

35/13-020 - 35 Quincy Street  
(Chevy Chase Village Historic Dist.)

II H. CoMi



HPC

DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

**HISTORIC AREA WORK  
PERMIT**

IssueDate: 7/16/2002

Permit No: 282814  
Expires:  
X Ref:  
Rev. No:

**Approved With Conditions**

THIS IS TO CERTIFY THAT:

STEVE SACKS  
35 QUINCY STREET  
CHEVY CHASE MD

HAS PERMISSION TO:

ALTER

PERMIT CONDITIONS:

EXTEND BASEMENT & ALTER FOR AU PAIR SUITE & EXTEND KITCHEN AREA FOR  
BREAKFAST ROOM

PREMISE ADDRESS

35 QUINCY ST  
CHEVY CHASE MD 20815-

LOT 61  
LIBER  
FOLIO  
PERMIT FEE: \$0.00

BLOCK 1S  
ELECTION DISTRICT  
SUBDIVISION  
TAX ACCOUNT NO.:

PARCEL  
PLATE  
CHEVY CHASE SEC 2

ZONE  
GRID

HISTORIC MASTER: Y  
HISTORIC ATLAS: N

**HISTORIC APPROVAL ONLY  
BUILDING PERMIT REQUIRED**

Handwritten signature of Robert C. Hubbard in black ink.

Director, Department of Permitting Services

SPECIFICATIONS

1 GENERAL

- 1.1 ALL WORK SHALL CONFORM TO APPLICABLE LOCAL AND NATIONAL CODES AND ORDINANCES.
- 1.2 UNLESS OTHERWISE NOTED, ALL NEW WORK SHALL CORRESPOND TO THAT WITH WHICH IT CONNECTS OR TO EXISTING SIMILAR CONDITIONS IN MATERIAL, WORKMANSHIP AND FINISH.
- 1.3 THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE BEGINNING THE WORK AND BE RESPONSIBLE FOR THEIR CORRECTNESS TO ASSURE A PROPER FIT OF ALL MATERIALS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR CORRECTION OR DECISION.
- 1.4 DRAWING DIMENSIONS ARE TAKEN TO THE ROUGH SURFACE EXCEPT AS INDICATED. DIMENSIONS LABELED "VIF" ARE TO BE SUBJECT TO VERIFICATION IN THE FIELD AND ADJUSTMENT FOR EXISTING CONDITIONS. IF DISCREPANCIES ARE DISCOVERED THEY SHALL BE REPORTED TO THE ARCHITECT AT ONCE.
- 1.5 THE OWNER OR HIS AGENT SHALL OBTAIN THE BUILDING PERMIT. THE VARIOUS REQUIRED TRADE PERMITS SHALL BE OBTAINED BY THE RESPECTIVE TRADE SUBCONTRACTORS.
- 1.6 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK WITH AND BETWEEN MECHANICAL, ELECTRICAL AND PLUMBING TRADES PRIOR TO AND DURING INSTALLATION.
- 1.7 ALL MATERIALS SHALL CONFORM WITH SPECIFICATIONS OF UNDERWRITERS LABORATORY AND THE NATIONAL MANUFACTURERS ASSOCIATION.
- 1.8 ALL MATERIALS SHALL BE AS SPECIFIED ON THESE DRAWINGS. ANY SUBSTITUTIONS MUST BE APPROVED BY THE OWNER OR ARCHITECT.
- 1.9 ALL AREAS SHALL BE LEFT CLEAN AND ANY DAMAGED WORK SHALL BE REPLACED WITH NEW.

2 DEMOLITION

- 2.1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE DEMOLITION OF ALL ELEMENTS AS SCHEDULED ON THESE PLANS OR AS REQUIRED TO COMPLETE THE WORK AS SHOWN HEREIN AND PAY ALL FEES CONNECTED WITH REMOVAL AND DUMP, UNLESS OTHERWISE DESIGNATED BY THE OWNER PRIOR TO DEMOLITION OR UNLESS SUCH ITEMS ARE SCHEDULED FOR REUSE ON THE PROJECT.
- 2.2 DEMOLITION OF PORTION OF THE EXISTING STRUCTURE SHALL BE AS INDICATED ON THE DRAWINGS AND/OR AS NECESSARY TO PLACE NEW WORK AS SHOWN ON THE DRAWINGS. PROVIDE TEMPORARY BRACING AS REQUIRED TO PREVENT DAMAGE OR MOVEMENT OF EXISTING STRUCTURE BEFORE BEGINNING THE DEMOLITION OF LOADBEARING STRUCTURAL ELEMENTS. PROVIDE TEMPORARY CLOSURES AS REQUIRED FOR WEATHERPROOFING OR SECURITY.

3 CONCRETE

- 3.1 ALL NEW CONCRETE FOR SLABS AND FOOTING SHALL HAVE 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.
- 3.2 VAPOR BARRIERS OVER GRAVEL FILL SHALL BE 6 MIL POLYETHYLENE FILM, LAPPED 12" AND WITHOUT HOLES OR RUPTURES, TURN UP 6" ON WALLS.
- 3.3 GRAVEL FILL SHALL BE CLEAN, WASHED, GRAVEL FREE FROM CLAY, LOAM, SILT, EXCESSIVE FINES AND WELL GRADED.
- 3.4 CONCRETE DECK SLAB TO BE SMOOTH FLOAT FINISH WITH SAW CUT PATTERN AS INDICATED ON FLOOR PLAN.

4 MASONRY

- 4.1 CONCRETE MASONRY UNITS SHALL BE GRADE 'N' ASTM C-90.
- 4.2 HORIZONTAL JOINT REINFORCEMENT SHALL BE TRUSS TYPE WIRE WALL TIES BY DUR-O-WALL OR APPROVED EQUAL AS REQUIRED TO BOND THE MASONRY WALL.

5 METALS (NOT USED)

6 WOOD

- 6.1 NEW WOOD STUD BEARING WALLS TO BE 2X4 AT 16" O.C. S-P-F STUD GRADE OR BETTER PROVIDE BLOCKING AS REQUIRED.
- 6.2 NEW WOOD JOISTS, BEAMS AND RAFTERS TO BE HEMFIR #2 OR BETTER. LUMBER SIZES INDICATED ON DRAWINGS.
- 6.3 ALL NEW WOOD CONSTRUCTION IN CONTACT WITH CONCRETE OR MASONRY IN AN EXTERIOR LOCATION OR EXPOSED WITHIN 18" OF GRADE SHALL BE PRESERVATIVE TREATED MATERIAL.
- 6.4 EXTERIOR SOFFITS TO BE 1/2" PLYWOOD PLYSHIELD AC EXTERIOR QUALITY.
- 6.5 EXTERIOR SIDING TO BE 3/4" PLYWOOD PLYSHIELD AC EXTERIOR QUALITY.

- 6.8 MILLWORK
- 6.81 MILLWORK CABINETRY FABRICATION TO COMPLY WITH ARCHITECTURAL WOODWORK INSTITUTE (AWI) QUALITY GRADE PREMIUM.

- 6.82 FINISH TO BE SHOP APPLIED STAIN. STAIN FINISH AND COLOR TO BE SELECTED AS INDICATED ON A3.01.

- 6.83 DRAWER AND DOOR PULLS TO BE SELECTED.

7 THERMAL/MOISTURE PROTECTION

- 7.1 INSULATION TO BE FIBERGLASS BATTS WITH FOIL WITH R VALUES AS FOLLOWS: AT WALLS R-13, AT CEILING R-40, AT FLOORS R-30, UNDER SLAB R-9 (RIGID).
- 7.2 GUTTER AND DOWNSPOUT TO BE ANODIZED ALUMINUM, STANDARD OGEE STYLE, WHITE TO MATCH EXISTING.
- 7.3 ROOFING TO BE MEMBRANE.

8 DOORS & WINDOWS (SEE DRAWINGS FOR SPECIFICATIONS)

9 FINISHES

- 9.1 PAINT
- 9.11 PAINT TO BE BENJAMIN MOORE FROM THEIR HIGHEST QUALITY LINE OF PAINT PRODUCTS. COLORS TO BE SELECTED.
- 9.12 PAINT ON INTERIOR WOOD: 1 COAT OIL PRIMER, 2 COATS OIL FINISH SEMIGLOSS.
- 9.13 PAINT ON EXTERIOR WOOD: 1 COAT OIL BASE PRIMER, 2 COATS OIL BASE FINISH SEMIGLOSS.

10, 11, 12, 13, 14 (NOT USED)

15 MECHANICAL (SEE SHEET M2.01)

16 ELECTRICAL

- 16.1 ALL WORK TO BE DONE ACCORDING TO ALL APPLICABLE CODES
- 16.2 ELECTRICAL CONTRACTOR IS TO OBTAIN ALL PERMITS AND INSPECTIONS AND TO PAY ALL RELATED FEES.
- 16.3 ALL MATERIALS SHALL CONFORM WITH SPECIFICATIONS OF UNDERWRITERS LABORATORIES (UL) AND THE NATIONAL MANUFACTURERS ASSOCIATION.
- 16.4 ELECTRICAL CONTRACTOR TO COORDINATE WITH OTHER TRADES TO INSURE PROPER INSTALLATION OF ALL EQUIPMENT. CONTRACTOR IS TO INFORM GENERAL CONTRACTOR OF ANY EQUIPMENT INSTALLATION CONFLICTS PRIOR TO INSTALLATION.
- 16.5 PROVIDE AND INSTALL LIGHTING FIXTURES AS SCHEDULED.
- 16.6 ALL OUTLET PLATES TO MATCH EXISTING.
- 16.7 ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL MATERIAL, LABOR AND EQUIPMENT FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE; GUARANTEE TO INCLUDE FREE WARRANTY MAINTENANCE FOR FIRST YEAR OF OPERATION.

- 7.1 INSULATION TO BE FIBERGLASS BATTS WITH FOIL WITH R VALUES AS FOLLOWS: AT WALLS R-19, AT CEILING R-21, UNDER FLOOR R-30.

- 7.2 EXTERIOR STUCCO TO BE APPLIED WITH A 3 COAT PROCESS (SCRATCH, FLOAT, FINISH) OVER WIRE LATH.

- 7.3 RIDGE VENT TO BE FLASH FILTERVENT BY CERTAINTED MODEL FFV162 COLOR TO MATCH EXISTING ROOF. (FILTERVENT ALSO INCLUDES SUPPLEMENTAL FLASHING.)

8 DOORS & WINDOWS

8.1 EXTERIOR DOORS

- 8.11 EXTERIOR DOOR TO BE MARVIN CLAD ULTIMATE INSWING FRENCH DOOR, FULL LITE, WITH SIMULATED DIVIDED LITES WITH 7/8" ALUMINUM SPACER BAR BETWEEN GLASS LITES. GLAZING TYPE TO BE LOW E II WITH ARGON, TEMPERED. (SEE DOOR AND WINDOW SCHEDULE FOR SIMULATED DIVIDED LITE PATTERN AND SPACING. NO EXTERIOR OR INTERIOR MUNTINS.)

- 8.12 INTERIOR FRAME TO BE PRIMED. PROVIDE FACTORY APPLIED JAMB EXTENSIONS AS SHOWN IN DOOR AND WINDOW SCHEDULE. DOOR HARDWARE FINISH TO BE ANTIQUE BRASS.

- 8.13 DOOR EXTERIOR TO BE CLAD. COLOR TO BE STONE.

8.2 WINDOWS

- 8.21 WINDOWS TO BE MARVIN CLAD CASEMASTER WITH SIMULATED DIVIDED LITES WITH 7/8" ALUMINUM SPACER BAR BETWEEN GLASS LITES. GLAZING TYPE TO BE LOW E II WITH ARGON.

- 8.22 INTERIOR FRAME TO BE PINE, PRIMED. PROVIDE FACTORY APPLIED JAMB EXTENSIONS AS SHOWN ON DOOR AND WINDOW SCHEDULE. OPERATING HARDWARE TO BE BRONZE. (SEE DOOR AND WINDOW SCHEDULE FOR SIMULATED DIVIDED LITE PATTERN AND SPACING. NO EXTERIOR OR INTERIOR MUNTINS.)

- 8.24 WINDOW EXTERIOR TO BE CLAD. COLOR TO BE STONE.

9 FINISHES

9.1 PAINT

- 9.11 PAINT TO BE BENJAMIN MOORE FROM THEIR HIGHEST QUALITY LINE OF PAINT PRODUCTS. COLORS TO BE SELECTED.

- 9.12 PAINT ON INTERIOR WOOD: 1 COAT OIL PRIMER, 2 COATS OIL FINISH SEMIGLOSS.

- 9.13 PAINT ON EXTERIOR WOOD: 1 COAT OIL BASE PRIMER, 2 COATS OIL BASE FINISH SEMIGLOSS.

9.2 FLOORING

- 9.21 FLOORING TO BE TILE. TILE TO BE SELECTED. PROVIDE ALLOWANCE OF \$10.00 PER SF FOR MATERIAL ONLY. INCLUDE INSTALLATION IN BID.

9.3 PLASTER

- 9.31 INTERIOR PLASTER TO MATCH FINISH IN EXISTING HOUSE WITH DRYWALL COMPOUND OVER DRYWALL.

