


35/13-04BB 35 Quincy St
Chevy Chase Historic District



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 35 Quincy Street, Chevy Chase **Meeting Date:** 10/13/04
Resource: Non-Contributing Resource **Report Date:** 10/06/04
Chevy Chase Village Historic District
Review: HAWP **Public Notice:** 09/29/04
Case Number: 35/13-04BB **Tax Credit:** None
Applicant: Steven Sacks (McCain McMurray, Agent) **Staff:** Michele Naru
Proposal: Second story rear addition to a non-contributing resource
Recommendation: Approval with condition

RECOMMENDATION Staff recommends that the Commission approve this HAWP application with the condition that:

The applicants will utilize the Pella Proline window with the optional grilles, which are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Mediterranean
PERIOD OF SIGNIFICANCE: 1965, 1985

The existing house is a three-bay, gable roof structure clad in stucco and detailed with a scalloped, recessed central entry on the front elevation. The house is sited on a 9,000 sq. ft. lot (60' x 150').

PROPOSAL

The applicants are proposing to construct a second story addition at the rear of the house. The addition is to be set on top of an existing rear addition. The new ridge height will be 3" lower than the existing ridge. The proposed project will not be visible from the street due to the narrowness of the space between the house that flanks it to the east and its proposed location at the rear of the house. No trees will be removed as part of this proposal.

Materials

1. Stucco cladding to match existing
2. 6/6, Pella Proline windows with 3 light transoms.
3. Wood trim to match existing
4. Asphalt roof to match existing

APPLICABLE GUIDELINES

When reviewing alterations and new construction to contributing resources within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997 and the *Montgomery County Code Chapter 24A (Chapter 24A)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Master Plan

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* that pertain to this contributing resource are as follows:

- Dormers should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not.
- Roofing materials should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. In general, materials differing from the original should be approved for contributing resources.
- Second or third story additions or expansions which do not exceed the footprint of the first story should be subject to moderate scrutiny, in view of the predominance of large scale houses in the Village.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

STAFF DISCUSSION

Staff feels that the proposed design meets the criteria outlined in the Chevy Chase Village Guidelines. Staff recommends approval with the condition that the applicants will utilize the Pella Proline window with the optional grilles, which are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance.

STAFF RECOMMENDATION:

Staff recommends that the Commission *approve with the above stated condition* the HAWP application as being consistent with Chapter 25A-8(b) 1 & 2:

The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.

The proposal is compatible in character and nature with the historical, archaeological, architectural or cultural features of the historic site or district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter

and with the *Chevy Chase Village Guidelines*, adopted April 1998.

with the general conditions applicable to all Historic Area Work Permits that the applicant shall also present three (3) permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work, and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6270

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: MCCAIN MCMURRAY
Daytime Phone No.: 202.686.6268

Tax Account No.: _____
Name of Property Owner: STEVE SACKS Daytime Phone No.: 202.662.3316
Address: 35 QUINCY STREET CHEVY CHASE MD 20815
Street Number City State Zip Code
Contractor: JOHN CASSELL NOT SELECTED Phone No.: 301
Contractor Registration No.: _____
Agent for Owner: MCCAIN MCMURRAY Daytime Phone No.: 202.686.6268

LOCATION OF BUILDING/PREMISE

House Number: 35 Street: QUINCY
Town/City: CHEVY CHASE Nearest Cross Street: BROOKEVILLE-TENNAULT TOWN
Lot: 15 Block: 01 Subdivision: CHEVY CHASE VILLAGE SECTION 2
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 52,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

William W. Murray
Signature of owner or authorized agent

9.21.04
Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: 359015 Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

STUCCO HOUSE

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ADD STUDY IN ATTIC ABOVE EXISTING MASTER BATH
NO CHANGE TO FOOTPRINT
MAINTAIN CONSISTENCY IN EXTERIOR WINDOWS, MATERIALS
& SCALE

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

SACKS HOGG RESIDENCE
35 QUINCY STREET
CHEVY CHASE, MD.

SEPT. 23, 04.

WORK DESCRIPTION

THE HOUSE AT THE ABOVE ADDRESS WILL BE MODIFIED AS FOLLOWS:

THE ATTIC FLOOR PLAN WILL BE EXTENDED TO ACCOMMODATE A STUDY ROOM AND TWO CLOSETS.

THE EXTENSION WILL OCCUR ON THE SOUTH SIDE, OR REAR, OF THE HOUSE.

THE EXTENSION WILL NOT ALTER THE FOOTPRINT OF THE HOUSE.

THE ROOF OF THE EXTENSION WILL BE 3" LOWER THAN THE EXISTING RIDGE LINE.

THE EXTERIOR OF THE EXTENSION WILL BE STUCCO, COLOR AND TEXTURE TO MATCH EXISTING.

ROOFING MATERIAL TO MATCH EXISTING

NEW WINDOW SILLS TO ALIGN WITH ADJACENT WINDOWS. ^{NEW} WINDOW STYLE TO MATCH EXISTING.

