be located on a pipestem or flag-shaped lot or a corner lot.
2. All accessory buildings must be located in the rear yard (behind the house). Minimum setbacks for an accessory building in the R-200 zone is: side setback 12 feet, rear setback 7 feet. Revise site plan and submit 2 copies.

If you have any questions, please contact me at (240) 777-6250, fax (240) 777-6263 or my email address is robin.ferro@montgomerycountymd.gov.

Sincerely,

Robin R. Ferro
Permitting Services Specialist



August 17, 2004

Re: Permit # 344013
19230 Mateny Hill RD
Germantown Maryland
20874

Dear Ms. Naru,

I am forwarding the letter from the Department of permitting which states that the garage (see 2.) to our new home must be moved back on the property to be in compliance with Montgomery County Zoning Laws.

The garage was resited 24 feet back from the previous location. O'Connell & Lawrence revised the site plans and have resubmitted to zoning. The new location of the garage will require the removal of additional trees on the property. However, we will plant new trees from the Maryland Species List to replace those that needed to be removed.

We would appreciate your permission to go forward with this new change so that we can finally get our permit to build our new home.

Sincerely,

Deborah R Forst



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: April 13, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Michele Naru, Senior Planner
Historic Preservation Section, M-NCPPC

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED with conditions**. The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

Conditions of Approval are:

1. The proposed windows will be simulated divided-light, vinyl clad, wood windows. Specification sheets for the proposed windows will be provided to staff for their approval.
2. Site drawings will be provided at time of permit showing total height and first floor height of the proposed buildings in relationship to the existing site. These drawings will also illustrate any proposed deviations from the current grades.
3. The applicants will work with M-NCPPC environmental planning staff to ensure the protection of the existing trees on the site.
4. The 24" elm is not removed from the site and as mitigation for the removal of the 16" elm, staff recommends that the applicants plant a tree (min. 2" in caliper) somewhere on the property. The tree to be planted must be selected from the Montgomery County Native Species List.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Albert and Deborah Forst

Address: Parcel 277, Mateny Hill Road, Germantown Historic District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work

May 09 03 03:21p

HISTORIC PRESERVATION

3015633412



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
288 ROCKVILLE PIKE, 8th FLOOR, ROCKVILLE, MD 20850
202/777-8370

DPS.#11

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Deborah R Forst
Daytime Phone No.: 301-353-0698

Tax Account No.: _____
Name of Property Owner: Deborah R & A J Forst Daytime Phone No.: 301-353-0698
Address: 19310 Mateny Hill Rd Germanatown MD 20874
Sheet Number City State Zip Code
Contractor: Ted Burkhardt Phone No.: _____
Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____
Address: _____
LOCATION OF BUILDING/PREMISE
House Number: 19310 (B) Street Mateny Hill Rd
Town/City: Germanatown Nearest Cross Street: _____
Lot: _____ Block: _____ Subdivision: _____
Label: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate AC Stair Floor Addition POWER Deck Shed
 Move Install Wreck/Retire Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revoke Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 350,000.00

1C. If this is a revision of a previously approved active permit, see Permit # No

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this as a condition for the issuance of this permit.

Deborah R Forst _____
Signature of owner or authorized agent Date: 5.09.03

Approved: W/CONDITIONS For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: Julia O'Malley Date: 4/13/04
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

New house to be constructed in Germantown
Historical District. This will be a 2 1/2 story, with
wraparound porch. This is a version of the Carpenter
Gothic Design at the turn of the century.
There is a small dilapidated shed on property. This
is the only existing structure.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

This house will fit beautifully in the Germantown
Historic District.

2. SITE PLAN

Site and environmental setting, shown to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, washchambers, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations (at least as large as 11" x 17", 1/4" or 3/16" scale as preferred).

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly labeled photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the drip-line of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONTIGUOUS PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and neighboring property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301) 779-1356.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



REAR ELEVATION

SCALE: 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia O'Malley
 4/17/04

CADDWORKS
 DESIGN DRAWING GRAPHICS
 302 WEST PATRICK STREET / FREDERICK, MD / 21701
 (301) 301-9578 (301) 301-9579
 (301) 301-9578 (M) WWW.CADDWORKS.NET

THE FORST RESIDENCE
 1930 MATENY HILL ROAD
 GERMANTOWN MARYLAND

SHEET NUMBER

A2

FILE: FORST_PLDWG
 DRAWN BY: PIPPEN
 DATE: 5/6/03



RIGHT-SIDE ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT-SIDE ELEVATION

• GARAGE BEYOND

SCALE: 1/4" = 1'-0"

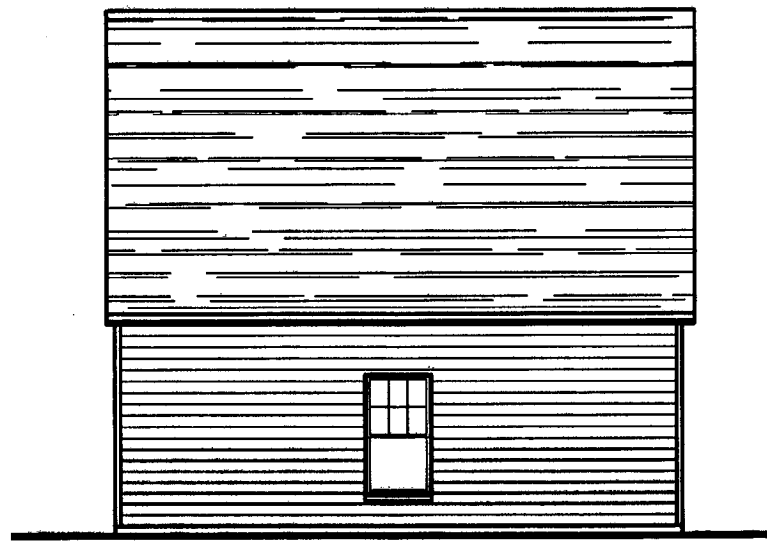
THE FORST RESIDENCE
 1930 MATENY HILL ROAD
 GERMANTOWN MARYLAND

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia O'Malley
 4/13/04

SHEET NUMBER

A3

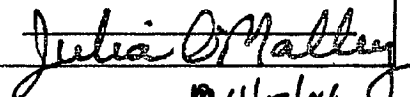
FILE: FORST_PLDWG
 DRAWN BY: PIPPEN
 DATE: 5/6/03



LEFT-SIDE ELEVATION
 • GARAGE
 SCALE: 1/4" = 1'-0"



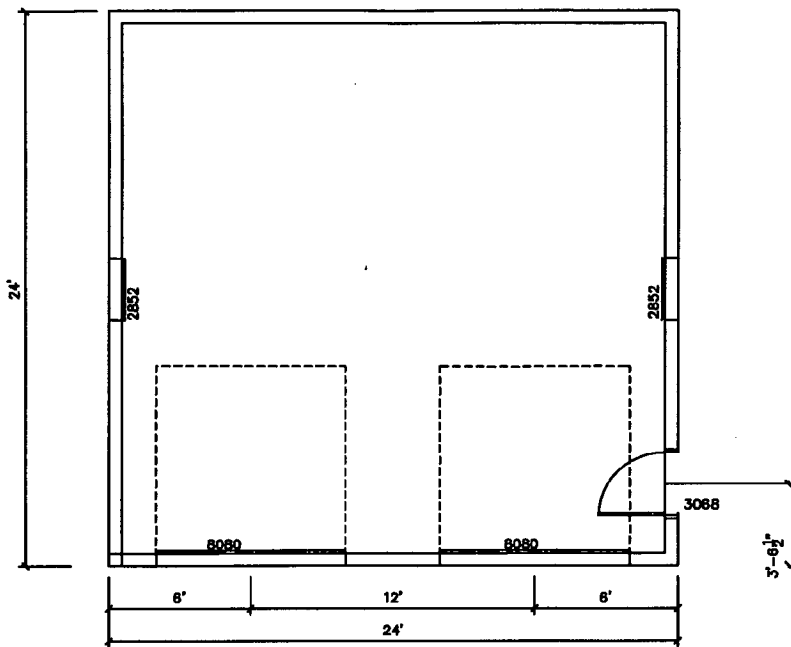
LEFT-SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

 4/13/04

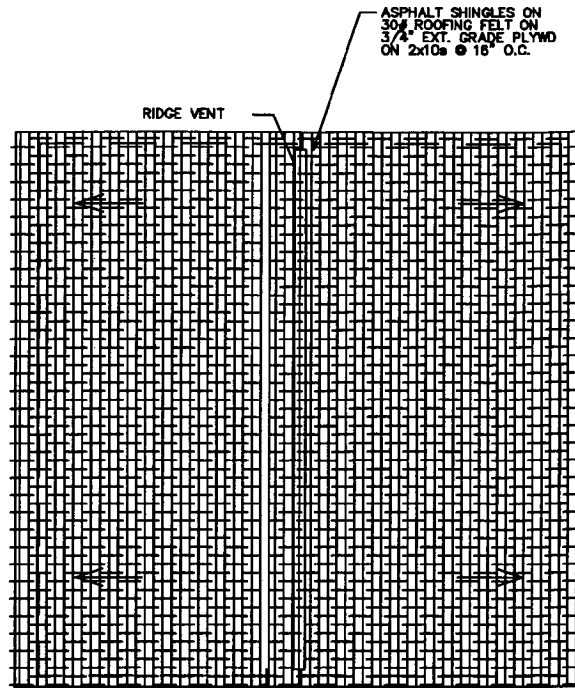
THE FORST RESIDENCE
 1920 MATENY HILL ROAD
 GERMANTOWN MARYLAND

SHEET NUMBER
A4

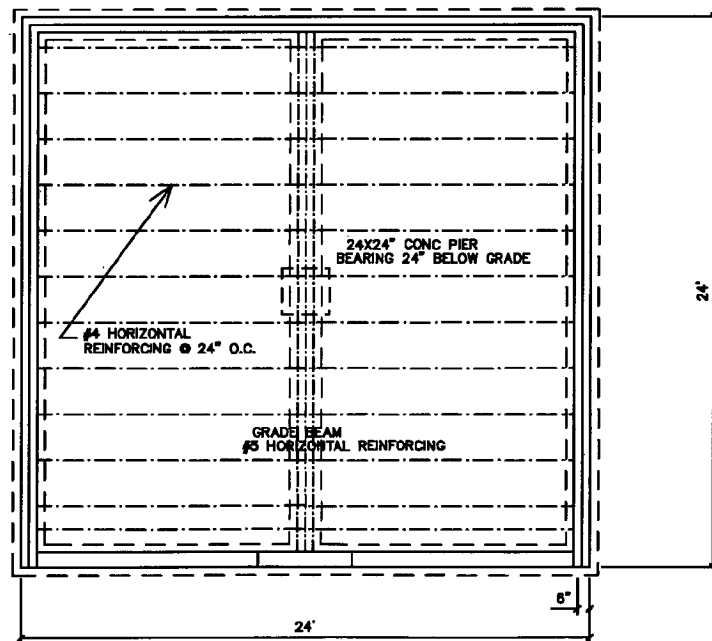
FILE: FORST_FILLING
 DRAWN BY: PIPPEN
 DATE: 5/6/03



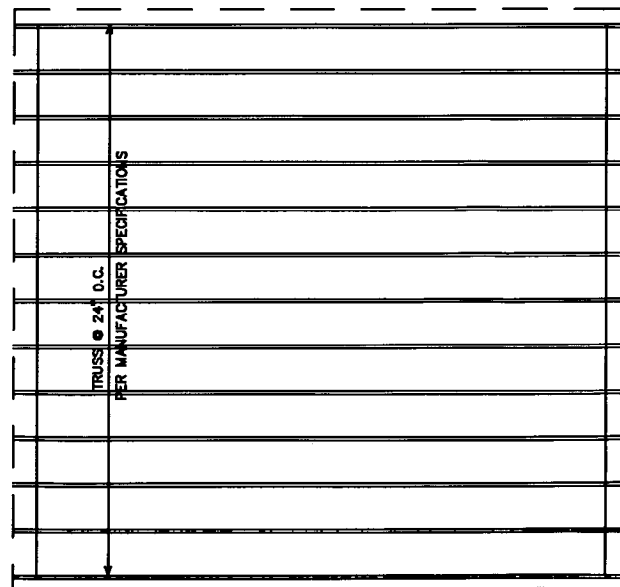
1 PROPOSED PLAN
SCALE: 1/8" = 1'-0"



2 PROPOSED ROOF PLAN
SCALE: 1/8" = 1'-0"

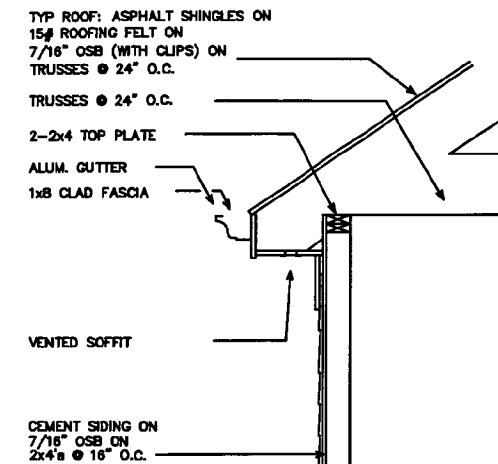


3 FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



4 TRUSS FRAMING PLAN
SCALE: 1/8" = 1'-0"

NOTE:
2-2x6 HDR @ WINDOWS & 3'0" DOOR
2-2x10 HDR @ O.H. DOORS

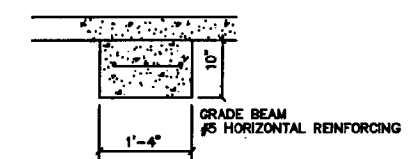


CEMENT SIDING ON 7/16" OSB ON 2x4s @ 16" O.C.

4" SLAB ON GRADE W/ 6x6 10/10 WWF ON 6 MIL POLY V.E. ON 4" CRUSHED STONE (MIN.)
EXPANSION BOARD
2x4 TREATED PLATE W/3/8" A.BOLT @ 4'-0" O.C.
GRADE

8" POURED WALL FOUNDATION WALL W/ #4 2 HORIZ. REINFORCING BARS
8x16" CONC. CONT. FOOTER W/ 2 #5 CONT. REINFORCING BARS

5 WALL SECTION @ SIDING
3/8" = 1'-0"



APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley
04/13/04

APPROVED FOR CONSTRUCTION

BY: _____
OWNER/PURCHASER
DATE: _____
BY: _____
CONTRACTOR/BUILDER
DATE: _____

25 FEB 04 REVISD
20 SEP 03 PRELIMINARY
DATE: ISSUE:

PROJECT:
FORST GARAGE
19230
MATENY HILL ROAD
GERMANTOWN, MARYLAND
20874
TWO CAR GARAGE
W/ ATTIC STORAGE

DRAWING TITLE:
PLANS,
SECTIONS
& DETAILS

SCALE: AS NOTED
DRAWN BY: TGL
PROJECT NUMBER: FORST

SHEET: 1.01

MODEL: CAMBRIDGE 7-Box

DRAWING: Cover Sheet

COPYRIGHT 1999
GERMANTOWN MD
North American Housing Corp.
CORPORATE HEADQUARTERS
5724 INDUSTRY LANE
FREDERICK, MD 21704
301-694-9100



DRAWN: M. Grimes
DATE: 12-14-01

SCALE: N/A

DESIGN CRITERIA

CLASSIFICATION RESIDENTIAL, 1&2 FAMILY DWELLING

TYPE 5B, UNPROTECTED WOOD FRAME

ROOF -LIVE LOAD = 30PSF
 ROOF -DEAD LOAD= 10PSF
 CEILING -DEAD LOAD= 5PSF
 FLOOR -LIVE LOAD= 40PSF/30PSF
 FLOOR -DEAD LOAD= 10PSF
 WIND LOAD = 90MPH

DOOR AND WINDOW INFILTRATION @ 25 MPH WIND.

- WINDOW CFM = .5/L.F. OF CRACK
 - DOOR CFM = 1./S.F. OF DOOR

THERMOSTAT CONTROL = 45 - 85 DEGREES FAREN.

AT = 80 DEG. FAREN.

FOUNDATION NOTES

- BUILDER/ERECTOR IS RESPONSIBLE FOR COMPLETE FOUNDATION INCLUDING BUT NOT LIMITED TO: SILL PLATE, ANCHOR BOLTS (STRAPS), WATERPROOFING, CONC. SLAB, FOOTINGS AND INSPECTIONS.
- FOUNDATION HAS BEEN CERTIFIED FOR SUPPORT PLACEMENT AND UPLIFT. ACTUAL FOUNDATION DESIGN SHALL BE BASED ON LOCAL SOIL CONDITIONS.
- FOUNDATION DIMENSIONS ARE SHOWN FRAME TO FRAME.
- ANY MODIFICATIONS REQUIRING FOUNDATION ADJUSTMENTS ARE THE SOLE RESPONSIBILITY OF THE BUILDER, INCLUDING BUT NOT LIMITED TO SIZING AND/OR THE PLACEMENT OF PIERS, COLUMNS, OR STRUCTURAL STEEL.
- CRAWL SPACE AND BASEMENT SHALL BE VENTED IN COMPLIANCE WITH THE LOCAL BUILDING REGULATIONS.
- SILLCOCK, VENT, ACCESS PANEL, BASM'T. SASH, AND ENTRY WAY ARE DETERMINED BY BUILDER IN FIELD.
- OUTSIDE ACCESS TO CRAWL SPACE SHALL BE IN COMPLIANCE WITH LOCAL BUILDING REGULATIONS.
- BUILDER IN FIELD TO FURNISH AND INSTALL A SMOKE DETECTOR IN THE BASEMENT TO WORK IN TANDEM WITH FIRST AND SECOND FLOOR WHERE APPLICABLE.
- WINDOWS AND DOORS SHOWN IN BASM'T. ARE NOT SUPPLIED WITH HOUSE PACKAGE AND ARE SHOWN AS SUGGESTION ONLY.
- OPTIONAL BSMT STAIRS (ONLY) SUPPLIED BY N.A.H.C. ANY MATERIAL NEEDED TO ENCLOSE AND FINISH STAIRWELL IS BY BUILDER IN FIELD. STAIRS AND/OR STAIR PLATFORMS WHICH COME IN DIRECT CONTACT WITH CONCRETE ARE TO BE SET ON POLYETHYLENE SHEETING OF MINIMUM 6-MIL THICKNESS.

GENERAL NOTES

(MATING WALLS DON'T CHANGE) AND DOORS, LIGHTS, ETC... ARE ADJUSTED ACCORDINGLY. THE WALL INSULATION IS INCREASED TO R-19 BATTS. THE FOOTPRINT DIMENSIONS ARE NOT AFFECTED. IN ATTICS AND ALL OTHER AREAS WHICH ARE NOT FINISHED BY NAHC, THE GABLE WALLS, KNEEWALLS, ETC... AS WELL AS DORMER WALLS WHICH ARE FINISHED OR UNFINISHED BY NAHC, REMAIN UNCHANGED IN OVER ALL SIZE WHEN THE 2X6 EXTERIOR WALL OPTION IS SELECTED.

- OVERFLOW PAN TO BE INSTALLED UNDER HOT WATER HEATER.
- TERMINATION OF THE HWH RELIEF OUTLET IS TO BE COMPLETED BY BUILDER IN FIELD ON SEPARATE DRAIN TO OUTSIDE OF HOUSE.
- PLANS AND SPECIFICATIONS ARE SUBJECT TO CHANGE WITHOUT NOTICE.
- N.A.H.C. RESERVES THE RIGHT TO SUBSTITUTE MATERIALS @ ITS SOLE OPTION WITHOUT NOTICE TO BUYER AND WITHOUT PREJUDICE TO SELLER.
- DUE TO HAULING RESTRICTIONS AND VARIOUS OTHER RESTRAINTS, CERTAIN ITEMS MUST BE SHIPPED LOOSE FOR INSTALLATION IN FIELD BY OTHERS (ie SIDING ON ENDS, BOW & BAY WINDOWS, FRONT DOOR OF A SPLIT FOYER, BSM'T STAIRS, ETC...) THESE ITEMS DO NOT CONSTITUTE A COMPLETE LIST, CONSULT YOUR R.S.M. WITH CONCERNS PERTAINING TO YOUR HOUSE. OPTIONS SELECTED AND/OR MODIFICATIONS MADE TO THE HOUSE MAY HAVE AN IMPACT ON ITEMS BEING INSTALLED OR SHIPPED LOOSE.

STATE CODES

2000 INTERNATIONAL RESIDENTIAL CODE
 STAIRS BUILT TO 92 CABO
 1999 NATIONAL ELECTRICAL CODE
 2000 INTERNATIONAL ENERGY CONSERVATION CODE
 2000 NFPA 101-LIFE SAFETY CODE

GENERAL NOTES

- THESE PLANS AND THE PROPERTY RIGHTS REPRESENTED BY THEM, ARE THE EXCLUSIVE PROPERTY OF NORTH AMERICAN HOUSING CORP. ANY UNAUTHORIZED USE OR DUPLICATION OF THEM WITHOUT THE EXPRESS WRITTEN CONSENT OF NORTH AMERICAN HOUSING CORP. IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULLEST EXTENT OF THE LAW.
- ALL STANDARD DRAWINGS AND DOCUMENTS ARE PER PLAN. IT IS THE BUILDER'S RESPONSIBILITY TO GET AN AS-BUILT DRAWING WHEN A REVERSE PLAN IS USED. A REVERSE FOUNDATION IS ONLY GIVEN OUT WITH EACH HOUSE ORDER ACCEPTED.
- ALL NOTES PERTAINING TO THE IN FIELD, SITE, BY "OTHERS" ARE THE BUILDERS/ERECTORS OBLIGATIONS AND ARE SUBJECT TO LOCAL INSPECTIONS.
- THESE PLANS ARE NOT TO BE SCALED FOR CONSTRUCTION PURPOSES. DIMENSION LINES AND NOTES WILL SUPERCEDE ALL SCALE REFERENCES.
- IT IS THE RESPONSIBILITY OF THE BUILDER/ERECTOR TO CHECK AND VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE BEFORE PROCEEDING WITH WORK.
- INSIGNIA LOCATION IS IN THE KITCHEN SINK CABINET.
- ALL COMPRESSION FITTINGS AND TRAP NUTS ARE NOT CONNECTED.
- WHERE APPLICABLE, IT IS MANDATORY FOR THE BUILDER TO COMPLETE THE LOWER LEVEL OF THIS HOME IN COMPLIANCE WITH LOCAL ENERGY CODE REQUIREMENTS.
- THESE DRAWINGS ARE SHOWN WITH 2X4 EXTERIOR WALLS. WHEN THE 2X6 EXTERIOR WALL OPTION IS SELECTED, THE INTERIOR SPACE IS REDUCED
- HANDRAIL INSTALLED ON SITE PER LOCAL CODES.

RSM:	STATE:	CO:	BUILDER:	JOB REF:	REV. #	REMARKS	DATE:	DRAWN:
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APPROVED
 Montgomery County
 Historic Preservation Commission
Julia O'Malley
 4/17/04

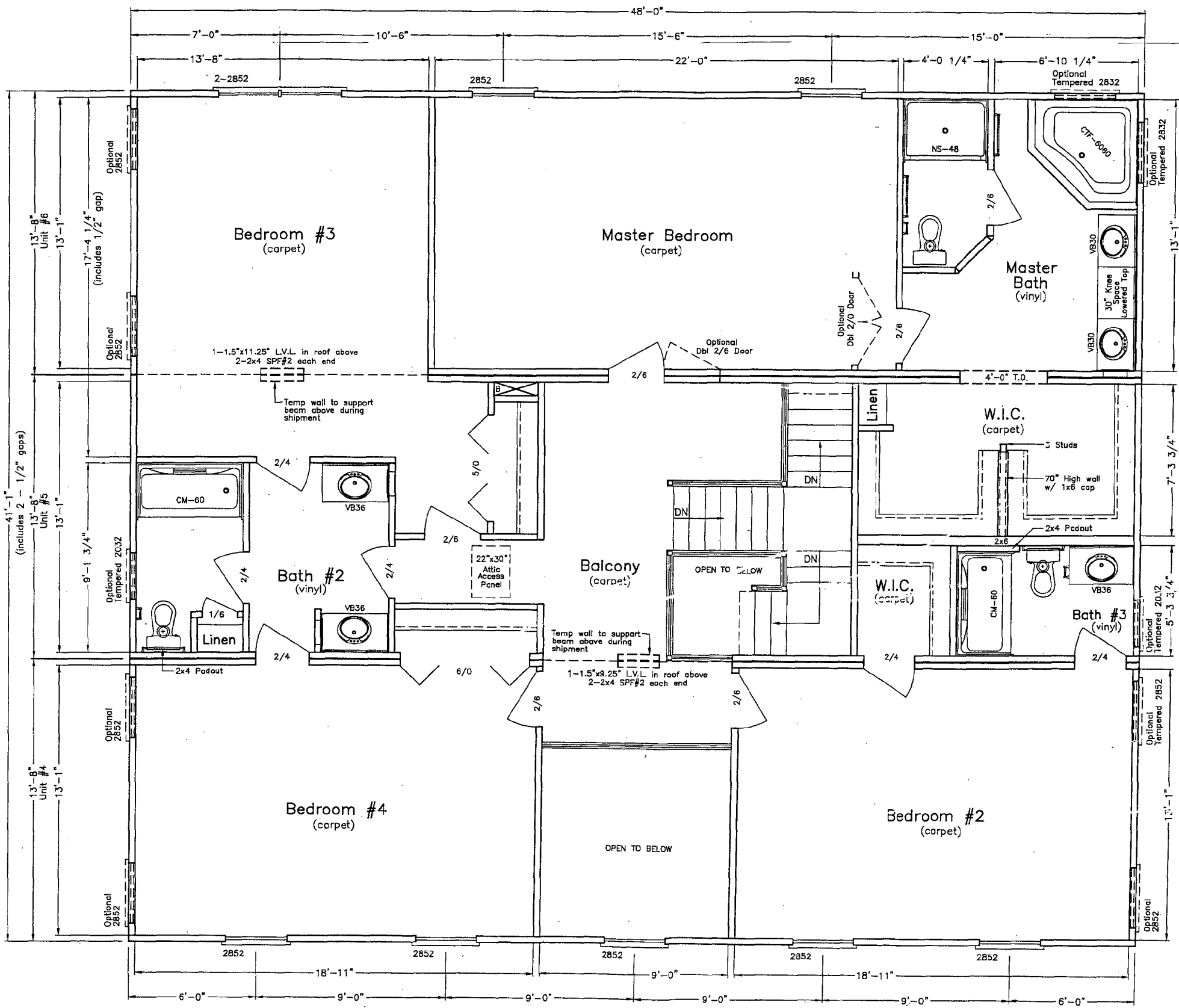


FIRST RESIDENCE 19230 MATENY HILL RD

IF THIS STAMP IS NOT RED IT IS AN ILLEGAL SET OF PLANS

REPRODUCTION OF THESE PLANS BY ANY MEANS IS PROHIBITED BY FEDERAL LAW. VIOLATIONS ARE PUNISHABLE BY FINES UP TO \$100,000 PER OFFENSE. CALL THE DESIGNER TO OBTAIN LEGAL COPIES OF THIS PLAN.

North American Housing Corp.
(301) 694-9100



SHEET #
3 of

MODEL:
CAMBRIDGE CONTROL #
FILE NAME

DRAWING:
2nd Floor Plan

North American Housing Corp.
CORPORATE HEADQUARTERS
5724 INDUSTRY LANE FREDERICK, MD 21704
301-694-9100

APPROVED
Montgomery County
Historic Preservation Commission

Julia O'Malley
04/13/04



DRAWN:
D. Cartrell
DATE:
6/26/03

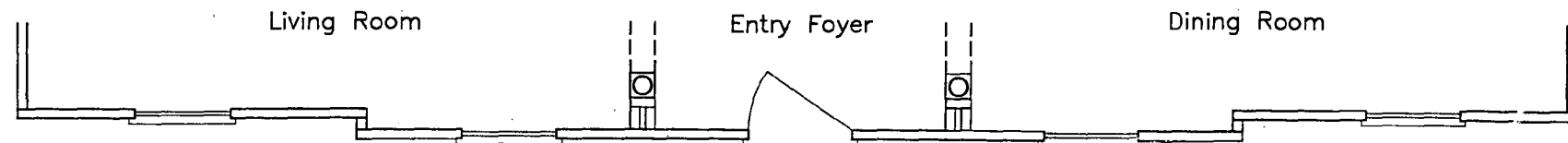
SCALE:
3/16"

RSM:	STATE:	CO:	BUILDER:	JOB REF:			
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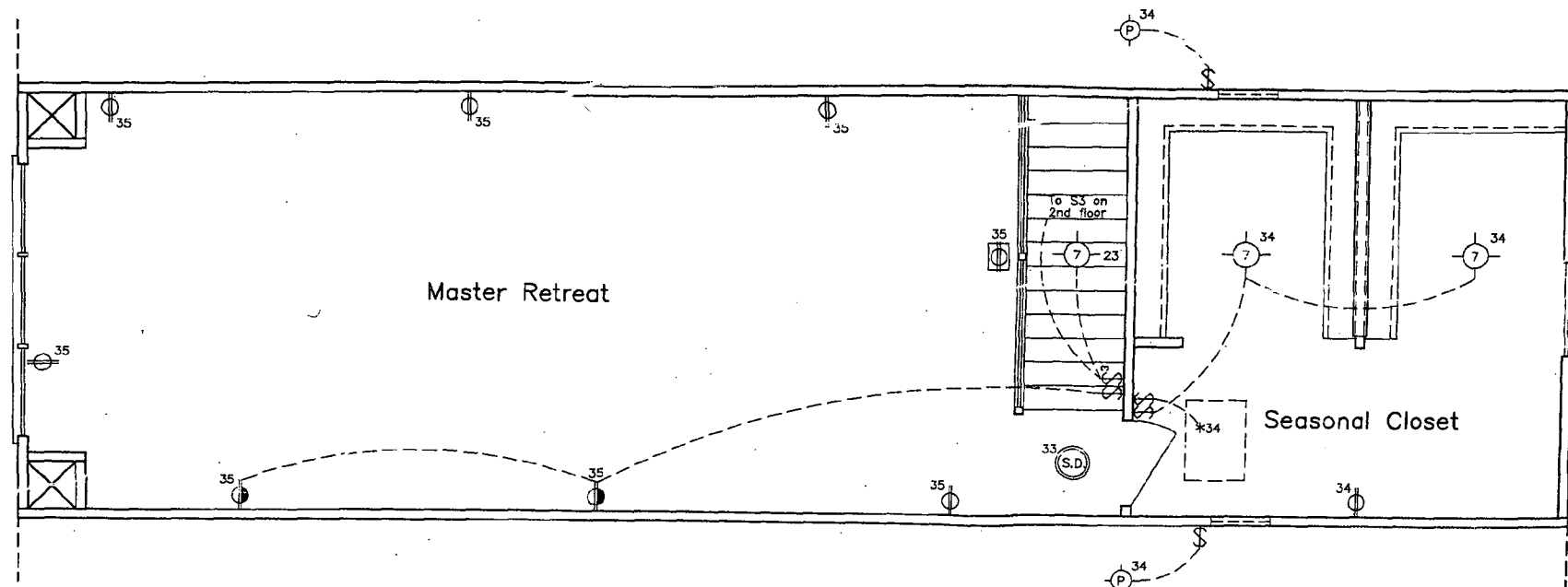
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3			
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1			



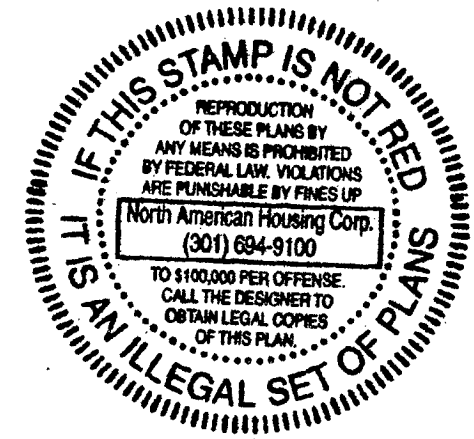
OPTIONAL 2ND FLOOR FRONT PROJECTION



OPTIONAL 1ST FLOOR FRONT PROJECTION



OPTIONAL 3rd FLOOR (WHERE APPROVED) WITH 9/12 ROOF AND STAIRS TO OPTIONAL MASTER RETREAT



* = Coil 20' of wire in attic for light above access (porcelain fixture)

All branch circuits supplying 15 and 20 ampere outlets in bedrooms are protected by an arc-fault circuit interrupter.

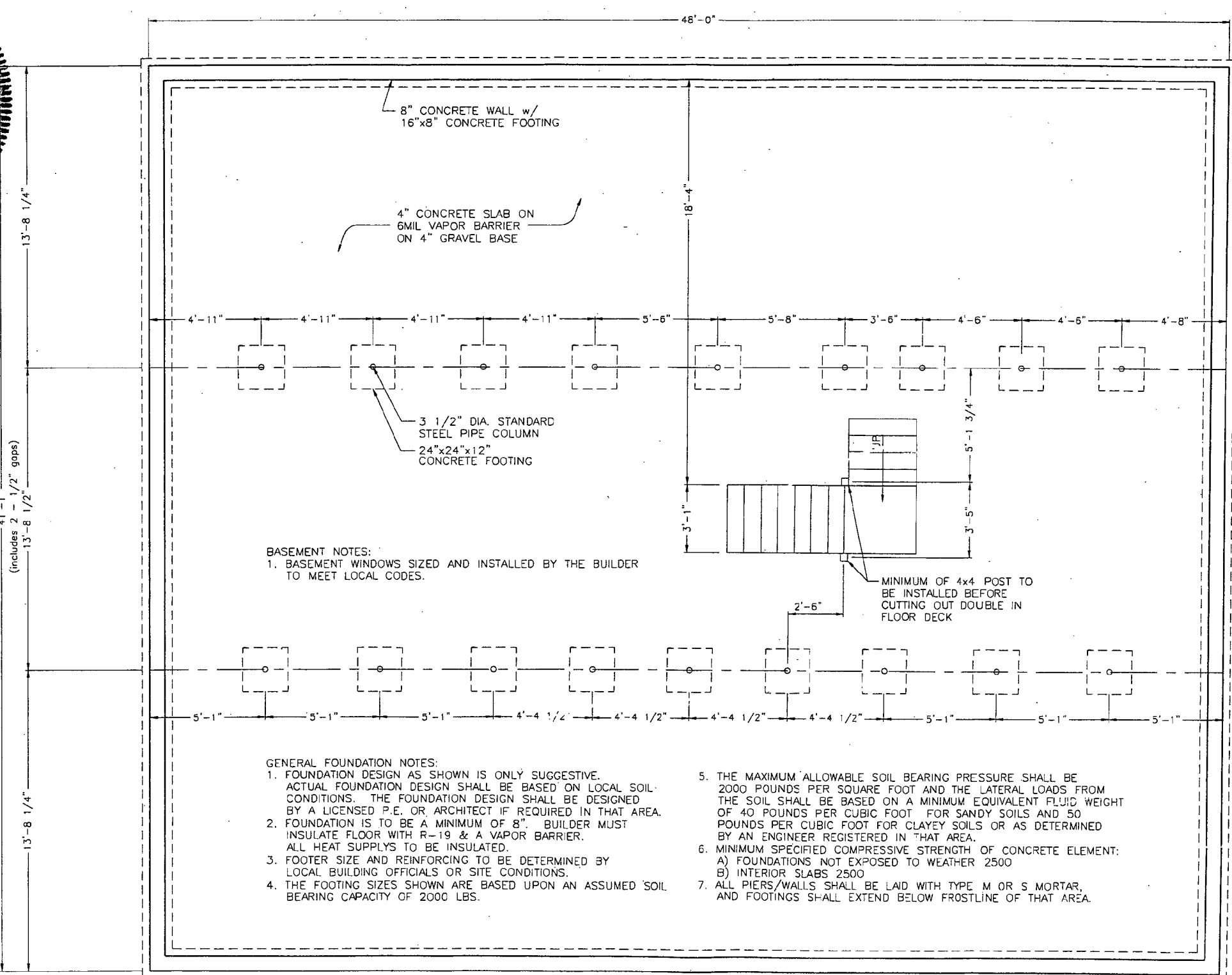
North Carolina Houses Only:

All branch circuits supplying 15 and 20 ampere outlets in bedrooms are protected by an arc-fault circuit interrupter in accordance with Section 210.12, 2002 NEC. This also includes circuits supplying power to ceiling fixtures and smoke detectors.

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley

6/17/04

RSM:	STATE:	CO:	BUILDER:	JOB REF:	REV. #	REMARKS	DATE:	DRAWN:
					4			
					3			
					2			
					1			

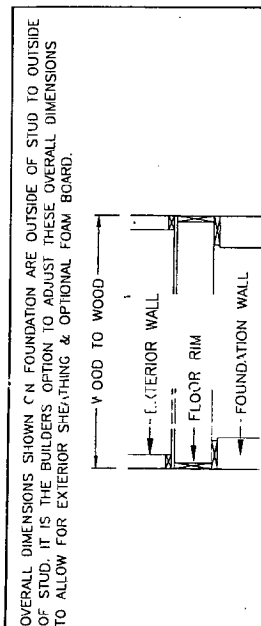


BASEMENT NOTES:
 1. BASEMENT WINDOWS SIZED AND INSTALLED BY THE BUILDER TO MEET LOCAL CODES.

GENERAL FOUNDATION NOTES:
 1. FOUNDATION DESIGN AS SHOWN IS ONLY SUGGESTIVE. ACTUAL FOUNDATION DESIGN SHALL BE BASED ON LOCAL SOIL CONDITIONS. THE FOUNDATION DESIGN SHALL BE DESIGNED BY A LICENSED P.E. OR ARCHITECT IF REQUIRED IN THAT AREA.
 2. FOUNDATION IS TO BE A MINIMUM OF 8". BUILDER MUST INSULATE FLOOR WITH R-19 & A VAPOR BARRIER. ALL HEAT SUPPLYS TO BE INSULATED.
 3. FOOTER SIZE AND REINFORCING TO BE DETERMINED BY LOCAL BUILDING OFFICIALS OR SITE CONDITIONS.
 4. THE FOOTING SIZES SHOWN ARE BASED UPON AN ASSUMED SOIL BEARING CAPACITY OF 2000 LBS.

5. THE MAXIMUM ALLOWABLE SOIL BEARING PRESSURE SHALL BE 2000 POUNDS PER SQUARE FOOT AND THE LATERAL LOADS FROM THE SOIL SHALL BE BASED ON A MINIMUM EQUIVALENT FLUID WEIGHT OF 40 POUNDS PER CUBIC FOOT FOR SANDY SOILS AND 50 POUNDS PER CUBIC FOOT FOR CLAYEY SOILS OR AS DETERMINED BY AN ENGINEER REGISTERED IN THAT AREA.
 6. MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE ELEMENT:
 A) FOUNDATIONS NOT EXPOSED TO WEATHER 2500
 B) INTERIOR SLABS 2500
 7. ALL PIERS/WALLS SHALL BE LAID WITH TYPE M OR S MORTAR, AND FOOTINGS SHALL EXTEND BELOW FROSTLINE OF THAT AREA.

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia O'Malley
 @4/13/04



BASEMENT
 SCALE: 3/16" = 1'-0"

RSM: STATE: CO: BUILDER: JOB REF: DATE: DRAWN:

4			
3			
2			
1			
REV. #		REMARKS	

SHEET # 5 of

MODEL: CAMBRIDGE CONTROL # FILE NAME

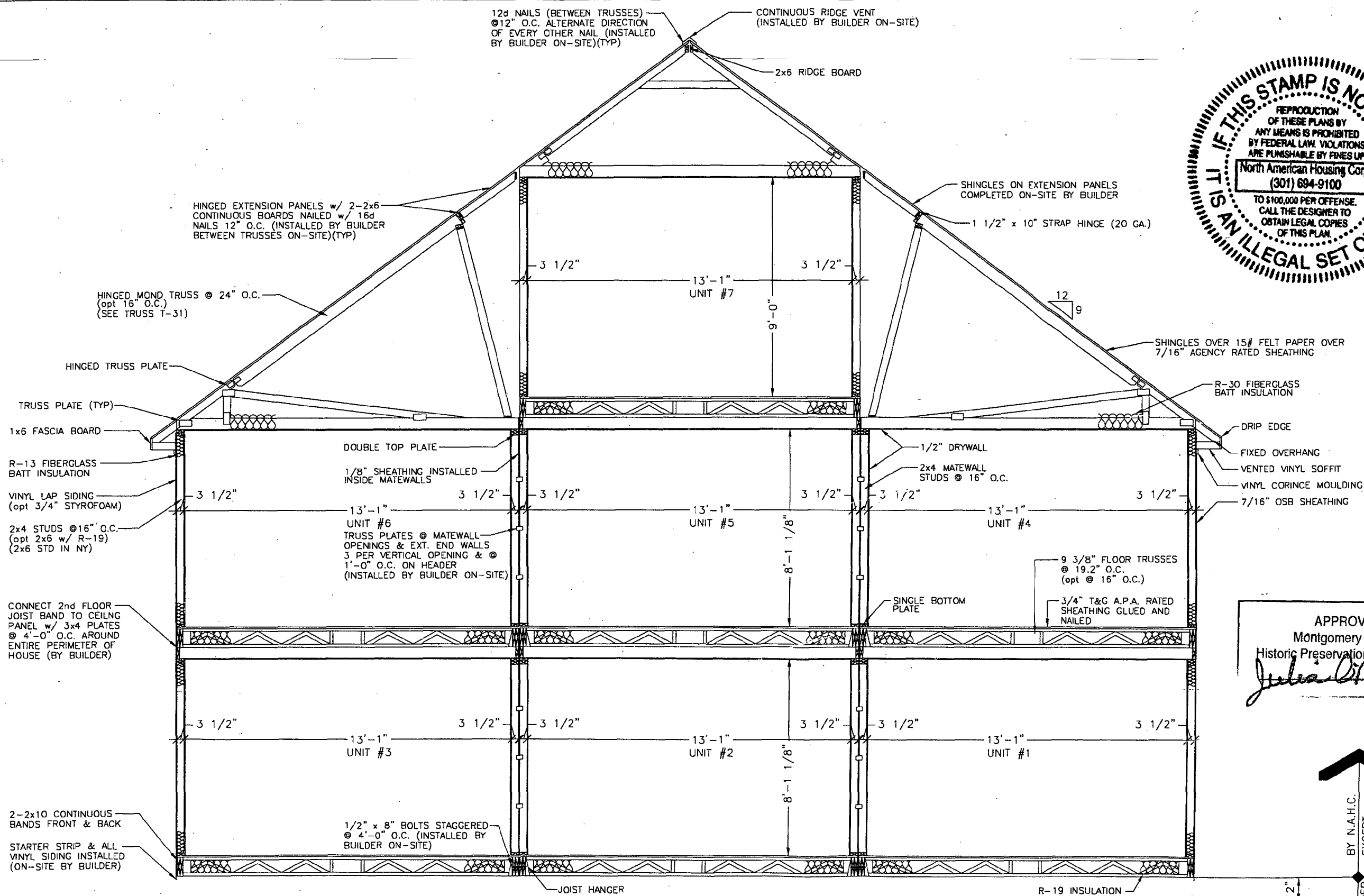
DRAWING: Foundation

North American Housing Corp.
 CORPORATE HEADQUARTERS
 5724 INDUSTRY LANE FREDERICK, MD 21704
 301-694-9100

North American Housing Corp.
 PROGRESS IN LIVING

DRAWN: D. Gortrell DATE: 6/26/03

SCALE: 3/16"



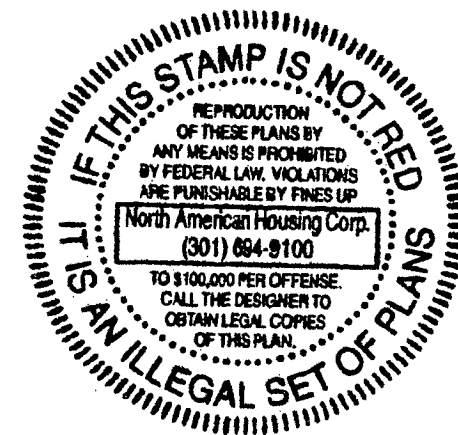
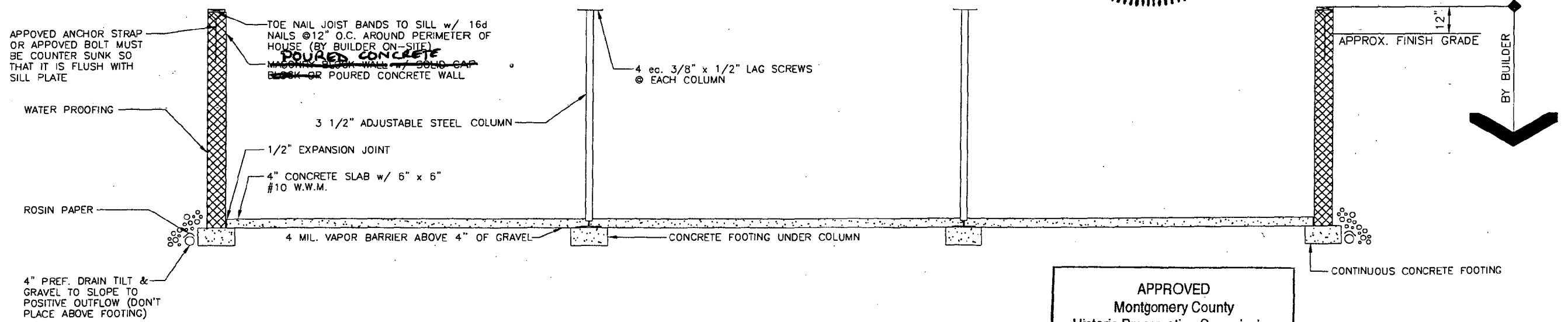
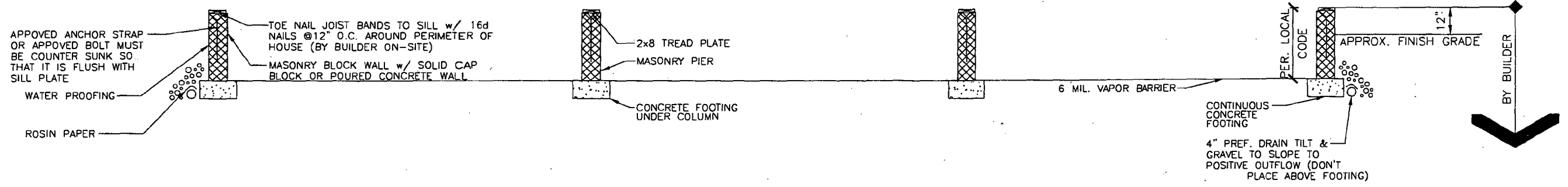
APPROVED
Montgomery County
Historic Preservation Commission
Julia D. Malley
4/17/04

BY N.A.H.C.
EXCEPT
AS NOTED
BY
BUILDER

SEE PAGE TWO FOR FOUNDATIONS

SEE FOUNDATION PLAN FOR SUGGESTED FOOTER SIZES, DIMENSIONS AND ADDITIONAL NOTES.