10, 11, 12, 13, 14 (NOT USED)

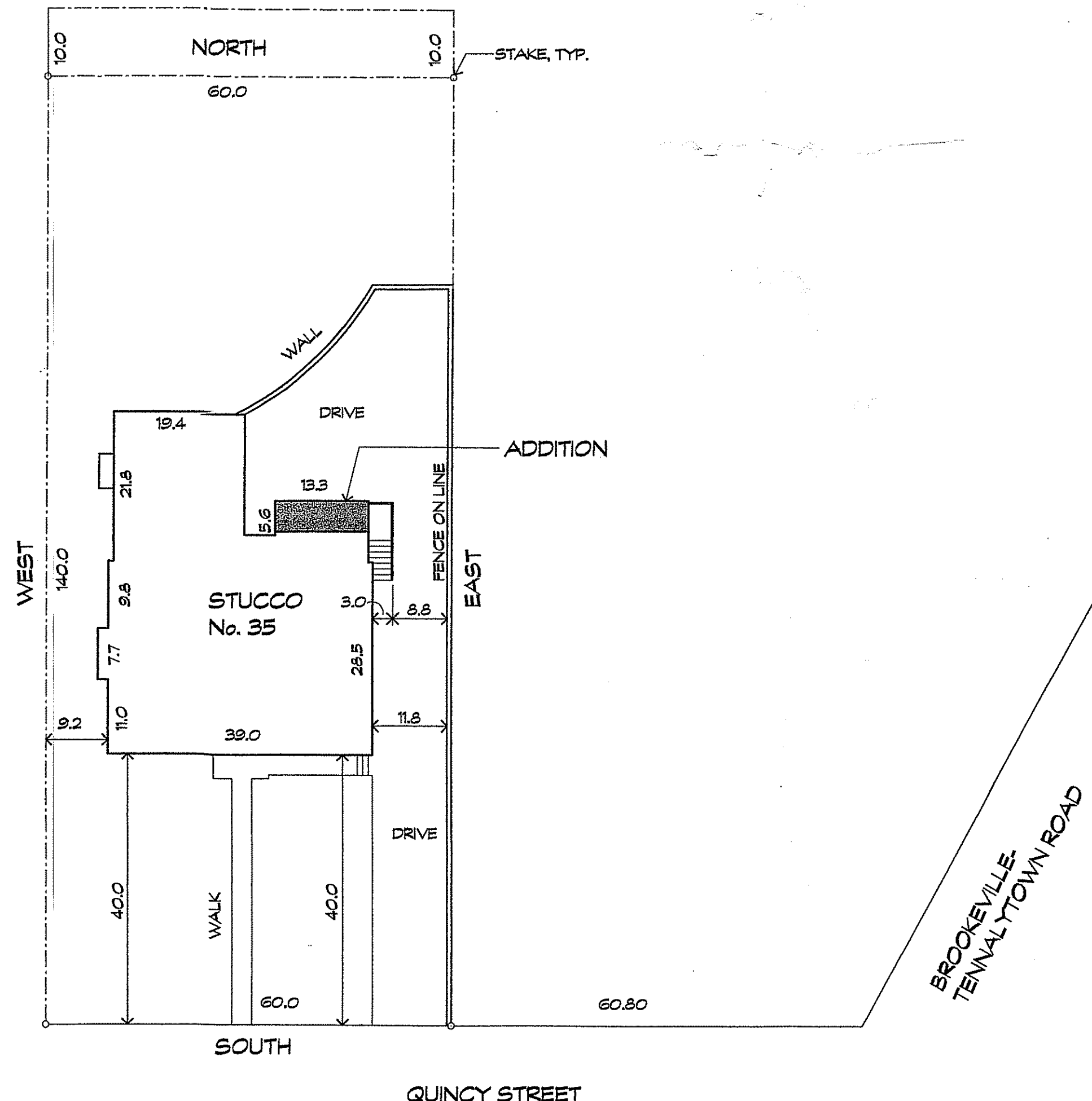
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- 16.5 PROVIDE AND INSTALL LIGHTING FIXTURES AS SCHEDULED.
- 16.6 ALL OUTLET PLATES TO BE WHITE WHITE.
- 16.7 ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL MATERIAL, LABOR AND EQUIPMENT FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE; GUARANTEE TO INCLUDE FREE WARRANTY MAINTENANCE FOR FIRST YEAR OF OPERATION.

SHEET INDEX

SITE PLAN, SPECIFICATIONS..... A1.00  
 FLOOR PLANS & SCHEDULES..... A2.01  
 ELEVATIONS..... A3.01  
 SECTIONS & DETAILS..... A4.01  
 STRUCTURAL PLANS..... S1.01  
 MECHANICAL PLANS..... M1.01



SITE PLAN

SCALE 1/16"=1'-0"

**MCMURRAY  
 DESIGN**  
 ARCHITECTURE & INTERIORS

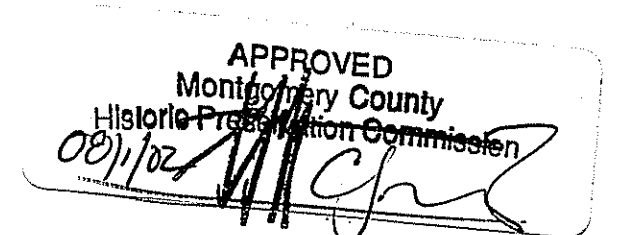
4401 38TH STREET NW  
 WASHINGTON DC 20016  
 TEL 202.686.6268  
 FAX 202.686.3327

**SACKS HOGG RESIDENCE**  
 35 QUINCY STREET  
 CHEVY CHASE, MARYLAND

JULY 22, 2002

SITE PLAN,  
 SPECIFICATIONS

A1.01



02101.00

**DOOR SCHEDULE**

MARK	SIZE (W x H x TH-JAMB TO JAMB)	TYPE	MATERIAL	SWING	SILL	JAMB DEPTH	EXT. CASING	NOTES
001	2'-8" x 6'-8"	SEE 3/A3.01	WOOD/CLAD				WHITE W/ PREFINISHED WHITE INTERIOR	GLAZING TO BE HIGH PERFORMANCE LOW E/ESTATE HARDWARE, POL. CHROME
002	2'-0" x 6'-8"	RAISED PANEL	WOOD					MATCH EXISTING
003	2'-6" x 6'-8"	RAISED PANEL	WOOD					MATCH EXISTING
004	2'-6" x 6'-8"	RAISED PANEL	WOOD					MATCH EXISTING
005	2'-0" x 6'-8"	RAISED PANEL	WOOD					MATCH EXISTING
006	PR 2'-0" x 6'-8"	RAISED PANEL	WOOD					MATCH EXISTING
007	2'-8" x 6'-8"	RAISED PANEL	WOOD					MATCH EXISTING
008	2'-6" x 6'-8"	FRENCH	WOOD INTERIOR					SEE 4/A3.01
009	2'-6" x 6'-8"	FRENCH FIXED	WOOD INTERIOR					SEE 4/A3.01
010	2'-8" x 6'-8"							
011	PR 1'-6" x 6'-8"							MATCH EXISTING; CONFIRM HEIGHT WITH EXISTING DUCTWORK
012	PR 2'-6" x 6'-8"							ANDERSON 400 SERIES GLAZING HIGH PERFORM. LOW-E / ESTATE HARDWARE, POL. CHROME
100	2'-8" x 6'-8"	FRENCH	WOOD/CLAD				WHITE W/ PREFINISHED WHITE INTERIOR	

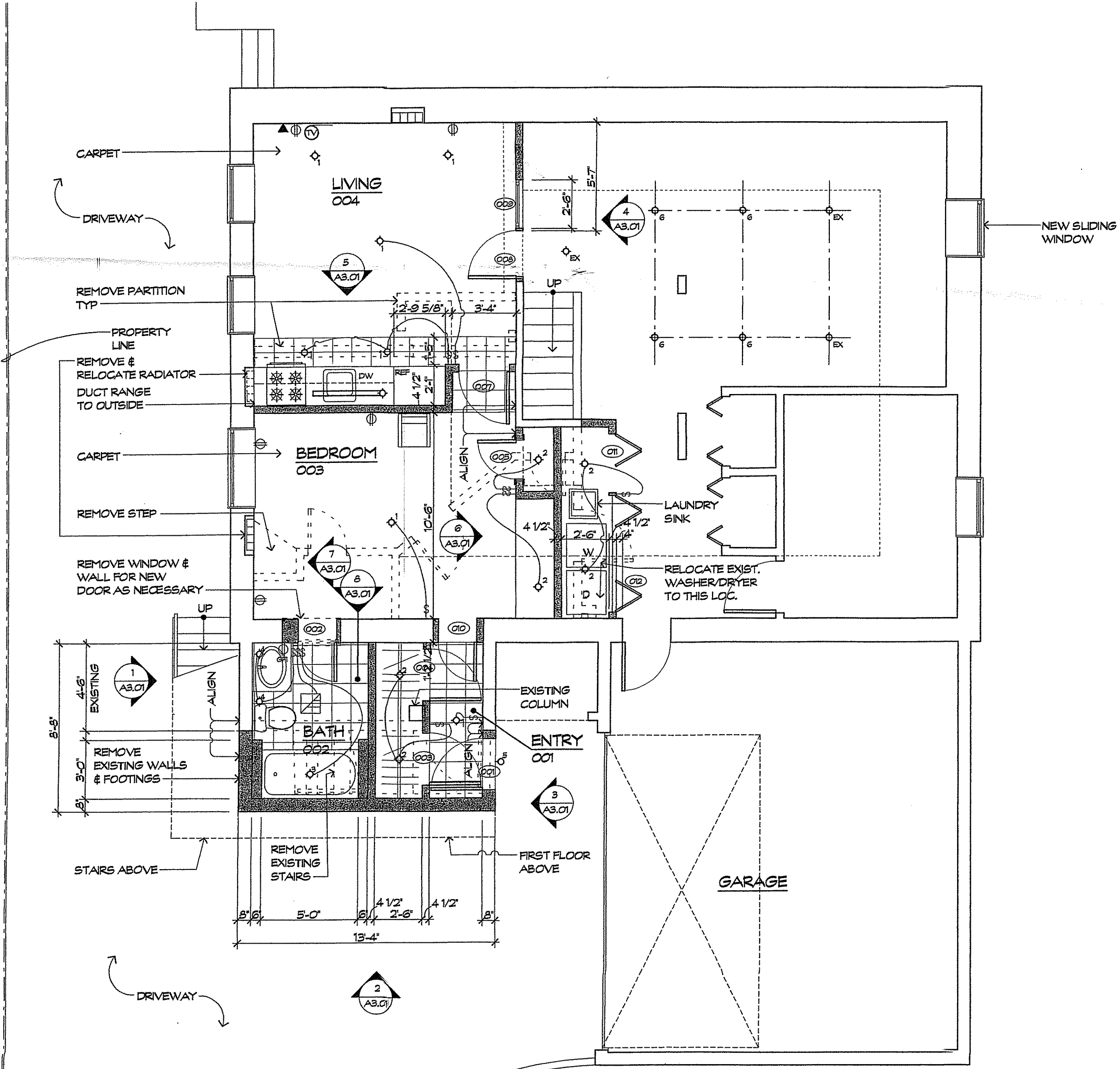
**LIGHT FIXTURE LEGEND**

<ul style="list-style-type: none"> <li>◊<sub>EX</sub> EXISTING LIGHT</li> <li>◊<sub>1</sub> RECESSED LIGHT FIXTURE LIGHTOLIER 2005WH/2000CLR/SOW MR-16 FLOOD</li> <li>◊<sub>2</sub> RECESSED LIGHT FIXTURE LIGHTOLIER 2005WH/2000PI</li> <li>◊<sub>3</sub> SURFACE MOUNTED LIGHT FIXTURE LIGHTOLIER 1128/1102PI</li> </ul>	<ul style="list-style-type: none"> <li>◊<sub>4</sub> SURFACE MOUNTED LIGHT FIXTURE LIGHTOLIER B/C-ILT COVINGTON MANOR, 100W</li> <li>◊<sub>5</sub> SURFACE MOUNTED - LIGHTOLEAR 3660 BK</li> <li>⊖ CABLE OUTLET</li> <li>⊠ EXHAUST FAN - NUTONE LS100L</li> <li>⬅ UNDERCABINET FLOURESCENT LIGHT ALCOO LITTLE INCH</li> </ul>	<ul style="list-style-type: none"> <li>◊<sub>6</sub> MATCH EXISTING</li> </ul>
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**APPLIANCE/ACCESSORIES SCHEDULE**

