

II - E. Perry

35/13-01V 25 Oxford Street  
(Chevy Chase Village Historic District)

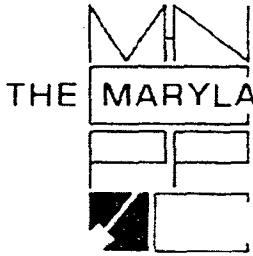
File pm

This was dropped off  
here, per DPS  
instructions.

Do you have other  
info which relates to  
this case (like a HAWP?)  
+ property owners list  
Dene

8801 Old Georgetown Rd.  
Bethesda, MD 20814  
Bethesda Community  
Store.

SUE -  
Here's the  
missing  
Ap - for 10/10  
23 Oxford



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

October 10, 2001

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation *gwr*

SUBJECT: Historic Area Work Permit  
HPC Case No: **35/13-01V**      DPS No.: **n/a**

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The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

APPROVED       APPROVED WITH CONDITIONS:

Please note that the building permit for this project will be issued subject to adherence to the approved Historic Area Work Permit (HAWP) to:

Applicant: **Rogelio & Nancy Novey**  
Address: **25 Oxford Street, Chevy Chase**

and subject to the general conditions pertinent to all Historic Area Work Permits that:

- HPC Staff must review and stamp the permit set of construction drawings prior to application for a building permit with Department of Permitting Services.**
- After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.**



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
229 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20817  
240/717-6370

OPS - #0

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Nancy Novey  
Daytime Phone No.: (301) 656-7121

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Rogelio + Nancy M Novey Land No.: Same  
Address: 25 Oxford St Cherry Chase MD 20815  
Street Number City State Zip Code  
Contractor: Smith Thomas Smith Phone No.: (301) 656-0141  
Contractor Registration No.: 453  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_  
Address: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**  
House Number: 25 Street: Oxford St  
Town/City: Cherry Chase Nearest Cross Street: Corn Ave, Brookville Rd.  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

<input type="checkbox"/> Construct	<input checked="" type="checkbox"/> Extend	<input type="checkbox"/> Alter/Removte	<input type="checkbox"/> AC	<input type="checkbox"/> Sld	<input type="checkbox"/> Room Addition	<input checked="" type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input type="checkbox"/> Instll	<input type="checkbox"/> Wreck/Alter	<input type="checkbox"/> Solar	<input type="checkbox"/> Fence	<input type="checkbox"/> Woodburning Stove	<input checked="" type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input checked="" type="checkbox"/> Repair	<input type="checkbox"/> Retroside	<input checked="" type="checkbox"/> Fence/Wall (complete Section 4)		<input type="checkbox"/> Other: _____			

1B. Construction cost estimate: \$ 125,000

1C. (If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_)

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

7A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

7B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

7A. Height: 6' feet \_\_\_\_\_ inches Replace existing side fences + gates

7B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Nancy M Novey Signature of owner or authorized agent  
Sept 25, 2001 Date

Approved: [Signature] Date: 10/10/01  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

1-04 (6/71/99)

SEE REVERSE SIDE FOR INSTRUCTIONS

(301) 563-3412  
3  
3 5/13-AN

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

25 Oxford St was built in 1963, renovated by the current owners in 1985 and has no historical significance. Furthermore, it does not blend into the neighborhood. This renovation of the existing front stairs, slightly french in appearance with a front porch, is proposed to help blend in with the village.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Most houses in the Village have front porches. Replacing the existing metal stairs with a wooden porch and trim, roof and replacing existing vinyl siding on second story with cedar should help improve the facade.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17", (fits on 8 1/2" x 11" paper if oriented,

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and finishes proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the drip-line of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owners of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MARKING LABELS.


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October 10, 2001

**MEMORANDUM**

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section 

SUBJECT: Historic Area Work Permit Application  
Approval of Application /Release of Other Required Permits

HPC Case No. 35/13-01V

DPS #: n/a

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) for approval.

You may now apply for a county building permit at Department of Permitting Services (DPS) at 255 Rockville Pike, 2<sup>nd</sup> Floor, Rockville. **Before applying, please be sure that any permit sets of construction drawings have been reviewed and stamped by HPC Staff.** We are located at 1109 Spring Street, Suite 801, Silver Spring. Our office hours are 8:30 to 5:00.

When you file for your building permit with DPS, you must take with you: 1) the enclosed forms, 2) the stamped sets of construction drawings, and 3) the Historic Area Work Permit if one was mailed directly to you from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience -- and good luck with your project!



<b>HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING</b> [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address	Owner's Agent's mailing address
25 Oxford St Ch Ch 20815	
Adjacent and confronting Property Owners mailing addresses	
17 Oxford St  (West Side)	31 Oxford St  (East side)
10 Oxford	12 Oxford  (right in front)
14 Oxford St.	

g:addresses; noticing table

5



# BARTLETT TREE EXPERTS

Ms. Nancy Novey  
25 Oxford Street  
Chevy Chase, MD 20815

October 4, 2001

301.656.7121  
301.913.5250

## TREE PRESERVATION REPORT

ARBORIST: Timothy D. Zastrow, ISA Cert. MA-0043

*(Signature)*

DATE OF INVESTIGATION: 10/03/01

TREE: Red Maple Tree, 27.2" DBH, located in the right front yard.

### OBSERVATIONS:

This tree has several problems and may not be a good candidate for preservation. Growth as shown by twig elongation has been very slow for the last eight to ten years. There is significant upper trunk decay from old pruning cuts. The foliage is pale and thin, especially in the top third of the crown. This tree is in fair condition and may not live for many more years even without the impact of construction.

As shown on the plan excavation with over-dig required for placing forms will come within 3' of the trunk of this tree. A healthy tree with proper care could possibly tolerate this but a declining tree will be less able to recover.

### RECOMMENDATIONS:

Removal and replacement with a new tree to match the young tree growing on the left side of the front yard would be the best long-term approach. If the existing tree must be preserved the following steps must be taken:

- Prune roots with a Vermeer Root Saw along the limits of excavation adjacent tree.
- Soil inject a mix of beneficial mycorrhizal spores and fertilizer to enhance root function and stimulate root growth in remaining primary root zone area prior to construction.
- Repeat the above treatment one year later.
- Prune to remove dead and split limbs.

*Local Office:* 8045 Hunterbrooke Lane, Post Office Box 532, Fulton, Maryland 20759-0532

MD/DC: 301-598-8100, Bal.: 410-792-7300, Annap.: 410-741-5900, Fax: 301-598-6700 • [www.treemasters.com](http://www.treemasters.com) • [healthytrees@treemasters.com](mailto:healthytrees@treemasters.com)

THE F.A. BARTLETT TREE EXPERT COMPANY

Corporate Office: P.O. Box 3067, Stamford, Connecticut 06905 • (203) 323-1131, FAX (203) 323-1129  
[www.bartlett.com](http://www.bartlett.com)

II-E

To: Perry Kephart

From: Nancy Novey

Re: Tree preservation report, 25 Oxford Street.

Date: October 4, 2001

I am sending a copy of the tree preservation report, which should be included in our application for a permit to build a new front porch in Chevy Chase Village, section 2.

This tree is not in great shape and we are faced with the choices of either trying to save it or replacing it with a young, healthy specimen. My husband has been saying for years that the tree should be replaced. Perhaps it is now time to seriously consider this.

My husband will be at the meeting on Wednesday. I hope he will have the chance to meet you. I will not be able to attend.

We're still waiting for the staff report.

Thanks,






October 10, 2001

**MEMORANDUM**

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section 

SUBJECT: Historic Area Work Permit Application  
Approval of Application /Release of Other Required Permits

HPC Case No. **35/13-01V**

DPS #: **n/a**

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You may now apply for a county building permit at Department of Permitting Services (DPS) at 255 Rockville Pike, 2<sup>nd</sup> Floor, Rockville. **Before applying, please be sure that any permit sets of construction drawings have been reviewed and stamped by HPC Staff.** We are located at 1109 Spring Street, Suite 801, Silver Spring. Our office hours are 8:30 to 5:00.

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If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience – and good luck with your project!

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	25 Oxford Street, Chevy Chase	<b>Meeting Date:</b>	10/10/01
<b>Applicant:</b>	Rogelio & Nancy Novey	<b>Report Date:</b>	10/03/01
<b>Resource:</b>	Chevy Chase Village Historic District	<b>Public Notice:</b>	09/26/01
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	35/13-01V	<b>Staff:</b>	Perry Kephart Kapsch

**PROPOSAL:** Add front porch, replace siding, replace shutters, install fence.

**RECOMMEND:** Approve.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource  
**STYLE:** Neo-eclectic  
**DATE:** c1980

**PROPOSAL**

The applicant proposes to:

1. Add a one-story, full width, hipped roof front porch set on brick piers with wood steps leading down to grade on either side of the center porch section. The porch is proposed to have a raised seam metal roof and painted wood columns, an inset wood picket railing, and roof brackets. The flooring and stairs are proposed to be redwood decking.
2. Remove the artificial siding on the second-story and replace it with cedar shingle siding.
3. Remove inoperable shutters and replace them with operable painted wood shutters.
4. Install a 6' fence section with a gate from the existing fence on the either side of the property to the front corners of the house.

**STAFF DISCUSSION**

The design and materials proposed for changes to the front façade of a non-contributing

resource are in keeping with the guidelines for the historic district

**STAFF RECOMMENDATION**

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the general condition applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work. and within two weeks following completion of work.



DEPARTMENT OF PERMITTING SERVICES  
219 ROCKVILLE PIKE, 2<sup>ND</sup> FLOOR, ROCKVILLE, MD 20817  
240-777-6370

01'S - #0

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Nancy Novay  
Daytime Phone No.: (301) 656-7121

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Rogelio + Nancy M Novay Home No.: Same +  
Address: 25 Oxford St Cherry Chase MD 20815  
Street Number City State Zip Code  
Contractor: Smith Thomas Smith Phone No.: (301) 656-0141  
Contractor Registration No.: 453

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_  
Address: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 25 Street: Oxford St  
Town/City: Cherry Chase Nearest Cross Street: Conn Ave, Brookville Rd.  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Layer: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- |                                    |  |                                       |   |                                |  |   |                               |                               |
|------------------------------------|--|---------------------------------------|---|--------------------------------|--|---|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input type="checkbox"/> Alter/Remove | <input type="checkbox"/> Add  | <input type="checkbox"/> Sub   | <input type="checkbox"/> Room Addition     | <input checked="" type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move      | <input type="checkbox"/> Install           | <input type="checkbox"/> Wreck/Blaze  | <input type="checkbox"/> Solar                                      | <input type="checkbox"/> Fence | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revisit   | <input checked="" type="checkbox"/> Repair | <input type="checkbox"/> Replace      | <input checked="" type="checkbox"/> Fence/Wall (complete Section 4) |                                | <input type="checkbox"/> Other: _____      |   |                               |                               |
- 1B. Construction cost estimate: \$ 125,000
- 1C. If this is a revision of a previously approved active permit, the Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTLND/ADDITIONS**

- 7A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_
- 7B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. Height: 6' feet \_\_\_\_\_ inches Replace existing side fences + gates
- 3B. Indicate whether the fence or retaining wall is to be constructed in one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing applications, that the applications are correct, and that the construction will comply with plans prepared by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Nancy M Novay Date: Sept 25, 2001

Approved: \_\_\_\_\_ for Commissioner, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

(301) 563-3412  
3 5/13-01  
3

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*25 Oxford St was built in 1963, renovated by the current owners in 1985 and has no historical significance. Furthermore, it does not blend into the neighborhood. This renovation of the existing front stairs, slightly french in appearance with a front porch, is proposed to help blend in with the village.*

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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MARKING LABELS.

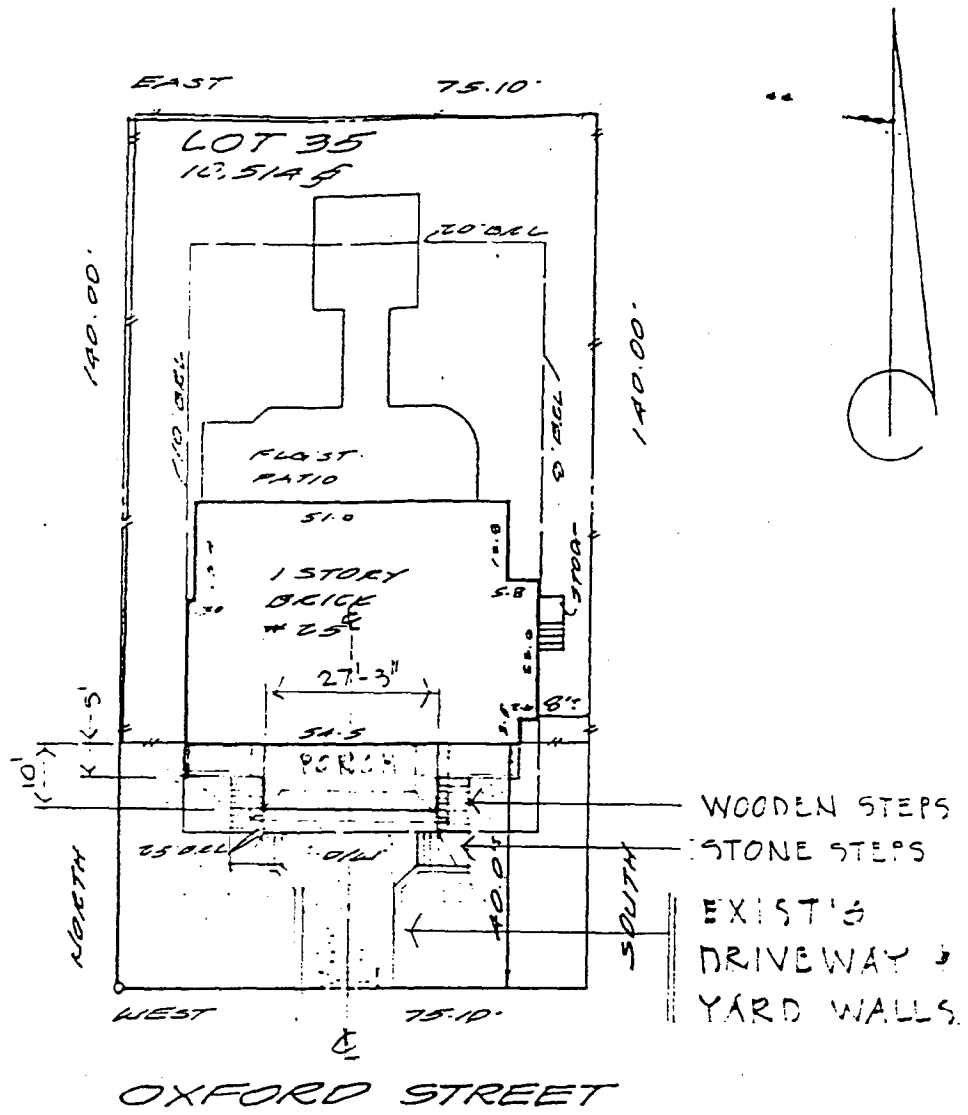
4



HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address	Owner's Agent's mailing address
25 Oxford St Ch Ch 20815	
Adjacent and confronting Property Owners mailing addresses	
17 Oxford St (West Side)	31 Oxford St (East side)
10 Oxford	12 Oxford (right in front)
14 Oxford St.	

g addresses noticing table

5



LOT 35 BLOCK 57  
SECTION 2  
CHEVY CHASE

**Surveyor's Certification**

I hereby certify that the survey shown hereon is correct and that the location of the improvements shown hereon is correct and that there are no visible encroachments unless noted otherwise. Fence lines (if shown) are approximate locations. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Do not attempt to use this survey for the purpose of constructing improvements. This property does not lie within a 100 year flood plain according to HUD-FIA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

10-27-93  
Date

*Stephen J. Wenthold*  
Stephen J. Wenthold  
Maryland RLS Reg. No. 10767

NO TITLE REPORT FURNISHED

**Meridian Surveys, Inc.**  
2401 Research Boulevard  
Suite 380  
Rockville MD, 20850  
(301) 840-0025

Scale: 1" = 30'  
Plat Book: 71  
Plat No.: 6809  
Work Order: 93-5549

Property  
Address: 25 OXFORD STREET  
Election District #: 7  
Jurisdiction: MONTGOMERY COUNTY, MD.

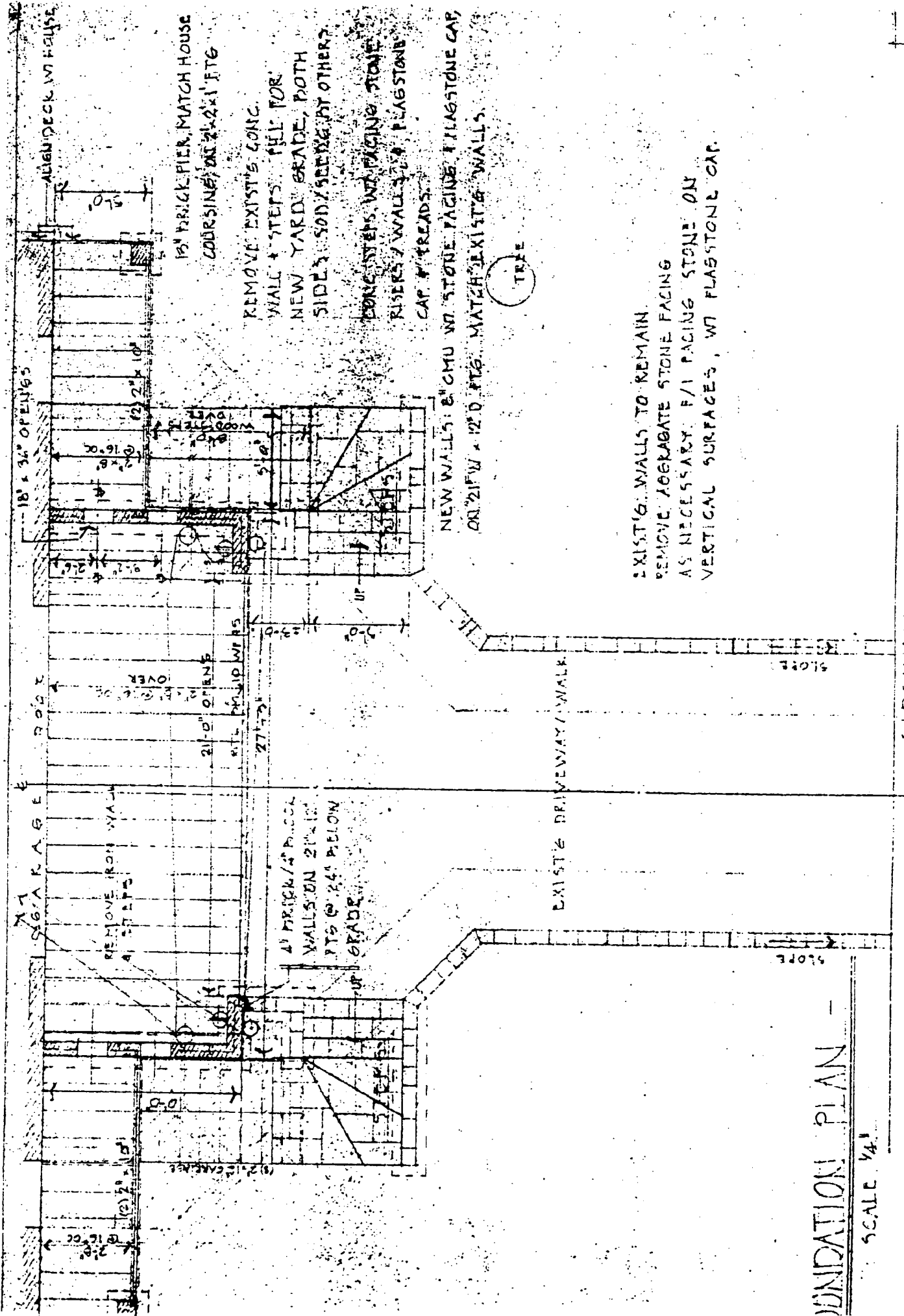
RENOVATIONS TO:  
THE NOVEY RESIDENCE  
25 OXFORD STREET  
CHEVY CHASE, MD 20815

BY:  
SMITH, THOMAS & SMITH, Inc  
4713 MAPLE AVE  
BETHESDA, MD 20814  
301.656.0141

7

21 SEPT 01

OK



12" BRICK PIER, MATCH HOUSE  
COURSES, MATCH HOUSE  
COURSES, MATCH HOUSE

REMOVE EXIST'G CONC.  
WALL & STEPS. FILL FOR  
NEW YARD GRADE, BOTH  
SIDE & SIDE/SEEKING BY OTHERS

REMOVE EXIST'G CONC.  
WALLS & STEPS. FILL FOR  
NEW YARD GRADE, BOTH  
SIDE & SIDE/SEEKING BY OTHERS

REMOVE EXIST'G CONC.  
WALLS & STEPS. FILL FOR  
NEW YARD GRADE, BOTH  
SIDE & SIDE/SEEKING BY OTHERS

REMOVE EXIST'G CONC.  
WALLS & STEPS. FILL FOR  
NEW YARD GRADE, BOTH  
SIDE & SIDE/SEEKING BY OTHERS

NEW WALLS: 8" CMU W/ STONE FACING & FLAGSTONE CAP  
ON 21' W x 12' 0" PTS. MATCH EXIST'G WALLS.