4			
3			
2			
1			
REV. #	RFM/RKS	DATE:	DRWN:

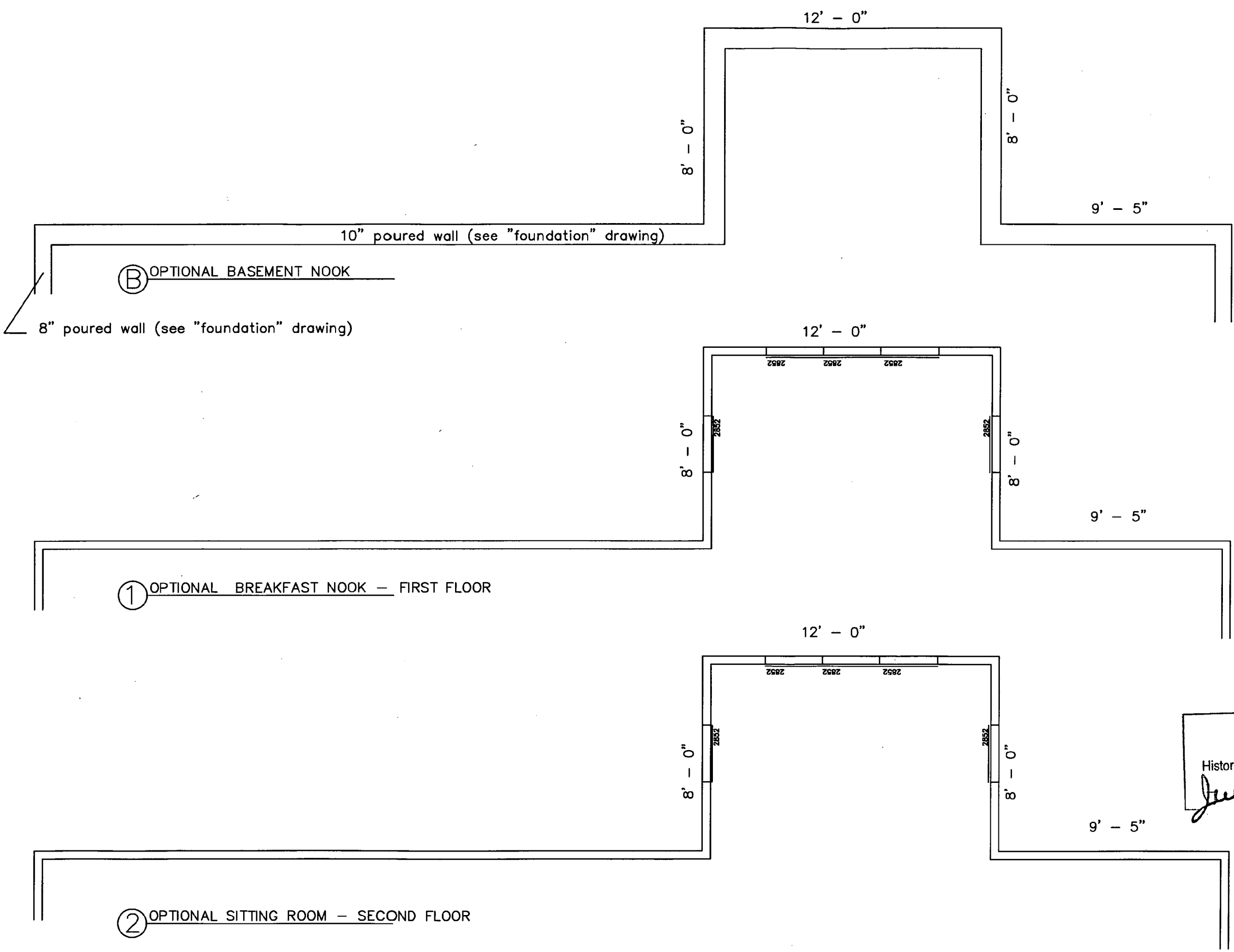


APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley
4/13/04

REV. #	REMARKS	DATE	DRAWN
4			
3			
2			
1			

SEE PAGE ONE FOR WALLS AND ROOF

SEE FOUNDATION PLAN FOR SUGGESTED FOOTER SIZES, DIMENSIONS AND ADDITIONAL NOTES.



① OPTIONAL BASEMENT NOOK

② OPTIONAL BREAKFAST NOOK — FIRST FLOOR

③ OPTIONAL SITTING ROOM — SECOND FLOOR

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia O'Malley
 4/13/04

APPROVED FOR CONSTRUCTION
 BY: _____
 OWNER/PURCHASER
 DATE: _____
 BY: _____
 CONTRACTOR/BUILDER
 DATE: _____

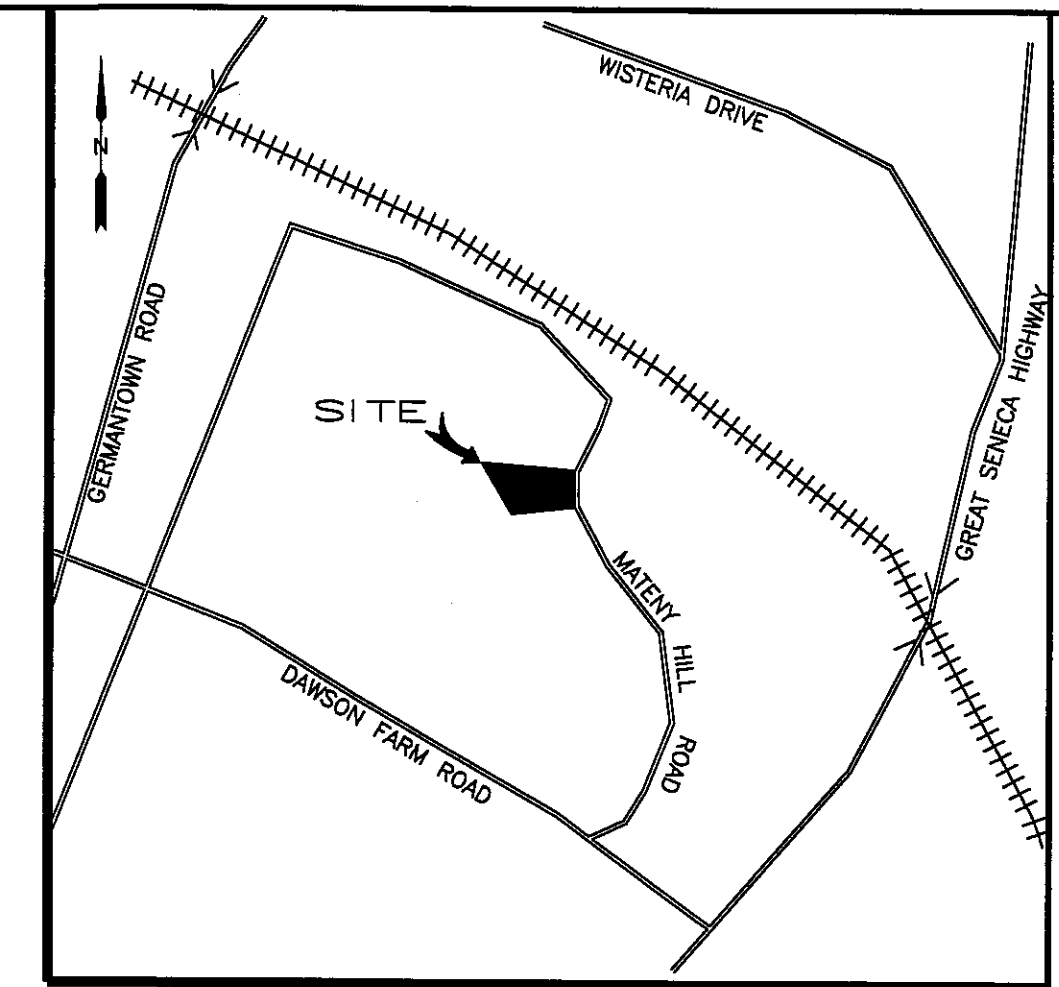
20 MAR 04
 DATE: _____
 PRELIMINARY
 ISSUE:

PROJECT:
 OPTIONAL
 ADDITION
 19230
 MATENY HILL ROAD
 GERMANTOWN, MARYLAND
 20874

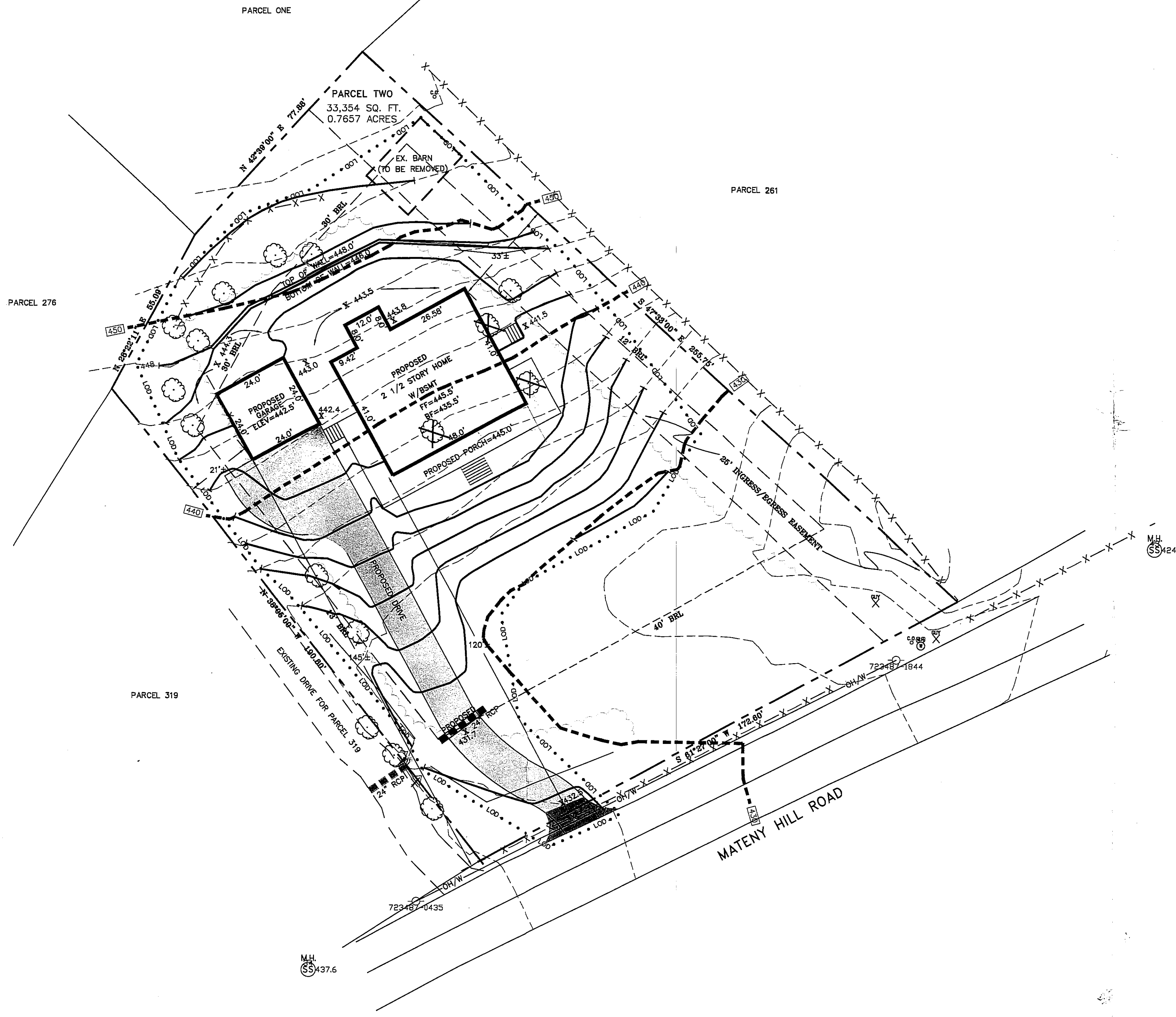
DRAWING TITLE:
 PLANS,
 SECTIONS
 & DETAILS

SCALE: 1 / 4"
 DRAWN BY: TGL
 PROJECT NUMBER: FORST

Sheet 8 of



VICINITY MAP
1"=2000'

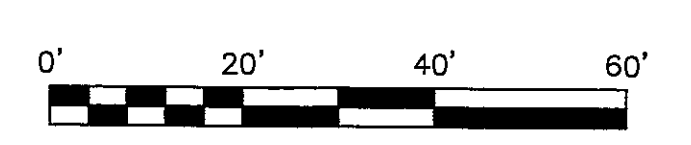


- General Notes
- Property Data
 Legal Reference (deed and/or subdivision record reference) CHESTNUT RIDGE L11783 F.551
 Parcel Area 33,354 SQUARE FEET OR 0.7657 ACRES
 Tax Map Parcel PARCEL 277 Grid EU 41
 Zoning R200
 Watershed GUNNERS BRANCH
 WSSC 200 sheet 225 NW 13
 ADC Map Page 18 Grid E3
 Water and Sewer Categories PUBLIC WATER AND SEWER
 Flood Plain FEMA Map 240049 0050 B date JULY 2, 1979
 - Existing Site Data
 Property lines shown hereon were taken from field observations and available records.
 This plan has been prepared without the benefit of a title examination.
 Horizontal datum shown hereon is ASSUMED
 Topography and existing features shown hereon has been compiled from field observations and available records.
 Vertical Datum shown hereon is WSSC.
 - Utilities Data
 Utilities locations shown hereon are available plans and field observations were surface indications exist. Digging of test pits at all future utility crossings is recommended.
 Contact "Miss Utility" at 1-800-257-7777, 48 hours prior to any excavation or construction.
 - Proposed Site Data
 Building Restriction Lines shown hereon were obtained from the Montgomery County Code, unless otherwise noted.
 Front 40' BRL
 Side ONE SIDE 12' 25' TOTAL
 Rear 30' BRL
 Area of disturbance
 Building footprint shown hereon was taken from plans provided by OWNER.
 Proposed usage RESIDENTIAL

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia O'Malley
W. H. Stat

LEGEND

- These standard symbols will be found in the drawing.
- ☐ CLEAN OUT
 - UTILITY POLE
 - ✕ GUY WIRE
 - ⊗ SANITARY SEWER MANHOLE
 - ⊕ WATER MANHOLE
 - ✕ EXISTING SPOT GRADE
 - ✕ PROPOSED SPOT GRADE
 - EXISTING CONTOUR
 - PROPOSED CONTOUR

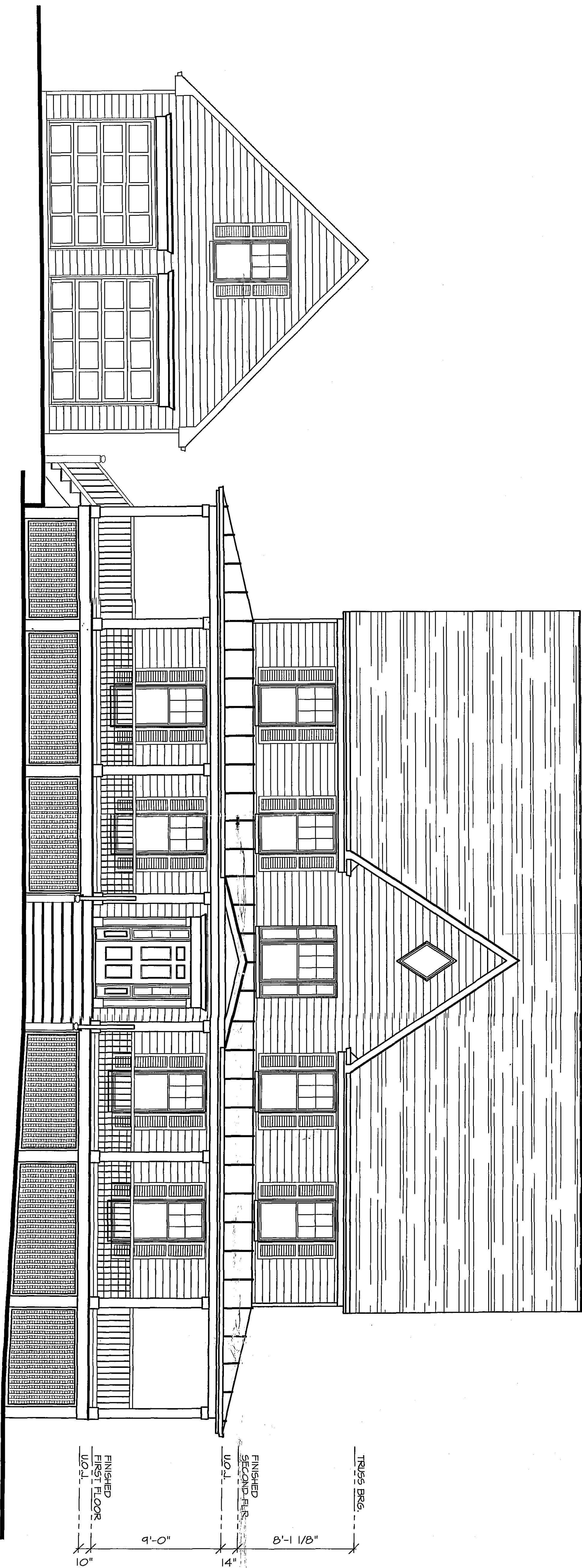


O'Connell & Lawrence, Inc.
 Construction Consultants, Engineers, Surveyors
 17904 Georgia Avenue, Suite 302
 Olney, Maryland 20832
 Tel: (301) 924-4570 • Fax: (301) 924-5872

LANDS OF
PARCEL TWO
 L 11783 F. 551
 P 277 MAP EU341 GRID EU41
 GERMANTOWN (9TH) ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND

**SITE DEVELOPMENT
 PLAN**

NO.	REVISION	DATE	BY
1	REVISE HOUSE DIMENSIONS	03/04	BB
2	REVISE PROPOSED CONTOURS		
DESIGN BY:	TL		
DRAWN BY:	BB		
CHECKED BY:	TL		
DATE:	06/20/03		
SCALE:	1" = 20'		
PROJECT/FILE NO.			
SHEET NO.	1 of 1		



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
Judith D. Hallen
 04/15/04

THE FORST RESIDENCE

1920 MATENY HILL ROAD
 GERMANTOWN MARYLAND

caddworks inc.
 DESIGN DRAFTING GRAPHICS
 332 WEST PATRICK STREET / FREDERICK, MD / 21701
 (V) 301.695.9121 (E) CADDWRKS@AOL.COM
 (F) 301.695.4868 (W) WWW.CADDWORKS.NET

SHEET NUMBER


A1

FILE: FORST_BLDG.DWG
 DRAWN BY: FTFFEN
 DATE: 5/6/03



CVS 1 Hour Photo

Date: _____ Subject: _____

016004  C 516004 C

Time returning for photos: _____ : _____ AM
PM

Customer Information

Last Initial: **F** **1415**
Twin One

Last Name: Forst First Name: Deb

Phone #: 301-333-0698 Date: 3-19-03

CVS 1 Hour Photo

Print Order

Singles Singles w/Picture Disk

Doubles Doubles w/Picture Disk

Index Print? Yes No

(Index prints are standard with APS orders)

Reprints/Enlargement (Be sure to specify Negative # and Quantity in the Special Instructions box below)


Film Size

35mm APS Cassette# _____

Print Size

4x6" (Standard) 3x5" 5x7" 8x10"

Special Instructions

SCAN THIS CODE  0 000001 00124 3

Print Quantity **27**

Price **7.59**

*Thank you
for choosing
CVS 1 Hour Photo*



WHEN YOU
CHECK THE
BOX AT
CVS



YOU
CAN BE
SURE IT'S
KODAK



77000





1927 Madeney Hill
(across from lot)



Lawson Farm House



Darwin Farm house
1915 Liberty Mill Rd



19124 Matony Hill Rd.



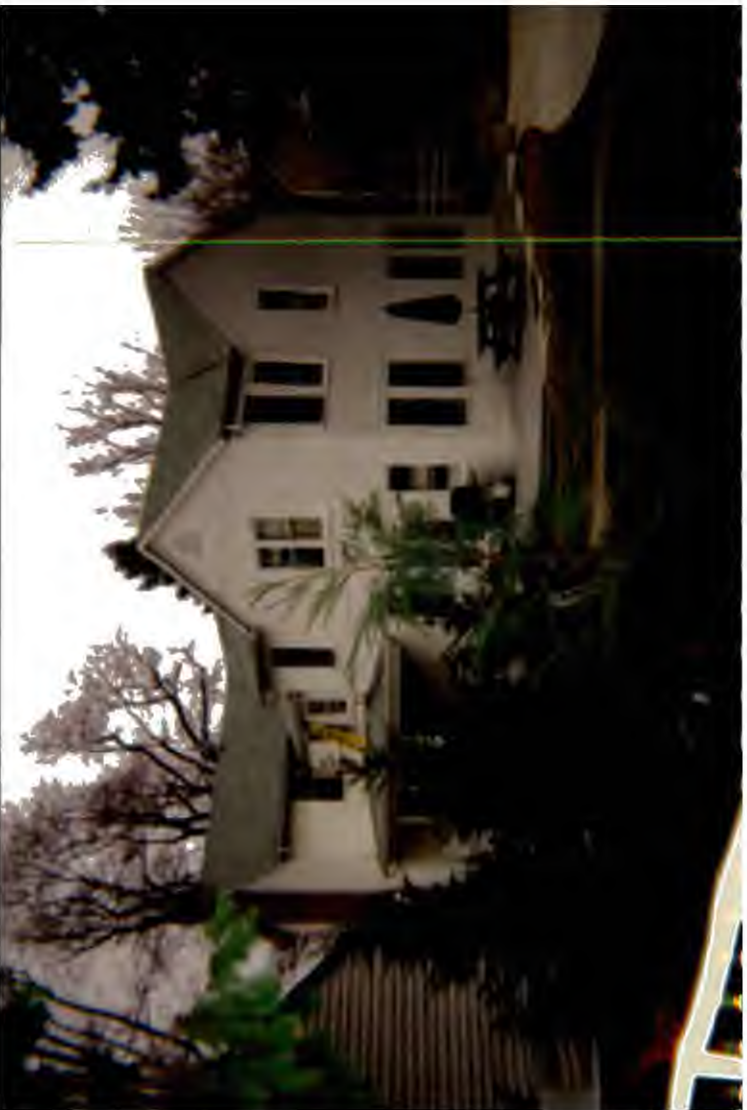
19124 Mateny Hill Rd



Dawson Farm House



19124 Mateny Hill Rd
Reproduction (used historic compass)



Rayfield / Browning
19215 BLUNT AVE



19209 Mateny Hill Rd
(across from lot)



19203 Mateny Hill Rd
Coccosco



19205 Mateny Hill Rd
(across from lot)



Householder

19220 Matewy Hill

Rambler adjacent $\frac{1}{4}$ acre lot

P 319

DN Left of Lot





HARRIS/ALINOT
1939D MARYBY HILL



Roughfield/Browning
House
19215 Blunt Ave
Historic District



Rayfield / Broussing House
19215 Blunt Ave
(Historic District)



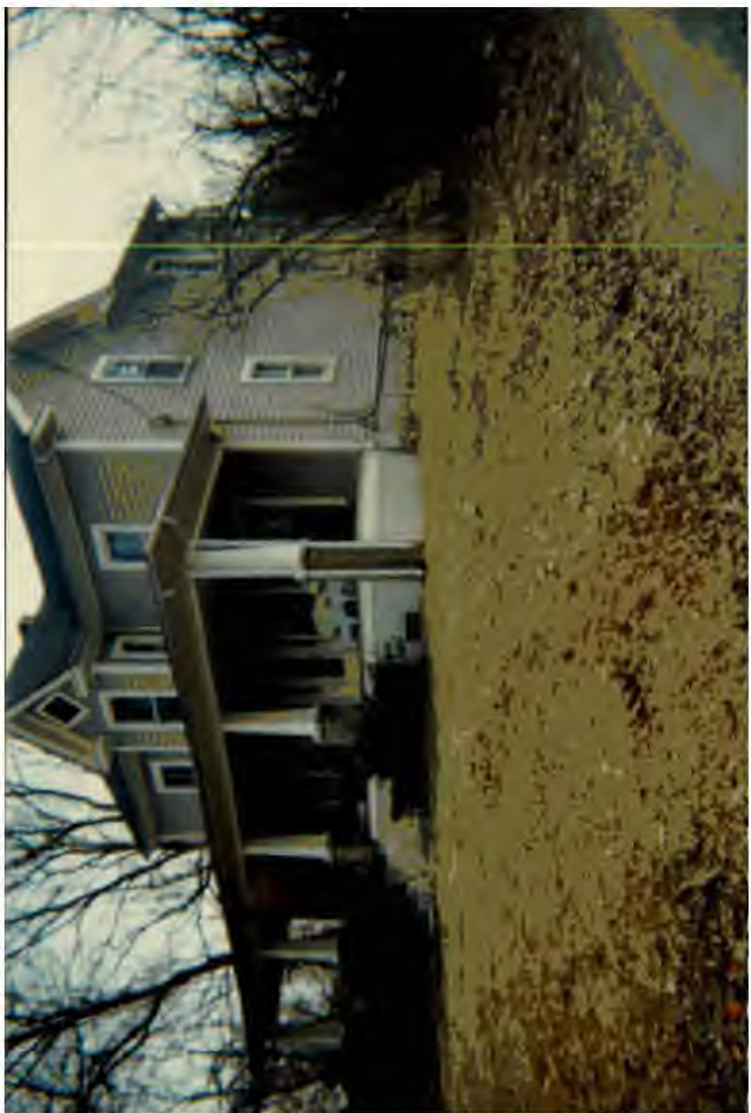
Rayfield Browning House
19215 Blunt Ave
(Historic District)



Johnson House
19310 Mateny Hill Rd.
(our house)

P223

BEHIND LOT



Johnson House
19310 Matony Hill Rd.
Beverly MD 20874
(our house)

P 223

BEHIND LOT





HARRIS/KLUFT

19300 MATTHEW HILL RD

#201

② OF LOT



HARRIS/ANKNOT House
19390 Madeny Hill Rd
(Hist Dist)

P201

Ⓜ OF LOT

June 24, 2003

Germantown Historical Society
P. O. Box 475
Germantown, MD 20875 - 0475

RE: Mateney Hill Road
Parcel 277
Forst Property

SURVEYOR'S GRADING STATEMENT

The proposed house and garage on parcel 277, Mateney Hill Road, is sited with consideration for the existing slope of the site. In order to minimize the impact on trees and adjacent properties, the proposed elevation for the house will require approximately seven risers to the first floor facing Mateney Hill Road and a minimum of three on the rear of the house. Soil from the rear of the house is planned to be used as fill to improve the grade in the front.

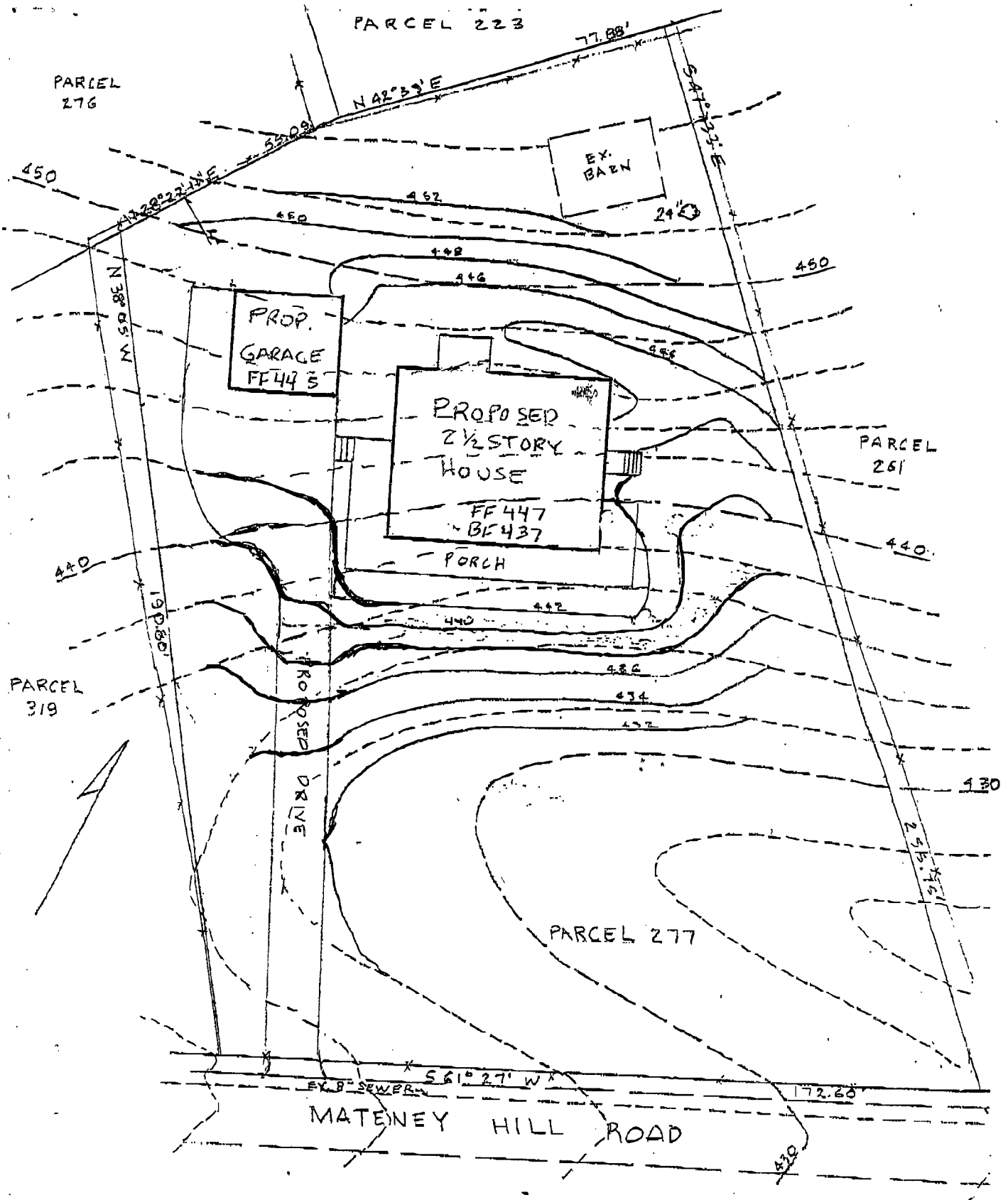
Lowering the house in order to reduce the number of risers in the front would negatively impact the trees and existing barn located at the rear of the property.

Sincerely,



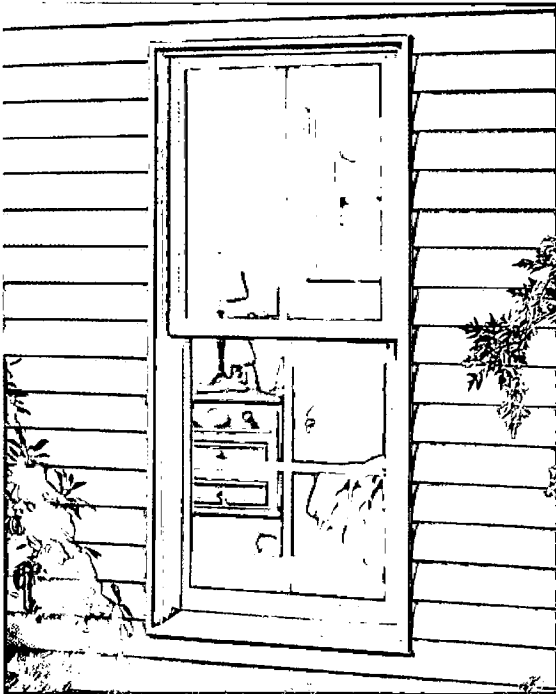
Jefferson D. Lawrence
Reg. Prof. Land Surveyor Number 5216





SCALE 1"=30'

MW V-Wood Double Hung Windows



Formed from leading-edge technologies, V-Wood Windows combine extruded all-vinyl sashes and a vinyl-clad wood frame to provide the latest in an efficient, paint-free window.



V-Wood is available in an optional Simulated-Divided-Light (SDL) configuration for those seeking a more architecturally refined appearance.



WINDOWS & DOORS

MW Manufacturers, Inc.
 PO Box 559 • Rocky Mount, VA 24151
 (800) 999-8888 • (540) 483-0211
 mwwindows.com

☒ Frame

- Exterior wood treated with water-repellent wood preservative and covered with rigid, form-fitting PVC vinyl cladding
- Exterior vinyl cladding with upper corner caps and lower corner covers for clean, distinctive appearance
- Convenient nailing fins with overlapping corners
- Prefinished cellular PVC inside stops
- Standard 4 9/16" jamb width eliminates need for extra drywall work

☒ Sashes

- All-vinyl construction, fully welded at the corners
- Extruded lift on lower sash meeting rail
- Flexible vinyl glazing bead seals against glass creating exterior weather seal
- Energy-efficient Warm-Edge insulating glass back-bedded in acrylic compound forming interior glazing seal

☒ Weather Stripping

- Bulb weather stripping at top, bottom and check rails for efficient performance and smooth, easy openings and closings
- Enhanced weatherability with foam pads precision-fit where top and bottom of balances meet the head and sill; and where check rails join together at the center of each balance

☒ Hardware

- White vinyl compression balances backed with full-width foam padding for convenient tilt-in cleaning of sashes
- Balances counter-balanced with quiet, adjustable springs for smooth up and down action
- Factory installed white cam-action sash lock engages keeper pulling sashes together
- Two locks standard on 3-0 widths and wider

☒ Options

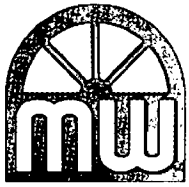
- Glass options include Low-E, Tinted, Low-E / Tinted, Low-E / Argon, and Tempered
- Classic muntin bar appearance with 1 1/4" Simulated Divided Lights (SDL)
- Grille-between-the-glass in flat 5/8" and 7/8" styles, as well as sculptured 5/8" style
- Jamb extensions to 6 9/16" width
- Prefinished cellular PVC sill stop available for "picture frame" style interior trim
- Full length, charcoal-color fiberglass screen with rigid aluminum frame available in white

☒ Performance

This product performed as follows when tested by MW:

- Tested for structural performance in accordance with AAMA/NWDA 101/I.S. 2-97 to a standard rating of H-R30; high-performance H-R45 versions available.
- Thermal performance:

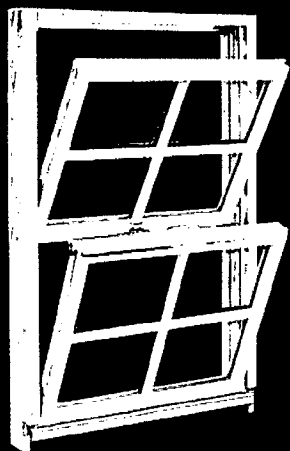
U Value	R Value
5/8" Clear	.50 2.00
5/8" Low-E	.40 2.50
5/8" Low-E/Argon	.33 3.03
- Air Infiltration: 0.18 CFM/FT.²



WINDOWS & DOORS

DUAL TILT-IN CONVENIENCE

Ideal for today's active lifestyles, V-Wood's innovative design features fully welded all-vinyl sash, and a 4-9/16" wide preservative-treated wood frame protected with a virtually maintenance-free vinyl exterior cladding. MW's V-Wood Double Hung Window features cellular PVC interior stops and vinyl balances for paint-free convenience.



Standard vinyl compression balance system allows convenient, safe removal of sash. Optional EZ-Tilt one touch tilt latch available.

VWood[®] The Beauty of Clad.
VINYL CLAD WINDOWS The Convenience of Vinyl.

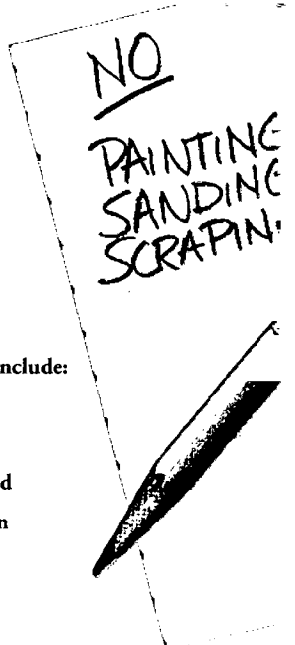
OPTIONAL Features

• Glass options include:

- Low-E
- Tinted
- Low-E / Tinted
- Low-E / Argon
- Tempered
- Obscure



- Simulated Divided Lite (SDL) for an architecturally refined appearance. Available with optional shadow bar
- Color matched extension jambs to 6-9/16"
- Inverted block & tackle EZ-Tilt balance and tilt latch system ensures smooth operation.
- Classic divided light appearance with grille-between-the-glass in flat 7/8" and 5/8" styles, and sculptured 5/8" style (shown)



Double Hung, Casement, Singles, Twins, Stationary, Combinations, Bays and a large selection of Architectural Shapes

TESTING & PERFORMANCE DATA

Tested in accordance with ASTM E 330 and Design Pressure (DP) Rated in Accordance with International Residential Code 2000 and witnessed by an independent AAMA accredited lab.

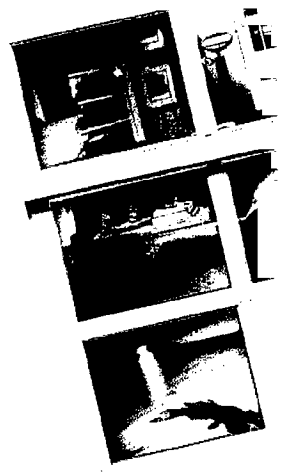
DP 30 standard
DP 45 upgrade with storm guard package
DP 50 available with EZ-Tilt option (sizes 3-0 x 6-2 and smaller)

	U Value	R Value
5/8" Clear...	.50	2.00
5/8" Low-E...	.37	2.70
5/8" Low-E / Argon	.33	3.03



WINDOWS & DOORS

VWood[®] The Beauty of Clad.
VINYL CLAD WINDOWS The Convenience of Vinyl.



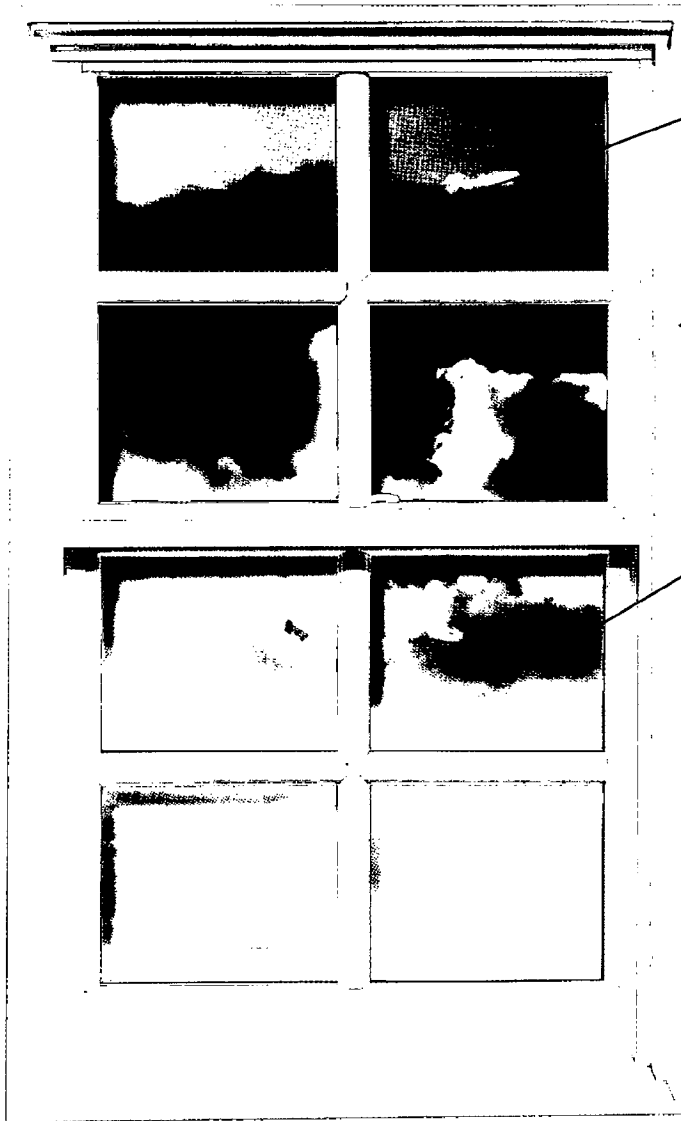
STANDARD

Features

CONTRACTOR PREFERRED

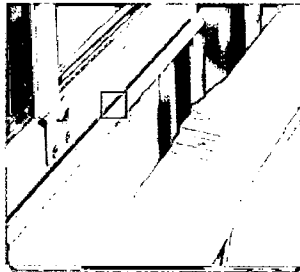
V-Wood's technology-driven construction offers additional value to the contractor. The all-vinyl exterior, PVC interior stops and vinyl balances are pre-finished in white, eliminating the need for paint on the window's frame or sash. Its full-depth frame accommodates standard building techniques so the need for extra drywall work is not necessary. Homeowners appreciate the finishing touch of rich, classic interior trim.

