

35/13-02P 15 Newlands Street  
Chevy Chase Village Historic District

0

## MEMO

Date: August 14, 2002

RE: Revised conditions for 15 Newlands St., Chevy Chase Village,  
Case No. 35/13-02P

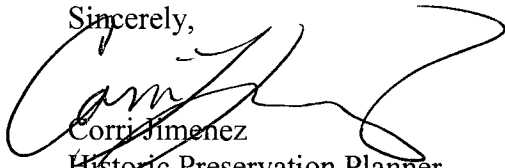
After the Historic Preservation Commission approved the Staff Report for **15 Newlands St.** (Case No. 35/13-02P), for the rear addition over two existing additions, the applicant approached Staff afterwards to ask to add to the report the restoration of the front porch. Presently, the porch is a lean-to that covers the entire front and has asphalt shingles.

The restoration the applicant is proposing will be to remove the asphalt shingles and replace it with standing seam copper. The applicant is also proposing to add a gable to the front, and is planning to supply Staff with a written description as well as images of neighboring properties, which have this type of porch.

This concept will be reviewed by Staff before fully approved and submitted to DPS. This is a condition and an amended item to the original Staff Report, and Staff is aware of this change to the original HAWP.

Questions and concerns about this can be brought to the attention of the Historic Preservation Staff, 301-563-3400, for further information.

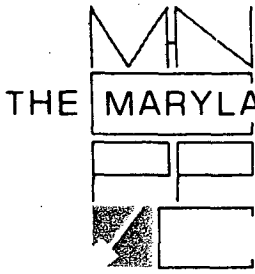
Sincerely,



Corri Jimenez

Historic Preservation Planner

Maryland-National Capital Park & Planning Commission



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 08/14/02

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

DPS# 283285  
HAWP# 35/13-02P

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

\* If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

\* Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

C:\hawpapr.wpd



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Therese White

Daytime Phone No.: (301) 402-5886

Tax Account No.: 00455031

Name of Property Owner: JON + THERESE WHITE Daytime Phone No.: (301) 402-5886

Address: 15 NEWLANDS ST CHEVY CHASE MD 20815
Street Number City State Zip Code

Contractor: PRINCE CONSTRUCTION + DESIGN CO Phone No.: 301 652-4009

Contractor Registration No.: NA

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 15 Street: NEWLANDS ST

Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE RD

Lot: 12 Block: 54 Subdivision: 009

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
Revision Repair Revocable Fence/Wall (complete Section 4) Other:

1B. Construction cost estimate: \$ 108,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

2 1/2 story stucco + frame single family house (1376 sq ft footprint)  
in residential neighborhood (Section 2 Chevy Chase)  
with attached screened porch (180 sq ft) on back of house

No known historical features.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

① Remove screened porch and add 320 sq ft single level addition.  
② Add 180 sq ft second floor addition above kitchen.

Architectural design of both additions will be stucco + frame to match existing structure.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

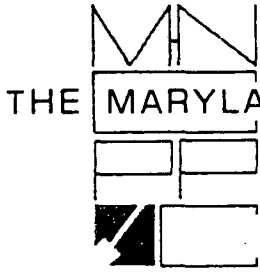
- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic print of the resource as viewed from the public right-of-way of the adjoining properties. All labels should be placed on the front of photographs.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 08/14/02

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

DPS # 203285  
HAWP # 35/13-02P

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

       Approved

X Approved with Conditions: ① Reuse two of the historic windows from the second floor, north elevation if possible depending on their condition; ② Work with staff on the restoration of front porch.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Jon & Therese White

Address: 15 Newlands Street, Chevy Chase

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.

**Attachment to Application for HAWP for 15 Newlands Street, Chevy Chase, MD  
Addresses of Adjacent and Confronting Property Owners**

Barbara Cutriss  
11 Newlands Street  
Chevy Chase, MD 20815

Robert and Susan Morgenstein  
16 Newlands Street  
Chevy Chase, MD 20815

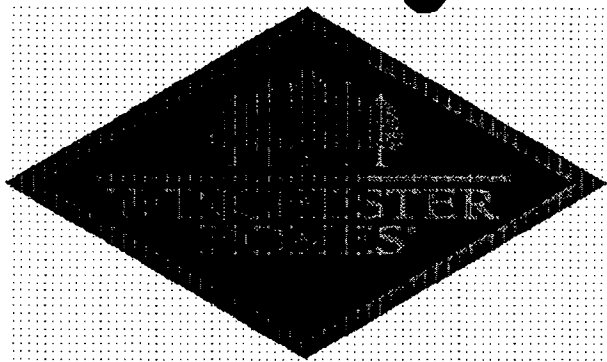
Frank and Dawn Saul  
14 Newlands Street  
Chevy Chase, MD 20815

Paul and Robin Perito  
7 Newlands Street  
Chevy Chase, MD 20815

Arthur J. Phelan  
6303 Brookville Road  
Chevy Chase, MD 20815

Richard Haass and Susan Mercandetti  
14 Oxford Street  
Chevy Chase, MD 20815

Please note that time displayed on cover is PST



# Facsimile Cover

*Corri - F.Y.I.  
See*

**To:** HPC Staff (for next

**From:** Bourke, Tom

**Fax Number:** +1 (301) 563-3412

**Subject:** LAP

**Date:** August 07, 2002

**Pages:** 1

**Note:** The following are the comments by the Chevy Chase Local Advisory Panel for an agenda item on the 8-14-02 Hearing

White residence - 15 Newlands St  
Proposed rear addition  
The LAP recommends approval without conditions.

Submitted for the LAP by Tom Bourke, Chair

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]* 08/14/02





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

2 August '02

July 29, 2002

I live on 14 Oxford St, in the house behind the Whites (14 newlands) and therefore facing their proposed addition. I have no objection whatsoever to their plans.

**MEMORANDUM**

Richard Howard  
(301) 986-8931

TO: Interested Property Owners

FROM: Perry Kapsch, Historic Preservation Planner  
Robin Ziek, Historic Preservation Planner  
Corri Jimenez, Historic Preservation Planner  
Historic Preservation Section  
M-NCPPC

SUBJECT: Historic Preservation Commission Review of HAWP Applications

---

The Historic Preservation Commission has received an Historic Area Work Permit (HAWP) application for a property in your neighborhood. The enclosed agenda lists the HAWP applications currently under review.

Please note the Commission's meeting date, time, and location on the agenda. You are welcome to attend this meeting and, if you wish, you may offer comments and information to the Commissioners. You may also submit written comments in advance of the meeting to the Commission at the letterhead address.

HAWP applications are on file at the office of the Commission's staff. To see them, or to ask questions about the meeting, the HAWP application process, or other historic preservation matters, please call any of us at 301-563-3400.

c:\owner.wpd

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]* 08/14/02

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

|                     |   |                       |               |
|---------------------|---|-----------------------|---------------|
| <b>Address:</b>     | 15 Newlands Street                        | <b>Meeting Date:</b>  | 08/14/02      |
| <b>Applicant:</b>   | Jon & Therese White                       | <b>Report Date:</b>   | 08/07/02      |
| <b>Resource:</b>    | Chevy Chase Village<br>Historic District  | <b>Public Notice:</b> | 07/31/02      |
| <b>Review:</b>      | HAWP                                      | <b>Tax Credit:</b>    | None          |
| <b>Case Number:</b> | 35/13-02P                                 | <b>Staff:</b>         | Corri Jimenez |
| <b>PROPOSAL:</b>    | Rear addition over two existing additions |                       |               |
| <b>RECOMMEND:</b>   | Approve with conditions                   |                       |               |

---

**CONDITION**

1. Reuse two of the historic windows from the second floor, north elevation if possible depending on their condition.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource  
**STYLE:** Colonial Revival  
**DATE:** c. 1892-1916

**PROPOSAL**

The applicant proposes to:

1. Construct a second story over an existing first story addition. This addition will be stucco-covered and painted beige like the house. The roof will be flat standing seam copper. Two 6/6 windows will be reused from the second story east elevation on the new east elevation.
2. Remove a screened porch addition and construct a first story addition. This addition will also be stucco-covered and painted the same color as the house. The roof will be gable standing seam copper. The tri-partite 6/6 double hung wood

windows that are currently on the first floor will be reused on the north elevation of this addition.

3. Hand-dig foundation footings due to the close proximity of a historic ash and oak tree.

### STAFF DISCUSSION

15 Newlands Street is a 2-½ story Colonial Revival that is stucco-covered and has a side gable slate roof. A rear slate sheathed dormer was approved by a HAWP and added on to the rear of the house in October 1999. The applicants want to build on top of two existing additions, which will have little effect to the historic resource. In addition, the owners will be reusing windows from the side intersecting addition that was constructed 5 years ago. The existing first story will be built up to the second story, and 6/6 double hung windows will be reused from the east elevation although on the north, they propose two 4/4 casement windows. The roof will be standing seam copper.

A first story will also be constructed in front of this addition over an existing screened in porch that is also an addition. The fenestration on the north elevation will be reusing the windows from the existing north side, which is a tri-partite 6/6 double hung window and a half-circle window will be added to the top to make it Palladian in appearance. Two 6/6 narrow side windows will be parallel to the larger window. The roof on this addition will be standing seam copper with a gable. Two of the same narrow windows seen in the tri-partite window on the north elevation will also be used on the east elevation.

Due to the close proximity of two historic trees, footings will be hand-dug and selectively spaced for the foundation of the first story addition so as not to harm the roots of the trees. The historic trees, an ash and double-trunked oak, are approximately a foot in diameter and are primary to the lot. This recommendation was proposed by the city arborist and supported by the homeowners.

Staff recommends that two historic 6/6 windows on the second floor, north elevation be reused on the building.

### STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 25A-8(b) 1:

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

and with the Secretary of the Interior's *Guidelines #9 & #10*:

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

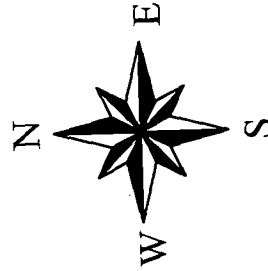
New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the conditions:

Reuse two of the historic windows from the second floor, north elevation if possible depending on their condition.

with the general conditions applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work, and within two weeks following completion of work.

# Chevy Chase Village Historic District



0.06 Miles

0.03

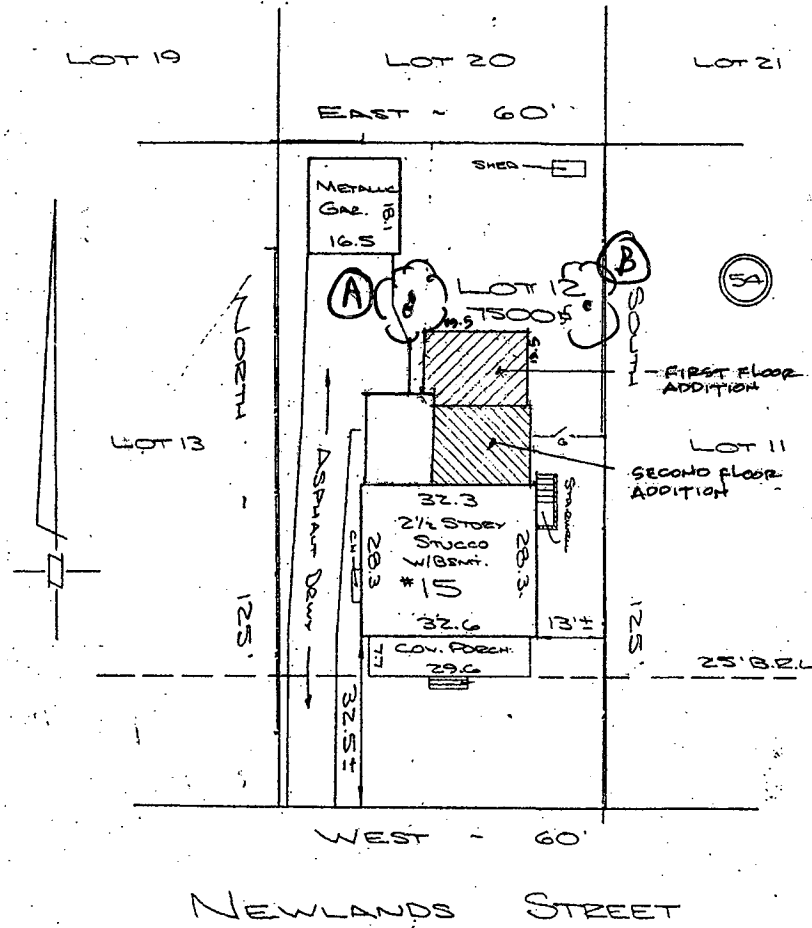
0

0.03



APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]* 08/14/02



SITE PLAN



White Residence  
15 Newlands Street  
Chevy Chase, MD 20815

Site Plan  
Specifications

SCALE  
1" = 20'  
DATE

1

Historic Trees

A.) OAK Tree (double trunks), dia. approx. 1 1/2'

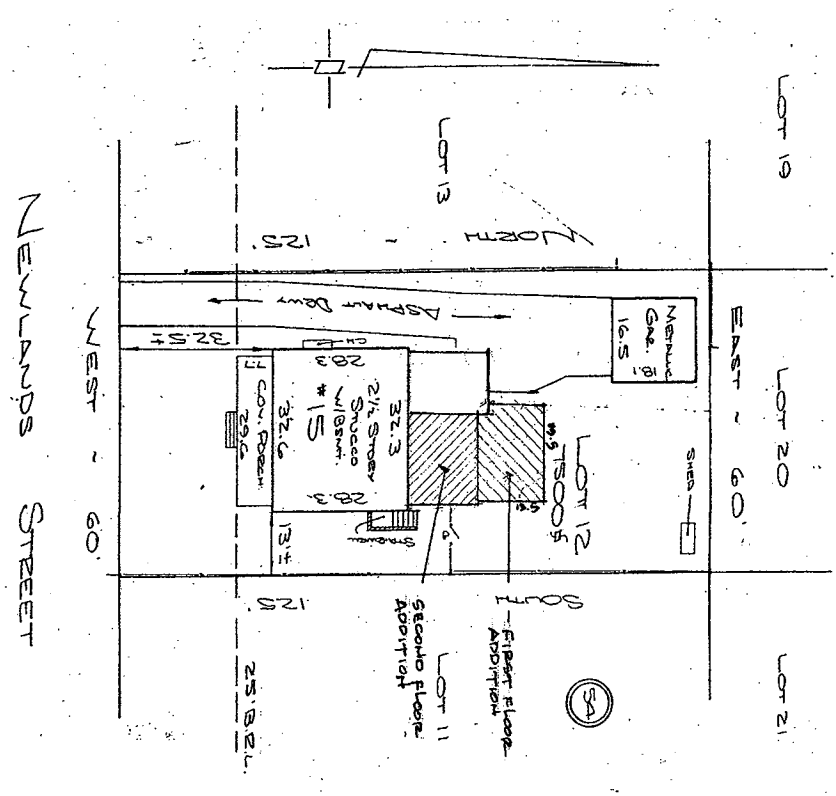
B.) Ash Tree, dia. approx. 1'

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 08/14/02

Not for  
Construction  
3/20/02



APPROVED  
 Montgomery County  
 Historic Preservation Commission  
 08/14/02



SITE PLAN  
 1" = 20'



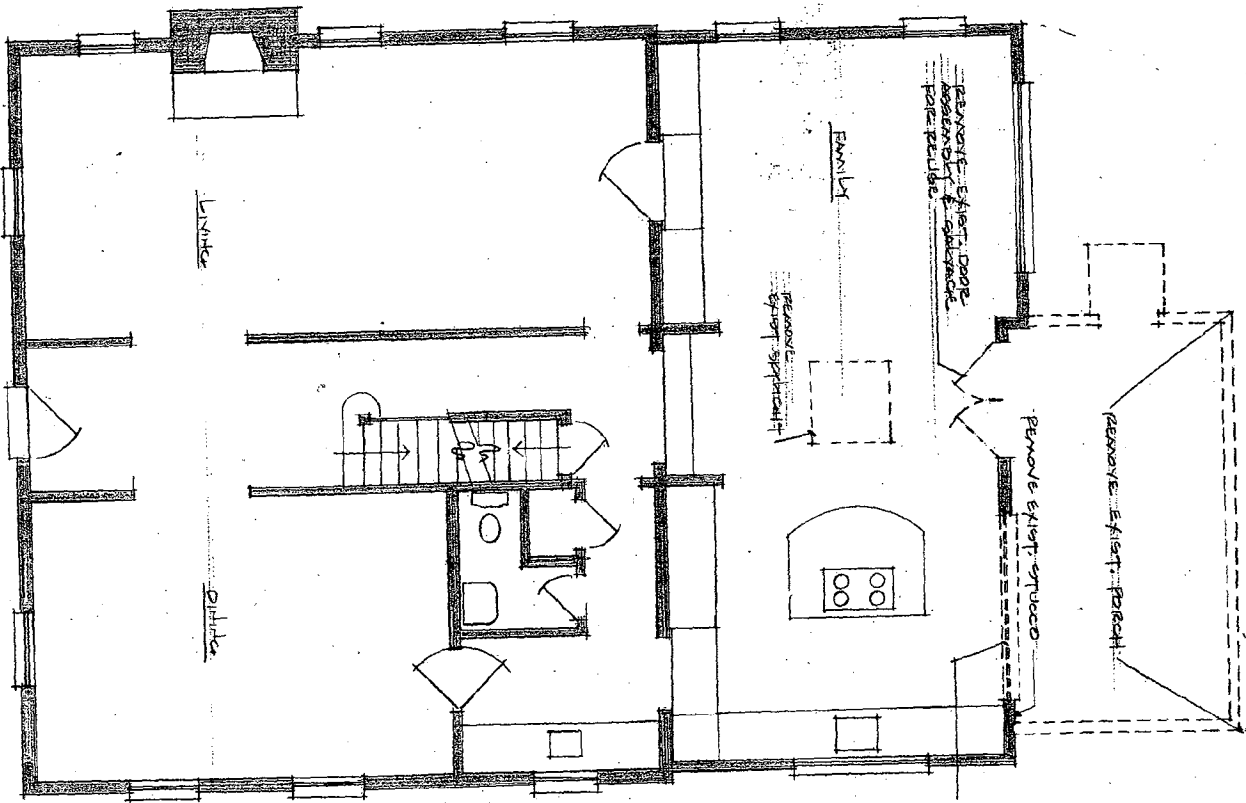
For Information  
 Only  
 08/14/02

DATE: 8/14/02  
 SCALE: 1" = 20'

Site Plan  
 Specification

White Residence  
 15 Newlands Street  
 Chevy Chase, MD 20815

First Floor Plan - Existing & Demolition



APPROVED  
 Montgomery County  
 Historic Preservation Commission

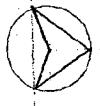
*[Signature]* 08/14/02

2

DATE: 08/14/02  
 SCALE: 1/8" = 1'-0"

