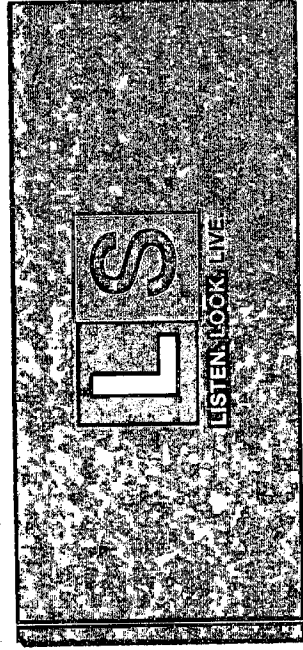
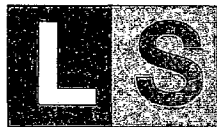


19/13-6-05A 19219 Liberty Mill  
MP#19/13-6 Upton Bowman House





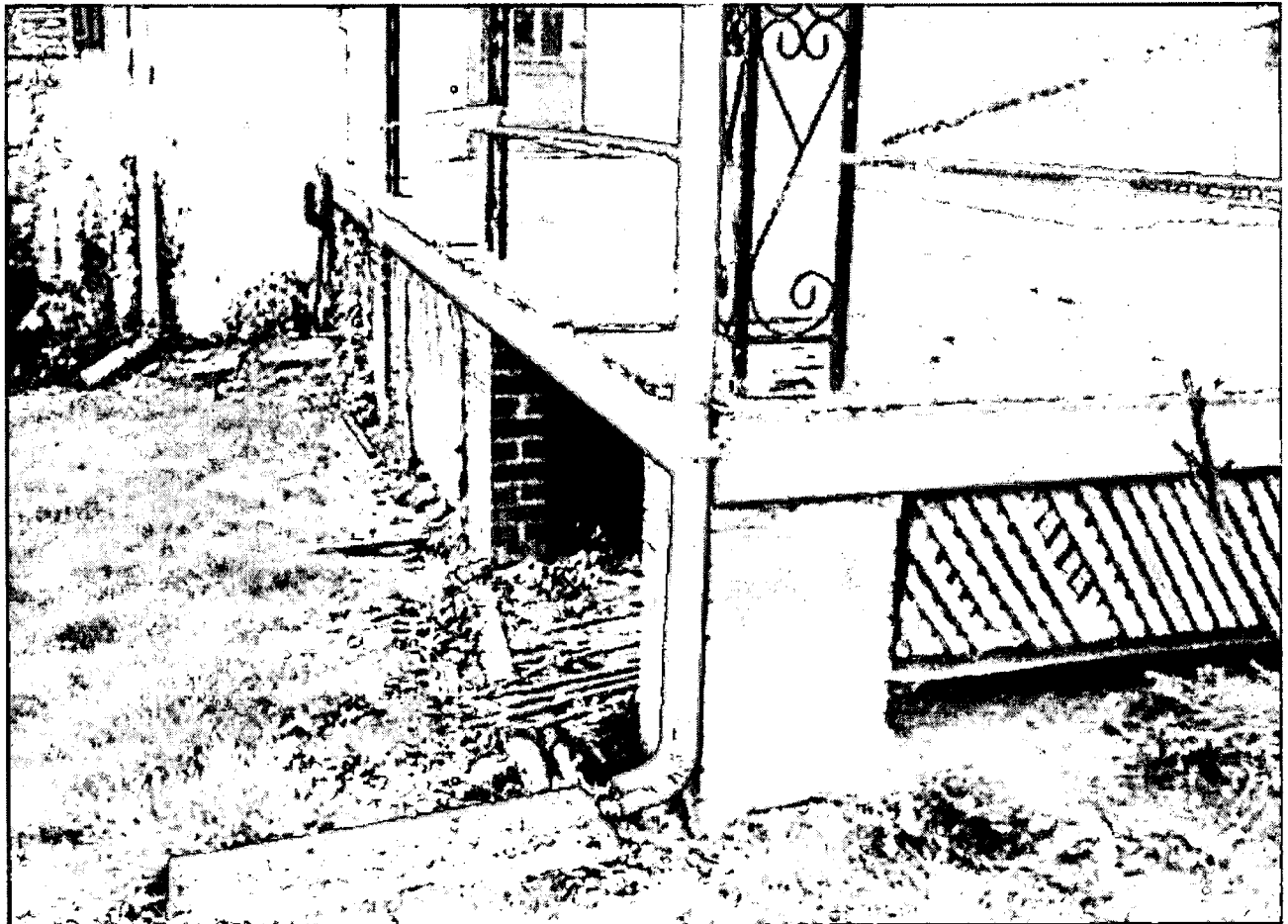
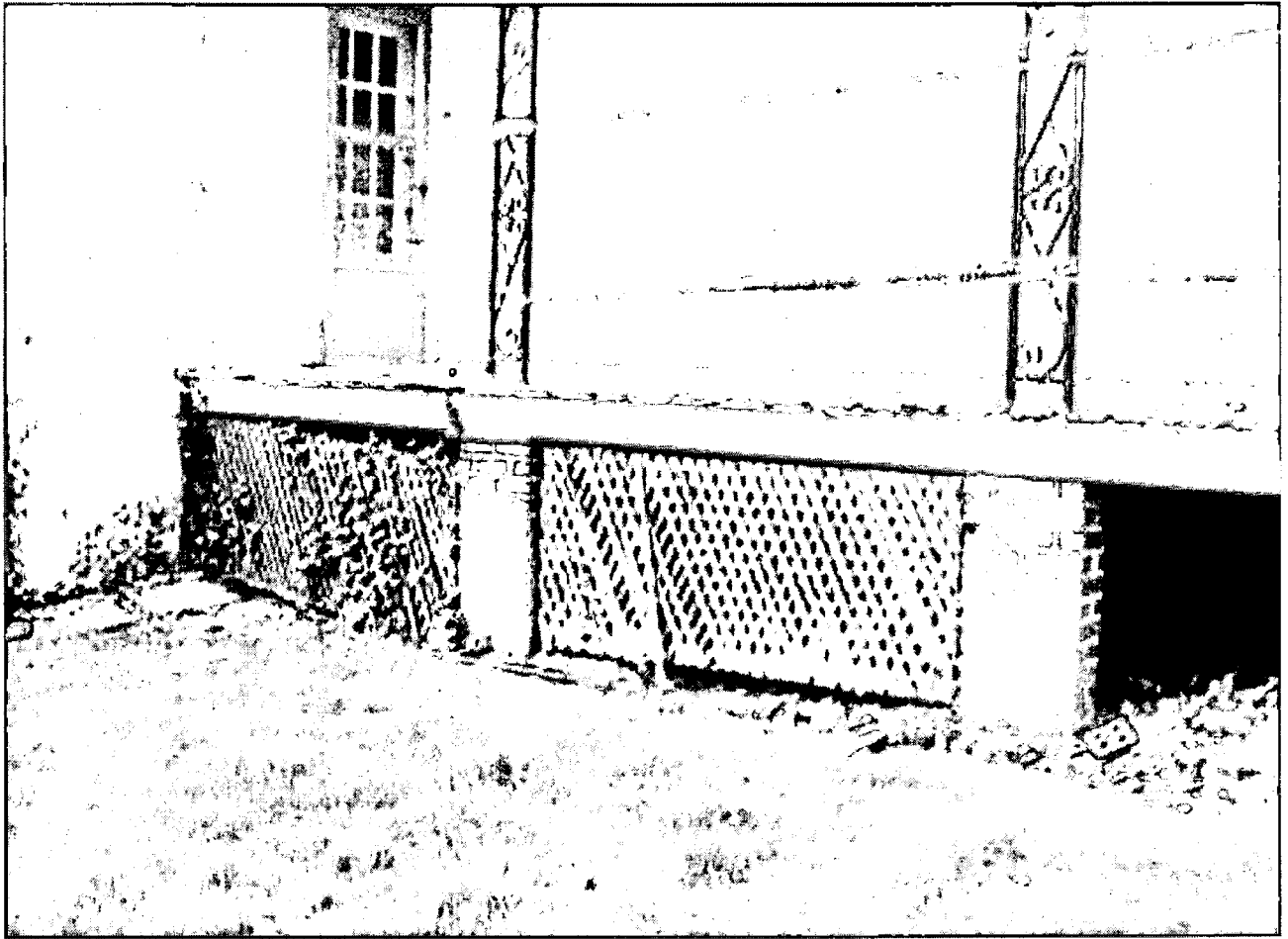
LARRY SAUER | AIA

6504 75th Place  
Cabin John, Maryland 20818

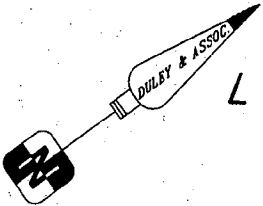
44 Old Bay Road,  
Rehoboth, Delaware 19971

t 202.997.2627 f 270.964.5426

e [larrysauer@comcast.net](mailto:larrysauer@comcast.net)

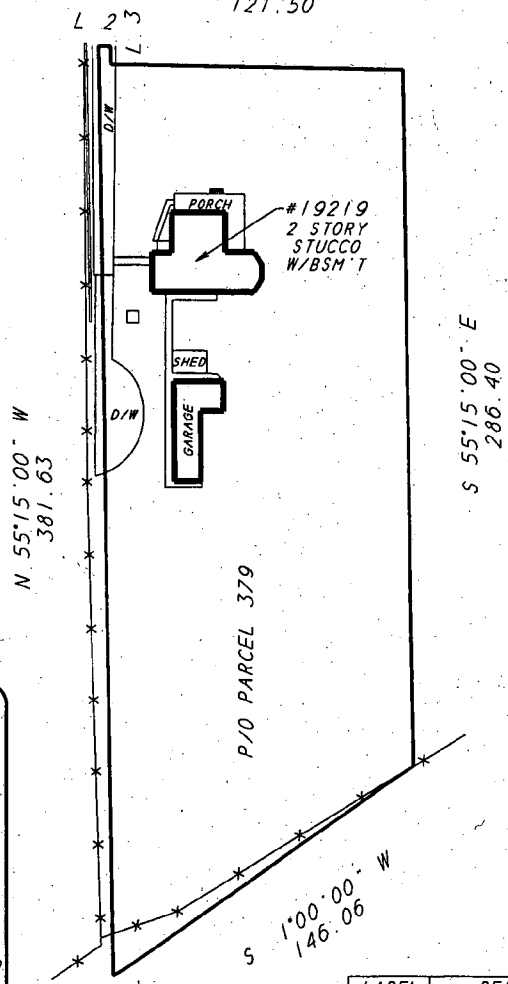






# LIBERTY MILL ROAD

N 36°30'00" E  
121.50



**NOTE:**  
THE RECORD PLAT AND/OR DEED WAS FOUND TO BE ONE OR MORE OF THE FOLLOWING:

1. MATHEMATICALLY INCORRECT
2. ILLEGIBLE
3. INCOMPLETE
4. NOT FOUND AT ALL
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\* ENCROACHMENTS MAY EXIST \*  
PLEASE SIGN:

LABEL	BEARING	DISTANCE
L 1	S 5°30'00" W	5.73
L 2	N 37°20'00" E	5.01
L 3	S 55°15'00" E	7.35

**LOCATION DRAWING OF:**  
**#19219 LIBERTY MILL ROAD**  
 PART OF PARCEL 379  
 N/F PROPERTY OF  
**EVEELYN C. LAMBERT**  
 LIBER 13781 FOLIO 39  
 MONTGOMERY COUNTY, MD  
 SCALE: 1"=60' DATE: 11-9-04

A LAND SURVEYING COMPANY

**DULEY AND ASSOCIATES, INC.**  
SERVING D.C. & M.D.

14604 ELM STREET  
UPPER MARLBORO, MD. 20772

PHONE : 301-888-1111 FAX : 301-888-1114  
 PHONE : 1-888-88-DULEY FAX : 1-888-55-DULEY



CASE # MSB1744-04  
 LAMBERT  
 FILE # 048039-370  
 DRAWN BY: B.G.

**SURVEYOR'S CERTIFICATE**

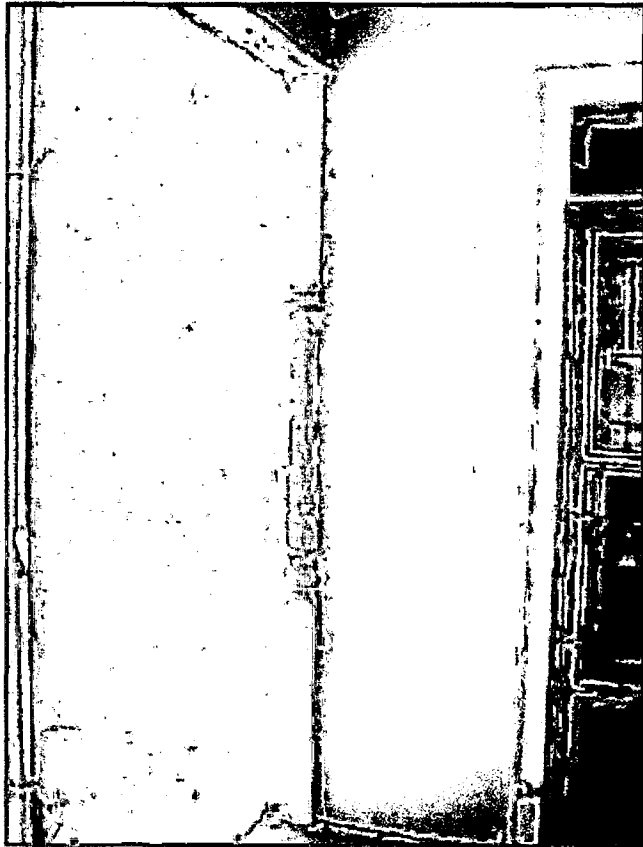
I HEREBY STATE THAT THE EXISTING VISIBLE IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY ACCEPTED METHODS AND THAT THE IMPROVEMENTS APPEAR TO LIE WITHIN FLOOD ZONE C. A FLOOD CERTIFICATION IS RECOMMENDED TO DETERMINE THE EXACT FLOOD ELEVATION AND FLOOD ZONE. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF ANY FENCE, BUILDING, OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 5'. NO TITLE REPORT HAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYORS OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED "TEMPORARY" MAY NOT BE SHOWN.

## Site Work

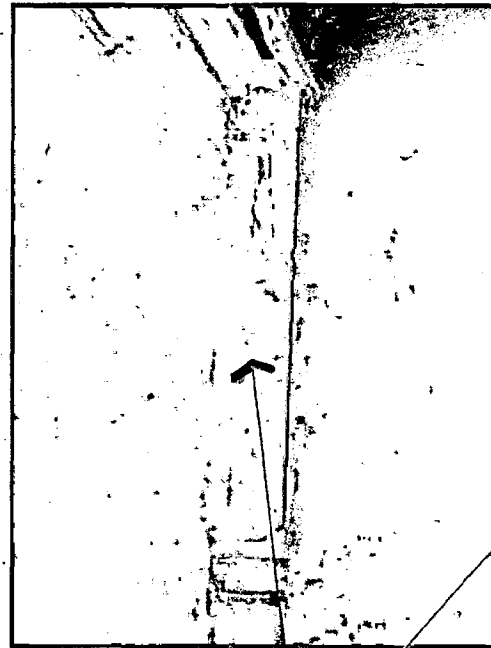
1. Drive way: Stamped Concrete, stone pattern or exposed aggregate concrete
2. Realign driveway within property line; currently over western boundary
3. Walks: brick
4. Relocate wood outbuilding to rear of property
5. Demolish concrete block outbuildings and replace with 3-car garage
6. Remove four trees along west side of house that are threatening the foundation
7. Plant Leland Cypress along eastern property line

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD



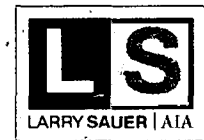


Existing porch column



Indication of a top bracket attached to original column  
along perimeter of porch

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD

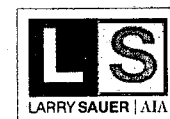


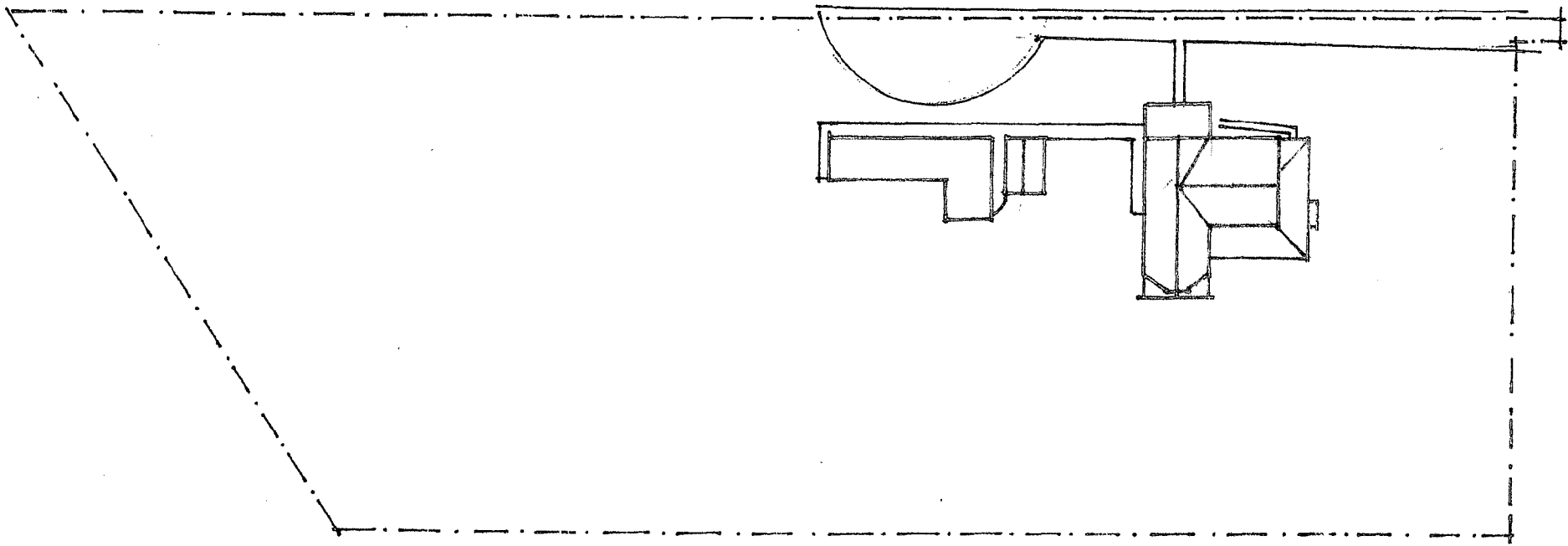




~~Recommended porch brackets~~  
Similar house in Germantown  
*Example*

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD

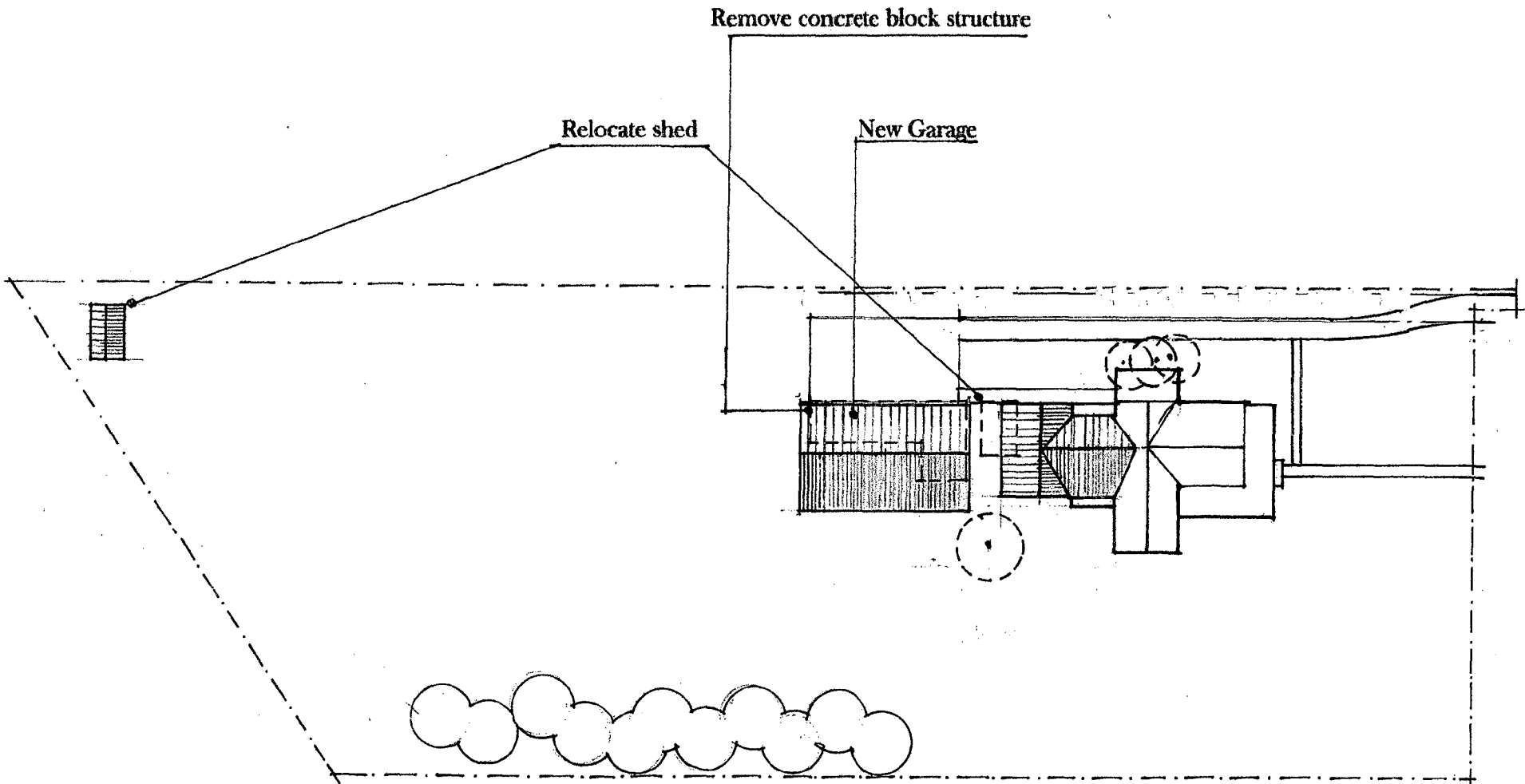




Existing Site Plan

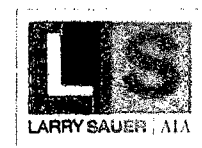
Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD





  
Site Plan

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD





Existing North Elevation

Jenkins-Love House  
19210 Liberty Mill Road  
Germantown, MD



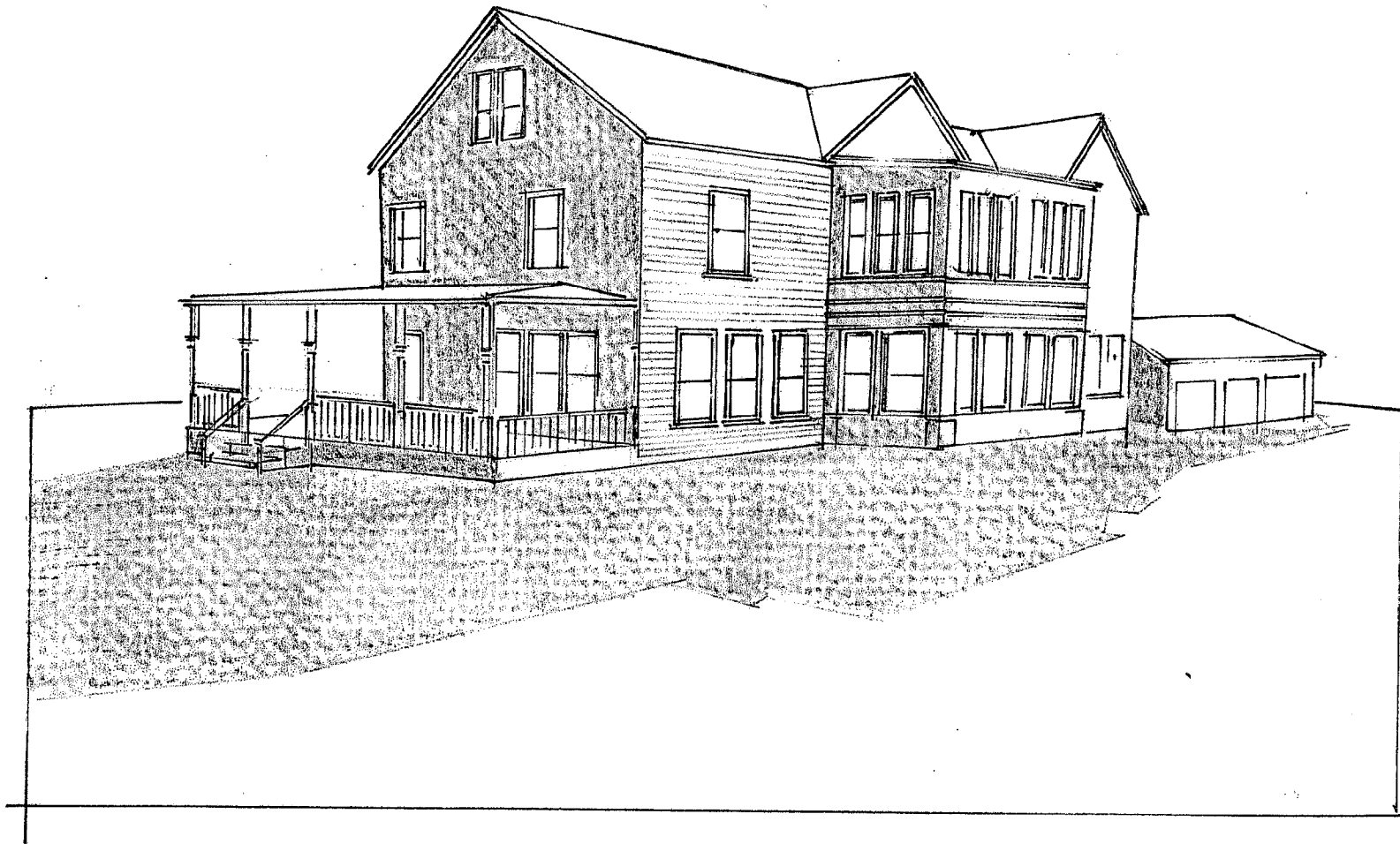


SEE NOTES FOR MATERIALS & FINISHES

North Elevation. 1" = 8'0"

Jenkins-Love House  
19210 Liberty Mill Road  
Germantown, MD





View looking East

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD





East Elevation

Jenkins-Love House  
19210 Liberty Mill Road  
Germantown, MD





South Elevation

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown MD







West Elevation

Jenkins-Love House  
19210 Liberty Mill Road  
Germantown, MD

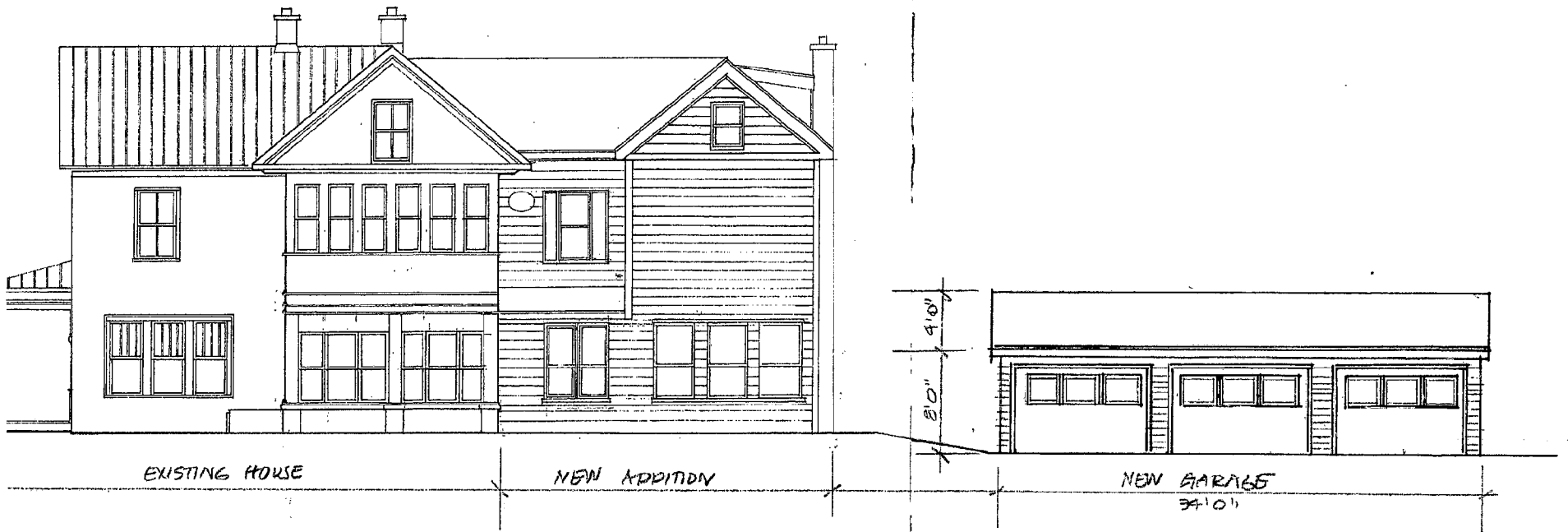




View looking West

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD





EXISTING HOUSE

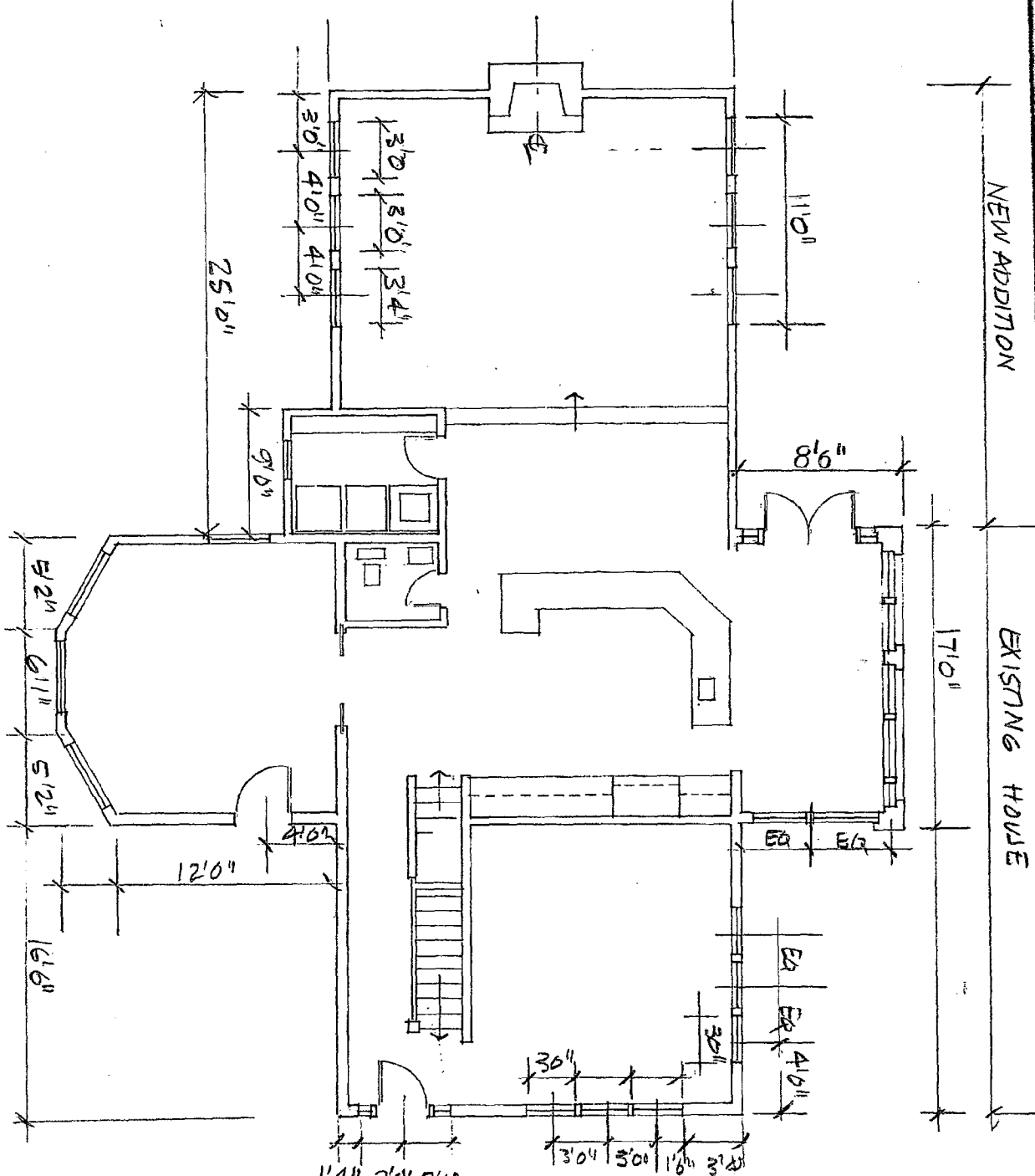
NEW ADDITION

NEW GARAGE  
34'-0"

West Elevation

Jenkins-Love House  
19210 Liberty Mill Road  
Germantown, MD

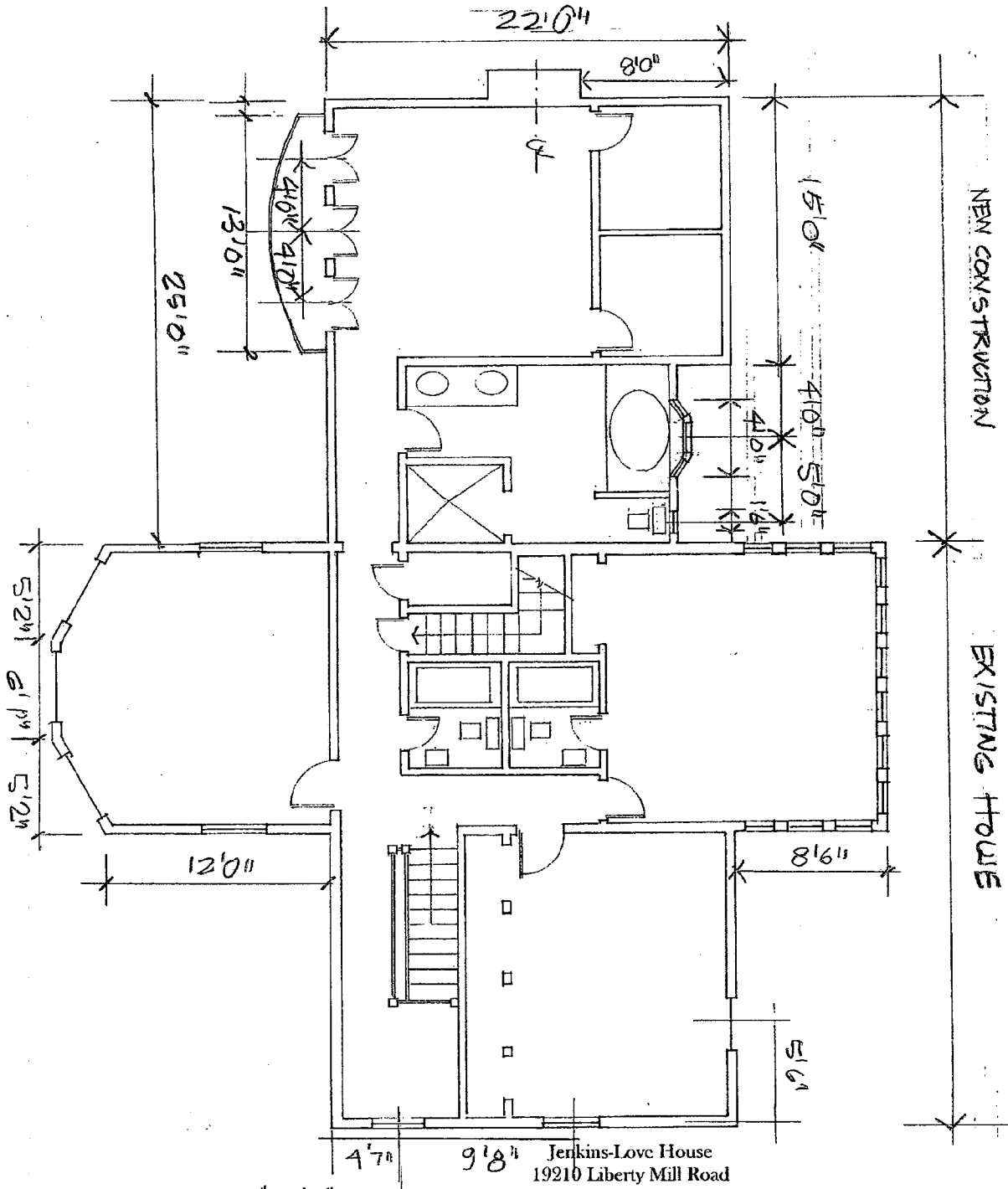




Ground Floor Plan

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD

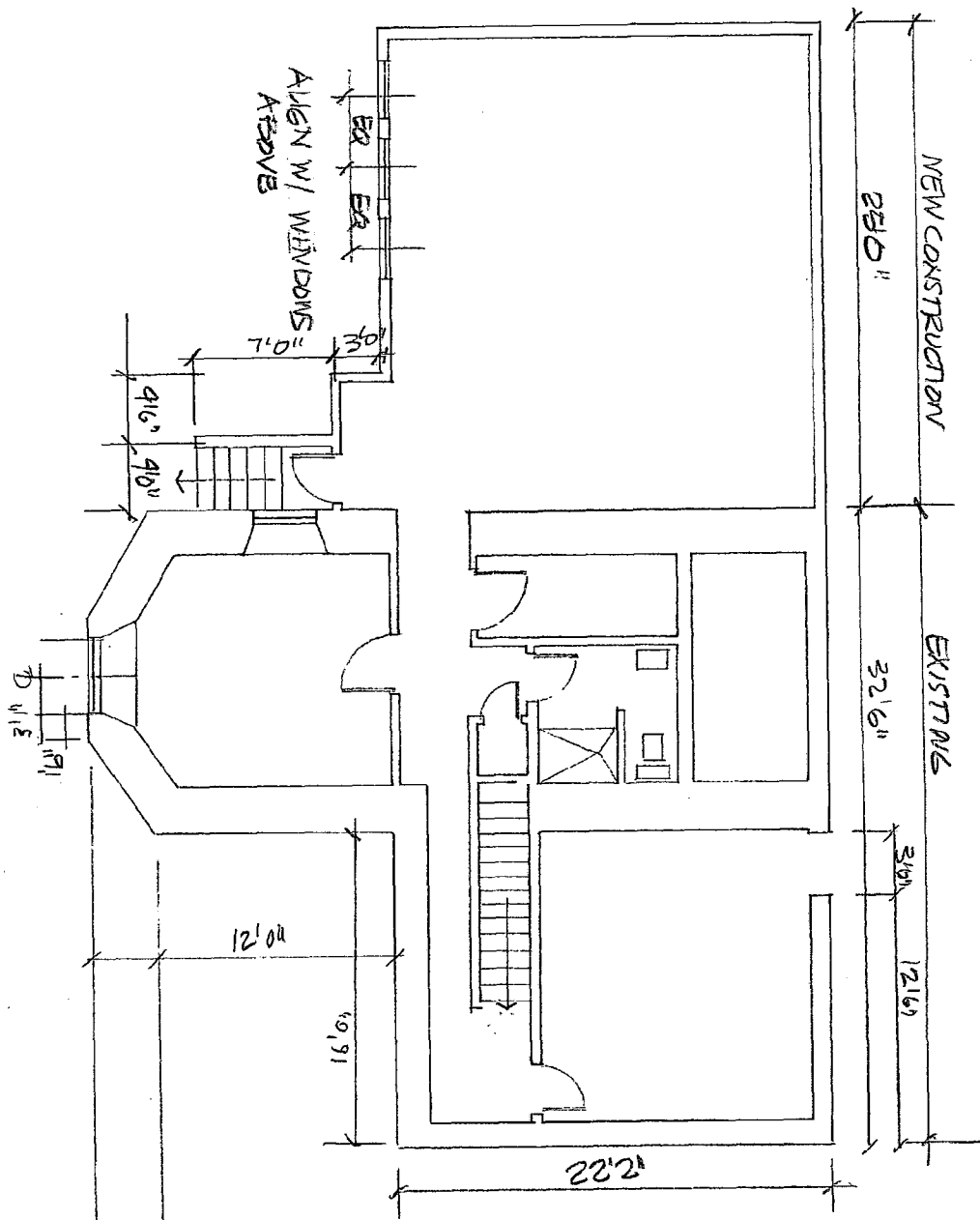




Second Floor Plan 1" = 8'0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD

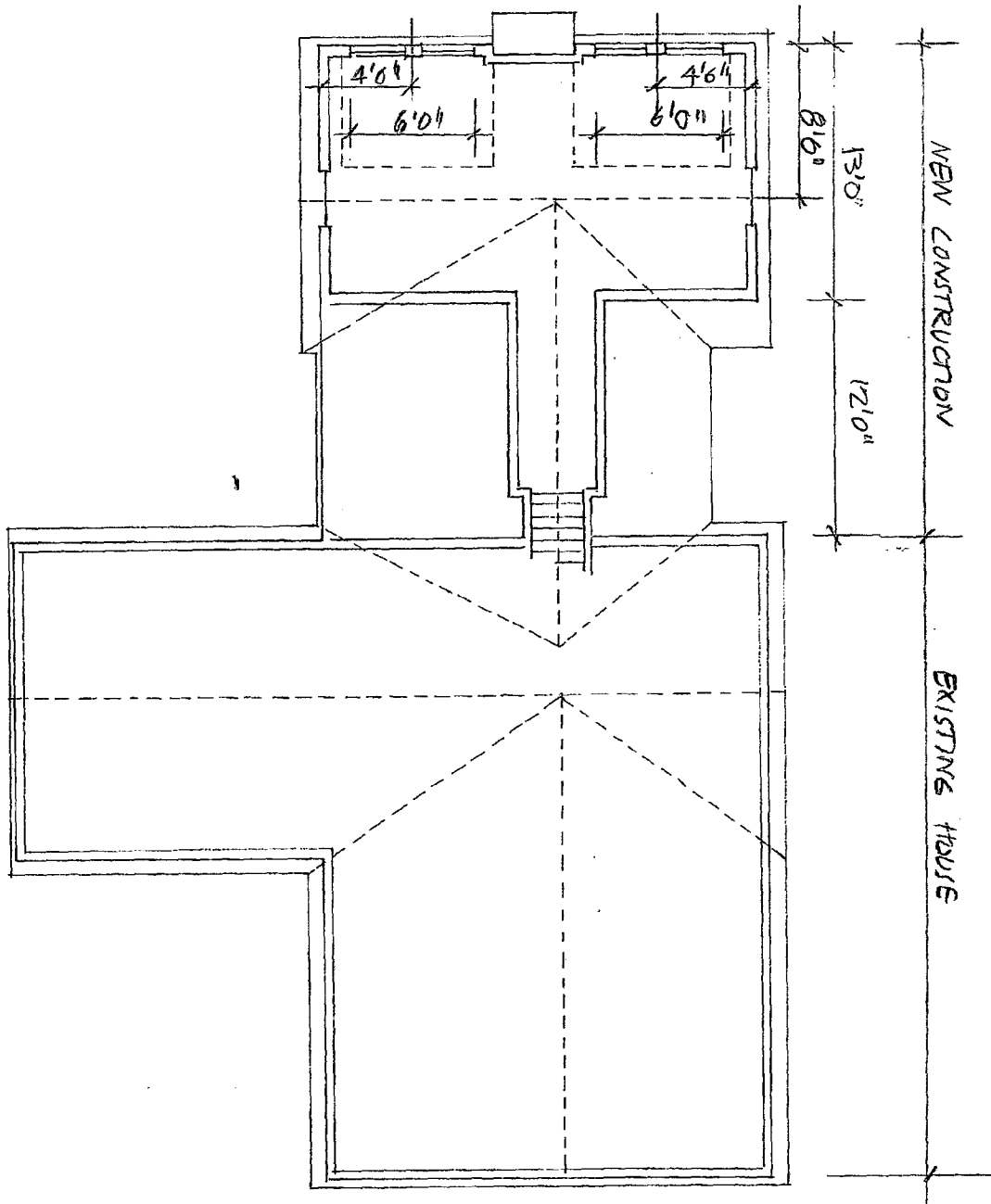




Basement Plan, 1" = 6'0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD

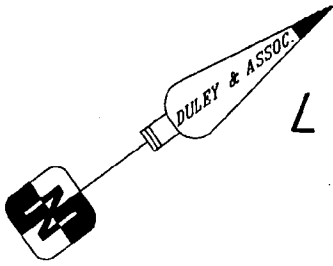




Attic Plan

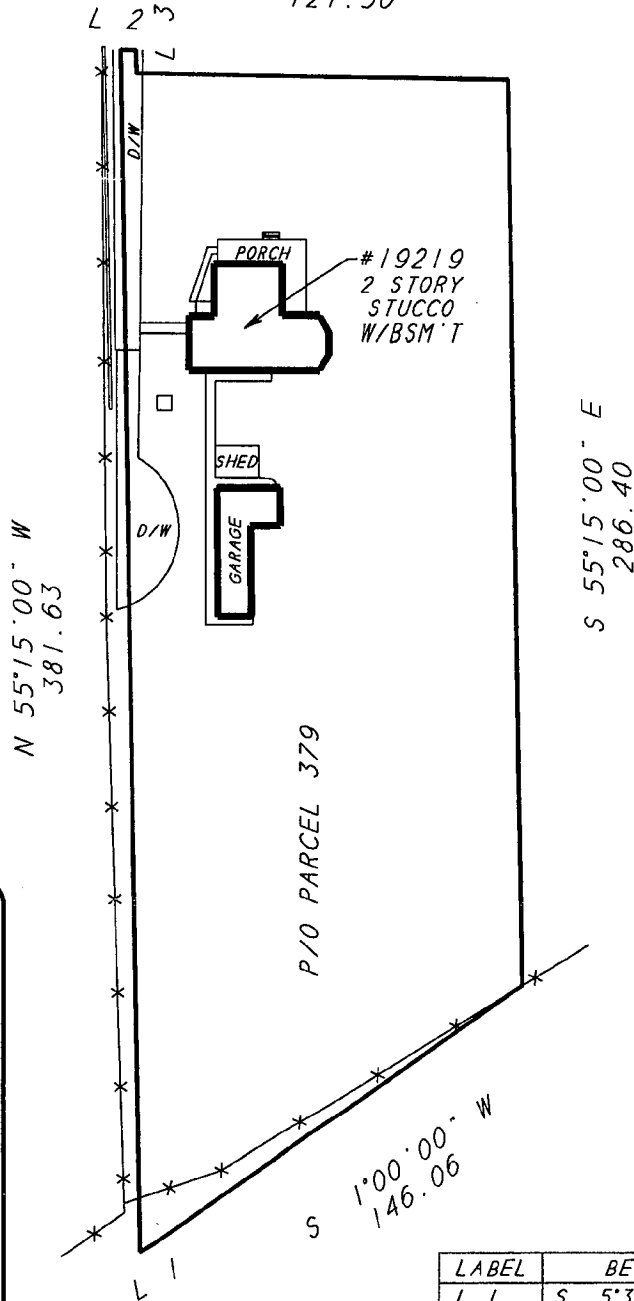
Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD





# LIBERTY MILL ROAD

N 36°30'00" E  
121.50



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**LOCATION DRAWING OF:**

**#19219 LIBERTY MILL ROAD**

PART OF PARCEL 379

N/F PROPERTY OF

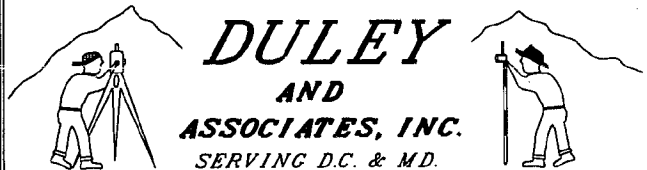
**EVEELYN C. LAMBERT**

LIBER 13781 FOLIO 39

MONTGOMERY COUNTY, MD

SCALE: 1"=60' DATE: 11-9-04

A LAND SURVEYING COMPANY



**DULEY AND ASSOCIATES, INC.**  
SERVING D.C. & M.D.

14604 ELM STREET  
UPPER MARLBORO, M.D. 20772

CASE # MSB1744-04  
LAMBERT  
FILE # 048039-370  
DRAWN BY: B.G.

PHONE: 301-888-1111 FAX: 301-888-1114  
PHONE: 1-888-88-DULEY FAX: 1-888-55-DULEY



**SURVEYOR'S CERTIFICATE**

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## Tully, Tania

---

**From:** Jame Stokoe [archetal@AOL.com]  
**Sent:** Friday, April 29, 2005 11:26 AM  
**To:** Tully, Tania  
**Subject:** Upton Bowman House



Detail.pdf

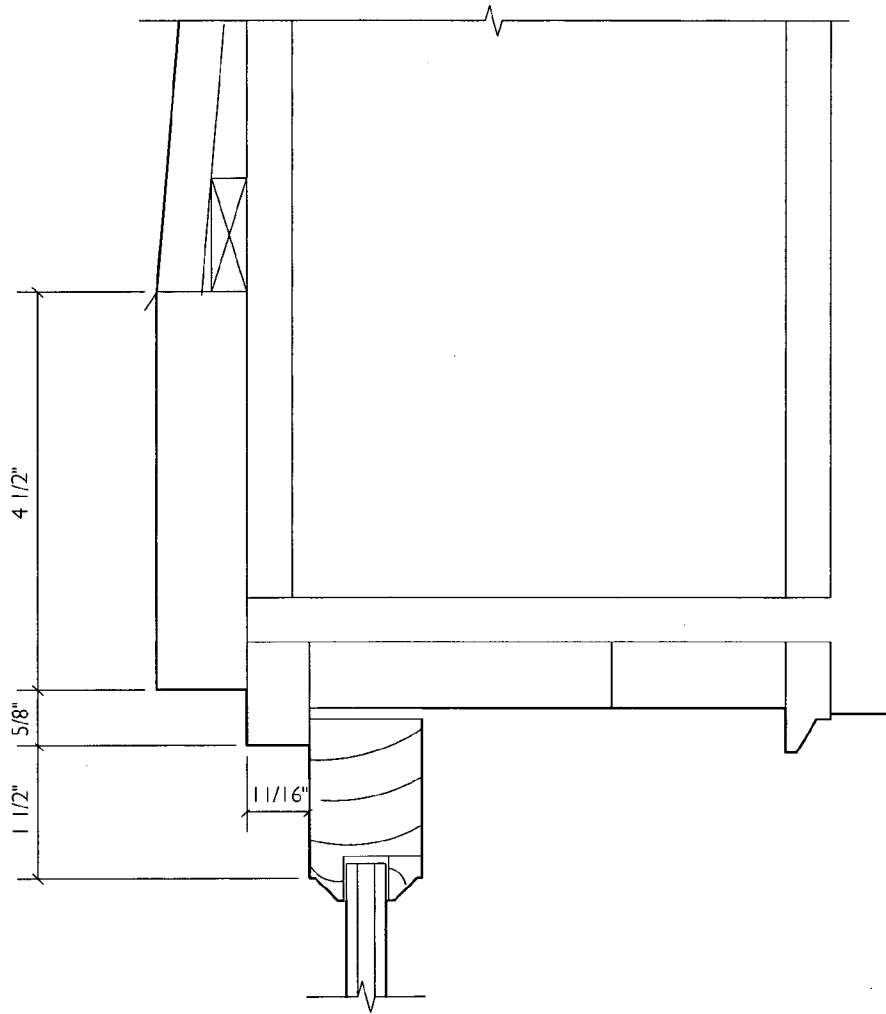


ATT144792.txt

Tania,

I am working on drawings for windows and trim in the addition. I would like to use a Kolbe & Kolbe wood double hung. The glass sizes of the windows match up quite well with the glass sizes on the original house. The sash profile is more simplified than what is found on the original house, but that seem consistent with the simple one over one configuration for the new windows. I have attached a drawing of the profile below. It would be great to get you opinion before we get too far with these details.

Jim Stokoe



PROPOSED WINDOW DETAILS 6"=1'-0"

19219 LIBERTY MILL ROAD 4-29-05

**ARCH ET AL**

3519 CUMMINGS LANE CHEVY CHASE MD. 20815 301-652-2267 FAX 2268

## Tully, Tania

---

**From:** Tully, Tania  
**Sent:** Friday, April 29, 2005 9:12 AM  
**To:** 'Lori Love'  
**Cc:** 'Jinx'; archetal@AOL.com  
**Subject:** RE: Elevations

Hi-  
Tuesday at 2:30 at your house - correct?

My initial thoughts are as follows:

- The roof line of the "connector" should be lower
- Balcony should be smaller - keep proportional to the bank of windows below
- The stairs to the basement on the east side seem a bit grand
- I don't understand the purpose of the new stair enclosure on the south side

I think the changes will be clearer to me after we talk.  
-Tania

-----Original Message-----

**From:** Lori Love [mailto:llove@prizim-inc.com]  
**Sent:** Friday, April 29, 2005 7:43 AM  
**To:** Tully, Tania  
**Cc:** 'Jinx'; archetal@AOL.com  
**Subject:** RE: Elevations

Tania,

It looks like Tuesday at 2:30 works best for both Jim and Jinx. We will see you then.

Lori

---

**From:** Tully, Tania [mailto:Tania.Tully@mncppc-mc.org]  
**Sent:** Thursday, April 28, 2005 5:29 PM  
**To:** Lori Love  
**Cc:** Jinx; archetal@AOL.com  
**Subject:** RE: Elevations

Lori-

Since you are getting the drawings to me, we can be a bit flexible. I know you have the drawings, and this way we have more time before my staff report will be due. Let me know what works for you. If the architect can come that would be best. I'll be in tomorrow until noonish and not back until Monday afternoon.

-Tania

-----Original Message-----

**From:** Lori Love [mailto:llove@prizim-inc.com]  
**Sent:** Thursday, April 28, 2005 5:01 PM  
**To:** Tully, Tania  
**Cc:** 'Jinx'; archetal@AOL.com

## Tully, Tania

---

**From:** Tully, Tania  
**Sent:** Thursday, April 28, 2005 4:51 PM  
**To:** 'Lori Love'  
**Subject:** RE: Elevations

Lori-

I do have some comments and suggestions about the design, but I think it would be easier to discuss face to face rather than via email. The quality of the drawings is sufficient to submit, provided of course, that the additional drawings other information is also included. Be sure to include a complete site plan also, including the new patio and stairs. Let's go ahead and set up a meeting - here or at the house, whichever is more convenient for you.

Next week I'm available at the following days/times:

Tuesday 2:30-4:00  
Wednesday 10:00-4:00  
Thursday 10:00-4:00  
Friday 10:00-12:00

-Tania

-----Original Message-----

**From:** Lori Love [mailto:llove@prizim-inc.com]  
**Sent:** Tuesday, April 26, 2005 2:33 PM  
**To:** Tully, Tania  
**Subject:** Elevations

Please let me know if you have any questions/concerns. We will include the details of moving the shed, the name of the company restoring the windows and any additional information such as what materials will be used for the balcony.

Thanks,

**Lori J. Love**  
PRIZIM Inc.  
7 Park Avenue  
Gaithersburg MD 20877  
301.840.9316 ext.136  
301.840.0139 (fax)

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PROPOSED SOUTH ELEVATION 1/8"=1'-0" 19210 LIBERTY MILL ROAD 4-25-05

**ARCH ET AL**

3519 CUMMINGS LANE CHEVY CHASE MD. 20815 301-652-2267 FAX 2268

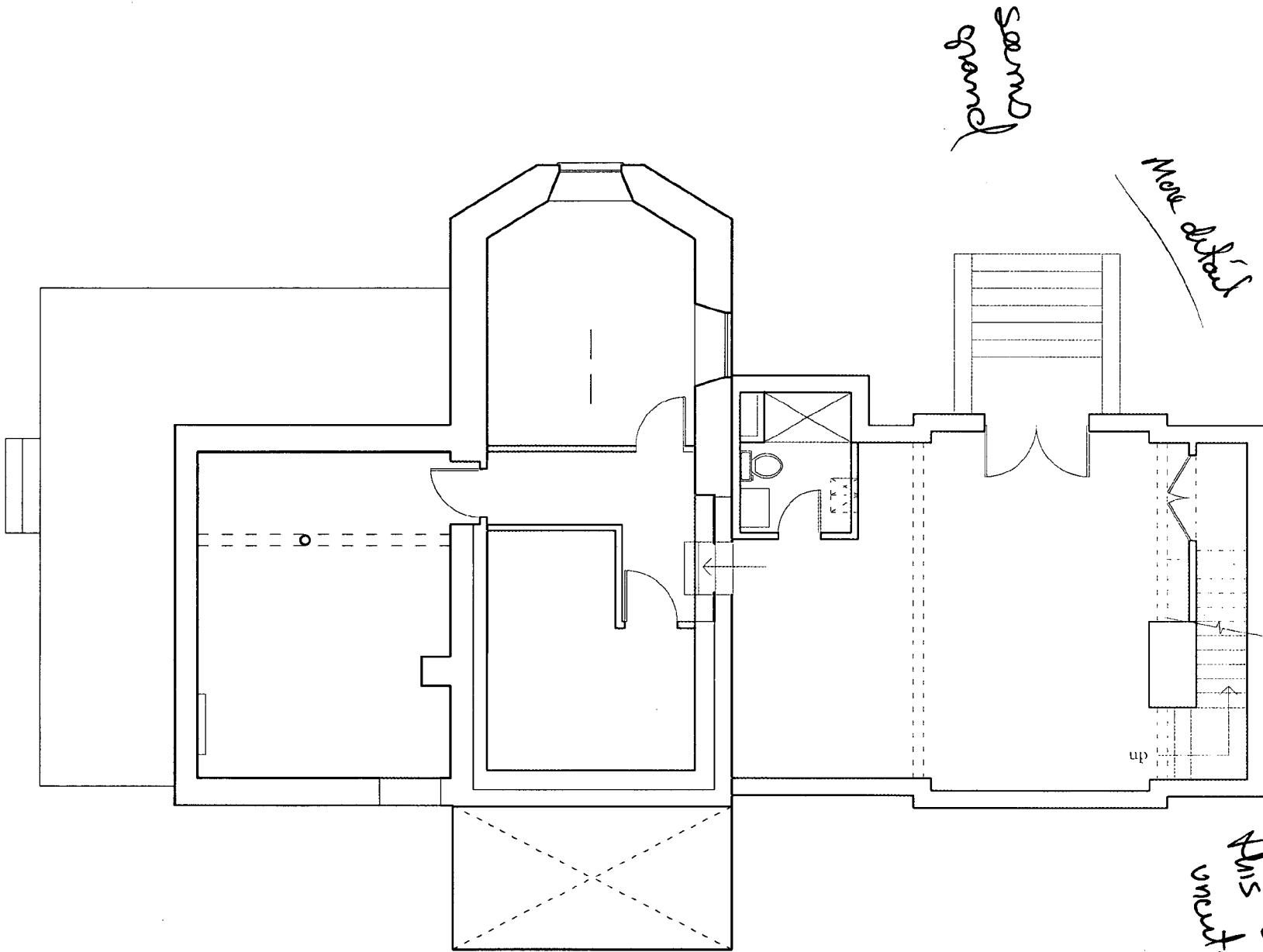


PROPOSED EAST ELEVATION 1/8"=1'-0"

19219 LIBERTY MILL ROAD 4-26-05

**ARCH ET AL**

3519 CUMMINGS LANE CHEVY CHASE MD. 20815 301-652-2267 FAX 2268



*Soundproof*

*More detail*

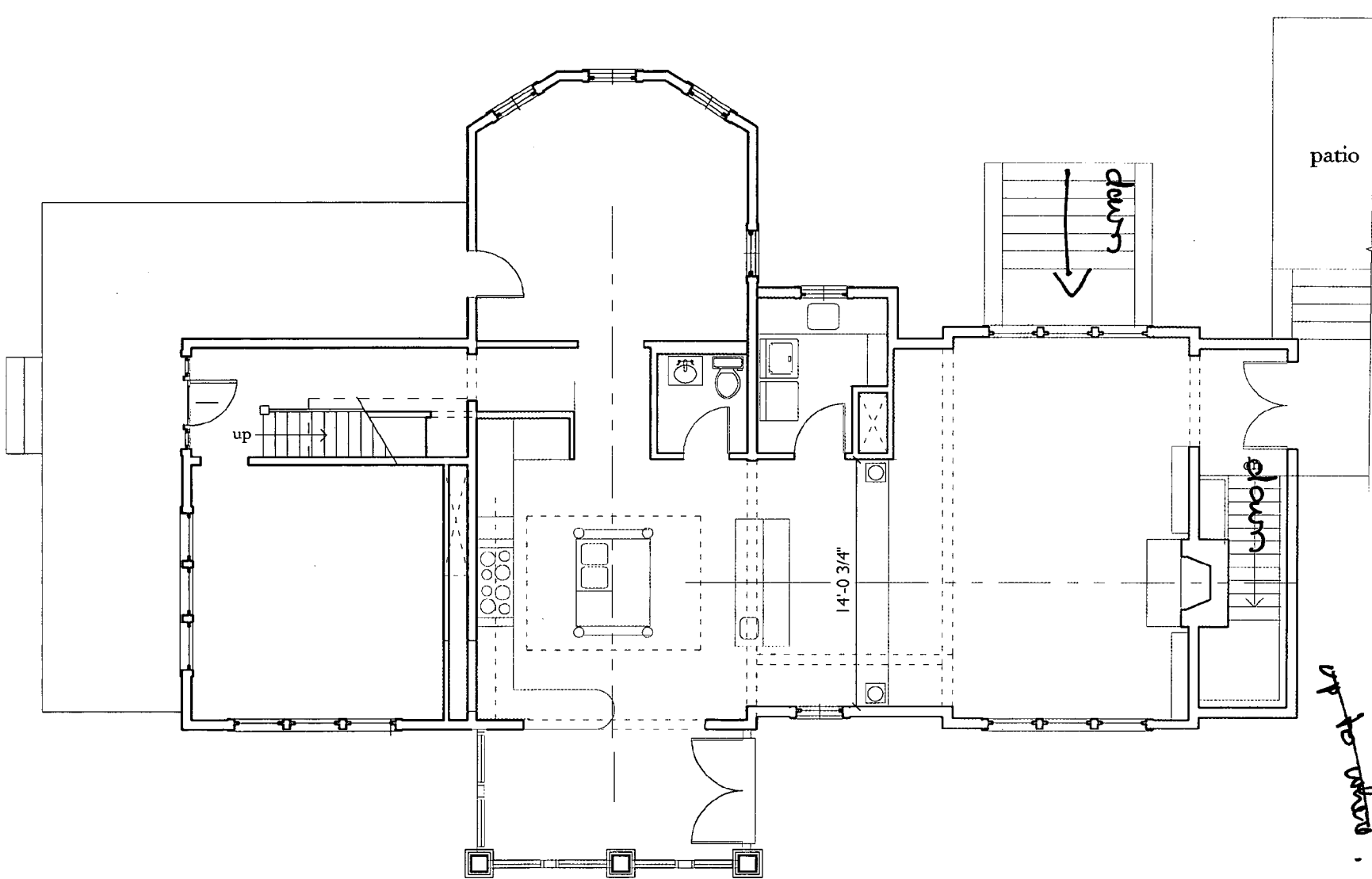
*purpose of sound insulation?*

PROPOSED BASEMENT FLOOR PLAN 1/8"=1'-0"

19219 LIBERTY MILL ROAD 4-26-05

**ARCH ET AL**

3519 CUMMINGS LANE CHEVY CHASE MD. 20815 301-652-2267 FAX 2268



*2 steps at top*

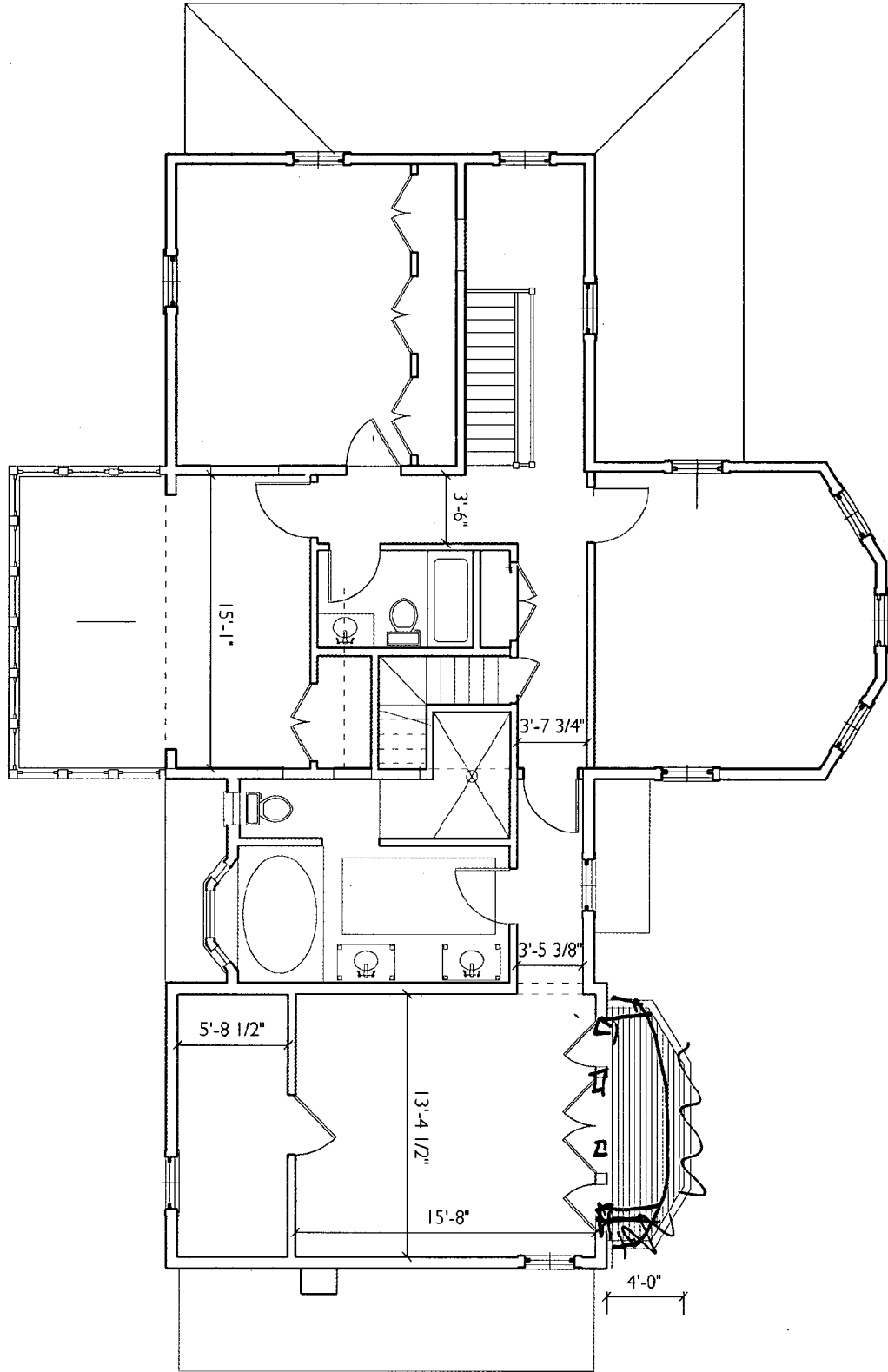
PROPOSED FIRST FLOOR PLAN 1/8"=1'-0"

19219 LIBERTY MILL ROAD 4-26-05

**ARCH ET AL**

3519 CUMMINGS LANE CHEVY CHASE MD. 20815 301-652-2267 FAX 2268





PROPOSED SECOND FLOOR PLAN 1/8"=1'-0"

19219 LIBERTY MILL ROAD 4-26-05

**ARCH ET AL**

3519 CUMMINGS LANE CHEVY CHASE MD. 20815 301-652-2267 FAX 2268



PROPOSED WEST ELEVATION 1/8"=1'-0"

19219 LIBERTY MILL ROAD 4-26-05

**ARCH ET AL**

3519 CUMMINGS LANE CHEVY CHASE MD. 20815 301-652-2267 FAX 2268

**Tully, Tania**

---

**From:** Lori Love [llove@prizim-inc.com]  
**Sent:** Tuesday, April 26, 2005 2:33 PM  
**To:** Tully, Tania  
**Subject:** Elevations

Please let me know if you have any questions/concerns. We will include the details of moving the shed, the name of the company restoring the windows and any additional information such as what materials will be used for the balcony.

Thanks,

**Lori J. Love**  
*PRIZIM Inc.*  
*7 Park Avenue*  
*Gaithersburg MD 20877*  
*301.840.9316 ext.136*  
*301.840.0139 (fax)*

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4/26/2005

11A  
HE

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	19219 Liberty Mill Road, Germantown	<b>Meeting Date:</b>	03/23/05
<b>Applicant:</b>	Richard Jenkins and Lori Love	<b>Report Date:</b>	03/15/05
<b>Resource:</b>	<i>Master Plan</i> Site #19/13-6 Upton Bowman House	<b>Public Notice:</b>	03/02/05
<b>Review:</b>	Preliminary	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	N/A	<b>Staff:</b>	Tania Tully
<b>PROPOSAL:</b>	Rear addition, garage construction and porch reconstruction	<b>RECOMMENDATION:</b>	Proceed to HAWP

**STAFF RECOMMENDATION:**

Staff is generally supportive of the proposal. However, there are a number of suggestions – as listed below – that should be incorporated into any final HAWP application.

- The addition is compatible with the character of the historic house – particularly in terms of size and massing. However, staff would suggest that the architectural detailing of the house be more cohesive. The fenestration pattern is a bit too random.
- Staff recommends that the HPC support the move of the historic shed in conjunction with creating a greater separation of the garage from the house. The proposed location has the potential to appear as an attached garage.

**PROPERTY DESCRIPTION**

SIGNIFICANCE: Master Plan Site #19/13-6 Upton Bowman House  
 STYLE: Victorian  
 DATE: c. 1901

Constructed circa 1901 for Upton and Julia Bowman, this 2-½-story stucco covered frame house sits on approximately 1 acre of relatively flat land. It is contemporary, though different stylistically, with the house built by Upton's brother Charles at 19209 Liberty Mill Road. The Upton Bowman house has a cross-gable form, multiple window types and a modified, heavily deteriorated wrap-around front porch. The front gable has cornice returns and the east-side gable is a two-story clipped bay with a closed pediment, though both have decorative ornaments. The roof is sheathed with standing seam metal except for the two-story enclosed porch addition on the west elevation. The rear of the house is relatively devoid of ornamentation. Also on the site are two concrete block outbuildings and a frame historic shed.

*Slide four around blog.  
Thank applicant*

## **PROPOSAL:**

The proposal consists of three main elements – restoration of the historic house, new construction, and demolition and relocation of outbuildings.

### **Historic House** (Circles 6, 12)

- Remove stucco and restore original wood siding
- Rebuild the damaged front porch
- Replace and/or add historically appropriate details to front porch. (Circles 17, 18)
- Enclose area under front porch with brick
- Rehabilitate and/or replace windows
- Replace jalousie windows in enclosed porch addition with double-hung windows and a door.
- Remove shutters

### **New Construction** (Circles 13-15)

- Construct two-story rear addition with materials matching the existing house
  - Cedar shiplap siding
  - Wood windows
  - Wood doors
  - Brick chimney
  - Standing seam metal roof
- Construct three car detached garage (Circle 25)

### **Outbuildings/Site Work** (Circles 7, 10)

- Remove non-historic outbuilding
- Relocate historic outbuilding to rear of property and restore for use as a shed
- Redesign driveway and repave with stamped concrete or stone
- Add brick walks
- Remove trees jeopardizing the east foundation
- Plant Cypress trees along eastern property line

Lot Area: 41,382 sq ft (.95 acres)

Approximate Current Lot Coverage: 3.5% (1,450 sq ft)

Approximate Proposed Lot Coverage: 5.2% (2,169 sq ft)

an increase of 719 sq ft – 437 to the house, 282 to the garage

## **APPLICABLE GUIDELINES:**

### ***Montgomery County Code; Chapter 24A***

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

*Secretary of the Interior's Standards for Rehabilitation:*

- #1 A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
- #6 Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The applicants purchased the property in December 2004 from the Lamberts who had owned it since the 1960s. Staff has met with the applicants several times since then to discuss their plans and recommended that they begin with a Preliminary Consultation. Despite unexpected family circumstances, and the desire to move quickly, they agreed.

Of all of the items proposed in this application, staff sees two major items of discussion – the rear addition and the garage.

Rear Addition

Staff believes that the proposed addition is a good beginning and with a few minor modifications could be approvable. The applicants have responded to staff comments to arrive at the design presented in the report. Elements that meet the *Standards* include the scale of the addition – it is lower than the historic house, it is placed at the rear of the property, it is somewhat indented from the historic house, and the windows have different muntin patterns. Staff is somewhat concerned with the 1-story bump out on the east elevation because of its encroachment on the adjacent historic window. The addition as a whole is compatible with the architecture of the historic house, nevertheless more thought regarding the details is warranted.

Items to note include the largely blank end wall, the ocular window on the west elevation and the blank 2<sup>nd</sup> story west elevation. Staff understands that the lack of windows reflects the internal configuration of the addition, but it makes for an uneasy relationship with the historic house. For the HAWP application, staff would like to see the foundation treatment clarified; window specifications, and a sample trim detail drawing.

New Garage

The applicants are proposing a 34' x 22' 3-bay garage. Staff is not in opposition to the proposed garage in concept as it essentially takes the place of the concrete block outbuilding and it is not oversized for a three-bay garage. Additionally, the property is quite large and can absorb a structure of this size. The proposed design is reflective of an outbuilding and tries to break up the massing with a cross gable. The addition of

windows on the side elevation would help bring down the apparent scale of the garage. Staff points out that the lack of windows on the south side of the addition and north side of the garage is due in part to the close placement of the garage to the house. While there are certainly practical reasons for this – it is the location of the existing concrete outbuilding and it minimizes the distance to the house – it creates a dark alley (about 6' x 20') with potential safety and maintenance issues.

Staff encourages the Commission to recommend moving the garage farther from the house. This would allow for the creation of a more pleasant space between the buildings, visually separate the garage from the house, and decrease potential construction impacts on the adjacent tree.

#### Outbuildings/Site Work

The outbuilding proposed for removal is a non-historic concrete block structure and staff recommends approval of its removal. Although moving the frame outbuilding is certainly not ideal, staff is not in opposition to the proposal. However, we would encourage the applicants to place it closer to the house than proposed in order to better maintain its historic association. Additionally, it should be placed on an appropriate foundation, stabilized, and repaired as part of the HAWP application. More detailed plans regarding its move should be provided to and approved by staff. Additionally, more details on the site plan will be needed for the HAWP application.

#### Historic House

Staff is very supportive of the applicants' desire to rehabilitate the exterior of the historic house. Our main comments regard the use of experienced contractors and craftsmen. We recommend that they hire a contractor with experience working on historic buildings to ensure that the stucco is removed without damaging the siding, that the windows are rehabilitated properly, and to ensure receiving accurate advice regarding wood siding restoration and potential window replacement. Any approved replacements would need to be wood, true-divided light windows matching the existing in size, window type, light configuration, and muntin profile. Regarding replacement of the non-historic jalousie windows staff has no concerns, but we recommend the entire height of the porch opening be filled with glass in order to make the enclosed porch more transparent and appear as much like an open porch as possible. Staff also supports the reconstruction of the front porch. Our only question regards the need to enclose the space under the porch with brick. We would recommend the use of a lattice or other more open design.

#### **STAFF RECOMMENDATION:**

Overall, staff feels that this is a good project and should proceed to a Historic Area Work Permit. However, there are a number of suggestions – as listed on Circle 1 – that should be incorporated into any final HAWP application.

**a.**

The home was built by Upton Bowman, co-founder of the Bowman Brothers' Mill, in 1901. It is a two story structure with decorative gable boards and a projecting bay on the east side. It is believed to have been built with wood siding that was later covered with stucco. It sits on an approximately one-acre lot with a wooden outbuilding believed to be contemporary with the house, plus a set of concrete block out buildings added later.

**b.**

The project will restore the original wood siding, rebuild the water-damaged front porch in a style consistent with the original, rehabilitate the original windows, add an addition to the rear to expand the living space, and modernize the kitchen, plumbing, and electrical system of the home to improve its habitability and extend its useful life. The wooden outbuilding will be moved to the rear of the property and the concrete outbuilding will be replaced by a garage. Trees threatening the foundation will be removed, and a stand of Leland cypress will be planted along the eastern boundary.



## **Restoration of Historic house**

1. Remove stucco restore original wood siding where possible
2. Rebuild front porch that is severely water damaged and collapsing
3. Remove wrought iron columns and replace with columns matching existing
4. Restore roof brackets to porch columns, consistent with eave brackets
5. Build rail on porch with balusters matching columns
6. Repair existing windows where possible. Replace if necessary
7. Replace jalousie windows on side porch and replace with double hung windows
8. Removing side door on side porch; replacing rear door with double door
9. Enclose area under porch with brick matching existing brick piers
10. Remove shutters, not original to house.

## **Exterior of Addition**

1. Siding: Shiplap cedar siding
2. Windows to be wood double hung except attic. Attic windows wood casement
3. Doors :Wood
4. Fireplace: Brick
5. Roof: Metal standing seam

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD

Material and finish notes



## Site Work

1. Drive way: Stamped Concrete, stone pattern or exposed aggregate concrete
2. Realign driveway within property line; currently over western boundary
3. Walks: brick
4. Relocate wood outbuilding to rear of property
5. Demolish concrete block outbuildings and replace with 3-car garage
6. Remove four trees along west side of house that are threatening the foundation
7. Plant Leland Cypress along eastern property line

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD



## Tully, Tania

---

**From:** Jinx [richard.jenkins@gmail.com]  
**Sent:** Monday, March 14, 2005 1:07 PM  
**To:** Tully, Tania  
**Cc:** Lori Love  
**Subject:** Re: Clarification

Tania,

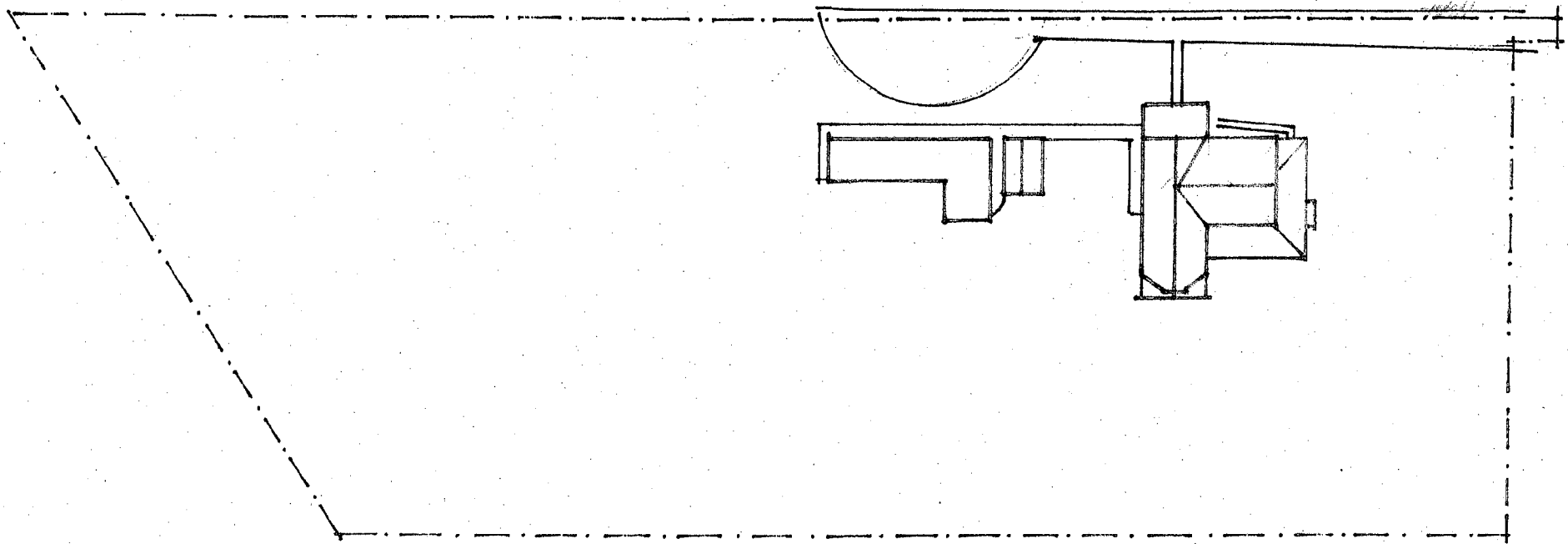
Thanks for the opportunity to address the issue. As I stated, we had already identified the location indicated as a desired location for an outbuilding prior to learning that the existing wooden building needed to be preserved. We chose the location on the basis of both aesthetics and anticipated usage.

Our intent was to use the building for storing lawn and garden supplies and tools. Based on previous experience with a small garage in our townhouse, we didn't want to store such materials in our garage. This essentially turns the garage into a storage shed with some space for parking a car. Given that use for the building, we felt that having it located closer to the rear of the property, where the largest open grass area will sit, would better suited our needs.

For aesthetic purposes, we thought it better to move the historic shed away from the new addition and the garage. If you picture it directly behind where the proposed garage would sit, it presents two issues. First, it would simply be clumped in with the existing buildings. This would marginalize it visually. It would be practically invisible from off the property. The second issue relates to the open space. Having the historic shed located behind the garage leaves an open space that is rather rhomboid in shape. Locating it in the rear corner significantly squares up that space. Furthermore, the rear corner location leaves the historic shed visually distinct from the new constructions, puts it in view down the property driveway, and would additionally make it visible from Mateny Hill Road across the abutting property to the rear.

I hope this clears up our intentions for the location of the historic shed.