MW Manufacturers Inc.
P.O. Box 559
Rocky Mount, VA 24151
(800)999-8888 (540)483-0211
www.mwwindows.com

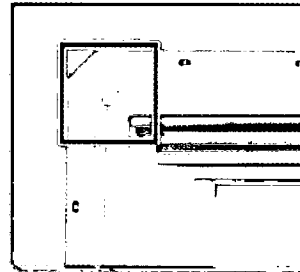


- All-vinyl sash creates larger daylight viewing area
- Wood frame is treated with water repellent preservative and covered with rigid, form-fitting PVC cladding
- Energy-efficient Warm Edge insulating glass back-bedded in acrylic compound forming interior glazing seal
- Standard 4-9/16" jamb width eliminates need for extra drywall work
- White cam-action sash lock engages keeper pulling sash tightly together

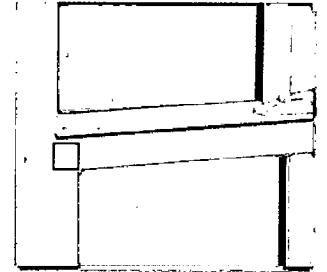
•Product is shown with optional SDL and EZ-Tilt



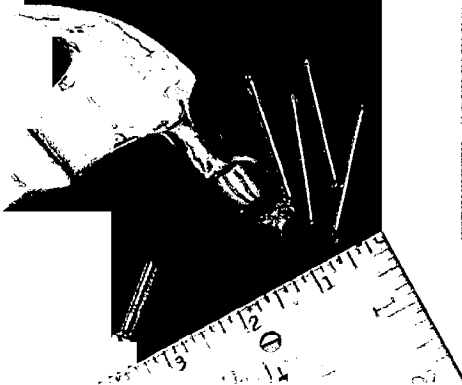
Robust interlock design satisfies forced entry requirements



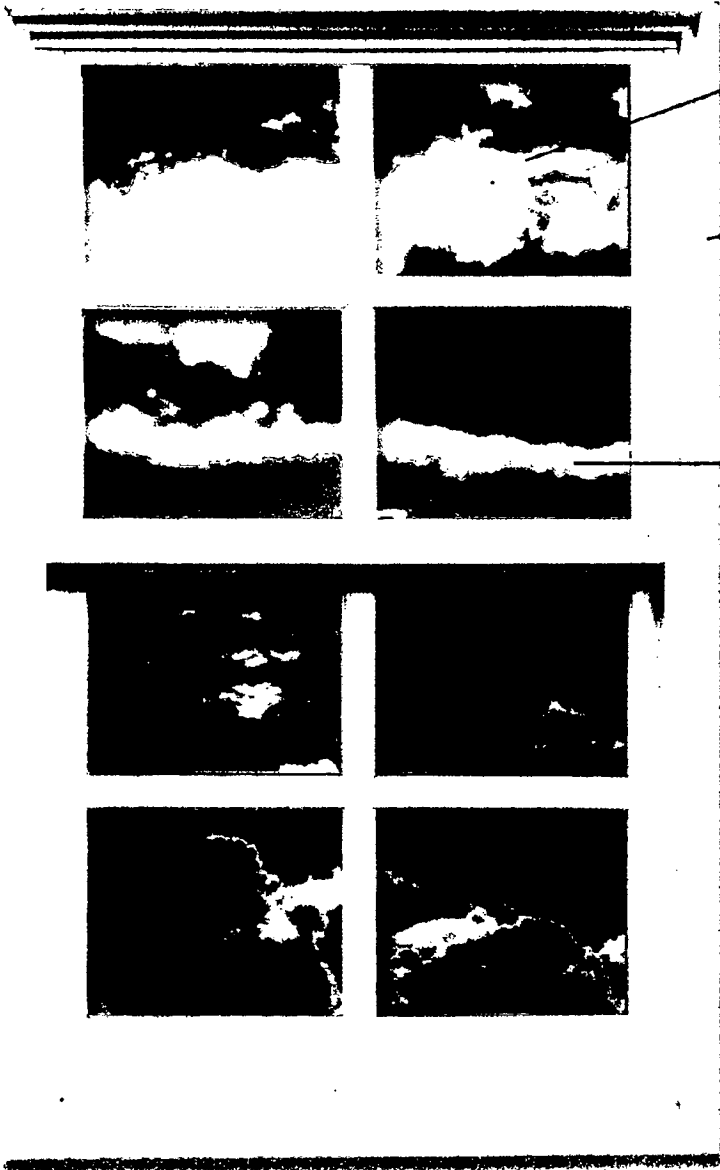
Nailing fin with overlapping corners make installation easy and provides continuous flashing for added weather protection



All-vinyl sash construction fully welded at corners



The Beauty of Clad -- The Convenience of Vinyl

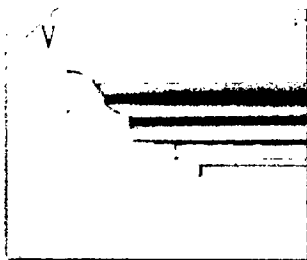


- All-vinyl sash creates larger daylight viewing area
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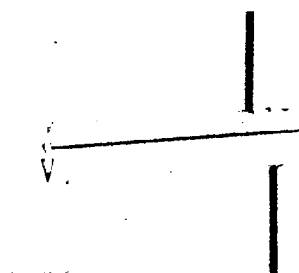
*Product is shown with optional SDL and EZ-Tilt



Robust interlock design
ensures forced



Nailing fin with overlapping corners make installation easy



All-vinyl sash construction
eliminates wood



Initial	Date (Fecha)	Time In	Time Promised	864467
Last Name (Apellido) Forst			Twin Check 9115	
First Name (Nombre) Deborah			Initials	
Phone (Telefono) 301-353-0698			QC / Pkg Initials	
Address (Domicilio) 19310 Matawcy Hill Rd			Order Number 2	
			Print Count 19 T	

Would you like...

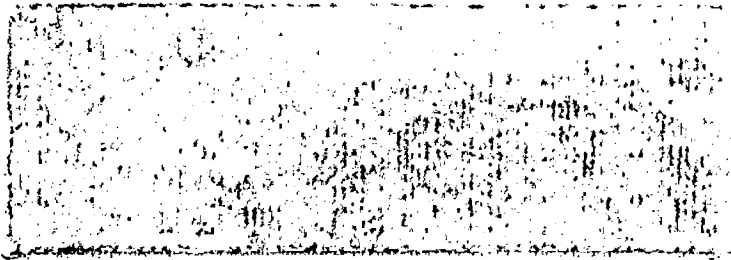
Double Prints? Y N
 Pictures on CD? Y N
 Index Print? Y N

Type	Brand	Frames	Special Instructions
<input type="checkbox"/> 35mm	<input type="checkbox"/> Fuji	<input type="checkbox"/> 12-15	
<input type="checkbox"/> 110	<input type="checkbox"/> Kodak	<input type="checkbox"/> 24-27	
<input type="checkbox"/> Digital	<input type="checkbox"/> APS	<input type="checkbox"/> 36-40	
<input type="checkbox"/> _____	<input type="checkbox"/> _____	<input type="checkbox"/> _____	

PRICE \$4.37
 04/15/04 09:54
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 FOR SHOPPING
 AT WAL-MART
 PHOTO CENTER
 DEPT 85

6 REG. FILM DEV. 19 4.37
 TOTAL \$ 4.37





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NOT RESPONSIBLE FOR FILM LEFT OVER 30 DAYS.

GENEON
ENVELOPE®
SEAL 'N RESEAL®

Date: / /

Event: _____

Notes: _____

WAL★MART®

1-Hour Photo



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No. 13

42415







BB (1) 34425 144- | 3300

Woe 2-

42417



001 -01 000003 (1111) 0000

(No. 00)

424 14

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	Parcel 277, Mateny Hill Rd	Meeting Date:	06/25/03
Applicant:	Albert and Deborah Forst	Report Date:	06/18/03
Resource:	Germantown Historic District	Public Notice:	06/11/03
Review:	HAWP	Tax Credit:	None
Case Number:	19/13-03A	Staff:	Michele Naru
PROPOSAL:	New construction on an empty lot		
RECOMMEND:	Approval with Conditions		

STAFF RECOMMENDATION: Staff recommends that the Commission support this HAWP application with the following conditions:

1. The proposed windows will be simulated divided-light, vinyl clad, wood windows. Specification sheets for the proposed windows will be provided to staff for their approval.
2. Site drawings will be provided at time of permit showing total height and first floor height of the proposed buildings in relationship to the existing site. These drawings will also illustrate any proposed deviations from the current grades.
3. The applicants will work with M-NCPPC environmental planning staff to ensure the protection of the existing trees on the site.
4. The 24" elm is not removed from the site and as mitigation for the removal of the 16" elm, staff recommends that the applicants plant a tree (min. 2" in caliper) somewhere on the property. The tree to be planted must be selected from the Montgomery County Native Species List.

SITE DESCRIPTION

19/13 Germantown Historic District (c1878+)

Vicinity of Liberty Mill Road, B&O Railroad, and Mateny Hill Road

German farmers settled the Germantown area in the early 1800s. The initial Germantown settlement clustered around the intersection of Clopper and Liberty Mill Roads. After the introduction of the Metropolitan Branch of the B&O Railroad, the community known as Germantown Station grew about one mile north of the original crossroads community. Present-day Liberty Mill and Walter Johnson Roads were the original Germantown Road. The railroad enabled farmers to ship their produce, grain, and milk to Washington, as well as receive fertilizers to enrich the soil for larger yields. *Germantown Station*, built in

1891, replaced an earlier small railroad station located there in 1878. The frame structure was rebuilt, following a 1978 fire, and serves modern-day commuters traveling to jobs downcounty and in Washington, D.C. The original single track at Germantown once required two telegraph operators to control the switches to double tracks south of town.

The Germantown community became the center of commercial activity when the Bowman Brothers built a new steam-driven flour and corn mill next to the new railroad depot, making obsolete the earlier water-driven mills in the area. *Bowman Brothers Liberty Mill* was built in 1888 at the south side of Liberty Mill Road along the railroad tracks. The wooden flour mill burned in 1914, but was rebuilt and modernized in 1916 with six huge silos. In 1918 Augustus Selby and his 4 partners bought the mill, and operated it until 1963. A grain elevator and grain dryer were part of the operation in the 1920s and 30s, but burned in 1972 after the mill had closed. Still standing is a grain scale housed in a small metal shed on Mateny Hill Road, southwest of Blunt Avenue.

Germantown's commercial district grew along Mateny Hill Road between the train station and Liberty Mill Road. In the late 1800s and early 1900s, Germantown had two general stores, a post office, three churches, a bank, doctor's office, barber shop, and school. The *Germantown Bank* (1922), 19330 Mateny Hill Road, was funded through sale of shares to residents who wanted to cash their mill paychecks without being charged 15 cents that the General Store demanded for the service. This one-and-a half story brick building has a simple classical facade, and iron bars on its triple windows. At the southern corner of Blunt Avenue and Mateny Hill Road, a small, board and batten shop with a gable roof, was used at various times as a harness shop, barber shop and post office before it was converted into a house. Numerous other service businesses in this vicinity included a feed store, several warehouses, and a stockyard.

The houses built within this period have strong uniformity and similar architectural details in the simple rural tradition of 19th century Maryland. The homes were built for mill and railroad employees as well as shopkeepers and ministers. Many houses in the historic district still have dependencies such as stables, wash houses, and meat houses; some with louvered cupolas, contrasting trim, or other architectural details. The generous front and side yards allowed for family gatherings, gardens, and perhaps a few animals, while shade trees and porches helped residents escape the heat of summer. One of the oldest houses in the district is the c1870 *Harris-Allnutt House*, 19390 Mateny Mill Road. It was originally the home of R. E. and Alice Harris who ran a store from this location. The *Anderson-Johnson House* (1898), 19310 Mateny Mill Road was first the home of a railroad agent and later Germantown's postmaster. *Rev. Rayfield House* (c1890s), 9215 Blunt Avenue, was the residence of the Baptist Church minister. This center cross gable, frame house has an entry with transom and side lights, and ornamental porch balustrade. The homes of influential community leaders (e.g. mill owners, banker, store owners) lined Old Germantown Road on large parcels of land. Bank President A. H. Baker lived in a large estate on Liberty Mill Road where Liberty Heights is now located.

Bowman Brothers or Liberty Mill was at one time the second largest mill in the state. In the 1950s, dairy products replaced grain as the state's primary agricultural output, leading to a decline in the milling business. Popularity of the automobile enabled residents to shop in more distant shopping centers, people became less dependent on the railroad, and

growth of the county's population turned cornfields into cul-de-sacs. Commercial businesses are now concentrated closer to I-270. The Germantown Historic District, designated in 1989, preserves the heritage of Germantown as a flourishing farming and mill community, while continuing to focus on the B&O Station as a center for today's MARC train commuters.

PROPOSAL

The applicant proposes to construct a new house and detached garage on an empty lot between 19300 Mateny Hill Road (Outstanding Resource within the Historic District) and 19220 Mateny Hill Road (Outside Historic District boundaries) (see Circle _____). The proposed house is a 2-½ story, cross gable roof structure with a wrap-around porch along the front, left and right elevations of the house. The applicants are proposing standing seam metal for the house's porch roof, asphalt shingles and hardiplank siding for the main massing of the house and the garage. The applicants have not specified material for the proposed new driveway.

The applicants are also proposing to remove a 24" and 16" Elm tree from the site.

BACKGROUND

The Commission reviewed this case as a preliminary consultation at their April 9, 2003 meeting. The concerns with the proposal presented to the Commission at this meeting were threefold. Commissioner Breslin and Chairman Spurlock were concerned about the placement of the house on the lot. Commissioner Harbit was concerned with the large cross gable on the original plans. He indicated that the span of the gable across three windows made the front elevation appear larger. Commissioner Harbit recommended that the applicant redesign the cross gable so that it only spans one window to reduce the scale of this feature. Commissioner Watkins expressed concern with the rear façade. She was concerned that the single plane of this façade was problematic. She encouraged the applicant to break-up the solid wall with some sort of projection.

The applicants returned to the Commission with a HAWP application on May 28, 2003. As a result of the April 9th preliminary consultation, the Commission was provided with a street elevation drawing showing the placement of the house on the existing lot as well as the location of the adjacent houses. This proposed drawing indicated that the front porch would be the height of seven-steps above ground. Secondly, the applicant revised the front elevation of the building and presented a single window span for the cross gable. Finally, the rear elevation was changed by the addition of a rear ell projection. The Commission generally was in support of the changes, except for the size of the cross gable. The Commission indicated that the proportion seemed incorrect and encouraged the applicant to re-examine this detail. The Commission also asked the applicant to alter their materials list to include wood entry and garage doors. During this meeting, the Commission also tasked the staff to consult with M-NCPPC's environmental planning staff on the proposed tree protection plan and the overall design of the proposed site plan and its possible effects on the existing trees.

STAFF DISCUSSION

The Historic Preservation Ordinance, Chapter 24(A) No. 2 states that any new construction should be “compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.”

The Germantown Historic District is a very small yet significant historic district comprised of buildings ranging from c1870 to the early 1920s. Any new construction that is introduced to the historic district must be compatible with the surrounding buildings, and particularly sensitive to the older properties. Because this property will be the first new construction within the historic district, this proposal should be given the highest level of scrutiny for compatibility with the historic district.

The applicant has addressed all of the issues that were presented at the previous meeting, the result is the attached revised front elevation (See circle).

The staff met with Mark Pfefferle, M-NCPPC’s Environmental Planner for Germantown, regarding the proposed trees protection plan. Mr. Pfefferle’s general comments were that this plan will be officially reviewed and approved by the Environmental Planning Department at the Sediment Control Permit level. His general comments were as follows:

1. In order to protect the 10” Beech and 10” Elm adjacent to the proposed garage and asphalt apron, the garage and apron must be moved NE and out of the drip line of these trees. He suggested that the house garage and driveway be shifted 15’ to the NE. This would result in the elimination of the 12” elm on the eastern side of the house, but would protect the 10” Beech, 10” Elm, and the 24” Elm (proposed to be removed).
2. The trees along the proposed drive should be root pruned by a certified arborist, not more than 1/3 of the critical root zone in order to help their survival.
3. Driveway should be shifted more to the east to protect 40” elm tree.

STAFF RECOMMENDATIONS

Staff recommends that the Commission **approve with conditions** the HAWP application for being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #9 and #10:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the conditions that:

1. The proposed windows will be simulated divided-light, painted, wood windows. Specification sheets for the proposed windows will be provided to staff for their approval.
2. Site drawings will be provided at time of permit showing total height and first floor height of the proposed buildings in relationship to the existing site. These drawings will also illustrate any proposed deviations from the current grades.
3. The applicants will work with M-NCPPC environmental planning staff to ensure the protection of the existing trees on the site.
4. The 24" elm is not removed from the site and as mitigation for the removal of the 16" elm, staff recommends that the applicants plant a tree (min. 2" in caliper) somewhere on the property. The tree to be planted must be selected from the Montgomery County Native Species List.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

Albert J and Deborah R Forst
19310 Mateny Hill Rd
Germantown MD 20874
301-353-0698

June 9, 2003

Dear Park and Planning Commission and Staff,

We are coming before you again, in hopes that this time you will approve our plans for a new home construction permit within the Germantown Historic District.

Our last meeting with you was May 28th, 2003. At that time you voiced several concerns on this home and we have once again made revisions that we feel you will be pleased with.

1. The **front gable** has been modified and we feel that this size gable is what the commission is looking for. We are also happy with this design.
2. We have changed the **front door** material to wood.
3. The **garage doors** material has also has been changed to wood.
4. The **center window on second floor** was changed to a rectangular shape and a diamond shape window was added to the gable (like the historic home at 19310 Mateny Hill Rd ,which is our present home)

Also, we have enclosed a letter from the land engineer that will better explain the topography of our lot since pictures and drawings do not seem to convey how the house will look on the property.

— To BE
HANDLED OUT @
WORKSESSION

The Germantown Historic District's homes face the train station and parking lots of the commuter rail station. This lot is actually around a sharp bend and is somewhat disconnected from the Historic District as it does face all new construction . We feel that this house will blend in with the historic areas and transition well with the 40 newer homes across the street from our lot.

We are excited to be building a new home in Germantown and think that it will represent the country feel that Germantown once stood for.

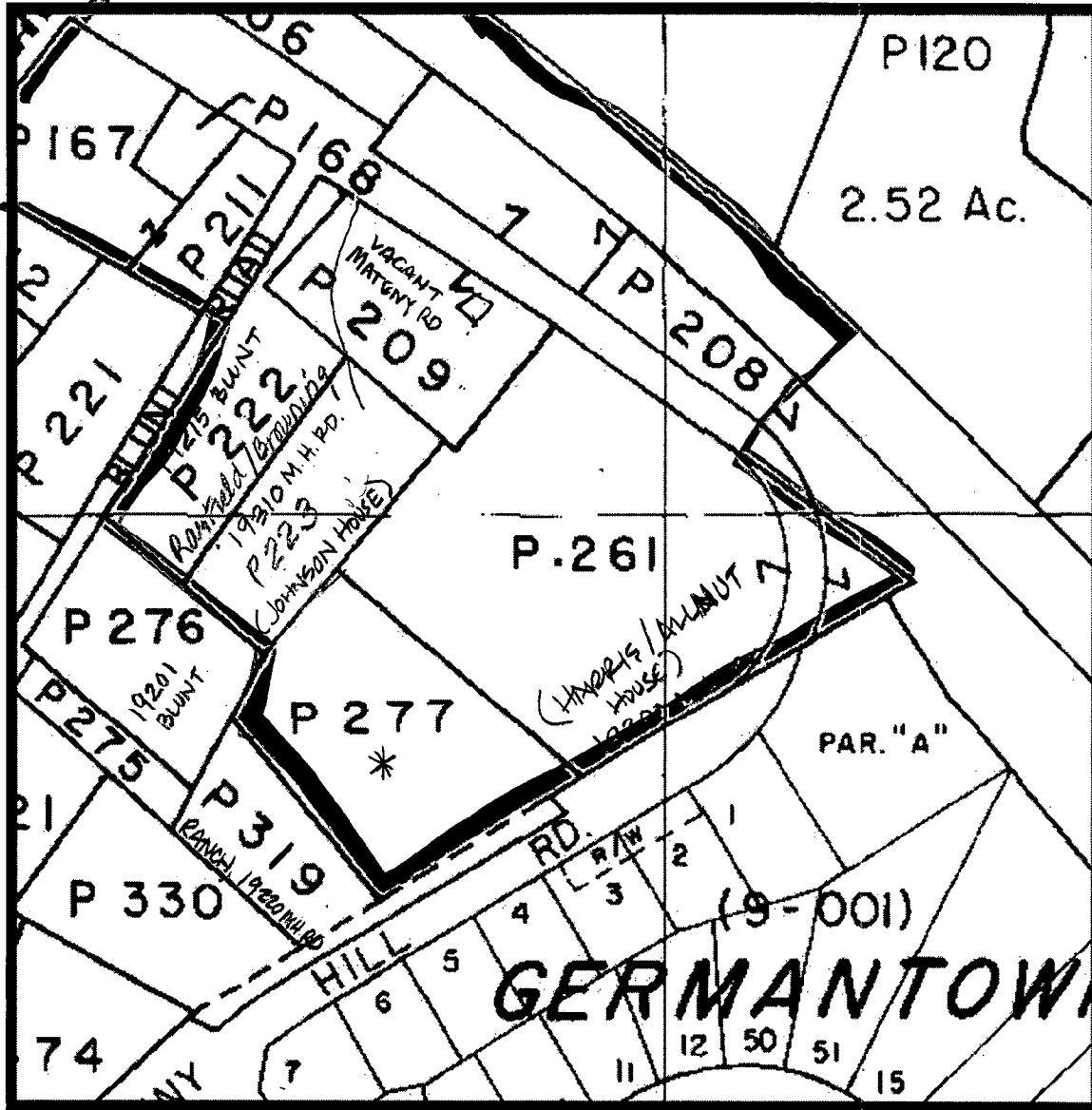
Sincerely,

Deborah R Forst
Albert J and Deborah R Forst

(6)

	Maryland Department of Assessments and Taxation MONTGOMERY COUNTY Real Property Data Search	Go Back View Map New Search
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District - 09 Account Number - 00766994



Property maps provided courtesy of the Maryland Department of Planning ©2001.
For more information on electronic mapping applications, visit the Maryland Department of Planning
web site at www.mdp.state.md.us



TRAIN STATION

TANK

LA FLORES

JANUARY

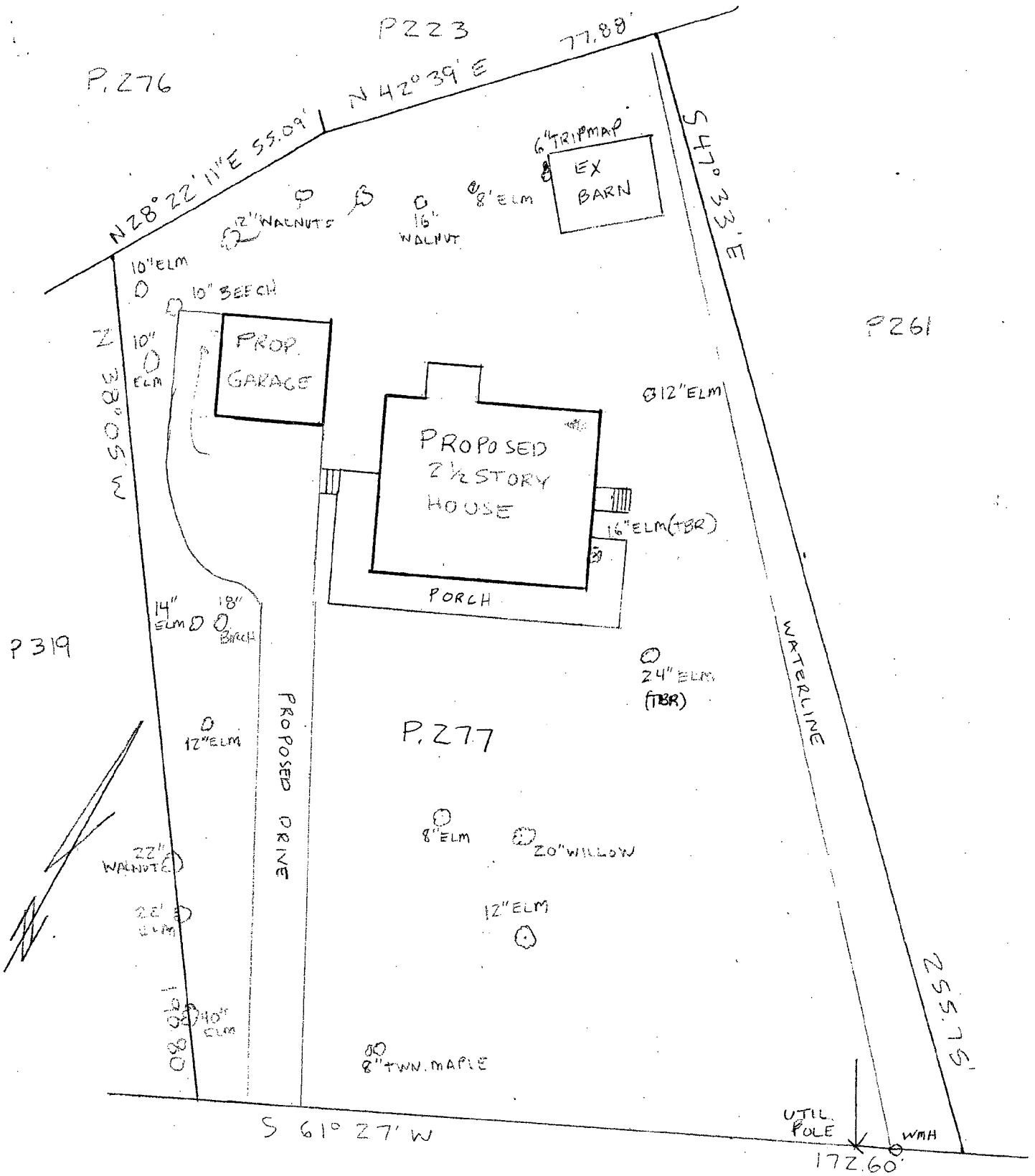
RANCH

PROPOSED LOT

RANCH HOUSE

NEW CONSTRUCTION

19



MATENNEY HILL ROAD

PROPOSED NEW HOME
 FIRST RESIDENCE
 MATENNEY HILL RD
 GERMANTOWN MD

MAY 2003

SCALE 1" = 30' (11')

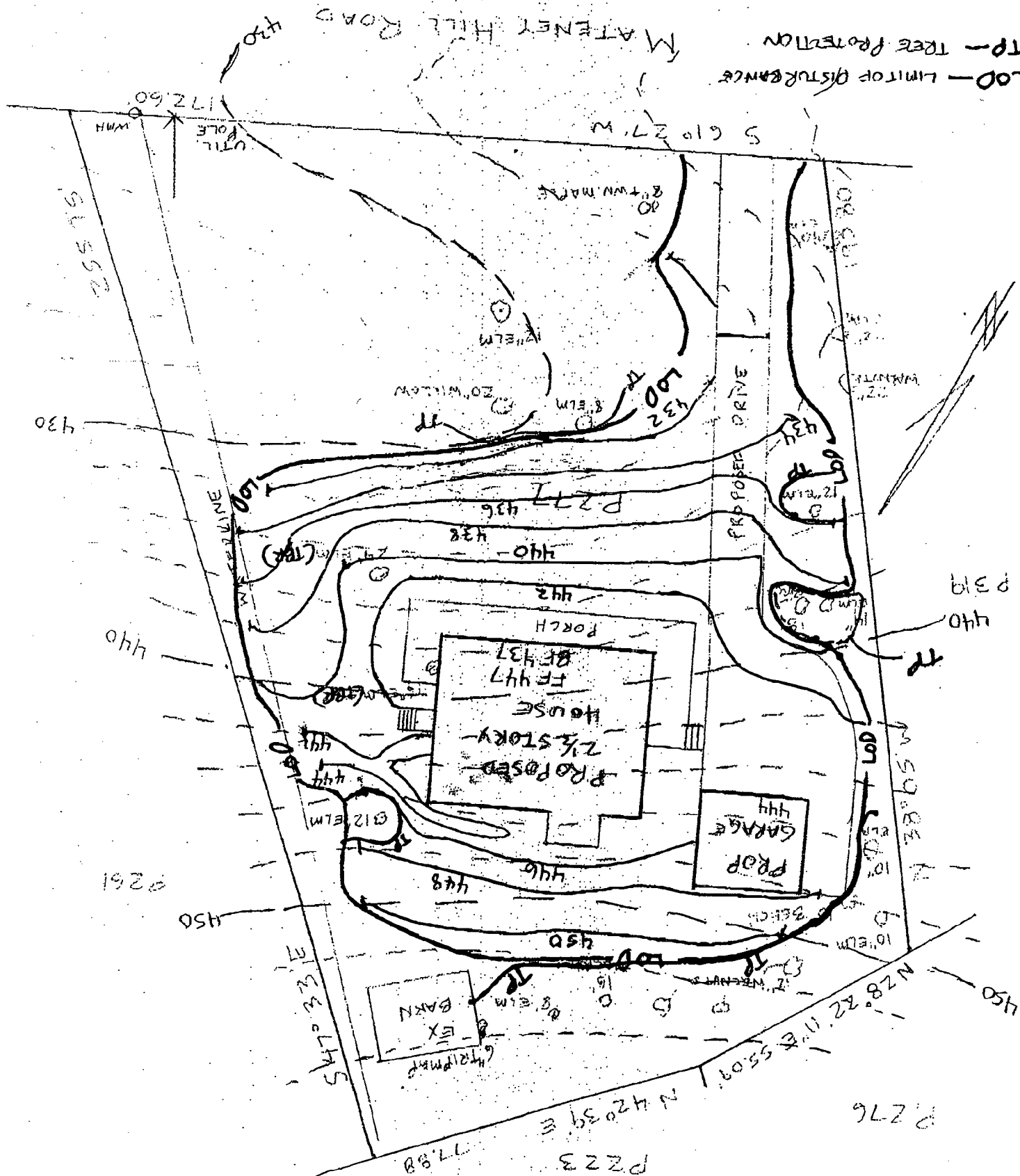
PROPOSED NEW HOME
 FOREST RESIDENCE
 MATENEY HILL RD
 GERKMAN TOWN MD

MAY 2003

SCALE 1"=30'

(B)

-LOD - LIMIT OF DISTURANCE
 -TP - TREE PROTECTION

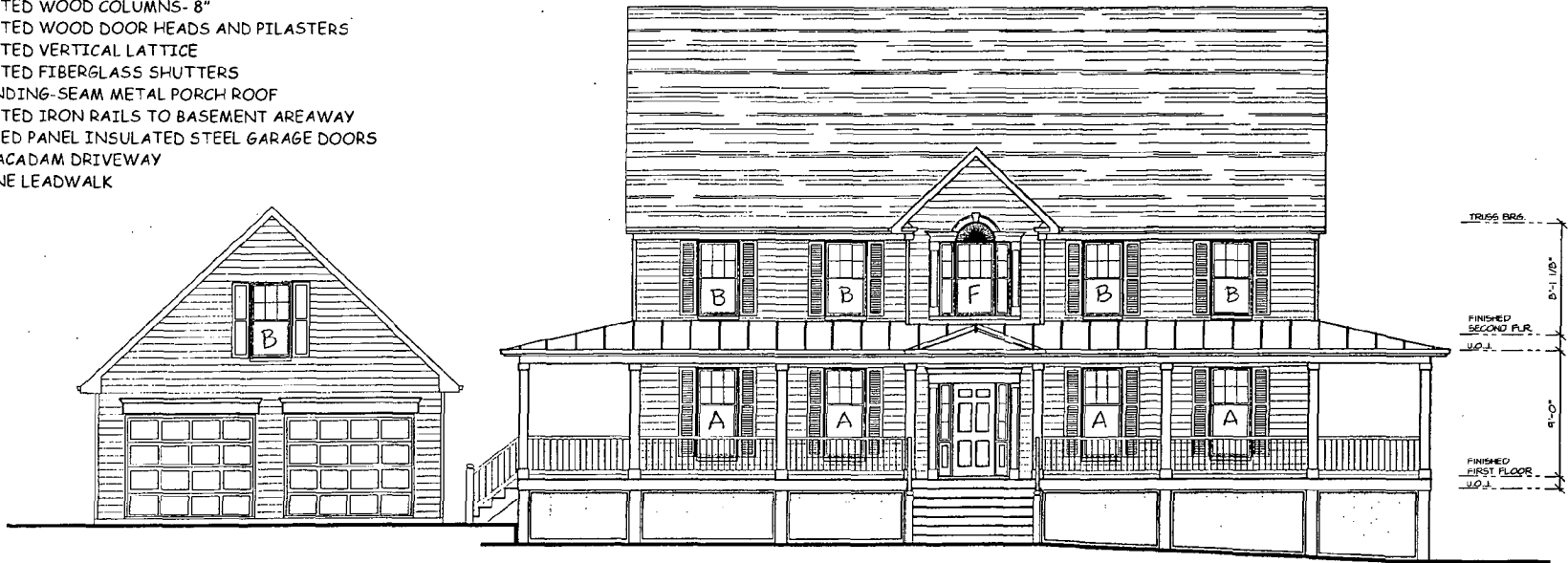


FORST RESIDENCE

PROPOSED PRODUCT SPECIFICATIONS

- ARCHITECTURAL ASPHALT SHINGLES
- ALUMINUM GUTTERS AND DOWNSPOUTS
- V-WOOD WINDOWS
- JAMES HARDIE FIBER-CEMENT DUTCHLAP SIDING- PAINTED
- BRICK-FORM POURED WALL FOUNDATION
- WOOD RAIL AND POSTS ON PORCH
- SEALED WOOD PORCH FLOOR AND PAINTED WOOD PORCH CEILING
- PAINTED WOOD COLUMNS- 8"
- PAINTED WOOD DOOR HEADS AND PILASTERS
- PAINTED VERTICAL LATTICE
- PAINTED FIBERGLASS SHUTTERS
- STANDING- SEAM METAL PORCH ROOF
- PAINTED IRON RAILS TO BASEMENT AREAWAY
- RAISED PANEL INSULATED STEEL GARAGE DOORS
- 4" MACADAM DRIVEWAY
- STONE LEADWALK

FRONT ELEVATION FROM 5/28/03
MEETING

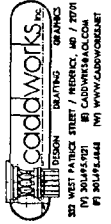


FRONT ELEVATION

SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE

MARK	QTY	DESCRIPTION	MANUF	MUNTIN
A	21	2/6X6/2 V-WOOD DBL HUNG	V-WOOD	6/1 GBG
B	27	2/8X5/2 V-WOOD DBL HUNG	V-WOOD	6/1 GBG
C	2	2/8X3/2 V-WOOD DBL HUNG	V-WOOD	6/1 GBG
D	3	2/0X4/2 V-WOOD DBL HUNG	V-WOOD	6/1 GBG
E	2	2/0X3/2 V-WOOD DBL HUNG	V-WOOD	6/1 GBG
F	1	1/0X2/8X1/0X5/2 DBL HUNG	V-WOOD	6/1 GBG
		WITH 1/2 CIRCLE MODALLION ABOVE		



THE FORST RESIDENCE
19310 MATENY HILL ROAD
GERMANTOWN MARYLAND

SHEET NUMBER

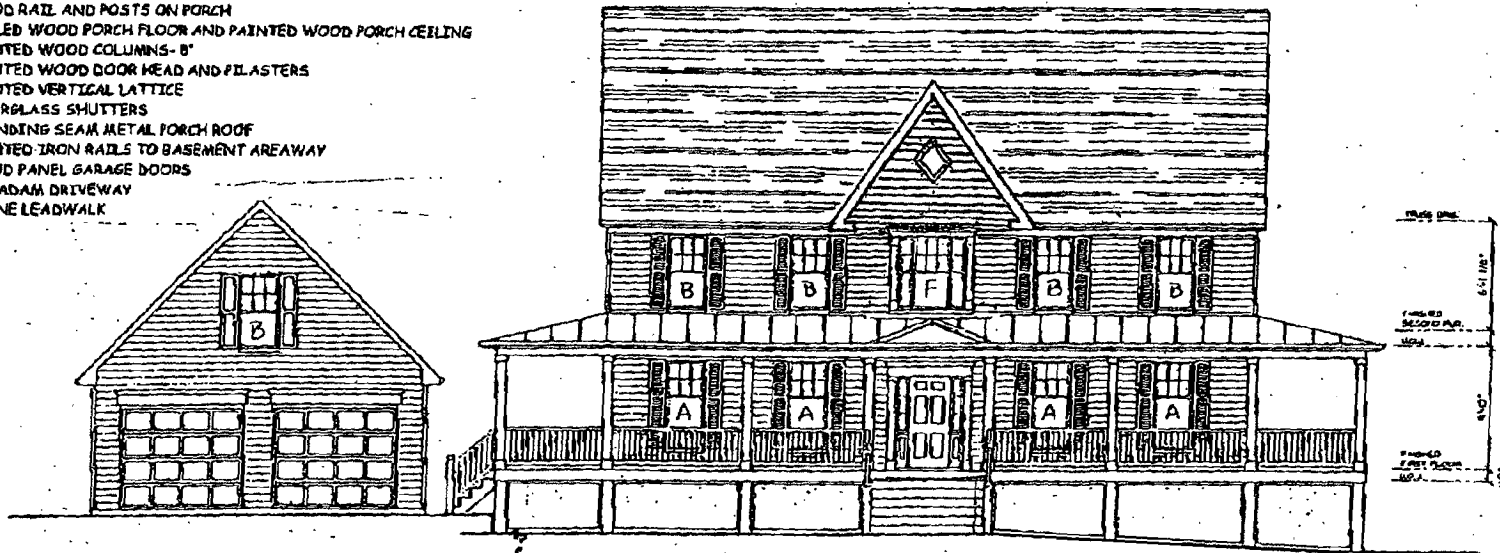
AI

FILE: FORST_PLDWS
DRAWN BY: JEFFER
DATE: 5/28/03

15

**FORST RESIDENCE
PROPOSED PRODUCT SPECIFICATIONS**

- ARCHITECTURAL ASPHALT SHINGLES
- ALUMINUM GUTTERS AND DOWNSPOUTS
- V-WOOD WINDOWS
- WOOD FRONT DOOR
- JAMES HARDIE FIBER-CEMENT DUTCH-LAP SIDING - PAINTED
- BRICK FORM POURED WALL FOUNDATION
- WOOD RAIL AND POSTS ON PORCH
- SEALED WOOD PORCH FLOOR AND PAINTED WOOD PORCH CEILING
- PAINTED WOOD COLUMNS - 6"
- PAINTED WOOD DOOR HEAD AND PILASTERS
- PAINTED VERTICAL LATTICE
- FIBERGLASS SHUTTERS
- STANDING SEAM METAL PORCH ROOF
- PAINTED IRON RAILS TO BASEMENT AREAWAY
- WOOD PANEL GARAGE DOORS
- MACADAM DRIVEWAY
- STONE LEADWALK

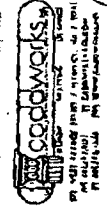


FRONT ELEVATION

SCALE 1/8" = 1'-0"

WINDOW SCHEDULE

MARK	QTY	DESCRIPTION	MANUF	GLUNT/IT
A	21	210X612 V-WOOD DBL HUNG	V-WOOD	6/1 G8G
B	27	218X512 V-WOOD DBL HUNG	V-WOOD	6/1 G8G
C	2	218X312 V-WOOD DBL HUNG	V-WOOD	6/1 G8G
D	3	210X412 V-WOOD DBL HUNG	V-WOOD	6/1 G8G
E	2	210X312 V-WOOD DBL HUNG	V-WOOD	6/1 G8G
F	1	110X218X110X512 DBL HUNG	V-WOOD	6/1 G8G
		WITH 1/2 CIRCLE MODALLION ABOVE		



THE FORST RESIDENCE
19310 MATENY HILL ROAD
GERMANTOWN MARYLAND

SHEET NUMBER

AI


ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2000

AI



REAR ELEVATION

SCALE: 1/8" = 1'-0"



 DESIGN: CADWORKS INC.