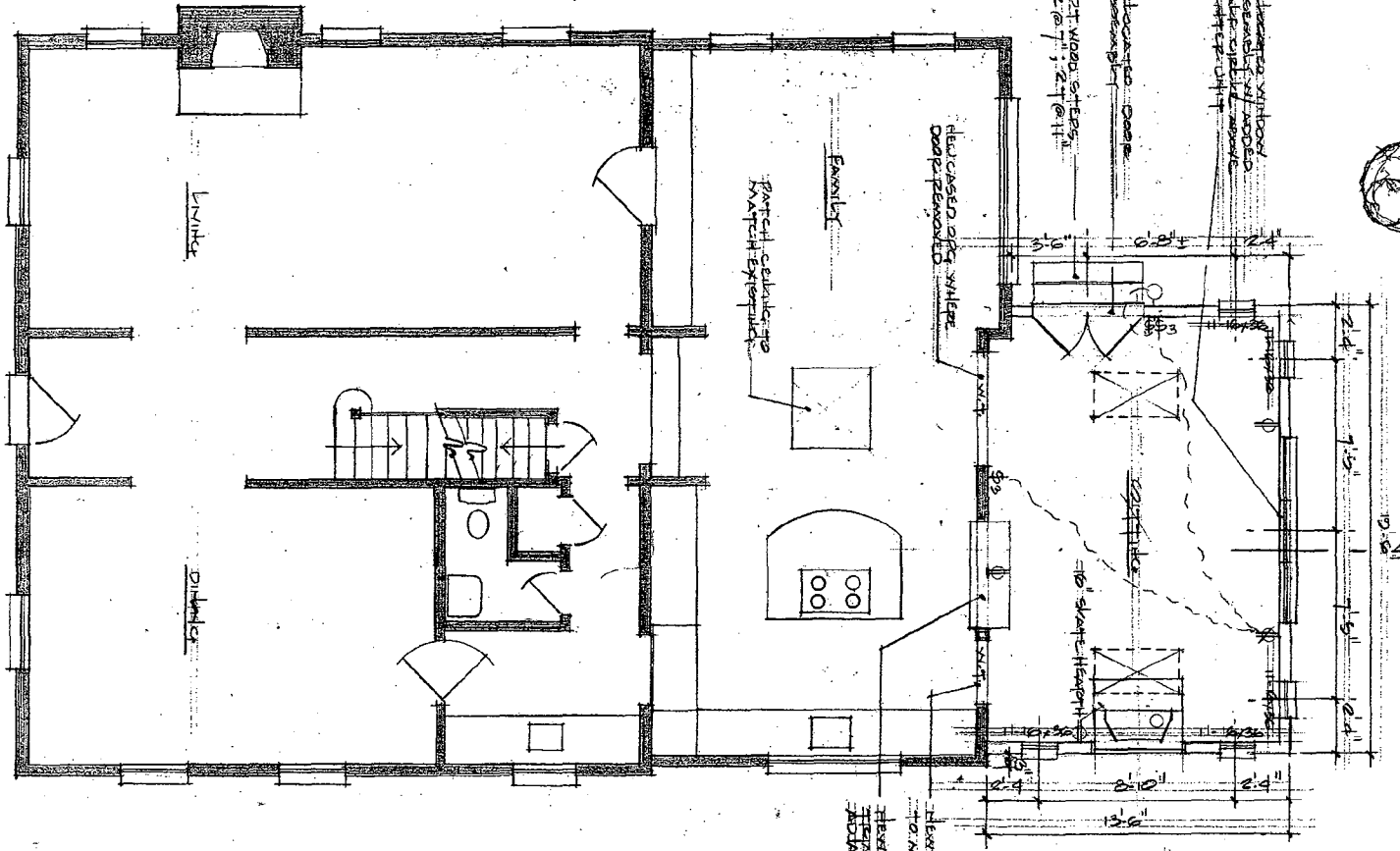
First Floor Plan -  
 Existing &  
 Demolition

White Residence  
 15 Newlands Street  
 Chevy Chase, MD 20815





First Floor Plan - Existing & New Construction

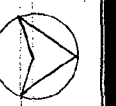
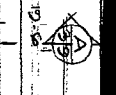


APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]* 08/14/02

NEW 3/2" WIDE CASING AND  
TO MATCH EXISTING  
NEW 5/8" x 20" SILLING 42" APF  
FOR DOOR TO MATCH EXISTING  
ADDITIONAL CASING AND  
SILLING

OVER FIREPLACE  
HEARTH AND  
COPING



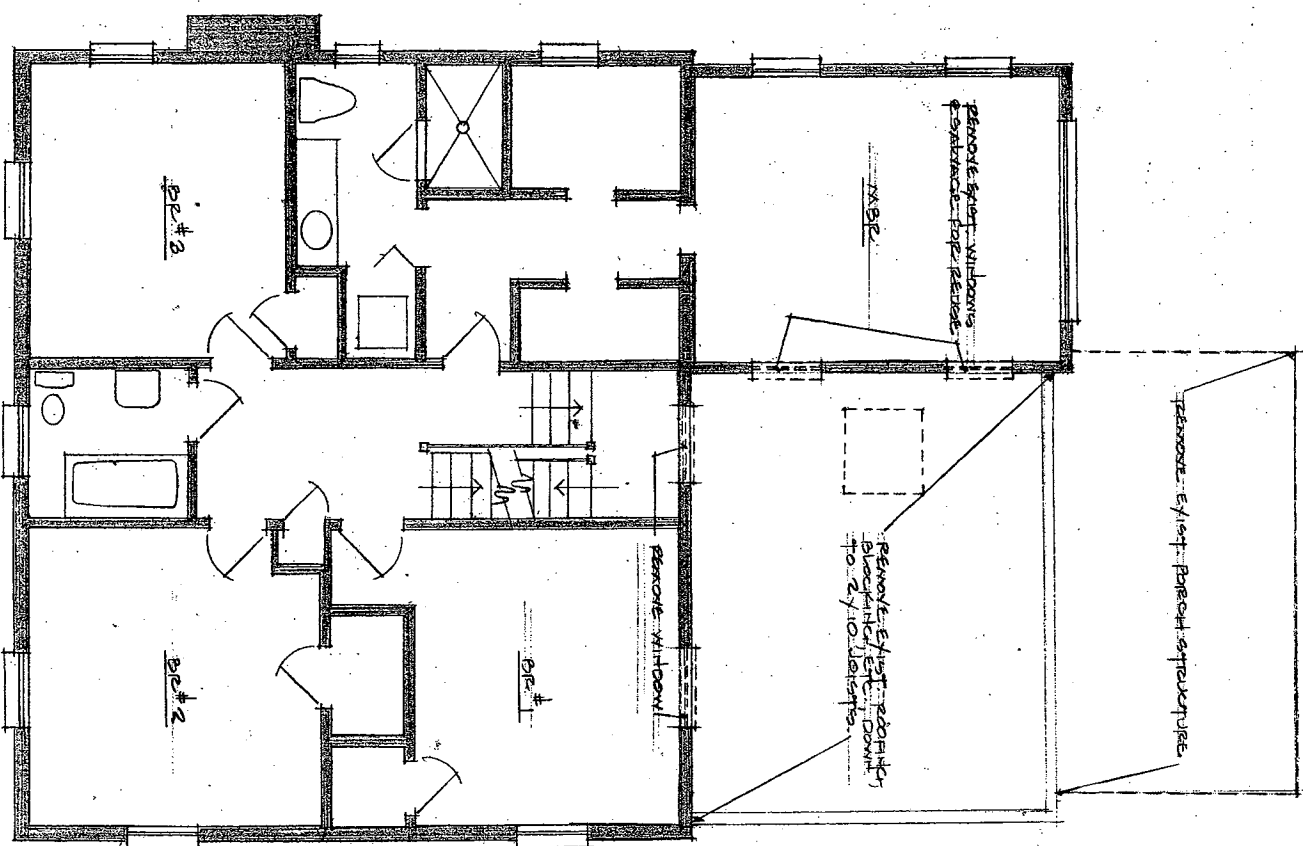
3

DATE  
SCALE  
1/4" = 1'-0"

First Floor Plan -  
Existing & New  
Construction

White Residence  
15 Newlands Street  
Chevy Chase, MD 20815

SECOND FLOOR PLAN - EXISTING & DEMOLITION



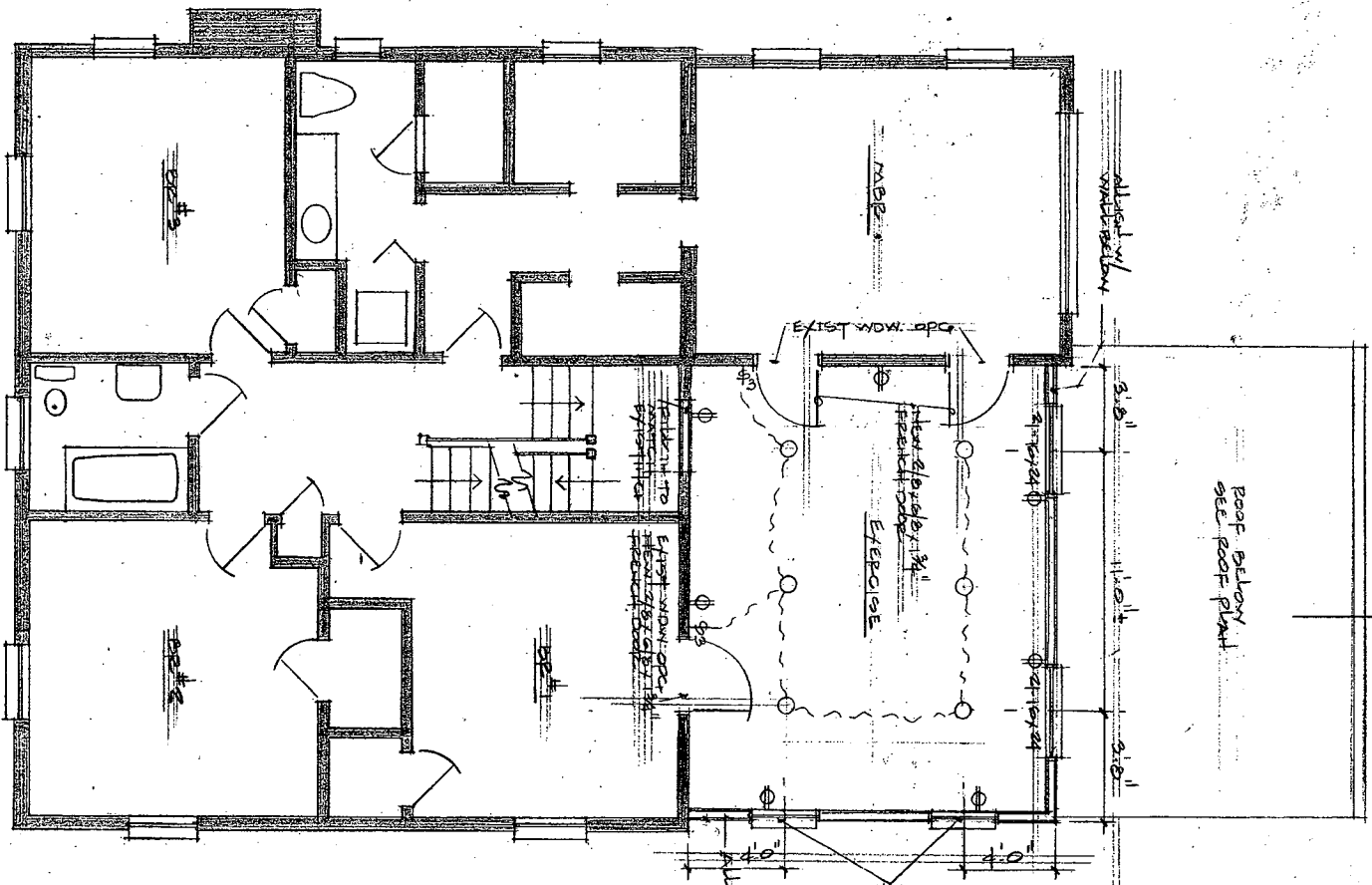
APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]* 08/14/02