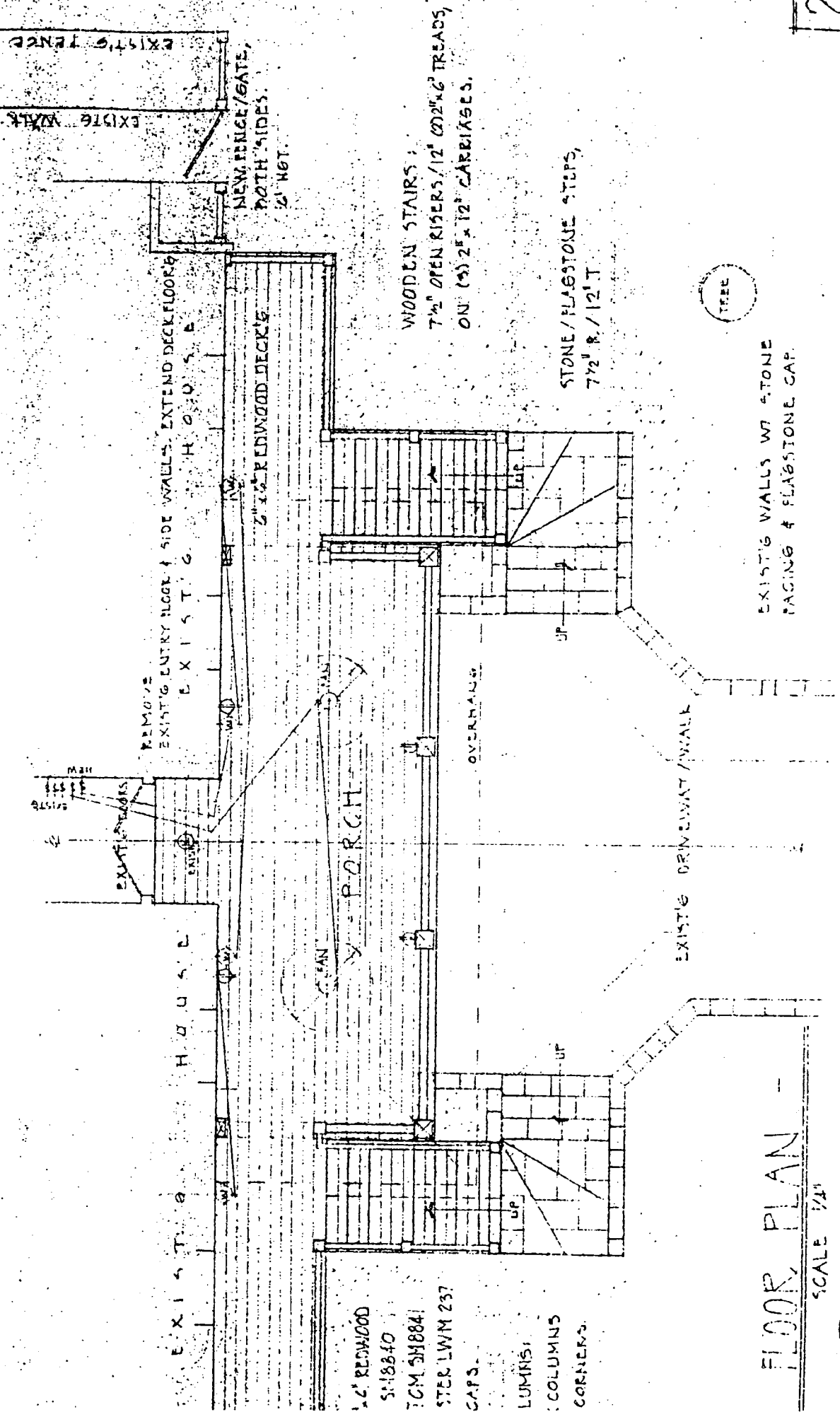
TREE

EXIST'G WALLS TO REMAIN.  
REMOVE AGGREGATE STONE FACING  
AS NECESSARY. F/I FACING STONE ON  
VERTICAL SURFACES, W/ FLAGSTONE CAP.

FOUNDATION PLAN -

SCALE 1/4"

(A)



WOODEN STAIRS:  
 7 1/2" OPEN RISERS / 12" (2) 2" x 12" TREADS,  
 ON (3) 2" x 12" CARRIAGES.

STONE / FLAGSTONE STEPS,  
 7 1/2" R. / 12" T.



EXIST'G WALLS W/ STONE  
 PAVING & FLAGSTONE CAP.

REMOVE  
 EXIST'G ENTRY FLOOR & SIDE WALLS. EXTEND DECK FLOOR  
 EXIST'G HOUSE

NEW FENCE/GATE,  
 BOTH SIDES.  
 2' HGT.

EXIST'G FENCE  
 EXIST'G WALK

2" x 4" REDWOOD DECK'S

EXIST'G PORCH

OVERHANG

EXIST'G DRIVEWAY/WALK

- 2" x 4" REDWOOD
- 5x8x8
- 2x6x8x8
- STEEL WLM 237
- CAPS.
- LUMINIS
- COLUMNS
- CORNERS.

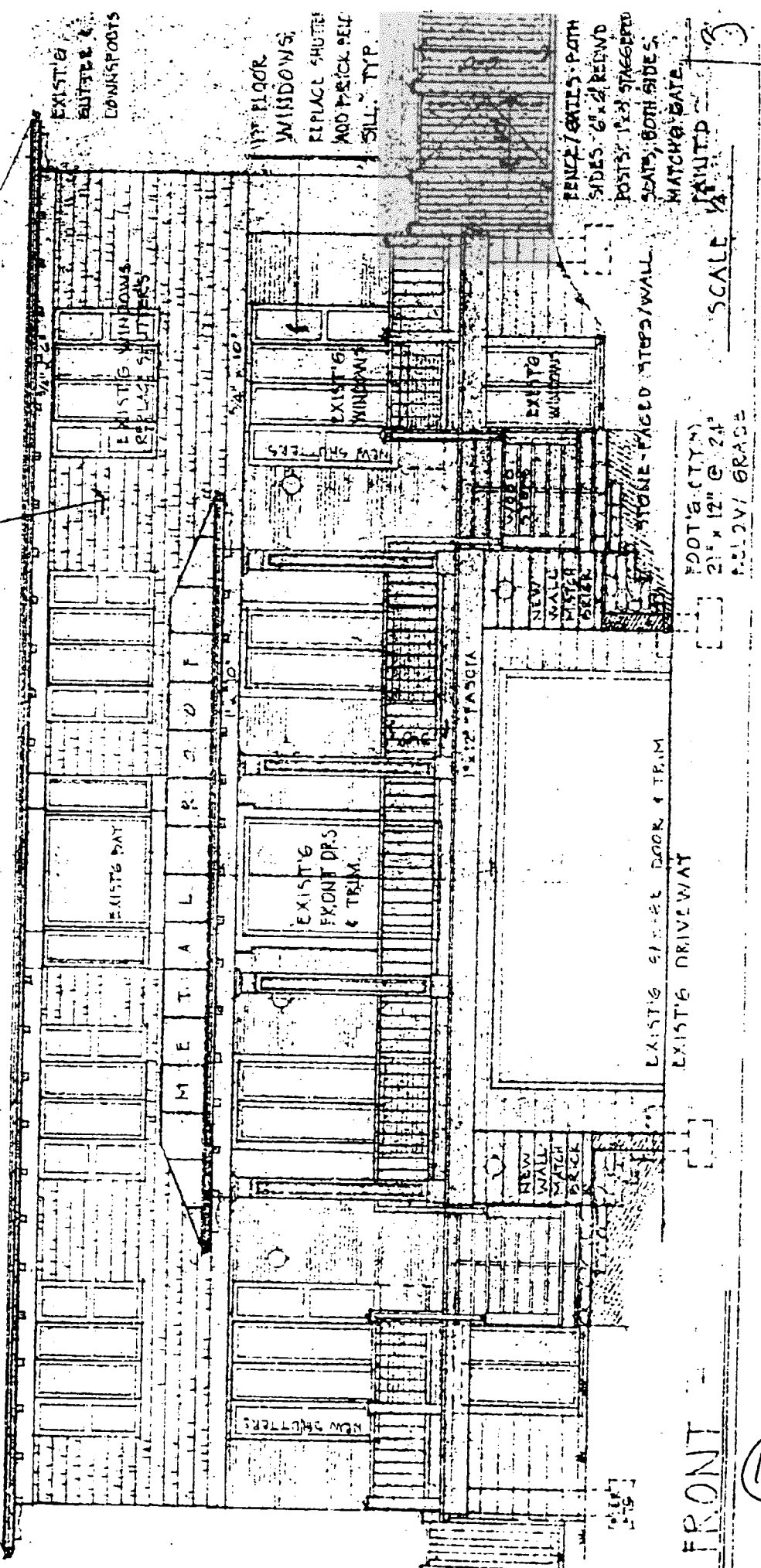
FLOOR PLAN

SCALE 1/4"

(C)

2ND FLOOR REMOVE EXTERIOR SIDING.  
F/I CEDAR SHINGLE / PLYWOOD BACKER.  
PANELS F/I FASCIA BRDS.  
76" SOFFIT WOOD BRACKETS @  
24" OC. FRONT/SIDES/REAR.

EXIST'G 300"



FRONT

SCALE

FOOT'S (CTM)  
21" x 12" @ 24"  
POLY/ GRASS

EXIST'G DRIVEWAY

EXIST'G SIDE DOOR & TRIM

NEW WALL WATCH BRG

NEW WALL WATCH BRG

14\"/>

NEW WALL WATCH BRG

NEW WALL WATCH BRG

NEW WALL WATCH BRG

NEW WALL WATCH BRG

NEW WALL WATCH BRG

NEW WALL WATCH BRG

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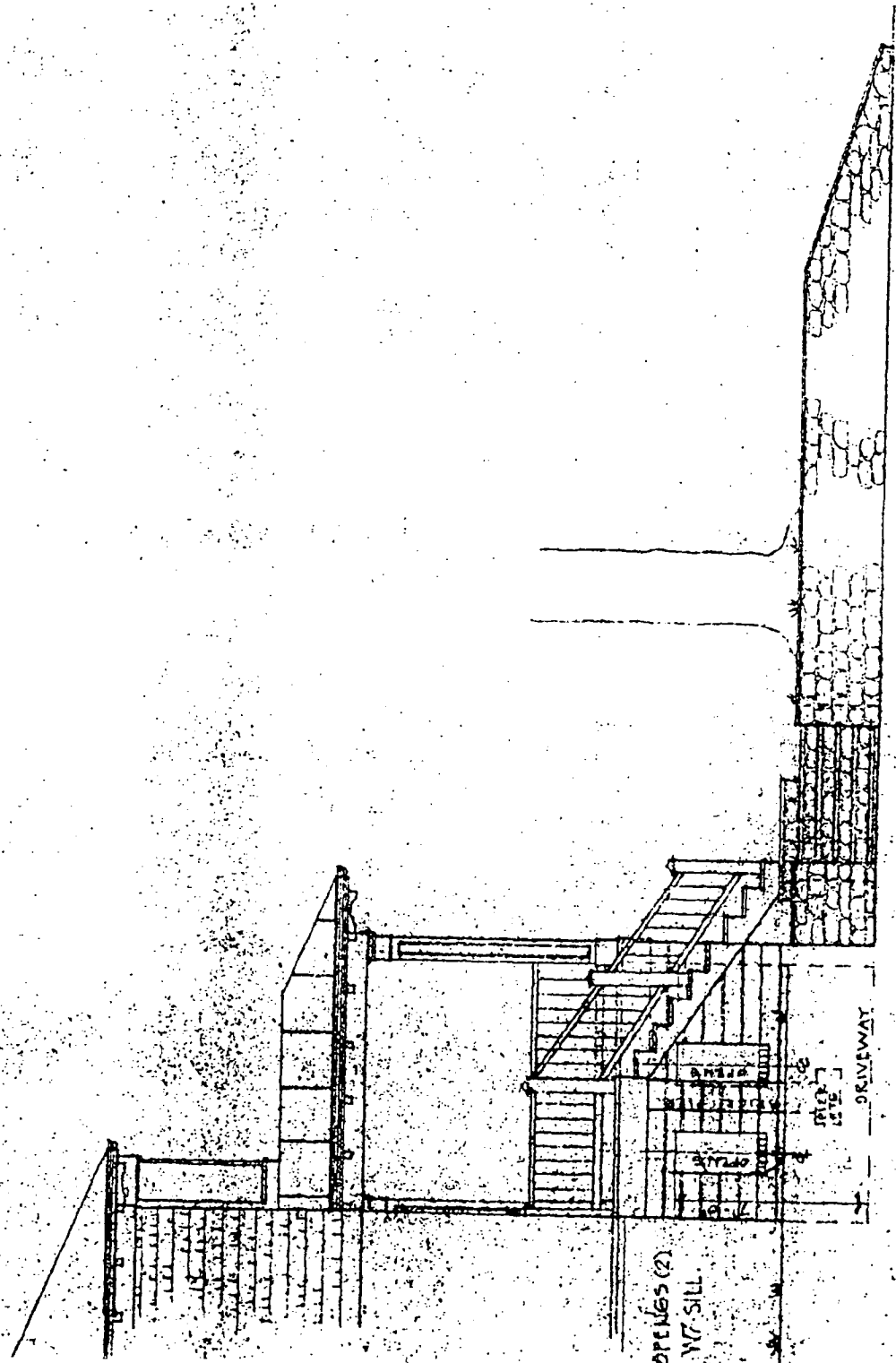
NEW WALL WATCH BRG

NEW WALL WATCH BRG

NEW WALL WATCH BRG

NEW WALL WATCH BRG

NEW WALL WATCH BRG



— SIDE —  
SCALE 1/4"



TRUSS ROOF'S ON 2" x 8" RAFTERS @ 24" OC

ALUM DECK GUTTERS

2" x 4" LADDER UNDER 2" x 12" PM

2" x 6" @ 24" OC RAFTERS

2" x 10" HIP RAFTER

1" x 6" SILL / 3/8" MOD. SOFFIT

12" x 2" x 8" BEAM

1" x 10" FASCIA / 1/2" x 1" x 8" FLOOR

1" x 4" TIE BEAM @ 24" OC

COLUMNS 8" x 8" SQUARE @ 12" x 12" SQ

WT 3/4" x APPLIED FOR PANEL REVEAL

WT 3/8" CROWN CAPITAL & PANEL

MOULDING

1" x 10" COLUMN PANEL

2" x 6" REDWOOD DECKING

10 WF 45 STL DMF WT 2" x 4"

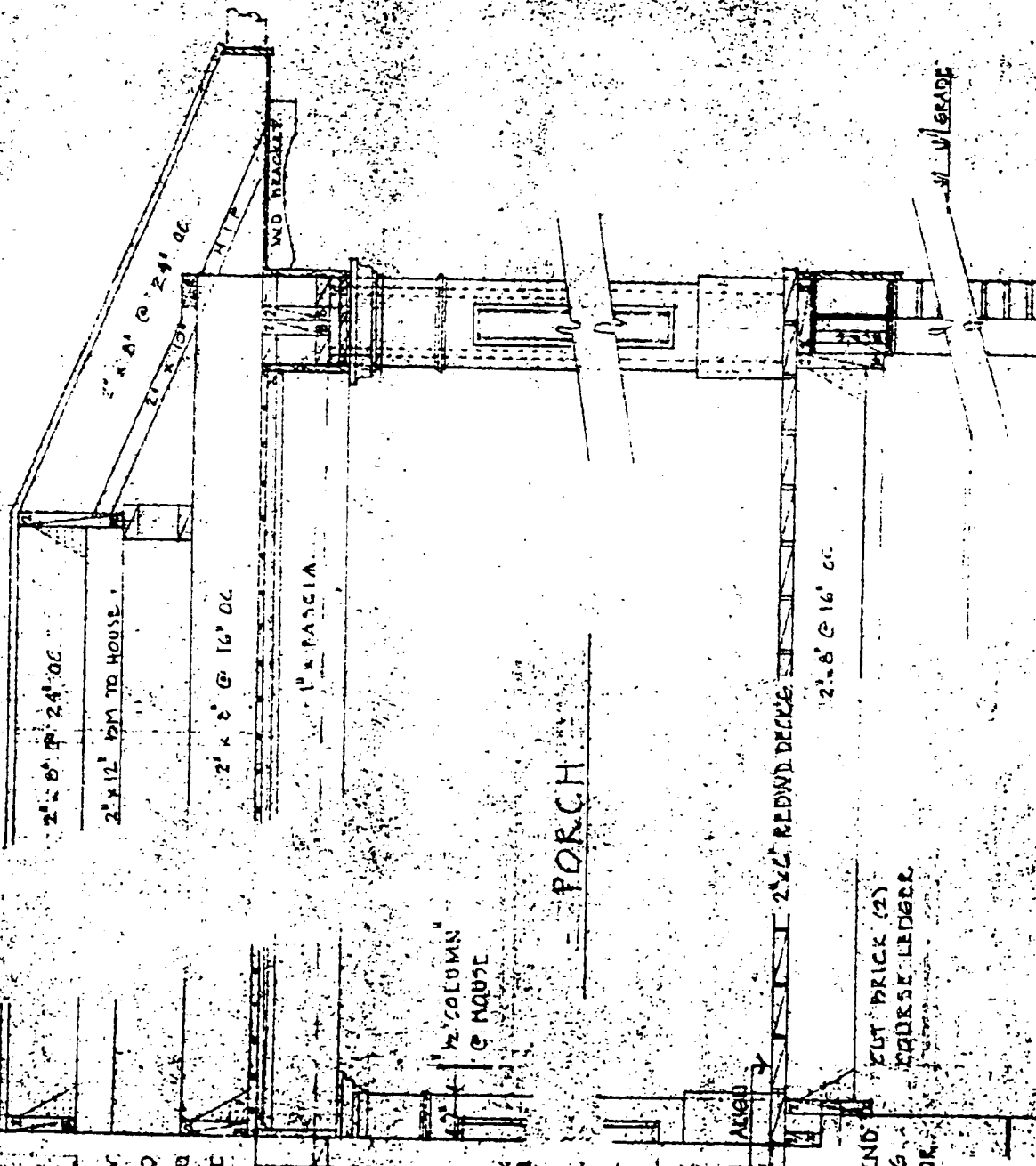
WD PLATE & NEG. WD FLOOR

2" BRICK / 4" BLOCK PORCH WALLS

MATCH EXISTING COURSE DETAILING

WALL FTG 2" x 12" @

24" BELOW GRADE



2" x 8" @ 24" OC

2" x 12" DM TO HOUSE

2" x 8" @ 16" OC

1" x FASCIA

1/2" COLUMN @ HOUSE

PORCH

2" x 6" REDWOOD DECKING

2" x 8" @ 16" OC

2" x 4" BRICK (2) COURSE LEADER

GRADE

SECTION

SCALE 1/4" = 1'-0"

