

35/13-01X 3 Newlands Street
(Chevy Chase Village H.D.)

2

M U S E A R C H I T E C T S

Richard E. Smith II
Associate, AIA

Suite 300
5630 Connecticut Avenue NW
Washington DC 20015

202.966.6266
Fax: 202.966.9666
rsmith@musearchitects.com

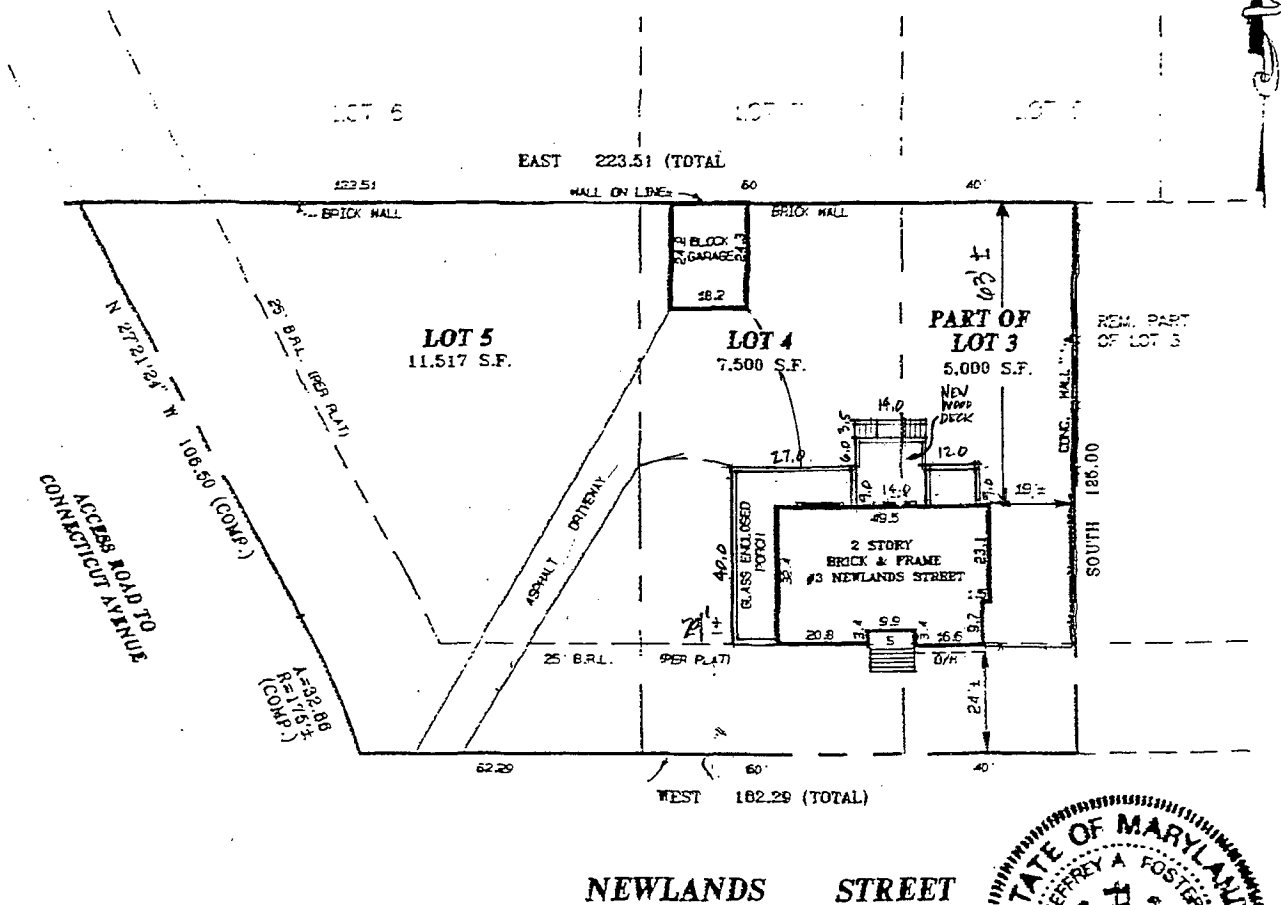
CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

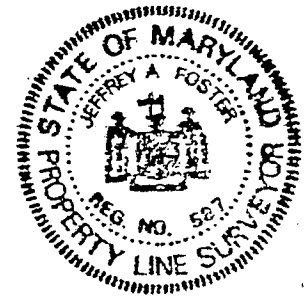
Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 feet.


Flood Zone "C" per H.U.D Flood Panel No. 0175C.

Total Area = 24,017 S.F.± (Per Tax Record).



LOCATION-DRAWING
 LOTS 4, 5, & PART OF LOT 3
 BLOCK 54
 SECTION NO. 2
CHEVY CHASE
 MONTGOMERY COUNTY, MARYLAND



SURVEYOR'S CERTIFICATE "THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION." <i>Jeffrey A. Foster</i> MARYLAND PROPERTY LINE SURVEYOR REG. NO. 527	REFERENCES PLAT BK. 2 PLAT NO. 106	 SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 216 Gaithersburg, Maryland 20879 301/948-5100, Fax 301/948-1286
	LIBER 2878 FOLIO 258	

APPROVED
 Montgomery County
 Historic Preservation Commission

[Handwritten signature]
 202
 5/1/02

PROJECT: ROPP/ BUTSWINKAS RESIDENCE

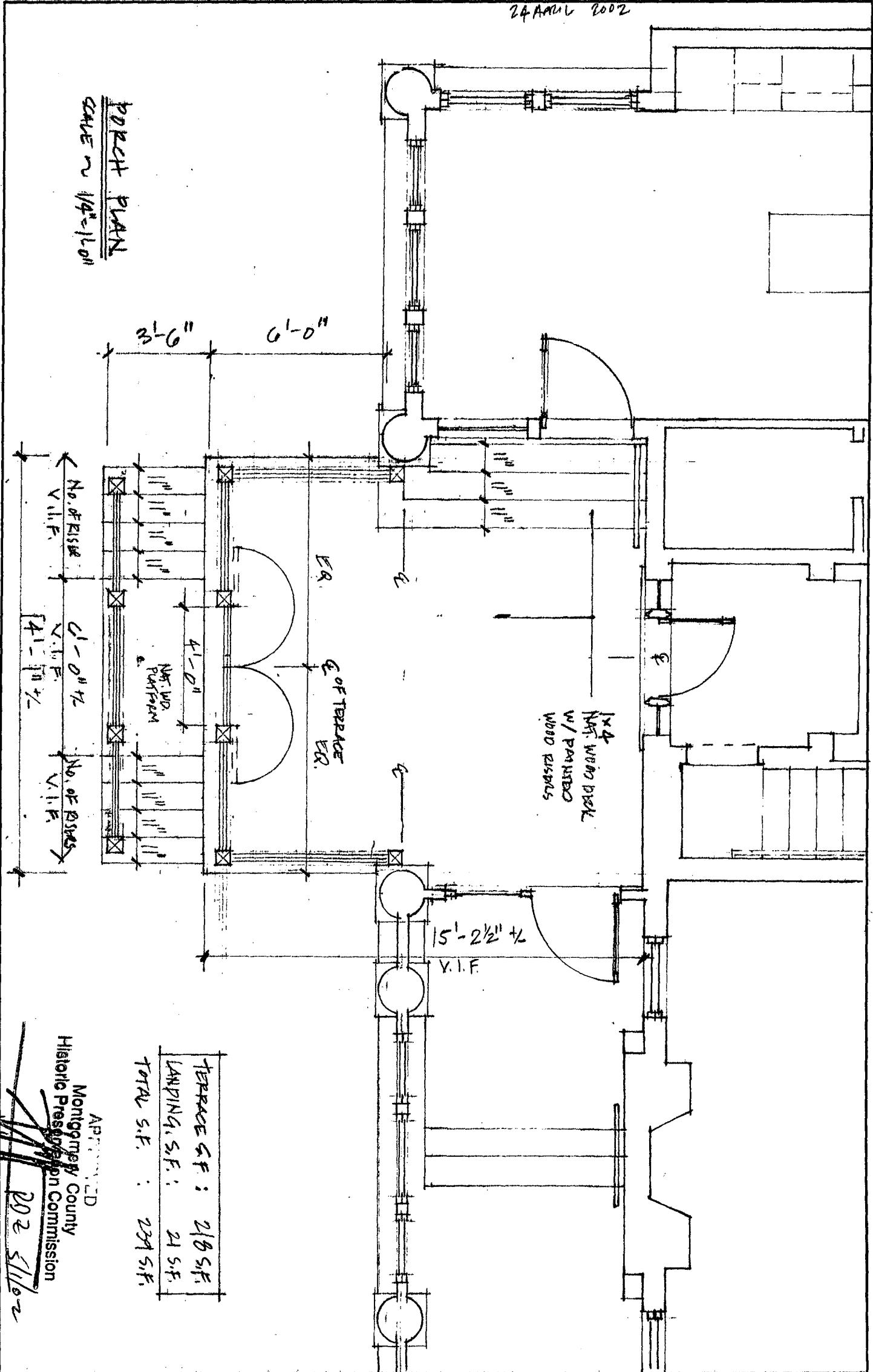
SCALE: 1/4" = 1'-0"

DATE: 5 APRIL 2002 REV (8 APRIL 2002)
(12 APRIL 2002)

SK 40

24 APRIL 2002

POCKET PLAN
SCALE ~ 1/4" = 1'-0"

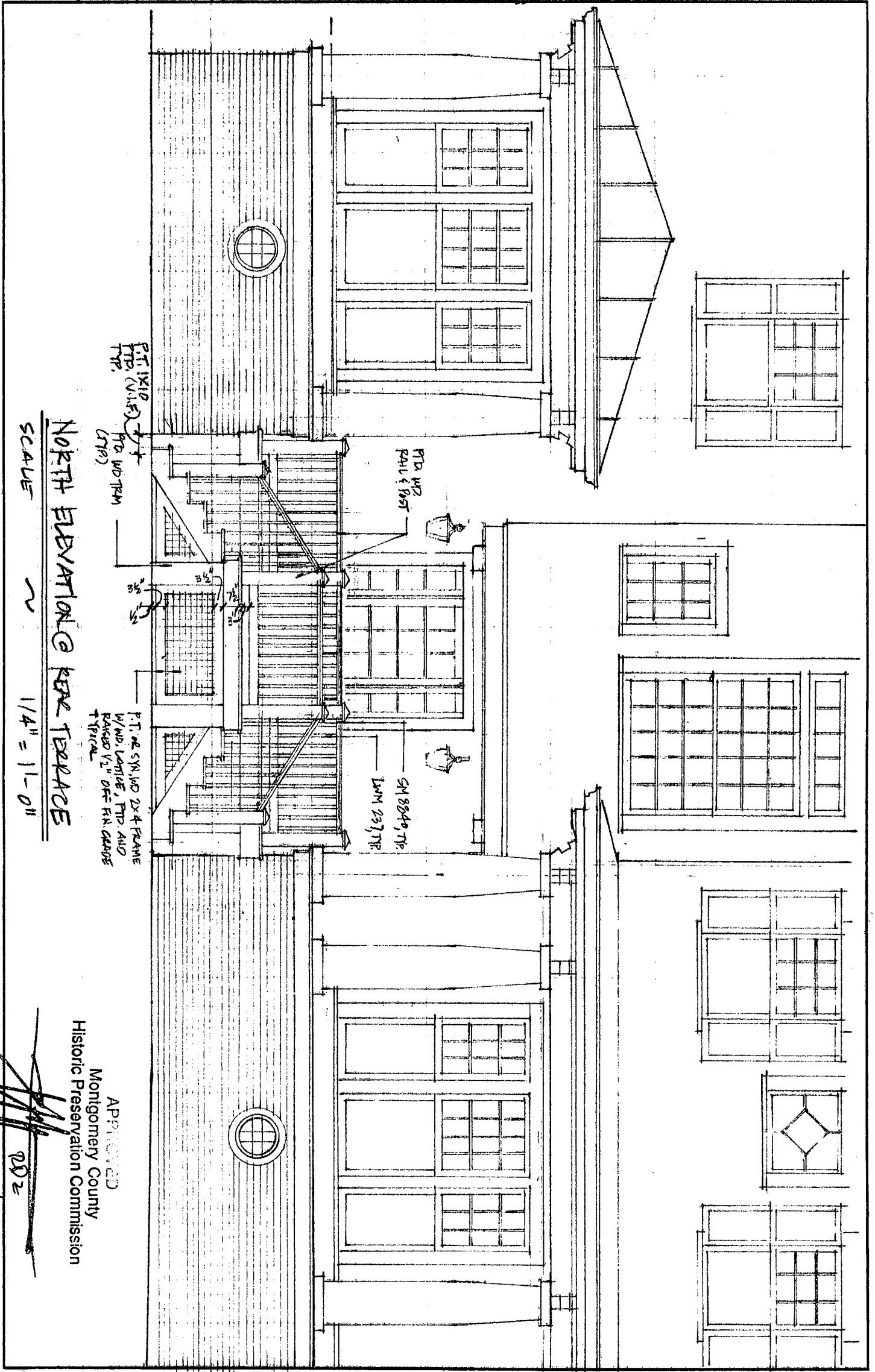


TERRACE S.F. :	218 S.F.
LANDING S.F. :	21 S.F.
TOTAL S.F. :	239 S.F.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
202 511/02

PROJECT: RUPP/BUT SWINIKAS RESIDENCE
 SCALE: 1/4" = 1'-0"
 DATE: 5 APRIL 2002 RLV 8 APRIL 2002
24 APRIL 2002
25 APRIL 2002

SK 41



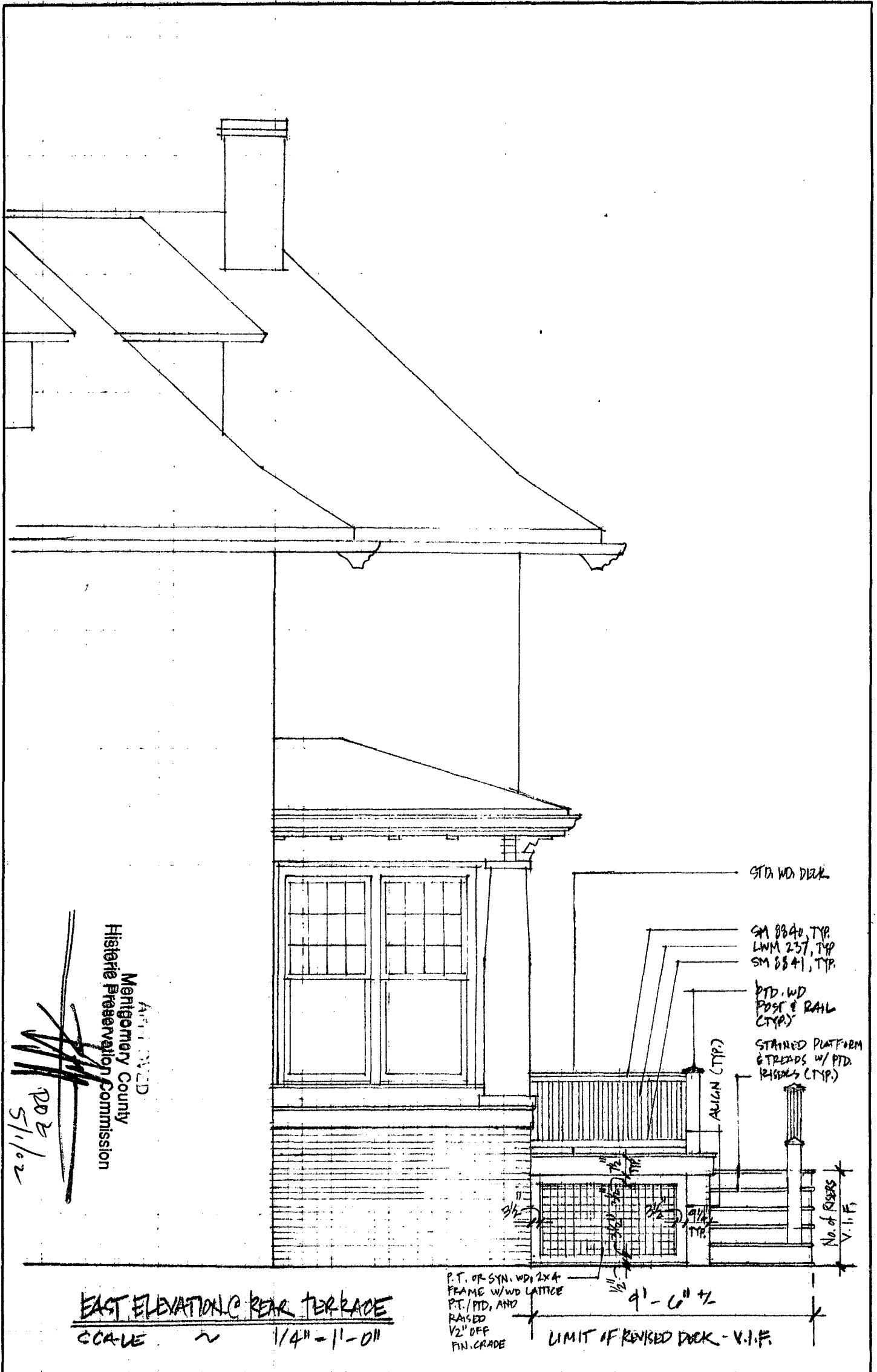
NORTH ELEVATION @ PORCH TERRACE
 SCALE 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

5/1/02

PROJECT: RIPP / BENTLEY'S RESIDENCE
 SCALE: 1/4" = 1'-0"
 DATE: 24 APRIL 2002

SK 42



APPROVED
 Montgomery County
 Historic Preservation Commission

JH
 5/1/02

EAST ELEVATION OF REAR TERRACE
 SCALE ~ 1/4" = 1'-0"

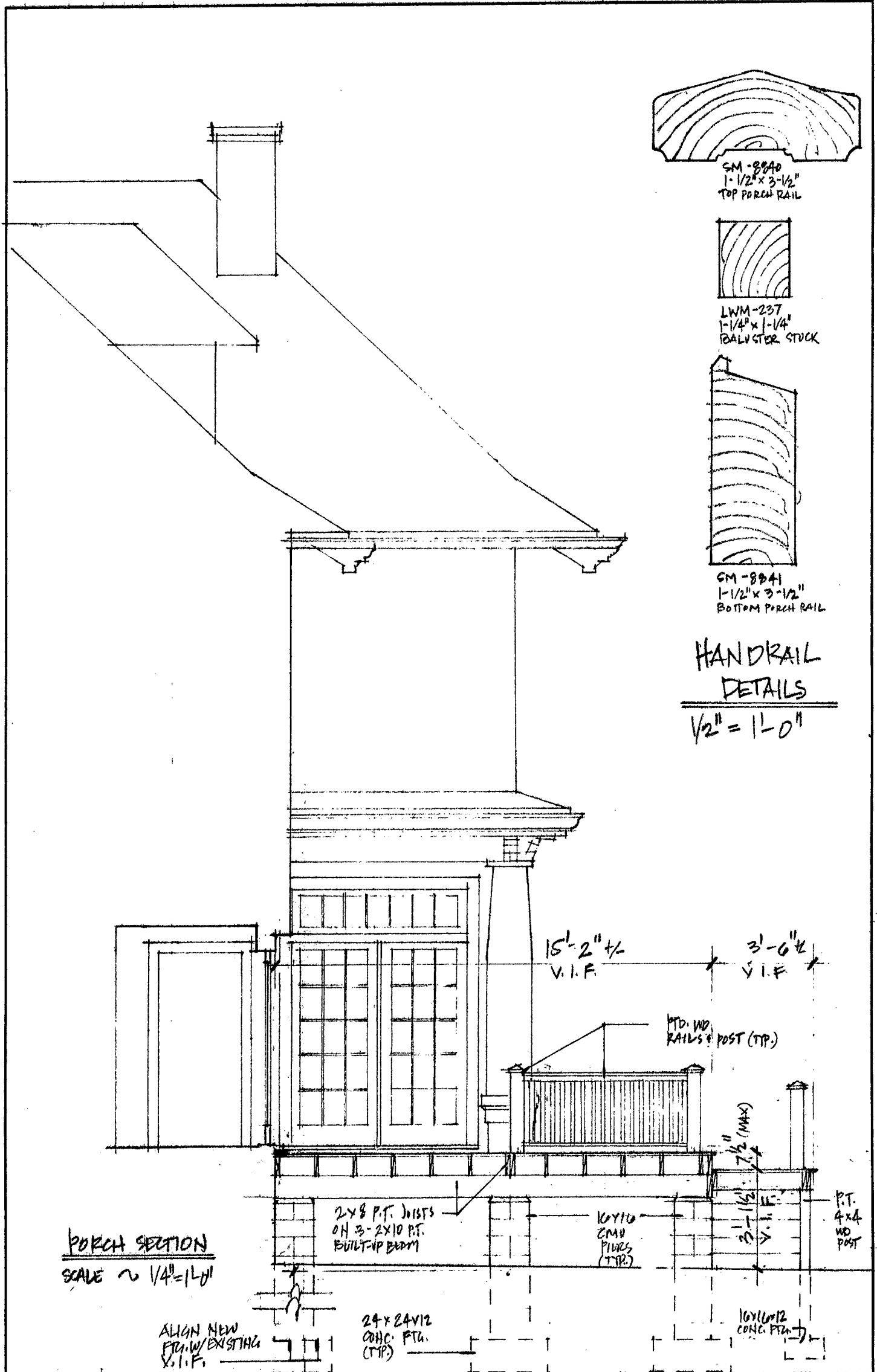
P.T. OR SYN. W/ 2x4
 FRAME W/ WOOD LATTICE
 P.T./P.T.D. AND
 RAISED
 1/2" OFF
 FIN. GRADE

9'-6" +/-

LIMIT OF REVISED DECK - V.I.F.

PROJECT: Rupp / Butzwinhas Residence
 SCALE: 1/4" = 1'-0"
 DATE: 8 APRIL 2002, REV - 12 APRIL 2002
24 APRIL 2002

SK 44



POORCH SECTION
 SCALE ~ 1/4" = 1'-0"

HANDRAIL DETAILS
 1/2" = 1'-0"

Charrette ProGraphics
 Reorder # 18386



Ehlert/Bryan, Inc.
Consulting Structural Engineers

Job Name: Rupp Res.

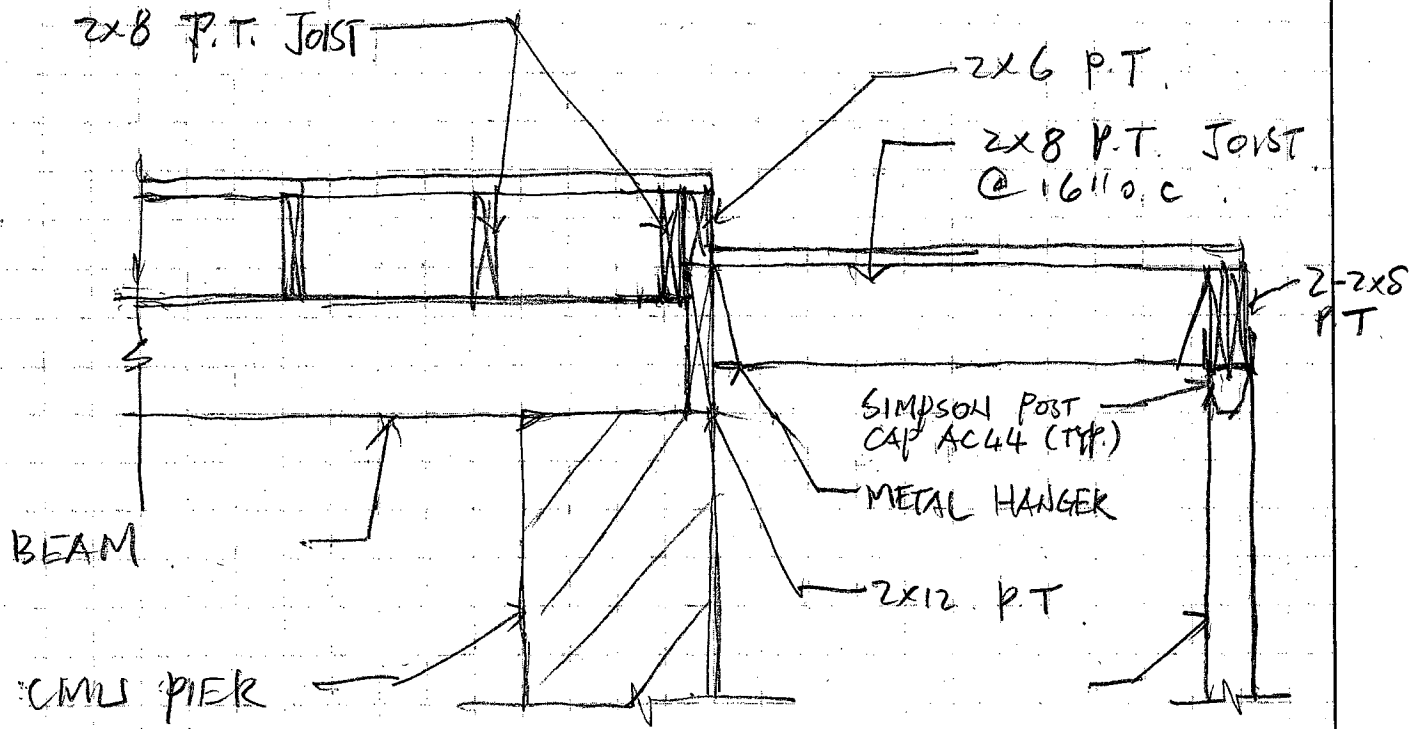
Page No: 2

Client: Muse

By: JZ

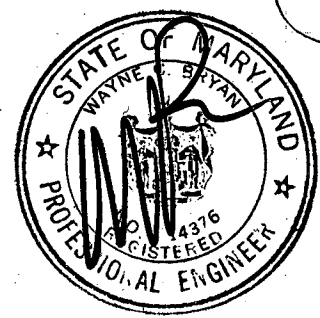
Job Number: _____

Date: 4/25/02



SECTION

1





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: RICHARD SMITH II
Daytime Phone No.: 202-966-6266

Tax Account No.: 03279436
Name of Property Owner: DANE BUTSWINIKAS/MELAN RUPP
Address: 3 NEWLANDS STREET CHEVY CHASE MARYLAND 20815
Contractor:
Contractor Registration No.:
Agent for Owner: MUSE ARCHITECTS 5630 CONNECTICUT AVE. N.W. WASHINGTON DC 20015 Daytime Phone No.: 202-966-6266

LOCATION OF BUILDING/PREMISE

House Number: 3 Street: NEWLANDS STREET
Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT
Lot: 4 Block: 54 Subdivision: CHEVY CHASE
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
Revision Repair Revocable Fence/Wall (complete Section 4) Other: TERRACE
1B. Construction cost estimate: \$ 400,000
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:
2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Richard E. Smith II Date: October 9, 2001

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date: 10/24/01
Application/Permit No.: 260429 Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE CURRENT RUPP/PUTSWINKAS RESIDENCE IS A 2-STORY BRICK & FRAME, CRAFTSMAN
STYLE HOME, BUILT CIRCA 1920. IT ALSO HAS A FULL BASEMENT AND LIVABLE ATTIC SPACE.
THE HOME SITS ON A 12,500 S.F. LOT WITH DECIDUOUS AND EVERGREEN VEGETATION.
THE FRONT PROPERTY LINE IS FENCED BY BOX HEDGES WHILE THE REAR PROPERTY LINE IS
BORDERED BY A BRICK WALL.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project seeks to enhance the character of the existing home by ~~adding a full~~ addition between
ADDITION AND ENLARGING THE EXISTING PORCH, MAKING IT USEFUL YEAR-ROUND, BY CREATING A MORE
APPROPRIATE BREAKFAST AREA AND BY PROVIDING A MORE SUITABLE MASTER BEDROOM AREA.
* THE PORCH ADDITION WILL USE THE SAME ARCH. ELEMENTS FOUND ON THE HISTORIC: COLUMNS, WINDOWS, BRICK
CLAY TILE ROOF, IN AN EFFORT TO REPEAT AND BLEND IN WITH WHAT EXISTS. THE BREAKFAST ROOM ADDITION
SEEMS TO KEEP THE SAME VIGNETTE AS THE PORCH (OCCUPANCY ON THE REAR FACADE). THE M. BATH
ADDITION WILL ACT AS AN UPDATED, HARMONIZING CAP TO THE REAR FACADE. THOUGH IT WILL USE THE SAME
HISTORICAL ELEMENTS AS THE REST OF THE HOME, THE ROOF WILL HELP GIVE ARCHITECTURAL DIVERSITY TO THE EXTERIOR.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

MARCUS & DIANE MONTGOMERY
2 OXFORD STREET
CHEVY CHASE, MD 20815

JAY & DOROTHY MARTIN
4A OXFORD STREET
CHEVY CHASE, MD 20815

RICHARD & BARBARA MCMILLIAM
2 NEWLANDS STREET
CHEVY CHASE, MD 20815

CHARLES & HARRIET KLOSSON
4 NEWLANDS STREET
CHEVY CHASE, MD 20815

BYRON & M.L. ANDERSON
5 NEWLANDS STREET
CHEVY CHASE, MD 20815

KARL & NINIA CORBY
2 WEST NEWLANDS STREET
CHEVY CHASE, MD 20815


ROBERT & KATHLEEN JONES
~~9703 WHITLEY PARK PLACE~~ 1 Newlands Street
~~BETHESDA, MD 20814~~ Chevy Chase MD 20815



October 24, 2001

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section 

SUBJECT: Historic Area Work Permit Application
Approval of Application /Release of Other Required Permits

HPC Case No. 35/13-01X

DPS #: 260429

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) for approval.

You may now apply for a county building permit at Department of Permitting Services (DPS) at 255 Rockville Pike, 2nd Floor, Rockville. **Before applying, please be sure that any permit sets of construction drawings have been reviewed and stamped by HPC Staff.** We are located at 1109 Spring Street, Suite 801, Silver Spring. Our office hours are 8:30 to 5:00.

When you file for your building permit with DPS, you must take with you: 1) the enclosed forms, 2) the stamped sets of construction drawings, and 3) the Historic Area Work Permit if one was mailed directly to you from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience – and good luck with your project!

M U S E A R C H I T E C T S

MUSE ARCHITECTS 5630 Connecticut Avenue, NW Washington, DC 20015 202.966.6266 FAX 202.966.9666

FAX TO: MNCPPC - Mo.Co. Park & Planning

DATE: 17 October 2001

FAX NO 301.563.3412

ATTN: Perry Kephart

RE: Rupp/Butswinkas Residence

NUMBER OF PAGES

87

Perry,

Following are several changes to the Rupp/Butswinkas Residence.

1. We have changed the rear Master Bathroom façade as indicated in the attached sketch and plan. This change helps the façade's appearance not feel so crowded. It also gives a less rigid look to the façade and also repeats a well liked window element found at the front of the house.
2. As you well know, we do not have a historical counter-argument for replacing the front transom at the dining room. However, after investigating the neighborhood, a number of varied transom treatments were found to exist. This points out that a number of transom treatments were available at the time of these homes construction. The alteration of the existing transom would not only be in line with what was offered in terms of transom options (as illustrated in the forwarded photos), the alteration would also repeat an original and existing element of the home.

Please let us know what you think regarding this matter.

Thanks.

Richard

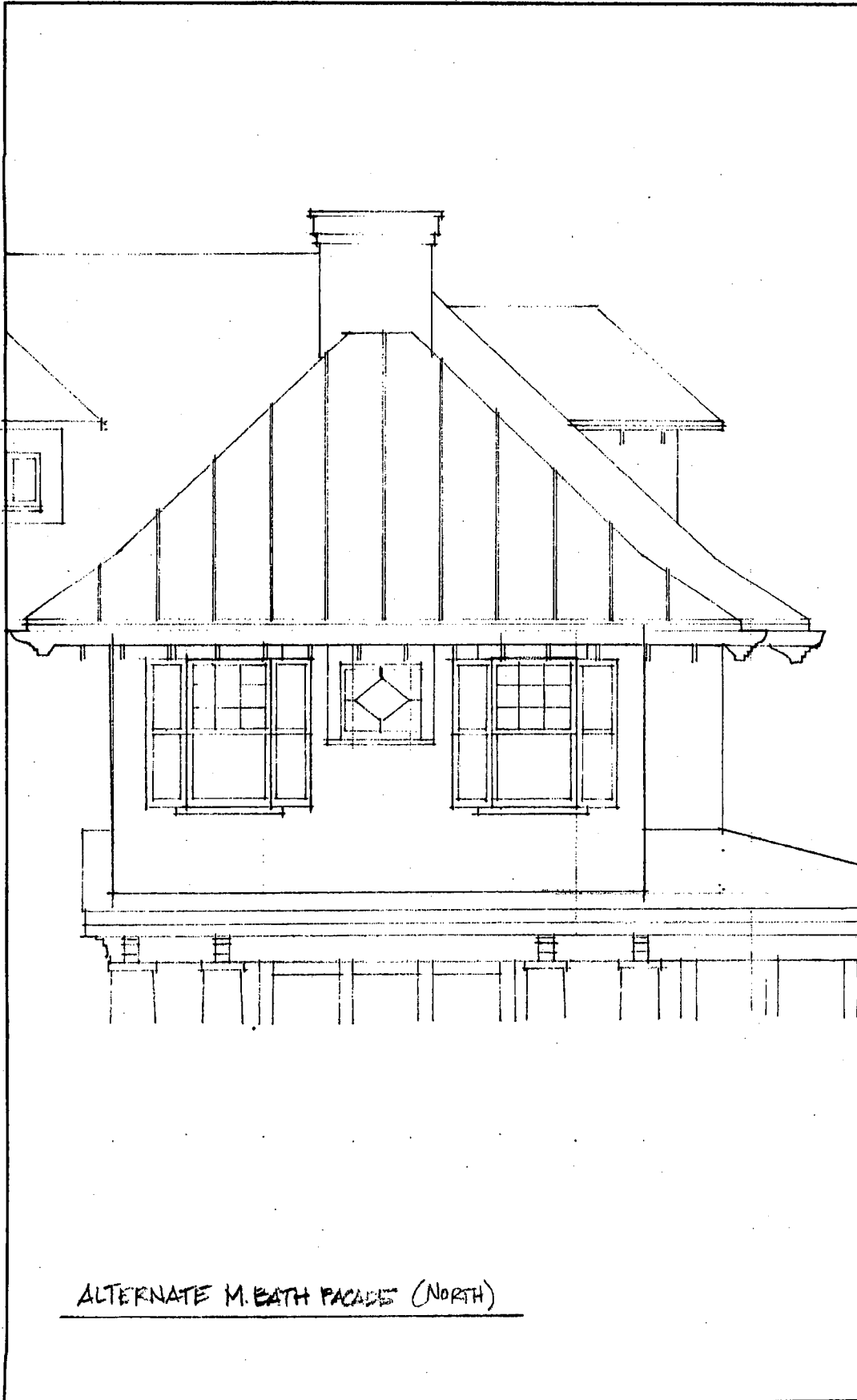
FROM:

Richard Smith II, Associate AIA

Should there be any questions regarding this material, or difficulty in receiving a clear copy, please call our office at 202-966-6266 during normal business hours.

MUSE ARCHITECTS

PROJECT: RUPP/ BUTSWINKAS
SCALE: 1/4" = 1'-0"
DATE: 17 OCT. 2001



ALTERNATE M. BATH FACADE (NORTH)

Charrable ProGraphics
Reorder #16395

DH - LLW

II-C

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	3 Newlands Street, Chevy Chase	Meeting Date:	10/24/01
Applicant:	Megan Rupp & Dane Butswinkas	Report Date:	10/17/01
Resource:	Chevy Chase Village Historic District	Public Notice:	10/10/01
Review:	HAWP	Tax Credit:	Partial
Case Number:	35/13-01X	Staff:	Perry Kephart Kapsch

PROPOSAL: Replace windows, replace rear addition, rear alterations

RECOMMEND: Approve with conditions.