|   |                                    |  |   |  |
|---|------------------------------------|--|---|--|
| 4 | DATE: _____<br>SCALE: 1/4" = 1'-0" | <b>Second Floor Plan -<br/>         Existing &amp;<br/>         Demolition</b> | <b>White Residence<br/>         15 Newlands Street<br/>         Chevy Chase, MD 20815</b> |  |
|---|------------------------------------|--|---|--|

SECOND FLOOR PLAN - EXISTING & NEW CONSTRUCTION



APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]* 08/14/02

5

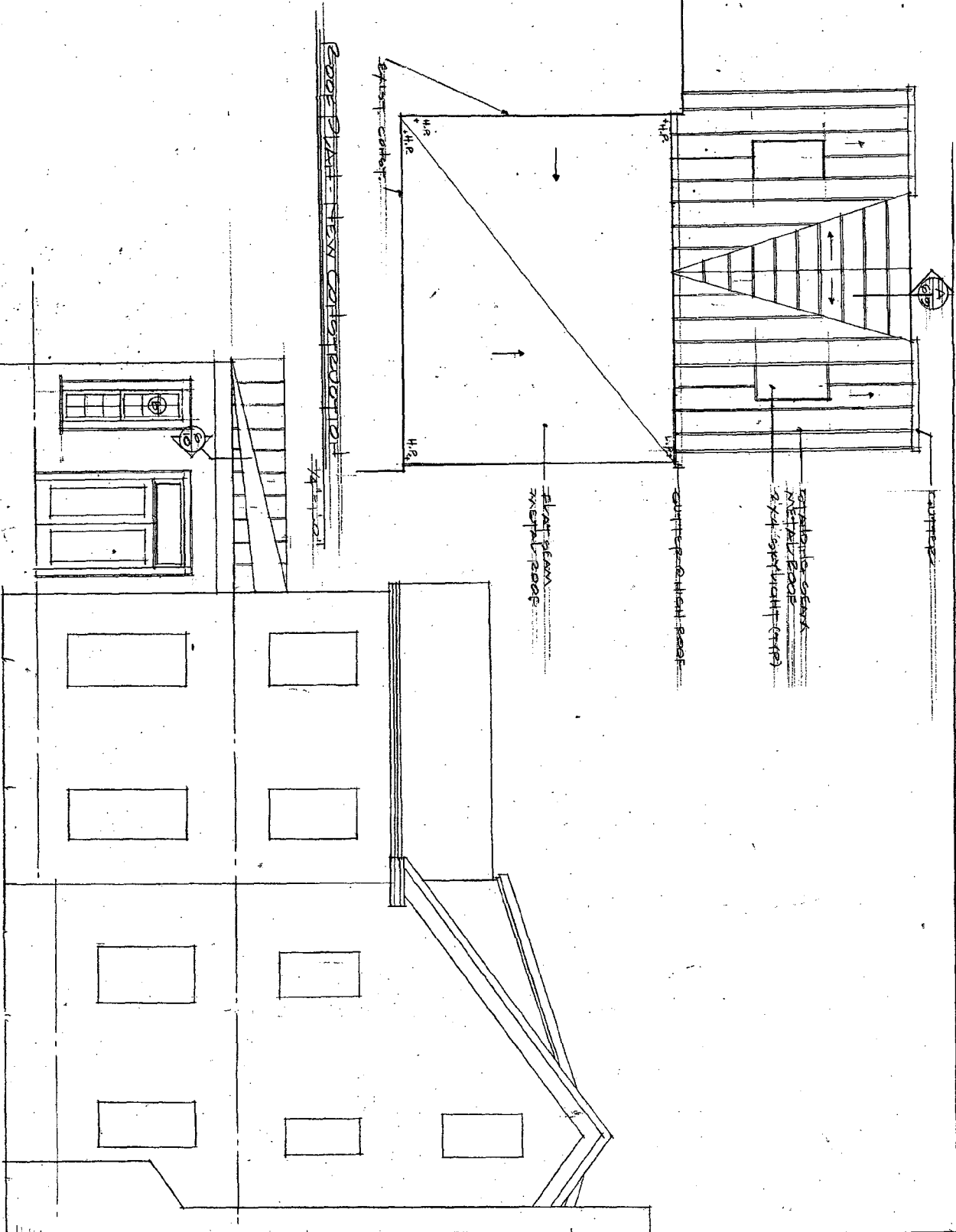
DATE: 08/14/02  
SCALE: 1/4" = 1'-0"

Second Floor Plan -  
Existing & New  
Construction

White Residence  
15 Newlands Street  
Chevy Chase, MD 20815

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*  
08/14/02



PARTIAL WEST ELEVATION

*[Scale indicator]*

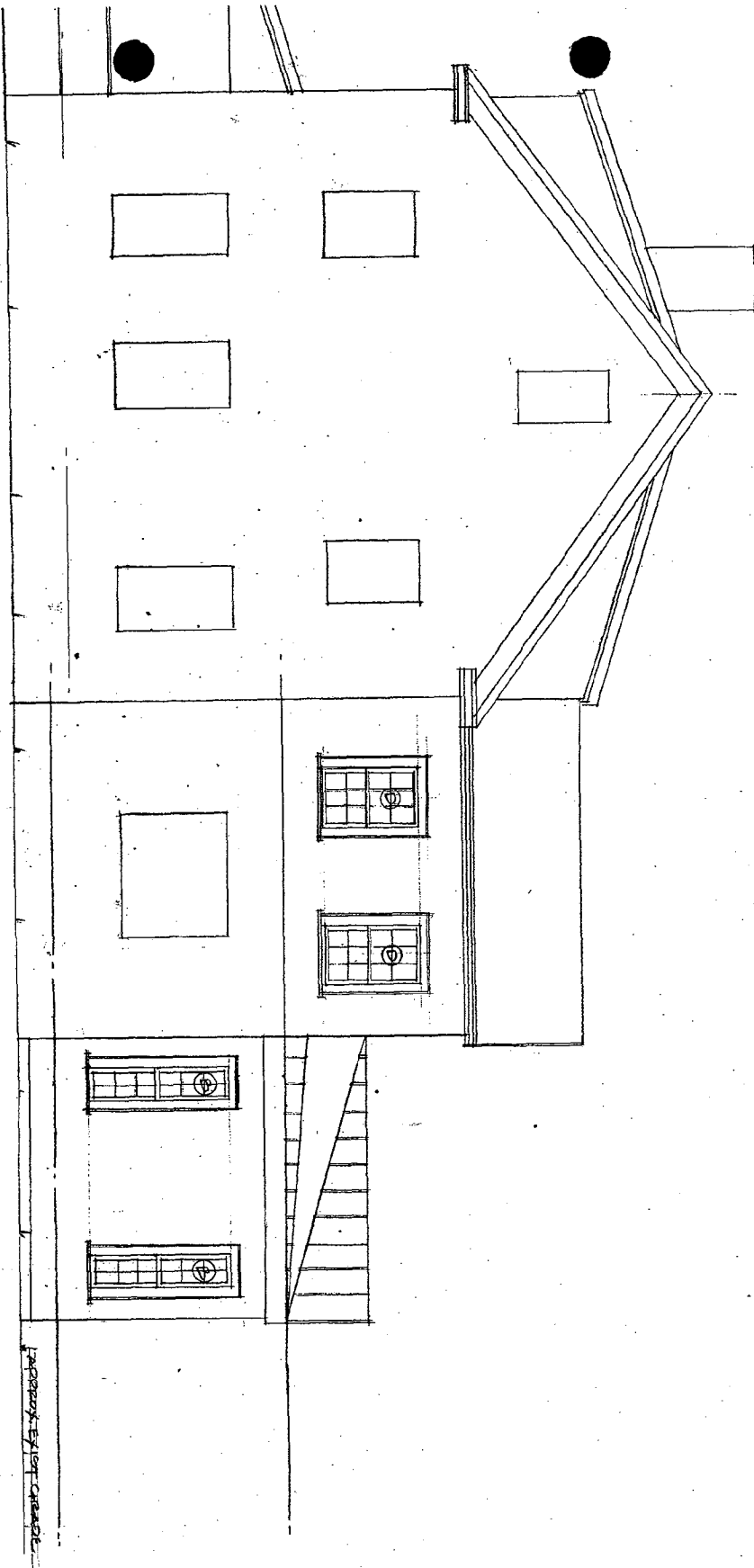
Partial West  
Elevation  
Roof Plan

White Residence  
15 Newlands Street  
Chevy Chase, MD 20815

6

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Handwritten Signature]*  
08/14/02