September 17, 2004

Neighbors for 35 Quincy Street

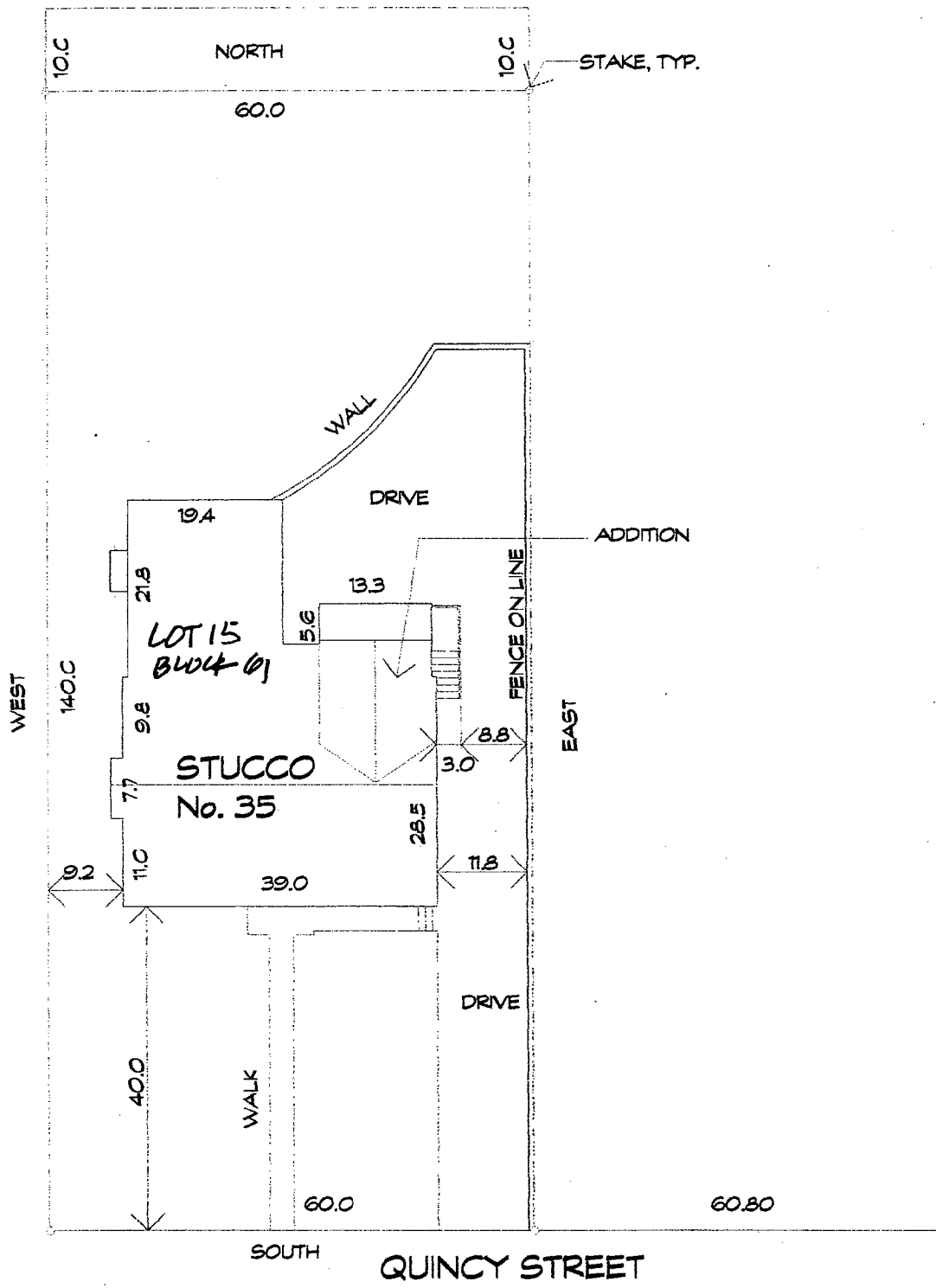
37 Quincy
Myrland, Eric H
37 Quincy Street
Chevy Chase Maryland 20815

33 Quincy
Reeside, Betty H ET AL TR
6424 10th St
Alexandria VA 22307-1447

32 Quincy
Mysliwiec, Diana D
32 Quincy Street
Chevy Chase Maryland 20815

34 Quincy
Abbey, David M & CB
34 Quincy Street
Chevy Chase Maryland 20815

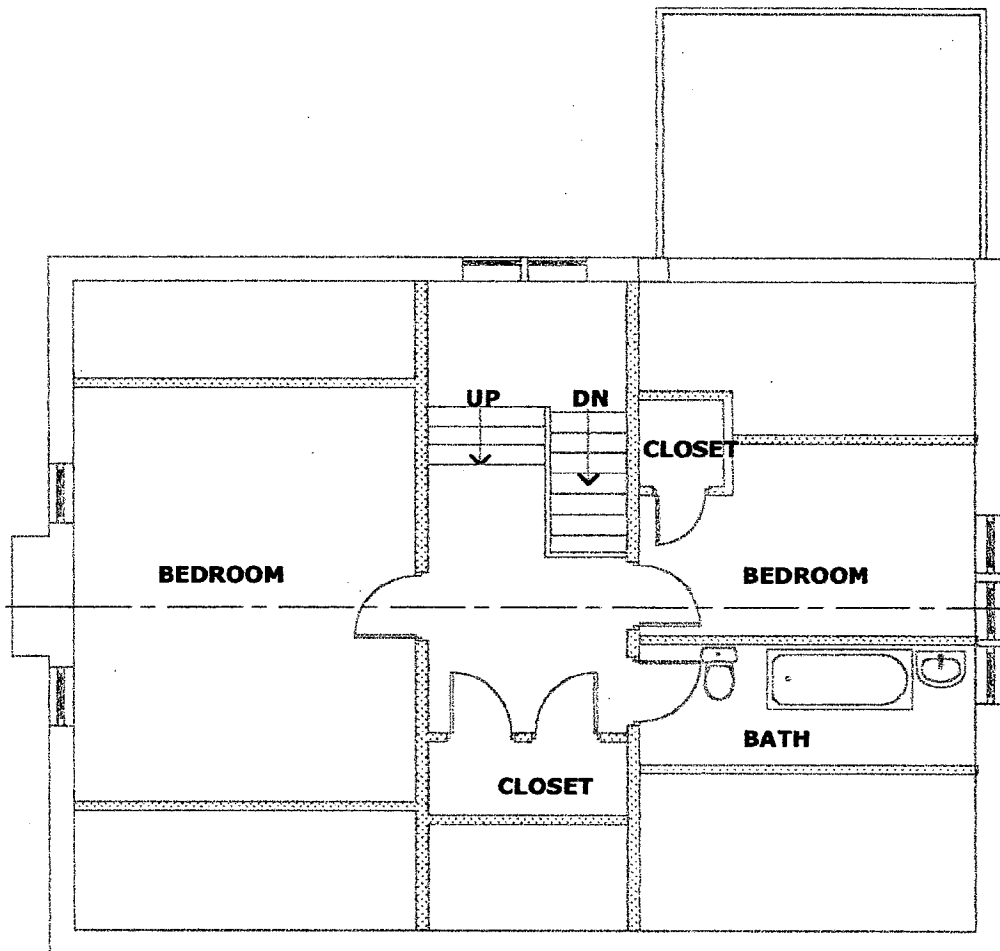
36 Quincy
Bourke, Thomas K & DH
36 Quincy Street
Chevy Chase Maryland 20815