CONDITIONS

1. The exterior transoms on the front and porch side facades are to be repaired and not replaced. *unless ap can doc orig transom*

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
 STYLE: Craftsman
 DATE: 1912

that it be restored to original comm.

3 Newlands is one of three large Craftsman residences built before World War I, and set on multiple lots along the north side of the street. The subject property is a contributing resource despite the changes to the front facade due to the quality of design, and the degree of remaining integrity of the overall structure.

PROPOSAL

The applicant proposes to:

1. Replace the jalousie windows enclosing the side porch with 6/1 and 9/1 full-length, tri-partite, double-hung painted wood windows. Remove the awnings.
2. Replace the two sets of awning windows on the first level of the front facade with 9/1 double-hung windows.

3. Remove the out-of-period protrusion and windows at the center of the front shed roof bay and replace it with 6-light casement windows. Restore the rafter ends on the original bay.
4. Remove the existing multilight transom lights from the right front hipped-roof bay on the first floor and from the doors leading to the left side porch, and replace them with paired transoms.
5. Remove the existing one-story rear addition and replace it with a one-story rear box bay with standing seam copper roof, fiberglass columns, and 9/1 painted wood windows.
6. Construct a 2-story rear addition as an extension of the side porch with a hipped roof bay above. This is proposed to have a standing seam copper roof and 9/1 painted wood windows. The second story bay is to be clad in a stucco finish over frame constructions.
7. Install a central wood terrace at the rear between the two new rear additions with steps leading to grade, and with a multi-paned patio door with sidelights and transom leading into the main section of the house.

STAFF DISCUSSION

The subject property makes a conspicuous contribution to the historic district. Visible on two sides from Connecticut Avenue and from Newlands Street, it is notable for the Craftsman details despite the out-of-period windows on parts of the front façade and enclosing the porch. No historical photograph has been found that would provide a clue as to the configuration of the original windows, but staff would commend the applicant for replacing the non-confirming windows and bay with features more appropriate to the style of the house. The proposed rear addition and replacement of the out-of-period rear bay are also sympathetic with the style of the historic resource. Use of a different roof material on the rear alterations provides a clear differentiation between the old and new sections of the house.

Replacement of the existing jalousies with full-length windows on the side porch is recommended for approval as the proposed window configuration retains the columns and other architectural features of the original porch, and allows the porch's distinctive outline to clearly be discerned.

Removal of the second-story bay and replacement of the rafter ends, and the general maintenance related to this project as a whole would qualify for a tax credit.

The removal of original material – the transoms - on the front and side façades of a contributing resource erodes the historic value of the structure and is problematic. Staff appreciates the quality of stewardship of the present owners, but from a preservation point of view, it is recommended that the individualistic, but historic, design choices of the first owners

be left in place. It should be noted that the side porch was previously enclosed with jalousies, so it is debatable whether the removal of the transoms over the exterior doors leading to the side porch is subject to review by the HPC. In any case it should be discouraged. Removal of small architectural details, such as the removal of rafter tails by the previous owner, nibbles away at the overall integrity of a historic resource as destructively, if not as dramatically, as the larger alterations such as installation of out-of-period windows on the front façade - that this owner is now trying to remedy.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

With the conditions:

- 1. The exterior transoms on the front and porch side facades are to be repaired and not replaced.**

And with the general condition applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work. and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: RICHARD SMITH II

Daytime Phone No.: 202-966-6266

Tax Account No.: 03279436

Name of Property Owner: DANE BUTSWINKAS/MICHAEL RUPP Daytime Phone No.: _____

Address: 3 NEWLANDS STREET CHEVY CHASE MARYLAND 20815
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: MUSE ARCHITECTS 5650 CONNECTICUT AVE. N.W. WASHINGTON DC 20015 Daytime Phone No.: 202-966-6266

LOCATION OF BUILDING/PREMISE

House Number: 3 Street: NEWLANDS STREET

Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT

Lot: 4 Block: 54 Subdivision: CHEVY CHASE

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|--|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input checked="" type="checkbox"/> Other: <u>FENCE</u> | | | |

1B. Construction cost estimate: \$ 400,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Richard E. Smith II
Signature of owner or authorized agent

October 9, 2001
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No. 200429 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE CURRENT RUPP/BUTSWINKAS RESIDENCE IS A 2-STOREY BRICK FRAME, CRAFTSMAN
STYLE HOME, BUILT CIRCA 1920. IT ALSO HAS A FULL BASEMENT AND LIVABLE ATTIC SPACE.
THE HOME SITS ON A 215'00 S.F. LOT WITH OBVIOUS AND OVERGREEN VEGETATION.
THE FRONT PROPERTY LINE IS FENCED BY 600 HURDS, WHILE THE REAR PROPERTY LINE IS
BARRICADED BY A BRICK WALL.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project seeks to enhance the character of the existing home by ~~adding a brick addition~~
ADDING ON TO AND UNLOCKING THE EXISTING PORCH, MAKING IT USEFUL YEAR-ROUND, BY CREATING A MORE
APPROPRIATE BREAKFAST AREA AND BY PROVIDING A MORE SUITABLE MASTER BEDROOM AREA.
* THE PORCH ADDITION WILL USE THE SAME ARCH. ELEMENTS FOUND IN THE EXISTING: COLUMNS, WINDOWS, BRICK
LAY TILE ROOF, IN AN EFFORT TO KEEP THE BLEND AND BLEND IN WITH WHAT EXISTS. THE BREAKFAST AREA ADDITION
WILL KEEP THE SAME ARCHITECTURE AS THE PORCH FOR BLEND ON THE REAR FACADE. THE M. BATH
ADDITION WILL ACT AS AN UPDATED, HIGH-QUALITY CAP TO THE REAR PORCH. THOUGH IT WILL USE THE SAME
HISTORICAL ELEMENTS AS THE REST OF THE HOME, THE PORCH WILL HELP GIVE ARCHITECTURAL DIVERSITY TO THE EXTERIOR.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 3 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street, highway, from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

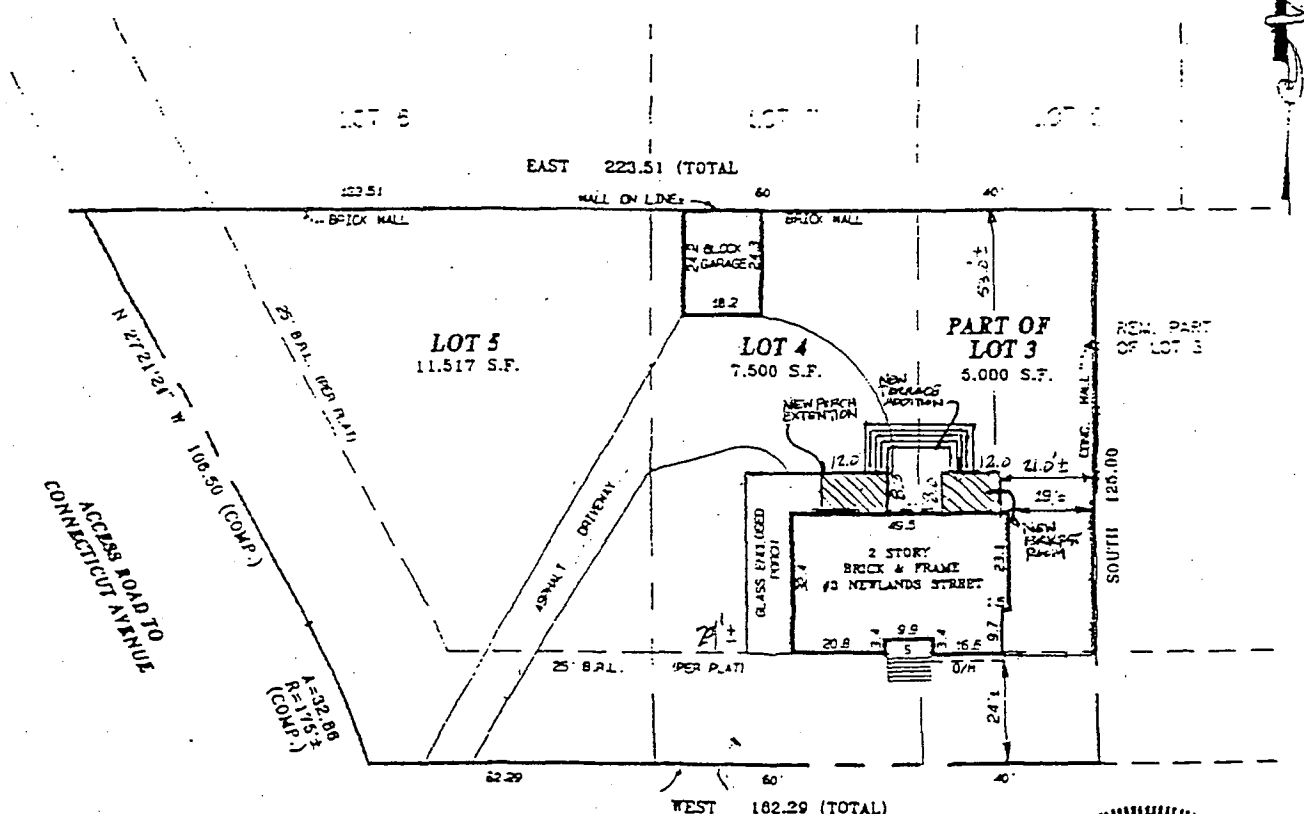
CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.

Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 feet.

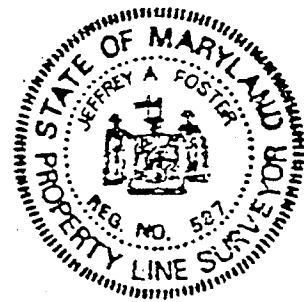
Flood Zone "C" per H.U.D Flood Panel No. 0175C


Total Area = 24.017 S.F.± (Per Tax Record).



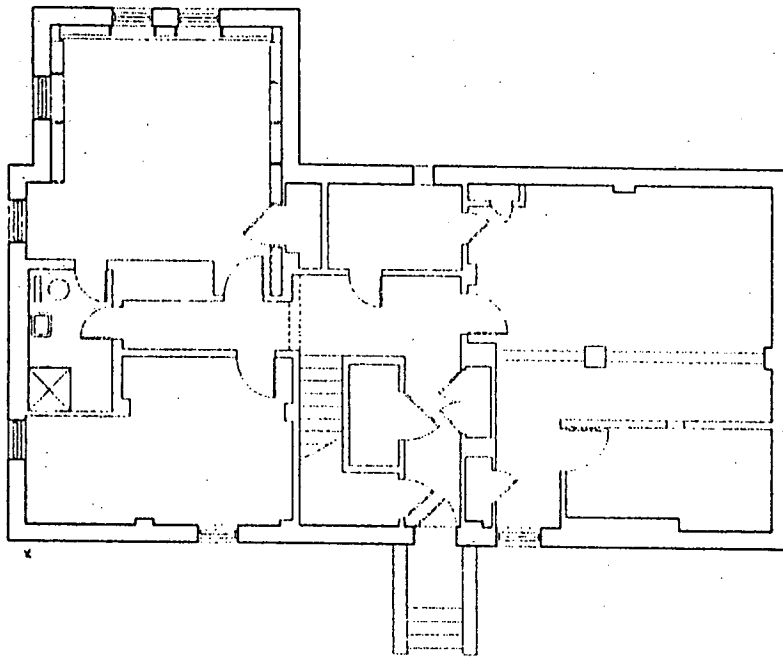
NEWLANDS STREET

LOCATION DRAWING
 LOTS 4, 5, & PART OF LOT 3
 BLOCK 54
 SECTION NO. 2
CHEVY CHASE
 MONTGOMERY COUNTY, MARYLAND

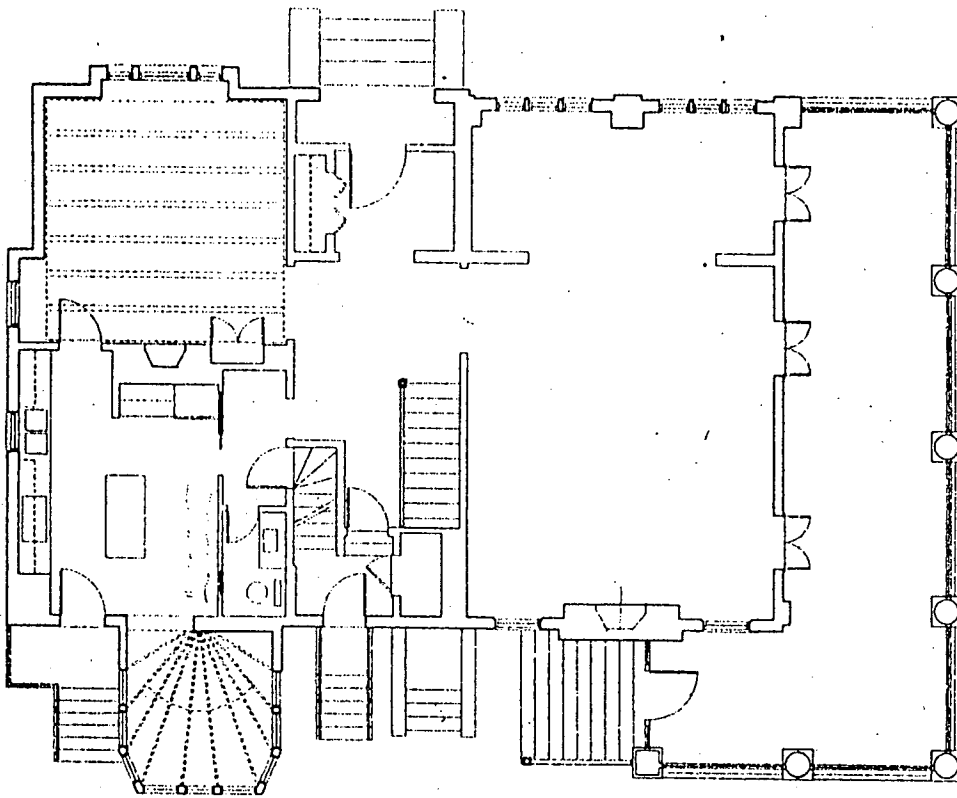


SURVEYOR'S CERTIFICATE THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION. <i>Jeffrey A. Foster</i> MARYLAND PROPERTY LINE SURVEYOR REG. NO. 527	REFERENCES PLAT BK. 2 PLAT NO. 106		SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 216 Gaithersburg, Maryland 20879 301/948-5100, Fax 301/948-1288	
	LIBER 2878 FOLIO 258		DATE OF LOCATIONS WALL CHECK: HSE. LOC.: 10-6-98	SCALE: 1" = 40' DRAWN BY: M.A.S. JOB NO.: 98-3708

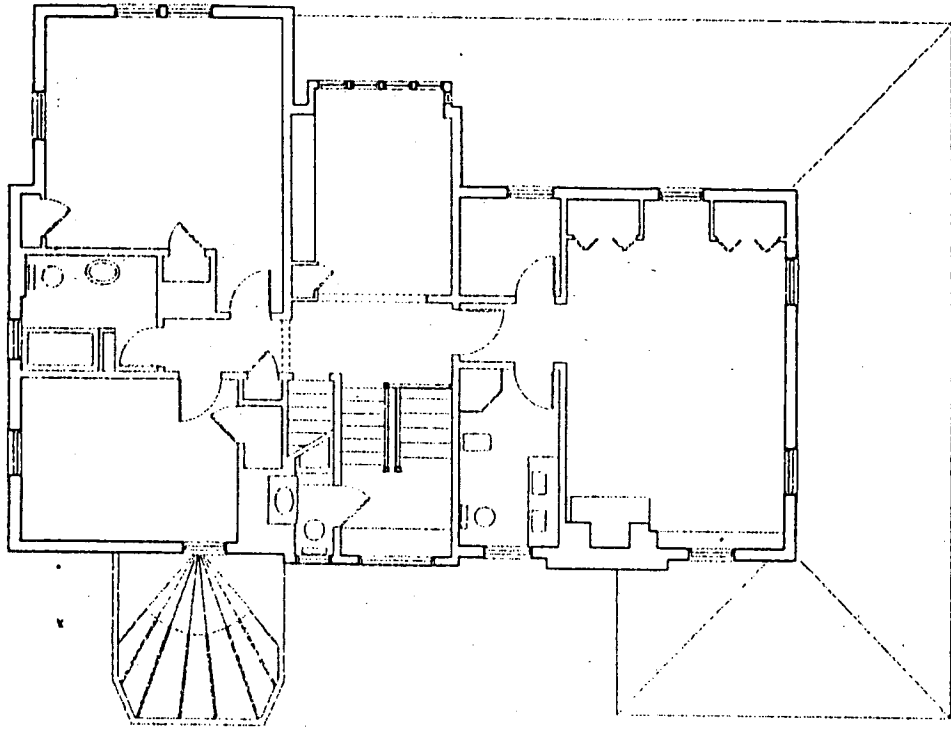
○ BASEMENT PLAN



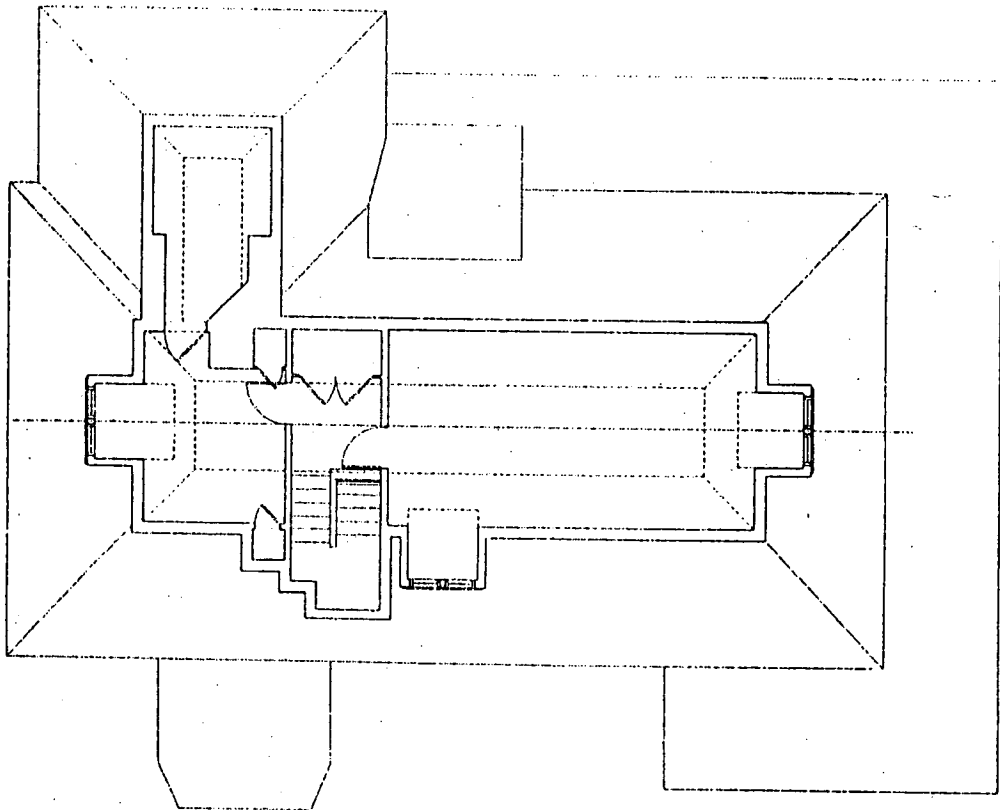
○ FIRST FLOOR PLAN



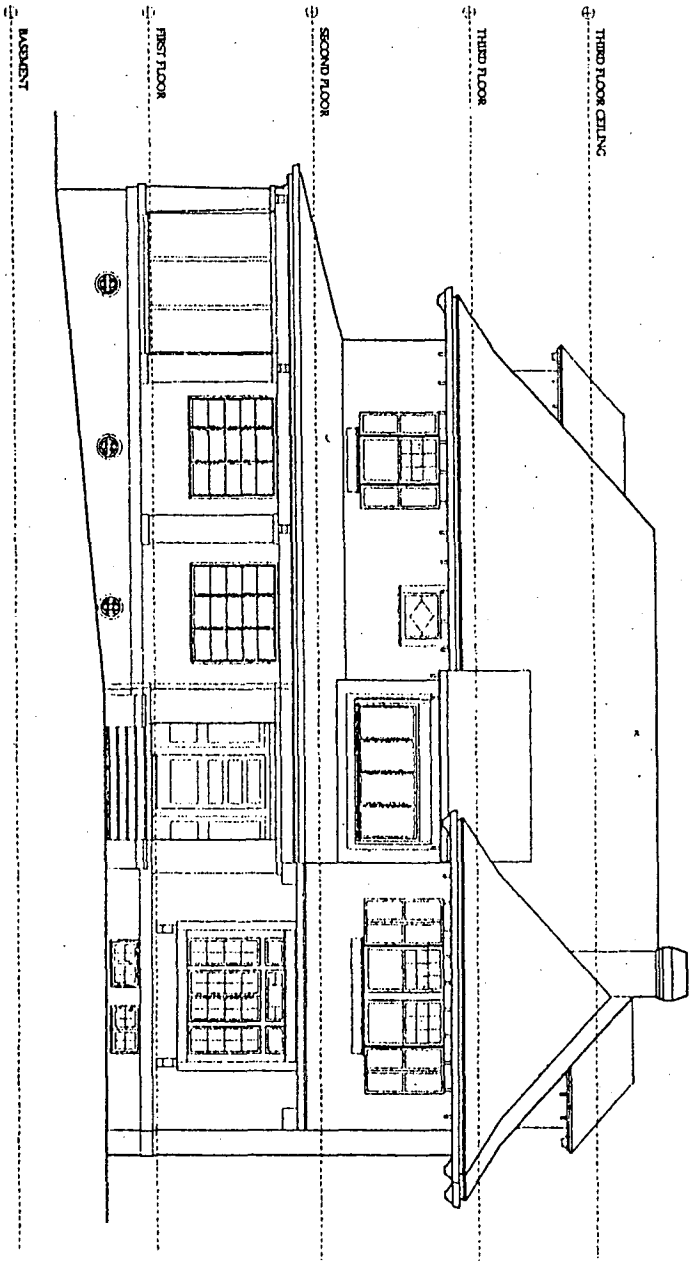
○ SECOND FLOOR PLAN



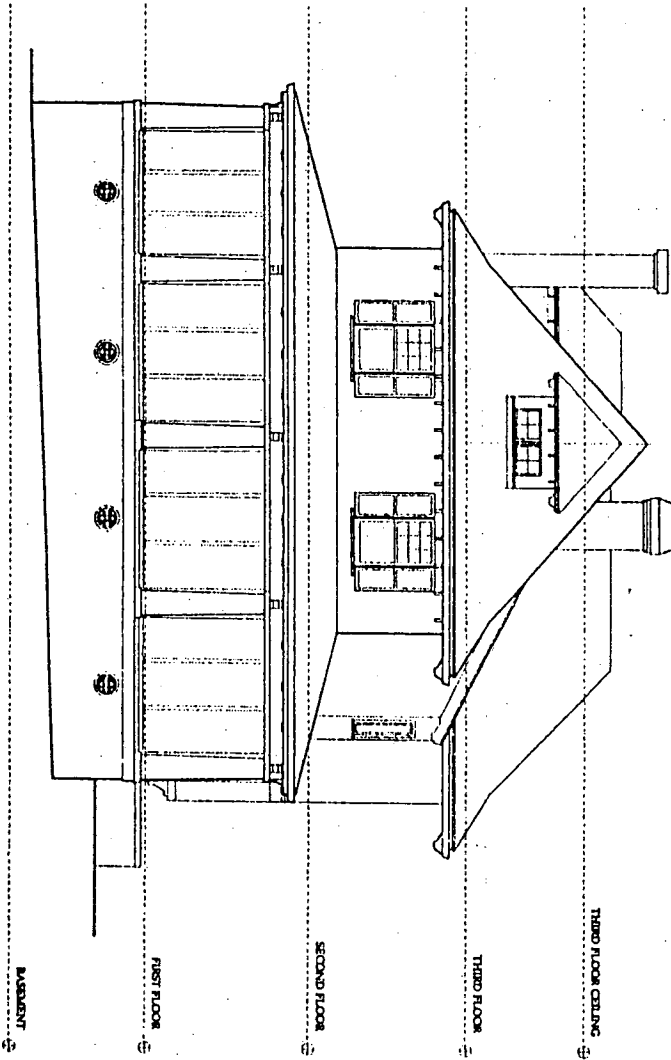
○ THIRD FLOOR PLAN



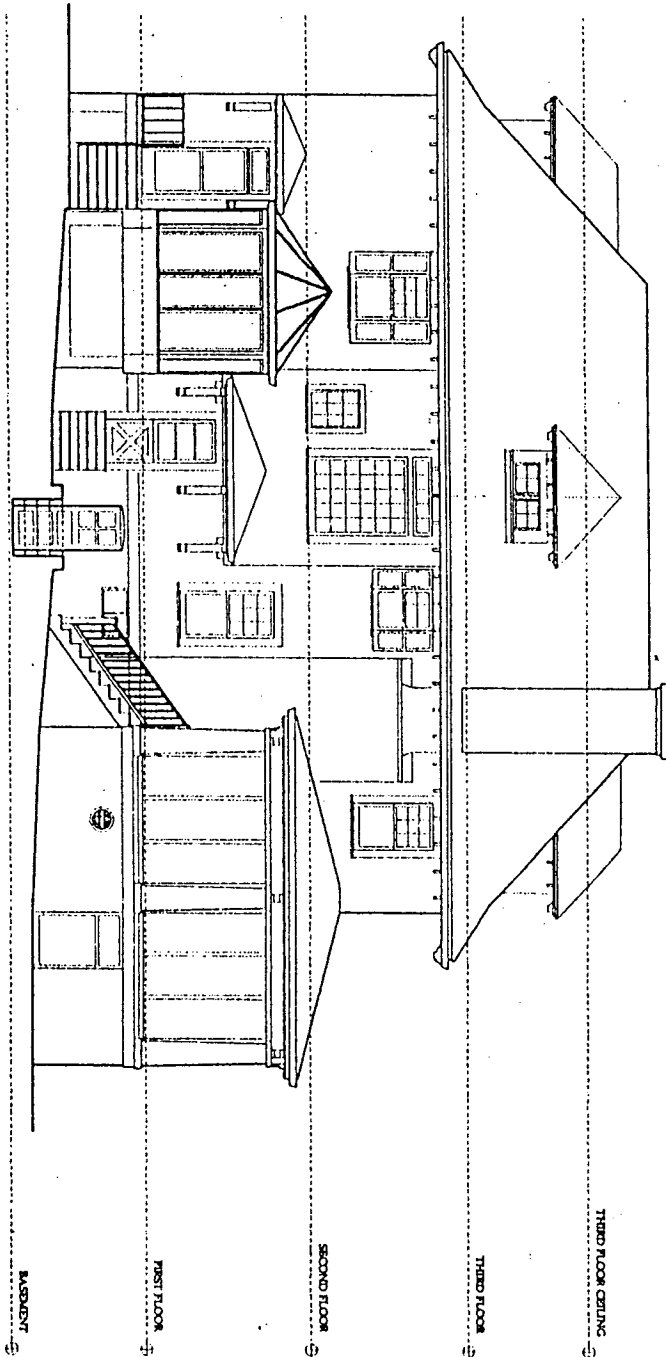
○ SOUTH ELEVATION



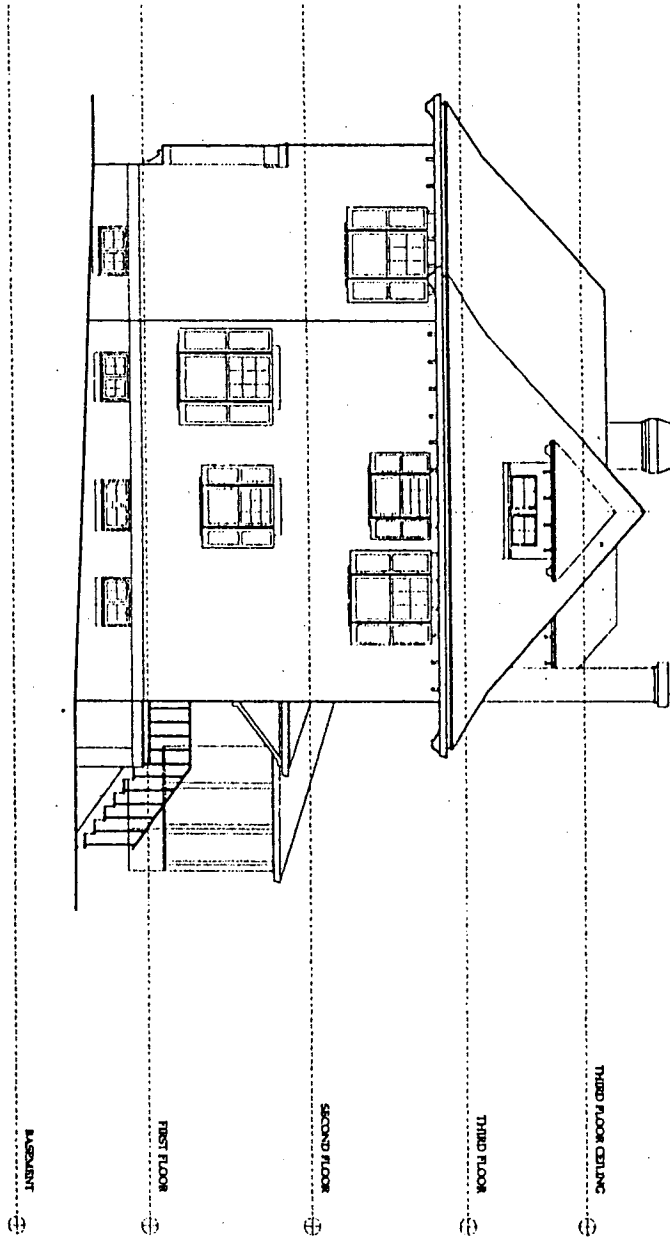
WEST ELEVATION



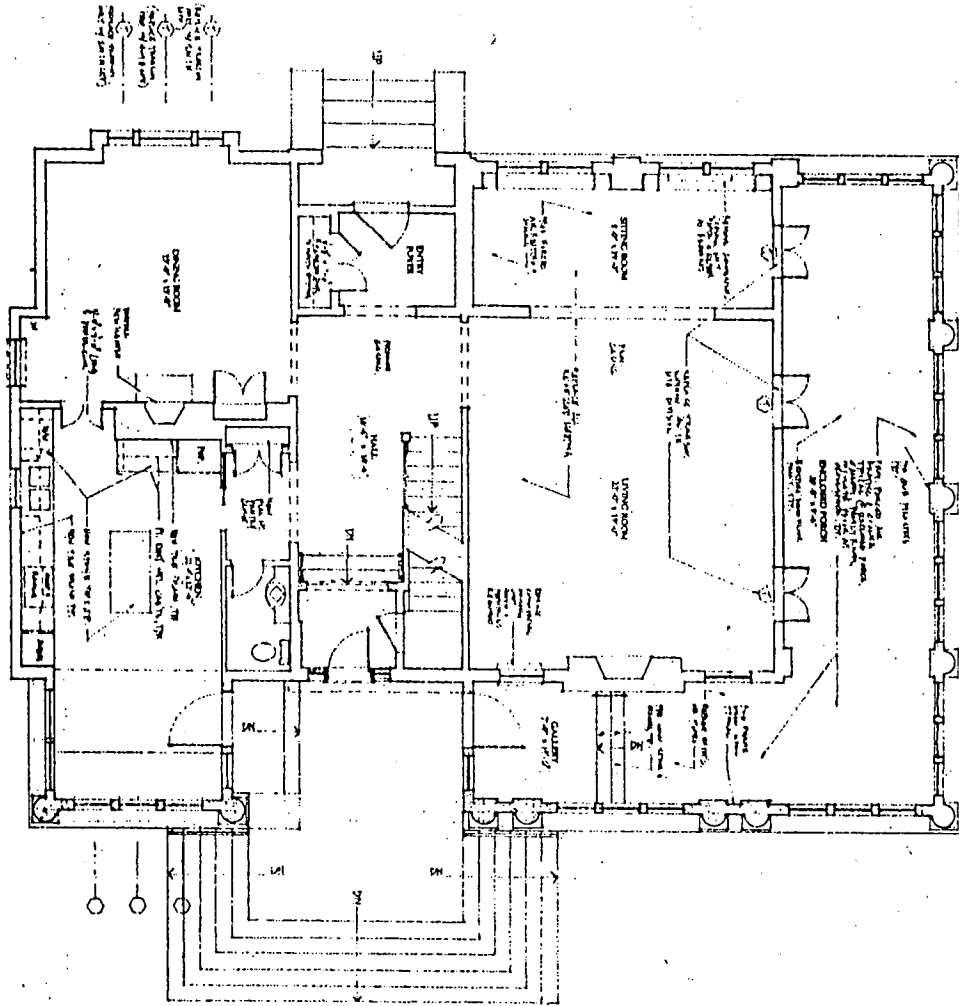
○ NORTH ELEVATION



⊕ EAST ELEVATION

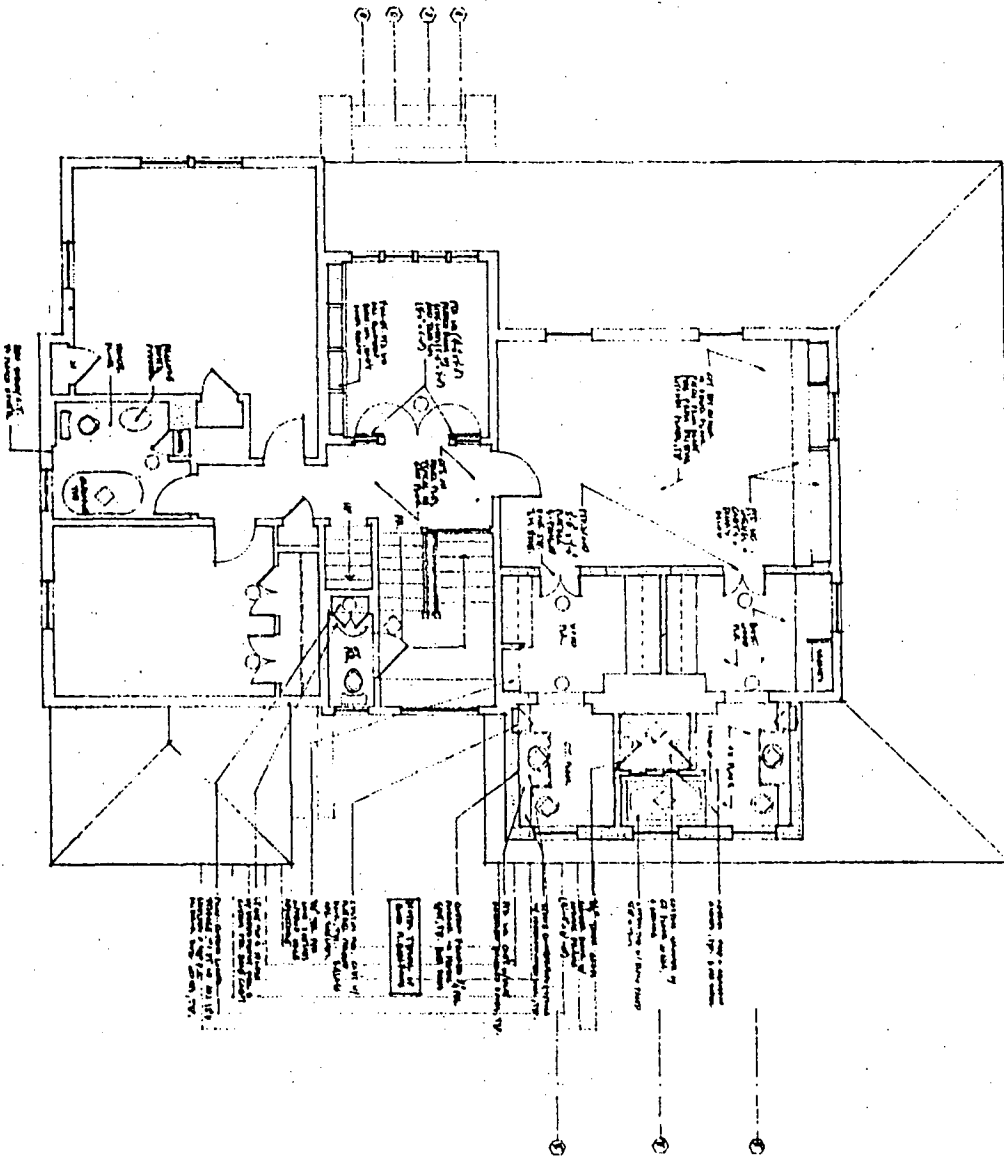


FIRST FLOOR PLAN



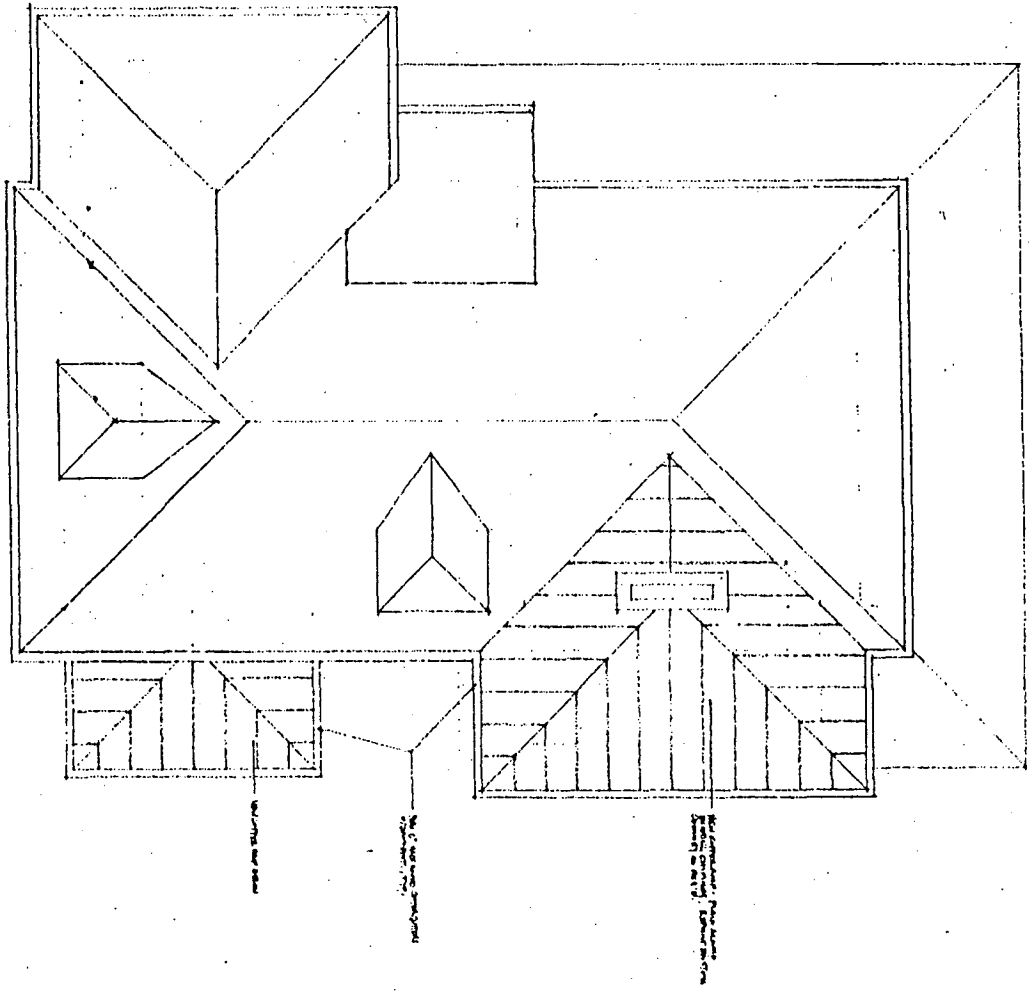
LEGEND:
 [Symbol] Existing Construction
 [Symbol] New Construction