12

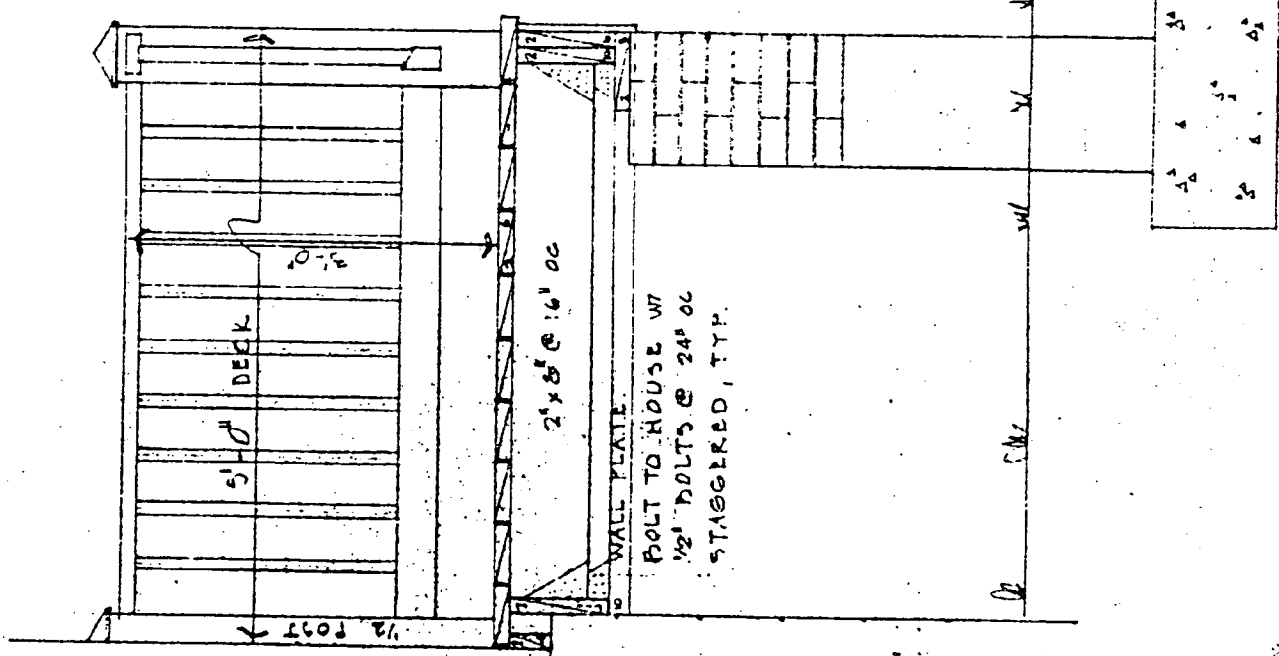


6" x 6" REDWOOD POST W/  
DECORATIVE CAP.  
RAIL TOP 5MB840  
BOTTOM 5MB841  
BALUSTER LWM 257

1" x 12" FASCIA, PRIMED

1 1/2" x 12" BRICK PIER, (2) PLACES.  
MATCH EXIST'G BRICK COURSING.

CONC. FTG. 24" x 24" x 12"  
@ 24" BELOW GRADE.



2" x 8" @ 16" OC  
WALL PLATE  
BOLT TO HOUSE W/  
1/2" BOLTS @ 24" OC  
STAGGERED, TYP.

SECTION -

SCALE: 1/8" = 1'-0"



# BARTLETT TREE EXPERTS

Ms. Nancy Novey  
25 Oxford Street  
Chevy Chase, MD 20815

October 4, 2001

301.656.7121  
301.913.5250

## TREE PRESERVATION REPORT

ARBORIST: Timothy D. Zastrow, ISA Cert. MA-0043 

DATE OF INVESTIGATION: 10/03/01

TREE: Red Maple Tree, 27.2" DBH, located in the right front yard.

### OBSERVATIONS:

This tree has several problems and may not be a good candidate for preservation. Growth as shown by twig elongation has been very slow for the last eight to ten years. There is significant upper trunk decay from old pruning cuts. The foliage is pale and thin, especially in the top third of the crown. This tree is in fair condition and may not live for many more years even without the impact of construction.

As shown on the plan excavation with over-dig required for placing forms will come within 3' of the trunk of this tree. A healthy tree with proper care could possibly tolerate this but a declining tree will be less able to recover.

### RECOMMENDATIONS:

Removal and replacement with a new tree to match the young tree growing on the left side of the front yard would be the best long-term approach. If the existing tree must be preserved the following steps must be taken:

- Prune roots with a Vermeer Root Saw along the limits of excavation adjacent tree.
- Soil inject a mix of beneficial mycorrhizal spores and fertilizer to enhance root function and stimulate root growth in remaining primary root zone area prior to construction.
- Repeat the above treatment one year later.
- Prune to remove dead and split limbs.

Local Office: 8045 Hunterbrooke Lane, Post Office Box 532, Fulton, Maryland 20759-0532

MD/DC: 301-598-8100, Balt.: 410-792-7300, Annap.: 410-741-5900, Fax: 301-598-6700 • [www.treemasters.com](http://www.treemasters.com) • [healthytrees@treemasters.com](mailto:healthytrees@treemasters.com)

### THE F.A. BARTLETT TREE EXPERT COMPANY

Corporate Office: P.O. Box 3067, Stamford, Connecticut 06905 • (203) 323-1131, FAX (203) 323-1129  
[www.bartlett.com](http://www.bartlett.com)

II-E

To: Perry Kephart

From: Nancy Novey

Re: Tree preservation report, 25 Oxford Street.

Date: October 4, 2001

I am sending a copy of the tree preservation report, which should be included in our application for a permit to build a new front porch in Chevy Chase Village, section 2.

This tree is not in great shape and we are faced with the choices of either trying to save it or replacing it with a young, healthy specimen. My husband has been saying for years that the tree should be replaced. Perhaps it is now time to seriously consider this.

My husband will be at the meeting on Wednesday. I hope he will have the chance to meet you. I will not be able to attend.

We're still waiting for the staff report.

Thanks,

A handwritten signature in cursive script that reads "Nancy". The signature is written in black ink and is positioned below the typed name "Nancy Novey".

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	25 Oxford Street, Chevy Chase	<b>Meeting Date:</b>	10/10/01
<b>Applicant:</b>	Rogelio & Nancy Novey	<b>Report Date:</b>	10/03/01
<b>Resource:</b>	Chevy Chase Village Historic District	<b>Public Notice:</b>	09/26/01
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	35/13-01V	<b>Staff:</b>	Perry Kephart Kapsch

**PROPOSAL:** Add front porch, replace siding, replace shutters, install fence.

**RECOMMEND:** Approve.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource  
**STYLE:** Neo-eclectic  
**DATE:** c1980

**PROPOSAL**

The applicant proposes to:

1. Add a one-story, full width, hipped roof front porch set on brick piers with wood steps leading down to grade on either side of the center porch section. The porch is proposed to have a raised seam metal roof and painted wood columns, an inset wood picket railing, and roof brackets. The flooring and stairs are proposed to be redwood decking.
2. Remove the artificial siding on the second-story and replace it with cedar shingle siding.
3. Remove inoperable shutters and replace them with operable painted wood shutters.
4. Install a 6' fence section with a gate from the existing fence on the either side of the property to the front corners of the house.

**STAFF DISCUSSION**

The design and materials proposed for changes to the front façade of a non-contributing

resource are in keeping with the guidelines for the historic district

### **STAFF RECOMMENDATION**

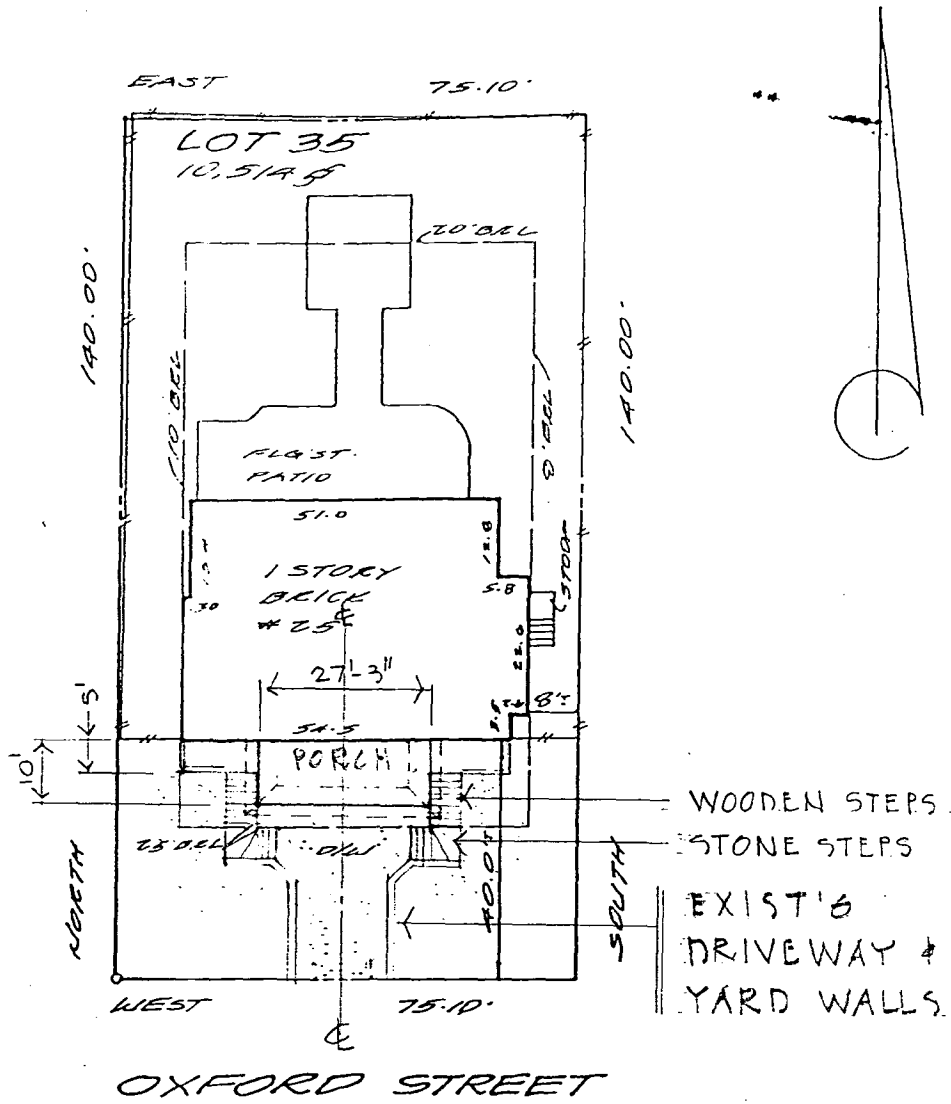
Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the general condition applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work. and within two weeks following completion of work.



LOT 35 BLOCK 57  
SECTION 2  
CHEVY CHASE

**Surveyor's Certification**

I hereby certify that the survey shown hereon is correct and that the location of the improvements shown hereon is correct and that there are no visible encroachments unless noted otherwise. Fence lines (if shown) are approximate locations. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Do not attempt to use this survey for the purpose of constructing improvements. This property does not lie within a 100 year flood plain according to HUD-FIA insurance maps unless otherwise shown hereon. Building restriction lines shown as per available information.

10.27.93  
Date

*Stephen J. Wenthold*  
Stephen J. Wenthold  
Maryland RLS Reg. No. 10767

NO TITLE REPORT FURNISHED

Scale: 1" = 30'  
Plat Book: 71  
Plat No.: 6809  
Work Order: 93-5549

Property  
Address: 25 OXFORD STREET  
Election District # 7  
Jurisdiction: MONTGOMERY COUNTY, MD.



Meridian Surveys, Inc.  
2401 Research Boulevard  
Suite 380  
Rockville MD, 20850  
(301) 840-0025

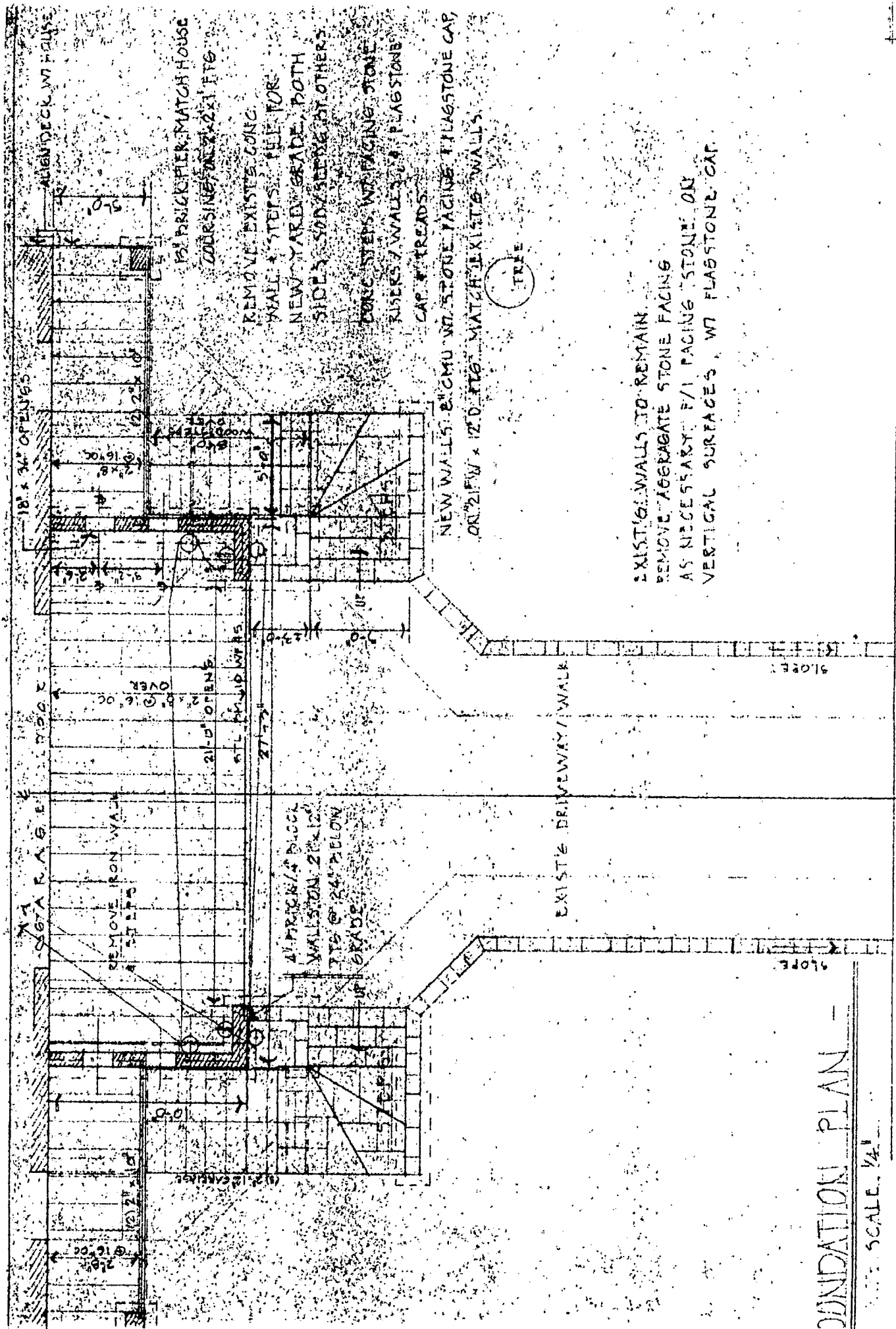
RENOVATIONS TO:  
THE NOVEY RESIDENCE  
25 OXFORD STREET  
CHEVY CHASE, MD 20815

BY:  
SMITH, THOMAS & SMITH, Inc.  
4713 MAPLE AVE  
BETHESDA, MD 20814  
301-656-0141

7

21 SEPT 01

CS



REMOVE EXISTING CONC. WALL & STEPS. FILL FOR NEW YARD GRADE. BOTH SPOTS TO BE SET BY OTHERS. CONC. STEPS W/ PAVING STONE RISERS & WALLS. FLAGSTONE CAP & TREADS.

NEW WALLS 8" CMU W/ STONE FACING & FLAGSTONE CAP. ON 2 1/2" W x 12" D FTG. MATCH EXISTING WALLS.

(TREE)

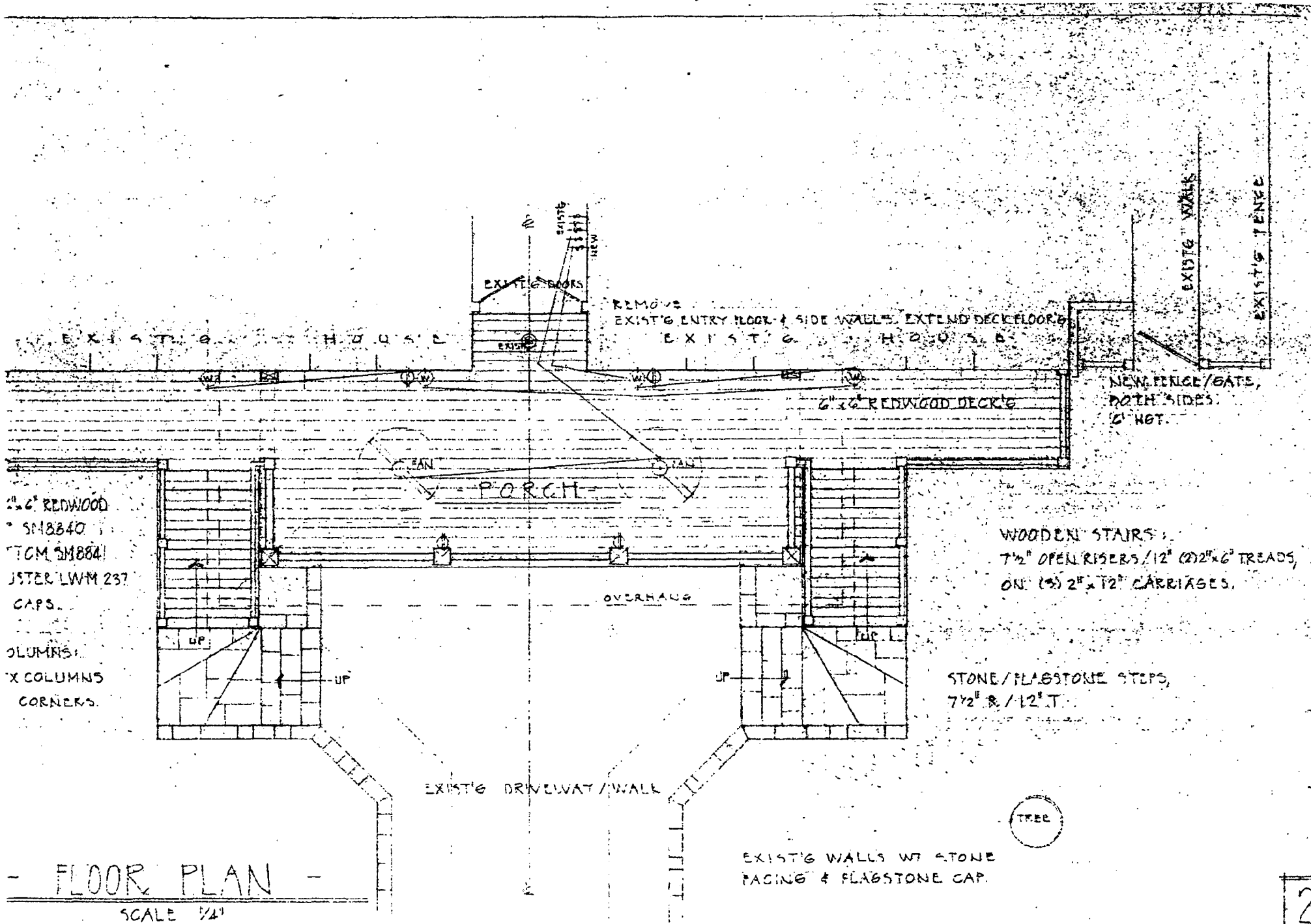
EXISTING WALLS TO REMAIN. REMOVE AGGREGATE STONE FACING AS NECESSARY. F/1 PAVING STONE ON VERTICAL SURFACES, W/ FLAGSTONE CAP.