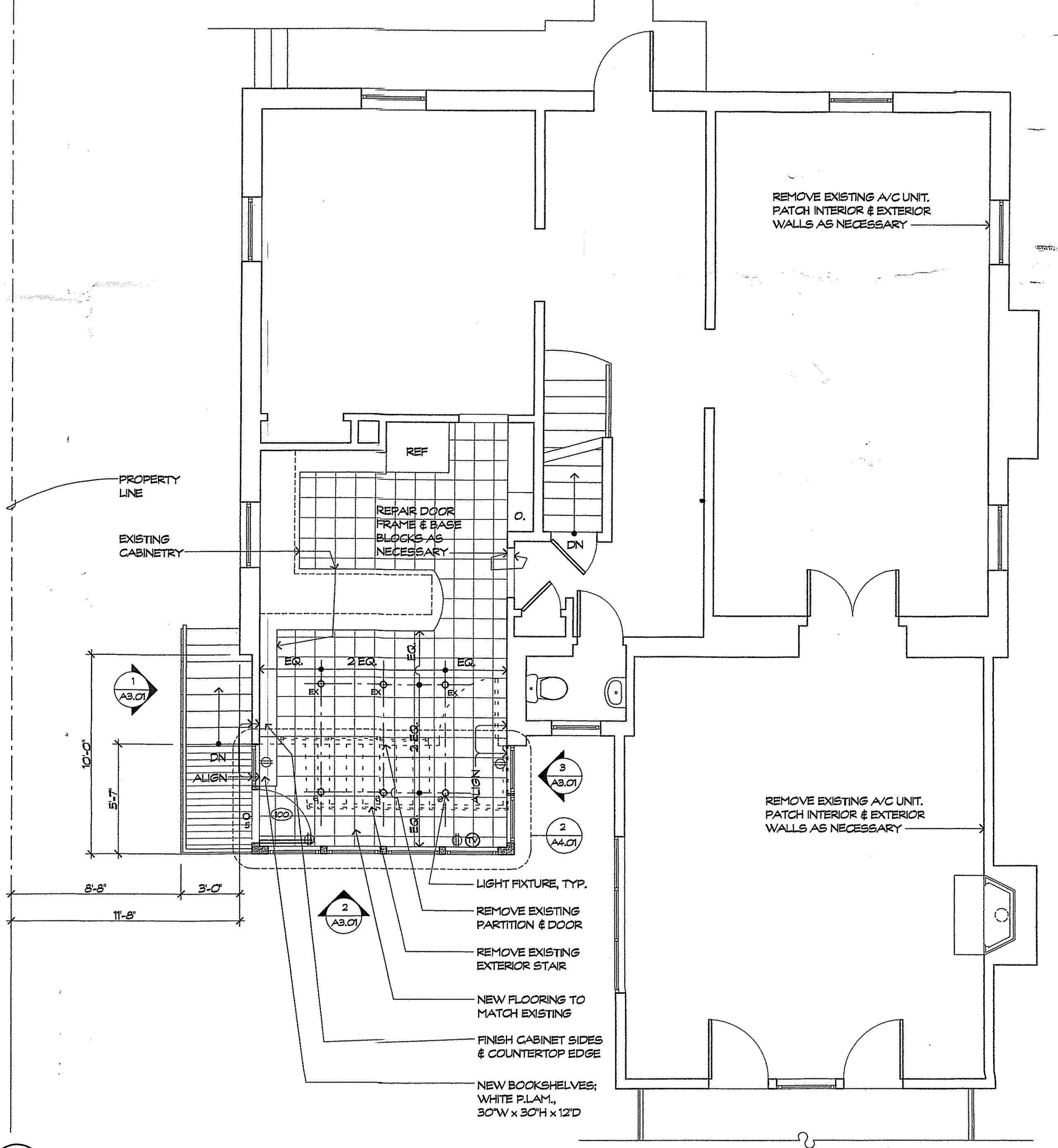
MARK	DESCRIPTION	MANUFACTURER	MODEL #	DIMENSIONS W x H x D	COLOR/FINISH	NOTES
RG	RANGE	GE	JBP68DWW	29 7/8"x44 7/16"x27 3/4"	STAINLESS STEEL	
	REFRIGERATOR	AMANA	DRB1901CW	29 5/8" x 66 3/4" x 32 3/4"	WHITE	EASY REACH / DISTINCTIONS
MV	MICROWAVE	GE	JVM 1841WD	29 7/8"x16 13/32"x15"	WHITE	SPACEMAKER W/ TOP EXHAUST DUCT
DW	DISHWASHER	GE	GSD5500GWW	24" x 34" x 25 3/4"	WHITE	TRITON
	KITCHEN SINK	CORIAN	B05		CAMEO WHITE	INTEGRAL W/ COUNTERTOP
	FAUCET	GROHE	33.853		CHROME	EUROPLUS
	DISPOSER	INSINKERATOR	3/4HP			
	TUB	KOHLER	MENDOTA	32" x 60"	WHITE	
	FAUCET	CAROLINA / DOLPHIN	CR0405043OP		POLISHED CHROME	PORCELAIN LEVER/MT. EVEREST ESC
	BATHRM. SINK/CTR TOP	CORIAN		30" w/8" SPREAD FOR FAUCET	WHITE	SINK INTEGRAL W/ COUNTERTOP
	FAUCET	CAROLINA / DOLPHIN	CR0105043OPC		POLISHED CHROME	PORCELAIN LEVER/MT. EVEREST ESC
	TOILET	KOHLER	WELLWORTH		WHITE	
	LAUNDRY SINK	FREESTANDING PLASTIC				
	TOWEL BAR	CAROLINA	CR-124-PC		POLISHED CHROME	INSTALLATION LOCATION TBS
	PAPER HOLDER	CAROLINA	CR-124-PC	24"	POLISHED CHROME	INSTALLATION LOCATION TBS
	ROBE HOOK	CAROLINA	CR-124-PC		POLISHED CHROME	INSTALLATION LOCATION TBS

NOTE: VERIFY ALL DIMENSIONS W/ MFR. PRIOR TO INSTALLATION FOR APPLIANCES OR ADJACENT CABINETRY.



**2 BASEMENT PLAN**  
SCALE 1/4"=1'-0"

TILE FLOORING @ ENTRY & KITCHEN TO BE DALTILE/LANDSCAPE FLOOR/HYDRA LS01 (UNPOLISHED)  
TILE FLOORING @ BATH TO BE DALTILE 6 X 6 COLOR - PEARL WHITE 0799 MATTE  
TILE WAINSCOT @ BATH TO BE DALTILE 6 X 6 COLOR - PEARL WHITE 0799 SEMI GLOSS



**1 FIRST FLOOR PLAN**  
SCALE 1/4"=1'-0"

KITCHEN TILE FLOOR TO BE TOLL / LIGHTSTONE #8812

**MCMURRAY DESIGN**  
ARCHITECTURE & INTERIORS

4401 38TH STREET NW  
WASHINGTON DC 20016  
TEL 202.686.6268  
FAX 202.686.3327

**SACKS HOGG RESIDENCE**  
35 QUINCY STREET  
CHEVY CHASE, MARYLAND

JULY 22, 2002

PLANS / SCHEDULES

A2.01

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 08/1/02

02101.00

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## SACKS HOGG RESIDENCE

35 QUINCY STREET  
 CHEVY CHASE, MARYLAND

JULY 22, 2002

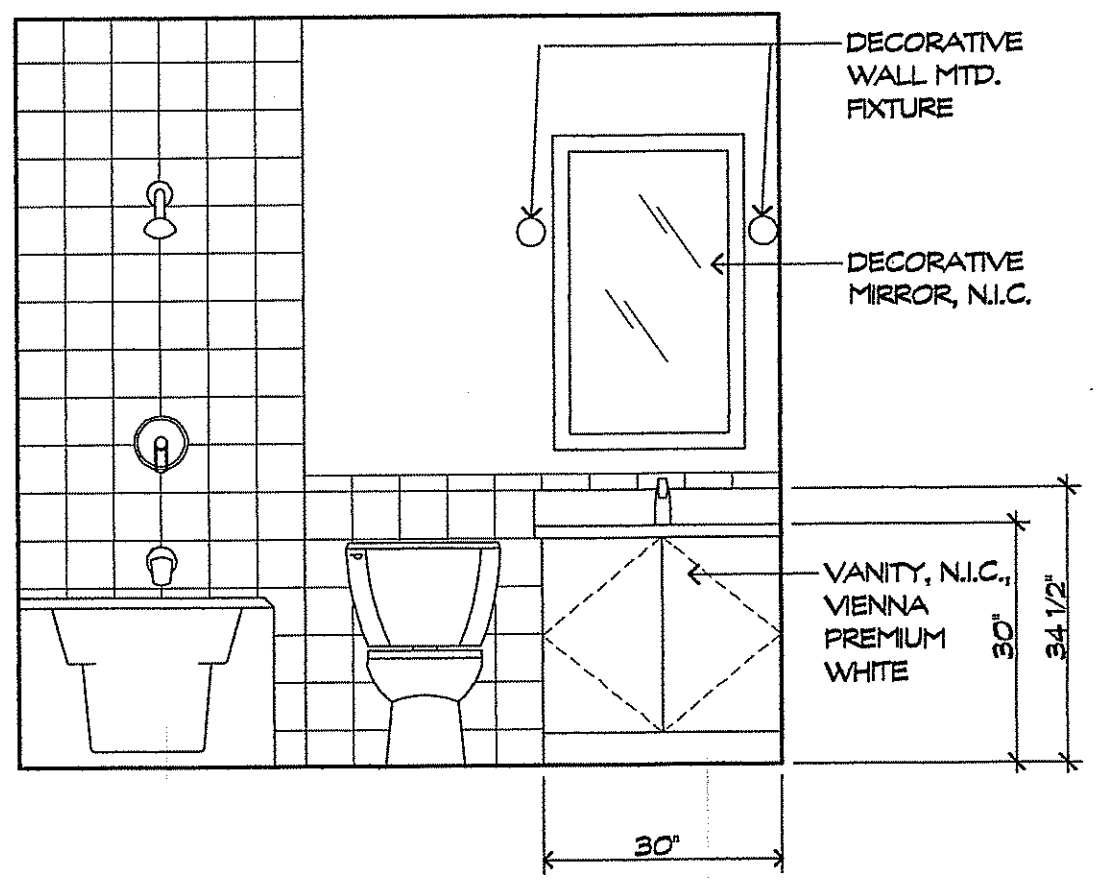
ELEVATIONS

A3.01

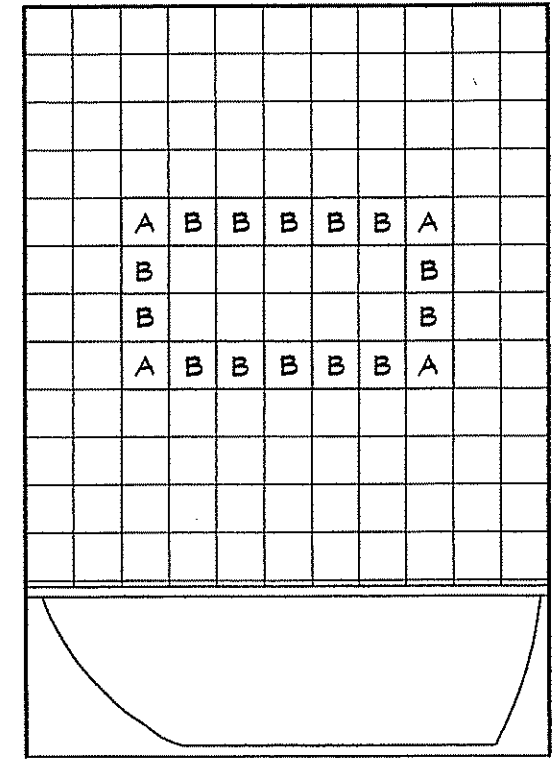
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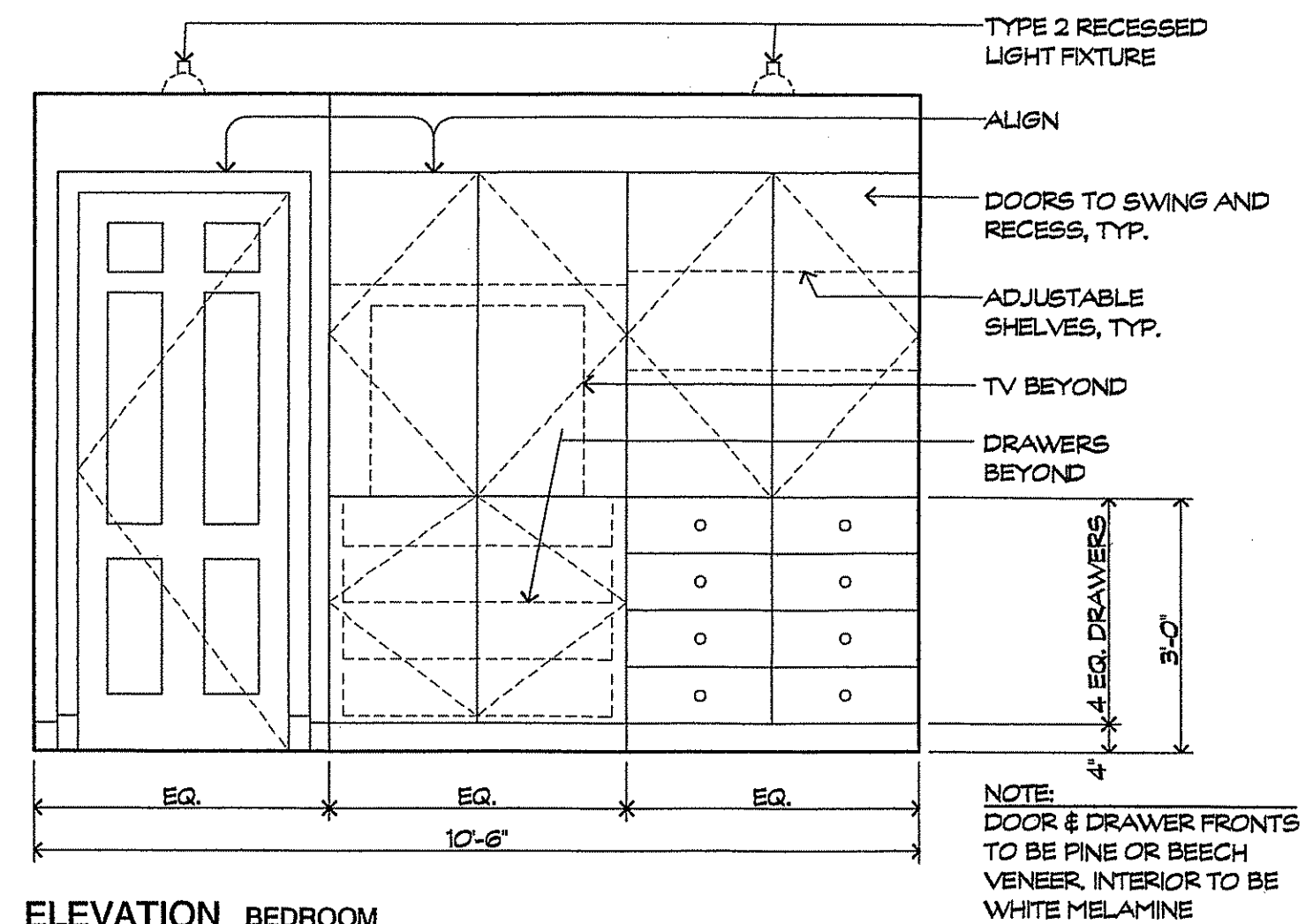
8 ELEVATION BATH  
 A3.01 SCALE 1/2"=1'-0"