SECOND FLOOR PLAN



LEGEND:
 STAIRS
 PARTIAL PARTITION

ROOF PLAN

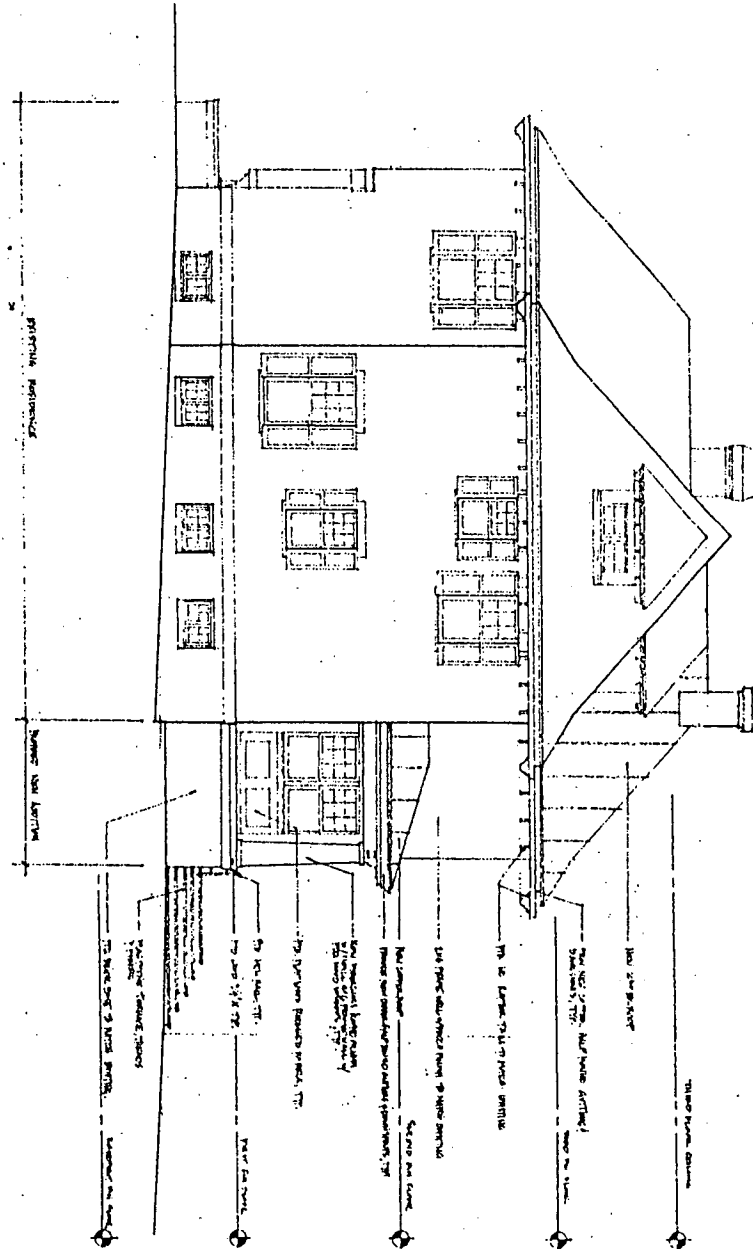


EXISTING ROOF

PROPOSED ROOF

PROPOSED ROOF

○ EAST ELEVATION



SCALE: 1/4" = 1'-0"

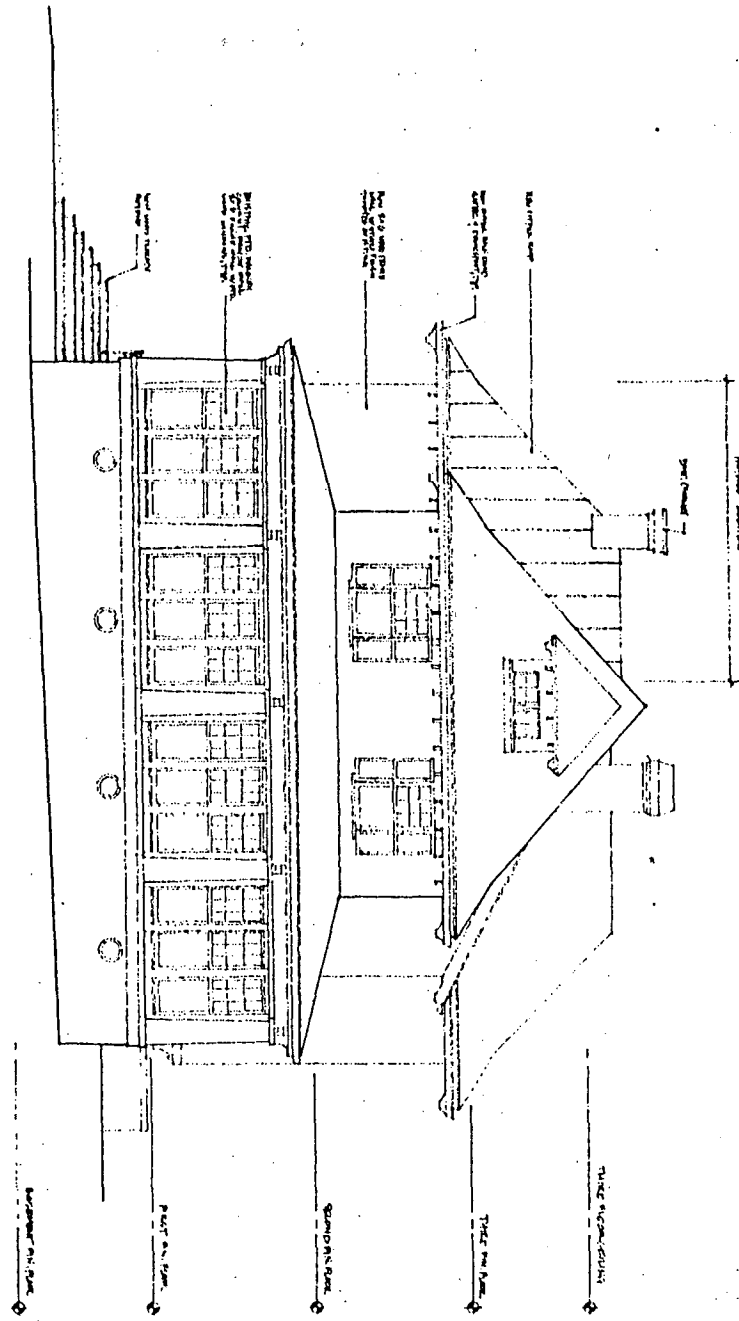
ADDITION TO AND RENOVATION OF THE
RUPP/BUTSWINKAS RESIDENCE
 1 NEW ANCHOR STREET CHEVY CHASE, MARYLAND

MUSE ARCHITECTS

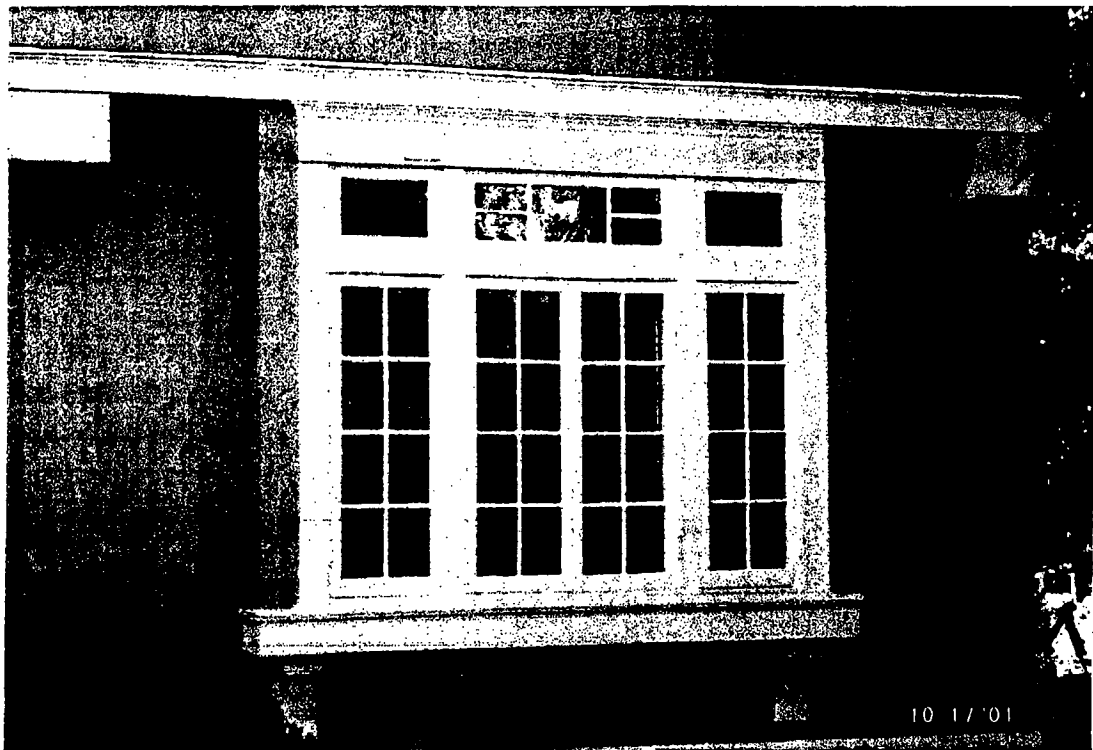
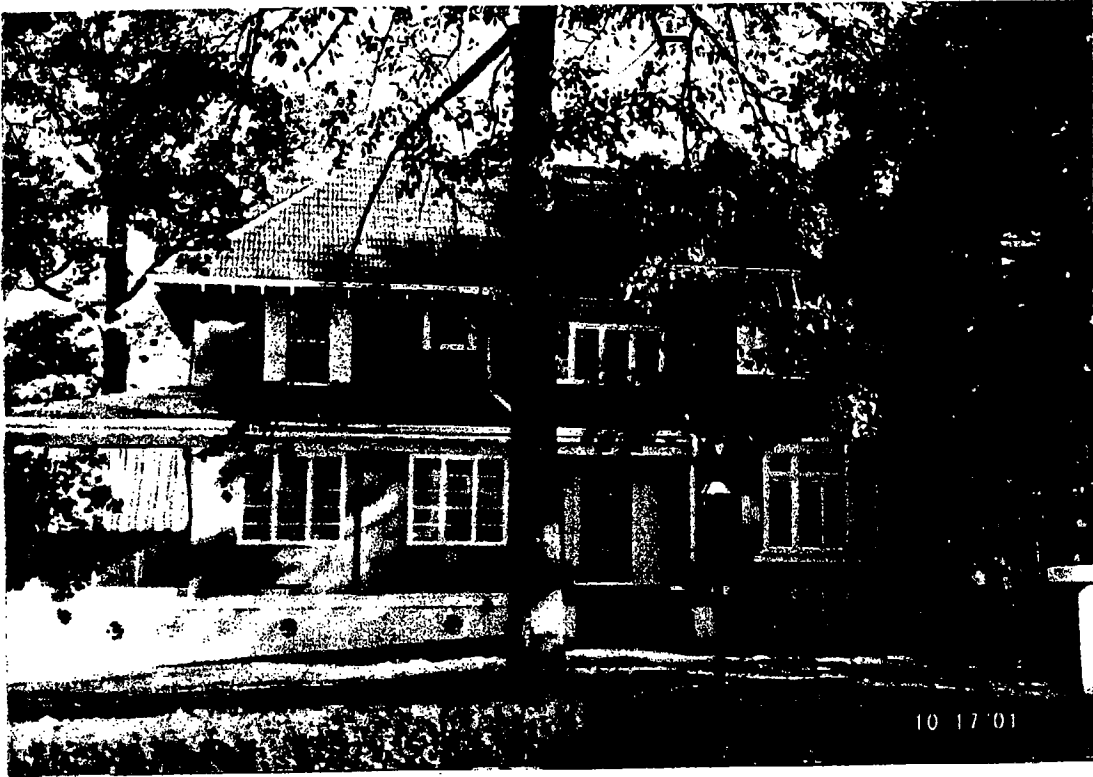
3430 Connecticut Avenue NW

Washington DC 20015

WEST ELEVATION

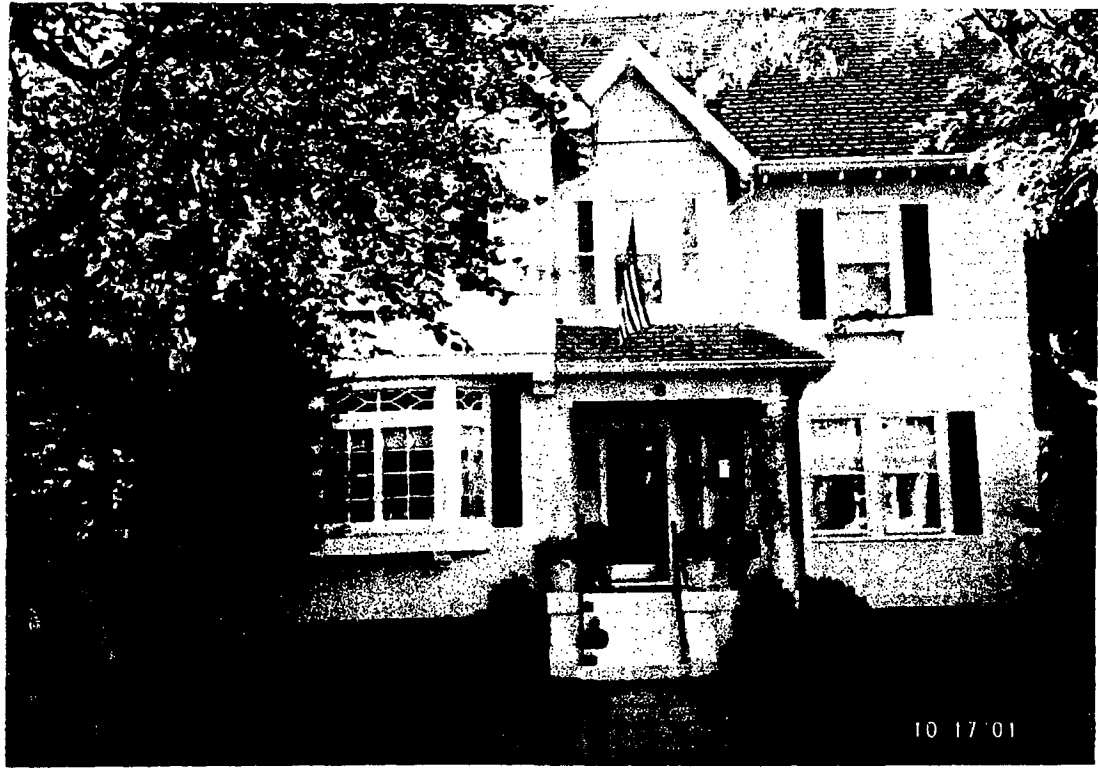


MUSE ARCHITECTS



RESIDENCE @ 3 NEWLANDS STREET

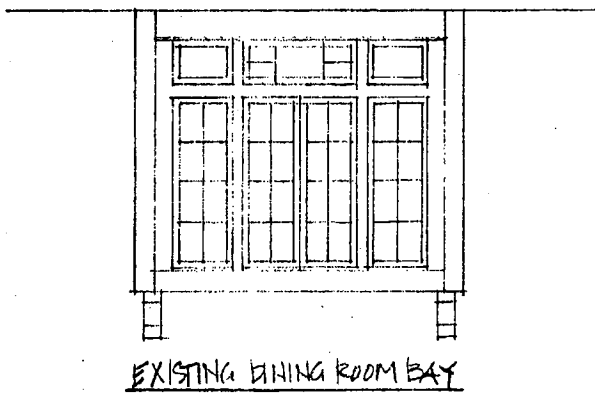
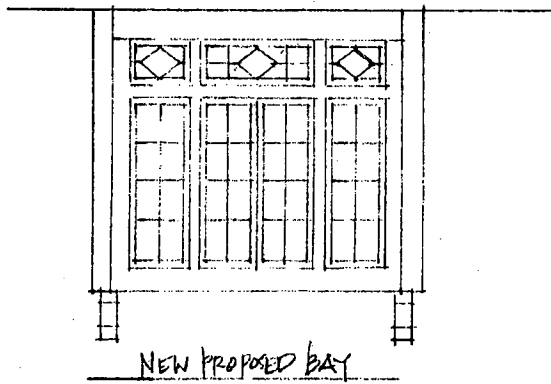
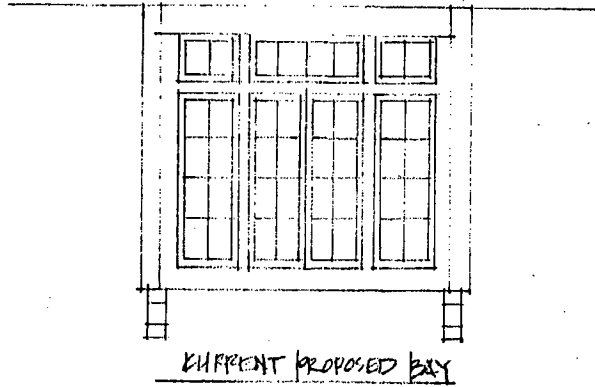
M U S E A R C H I T E C T S



RESIDENCE @ 8 HESKETH STREET

M U S E A R C H I T E C T S

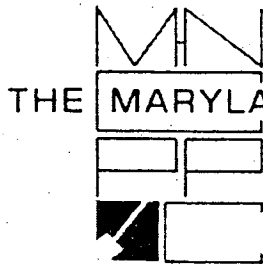
PROJECT: RUPP/BUTSWINKAS
SCALE: 1/4" = 1'-0"
DATE: 17 OCT 2001



Charmelle ProGraphics
Reorder #16386



REPEATING
THIS EXIST.
ELEMENT



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

October 24, 2001

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit
HPC Case No: 35/13-01X

DPS No.: 260429

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

_____ APPROVED

_____ _____ APPROVED WITH CONDITIONS:

1. **The transoms on the front and porch side facades are to be repaired and not replaced unless applicant can document that the existing transom is not an original architectural feature, in which case the transoms can be restored to their original configuration. Approvals for changes under this condition can be at HPC staff level.**

Please note that the building permit for this project will be issued subject to adherence to the approved Historic Area Work Permit (HAWP) to:

Applicant: **Megan Rupp & Dane Butswinkas**

Address: **3 Newlands Street, Chevy Chase**

and subject to the general conditions pertinent to all Historic Area Work Permits that:

1. **HPC Staff must review and stamp the permit set of construction drawings prior to application for a building permit with Department of Permitting Services.**
2. **After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.**

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	3 Newlands Street, Chevy Chase	Meeting Date:	10/24/01
Applicant:	Megan Rupp & Dane Butswinkas	Report Date:	10/17/01
Resource:	Chevy Chase Village Historic District	Public Notice:	10/10/01
Review:	HAWP	Tax Credit:	Partial
Case Number:	35/13-01X	Staff:	Perry Kephart Kapsch

PROPOSAL: Replace windows, replace rear addition, rear alterations

RECOMMEND: Approve with conditions.

CONDITIONS

1. The exterior transoms on the front and porch side facades are to be repaired and not replaced.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Craftsman
DATE: 1912

3 Newlands is one of three large Craftsman residences built before World War I, and set on multiple lots along the north side of the street. The subject property is a contributing resource despite the changes to the front façade due to the quality of design, and the degree of remaining integrity of the overall structure.

PROPOSAL

The applicant proposes to:

1. Replace the jalousie windows enclosing the side porch with 6/1 and 9/1 full-length, tri-partite, double-hung painted wood windows. Remove the awnings.
2. Replace the two sets of awning windows on the first level of the front façade with 9/1 double-hung windows.

3. Remove the out-of-period protrusion and windows at the center of the front shed roof bay and replace it with 6-light casement windows. Restore the rafter ends on the original bay.
4. Remove the existing multilight transom lights from the right front hipped-roof bay on the first floor and from the doors leading to the left side porch, and replace them with paired transoms.
5. Remove the existing one-story rear addition and replace it with a one-story rear box bay with standing seam copper roof, fiberglass columns, and 9/1 painted wood windows.
6. Construct a 2-story rear addition as an extension of the side porch with a hipped roof bay above. This is proposed to have a standing seam copper roof and 9/1 painted wood windows. The second story bay is to be clad in a stucco finish over frame constructions.
7. Install a central wood terrace at the rear between the two new rear additions with steps leading to grade, and with a multi-paned patio door with sidelights and transom leading into the main section of the house.

STAFF DISCUSSION

The subject property makes a conspicuous contribution to the historic district. Visible on two sides from Connecticut Avenue and from Newlands Street, it is notable for the Craftsman details despite the out-of-period windows on parts of the front façade and enclosing the porch. No historical photograph has been found that would provide a clue as to the configuration of the original windows, but staff would commend the applicant for replacing the non-confirming windows and bay with features more appropriate to the style of the house. The proposed rear addition and replacement of the out-of-period rear bay are also sympathetic with the style of the historic resource. Use of a different roof material on the rear alterations provides a clear differentiation between the old and new sections of the house.

Replacement of the existing jalousies with full-length windows on the side porch is recommended for approval as the proposed window configuration retains the columns and other architectural features of the original porch, and allows the porch's distinctive outline to clearly be discerned.

Removal of the second-story bay and replacement of the rafter ends, and the general maintenance related to this project as a whole would qualify for a tax credit.

The removal of original material – the transoms - on the front and side façades of a contributing resource erodes the historic value of the structure and is problematic. Staff appreciates the quality of stewardship of the present owners, but from a preservation point of view, it is recommended that the individualistic, but historic, design choices of the first owners

be left in place. It should be noted that the side porch was previously enclosed with jalousies, so it is debatable whether the removal of the transoms over the exterior doors leading to the side porch is subject to review by the HPC. In any case it should be discouraged. Removal of small architectural details, such as the removal of rafter tails by the previous owner, nibbles away at the overall integrity of a historic resource as destructively, if not as dramatically, as the larger alterations such as installation of out-of-period windows on the front façade - that this owner is now trying to remedy.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

With the conditions:

- 1. The exterior transoms on the front and porch side facades are to be repaired and not replaced.**

And with the general condition applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work. and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: RICHARD SMITH II
Daytime Phone No.: 202-966-6266

Tax Account No.: 03279436
Name of Property Owner: DANE BUTSWINKAS/MEZANI RUPP Daytime Phone No.: _____
Address: 3 NEWLANDS STREET CHRY CHASE MARYLAND 20815
Street Number City State Zip Code
Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: MUSE ARCHITECTS 5630 CONNECTICUT AVE. N.W. WASHINGTON DC 20024 Daytime Phone No.: 202-966-6266

LOCATION OF BUILDING/PREMISE

House Number: 3 Street: NEWLANDS STREET
Town/City: CHRY CHASE Nearest Cross Street: CONNECTICUT
Lot: 4 Block: 54 Subdivision: CHRY CHASE
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable
CHECK ALL APPLICABLE: A/C Slab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other: FENCE
1B. Construction cost estimate: \$ 400,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Richard E. Smith II Signature of owner or authorized agent
October 9, 2001 Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 200429 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE CURRENT RUPP/BUTSWINKAS RESIDENCE IS A 2-STORY BRICK & FRAME, CRAFTSMAN
STYLE HOME, BUILT CIRCA 1920. IT ALSO HAS A FULL BASEMENT AND LIVABLE ATTIC SPACE.
THE HOME SITS ON A 12,500 S.F. LOT WITH DECIDUOUS AND EVERGREEN VEGETATION.
THE FRONT PROPERTY LINE IS FENCED BY 30X HUGHES WILLOW. THE REAR PROPERTY LINE IS
BORDERED BY A BRICK WALL.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project seeks to enhance the character of the existing home by ~~adding a side porch~~ connecting a ~~new~~ addition between
ADDITION AND ENCLOSED THE EXISTING PORCH MAKING IT USEFUL YEAR-ROUND, BY CREATING A MORE
APPROPRIATE BREAKFAST AREA AND BY PROVIDING A MORE SUITABLE MASTER BEDROOM AREA.
*THE PORCH ADDITION WILL USE THE SAME ARCH. ELEMENTS FOUND ON THE RESIDENCE: COLUMNS, WINDOWS, BRICK
FLAT TILE ROOF. IN AN EFFORT TO REPEAT AND BLEND IN WITH WHAT EXISTS. THE BREAKFAST ROOM ADDITION
SEEMS TO KEEP THE SAME ARCHITECTURE AS THE PORCH FOR BALANCE ON THE REAR FACADE. THE M. BATH
ADDITION WILL ACT AS AN OPENED, HARMONIOUS CAP TO THE REAR PORCH. THOUGH IT WILL USE THE SAME
HISTORICAL ELEMENTS AS THE REST OF THE HOME, THE POOR WILL HELP GIVE ARCHITECTURAL DIVERSITY TO THE EXTERIOR.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

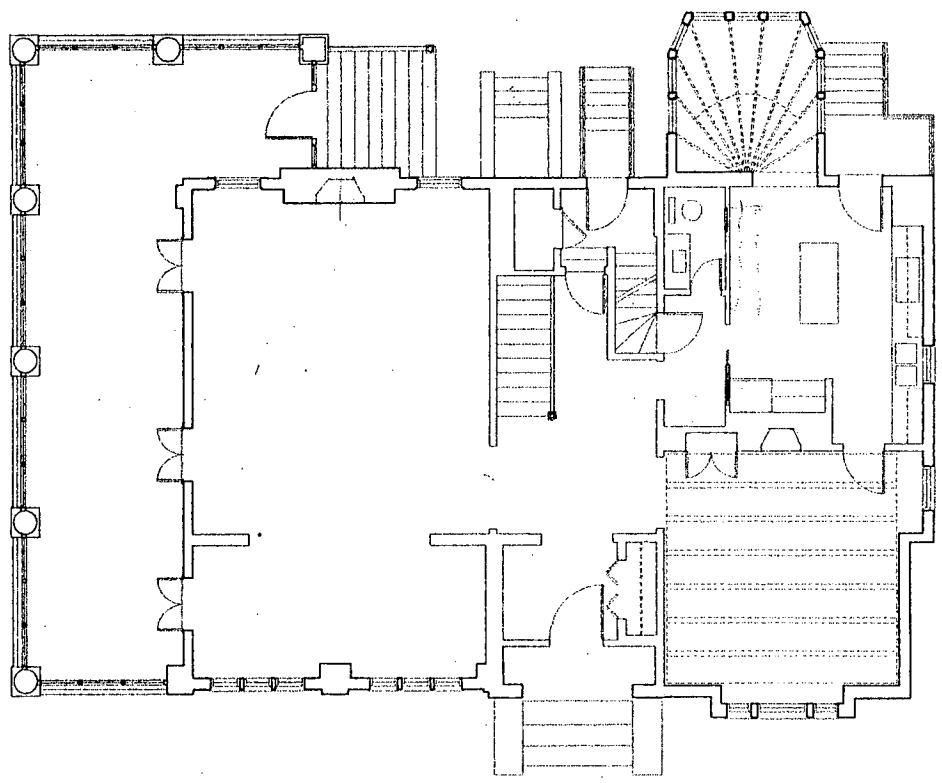
If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

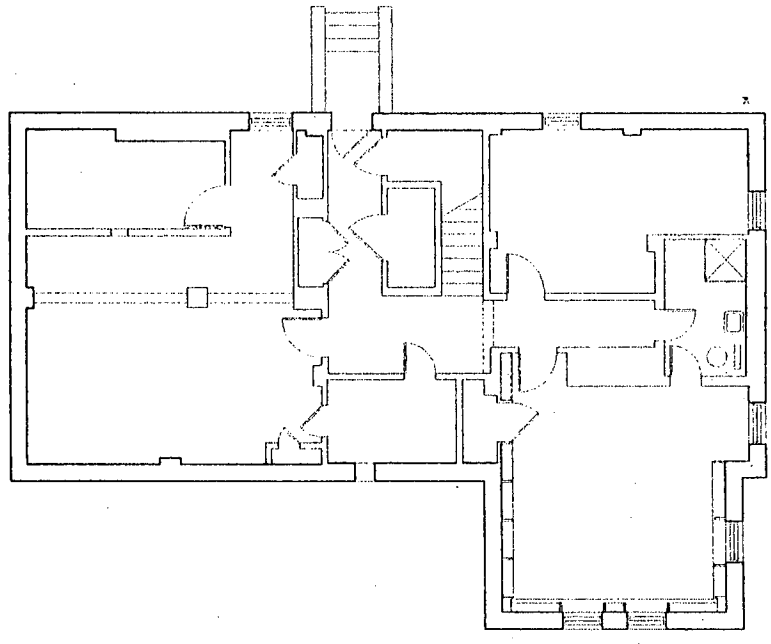
For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