SITE PLAN
SCALE: 1" = 20'-0"
SACKS RESIDENCE
35 QUINCY STREET CHEVY CHASE MARYLAND
SEPTEMBER 17, 2004

MCMURRAY ARCHITECTURE INTERIORS PLLC
202.686.6268





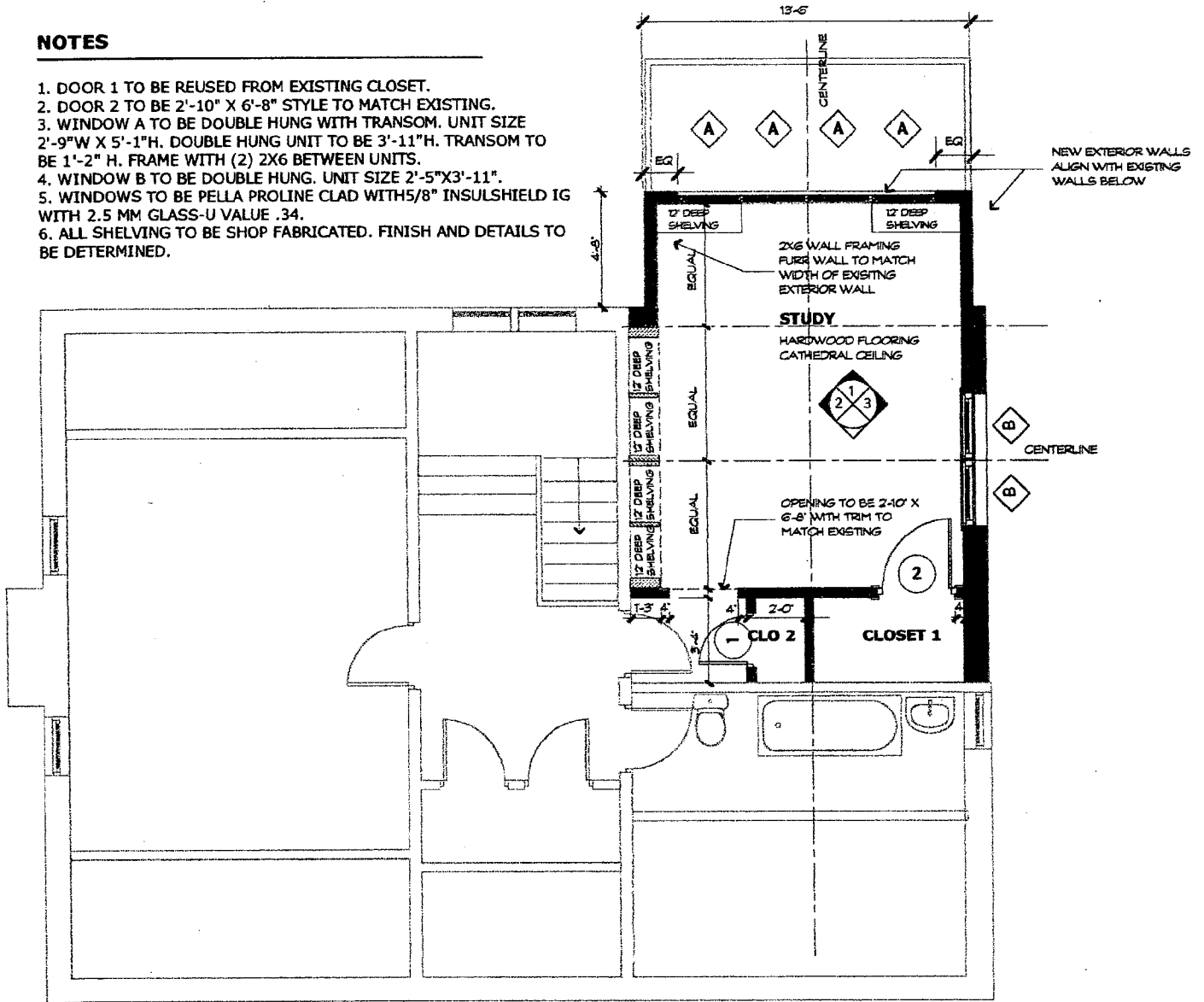
2 **EXISTING ATTIC FLOOR PLAN**
A2.01 **NOT TO SCALE**

PAGE 4/4
SEPTEMBER 17, 2004

SACKS HOGG RESIDENCE
35 QUINCY STREET
CHEVY CHASE MARYLAND

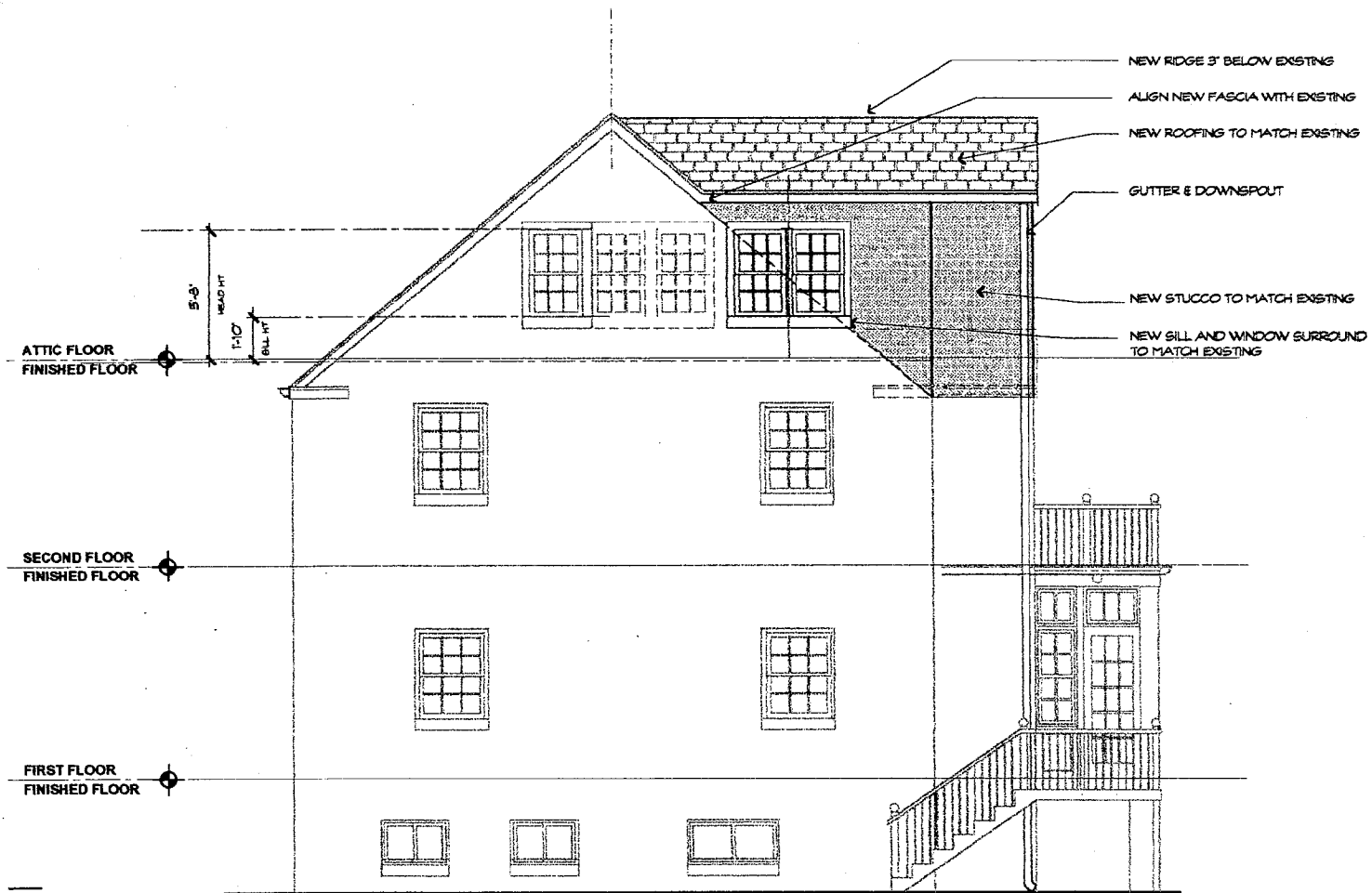
NOTES

1. DOOR 1 TO BE REUSED FROM EXISTING CLOSET.
2. DOOR 2 TO BE 2'-10" X 6'-8" STYLE TO MATCH EXISTING.
3. WINDOW A TO BE DOUBLE HUNG WITH TRANSOM. UNIT SIZE 2'-9"W X 5'-1"H. DOUBLE HUNG UNIT TO BE 3'-11"H. TRANSOM TO BE 1'-2" H. FRAME WITH (2) 2X6 BETWEEN UNITS.
4. WINDOW B TO BE DOUBLE HUNG. UNIT SIZE 2'-5" X 3'-11".
5. WINDOWS TO BE PELLA PROLINE CLAD WITH 5/8" INSULSHIELD IG WITH 2.5 MM GLASS-U VALUE .34.
6. ALL SHELVING TO BE SHOP FABRICATED. FINISH AND DETAILS TO BE DETERMINED.