FOUNDATION PLAN -

SCALE: 1/4"

SIDEWALK





EXIST'G HOUSE

REMOVE EXIST'G ENTRY FLOOR & SIDE WALLS. EXTEND DECK FLOOR TO EXIST'G HOUSE

NEW FENCE/GATE, BOTH SIDES. 6' HGT.

2x6 REDWOOD  
 \* SM8840  
 TCM SM8841  
 JSTER LWM 237  
 CAPS.  
 COLUMNS  
 X COLUMNS  
 CORNERS.

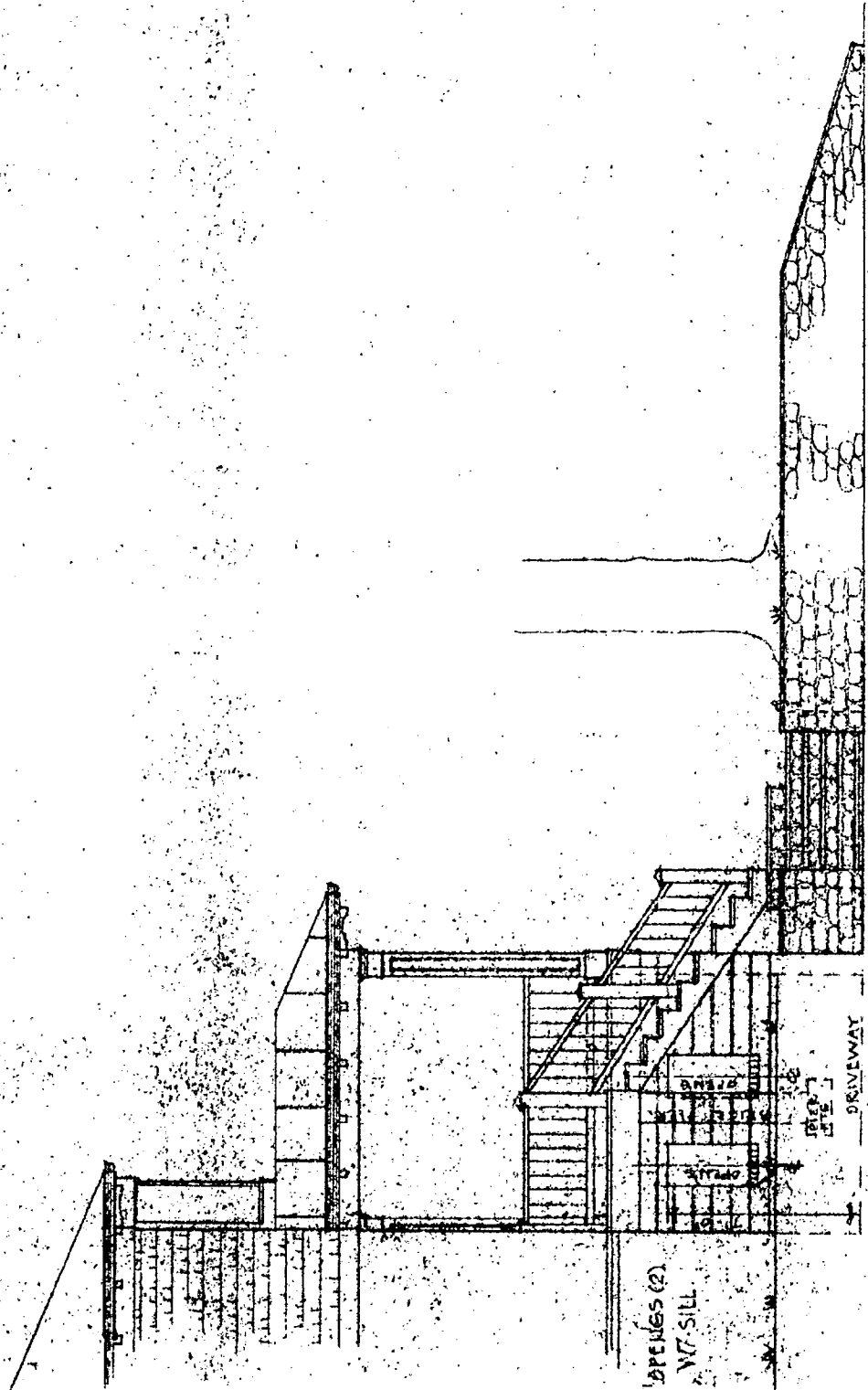
WOODEN STAIRS:  
 7 1/2" OPEN RISERS / 12" (2) 2x6 TREADS,  
 ON (3) 2" x 12" CARRIAGES.

STONE/FLAGSTONE STEPS,  
 7 1/2" R. / 12" T.

- FLOOR PLAN -  
 SCALE 1/4"

(2)





APRILS (2)  
1/2" SILL

DRIVEWAY

— SIDE —  
SCALE 1/4"

(11)

TIR ROOF ON W. WIND  
 SUBROOF ON 2" x 8" RAFTERS @  
 24" OC

ALUM. DEEL GUTTERS

2" x 4" LADDER UNDER 2" x 12" P.M.

2" x 8" @ 24" OC RAFTERS

2" x 10" HIP RAFTER

1" x 6" G.P. @ 36" MOD. JOIST

2" x 2" x 8" PLANK

1" x 10" FASCIA / 1" x 10" MO. RIDE

1" x 4" TRIM BEHIND DOOR

COLUMNS @ 36" FOR DOOR WITH 50'

WI 5/4" X APPLIED FOR PANEL REVEAL

WI 3/8" CROWN CAPITAL AT NECK

MOULD @

1" x 10" COLUMN CASE

2" x 2" REDWOOD DECKING

10 WF 45 STL DM. W/ 2" x 8"

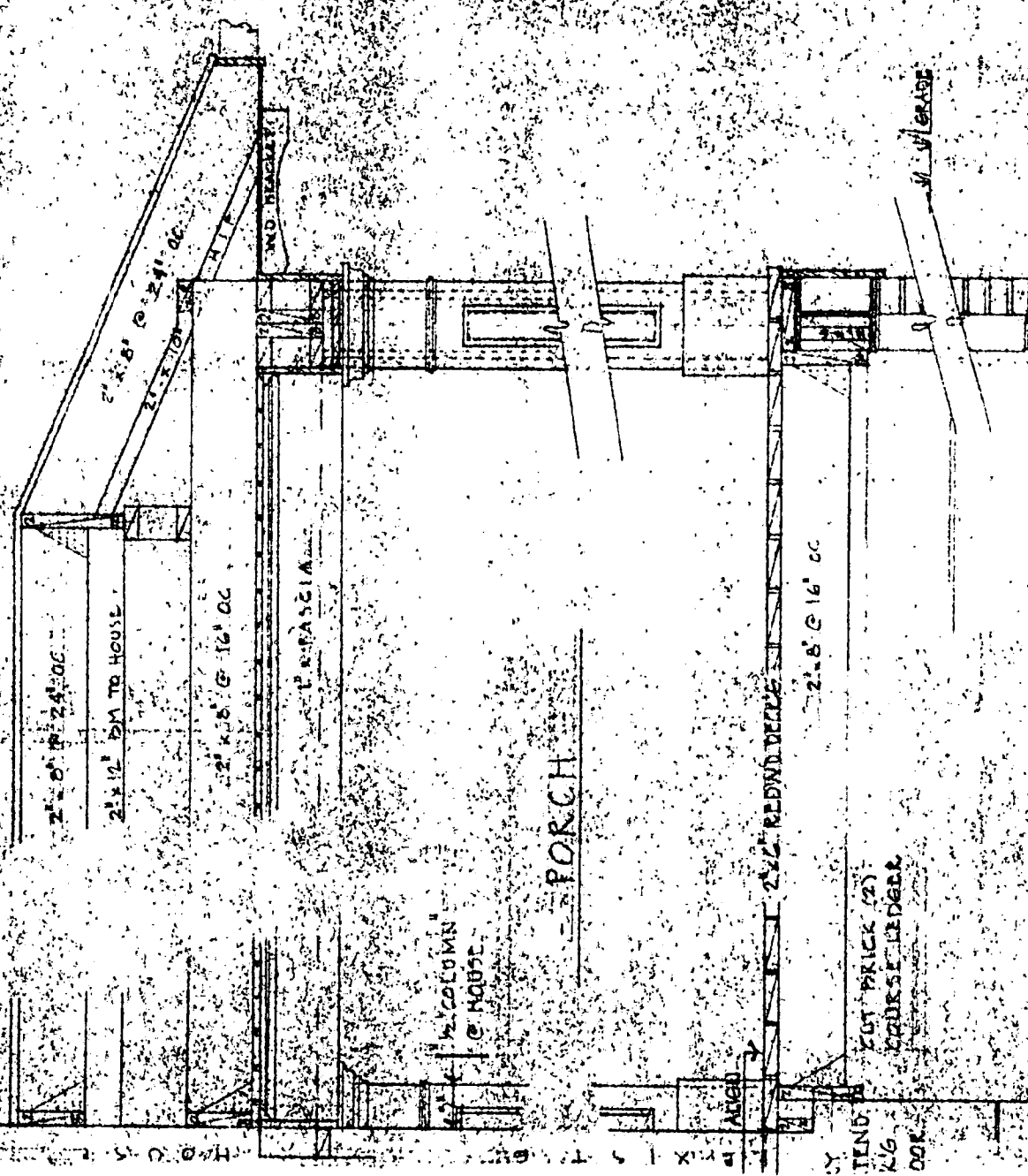
WD. PLATE & NEG. WD. BLOCKS

2" BRICK 7/4" BLOCK FOR 7/4" WALLS

MATCH EXISTING COURSE DETAILING

WALL FTO 21" x 12" @

24" BELOW GRADE

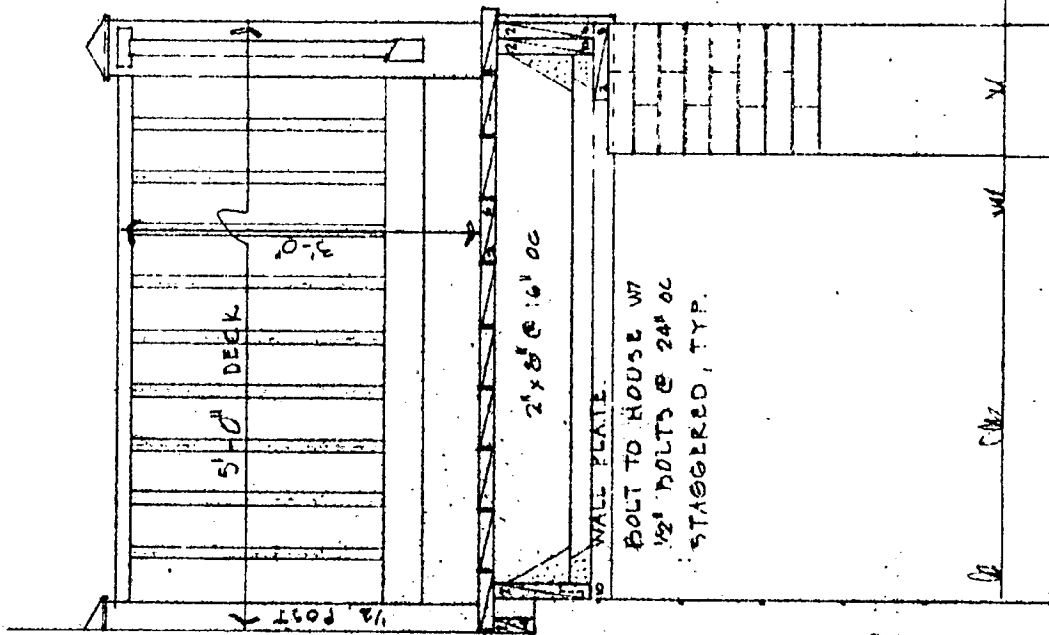


PORCH

SECTION

SCALE 1" = 1'-0"

12



6" x 6" PIEDM'D POST W/ DECORATIVE CAP.

RAIL TOP 5M8840  
BOTTOM 5M8841

PLASTER LWM 237

1" x 12" FASCIA, PRIMED

1 1/2" x 1 1/2" BRICK PIEK, (2) PLACES.  
MATCH EXIST'G BRICK COURSING.

CONC. FTG: 24" x 24" x 12"  
@ 24" BELOW GRADE.

EXIST'G HOUSE

SECTION -

SCALE: 1/4" = 1'-0"

13



DEPARTMENT OF PERMITTING SERVICES  
219 ROCKY HILL PIKE, 2<sup>ND</sup> FLOOR, ROCKY HILL, MD 20815  
240-777-6370

OPS-#0

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Nancy Novey  
Daytime Phone No.: (301) 656-7121

Fee Account No.: \_\_\_\_\_  
Name of Property Owner: Rogelio + Nancy M Novey Phone No.: Same +  
Address: 25 Oxford St Cherry Chase MD 20815  
Street Number Street Zip Code  
Contractor: Smith Thomas Smith Phone No.: (301) 656-0141  
Contractor Registration No.: 453  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_  
Address: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**  
House Number: 25 Street: Oxford St  
Town/City: Cherry Chase Nearest Cross Street: Conn Ave, Brookville Rd.  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Other: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**  
1A. CHECK ALL APPLICABLE:  
[ ] Construct [X] Extend [ ] Alter/Remodel [ ] AC [ ] Sub [ ] Room Addition [X] Porch [ ] Deck [ ] Shed  
[ ] Move [ ] Install [ ] Wreck/Replace [ ] Solar [ ] Fireplace [ ] Woodburning Stove: [X] Single Family  
[ ] Revision [X] Repair [ ] Re-roof [X] Fence/Wall (complete Section 4) [ ] Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 125,000  
1C. If this is a revision of a previously approved active permit, the Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**  
7A. Type of sewage disposal: 01 [X] WSSC 02 [ ] Septic 03 [ ] Other: \_\_\_\_\_  
2B. Type of water supply: 01 [X] WSSC 02 [ ] Well 03 [ ] Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**  
3A. Height 6' feet \_\_\_\_\_ inches Replace existing side fences + gates  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
[ ] On party line/property line [X] Entirely on land of owner [ ] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Nancy M Novey \_\_\_\_\_  
Signature of owner or authorized agent \_\_\_\_\_  
Sept 25, 2001 \_\_\_\_\_  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: \_\_\_\_\_ Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

1-44 (1/21/99) **SEE REVERSE SIDE FOR INSTRUCTIONS**

(301) 563-3412  
3 5/13-01

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*25 Oxford St was built in 1963, renovated by the current owners in 1985 and has no historical significance. Furthermore, it does not blend into the neighborhood. This renovation of the existing front stairs, slightly french in appearance, with a front porch, is proposed to help blend in with the village.*

b. General description of project and its effect on the historic resource(s), the environmental setting, and where applicable, the historic district:

*Most houses in the village have front porches. Replacing the existing metal stairs with a wooden porch and trim, roof and replacing existing vinyl siding on second story with cedar should help improve the facade.*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17", 1/4" thick paper or plastic.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facade), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and finishes proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the drip-line of any tree 6" or larger in diameter (at a point slightly above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owners of all lot(s) or parcel(s) which directly access the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Market Street, Rockville, (301) 279-1353.

PLEASE PRINT IN BLUE OR BLACK INK OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MARKING LABELS.

<b>HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING</b> [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address	Owner's Agent's mailing address
25 Oxford St Ch Ch 20815	
Adjacent and confronting Property Owners mailing addresses	
17 Oxford St (West Side)	31 Oxford St (East side)
10 Oxford	12 Oxford (right in front)
14 Oxford St.	

g:addresses noticing table





Montgomery County Maryland

Department of Permitting Services

255 Rockville Pike, 2nd Floor Rockville, Maryland 20850-4166 240-777-6370

FOR OFFICE USE ONLY ZONING Classification: Sheet Number: Board of Appeals: Checked By:

Special Conditions:

Building Permit Application

PART ONE

DPS - #3

1A. WORK TYPE (Action):

- Construct, Extend/Add, Repair, Alter/Renovate

1B. ACTIVITY: (Check as many as apply)

- Finished Basement, Room/Addition, Pool, Hot Tub, Spa, Porch, Deck, Fireplace, Woodburning Stove, Fence/Wall, Shed, Slab, Other

1C. 1284 Square Footage of Land Disturbance
1D. 4054 Square Footage of Floor Area Created or Affected by This Action
1E. Declared Construction Cost Estimate \$ 52,000

1F. The primary structure on this lot is a: Single Family Home, Townhouse, Duplex, Modular Home, Trailer
1G. If this is a revision or is in the approved "Model Plan Program", give Permit Number:

PART TWO

Contact Person: DAVID ALESSANDRINI Daytime Phone No.: 301 1656-0141
Name of Applicant: ROGELIO NOVEY Daytime Phone No.: 301 1656-7121
Address: 25 OXFORD ST City: CHEVY CHASE State: MD Zip: 20815
Contractor: SMITH THOMAS & SMITH INC Contractor License No.: 453
Contractor Address: 4713 MAPLE AVE BETHESDA Phone No.: 301-656-0141
Plans Prepared By: Registration No.: Telephone No.: 1

Location of Building Premise

House Number 25 Street OXFORD STREET
Town/City CHEVY CHASE Zip 20815
Lot 35 Block 7

PART THREE COMPLETE ONLY FOR FENCE / RETAINING WALL

3A. Height: 6 feet 0 inches
3B. Type of Fence/Retaining Wall: WOOD
3C. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
1. On Lot Line (complete 3D) Yes No
2. Entirely on Land of Owner: Yes No
3. On Public Right-of-Way/Easement: Yes No
(Revocable Letter Required)

3D. I/We agree to the erection of this retaining wall or fence on the lot line and to all terms and conditions of this application.
Adjoining Property Owner(s) Signature Lot Block

TO BE READ BY APPLICANT

Any information that the applicant has set forth in this application that is false or misleading may result in the rejection of his application. A condition for the issuance of this permit is that the proposed construction will comply at all times with the plans as approved by all applicable government agencies. I hereby declare and affirm, under the penalty of perjury, that all matters and facts set forth in this building permit application are true and correct to the best of my knowledge, information and belief.

SEPT. 21, 2011 Date

Signature of Applicant
DAVID ALESSANDRINI Name (Print)

Approved Disapproved Signature For Chief, Permitting Services Date

A/P No. Filing Fee: \$ Trans. No.:
Date Filed: Permit Fee: \$
Date Issued: Balance: \$
A/P No. Trans. No.: Fee Waived:
A/P No.