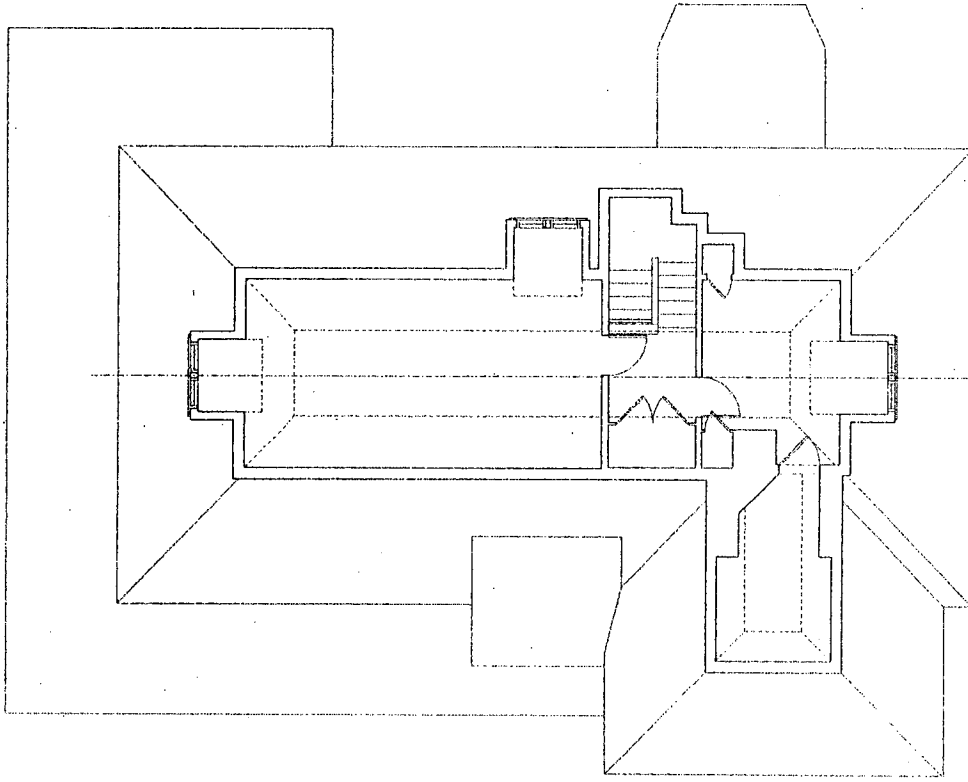




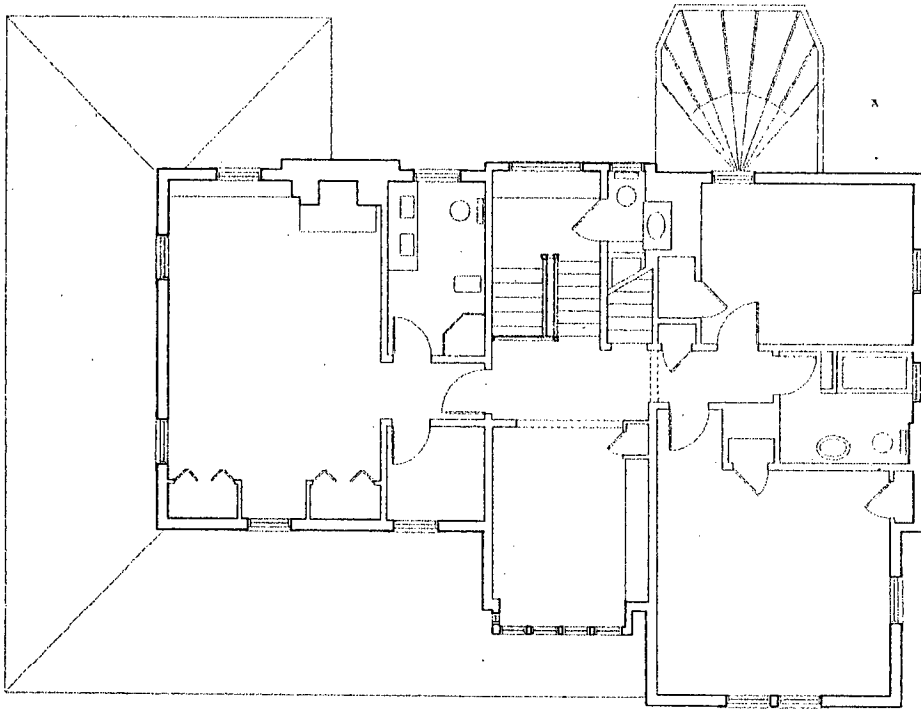
FIRST FLOOR PLAN



BASEMENT PLAN



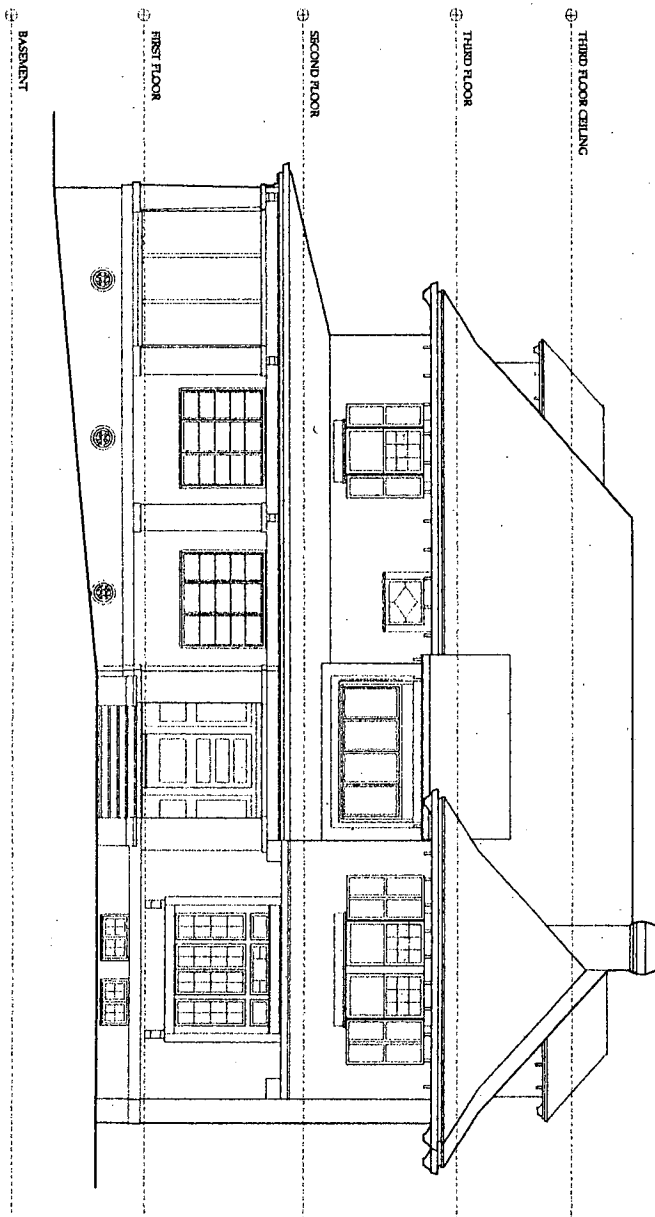
THIRD FLOOR PLAN



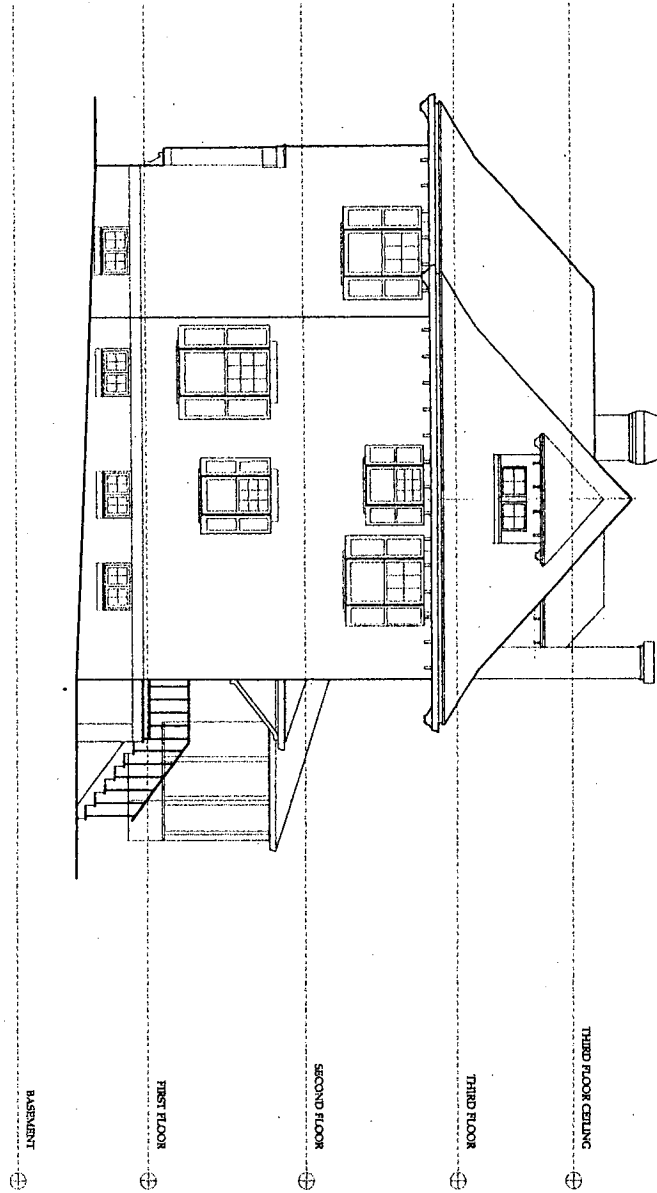
SECOND FLOOR PLAN



○ SOUTH ELEVATION

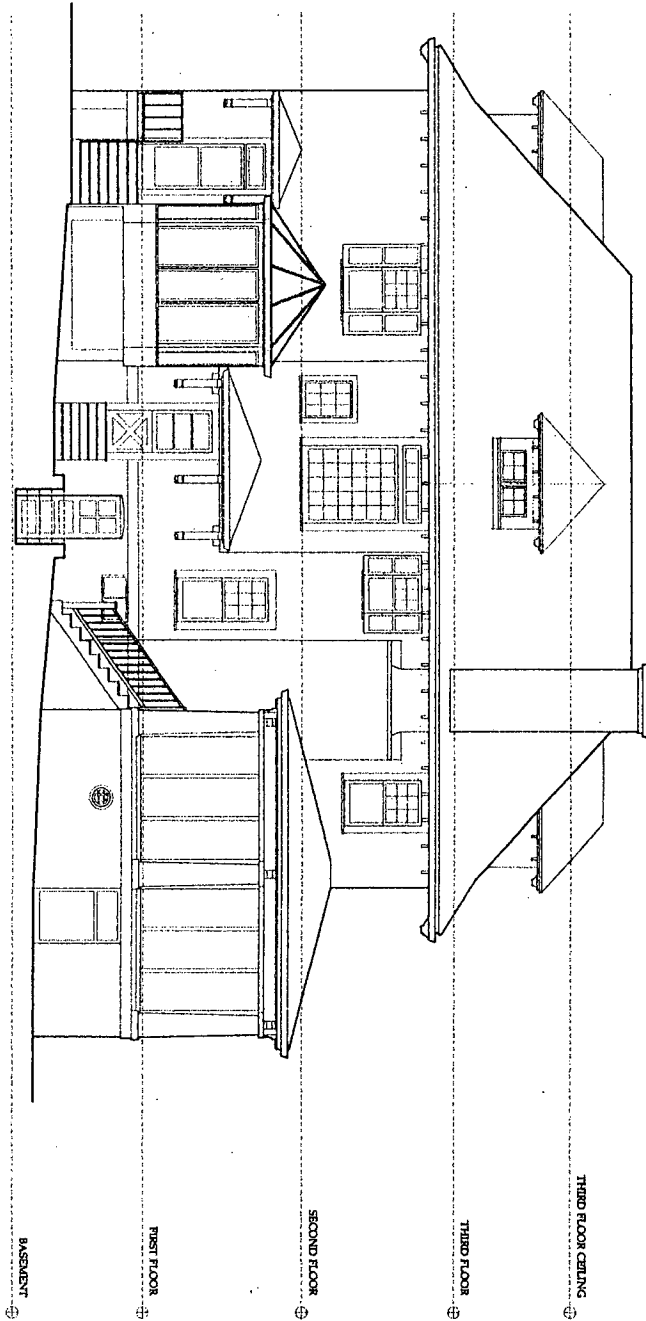


EAST ELEVATION



<p>6</p>	<p>EXISTING CONDITIONS</p>	<p>RUPP/BUTSWINKAS RESIDENCE 3 NEWLANDS STREET CHEVY CHASE, MD 20815</p>	<p>MUSE ARCHITECTS 5630 Connecticut Avenue NW Washington DC 20015 Phone 202.966.6266 Facsimile 202.966.9666</p>
----------	----------------------------	--	--

○ NORTH ELEVATION



SHEET NO.
5

January 2001

EXISTING CONDITIONS

RUPP/BUTSWINKAS RESIDENCE

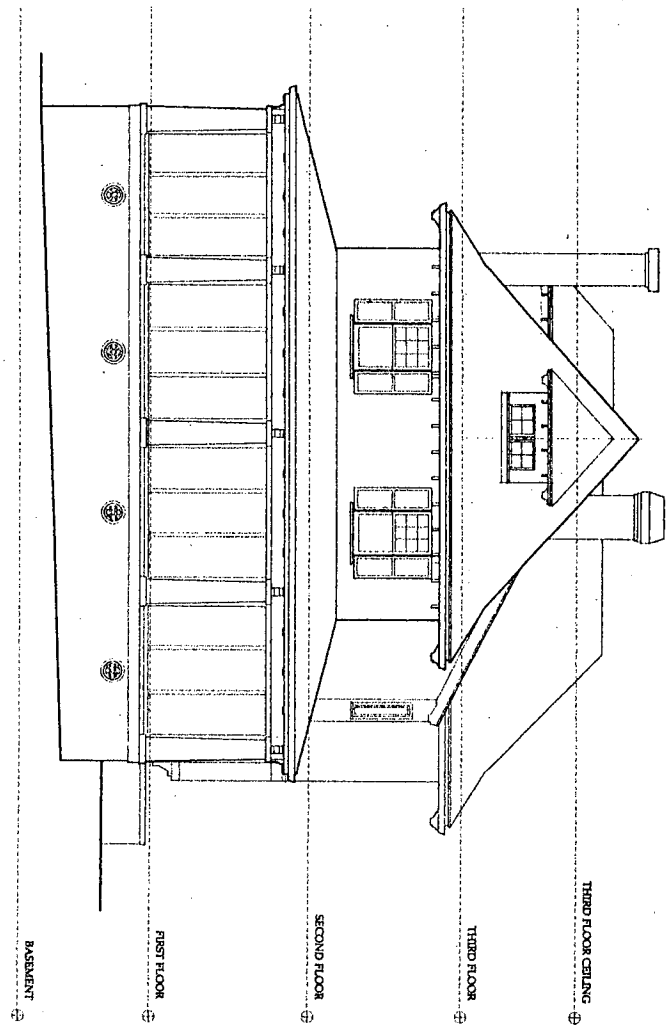
3 NEWLANDS STREET CHEVY CHASE, MD 20815

MUSE ARCHITECTS

5630 Connecticut Avenue NW
Phone 202.966.6266

Washington DC 20015
Facsimile 202.966.9666

WEST ELEVATION



SHEET NO.
4

January 2001

EXISTING CONDITIONS

RUPP/BUTSWINKAS RESIDENCE

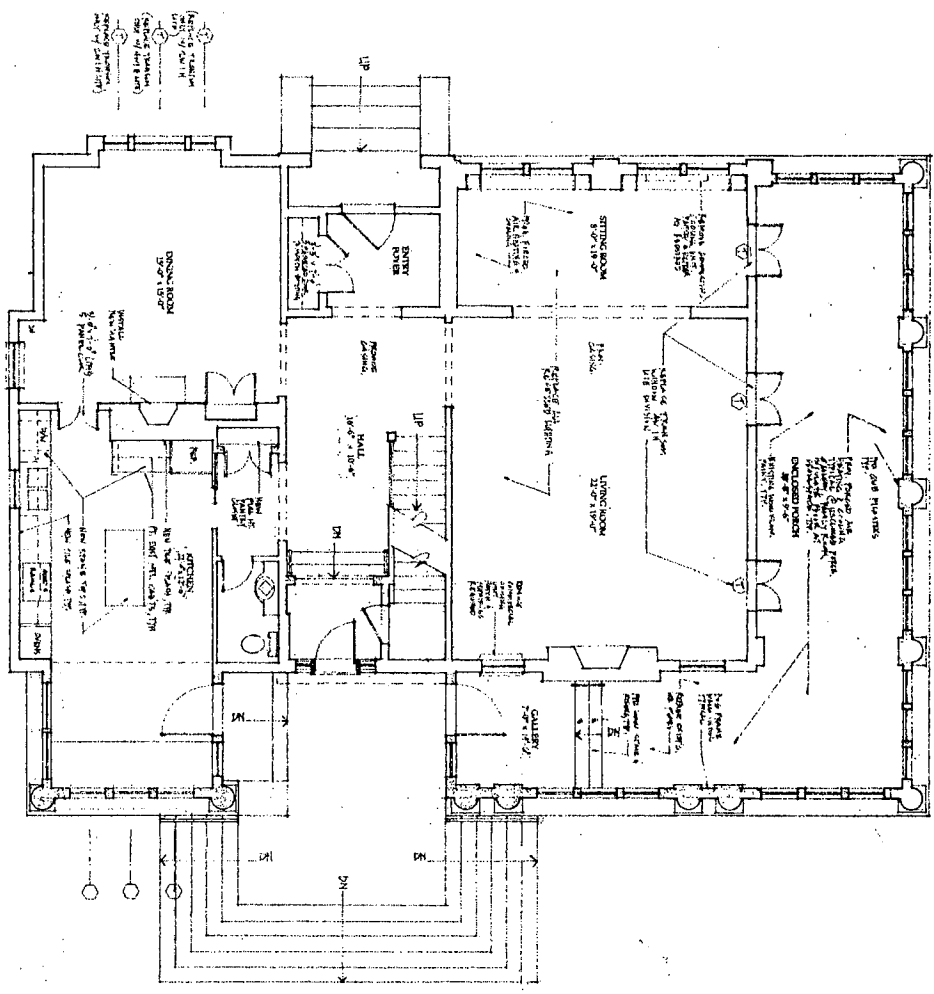
3 NEWLANDS STREET CHEVY CHASE, MD 20815

MUSE ARCHITECTS

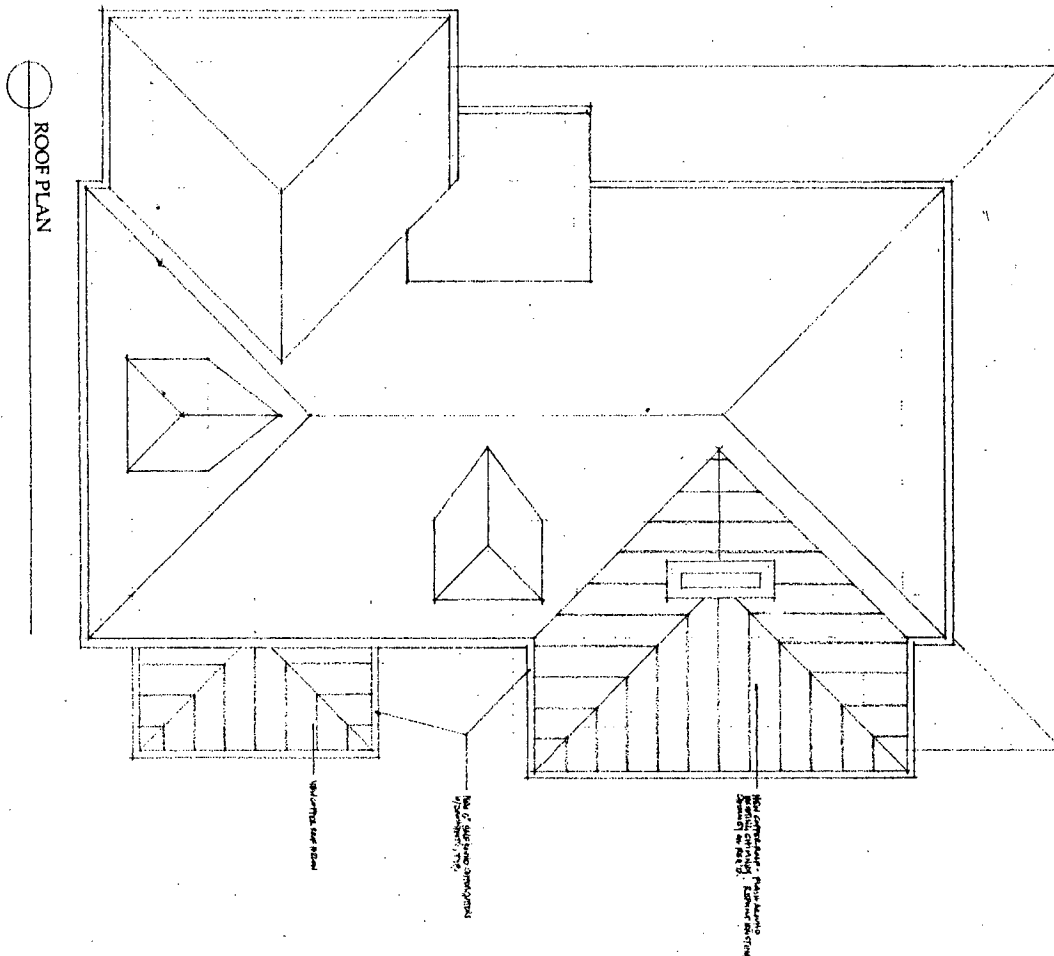
5630 Connecticut Avenue NW
Phone 202.966.6266

Washington DC 20015
Facsimile 202.966.9666

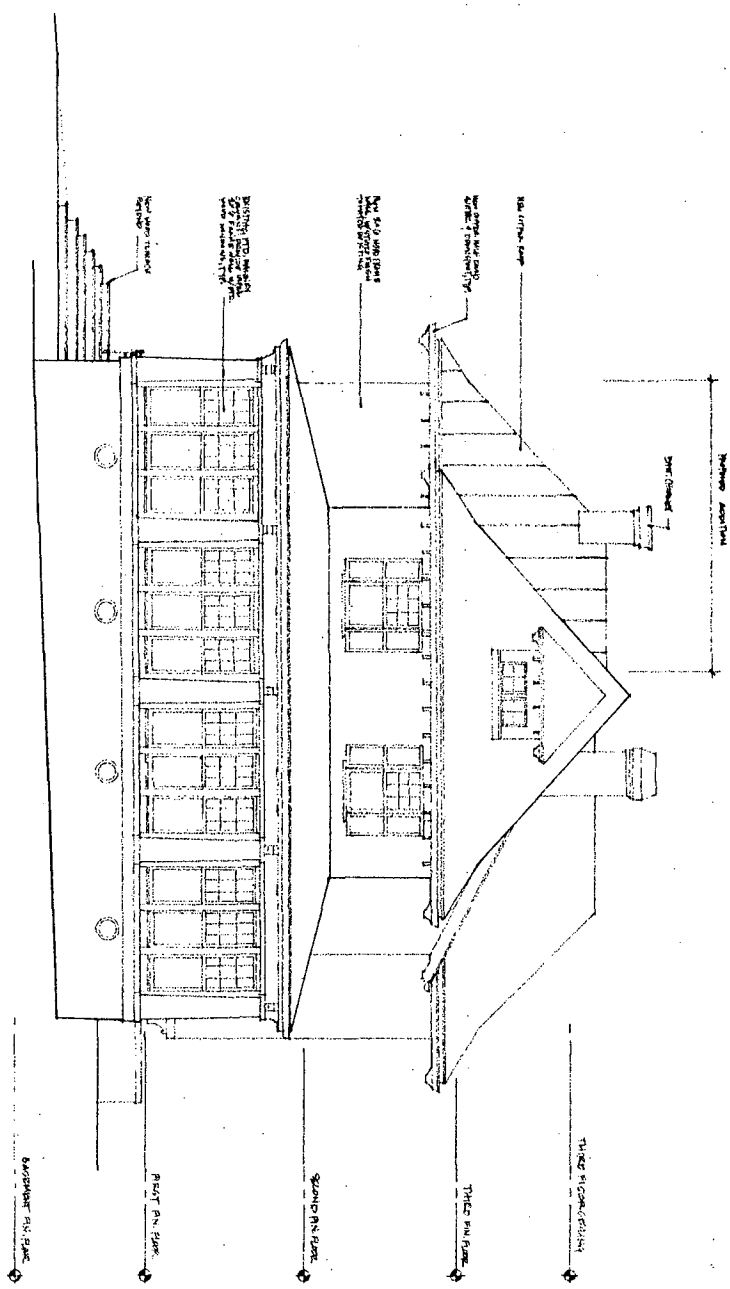
FIRST FLOOR PLAN



LEGEND:
 25 STYRA INSULATION
 RAFTERS ON STRUTS



WEST ELEVATION



HIS PROJECT SYSTEM

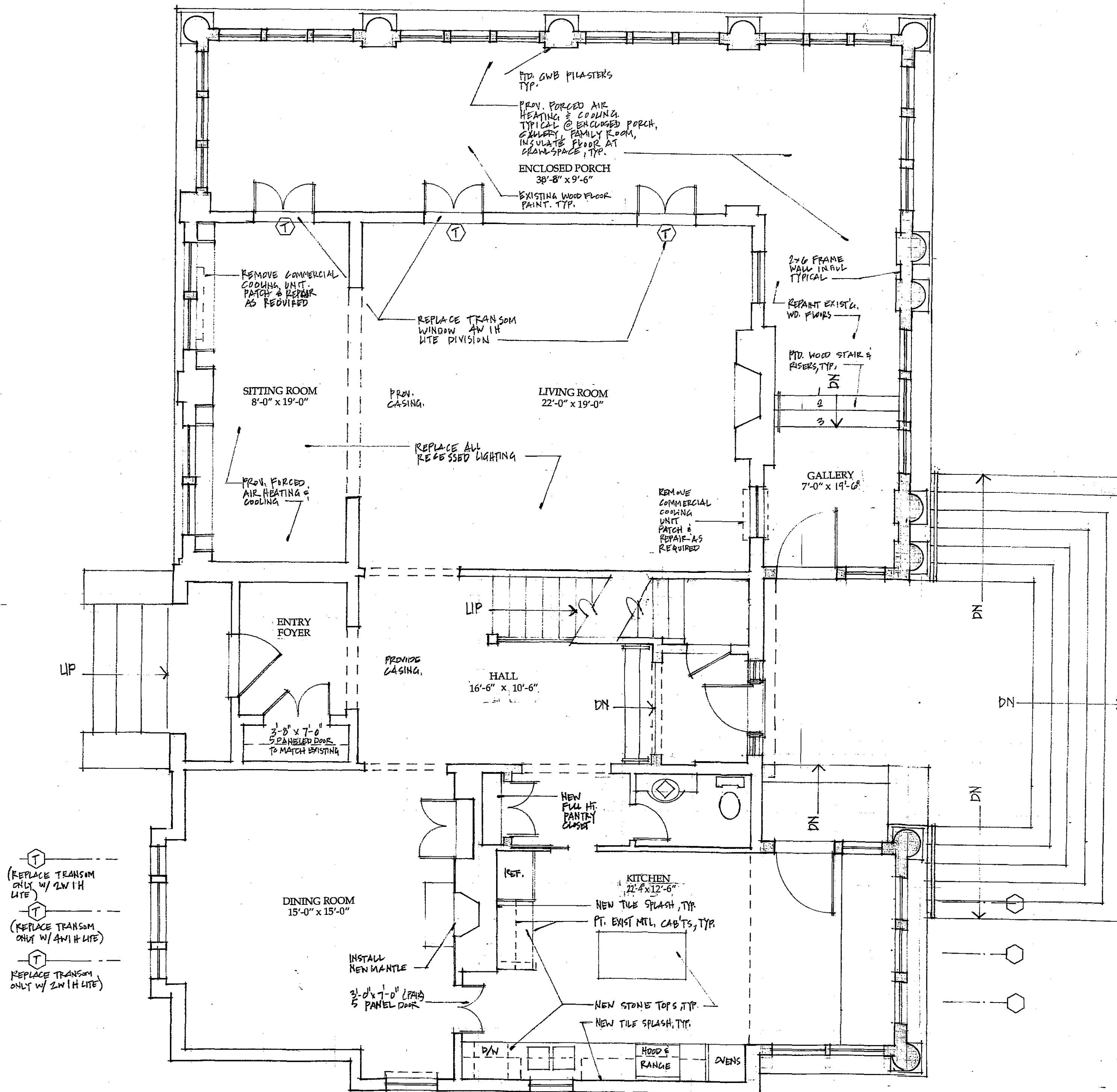
ADDITION TO AND RENOVATION OF THE
RUPP/BUTSWINKAS RESIDENCE
 3 NEWLANDS STREET CHEVY CHASE, MARYLAND

MUSE ARCHITECTS

5630 Connecticut Avenue NW
 Phone 202.966.6266

Washington DC 20015
 Facsimile 202.966.9666

WEST ELEVATION
 SCALE: 1/4" = 1'-0"



- (REPLACE TRANSM ONLY W/ 2W 1H LITE)
- (REPLACE TRANSM ONLY W/ 4W 1H LITE)
- (REPLACE TRANSM ONLY W/ 2W 1H LITE)

FIRST FLOOR PLAN

LEGEND:
 ——— EXISTING CONSTRUCTION
 ——— PROPOSED CONSTRUCTION

ADDITION TO AND RENOVATION OF THE
RUPP/BUTSWINKAS RESIDENCE
 3 NEWLANDS STREET CHEVY CHASE, MARYLAND

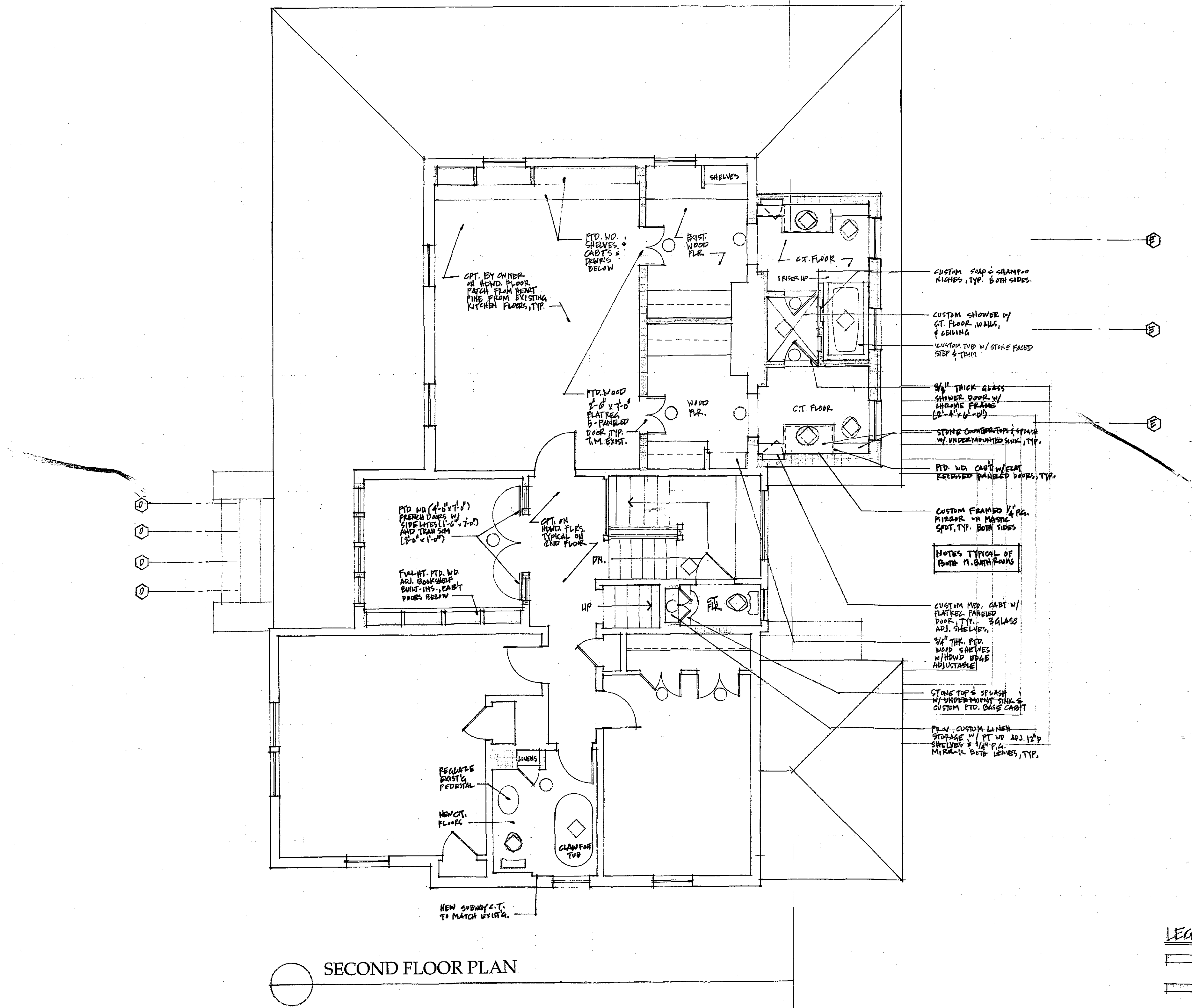
PRELIMINARY PRICING
 20 SEPTEMBER 2001
 MOST PREVIOUS REVISION
 9 OCTOBER 2001

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

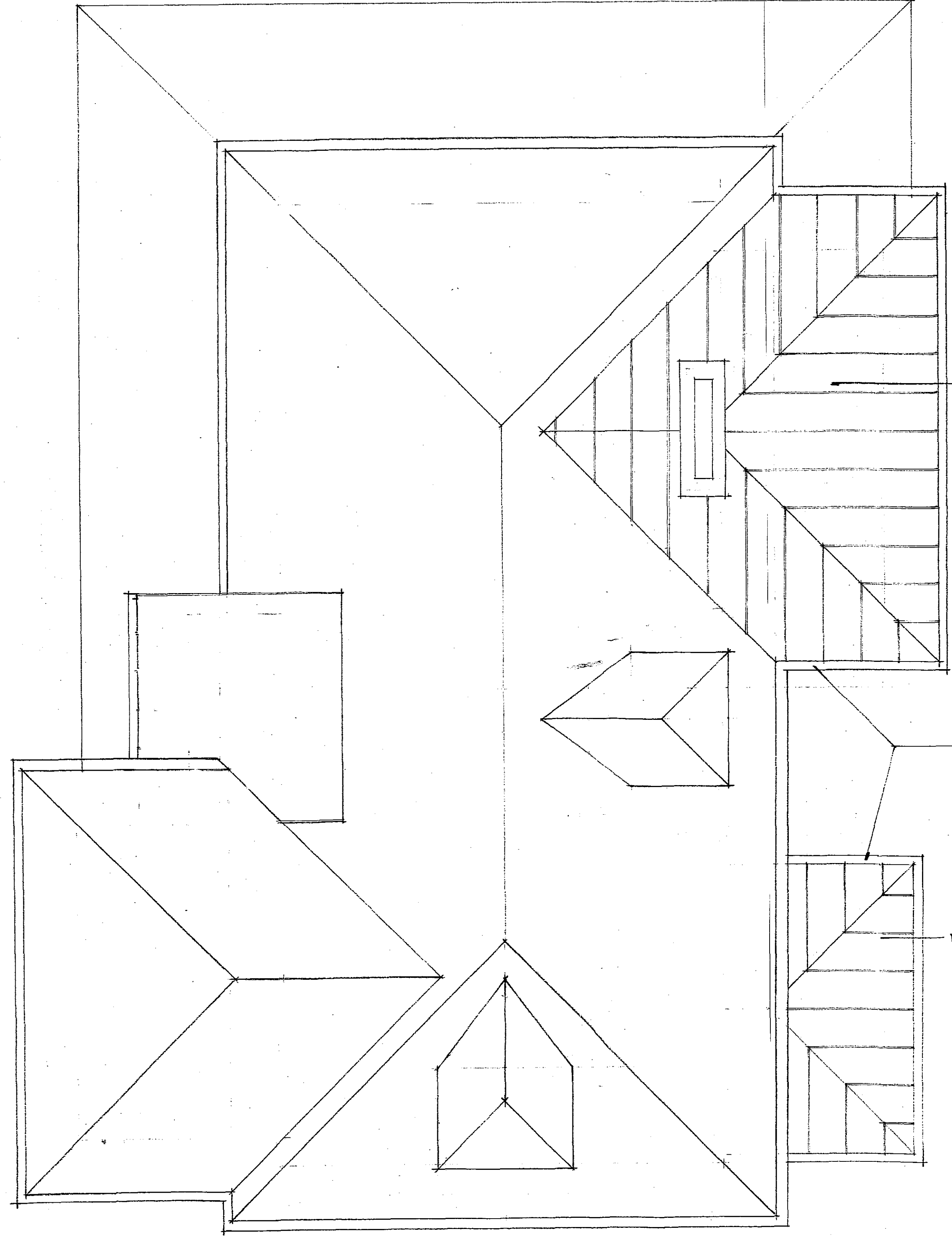
**ADDITION TO AND RENOVATION OF THE
 RUPP/BUTSWINKAS RESIDENCE**
 3 NEWLANDS STREET CHEVY CHASE, MARYLAND

HST. PRESEN. REVIEW
 1 OCTOBER 2001

SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN



NEW COPPER ROOF - FLASH ALONG
EXISTING CHIMNEY. REPOINT EXISTING
CHIMNEY AS REQ'D.