1 ATTIC FLOOR PLAN
A2.01 NOT TO SCALE

SACKS HOGG RESIDENCE
35 QUINCY STREET
CHEVY CHASE MARYLAND



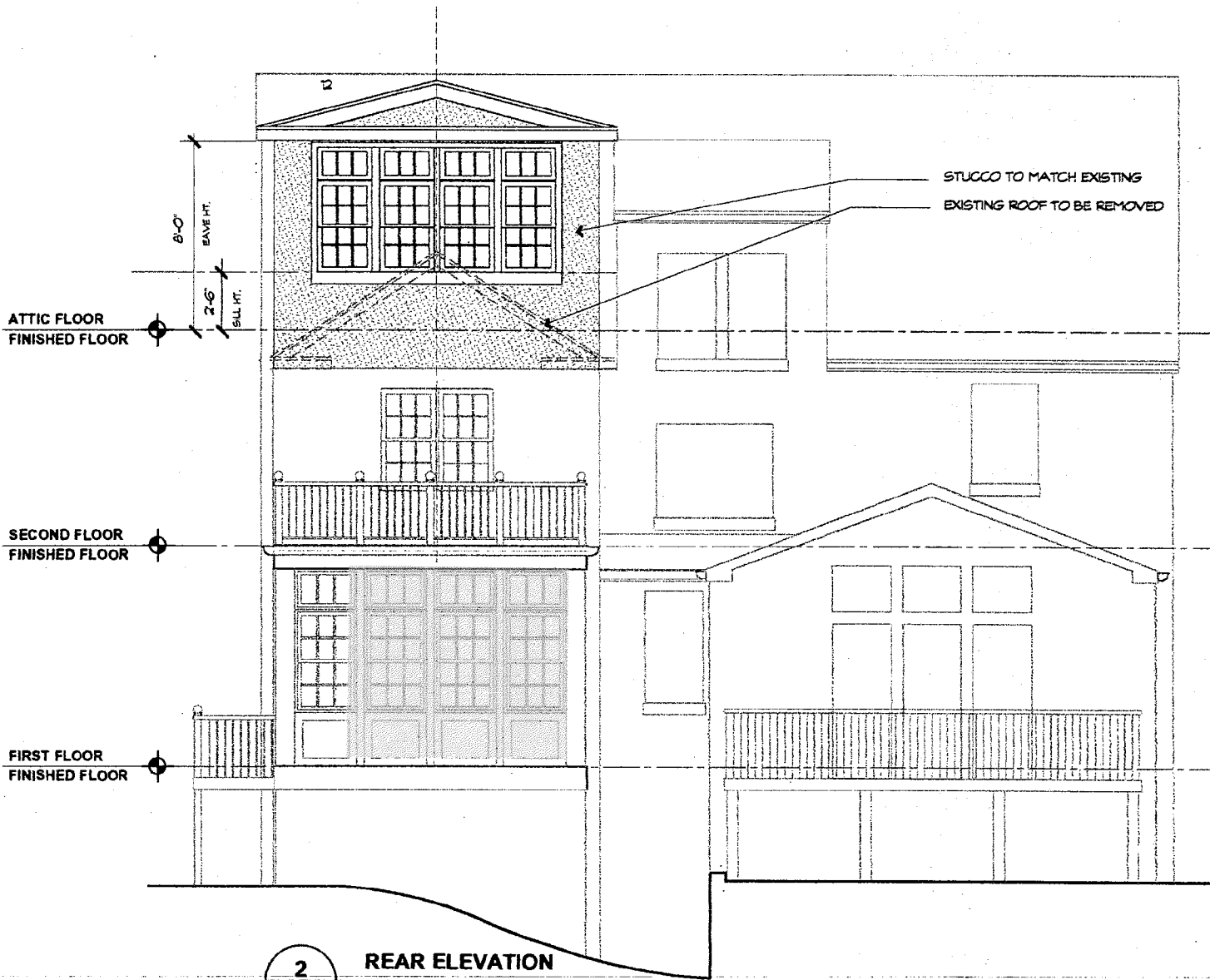
2 EAST ELEVATION
A2.01 SCALE: 1/4"=1'-0"