EAST ELEVATION

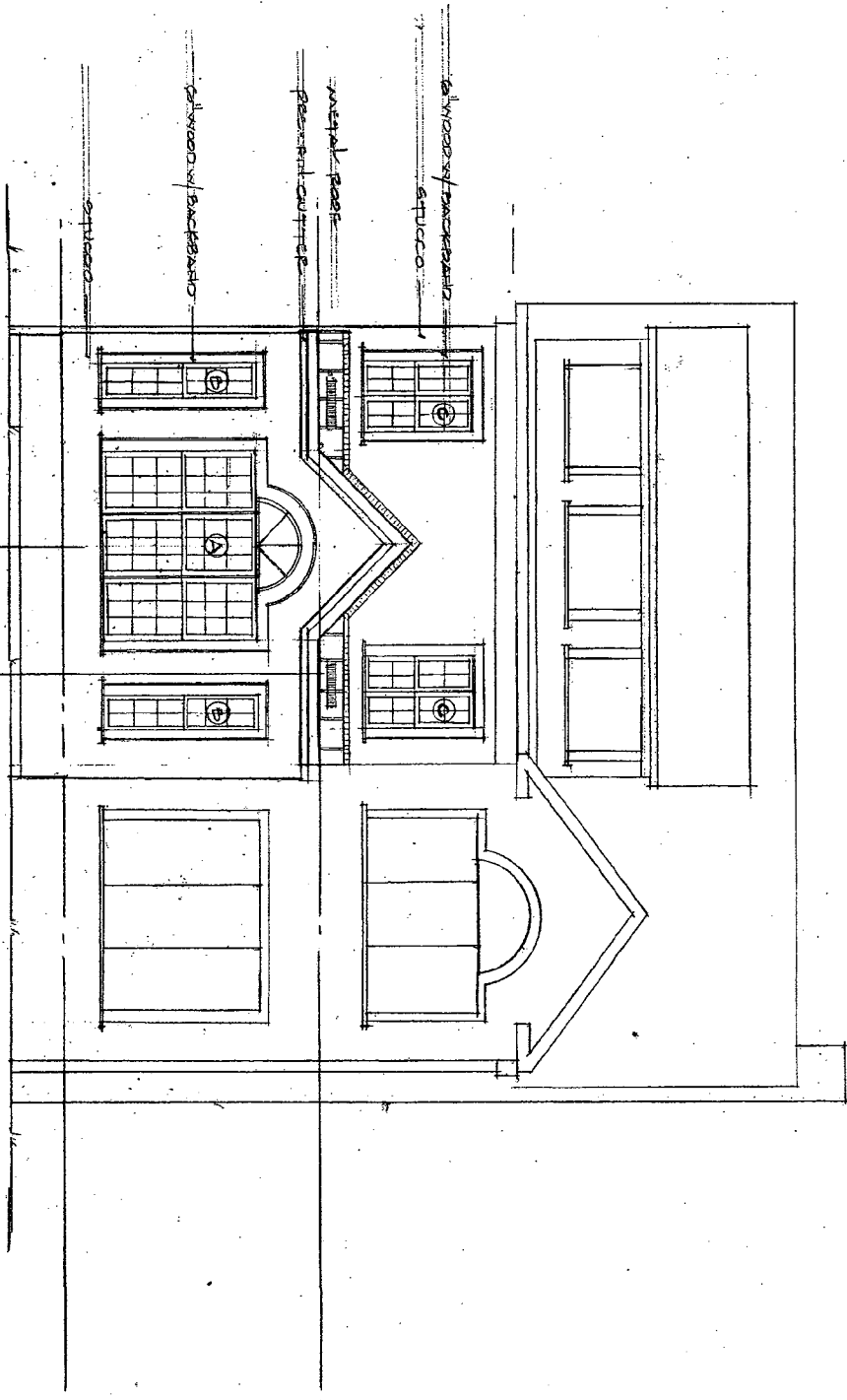
*[Handwritten mark]*

*[Vertical handwritten note]*

East Elevation

White Residence  
15 Newlands Street  
Chevy Chase, MD 20815

7



NORTH ELEVATION  
1/4" = 1'-0"

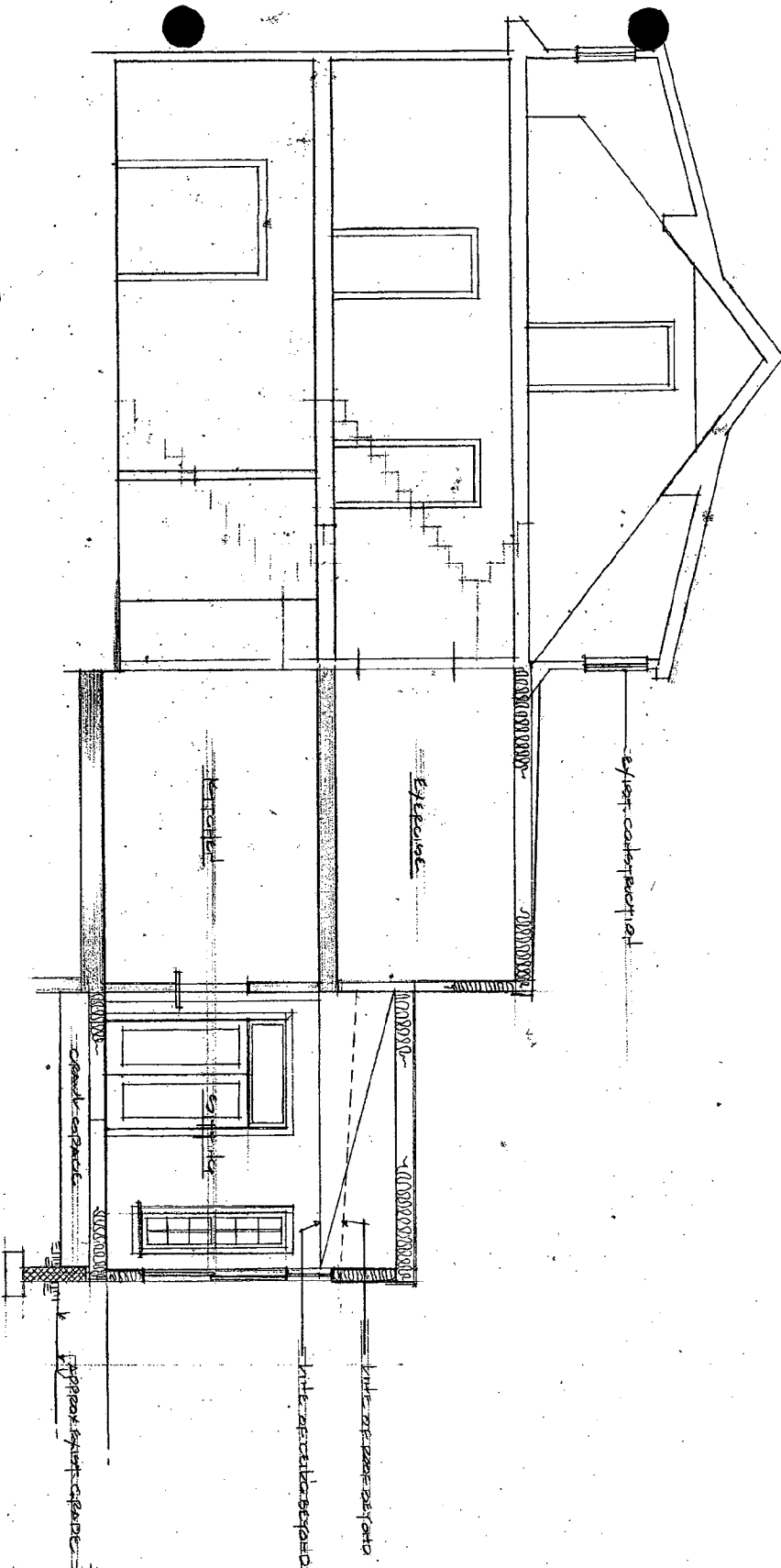
APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*  
08/14/02