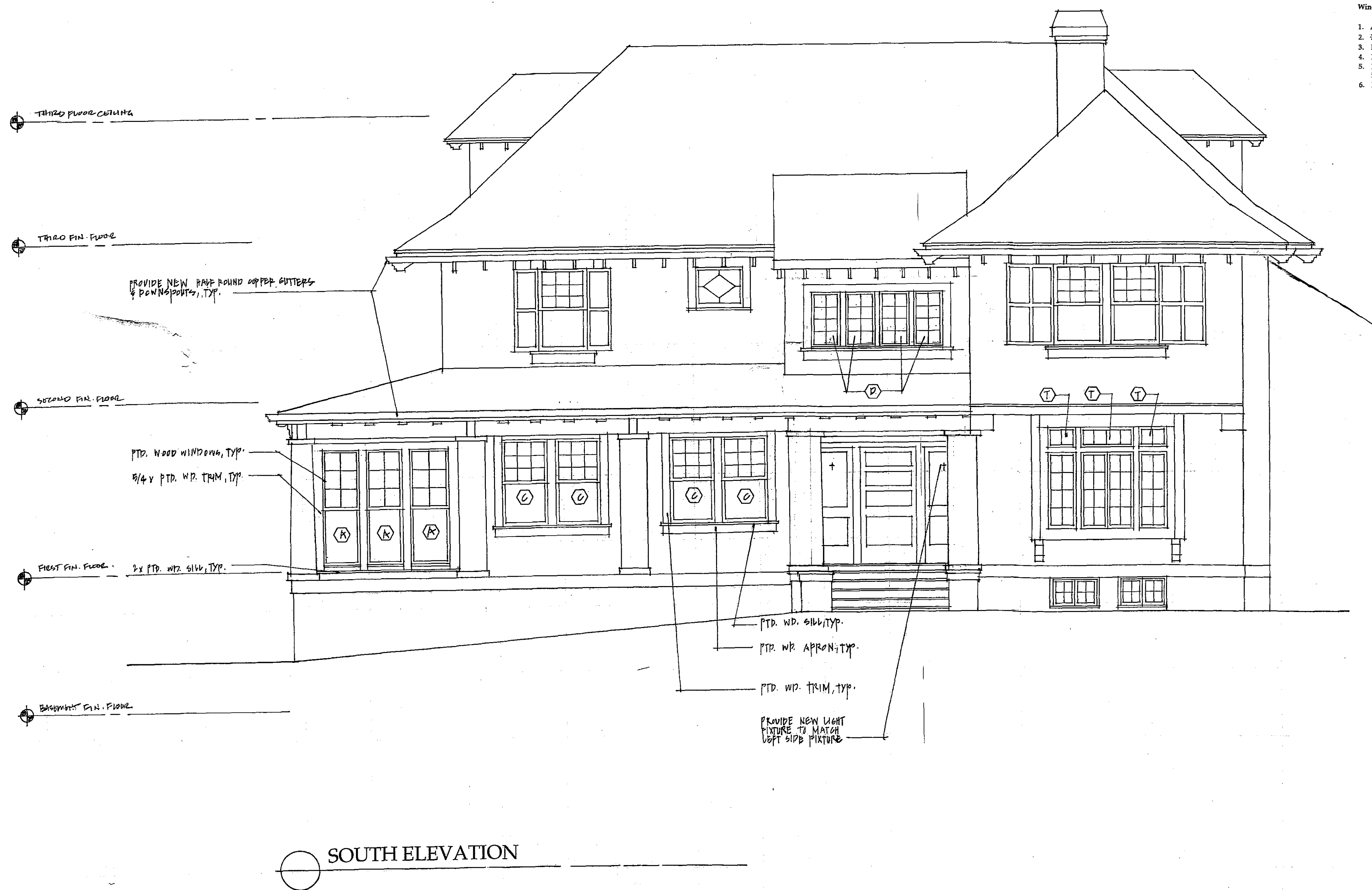
NEW 6" HALF ROUND COPPER CUTTERS
W/DOWNGUTS, TYP.

NEW COPPER ROOF BEAM

ROOF PLAN

HBT: PERSKEY, REVIEW
 9 OCTOBER 2001

ROOF PLAN
 SCALE: 1/4" = 1'-0"



○ SOUTH ELEVATION

WINDOW SCHEDULE (Pozzi Designations)
5 July 2001 (Preliminary)

SYMBOL	DESCRIPTION	SASH OPENING (S.O.)	SCREEN	REMARKS
A	Wood Double Hung WDH 2440			
B	Wood Double Hung WDH 3640			
C	Wood Double Hung WDH3228			
D	Wood Casement CC2842			Mull 4 units together at factory
E	Wood Double Hung WDH 3226			
F	Wood Casement (ash only) Size to match existing	1'-10" x 1'-7 1/2" +/- VIF		
1	Wood Inswing French Door w/ transom 3'-0" x 8'-0" door (9'-6" total height with transom)			3WSH door 3WH transom
2	Wood Inswing French Door w/ transom 3'-0" x 8'-0" doors (9'-6" total height with transom)			2WSH per door leaf 3WH transom
T	Wood Fixed Transom Size as required to fit existing Transom space	3@ 3'-3" x 11" 1@ 3'-3" x 1'-2 1/2" 2@ 1'-7" x 1'-2 1/2"		(4WH) (4WH) (2WH) VIF all sizes prior to order

General Contractor to verify all dimensions prior to ordering of windows, typ.

Window Notes:

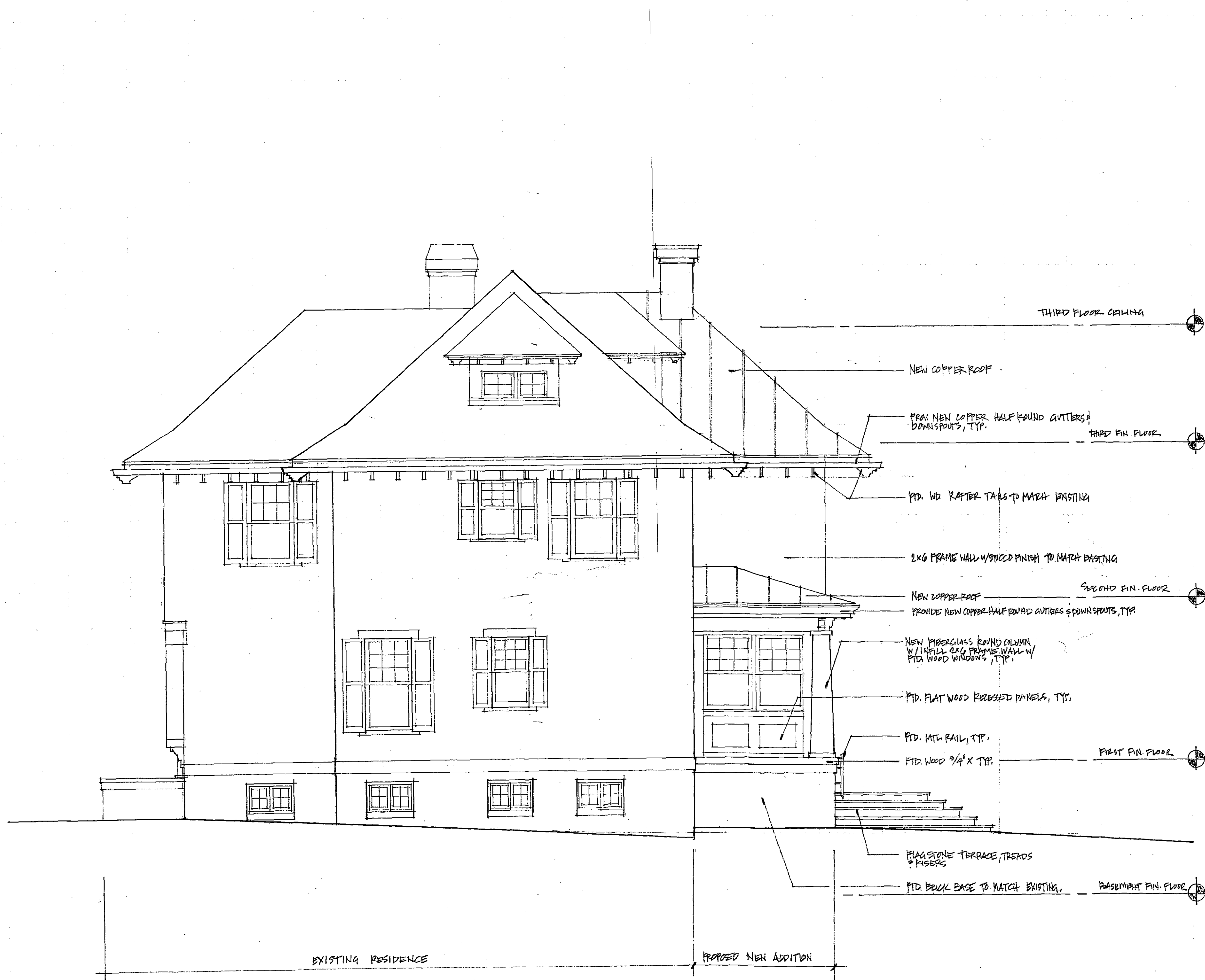
1. All windows and doors to be insulated 3/4" simulated muntin bars in lite patterns as shown on drawings.
2. Provide safety glass at hazardous locations in accordance with Code regulations.
3. Provide all window units prime painted white by manufacturer.
4. Provide all windows units with manufacturer's white hardware.
5. Provide subulls and jamb extensions to accommodate installation details and wall thicknesses at locations indicated in drawings.
6. Provide shop drawings for architect review prior to ordering windows.

MUSE ARCHITECTS
5630 Connecticut Avenue NW
Washington DC 20015
Phone 202.966.6266
Facsimile 202.966.9666

ADDITION TO AND RENOVATION OF THE
RUPP/BUTSWINKAS RESIDENCE
3 NEWLANDS STREET
CHEVY CHASE, MARYLAND

PRELIMINARY PRICING
5 JULY 2001
6 AUG 2001 (REV)
HAT PRELIM REVIEW
9 OCTOBER 2001

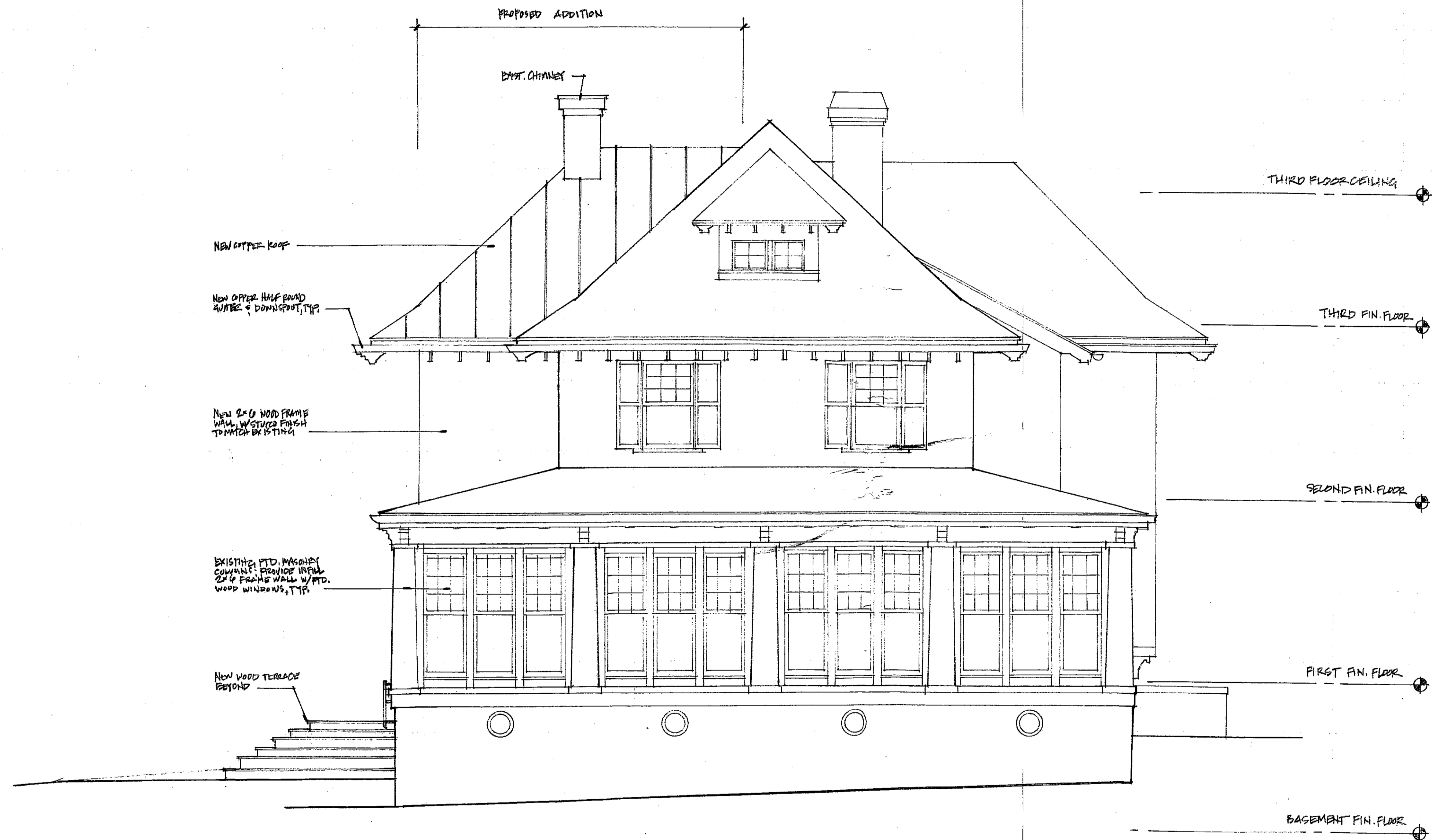
PROPOSED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



EAST ELEVATION

HIST. PRESERV. REVIEW
 10/20/20

SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



○ WEST ELEVATION

ADDITION TO AND RENOVATION OF THE
RUPP/BUTSWINKAS RESIDENCE
 3 NEWLANDS STREET CHEVY CHASE, MARYLAND

THIS PROJECT REVIEWED
 01/28/2012

WEST ELEVATION
 SCALE: 1/4" = 1'-0"



historie

DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan
County Executive

Robert C. Hubbard
Director

HISTORIC AREA WORK
PERMIT

IssueDate: 10/29/2001

Permit No: 260429
Expires:
X Ref:
Rev. No:

Approved With Conditions

THIS IS TO CERTIFY THAT:

RICHARD E 2ND & M L SMITH
4424 MAHAN RD
SILVER SPRING MD 209064774

HAS PERMISSION TO:

ADD

SINGLE FAMILY DWELLING

PERMIT CONDITIONS:

PREMISE ADDRESS

3 NEWLANDS ST
CHEVY CHASE MD 20815-

LOT 4

BLOCK 54

PARCEL

ZONE R-60

LIBER

ELECTION DISTRICT

07

PLATE

GRID

FOLIO

SUBDIVISION

CHEVY CHASE SEC 2

PERMIT FEE: \$0.00

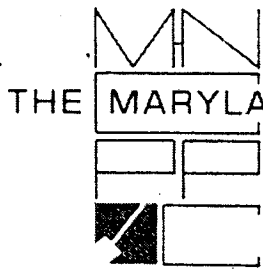
TAX ACCOUNT NO.:

HISTORIC MASTER: Y

HISTORIC ATLAS: Y

HISTORIC APPROVAL ONLY
BUILDING PERMIT REQUIRED

Director, Department of Permitting Services



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

October 24, 2001

MEMORANDUM

OCT 26 2001

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit
HPC Case No: 35/13-01X

DPS No.: 260429

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

_____ APPROVED x APPROVED WITH CONDITIONS:

1. **The transoms on the front and porch side facades are to be repaired and not replaced unless applicant can document that the existing transom is not an original architectural feature, in which case the transoms can be restored to their original configuration. Approvals for changes under this condition can be at HPC staff level.**

Please note that the building permit for this project will be issued subject to adherence to the approved Historic Area Work Permit (HAWP) to:

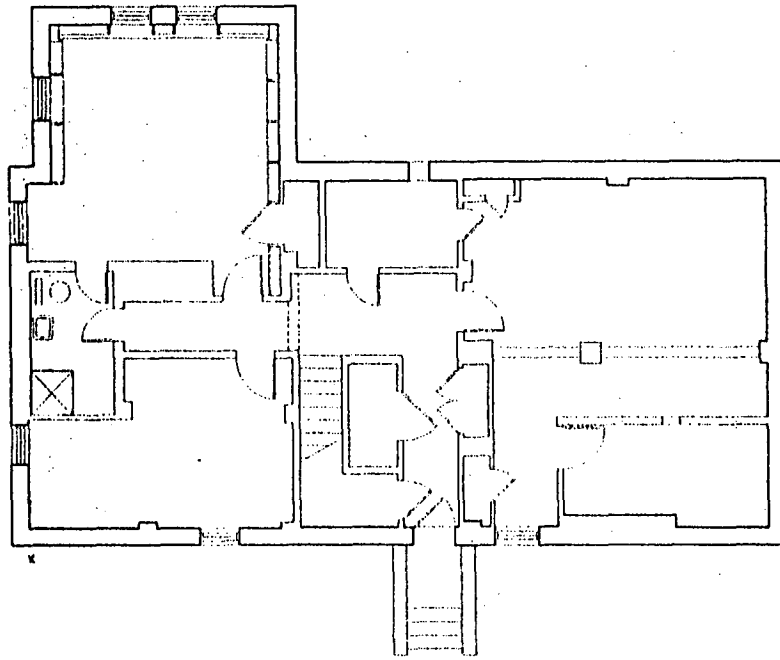
Applicant: **Megan Rupp & Dane Butswinkas**

Address: **3 Newlands Street, Chevy Chase**

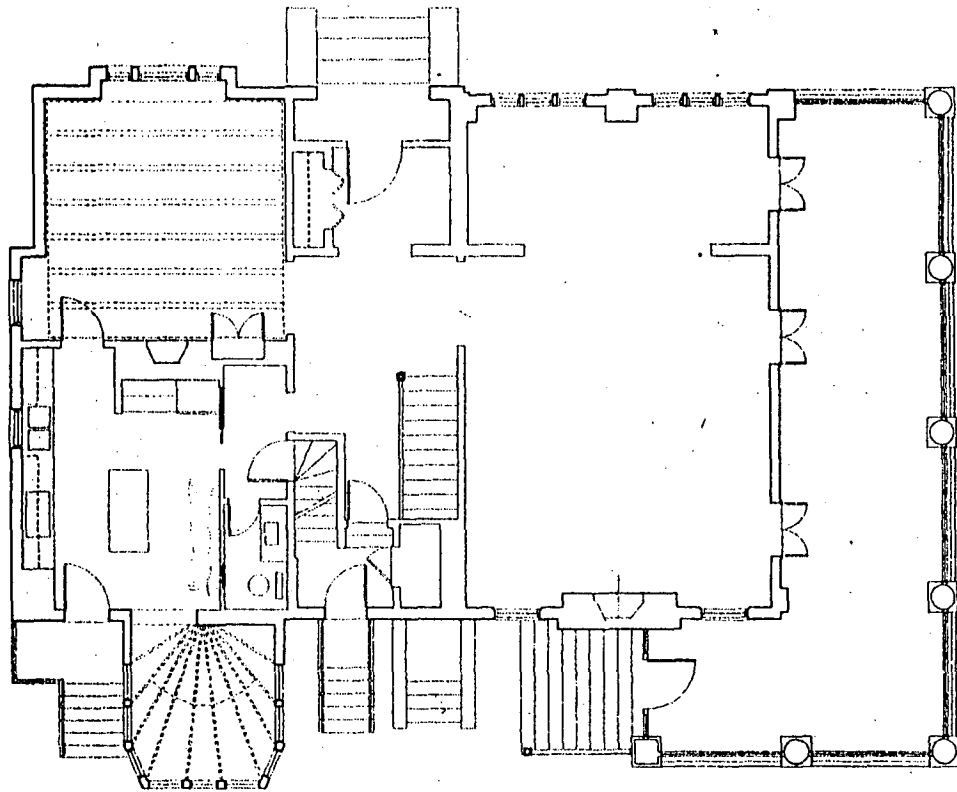
and subject to the general conditions pertinent to all Historic Area Work Permits that:

1. **HPC Staff must review and stamp the permit set of construction drawings prior to application for a building permit with Department of Permitting Services.**
2. **After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.**