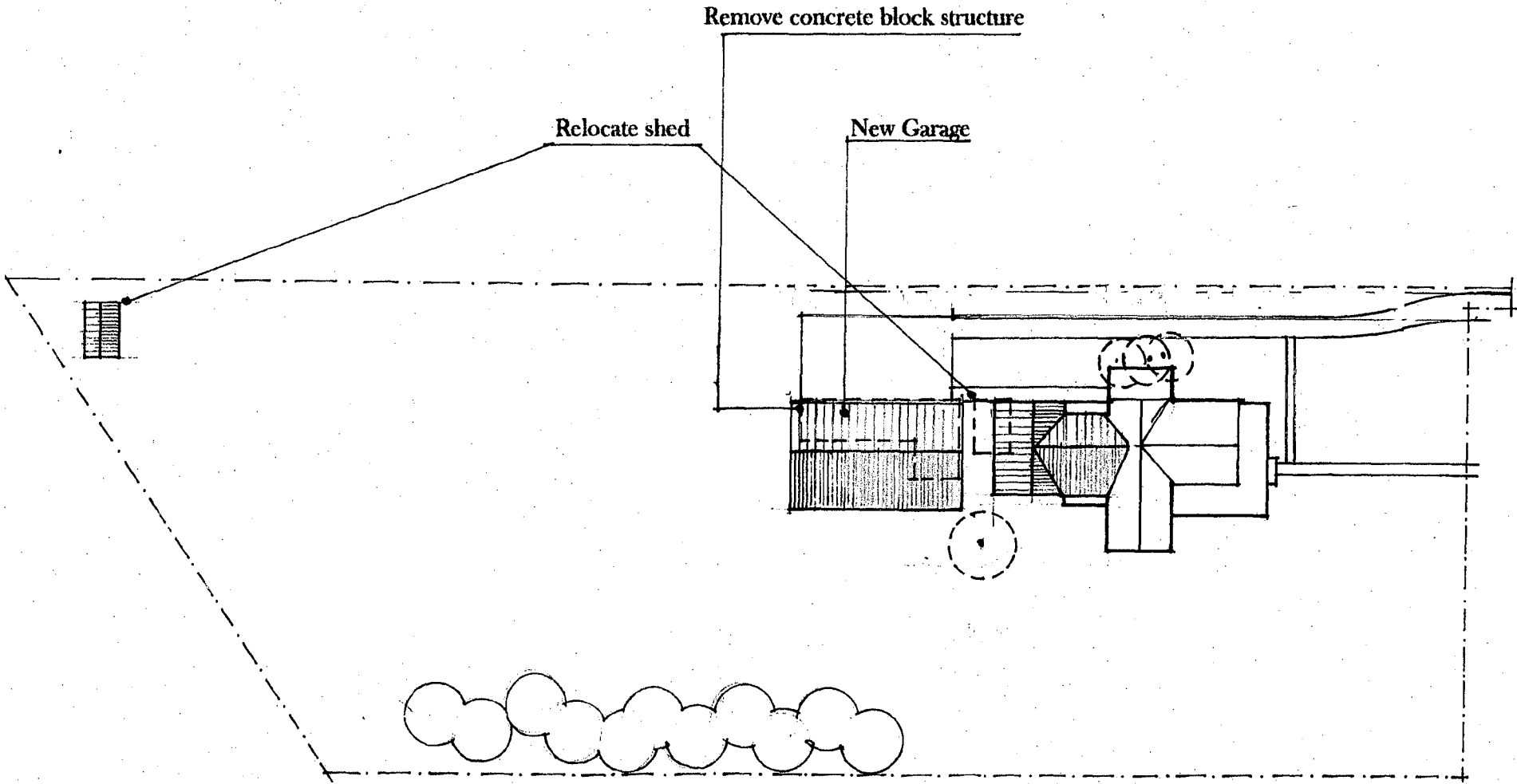
Richard Jenkins



Existing Site Plan

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD





Remove concrete block structure

Relocate shed

New Garage



Site Plan

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD



10



Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction  
 Existing North Elevation Scale 1"=4'-0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/4/09



Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

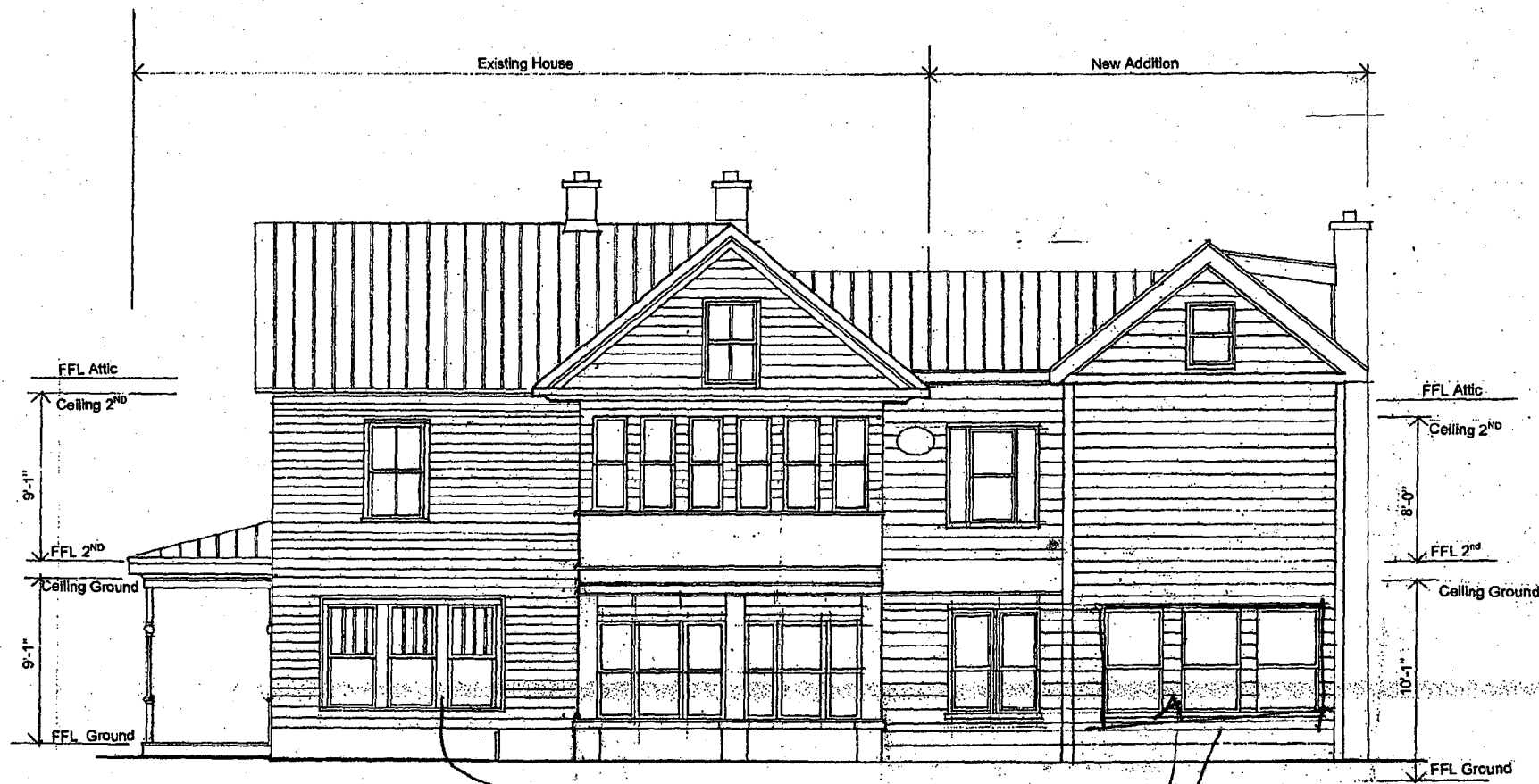
North Elevation.

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



2

3/14/05



Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

*make a bank  
 surround by trim  
 Match proportions*

West Elevation

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



13

3/14/05





Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

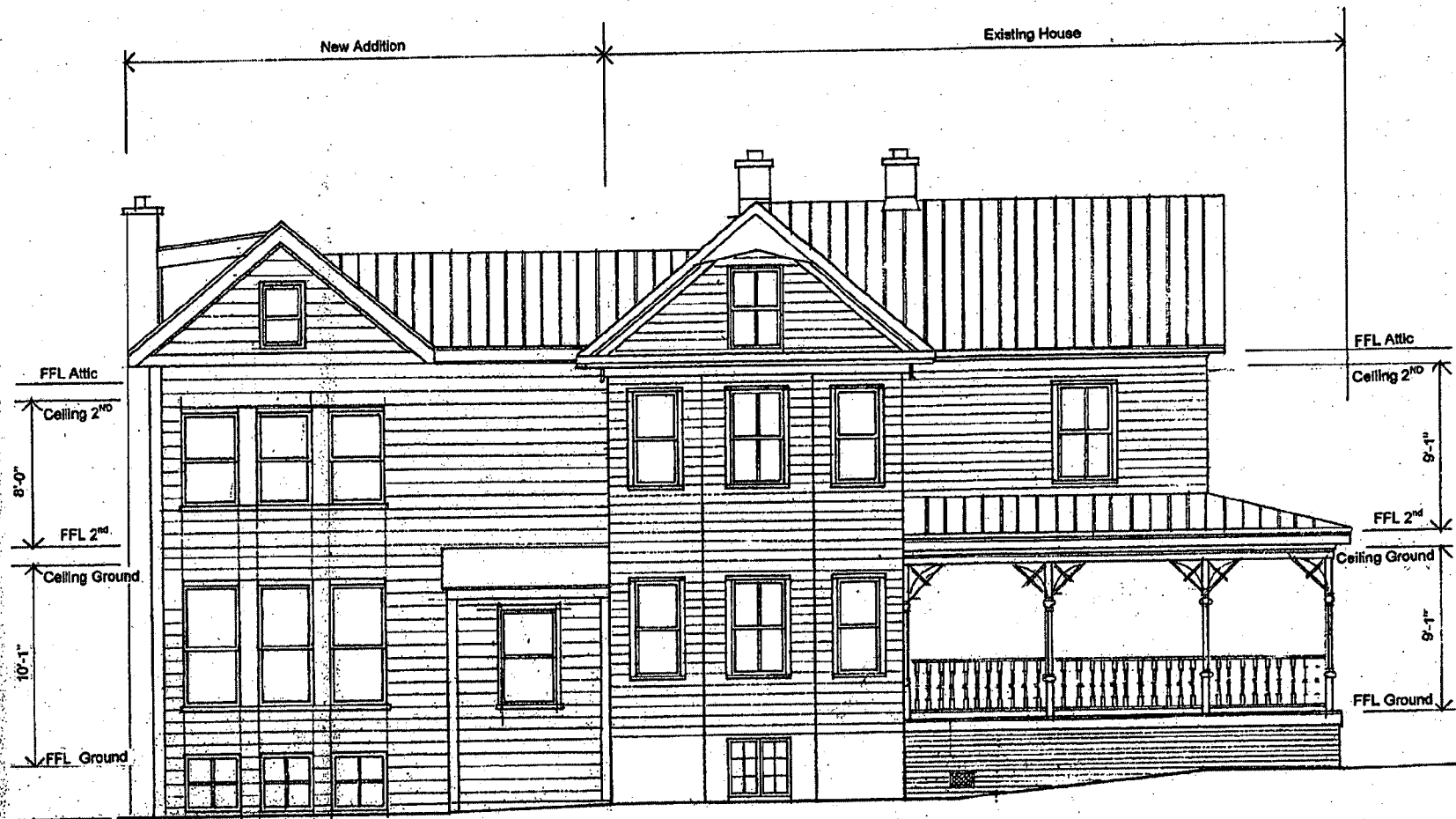
South Elevation

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



(14)

3/19/03



Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

East Elevation

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



15

3/14/05



Looking North (rear of house)



Looking South (front of house)



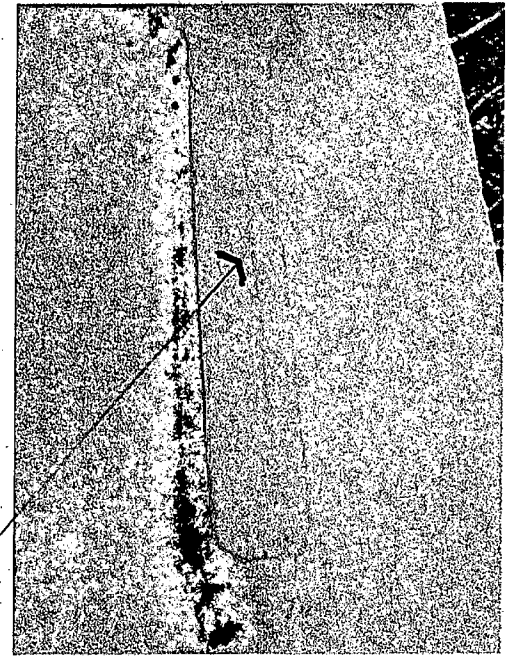
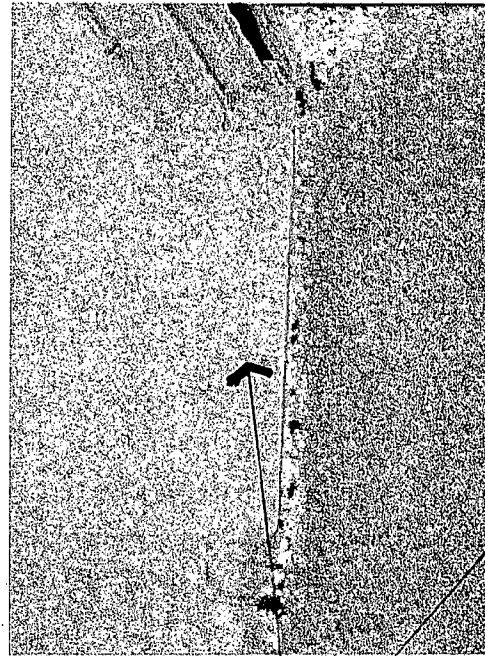
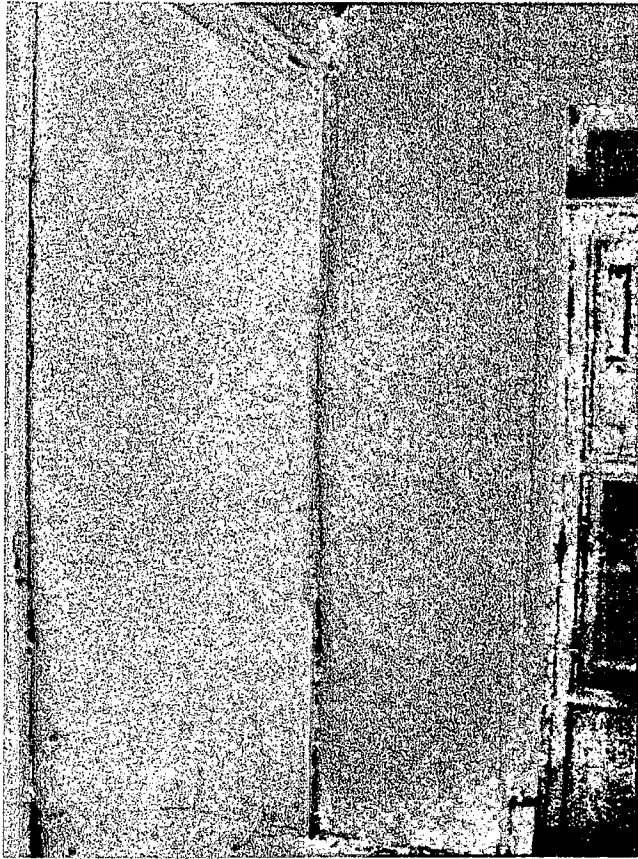
Looking west (temple side)



Looking East

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD

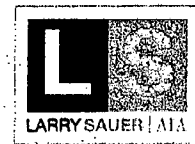




Indication of a top bracket attached to original column  
along perimeter of porch

Existing porch column

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD



(17)



~~Recommended porch style~~

Similar house in Germantown

Example

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD





View looking East

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD

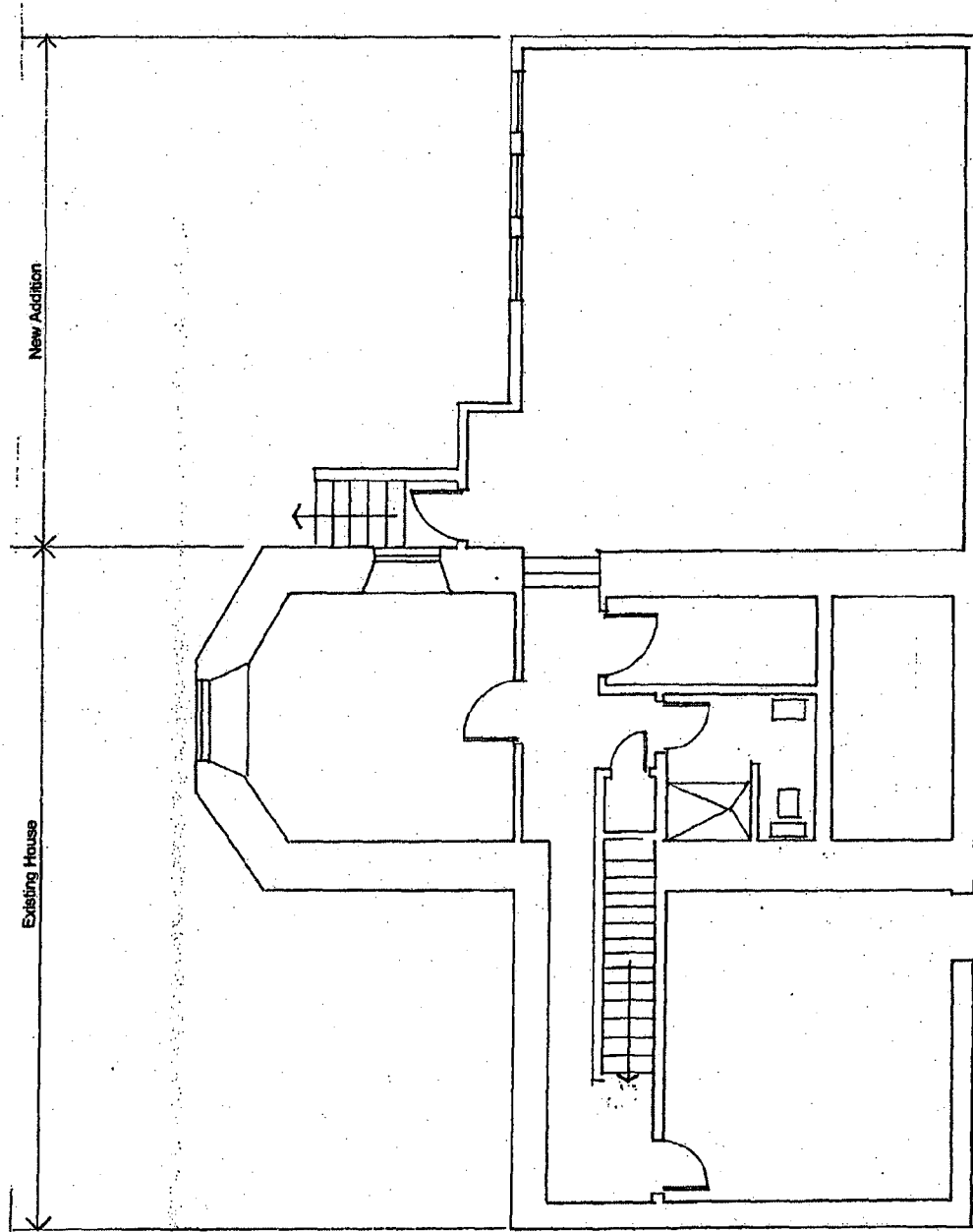




View looking West

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD





Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

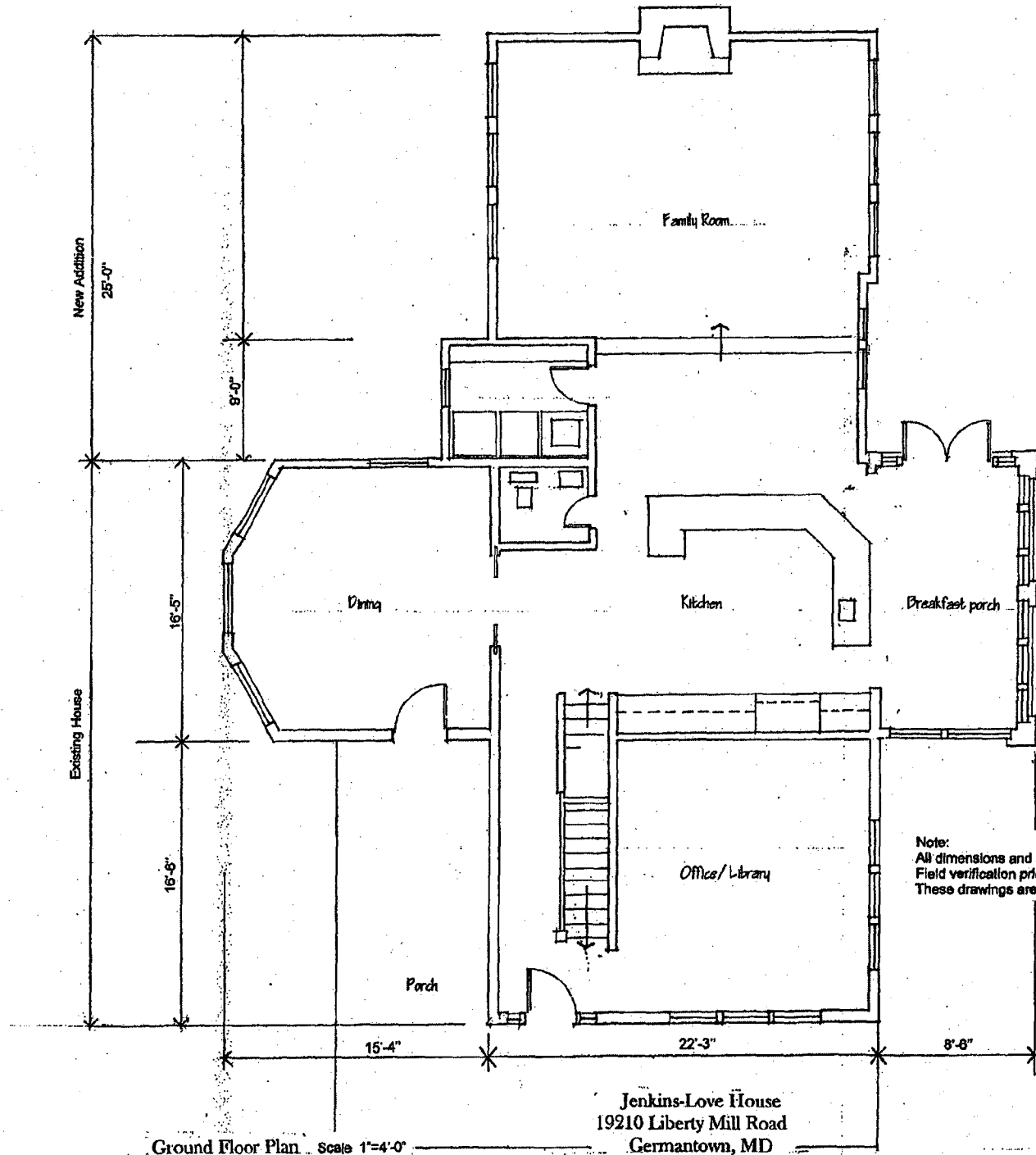
Basement Plan; Scale 1"=4'-0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/05





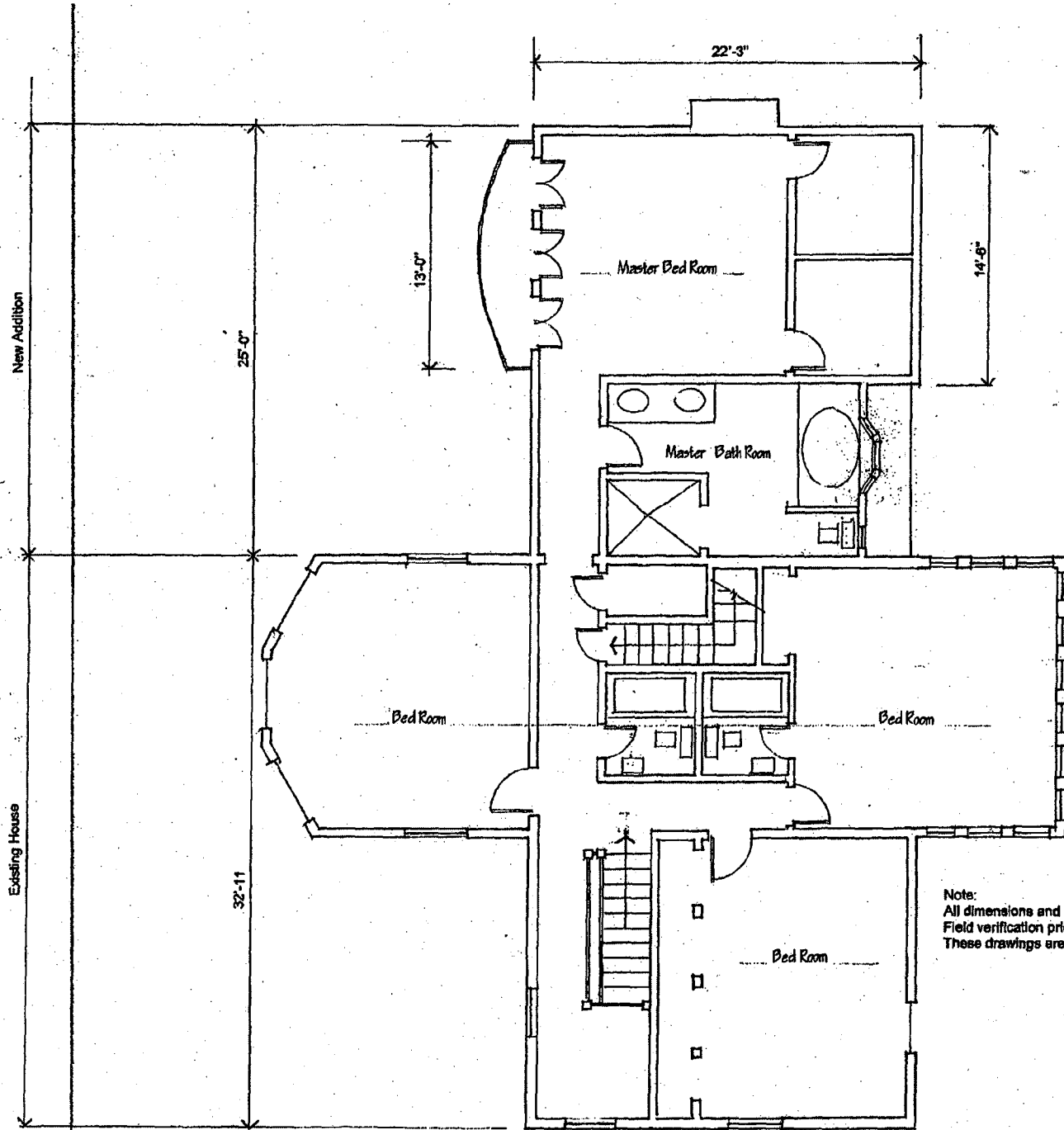
Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

Ground Floor Plan Scale 1"=4'-0"  
 Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



22

3/14/05



Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

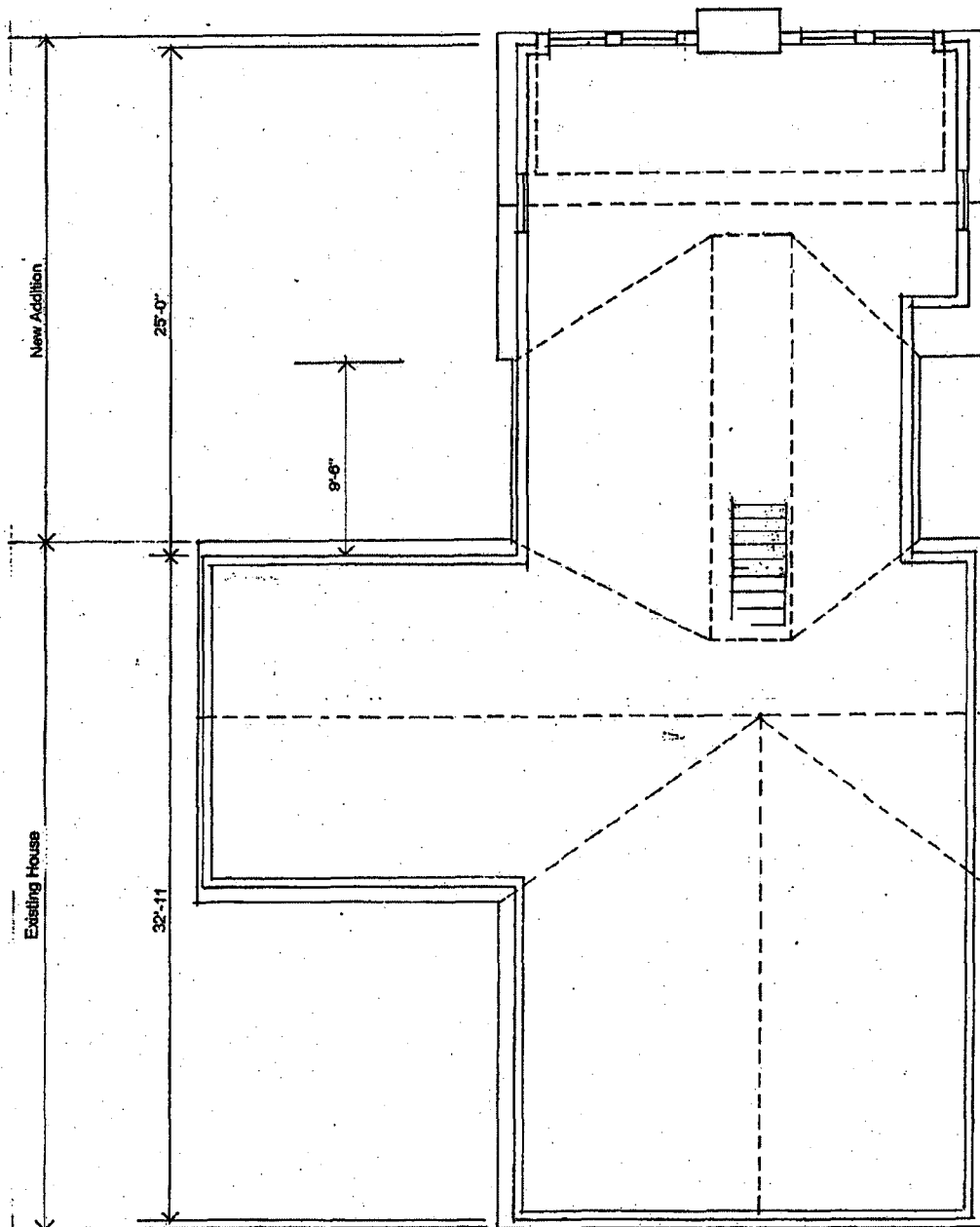
Second Floor Plan Scale 1"=4'-0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/01

23



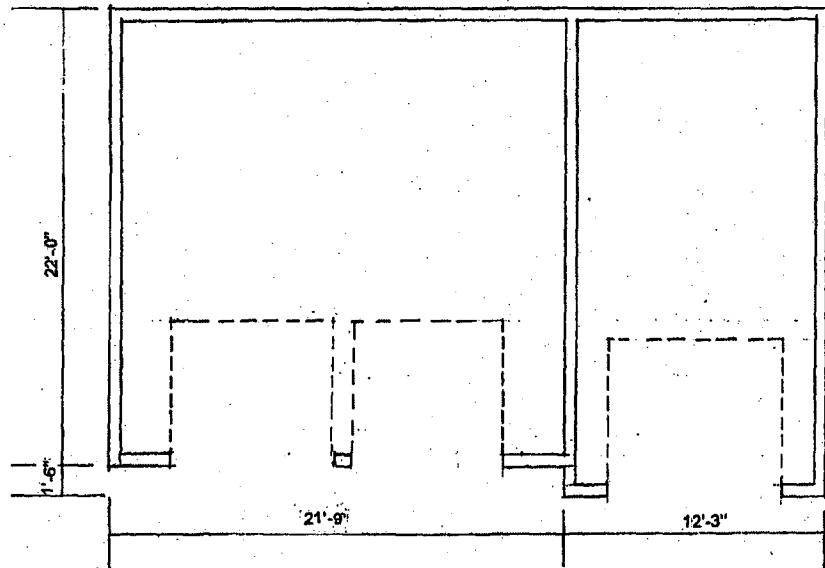
Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

Attic Plan Scale 1"=4'-0"

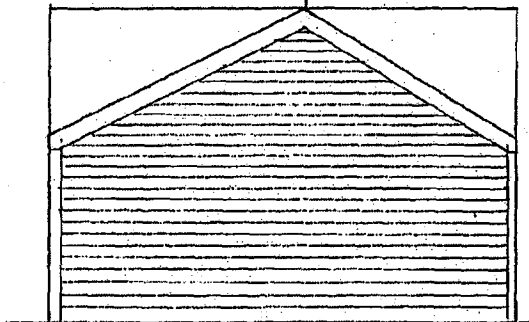
Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/05



Plan



Elevation



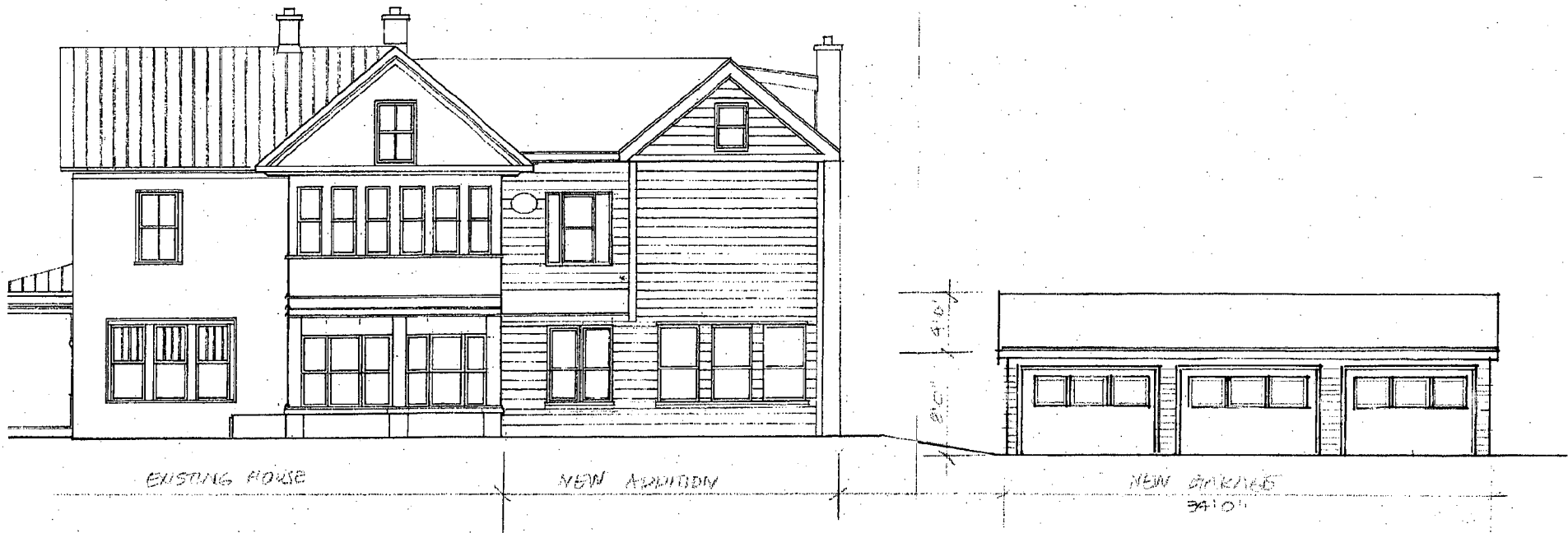
Elevation

Garage

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/05



EXISTING HOUSE

NEW ADDITION

NEW GARAGE DESIGN  
34'0"

West Elevation

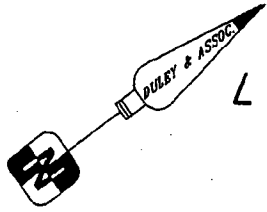
Jenkins-Love House  
19210 Liberty Mill Road  
Germantown, MD



OLD GARAGE DESIGN

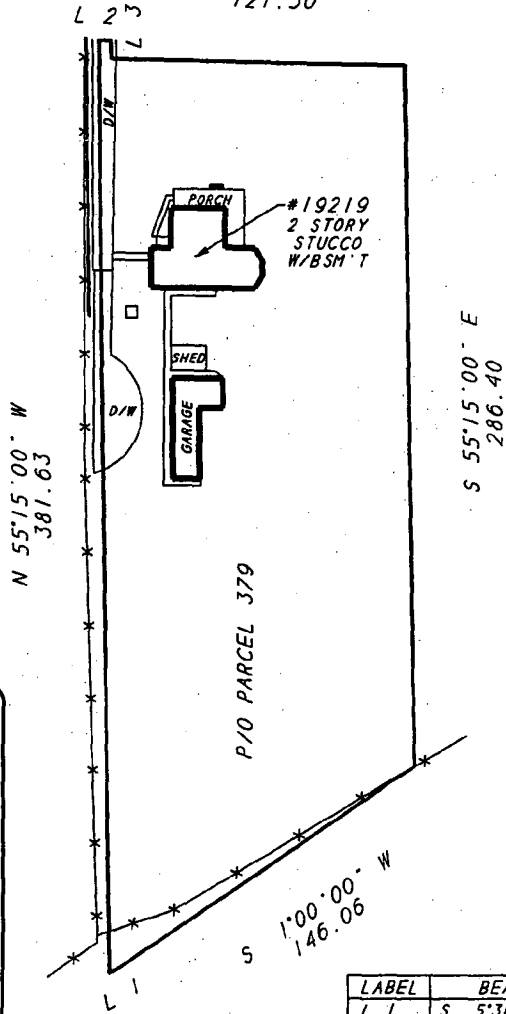
26





# LIBERTY MILL ROAD

N 36°30'00" E  
121.50



**NOTE:**  
THE RECORD PLAT AND/OR DEED WAS FOUND TO BE ONE OR MORE OF THE FOLLOWING:  
1. MATHEMATICALLY INCORRECT  
2. ILLEGIBLE  
3. INCOMPLETE  
4. NOT FOUND AT ALL  
5. DOES NOT AGREE WITH EXISTING FIELD MONUMENTATION  
6. DOES NOT AGREE WITH TAX ASSESSMENT RECORDS  
7. DOES NOT AGREE WITH THE APPARENT LINES OF POSSESSION  
8. DOES NOT AGREE WITH PRIOR SURVEYS  
INFORMATION SHOWN HEREON IS A COMBINED INTERPRETATION OF SOME OR ALL OF THE ABOVE.  
A BOUNDARY SURVEY IS RECOMMENDED TO DETERMINE THE EXACT LOCATION OF BOUNDARY LINES & IMPROVEMENTS.  
\* ENCROACHMENTS MAY EXIST - PLEASE SIGN.

LABEL	BEARING	DISTANCE
L 1	S 1°00'00" W	146.06
L 2	N 36°30'00" E	121.50
L 3	S 55°15'00" E	286.40

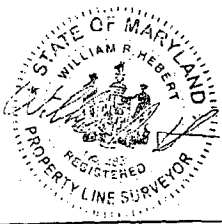
**LOCATION DRAWING OF:**  
#19219 LIBERTY MILL ROAD  
PART OF PARCEL 379  
N/F PROPERTY OF  
**EVEELYN C. LAMBERT**  
LIBER 13781 FOLIO 39  
MONTGOMERY COUNTY, MD  
SCALE: 1"=60' DATE: 11-9-04

A LAND SURVEYING COMPANY

**DULEY AND ASSOCIATES, INC.**  
SERVING D.C. & M.D.  
14604 ELM STREET  
UPPER MARLBORO, MD 20772

CASE # MSB1744-04  
LAMBERT  
FILE # 048039-370  
DRAWN BY: B.G.

PHONE: 301-888-1111 FAX: 301-888-1114  
PHONE: 1-888-88-DULEY FAX: 1-888-55-DULEY



**SURVEYOR'S CERTIFICATE**  
I HEREBY STATE THAT THE EXISTING VISIBLE IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY ACCEPTED METHODS AND THAT THE IMPROVEMENTS APPEAR TO LIE WITHIN FLOOD ZONE C. A FLOOD CERTIFICATION IS RECOMMENDED TO DETERMINE THE EXACT FLOOD ELEVATION AND FLOOD ZONE. THIS SURVEY IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF ANY FENCE, BUILDING, OR OTHER IMPROVEMENTS. THIS PLAT DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING. THIS PLAT IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING. THE LEVEL OF ACCURACY FOR THIS DRAWING IS 5'. NO TITLE REPORT WAS FURNISHED TO NOR DONE BY THIS COMPANY. SAID PROPERTY SUBJECT TO ALL NOTES, RESTRICTIONS AND EASEMENTS OF RECORD. BUILDING RESTRICTION LINES AND EASEMENTS MAY NOT BE SHOWN ON THIS SURVEY. IMPROVEMENTS WHICH IN THE SURVEYORS OPINION APPEAR TO BE IN A STATE OF DISREPAIR OR MAY BE CONSIDERED 'TEMPORARY' MAY NOT BE SHOWN.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
19219 Liberty Mill Rd Germantown, MD 20874  Richard Jenkins and Lori Love	N/A
<b>Adjacent and confronting Property Owners mailing addresses</b>	
19215 Liberty Mill Rd owned by Bert Odell 19115 Liberty Mill Rd Germantown, MD 20874	U.S. Zen Institute 19225 Liberty Mill Rd Germantown, MD 20874
19216 Liberty Mill Rd Owned by: Arjan and Taruni Balchandani at above Germantown, MD 20874	19220 Liberty Mill Rd. Owned by Todd Compton at above Germantown, MD 20874



**Tully, Tania**

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**From:** Lori Love [llove@prizim-inc.com]  
**Sent:** Tuesday, April 26, 2005 1:51 PM  
**To:** Tully, Tania  
**Subject:** Revised drawings

These don't include the garage but as soon as he has completed, I will send that as well. Also, I am going to send these in two emails (staggered) in hopes of not overwhelming your email.