North Elevation

8

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
 06/14/02

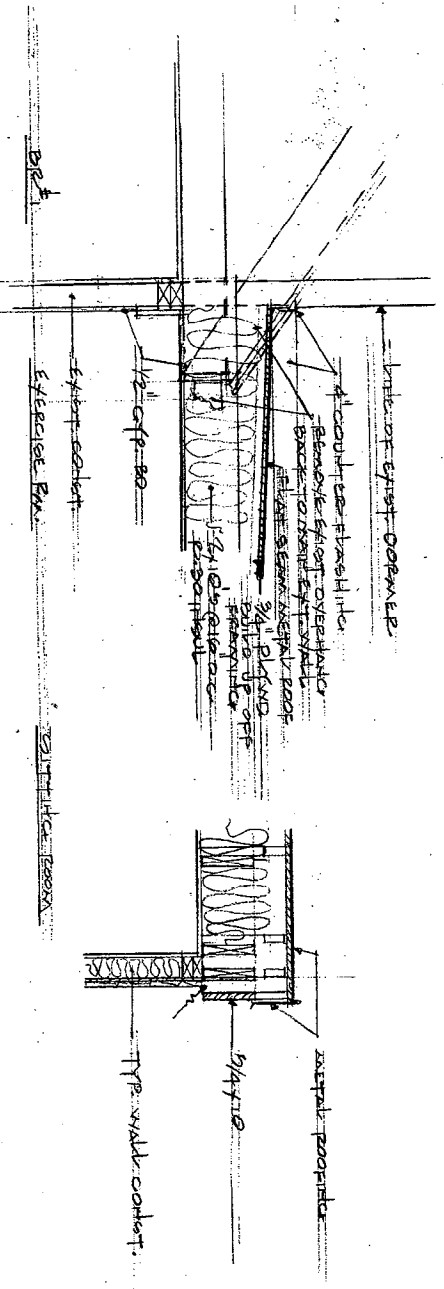


Building Section

**Building Section**

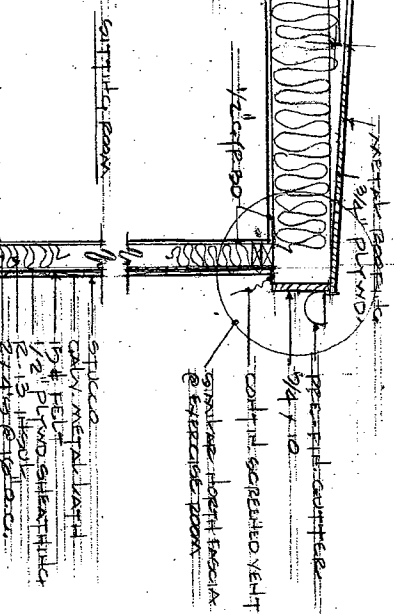
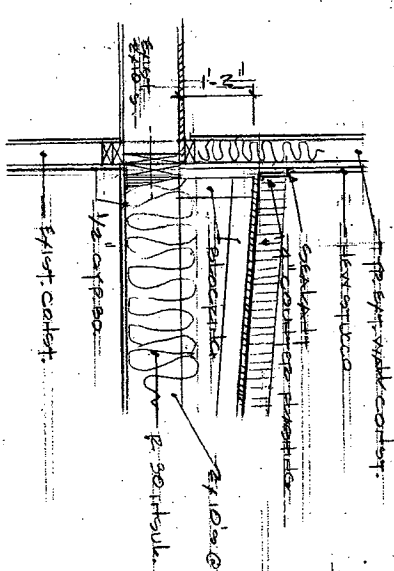
**White Residence  
 15 Newlands Street  
 Chevy Chase, MD 20815**

**9**



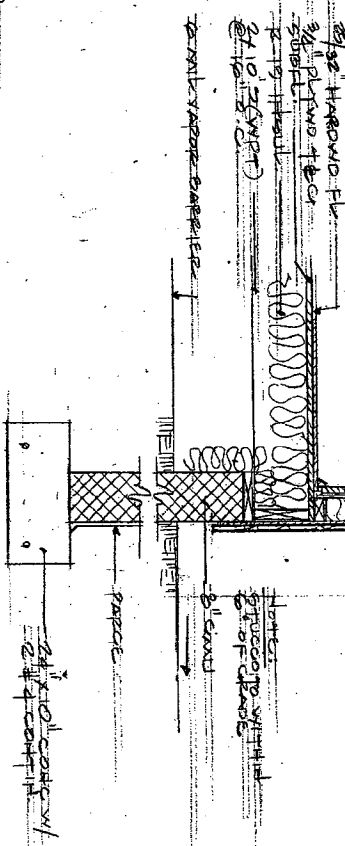
DETAIL NEW ROOF OVER EXERCISE ROOM

DETAIL EAST & WEST ROOF FASCIA @ SITTING ROOM



Detail: Roof @ 2nd Floor Addition

Special Wall Section





**CONSTRUCTION NOTES**

Comply with CABO One and Two Family Dwelling Code, 1995 Edition

Design/Loadings:  
 Deck and Floor: 40 lbs/sq ft  
 Roof: 30 lbs/sq ft

**Footings**  
 Soil bearing capacity assumed to be minimum 2800 lbs/sq ft. Contractor shall employ soils engineer to verify adequate soil conditions. Footings shall bear 1'-0" into minimum 95% compacted soil and be founded a minimum of 2'-0" below finished grade.

**Concrete (Cast-in-Place)**  
 Minimum concrete strength at 28 days as follows:  
 Concrete exposed to weather: 3500 psi  
 All other concrete: 3000 psi  
 All concrete exposed to weather shall be air-entrained

**Concrete Protection for Reinforcement (Cast-in-Place)**  
 Minimum cover to reinforcement:  
 For rods where cast against earth: 3 inches  
 For WWM in slabs on grade: at mid-thickness of slab

**Reinforcing Steel**  
 Bars shall conform to ASTM A615.  
 Placement shall be as per ACI Manual, latest edition unless otherwise noted.  
 Welded wire mesh (WWM) 6 x 6 w 1/4 x 1/4 shall conform to ASTM A-185

**Masonry**  
 CMU shall conform to ASTM C90. Mortar shall conform to ASTM C270, type M.  
 Brick shall match existing.  
 Provide continuous "Duro-Wall" horizontal joint reinforcement in mortar joints at 16 inches on center, measured vertically.

**Lumber**  
 Joists and rafters: Fy = 2350 psi minimum  
 E = 1,600,000 psi minimum  
 Beams: Fy = 1500 psi minimum  
 E = 1,750,000 psi minimum  
 Studs, etc.: Fc = 650 psi minimum  
 E = 1,600,000 psi minimum

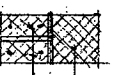
**Laminated Veneer Lumber (LVL)**  
 As manufactured by George-Pacific Corp, or approved equal  
 E = 2,000,000 psi minimum  
 Fp = 2350 psi minimum

Where two members are used together, fasten from both sides in 2 horizontal rows with 16d nails at 12 inches on center

**Wood Preservative Treatment (WPT)**  
 For all lumber exposed to weather and in contact with masonry, concrete or the earth, or as otherwise indicated, as per ANYS Standard C370 for above ground use, "Walmalized" or approved equal

**Fasteners**  
 For all exterior work and work in unconditioned spaces, hot-dipped galvanized or non-ferrous materials

**Connections**  
 For fastening new work to existing construction, and where otherwise good building practice would dictate, utilize appropriate galvanized steel connectors equal to Simpson Strong-Tie

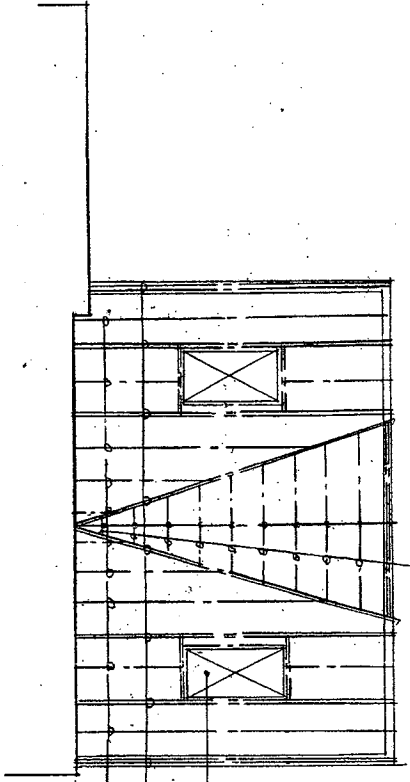


Reinforce concrete curb and deck edge with 2 #5 bars  
 2 #5 bars on bottom  
 2 #5 bars on top

GRADE BELOW DECK

3/4" TO 1"

Notes: Lintels to be set on concrete pier & over foundation wall with 2"



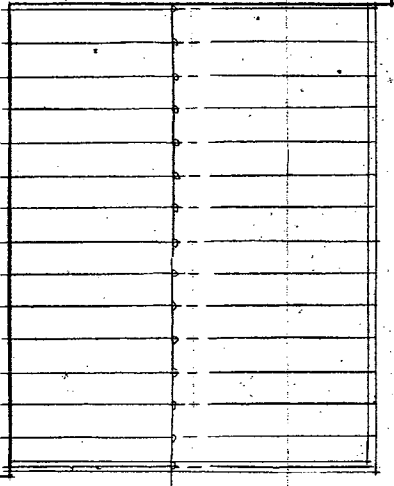
4x8 @ 16" o.c. (TYP)

2x8 @ 16" o.c.

4x12 @ 16" o.c.

ROOF FRAMED OVER EXISTING ROOF

1/4" TO 1"



4x8 @ 16" o.c.

ROOF FRAMED OVER EXISTING ROOF

1/4" TO 1"

4x8 @ 16" o.c. (TYP)  
 2x8 @ 16" o.c. (TYP)  
 4x12 @ 16" o.c. (TYP)  
 2x8 @ 16" o.c. (TYP)

4x12 @ 16" o.c.