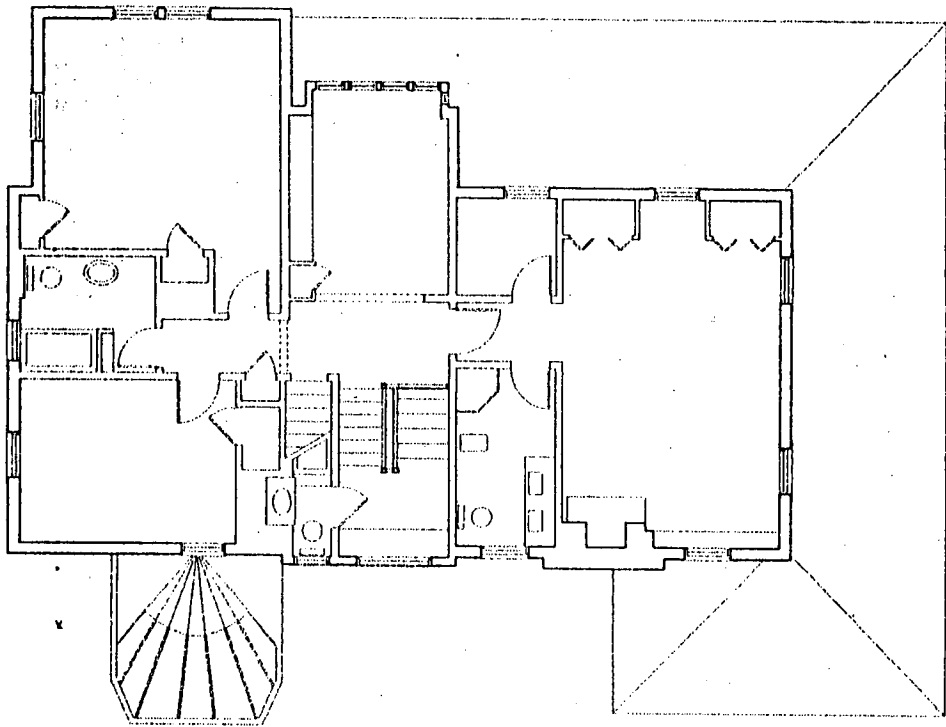
○ BASEMENT PLAN



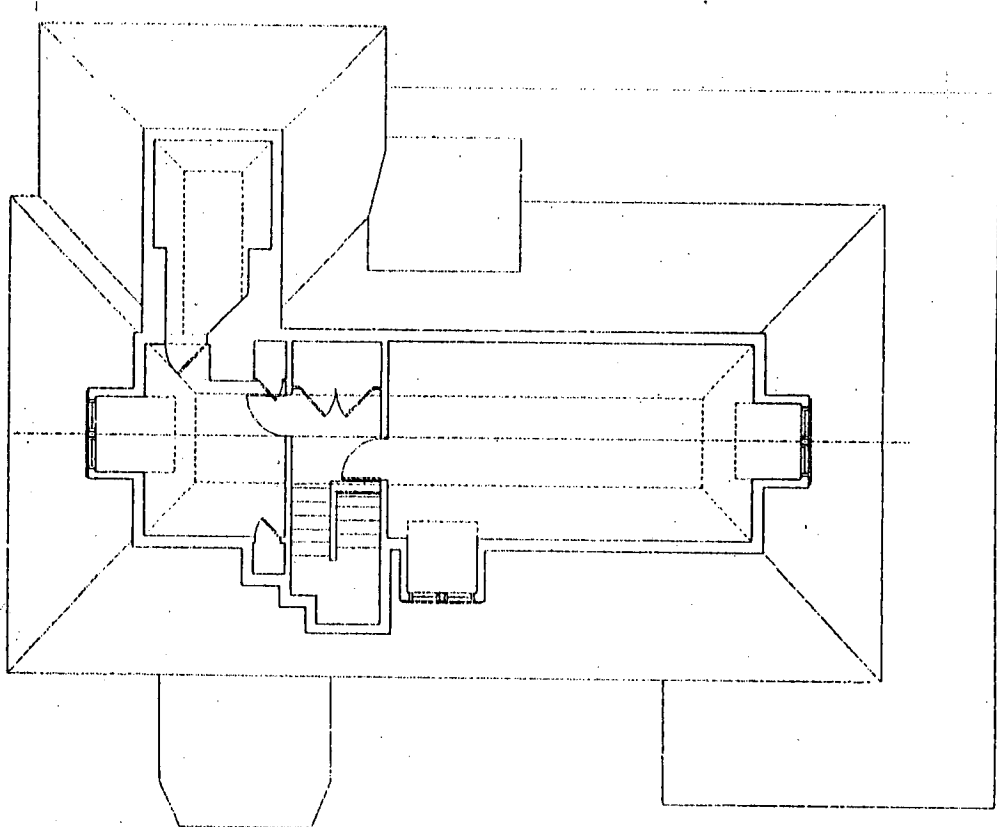
○ FIRST FLOOR PLAN



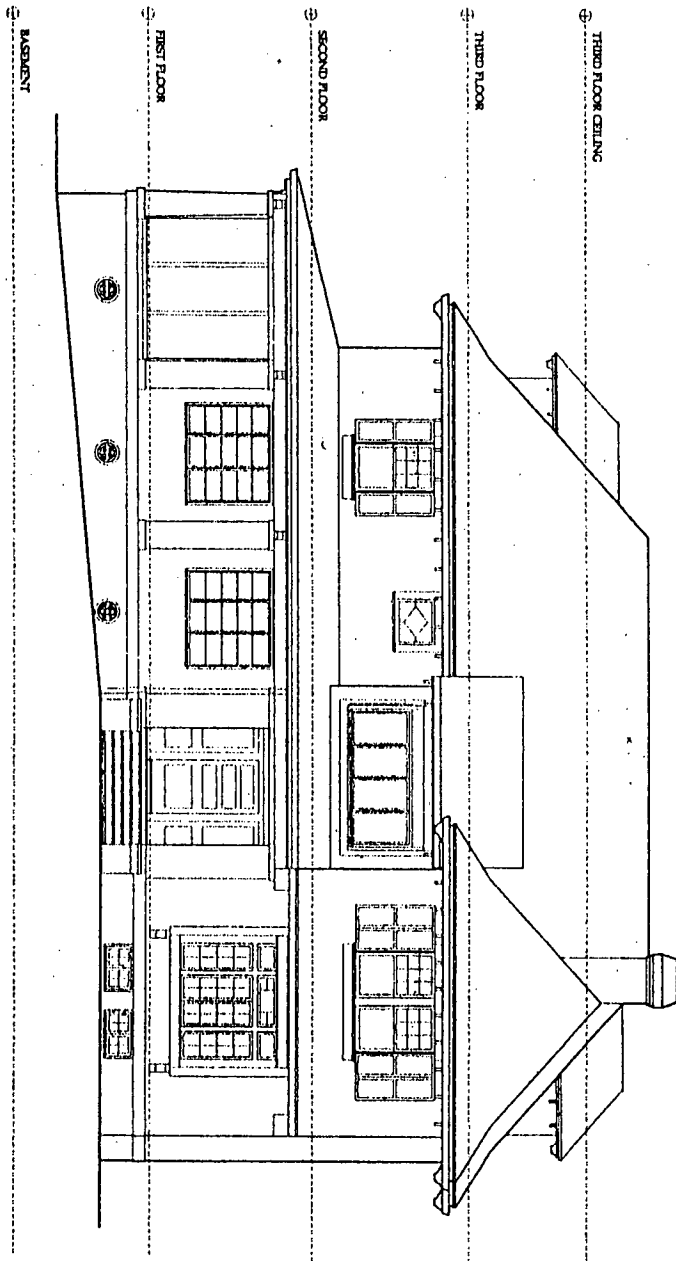
○ SECOND FLOOR PLAN



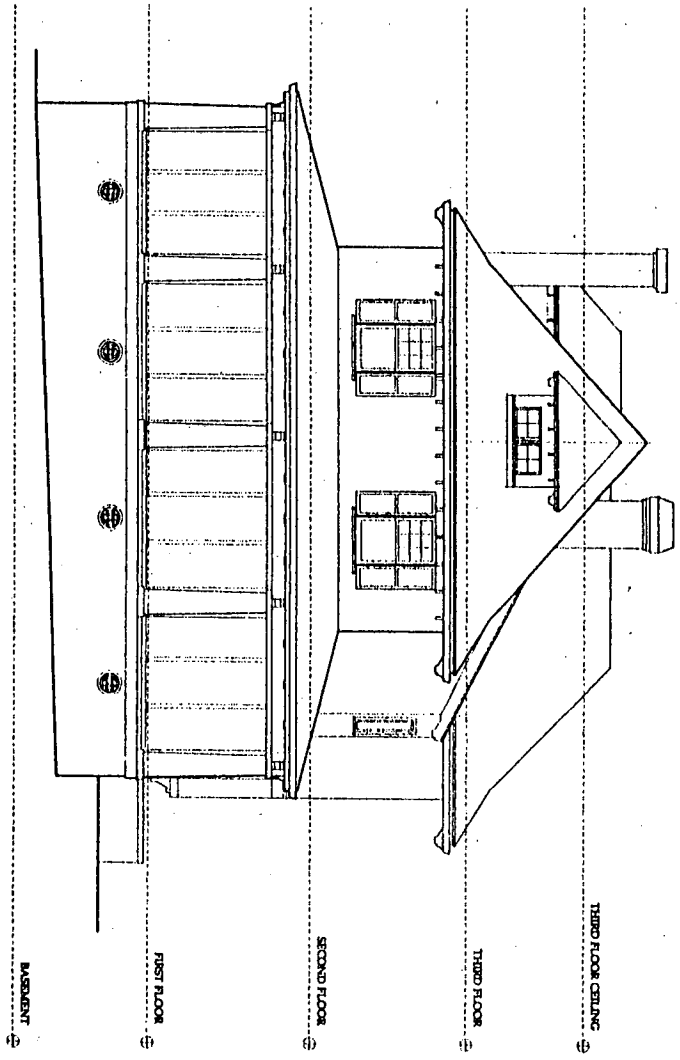
○ THIRD FLOOR PLAN



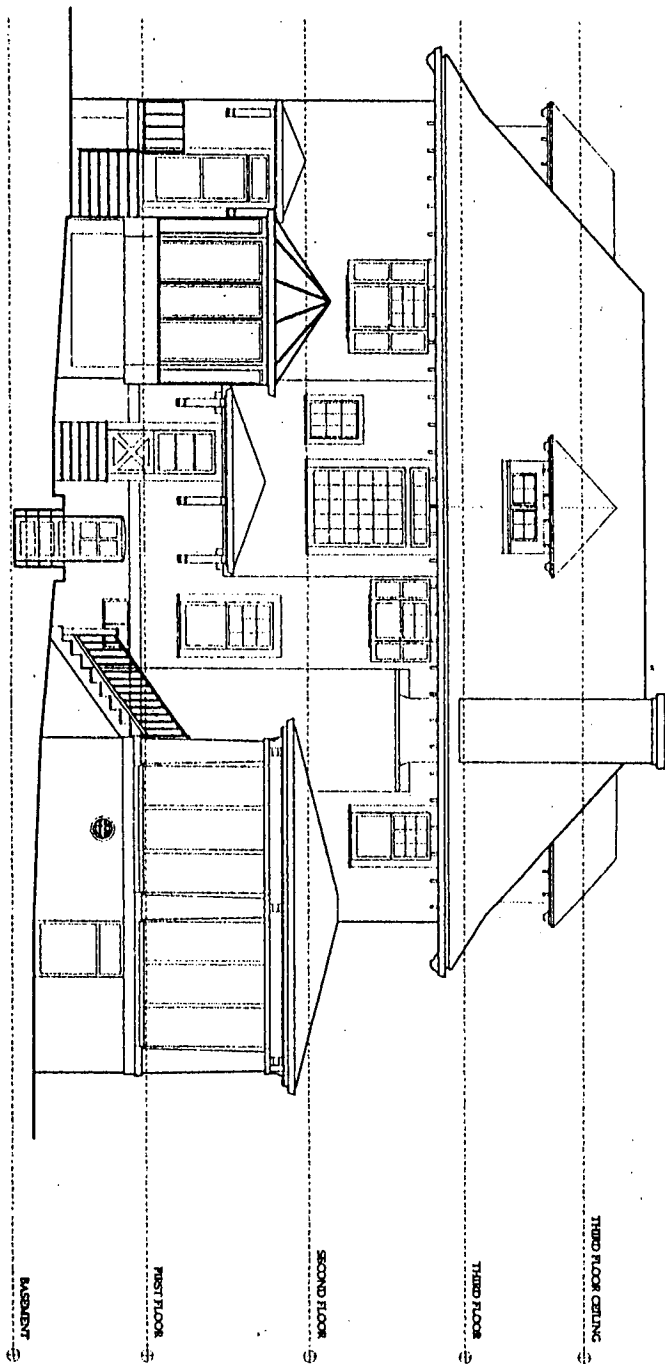
○ SOUTH ELEVATION



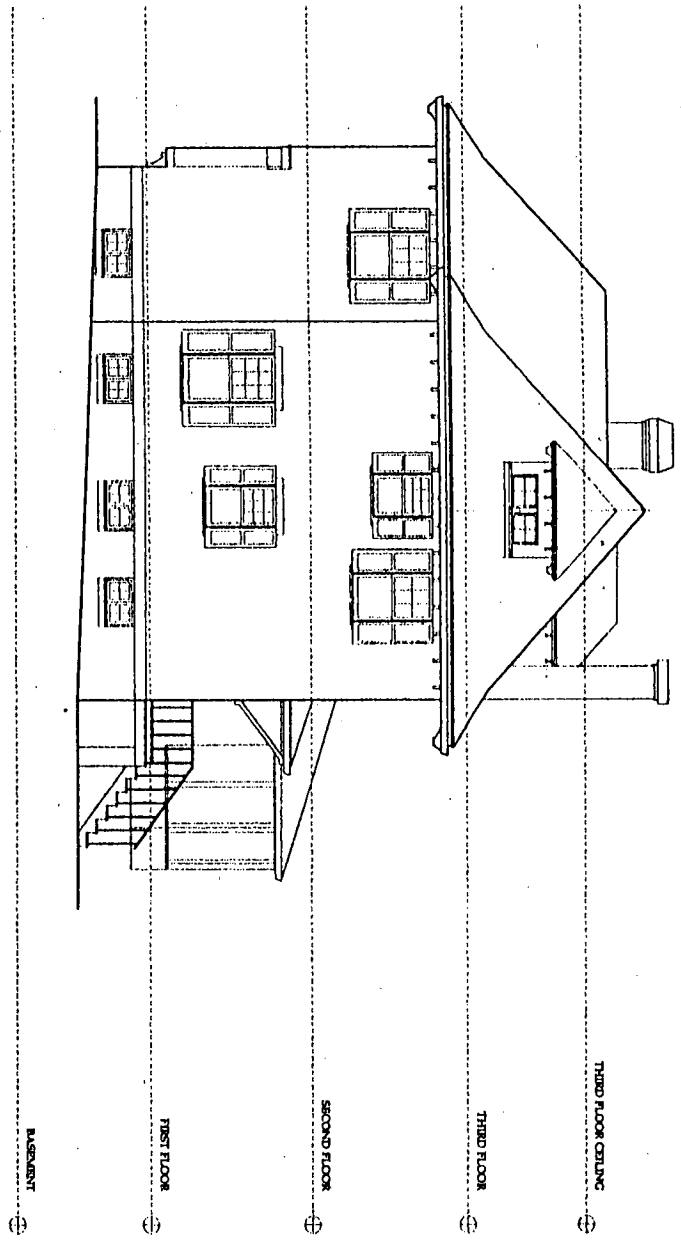
WEST ELEVATION



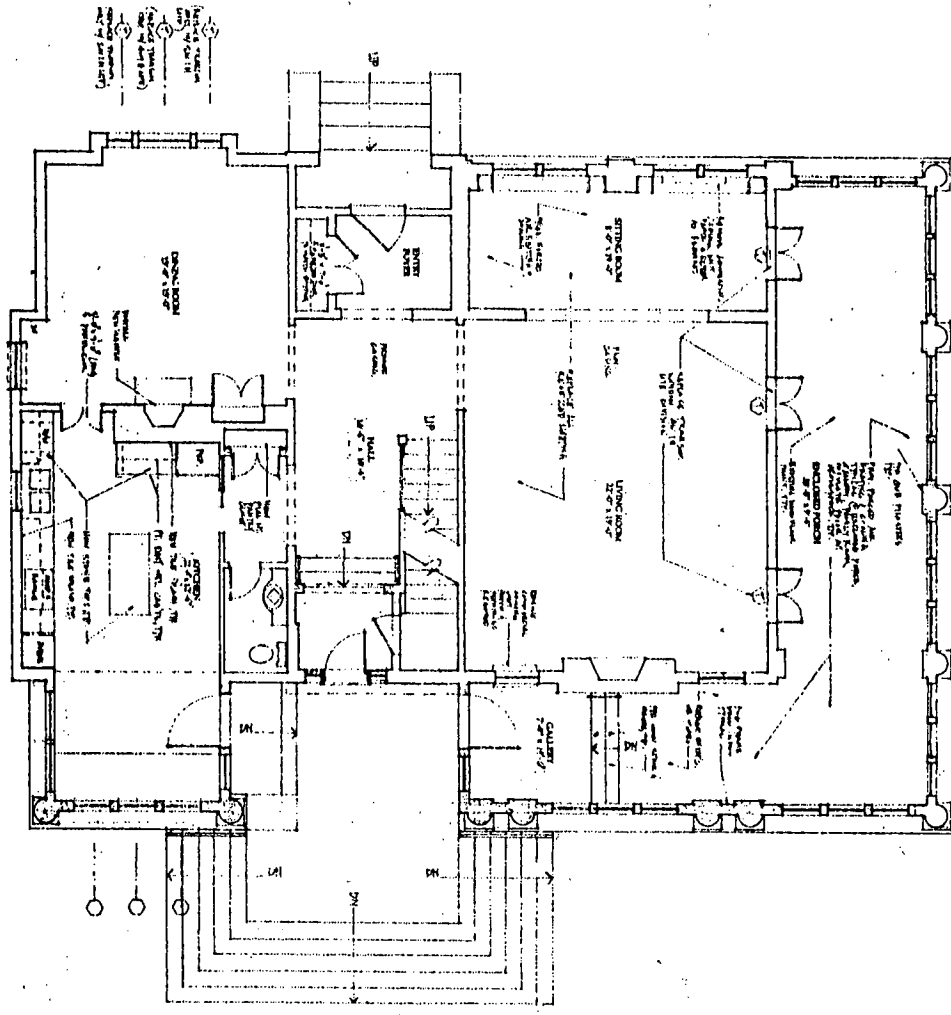
○ NORTH ELEVATION



○ EAST ELEVATION

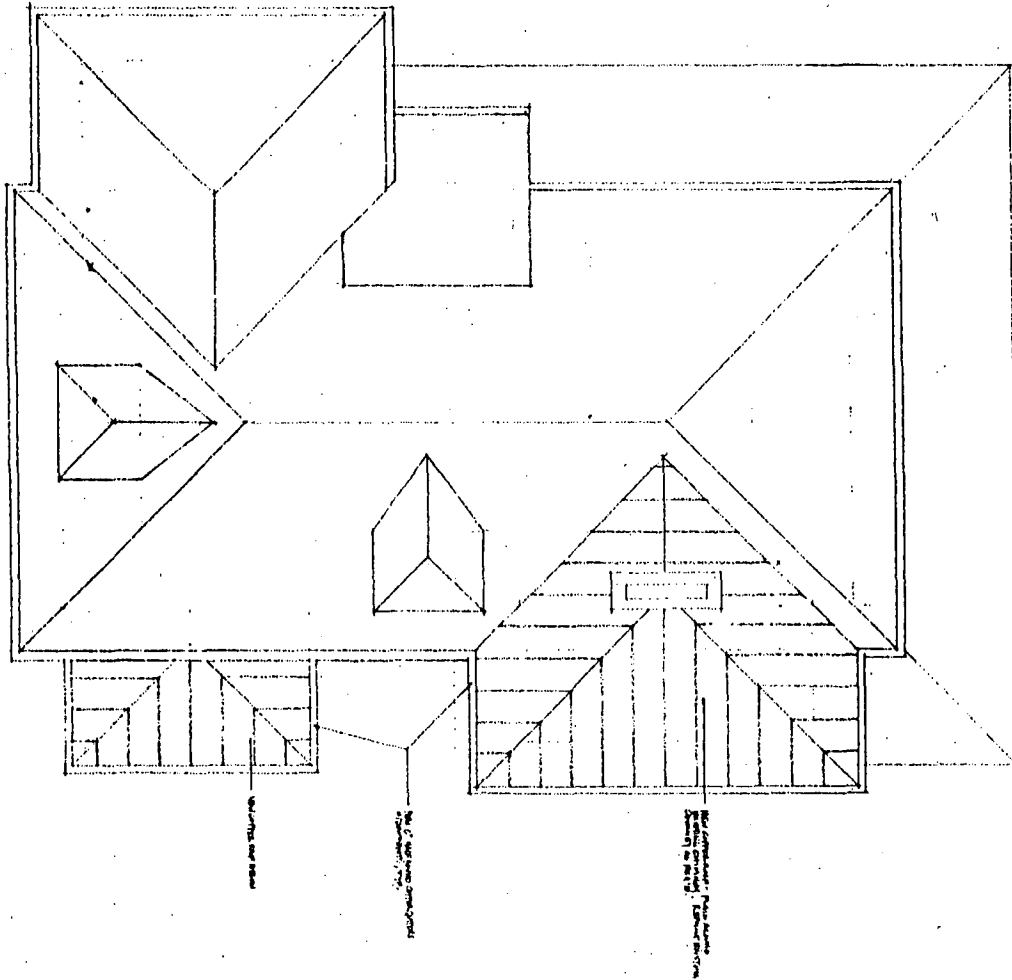


FIRST FLOOR PLAN

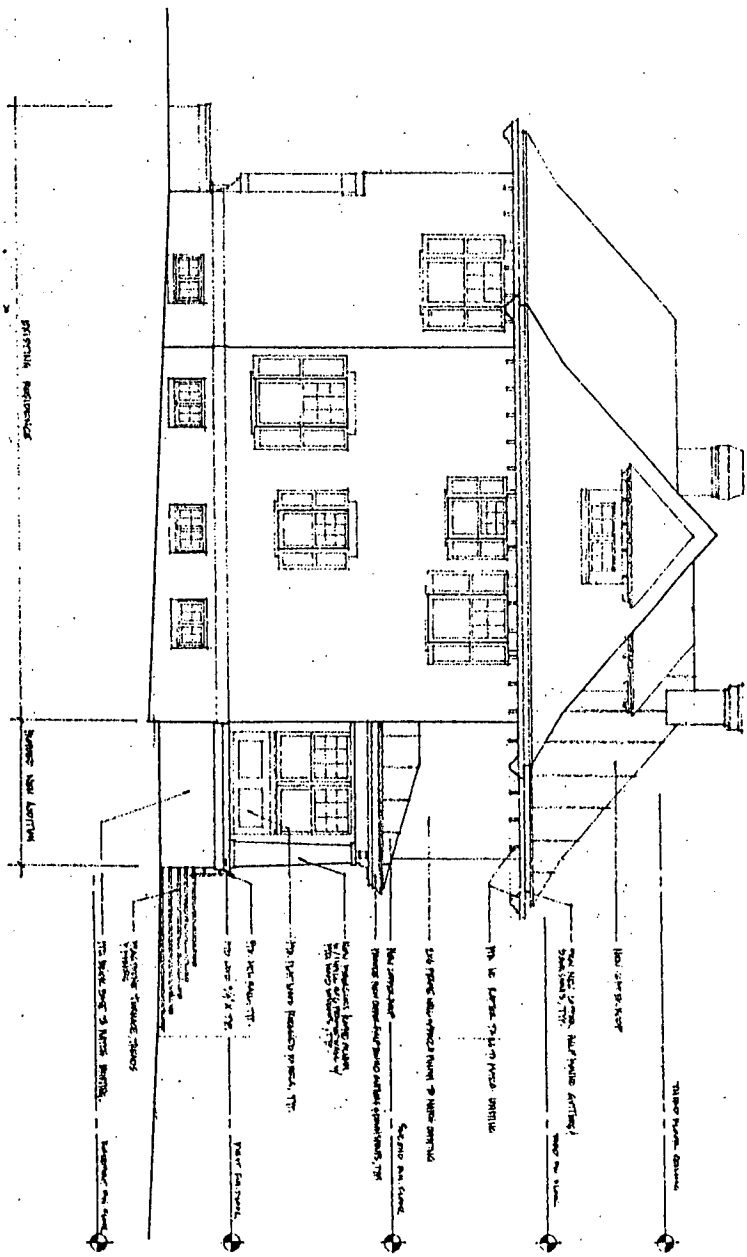


LEGEND:
 --- EXISTING CONSTRUCTION
 --- PROPOSED CONSTRUCTION

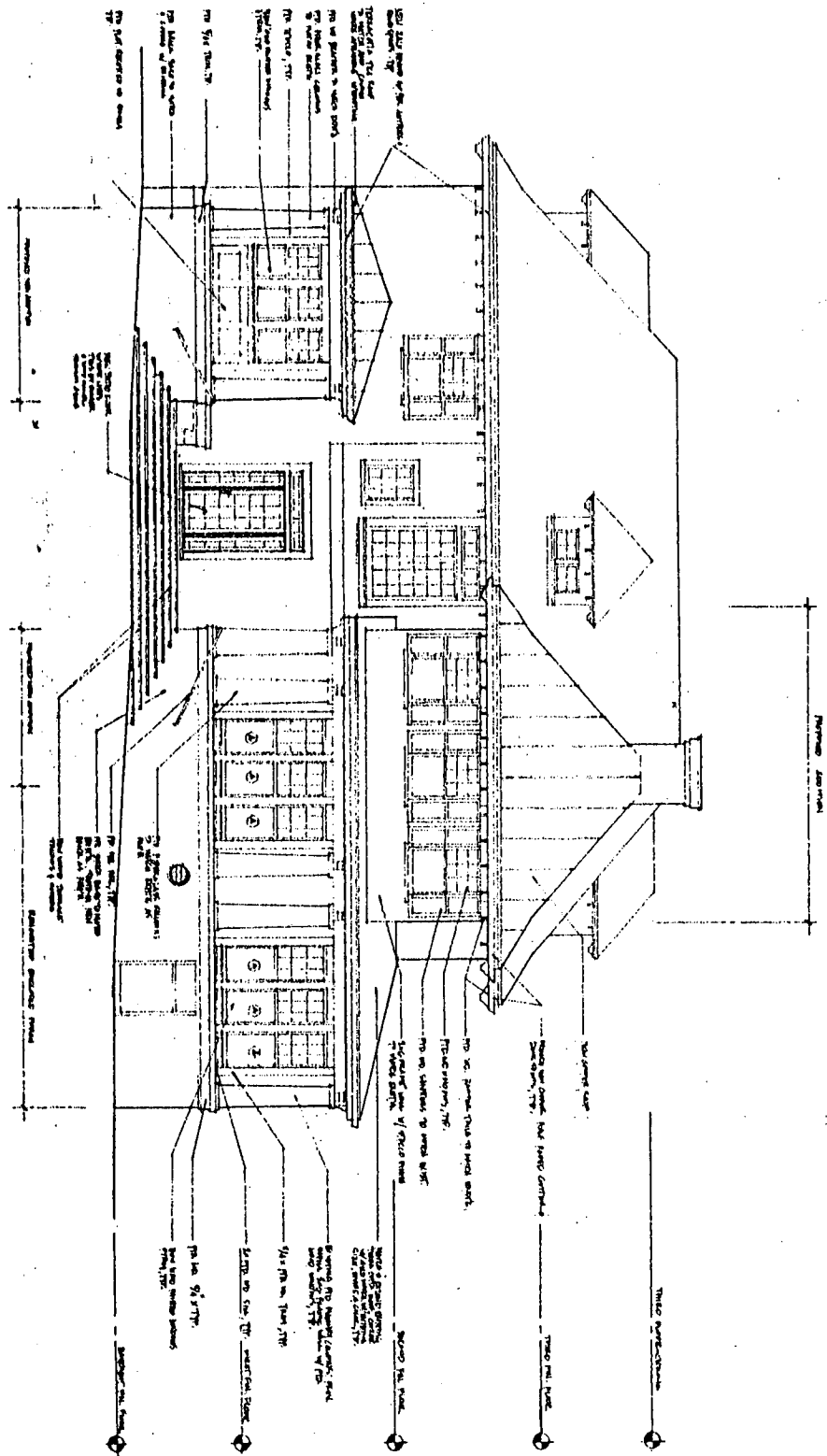
ROOF PLAN



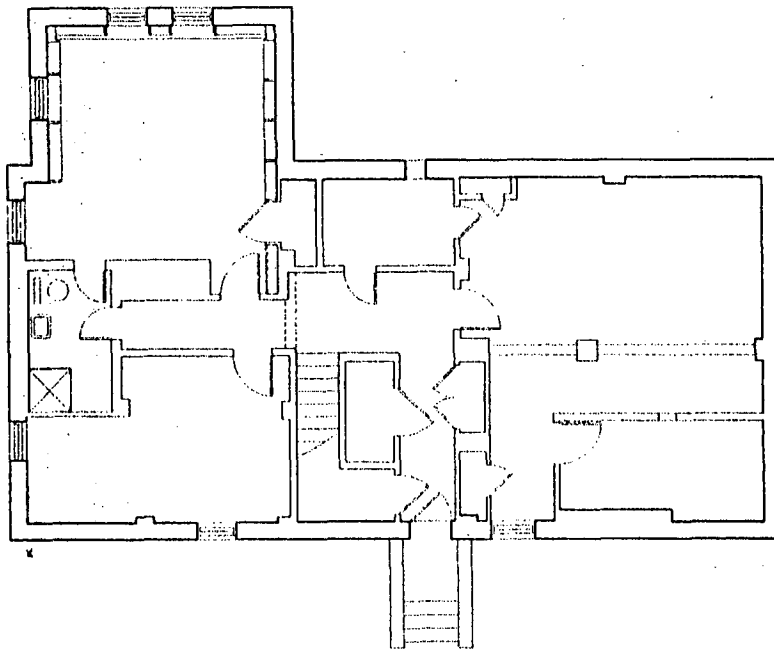
EAST ELEVATION



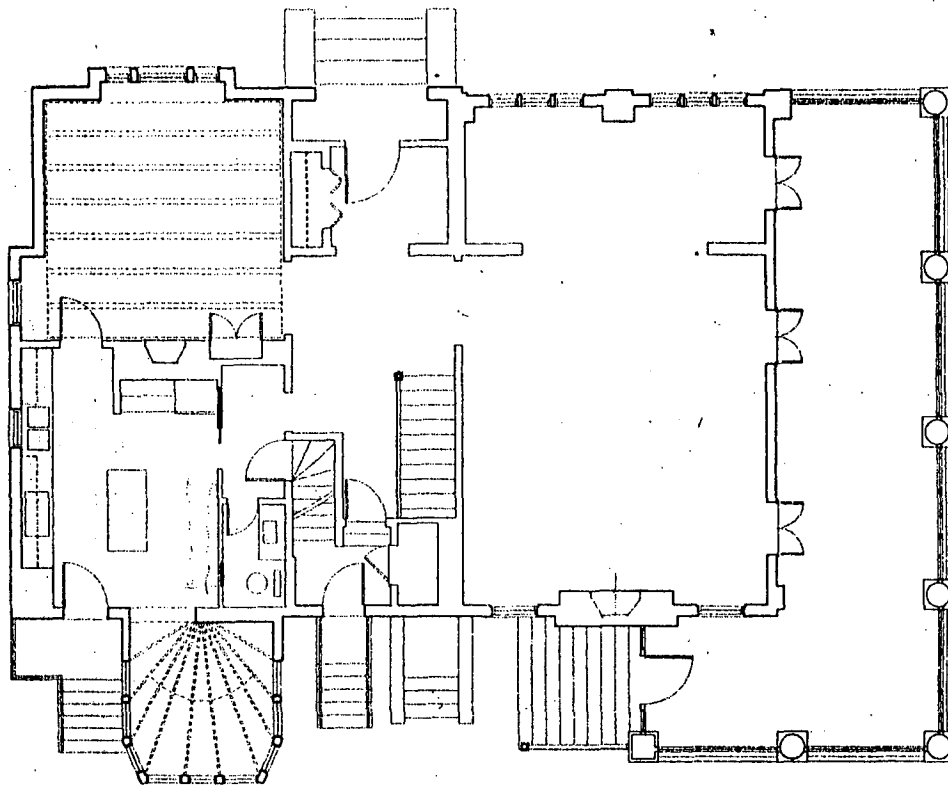
NORTH ELEVATION

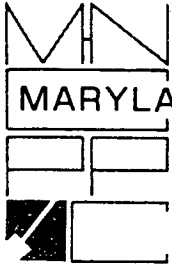


○ BASEMENT PLAN



○ FIRST FLOOR PLAN





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

Historic Preservation Office
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: Richard Smith FAX NUMBER: 202 966 96 66

FROM: Perry Kopsch

DATE: 10-17-01

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 4

NOTE:

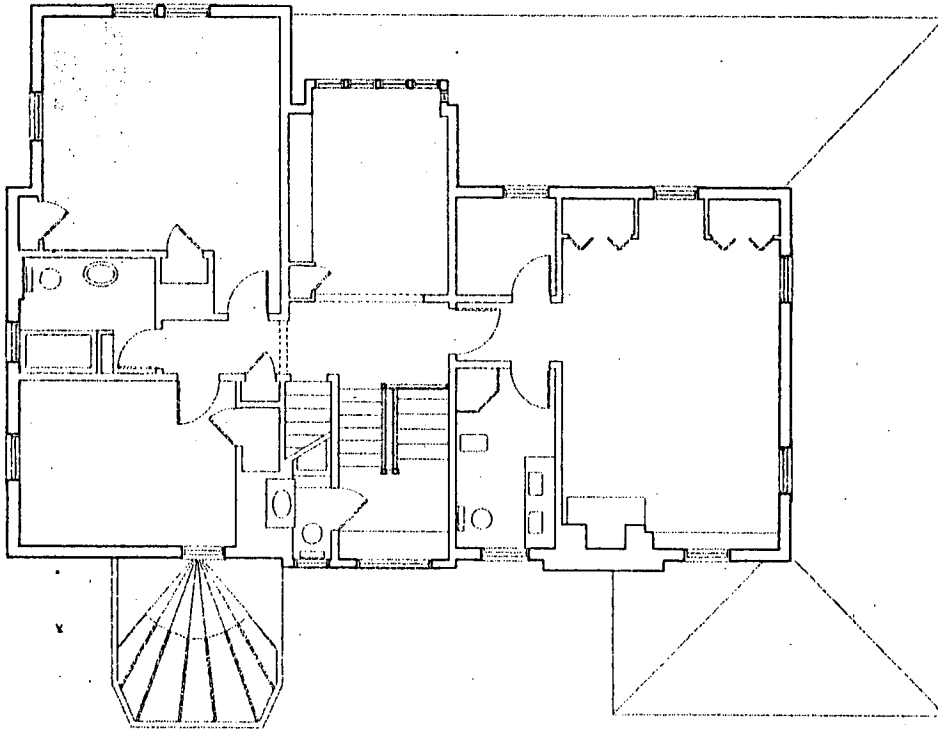
Here's the staff report Please

call w/ any questions -

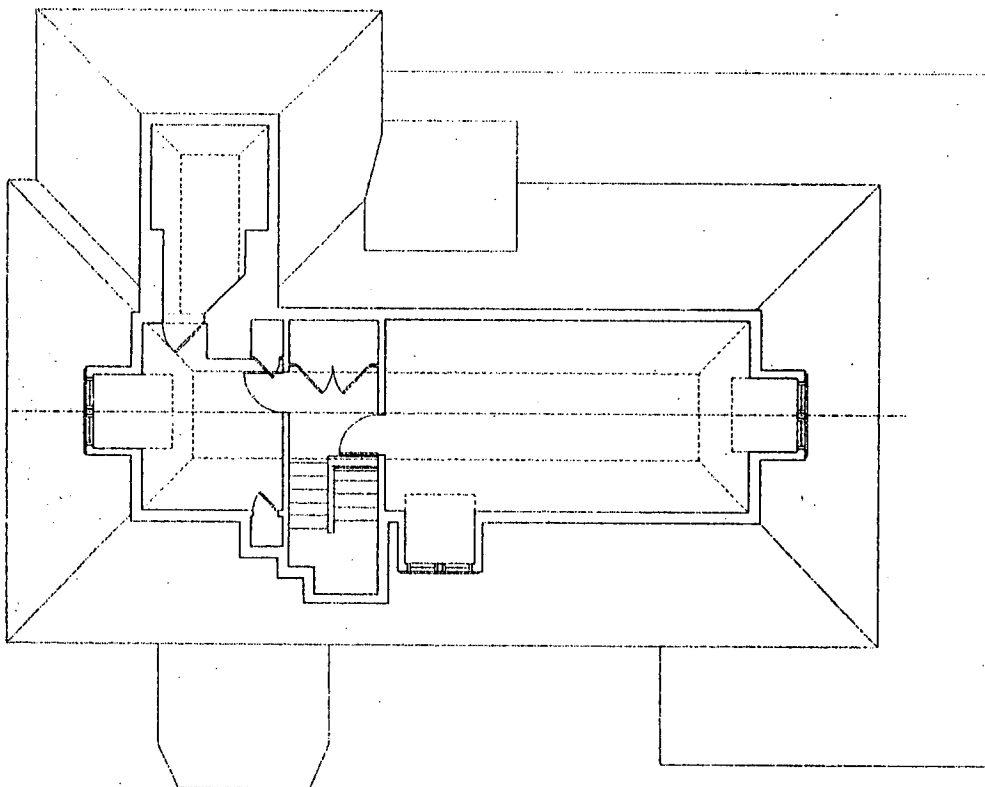
Perry

301 563 3407

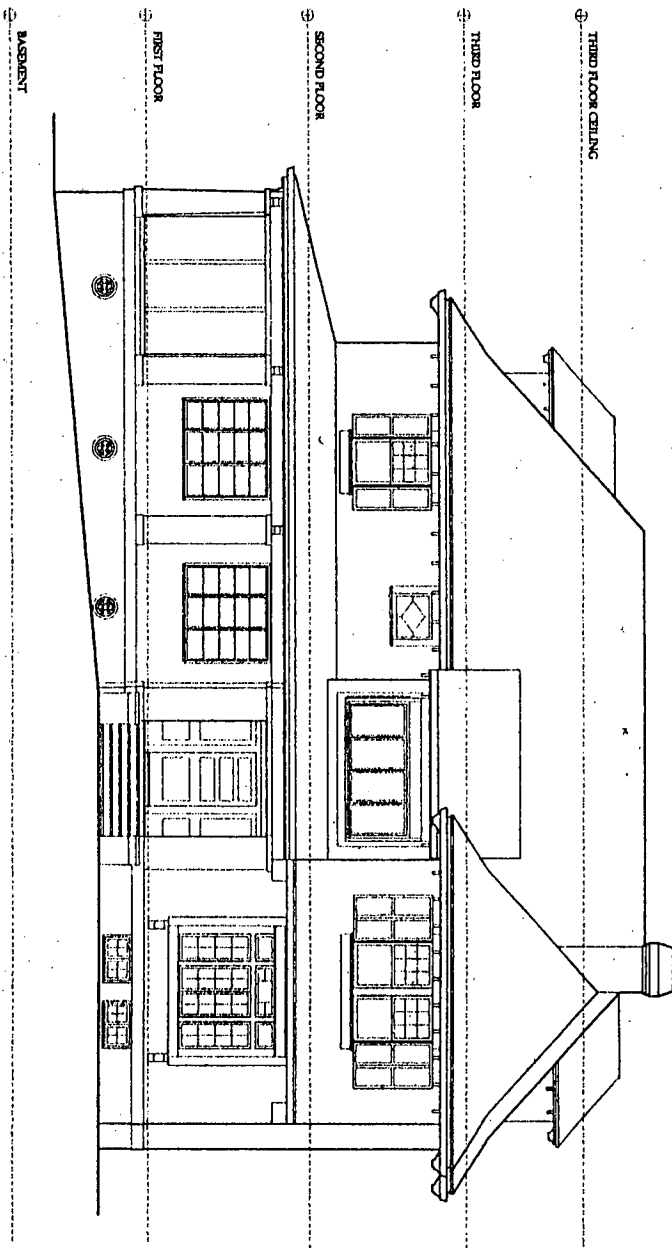
○ SECOND FLOOR PLAN



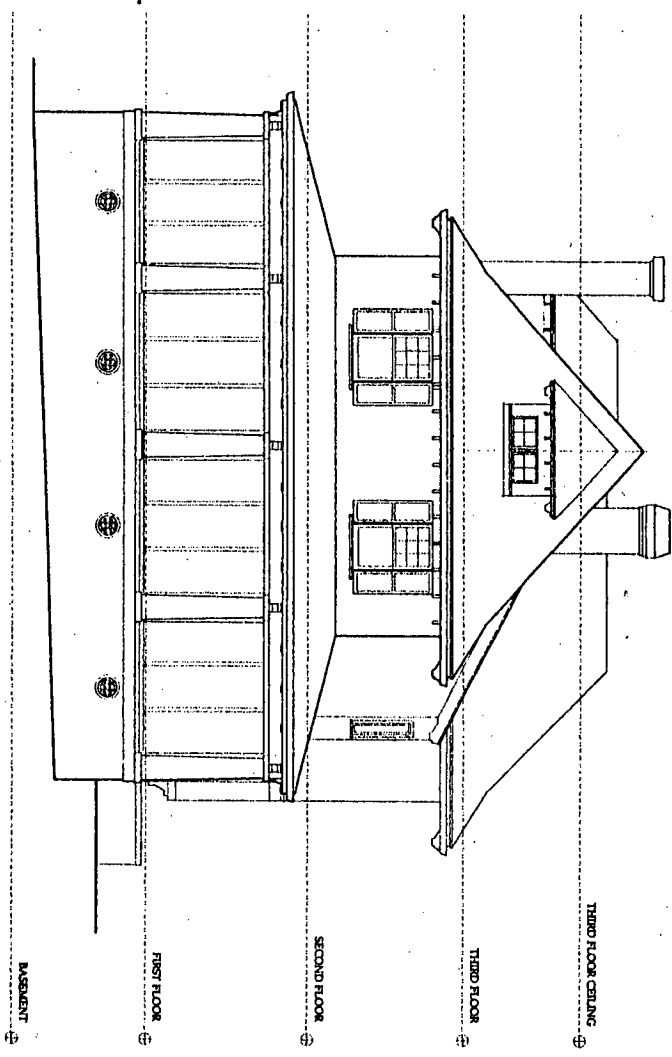
○ THIRD FLOOR PLAN



○ SOUTH ELEVATION



WEST ELEVATION



4
SHEET NO.

100% Complete
2007

EXISTING CONDITIONS

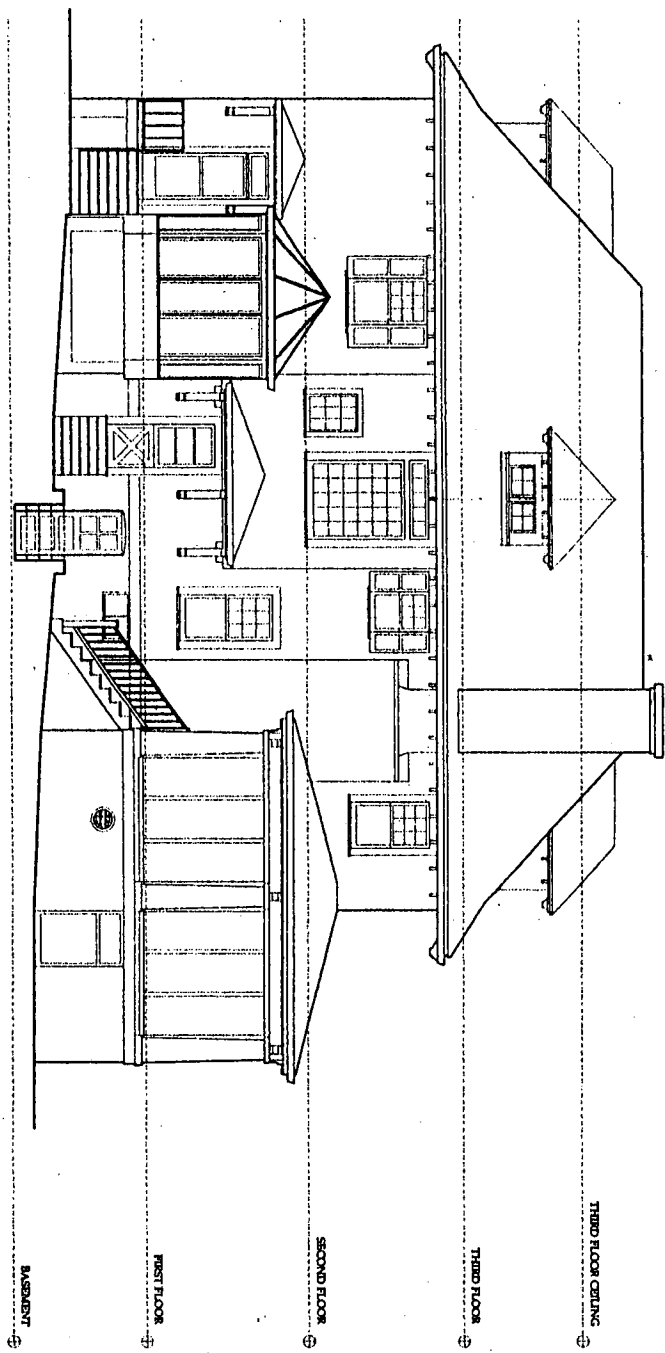
RUPP/BUTSWINKAS RESIDENCE

3 NEWLANDS STREET CHEVY CHASE, MD 20815

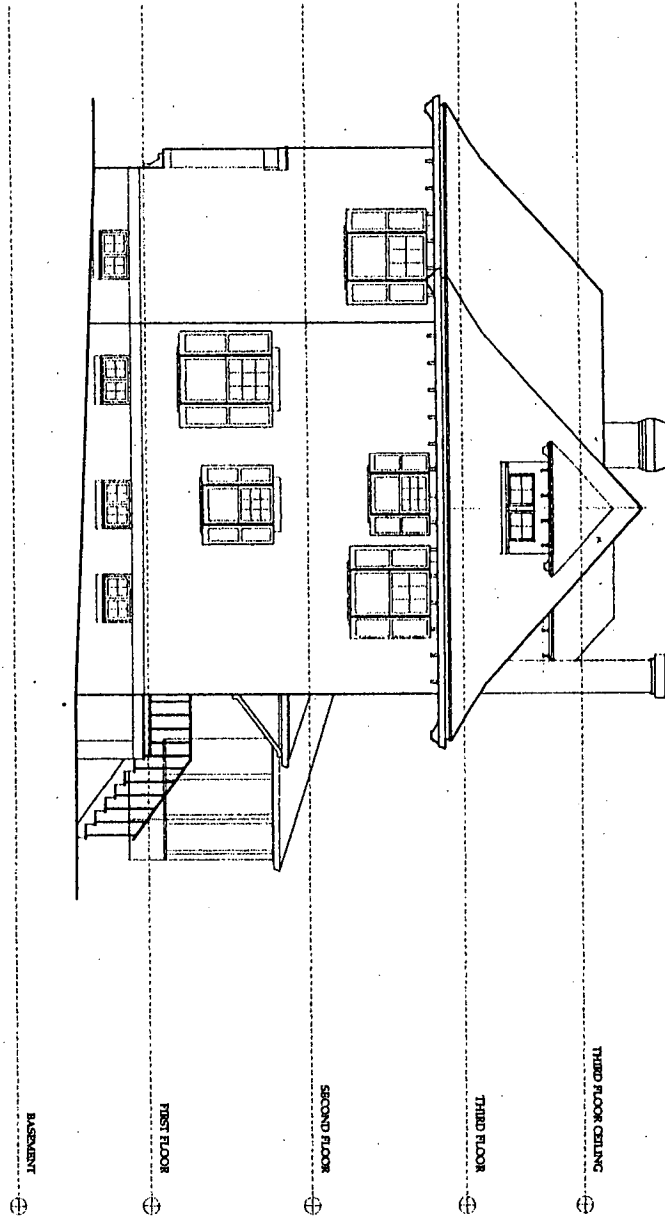
MUSE ARCHITECTS

5630 Connecticut Avenue NW Washington DC 20015
Phone: 202 664 4766 Facebook: 202 664 8644

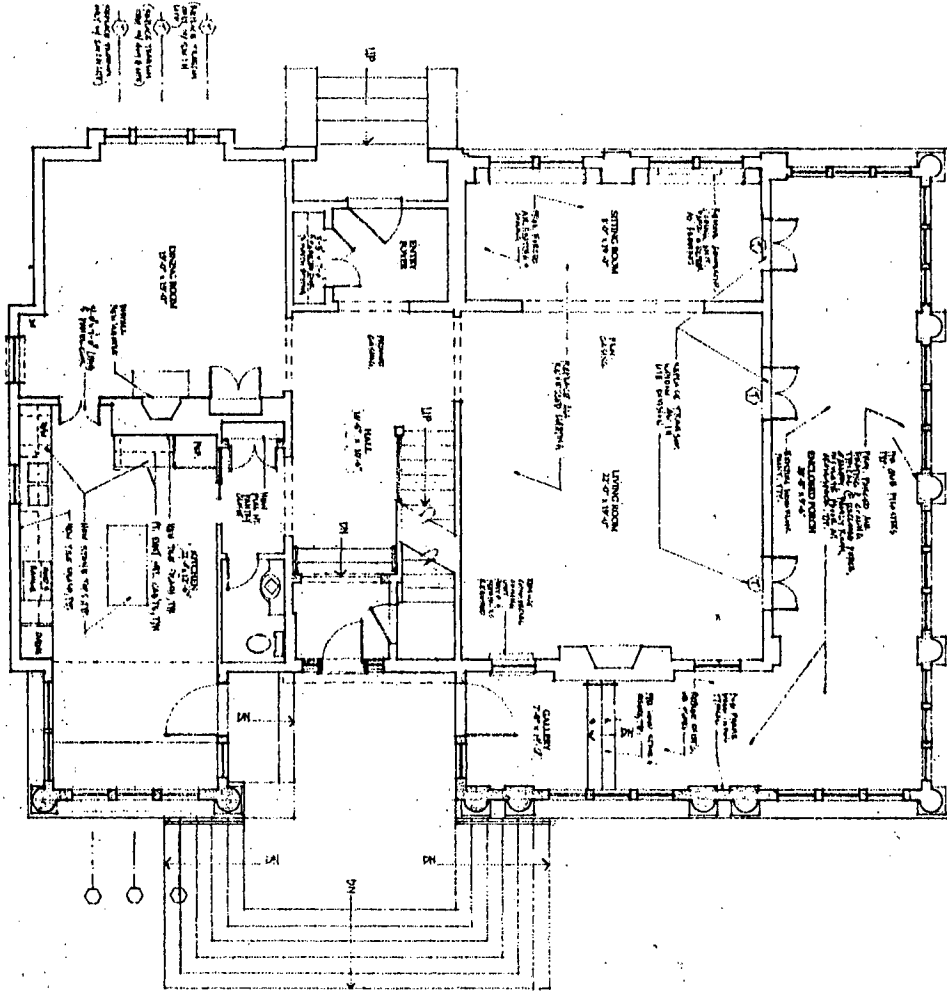
○ NORTH ELEVATION



EAST ELEVATION



FIRST FLOOR PLAN



LEGEND:
 [Symbol] EXISTING CONSTRUCTION
 [Symbol] NEW CONSTRUCTION

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PREPARED BY
 MUSE ARCHITECTS
 5630 CONNECTICUT AVENUE NW
 WASHINGTON, DC 20015
 PHONE: 202.966.6766