I hereby declare and affirm, under the penalty of perjury, that:

1. I am duly authorized to make this building permit application on behalf of ROGELIO NOVEY  
*(name of property owner)*
2. The work proposed by this building permit application is authorized by the property owner; and
3. All matters and facts set forth in this Affidavit are true and correct to the best of my knowledge, information and belief.

SEPTEMBER 21, 2001  
*(Date)*

  
*Signature of Authorized Agent*

DAVID ALESSANDRINI  
*Print Name*

**MONTGOMERY COUNTY MUNICIPALITIES**

Common Ownership Communities  
\*Special Taxing Districts

This is a list of Montgomery County Municipalities and Special Taxing Districts (\*). Several Municipalities require building permits in addition to the required County building permit.

**REQUIRED:**

**CITY PERMIT APPROVAL BEFORE APPLICATION TO COUNTY:**

Barnesville, Brookeville, Laytonsville, Poolesville and Washington Grove.

**COUNTY PERMIT BEFORE APPLICATION TO CITY:**

Town of Chevy Chase, Chevy Chase Section 3, Chevy Chase Section 5, Chevy Chase Village, Glen Echo, Kensington, Village of Martin's Additions and Somerset

**BOTH COUNTY AND CITY PERMITS REQUIRED (NO SPECIFIC ORDER OF ISSUANCE):**

Village of North Chevy Chase, Garrett Park and Chevy Chase View.

**COUNTY ONLY - NO CITY PERMIT ISSUED:**

Friendship Heights, Oakmont and Takoma Park.

**CITY PERMIT ONLY - NO COUNTY PERMIT REQUIRED:**

Rockville and Gaithersburg.

If you have specific questions about permit requirements in any of these Municipalities and Special Taxing Districts, please contact them directly.

General Information/Questions about Montgomery County permit requirements should be directed to 301-217-6370.

If property is in a Common Ownership Community, please contact the Association to assure that you are in compliance with their requirements/process.

**Village of Martin's Additions**  
P.O. Box 15267  
Chevy Chase, MD 20815  
(301) 656-4112  
John Key

**Town of Barnesville**  
P.O. Box 95  
Barnesville, MD 20838  
(301) 972-8411  
Patricia H. G. Menke

**Town of Brookeville**  
P.O. Box 67  
Brookeville, MD 20833  
(301) 924-5979  
Susan Johnson

**Town of Chevy Chase**  
4301 Willow Lane  
Chevy Chase, MD 20815  
(301) 654-7144  
Tom Huggard

**Town of Chevy Chase View\***  
P.O. Box 136  
Kensington, MD 20895  
(301) 949-9274  
Jana Coe

**Chevy Chase Village**  
5906 Connecticut Avenue  
Chevy Chase, MD 20815  
(301) 654-7300  
Jerry M. Schiro

**Village of Chevy Chase, Sec. 3**  
P.O. Box 15281  
Chevy Chase, MD 20815  
(301) 656-9117  
Attn: Council Chairman

**Village of Chevy Chase, Sec. 5**  
P.O. Box 15140  
Chevy Chase, MD 20815  
(301) 986-5481  
Francis L. Higgins

**Village of North Chevy Chase**  
P.O. Box 15887  
Chevy Chase, MD 20815  
(301) 654-7084  
Marilyn Levitt

**City of Gaithersburg**  
31 South Summit Avenue  
Gaithersburg, MD 20877  
(301) 258-6330  
Building and Code Administration

**Town of Garrett Park**  
P. O. Box 84  
Garrett Park, MD 20896  
(301) 933-7488  
Glenda Ingham

**Town of Glen Echo**  
P.O. Box 598, Town Hall  
Glen Echo, MD 20812  
(301) 320-4041  
Betsy Platt

**Village of Friendship Heights\***  
4433 South Park Avenue  
Chevy Chase, MD 20815  
(301) 656-2797  
Julian P. Mansfield

**Town of Kensington**  
3710 Mitchell Street  
Kensington, MD 20895  
(301) 949-2424  
Pat McAuley

**Town of Laytonsville**  
P.O. Box 5158  
Laytonsville, MD 20882  
(301) 869-0042  
Charles Olin

**Town of Oakmont**  
P.O. Box 34078  
Bethesda, MD 20817  
(301) 564-1913  
Charles Wells

**Town of Poolesville**  
P.O. Box 158  
Poolesville, MD 20837  
(301) 479-8927  
Nancy I. Fost

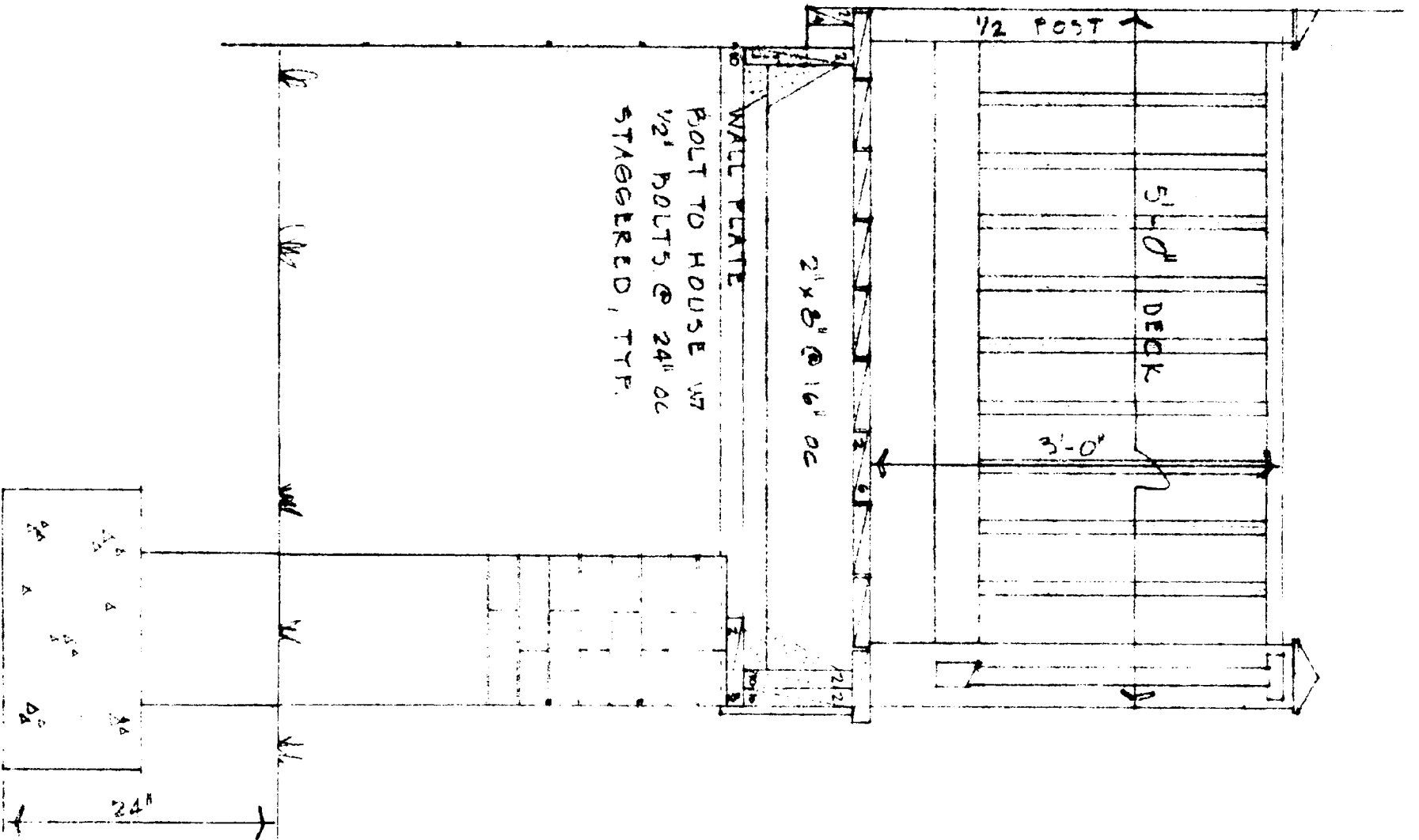
**City of Rockville**  
Maryland Avenue/Vinson Street  
Rockville, MD 20850  
(301) 309-3250  
Permit Section

**Town of Somerset**  
4510 Cumberland Avenue  
Chevy Chase, MD 20815  
(301) 657-3211  
Thomas W. Carter

**City of Takoma Park**  
7500 Maple Avenue  
Takoma Park, MD 20912  
(301) 270-1700  
Beverly K. Habada

**Town of Washington Grove**  
P.O. Box 216  
Washington Grove, MD 20880  
(301) 926-2256  
Mary M. Challstrom

EXIST'G HOUSE



6" x 6" REDWOOD POST W/ DECORATIVE CAP.

RAIL: TOP SM8840  
 BOTTOM SM8841  
 BALUSTER LWM 257

1" x 12" FASCIA, PRIMED

1 1/2" x 1 1/2" BRICK PIER, (2) PAGES  
 MATCH EXIST'G BRICK COURSE

WALL PLATE  
 BOLT TO HOUSE W/ 1/2" BOLTS @ 24" OC STAGGERED, TYP.

CONC. FTG: 24" x 24" x 12" @ 24" BELOW GRADE.

GRADE

SECTION

SCALE: 1" = 1'-0"

RENOVATIONS TO:

THE NOVEY RESIDENCE

25 OXFORD STREET

CHEVY CHASE, MD 20815

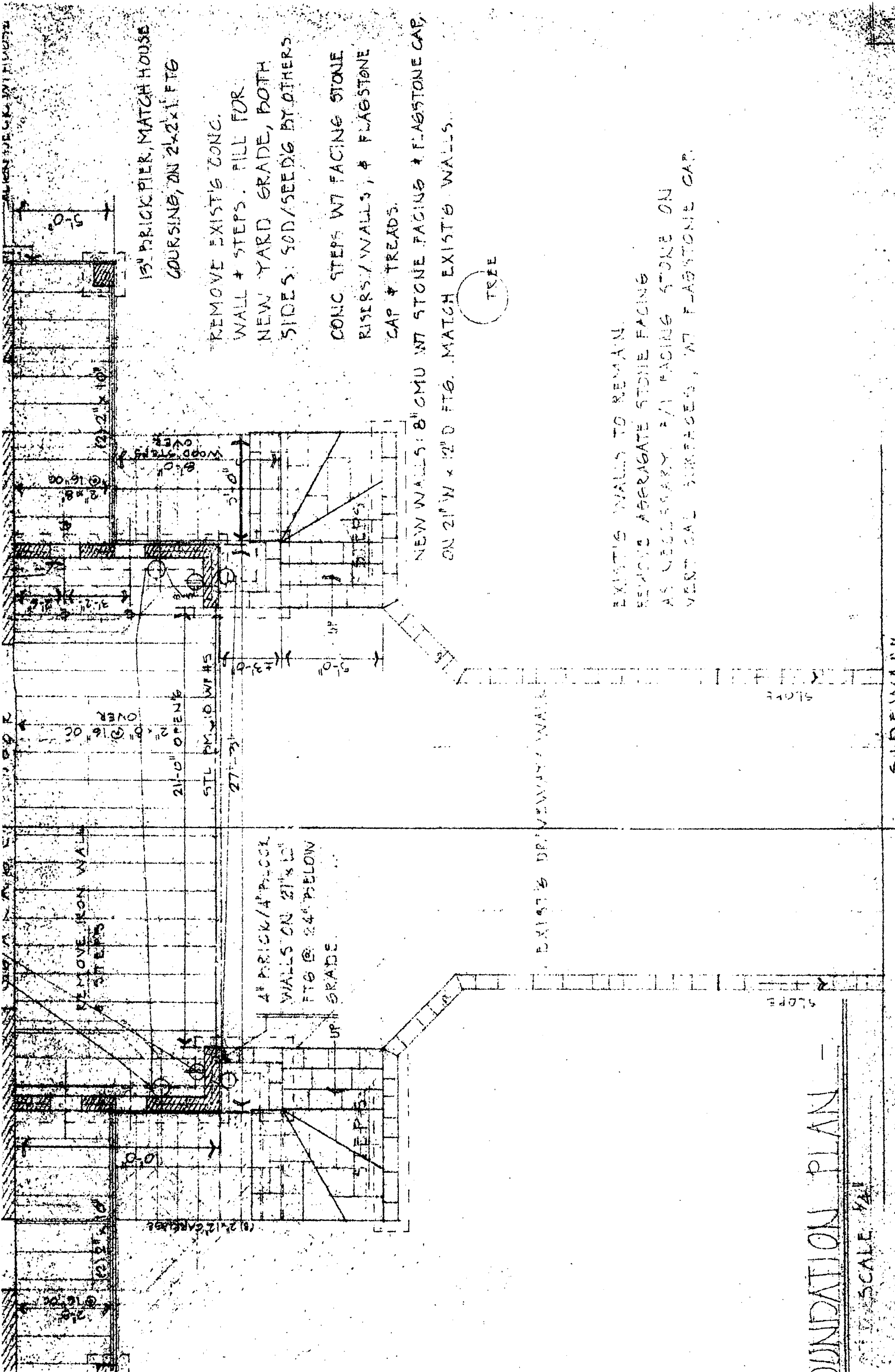
BY:

SMITH, THOMAS & SMITH, Inc

4713 MAPLE AVE

BETHESDA, MD 20814

301.656.0141



13" BRICK PIER, MATCH HOUSE  
COURSING, ON 2'x2'x1' FTG

REMOVE EXIST'G CONC.  
WALL & STEPS. FILL FOR  
NEW YARD GRADE, BOTH  
SIDES: SOD/SEED'G BY OTHERS

CONC STEPS W/ FACING STONE  
RISERS / WALLS, & FLAGSTONE  
CAP & TREADS.

NEW WALLS: 8" CMU W/ STONE FACING & FLAGSTONE CAP,  
ON 2'x1'x12" FTG. MATCH EXIST'G WALLS.

TREE

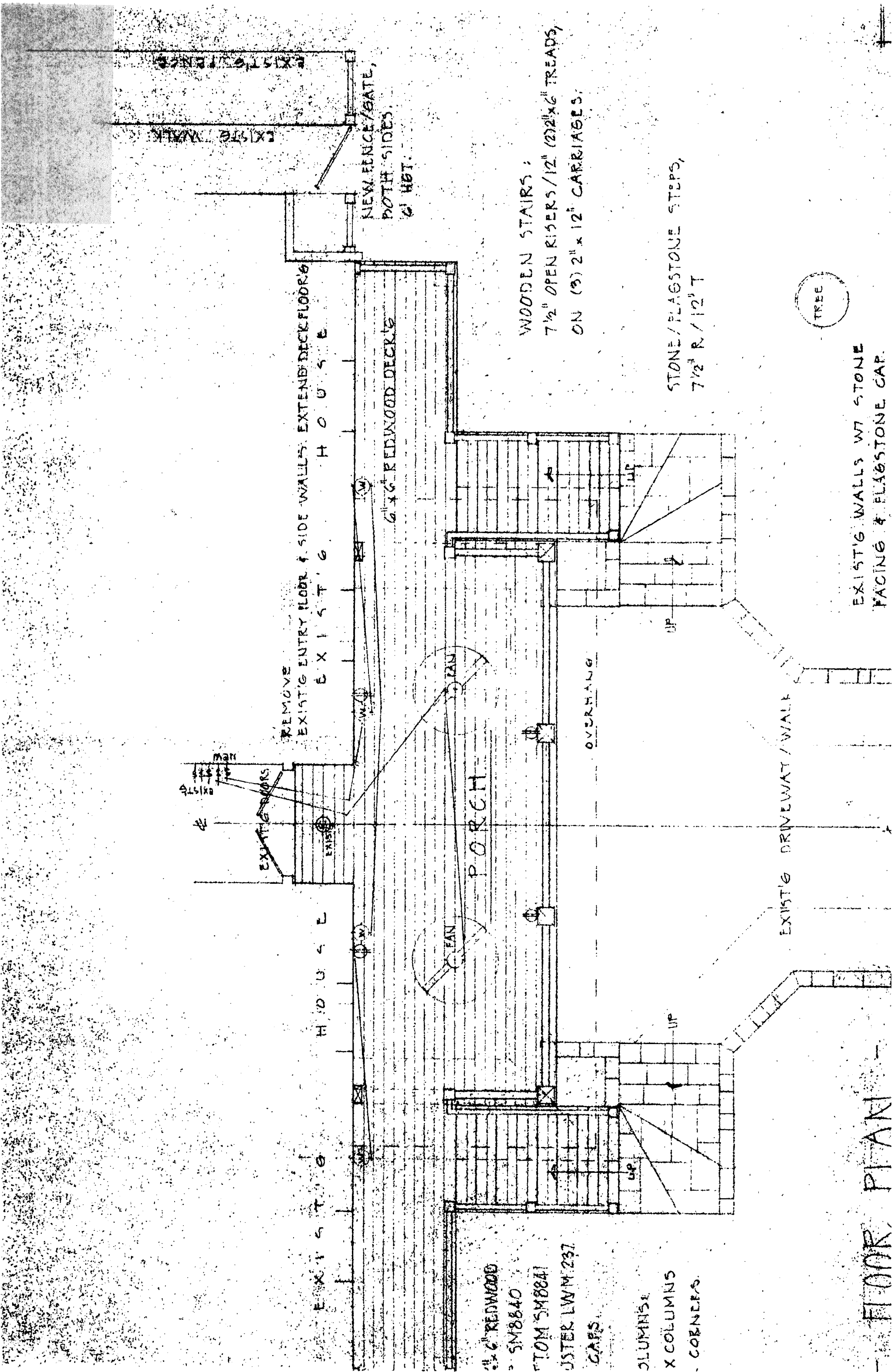
EXIST'G WALLS TO REMAIN.  
REMOVE AGGREGATE STONE FACING  
AS NECESSARY. F/1 FACING STONE ON  
VERTICAL SURFACES, W/ FLAGSTONE CAP.

4" BRICK / 4" BLOCK  
WALLS ON 2'x1'x12"  
FTG @ 24" BELOW  
UP GRADE.

EXIST'G DRIVEWAY WALL

FOUNDATION PLAN

SCALE 1/4" = 1'-0"



EXIST'G WALK  
EXIST'G FENCE

REMOVE  
EXIST'G ENTRY FLOOR & SIDE WALLS. EXTEND DECK FLOOR'S  
EXIST'G HOUSE

NEW FENCE/GATE,  
BOTH SIDES.  
6' HGT.

6" x 6" REDWOOD DECK'S

WOODEN STAIRS:  
7 1/2" OPEN RISERS / 12" (2) 2" x 6" TREADS,  
ON (3) 2" x 12" CARRIAGES;

STONE / FLAGSTONE STEPS,  
7 1/2" R / 12" T

TREE

EXIST'G WALLS W/ STONE  
FACING & FLAGSTONE CAP.