PAGE 2/4

SEPTEMBER 17, 2004

SACKS HOGG RESIDENCE
 35 QUINCY STREET
 CHEVY CHASE MARYLAND





2 REAR ELEVATION
 A3.01 SCALE: 1/4"=1'-0"

NOTE: NEW TRIM TO MATCH EXISTING

PAGE 3/4
 SEPTEMBER 17, 2004

SACKS HOGG RESIDENCE
 35 QUINCY STREET
 CHEVY CHASE MARYLAND

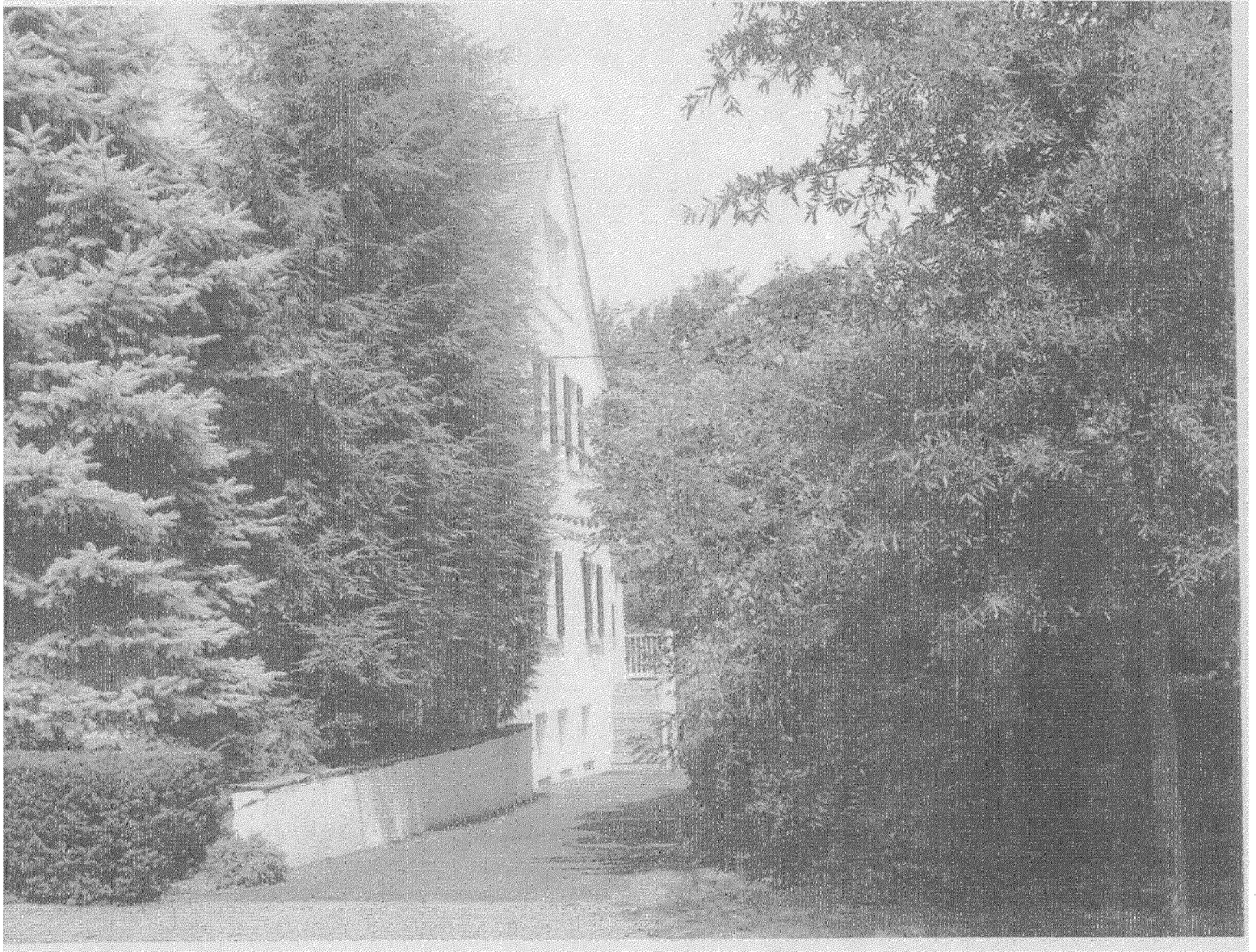


FRONT

35 QUINCY STREET

1/3

(13)



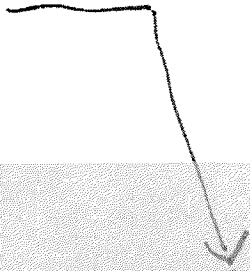
VIEW FROM DRIVEWAY
EAST ELEVATION

35 QUINCY STREET

2/3

(14)

ADDITION
ABOVE



REAR ELEVATION

35 QUINCY STREET

3/3

(15)

SACKS HOGG RESIDENCE
35 QUINCY STREET
CHEVY CHASE, MD.

SEPT. 23, 04.

WORK DESCRIPTION

THE HOUSE AT THE ABOVE ADDRESS WILL BE MODIFIED AS FOLLOWS:

THE ATTIC FLOOR PLAN WILL BE EXTENDED TO ACCOMMODATE A STUDY ROOM AND TWO CLOSETS.

THE EXTENSION WILL OCCUR ON THE SOUTH SIDE, OR REAR, OF THE HOUSE.

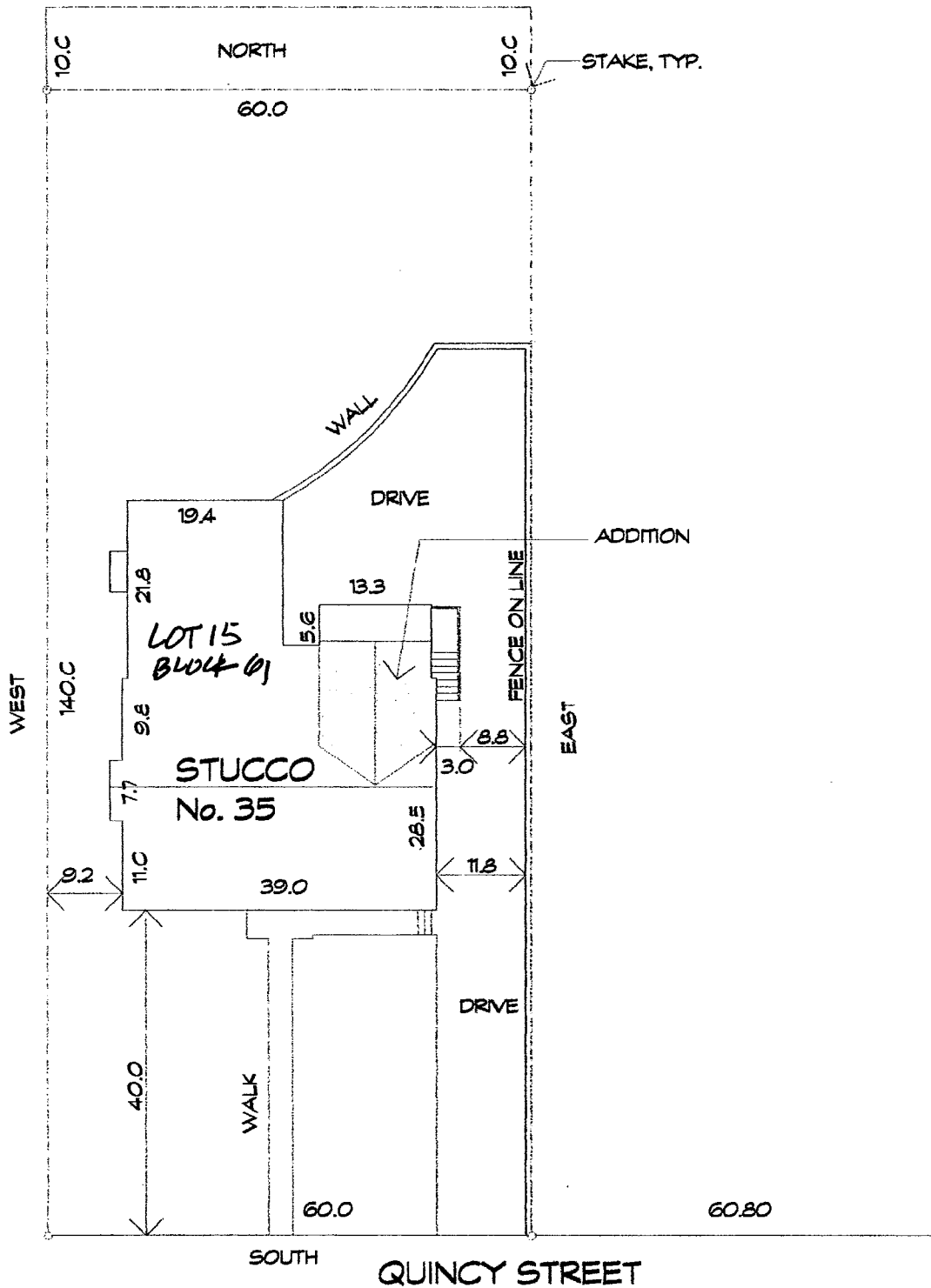
THE EXTENSION WILL NOT ALTER THE FOOTPRINT OF THE HOUSE.