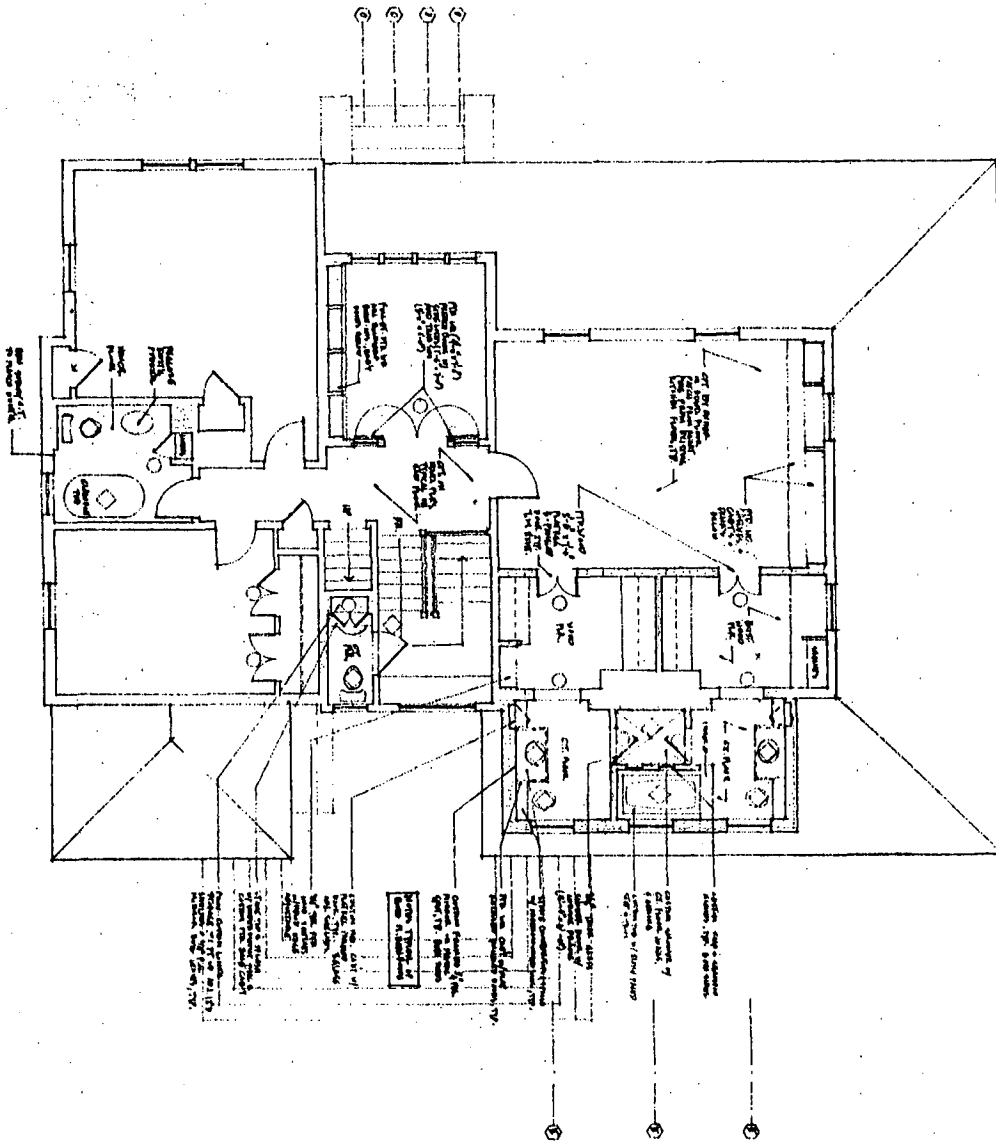
ADDITION TO AND RENOVATION OF THE
RUPP/BUTSWINKAS RESIDENCE
 3 NEWLANDS STREET CHEVY CHASE, MARYLAND

MUSE ARCHITECTS

5630 Connecticut Avenue NW
 Phone: 202.966.6766

Washington DC 20015
 Facsimile: 202.966.6666

SECOND FLOOR PLAN



LEGEND:
 EXISTING CONSTRUCTION
 PROPOSED CONSTRUCTION

SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

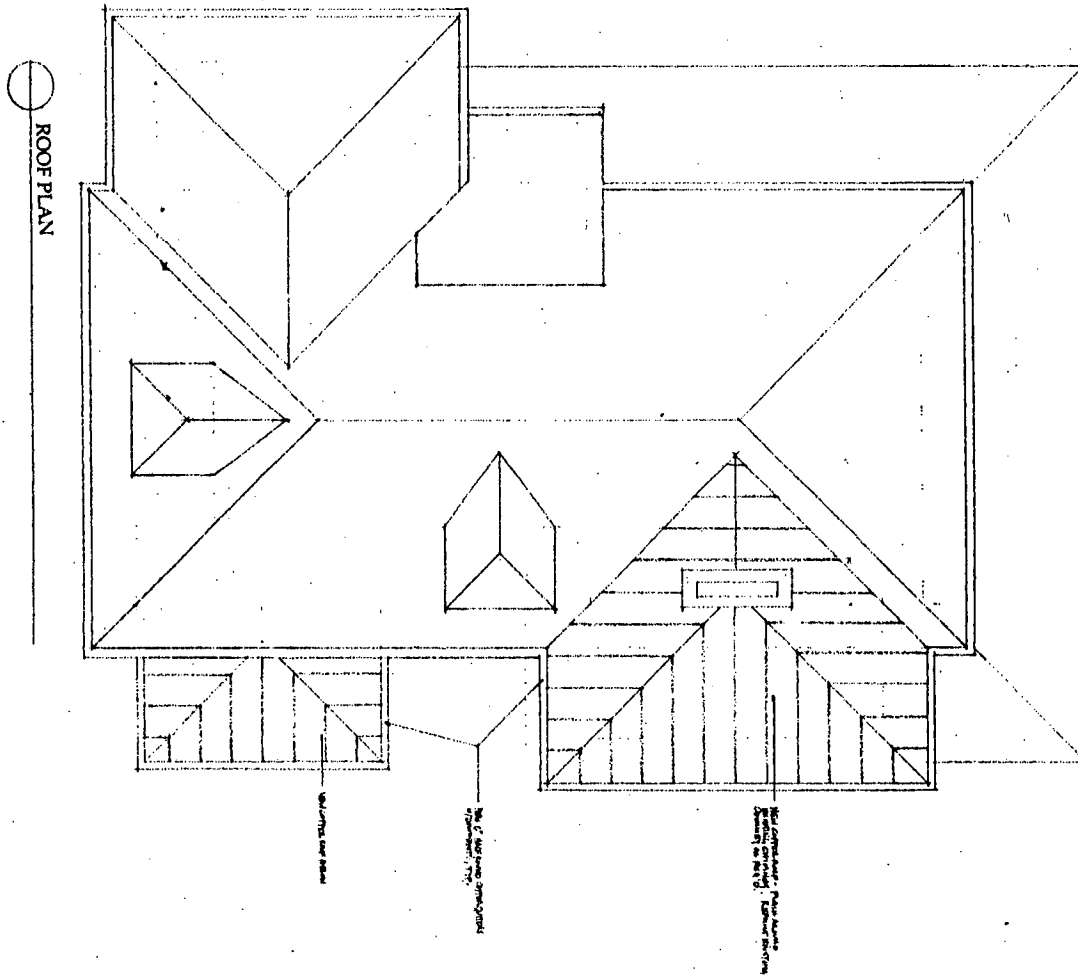
DATE: 10/1/01
 DRAWN BY: J. RUPP

ADDITION TO AND RENOVATION OF THE
RUPP/BUTSWINKAS RESIDENCE
 3 NEWLANDS STREET CHEVY CHASE, MARYLAND

MUSE ARCHITECTS

5630 Connecticut Avenue NW
 Phone 202.966.6266

Washington DC 20015
 Facsimile 202.966.9666



ROOF PLAN

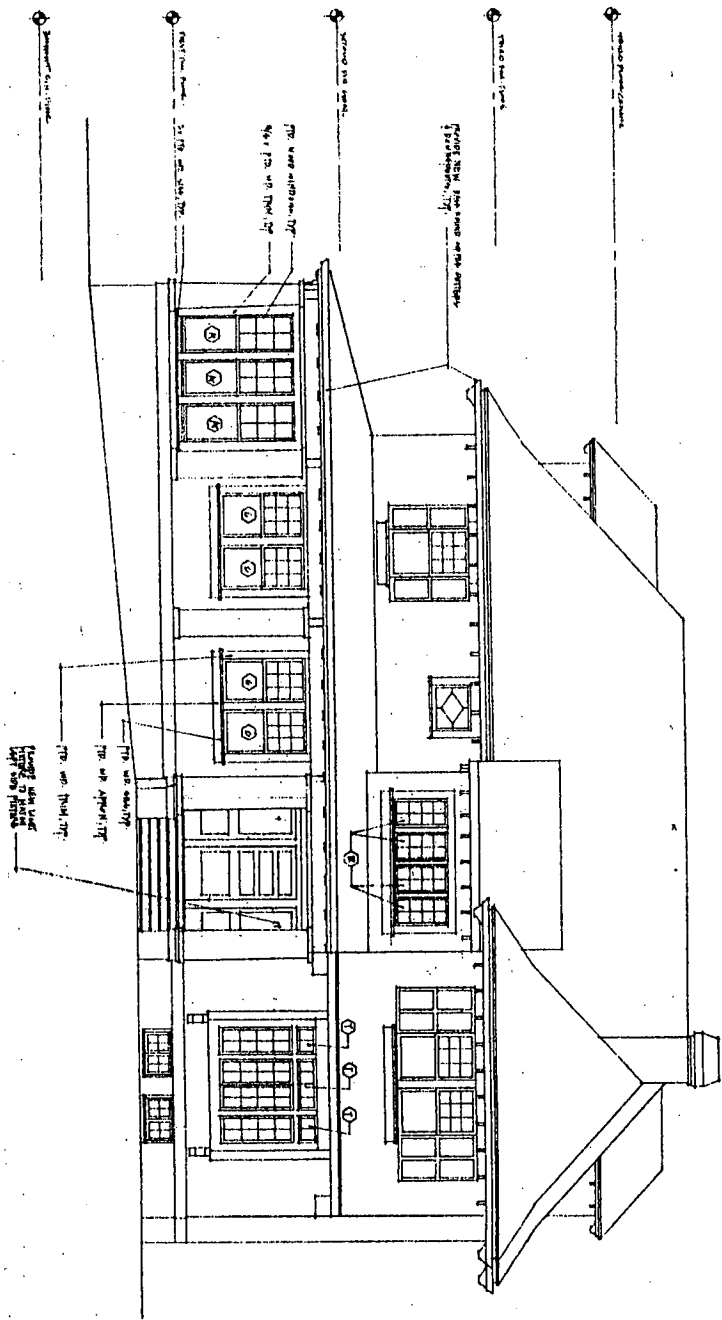
10/11/2004
 10/11/2004
 10/11/2004

ROOF PLAN
 SCALE 1/4" = 1'-0"

ADDITION TO AND RENOVATION OF THE
RUPP/BUTSWINKAS RESIDENCE
 3 NEWLANDS STREET CHEVY CHASE, MARYLAND

MUSE ARCHITECTS
 5630 Connecticut Avenue NW Washington DC 20015
 Phone 202.966.6266 Picatinus 202.966.9666

○ SOUTH ELEVATION



NO.	DESCRIPTION	QUANTITY	UNIT	PRICE	TOTAL
1	Excavation				
2	Foundation				
3	Footings				
4	Foundation Walls				
5	Foundation Slabs				
6	Foundation Details				
7	Foundation Total				
8	Foundation Allowance				
9	Foundation Contingency				
10	Foundation Subtotal				
11	Foundation Total				
12	Foundation Total				

ADDITION TO AND RENOVATION OF THE
RUPP/BUTSWINKAS RESIDENCE
 3 NEWLANDS STREET CHEVY CHASE, MARYLAND

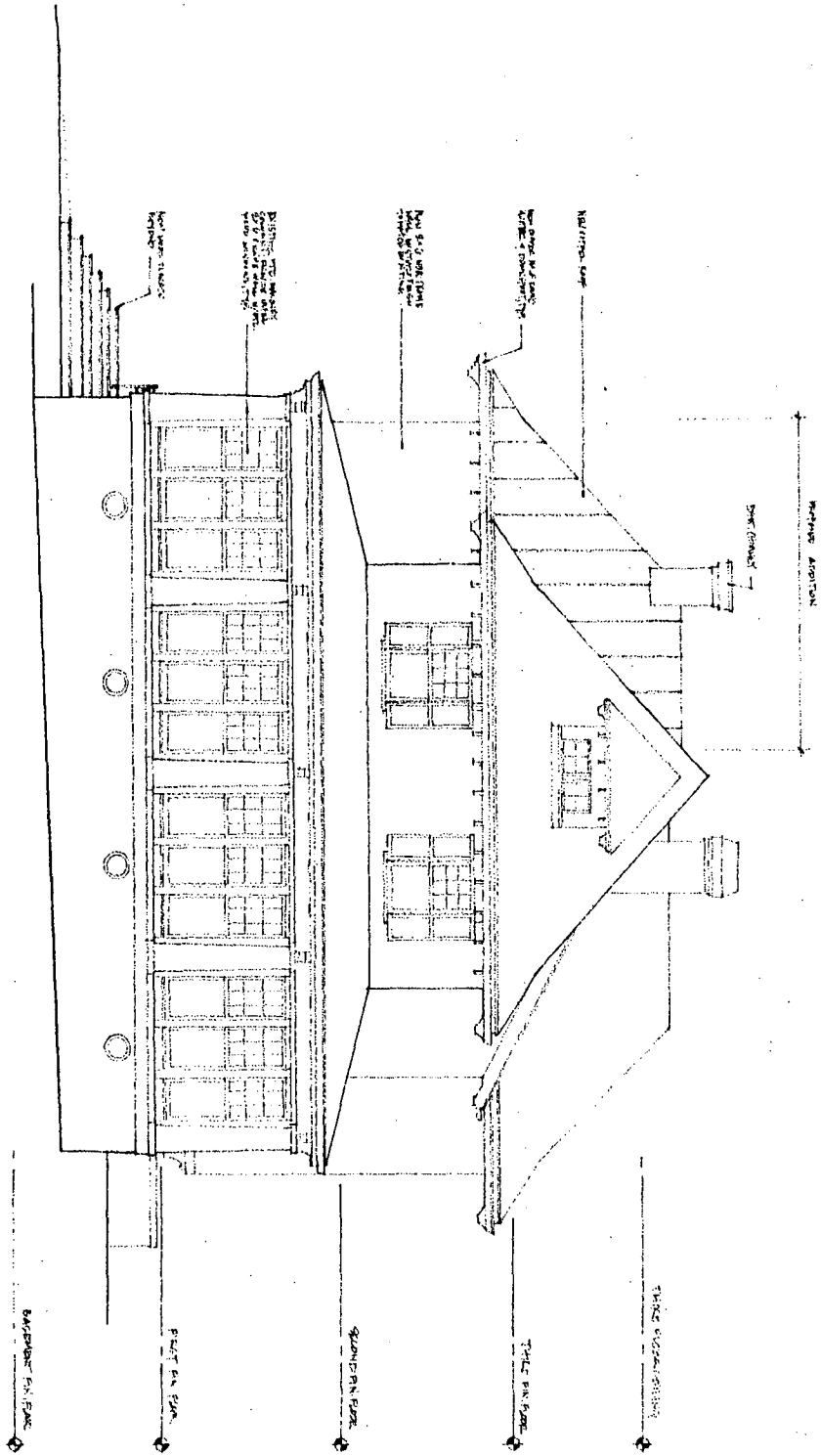
MUSE ARCHITECTS

5630 Connecticut Avenue NW Washington DC 20315
 Phone 202.966.6366 Facsimile 202.966.9666

PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

DATE: 10/15/01
 DRAWN BY: J. MUSE
 CHECKED BY: J. MUSE
 PROJECT NO.: 01-001

WEST ELEVATION



WEST ELEVATION
SCALE 1/4" = 1'-0"

1/11/00
MUSE ARCHITECTS

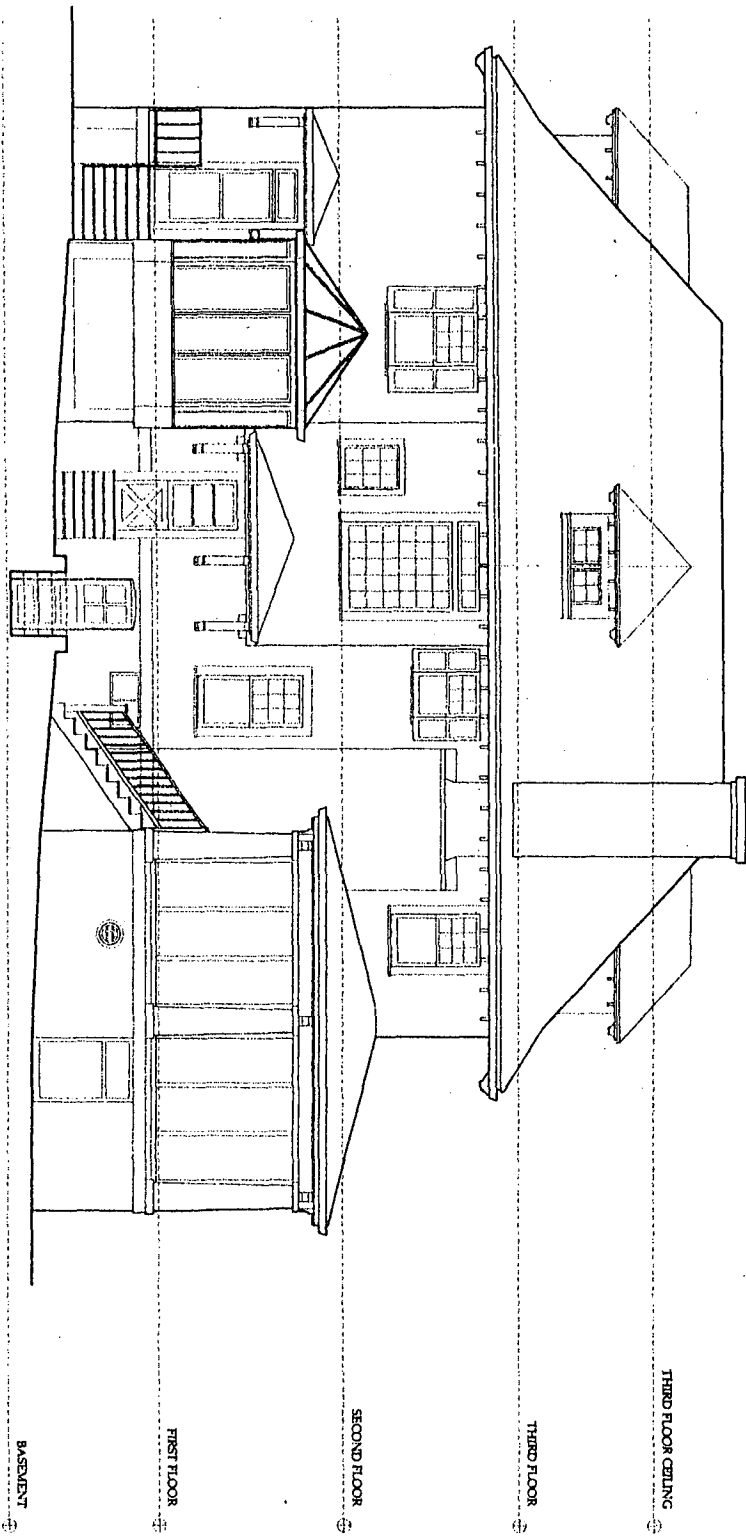
ADDITION TO AND RENOVATION OF THE
RUPP/BUTSWINKAS RESIDENCE
3 NEWLANDS STREET CHEVY CHASE, MARYLAND

MUSE ARCHITECTS

5630 Connecticut Avenue NW
Phone 202.966.6266

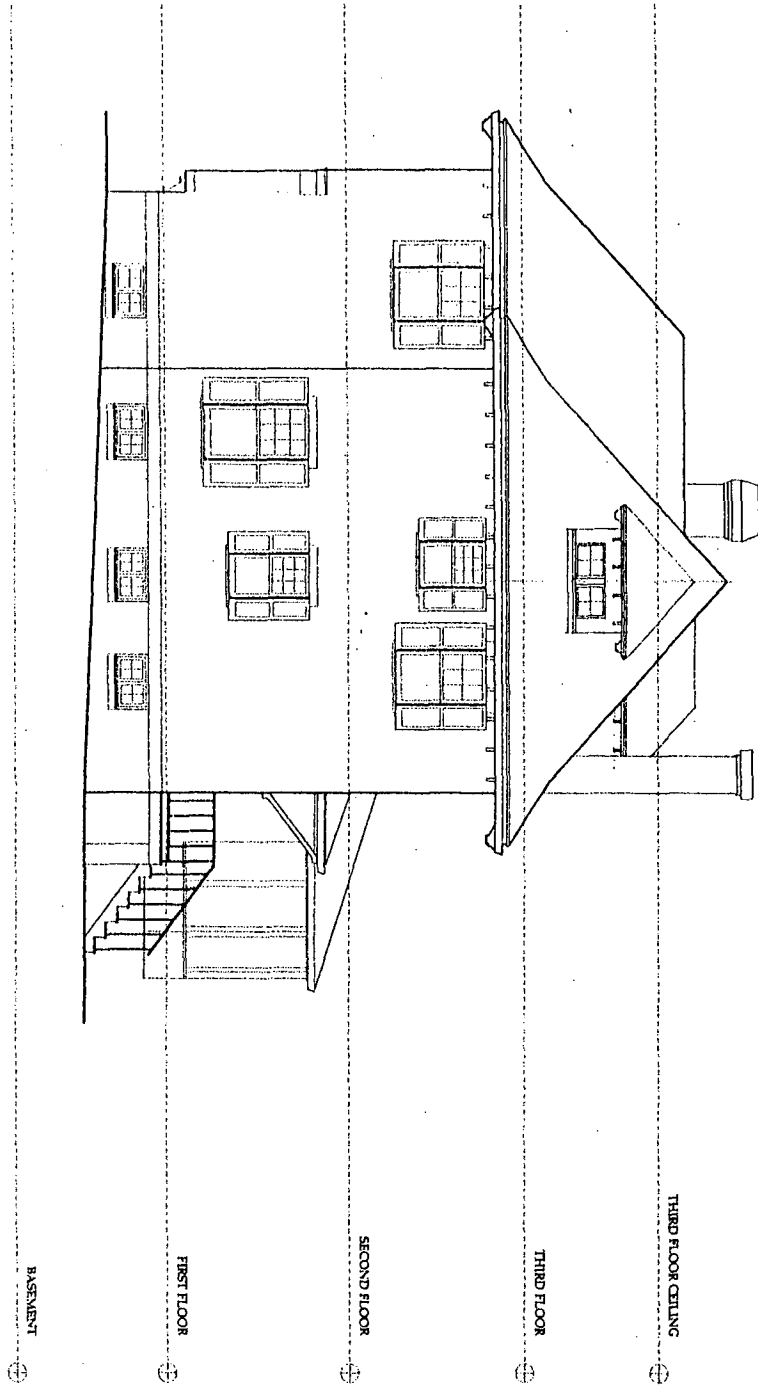
Washington DC 20015
Facsimile 202.966.9666

○ NORTH ELEVATION



SHEET NO. 5	January 2001	EXISTING CONDITIONS	RUPP/BUTSWINKAS RESIDENCE 3 NEWLANDS STREET CHEVY CHASE, MD 20815	MUSE ARCHITECTS 3630 Connecticut Avenue NW Washington DC 20015 Phone 202.966.6266 Facsimile 202.966.9666
-----------------------	--------------	---------------------	---	---

EAST ELEVATION



January 2011

EXISTING CONDITIONS

RUPP/BUTSWINKAS RESIDENCE

3 NEWLANDS STREET CHEVY CHASE, MD 20815

MUSE ARCHITECTS

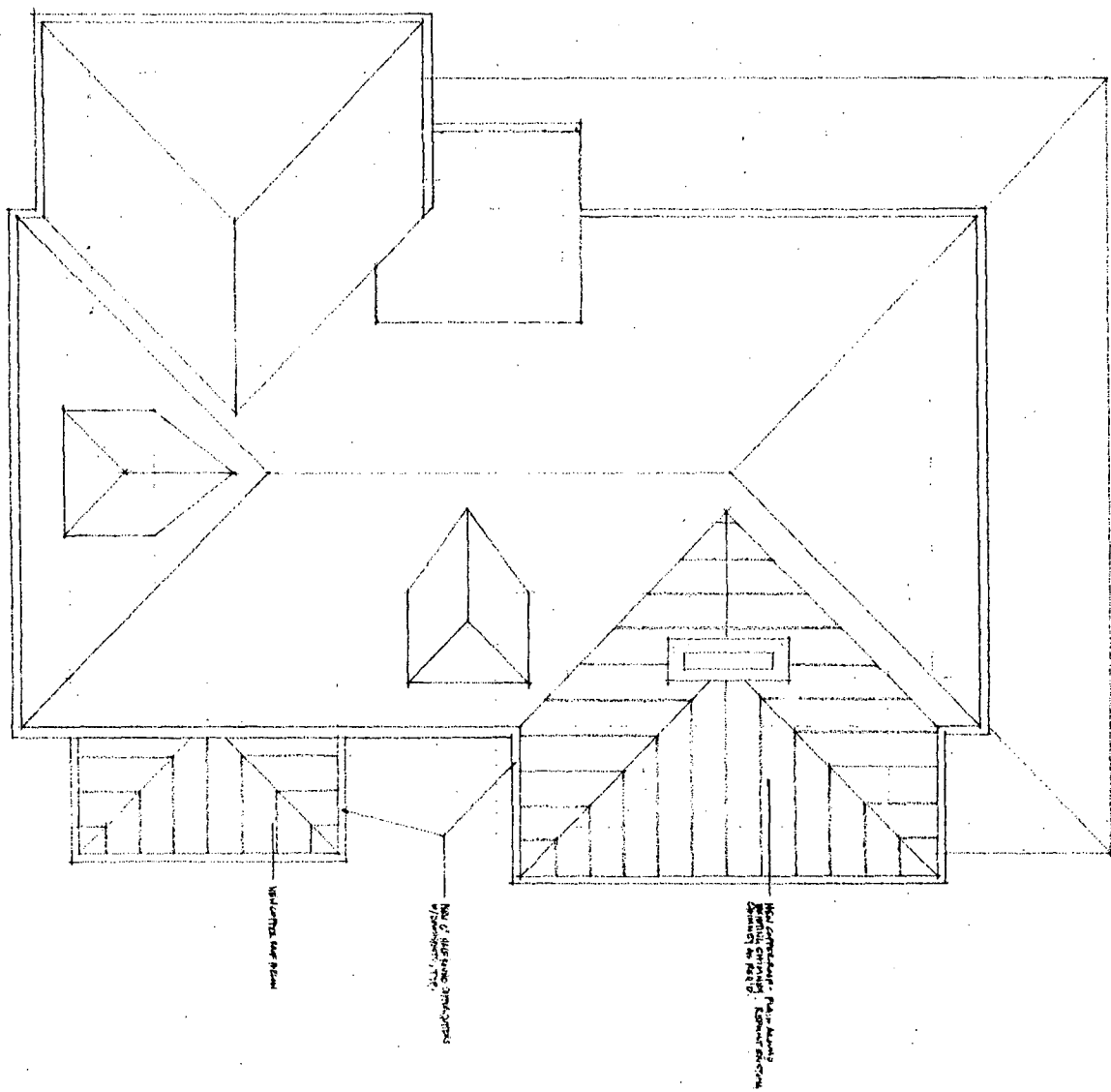
5630 Connecticut Avenue NW
Phone 202.966.6266

Washington DC 20015
Facsimile 202.966.9666

SHEET NO.

6

ROOF PLAN



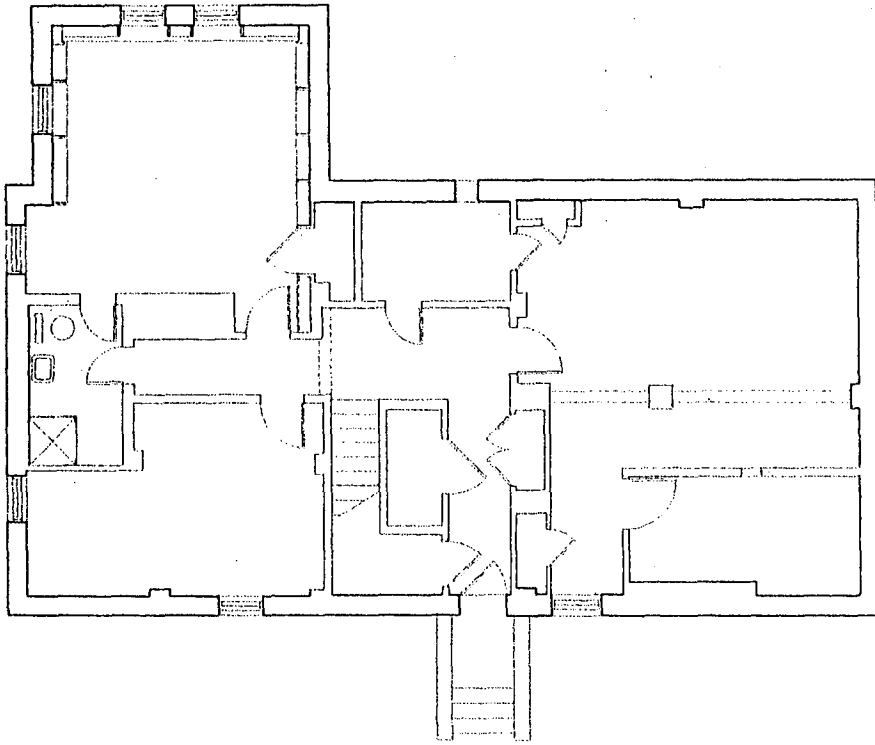
Vertical line

Roof structure

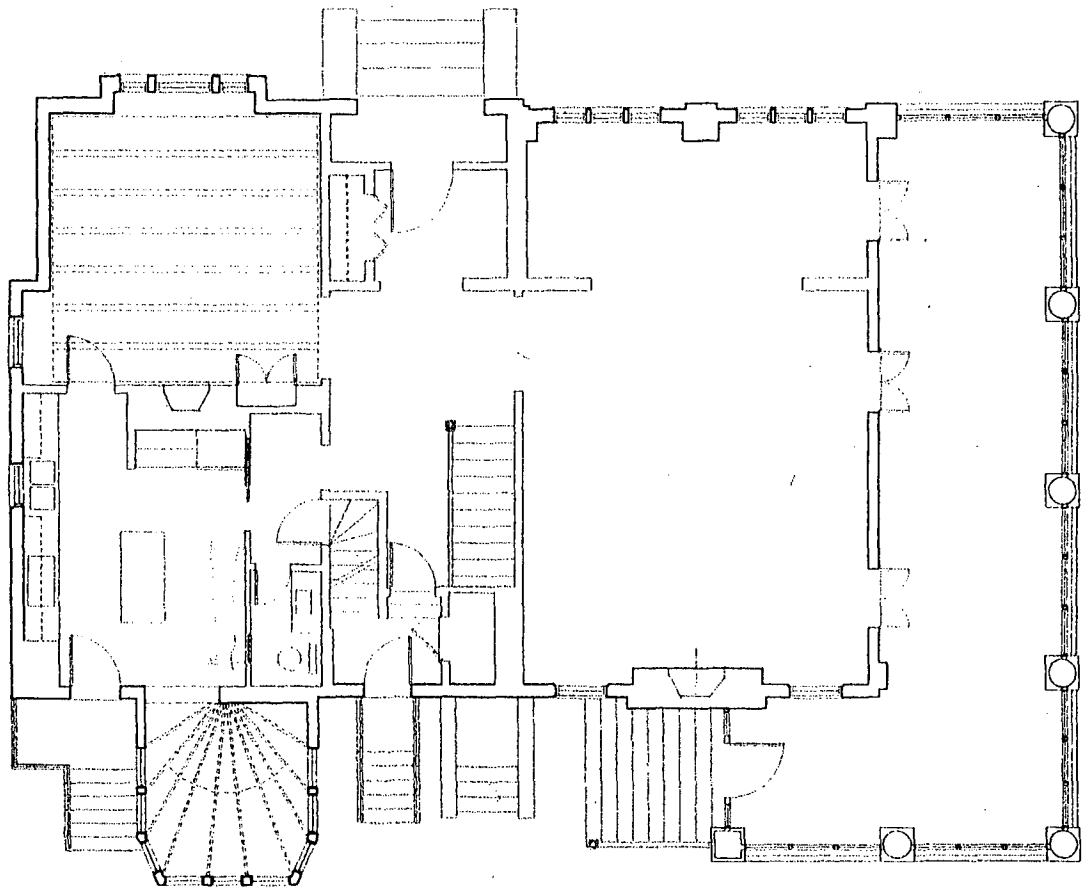
Roof structure

3	<p>ROOF PLAN SCALE: 1/4" = 1'-0"</p>	<p>MUSE ARCHITECTS 1200 K STREET, N.W. WASHINGTON, D.C. 20004</p>	<p>ADDITION TO AND RENOVATION OF THE RUPP/BUTSWINKAS RESIDENCE 3 NEWLANDS STREET CHEVY CHASE, MARYLAND</p>	<p>MUSE ARCHITECTS 5630 Connecticut Avenue NW Phone 202.966.6266 Washington DC 20015 Fax 202.966.9666</p>
---	--	---	---	--