EXIST'G STAIRS

EXIST'G STAIRS

HOUSE

PORCH

OVERHANG

EXIST'G DRIVEWAY / WALK

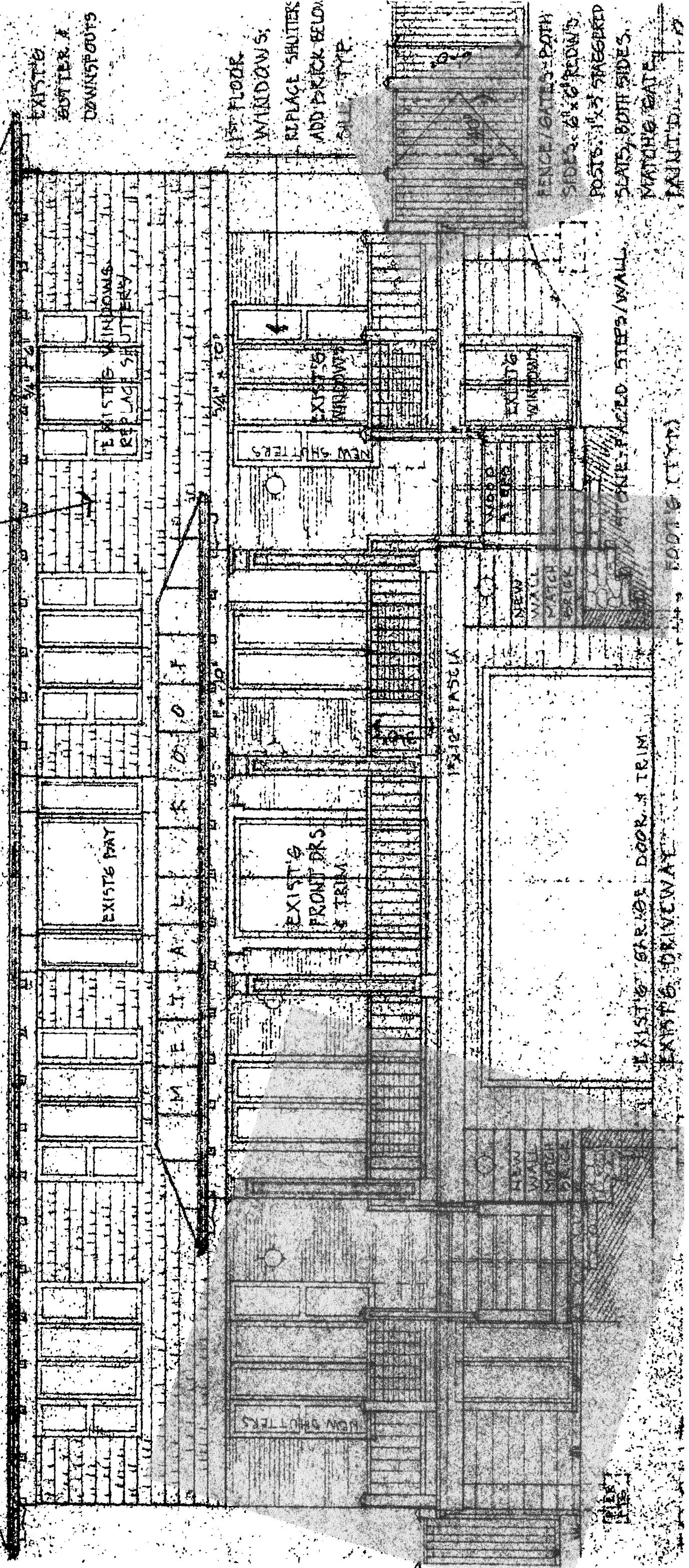
6" x 6" REDWOOD  
SM8840  
TOM SM8841  
JUSTER LWM 237  
GAPS

COLUMNS  
X COLUMNS  
CORNERS

FLOOR PLAN

2ND FLOOR: REMOVE EXTERIOR SIDING  
P/I CEDAR SHINGLE / PLYWOOD PACKER  
PANELS. F/I FASCIA BRDS,  
3/8" SOFFIT & WOOD BRACKETS @  
24" OC. FRONT / SIDES / REAR.

EXISTING ROOF



FENCE / GATES - BOTH  
SIDES - 2" x 6" BRDS  
POSTS - 1" x 3" STAGGERED  
SLATS, BOTH SIDES  
MATCH GATE  
PAINTED

EXISTING GARAGE DOOR & TRIM  
EXISTING DRIVEWAY

EXISTING ROOF

EXISTING FASCIA

NEW SHUTTERS

NEW WALL  
MATCH  
BRIDGE

WOOD  
BRACKETS

EXISTING  
WINDOWS

EXISTING  
WINDOWS

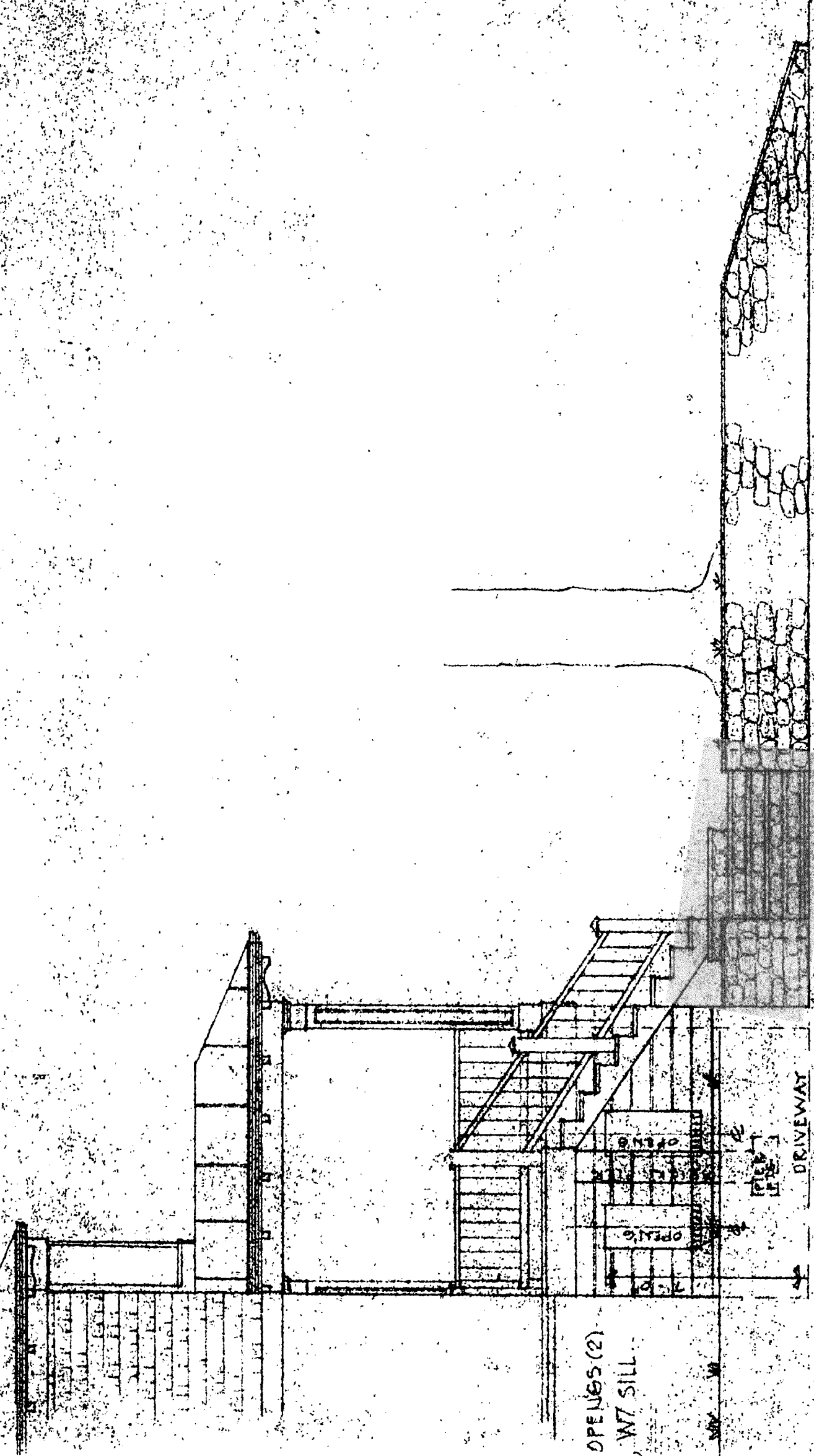
NEW SHUTTERS

EXISTING  
WINDOWS

REPLACE  
SHUTTERS

EXISTING  
DOWNSTAIRS

1ST FLOOR  
WINDOWS:



OPENINGS (2)  
WT SILL

DRIVEWAY

SIDE



TIN ROOF'G ON 3/4" PLYMB  
 SUBROOF'G ON 2"x8" RAFTERS @  
 24" OC  
 ALUM. OBEER GUTTERS

2" x 4" LADDER UNDER 2" x 12" PM.  
 2" x 8" @ 24" OC RAFTERS  
 2" x 10" HIP RAFTER  
 1" x 6" B.D. / 3/8" MDO SOFFIT  
 (2) 2" x 6" BEAM  
 1" x 10" FASCIA / 1/8" BED MOULD  
 1" x 4" T&G DEAD'D OLG  
 COLUMNS: 2" SQ BOX COL. (2" x 7 1/2" SQ)  
 W/ 5/4" x APPLIED FOR PANEL REVEAL  
 W/ 3/8" CROWN CAPITAL & 1" NECK  
 MOULD'G

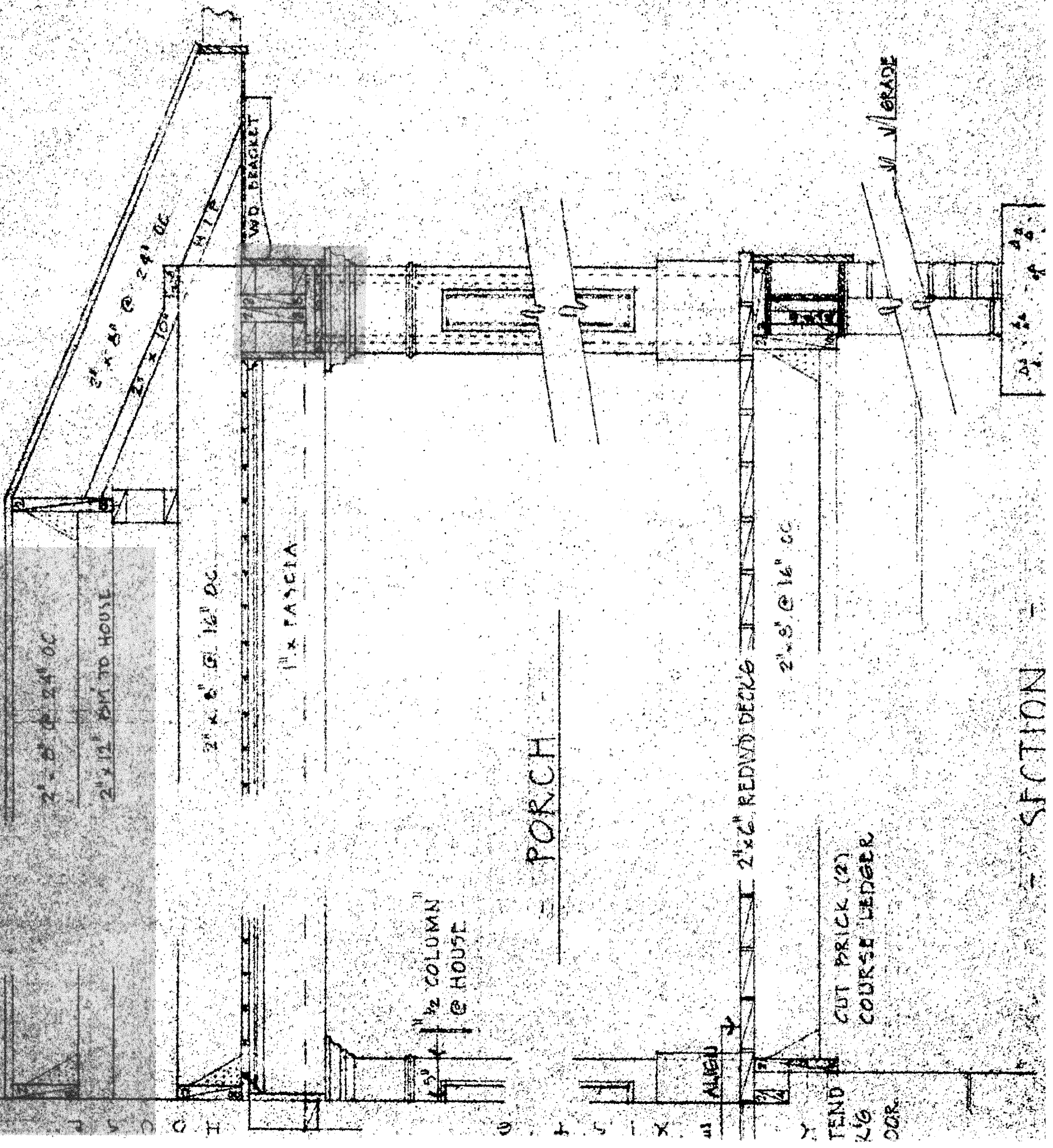
1" x 10" COLUMN BASE

2" x 6" REDW'D DECKING

10 WF 45 STL PM W/ 2" x 8"  
 WD FLATE & NEC WD BLOCK'G

4" BRICK / 4" BLOCK PORCH WALLS  
 MATCH EXIST'G COURSE DETAILING

WALL FTG: 2" x 12" @



PORCH

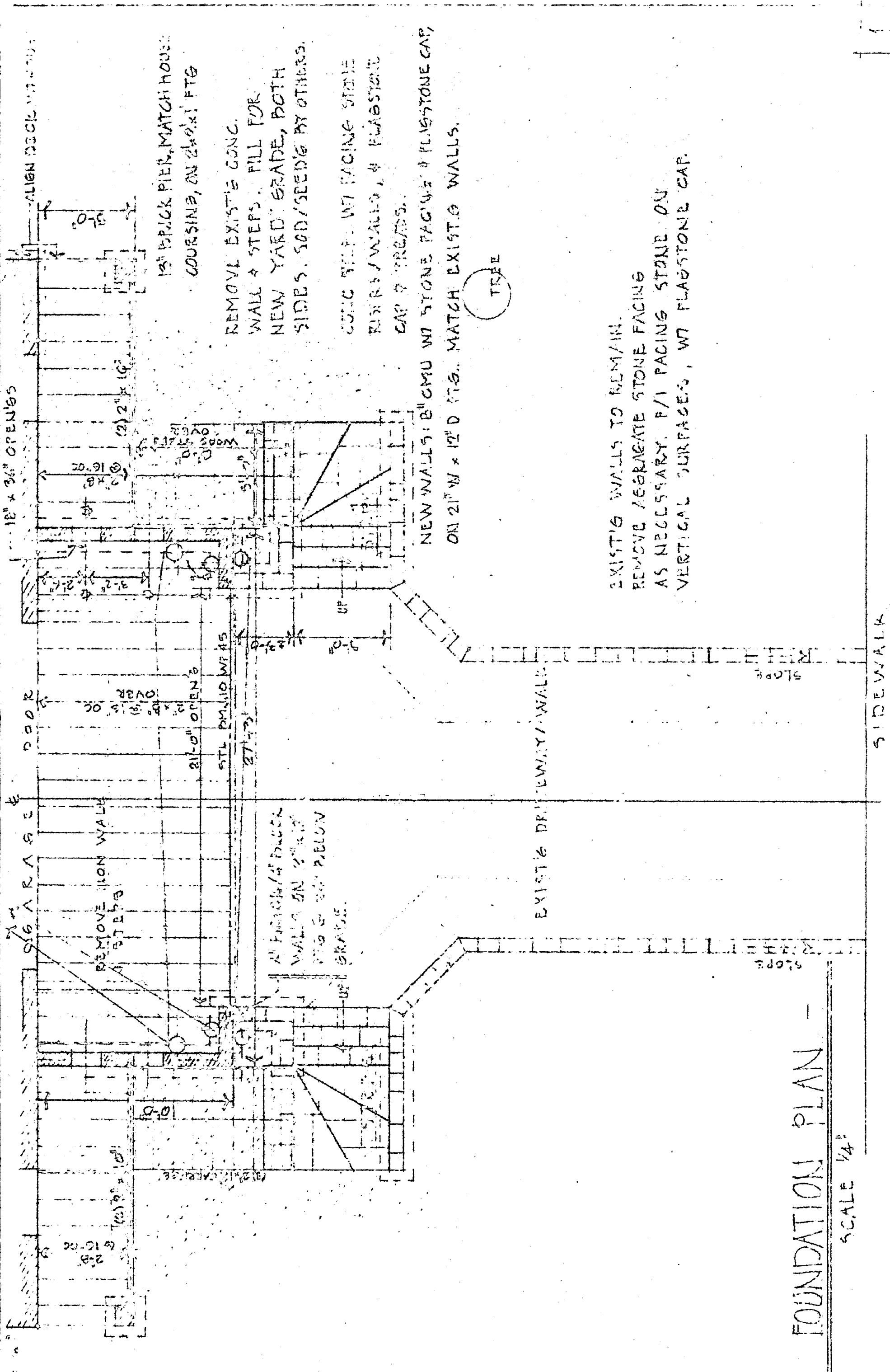
SECTION

RENOVATIONS TO:  
THE NOVEY RESIDENCE  
25 OXFORD STREET  
CHEVY CHASE, MD 20815

BY:  
SMITH, THOMAS & SMITH, Inc  
4713 MAPLE AVE  
BETHESDA, MD 20814  
301.656.0141

21 SEPT 01

OK



ALIGN DECISION LINE

13" BRICK PIER, MATCH HOUSE COURSING, ON 24"x1' FTG

REMOVE EXISTING CONC. WALL & STEPS. FILL FOR NEW YARD GRADE, BOTH SIDES. SOIL/SEEDING BY OTHERS.

CONC. TIE-IN W/ FACING STONE RISERS/WALLS, & FLAGSTONE CAP & TREADS.

NEW WALLS: 8" CMU W/ STONE FACING & FLAGSTONE CAP, ON 21" W x 12" D FTG. MATCH EXISTING WALLS.

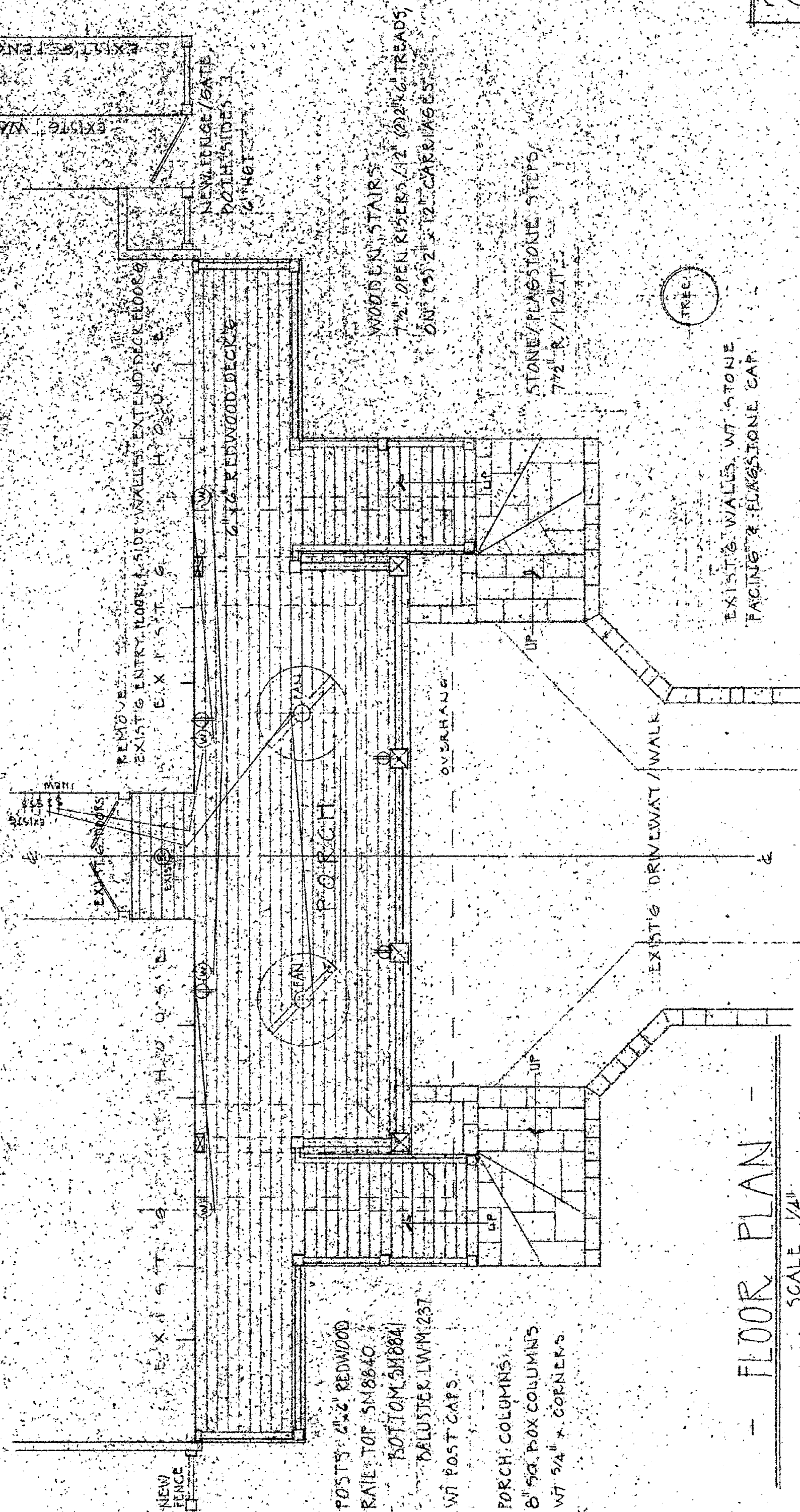
TREE

EXISTING WALLS TO REMAIN. REMOVE REFRAGITE STONE FACING AS NECESSARY. F/1 FACING STONE ON VERTICAL SURFACES, W/ FLAGSTONE CAP.