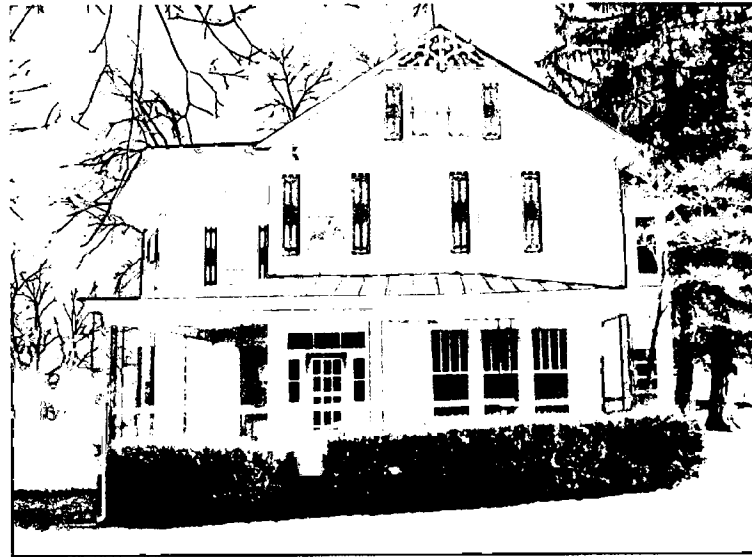
Thanks,

**Lori J. Love**  
*PRIZIM Inc.*  
*7 Park Avenue*  
*Gaithersburg MD 20877*  
*301.840.9316 ext.136*  
*301.840.0139 (fax)*

The information contained in this communication, including any attachments, is strictly confidential and is intended only for the named recipient(s). If the reader of this message is not the intended recipient(s) or received this communication in error, you are hereby notified that any use, distribution, or copying of this communication, and/or any action taken or not taken in reliance upon it is prohibited by law. If you are not the named recipient(s) of this communication, please contact the sender and delete this communication.



Looking North (rear of house)



Looking South (front of house)



Looking west (temple side)



Looking East

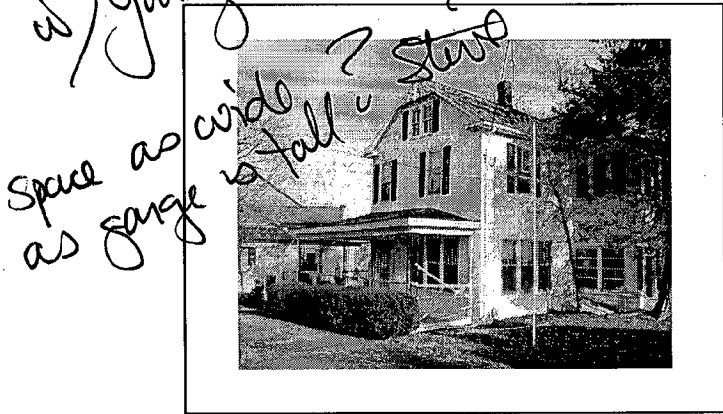
Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD



**Upton Bowman House**

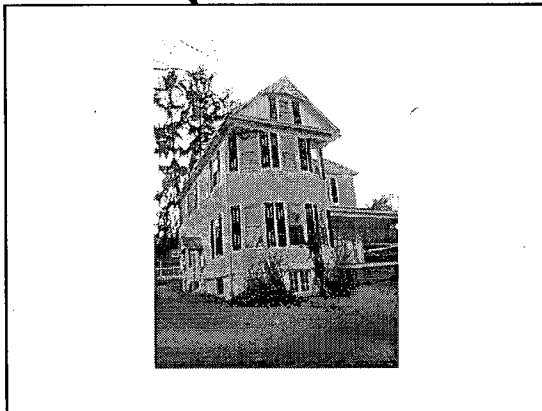
Master Plan Site #19/13-6  
19219 Liberty Mill Road,  
Germantown

bring  
house section  
w/ garage & space drawing



space as wide  
as garage is tall

Quality craftsmanship &  
artisan contractor



Jeff - glad it is not a large addition  
- good size of garage  
- missing works  
- details need work

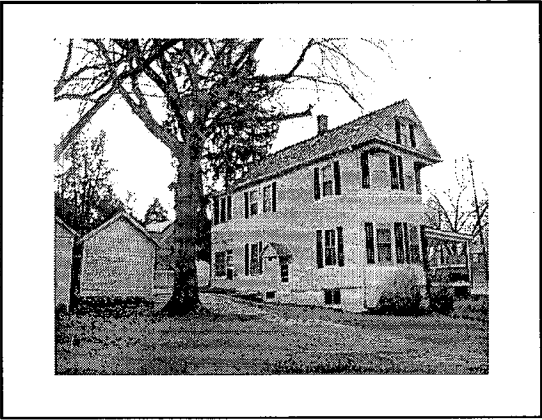
6' too tight (10-15)  
break up garage  
shed - ambient

Lynne - garage for pulled back  
- concern w/ blank rear wall

Steve - work in process <sup>inconsistent</sup> - or problem  
massing & scale ok  
be careful w/ window placement  
keep mindful of blank walls

Kim - right track on addition  
garage size & location  
clustering tendency  
large mass taken away partly  
maybe 2 car & 1 car garage  
- move it further from house  
sm blob close, larger further  
- properties of windows important

Caroline - same as Kim  
- move garage a b  
- shed - ~~use~~ should  
still have relationship  
w/ house.  
- windows - simplification  
- use as guide  
inspired by historic house



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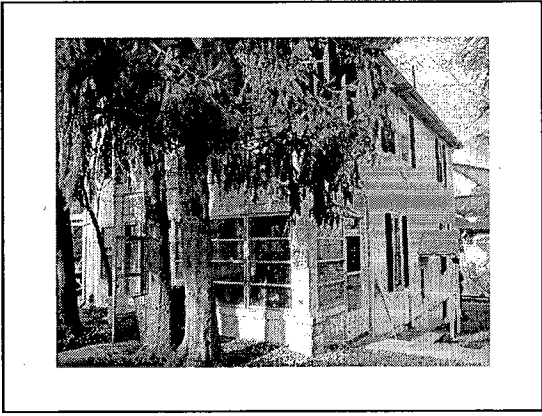
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Rear Addition

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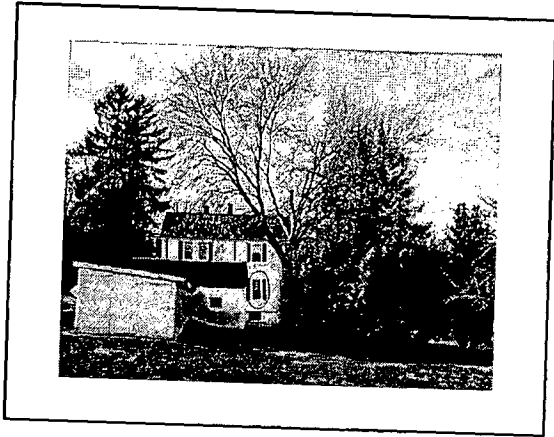
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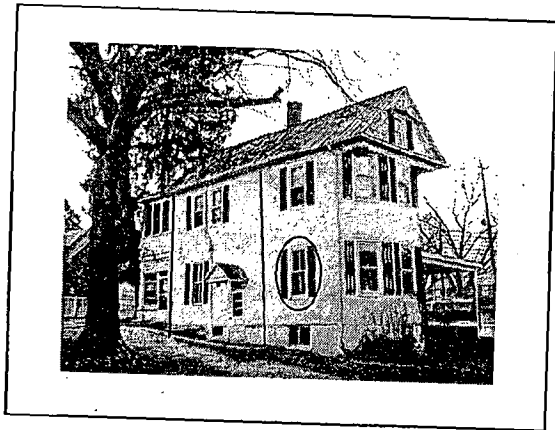
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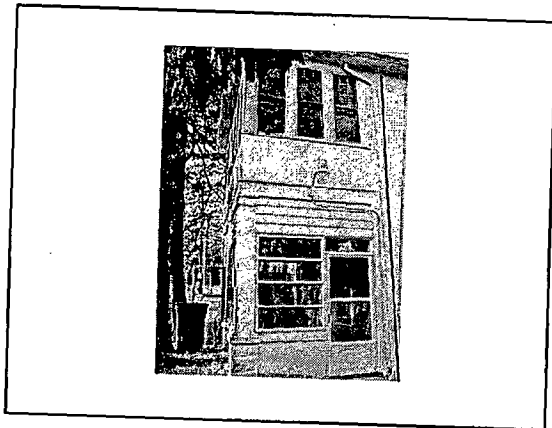
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Staff Comments

- The addition is compatible with the character of the historic house – particularly in terms of size and massing.
- Staff suggests that the architectural detailing of the house be more cohesive. The fenestration pattern is a bit too random.
- For the HAWP application, staff would like to see the foundation treatment clarified, window specifications, and a sample trim detail drawing.

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New Garage

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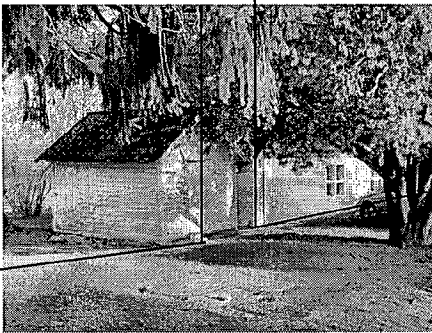
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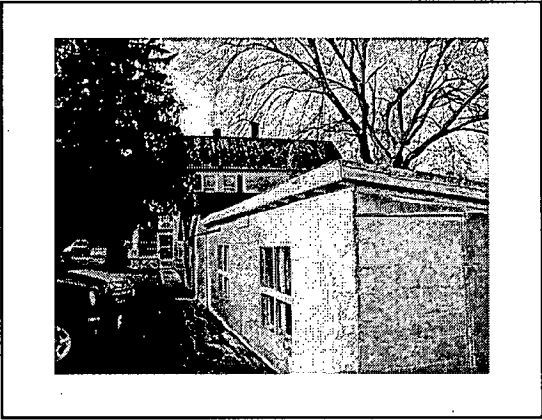
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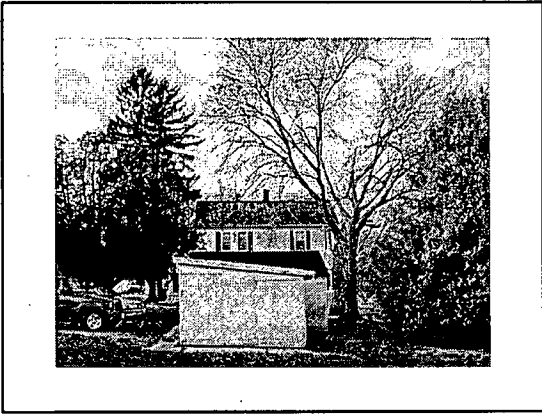
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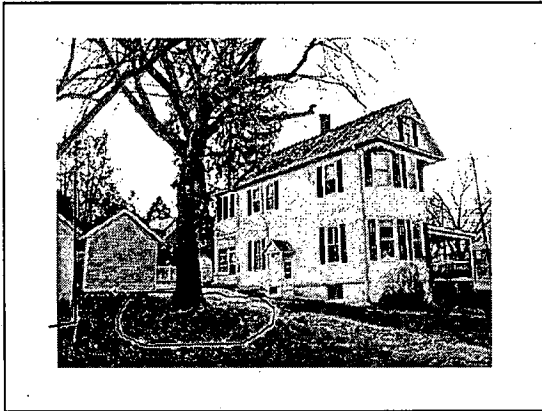
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Staff Comments

- Staff encourages the Commission to recommend moving the garage farther from the house.
- This would allow for the creation of a more pleasant space between the buildings, visually separate the garage from the house, and decrease potential construction impacts on the adjacent trees.
- The proposed location has the potential to appear as an attached garage.

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Outbuildings/Site Work

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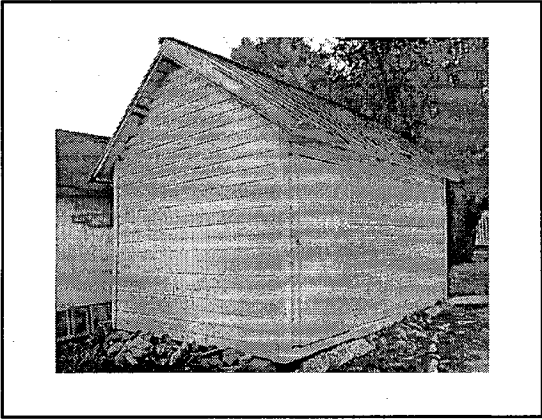
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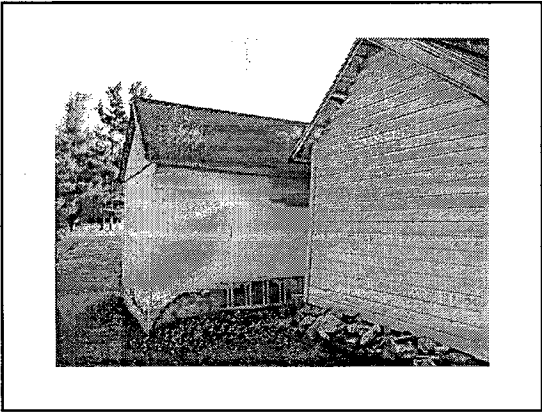
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**Staff Comments**

- More detailed plans regarding moving the frame outbuilding should be provided.
- We encourage the applicants to place the frame outbuilding closer to the house than proposed in order to better maintain its historic association.
- Staff recommends that the HPC support the move of the historic shed in conjunction with creating a greater separation of the garage from the house.
- More details on the site plan will be needed for the HAWP application.

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Rehabilitation

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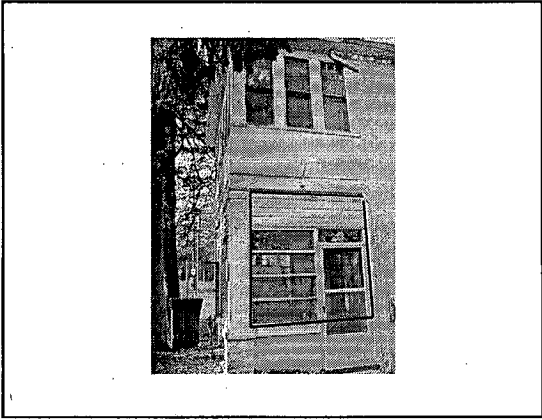
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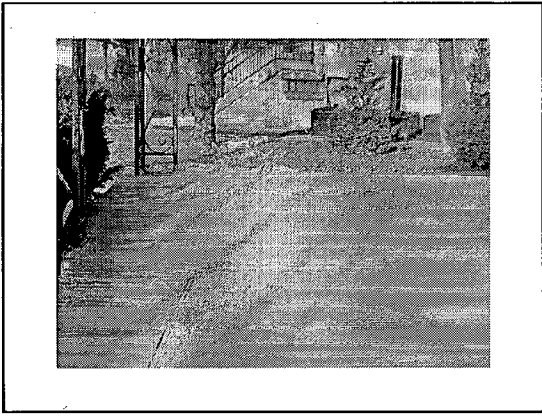
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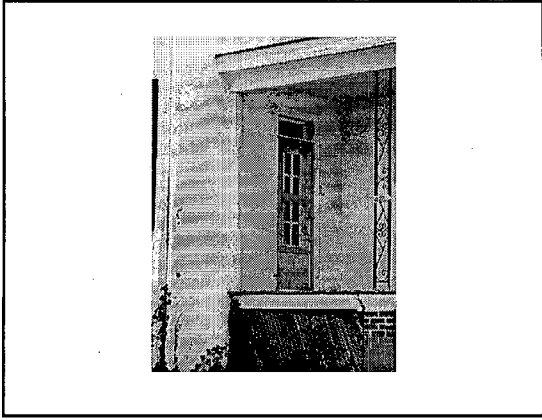
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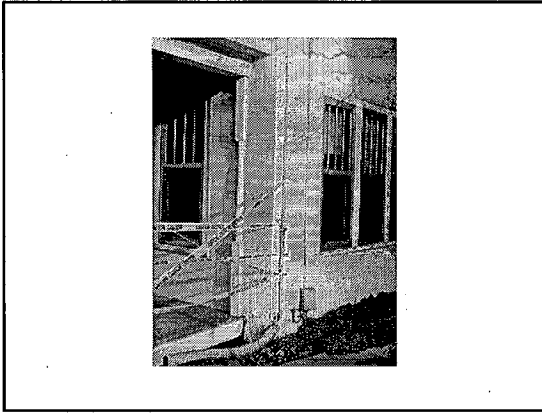
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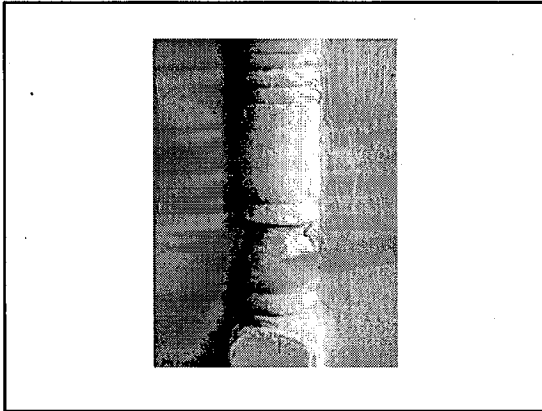
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Staff Comments

- Hire a contractor with experience working on historic buildings
- Any approved window replacements will need to be wood, true-divided light windows matching the existing in size, window type, light configuration, and muntin profile
- The entire height of the porch opening should be filled with glass in order to make the enclosed porch more transparent and appear as much like an open porch as possible
- We would recommend the use of a lattice or other more open design to enclose the space under the porch.

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## Tully, Tania

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**From:** Tully, Tania  
**Sent:** Monday, March 14, 2005 9:36 AM  
**To:** 'Jinx'  
**Cc:** Lori Love  
**Subject:** RE: Clarification

Jinx-

I simply couldn't remember what we had discussed regarding the outbuilding. As for its location it is an appropriate discussion to take before the Commission. I can include your proposed use patterns in my staff report if you send me a brief statement.

We have been saddled with an unexpected mandatory meeting this afternoon so my time is tight trying to finish my reports. I'll try to call if I can, but an email would be more expeditious.

Thanks,  
Tania

-----Original Message-----

**From:** Jinx [mailto:richard.jenkins@gmail.com]  
**Sent:** Friday, March 11, 2005 8:21 AM  
**To:** Tully, Tania  
**Cc:** Lori Love  
**Subject:** Re: Clarification

Tania,

I hope there hasn't been a misunderstanding about our intentions for the wooden outbuilding. We DO intend to stabilize it for use. We had discussed to put some kind of storage building in the back of the lot when we first looked at the property. When we learned that the wooden building needed to be preserved, we simply put it where we had talked of building one.

I do feel that the location we have indicated is the best one both for anticipated use patterns and aesthetic reasons. I would be happy to discuss this with you before you make a formal recommendation.

Jinx

On Thu, 10 Mar 2005 13:34:01 -0500, Tully, Tania  
<Tania.Tully@mncppc-mc.org> wrote:

> Lori-  
> I understand. It was 11:50 before we adjourned...yawn.  
>  
> I'll need to come out on site again to look at the porch to be sure, but in  
> the photographs it looks like when the jalousie windows were installed part  
> of the porch opening was filled in. If feasible it would be more  
> appropriate to have the new windows the full height of the original opening  
> to give more of an open porch appearance. We can set a meeting for sometime  
> after the 23rd to discuss this and whatever other comments the Commission  
> has.  
>  
> I will be recommending that the outbuilding be relocated closer to the house  
> and stabilized such that it is usable.  
>  
> Also - here are the garage ideas for you to consider. None of them are an  
> exact suggestion, but to give you the idea of the proportions and character

> that would be appropriate.  
> -Tania  
>  
> <http://www.backroadhomes.com/noff/tcwalntlke.html>  
>  
> <http://www.backroadhomes.com/noff/tcbethnygrg.html>  
> [http://www.countrycarpenters.com/Page3\\_3.htm](http://www.countrycarpenters.com/Page3_3.htm)  
> [http://www.countrycarpenters.com/Page3\\_11.htm](http://www.countrycarpenters.com/Page3_11.htm)  
>  
> -----Original Message-----  
> From: Lori Love [mailto:llove@prizim-inc.com]  
> Sent: Thursday, March 10, 2005 12:01 PM  
> To: Tully, Tania  
> Cc: 'Jinx'  
> Subject: Clarification  
>  
>  
>  
> Hi Tania,  
>  
>  
>  
> We so wanted to stay for the last one but it got so late and we get up  
> pretty early. I'm so hoping we're not last on the 23rd but if so, guess we  
> will try to go in to work a bit later the next day. BTW, we had meant to  
> ask you a couple of questions and of course didn't get a chance as you had  
> to go in before we finished. On your list, there were two things we wanted  
> a little more information on.  
>  
>  
>  
> Replace jalousie windows in enclosed porch addition - OK with staff consult  
> on sizes (when would we talk about sizes or do you have them in mind  
> already)  
>  
> Relocate historic outbuilding - OK with location comment (what is the  
> "location comment")  
>  
>  
>  
> Thanks a lot,  
>  
>  
>  
> Lori J. Love  
>  
> PRIZIM Inc.  
>  
> 7 Park Avenue  
>  
> Gaithersburg MD 20877  
>  
> 301.840.9316 ext.136  
>  
> 301.840.0139 (fax)  
>  
>  
>  
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> recipient(s) of this communication, please contact the sender and delete  
> this communication.  
>



## Tully, Tania

---

**From:** Tully, Tania  
**Sent:** Friday, March 25, 2005 9:10 AM  
**To:** 'Lori Love'  
**Subject:** RE: Final approval

Good Morning Lori-

Thank you for the compliments. That is certainly our goal as staff - to get you to the point where the Commission doesn't have too many comments.

As for what is next:

Since you already have a number from DPS you can just bring the final packet here to my office. The next deadline is April 6 for the April 27 meeting. I have tentatively put you on the agenda as the first HAWP.

Let me know if you have any questions or if you want to go over the package together.

-Tania

Tania Georgiou Tully  
Historic Preservation Planner  
Montgomery County Department of Park and Planning  
8787 Georgia Avenue  
Silver Spring, MD 20910  
301-563-3400  
301-563-3412 (fax)  
[www.mc-mncppc.org](http://www.mc-mncppc.org)

-----Original Message-----

**From:** Lori Love [mailto:[llove@prizim-inc.com](mailto:llove@prizim-inc.com)]  
**Sent:** Friday, March 25, 2005 8:10 AM  
**To:** Tully, Tania  
**Subject:** Final approval

Hi Tania,

I have to say, it was no where near as painful as we thought it might be (preliminary). I need to know what we do now. We know we need to get the updated drawings with the committee suggested changes and the inconsistencies taken care of to you but wasn't sure whether I take them again to Rockville by the deadline (which is when again?) or I get them directly to you.

I want you to know that we really have enjoyed working with you and hope that when we come in for landscaping in the future, you will be the one we work with again. You have been very helpful and we had heard horror stories about working with Staff and the committee and I have to say, we have not experienced any of that and I believe it is due largely to you. Thanks again for being so helpful and accessible during this process.

On a final note, we have come to realize that we are going to have to finish through the final process with Larry. I will be going through the final drawings with a fine-tooth comb before submission this time.

Have a nice weekend.

3/25/2005

**Lori J. Love**  
PRIZIM Inc.  
7 Park Avenue  
Gaithersburg MD 20877  
301.840.9316 ext.136  
301.840.0139 (fax)

The information contained in this communication, including any attachments, is strictly confidential and is intended only for the named recipient(s). If the reader of this message is not the intended recipient(s) or received this communication in error, you are hereby notified that any use, distribution, or copying of this communication, and/or any action taken or not taken in reliance upon it is prohibited by law. If you are not the named recipient(s) of this communication, please contact the sender and delete this communication.

## Tully, Tania

---

**From:** Tully, Tania  
**Sent:** Tuesday, March 29, 2005 11:12 AM  
**To:** 'Lori Love'  
**Cc:** 'Jinx'  
**Subject:** RE: Final approval

Hello Lori-  
Sorry for the delayed response, I was out sick yesterday. Here are the answers to your questions.

### What are the meeting dates for May?

May 11 - deadline is April 20

May 25 - deadline is May 4

### guidance on the "more detail" requested on the shed

We are looking for details on how the shed will be moved - a scope of work. Will it be raised up and carried by a crane, or placed on rollers and rolled - or by some other method? Additionally, we would need drawings of the proposed foundation and a written description of the proposed rehab work. Depending on your timing, this information could be a condition of approval.

### guidance on the "more detail" requested on the trim.

I am talking about the trim around the new windows and doors. We want to be clear about the trim and profile. A detailed drawing of one of the windows would suffice. It's just that the previous drawings were of a smaller scale - as befitting a preliminary.

### square the circular window in the master bath

This will certainly help, although the Commission seemed to have general concerns with the window placements. I will email you the transcripts of the meeting to show to your new architect so that he or she can get the most from the Commission's comments. We should receive them by April 15. I can also meet with you again if needed.

Let me know if you have any other questions and good luck with the interviews.

-Tania

-----Original Message-----

From: Lori Love [mailto:llove@prizim-inc.com]

Sent: Monday, March 28, 2005 9:32 AM

To: Tully, Tania

Cc: 'Jinx'

Subject: RE: Final approval

Hi Tania,

I hope you had a good weekend. I wanted to give you an update. It is unlikely we will make the April 6 deadline as we have terminated Larry Sauer as our architect and we are still in process of choosing another. This person will have to redo all of Larry's drawings and incorporate the changes discussed at our preliminary. What are the meeting dates for May? Also, we still need some guidance on the "more detail" requested on the shed as well as the trim. By trim, do you mean around the new windows and doors? Lastly, I plan to square the circular window in the master bath (a small double-hung window instead). Will this suffice?

Thanks,  
Lori

Hi,

I forgot to ask one other question: the committee and you said you would like more detail with regard to the shed. Could you be more specific as to what kind of detail you're looking for?

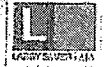
Thanks very much,  
Lori



Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

East Elevation

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



garage -  
34' x 22'

addition

slid. 25' x 22'

---

Exist

466 - garage

88 - slid

896 - house

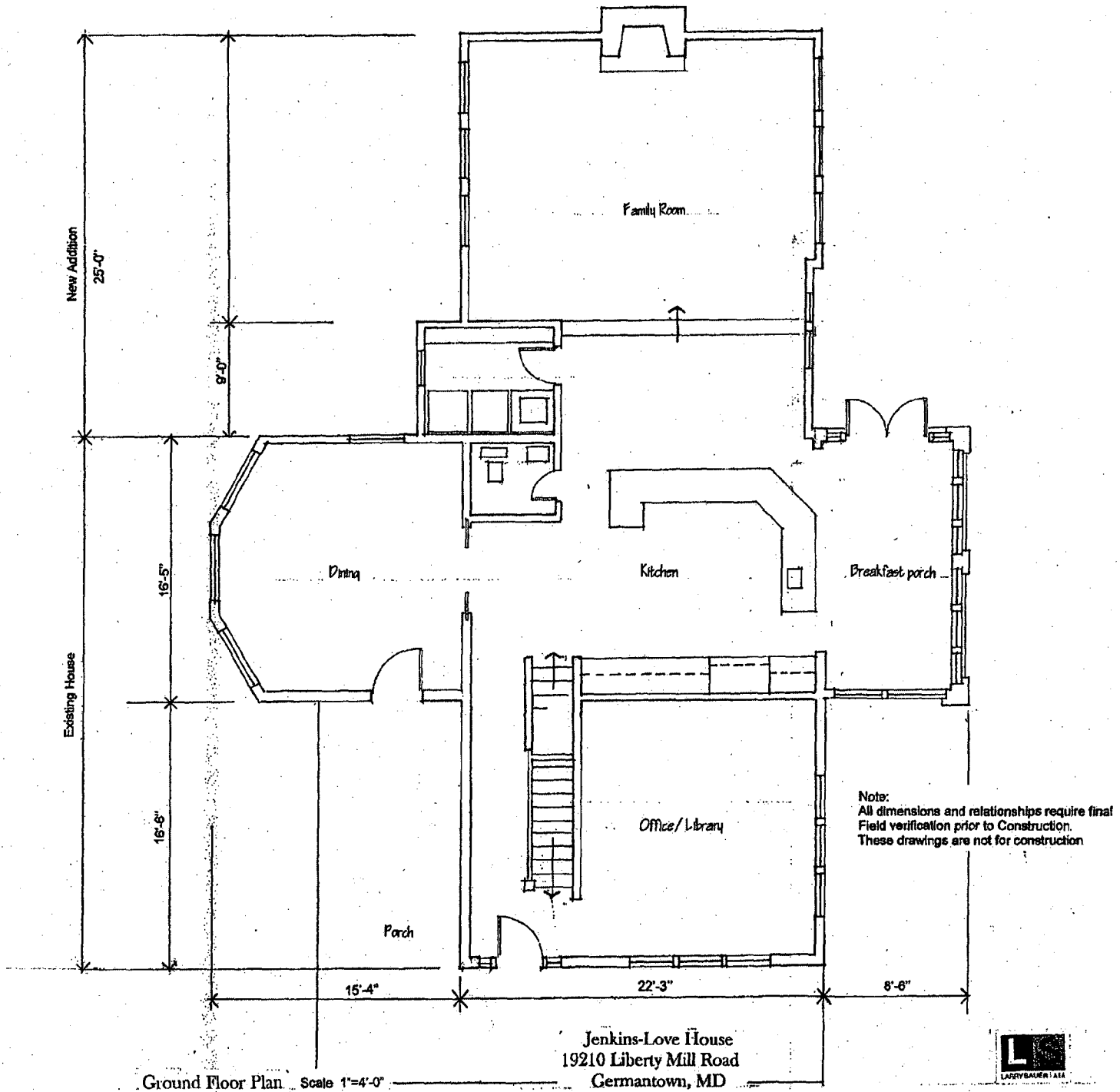
(not parcel)

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garage - ~~22~~ 746

slid 88

add - 437

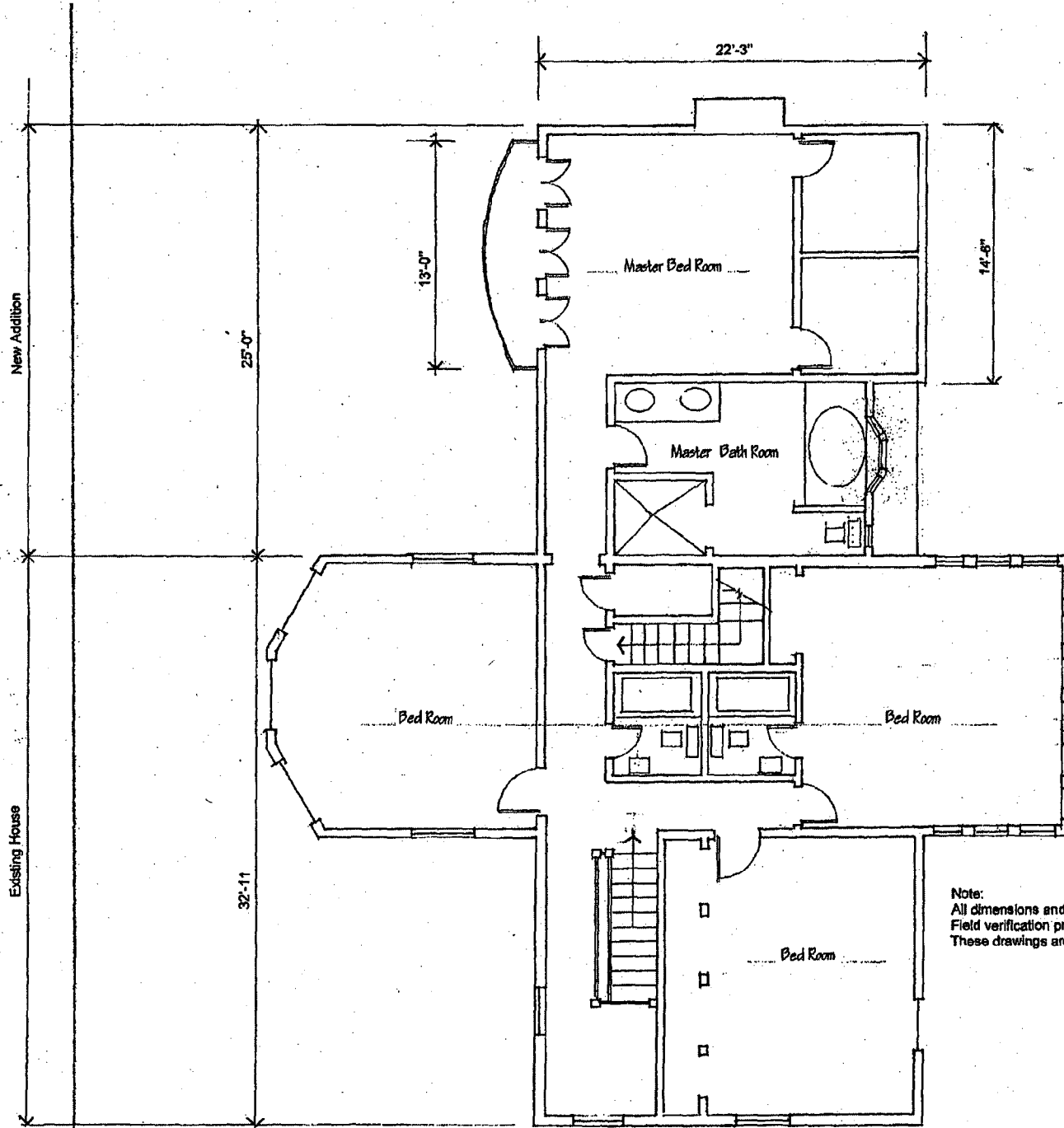


Ground Floor Plan Scale 1"=4'-0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/05



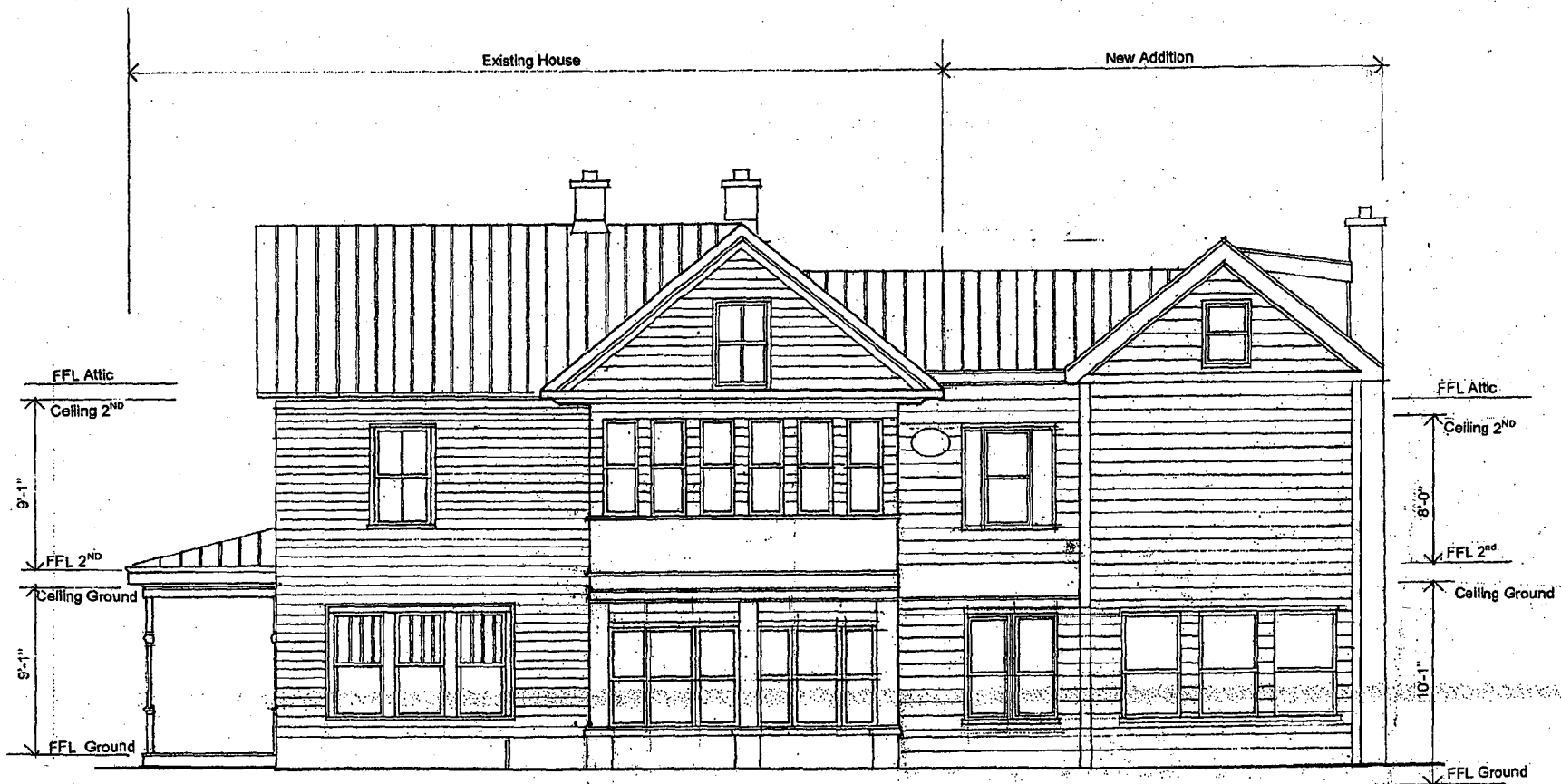
Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

Second Floor Plan Scale 1"=4'-0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/01



Note:  
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 Field verification prior to Construction.  
 These drawings are not for construction

West Elevation

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/05





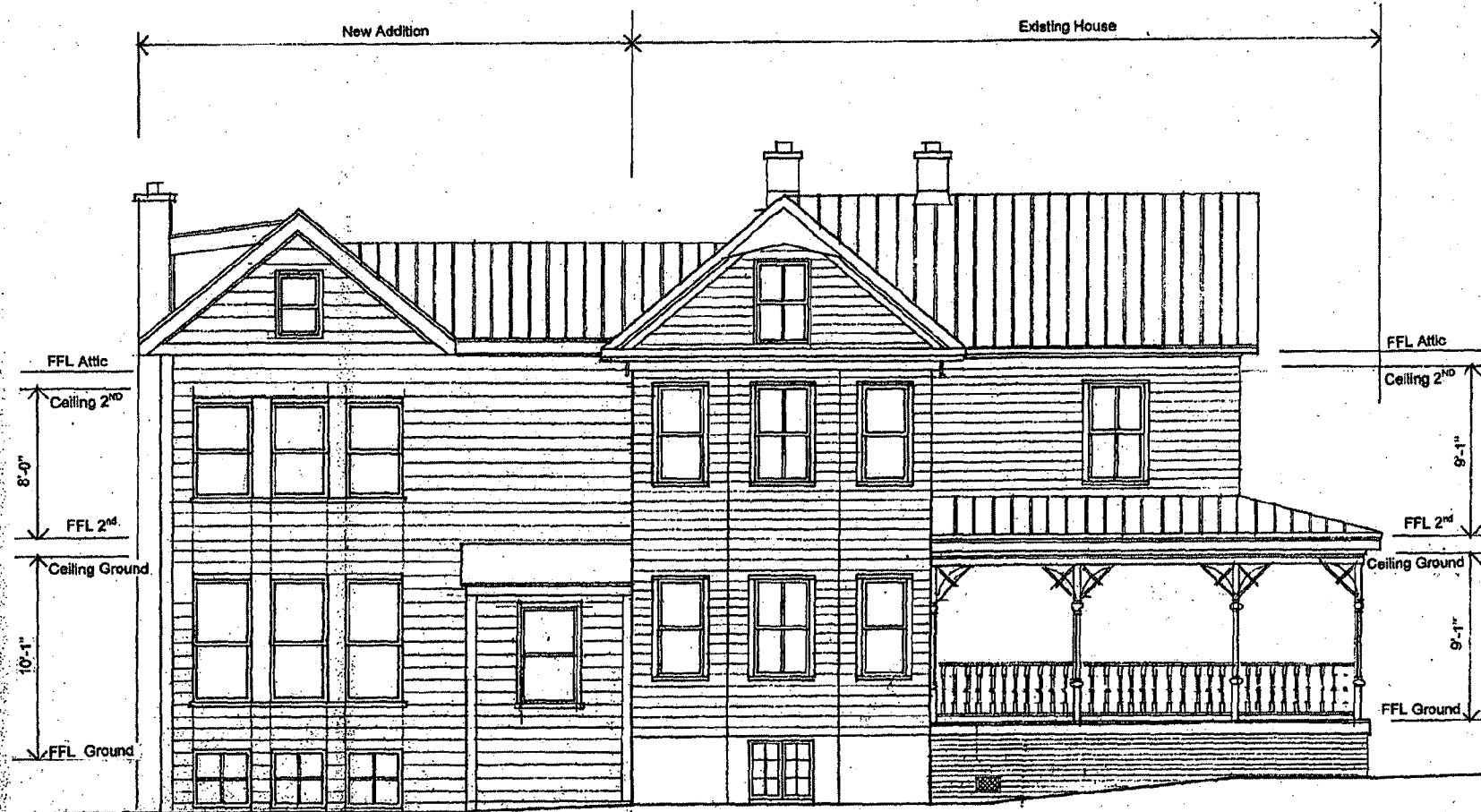
Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

South Elevation

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/05



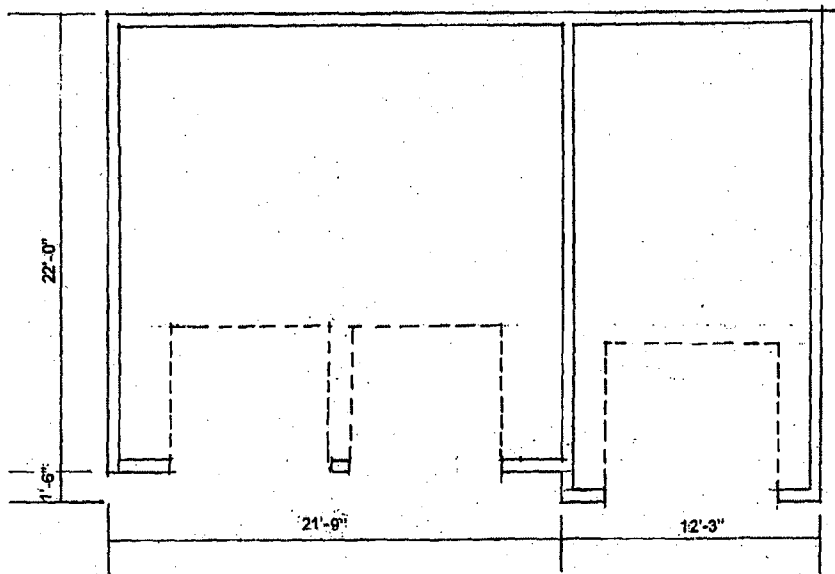
Note:  
 All dimensions and relationships require final  
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East Elevation