 303 WEST PATRICK STREET / ROCKFORD, MD / 20785

 TEL: 301.984.1234 FAX: 301.984.1235

 WWW.CADWORKSINC.COM

THE FORST RESIDENCE

 19310 MATENY HILL ROAD

 GERMANTOWN MARYLAND

SHEET NUMBER

A2

FILE: FORST_FL2.DWG

 DRAWN BY: PJP/STP

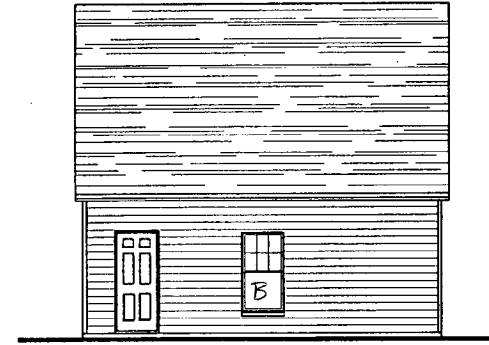
 DATE: 5/6/03

15



RIGHT-SIDE ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT-SIDE ELEVATION

• GARAGE BEYOND

SCALE: 1/8" = 1'-0"

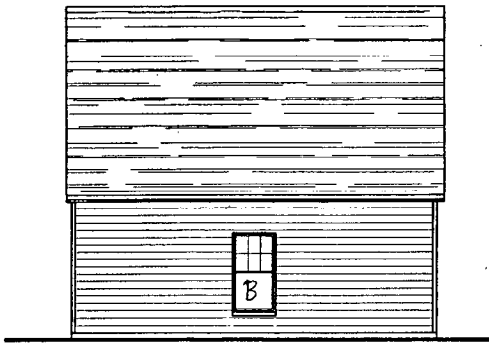
THE FORST RESIDENCE
 19310 MATENY HILL ROAD
 GERMANTOWN MARYLAND

SHEET NUMBER

A3

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 DATE: 5/16/09

121

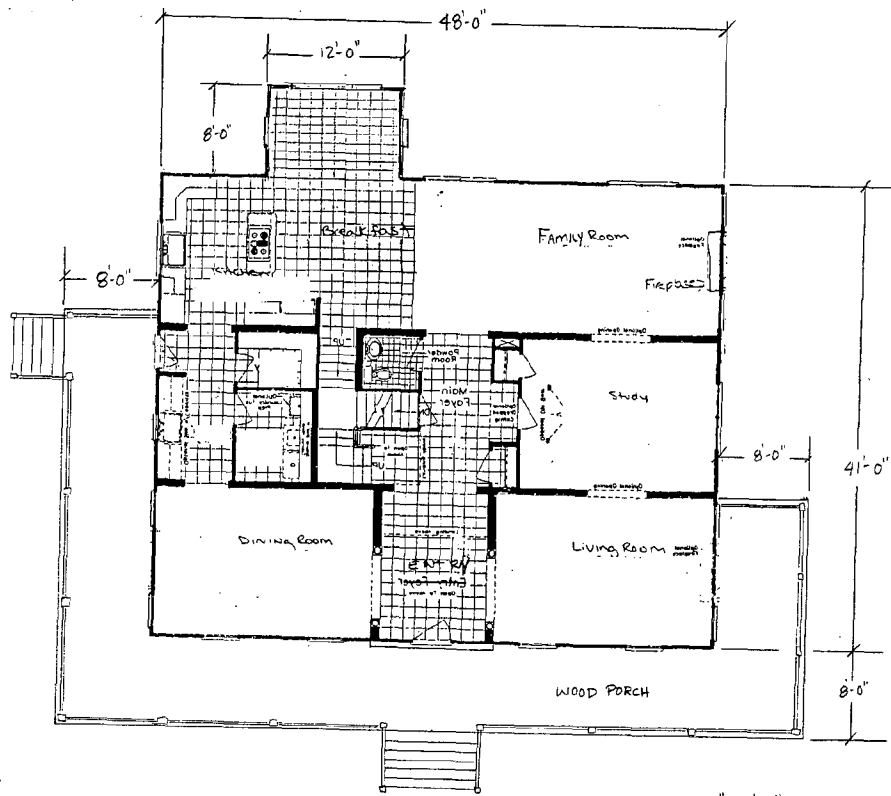


LEFT-SIDE ELEVATION
 • GARAGE SCALE: 1/8" = 1'-0"



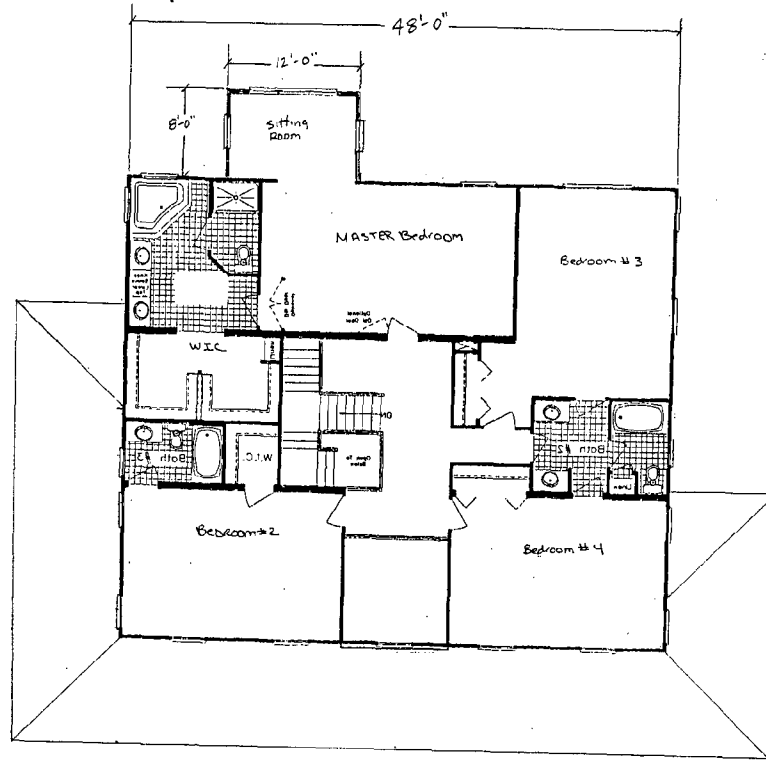
LEFT-SIDE ELEVATION SCALE: 1/8" = 1'-0"

17

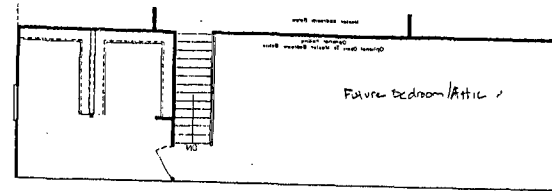


1ST FLOOR PLAN

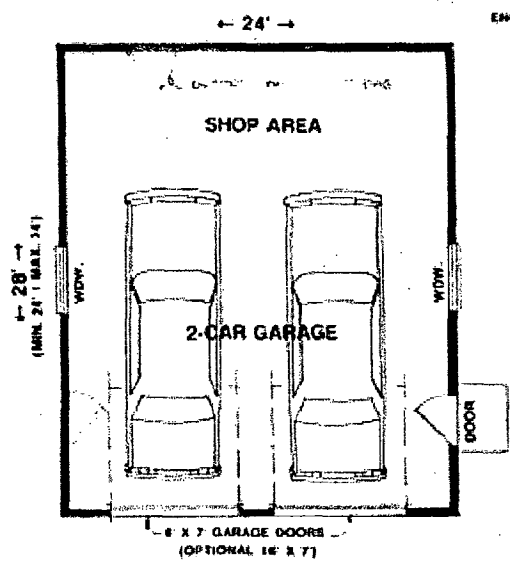
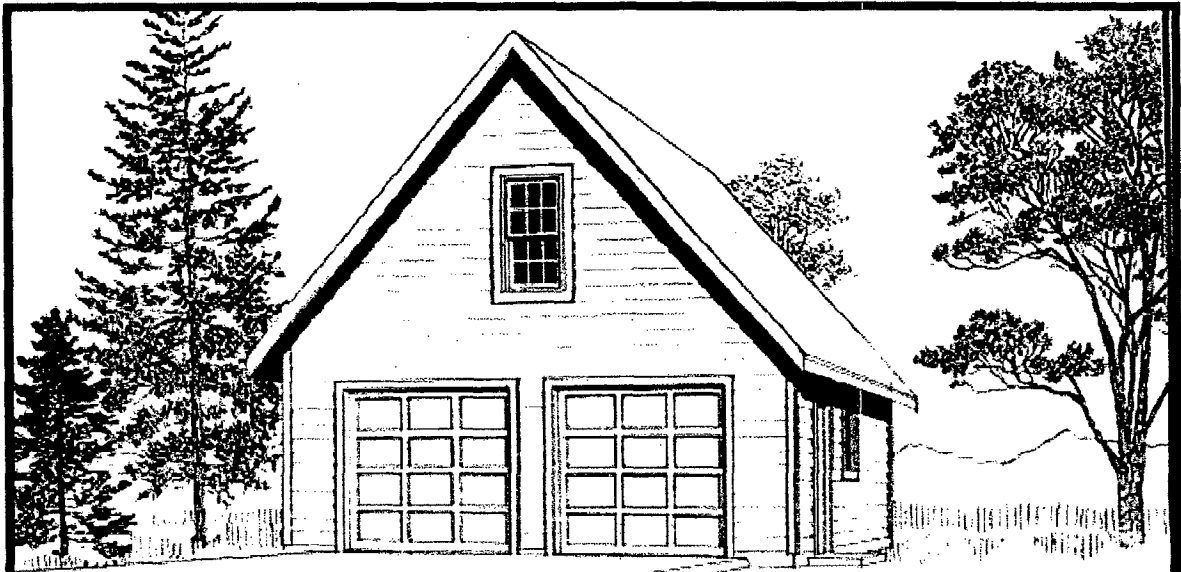
SCALE $\frac{3}{32}'' = 1'-0''$



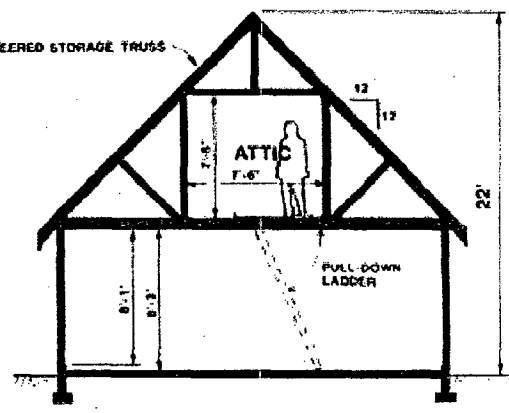
2ND FLOOR PLAN



THE FORST RESIDENCE
 MATENY HILL RD
 GERMANTOWN MD



FLOOR PLAN



CROSS-SECTION

This spacious 2-car garage has useable attic space created by truss profile - a very economical way of creating a "loft".

Plans are set up with variable depth dimension.



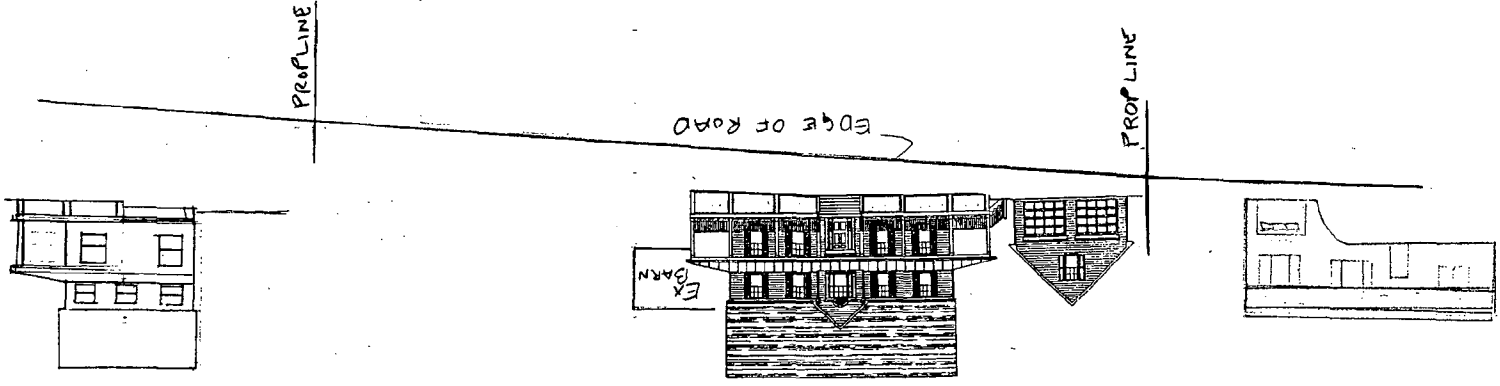
WIDTH: 24'	PLAN No. 671-1
DEPTH: 24	
RIDGE HEIGHT: 22' (VAR)	
FLOOR AREA: 672 SF	

Plan price: \$99.95 (4 copies of planset)

02

FIRST RESIDENCE
1931 MATNEY HILL RD
GERMANTOWN, MD

STREET ELEVATION
SCALE 1"=30'





HARRIS / ALNUT HOUSE
P 201 (R) OF LOT IN QUESTION
19300 MARYEN HILL RD
OUTSTANDING RESOURCE W/IN DISTRICT



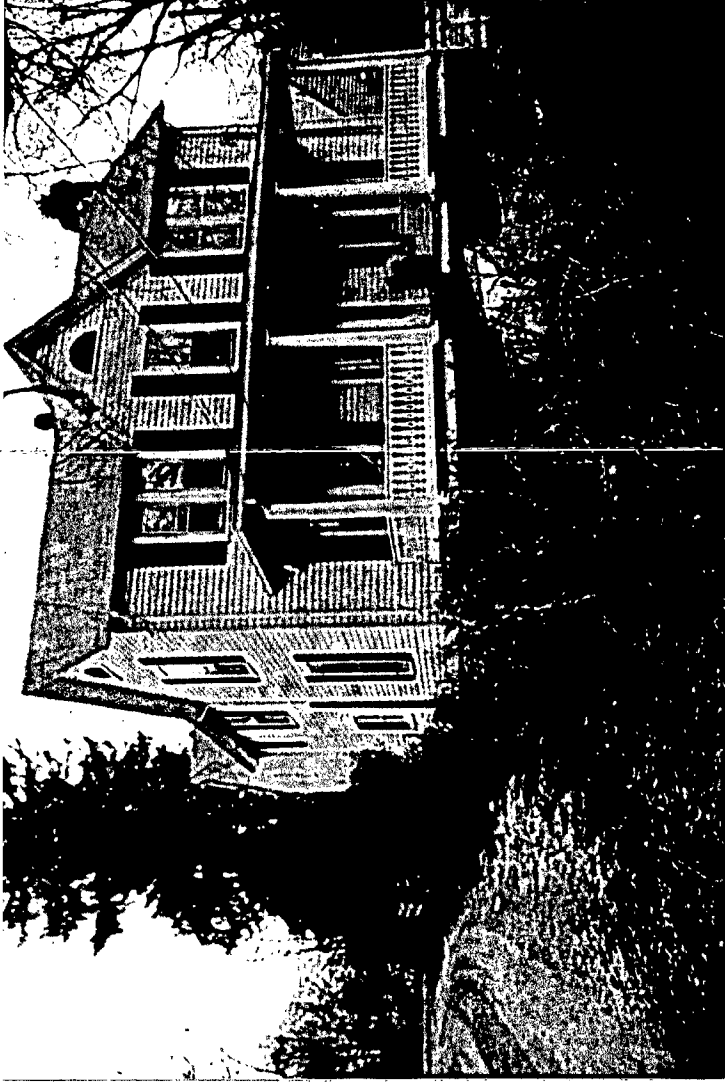
SIDE VIEW - HARRIS / ALNUT HOUSE.



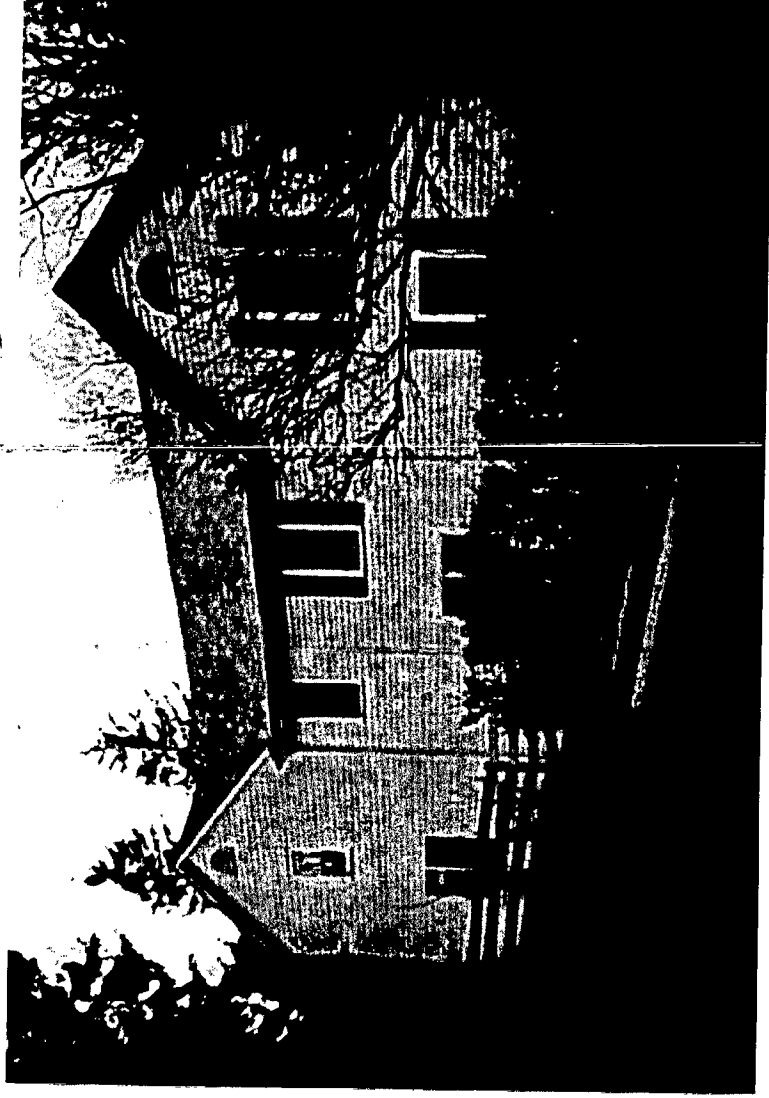
JOHNSON HOUSE
P 223 BEHIND LOT (OWNERS/APPLICANTS
CURRENT DWELLING)
19310 MARTEN HILL RD
WITHIN HISTORIC DISTRICT (OUTSTANDING)



REAR/SIDE ELEVATIONS - JOHNSON HOUSE



RAYFIELD / BROWNING HOUSE
19215 BUUNT AVE
P222
OUTSTANDING RESOURCE WIN DISTRICT



SIDE VIEW - RAYFIELD / BROWNING HOUSE



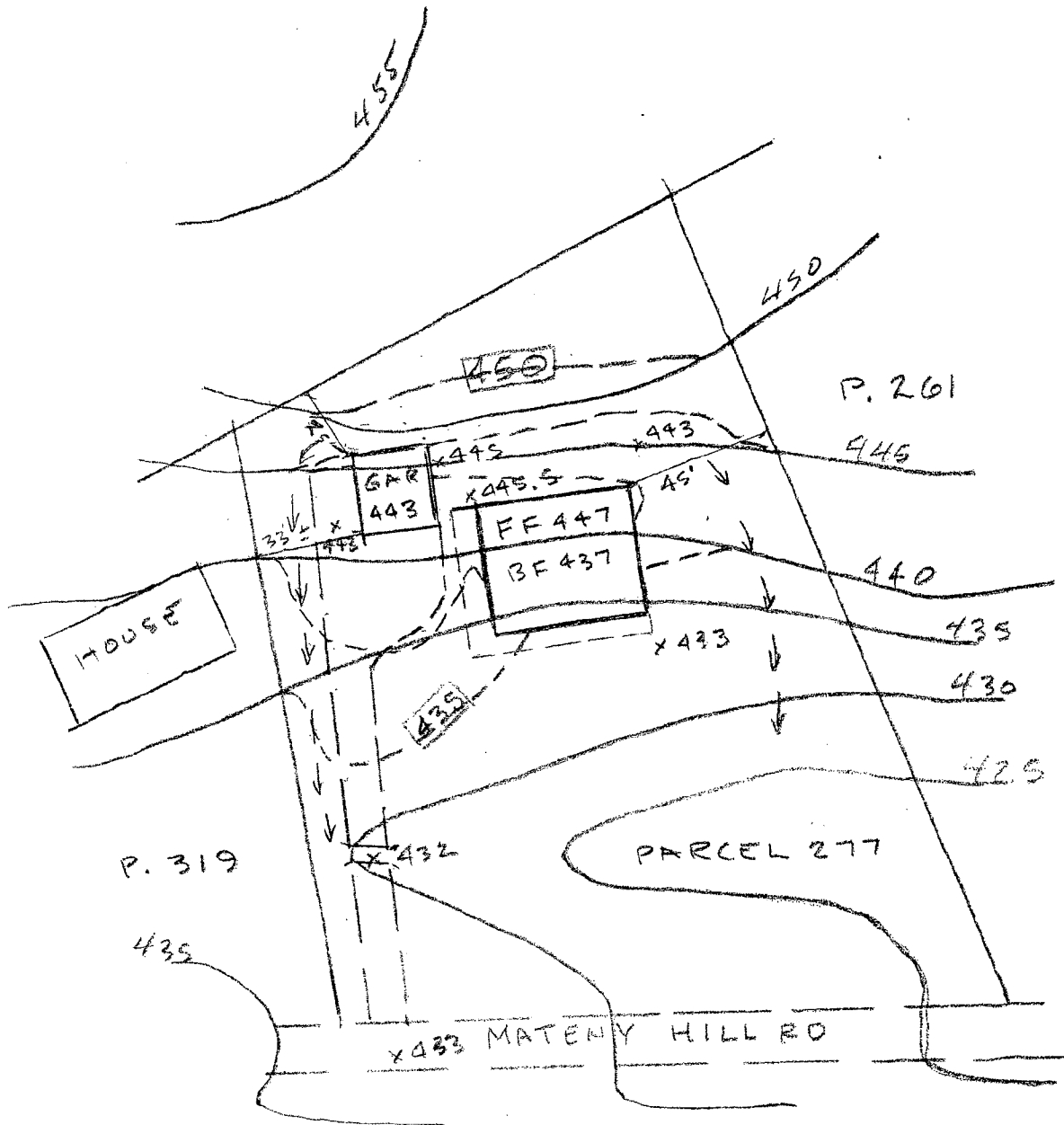
SIDE VIEW - PAYFIELD / BROWNING HOUSE.



19220 MATENY HILL
P319 (E) OF LOT IN QUESTION.
NOT WITHIN HISTORIC DISTRICT
BOUNDARIES



PHOTO OF SUBJECT PROPERTY
FROM MATENT HILL RD.



PRELIMINARY
CONSULTATION

Job No.	
Scale	
Field Dates	
Wall Check	
Final Loc.	
Recert	(10)

Fax Cover Sheet

kinko's

17701 Cornerstone Road
Cerritos, Maryland 20719
Tel (301) 515 8355
Fax (301) 515 6974

Date: July 9, 2003

To: Michelle Naru

Company: Parkland Planning

Fax: 301-563-3442

From: Deborah Forst

Company: _____

Tel: 301-353-0698

Number of pages including this one _____

Comments:

I hope this comes out clear. I will call to con firm

Deb

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	Parcel 277, Mateny Hill Rd	Meeting Date:	05/28/03
Applicant:	Albert and Deborah Forst	Report Date:	05/21/03
Resource:	Germantown Historic District	Public Notice:	05/14/03
Review:	HAWP	Tax Credit:	None
Case Number:	19/13-03A	Staff:	Michele Naru
PROPOSAL:	New construction on an empty lot		
RECOMMEND:	Approval with Conditions		

STAFF RECOMMENDATION: Staff recommends that the Commission support this HAWP application with the following conditions:

1. The proposed driveway will be constructed of gravel.
2. The proposed windows will be simulated divided-light, painted, wood windows. Specification sheets for the proposed windows will be provided to staff for their review and approval.
3. Site drawings will be generated showing total height and first floor height of the proposed buildings in relationship to the existing site. These drawings will also illustrate any proposed deviations from the current grades.
4. The applicants will develop a tree protection plan for the existing trees on the site. This plan must be submitted to the staff for their review and approval prior to the issuance of the building permit.
5. As mitigation for the removal of the 24" and 16" elm trees on the site, staff recommends that the applicants plant three trees (min. 2" in caliper) somewhere on the property. The trees to be planted must be selected from the Montgomery County Native Species list.

SITE DESCRIPTION

19/13 Germantown Historic District (c1878+)
Vicinity of Liberty Mill Road, B&O Railroad, and Mateny Hill Road

German farmers settled the Germantown area in the early 1800s. The initial Germantown settlement clustered around the intersection of Clopper and Liberty Mill Roads. After the introduction of the Metropolitan Branch of the B&O Railroad, the community known as Germantown Station grew about one mile north of the original crossroads community. Present-day Liberty Mill and Walter Johnson Roads were the original Germantown Road.

The railroad enabled farmers to ship their produce, grain, and milk to Washington, as well as receive fertilizers to enrich the soil for larger yields. *Germantown Station*, built in 1891, replaced an earlier small railroad station located there in 1878. The frame structure was rebuilt, following a 1978 fire, and serves modern-day commuters traveling to jobs downcounty and in Washington, D.C. The original single track at Germantown once required two telegraph operators to control the switches to double tracks south of town.

The Germantown community became the center of commercial activity when the Bowman Brothers built a new steam-driven flour and corn mill next to the new railroad depot, making obsolete the earlier water-driven mills in the area. *Bowman Brothers Liberty Mill* was built in 1888 at the south side of Liberty Mill Road along the railroad tracks. The wooden flour mill burned in 1914, but was rebuilt and modernized in 1916 with six huge silos. In 1918 Augustus Selby and his 4 partners bought the mill, and operated it until 1963. A grain elevator and grain dryer were part of the operation in the 1920s and 30s, but burned in 1972 after the mill had closed. Still standing is a grain scale housed in a small metal shed on Mateny Hill Road, southwest of Blunt Avenue.

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The houses built within this period have strong uniformity and similar architectural details in the simple rural tradition of 19th century Maryland. The homes were built for mill and railroad employees as well as shopkeepers and ministers. Many houses in the historic district still have dependencies such as stables, wash houses, and meat houses; some with louvered cupolas, contrasting trim, or other architectural details. The generous front and side yards allowed for family gatherings, gardens, and perhaps a few animals, while shade trees and porches helped residents escape the heat of summer. One of the oldest houses in the district is the c1870 *Harris-Allnutt House*, 19390 Mateny Mill Road. It was originally the home of R. E. and Alice Harris who ran a store from this location. The *Anderson-Johnson House* (1898), 19310 Mateny Mill Road was first the home of a railroad agent and later Germantown's postmaster. *Rev. Rayfield House* (c1890s), 9215 Blunt Avenue, was the residence of the Baptist Church minister. This center cross gable, frame house has an entry with transom and side lights, and ornamental porch balustrade. The homes of influential community leaders (e.g. mill owners, banker, store owners) lined Old Germantown Road on large parcels of land. Bank President A. H. Baker lived in a large estate on Liberty Mill Road where Liberty Heights is now located.

Bowman Brothers or Liberty Mill was at one time the second largest mill in the state. In the 1950s, dairy products replaced grain as the state's primary agricultural output, leading

to a decline in the milling business. Popularity of the automobile enabled residents to shop in more distant shopping centers, people became less dependent on the railroad, and growth of the county's population turned cornfields into cul-de-sacs. Commercial businesses are now concentrated closer to I-270. The Germantown Historic District, designated in 1989, preserves the heritage of Germantown as a flourishing farming and mill community, while continuing to focus on the B&O Station as a center for today's MARC train commuters.

PROPOSAL

The applicant proposes to construct a new house and detached garage on an empty lot between 19300 Mateny Hill Road (Outstanding Resource within the Historic District) and 19220 Mateny Hill Road (Outside Historic District boundaries) (see Circles 16-22). The proposed house is a 2-½ story, cross gable roof structure with a wrap-around porch along the front, left and right elevations of the house. The applicants are proposing standing seam metal for the house's porch roof, asphalt shingles and hardi-plank siding for the main massing of the house and the garage. The applicants have not specified material for the proposed new driveway.

The applicants are also proposing to remove a 24" and 16" Elm tree from the site.

STAFF DISCUSSION

The Historic Preservation Ordinance, Chapter 24(A) No. 2 states that any new construction should be "compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter."

The Germantown Historic District is a very small yet significant historic district comprised of buildings ranging from c1870 to the early 1920s. Any new construction that is introduced to the historic district must be compatible with the surrounding buildings, and particularly sensitive to the older properties. Because this property will be the first new construction within the historic district, this proposal should be given the highest level of scrutiny for compatibility with the historic district.

Staff's notes that the Commission generally was in support of the proposed design of the house when it was presented to them at their April 9, 2003 meeting as a preliminary consultation (see circles 28-52 for transcript.) The concerns with the proposal presented at the April 9th meeting focused on three main issues. These issues are as follows:

1. Commissioner Breslin and Chairman Spurlock were concerned about the placement of the house on the lot. The concern was specifically how high the building was going to be set out of the ground. The applicants have provided the Commission with a street elevation drawing showing the placement of the house on the existing lot as well as the location of the adjacent houses. This proposed drawing indicates that the front porch will be the height of seven-steps above

ground. Staff feels that this height is too excessive for the site and suggests that the Commission require engineered drawings of the site be developed, denoting the exact height of the proposed building, with the height of the first floor denoted. Additionally, the Commission should provide the applicant with some parameters regarding first floor and maximum height amounts, so that the Applicant can communicate these numbers to the engineer.

2. Commissioner Harbit was concerned with the large cross gable on the original plans. He indicated that the span of the gable across three windows made the front elevation appear larger. Commissioner Harbit recommended that the applicant redesign the cross gable so that it only spans one window to reduce the scale of this feature. The applicant has revised the front elevation of the building and the proposal being presented in this report is a single window span for the cross gable.
3. Commissioner Watkins expressed concern with the rear façade. She was concerned that the single plane of this façade was problematic. She encouraged the applicant to break-up the solid wall with some sort of projection. The applicants have addressed this issue by designing a rear ell projection.

Generally, staff is in support of the proposed new construction. Due to the location of the house on the edge of the historic district, staff feels that the house's design is sympathetic to the character of the historic district. The abovementioned conditions proposed by staff are aimed to address issues that were either a concern of the Commission or that were not clearly delineated as part of this proposal.

STAFF RECOMMENDATIONS

Staff recommends that the Commission **approve with conditions** the HAWP application for being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #9 and #10:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the conditions that:

1. The proposed driveway will be constructed of gravel.
2. The proposed windows will be simulated divided-light, painted, wood windows. Specification sheets for the proposed windows will be provided to staff for their review and approval.
3. Site drawings will be generated showing total height and first floor height of the proposed buildings in relationship to the existing site. These drawings will also illustrate any proposed deviations from the current grades.
4. The applicants will develop a tree protection plan for the existing trees on the site. This plan must be submitted to the staff for their review and approval prior to the issuance of the building permit.
5. As mitigation for the removal of the 24" and 16" elm trees on the site, staff recommends that the applicants plant three trees (min. 2" in caliper) somewhere on the property. The trees to be planted must be selected from the Montgomery County Native Species list.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	Parcel 277, Mateny Hill Rd	Meeting Date:	04/09/03
Applicant:	Albert and Deborah Forst	Report Date:	04/02/03
Resource:	Germantown Historic District	Public Notice:	03/26/03
Review:	Preliminary Consultation	Tax Credit:	None
Case Number:	N/A	Staff:	Michele Naru

PROPOSAL: New construction on an empty lot

RECOMMEND: Generate a Full Set of Scaled Drawings (1/4" scale) including fenestration locations, details and material specifications; Return for a Second Preliminary Consultation

SITE DESCRIPTION

19/13 Germantown Historic District (c1878+)

Vicinity of Liberty Mill Road, B&O Railroad, and Mateny Hill Road

German farmers settled the Germantown area in the early 1800s. The initial Germantown settlement clustered around the intersection of Clopper and Liberty Mill Roads. After the introduction of the Metropolitan Branch of the B&O Railroad, the community known as Germantown Station grew about one mile north of the original crossroads community. Present-day Liberty Mill and Walter Johnson Roads were the original Germantown Road. The railroad enabled farmers to ship their produce, grain, and milk to Washington, as well as receive fertilizers to enrich the soil for larger yields. *Germantown Station*, built in 1891, replaced an earlier small railroad station located there in 1878. The frame structure was rebuilt, following a 1978 fire, and serves modern-day commuters traveling to jobs downcounty and in Washington, D.C. The original single track at Germantown once required two telegraph operators to control the switches to double tracks south of town.

The Germantown community became the center of commercial activity when the Bowman Brothers built a new steam-driven flour and corn mill next to the new railroad depot, making obsolete the earlier water-driven mills in the area. *Bowman Brothers Liberty Mill* was built in 1888 at the south side of Liberty Mill Road along the railroad tracks. The wooden flour mill burned in 1914, but was rebuilt and modernized in 1916 with six huge silos. In 1918 Augustus Selby and his 4 partners bought the mill, and operated it until 1963. A grain elevator and grain dryer were part of the operation in the 1920s and 30s, but burned in 1972 after the mill had closed. Still standing is a grain scale housed in a small metal shed on Mateny Hill Road, southwest of Blunt Avenue.

Germantown's commercial district grew along Mateny Hill Road between the train station and Liberty Mill Road. In the late 1800s and early 1900s, Germantown had two general stores, a post office, three churches, a bank, doctor's office, barber shop, and school. The *Germantown Bank* (1922), 19330 Mateny Hill Road, was funded through sale of shares to residents who wanted to cash their mill paychecks without being charged 15 cents that the General Store demanded for the service. This one-and-a half story brick building has a simple classical facade, and iron bars on its triple windows. At the southern corner of Blunt Avenue and Mateny Hill Road, a small, board and batten shop with a gable roof, was used at various times as a harness shop, barber shop and post office before it was converted into a house. Numerous other service businesses in this vicinity included a feed store, several warehouses, and a stockyard.

The houses built within this period have strong uniformity and similar architectural details in the simple rural tradition of 19th century Maryland. The homes were built for mill and railroad employees as well as shopkeepers and ministers. Many houses in the historic district still have dependencies such as stables, wash houses, and meat houses; some with louvered cupolas, contrasting trim, or other architectural details. The generous front and side yards allowed for family gatherings, gardens, and perhaps a few animals, while shade trees and porches helped residents escape the heat of summer. One of the oldest houses in the district is the c1870 *Harris-Allnutt House*, 19390 Mateny Mill Road. It was originally the home of R. E. and Alice Harris who ran a store from this location. The *Anderson-Johnson House* (1898), 19310 Mateny Mill Road was first the home of a railroad agent and later Germantown's postmaster. *Rev. Rayfield House* (c1890s), 9215 Blunt Avenue, was the residence of the Baptist Church minister. This center cross gable, frame house has an entry with transom and side lights, and ornamental porch balustrade. The homes of influential community leaders (e.g. mill owners, banker, store owners) lined Old Germantown Road on large parcels of land. Bank President A. H. Baker lived in a large estate on Liberty Mill Road where Liberty Heights is now located.

Bowman Brothers or Liberty Mill was at one time the second largest mill in the state. In the 1950s, dairy products replaced grain as the state's primary agricultural output, leading to a decline in the milling business. Popularity of the automobile enabled residents to shop in more distant shopping centers, people became less dependent on the railroad, and growth of the county's population turned cornfields into cul-de-sacs. Commercial businesses are now concentrated closer to I-270. The Germantown Historic District, designated in 1989, preserves the heritage of Germantown as a flourishing farming and mill community, while continuing to focus on the B&O Station as a center for today's MARC train commuters.

PROPOSAL

The applicant proposes to construct a new house and detached garage on an empty lot between 19300 Mateny Hill Road (Outstanding Resource within the Historic District) and 19220 Mateny Hill Road (Outside Historic District boundaries) (see Circle _____). The proposed house is a 2-½ story, cross gable roof structure with a wrap-around porch along the front and left elevations of the house. The applicants are proposing standing seam metal for the roof of the porch, asphalt shingles and vinyl siding for the main massing of the house.

STAFF DISCUSSION

The Historic Preservation Ordinance, Chapter 24(A) No. 2 states that any new construction should be “compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.”

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Staff's concerns with the current proposal are as follows:

1. Due to the lack of scaled drawings, staff is unable to determine the proposed height and size of the dwelling, yet it appears that the dwelling will be significantly higher than the adjacent historic property and larger than the massing and size of other properties in the nearby historic district. The footprint of the proposed house and its overall height/mass must be compatible with its adjacent resources. Staff requests that the applicant provide the Commission with scaled drawings for all the elevations and floorplans.

Staff additionally requests that the applicant provide a rendering of the house and garage showing the proposed lot's elevations, the house and garage's siting on this lot and their relationship to the street. Finally, it is also important to show the adjacent properties in the *scaled* site plan to show the relationship this house will have to the adjacent parcels.

Staff generally feels that the proposed detached garage is sympathetic to the historic district. The 22' high structure seems too high for the existing lot. Staff requests that the applicants research possible ways to reduce the height of this building. The proposed driveway appears to wrap around two sides of the proposed garage. This wrap-around element should be eliminated to reduce the amount of unnecessary paving on the lot. The proposed surface material for the driveway has not been provided.

2. The exterior materials the applicants are proposing include asphalt shingles for the main massing's roof, standing seam metal for the wrap-around porch's roof and vinyl siding for the exterior cladding. The Commission generally does not permit the use of vinyl siding as an exterior cladding within its historic districts. Staff recommends that the applicant utilize a cement-fiber product for this application. The maintenance factor of this product is comparable to vinyl siding and more closely replicates the look of wood siding, since the product does need to be painted.

3. This proposal lacks details such as porch materials, gutter and downspout specifications, door and window schedules, foundation descriptions and materials, and material specifications for the proposed garage and driveway. The Commission generally favors the use of simulated or true-divided light wood windows (not aluminum or vinyl clad), solid wood doors, wood detailing on the porch including wood tongue and groove flooring and wood window, door and house trim. Staff encourages the applicant to work with staff to select these materials.
4. In addition to the above requested documents, the applicant should provide the Commission with a tree survey outlining all trees larger than 6" in diameter. This survey should also indicate the proposed trees on the property to be retained and removed.

Albert J and Deborah

Forst

19310 Mateny Hill Rd.
Germantown MD 20874
301-353-0698

Dear Historic Commission,

After careful research and planning we have found the perfect home for us and our lot. The farmhouse design we have decided to build is the best of the old and the new. One of the joys of our present home is our large deep front porch which has and continues to be a gathering place for family and friends. That was a prerequisite for this house.

Although our lot is in the Germantown Historical District the home will not have a significant impact to the district because of its location. We have lived in this district since 1985 and the three existing homes in this district all face the train station and this home is around the corner and somewhat disconnected from this Historic Area.

Our new home will be across from a relatively new development, Germantown Station which consists of 49 large modern homes with various architecture styles. These homes are on very small lots and quite close together. We are adjacent to a farmhouse on 2 acres with many outbuildings and a rambler on a 1/4 acre lot.

The house we plan to build is a 4,000 sq. foot house with a separate garage. We have chosen this house size for many reason. We know it will look balanced on our .81 acre lot and it will accommodate our multigenerational family. Germantown once had many large farmhouses but now only a few remain due to new construction and disappointingly arson. The Dawson house at Liberty Mill Rd., the Rayfield/Browning House which recently doubled its size and is in the Historic District, the newer Victorian House at 19124 Mateny Hill Rd which was built by Bert Odell and came through this commission prior to building are just several homes in Germantown that we drew our inspiration from.

We have consulted with several of our neighbors who have gone through this process, whether it was a new home or an addition to an existing structure and it is our desire to have this process to go as smooth as possible. We wanted a house that we would like and be aesthetically appealing to this commission as well. We sought professional advice from a land engineer and with his expertise, looking at the lay of the land and the adjacent houses, the sight was chosen for this house.

Due to my husband's health(he had prostate cancer surgery in November) and my ongoing recovery from a broken back last year we are looking forward to a maintenance free home. We are requesting that you allow us to use an architecturally pleasing vinyl siding as you did in the new construction of the Victorian at 19124 Mateny Hill Rd. We would use only the highest quality

ADJ TO WALLICH-HEIMER HOUSE - THE LOT WAS SUBDIVIDED.

material as was done on this home. We would appreciate every consideration in this matter. We have taken a walking tour of the beautiful reproduction homes in the Kentlands area in Gaithersburg and have found that these homes use the new modern state of the art products and it does not interfere with the beauty of these homes.

We appreciate your time and hope that you will love this home like we do.

If you have any questions or concerns please contact us.

Sincerely,

Deborah and AJ Forst

April 5, 2003

Montgomery County Historic Preservation Commission
8787 Georgia Ave.
Silver Spring, MD 20910

Re: preliminary Consultation of Debra Forst, parcel 209

Dear Commissioners:

We have looked at the plans for the new construction of a house and garage on parcel 209 in the Germantown Historic District and we have the following comments.

The Germantown Historic District was whittled down from 28 sites to three houses and two commercial buildings by the Montgomery County Council on approval of the district in 1989. The reason given for this was that these five structures would be “representative” of the original agricultural railroad town.

Because of this, the small Germantown Historic District has a tremendous responsibility and should be held to a much higher standard than another historic district which might have several representations of similar historic structures.

In light of this the Germantown Historical Society recommends that:

- ◆ The new house be smaller in size.
- ◆ That the garage be lower in height since it will be at the highest point of the property.
- ◆ Both structures be entirely clad in wood.
- ◆ The new house have decorative trim in the 1890s style
- ◆ The rear of the house have shutters on the windows and not be so one-planed—have some parts extending out.

The GHS would also like to point out that new structures in the neighborhood that are not in the Germantown Historic District should in no way be used as models or influence in any way the construction of this house and garage in the historic district. On the other hand, original structures in the neighborhood but not in the historic district which have retained their original character and outward appearance can be used as models.

Sincerely,
The Executive Board of the Germantown Historical Society
Gaye Lynn Wilson
Susan Soderberg
Mary Serncz
Elaine Huey
David Kerlin
Kathie Hulley

TO MICHELLE.

The adjacent property addresses to the lot in the Germantown Historic District are.

1. The Bermans
(Historic District)
19390 Mateny Hill Rd
Germantown, MD 20874

2. The Householders
19220 Mateny Hill Rd
Germantown MD 20874

- 3. 19209
- 4. 19207
- 5. 19205
- 6. 19203

Mateny Hill Rd
Germantown MD 20874

7. The Forsts
19310 Mateny Hill Rd →

our property is directly behind lot

Fax Cover Sheet

kinko's®

19704 Germantown Road
Germantown, Maryland 20876
Tel (301) 515-8355
Fax (301) 515-6874

Date: 5.9.03

To: Michelle Naru

Company: Historic Preservation

Fax: 301-563-3412

From: Deborah R Forst

Company: _____

Tel: 301-353-0698

Number of pages including this one: _____

Comments:

Hi Michelle,

There are a few items
I did not fill out. (i.e. form #)

I can call you back with
any ~~per~~ info that you need

Thank you for all your
help.

Sincerely

- Deborah R Forst

Fax Cover Sheet

kinko's®

19704 Germantown Road
Germantown, Maryland 20876
Tel: (301) 515-8355
Fax: (301) 515-6874

Date: B. 21. 03

To: Michelle Naru

Company: Park & Planning

Fax: 301-563-3412

From: Deborah Forst

Company: _____

Tel: 301-353-0698

Comments:

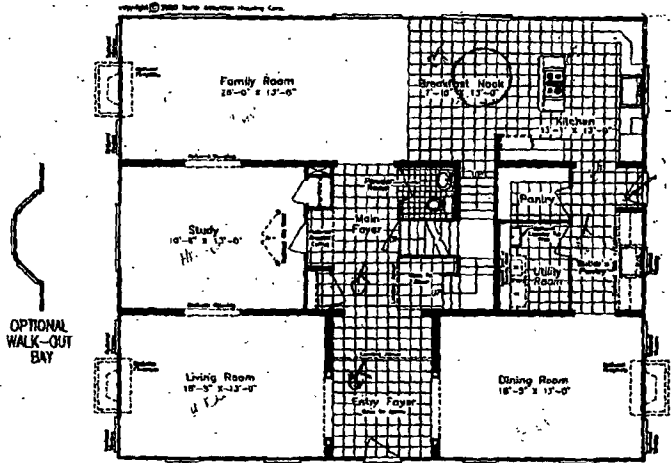
① Floor Plan for house to be built on MATEWY HILL Rd Historic District +

② Adjacent properties

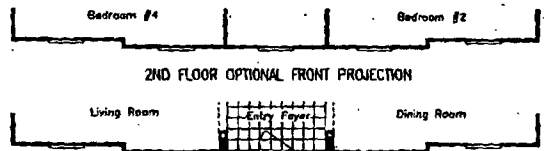
Reverse floor plan

KINKOS

03/21/2003 17:49 FAX 3015158355



STANDARD BASEMENT PLAN



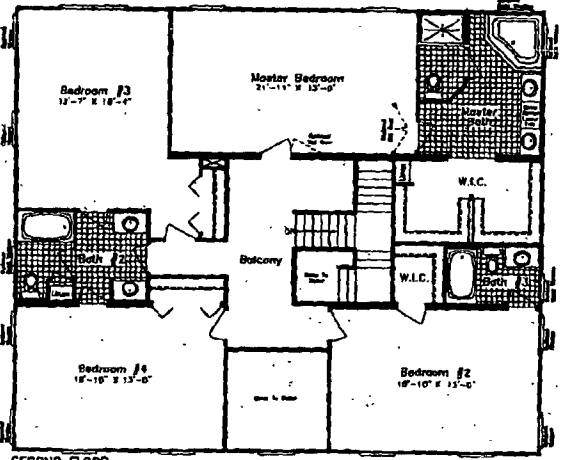
2ND FLOOR OPTIONAL FRONT PROJECTION



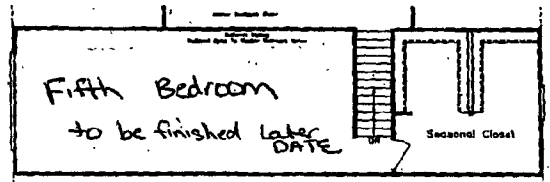
1ST FLOOR OPTIONAL FRONT PROJECTION

CAMBRIDGE

Approx. First Floor Area 2016 sq. ft.
 Approx. Second Floor Area 2016 sq. ft.
 Approx. Total Area 4032 sq. ft.