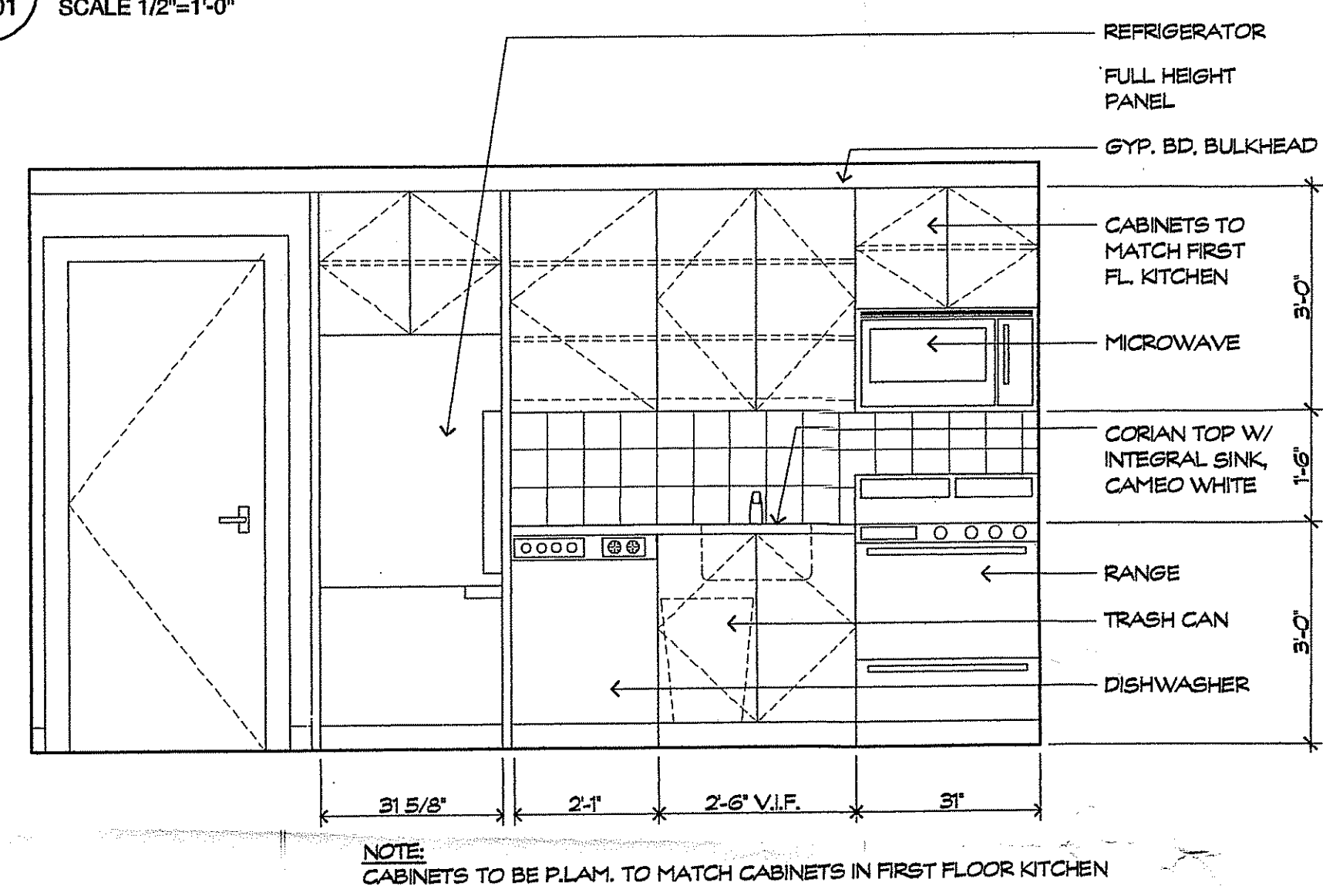
7 ELEVATION BATH  
 A3.01 SCALE 1/2"=1'-0"



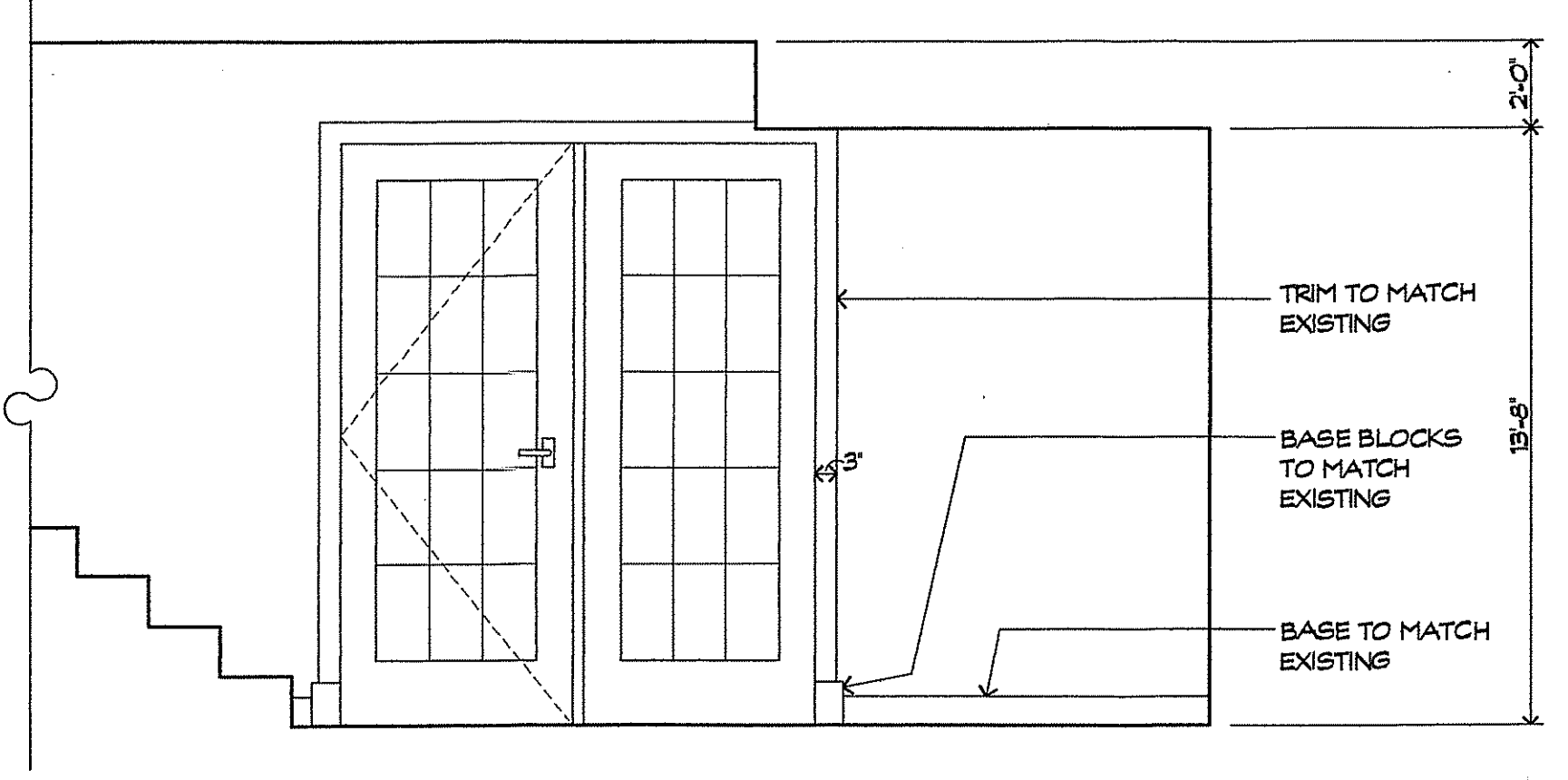
6 ELEVATION BEDROOM  
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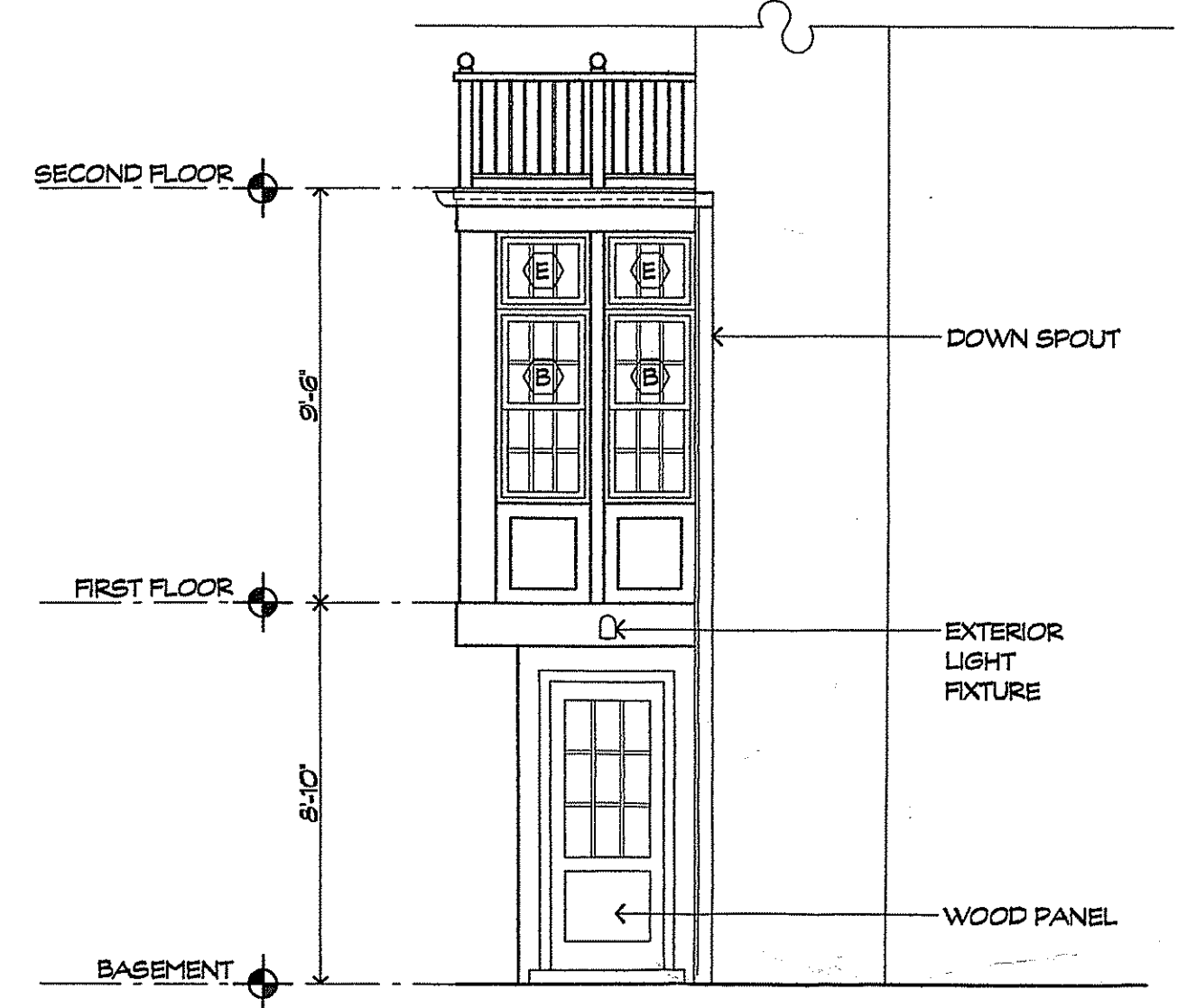
5 ELEVATION BASEMENT KITCHEN  
 A3.01 SCALE 1/4"=1'-0"



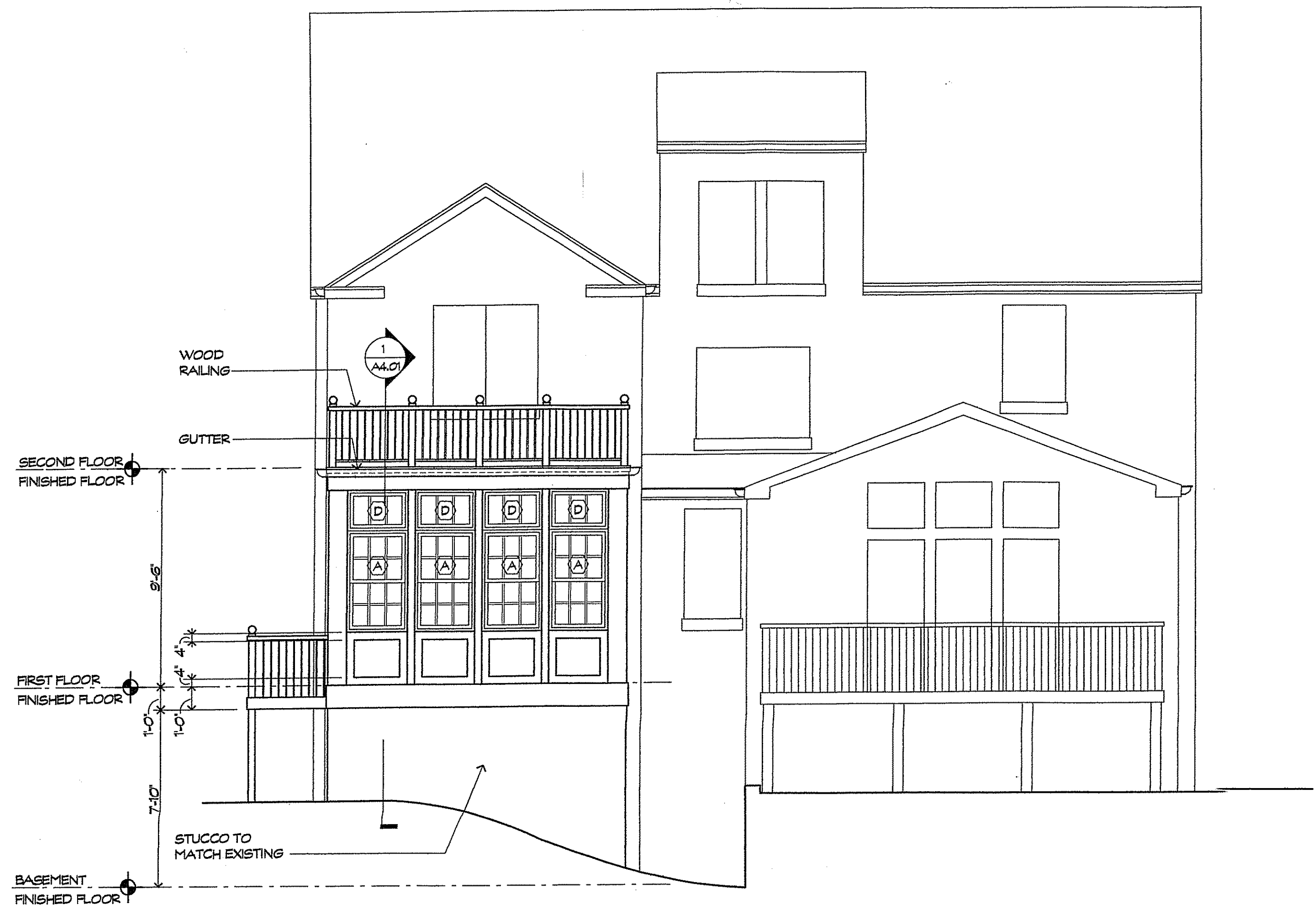
4 ELEVATION LIVING ROOM  
 A3.01 SCALE 1/2"=1'-0"



3 ELEVATION WEST NORTH FACADE OF ADDITION  
 A3.01 SCALE 1/4"=1'-0"



2 ELEVATION NORTH EAST FACADE  
 A3.01 SCALE 1/4"=1'-0"



1 ELEVATION EAST SOUTH FACADE  
 A3.01 SCALE 1/4"=1'-0"



NOTE:  
 SEE 1/A4.01 & 2/A4.01 FOR WINDOW WIDTHS & HEIGHTS (UNITS 'A' THRU 'G') WINDOWS TO BE ANDERSON 400 SERIES CLAD (WHITE W/ WHITE INTERIOR) TILT WASH DOUBLE HUNG WINDOW UNITS AND TRANSOM UNITS. GRILLES TO BE AS SHOWN FULL DIVIDED LIGHT GRILLES, 3/4" WIDE GLAZING TO BE ANDERSON HIGH PERFORMANCE LOW E GLASS. BASEMENT WINDOWS 'H' TO BE SLIDING, ANDERSON 200 SERIES GLIDING WINDOW, CLAD WHITE W/ WHITE INTERIOR, HIGH PERFORMANC LOW E GLASS.