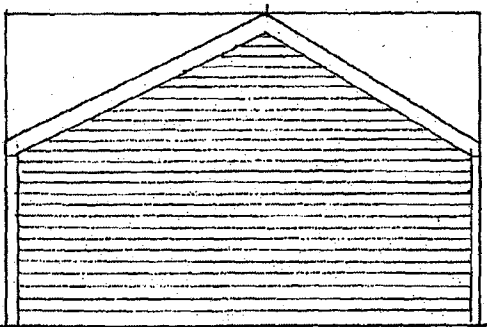
Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



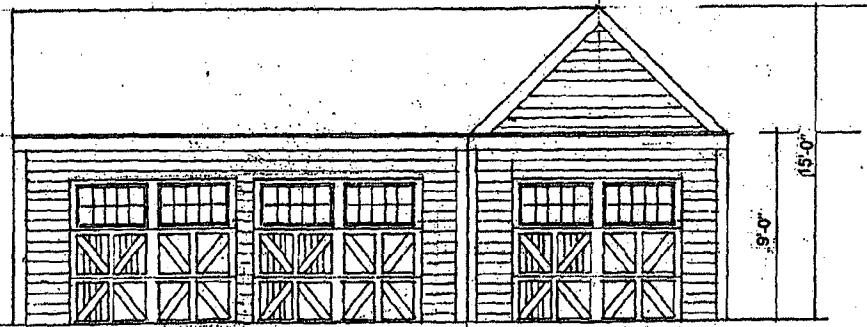
3/14/05



Plan



Elevation



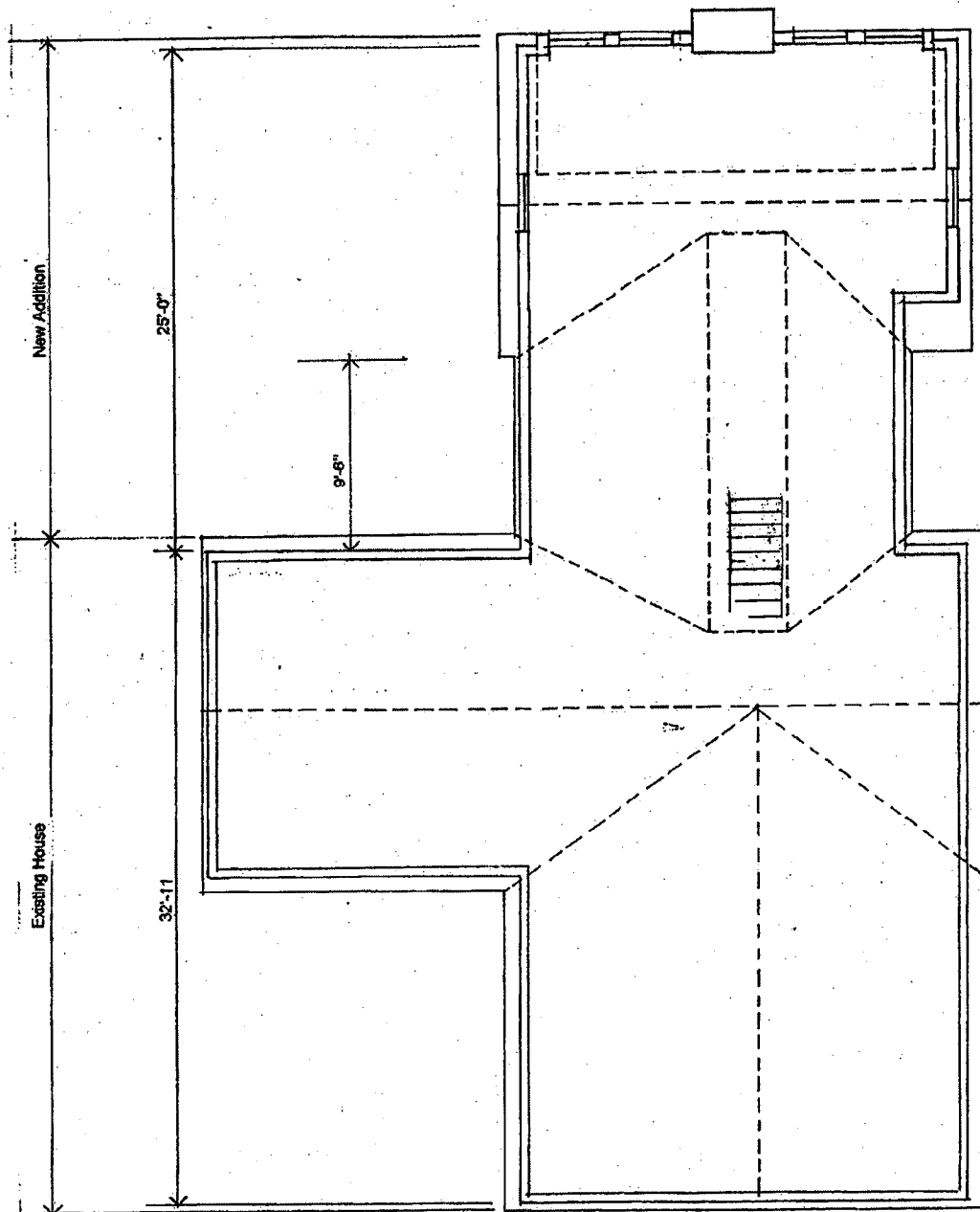
Elevation

Garage

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/05



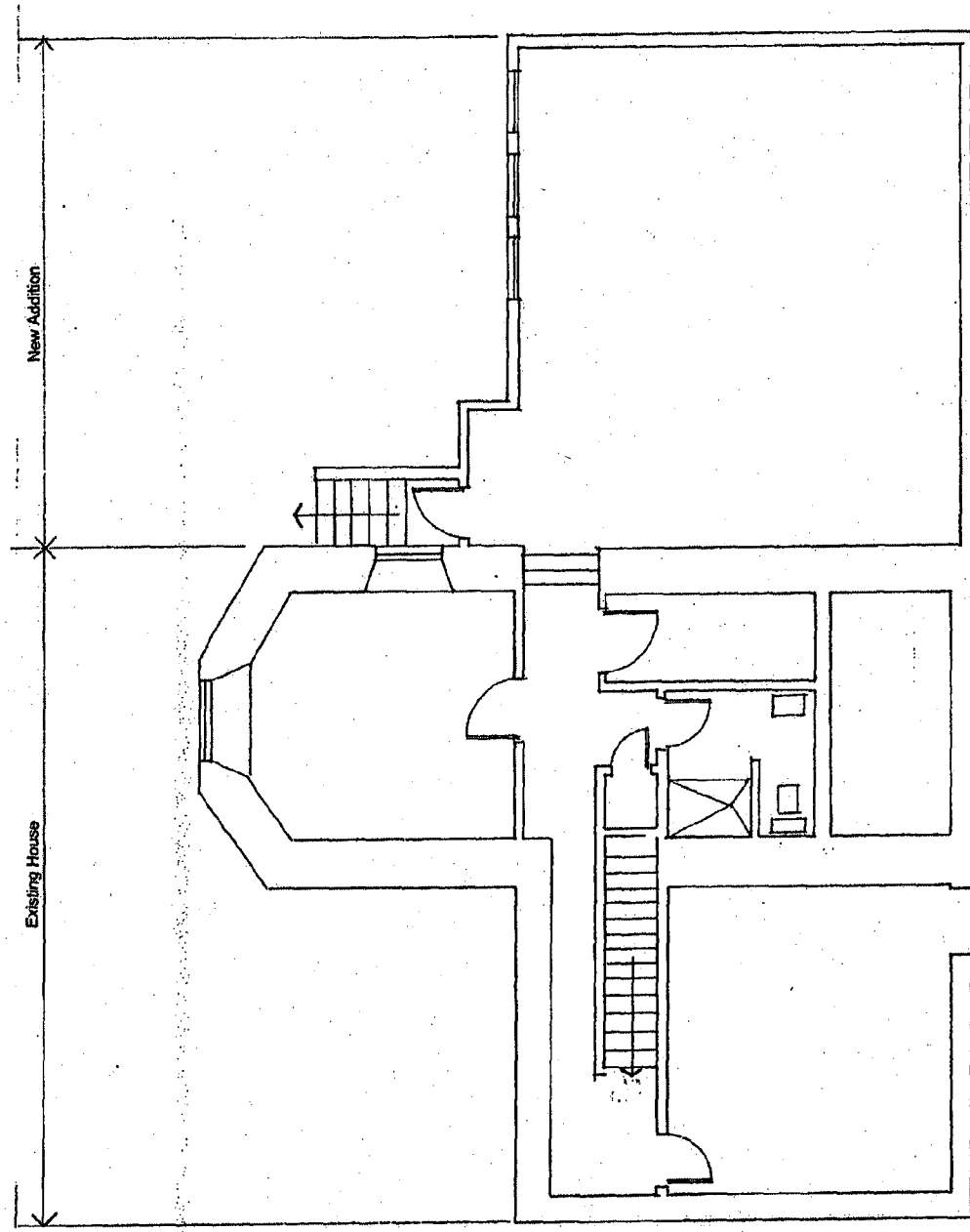
Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

Attic Plan Scale 1"=4'-0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/05



**Note:**  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

Basement Plan, Scale 1"=4'-0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/4/05

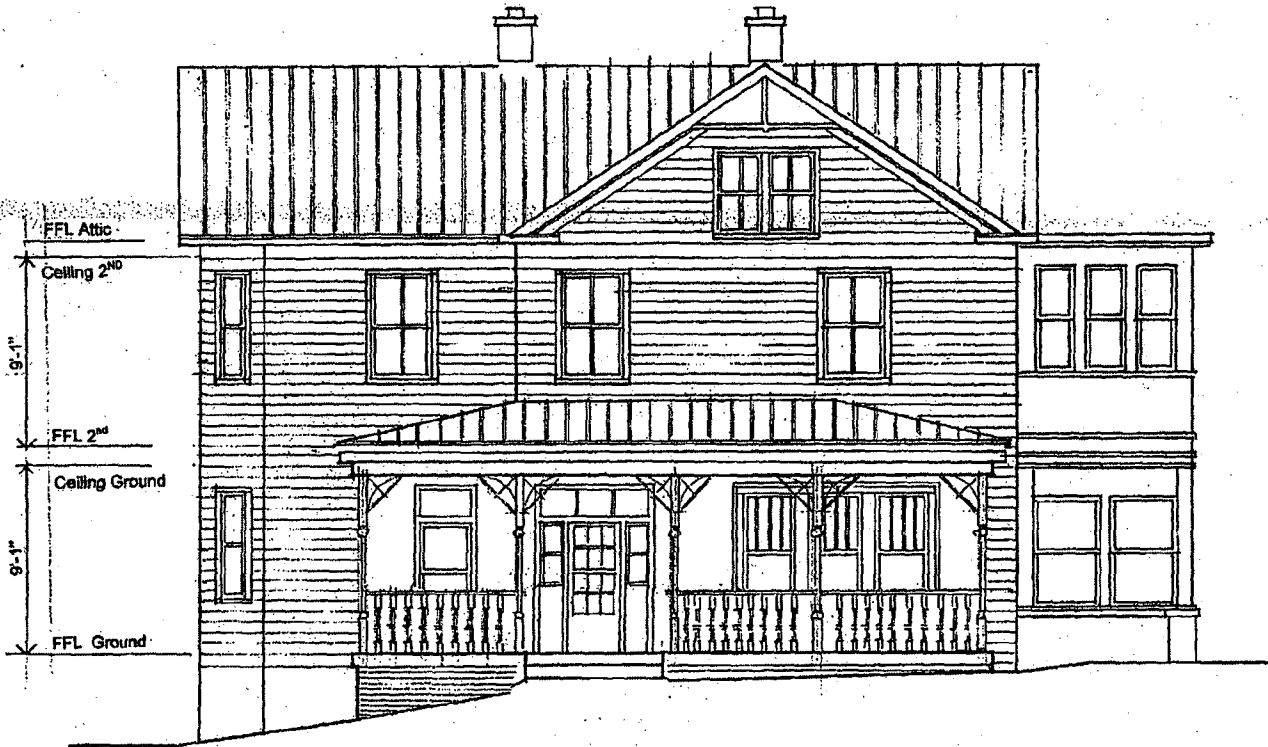


Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction  
 Existing North Elevation Scale 1"=4'-0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/09



Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

North Elevation

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/05

Upton - Bowman Hse

Site visit - 1/10/05 - TANIA

Larry Saver - architect

- Love, Lori

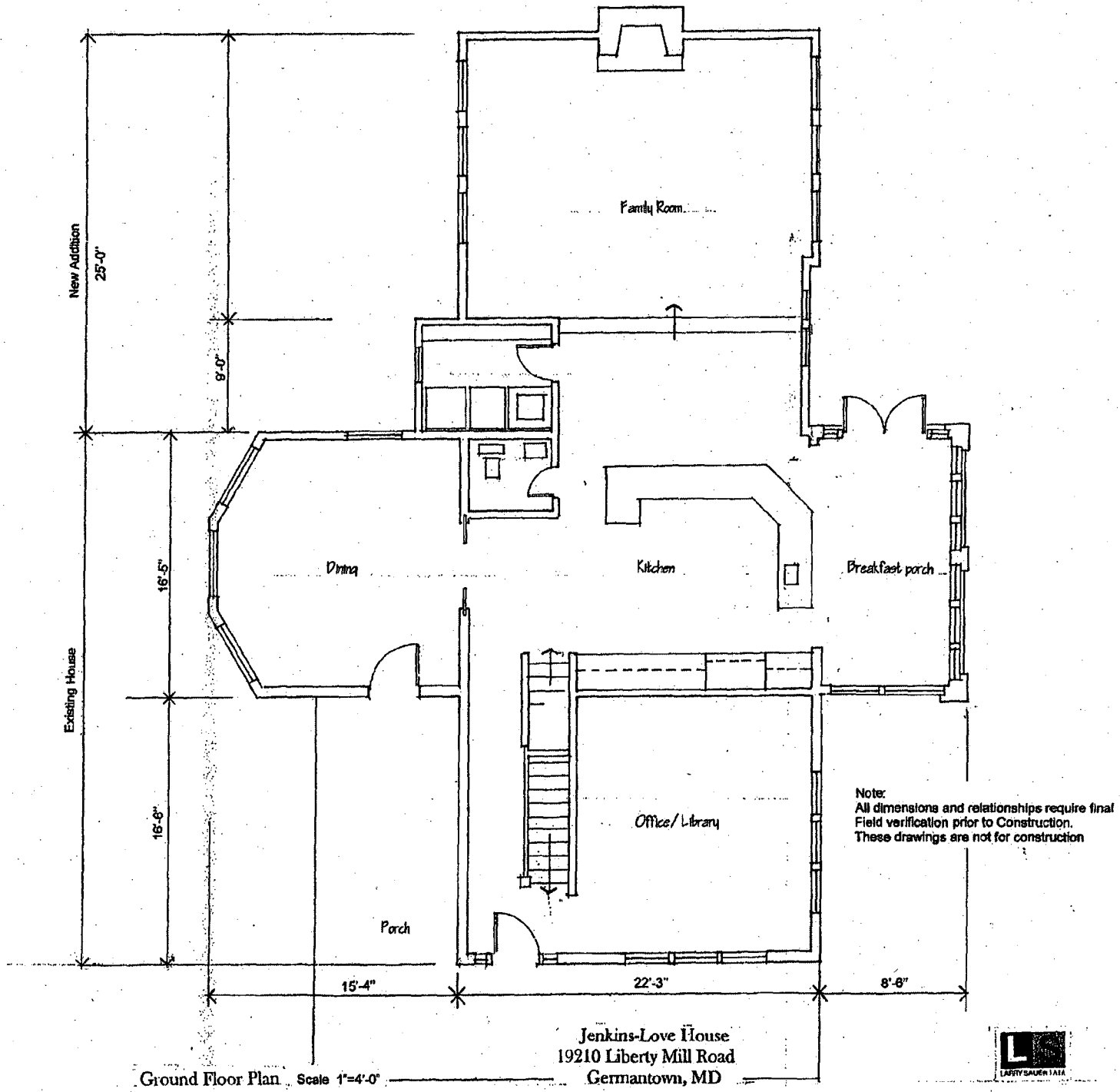
"Jents" Richard Jenkins

- 2 story <sup>rear</sup> addition standing seams  
3 bay garage metal roof  
rebuild ~~front~~ porch repaired  
move out building replace in-kind  
demo back bldg  
rehab windows / perhaps  
replacement

+ Advised to consult w/  
arborist & structural  
engineers

should get concept design  
& come back to staff  
1st prelim, then HAWPO



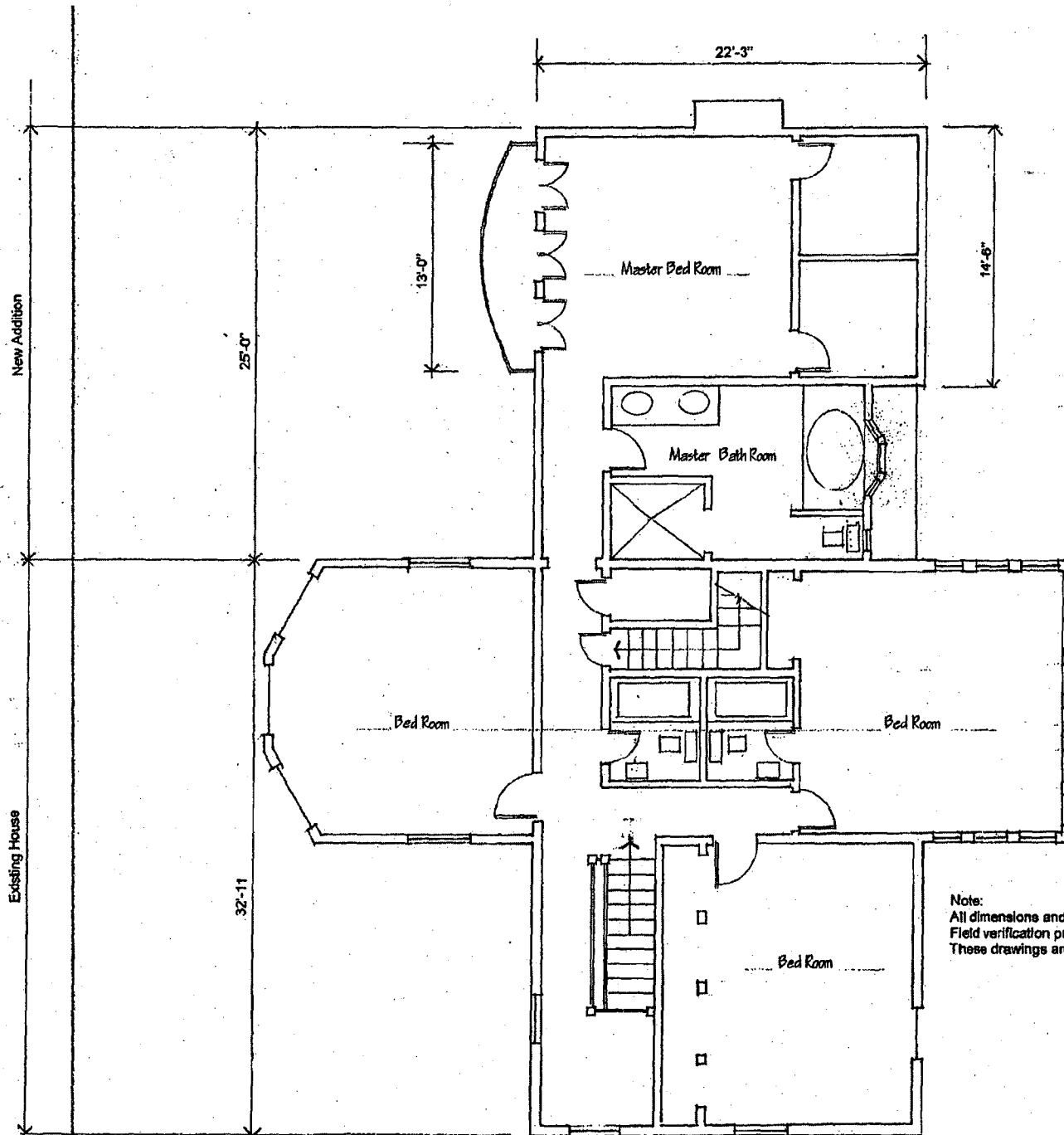


Ground Floor Plan Scale 1"=4'-0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/05



New Addition

Existing House

25'-0"

22'-3"

13'-0"

14'-6"

32'-11"

Master Bed Room

Master Bath Room

Bed Room

Bed Room

Bed Room

Note:  
All dimensions and relationships require final  
Field verification prior to Construction.  
These drawings are not for construction

Second Floor Plan Scale 1"=4'-0"

Jenkins-Love House  
19210 Liberty Mill Road  
Germantown, MD



3/14/01



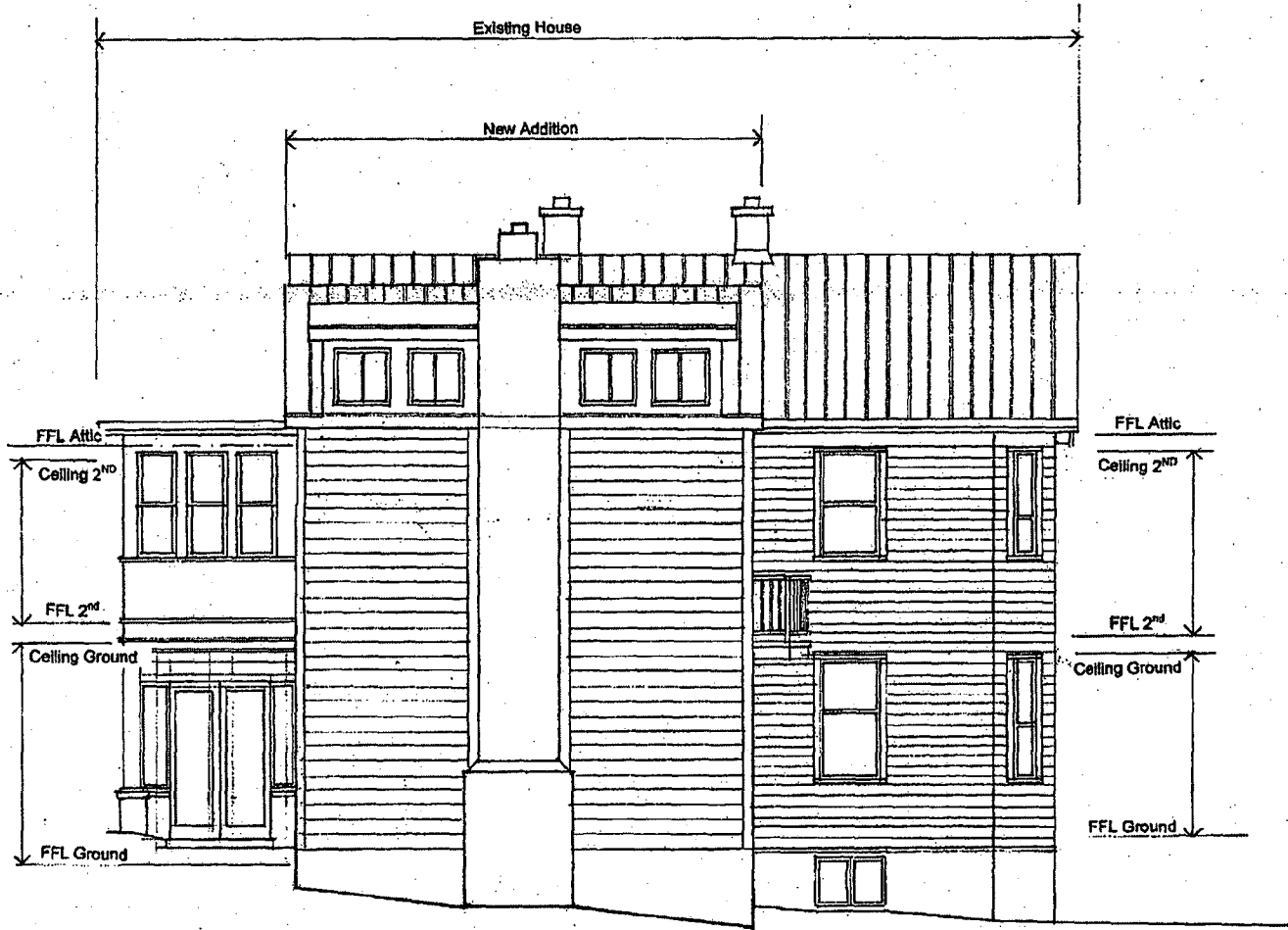
Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

West Elevation

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/05



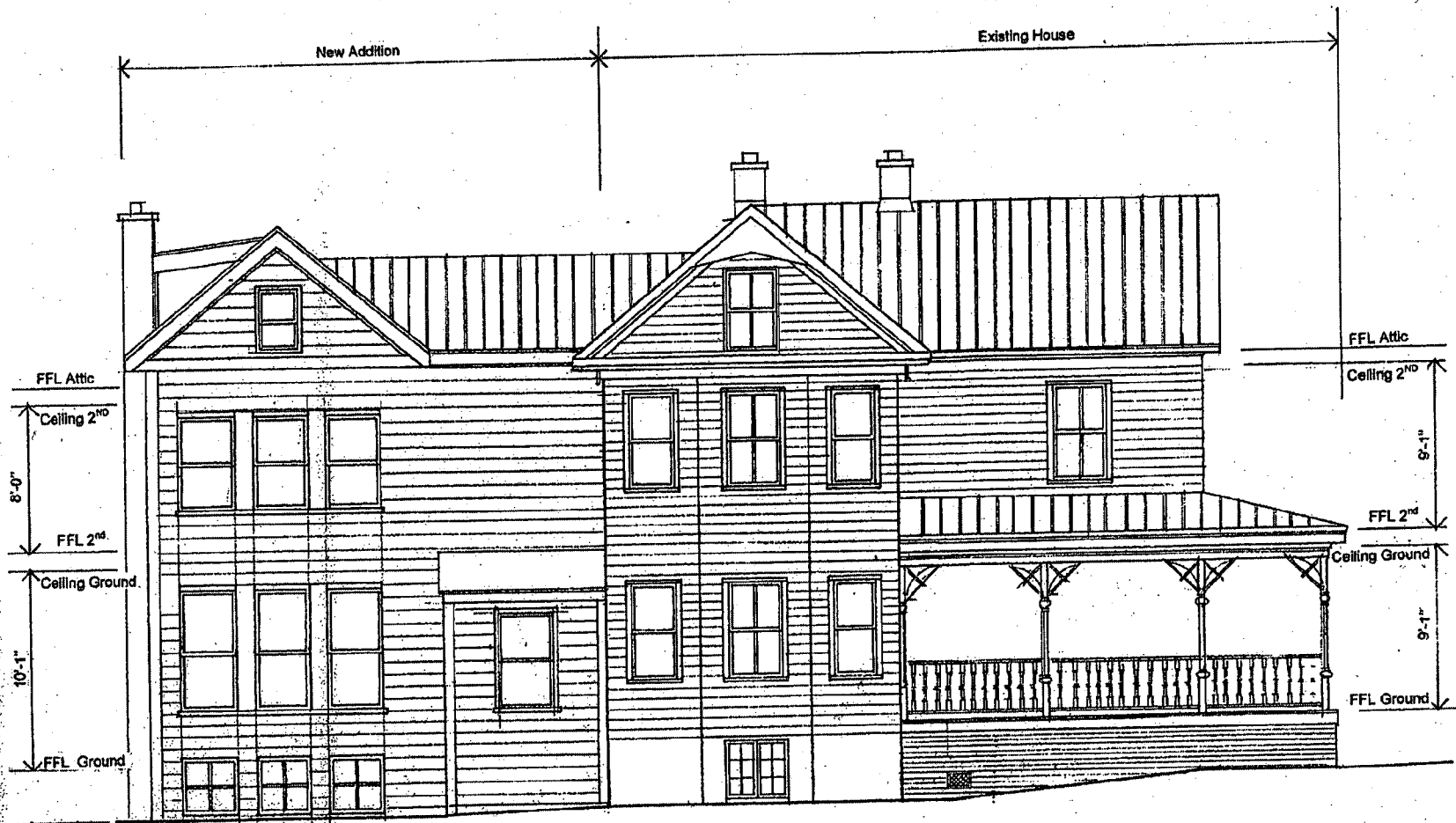
Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

South Elevation

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/05



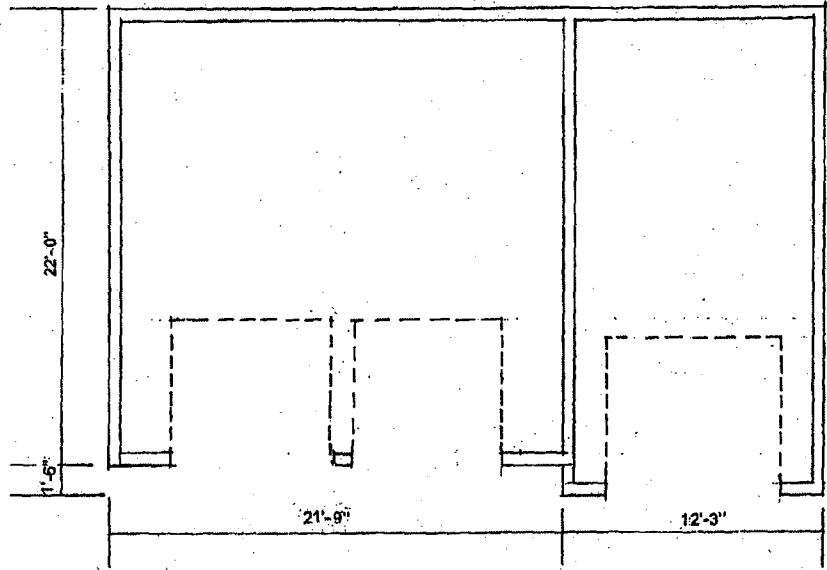
Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

East Elevation

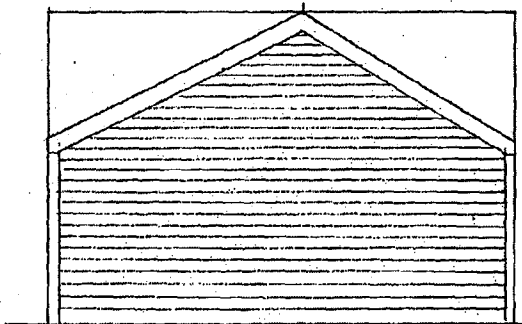
Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



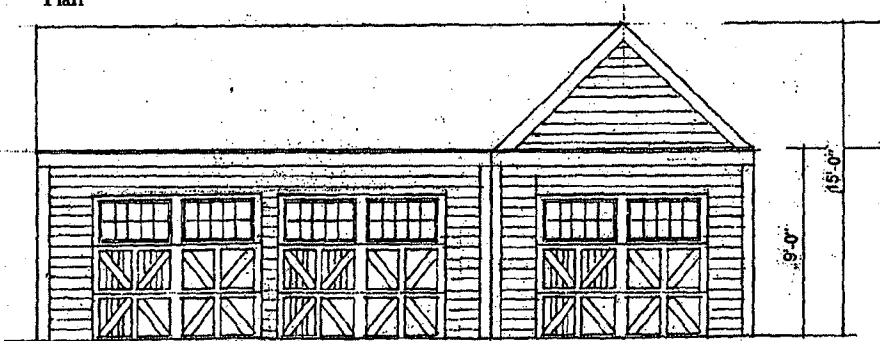
3/14/05



Plan



Elevation



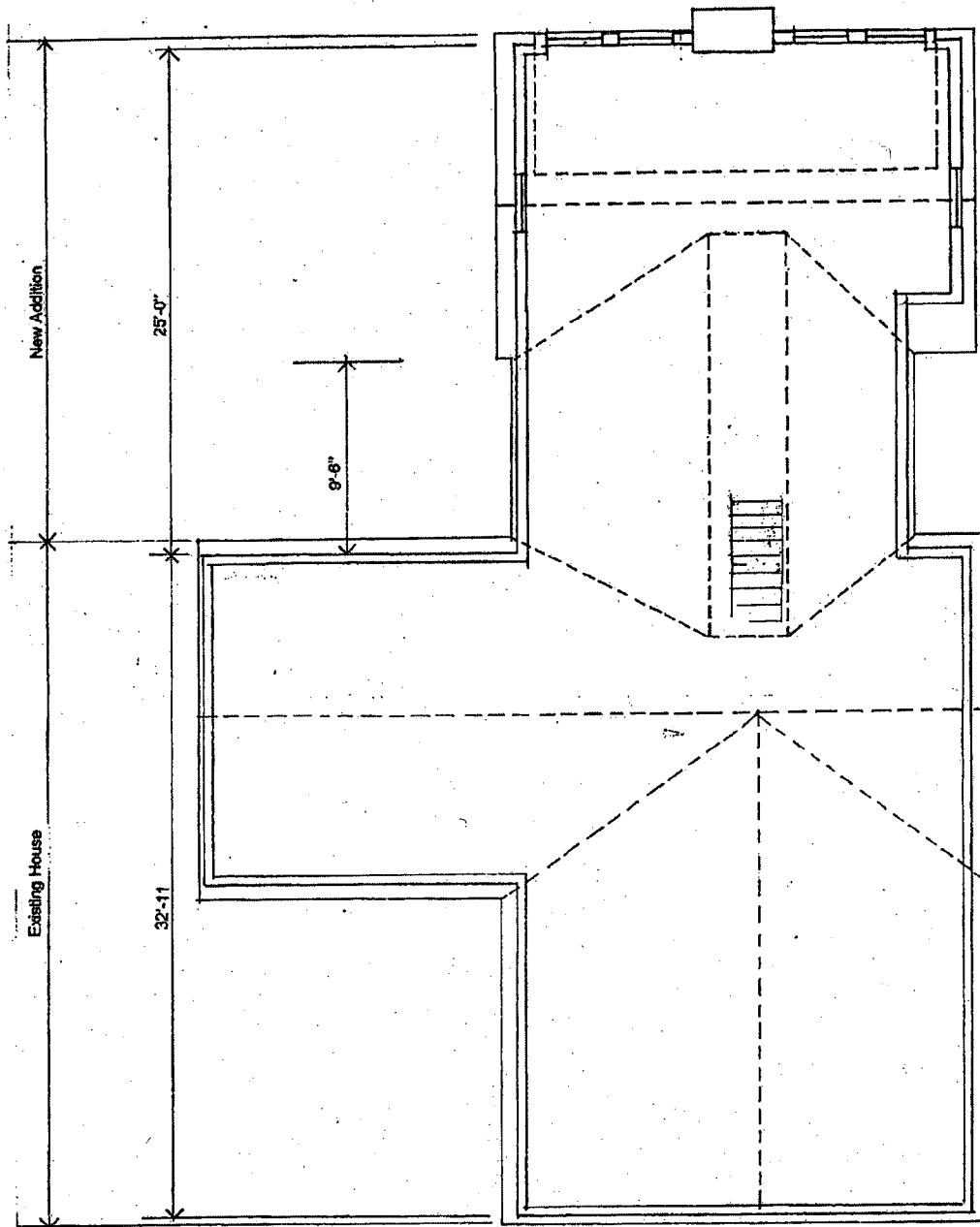
Elevation

Garage

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/05



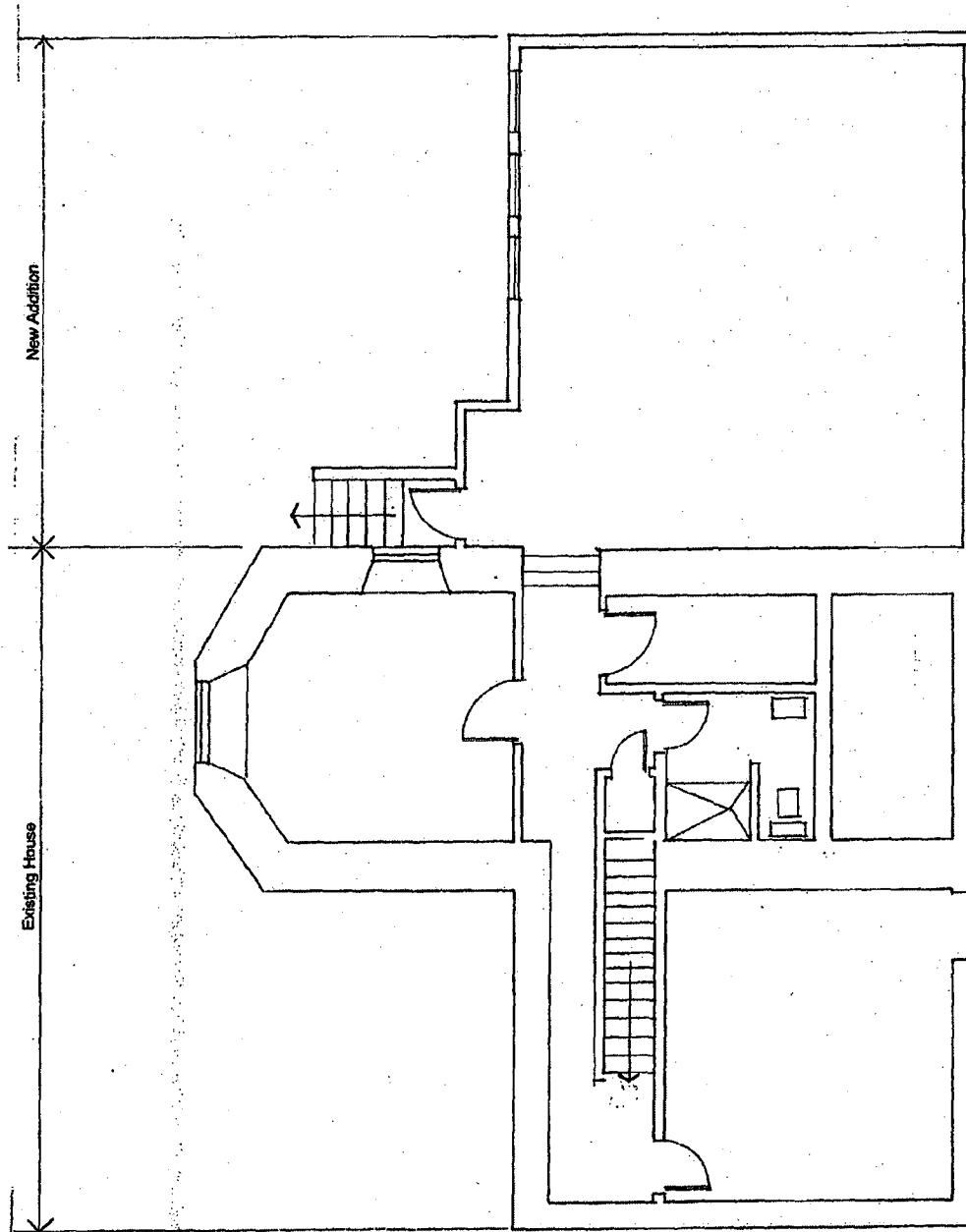
Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

Attic Plan Scale 1"=4'-0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/05



New Addition

Existing House

Note:  
 All dimensions and relationships require final  
 Field verification prior to Construction.  
 These drawings are not for construction

Basement Plan, Scale 1"=4'-0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/4/05





Note:  
 All dimensions and relationships require final  
 field verification prior to construction.  
 These drawings are not for construction

Existing North Elevation Scale 1"=4'-0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/4/03



Note:  
 All dimensions and relationships require final  
 field verification prior to construction.  
 These drawings are not for construction

North Elevation.

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



3/14/05

## Tully, Tania

---

**From:** Jinx [richard.jenkins@gmail.com]  
**Sent:** Monday, March 14, 2005 1:07 PM  
**To:** Tully, Tania  
**Cc:** Lori Love  
**Subject:** Re: Clarification

Tania,

Thanks for the opportunity to address the issue. As I stated, we had already identified the location indicated as a desired location for an outbuilding prior to learning that the existing wooden building needed to be preserved. We chose the location on the basis of both aesthetics and anticipated usage.

Our intent was to use the building for storing lawn and garden supplies and tools. Based on previous experience with a small garage in our townhouse, we didn't want to store such materials in our garage. This essentially turns the garage into a storage shed with some space for parking a car. Given that use for the building, we felt that having it located closer to the rear of the property, where the largest open grass area will sit, would better suited our needs.

For aesthetic purposes, we thought it better to move the historic shed away from the new addition and the garage. If you picture it directly behind where the proposed garage would sit, it presents two issues. First, it would simply be clumped in with the existing buildings. This would marginalize it visually. It would be practically invisible from off the property. The second issue relates to the open space. Having the historic shed located behind the garage leaves an open space that is rather rhomboid in shape. Locating it in the rear corner significantly squares up that space. Furthermore, the rear corner location leaves the historic shed visually distinct from the new constructions, puts it in view down the property driveway, and would additionally make it visible from Mateny Hill Road across the abutting property to the rear.

I hope this clears up our intentions for the location of the historic shed.

Richard Jenkins

On Mon, 14 Mar 2005 09:35:56 -0500, Tully, Tania  
<Tania.Tully@mncppc-mc.org> wrote:

> Jinx-

> I simply couldn't remember what we had discussed regarding the outbuilding. As for its location it is an appropriate discussion to take before the Commission. I can include your proposed use patterns in my staff report if you send me a brief statement.