THE ROOF OF THE EXTENSION WILL BE 3" LOWER THAN THE EXISTING RIDGE LINE.

THE EXTERIOR OF THE EXTENSION WILL BE STUCCO, COLOR AND TEXTURE TO MATCH EXISTING.

ROOFING MATERIAL TO MATCH EXISTING

NEW WINDOW SILLS TO ALIGN WITH ADJACENT WINDOWS. ^{NEW} WINDOW STYLE TO MATCH EXISTING.



SITE PLAN

SCALE: 1" = 20'-0"

SACKS RESIDENCE

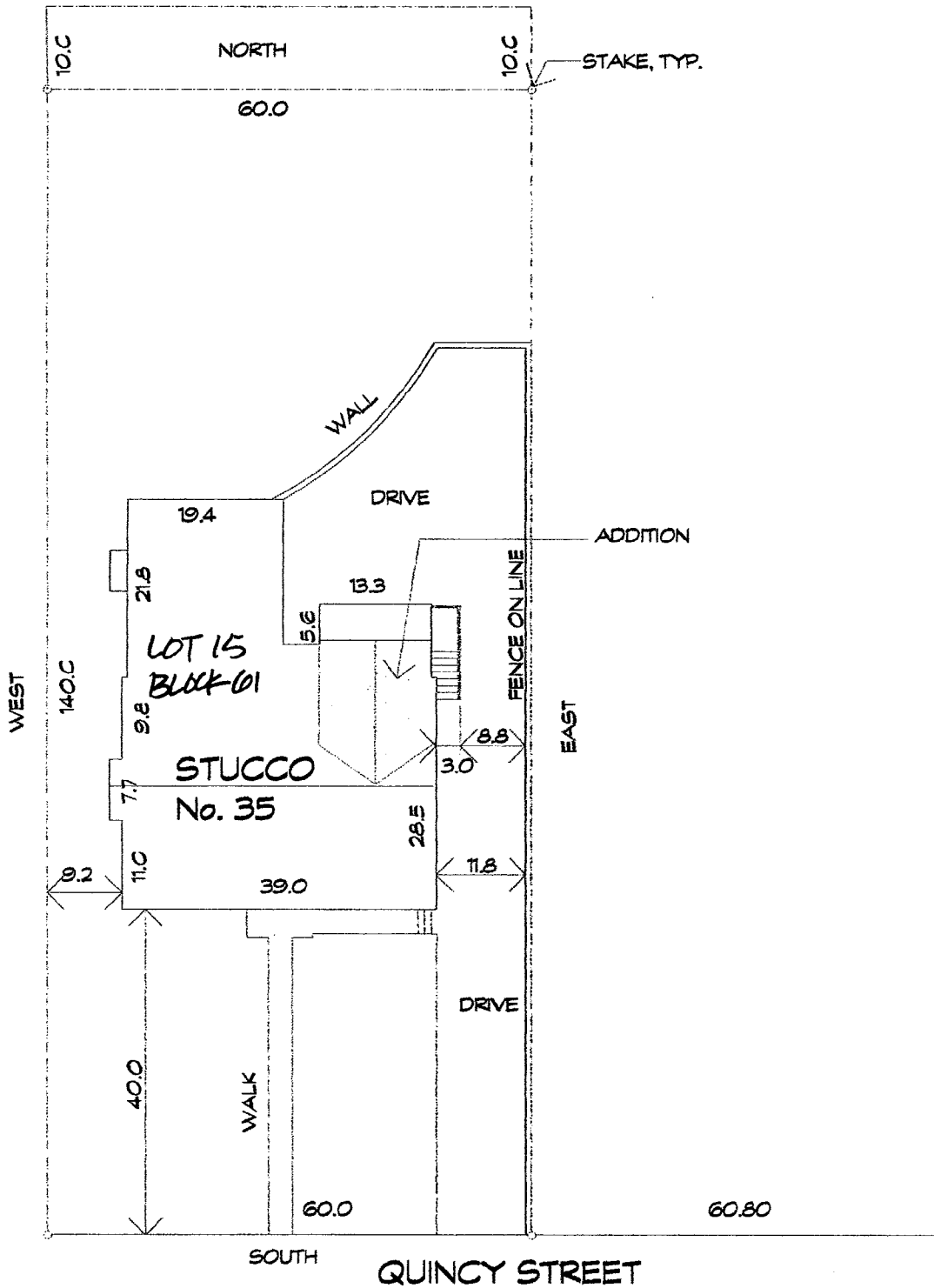
35 QUINCY STREET CHEVY CHASE MARYLAND

SEPTEMBER 17, 2004

MCMURRAY ARCHITECTURE INTERIORS PLLC

202.686.6268





SITE PLAN

SCALE: 1" = 20'-0"