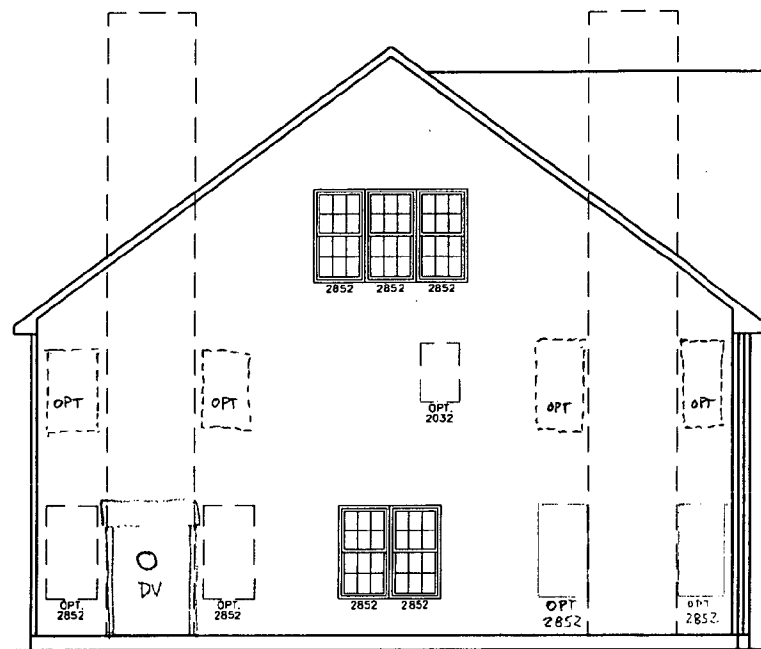
SECOND FLOOR



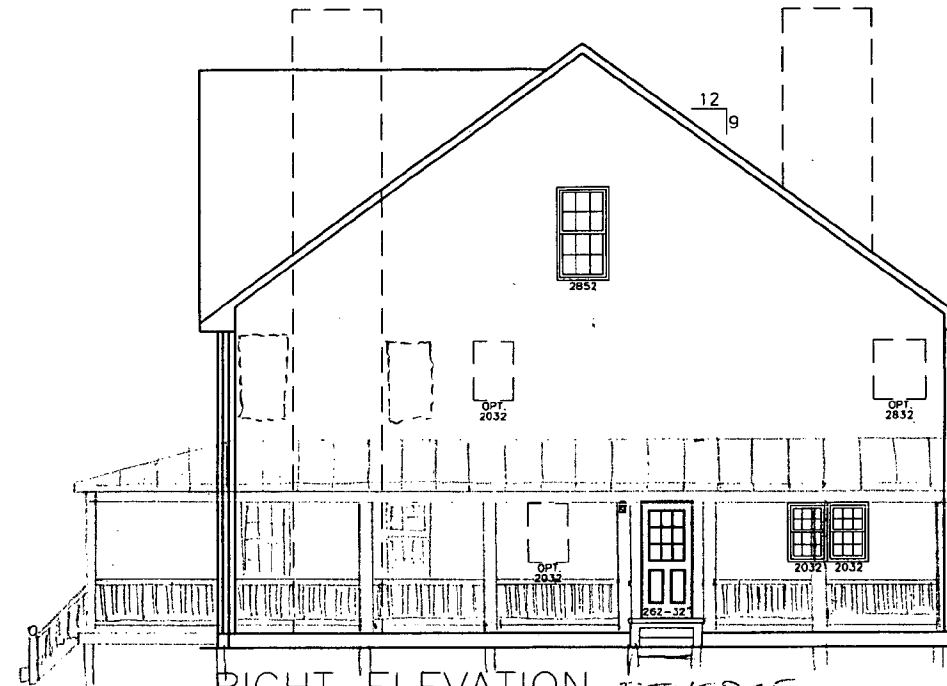
OPTIONAL 3rd FLOOR
9/12 ROOF AND STAIRS TO MASTER RETREAT



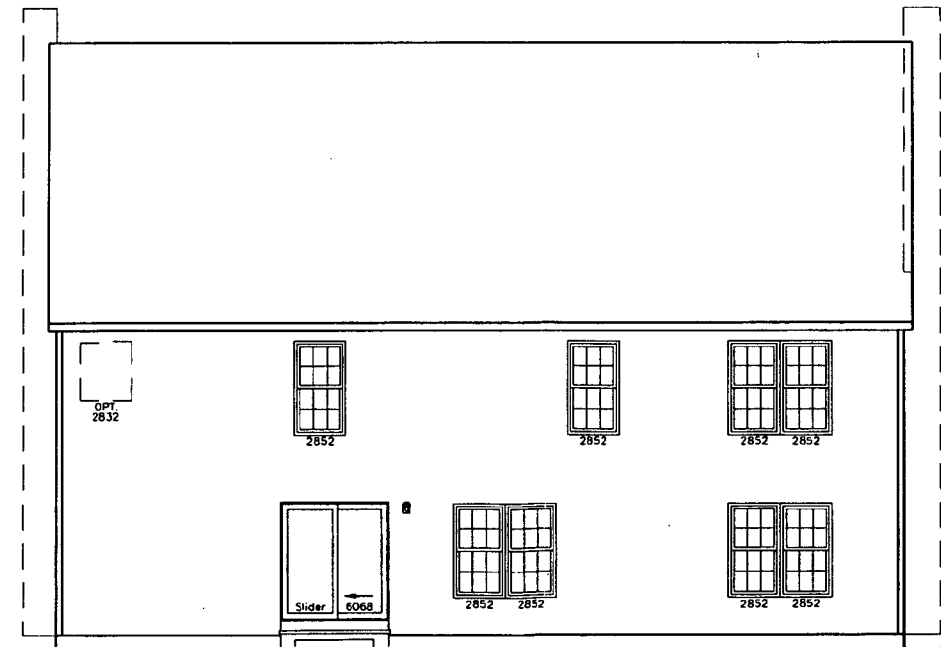
FRONT ELEVATION
FIRST RESIDENCE



LEFT ELEVATION - REVERSE
SCALE: 3/32"



RIGHT ELEVATION - REVERSE
SCALE: 3/32"



REAR ELEVATION - REVERSE
SCALE: 3/32"

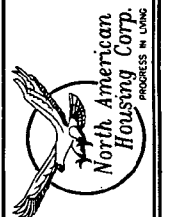
FORST RESIDENCE

SHEET #
of

MODEL:
CAMBRIDGE2000
CONTROL #

DRAWING:
Elevations
COPYRIGHT 1999

North American Housing Corp.
CORPORATE HEADQUARTERS
5724 INDUSTRY LANE
FREDERICK, MD 21704
301-694-9100



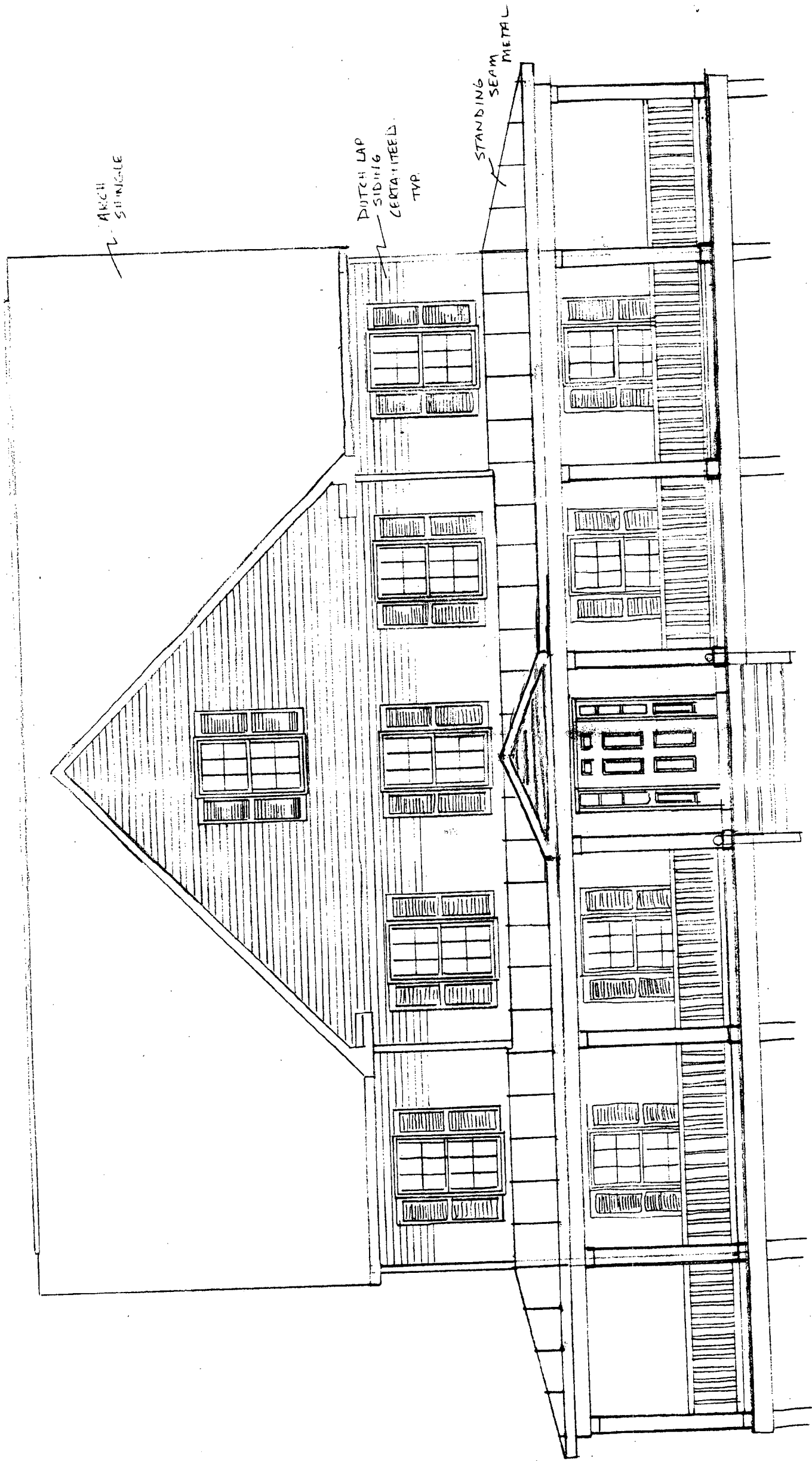
DRAWN:
M. Grimes
DATE:
6-27-00

SCALE:
3/16"

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RSM: STATE: CO: BUILDER: JOB REF:

4			
3			
2			
1			
REV. #	REMARKS	DATE:	DRAWN:



FRONT ELEVATION
FORST RESIDENCE

STATE: _____ CO: _____ BUILDER: _____ JOB REF: _____

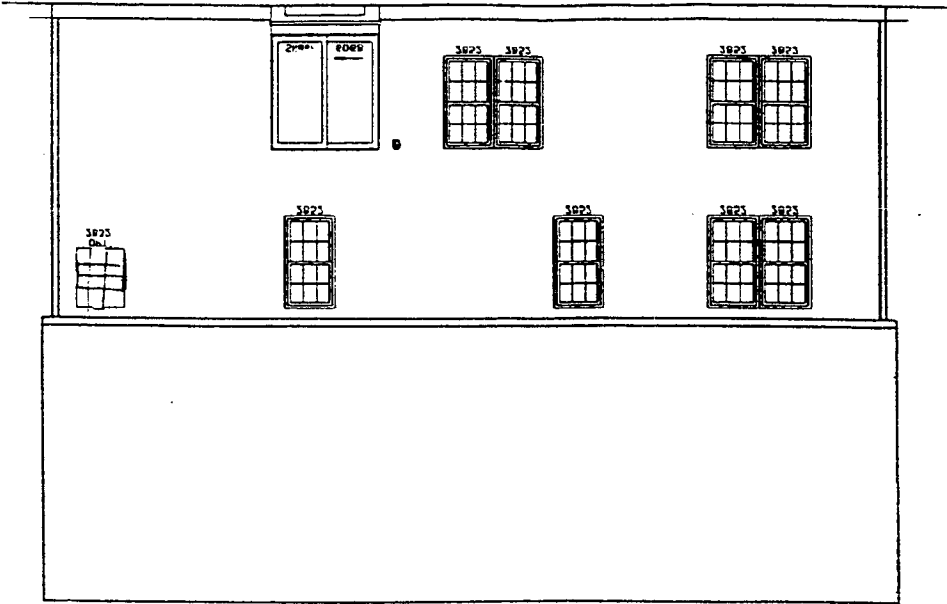
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1			
2			
3			
4			

DATE: 2/10/80
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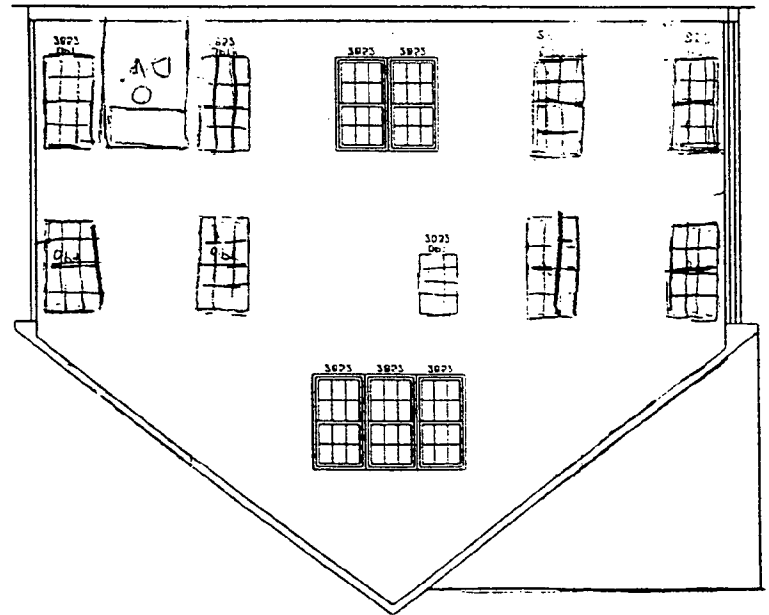
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AMERICAN HOUSING CORP. RESERVES THE

FIRST RESIDENCE

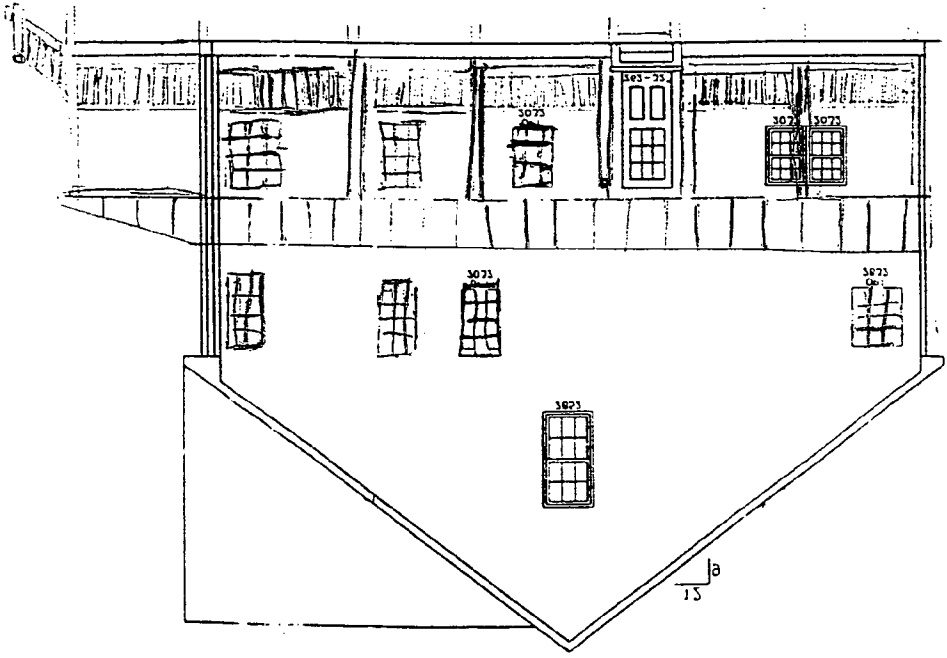
REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION



PROJECT: E-51-00
DATE: _____
DRAWN: W. Guimes



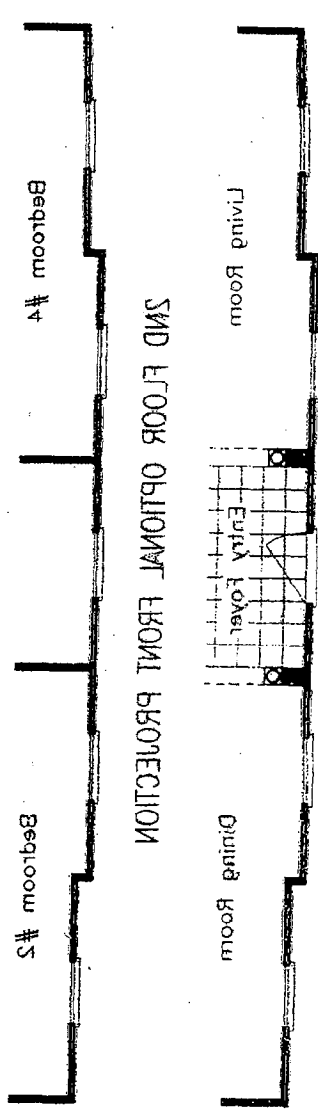
301-684-2100
2524 INDUSTRIAL PINE, FREDERICK, MD 21504
CORPORATE HEADQUARTERS
North American Housing Gold

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Elevations
DRAWING

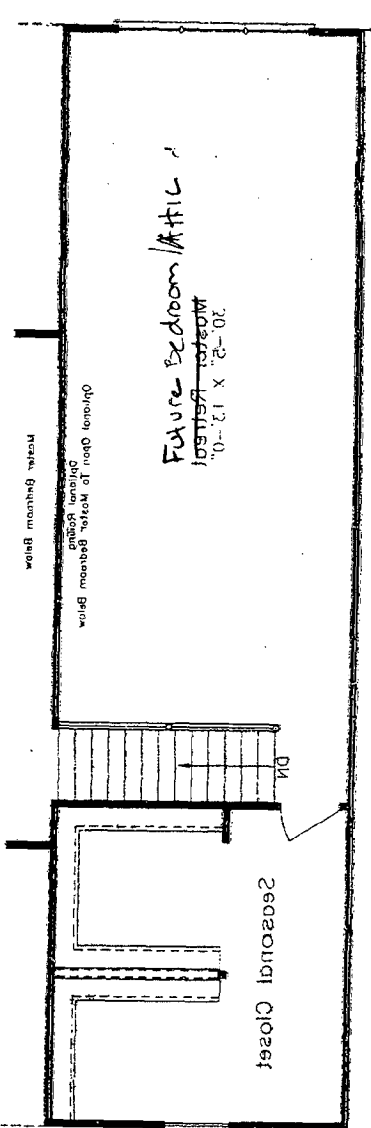
CONTROL #
CAMBRIDGE5000
MODEL:

SHEET #

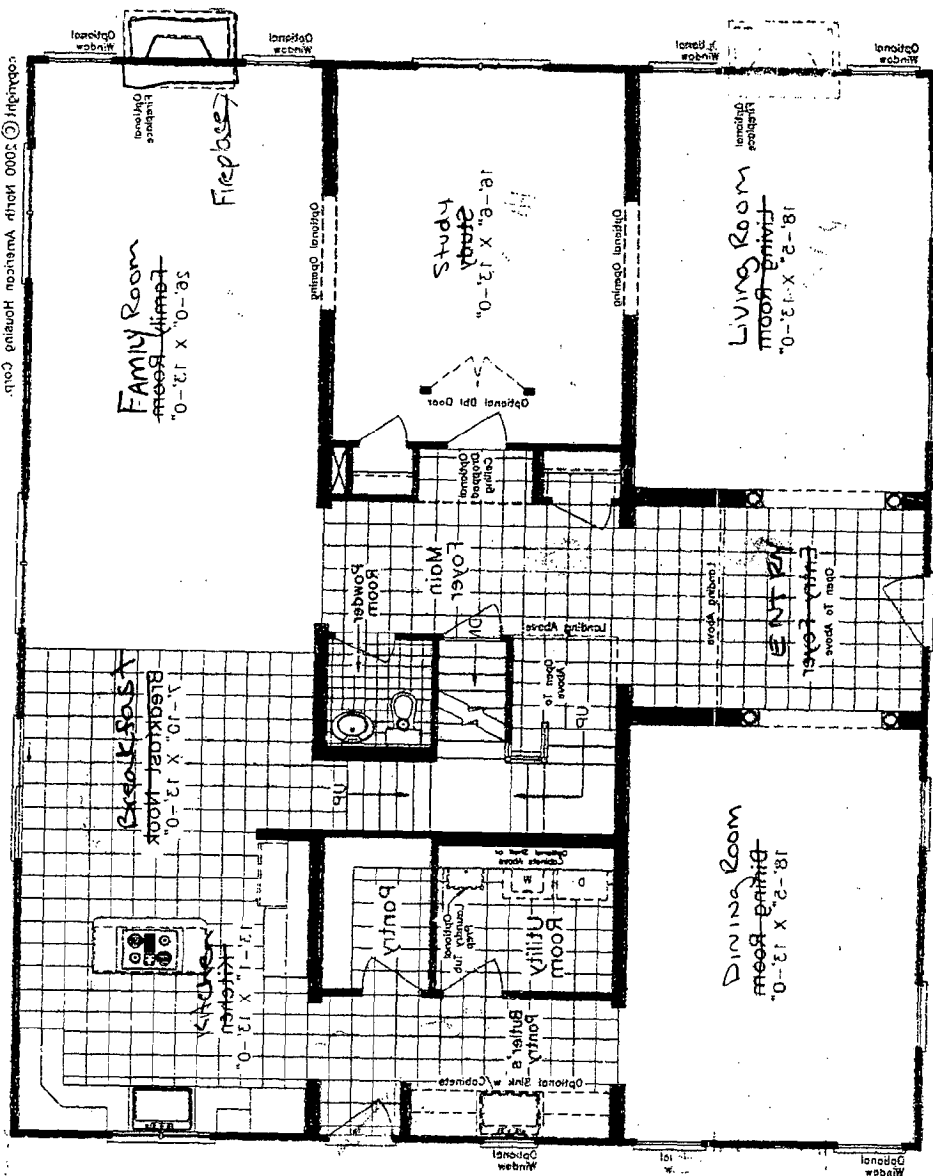
1ST FLOOR OPTIONAL FRONT PROJECTION



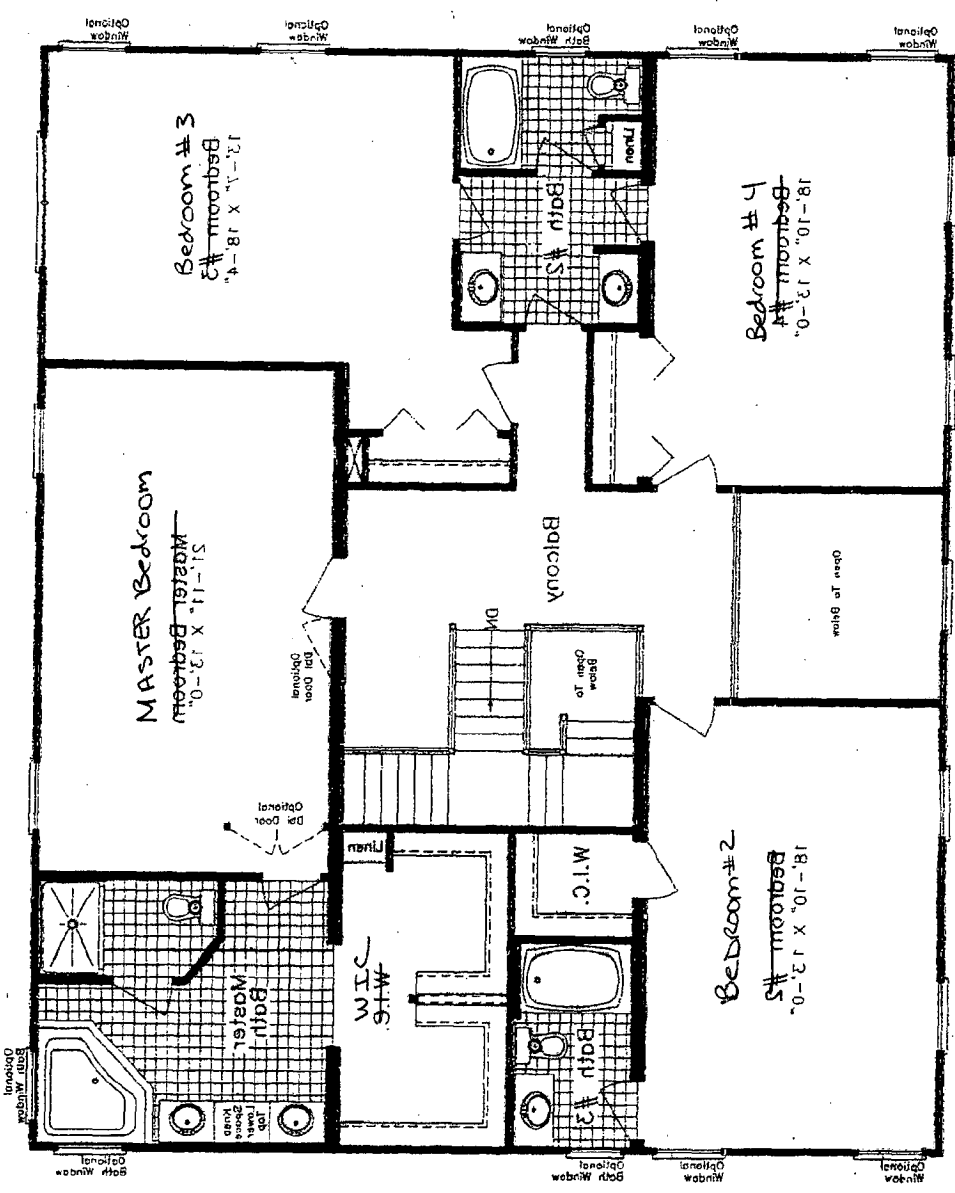
2ND FLOOR OPTIONAL FRONT PROJECTION



STANDARD BASEMENT PLAN



SECOND FLOOR



Handwritten notes and signatures at the bottom of the page, including a large signature and the number '3'.

will compress 12" elm - ~~more~~ more east - to protect 40" -

have more ~~what~~ - approx. 5' - other case garage

methodical ~~linear~~ garage

main garage forward - to rear of house - 10'-15' forward

arborist he consulted - tree care plan

remain to answer

driveway - root pruning. 2/3 of C.R.2. to

along in case of drive -

18" Beak

10" Elm

10" Beak ~~2~~ root pruning

12" Elm - root pruning

shift house to NE

1.5 x 10" = 15' away -

- apron next to garage -
- dip zone - out of @ a min

small larval area disturbance -
except - from F.C.P.
will require tree p.p. @
Sediment - control - permit

- Central gable -
 - tripartite window - pediments
 arched window ^{II-G}

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: Parcel 277, Mateny Hill Rd **Meeting Date:** 05/28/03
Applicant: Albert and Deborah Forst **Report Date:** 05/21/03
Resource: Germantown Historic District **Public Notice:** 05/14/03
Review: HAWP **Tax Credit:** None
Case Number: 19/13-03A **Staff:** Michele Naru
PROPOSAL: New construction on an empty lot
RECOMMEND: Approval with Conditions

June 11th
 Tues
 B-day
 June 15th

STAFF RECOMMENDATION: Staff recommends that the Commission support this HAWP application with the following conditions:

1. The proposed driveway will be constructed of gravel.
2. The proposed windows will be simulated divided-light, painted, wood windows. Specification sheets for the proposed windows will be provided to staff for their review and approval.
3. Site drawings will be generated showing total height and first floor height of the proposed buildings in relationship to the existing site. These drawings will also illustrate any proposed deviations from the current grades.
- 4. The applicants will develop a tree protection plan for the existing trees on the site. This plan must be submitted to the staff for their review and approval prior to the issuance of the building permit.
5. As mitigation for the removal of the 24" and 16" elm trees on the site, staff recommends that the applicants plant three trees (min. 2" in caliper) somewhere on the property. The trees to be planted must be selected from the Montgomery County Native Species list.

asphalt ok
 vinyl clad

SITE DESCRIPTION
 19/13 Germantown Historic District (c1878+) front door - insul. steel - wood
 Vicinity of Liberty Mill Road, B&O Railroad, and Mateny Hill Road
 fiberglass shutter - us - wood shutter
 insulated steel garage doors - wood
 wood

German farmers settled the Germantown area in the early 1800s. The initial Germantown settlement clustered around the intersection of Clopper and Liberty Mill Roads. After the introduction of the Metropolitan Branch of the B&O Railroad, the community known as Germantown Station grew about one mile north of the original crossroads community. Present-day Liberty Mill and Walter Johnson Roads were the original Germantown Road.

1/2 width of window

The railroad enabled farmers to ship their produce, grain, and milk to Washington, as well as receive fertilizers to enrich the soil for larger yields. *Germantown Station*, built in 1891, replaced an earlier small railroad station located there in 1878. The frame structure was rebuilt, following a 1978 fire, and serves modern-day commuters traveling to jobs downcounty and in Washington, D.C. The original single track at Germantown once required two telegraph operators to control the switches to double tracks south of town.

The Germantown community became the center of commercial activity when the Bowman Brothers built a new steam-driven flour and corn mill next to the new railroad depot, making obsolete the earlier water-driven mills in the area. *Bowman Brothers Liberty Mill* was built in 1888 at the south side of Liberty Mill Road along the railroad tracks. The wooden flour mill burned in 1914, but was rebuilt and modernized in 1916 with six huge silos. In 1918 Augustus Selby and his 4 partners bought the mill, and operated it until 1963. A grain elevator and grain dryer were part of the operation in the 1920s and 30s, but burned in 1972 after the mill had closed. Still standing is a grain scale housed in a small metal shed on Mateny Hill Road, southwest of Blunt Avenue.

Germantown's commercial district grew along Mateny Hill Road between the train station and Liberty Mill Road. In the late 1800s and early 1900s, Germantown had two general stores, a post office, three churches, a bank, doctor's office, barber shop, and school. The *Germantown Bank* (1922), 19330 Mateny Hill Road, was funded through sale of shares to residents who wanted to cash their mill paychecks without being charged 15 cents that the General Store demanded for the service. This one-and-a half story brick building has a simple classical facade, and iron bars on its triple windows. At the southern corner of Blunt Avenue and Mateny Hill Road, a small, board and batten shop with a gable roof, was used at various times as a harness shop, barber shop and post office before it was converted into a house. Numerous other service businesses in this vicinity included a feed store, several warehouses, and a stockyard.

The houses built within this period have strong uniformity and similar architectural details in the simple rural tradition of 19th century Maryland. The homes were built for mill and railroad employees as well as shopkeepers and ministers. Many houses in the historic district still have dependencies such as stables, wash houses, and meat houses; some with louvered cupolas, contrasting trim, or other architectural details. The generous front and side yards allowed for family gatherings, gardens, and perhaps a few animals, while shade trees and porches helped residents escape the heat of summer. One of the oldest houses in the district is the c1870 *Harris-Allnut House*, 19390 Mateny Mill Road. It was originally the home of R. E. and Alice Harris who ran a store from this location. The *Anderson-Johnson House* (1898), 19310 Mateny Mill Road was first the home of a railroad agent and later Germantown's postmaster. *Rev. Rayfield House* (c1890s), 9215 Blunt Avenue, was the residence of the Baptist Church minister. This center cross gable, frame house has an entry with transom and side lights, and ornamental porch balustrade. The homes of influential community leaders (e.g. mill owners, banker, store owners) lined Old Germantown Road on large parcels of land. Bank President A. H. Baker lived in a large estate on Liberty Mill Road where Liberty Heights is now located.

Bowman Brothers or Liberty Mill was at one time the second largest mill in the state. In the 1950s, dairy products replaced grain as the state's primary agricultural output, leading

to a decline in the milling business. Popularity of the automobile enabled residents to shop in more distant shopping centers, people became less dependent on the railroad, and growth of the county's population turned cornfields into cul-de-sacs. Commercial businesses are now concentrated closer to I-270. The Germantown Historic District, designated in 1989, preserves the heritage of Germantown as a flourishing farming and mill community, while continuing to focus on the B&O Station as a center for today's MARC train commuters.

PROPOSAL

The applicant proposes to construct a new house and detached garage on an empty lot between 19300 Mateny Hill Road (Outstanding Resource within the Historic District) and 19220 Mateny Hill Road (Outside Historic District boundaries) (see Circles 16-22). The proposed house is a 2-½ story, cross gable roof structure with a wrap-around porch along the front, left and right elevations of the house. The applicants are proposing standing seam metal for the house's porch roof, asphalt shingles and hardi-plank siding for the main massing of the house and the garage. The applicants have not specified material for the proposed new driveway.

The applicants are also proposing to remove a 24" and 16" Elm tree from the site.

STAFF DISCUSSION

The Historic Preservation Ordinance, Chapter 24(A) No. 2 states that any new construction should be "compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter."

The Germantown Historic District is a very small yet significant historic district comprised of buildings ranging from c1870 to the early 1920s. Any new construction that is introduced to the historic district must be compatible with the surrounding buildings, and particularly sensitive to the older properties. Because this property will be the first new construction within the historic district, this proposal should be given the highest level of scrutiny for compatibility with the historic district.

Staff's notes that the Commission generally was in support of the proposed design of the house when it was presented to them at their April 9, 2003 meeting as a preliminary consultation (see circles 28-52 for transcript.) The concerns with the proposal presented at the April 9th meeting focused on three main issues. These issues are as follows:

1. Commissioner Breslin and Chairman Spurlock were concerned about the placement of the house on the lot. The concern was specifically how high the building was going to be set out of the ground. The applicants have provided the Commission with a street elevation drawing showing the placement of the house on the existing lot as well as the location of the adjacent houses. This proposed drawing indicates that the front porch will be the height of seven-steps above

ground. Staff feels that this height is too excessive for the site and suggests that the Commission require engineered drawings of the site be developed, denoting the exact height of the proposed building, with the height of the first floor denoted. Additionally, the Commission should provide the applicant with some parameters regarding first floor and maximum height amounts, so that the Applicant can communicate these numbers to the engineer.

2. Commissioner Harbit was concerned with the large cross gable on the original plans. He indicated that the span of the gable across three windows made the front elevation appear larger. Commissioner Harbit recommended that the applicant redesign the cross gable so that it only spans one window to reduce the scale of this feature. The applicant has revised the front elevation of the building and the proposal being presented in this report is a single window span for the cross gable.
3. Commissioner Watkins expressed concern with the rear façade. She was concerned that the single plane of this façade was problematic. She encouraged the applicant to break-up the solid wall with some sort of projection. The applicants have addressed this issue by designing a rear ell projection.

Generally, staff is in support of the proposed new construction. Due to the location of the house on the edge of the historic district, staff feels that the house's design is sympathetic to the character of the historic district. The abovementioned conditions proposed by staff are aimed to address issues that were either a concern of the Commission or that were not clearly delineated as part of this proposal.

STAFF RECOMMENDATIONS

Staff recommends that the Commission **approve with conditions** the HAWP application for being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #9 and #10:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the conditions that:

1. The proposed driveway will be constructed of gravel.
2. The proposed windows will be simulated divided-light, painted, wood windows. Specification sheets for the proposed windows will be provided to staff for their review and approval.
3. Site drawings will be generated showing total height and first floor height of the proposed buildings in relationship to the existing site. These drawings will also illustrate any proposed deviations from the current grades.
4. The applicants will develop a tree protection plan for the existing trees on the site. This plan must be submitted to the staff for their review and approval prior to the issuance of the building permit.
5. As mitigation for the removal of the 24" and 16" elm trees on the site, staff recommends that the applicants plant three trees (min. 2" in caliper) somewhere on the property. The trees to be planted must be selected from the Montgomery County Native Species list.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
288 ROCKVILLE PIKE, 8th FLOOR, ROCKVILLE, MD 20850
240/77-5376

OPS - #11

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Deborah R Forst
Daytime Phone No.: 301-353-0698

Fee Account No.: _____
Name of Property Owner: Deborah R & AT Forst Daytime Phone No.: 301-353-0698
Address: 19310 Mateny Hill Rd Germantown MD 20874
Street Number City State Zip Code
Contractor: Ted Burkhardt Phone No.: _____
Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____
Address: _____

LOCATION OF BUILDING/PREMISE
House Number: 19310 (B) Street Mateny Hill Rd
Town/City: Germantown Nearest Cross Street: _____
Lot: _____ Block: _____ Subdivision: _____
Lot: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/renovate Add Stab Floor Addition Pave Deck Shed
 Move Install Wreck/tear Sola Replace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 350,000.00

1C. If this is a revision of a previously approved action permit, see Permit # No

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Deborah R Forst 5.09.03
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

6

May 09 03 03:21p

HISTORIC PRESERVATION

3015633412

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

New house to be constructed in Germantown
Historical District. This will be a 2 1/2 story with
wraparound porch. This is a version of the Carpenter
Gothic Design at the turn of the Century.
There is a ~~small~~ small dilapidated shed on property. This
is the only existing structure.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

This house will fit beautifully in the Germantown
Historic District.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as wellways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and finishes proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (or approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONTIGUOUS PROPERTY OWNERS

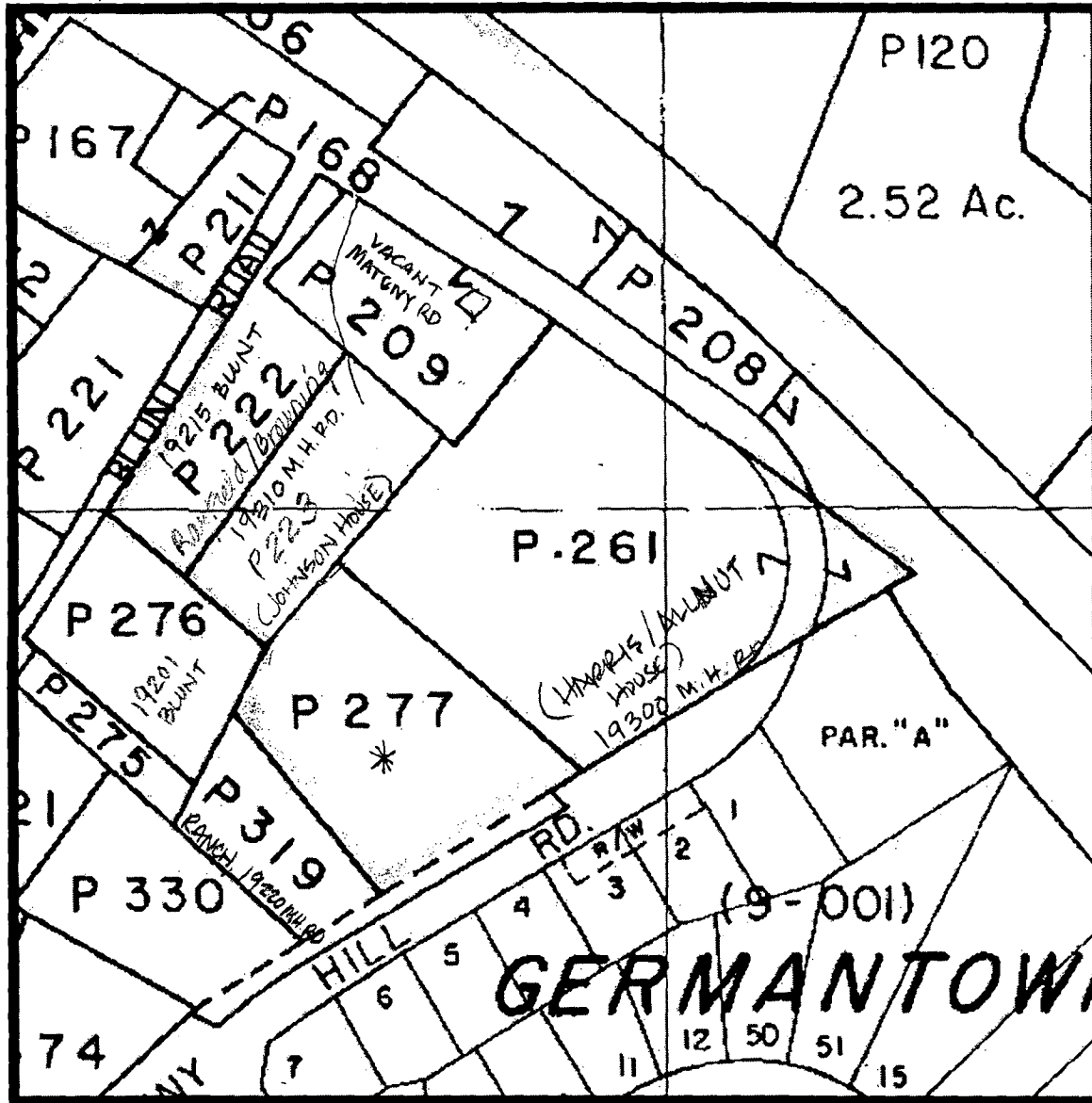
For ALL projects, provide an accurate list of adjacent and adjoining property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owners of lots or parcels which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301) 279-1356.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

7

	Maryland Department of Assessments and Taxation MONTGOMERY COUNTY Real Property Data Search	Go Back View Map New Search
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District - 09 Account Number - 00766994



Property maps provided courtesy of the Maryland Department of Planning ©2001.
For more information on electronic mapping applications, visit the Maryland Department of Planning
web site at www.mdp.state.md.us

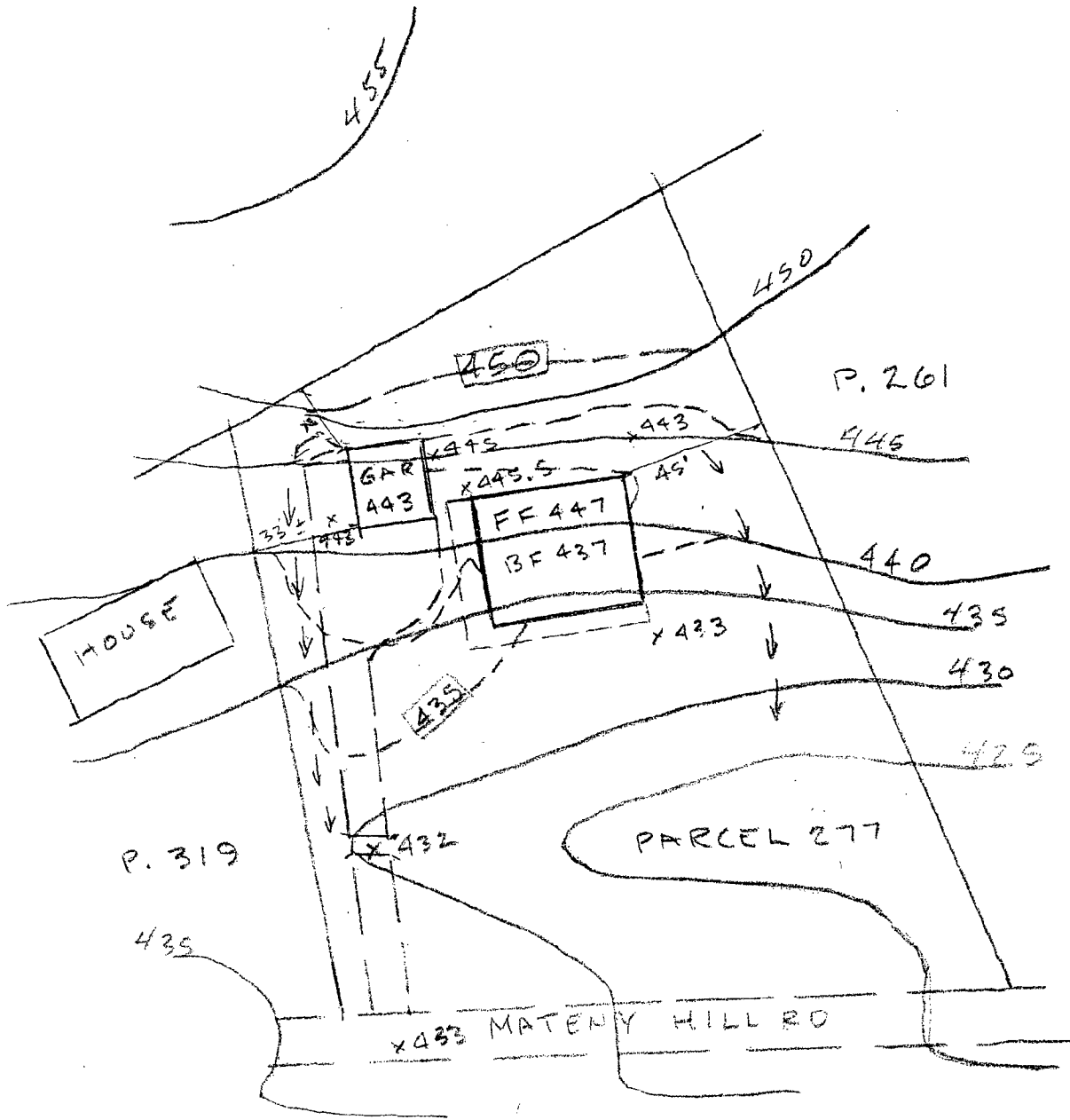


KITCHEN

RESTAURANT

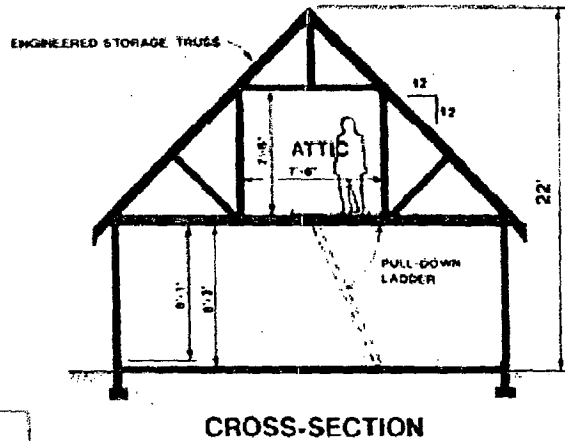
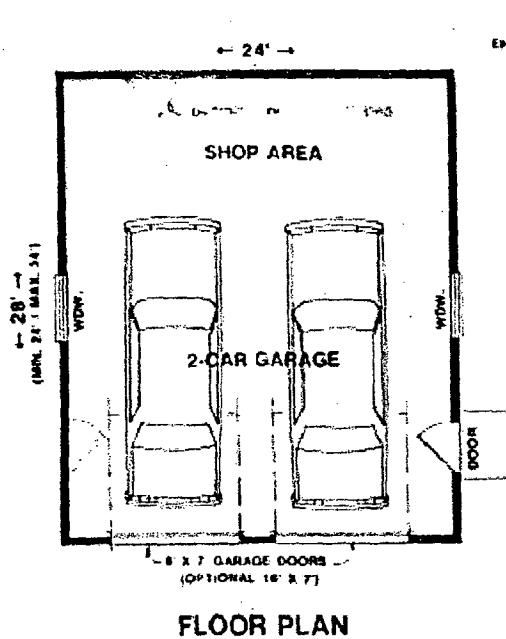
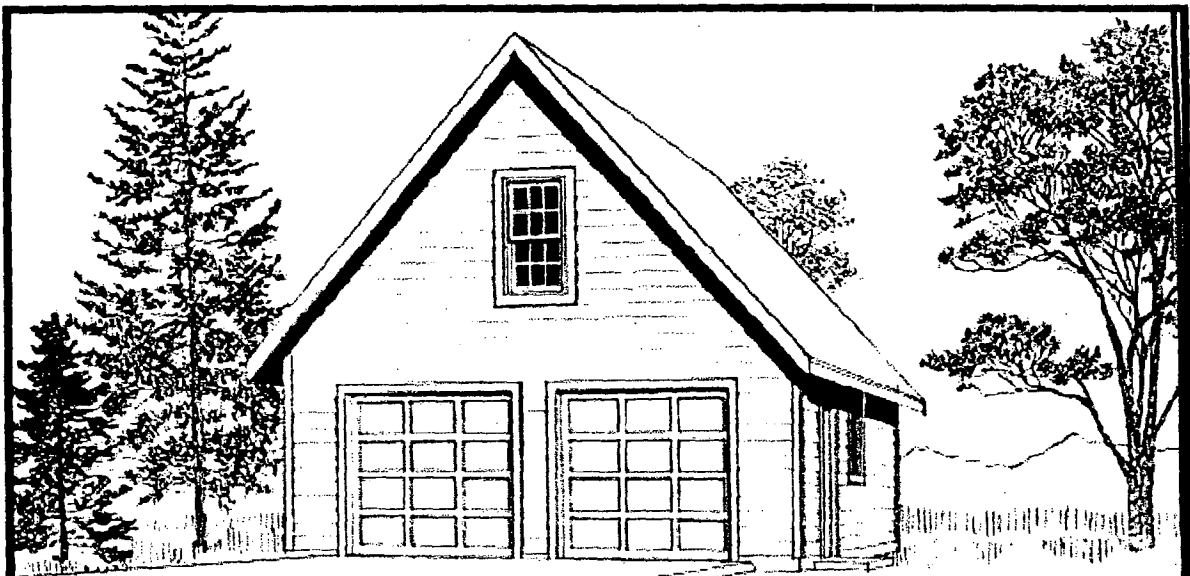
BANK

19



PRELIMINARY
CONSULTATION

Job No.	
Scale	
Field Dates	
Wall Check	
Final Loc.	
Recert	(10)



This spacious 2-car garage has useable attic space created by truss profile - a very economical way of creating a "loft".