>

> We have been saddled with an unexpected mandatory meeting this afternoon so my time is tight trying to finish my reports. I'll try to call if I can, but an email would be more expeditious.

> Thanks,

> Tania

>

> -----Original Message-----

> From: Jinx [mailto:richard.jenkins@gmail.com]

> Sent: Friday, March 11, 2005 8:21 AM

> To: Tully, Tania

> Cc: Lori Love

> Subject: Re: Clarification

>

> Tania,  
>  
> I hope there hasn't been a misunderstanding about our intentions for  
> the wooden outbuilding. We DO intend to stabilize it for use. We had  
> discussed to put some kind of storage building in the back of the lot  
> when we first looked at the property. When we learned that the wooden  
> building needed to be preserved, we simply put it where we had talked  
> of building one.  
>  
> I do feel that the location we have indicated is the best one both for  
> anticipated use patterns and aesthetic reasons. I would be happy to  
> discuss this with you before you make a formal recommendation.  
>  
> Jinx  
>  
> On Thu, 10 Mar 2005 13:34:01 -0500, Tully, Tania  
> <Tania.Tully@mncppc-mc.org> wrote:  
> > Lori-  
> > I understand. It was 11:50 before we adjourned...yawn.  
> >  
> > I'll need to come out on site again to look at the porch to be sure, but in  
> > the photographs it looks like when the jalousie windows were installed part  
> > of the porch opening was filled in. If feasible it would be more  
> > appropriate to have the new windows the full height of the original opening  
> > to give more of an open porch appearance. We can set a meeting for sometime  
> > after the 23rd to discuss this and whatever other comments the Commission  
> > has.  
> >  
> > I will be recommending that the outbuilding be relocated closer to the house  
> > and stabilized such that it is usable.  
> >  
> > Also - here are the garage ideas for you to consider. None of them are an  
> > exact suggestion, but to give you the idea of the proportions and character  
> > that would be appropriate.  
> > -Tania  
> >  
> > <http://www.backroadhomes.com/noff/tcwalntlke.html>  
> >  
> > <http://www.backroadhomes.com/noff/tcbethnygrg.html>  
> > [http://www.countrycarpenters.com/Page3\\_3.htm](http://www.countrycarpenters.com/Page3_3.htm)  
> > [http://www.countrycarpenters.com/Page3\\_11.htm](http://www.countrycarpenters.com/Page3_11.htm)  
> >  
> > -----Original Message-----  
> > From: Lori Love [mailto:llove@prizim-inc.com]  
> > Sent: Thursday, March 10, 2005 12:01 PM  
> > To: Tully, Tania  
> > Cc: 'Jinx'  
> > Subject: Clarification  
> >  
> >  
> > Hi Tania,  
> >  
> >  
> >  
> > We so wanted to stay for the last one but it got so late and we get up  
> > pretty early. I'm so hoping we're not last on the 23rd but if so, guess we  
> > will try to go in to work a bit later the next day. BTW, we had meant to  
> > ask you a couple of questions and of course didn't get a chance as you had  
> > to go in before we finished. On your list, there were two things we wanted  
> > a little more information on.  
> >  
> >  
> >  
> > Replace jalousie windows in enclosed porch addition - OK with staff consult  
> > on sizes (when would we talk about sizes or do you have them in mind  
> > already)

> >  
> > Relocate historic outbuilding - OK with location comment (what is the  
> > "location comment")  
> >  
> >  
> >  
> > Thanks a lot,  
> >  
> >  
> >  
> > Lori J. Love  
> >  
> > PRIZIM Inc.  
> >  
> > 7 Park Avenue  
> >  
> > Gaithersburg MD 20877  
> >  
> > 301.840.9316 ext.136  
> >  
> > 301.840.0139 (fax)  
> >  
> >  
> >  
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> > recipient(s) of this communication, please contact the sender and delete  
> > this communication.  
> >  
> >  
> >  
>

*Master Plan* Site #19/13-6  
**Upton Bowman House**

HAWP Initial Comments

Drawings: Do not meet HAWP application specifications. Three options at this point:

1. Recommendation of Continuabce
2. Change to a preliminary
3. Have required drawings submitted to staff by COB Monday.

Garage: The design is not compatible with the historic house and needs revision. Staff suggests adding a cross gable on the north end in order to break up the massing and make it appear more like two adjoining outbuildings. More detailed and revised plans are needed.

Addition: Lower roofline of the part closest to the house, Inset the west side beyond the point where the porch addition meets the historic house, bring in the east side as well

Porch Rebuild: work with staff and get approval for the porch details.

Siding: staff recommends that we are consulted regarding assessment of the siding

Windows: consultation regarding repair of the windows in the main house

In summary staff recommendations in draft form are:

- Remove stucco and restore original wood siding - OK
- Rebuild the damaged front porch – OK with consult
- Rehabilitate windows in main house - OK with consult
- Replace jalousie windows in enclosed porch addition – OK with staff consult on sizes
- Remove non-historic outbuildings – OK
- Relocate historic outbuilding - OK with location comment
- Construct rear addition – basically OK, some revision, need better drawings
- Construct detached garage – ok in concept
- Tree removal - OK
- Plant trees – OK

TGT - 3/8/05

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	19219 Liberty Mill Road, Germantown	<b>Meeting Date:</b>	[date]
<b>Applicant:</b>	Richard Jenkins and Lori Love	<b>Report Date:</b>	[date]
<b>Resource:</b>	Master Plan Site #19/13-6 Upton Bowman House	<b>Public Notice:</b>	[date]
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	19/13-6-05A	<b>Staff:</b>	Tania Tully

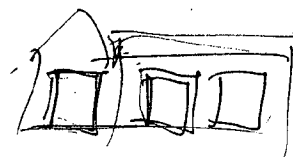
**PROPOSAL:** Rear addition, garage construction and porch reconstruction

**RECOMMENDATION:**  
Approve with conditions

**STAFF RECOMMENDATION:**

Staff is recommending approval with the following conditions:

- More detailed and revised plans are needed for the garage.
- Lower roofline of the part closest to the house
- Inset the west side beyond the point where the porch addition meets the historic house
- Staff recommends that the applicants work with us and get approval for the porch details.
- staff recommends that we are consulted regarding assessment of the siding
- consultation regarding repair of the windows in the main house



**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Master Plan Site #19/13-6 Upton Bowman House  
**STYLE:** Victorian  
**DATE:** c. 1901

+ space b/w garage & house a dark alley

different loc for garage

Constructed circa 1901 for Upton and Julia Bowman, this 2-1/2-story stucco covered frame house sits on approximately 1 acre of relatively flat land. It is contemporary, though different stylistically, with the house built by Upton's brother Charles at 19209 Liberty Mill Road. The Upton Bowman house has a cross-gable form, multiple window types and a modified, heavily deteriorated wrap-around front porch. The front gable has cornice returns and the east-side gable is a two-story clipped bay with a closed pediment, though both have decorative two projecting gables with decorative ornaments. The roof is sheathed with standing seam metal except for the two-story enclosed porch addition on the west elevation. The rear of the house is relatively devoid of ornamentation. Also on the site are two concrete block outbuildings and a frame historic shed.

dimensioned drawings

**PROPOSAL:**

- Remove stucco and restore original wood siding

Continuance  
prelim  
better drawings by Monday Morning

## Tully, Tania

---

**From:** Tully, Tania  
**Sent:** Thursday, March 10, 2005 1:34 PM  
**To:** 'Lori Love'  
**Cc:** 'Jinx'  
**Subject:** RE: Clarification

Lori-  
I understand. It was 11:50 before we adjourned...yawn.

I'll need to come out on site again to look at the porch to be sure, but in the photographs it looks like when the jalousie windows were installed part of the porch opening was filled in. If feasible it would be more appropriate to have the new windows the full height of the original opening to give more of an open porch appearance. We can set a meeting for sometime after the 23rd to discuss this and whatever other comments the Commission has.

I will be recommending that the outbuilding be relocated closer to the house and stabilized such that it is usable.

Also - here are the garage ideas for you to consider. None of them are an exact suggestion, but to give you the idea of the proportions and character that would be appropriate.  
-Tania



<http://www.backroadhomes.com/noff/tcwalntlke.html>



<http://www.backroadhomes.com/noff/tcbethnygrg.html>



[http://www.countrycarpenters.com/Page3\\_3.htm](http://www.countrycarpenters.com/Page3_3.htm)



[http://www.countrycarpenters.com/Page3\\_11.htm](http://www.countrycarpenters.com/Page3_11.htm)

-----Original Message-----

**From:** Lori Love [mailto:llove@prizim-inc.com]  
**Sent:** Thursday, March 10, 2005 12:01 PM  
**To:** Tully, Tania  
**Cc:** 'Jinx'  
**Subject:** Clarification

Hi Tania,

We so wanted to stay for the last one but it got so late and we get up pretty early. I'm so hoping we're not last on the 23<sup>rd</sup> but if so, guess we will try to go in to work a bit later the next day. BTW, we had meant to ask you a couple of questions and of course didn't get a chance as you had to go in before we finished. On your list, there were two things we wanted a little more information on.

Replace jalousie windows in enclosed porch addition - OK with staff consult on sizes (when would we talk about sizes or do you have them in mind already)  
Relocate historic outbuilding - OK with location comment (what is the "location comment")

Thanks a lot,

**Lori J. Love**

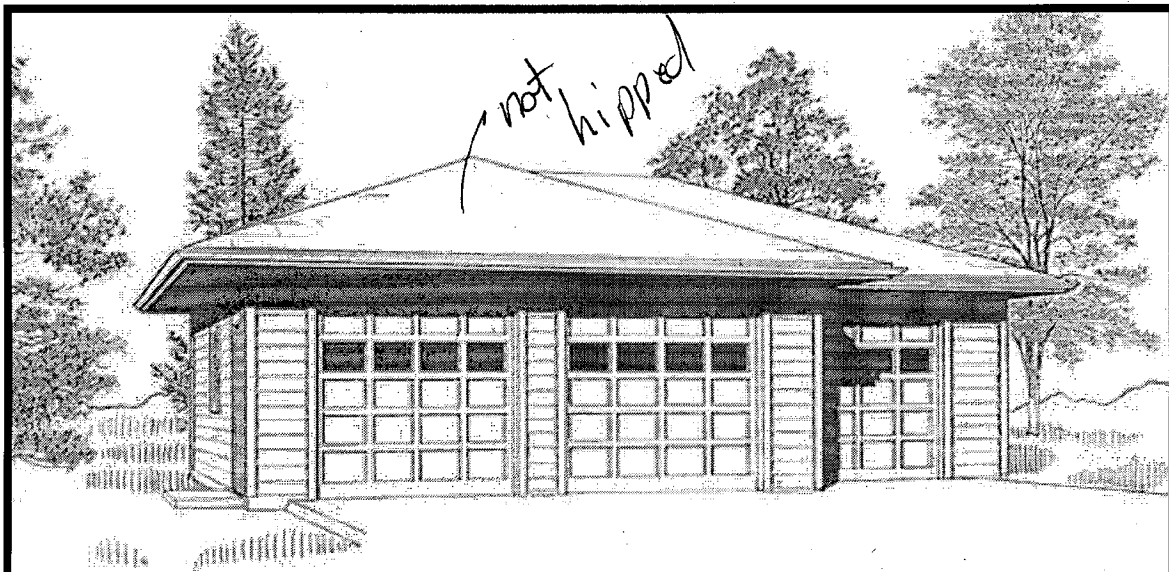
3/10/2005



*PRIZIM Inc.*  
*7 Park Avenue*  
*Gaithersburg MD 20877*  
*301.840.9316 ext.136*  
*301.840.0139 (fax)*

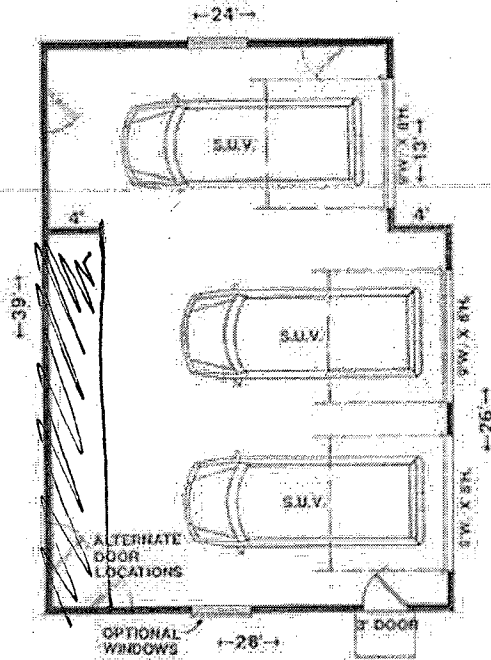
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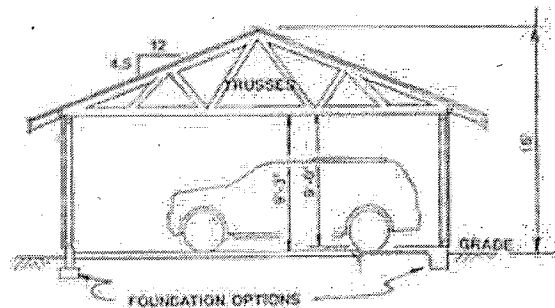


*This garage was designed specifically for the new large S.U.V. (sport utility vehicle) dimensions, with extra wall height and oversized garage doors.*

*Hipped roof contemporary styling blends with many existing and new homes.*



FLOOR PLAN



CROSS-SECTION



WIDTH: 39'	PLAN No. <b>1040-1</b>
DEPTH: 28'	
RIDGE HEIGHT: 15'	
FLOOR AREA: 1040 SF	

[ [Garage Main Page](#) ] [ [How to Order](#) ] [ [Our Guarantee](#) ] [ [Our Plansets](#) ] [ [Engineering](#) ]

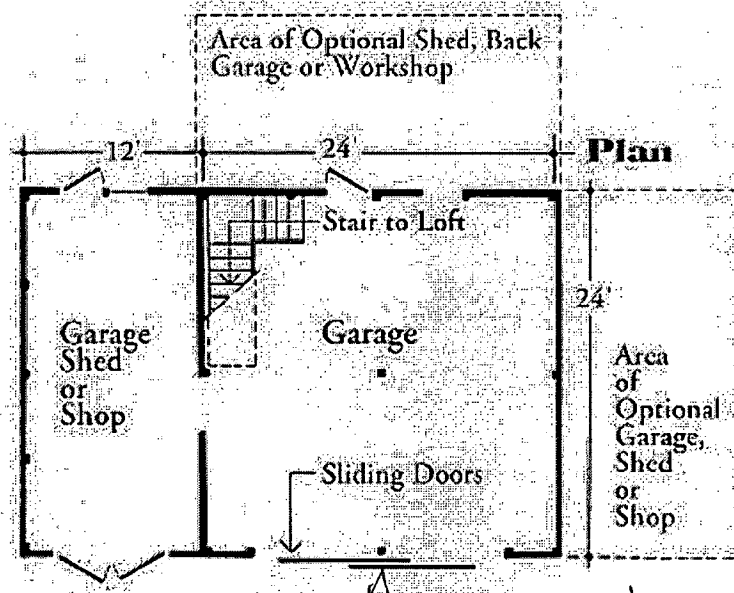
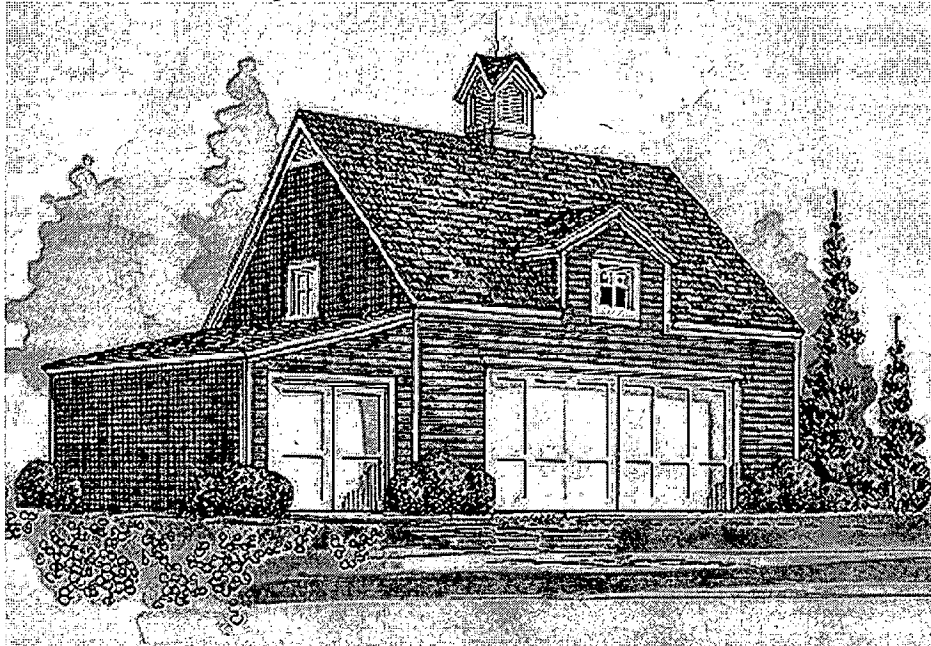
© Behm Design

# THE BETHANY GARAGE

Floor Space: 864 Sq. Ft.

Loft Space: 576 Sq. Ft.

Floor Space, Each Expansion Shed: 288 Sq. Ft.



**Order Pole Barn Plan #W-420G**

Send \$49.00 for first set, \$10.00 for each additional set, plus \$5.00 Postage to:

Donald J. Berg, A.I.A.  
 P.O. Box 698  
 Rockville Centre, NY 11571  
 New York residents add sales tax.

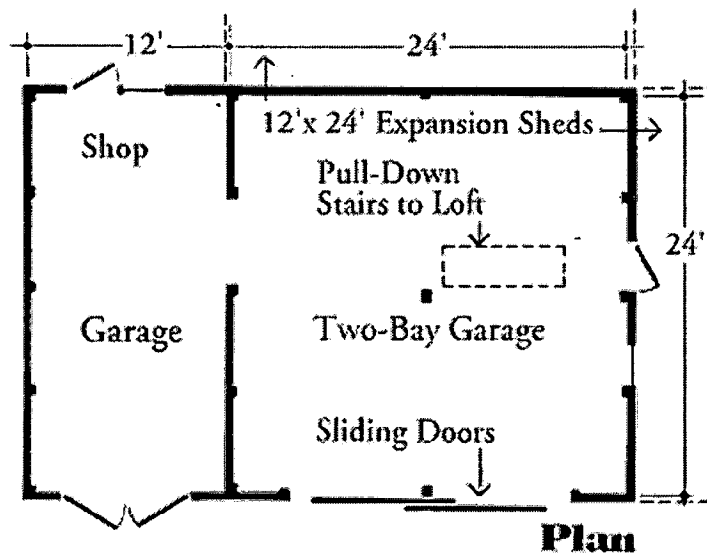
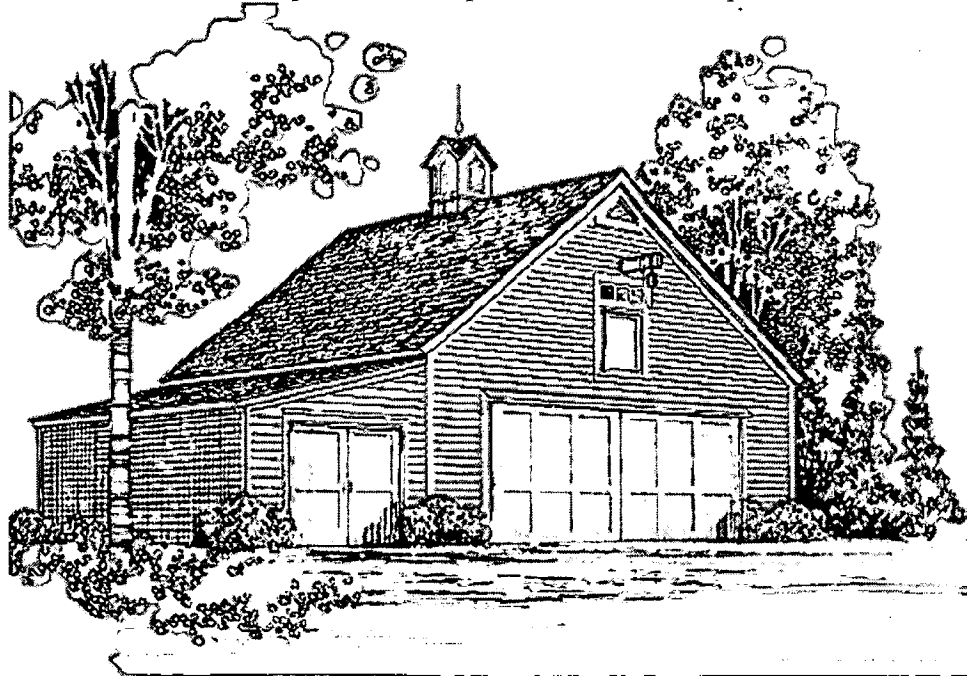
*could be regular garage doors w/ historic look*

# THE WALNUT LAKE GARAGE

Floor Space: 864 Sq. Ft.

Loft Space: 576 Sq. Ft.

Floor Space, Each Expansion Shed: 288 Sq. Ft.



**Order Pole Barn Plan #W-441L**

Send \$49.00 for first set, \$10.00 for each additional set, plus \$5.00 Postage to:

**Donald J. Berg, A.I.A.**  
**P.O. Box 698**  
**Rockville Centre, NY 11571**  
New York residents add sales tax.



Existing North Elevation

Jenkins-Love House  
19210 Liberty Mill Road  
Germantown, MD





SEE NOTES FOR MATERIALS & FINISHES

North Elevation. 1" = 8'0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD





East Elevation

Jenkins-Love House  
19210 Liberty Mill Road  
Germantown, MD

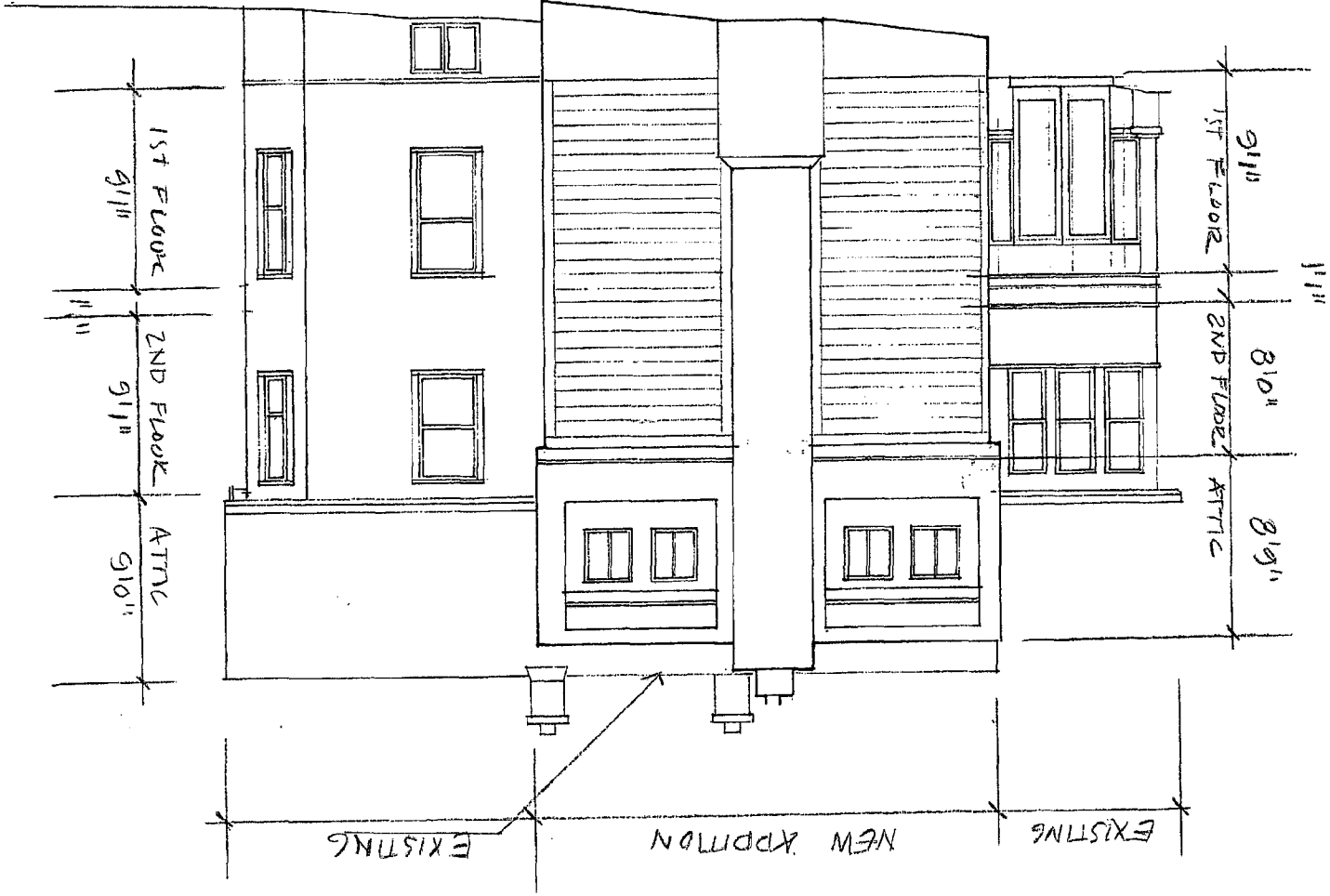






Jenkins-Love House  
19210 Liberty Mill Road  
Germantown MD

East Elevation

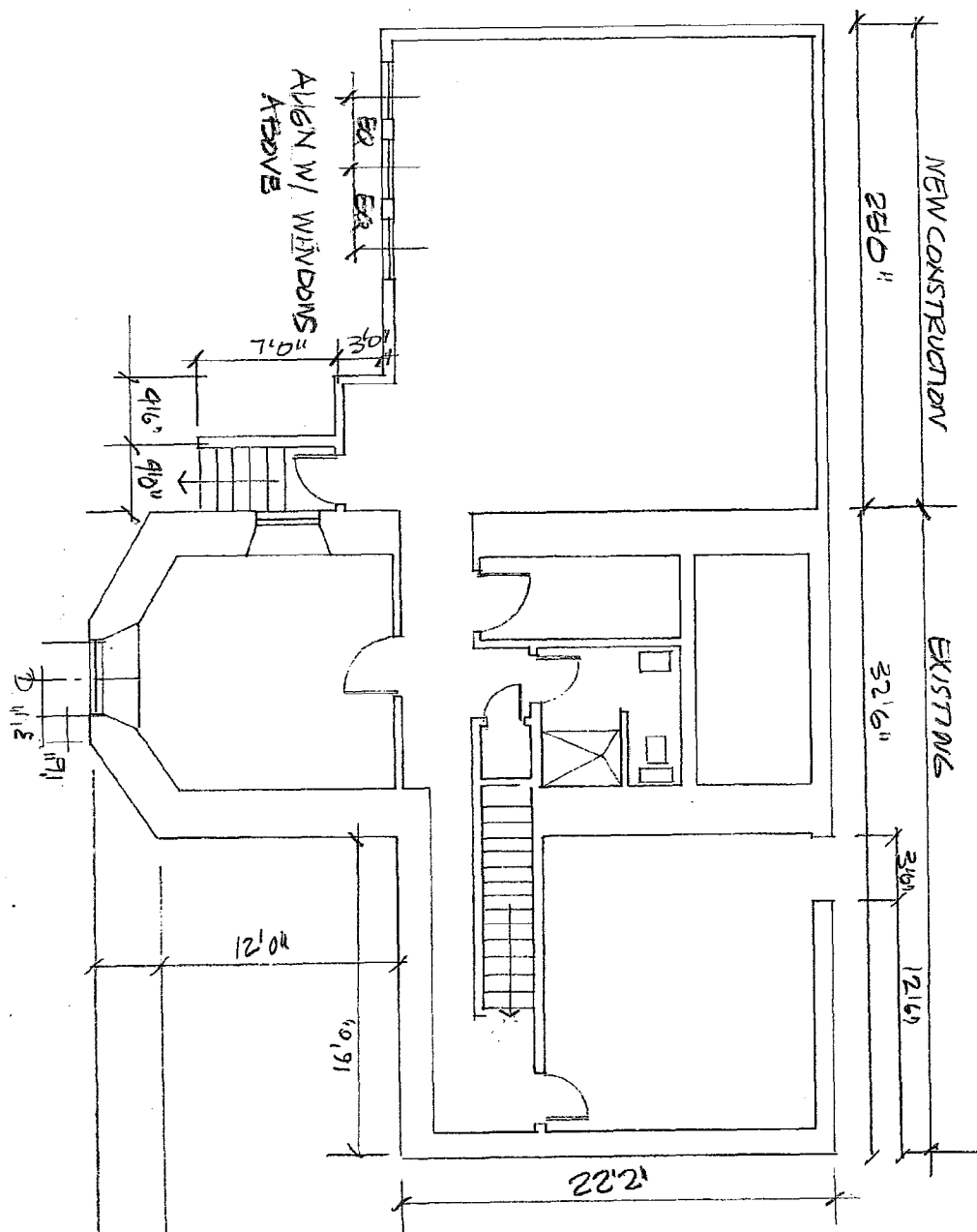




West Elevation

Jenkins-Love House  
19210 Liberty Mill Road  
Germantown, MD

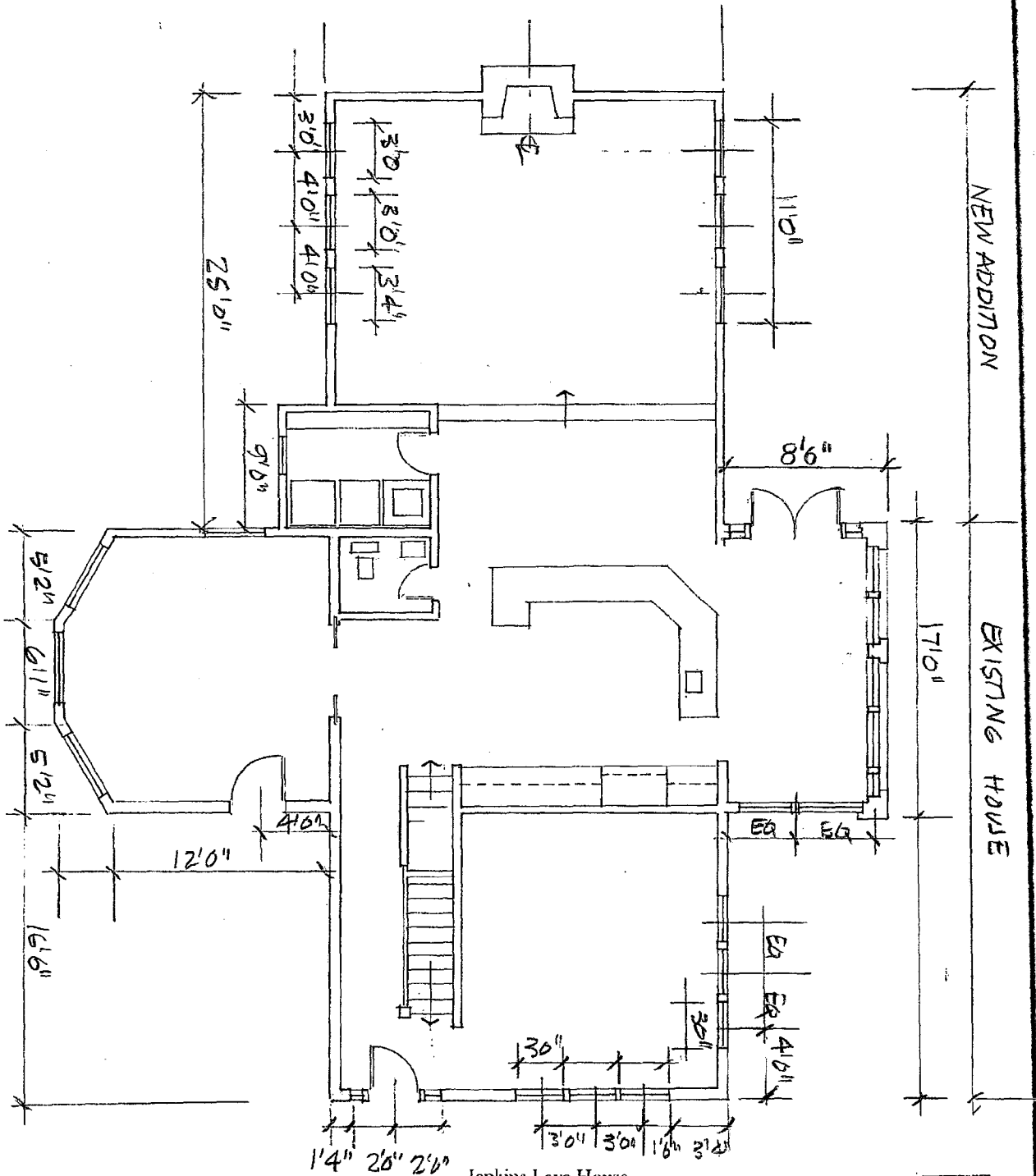




Basement Plan 1" = 8'0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD

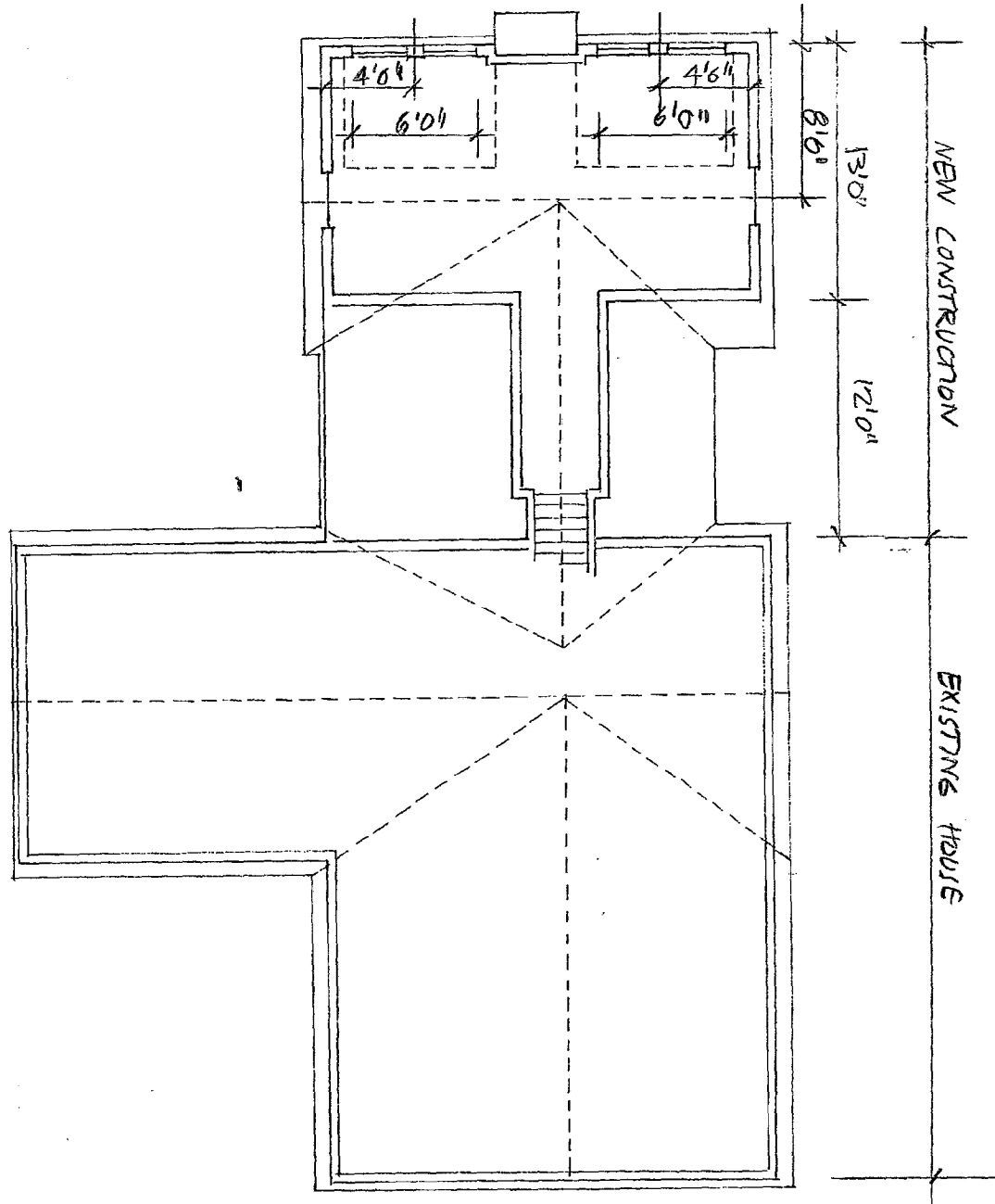




Ground Floor Plan

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD

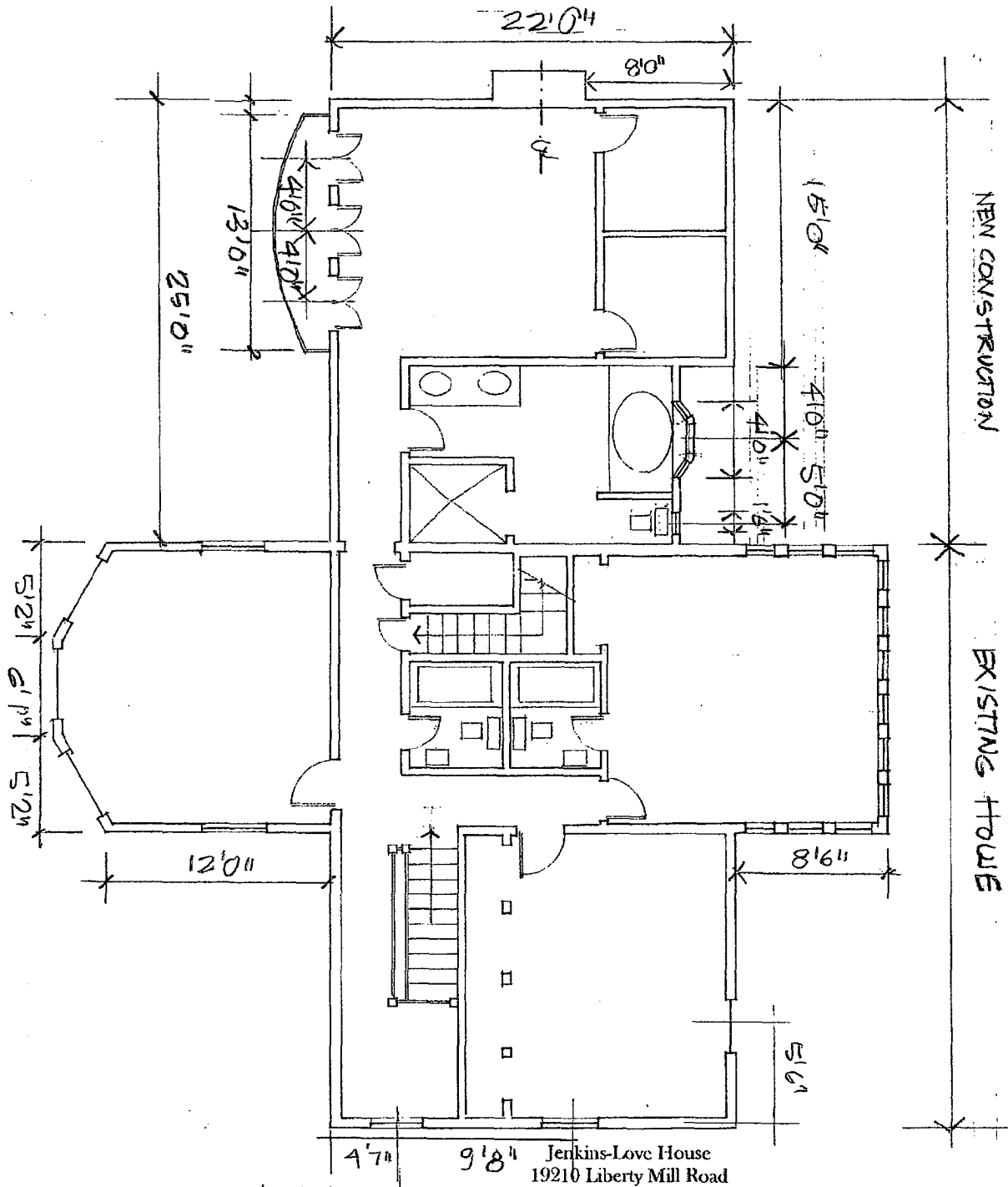




Attic Plan

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD





Second Floor Plan 1" = 8'0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 - Germantown, MD



S elev inaccurate  
bumpcut not shown  
nor bay window

*Tentatively  
3/23 for prelim.*

**Tully, Tania**

---

**From:** Tully, Tania  
**Sent:** Wednesday, February 09, 2005 10:24 AM  
**To:** 'Lori Love'  
**Subject:** RE: Liberty Mill House

Lori-  
You are welcome. I look forward to seeing the proposal.

The first meeting in March is the 9th and the drawings are due to me by Feb 16. Hand delivery is generally the best method, but you can also mail them if they go out on Friday. Please don't send full size drawings - 11x17 is the largest we can accommodate. Also be sure to include a written description of the proposal and a few photographs.

The mailing address is:  
Montgomery County Department of Park and Planning  
8787 Georgia Avenue  
Silver Spring, MD 20910

For hand delivery our office location is:  
1109 Spring Street, Suite 801

Let me know if you have any questions. I will tentatively put you on the agenda for a preliminary consultation on March 9th.