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JULY 22, 2002

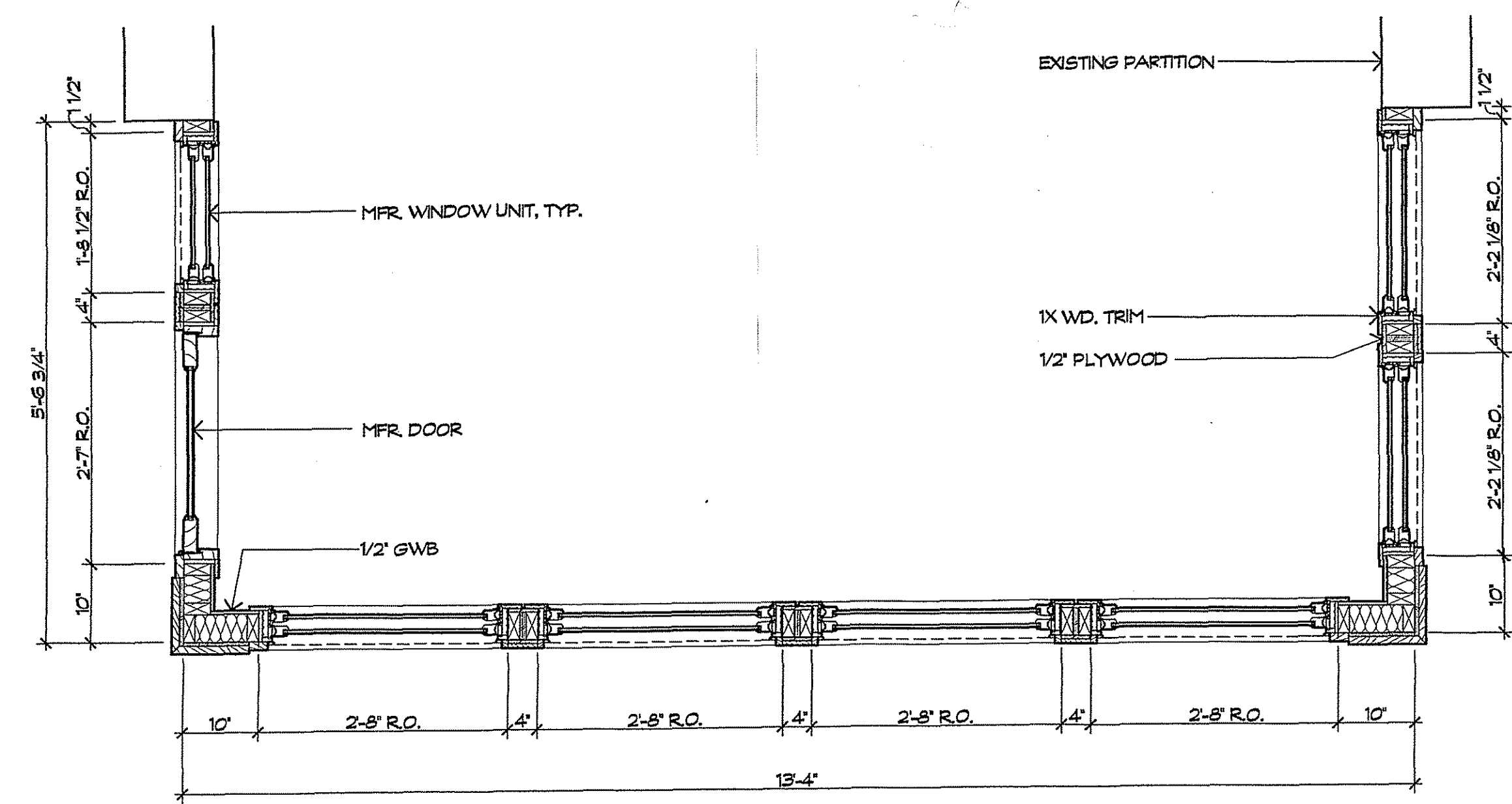
SECTION & DETAILS

A4.01

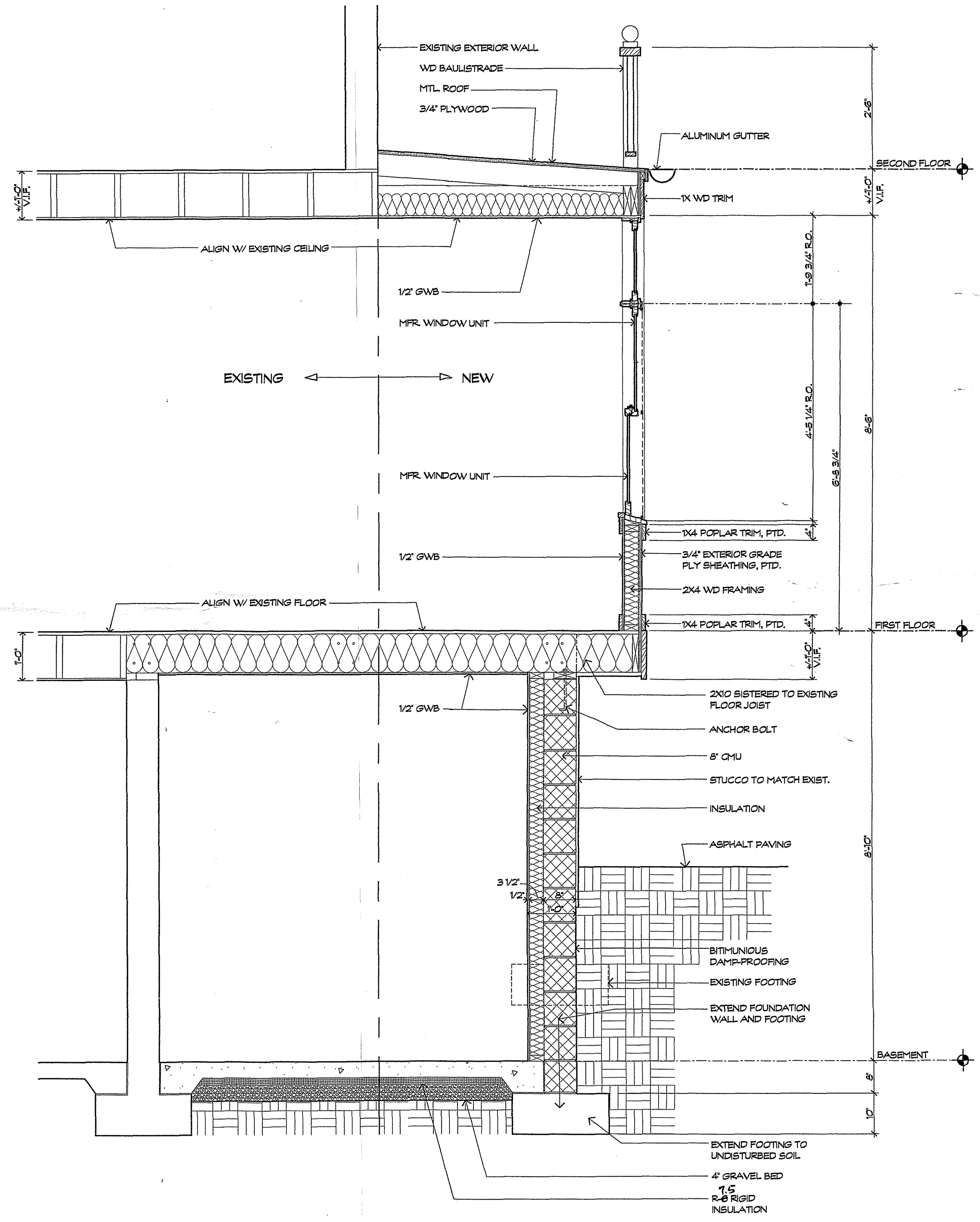
APPROVED  
Montgomery County  
Historic Preservation Commission  
*JG* 08/11/02

02101.00

3 NOT USED  
A4.01 SCALE: 3/4" = 1'-0"



2 PLAN DETAIL KITCHEN  
A4.01 SCALE: 3/4" = 1'-0"



1 SECTION  
A4.01 SCALE: 3/4" = 1'-0"

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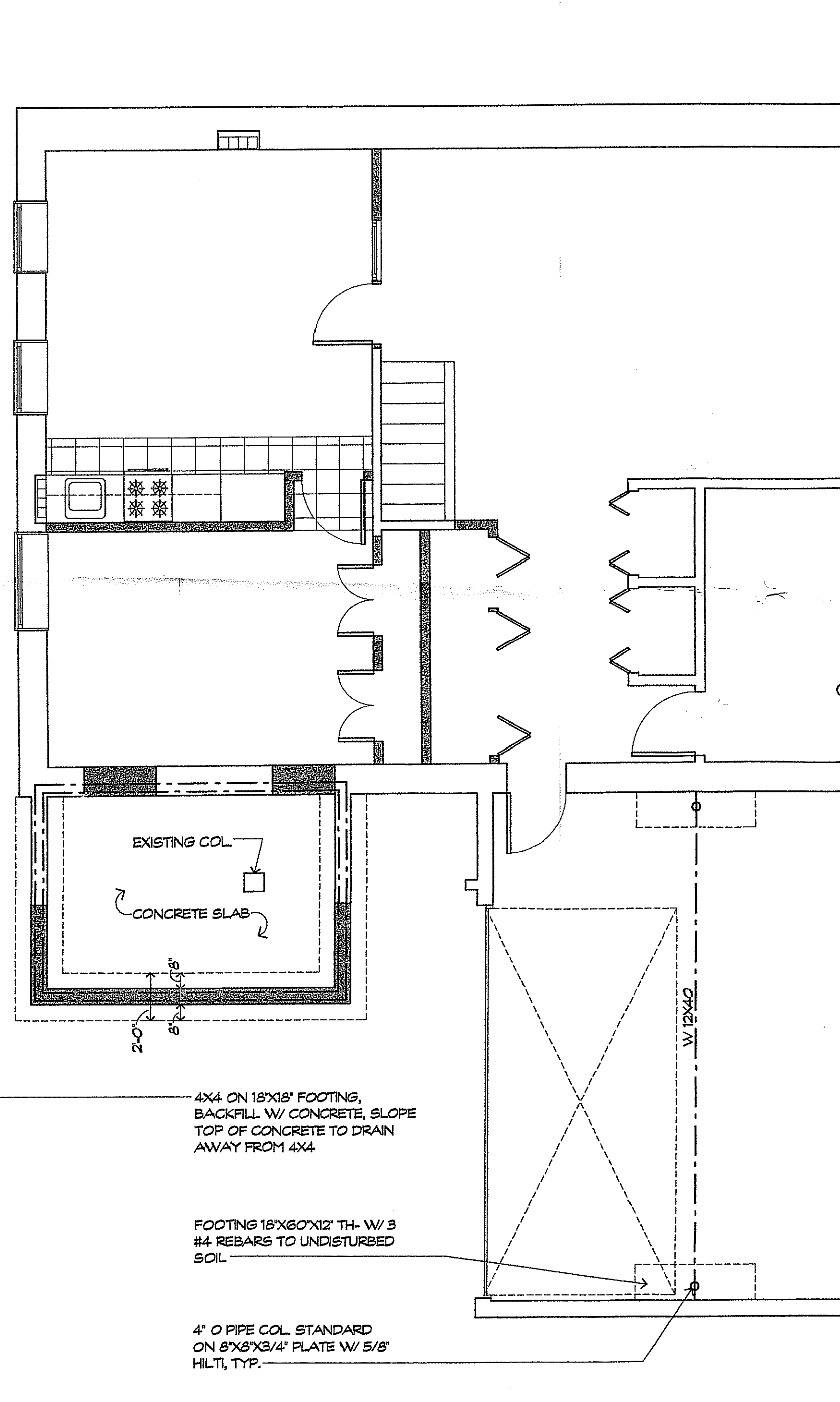
JULY 22, 2002