Plans are set up with variable depth dimension.



WIDTH: 24'	PLAN No. 671-1
DEPTH: 24	
RIDGE HEIGHT: 22 (VAR)	
FLOOR AREA: 672 SF	

Plan price: \$99.95 (4 copies of planset)

PRELIMINARY
CONSULTATION

11



ARCEL SHINGLE

DUTCH LAP SIDING
CERTA-TITEFLD
TVP.

STANDING SEAM
METAL

FRONT ELEVATION
FORST RESIDENCE

PRELIMINARY CONSULTATION

2

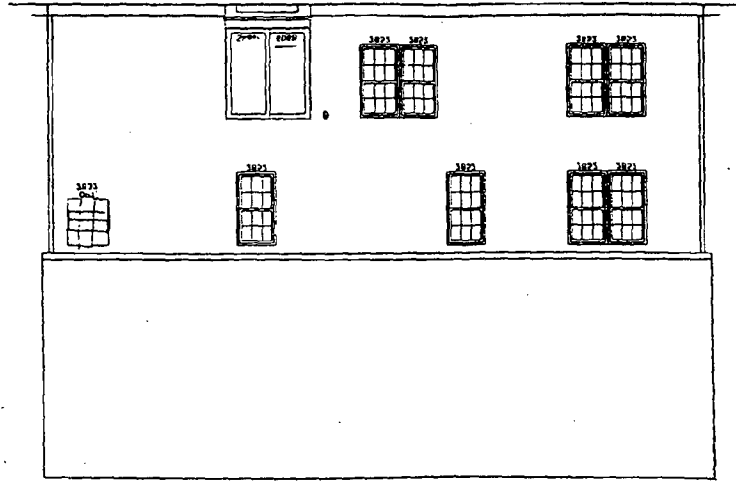
STATE:	CO:	BUILDER:	JOB REF:	SEA 1	MARK 2
				1	
				2	
				3	
				4	

DESIGN UNDER U.S. COPYRIGHT LAW
 UNAUTHORIZED USE MAY BE SUBJECT
 TO CIVIL AND CRIMINAL PENALTIES
 NO PART OF THIS DRAWING IS TO BE
 REPRODUCED OR TRANSMITTED IN ANY
 FORM OR BY ANY MEANS, ELECTRONIC
 OR MECHANICAL, INCLUDING PHOTOCOPYING,
 RECORDING, OR BY ANY INFORMATION
 STORAGE AND RETRIEVAL SYSTEM, WITHOUT
 THE EXPRESS WRITTEN PERMISSION OF THE
 ARCHITECT.

(B)

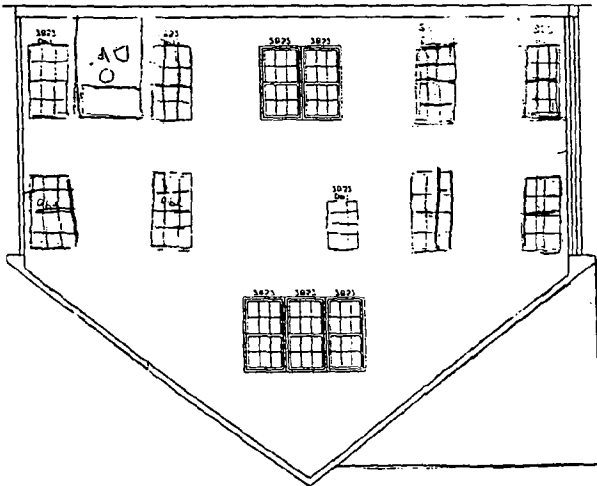
FRONT ELEVATION

REAR ELEVATION

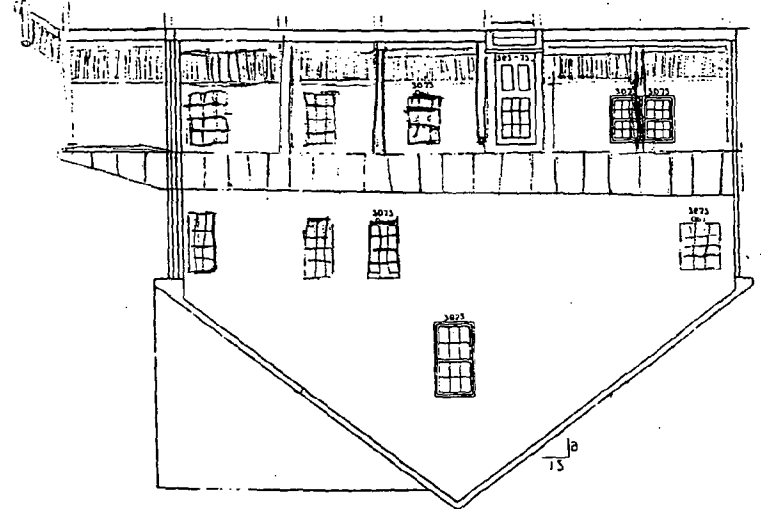


PRELIMINARY
 CONSULTATION

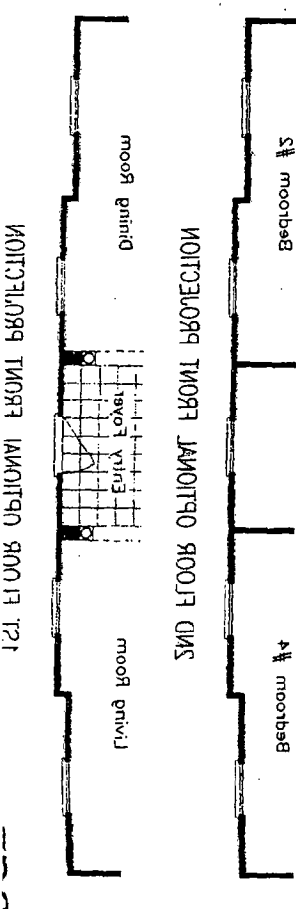
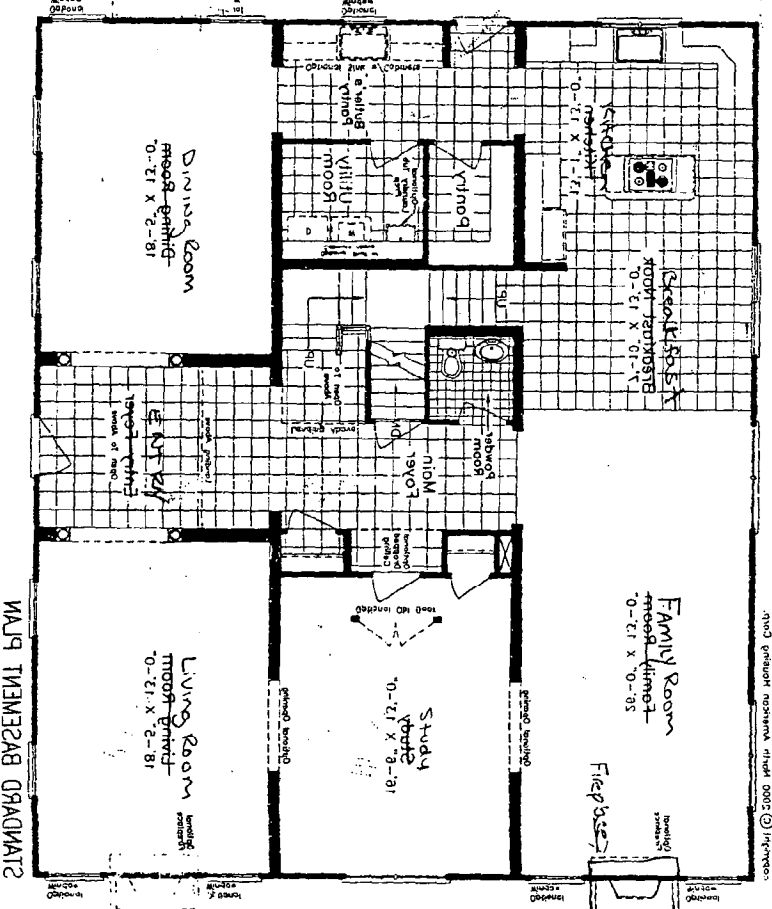
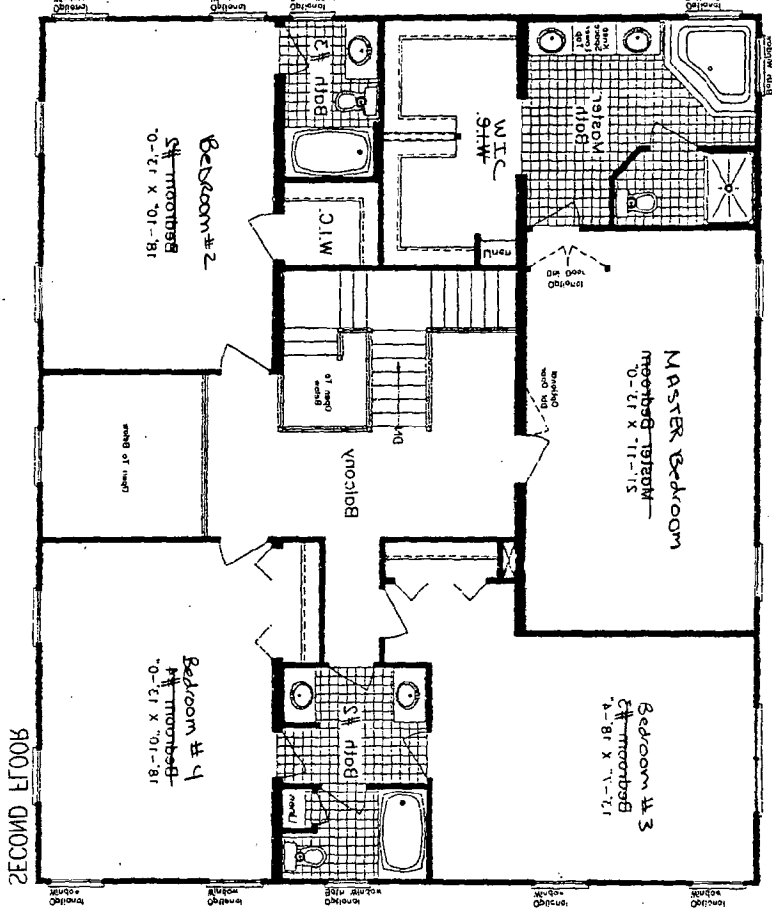
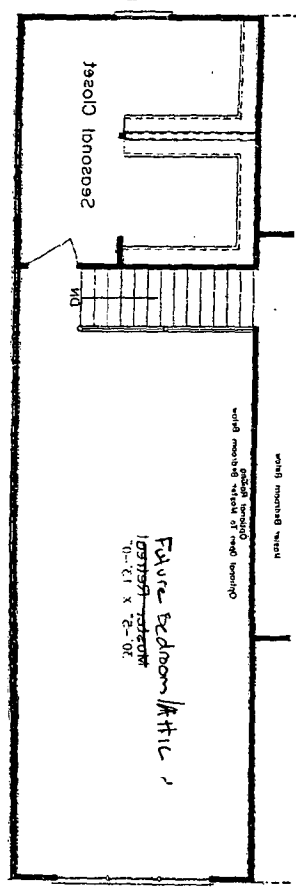
RIGHT ELEVATION



LEFT ELEVATION



14



1ST FLOOR PLAN CONSULTATION

2ND FLOOR PLAN CONSULTATION

3RD FLOOR PLAN CONSULTATION

© 2002 ARCHITECT

April 5, 2003

Montgomery County Historic Preservation Commission
8787 Georgia Ave.
Silver Spring, MD 20910

Re: preliminary Consultation of Debra Forst, parcel 209

Dear Commissioners:

We have looked at the plans for the new construction of a house and garage on parcel 209 in the Germantown Historic District and we have the following comments.

The Germantown Historic District was whittled down from 28 sites to three houses and two commercial buildings by the Montgomery County Council on approval of the district in 1989. The reason given for this was that these five structures would be "representative" of the original agricultural railroad town.

Because of this, the small Germantown Historic District has a tremendous responsibility and should be held to a much higher standard than another historic district which might have several representations of similar historic structures.

In light of this the Germantown Historical Society recommends that:

- ◆ The new house be smaller in size.
- ◆ That the garage be lower in height since it will be at the highest point of the property.
- ◆ Both structures be entirely clad in wood.
- ◆ The new house have decorative trim in the 1890s style
- ◆ The rear of the house have shutters on the windows and not be so one-planed—have some parts extending out.

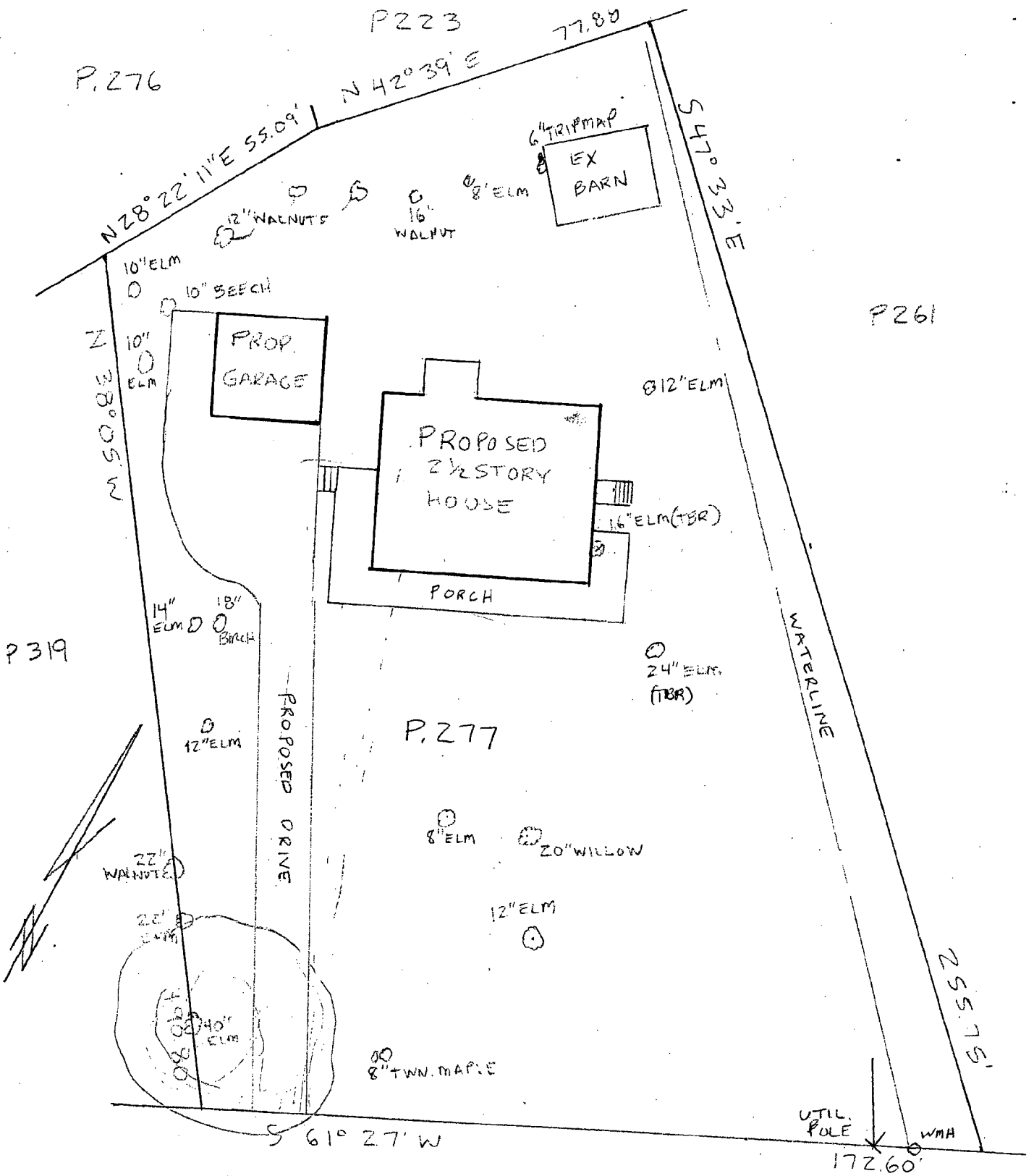
The GHS would also like to point out that new structures in the neighborhood that are not in the Germantown Historic District should in no way be used as models or influence in any way the construction of this house and garage in the historic district. On the other hand, original structures in the neighborhood but not in the historic district which have retained their original character and outward appearance can be used as models.

Sincerely,

The Executive Board of the Germantown Historical Society

Gaye Lynn Wilson
Susan Soderberg
Mary Serncz
Elaine Huey
David Kerlin
Kathie Hulley

(15)



MATENNEY HILL ROAD

PROPOSED NEW HOME
 FIRST RESIDENCE
 MATENNEY HILL RD
 GERMANTOWN MD

MAY 2003

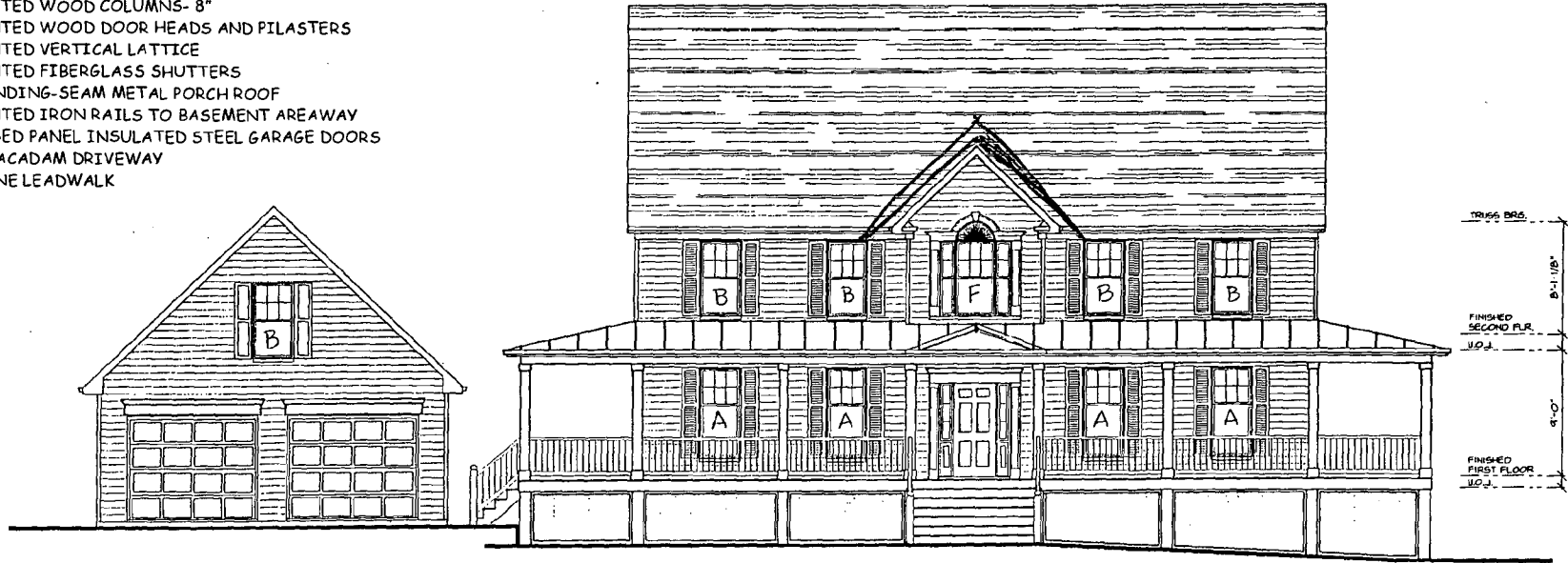
SCALE 1" = 30'

110

FORST RESIDENCE

PROPOSED PRODUCT SPECIFICATIONS

- ARCHITECTURAL ASPHALT SHINGLES
- ALUMINUM GUTTERS AND DOWNSPOUTS
- V-WOOD WINDOWS
- JAMES HARDIE FIBER-CEMENT DUTCHLAP SIDING- PAINTED
- BRICK-FORM POURED WALL FOUNDATION
- WOOD RAILAND POSTS ON PORCH
- SEALED WOOD PORCH FLOOR AND PAINTED WOOD PORCH CEILING
- PAINTED WOOD COLUMNS- 8"
- PAINTED WOOD DOOR HEADS AND FILASTERS
- PAINTED VERTICAL LATTICE
- PAINTED FIBERGLASS SHUTTERS
- STANDING-SEAM METAL PORCH ROOF
- PAINTED IRON RAILS TO BASEMENT AREAWAY
- RAISED PANEL INSULATED STEEL GARAGE DOORS
- 4" MACADAM DRIVEWAY
- STONE LEADWALK

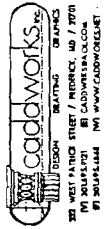


FRONT ELEVATION

SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE

MARK	QTY	DESCRIPTION	MANUF	MUNTIN
A	21	2/8X6/2 V-WOOD DBL HUNG	V-WOOD	6/1 GBG
B	27	2/8X5/2 V-WOOD DBL HUNG	V-WOOD	6/1 GBG
C	2	2/8X3/2 V-WOOD DBL HUNG	V-WOOD	6/1 GBG
D	3	2/0X4/2 V-WOOD DBL HUNG	V-WOOD	6/1 GBG
E	2	2/0X3/2 V-WOOD DBL HUNG	V-WOOD	6/1 GBG
F	1	1/0X2/8X1/0X5/2 DBL HUNG	V-WOOD	6/1 GBG
		WITH 1/2 CIRCLE MODALLION ABOVE		

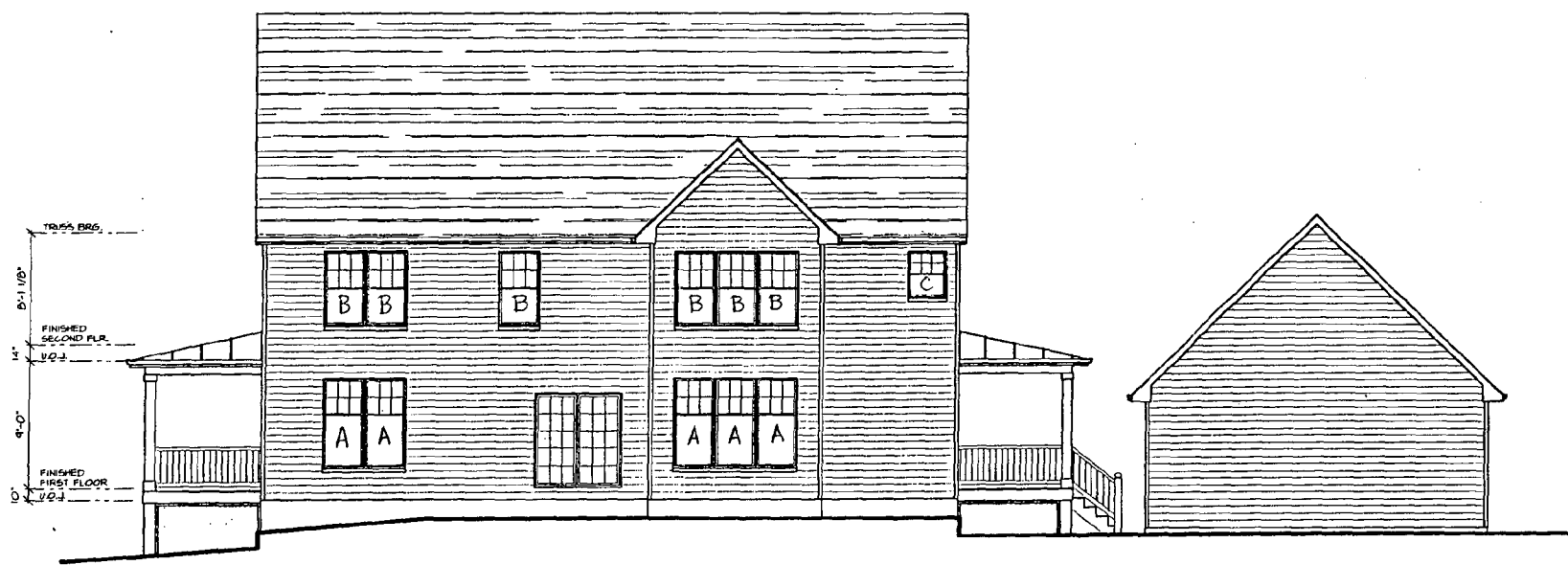


THE FORST RESIDENCE
 19310 MATENY HILL ROAD
 GERMANTOWN MARYLAND

SHEET NUMBER
 AI

FILE: FORST_PLDG.DWG
 DRAWN BY: JEFFREY
 DATE: 5/24/03

17



REAR ELEVATION

SCALE: 1/8" = 1'-0"

THE FORST RESIDENCE
 19310 MATENY HILL ROAD
 GERMANTOWN MARYLAND

SHEET NUMBER

A2

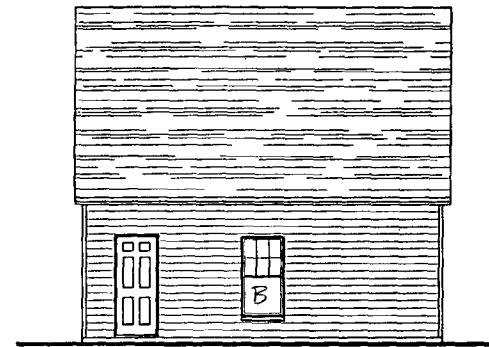
FILE: FORST_FLOWN
 DRAWN BY: PUPPEN
 DATE: 5/10/07

18



RIGHT-SIDE ELEVATION

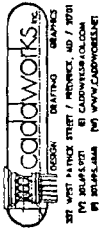
SCALE: 1/8" = 1'-0"



RIGHT-SIDE ELEVATION

• GARAGE BEYOND

SCALE: 1/8" = 1'-0"



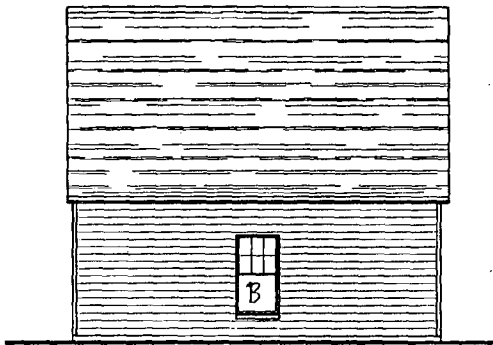
THE FORST RESIDENCE
 19310 MATENY HILL ROAD
 GERMANTOWN MARYLAND

SHEET NUMBER

A3

FILE: FORST_P1.DWG
 DRAWN BY: JUPPEN
 DATE: 5/6/03

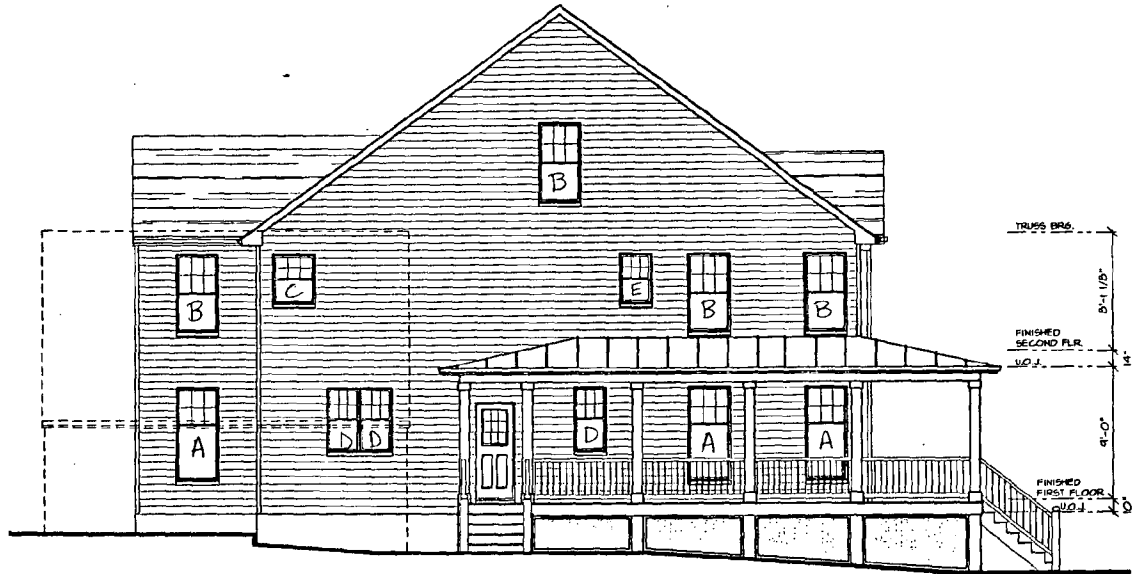
19



LEFT-SIDE ELEVATION

• GARAGE

SCALE: 1/8" = 1'-0"



LEFT-SIDE ELEVATION

SCALE: 1/8" = 1'-0"

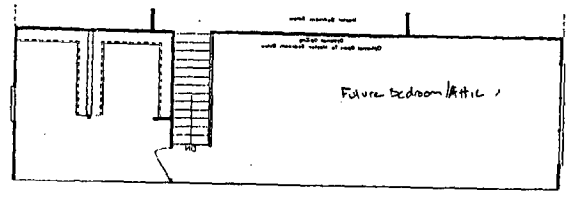
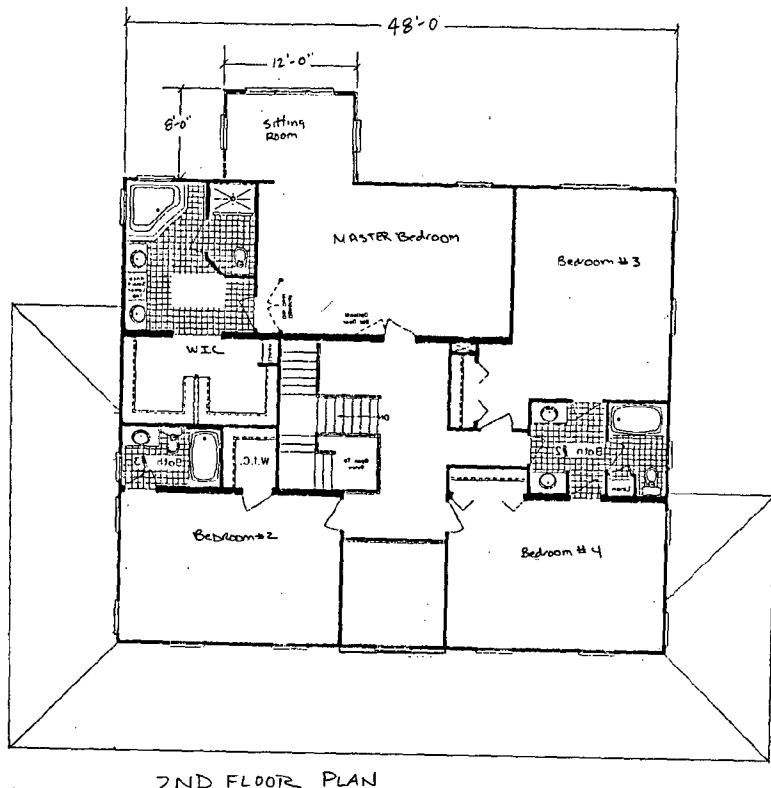
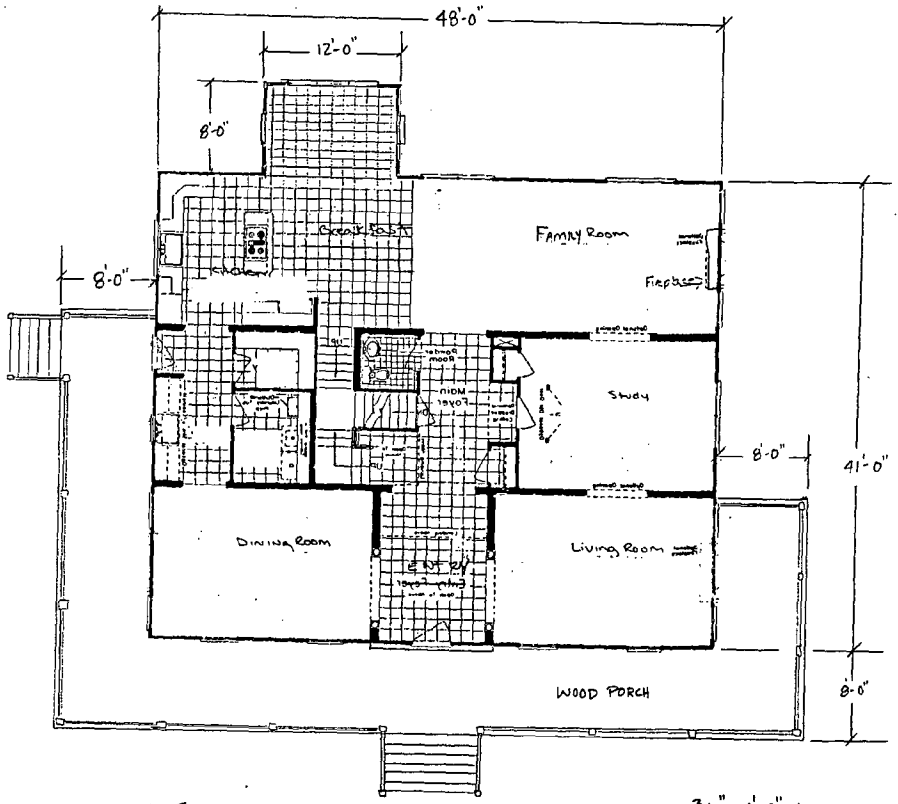
THE FORST RESIDENCE
 19310 MATENY HILL ROAD
 GERMANTOWN MARYLAND

SHEET NUMBER

A4

FILE: FORST_PL.DWG
 DRAWN BY: PEPEN
 DATE: 5/10/05

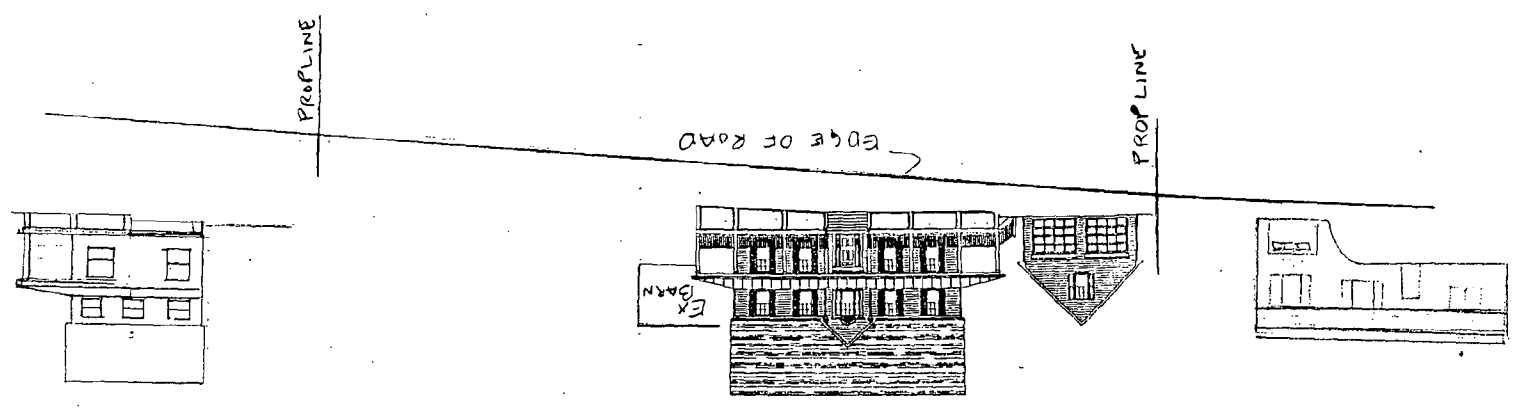
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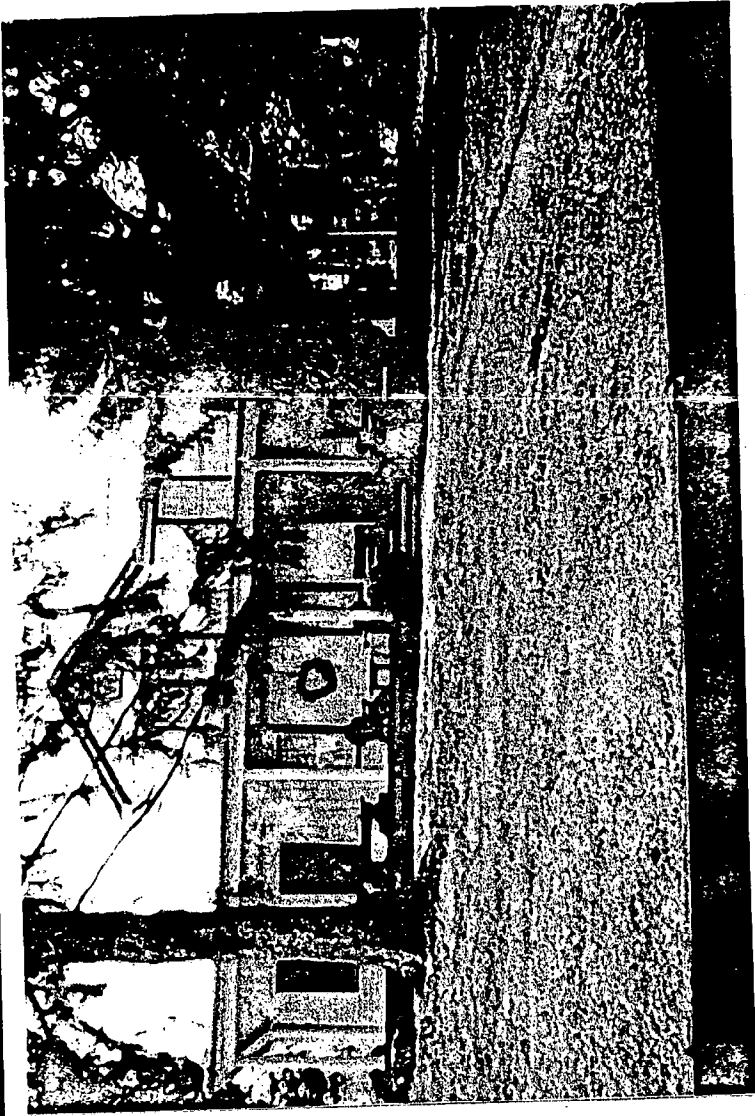
THE FORST RESIDENCE
 MATENY HILL RD
 GERMANTOWN MD

(2)

FIRST RESIDENCE
19310 MATENEY HILL RD
GERMANTOWN, MD



STREET ELEVATION
SCALE 1"=30'



HARRIS / ALMUT HOUSE
P201 (P) OF LOT IN QUESTION!
19300 MATERNY HILL RD
OUTSTANDING RESOURCE W/IN DISTRICT



SIDE VIEW - HARRIS / ALMUT HOUSE.



JOHNSON HOUSE
P 223 BEHIND LOT (OWNERS/APPLICANTS
CURRENT DWELLING)
19310 MARYEN HILL RD
WITHIN HISTORIC DISTRICT (OUTSTANDING)



PERP/SIDE ELEVATIONS - JOHNSON HOUSE



RAYFIELD/BROWNING HOUSE
19215 BUNT AVE
P222
OUTSTANDING RESOURCE W/IN DISTRICT



SIDE VIEW - RAYFIELD/BROWNING HOUSE



SIDE VIEW - PAYFIELD / BROWNING HOUSE



19220 MATENY HILL
P319 (D) OF LOT IN QUESTION.
NOT WITHIN HISTORIC DISTRICT
BOUNDARIES

1 MR. MAHANEY: Thank you very much. Good night.

2 MR. SPURLOCK: Okay, the next case on our agenda
3 is going to be Case B. Can we have a staff report, please?

4 MS. NARU: Case B is the property at -- or, Parcel
5 No. 277 on Mateney Hill Road. This preliminary consultation
6 for a new construction within the Germantown Historic
7 District. Again, I'm going to be brief due to the late hour
8 and allow more opportunity to talk with the applicant.

9 Like I mentioned, the applicant is proposing to
10 construct a new house and detached garage on the empty lot
11 between 19300 Mateney Hill Road and 19220 Mateney Hill Road.
12 The proposed house is a two-and-a-half story cross gable
13 roof structure with a wraparound porch along the front and
14 left elevations of the house. The applicants are proposing
15 standing seam metal for the roof of the porch, asphalt
16 shingles and vinyl siding for the main massing of the house.

17 I will note that the parcel -- or, the Lot 19300
18 Mateney Hill Road is an outstanding resource within the
19 district and the parcel at 19220 Mateney Hill is outside the
20 boundaries of the historic district, so this lot is just
21 inside the boundary.

22 In the Staff report I went through specific
23 concerns that I had which are mainly focusing on what I feel
24 are inadequate drawings of the property. We really would
25 like to see a lot more detailed set of drawings to come back

1 to the Commission with specific information about the
2 details; specifically footprints, where the property is
3 going to be place with relationship to the adjacent
4 properties, and those shown on the site plan as well.

5 We are concerned with the exterior materials that
6 the applicants are proposing, specifically the vinyl siding.
7 Generally, the Commission does not permit the use of vinyl
8 siding as an exterior cladding within its historic districts
9 and Staff is recommending that the applicant utilize a
10 cement fiber product for this application.