BASEMENT PLAN



FIRST FLOOR PLAN



January 2001

EXISTING CONDITIONS

RUPP/BUTSWINKAS RESIDENCE

3 NEWLANDS STREET CHEVY CHASE, MD 20815

MUSE ARCHITECTS

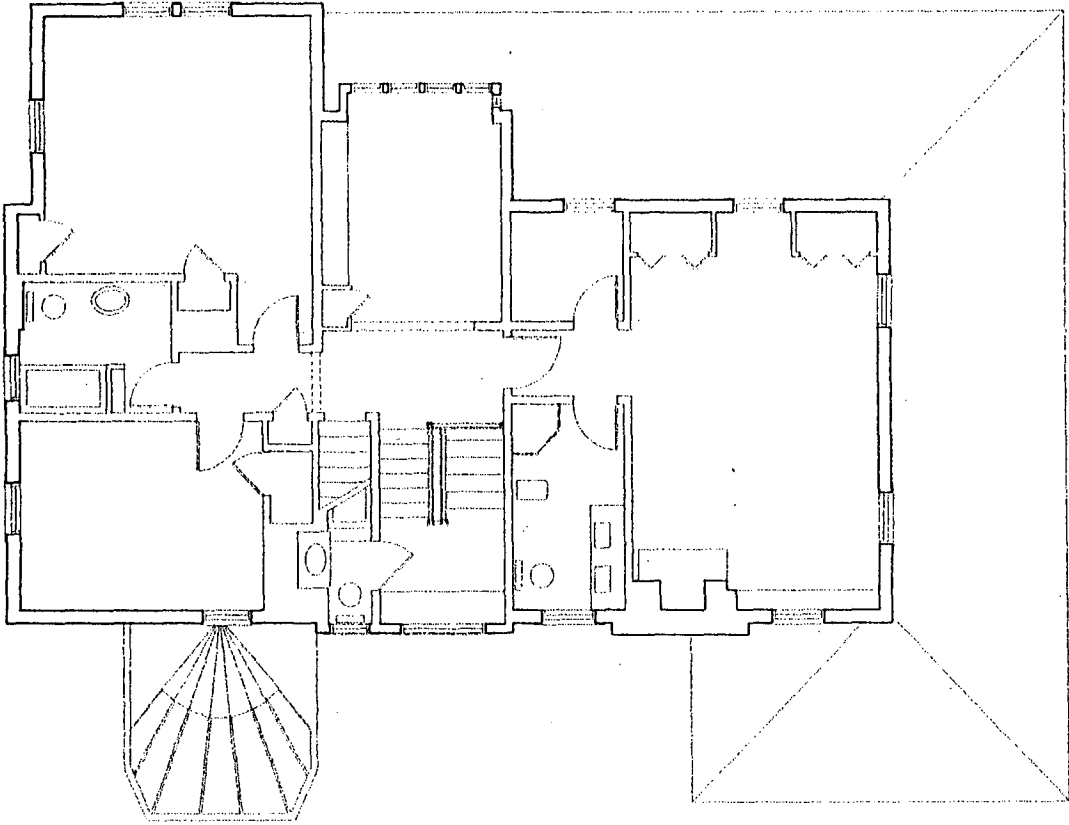
5630 Connecticut Avenue NW

Washington DC 20015

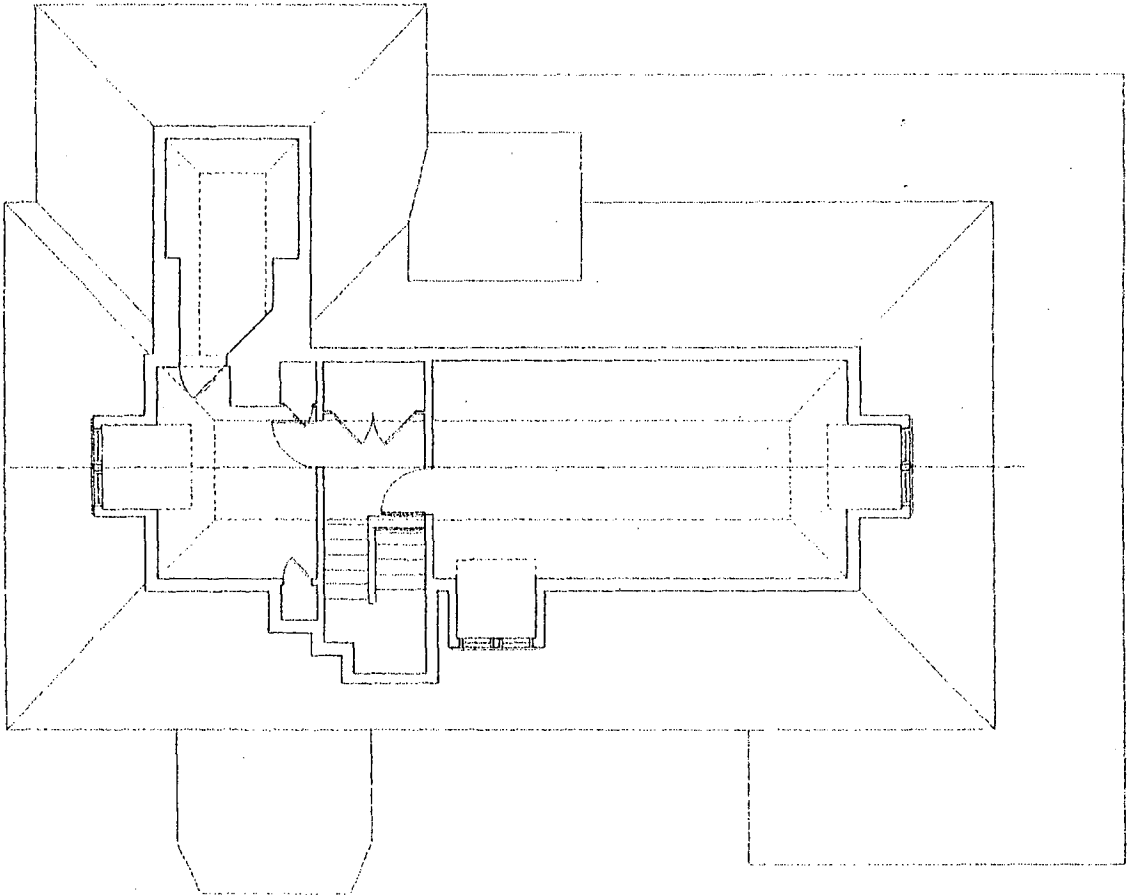
SHEET NO.

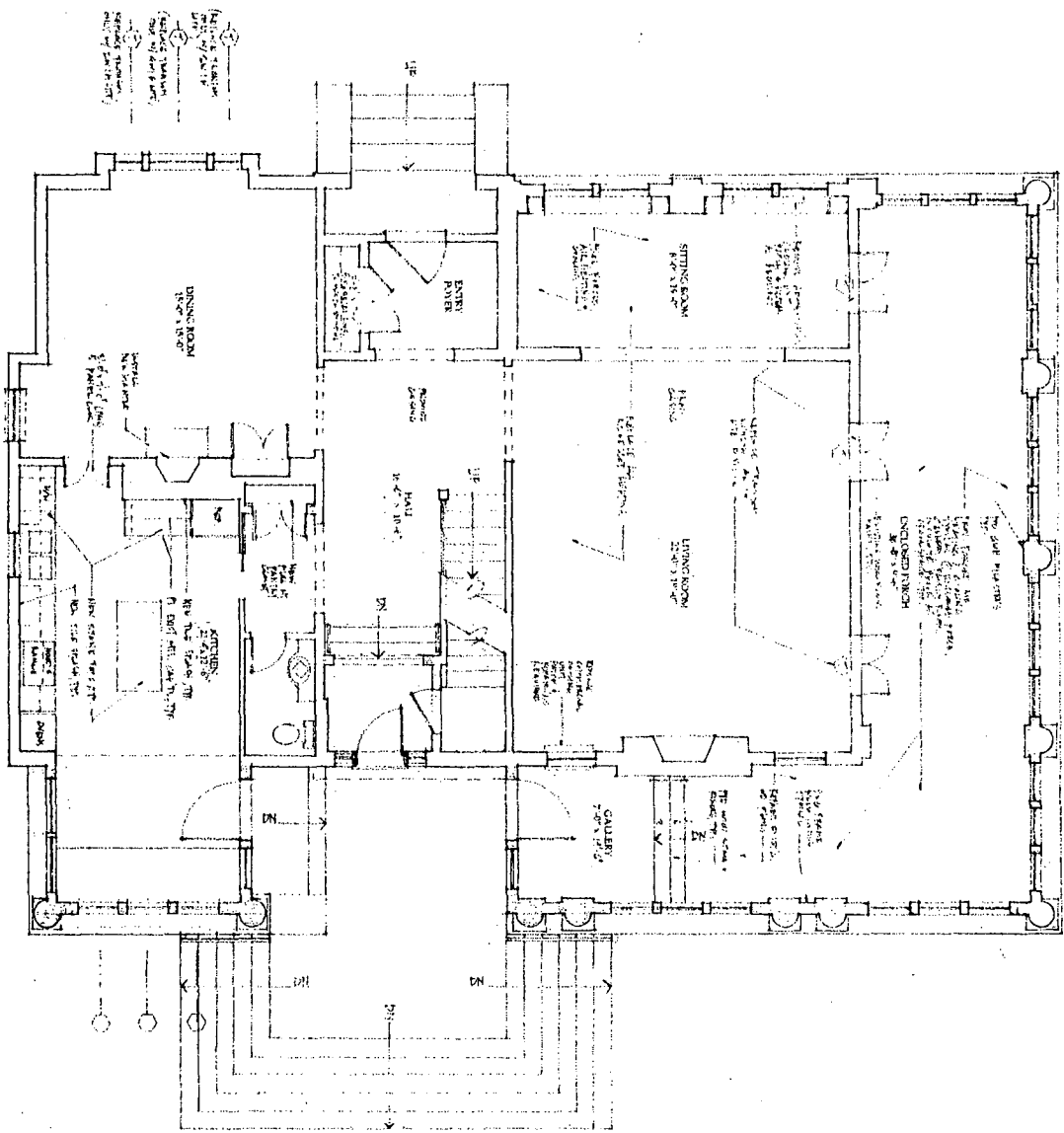
1

○ SECOND FLOOR PLAN



○ THIRD FLOOR PLAN





FIRST FLOOR PLAN

LEGEND:
 [Line style] EXISTING CONSTRUCTION
 [Line style] NEW FLOOR CONSTRUCTION

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

PRELIMINARY PLAN
 20 SEPTEMBER 2002
 9' 0" SCALE

ADDITION TO AND RENOVATION OF THE
RUPP/BUTSWINKAS RESIDENCE
 3 NEWLANDS STREET CHEVY CHASE, MARYLAND

MUSE ARCHITECTS

5630 Connecticut Avenue NW
 Phone 202.966.6266

Washington DC 20015
 Facsimile 202.966.9666

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	3 Newlands Street, Chevy Chase	Meeting Date:	10/24/01
Applicant:	Megan Rupp & Dane Butswinkas	Report Date:	10/17/01
Resource:	Chevy Chase Village Historic District	Public Notice:	10/10/01
Review:	HAWP	Tax Credit:	Partial
Case Number:	35/13-01X	Staff:	Perry Kephart Kapsch
PROPOSAL:	Replace windows, replace rear addition, rear alterations		
RECOMMEND:	Approve with conditions.		

CONDITIONS

1. The exterior transoms on the front and porch side facades are to be repaired and not replaced.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Craftsman
DATE: 1912

3 Newlands is one of three large Craftsman residences built before World War I, and set on multiple lots along the north side of the street. The subject property is a contributing resource despite the changes to the front façade due to the quality of design, and the degree of remaining integrity of the overall structure.

PROPOSAL

The applicant proposes to:

1. Replace the jalousie windows enclosing the side porch with 6/1 and 9/1 full-length, tri-partite, double-hung painted wood windows. Remove the awnings.
2. Replace the two sets of awning windows on the first level of the front façade with 9/1 double-hung windows.

3. Remove the out-of-period protrusion and windows at the center of the front shed roof bay and replace it with 6-light casement windows. Restore the rafter ends on the original bay.
4. Remove the existing multilight transom lights from the right front hipped-roof bay on the first floor and from the doors leading to the left side porch, and replace them with paired transoms.
5. Remove the existing one-story rear addition and replace it with a one-story rear box bay with standing seam copper roof, fiberglass columns, and 9/1 painted wood windows.
6. Construct a 2-story rear addition as an extension of the side porch with a hipped roof bay above. This is proposed to have a standing seam copper roof and 9/1 painted wood windows. The second story bay is to be clad in a stucco finish over frame constructions.
7. Install a central wood terrace at the rear between the two new rear additions with steps leading to grade, and with a multi-paned patio door with sidelights and transom leading into the main section of the house.

STAFF DISCUSSION

The subject property makes a conspicuous contribution to the historic district. Visible on two sides from Connecticut Avenue and from Newlands Street, it is notable for the Craftsman details despite the out-of-period windows on parts of the front façade and enclosing the porch. No historical photograph has been found that would provide a clue as to the configuration of the original windows, but staff would commend the applicant for replacing the non-confirming windows and bay with features more appropriate to the style of the house. The proposed rear addition and replacement of the out-of-period rear bay are also sympathetic with the style of the historic resource. Use of a different roof material on the rear alterations provides a clear differentiation between the old and new sections of the house.

Replacement of the existing jalousies with full-length windows on the side porch is recommended for approval as the proposed window configuration retains the columns and other architectural features of the original porch, and allows the porch's distinctive outline to clearly be discerned.

Removal of the second-story bay and replacement of the rafter ends, and the general maintenance related to this project as a whole would qualify for a tax credit.

The removal of original material – the transoms - on the front and side façades of a contributing resource erodes the historic value of the structure and is problematic. Staff appreciates the quality of stewardship of the present owners, but from a preservation point of view, it is recommended that the individualistic, but historic, design choices of the first owners

be left in place. It should be noted that the side porch was previously enclosed with jalousies, so it is debatable whether the removal of the transoms over the exterior doors leading to the side porch is subject to review by the HPC. In any case it should be discouraged. Removal of small architectural details, such as the removal of rafter tails by the previous owner, nibbles away at the overall integrity of a historic resource as destructively, if not as dramatically, as the larger alterations such as installation of out-of-period windows on the front façade - that this owner is now trying to remedy.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

With the conditions:

- 1. The exterior transoms on the front and porch side facades are to be repaired and not replaced.**

And with the general condition applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work. and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: RICHARD SMITH II
Daytime Phone No.: 202-966-6266

Tax Account No.: 03279436
Name of Property Owner: DANE BUTSWINKAS/MICHAEL RUPP
Address: 3 NEWLANDS STREET CHEVY CHASE MARYLAND 20815
Contractor:
Contractor Registration No.:
Agent for Owner: MUSE ARCHITECTS 5650 CONNECTICUT AVE. N.W. WASHINGTON DC 20024

LOCATION OF BUILDING/PREMISE

House Number: 3 Street: NEWLANDS STREET
Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT
Lot: 4 Block: 54 Subdivision: CHEVY CHASE
Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
[] Construct [] Extend [] Alter/Renovate [] A/C [] Slab [] Room Addition [] Porch [] Deck [] Shed
[] Move [] Install [] Wreck/Raze [] Solar [] Fireplace [] Woodburning Stove [] Single Family
[] Revision [] Repair [] Revocable [] Fence/Wall (complete Section 4) [] Other: TERRACE
1B. Construction cost estimate: \$ 400,000
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [x] WSSC 02 [] Septic 03 [] Other:
2B. Type of water supply: 01 [x] WSSC 02 [] Well 03 [] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[] On party line/property line [] Entirely on land of owner [] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: October 9, 2001

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 260429 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE CURRENT RUPP/BUTSWINKAS RESIDENCE IS A 2-STORY BRICK FRAME, CRAFTSMAN
STYLE HOME, BUILT CIRCA 1920. IT ALSO HAS A FULL BASEMENT AND LIVABLE ATTIC SPACE.
THE HOME SITS ON A 21500 S.F. LOT WITH DECIDUOUS AND EVERGREEN VEGETATION.
THE FRONT PROPERTY LINE IS FENCED BY 600 HUGHES WHILE THE ROAD PRIORITY LINE IS
BORDERED BY A BRICK WALL.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project seeks to enhance the character of the existing home by ~~adding a porch~~ ^{adding and enclosing the existing porch} making it useful year-round, by creating a more
APPROPRIATE BREAKFAST AREA AND BY PROVIDING A MORE SUITABLE MUSTINE BEDROOM AREA.
* THE PORCH ADDITION WILL USE THE SAME ARCH. ELEMENTS FOUND IN THE HOUSE: COLUMNS, WINDOWS, ~~BRICK~~
CLAY TILE ROOF, IN AN EFFORT TO REPEAT AND BLENDE IN WITH WHAT EXISTS. THE BREAKFAST ROOM ADDITION
SEEMS TO KEEP THE SAME CHARACTER AS THE PORCH FOR BALANCE ON THE BLUE FACADE. THE M. BATH
ADDITION WILL ACT AS AN UPDATED, HISTORIC-INSPIRED CAP TO THE BLUE FACADE. THOUGH IT WILL USE THE SAME
HISTORICAL ELEMENTS AS THE REST OF THE HOME, THE ROOF WILL HELP GIVE ARCHITECTURAL DIVERSITY TO THE EXTERIOR.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

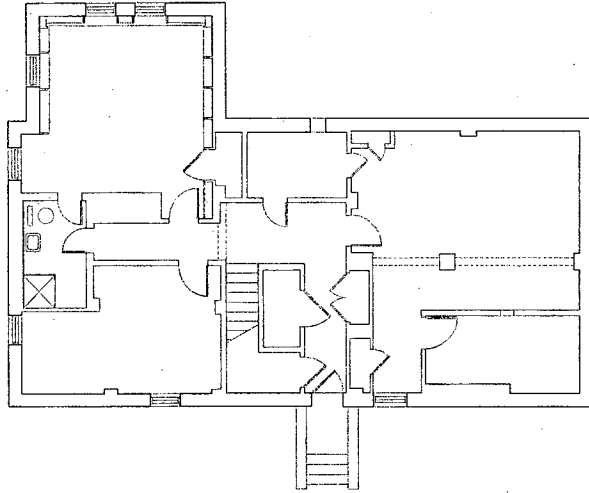
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

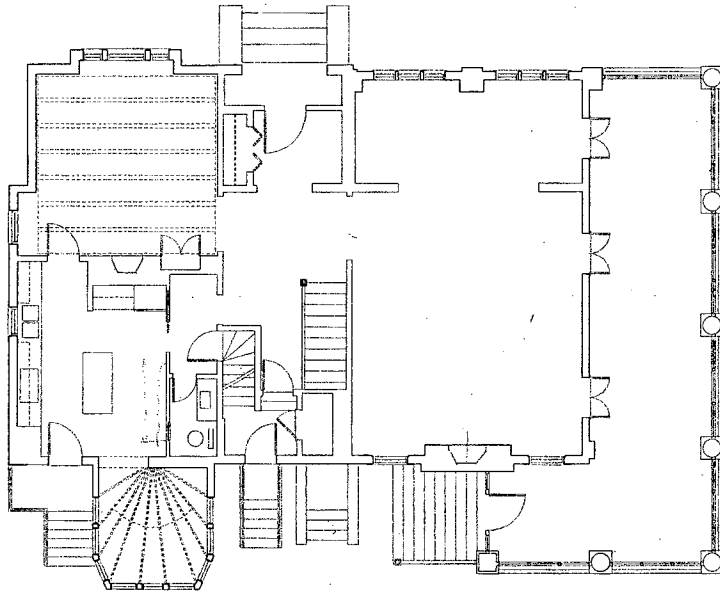
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

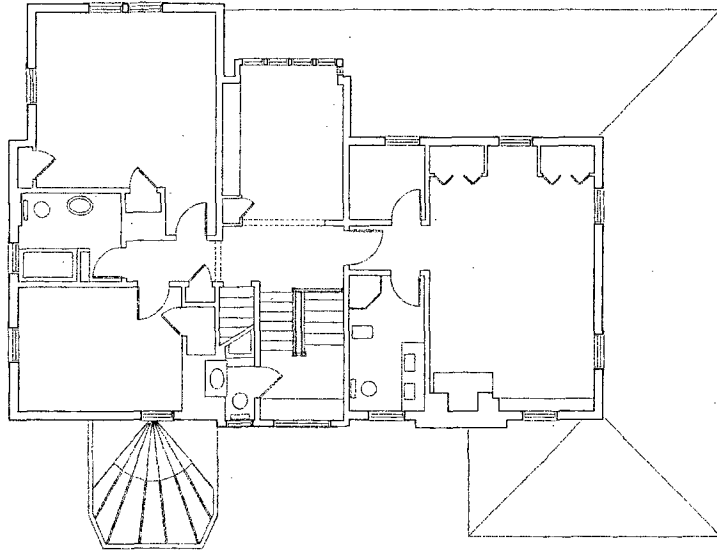
○ BASEMENT PLAN



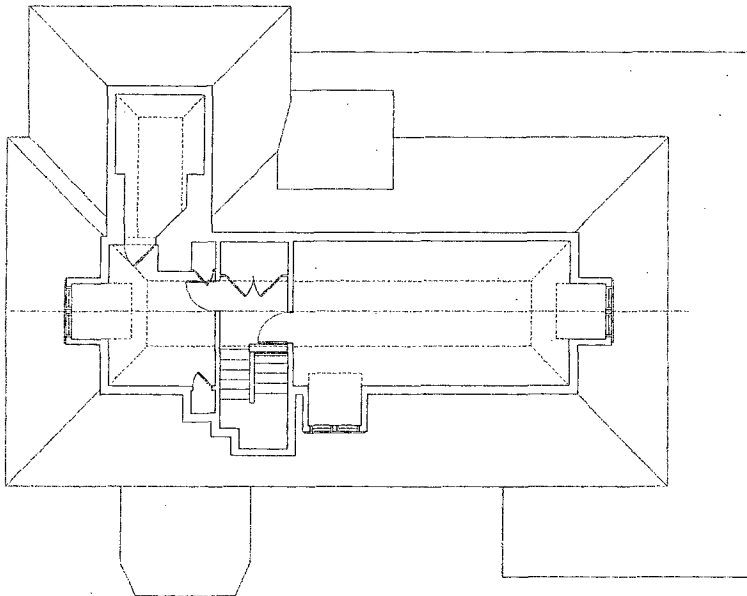
○ FIRST FLOOR PLAN



SECOND FLOOR PLAN



THIRD FLOOR PLAN



2

January 2011

EXISTING CONDITIONS

RUPP/BUTSWINKAS RESIDENCE

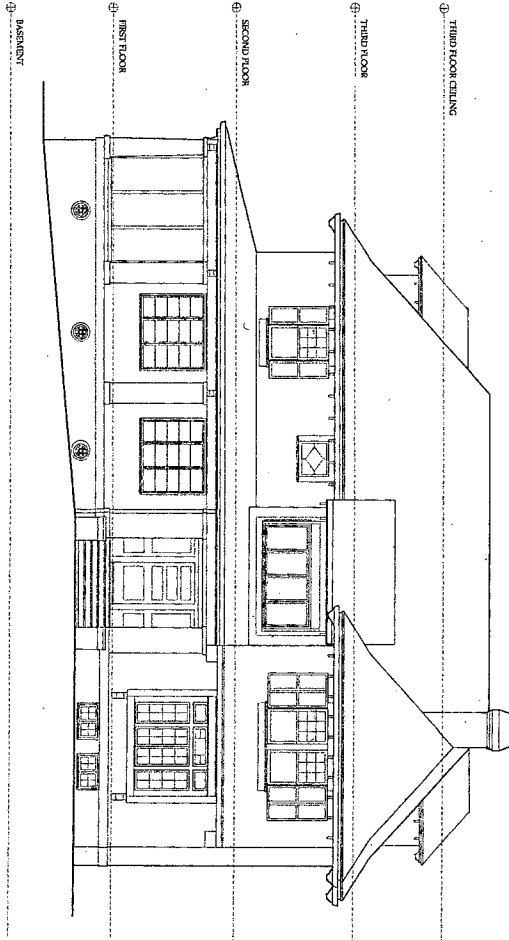
3 NEWLANDS STREET CHEVY CHASE, MD 20815

MUSE ARCHITECTS

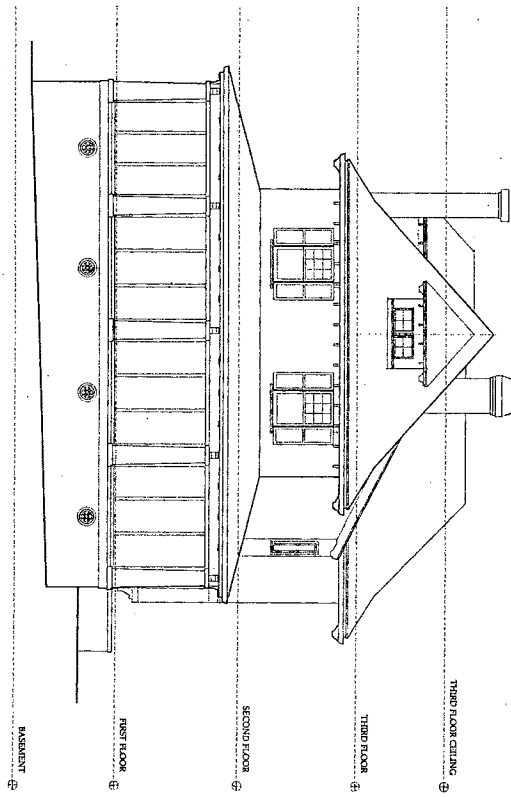
5600 Connecticut Avenue NW
Phone: 202.966.6266

Washington DC 20015
Facsimile: 202.966.9666

○ SOUTH ELEVATION



WEST ELEVATION



4

100% Complete

EXISTING CONDITIONS

RUPP/BUTSWINKAS RESIDENCE

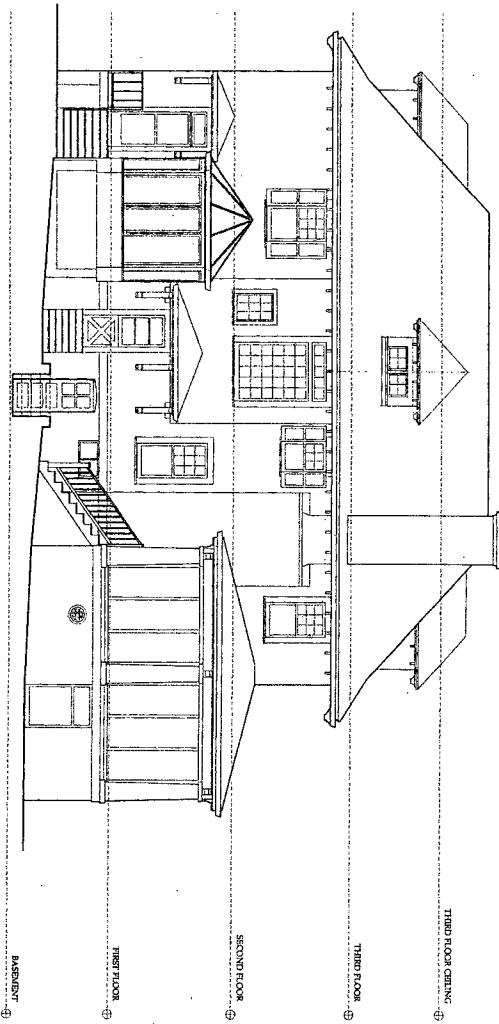
3 NEWLANDS STREET CHEVY CHASE, MD 20815

MUSE ARCHITECTS

5600 Connecticut Avenue, NW
Phone: 202.966.6266

Washington, DC 20015
Facsimile: 202.966.9666

NORTH ELEVATION



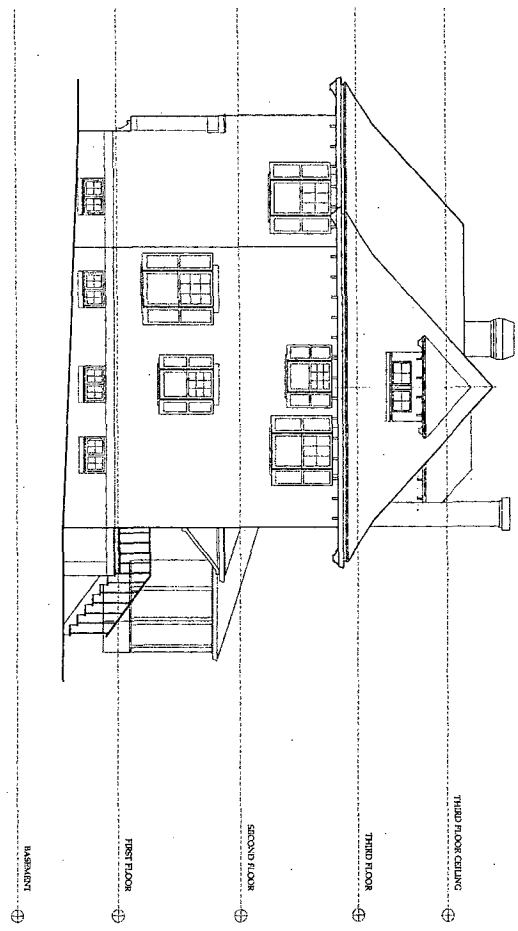
5
DATE: 1/20/01

EXISTING CONDITIONS

RUPP/BUTSWINKAS RESIDENCE
3 NEWLANDS STREET CHRY CHASE, MD 20015

MUSE ARCHITECTS
5600 Connecticut Avenue NW Washington DC 20015
Phone 202.966.6266 Facsimile 202.966.9666

EAST ELEVATION



9

100% Complete

EXISTING CONDITIONS

RUPP/BUTSWINKAS RESIDENCE

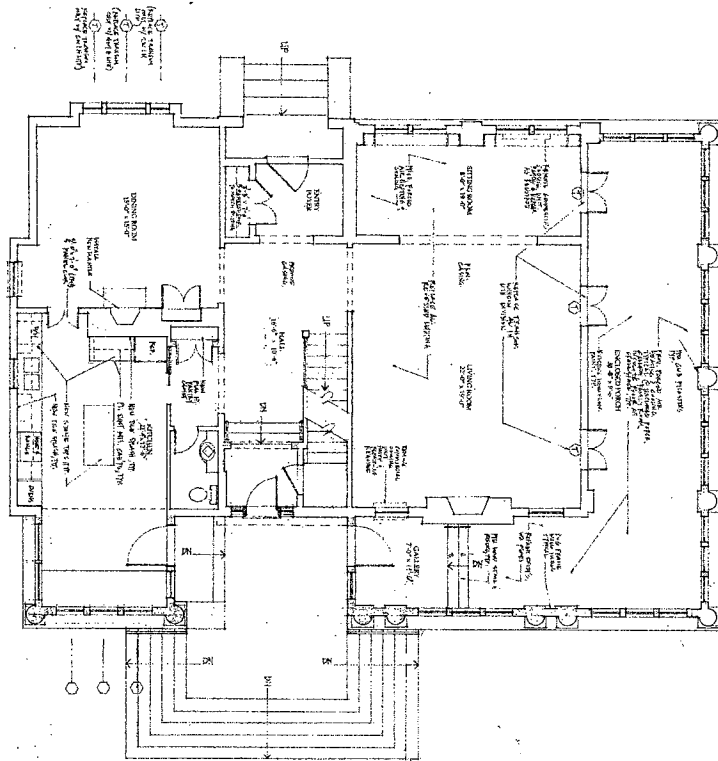
3 NEWLANDS STREET CHEVY CHASE, MD 20815

MUSE ARCHITECTS

3430 Connecticut Avenue, NW
Phone: 202.966.6266

Washington, DC 20015
Facsimile: 202.966.9666

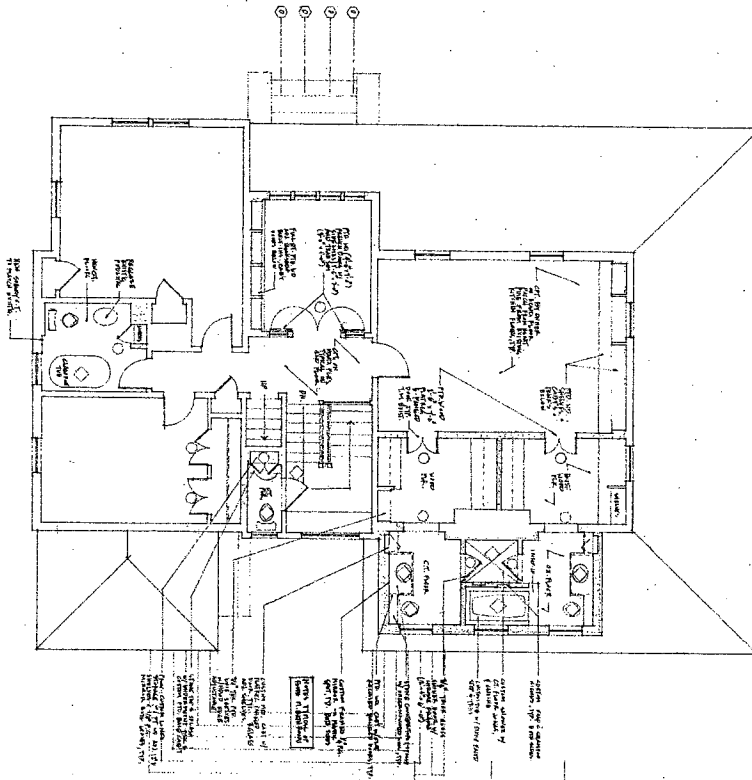
FIRST FLOOR PLAN



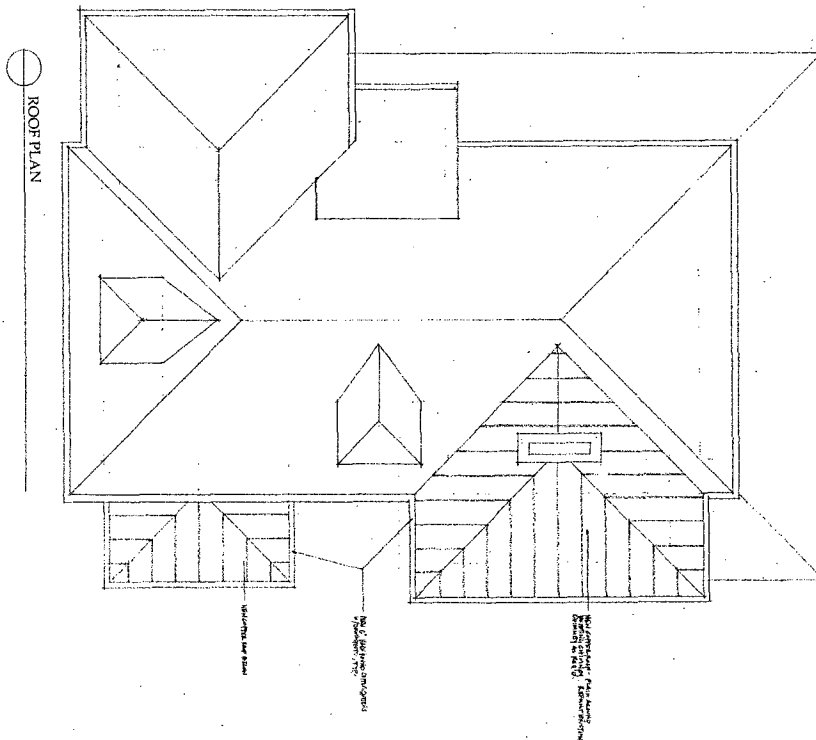
LEGEND:
 --- EXISTING DIMENSIONS
 --- NEW DIMENSIONS

1	FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"	ADDITION TO AND RENOVATION OF THE RUPP/BUTSWINKAS RESIDENCE 3 NEWLANDS STREET CHEVY CHASE, MARYLAND	MUSE ARCHITECTS 500 Connecticut Avenue NW Phone: 202.566.6266 Washington DC 20015 Telexline: 202.566.9666
---	---	--	--

SECOND FLOOR PLAN



LEGEND:
 --- EXISTING/REPAIR
 --- NEW/CONSTRUCTION



3

ROOF PLAN
SCALE: 1/4" = 1'-0"

100% Final Drawing
4/27/2016 (DWG)

ADDITION TO AND RENOVATION OF THE
RUPP/BUTSWINKAS RESIDENCE
3 NEWLANDS STREET CHEVY CHASE, MARYLAND

MUSE ARCHITECTS
500 Connecticut Avenue NW Washington DC 20012
Phone: 202.763.5261 Fax: 202.763.5666