ROOF FRAMED OVER EXISTING ROOF

1/4" TO 1"

**Construction Notes Framing Plans**

**White Residence**  
 15 Newlands Street  
 Chevy Chase, MD 20815

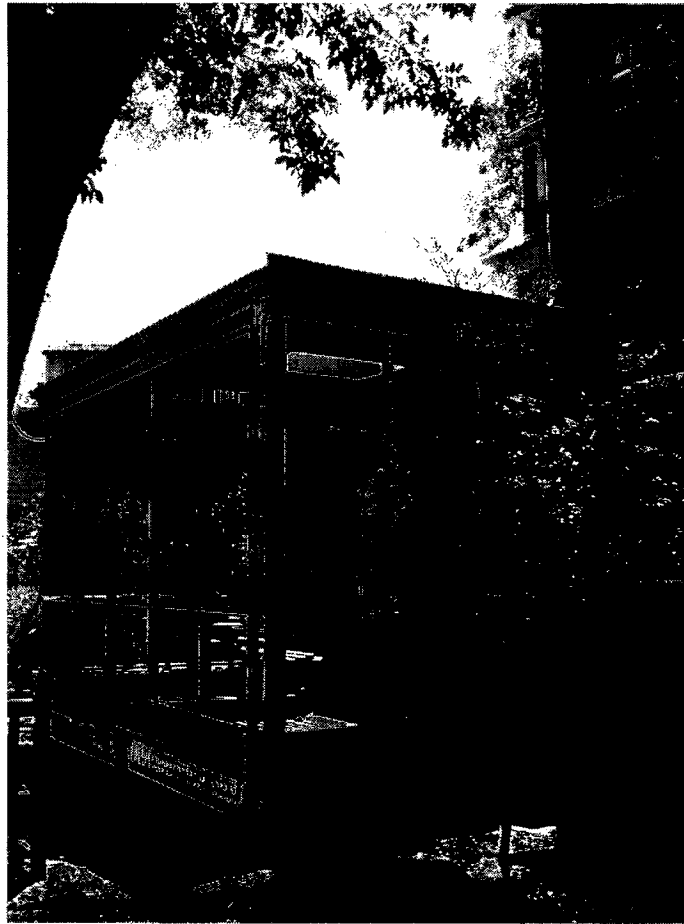
APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]* 08/14/02

DATE: 18 JUL 02



15 Newlands



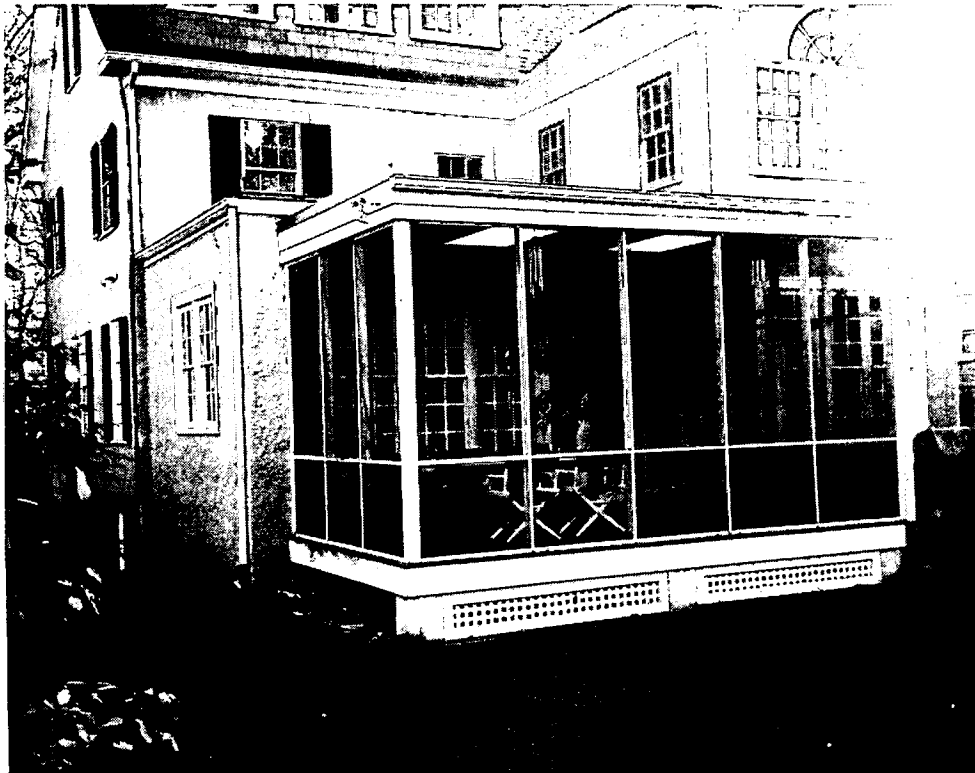
Back Screen Porch Addition

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 08/17/02



southern exposure

eastern exposure



15 NEWLANDS STREET  
20815

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Handwritten signature]*  
08/14/02



Note: Addition to the proximity of historic trees

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]* 08/14/02



southern exposure



eastern exposure

15 NEWLANDS STREET  
20815

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]* 08/14/02



Montgomery County Maryland

Department of Permitting Services

255 Rockville Pike, 2nd Floor Rockville, MD 20850-4166 240-777-6370

FOR OFFICE USE ONLY ZONING

Classification: R-00 Sheet Number: 203257 Board of Appeals: Checked By: [Signature]

Special Conditions: \_\_\_\_\_

# Building Permit Application

DPS - #3

## PART ONE

### 1A. WORK TYPE (Action):

- Construct
- Extend/Add
- Repair
- Alter/Renovate

### 1B. ACTIVITY: (Check as many as apply)

- Finished Basement
- Spa
- Woodburning Stove
- Other: \_\_\_\_\_
- Room/Addition
- Porch
- Fence/Wall (Complete Part 3)
- Pool
- Deck
- Shed
- Hot Tub
- Fireplace
- Slab

1C. 140 Square Footage of Land Disturbance

1D. 320 Square Footage of Floor Area Created or Affected by This Action

ac 070754

1E. Declared Construction Cost Estimate \$ 108,000<sup>00</sup>

1F. The primary structure on this lot is a:  Single Family Home  Townhouse  Duplex  Modular Home  Trailer

1G. If this is a revision or is in the approved "Model Plan Program", give Permit Number: \_\_\_\_\_

## PART TWO

Contact Person: Therese White Daytime Phone No.: 301/402-5886

Name of Applicant: ION + THERESE WHITE Daytime Phone No.: 1

Address: 15 NEWLANDS ST City: Chevy Chase State: MD Zip: 20815

Contractor: PRINCE CONSTRUCTION + DESIGN Contractor License No.: NA

Contractor Address: 7002 Georgia St CC, MD 20815 Phone No.: 301 652-4009

Plans Prepared By: PETER ELLENBOGEN Registration No.: \_\_\_\_\_ Telephone No.: 202 1966-0560

## Location of Building Premise

House Number 15 Street NEWLANDS ST

Town/City CHEVY CHASE MD Zip 20815

Lot 12 Block 54

## PART THREE COMPLETE ONLY FOR FENCE / RETAINING WALL

3A. Height: \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Type of Fence/Retaining Wall: \_\_\_\_\_

3C. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- 1. On Lot Line (complete 3D)  Yes  No
- 2. Entirely on Land of Owner:  Yes  No
- 3. On Public Right-of-Way/Easement:  Yes  No

(Revocable Letter Required)

3D. I/We agree to the erection of this retaining wall or fence on the lot line and to all terms and conditions of this application.

\_\_\_\_\_  
Adjoining Property Owner(s) Signature Lot Block

\_\_\_\_\_  
Adjoining Property Owner(s) Signature Lot Block

\_\_\_\_\_  
Adjoining Property Owner(s) Signature Lot Block

## TO BE READ BY APPLICANT

Any information that the applicant has set forth in this application that is false or misleading may result in the rejection of his application. A condition for the issuance of this permit is that the proposed construction will comply at all times with the plans as approved by all applicable government agencies. I hereby declare and affirm, under the penalty of perjury, that all matters and facts set forth in this building permit application are true and correct to the best of my knowledge, information and belief.

7-14-02  
Date

[Signature]  
Signature of Applicant

(If applicant is other than owner, agent must complete authorized agent affidavit on back)

Approved  Disapproved Signature \_\_\_\_\_ For Chief, Permitting Services Date \_\_\_\_\_

App No. 203257 Filing Fee: \$ \_\_\_\_\_ Trans. No.: \_\_\_\_\_

Date Filed: \_\_\_\_\_ Permit Fee: \$ \_\_\_\_\_

Date Issued: \_\_\_\_\_ Balance: \$ \_\_\_\_\_

App No. \_\_\_\_\_ Trans. No.: \_\_\_\_\_ Fee Waived \_\_\_\_\_

App No. \_\_\_\_\_

# R-Value/U-Value Weighted Average Worksheet

1995 CABO Model Energy Code

Assembly:

| Component Description | R-Value | U-Value<br>(1/R-Value) | Area            | U-Value x Area<br>(UA) |
|-----------------------|---------|------------------------|-----------------|------------------------|
|                       |         |                        |                 |                        |
|                       |         |                        |                 |                        |
|                       |         |                        |                 |                        |
|                       |         |                        |                 |                        |
|                       |         |                        | Total<br>Area = | Total<br>UA =          |

$$\frac{\text{Total Area}}{\text{Total UA}} = \text{Weighted Average R-Value}$$

$$\frac{\text{Total UA}}{\text{Total Area}} = \text{Weighted Average U-Value}$$

Assembly:

| Component Description | R-Value | U-Value<br>(1/R-Value) | Area            | U-Value x Area<br>(UA) |
|-----------------------|---------|------------------------|-----------------|------------------------|
|                       |         |                        |                 |                        |
|                       |         |                        |                 |                        |
|                       |         |                        |                 |                        |
|                       |         |                        |                 |                        |
|                       |         |                        | Total<br>Area = | Total<br>UA =          |

$$\frac{\text{Total Area}}{\text{Total UA}} = \text{Weighted Average R-Value}$$

$$\frac{\text{Total Area}}{\text{Total Area}} = \text{Weighted Average U-Value}$$

(301) 654-7144  
Town Manager

**Town of Chevy Chase View\***  
P.O. Box 136  
Kensington, MD 20895  
(301) 949-9274  
Jana Coe

**Chevy Chase Village**  
6906 Connecticut Avenue  
Chevy Chase, MD 20815  
(301) 654-7300  
Jerry M. Schiro

**Village of Chevy Chase, Sec. 3**  
P.O. Box 15281  
Chevy Chase, MD 20815  
(301) 656-9117  
Council Chairman

(201) 933-7499  
Town Manager

**Town of Glen Echo**  
P.O. Box 598, Town Hall  
Glen Echo, MD 20812  
(301) 320-4041  
Betsy Platt

**Village of Friendship Heights\***  
4433 South Park Avenue  
Chevy Chase, MD 20815  
(301) 656-2797  
Julian P. Mansfield