-Tania Tully

Tania Georgiou Tully  
Historic Preservation Planner  
Montgomery County Department of Park and Planning  
8787 Georgia Avenue  
Silver Spring, MD 20910  
301-563-3400  
301-563-3412 (fax)  
[www.mc-mncppc.org](http://www.mc-mncppc.org)

-----Original Message-----

**From:** Lori Love [mailto:mzlove@comcast.net]  
**Sent:** Sunday, February 06, 2005 3:50 PM  
**To:** Tully, Tania  
**Subject:** Liberty Mill House

Hi Tania,

Thank you again for coming out and meeting with us last month. Both my husband and I enjoyed meeting you. We are meeting with Larry on Wednesday night to look at what we hope



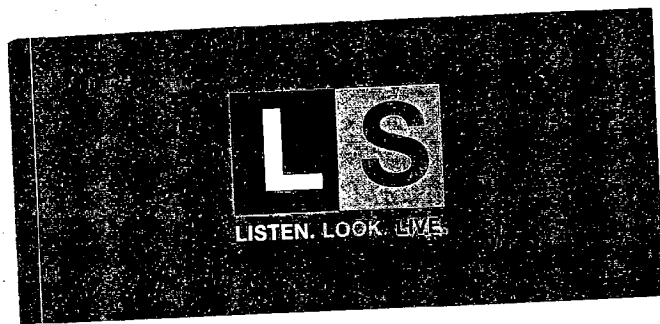
are the final preliminary drawings. I don't recall what the date was for the 1<sup>st</sup> meeting in March but I'm hoping to have something to you by the end of the week. What is the best to get those drawings to you?

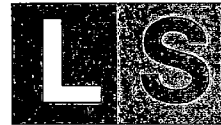
Brgds,

Lori  
240-899-0777

--

No virus found in this outgoing message.  
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Version: 7.0.300 / Virus Database: 265.8.5 - Release Date: 2/3/2005





LARRY SAUER | AIA

6504 75th Place  
Cabin John, Maryland 20818

44 Old Bay Road,  
Rehoboth, Delaware 19971

t 202.997.2627 | f 270.964.5426

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RICHARD JENKINS  
Program Manager

[richard.jenkins@alphainsight.com](mailto:richard.jenkins@alphainsight.com)

Alphainsight Corporation  
3130 Fairview Park Drive, Suite 600  
Falls Church, Virginia 22042

p 202-261-8402  
c 240-899-7479  
f 202-261-8581

**Tully, Tania**

---

**Subject:** Bowman House - 3:00 appt  
**Location:** Germantown

**Start:** Mon 1/10/2005 2:00 PM  
**End:** Mon 1/10/2005 4:00 PM

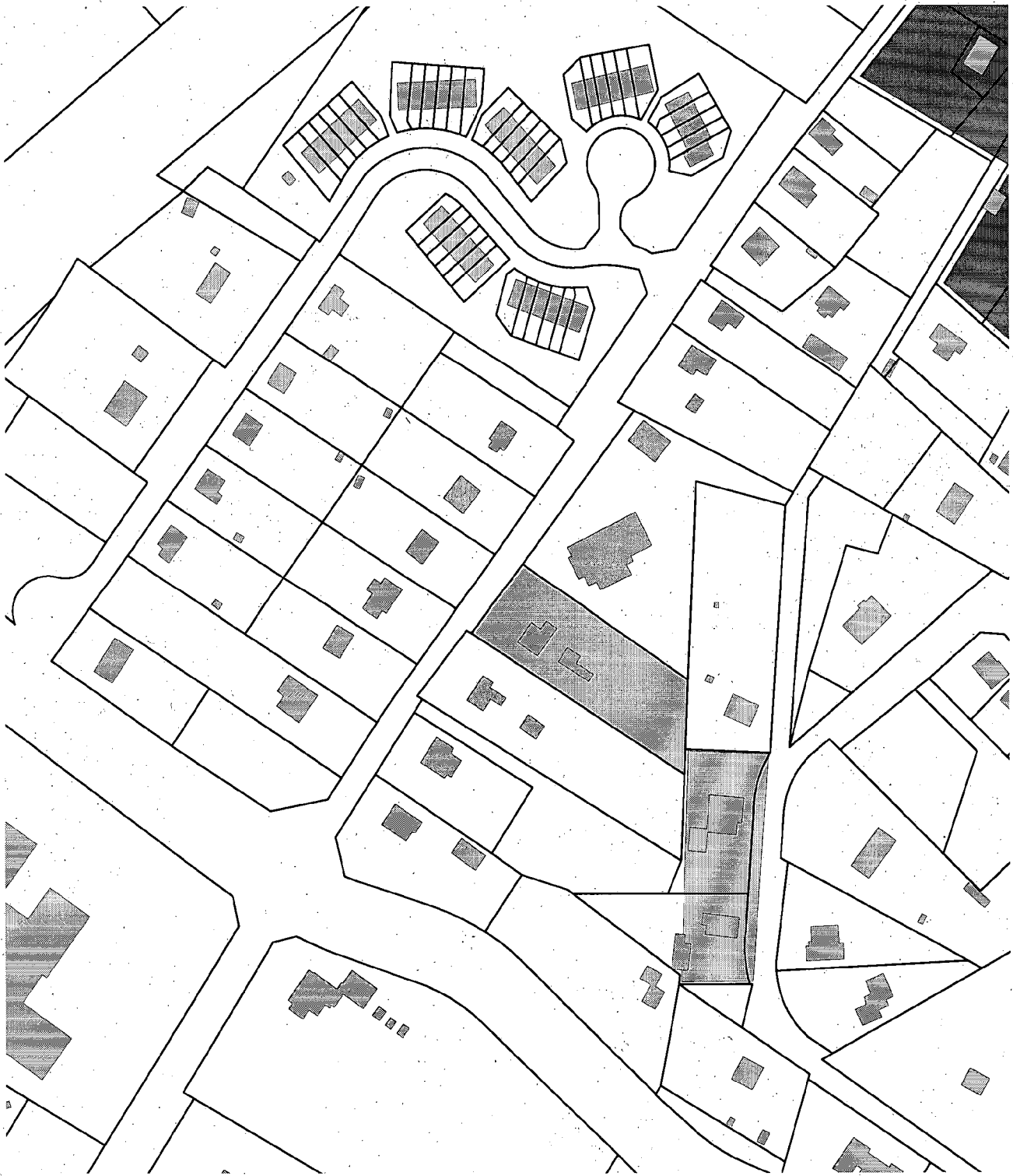
**Recurrence:** (none)

Lori Love  
240-899-0777

19219 LIBERTY MILL  
UPTON BOWMAN HOUSE

19/13-06

# 19219 LIBERTY MILL RD, GERMANTOWN



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Casual User Application



M-NCPPC  
MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING  
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue - Silver Spring, Maryland 20910-3760

14 NW  
A 77°17'30"

720,000 FT

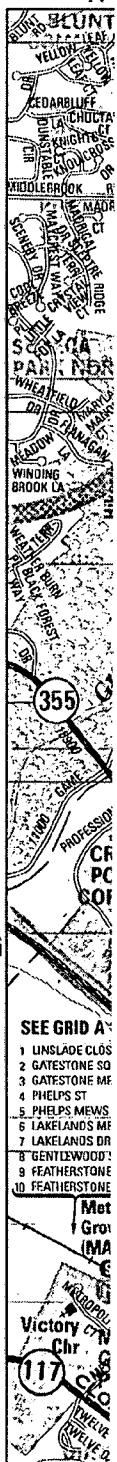
13 NW

Joins Map 9

12 NW

77°15'00" 730,000 FT

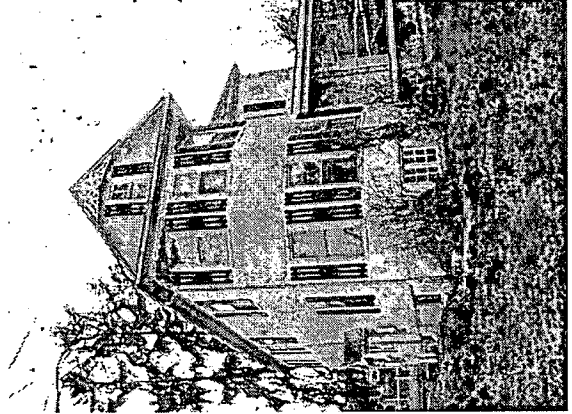
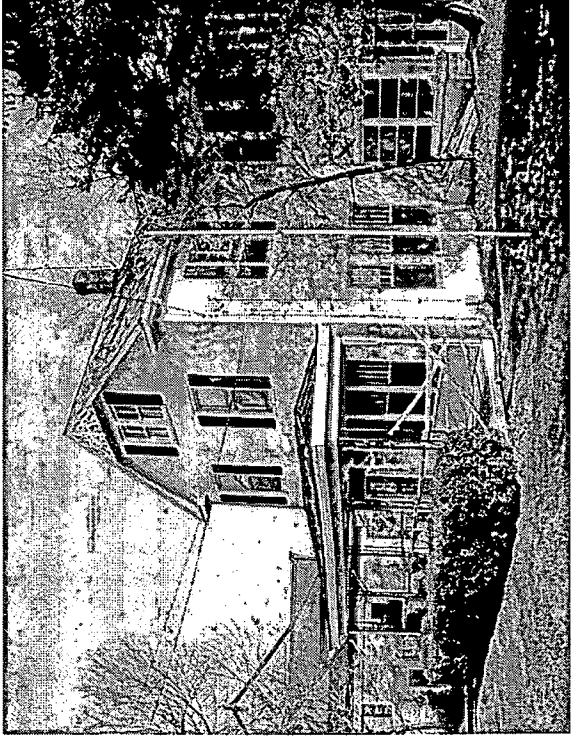
11 NW

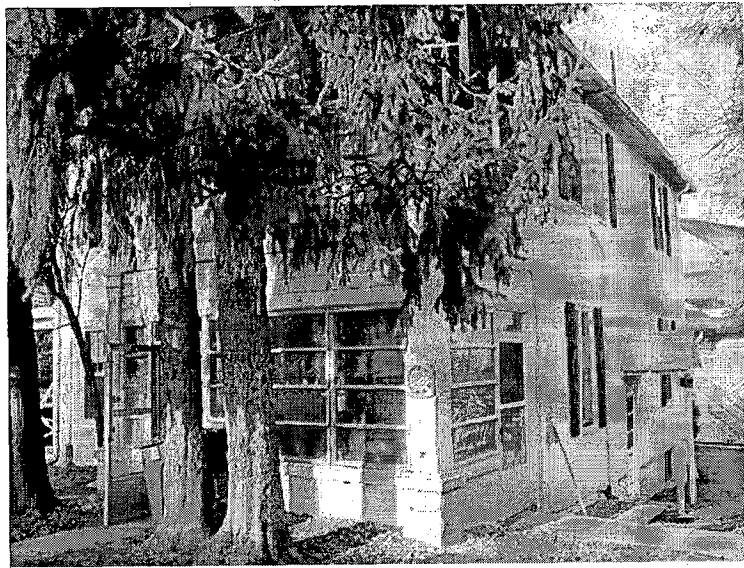


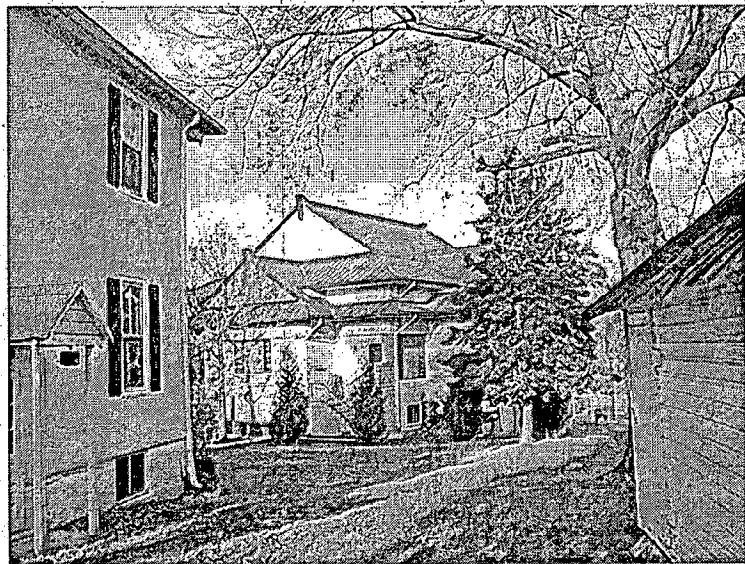
- SEE GRID A:
- 1 UNSLADE CLOS
  - 2 GATESTONE SO
  - 3 GATESTONE ME
  - 4 PHELPS ST
  - 5 PHELPS MEWS
  - 6 LAKELANDS ME
  - 7 LAKELANDS DR
  - 8 GENTLEWOOD
  - 9 FEATHERSTONE
  - 10 FEATHERSTONE

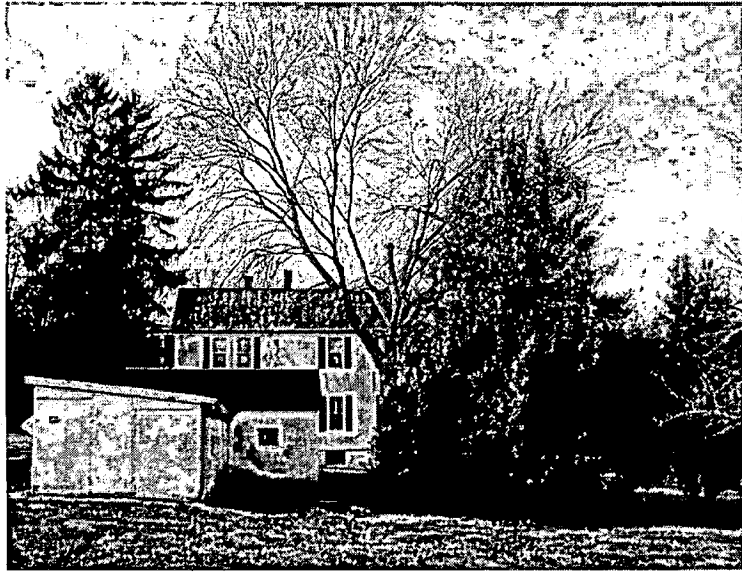
Met Grov (MA)  
Victory Chr

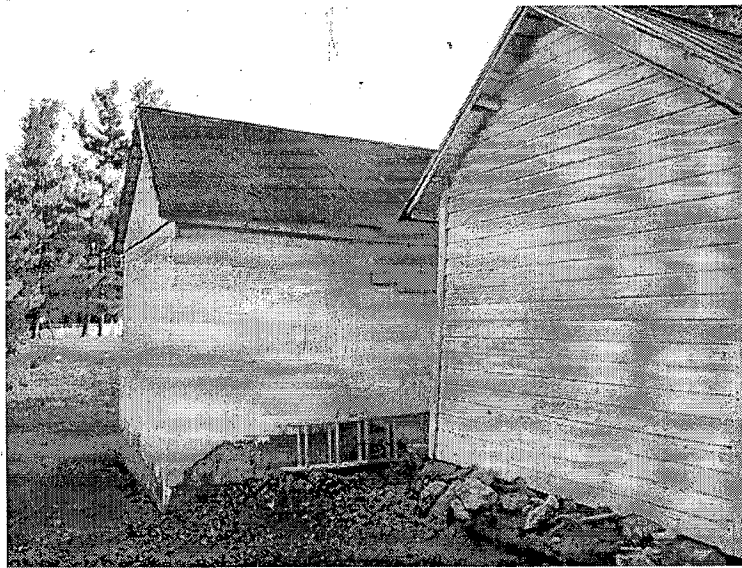


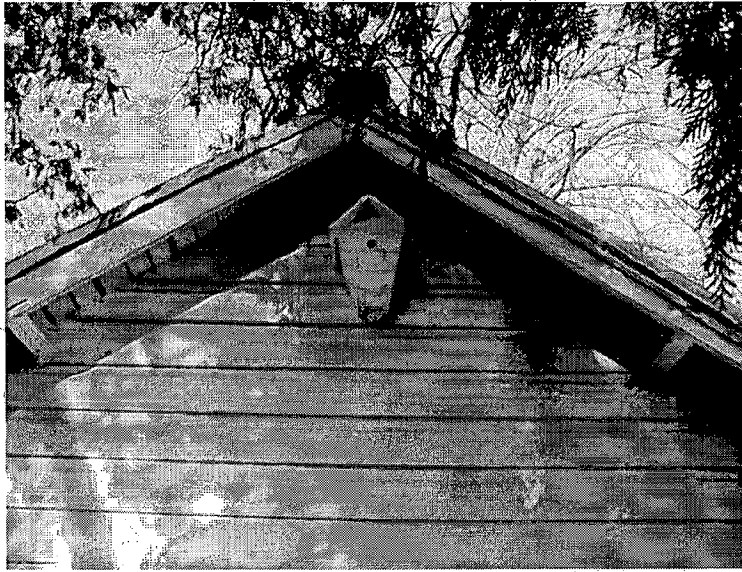




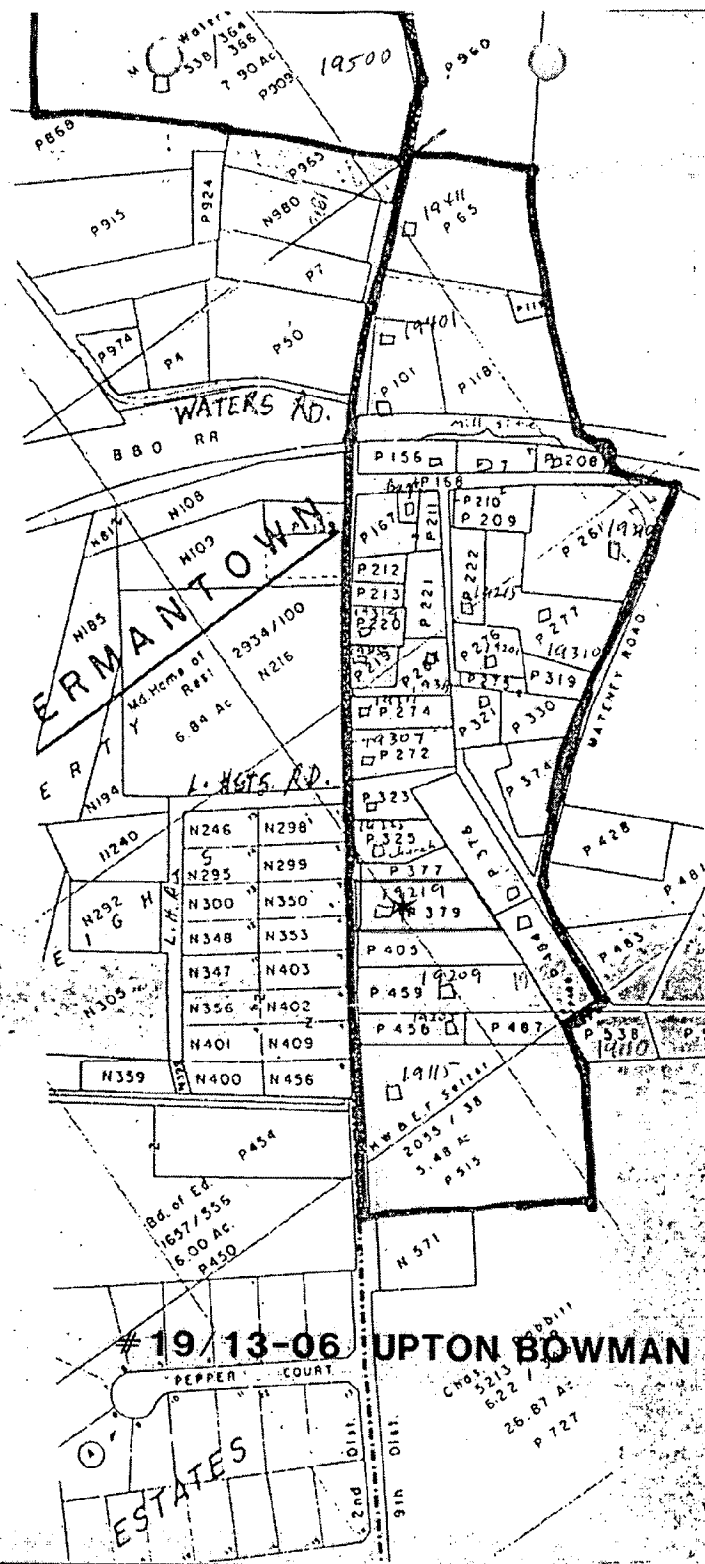








19219 -  
19209 -  
19206 -



#19/13-06 UPTON BOWMAN HOUSE

ESTATES

CHO. 5213  
6.22 AC.  
26.87 AC.  
P 727

shingles and small windows. The long front porch, however, has distinctive classical columns.

*Trinity United Methodist Church  
19225 Germantown Road*

See Chapter 9: "Churches".



*Upton Bowman House and Charles Bowman House  
19219 & 19209 Germantown Road  
LIBERTY MILL*

In 1888 and 1889 Ella Darby acquired three parcels of land totaling about six acres. In 1895, one-half acre of that property was sold to the County School Commissioners for a school (next to where Trinity Church would later be). Clara Bowman bought all three parcels in 1901 and both houses were built soon after.

Upton and Julia Bowman lived in the house closest to the church and Charles and Clara Bowman lived in the next house,



*19219 Liberty Mill Road  
Upton Bowman House — 19309 Germantown Road —*

Germantown in

the blue one at t  
their brother E  
side of the railro  
in 1888 (see Cl

The Bowm  
Methodist Chu

The two ho  
man house with  
with decorative  
side. The Charl  
in shape and ha  
window on the

The Upton  
jorie Unglesbee  
in 1960. The C  
sey Unglesbee  
them in 1980,  
owners all of wh



*Charles*



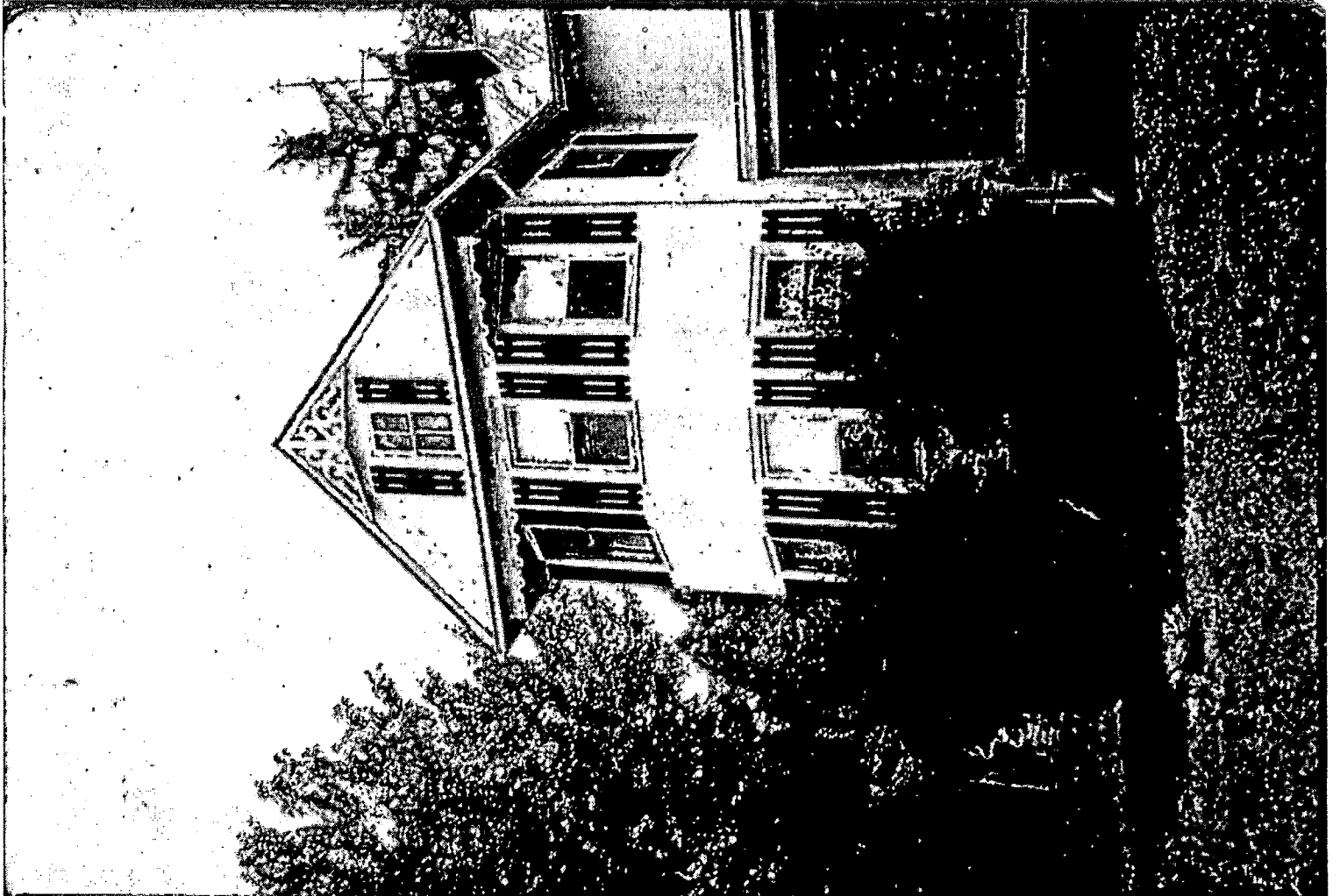
the blue one at the top of the hill. These two brothers, along with their brother Eldridge, who lived in a house just on the other side of the railroad bridge, built the first mill by the railroad tracks in 1888 (see Chapter 14) and operated it until 1917.

The Bowmans donated the land to build the new Trinity Methodist Church in 1902.

The two houses had very different styles. The Upton Bowman house with the white exterior has both front and side gables with decorative gable boards and a projecting bay on the east side. The Charles Bowman house is painted blue, is more square in shape and has a small rear second-story balcony and a stairway window on the east side. It also has decorative gable boards.

The Upton Bowman house was bought by Harry and Marjorie Unglesbee in 1947, and then by James Lambert and his wife in 1960. The Charles Bowman house was bought by Mary Dorsey Unglesbee and Larry Unglesbee in 1951 and was sold by them in 1980, from which time it has passed through several owners all of which rented the house to tenants. The Unglesbees built the small brick house between the two houses. Larry and Harry Unglesbee were brothers who had a farm in the area and retired here in Germantown.











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If, however, you choose to register online, the step-by-step instructions are located on the back of this card.

00128190

YOU MAY REGISTER ELECTRONICALLY BY GOING TO [WWW.NYCOURTS.GOV/ATTORNEYS](http://WWW.NYCOURTS.GOV/ATTORNEYS)



Attorney Online Services  
**ATTORNEY REGISTRATION**

**WWW.NYCOURTS.GOV/ATTORNEYS**

**STEP 1: CREATE AN ONLINE SERVICES ACCOUNT ELECTRONICALLY**

To do this, you will be asked for the following information to verify your identity:

- Attorney Registration Number - You can find this number on your hard-copy registration form or on the address label of this mailing.
- Date of Birth
- The sum of the digits of your Social Security Number
- An email address of your choosing to be used by us solely to correspond with you about your Attorney Online Services account. This email address will not be made public.

You will then create a password and respond to a challenge question which will allow you to reset your password in the future.

**STEP 2: REGISTER AND/OR UPDATE ADDRESS INFORMATION**

In order to complete the registration process, make sure you have:

- Verified the number of Continuing Legal Education (CLE) credits you will report for this reporting cycle, if applicable.
- A valid credit card number, if you are required to pay a registration fee. (Visa, MasterCard or AmEx only)

At the conclusion of the registration process, you will be notified when your submission is successfully entered and given the opportunity to print a receipt for your records. If you successfully register electronically, it is unnecessary to also submit the enclosed form by mail.

# LAWYER ASSISTANCE PROGRAMS

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## NEW YORK STATE LAWYER ASSISTANCE PROGRAMS

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**PERSONAL PROBLEMS** such as alcoholism, substance abuse, depression and stress affect the ability to practice law. Take the time to review the following questions and consider whether you or a colleague would benefit from the available Lawyer Assistance Program services. If you can answer "yes" to any of these questions, you may need help.

1. **ARE MY ASSOCIATES**, clients or family alleging that my behavior has changed or that I don't seem myself?
2. **IS IT DIFFICULT FOR ME** to maintain a routine and stay on top of responsibilities?
3. **HAVE I EXPERIENCED MEMORY PROBLEMS** or an inability to concentrate?
4. **AM I EXPERIENCING DIFFICULTIES** in managing emotions such as anger and sadness?
5. **HAVE I MISSED APPOINTMENTS** or appearances or failed to return phone calls? Am I keeping up with correspondence?
6. **HAVE MY SLEEPING** and eating habits changed?
7. **AM I EXPERIENCING A PATTERN** of relationship problems with significant people in my life (spouse/parent, children, partners/associates)?
8. **DOES MY FAMILY HAVE A HISTORY** of alcoholism, substance abuse or depression?
9. **DOES MY DRINKING OR TAKING DRUGS**, or misusing prescription drugs, provide a method to deal with my problems?
10. **IN THE LAST FEW MONTHS**, have I had more drinks or drugs than I intended, or felt I should cut back or quit, but was unable to do so?
11. **IS GAMBLING** making me careless of my financial responsibilities?
12. **DO I FEEL SO STRESSED**, burned out and depressed that I have thoughts of suicide?

***"There is Hope"***

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**PROFESSIONALS WILL EVALUATE** the situation and provide support and appropriate referrals. The consultation is free and confidential.

**CALL:**

**1-800-255-0569 .....NYSBA**

**212-302-5787 .....NYC BAR**

*Please note* the phone numbers above are for Lawyer Assistance Programs. For inquiries about Attorney Registration, call 212-428-2800, or send an e-mail to [attyreg@courts.state.ny.us](mailto:attyreg@courts.state.ny.us)

**VISIT THE LAP WEBSITES** at: [www.nysba.org](http://www.nysba.org), click on "for attorneys", then "lawyer assistance program"; or [www.nycbar.org](http://www.nycbar.org), click on "lawyer assistance program"

**REFERRALS MAY BE MADE** to appropriate community resources, self-help groups, outpatient counseling, inpatient facilities or private clinicians.

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**ALL SERVICES ARE CONFIDENTIAL AND PROTECTED UNDER JUDICIARY LAW § 499, WHICH STATES:**

1. **CONFIDENTIAL INFORMATION PRIVILEGED.**  
The confidential relations and communications between a member or authorized agent of a lawyer assistance committee sponsored by a state or local bar association and any person, firm or corporation communicating with such committee, its members or authorized agents shall be deemed to be privileged on the same basis as those provided by law between attorney and client. Such privilege may be waived only by the person, firm or corporation which has furnished information to the committee.
2. **IMMUNITY FROM LIABILITY.**  
Any person, firm or corporation in good faith providing information to, or in any other way participating in the affairs of, any of the committees referred to in subdivision one of this section shall be immune from civil liability that might otherwise result by reason of such conduct. For the purpose of any proceeding, the good faith of any such person, firm or corporation shall be presumed.

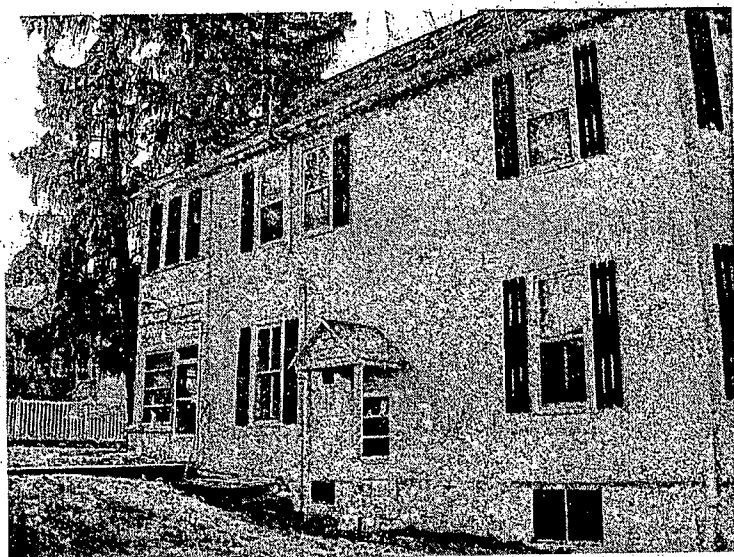
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***Alcoholism, drug addiction and mental health disorders are treatable diseases.***

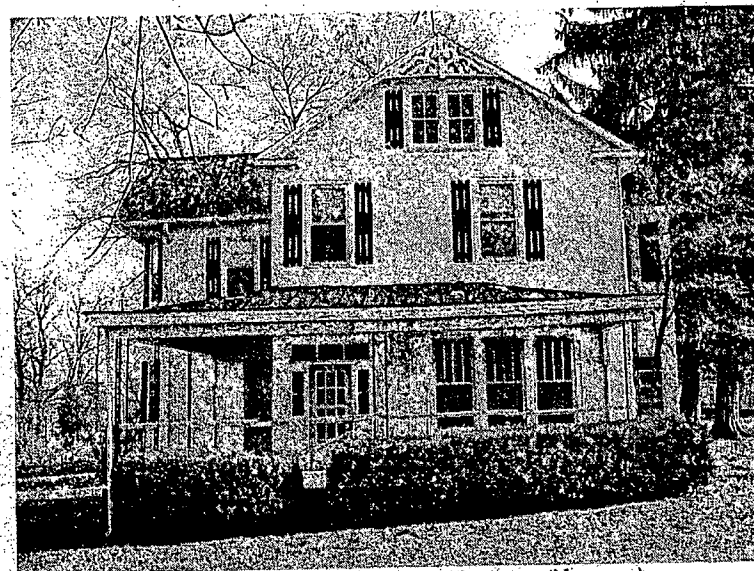


**NEW YORK STATE  
LAWYER ASSISTANCE PROGRAMS**

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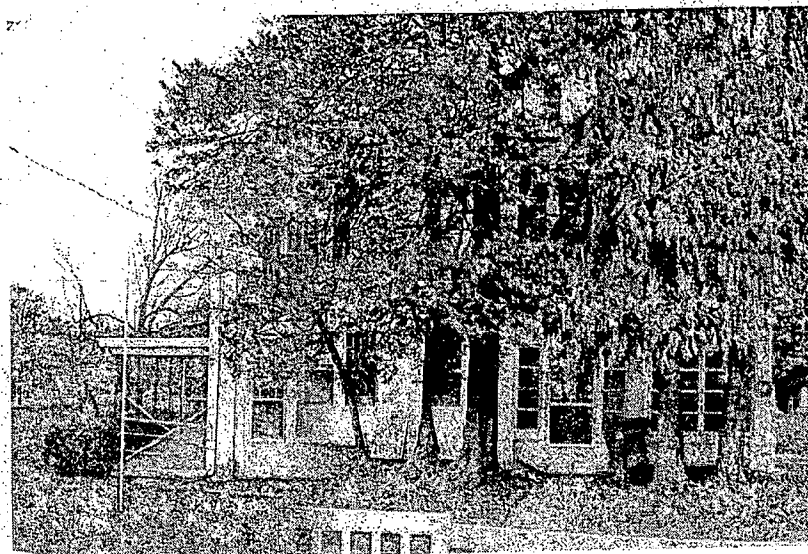
Looking North (rear of house)



Looking South (front of house)



Looking west (temple side)



Looking East

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD



## **Restoration of Historic house**

1. Remove stucco restore original wood siding where possible
2. Rebuild front porch that is severely water damaged and collapsing
3. Remove wrought iron columns and replace with columns matching existing
4. Restore roof brackets to porch columns, consistent with eave brackets
5. Build rail on porch with balusters matching columns
6. Repair existing windows where possible. Replace if necessary
7. Replace jalousie windows on side porch and replace with double hung windows
8. Removing side door on side porch; replacing rear door with double door
9. Enclose area under porch with brick matching existing brick piers
10. Remove shutters, not original to house.