STRUCTURAL PLANS

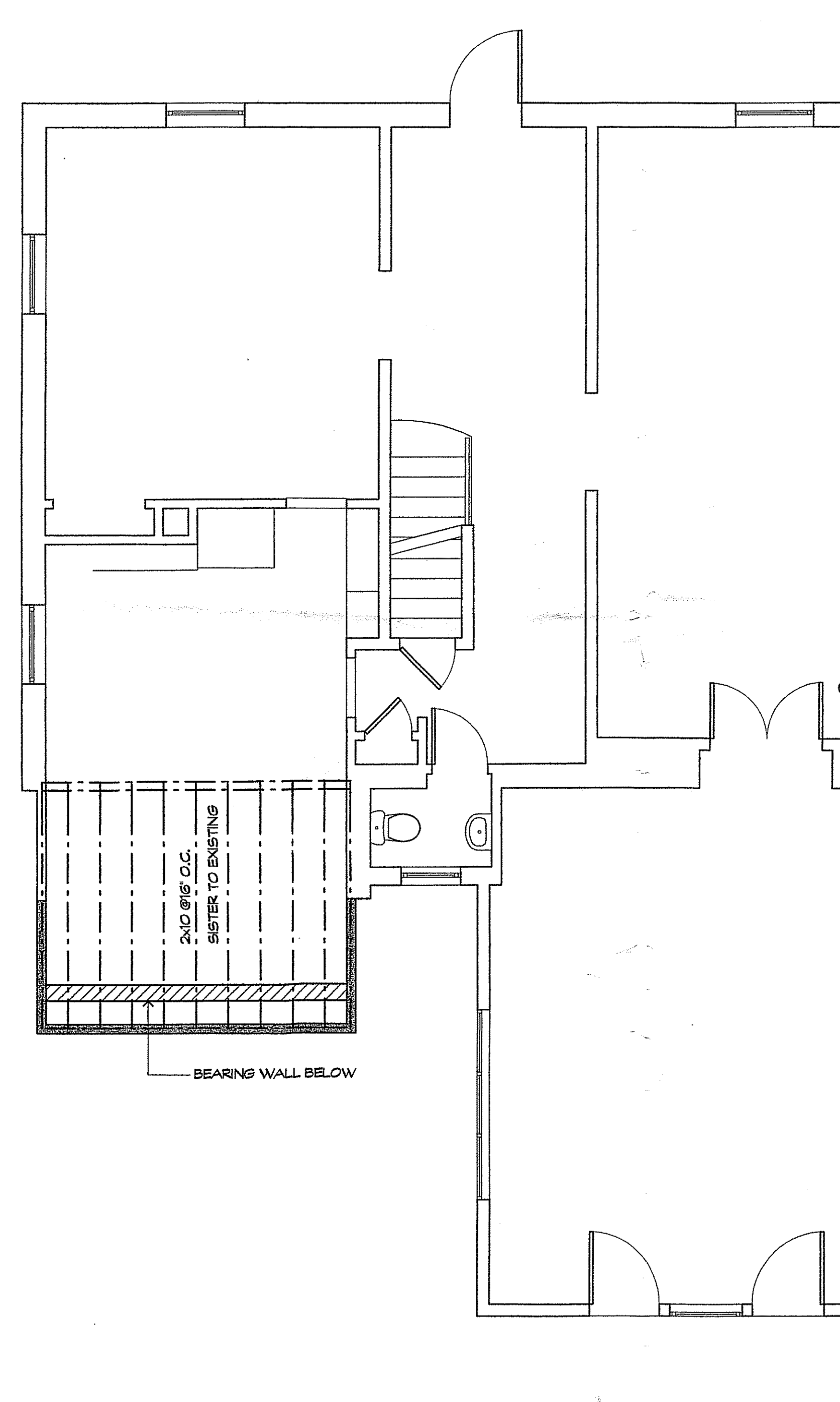
S1.01

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 08/1/02

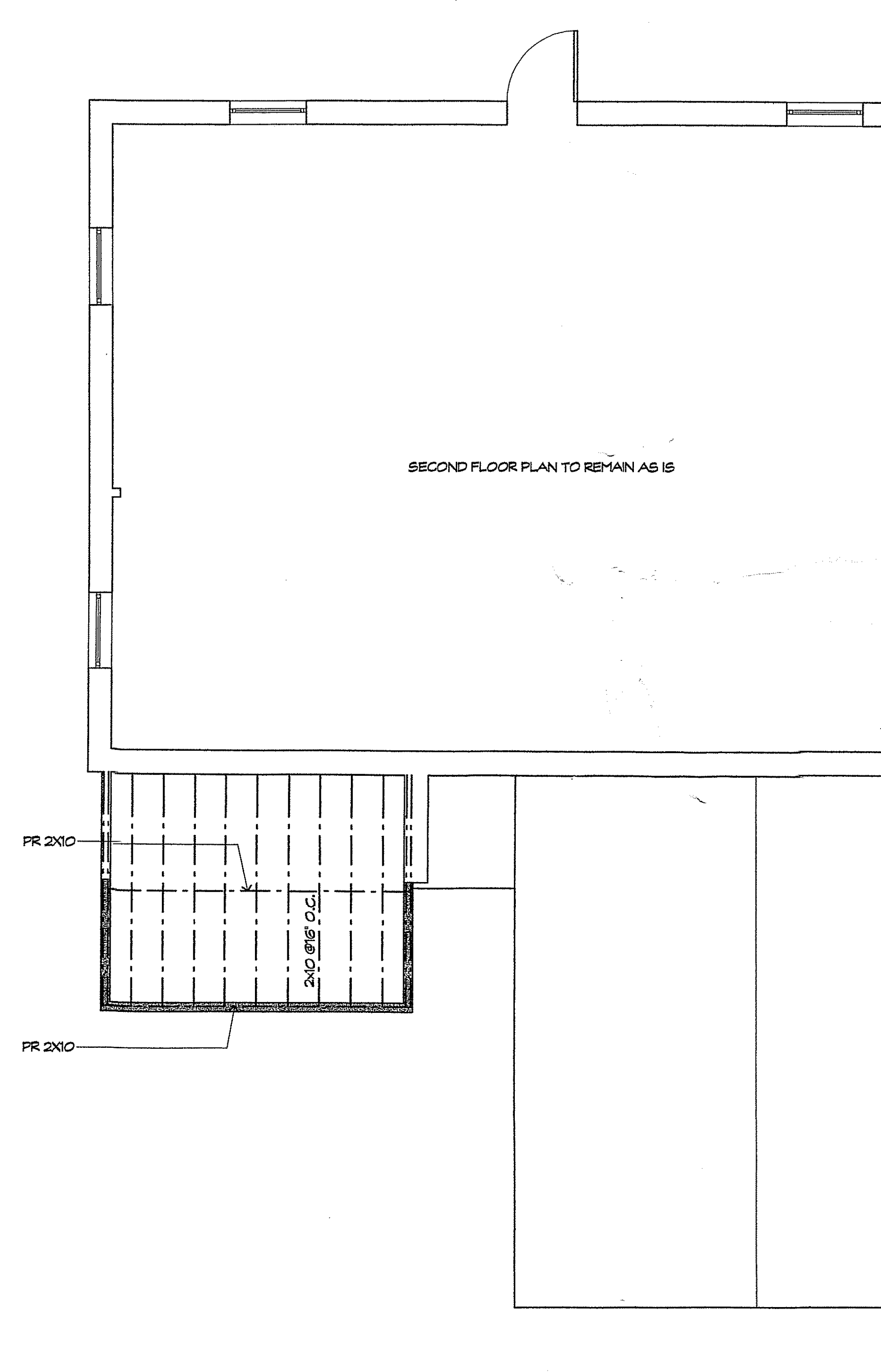
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1 BASEMENT STRUCTURAL PLAN  
A3.01 SCALE 1/4"=1'-0"



2 FIRST FLOOR STRUCTURAL PLAN  
A3.01 SCALE 1/4"=1'-0"



3 ROOF PLAN  
A3.01 SCALE 1/4"=1'-0"

High quality electric baseboard heaters designed for peak efficiency and ease of installation. Exclusive swept-back fin design of heating element retains more heat in the convection airstream to provide greater heating efficiency and reduced surface temperatures. Elements are full length and are cushion mounted to minimize expansion and contraction noise. Heavy gauge steel case has parchment white acrylic finish, with concealed junction boxes at each end and mounting holes on 2" centers. Full length thermal cutoff provides safety shutoff if normal operating temperatures are exceeded. Provides 250 watts per linear foot at 240V, 157 watts per foot @ 208v; all units are UL listed. Dimensions: 7-1/2" high, 3" deep.

2100 SERIES RESIDENTIAL ELECTRIC BASEBOARD



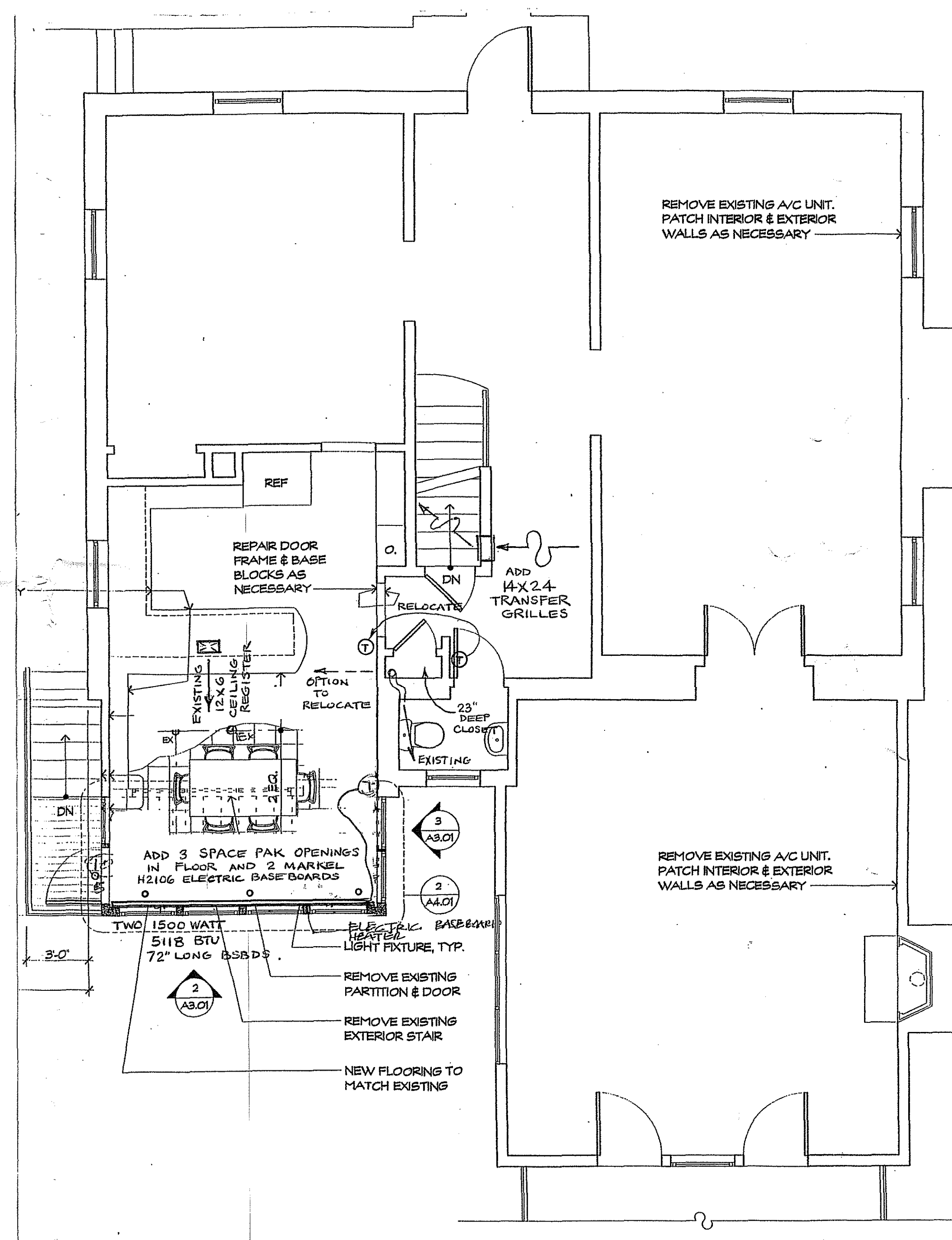
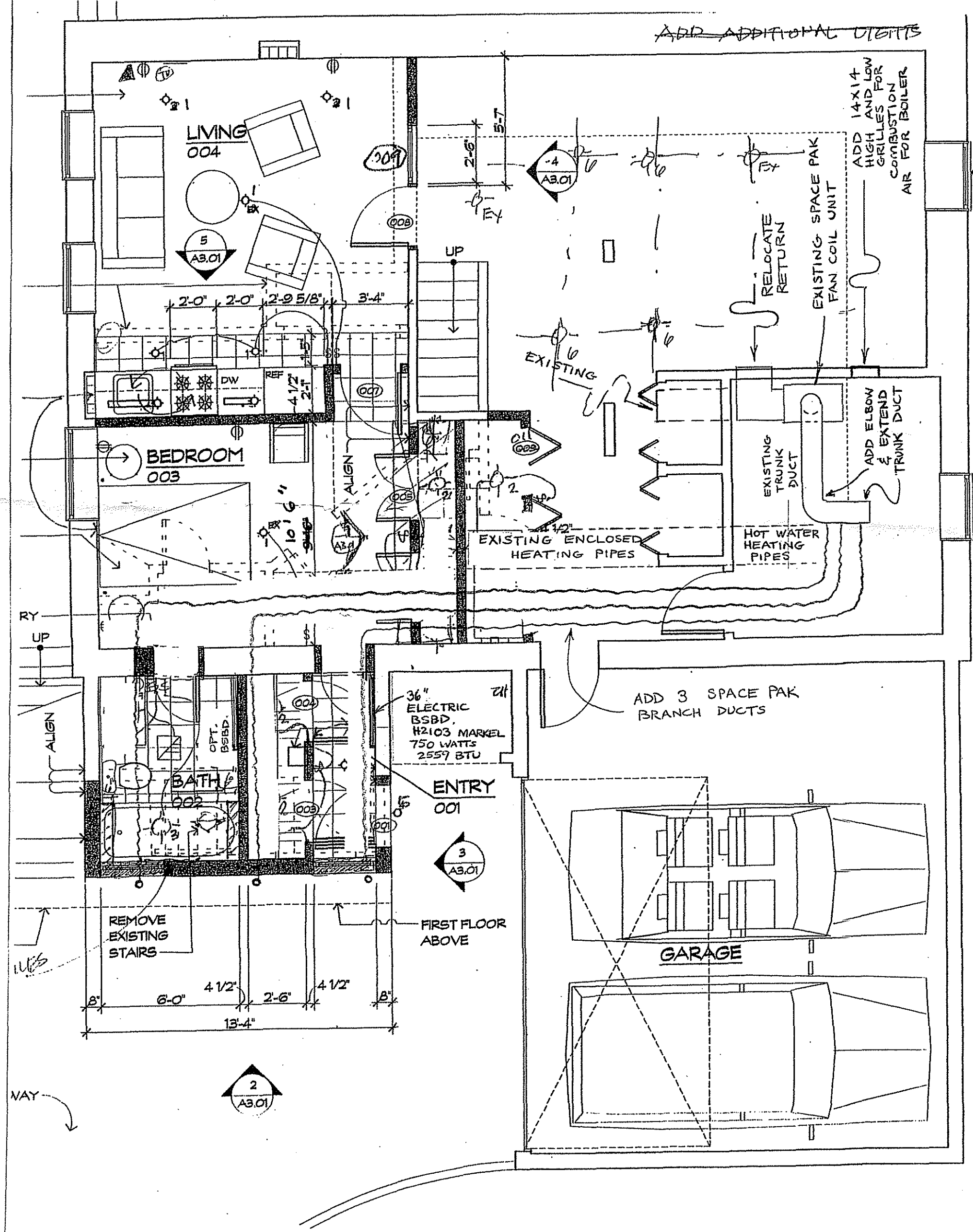
500 to 2500 WATTS