FOUNDATION PLAN -

SCALE 1/4"

SIDEWALK



POSTS 2"x2" REDWOOD  
 RAIL TOP 5M8840  
 BOTTOM 5M8841  
 BALUSTER LWM 237  
 W/ POST CAPS  
 PORCH COLUMNS  
 8" SQ. BOX COLUMNS  
 W/ 5/4" X CORNERS

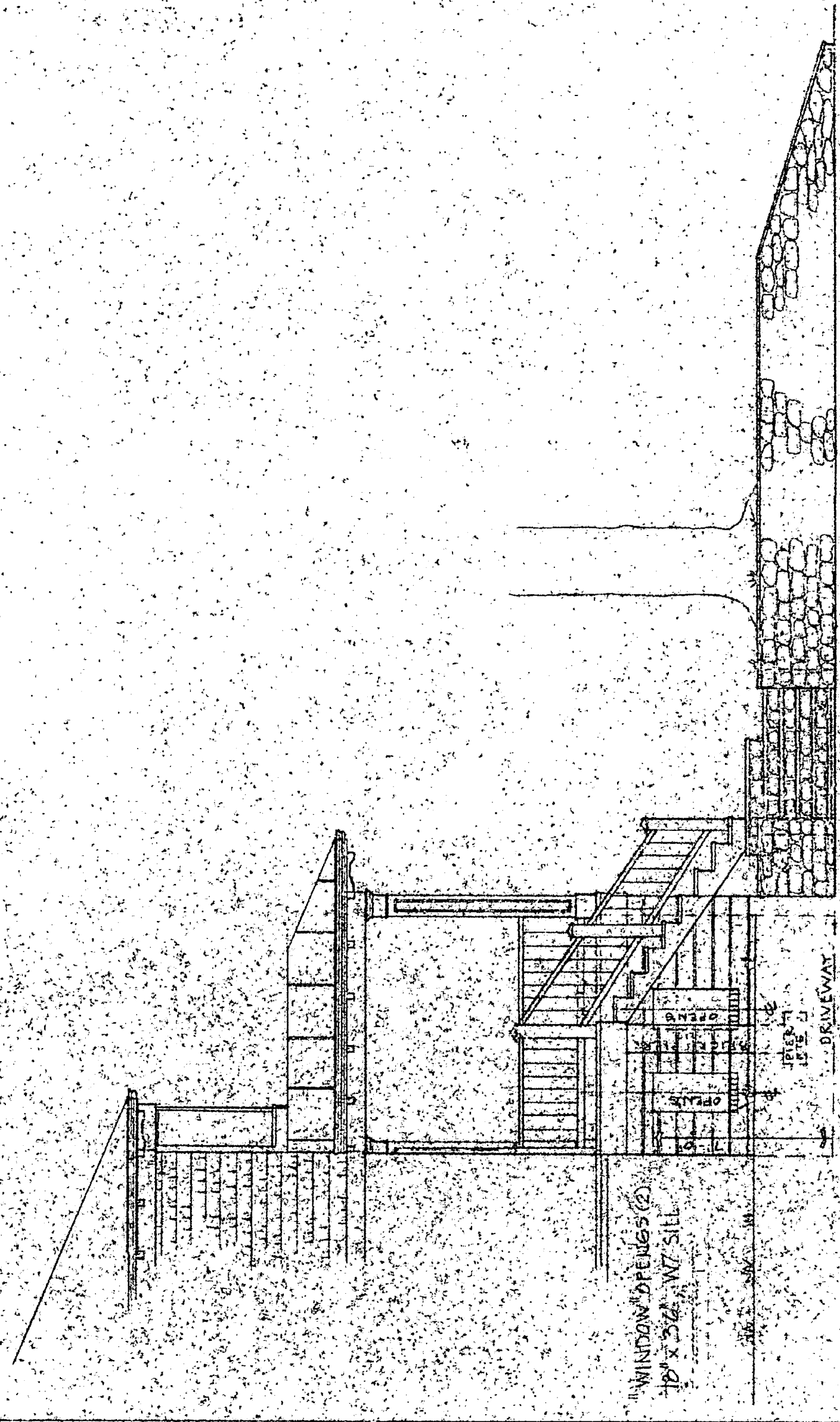
- FLOOR PLAN -

SCALE 1/4"

EXIST'G WALLS WT STONE  
 FACING & FLAGSTONE CAP.







SIDE  
SCALE 1/4"

TIN ROOF'G ON 3/4" PLYWD  
 SUBROOF'G ON 2" x 8" RAFTERS @  
 24" OC.  
 ALUM. GEEE GUTTERS  
 2" x 4" LADDER UNDER 2" x 12" DIM.  
 2" x 8" @ 24" OC RAFTERS  
 2" x 10" HIP RAFTER  
 1" x 6" G.P. / 3/8" MDO SOFFIT  
 (2) 2" x 2" BRIM  
 1" x 10" FASCIA / 1 1/2" RED MIDDLE  
 1" x 4" TWO DEAD'D CLR  
 COLUMNS: 2" SQ BOX COL. @ 1/2" SQ  
 W/ 3/4" x APPLIED FOR PANEL REVEAL  
 W/ 3/8" CROWN CAPITAL & FINISH  
 MOULD'G.

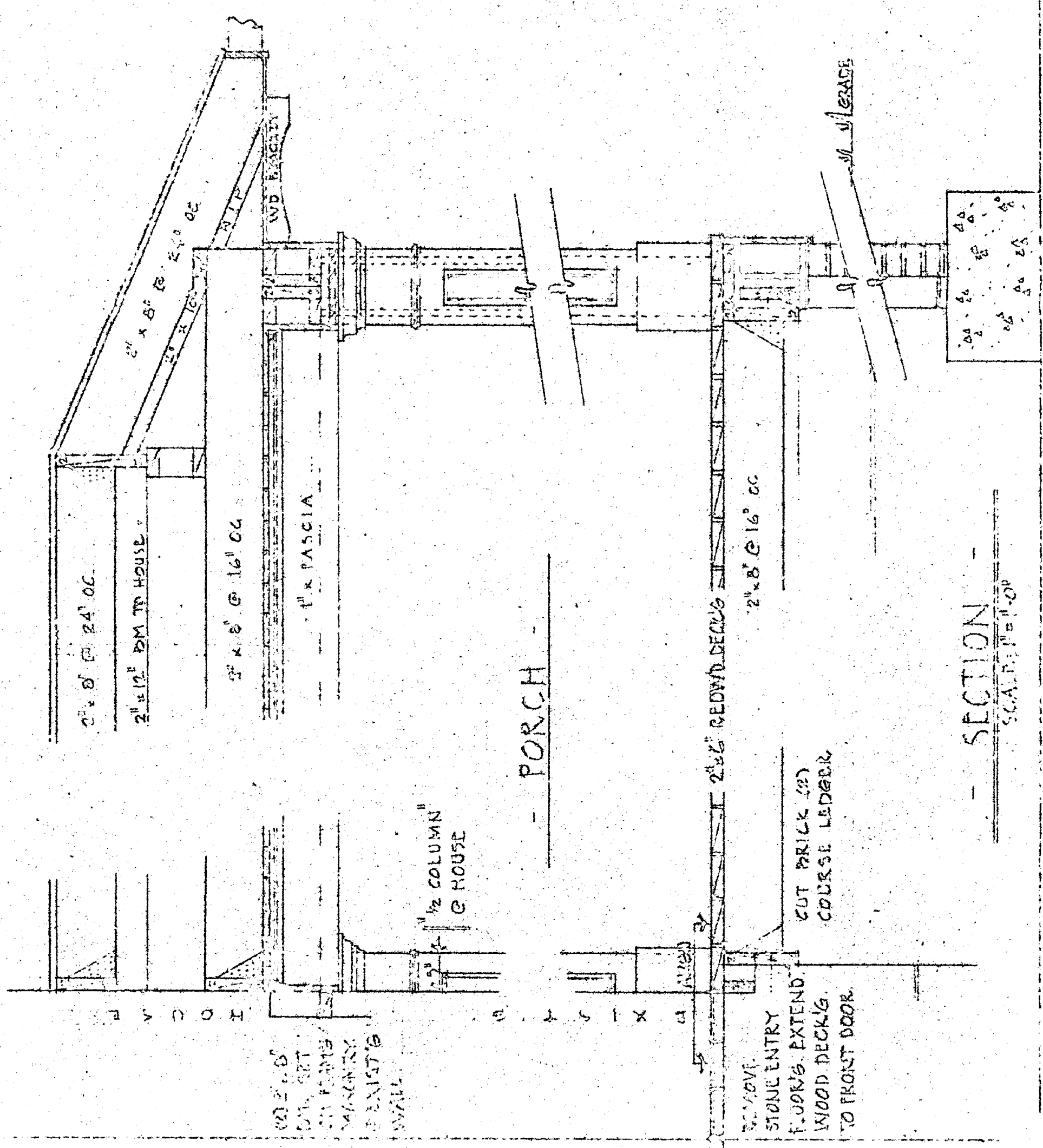
1" x 10" COLUMN BASE

2" x 6" REDIN'D DECKING

10 WF 45 STL DIM W/ 2" x 8"  
 WD FLATE & NEC WD BLOCKS

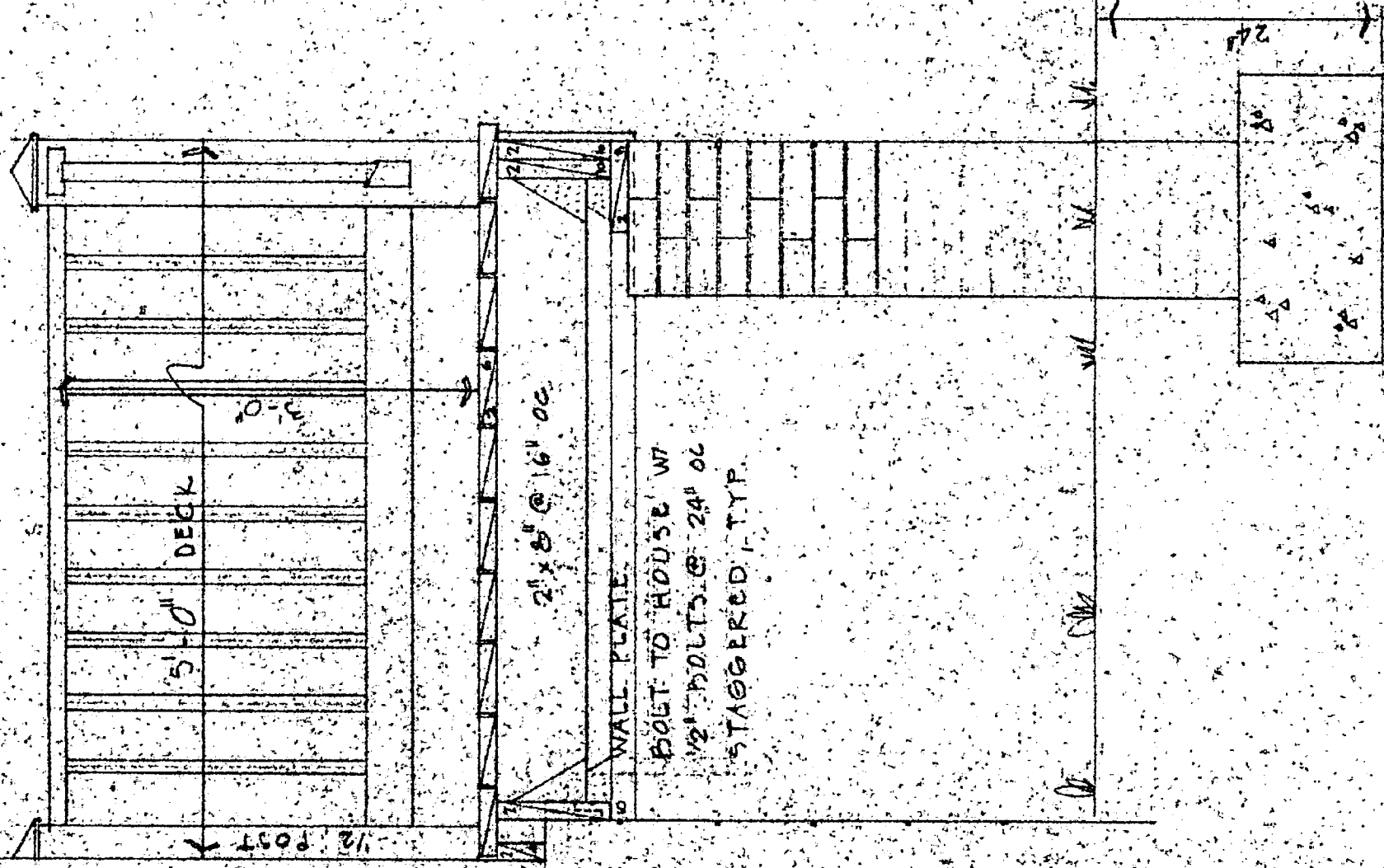
4 BRICK 7/4" FLGAL PORCH WALLS  
 MATCH EXIST'G COURSE DETAILING

WALL FTO. 2" x 12" @  
 24" BELOW GRADE.



PORCH

SECTION  
 SCALE: 1/4" = 1'-0"



2" X 6" RED W'D. POST W/  
DECORATIVE CAP

RAIL TOP 5M8840  
BOTTOM 5M8841  
BALUSTER LWM 237

1" X 12" FASCIA, PRIMED

1 1/2" X 12" BRICK PIER, (2) PLACES  
MATCH EXIST'G BRICK COURSE

2" X 6" @ 16" OC

WALL PLATE

BOLT TO HOUSE W/  
1/2" BOLTS @ 24" OC  
STAGGERED, TYP.

GRADE

CONC. FTG. 24" X 24" X 12"  
@ 24" BELOW GRADE

SECTION

SCALE 1/8" = 1'-0"

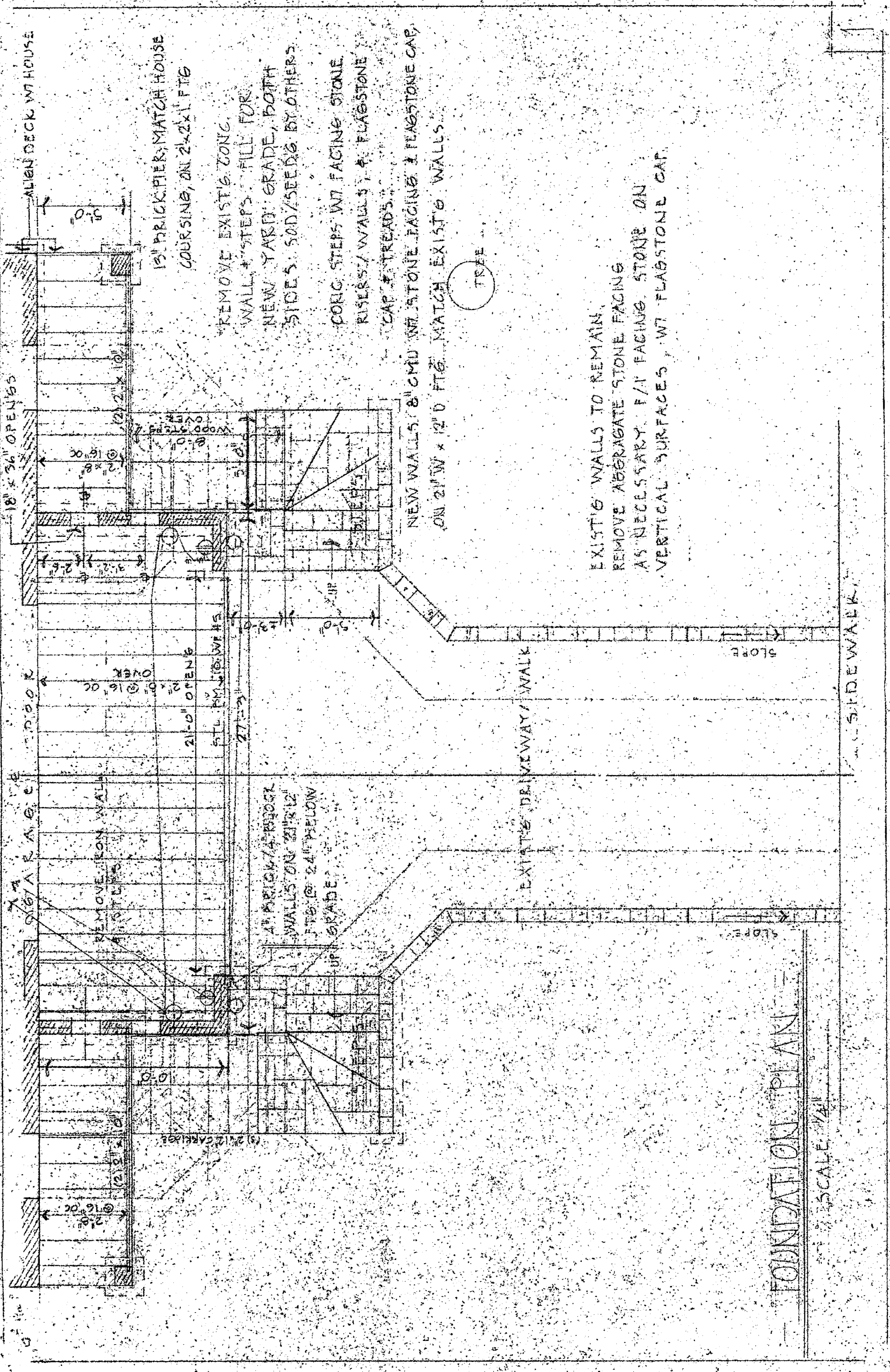


RENOVATIONS TO  
THE NOVEY RESIDENCE  
25 OXFORD STREET  
CHEVY CHASE, MD 20815

BY  
SMITH, THOMAS & SMITH, Inc  
4713 MAPLE AVE  
BETHESDA, MD 20814  
301.656.0141

21 SEPT 01

9/1



13" BRICK PIER, MATCH HOUSE COURSING, ON 2' x 2' x 1' FTG

REMOVE EXIST'G CONC. WALL & STEPS. FILL FOR NEW YARD GRADE, BOTH SIDES. SOD/SEEDING BY OTHERS.