SACKS RESIDENCE

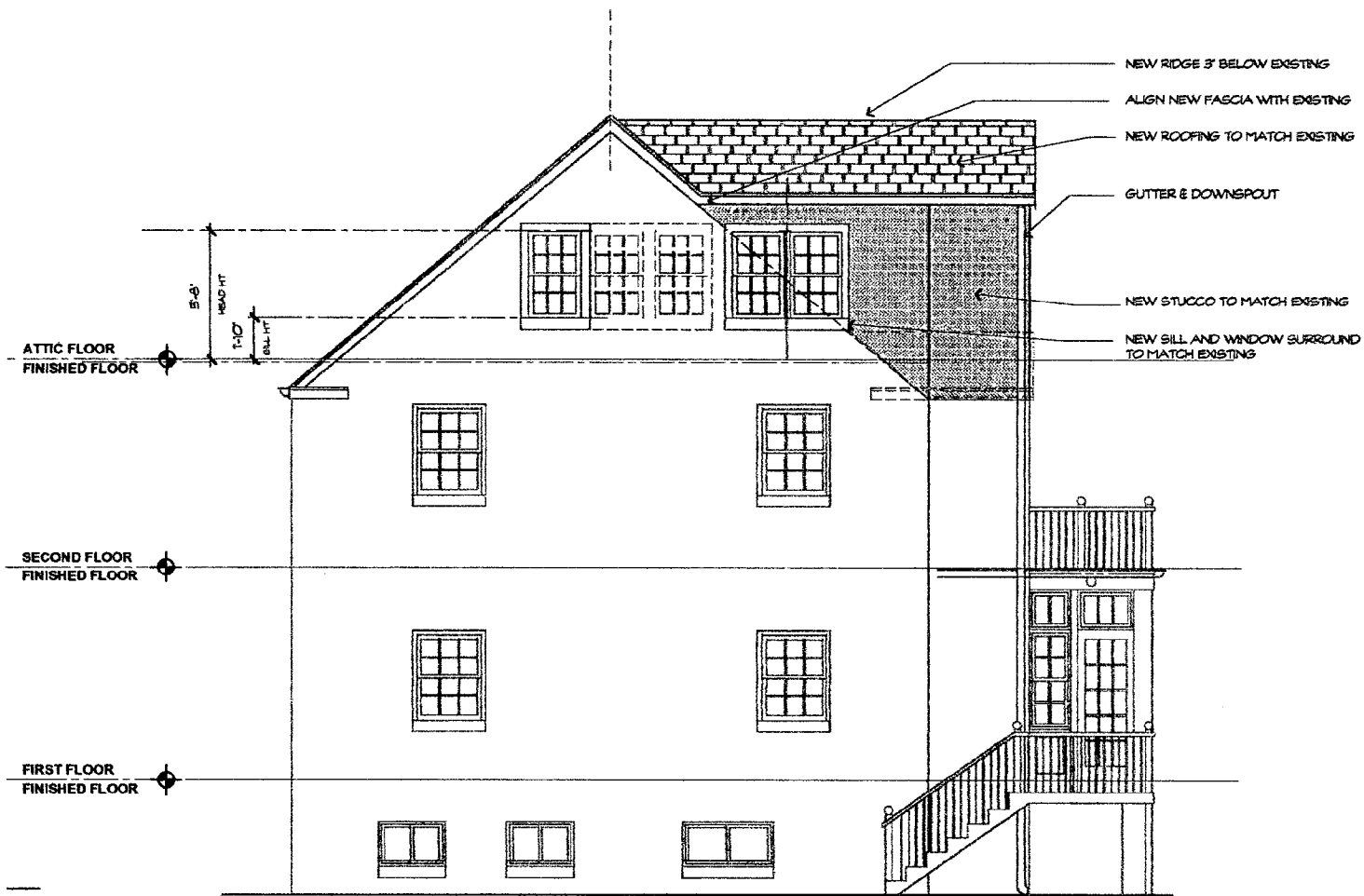
35 QUINCY STREET CHEVY CHASE MARYLAND

SEPTEMBER 17, 2004

MCMURRAY ARCHITECTURE INTERIORS PLLC

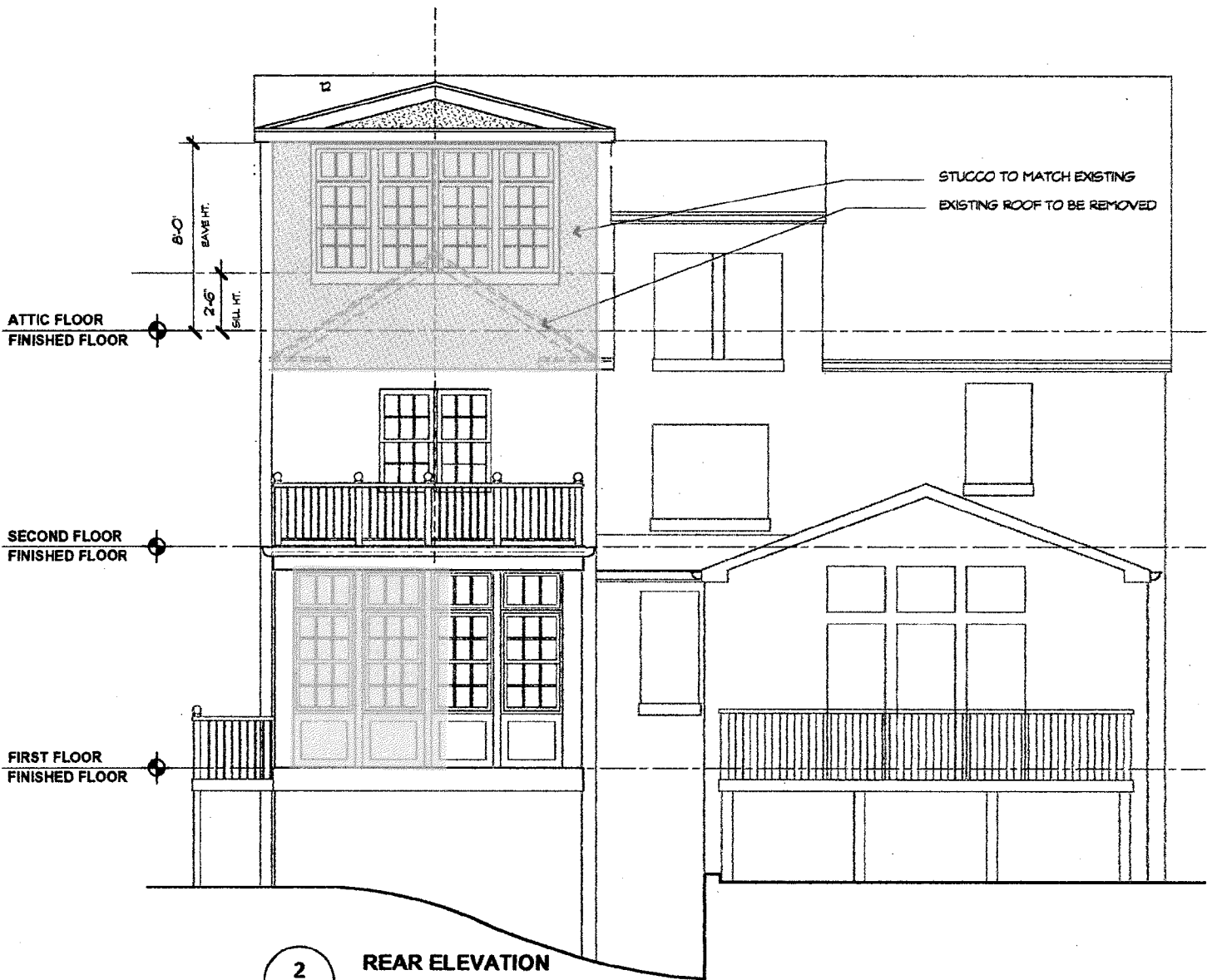
202.686.6268





2 EAST ELEVATION
A2.01 SCALE: 1/4"=1'-0"

SACKS HOGG RESIDENCE
 35 QUINCY STREET
 CHEVY CHASE MARYLAND



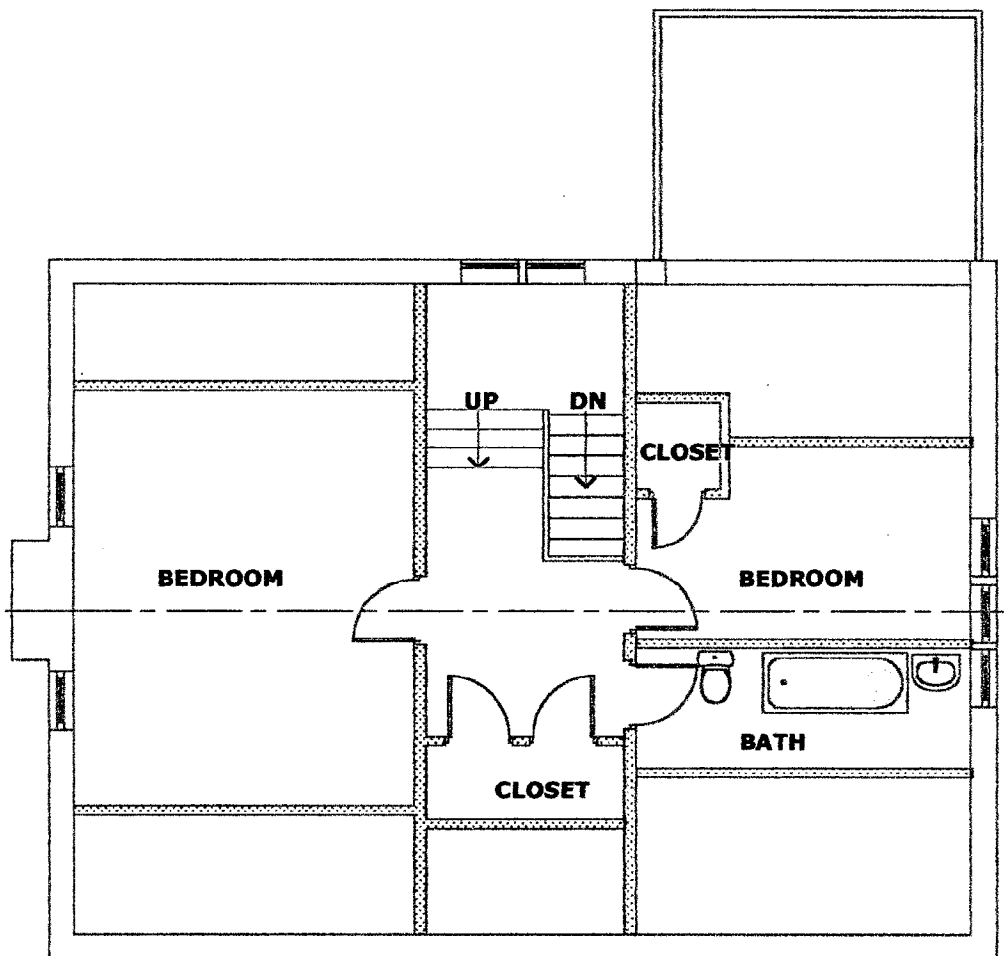
2 REAR ELEVATION
 A3.01 SCALE: 1/4"=1'-0"