**Town of Kensington**  
3710 Mitchell Street  
Kensington, MD 20895  
(301) 949-2424  
Pat McAuley

(301) 309-3250  
Permit Section

**Town of Somerset**  
4510 Cumberland Avenue  
Chevy Chase, MD 20815  
(301) 657-3211  
Thomas W. Carter

**City of Takoma Park**  
7500 Maple Avenue  
Takoma Park, MD 20912  
(301) 270-1700  
Beverly K. Habada

**Town of Washington Grove**  
P.O. Box 216  
Washington Grove, MD 20880  
(301) 926-2256  
Mary M. Challstrom

# Prescriptive Packages - Table

1995 Model Energy Code for Single Family Buildings

| Package | MAXIMUM                           |                              | MINIMUM                      |                           |                            |                                    |                                     |                                       |                | Heating/Cooling Equipment Efficiency <sup>9</sup> |
|---------|-----------------------------------|------------------------------|------------------------------|---------------------------|----------------------------|------------------------------------|-------------------------------------|---------------------------------------|----------------|---|
|         | Glazing Area Percent <sup>1</sup> | Glazing U Value <sup>2</sup> | Ceiling R Value <sup>3</sup> | Wall R Value <sup>4</sup> | Floor R Value <sup>5</sup> | Basement Wall R Value <sup>6</sup> | Slab Penimeter R Value <sup>7</sup> | Crawl Space Wall R Value <sup>8</sup> |                |   |
| 1       | 12%                               | 0.65                         | R 38                         | R 19                      | R 19                       | R 9                                | R 7                                 | R 17                                  | Normal         |   |
| 2       | 12%                               | 0.45                         | R 30                         | R 13                      | R 19                       | R 9                                | R 6                                 | R 17                                  | Normal         |   |
| 3       | 15%                               | 0.55                         | R 38                         | R 19                      | R 21                       | R 10                               |                                     | R 22                                  | Normal         |   |
| 4       | 15%                               | 0.40                         | R 38                         | R 13                      | R 19                       | R 9                                | R 5                                 | R 16                                  | Normal         |   |
| 5       | 18%                               | 0.45                         | R 38                         | R 19                      | R 19                       | R 9                                | R 7                                 | R 17                                  | Normal         |   |
| 6       | 18%                               | 0.35                         | R 38                         | R 13                      | R 19                       | R 9                                | R 6                                 | R 17                                  | Normal         |   |
| 7       | 22%                               | 0.40                         | R 49                         | R 21                      | R 19                       | R 9                                | R 6                                 | R 17                                  | Normal         |   |
| 8       | 12%                               | 0.75                         | R 38                         | R 11                      | R 19                       | R 8                                | R 2                                 | R 17                                  | High Heating   |   |
| 9       | 12%                               | 0.65                         | R 38                         | R 13                      | R 11                       | R 6                                | R 0                                 | R 8                                   | High Heating   |   |
| 10      | 15%                               | 0.65                         | R 30                         | R 13                      | R 19                       | R 9                                | R 2                                 | R 22                                  | High Heating   |   |
| 11      | 15%                               | 0.50                         | R 30                         | R 13                      | R 11                       | R 6                                | R 0                                 | R 8                                   | High Heating   |   |
| 12      | 18%                               | 0.55                         | R 30                         | R 13                      | R 19                       | R 9                                | R 2                                 | R 22                                  | High Heating   |   |
| 13      | 18%                               | 0.45                         | R 38                         | R 13                      | R 11                       | R 5                                | R 0                                 | R 8                                   | High Heating   |   |
| 14      | 22%                               | 0.55                         | R 38                         | R 17                      | R 19                       | R 9                                | R 2                                 | R 22                                  | High Heating   |   |
| 15      | 22%                               | 0.40                         | R 30                         | R 13                      | R 13                       | R 6                                | R 2                                 | R 10                                  | High Heating   |   |
| 16      | 12%                               | 0.75                         | R 30                         | R 13                      | R 15                       | R 7                                | R 2                                 | R 14                                  | High Heat/Cool |   |
| 17      | 12%                               | 0.65                         | R 26                         | R 13                      | R 13                       | R 6                                | R 0                                 | R 10                                  | High Heat/Cool |   |
| 18      | 15%                               | 0.70                         | R 30                         | R 15                      | R 19                       | R 9                                | R 2                                 | R 22                                  | High Heat/Cool |   |
| 19      | 15%                               | 0.55                         | R 26                         | R 13                      | R 13                       | R 6                                | R 2                                 | R 10                                  | High Heat/Cool |   |
| 20      | 18%                               | 0.65                         | R 38                         | R 19                      | R 15                       | R 7                                | R 2                                 | R 14                                  | High Heat/Cool |   |
| 21      | 18%                               | 0.50                         | R 38                         | R 13                      | R 13                       | R 6                                | R 0                                 | R 10                                  | High Heat/Cool |   |
| 22      | 22%                               | 0.60                         | R 38                         | R 17                      | R 26                       | R 11                               | R 8                                 |                                       | High Heat/Cool |   |
| 23      | 22%                               | 0.45                         | R 38                         | R 13                      | R 15                       | R 7                                | R 2                                 | R 12                                  | High Heat/Cool |   |

Hyphens (-) indicate that the package which contains the hyphens cannot be used with the indicated insulation type (slab or crawl space)



## FOOTNOTES.

Glazing area is the ratio of the area of the glazing assemblies (including sliding glass doors, skylights, and basement windows but excluding opaque doors) to the gross wall area, expressed as a percentage. Up to 1% of the total glazing area may be excluded from the U-value requirement. For example, 3 sq ft of decorative glass may be excluded from a building design with 300 sq ft of glazing area.

Glazing U-values must be tested and documented by the manufacturer in accordance with the National Fenestration Rating Council (NFRC) test procedure or taken from the glazing U-value table in Appendix B. Center-of-glass U-values cannot be used.

The ceiling R-values do not assume a raised or oversized truss construction. If the insulation achieves the full insulation thickness over the exterior walls, R-30 insulation may be substituted for R-38 insulation and R-25 insulation may be substituted for R-49 insulation. Ceiling R-values represent the sum of cavity insulation plus insulating sheathing (if used). For ventilated ceilings, insulating sheathing must be placed between the conditioned space and the ventilated portion of the roof.

Wall R-values represent the sum of the wall cavity insulation plus insulating sheathing (if used). Do not include exterior siding, structural sheathing, and interior orywall. For example, an R-19 requirement could be met EITHER by R-19 cavity insulation OR R-13 cavity insulation plus R-6 insulating sheathing. Wall requirements apply to wood-frame or mass (concrete, masonry, log) wall constructions, but do not apply to metal-frame construction. Metal-frame wall equivalent R-values can be found in Appendix C.

The floor requirements apply to floors over unconditioned spaces (such as unconditioned crawlspaces, basements or garages). Floors over outside air must meet the ceiling requirements.

Walls of conditioned basements below uninsulated floors must be insulated from the top of the basement wall to a depth of 10 ft below ground level or to the level of the basement floor, whichever is less. The entire opaque portion of any individual basement wall with an average depth less than 50% below grade must meet the same R-value requirement as above-grade walls. Windows and sliding glass doors of conditioned basements must be included with the other glazing. Basement doors must meet the door U-value requirement described in Note b.

The R-value requirements are for unheated slabs. Add an additional R-2 for heated slabs, except in Zone 1 which does not require slab insulation. For packages with a slab insulation requirement, the insulation must extend a total linear distance of at least 24 in. in Zones 2-12 and 48 in. in Zones 13-17. The insulation must extend 1) down from the top of the slab, or 2) down from the top of the slab to the bottom of the slab and then horizontally underneath the slab, or 3) down from the top of the slab to the bottom of the slab and then horizontally away from the slab, with pavement or at least 10 in. of soil covering the horizontal insulation.

The crawl space wall R-value requirements are for walls of unventilated crawl spaces. The crawl space wall insulation must extend from the top of the wall (including the sill plate) to at least 12 in. below the outside finished grade. If the distance from the outside finished grade to the top of the footing is less than 12 in., the insulation must extend a total vertical plus horizontal distance of 24 in. from the outside finished grade.

*High Heating* means a furnace AFUE of 90% or more, or a heat pump HSPF of 7.8 or more. *High Cooling* means a SEER of 12 or more. *High Heat/Cool* means both heating and cooling equipment must meet these minimum efficiencies. If you plan to install more than one piece of heating equipment or more than one piece of cooling equipment, the equipment with the lowest efficiency must meet or exceed the efficiency required by the selected package. The following California counties do not qualify for the cooling equipment credit: Alameda, Contra Costa, Los Angeles, Marin, Monterey, Napa, Orange, San Benito, San Diego, San Francisco, San Luis Obispo, San Mateo, Santa Barbara, Santa Clara, Santa Cruz, Solano, Sonoma, and Ventura.

## NOTES:

- Glazing areas and U-values are maximum acceptable levels. Insulation R-values are minimum acceptable levels. R-value requirements are for insulation only and do not include structural components.
- Opaque doors in the building envelope must have a U-value no greater than 0.35. Door U-values must be tested and documented by the manufacturer in accordance with the NFRC test procedure or taken from the door U-value table in Appendix B. If a door contains glass and an aggregate U-value rating for that door is not available, include the glass area of the door with your windows and use the opaque door U-value to determine compliance of the door. One door may be excluded from this requirement (i.e., may have a U-value greater than 0.35).
- If a ceiling, wall, floor, basement wall, slab-edge, or crawl space wall component includes two or more areas with different insulation levels, the component complies if the area-weighted average R-value is greater than or equal to the R-value requirement for that component. Glazing or door components comply if the area-weighted average U-value of all windows or doors is less than or equal to the U-value requirement (0.35 for doors). Use the *R-Value/U-Value Weighted Average Worksheet* for these computations.