ACCESSORIES

CAT. NO.	MFG. NO.	DESCRIPTION	EACH
1C100	T4988	Wall-Mounted 18-Max Thermal 42" x 42" 1800W, 22 amp @ 240V	36.26
7H040	TB2101	60" x 42" 1800W, 22 amp @ 240V	13.69
7H041	TB2102	Use Mounted Thermal, CPST, 60" x 42" 1800W, 22 amp @ 240V	18.28
7H042	C2100	3" Corner Section, use for 90° inside or outside corner connection of 2 baseboard sections	28.04
7H043	J2100	Joining RT use for end-to-end connection of 2 baseboard sections	8.80

BASEBOARD UNITS

CAT. NO.	MFG. NO.	LENGTH	WATTS	BTUH	EACH
7H031	H2102	24"	500	1705	24.84
7H032	H2103	36"	750	2559	42.23
7H033	H2104	48"	1000	3412	49.72
7H034	H2105	60"	1250	4265	58.18
7H035	H2106	72"	1500	5118	67.54
7H037	H2108	96"	2000	6824	92.32
7H030	H2100	120"	2500	8530	106.98



MCMURRAY DESIGN ARCHITECTURE & INTERIORS

4401 38TH STREET NW WASHINGTON DC 20016 TEL 202.686.6268 FAX 202.686.3327

SACKS HOGG RESIDENCE 35 QUINCY STREET CHEVY CHASE, MARYLAND

JULY 22, 2002

MECHANICAL PLANS

M1.01

APPROVED Montgomery County Historic Preservation Commission [Signature]



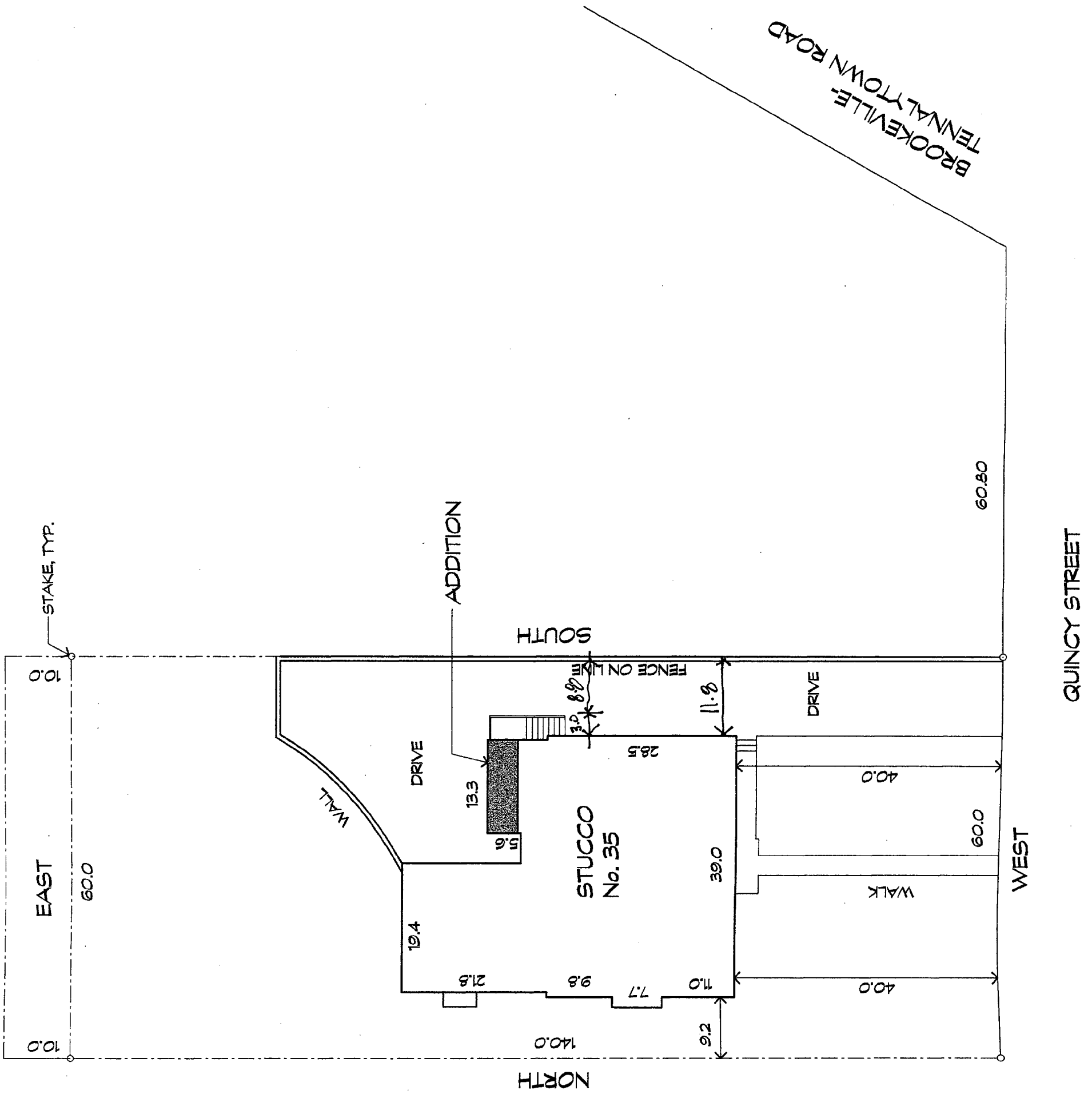
SACKS HOGG  
35 QUINCY STRE  
CHEVY CHASE, N

JUNE 20, 2002

SITE PLAN,  
SPECIFICATIONS

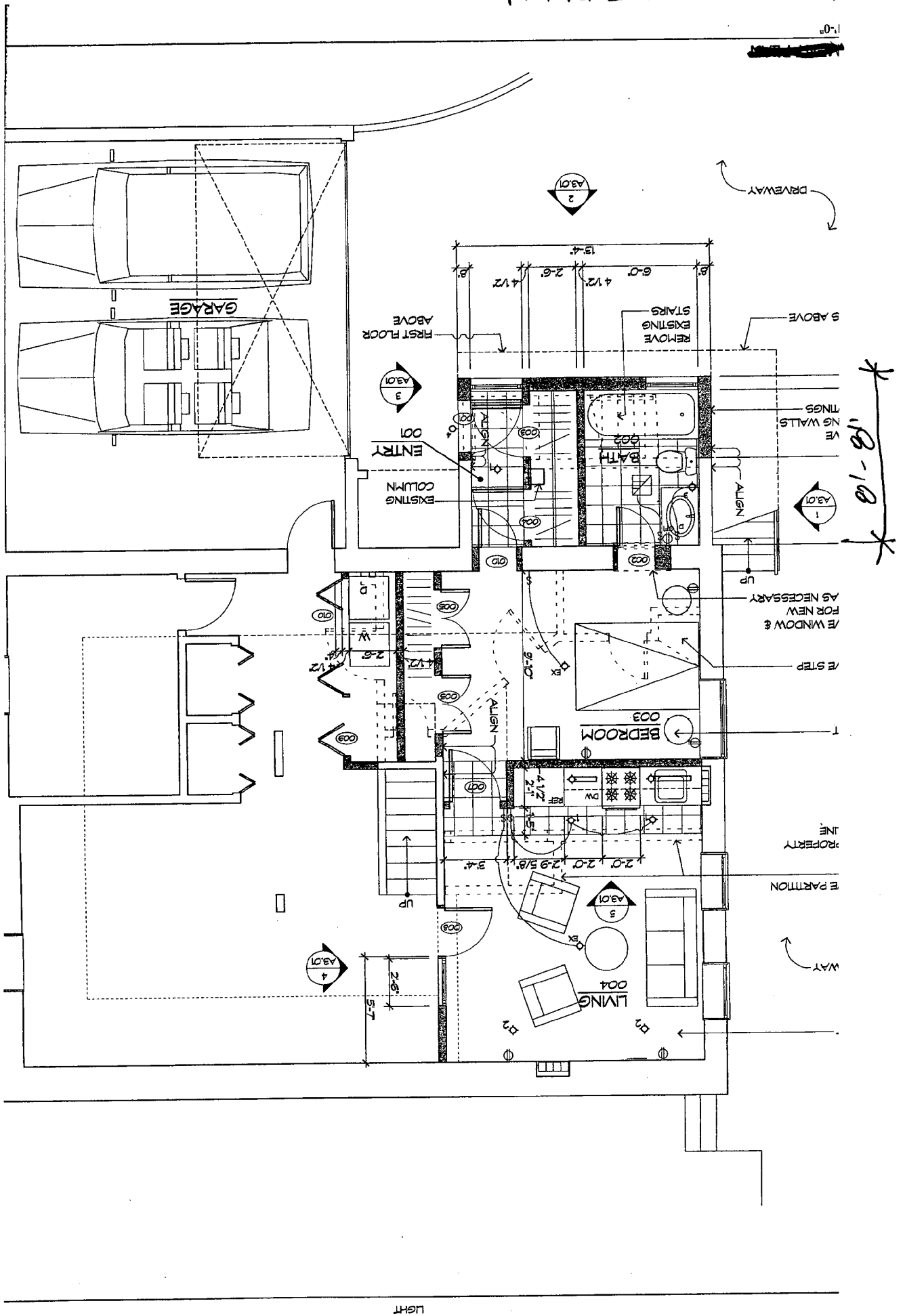
APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 6/7/02

1404



APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]* 07/10/02

**BASEMENT PLAN**

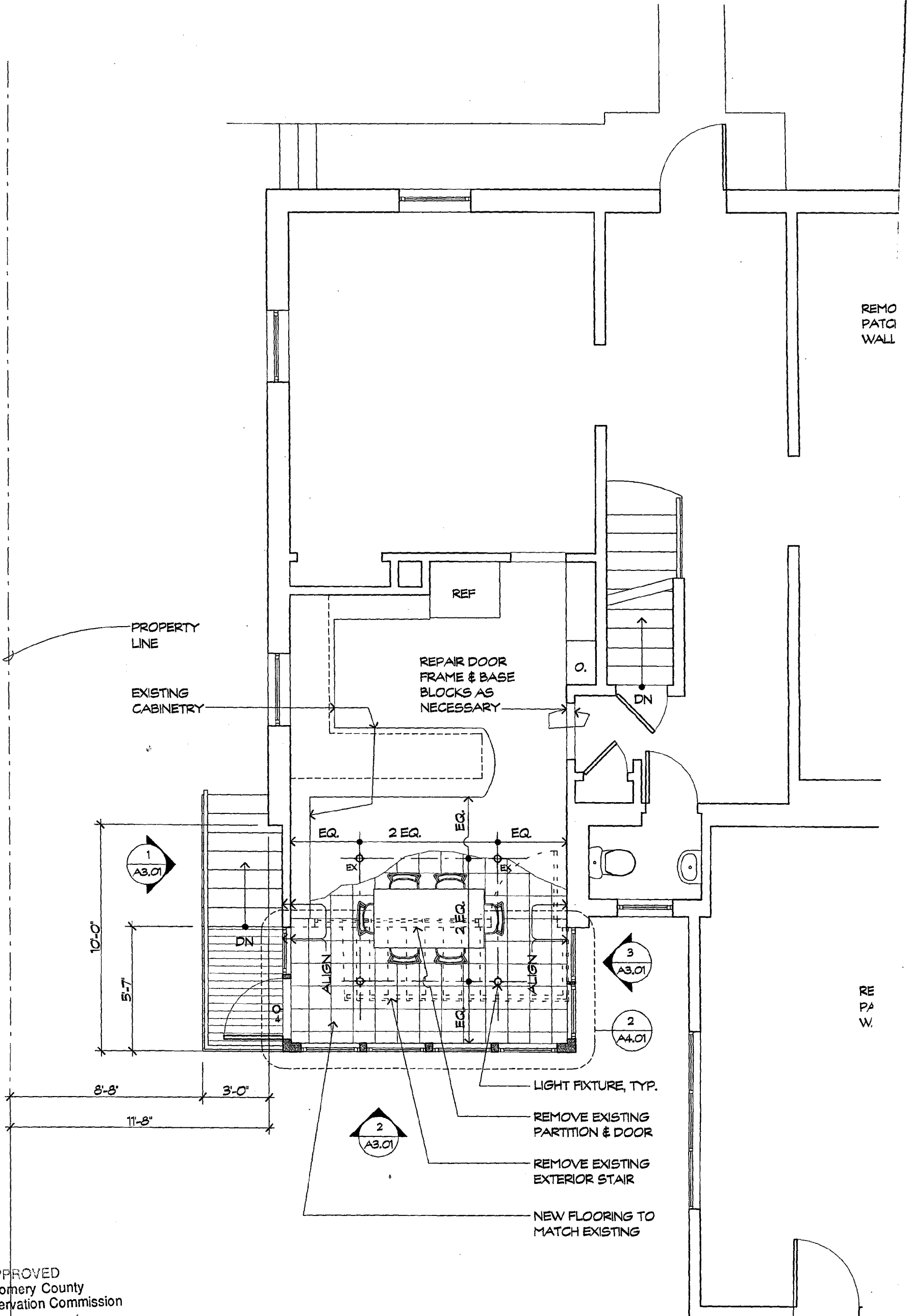


UP

VERIFY ALL DIMENSIONS W/ MFR. PRIOR TO INSTALLATION FOR APPLIANCES OR ADJACENT CABINETS.