11 Additionally, I think that the Commission should
12 require the applicants to provide a tree survey outlining
13 all trees larger than six inches in diameter and the survey
14 should indicate the proposed trees that are targeted to be
15 retained as well as the ones to be removed.

16 I do have some photographs to help orient you to
17 the site and I'll be happy to answer any questions you might
18 have, and the applicants are here this evening as well.

19 MR. SPURLOCK: Any questions of Staff? Okay, why
20 don't the applicants step forward please. I'm sorry to keep
21 you waiting so long. If you could state your names for the
22 record please.

23 MR. FORST: My name is Albert Forst.

24 MS. FORST: And I'm Deborah Forst. How are you?

25 We have lived in Germantown Historic District ourselves for

1 18 years and we were fortunate enough when we purchased our
2 house, which is not this one -- it's just the one next to it
3 -- we were -- it was -- we had, what, two parcels with one
4 deed, and so we've loved living in our home, we think it
5 looks beautiful, we've restored it, but we're looking
6 forward to having a -- well, we own the lot, so that makes
7 it a little easier, but we're looking for a more
8 maintenance-free home for myself and my family.

9 We do live in a multi-generational home. This is
10 our house that we live in now. There are three existing
11 homes in Germantown Historic District. The one you saw,
12 ours, and the one next door, which is the Rayfield/Browning
13 House. I believe that's what it's called. It was -- it's
14 recently -- this is the Berman's. This is adjacent to our
15 property, and that's fine. This is --

16 MR. FORST: That's ours.

17 MS. FORST: We'll just go along with the pictures,
18 instead of just -- sorry. I should --

19 MS. NARU: Let me start from the beginning.

20 MS. FORST: I've never been before a Commission
21 before, and also as far as all of the plans, we -- when we
22 went to the Staff and they said just bring sketches for
23 starters, and we'll build on that. So, now we know a little
24 bit more and we'll bring more the next time.

25 Anyway, the historic district is very small.

(20)

1 There are three existing homes there. We own one. Our two
2 neighbors have the others. One is a -- has recently added
3 to their home and now it's 3,600 square feet and that's the
4 Rayfield/Browning House. The Berman house, which is -- I
5 guess we don't have the other house -- that's it. And on
6 this slide -- I'm not sure, it's probably about -- you know,
7 it's a very large addition to it. We think it's beautiful.
8 It's twice the size as it was, probably twice the size of
9 our existing home and, you know, I'm not sure; I think it's
10 3,600, 3,700 square feet. It's the largest house currently
11 in the historic district. It is adjacent to our house,
12 which is adjacent to the farmhouse, which has five historic
13 homes -- five historic buildings; two of them being two
14 story.

15 That's the back of our house. And the three
16 houses that are in the historic district actually face the
17 Germantown historic train station. So, we probably don't
18 have a picture of that, but as you come down Mateney Hill
19 Road, you'll see three houses on the right and you see all
20 three of those houses now, you're going to make a sharp
21 right turn -- you may have all been in our little historic
22 district. You're going to make a right turn going around
23 the Berman farm, which is about two acres, and then you'll
24 come to our .81 acre lot. That lot is a sloping lot that's
25 overgrown. There are probably a few significant trees which

1 we'll bring a plan for, but most of them are -- it's
2 overgrown scrub. That lot I know it is facing a community
3 of about 45 new homes which vary in size -- I mean, our lot
4 actually -- our front of our lot is I guess three houses fit
5 from across the street into our front lot, which are right
6 here.

7 And some of them have actually -- have 15 steps
8 going up to the front because it is Mateney Hill Road, it's
9 very hilly terrain. That one I think has 15 steps. But
10 they do vary in size.

11 MR. FORST: And --

12 MS. FORST: Go ahead.

13 MR. FORST: Yeah, I guess one of our concerns was
14 that one of the points was that the house -- the new house
15 would be too big or that it should be smaller in size and --

16 MS. FORST: And both the Staff -- and we will say
17 the Historic Preserva -- the Germantown Historic Society
18 thought that that should be. Well, I will say that a
19 hundred percent of the historic district thinks that it's
20 great, which is myself and our two neighbors. I mean, it
21 happens to be that they have come and put a two-story barn
22 and they have -- the Bermans have come here and you may now
23 Ray Howar has been here and he doubled the size of his
24 house, has a large garage, actually has an occupied carriage
25 house; all on a half acre. The Bermans that do live on two

1 acres, but part of that is across the street, so they don't
2 get that benefit, have five external buildings -- two being
3 two-story. So, for us with a .81 acre with a 4,000 square
4 foot house -- 4,033 square foot house, does not seem large
5 to us.

6 We came here about a year ago and thought we would
7 be a little -- you know, do this quicker, but it took -- has
8 taken us longer due to health reasons. But we're here now
9 and we did know that you needed a separate garage, so we had
10 changed some of our plans to incorporate that.

11 We understand that vinyl is not normally used, so
12 we are certainly in agreement that we could go either to a
13 hardiplank -- that would probably be preferable -- or a wood
14 and look into that further. So, we, you know, are with you
15 on that.

16 The other point that both the Staff and the
17 Commission said was that the garage should be lower in
18 height. The garage actually pretty much mimics what the
19 house looks like, but it's -- like the other gentleman
20 before me said -- we don't want it to be a standing point.
21 You know, if a few feet makes a difference on the height of
22 a garage, then we can find something --

23 MR. FORST: We originally wanted it to be a two-
24 story -- we wanted to have some kind of storage above it,
25 which, you know, increases the height, but I guess we

33

1 could --

2 MS. FORST: We could find something else.

3 The other thing; I'm just -- you know, I'm not
4 sure if I'm doing this the right way. I'm just going over
5 the points of the Germantown Historic Society, which we were
6 given this since we've been here at the meeting. We -- one
7 of the points was that the new house should have decorative
8 trim in the 1890 style. The three houses in the Germantown
9 Historic District have no trim on it. We --

10 MR. FORST: Basically.

11 MS. FORST: Well, I can't think of any.

12 MR. FORST: I can.

13 MS. FORST: And we know that we don't. They've
14 all been simple styles. So, we just tried to mimic that.
15 We certainly -- if it was necessary to put any fret work
16 anywhere to dress it up, would not have a problem with that.
17 We were basing it on the existing homes.

18 Also, another point about the -- one thing it said
19 about the house should be smaller. I just wanted to go back
20 and say that the Germantown Historic Society said we should
21 not look at any other new houses in the area, although one
22 new house has come in that came through this Commission and
23 that is a 3,600 square foot also on Mateney Hill Road. Not
24 in the district, but on the road itself and I can give you
25 that address if you need it.

34

1 But also it says that you could use the historic
2 houses which are not in the district. Apparently, there was
3 28 supposedly, and they can go up to actually 5,300 square
4 foot, which is on Liberty Road right across from the
5 elementary school, which we go to every day. So, there are
6 varying sized houses in the community. These are -- the
7 ones that you're seeing across from us are what we're going
8 to be looking at, you know, every day. That's -- our front
9 porch is going to look at the new structures, so we feel
10 like that the house -- has a beautiful front porch, you know
11 has a nice gable. The concern was that the rear of the
12 house has shutters. Now of the houses in the historic
13 district have shutters --

14 MR. FORST: On the rear.

15 MS. FORST: -- on the rear of it. We do have a
16 flat structure on the back, but that kind of mimicked what
17 we had seen in the past. We can certainly add a bay or a
18 bow window. We see in the future having, you know, a
19 flagstone patio with a pergola to add some architectural
20 detail to it, but we went really with a simple Maryland
21 farmhouse --

22 MR. FORST: Style.

23 MS. FORST: -- style. And what we'd like to do is
24 come back so that, you know, we have all the things that
25 you've asked for like the scale drawings that may be easier

35

1 for you to see --

2 MR. FORST: A tree survey and --

3 MS. FORST: -- tree survey --

4 MR. FORST: -- everything you need, but --

5 MS. FORST: Yeah. So --

6 MR. FORST: I guess -- yeah, and when we come back
7 -- in other words, one of the bone of contentions would be
8 the size of the house. If we -- we've been trying to find a
9 house that would fit and that we would want to live in and
10 raise -- you know, for the rest of our lives --

11 MS. FORST: And -- lives with us.

12 MR. FORST: -- as far as the size we'd almost --
13 we'd more or less have to throw out and start looking again
14 if we're going to have to, you know, make --

15 MS. FORST: And it's only 400 square foot larger
16 than the house that is in the historic district that has a
17 existing carriage house that has a owner -- has an occupant
18 that lives there on a daily basis in a two-story garage.

19 MS. VELASQUEZ: What percentage lot coverage would
20 this proposed house have? How big would it look on the lot?

21 MR. FORST: We have --

22 MS. FORST: Well, it's not really to scale, so
23 it's hard to see. I'm not sure -- we would have to bring
24 that back. I don't know how these square feet things work,
25 but we have on page -- I don't know if this is page 10 --

30

jd

1 or, yours may not look like that, but it's a -- an engineer
2 did draw this out for us, but it's not on a scale. So,
3 there was plenty of -- to the side there's -- the reason
4 that it's back up on the hill, it's a sloping lot, so -- and
5 also it would be in line more with the neighbors house.

6 MR. FORST: It's roughly a three-quarter acre lot,
7 so it doesn't seem excessive.

8 MR. SPURLOCK: The --

9 MS. WRIGHT: Just --

10 MR. SPURLOCK: Go ahead.

11 MS. WRIGHT: I think one point of clarification
12 that may help, in your letter that you sent to the
13 Commission, you say we want to build a 4,000 square foot
14 house.

15 MS. FORST: Four thousand, thirty-three.

16 MS. WRIGHT: Okay. Is that meaning on two floors,
17 4,000 square feet --

18 MS. FORST: It is; mm-hmm.

19 MS. WRIGHT: So, that means that the basic
20 footprint of the house is approximately 2,000 --

21 MS. FORST: That's true.

22 MS. WRIGHT: -- half of the square foot --

23 MS. FORST: That's true.

24 MS. WRIGHT: So, you're talking about a house
25 that's about 2,000 square feet and a -- an acre is what,

1 42,000 --

2 MR. SPURLOCK: Forty-four.

3 MS. WRIGHT: -- 44,000, and so this is like --

4 MS. FORST: Point eight one.

5 MS. WRIGHT: -- so this is probably around 35,000

6 square feet; something in that ballpark. A little bit over

7 three-quarters of an acre.

8 MS. FORST: That's right.

9 MS. WRIGHT: So, if you figure this is 35,000

10 square feet, even 10 percent lot -- it's not even 10 percent

11 lot coverage.

12 MR. SPURLOCK: I think -- just before we start.

13 Just so you understand, the preliminary consultation which

14 you might have seen before; it's a give and take. It's a

15 conversation. All the Commissioners will ask you some

16 questions and give you some comments, and hopefully you will

17 come to a consensus so that when you leave, you have some

18 idea what you should do next.

19 MS. FORST: Okay.

20 MR. SPURLOCK: One thing I would just suggest --

21 and before everybody starts -- is you know, square footage

22 -- a big house can look fairly small if it's massed a

23 certain way, and a small house can look very big if it's

24 designed a certain way. So, don't -- don't fixate so much

25 -- or, I would suggest that -- on square footage. You know,

(38)

1 I don't think anyone's saying it has to be X number of
2 square feet. I think it's the way it appears is important.
3 But, with that said, I mean, turn it over to our -- whoever
4 wants to go first.

5 MS. O'MALLEY: Well, I was going to say just about
6 the same thing. I think when you have a picture of one of
7 the other houses that one of your neighbors and you look at
8 the side of it and it had a lot of additions, it really was
9 a very large house.

10 MS. FORST: When you look at that side.

11 MS. O'MALLEY: But it went in and then the porch
12 came out -- I mean, there were a lot of different planes.

13 MS. FORST: Yeah, that house is about 55 feet deep
14 where ours is --

15 MR. FORST: Yeah, length.

16 MS. FORST: But see how -- that's is the more
17 interesting side, because of that side porch.

18 MS. O'MALLEY: Now see what you just said.

19 MS. FORST: The most interesting side; I agree.

20 MS. O'MALLEY: And so I think maybe when they --
21 when the Germantown Historical sent in their comments and
22 they said it was too big and they didn't like the flat
23 plane, that they were commenting on that feature. You know,
24 that yours just has a plain sidewall, a plain back wall --

25 MS. FORST: Although we do have a porch running

1 down one side --

2 MR. FORST: Right.

3 MS. FORST: -- like a house -- like the new house
4 on Mateney Hill Road has, you know, a porch on one side, so
5 we thought that that would be architecturally significant
6 enough.

7 MR. FORST: Plus, we were told not to -- we were
8 told a year ago not to make a replica --

9 MS. FORST: Make it --

10 MR. FORST: -- not to make it look like it was an
11 old house, so we were picking more of as a Four Square to
12 try to be simple with, you know, the basic Gothic peak on
13 the front and the wraparound porch. I guess maybe we were
14 trying to be too simple and --

15 MS. FORST: I don't know. We like it.

16 MS. O'MALLEY: Well, I defer to the other
17 Commissioners.

18 MS. VELASQUEZ: I personally kind of like it. And
19 I love wraparound porches. Frankly, I think -- this is just
20 my very humble opinion, but I think you're heading in the
21 right direction.

22 I think what you heard a year ago is no, you
23 should not replicate the old farmhouse. Don't build
24 something that looks just like that, because that would be a
25 travesty to this poor thing. Do build something. But I

1 think what the Germantown Historical Society was trying to
2 say is keep the flavor of the little tiny district. You
3 don't want to come in and put a big white Georgian mansion
4 here because it wouldn't -- doesn't go with that at all.
5 So, I think what they're trying to say is just try to keep
6 the flavor.

7 I don't know if this is the particular house that
8 you're going to have to end up with, but the little gable
9 like the other houses have is cute and then -- you know, but
10 it doesn't -- I mean, it can look like 2003, but a little
11 country.

12 MS. FORST: Yeah, we have a gable on the front.
13 You have a picture of that, right? So --

14 MR. HARBIT: One of the concerns I have about, and
15 I think you're headed in the right direction and I'm sure
16 you'll find a great solution, but one of the concerns that I
17 have is that the gable on the front spans three windows.
18 So, you basically have a very large gable mass with one
19 window on either side, whereas the typical house in your --
20 in your community is a gable for one window and then more
21 windows on the side.

22 MS. FORST: And in the district that is, too.
23 There are several larger gables around the corner where
24 there's 28 other houses -- maybe not 28, but that's what the
25 paper says there are 28. So, there's quite a few houses

1 that stretch down Old Liberty Road that do have a wide
2 gable. I really wasn't concentrating on how many windows
3 were underneath them and I'll go back and look, but the
4 Dawson House, which is on Liberty Mill Road, billed 118, and
5 several others -- I don't know the name of them -- have that
6 wide gable. I mean, it --

7 MR. HARBIT: The wide gable on the front --

8 MS. FORST: Oh, the wide gable on the front.

9 MR. HARBIT: -- that shows -- that I'm looking at
10 on Circle 12 makes the house look very big.

11 MS. FORST: Okay.

12 MR. HARBIT: Because it has such a huge crown --

13 MS. FORST: So, if we were to go back --

14 MR. HARBIT: So, if you were to make it smaller,
15 it might make the house look less massive --

16 MS. FORST: Okay.

17 MR. HARBIT: -- which is one of the concerns that
18 we've been hearing.

19 MS. FORST: All right. Well, that's something
20 that we could consider. Ed said we could do that; our
21 builder.

22 MR. SPURLOCK: Mr. Breslin?

23 MR. BRESLIN: One concern I have is, you have a
24 sloping lot?

25 MS. FORST: We do.

1 MR. FORST: Right.

2 MR. BRESLIN: And when you look at your plan
3 here --

4 MS. FORST: Uh-huh.

5 MR. BRESLIN: -- you've got a 10-foot grade
6 difference between your front and your back.

7 MS. FORST: That's true.

8 MR. BRESLIN: So, if you wanted to walk out the
9 back onto grade, it means your front door is about 10 feet
10 out of the ground. I don't know if you realize that.

11 MR. FORST: No. Well, I think they would -- they
12 would grade -- they were picking Jeff Lawrence with O'Connor
13 and Lawrence was -- had gone over this and they were picking
14 the flattest spot they could get. And then they would grade
15 it so that actually the front porch -- they're trying to
16 keep it so the front porch would have three steps --

17 MS. FORST: Three steps.

18 MR. FORST: -- three or four steps.

19 MR. BRESLIN: But, I mean --

20 MS. FORST: We're going to be back into the hill.

21 MR. BRESLIN: But just because if you picture --

22 MR. FORST: Yeah, I --

23 MR. BRESLIN: -- a 10-foot height differential and
24 you put in a flat building, you're going to have a huge
25 retaining wall in the front or a huge retaining wall in the

1 back. Or, some massive berms, or you're going to have to
2 start stepping your house in some interesting way.

3 MR. FORST: Right.

4 MR. BRESLIN: But I don't think you're going to
5 have a house with three steps on -- of this size on this
6 site, and I think that just raises the point that having an
7 engineer or a landscape architect look at this very
8 carefully, and it also leads to the trees. The more you
9 landscape, the more trees you have to uproot.

10 MS. FORST: Right.

11 MR. BRESLIN: So, I think we all agree we'd like
12 to see this house lower. You don't want to have what's
13 across the street with 14 or 15 steps to your house.

14 MS. FORST: No, we're not going to. We're not
15 planning to.

16 MR. BRESLIN: And neither do you want to see the
17 whole lot re-landscaped. I mean, bulldozers pushing dirt
18 all over the place.

19 MR. FORST: Right.

20 MR. BRESLIN: And by nature -- by virtue of the
21 fact you have a roughly steep grade changes, I think that
22 has to be looked at very, very carefully, and I think you
23 have a real challenge ahead of you.

24 MS. FORST: If you'd see our house, which if you
25 go back to the house that we live in now, it's actually got

1 a, you know, sloping lot as well, so -- but there's maybe --
2 I've never counted our steps, although I use them, about six
3 or seven that are --

4 MR. FORST: No, that -- yeah.

5 MS. FORST: -- on the front of that -- or, no;
6 maybe not. But, so that --

7 MR. FORST: That's probably five or six --

8 MS. FORST: And they -- according to the engineer
9 that looked at this, they thought that it would be no more
10 than what we have here.

11 MR. FORST: And then -- and stepping out on the
12 back would be -- well, we'll have to go over and make sure.
13 I guess, is that one of things that you want to see is --

14 MR. BRESLIN: Well, I think --

15 MR. FORST: -- is an elevational --

16 MR. BRESLIN: Well, one thing we want to have an
17 accurate representation of the front. Even right now if you
18 were to go from -- six or seven steps from the three on your
19 elevation, you just pulled your house two feet further out
20 of the ground, and I think we care about that.

21 Plus the fact, if you're going to do that, and
22 you're going to be doing significant regarding, you're
23 affecting a whole lot of trees. So, I think we're worried
24 about trees, we're worried about grading, we're worried
25 about the height --

1 MS. FORST: There's not big trees on this
2 property.

3 MR. FORST: Right, most of the trees on the
4 property have been -- started growing when we moved in. You
5 know, it was pasture and -- and they're a couple inches --
6 four inches around or whatever. Most of them. I'm not
7 saying all of them.

8 MS. FORST: There are some big ones.

9 MR. FORST: There are some big ones and --

10 MS. FORST: To the side luckily.

11 MR. BRESLIN: But I think these are things we'd
12 like to have --

13 MS. FORST: Okay.

14 MR. BRESLIN: -- addressed, because you'd be
15 surprised how often we have a house that by the time they
16 actually built it, it winds up, you know, four or five feet
17 out of the ground.

18 MS. FORST: Right.

19 MR. BRESLIN: Which makes a huge visual impact.

20 MS. FORST: Okay. So, we'll come back with the
21 elevations.

22 MR. SPURLOCK: Commissioner Watkins?

23 MS. WATKINS: I have two comments. On your right
24 elevation, is that a fireplace?

25 MS. FORST: It is. I believe it's what you are

(46)

1 looking at. There's -- I'm not sure if it's the right
2 elevation.

3 MS. WATKINS: It looks like a gas fireplace.

4 MR. FORST: Yeah, gas fireplace.

5 MS. FORST: Mm-hmm.

6 MS. WATKINS: I don't know how the other
7 Commissioners feel, but I think expressing it that way, it
8 can maybe be done a little more interesting -- make it a
9 little more interesting.

10 MS. FORST: Like a little peak on it?

11 MS. WATKINS: Or -- I don't know; I just don't
12 like the little bump. You know, I just think it --

13 MR. FORST: It can be direct -- it doesn't have to
14 have that bump if we have the fireplace in the house -- the
15 gas fireplace in the house. But it would have to have a
16 direct vent coming out.

17 MS. WATKINS: Right.

18 MR. FORST: Would that be a problem or --

19 MS. FORST: We'd just use up feet inside the
20 house.

21 MR. FORST: Yeah, we'd have to use a couple feet
22 in the house, instead of having the fireplace there and a
23 couple feet out of the house.

24 MS. FORST: Although we want to build this large
25 house and we plan to, we have a multi-generational house,

1 we're not like the Howard Hughes Medical Center, so we are
2 being very conscious and hopefully as time goes on and as we
3 live here for 18 years or whatever we are, that we also can
4 do some beautiful things. But we want our basic, you know,
5 home structure; what you like, as well as us. And we can
6 work with that.

7 MS. WATKINS: And I think the rear elevation, to
8 make it a little more interesting. I think it reads like
9 any subdivision rear elevation or any, you know, 1990, 2000
10 house.

11 MS. FORST: Right.

12 MS. WATKINS: I think perhaps if you take some
13 clues from some of the back elevations of the historic homes
14 around you --

15 MS. FORST: Although the adjacent home to this
16 property is flat, exactly like that. But we were thinking
17 if we just added like a bow or bay window, a pergola with
18 flagstone, would that be in keeping for now --

19 MR. SPURLOCK: Well, look at the back of your
20 house right now -- it's a smaller gable and then -- the roof
21 line changes and maybe that's even something that you can --
22 do you understand what I'm saying?

23 MS. FORST: But then you don't -- then that means
24 you pretty much don't like this house then? If we have to
25 change --

1 MR. SPURLOCK: I think you're hearing different
2 things --

3 MS. FORST: Okay.

4 MR. SPURLOCK: -- from different people.

5 MS. FORST: Yeah, okay.

6 MS. WATKINS: Well, you know I think there's
7 details you can add to this basic plan.

8 MS. FORST: Okay.

9 MS. WATKINS: Just because we don't like one part
10 doesn't mean we don't like the house.

11 MS. FORST: Okay. Okay, so we'll just try to make
12 it a little more interesting, get the elevations.

13 MR. FORST: So, are you saying like as far as the
14 back --

15 MS. WATKINS: I think --

16 MR. FORST: -- another gable or something or --

17 MR. SPURLOCK: No, I --

18 MS. WATKINS: I think if you go to somebody -- you
19 probably have to go to an architect or somebody to have
20 these drawn up. You're going to have to go to somebody
21 who's licensed to draw the drawings --

22 MS. FORST: Mm-hmm.

23 MS. WATKINS: -- and to -- perhaps they can give
24 you some suggestions or something to make it a little --

25 MS. FORST: Maybe we'll just add a bay and if we

1 voice -- I'm trying -- I think for the most part you have a
2 -- I seem to get a sense of most of the Commissioners were
3 comfortable with the direction you're going.

4 MS. FORST: Okay.

5 MR. SPURLOCK: But I would highly, highly suggest
6 that you seek some professional help. I think a qualified
7 architect or someone to -- or, a builder or whatever --
8 however you plan on executing this. You can do scale
9 drawings. Make sure that site plan works. Draw the
10 elevations to scale so that the Commission can really look
11 at those and look for ways, I think as Commissioner Harbit
12 said, to maybe reduce the apparent mass of the house --
13 maybe not make it smaller, but make it look a little
14 smaller, and you can do that in various ways.

15 MS. FORST: Okay.

16 MR. SPURLOCK: Someone who knows what they're
17 doing can certainly help with --

18 MR. HARBIT: But don't -- I would encourage you
19 not to go all the way into final design before you come back
20 again. Because I think you did get a pretty mixed review.

21 MS. FORST: But then if we're paying for
22 architectural drawings, then --

23 MR. HARBIT: You can get a conceptual drawing, you
24 know early schematics for not a lot of money.

25 MS. FORST: Okay.

(51)

1 MR. HARBIT: But don't hire the architect to draw
2 it all the way to completion, and then come back and we
3 have --

4 MR. SPURLOCK: And I know this is probably not
5 comforting to you, but we are -- there are going to be some
6 new Commissioners coming on in a month and there will be
7 some different voices and different faces.

8 MS. FORST: I think the soonest we can get here, I
9 believe -- said, was one month, so --

10 MR. SPURLOCK: So, you might -- not go too far, as
11 Commissioner Harbit said. You know, just get something to
12 scale. Get something a little bit more developed that you
13 like and come back.

14 MS. FORST: Well, hopefully we'll see you next
15 month.

16 MR. SPURLOCK: Thank you. Good luck.

17 MS. VELASQUEZ: Good luck.

18 MS. FORST: Okay, thank you.

19 MR. SPURLOCK: The next case would be Case D. Can
20 we have a Staff report, please?

21 MS. NARU: The property at Case D is 3924
22 Washington Street in Kensington. This is a secondary
23 resource within the Kensington Historic District and as you
24 may or may not know, secondary resources are equivalent to
25 non-contributing resources within this district. It's just

**FORST RESIDENCE
PROPOSED PRODUCT SPECIFICATIONS**

- ARCHITECTURAL ASPHALT SHINGLES
- ALUMINUM GUTTERS AND DOWNSPOUTS
- V-WOOD WINDOWS
- JAMES HARDIE FIBER-CEMENT DUTCHLAP SIDING- PAINTED
- BRICK-FORM POURED WALL FOUNDATION
- WOOD RAILAND POSTS ON PORCH
- SEALED WOOD PORCH FLOOR AND PAINTED WOOD PORCH CEILING
- PAINTED WOOD COLUMNS- 8"
- PAINTED WOOD DOOR HEADS AND PILASTERS
- PAINTED VERTICAL LATTICE
- PAINTED FIBERGLASS SHUTTERS
- STANDING-SEAM METAL PORCH ROOF
- PAINTED IRON RAILS TO BASEMENT AREAWAY
- RAISED PANEL INSULATED STEEL GARAGE DOORS
- 4" MACADAM DRIVEWAY
- STONE LEADWALK

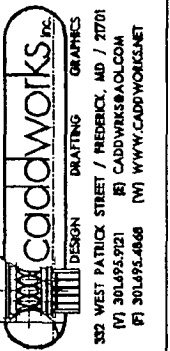


FRONT ELEVATION

SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE

MARK	QTY	DESCRIPTION	MANUF	MUNTIN
A	21	2/8X6/2 v-WOOD DBL HUNG	V-WOOD	6/1 GBG
B	27	2/8X5/2 V-WOOD DBL HUNG	V-WOOD	6/1 GBG
C	2	2/8X3/2 V-WOOD DBL HUNG	V-WOOD	6/1 GBG
D	3	2/0X4/2 V-WOOD DBL HUNG	V-WOOD	6/1 GBG
E	2	2/0X3/2 V-WOOD DBL HUNG	V-WOOD	6/1 GBG
F	1	1/0X2/8X1/0X5/2 DBL HUNG	V-WOOD	6/1 GBG
		WITH 1/2 CIRCLE MODALLION ABOVE		



THE FORST RESIDENCE
 19310 MATENY HILL ROAD
 GERMANTOWN MARYLAND

SHEET NUMBER

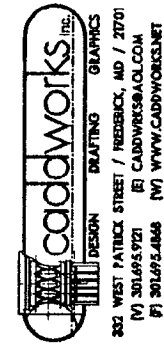
AI

FILE: FORST_PLDWG
 DRAWN BY: PIPPER
 DATE: 5/6/03



REAR ELEVATION

SCALE: 1/8" = 1'-0"



THE FORST RESIDENCE
 19310 MATENY HILL ROAD
 GERMANTOWN MARYLAND

SHEET NUMBER

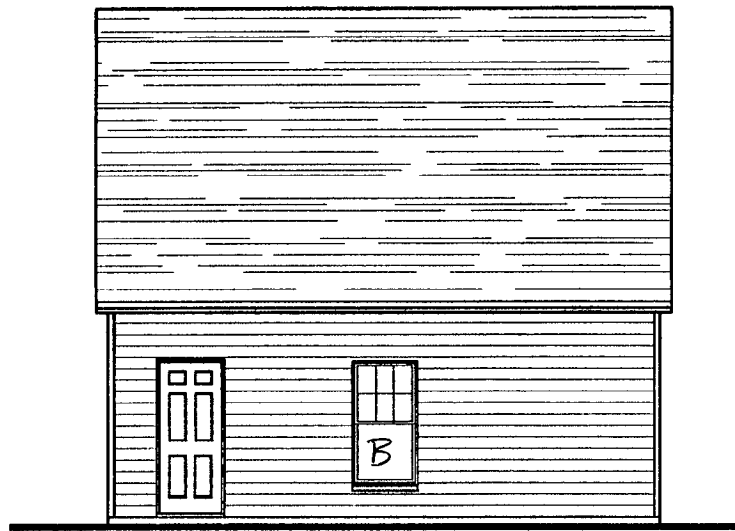
A2

FILE: FORST_PLDWG
 DRAWN BY: PIPPEN
 DATE: 5/6/03



RIGHT-SIDE ELEVATION

SCALE: 1/8" = 1'-0"



RIGHT-SIDE ELEVATION

• GARAGE BEYOND

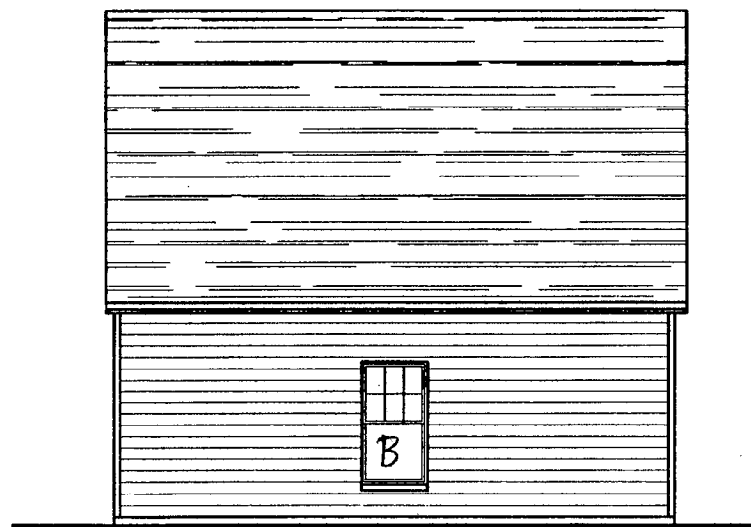
SCALE: 1/8" = 1'-0"

THE FORST RESIDENCE
 19310 MATENY HILL ROAD
 GERMANTOWN MARYLAND

SHEET NUMBER

A3

FILE: FORST_PL.DWG
 DRAWN BY: PIPPER
 DATE: 5/6/03



LEFT-SIDE ELEVATION

• GARAGE

SCALE: 1/8" = 1'-0"



LEFT-SIDE ELEVATION

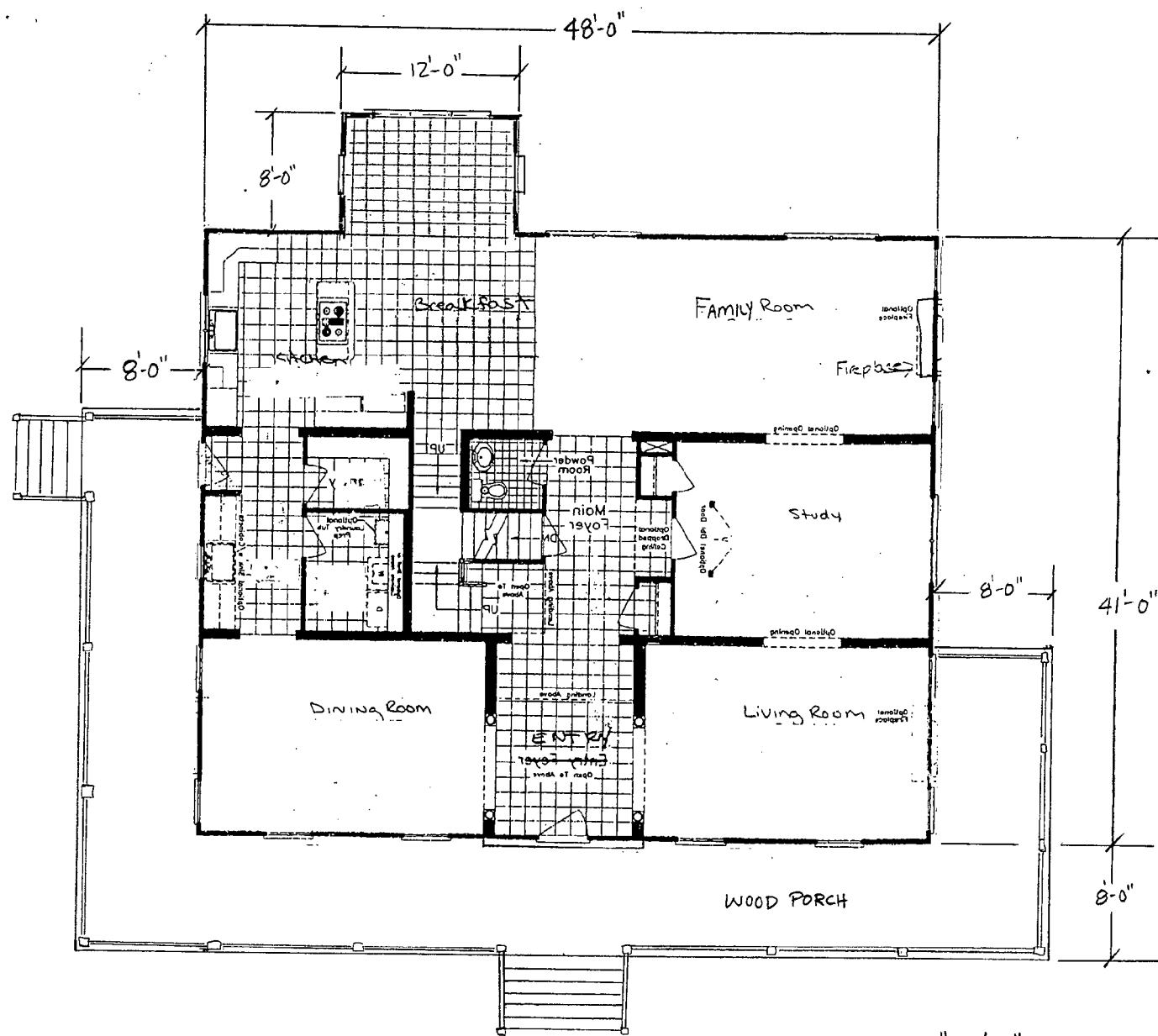
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THE FORST RESIDENCE
 19310 MATENY HILL ROAD
 GERMANTOWN MARYLAND

SHEET NUMBER

A4

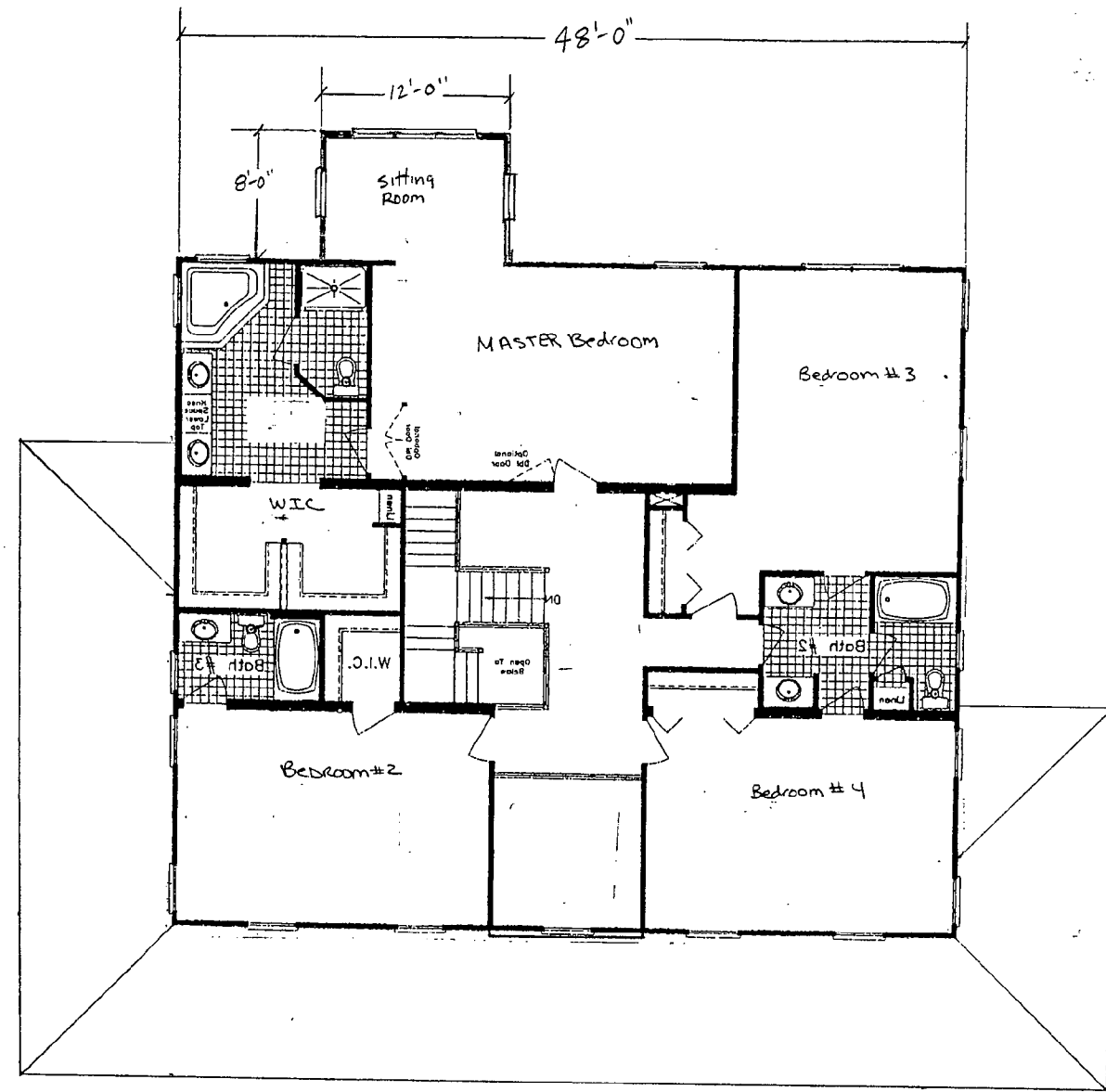
FILE: FORST_FL.DWG
 DRAWN BY: PIPPEN
 DATE: 5/6/03



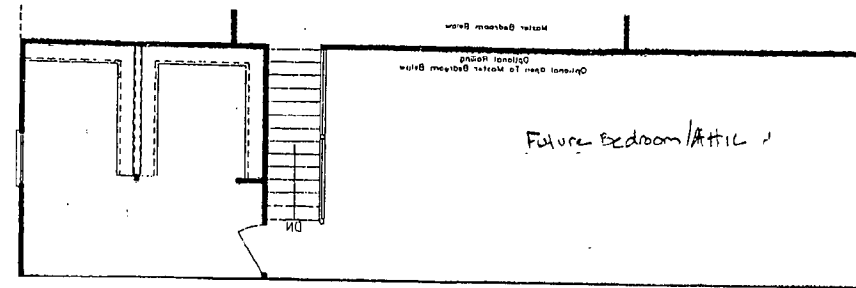
1ST FLOOR PLAN

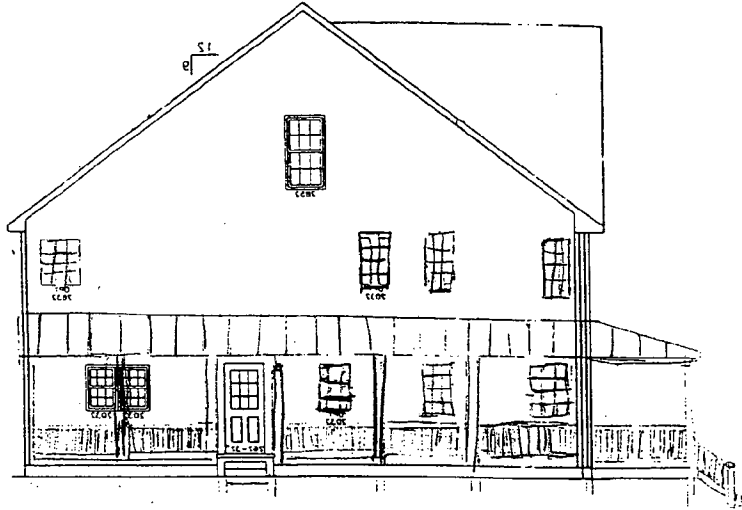
SCALE $\frac{3}{32}'' = 1'-0''$

THE FORST RESIDENCE
 MATENY HILL RD
 GERMANTOWN MD

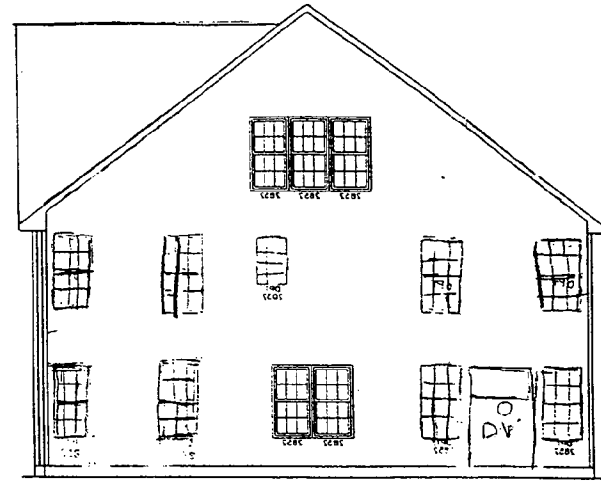


2ND FLOOR PLAN

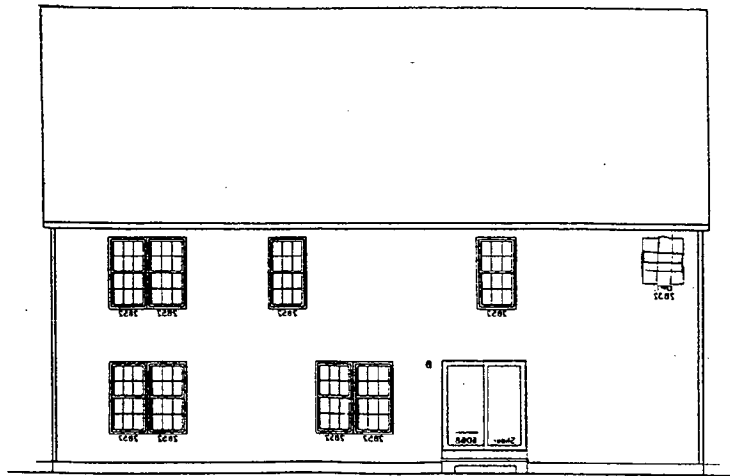




Left ELEVATION



Right ELEVATION



REAR ELEVATION

FIRST RESIDENCE

PRELIMINARY
CONSULTATION

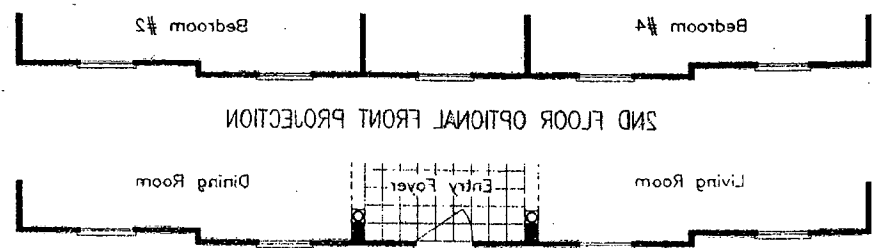
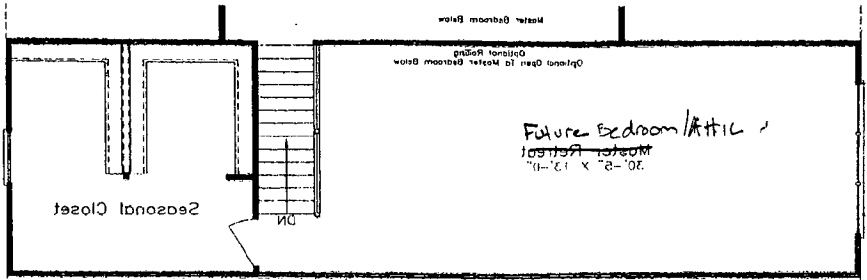
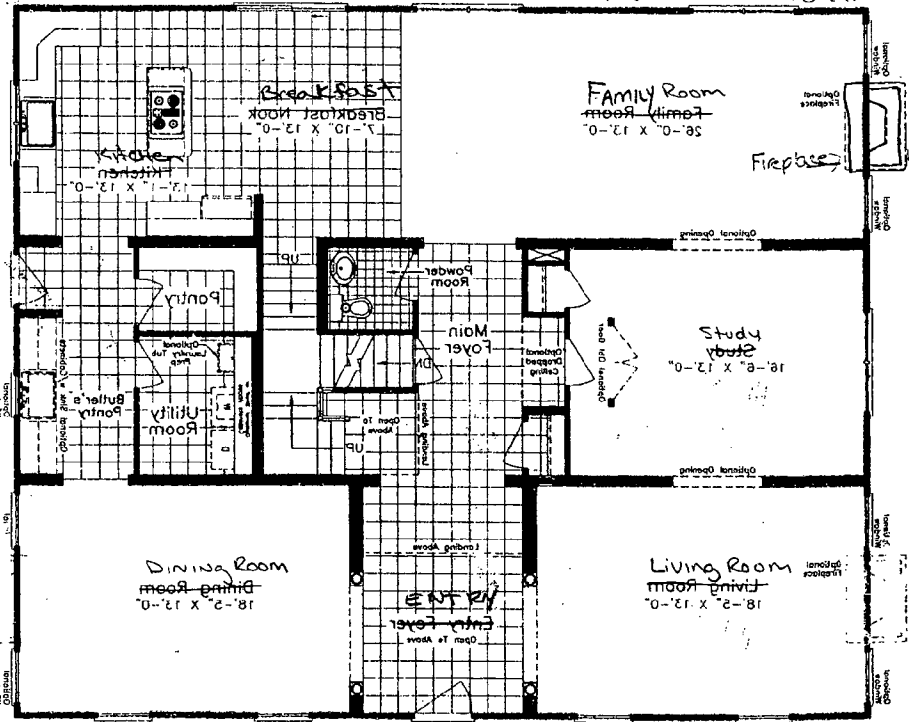
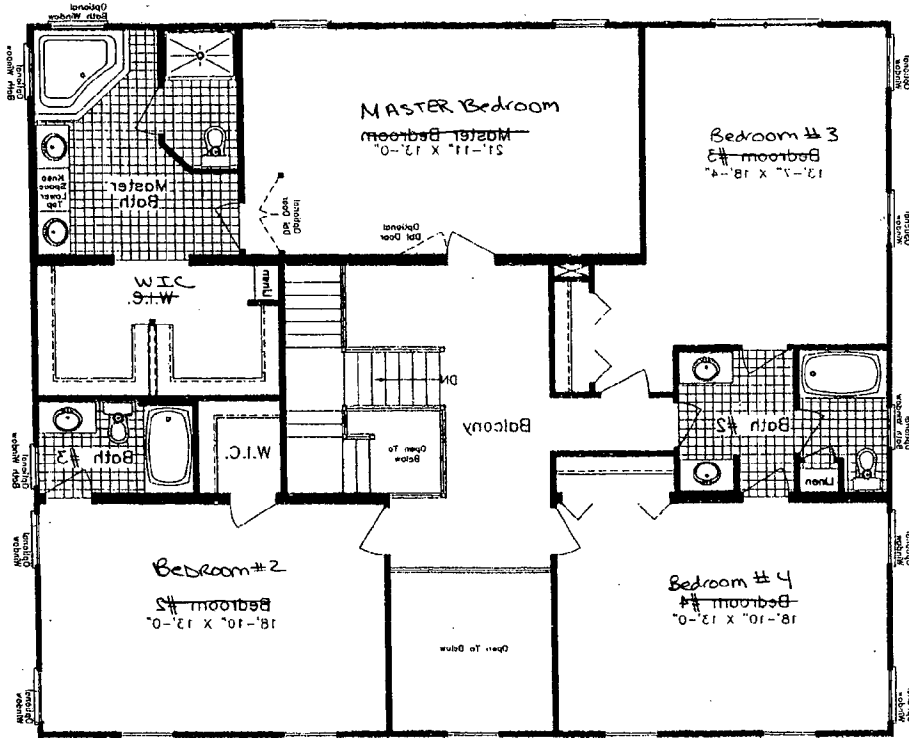
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4					
3					
2					
1					



PRELIMINARY CONSULTATION



14

April 5, 2003

Montgomery County Historic Preservation Commission
8787 Georgia Ave.
Silver Spring, MD 20910

Re: preliminary Consultation of Debra Forst, parcel 209

Dear Commissioners:

We have looked at the plans for the new construction of a house and garage on parcel 209 in the Germantown Historic District and we have the following comments.