## **Exterior of Addition**

1. Siding: Shiplap cedar siding
2. Windows to be wood double hung except attic. Attic windows wood casement
3. Doors :Wood
4. Fireplace: Brick
5. Roof: Metal standing seam

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD

Material and finish notes

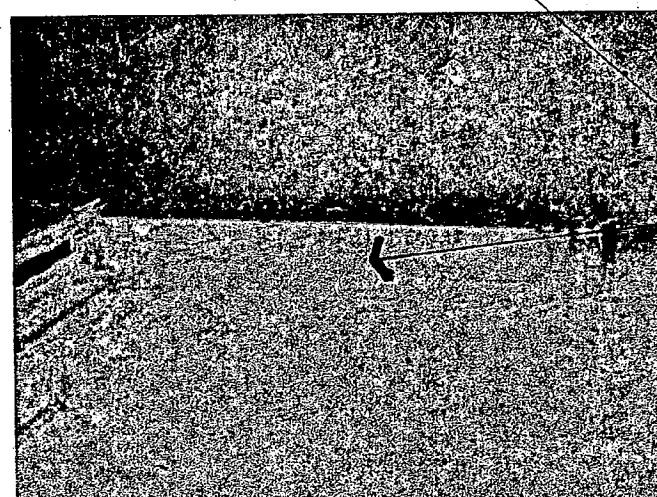
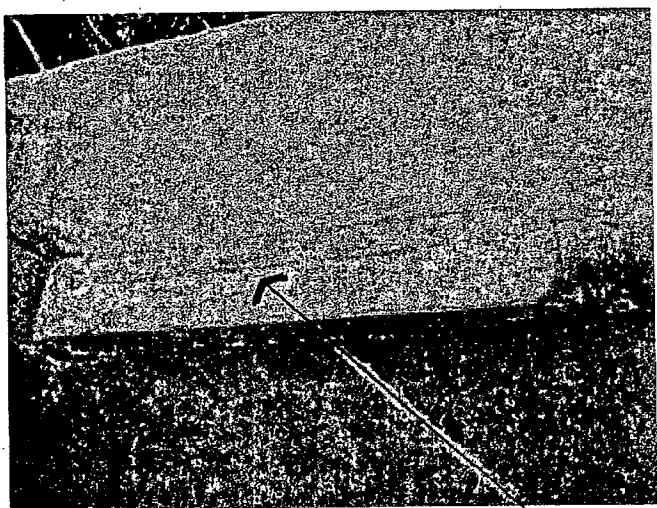


## Site Work

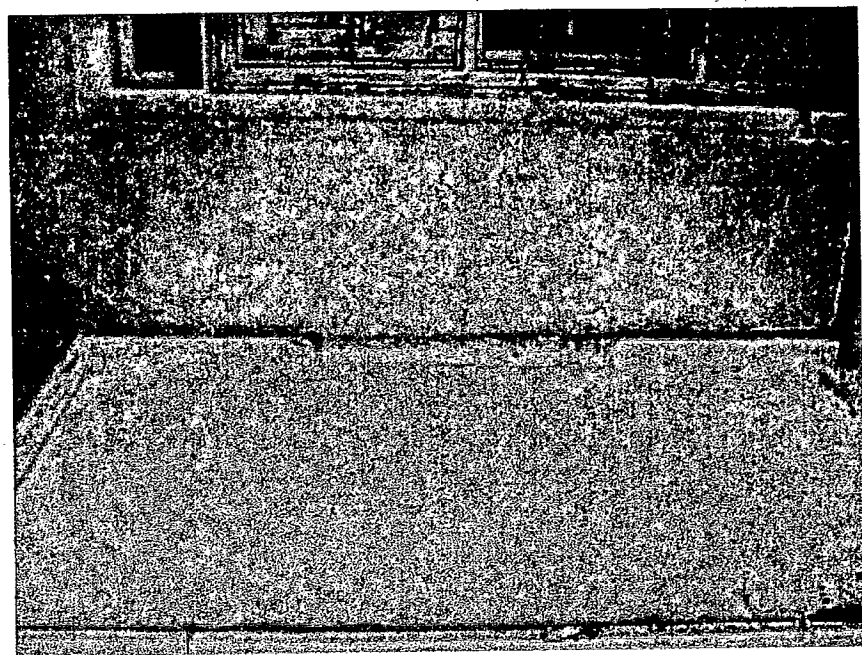
1. Drive way: Stamped Concrete, stone pattern or exposed aggregate concrete
2. Realign driveway within property line; currently over western boundary
3. Walks: brick
4. Relocate wood outbuilding to rear of property
5. Demolish concrete block outbuildings and replace with 3-car garage
6. Remove four trees along west side of house that are threatening the foundation
7. Plant Leland Cypress along eastern property line

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD

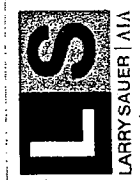




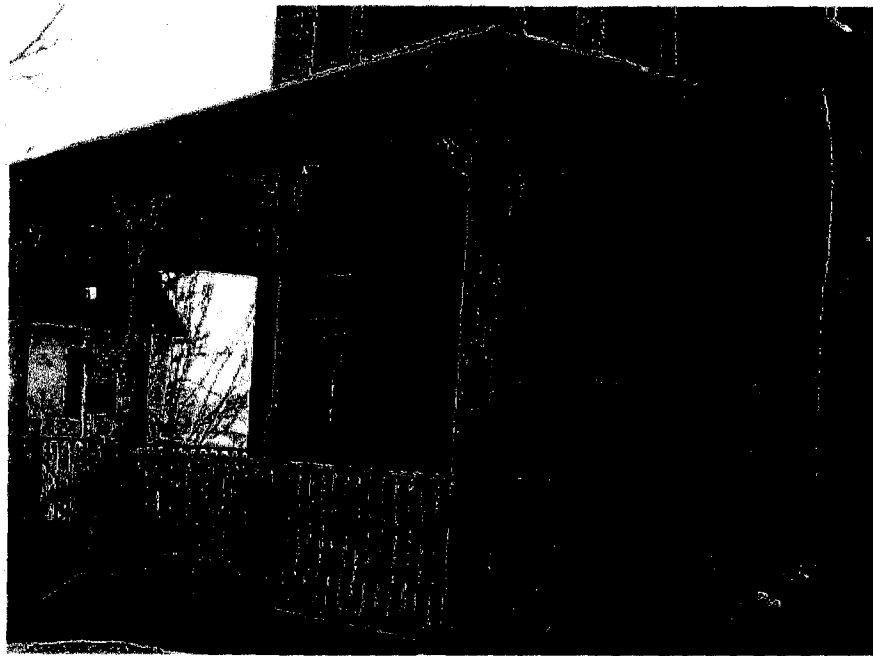
Indication of a top bracket attached to original column along perimeter of porch



Existing porch column



Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD



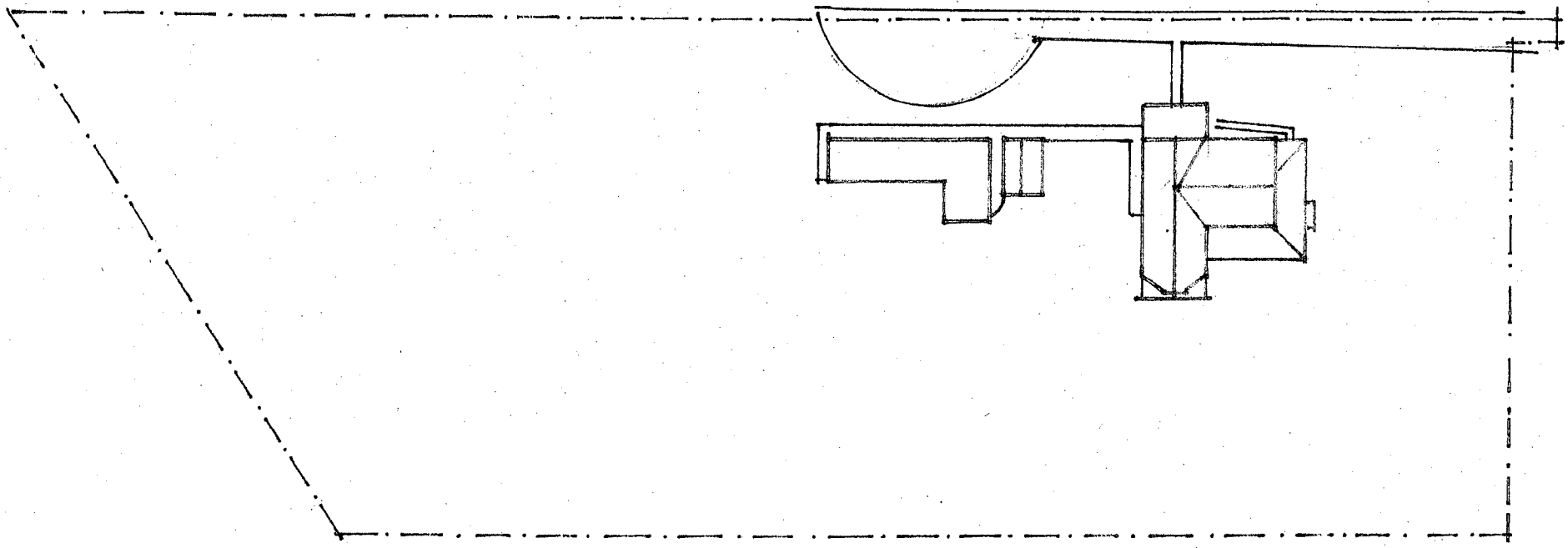
~~Recommended porch bracket~~

Similar house in Germantown

*Example*

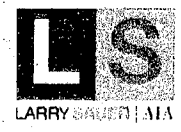
Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD

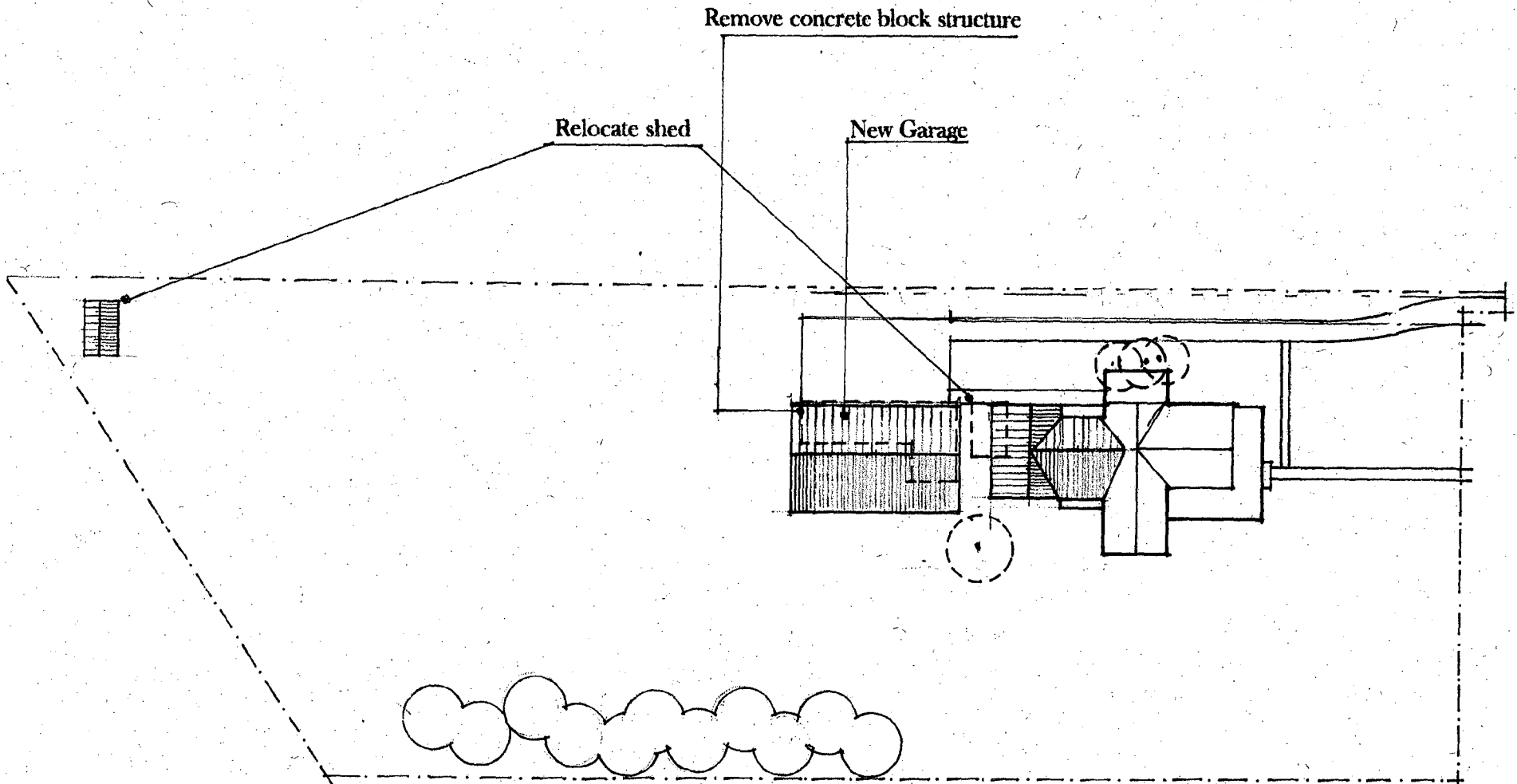




Existing Site Plan

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD





Remove concrete block structure

Relocate shed

New Garage



Site Plan

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD







Existing North Elevation

Jenkins-Love House  
19210 Liberty Mill Road  
Germantown, MD





SEE NOTES FOR MATERIALS & FINISHES

North Elevation 1"=8'0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD





View looking East

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD

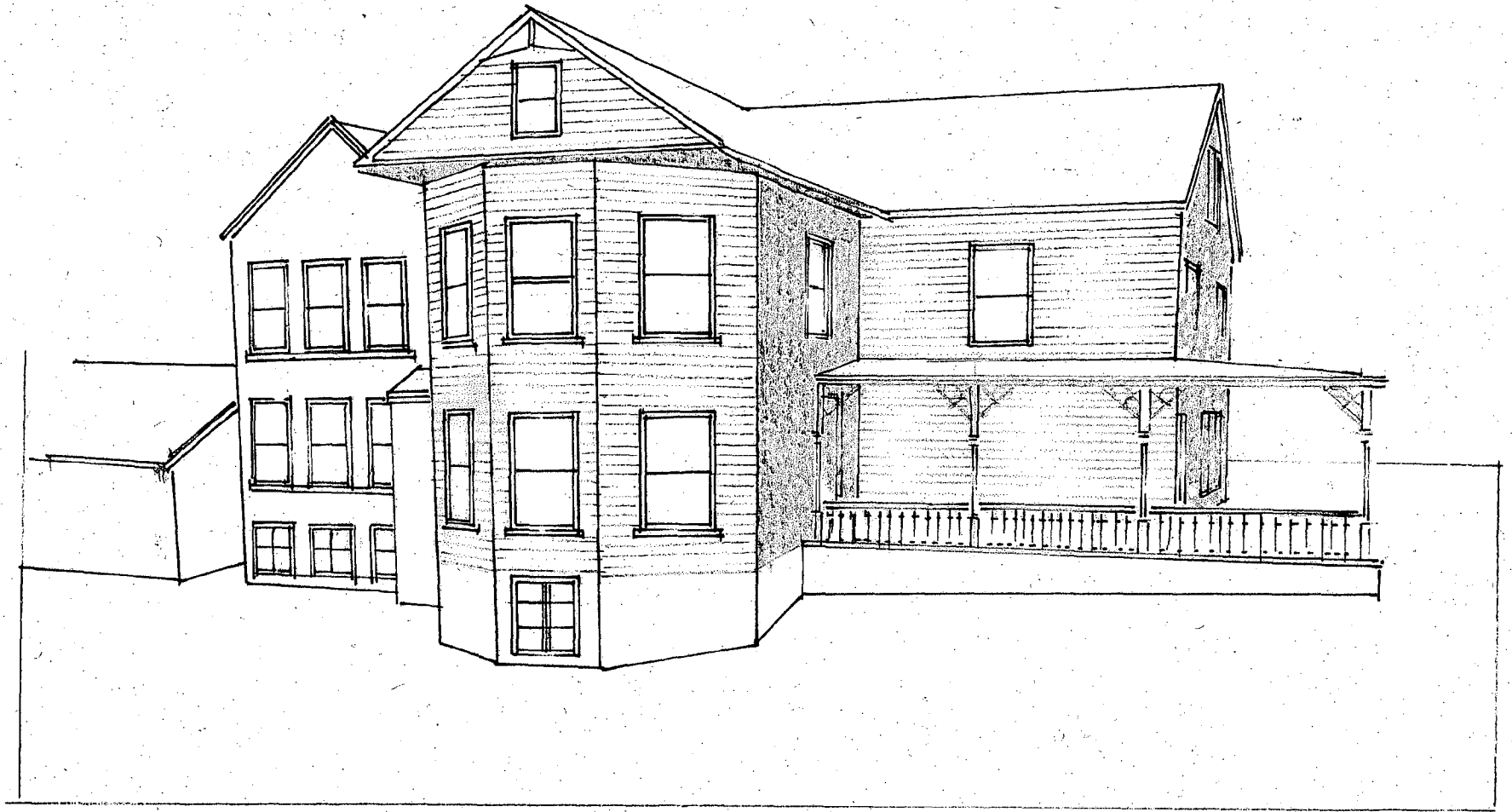




West Elevation

Jenkins-Love House  
19210 Liberty Mill Road  
Germantown, MD





View looking West

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD

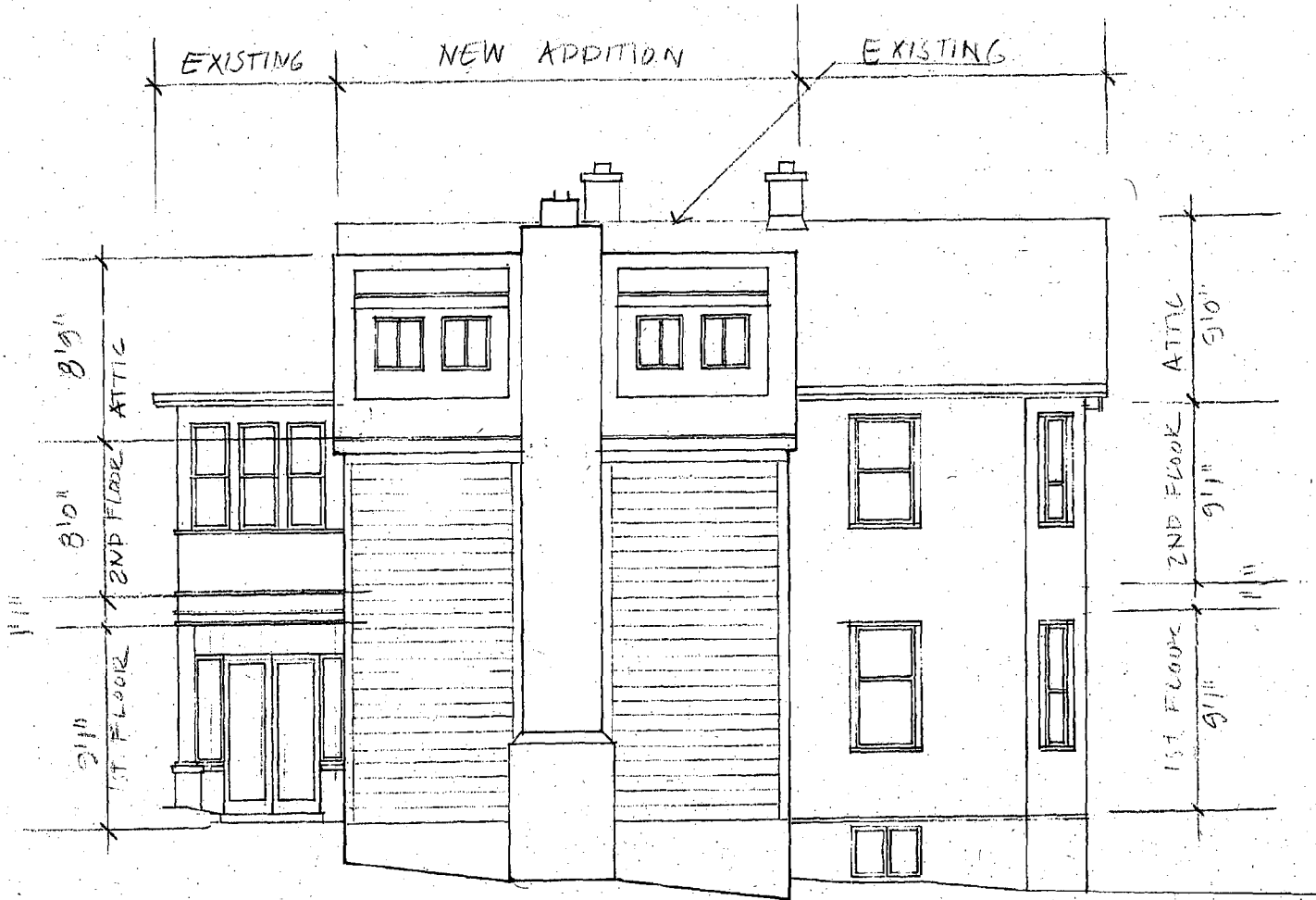




East Elevation

Jenkins-Love House  
19210 Liberty Mill Road  
Germantown, MD

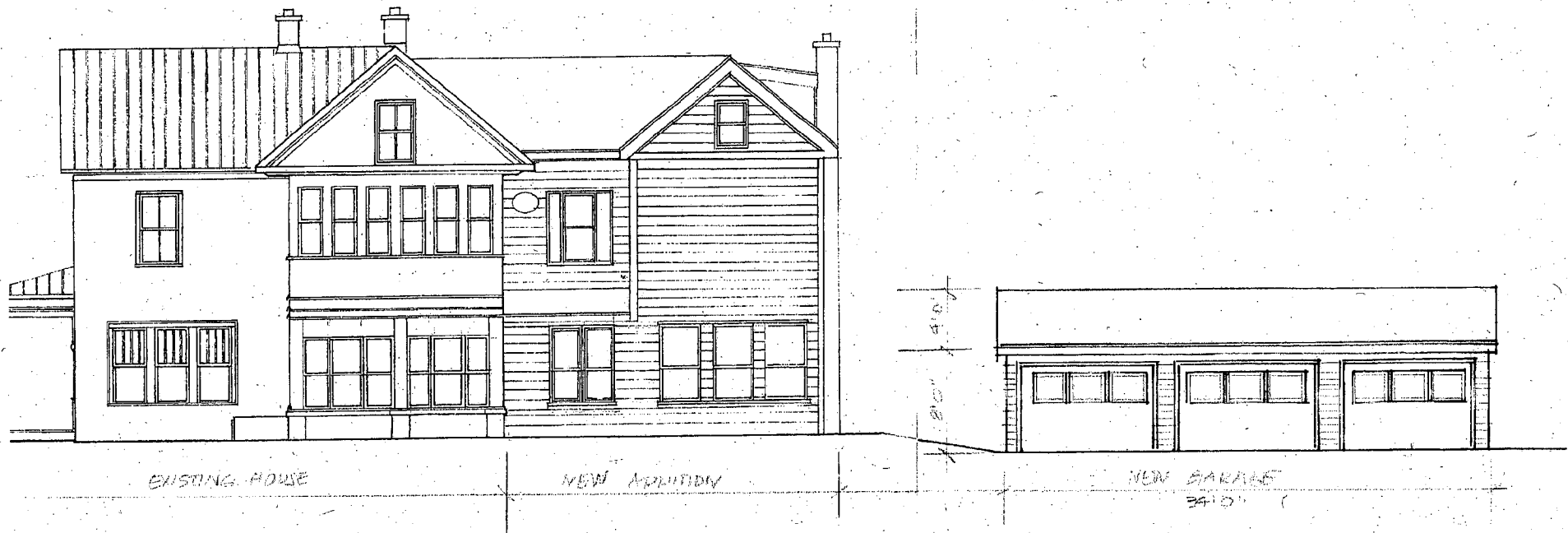




South Elevation

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown MD



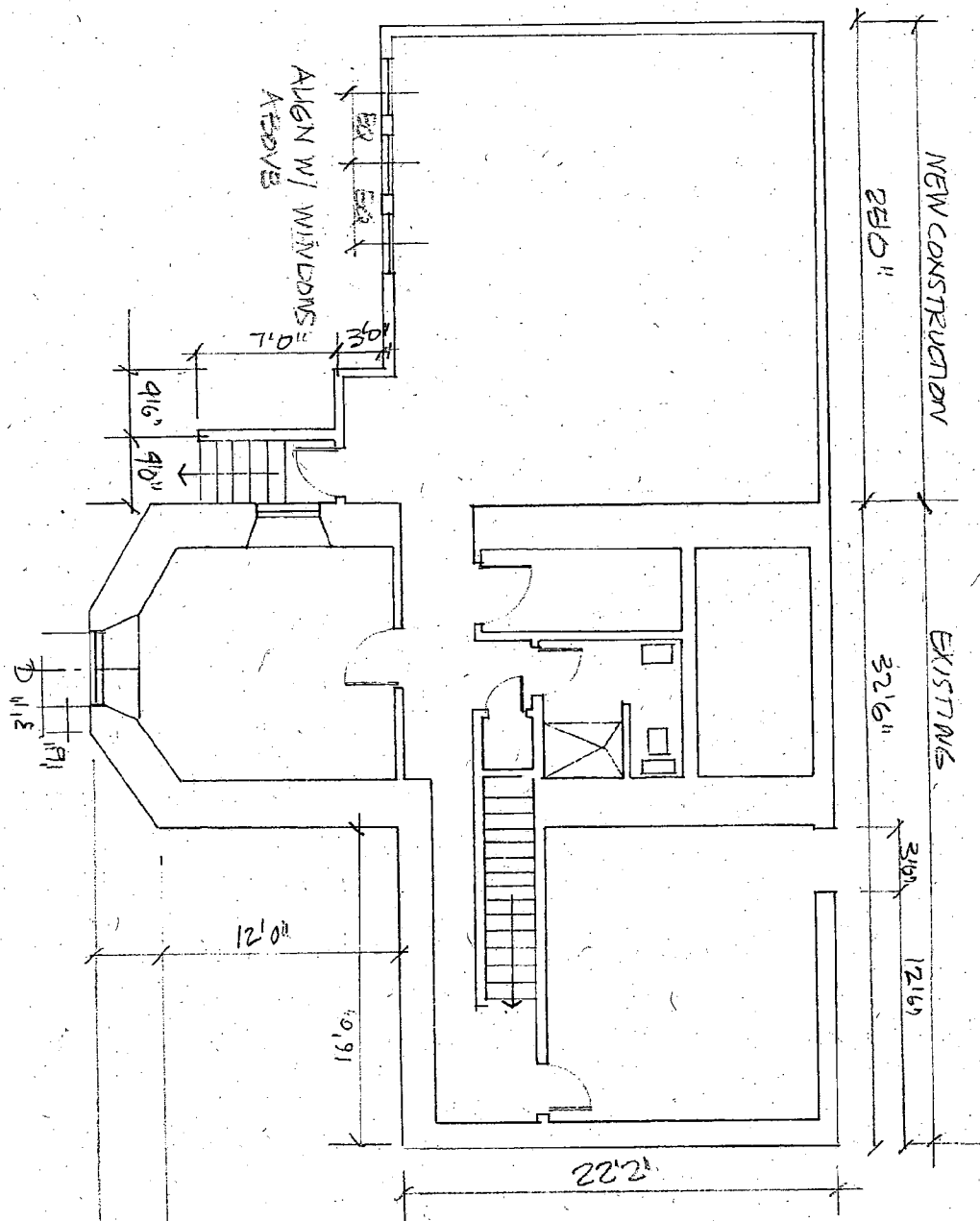


West Elevation

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



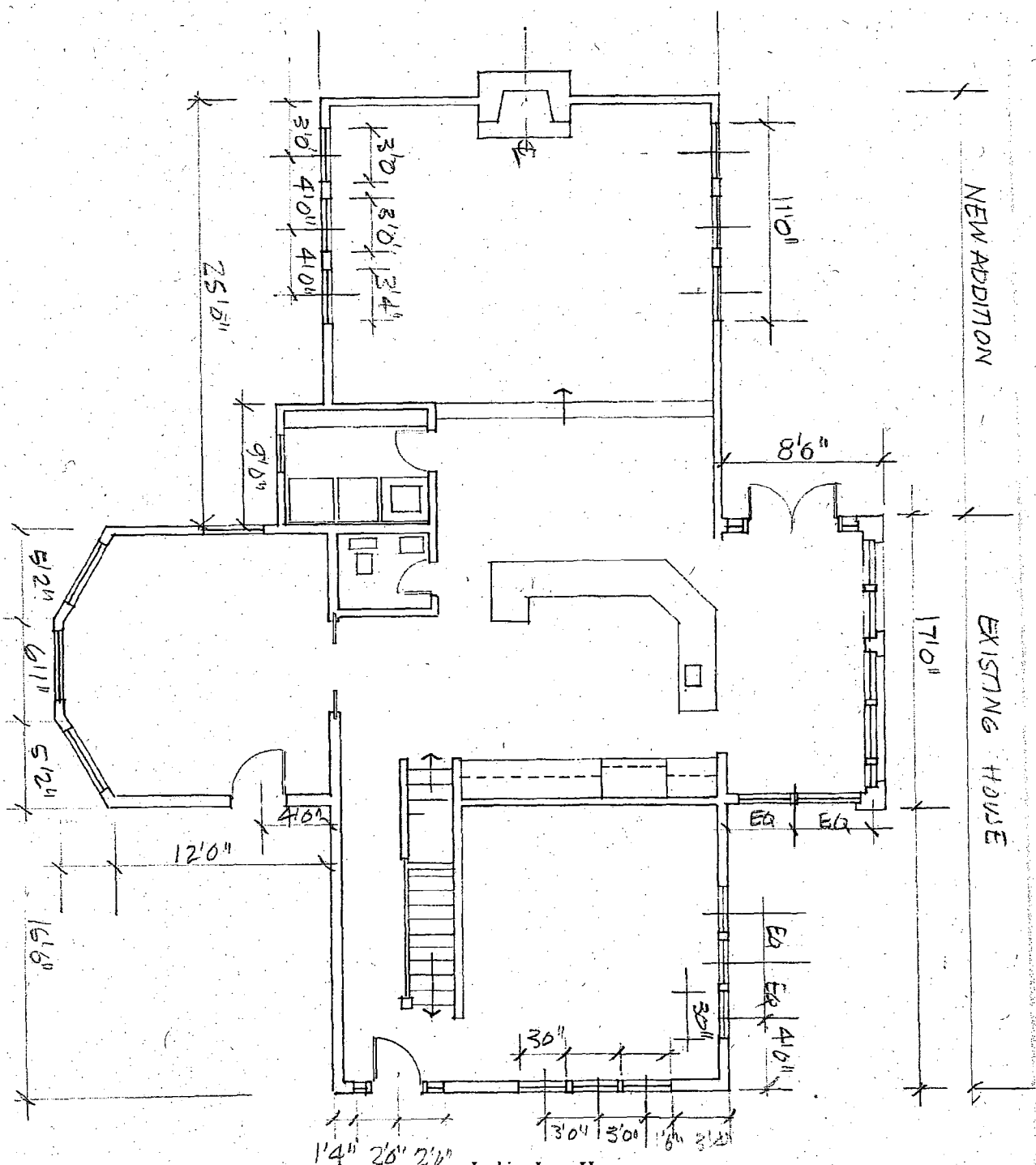




Basement Plan 1" = 8'0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD

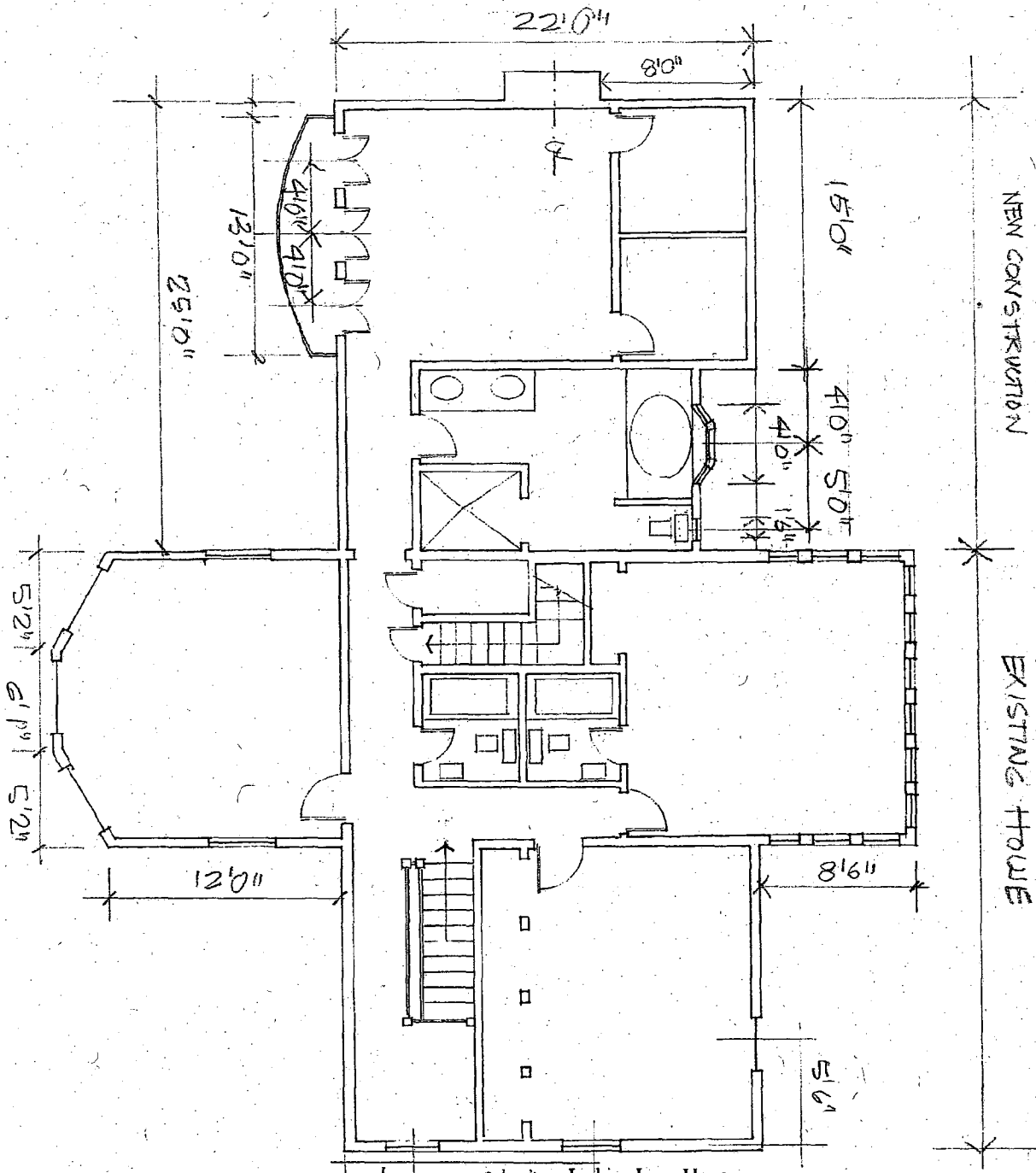




Ground Floor Plan

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD

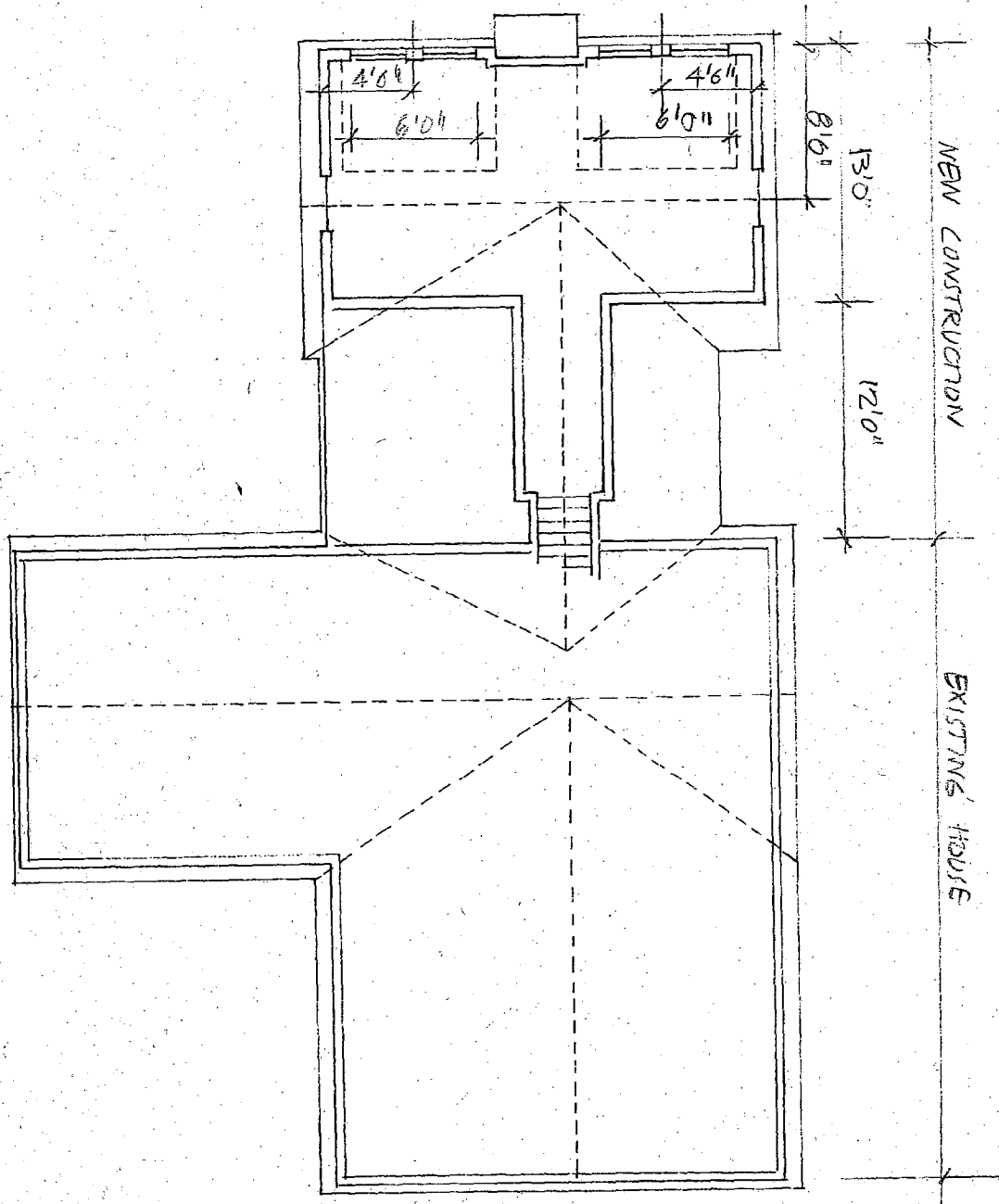




Second Floor Plan 1"=8'0"

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD





Attic Plan

Jenkins-Love House  
 19210 Liberty Mill Road  
 Germantown, MD



**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	19219 Liberty Mill Road, Germantown	<b>Meeting Date:</b>	03/23/05
<b>Applicant:</b>	Richard Jenkins and Lori Love	<b>Report Date:</b>	03/15/05
<b>Resource:</b>	<i>Master Plan</i> Site #19/13-6 <b>Upton Bowman House</b>	<b>Public Notice:</b>	03/02/05
<b>Review:</b>	Preliminary	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	N/A	<b>Staff:</b>	Tania Tully
<b>PROPOSAL:</b>	Rear addition, garage construction and porch reconstruction	<b>RECOMMENDATION:</b>	Proceed to HAWP

---

**STAFF RECOMMENDATION:**

Staff is generally supportive of the proposal. However, there are a number of suggestions – as listed below – that should be incorporated into any final HAWP application.

- The addition is compatible with the character of the historic house – particularly in terms of size and massing. However, staff would suggest that the architectural detailing of the house be more cohesive. The fenestration pattern is a bit too random.
- Staff recommends that the HPC support the move of the historic shed in conjunction with creating a greater separation of the garage from the house. The proposed location has the potential to appear as an attached garage.

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** *Master Plan* Site #19/13-6 **Upton Bowman House**  
**STYLE:** Victorian  
**DATE:** c. 1901

Constructed circa 1901 for Upton and Julia Bowman, this 2-½-story stucco covered frame house sits on approximately 1 acre of relatively flat land. It is contemporary, though different stylistically, with the house built by Upton's brother Charles at 19209 Liberty Mill Road. The Upton Bowman house has a cross-gable form, multiple window types and a modified, heavily deteriorated wrap-around front porch. The front gable has cornice returns and the east-side gable is a two-story clipped bay with a closed pediment, though both have decorative ornaments. The roof is sheathed with standing seam metal except for the two-story enclosed porch addition on the west elevation. The rear of the house is relatively devoid of ornamentation. Also on the site are two concrete block outbuildings and a frame historic shed.

**PROPOSAL:**

The proposal consists of three main elements – restoration of the historic house, new construction, and demolition and relocation of outbuildings.

Historic House (Circles 6, 12)

- Remove stucco and restore original wood siding
- Rebuild the damaged front porch
- Replace and/or add historically appropriate details to front porch. (Circles 17, 18)
- Enclose area under front porch with brick
- Rehabilitate and/or replace windows
- Replace jalousie windows in enclosed porch addition with double-hung windows and a door.
- Remove shutters

New Construction (Circles 13-15)

- Construct two-story rear addition with materials matching the existing house
  - Cedar shiplap siding
  - Wood windows
  - Wood doors
  - Brick chimney
  - Standing seam metal roof
- Construct three car detached garage (Circle 25)

Outbuildings/Site Work (Circles 7, 10)

- Remove non-historic outbuilding
- Relocate historic outbuilding to rear of property and restore for use as a shed
- Redesign driveway and repave with stamped concrete or stone
- Add brick walks
- Remove trees jeopardizing the east foundation
- Plant Cypress trees along eastern property line

Lot Area: 41,382 sq ft (.95 acres)

Approximate Current Lot Coverage: 3.5% (1,450 sq ft)

Approximate Proposed Lot Coverage: 5.2% (2,169 sq ft)

an increase of 719 sq ft – 437 to the house, 282 to the garage

**APPLICABLE GUIDELINES:**

***Montgomery County Code; Chapter 24A***

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

*Secretary of the Interior's Standards for Rehabilitation:*

- #1 A Property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.
- #6 Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

The applicants purchased the property in December 2004 from the Lamberts who had owned it since the 1960s. Staff has met with the applicants several times since then to discuss their plans and recommended that they begin with a Preliminary Consultation. Despite unexpected family circumstances, and the desire to move quickly, they agreed.

Of all of the items proposed in this application, staff sees two major items of discussion – the rear addition and the garage.

Rear Addition

Staff believes that the proposed addition is a good beginning and with a few minor modifications could be approvable. The applicants have responded to staff comments to arrive at the design presented in the report. Elements that meet the *Standards* include the scale of the addition – it is lower than the historic house, it is placed at the rear of the property, it is somewhat indented from the historic house, and the windows have different muntin patterns. Staff is somewhat concerned with the 1-story bump out on the east elevation because of its encroachment on the adjacent historic window. The addition as a whole is compatible with the architecture of the historic house, nevertheless more thought regarding the details is warranted.

Items to note include the largely blank end wall, the ocular window on the west elevation and the blank 2<sup>nd</sup> story west elevation. Staff understands that the lack of windows reflects the internal configuration of the addition, but it makes for an uneasy relationship with the historic house. For the HAWP application, staff would like to see the foundation treatment clarified; window specifications, and a sample trim detail drawing.

New Garage

The applicants are proposing a 34' x 22' 3-bay garage. Staff is not in opposition to the proposed garage in concept as it essentially takes the place of the concrete block outbuilding and it is not oversized for a three-bay garage. Additionally, the property is quite large and can absorb a structure of this size. The proposed design is reflective of an outbuilding and tries to break up the massing with a cross gable. The addition of

windows on the side elevation would help bring down the apparent scale of the garage. Staff points out that the lack of windows on the south side of the addition and north side of the garage is due in part to the close placement of the garage to the house. While there are certainly practical reasons for this – it is the location of the existing concrete outbuilding and it minimizes the distance to the house – it creates a dark alley (about 6' x 20') with potential safety and maintenance issues.

Staff encourages the Commission to recommend moving the garage farther from the house. This would allow for the creation of a more pleasant space between the buildings, visually separate the garage from the house, and decrease potential construction impacts on the adjacent tree.

#### Outbuildings/Site Work

The outbuilding proposed for removal is a non-historic concrete block structure and staff recommends approval of its removal. Although moving the frame outbuilding is certainly not ideal, staff is not in opposition to the proposal. However, we would encourage the applicants to place it closer to the house than proposed in order to better maintain its historic association. Additionally, it should be placed on an appropriate foundation, stabilized, and repaired as part of the HAWP application. More detailed plans regarding its move should be provided to and approved by staff. Additionally, more details on the site plan will be needed for the HAWP application.

#### Historic House

Staff is very supportive of the applicants' desire to rehabilitate the exterior of the historic house. Our main comments regard the use of experienced contractors and craftsmen. We recommend that they hire a contractor with experience working on historic buildings to ensure that the stucco is removed without damaging the siding, that the windows are rehabilitated properly, and to ensure receiving accurate advice regarding wood siding restoration and potential window replacement. Any approved replacements would need to be wood, true-divided light windows matching the existing in size, window type, light configuration, and muntin profile. Regarding replacement of the non-historic jalousie windows staff has no concerns, but we recommend the entire height of the porch opening be filled with glass in order to make the enclosed porch more transparent and appear as much like an open porch as possible. Staff also supports the reconstruction of the front porch. Our only question regards the need to enclose the space under the porch with brick. We would recommend the use of a lattice or other more open design.

#### **STAFF RECOMMENDATION:**

Overall, staff feels that this is a good project and should proceed to a Historic Area Work Permit. However, there are a number of suggestions – as listed on Circle 1 – that should be incorporated into any final HAWP application.



**a.**

The home was built by Upton Bowman, co-founder of the Bowman Brothers' Mill, in 1901. It is a two story structure with decorative gable boards and a projecting bay on the east side. It is believed to have been built with wood siding that was later covered with stucco. It sits on an approximately one-acre lot with a wooden outbuilding believed to be contemporary with the house, plus a set of concrete block out buildings added later.

**b.**

The project will restore the original wood siding, rebuild the water-damaged front porch in a style consistent with the original, rehabilitate the original windows, add an addition to the rear to expand the living space, and modernize the kitchen, plumbing, and electrical system of the home to improve its habitability and extend its useful life. The wooden outbuilding will be moved to the rear of the property and the concrete outbuilding will be replaced by a garage. Trees threatening the foundation will be removed, and a stand of Leland cypress will be planted along the eastern boundary.

## Restoration of Historic house

1. Remove stucco restore original wood siding where possible
2. Rebuild front porch that is severely water damaged and collapsing
3. Remove wrought iron columns and replace with columns matching existing
4. Restore roof brackets to porch columns, consistent with eave brackets
5. Build rail on porch with balusters matching columns
6. Repair existing windows where possible. Replace if necessary
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## Exterior of Addition

1. Siding: Shiplap cedar siding
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3. Doors :Wood
4. Fireplace: Brick
5. Roof: Metal standing seam

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD



Material and finish notes

## Site Work

1. Drive way: Stamped Concrete, stone pattern or exposed aggregate concrete
2. Realign driveway within property line; currently over western boundary
3. Walks: brick
4. Relocate wood outbuilding to rear of property
5. Demolish concrete block outbuildings and replace with 3-car garage
6. Remove four trees along west side of house that are threatening the foundation
7. Plant Leland Cypress along eastern property line

Jenkins Love House  
19210 Liberty Mill Road  
Germantown, MD



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