LIVING W

REMO  
PATCH  
WALL



PROPERTY LINE

EXISTING CABINETS

REPAIR DOOR  
FRAME & BASE  
BLOCKS AS  
NECESSARY

10'-0"  
5'-7"

1  
A3.01

EQ. 2 EQ. EQ. EQ.

EX

2 EQ.

ALIGN

3  
A3.01

2  
A4.01

8'-8" 3'-0"  
11'-8"

2  
A3.01

LIGHT FIXTURE, TYP.

REMOVE EXISTING  
PARTITION & DOOR

REMOVE EXISTING  
EXTERIOR STAIR

NEW FLOORING TO  
MATCH EXISTING

RE  
PA  
W.

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]* 07/10/02

# FIRST FLOOR BASEMENT PLAN

1  
A2.01 SCALE 1/4"=1'-0"



EXISTING

SDL WINDOWS

SECOND FLOOR  
FINISHED FLOOR

FIRST FLOOR  
FINISHED FLOOR

BASEMENT  
FINISHED FLOOR

1  
AA.O

STUCCO

REAR/NORTH ELEVATION

EXISTING WINDOW  
HEAD HEIGHT

EXISTING SILL  
HEIGHT

NEW WINDOW @  
EXISTING  
LOCATION, TYP.

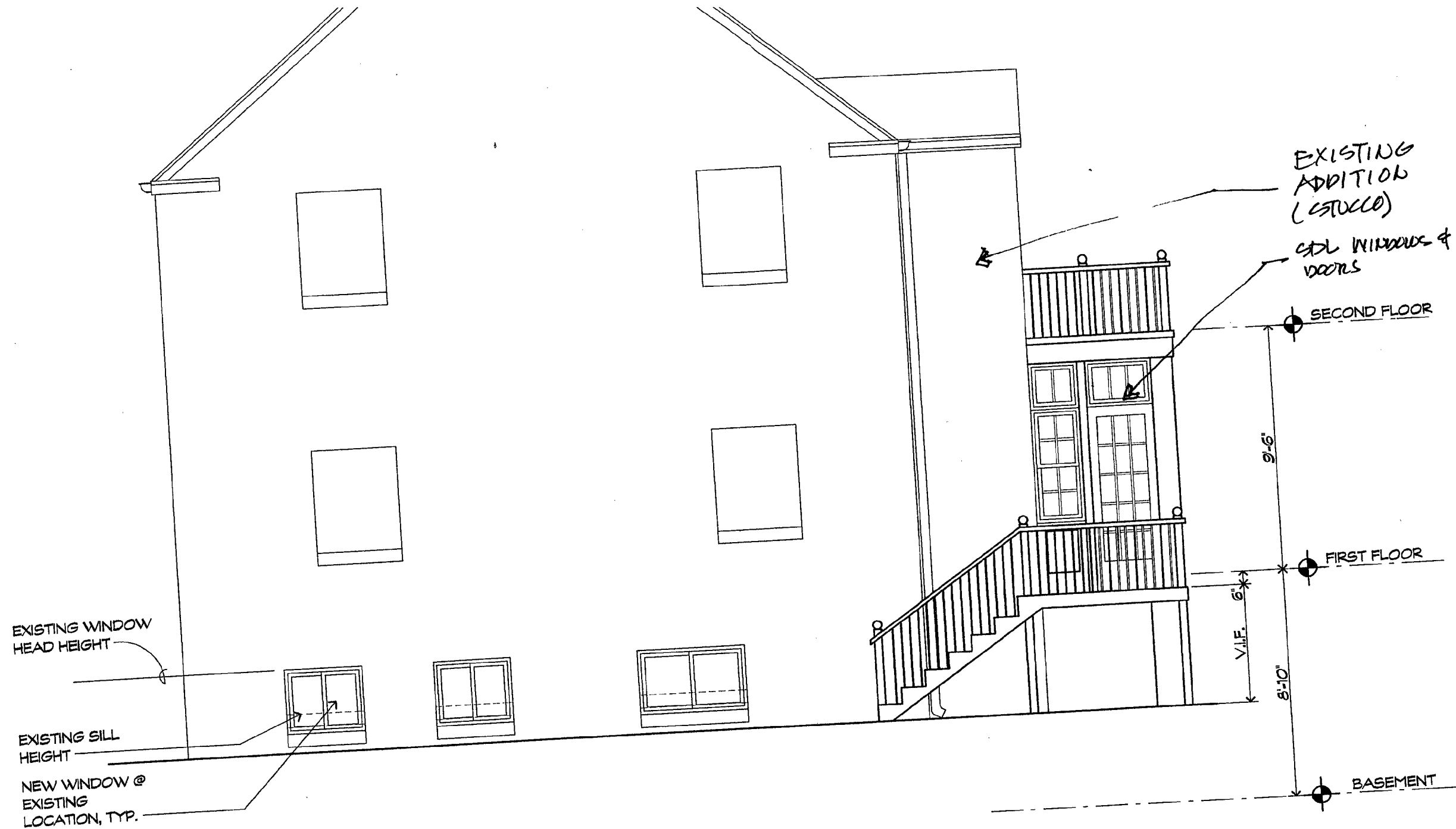
APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 02/20/02

JUNE 2

ELEV

A3.

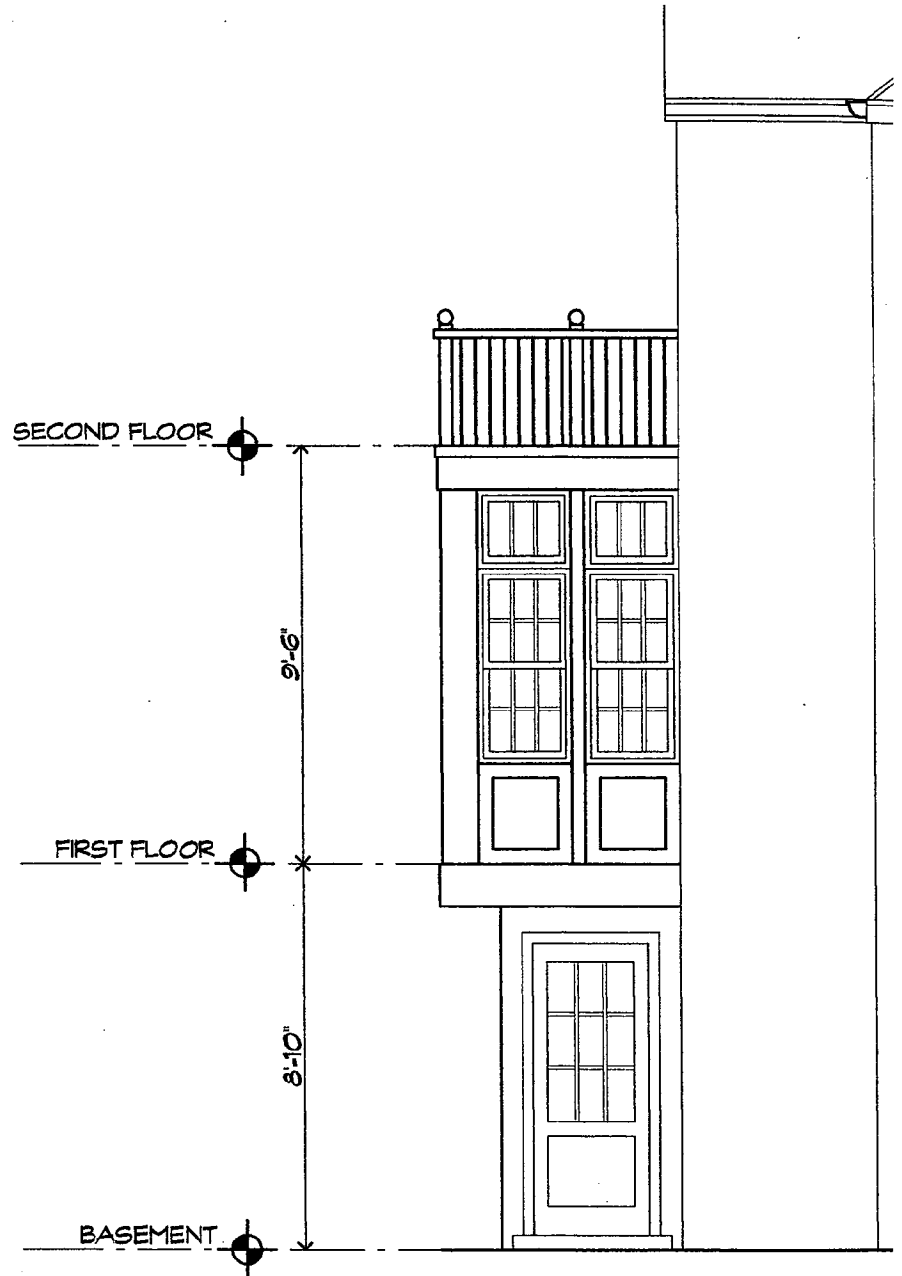
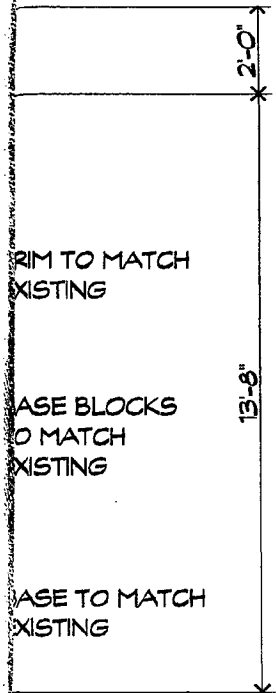
020



1  
A3.01

ELEVATION **EAST**  
SOUTH FACADE  
SCALE 1/4"=1'-0"

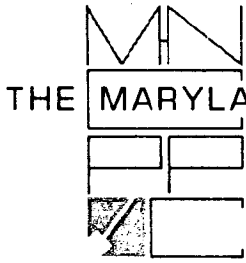
Montgomery County  
Historic Preservation Commission  
*[Signature]* 07/10/12



3  
A3.01

**WEST**  
ELEVATION ~~NORTH~~ FACADE OF ADDITION  
SCALE 1/4"=1'-0"





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 7/10/02

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

C:\hawpapr.wpd



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

**MEMORANDUM**

DATE: 7/10/02

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC  
Robin D. Ziek, Historic Preservation Planner  
Perry Kapsch, Historic Preservation Planner  
Corri Jimenez, Historic Preservation Planner

SUBJECT: Historic Area Work Permit Application - HPC Decision

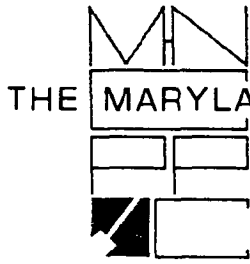
HAWP# 35/3-020  
DPS# none received

---

The Historic Preservation Commission reviewed this project on 35 Quincy Street.  
A copy of the HPC decision is enclosed for your information.

Thank you for providing your comments to the HPC. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301) 563-3400.





Date: 7/10/02

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

HAWP# 35/3-020  
DPS# None received

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

X Approved

Approved with Conditions: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Steve Sacks & Charlotte Hogg

Address: 35 Quincy Street, Chevy Chase Historic District

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.



RETURN TO DEPARTMENT OF PERMITTING SERVICES  
285 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6310

DPS # 8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MCCAIN MCMURRAY  
Daytime Phone No.: 202 680 6268

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: STEVE SACKS & CHARLOTTE MOGG Daytime Phone No.: \_\_\_\_\_  
Address: 35 QUINCY STREET CHEVY CHASE MD 20915  
Street Number City Street Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_  
Address: \_\_\_\_\_

LOCATION OF BUILDING/PENITISE  
House Number: 35 Street: QUINCY  
Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PLAT BOOK 12  
PLAT 106

### PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/renovate  Add  Slab  Floor Addition  Porch  Deck  Shed  
 Move  Install  Wreck/dem  Solar  Erection  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other \_\_\_\_\_

### PART THREE: COMPLETE ONLY ON FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing applications, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: \_\_\_\_\_ Date: \_\_\_\_\_

Approved: ✓ g For Chairman, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 7/10/02  
Application/Permit No.: \_\_\_\_\_ Date Issued: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

35/13-020

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXTEND BASEMENT & ALTER FOR AU PAIR  
QUITE & EXTEND KITCHEN AREA FOR  
BREAKFAST ROOM.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE NEW ADDITION IS ONTO AN EXISTING  
ADDITION ON THE REAR OF THE HOUSE

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17", 1/4" on 1/2" x 11", hard copy are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the crown of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301) 779-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
<b>Owner's mailing address</b> STEPHEN SACKS 35 QUINCY ST CHEVY CHASE MARYLAND 20815	<b>Owner's Agent's mailing address</b> MCCAIN MCMURRAY 4401 38TH ST NW WASHINGTON DC 20016
<b>Adjacent and confronting Property Owners mailing addresses</b>	
JEANNE R. DEESIDE 33 QUINCY ST  301 652 2337	LT COL ERIC MYRLAND 37 QUINCY ST  301 652 2962
THOMAS & DALE BOURKE 30 QUINCY ST  301 652 7566	DAVID & CAROLYN ABBEY 34 QUINCY ST  301 657 0706

g:addresses: noticing table

## Wright, Gwen

---

**From:** Bourke, Tom [tom.bourke@whihomes.com]  
**Sent:** Tuesday, July 09, 2002 11:31 AM  
**To:** HPC fax; Kephart, Perry; Naru, Michele (M-NCPPC); Wright, Gwen; Ziek, Robin  
**Cc:** Elliott, Bob; Feldman, Gail; Jacobs c/o angela muckenfuss; Marsh, Joan; Stephens, Betsy; Wellington, P. (ccv)  
**Subject:** HPC Hearing 7/10/02 -- 35 Quincy St

The following are the comments from the Chevy Chase Village Local Advisory Panel for the agenda item for the HPC Hearing on July 10, 2002:

35 Quincy Street  
Sacks-Hogg Residence  
Primary Resource

Proposal for rear alteration for kitchen etc.  
Staff Recommendation: Approval without conditions  
LAP concurs with the recommendation for approval without conditions other than normal filing requirements with HPC staff. As is our usual policy, with this addition on the rear of the property, we recommend maximum flexibility for the use and enjoyment of the owners.

Submitted for the LAP by  
Tom Bourke, Chair

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 07/10/02

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760



THE  
MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING  
COMMISSION