The Germantown Historic District was whittled down from 28 sites to three houses and two commercial buildings by the Montgomery County Council on approval of the district in 1989. The reason given for this was that these five structures would be “representative” of the original agricultural railroad town.

Because of this, the small Germantown Historic District has a tremendous responsibility and should be held to a much higher standard than another historic district which might have several representations of similar historic structures.

In light of this the Germantown Historical Society recommends that:

- ◆ The new house be smaller in size.
- ◆ That the garage be lower in height since it will be at the highest point of the property.
- ◆ Both structures be entirely clad in wood.
- ◆ The new house have decorative trim in the 1890s style
- ◆ The rear of the house have shutters on the windows and not be so one-planed—have some parts extending out.

The GHS would also like to point out that new structures in the neighborhood that are not in the Germantown Historic District should in no way be used as models or influence in any way the construction of this house and garage in the historic district. On the other hand, original structures in the neighborhood but not in the historic district which have retained their original character and outward appearance can be used as models.

Sincerely,

The Executive Board of the Germantown Historical Society

Gaye Lynn Wilson

Susan Soderberg

Mary Serncz

Elaine Huey

David Kerlin

Kathie Hulley

(15)

1 MR. MAHANEY: Thank you very much. Good night.

2 MR. SPURLOCK: Okay, the next case on our agenda
3 is going to be Case B. Can we have a staff report, please?

4 MS. NARU: Case B is the property at -- or, Parcel
5 No. 277 on Mateney Hill Road. This preliminary consultation
6 for a new construction within the Germantown Historic
7 District. Again, I'm going to be brief due to the late hour
8 and allow more opportunity to talk with the applicant.

9 Like I mentioned, the applicant is proposing to
10 construct a new house and detached garage on the empty lot
11 between 19300 Mateney Hill Road and 19220 Mateney Hill Road.
12 The proposed house is a two-and-a-half story cross gable
13 roof structure with a wraparound porch along the front and
14 left elevations of the house. The applicants are proposing
15 standing seam metal for the roof of the porch, asphalt
16 shingles and vinyl siding for the main massing of the house.

17 I will note that the parcel -- or, the Lot 19300
18 Mateney Hill Road is an outstanding resource within the
19 district and the parcel at 19220 Mateney Hill is outside the
20 boundaries of the historic district, so this lot is just
21 inside the boundary.

22 In the Staff report I went through specific
23 concerns that I had which are mainly focusing on what I feel
24 are inadequate drawings of the property. We really would
25 like to see a lot more detailed set of drawings to come back

1 to the Commission with specific information about the
2 details; specifically footprints, where the property is
3 going to be place with relationship to the adjacent
4 properties, and those shown on the site plan as well.

5 We are concerned with the exterior materials that
6 the applicants are proposing, specifically the vinyl siding.
7 Generally, the Commission does not permit the use of vinyl
8 siding as an exterior cladding within its historic districts
9 and Staff is recommending that the applicant utilize a
10 cement fiber product for this application.

11 Additionally, I think that the Commission should
12 require the applicants to provide a tree survey outlining
13 all trees larger than six inches in diameter and the survey
14 should indicate the proposed trees that are targeted to be
15 retained as well as the ones to be removed.

16 I do have some photographs to help orient you to
17 the site and I'll be happy to answer any questions you might
18 have, and the applicants are here this evening as well.

19 MR. SPURLOCK: Any questions of Staff? Okay, why
20 don't the applicants step forward please. I'm sorry to keep
21 you waiting so long. If you could state your names for the
22 record please.

23 MR. FORST: My name is Albert Forst.

24 MS. FORST: And I'm Deborah Forst. How are you?
25 We have lived in Germantown Historic District ourselves for

1 18 years and we were fortunate enough when we purchased our
2 house, which is not this one -- it's just the one next to it
3 -- we were -- it was -- we had, what, two parcels with one
4 deed, and so we've loved living in our home, we think it
5 looks beautiful, we've restored it, but we're looking
6 forward to having a -- well, we own the lot, so that makes
7 it a little easier, but we're looking for a more
8 maintenance-free home for myself and my family.

9 We do live in a multi-generational home. This is
10 our house that we live in now. There are three existing
11 homes in Germantown Historic District. The one you saw,
12 ours, and the one next door, which is the Rayfield/Browning
13 House. I believe that's what it's called. It was -- it's
14 recently -- this is the Berman's. This is adjacent to our
15 property, and that's fine. This is --

16 MR. FORST: That's ours.

17 MS. FORST: We'll just go along with the pictures,
18 instead of just -- sorry. I should --

19 MS. NARU: Let me start from the beginning.

20 MS. FORST: I've never been before a Commission
21 before, and also as far as all of the plans, we -- when we
22 went to the Staff and they said just bring sketches for
23 starters, and we'll build on that. So, now we know a little
24 bit more and we'll bring more the next time.

25 Anyway, the historic district is very small.

1 There are three existing homes there. We own one. Our two
2 neighbors have the others. One is a -- has recently added
3 to their home and now it's 3,600 square feet and that's the
4 Rayfield/Browning House. The Berman house, which is -- I
5 guess we don't have the other house -- that's it. And on
6 this slide -- I'm not sure, it's probably about -- you know,
7 it's a very large addition to it. We think it's beautiful.
8 It's twice the size as it was, probably twice the size of
9 our existing home and, you know, I'm not sure; I think it's
10 3,600, 3,700 square feet. It's the largest house currently
11 in the historic district. It is adjacent to our house,
12 which is adjacent to the farmhouse, which has five historic
13 homes -- five historic buildings; two of them being two
14 story.

15 That's the back of our house. And the three
16 houses that are in the historic district actually face the
17 Germantown historic train station. So, we probably don't
18 have a picture of that, but as you come down Mateney Hill
19 Road, you'll see three houses on the right and you see all
20 three of those houses now, you're going to make a sharp
21 right turn -- you may have all been in our little historic
22 district. You're going to make a right turn going around
23 the Berman farm, which is about two acres, and then you'll
24 come to our .81 acre lot. That lot is a sloping lot that's
25 overgrown. There are probably a few significant trees which

1 we'll bring a plan for, but most of them are -- it's
2 overgrown scrub. That lot I know it is facing a community
3 of about 45 new homes which vary in size -- I mean, our lot
4 actually -- our front of our lot is I guess three houses fit
5 from across the street into our front lot, which are right
6 here.

7 And some of them have actually -- have 15 steps
8 going up to the front because it is Mateney Hill Road, it's
9 very hilly terrain. That one I think has 15 steps. But
10 they do vary in size.

11 MR. FORST: And --

12 MS. FORST: Go ahead.

13 MR. FORST: Yeah, I guess one of our concerns was
14 that one of the points was that the house -- the new house
15 would be too big or that it should be smaller in size and --

16 MS. FORST: And both the Staff -- and we will say
17 the Historic Preserva -- the Germantown Historic Society
18 thought that that should be. Well, I will say that a
19 hundred percent of the historic district thinks that it's
20 great, which is myself and our two neighbors. I mean, it
21 happens to be that they have come and put a two-story barn
22 and they have -- the Bermans have come here and you may now
23 Ray Howar has been here and he doubled the size of his
24 house, has a large garage, actually has an occupied carriage
25 house; all on a half acre. The Bermans that do live on two

1 acres, but part of that is across the street, so they don't
2 get that benefit, have five external buildings -- two being
3 two-story. So, for us with a .81 acre with a 4,000 square
4 foot house -- 4,033 square foot house, does not seem large
5 to us.

6 We came here about a year ago and thought we would
7 be a little -- you know, do this quicker, but it took -- has
8 taken us longer due to health reasons. But we're here now
9 and we did know that you needed a separate garage, so we had
10 changed some of our plans to incorporate that.

11 We understand that vinyl is not normally used, so
12 we are certainly in agreement that we could go either to a
13 hardiplank -- that would probably be preferable -- or a wood
14 and look into that further. So, we, you know, are with you
15 on that.

16 The other point that both the Staff and the
17 Commission said was that the garage should be lower in
18 height. The garage actually pretty much mimics what the
19 house looks like, but it's -- like the other gentleman
20 before me said -- we don't want it to be a standing point.
21 You know, if a few feet makes a difference on the height of
22 a garage, then we can find something --

23 MR. FORST: We originally wanted it to be a two-
24 story -- we wanted to have some kind of storage above it,
25 which, you know, increases the height, but I guess we

1 But also it says that you could use the historic
2 houses which are not in the district. Apparently, there was
3 28 supposedly, and they can go up to actually 5,300 square
4 foot, which is on Liberty Road right across from the
5 elementary school, which we go to every day. So, there are
6 varying sized houses in the community. These are -- the
7 ones that you're seeing across from us are what we're going
8 to be looking at, you know, every day. That's -- our front
9 porch is going to look at the new structures, so we feel
10 like that the house -- has a beautiful front porch, you know
11 has a nice gable. The concern was that the rear of the
12 house has shutters. Now of the houses in the historic
13 district have shutters --

14 MR. FORST: On the rear.

15 MS. FORST: -- on the rear of it. We do have a
16 flat structure on the back, but that kind of mimicked what
17 we had seen in the past. We can certainly add a bay or a
18 bow window. We see in the future having, you know, a
19 flagstone patio with a pergola to add some architectural
20 detail to it, but we went really with a simple Maryland
21 farmhouse --

22 MR. FORST: Style.

23 MS. FORST: -- style. And what we'd like to do is
24 come back so that, you know, we have all the things that
25 you've asked for like the scale drawings that may be easier

1 for you to see --

2 MR. FORST: A tree survey and --

3 MS. FORST: -- tree survey --

4 MR. FORST: -- everything you need, but --

5 MS. FORST: Yeah. So --

6 MR. FORST: I guess -- yeah, and when we come back
7 -- in other words, one of the bone of contentions would be
8 the size of the house. If we -- we've been trying to find a
9 house that would fit and that we would want to live in and
10 raise -- you know, for the rest of our lives --

11 MS. FORST: And -- lives with us.

12 MR. FORST: -- as far as the size we'd almost --
13 we'd more or less have to throw out and start looking again
14 if we're going to have to, you know, make --

15 MS. FORST: And it's only 400 square foot larger
16 than the house that is in the historic district that has a
17 existing carriage house that has a owner -- has an occupant
18 that lives there on a daily basis in a two-story garage.

19 MS. VELASQUEZ: What percentage lot coverage would
20 this proposed house have? How big would it look on the lot?

21 MR. FORST: We have --

22 MS. FORST: Well, it's not really to scale, so
23 it's hard to see. I'm not sure -- we would have to bring
24 that back. I don't know how these square feet things work,
25 but we have on page -- I don't know if this is page 10 --

1 or, yours may not look like that, but it's a -- an engineer
2 did draw this out for us, but it's not on a scale. So,
3 there was plenty of -- to the side there's -- the reason
4 that it's back up on the hill, it's a sloping lot, so -- and
5 also it would be in line more with the neighbors house.

6 MR. FORST: It's roughly a three-quarter acre lot,
7 so it doesn't seem excessive.

8 MR. SPURLOCK: The --

9 MS. WRIGHT: Just --

10 MR. SPURLOCK: Go ahead.

11 MS. WRIGHT: I think one point of clarification
12 that may help, in your letter that you sent to the
13 Commission, you say we want to build a 4,000 square foot
14 house.

15 MS. FORST: Four thousand, thirty-three.

16 MS. WRIGHT: Okay. Is that meaning on two floors,
17 4,000 square feet --

18 MS. FORST: It is; mm-hmm.

19 MS. WRIGHT: So, that means that the basic
20 footprint of the house is approximately 2,000 --

21 MS. FORST: That's true.

22 MS. WRIGHT: -- half of the square foot --

23 MS. FORST: That's true.

24 MS. WRIGHT: So, you're talking about a house
25 that's about 2,000 square feet and a -- an acre is what,

1 42,000 --

2 MR. SPURLOCK: Forty-four.

3 MS. WRIGHT: -- 44,000, and so this is like --

4 MS. FORST: Point eight one.

5 MS. WRIGHT: -- so this is probably around 35,000
6 square feet; something in that ballpark. A little bit over
7 three-quarters of an acre.

8 MS. FORST: That's right.

9 MS. WRIGHT: So, if you figure this is 35,000
10 square feet, even 10 percent lot -- it's not even 10 percent
11 lot coverage.

12 MR. SPURLOCK: I think -- just before we start.
13 Just so you understand, the preliminary consultation which
14 you might have seen before; it's a give and take. It's a
15 conversation. All the Commissioners will ask you some
16 questions and give you some comments, and hopefully you will
17 come to a consensus so that when you leave, you have some
18 idea what you should do next.

19 MS. FORST: Okay.

20 MR. SPURLOCK: One thing I would just suggest --
21 and before everybody starts -- is you know, square footage
22 -- a big house can look fairly small if it's massed a
23 certain way, and a small house can look very big if it's
24 designed a certain way. So, don't -- don't fixate so much
25 -- or, I would suggest that -- on square footage. You know,

1 I don't think anyone's saying it has to be X number of
2 square feet. I think it's the way it appears is important.
3 But, with that said, I mean, turn it over to our -- whoever
4 wants to go first.

5 MS. O'MALLEY: Well, I was going to say just about
6 the same thing. I think when you have a picture of one of
7 the other houses that one of your neighbors and you look at
8 the side of it and it had a lot of additions, it really was
9 a very large house.

10 MS. FORST: When you look at that side.

11 MS. O'MALLEY: But it went in and then the porch
12 came out -- I mean, there were a lot of different planes.

13 MS. FORST: Yeah, that house is about 55 feet deep
14 where ours is --

15 MR. FORST: Yeah, length.

16 MS. FORST: But see how -- that's is the more
17 interesting side, because of that side porch.

18 MS. O'MALLEY: Now see what you just said.

19 MS. FORST: The most interesting side; I agree.

20 MS. O'MALLEY: And so I think maybe when they --
21 when the Germantown Historical sent in their comments and
22 they said it was too big and they didn't like the flat
23 plane, that they were commenting on that feature. You know,
24 that yours just has a plain sidewall, a plain back wall --

25 MS. FORST: Although we do have a porch running

1 down one side --

2 MR. FORST: Right.

3 MS. FORST: -- like a house -- like the new house
4 on Mateney Hill Road has, you know, a porch on one side, so
5 we thought that that would be architecturally significant
6 enough.

7 MR. FORST: Plus, we were told not to -- we were
8 told a year ago not to make a replica --

9 MS. FORST: Make it --

10 MR. FORST: -- not to make it look like it was an
11 old house, so we were picking more of as a Four Square to
12 try to be simple with, you know, the basic Gothic peak on
13 the front and the wraparound porch. I guess maybe we were
14 trying to be too simple and --

15 MS. FORST: I don't know. We like it.

16 MS. O'MALLEY: Well, I defer to the other
17 Commissioners.

18 MS. VELASQUEZ: I personally kind of like it. And
19 I love wraparound porches. Frankly, I think -- this is just
20 my very humble opinion, but I think you're heading in the
21 right direction.

22 I think what you heard a year ago is no, you
23 should not replicate the old farmhouse. Don't build
24 something that looks just like that, because that would be a
25 travesty to this poor thing. Do build something. But I

1 think what the Germantown Historical Society was trying to
2 say is keep the flavor of the little tiny district. You
3 don't want to come in and put a big white Georgian mansion
4 here because it wouldn't -- doesn't go with that at all.
5 So, I think what they're trying to say is just try to keep
6 the flavor.

7 I don't know if this is the particular house that
8 you're going to have to end up with, but the little gable
9 like the other houses have is cute and then -- you know, but
10 it doesn't -- I mean, it can look like 2003, but a little
11 country.

12 MS. FORST: Yeah, we have a gable on the front.
13 You have a picture of that, right? So --

14 MR. HARBIT: One of the concerns I have about, and
15 I think you're headed in the right direction and I'm sure
16 you'll find a great solution, but one of the concerns that I
17 have is that the gable on the front spans three windows.
18 So, you basically have a very large gable mass with one
19 window on either side, whereas the typical house in your --
20 in your community is a gable for one window and then more
21 windows on the side.

22 MS. FORST: And in the district that is, too.
23 There are several larger gables around the corner where
24 there's 28 other houses -- maybe not 28, but that's what the
25 paper says there are 28. So, there's quite a few houses

1 that stretch down Old Liberty Road that do have a wide
2 gable. I really wasn't concentrating on how many windows
3 were underneath them and I'll go back and look, but the
4 Dawson House, which is on Liberty Mill Road, billed 118, and
5 several others -- I don't know the name of them -- have that
6 wide gable. I mean, it --

7 MR. HARBIT: The wide gable on the front --

8 MS. FORST: Oh, the wide gable on the front.

9 MR. HARBIT: -- that shows -- that I'm looking at
10 on Circle 12 makes the house look very big.

11 MS. FORST: Okay.

12 MR. HARBIT: Because it has such a huge crown --

13 MS. FORST: So, if we were to go back --

14 MR. HARBIT: So, if you were to make it smaller,
15 it might make the house look less massive --

16 MS. FORST: Okay.

17 MR. HARBIT: -- which is one of the concerns that
18 we've been hearing.

19 MS. FORST: All right. Well, that's something
20 that we could consider. Ed said we could do that; our
21 builder.

22 MR. SPURLOCK: Mr. Breslin?

23 MR. BRESLIN: One concern I have is, you have a
24 sloping lot?

25 MS. FORST: We do.

1 MR. FORST: Right.

2 MR. BRESLIN: And when you look at your plan
3 here --

4 MS. FORST: Uh-huh.

5 MR. BRESLIN: -- you've got a 10-foot grade
6 difference between your front and your back.

7 MS. FORST: That's true.

8 MR. BRESLIN: So, if you wanted to walk out the
9 back onto grade, it means your front door is about 10 feet
10 out of the ground. I don't know if you realize that.

11 MR. FORST: No. Well, I think they would -- they
12 would grade -- they were picking Jeff Lawrence with O'Connor
13 and Lawrence was -- had gone over this and they were picking
14 the flattest spot they could get. And then they would grade
15 it so that actually the front porch -- they're trying to
16 keep it so the front porch would have three steps --

17 MS. FORST: Three steps.

18 MR. FORST: -- three or four steps.

19 MR. BRESLIN: But, I mean --

20 MS. FORST: We're going to be back into the hill.

21 MR. BRESLIN: But just because if you picture --

22 MR. FORST: Yeah, I --

23 MR. BRESLIN: -- a 10-foot height differential and
24 you put in a flat building, you're going to have a huge
25 retaining wall in the front or a huge retaining wall in the

1 back. Or, some massive berms, or you're going to have to
2 start stepping your house in some interesting way.

3 MR. FORST: Right.

4 MR. BRESLIN: But I don't think you're going to
5 have a house with three steps on -- of this size on this
6 site, and I think that just raises the point that having an
7 engineer or a landscape architect look at this very
8 carefully, and it also leads to the trees. The more you
9 landscape, the more trees you have to uproot.

10 MS. FORST: Right.

11 MR. BRESLIN: So, I think we all agree we'd like
12 to see this house lower. You don't want to have what's
13 across the street with 14 or 15 steps to your house.

14 MS. FORST: No, we're not going to. We're not
15 planning to.

16 MR. BRESLIN: And neither do you want to see the
17 whole lot re-landscaped. I mean, bulldozers pushing dirt
18 all over the place.

19 MR. FORST: Right.

20 MR. BRESLIN: And by nature -- by virtue of the
21 fact you have a roughly steep grade changes, I think that
22 has to be looked at very, very carefully, and I think you
23 have a real challenge ahead of you.

24 MS. FORST: If you'd see our house, which if you
25 go back to the house that we live in now, it's actually got

1 a, you know, sloping lot as well, so -- but there's maybe --
2 I've never counted our steps, although I use them, about six
3 or seven that are --

4 MR. FORST: No, that -- yeah.

5 MS. FORST: -- on the front of that -- or, no;
6 maybe not. But, so that --

7 MR. FORST: That's probably five or six --

8 MS. FORST: And they -- according to the engineer
9 that looked at this, they thought that it would be no more
10 than what we have here.

11 MR. FORST: And then -- and stepping out on the
12 back would be -- well, we'll have to go over and make sure.
13 I guess, is that one of things that you want to see is --

14 MR. BRESLIN: Well, I think --

15 MR. FORST: -- is an elevational --

16 MR. BRESLIN: Well, one thing we want to have an
17 accurate representation of the front. Even right now if you
18 were to go from -- six or seven steps from the three on your
19 elevation, you just pulled your house two feet further out
20 of the ground, and I think we care about that.

21 Plus the fact, if you're going to do that, and
22 you're going to be doing significant regarding, you're
23 affecting a whole lot of trees. So, I think we're worried
24 about trees, we're worried about grading, we're worried
25 about the height --

1 MS. FORST: There's not big trees on this
2 property.

3 MR. FORST: Right, most of the trees on the
4 property have been -- started growing when we moved in. You
5 know, it was pasture and -- and they're a couple inches --
6 four inches around or whatever. Most of them. I'm not
7 saying all of them.

8 MS. FORST: There are some big ones.

9 MR. FORST: There are some big ones and --

10 MS. FORST: To the side luckily.

11 MR. BRESLIN: But I think these are things we'd
12 like to have --

13 MS. FORST: Okay.

14 MR. BRESLIN: -- addressed, because you'd be
15 surprised how often we have a house that by the time they
16 actually built it, it winds up, you know, four or five feet
17 out of the ground.

18 MS. FORST: Right.

19 MR. BRESLIN: Which makes a huge visual impact.

20 MS. FORST: Okay. So, we'll come back with the
21 elevations.

22 MR. SPURLOCK: Commissioner Watkins?

23 MS. WATKINS: I have two comments. On your right
24 elevation, is that a fireplace?

25 MS. FORST: It is. I believe it's what you are

1 looking at. There's -- I'm not sure if it's the right
2 elevation.

3 MS. WATKINS: It looks like a gas fireplace.

4 MR. FORST: Yeah, gas fireplace.

5 MS. FORST: Mm-hmm.

6 MS. WATKINS: I don't know how the other
7 Commissioners feel, but I think expressing it that way, it
8 can maybe be done a little more interesting -- make it a
9 little more interesting.

10 MS. FORST: Like a little peak on it?

11 MS. WATKINS: Or -- I don't know; I just don't
12 like the little bump. You know, I just think it --

13 MR. FORST: It can be direct -- it doesn't have to
14 have that bump if we have the fireplace in the house -- the
15 gas fireplace in the house. But it would have to have a
16 direct vent coming out.

17 MS. WATKINS: Right.

18 MR. FORST: Would that be a problem or --

19 MS. FORST: We'd just use up feet inside the
20 house.

21 MR. FORST: Yeah, we'd have to use a couple feet
22 in the house, instead of having the fireplace there and a
23 couple feet out of the house.

24 MS. FORST: Although we want to build this large
25 house and we plan to, we have a multi-generational house,

1 we're not like the Howard Hughes Medical Center, so we are
2 being very conscious and hopefully as time goes on and as we
3 live here for 18 years or whatever we are, that we also can
4 do some beautiful things. But we want our basic, you know,
5 home structure; what you like, as well as us. And we can
6 work with that.

7 MS. WATKINS: And I think the rear elevation, to
8 make it a little more interesting. I think it reads like
9 any subdivision rear elevation or any, you know, 1990, 2000
10 house.

11 MS. FORST: Right.

12 MS. WATKINS: I think perhaps if you take some
13 clues from some of the back elevations of the historic homes
14 around you --

15 MS. FORST: Although the adjacent home to this
16 property is flat, exactly like that. But we were thinking
17 if we just added like a bow or bay window, a pergola with
18 flagstone, would that be in keeping for now --

19 MR. SPURLOCK: Well, look at the back of your
20 house right now -- it's a smaller gable and then -- the roof
21 line changes and maybe that's even something that you can --
22 do you understand what I'm saying?

23 MS. FORST: But then you don't -- then that means
24 you pretty much don't like this house then? If we have to
25 change --

1 MR. SPURLOCK: I think you're hearing different
2 things --

3 MS. FORST: Okay.

4 MR. SPURLOCK: -- from different people.

5 MS. FORST: Yeah, okay.

6 MS. WATKINS: Well, you know I think there's
7 details you can add to this basic plan.

8 MS. FORST: Okay.

9 MS. WATKINS: Just because we don't like one part
10 doesn't mean we don't like the house.

11 MS. FORST: Okay. Okay, so we'll just try to make
12 it a little more interesting, get the elevations.

13 MR. FORST: So, are you saying like as far as the
14 back --

15 MS. WATKINS: I think --

16 MR. FORST: -- another gable or something or --

17 MR. SPURLOCK: No, I --

18 MS. WATKINS: I think if you go to somebody -- you
19 probably have to go to an architect or somebody to have
20 these drawn up. You're going to have to go to somebody
21 who's licensed to draw the drawings --

22 MS. FORST: Mm-hmm.

23 MS. WATKINS: -- and to -- perhaps they can give
24 you some suggestions or something to make it a little --

25 MS. FORST: Maybe we'll just add a bay and if we

1 put the pergola or what -- is that what it's called where
2 it's got the -- which quite a few neighbors of ours have
3 done that have very plain back up and down -- Old Liberty
4 Road. You know, that adds some interest. But we can bring
5 it back and see what you think.

6 MS. VELASQUEZ: And feel free to work with Staff
7 if you're in doubt.

8 MS. FORST: Okay. All right.

9 MR. SPURLOCK: Commissioner Harbit, did you want
10 to add anything else? I think you've gotten sort of a mixed
11 response tonight. I couldn't say there was a consensus.
12 Several Commissioners have told you that it seems, you know,
13 fine with some minor refinements, and I think Commissioner
14 Breslin was suggesting that you -- you sort of relook at
15 this and make it a more site-specific house because of the
16 grade issues. I think I would agree with Commissioner
17 Breslin. I think it's -- and, you know, with all due
18 response, it's a flat -- it's a house that you could put on
19 a flat lot and it doesn't respond to your site very
20 specifically. It doesn't have a unique character that makes
21 it more responsive to where it's located.

22 And I guess I would also -- first thing I'd like
23 to see that you do something with a little bit more of a
24 character of some of the other adjacent historic houses,
25 with more articulation. But, again, you know I just want to

1 voice -- I'm trying -- I think for the most part you have a
2 -- I seem to get a sense of most of the Commissioners were
3 comfortable with the direction you're going.

4 MS. FORST: Okay.

5 MR. SPURLOCK: But I would highly, highly suggest
6 that you seek some professional help. I think a qualified
7 architect or someone to -- or, a builder or whatever --
8 however you plan on executing this. You can do scale
9 drawings. Make sure that site plan works. Draw the
10 elevations to scale so that the Commission can really look
11 at those and look for ways, I think as Commissioner Harbit
12 said, to maybe reduce the apparent mass of the house --
13 maybe not make it smaller, but make it look a little
14 smaller, and you can do that in various ways.

15 MS. FORST: Okay.

16 MR. SPURLOCK: Someone who knows what they're
17 doing can certainly help with --

18 MR. HARBIT: But don't -- I would encourage you
19 not to go all the way into final design before you come back
20 again. Because I think you did get a pretty mixed review.

21 MS. FORST: But then if we're paying for
22 architectural drawings, then --

23 MR. HARBIT: You can get a conceptual drawing, you
24 know early schematics for not a lot of money.

25 MS. FORST: Okay.

(51)

1 MR. HARBIT: But don't hire the architect to draw
2 it all the way to completion, and then come back and we
3 have --

4 MR. SPURLOCK: And I know this is probably not
5 comforting to you, but we are -- there are going to be some
6 new Commissioners coming on in a month and there will be
7 some different voices and different faces.

8 MS. FORST: I think the soonest we can get here, I
9 believe -- said, was one month, so --

10 MR. SPURLOCK: So, you might -- not go too far, as
11 Commissioner Harbit said. You know, just get something to
12 scale. Get something a little bit more developed that you
13 like and come back.

14 MS. FORST: Well, hopefully we'll see you next
15 month.

16 MR. SPURLOCK: Thank you. Good luck.

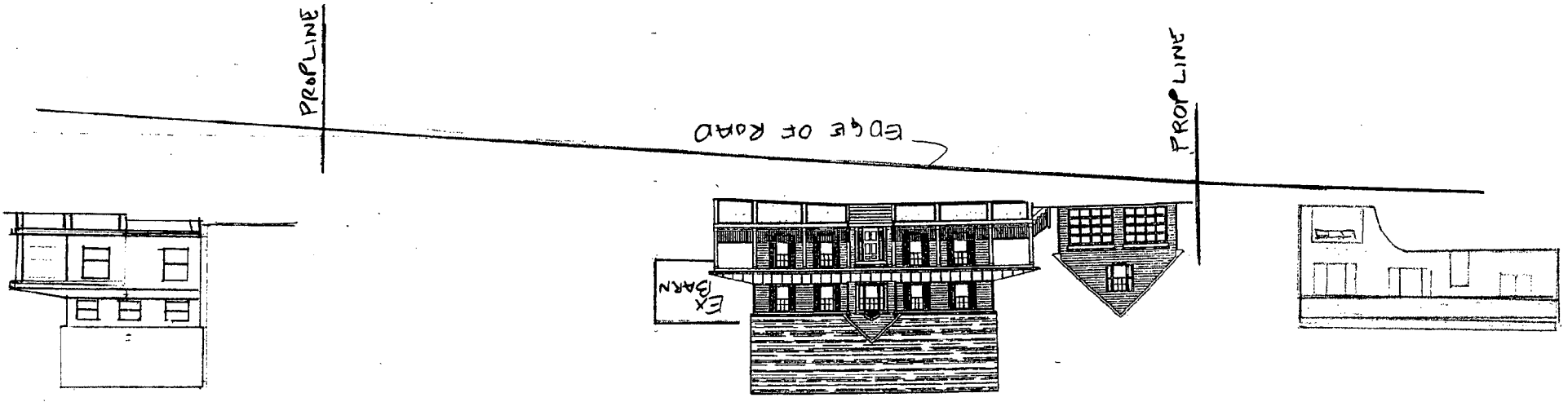
17 MS. VELASQUEZ: Good luck.

18 MS. FORST: Okay, thank you.

19 MR. SPURLOCK: The next case would be Case D. Can
20 we have a Staff report, please?

21 MS. NARU: The property at Case D is 3924
22 Washington Street in Kensington. This is a secondary
23 resource within the Kensington Historic District and as you
24 may or may not know, secondary resources are equivalent to
25 non-contributing resources within this district. It's just

FIRST RESIDENCE
19310 MATENEY HILL RD
GERMANTOWN, MD



STREET ELEVATION
SCALE 1"=30'



FRONT ELEVATION
FIRST RESIDENCE

PRELIMINARY CONSULTATION

12

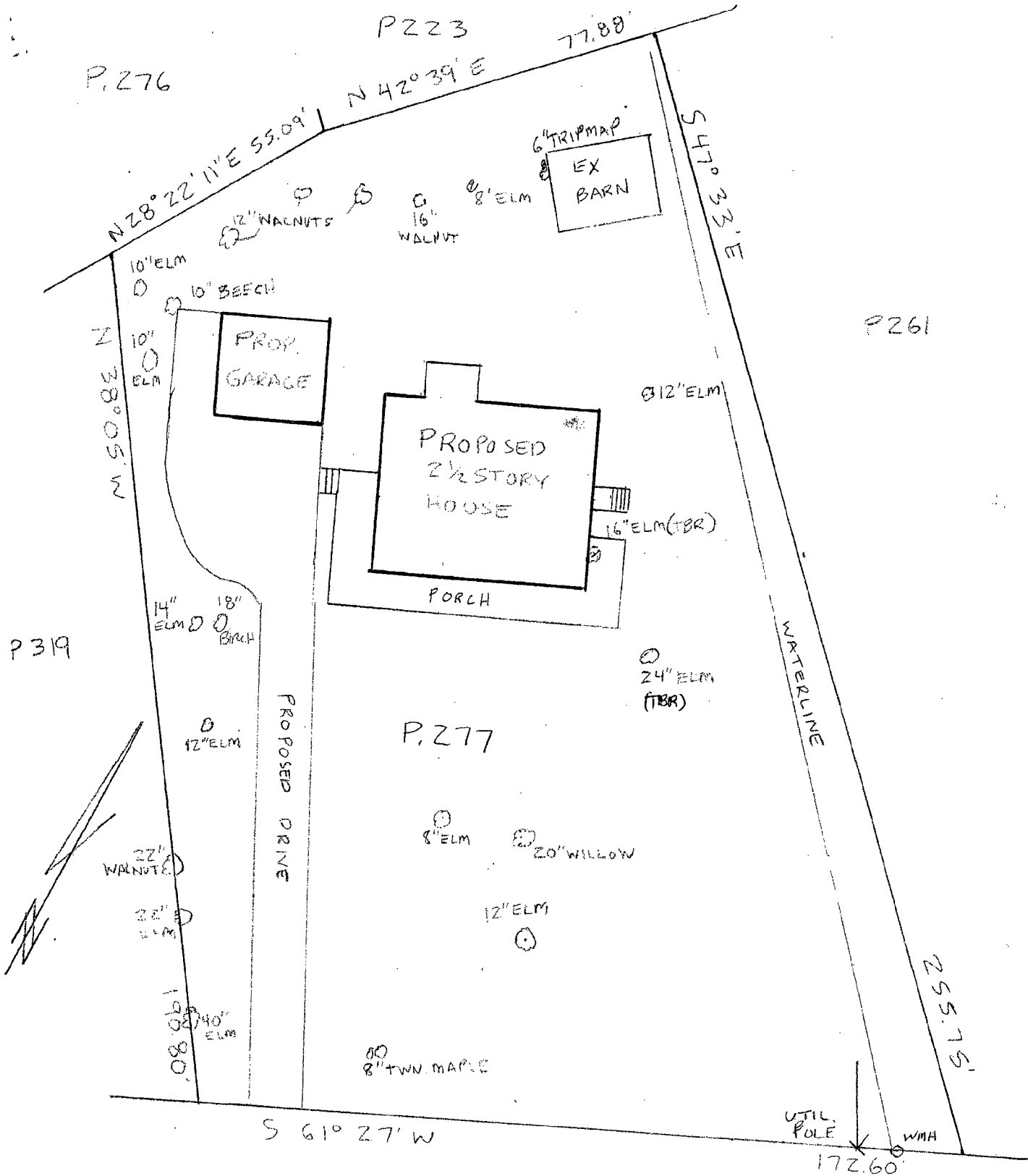


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RUBEN



MATENNEY HILL ROAD

PROPOSED NEW HOME
 FIRST RESIDENCE
 MATENNEY HILL RD
 GERMANTOWN MD

MAY 2003
 SCALE 1"=30'

Deborah and AJ Forst

19310 Mateny Hill Rd
Germantown MD 20874
dforst@aol.com

May 5, 2003

Dear Michelle,

I am sending you our revised plans for our new home to be built in Germantown's Historic District. These sketches I wanted you too see before our architect drafts them. When making these changes we kept in mind the requests of the **staff, the commission, and the Germantown Historic Society's** recommendations.

The following changes were made to the house:

1. Smaller front gable. (This change was made to more closely resemble the homes in the district. The **Commission** had also thought the expanse of the original gable we had requested was too large and should not cover 3 windows. The new front elevation will have coverage of only 1 window.
2. Now that the front gable is smaller we eliminated the window within the gable and then changed center window to be more architecturally appealing.
3. The **staff** had also recommended using a cement fiber product such as hardy-plank. After extensive research, we have decided to make this change. Our original request was vinyl but we are changing to a cement fiber product.
4. There have been two changes to the right elevation. The porch has been extended too wrap around the side for a more pleasing appearance. The second change was to eliminate fireplace bump out.
5. This rear of the house will now have a two story gabled extension. We believe this change will enhance the appearance of this Maryland farmhouse design home. This change was strongly encouraged by the **staff, the Germantown Historic Society and the Commission.**

Michelle, I hope you like these changes to our new home. We like them and are pleased with these changes. We understand that the garage seemed too high and we will be able to lower the height as well as change the driveway. I am going now to pick up the builders sketches and will fax them to you immediately. After reviewing these changes you can e-mail me at dforst@aol.com. I can then call our architect and have him draw up the plans. Thank you.

Sincerely,

Signature

Deborah R Forst.

Fax Cover Sheet

kinko's®

19704 Germantown Road
Germantown, Maryland 20876
Tel: (301) 515-8355
Fax: (301) 515-6874

Date: May 5, 2003

To: Michelle Naru

Company: Historic Pres.

Fax: 301-563-3412

From: Deborah Forst

Company: _____

Tel: 301-353-0698

Number of pages including this one: _____

Comments:

I hope this house is closer to your expectations. We really like the new design. Let me know drforst@aol.com

FROM : BURKHARDT

PHONE NO. : 301 829 5530

May. 07 2003 10:56AM P2



FORST RESIDENCE
FRONT ELEV.
SKETCH



FORCH TO REAR WALL OF LIV. ROOM

LEFT ELEVATION

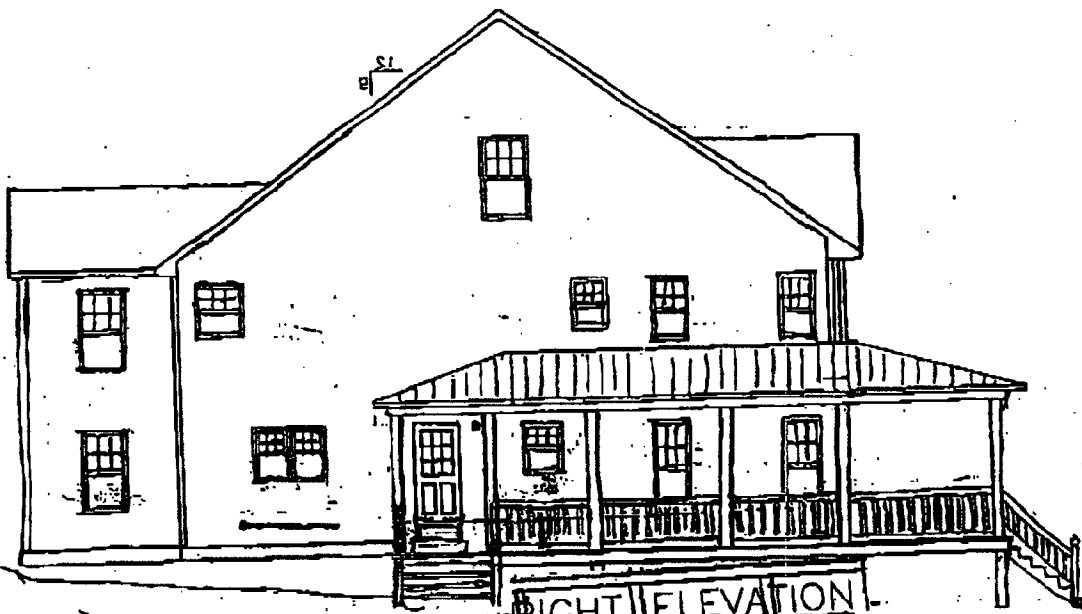
Acceady

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RIGHT ELEVATION

SCALE: 3/32"

PHONE NO. : 301 852 2238

Y : BURKHARDT

x no bottom
Sash grilles



REAR ELEVATION SKETCH

SCALE: 3/32"

FORST RESIDENCE

REVISIONS	NO.	DATE	DESCRIPTION	JOB REF.