CONC. STEPS W/ FACING STONE RISERS/WALLS, & FLAGSTONE CAP & TREADS.

NEW WALLS 8" CMU W/ STONE FACING & FLAGSTONE CAP, ON 2" W x 12" D FTG. MATCH EXIST'G WALLS.

TREE

EXIST'G WALLS TO REMAIN. REMOVE ABRAGATE STONE FACING AS NECESSARY. F/1 FACING STONE ON VERTICAL SURFACES, W/ FLAGSTONE CAP.

FOUNDATION PLAN

SCALE 1/4"

SIDEWALK

EXIST'G DRIVEWAY/WALK

SLOPE

SLOPE

2" x 0" @ 16" OC OVER

2" x 8" @ 16" OC

(2) 2" x 10"

(2) 2" x 12" CARRIERS

21'-0" OPENING

5" L. PM. @ 16" W/HS

27'-3"

4" BELOW 7/4" BLOCK WALLS ON 2" x 12" FTG @ 24" BELOW UP. GRADE

ALIEN DECK W/ HOUSE

18" x 36" OPENINGS

GARAGE DOOR

REMOVE IRON WALL & STEPS

2'-0"

2'-0"

2'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

1'-0"

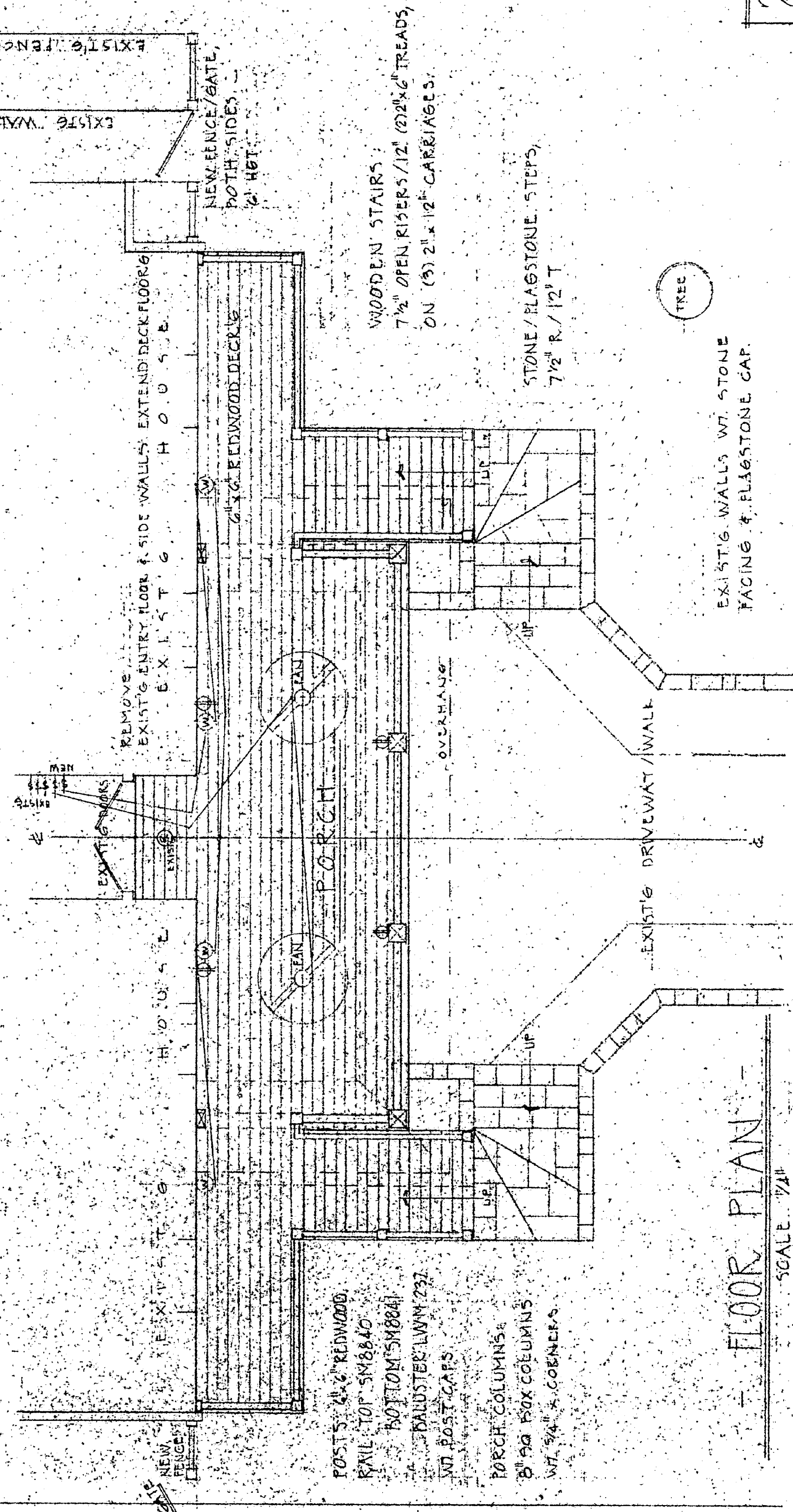
1'-0"

1'-0"

1'-0"

1'-0"

1'-0"



REMOVE EXIST'G ENTRY FLOOR & SIDE WALLS. EXTEND DECK FLOOR TO EXIST'G WALK. H O U S E

WOODEN STAIRS:  
 7 1/2" OPEN RISERS / 12" (2) 2" x 6" TREADS,  
 ON (3) 2" x 12" CARRIAGES.

STONE / FLAGSTONE STEPS,  
 7 1/2" R. / 12" T

EXIST'G WALLS W/ STONE  
 FACING & FLAGSTONE CAP.

FLOOR PLAN

SCALE 1/4" = 1'-0"

EXIST'G FENCE

NEW FENCE / GATE,  
 BOTH SIDES -  
 6' HGT

6" x 6" REDWOOD DECKING

PORCH

POSTS: 4" x 6" REDWOOD,  
 RAIL TOP: 5M8840,  
 BOTTOM: 5M8841,  
 BALUSTER: LWNM 237,  
 W/ POST CAPS

PORCH COLUMNS:  
 8" DIA FOX COLUMNS  
 W/ 5/4" x 5 CORNERS

OVERHANG

EXIST'G DRIVEWAY / WALK

TREE

EXIST'G STAIRS  
 NEW STAIRS

H O U S E

EXIST'G FENCE

EXIST'G WALK  
 EXIST'G FENCE

UP

UP

UP

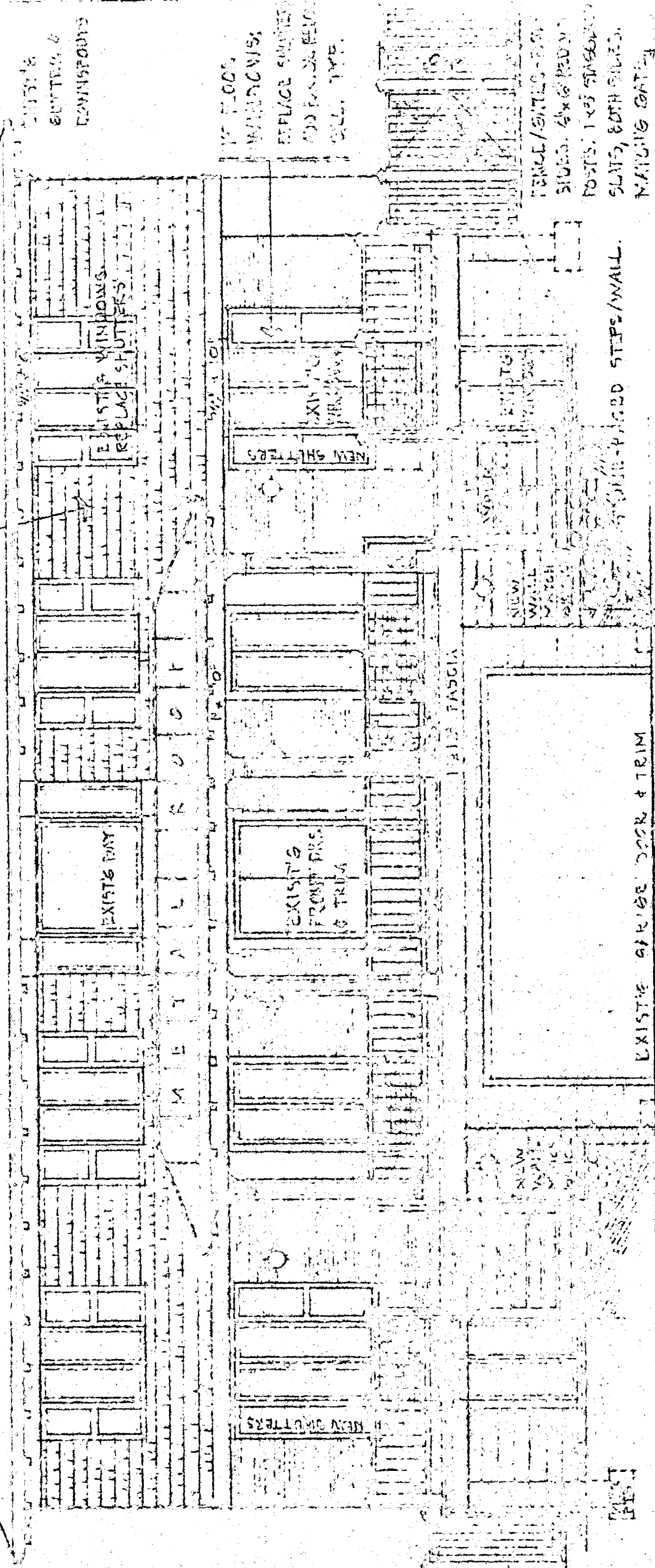
UP

UP

UP

2ND FLOOR: REMOVE EXTERIOR SIDING.  
 F/3 CEDAR SHINGLE / FLYING BACKER  
 PANELS. F/I FASCIA BRDS,  
 3/8" SOFFIT & WOOD BRACKETS @  
 24" OC. FRONT / SIDES / REAR.

EXIST'S ROOF



SCALE 1/4" = 1'-0"

FRONT

EXIST'S DRIVEWAY

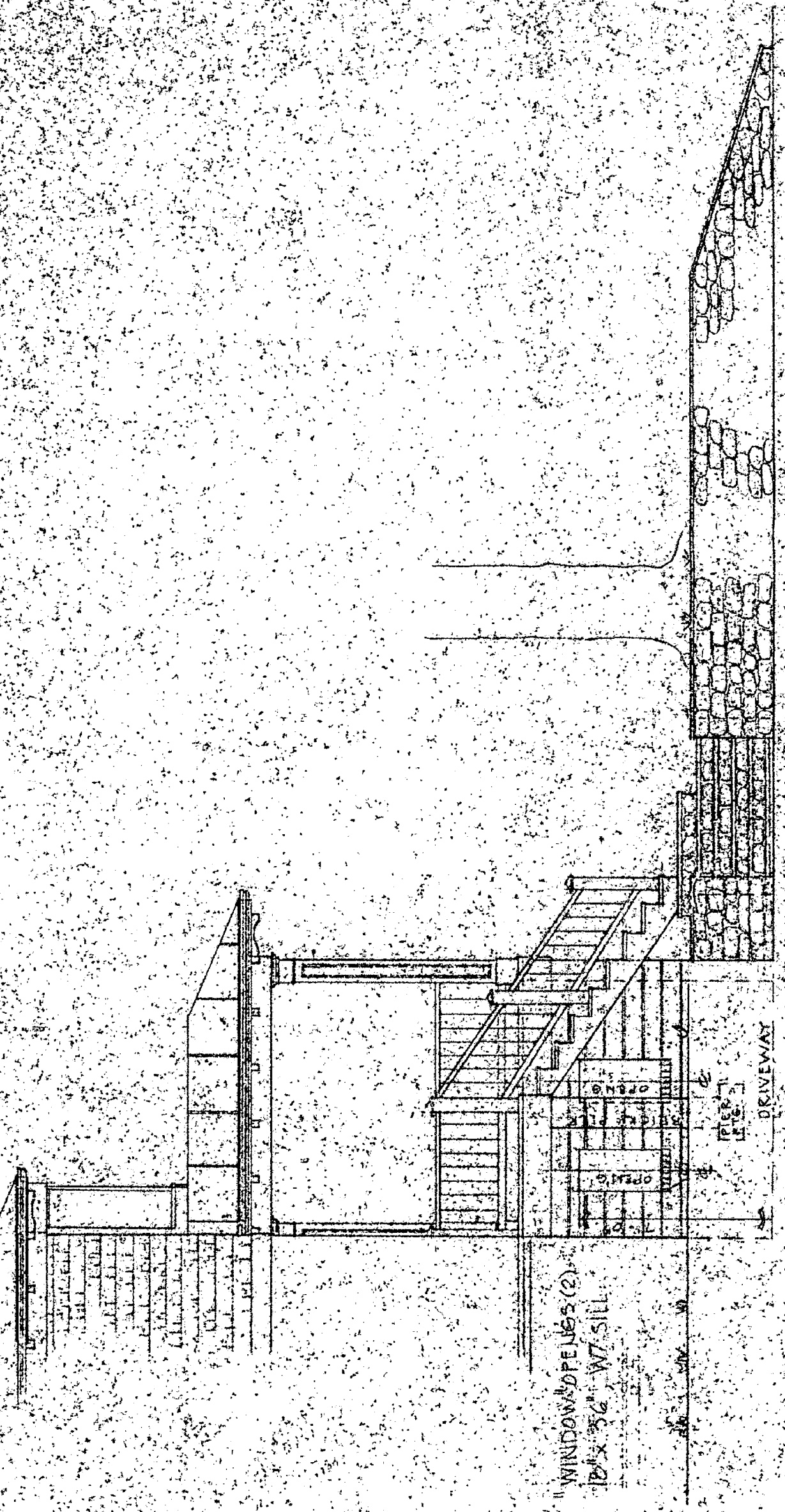
EXIST'S GARAGE DOOR & TRIM

NEW WINDOWS; REPLACE SHUTTERS; ADD FASCIA BELOW; CALL TYPE.

REMOVE / SIDING - EXISTING SIDING. 4x6 RED WOOD POSTS. 1x3 SINGLES.

SLATS, BOTH SIDES. MATCHING GATE.

PAINTED 1/4"



"WINDOWS/PELLES (2)  
 18" x 56" W7 SILL

FLOR  
 L.F.S.

DRIVEWAY

SIDE

SCALE 1/4"

TIN ROOF ON 1/2" PLYWD  
 SUBROOF ON 2" x 8" RAFTERS @  
 24" OC  
 ALUM. DEEF GUTTERS

2" x 4" LADDER UNDER 2" x 12" PIM  
 2" x 8" @ 24" OC RAFTERS  
 2" x 10" HIP RAFTER  
 1" x 6" B / 3/8" MDO SOFFIT  
 (2) 2" x 8" BEAM

1" x 10" FASCIA / 1" x 8" PED MDO  
 1" x 4" T&G DEAD' D CEG  
 COLUMNS: 6" SQ PROX COL (4 7/8" SQ)  
 INT 5/4" x APPLIED FOR PANEL REVEAL  
 NO 3/8" CROWN CAPITAL & 1" NECK  
 MOULD'S

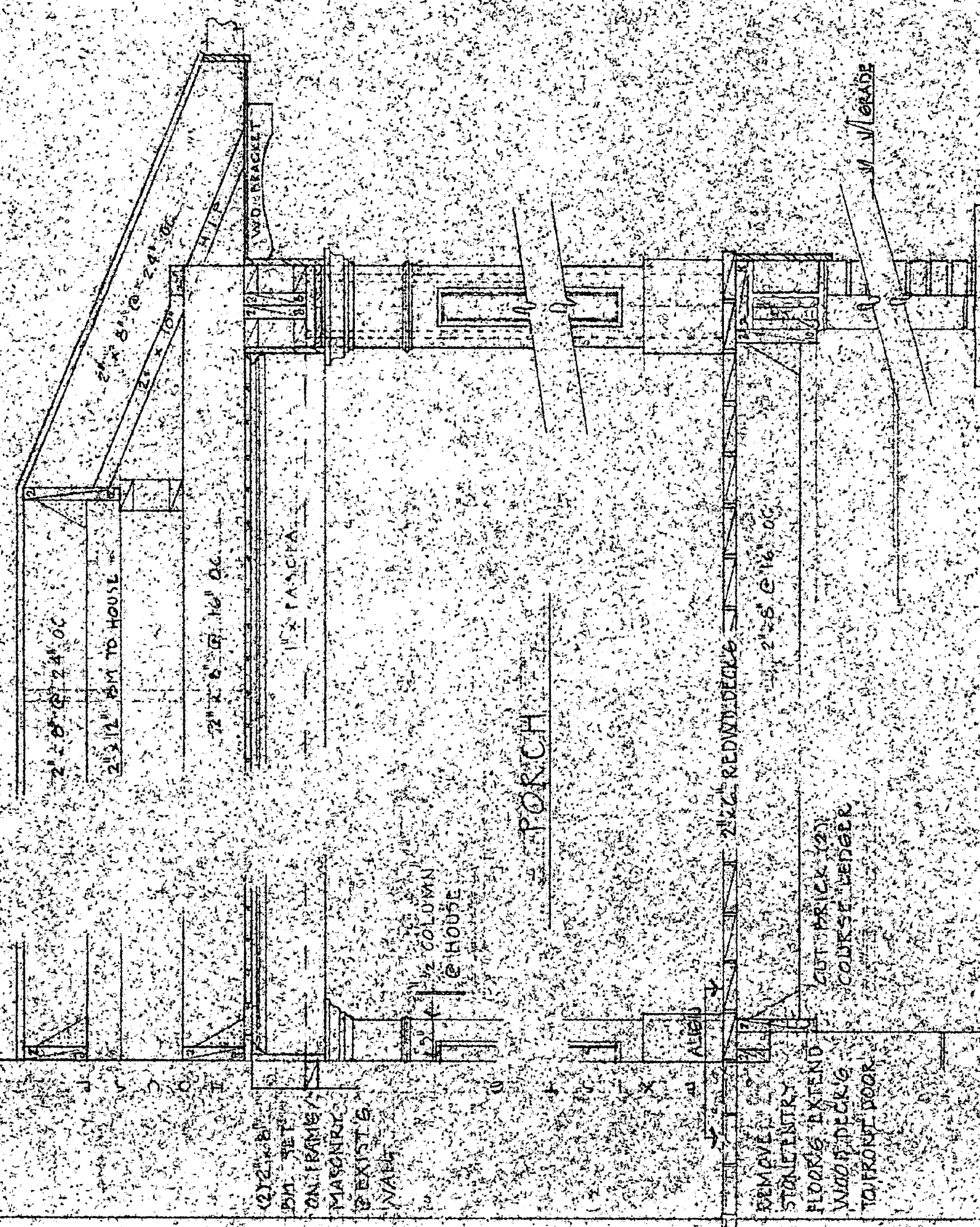
1" x 10" COLUMN BASE

2" x 2" REDWD DECKING

10" WF 45 STL BM W/ 2" x 8"  
 W/ FLATE & REC WD BLOCKS

4" BRICK / 4" BLOCK PORCH WALLS  
 MATCH EXIST'G COURSE DETAILING

WALL FTG: 2" x 12" @  
 24" BELOW GRADE



PORCH

SECTION  
 SCALE 1" = 1'-0"