NOTE: NEW TRIM TO MATCH EXISTING

PAGE 3/4

SEPTEMBER 17, 2004

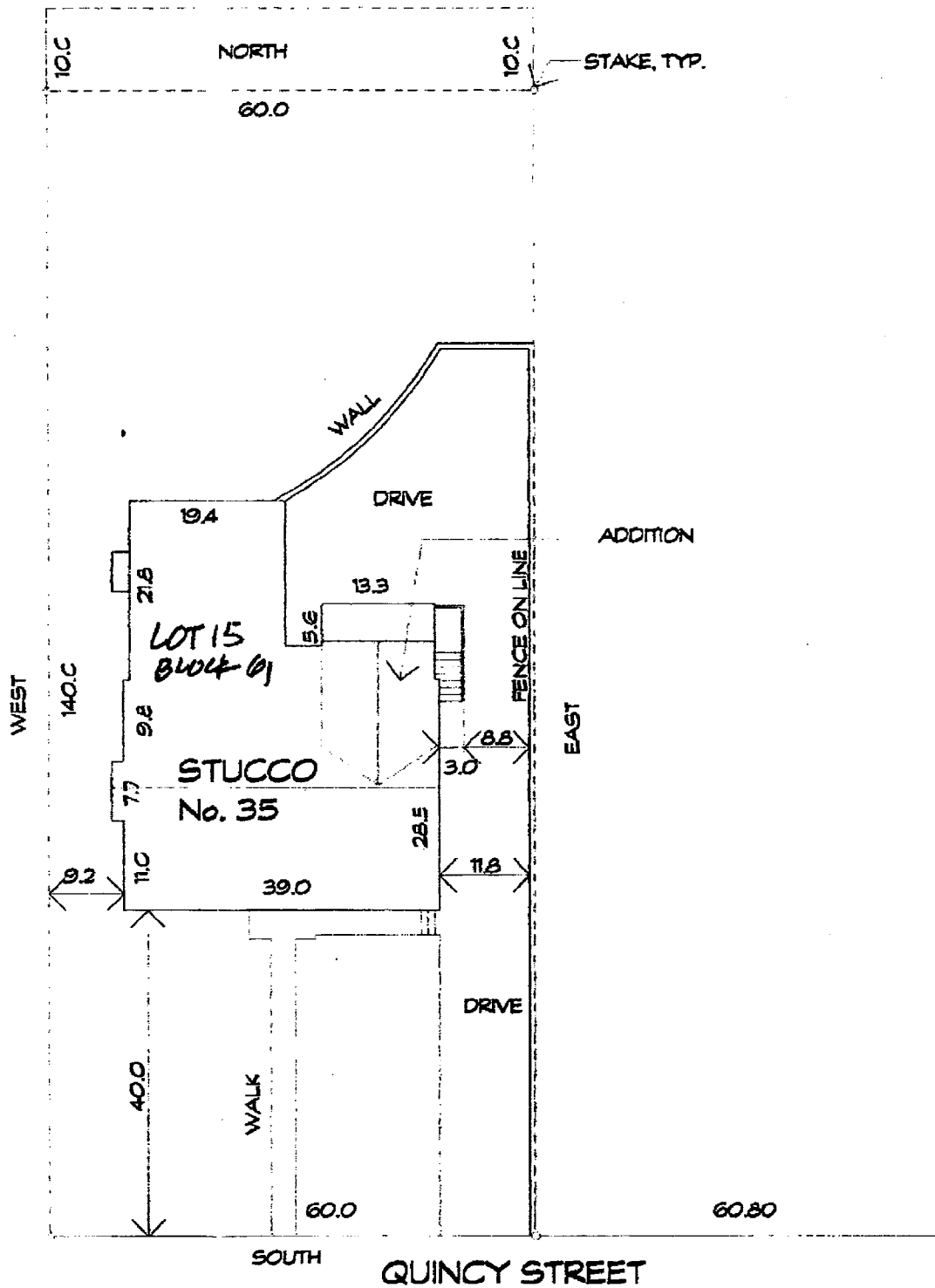
SACKS HOGG RESIDENCE
 35 QUINCY STREET
 CHEVY CHASE MARYLAND



2 EXISTING ATTIC FLOOR PLAN
A2.01 NOT TO SCALE

PAGE 4/4
SEPTEMBER 17, 2004

SACKS HOGG RESIDENCE
35 QUINCY STREET
CHEVY CHASE MARYLAND



SITE PLAN

SCALE: 1" = 20'-0"

SACKS RESIDENCE

35 QUINCY STREET CHEVY CHASE MARYLAND

SEPTEMBER 17, 2004

MCMURRAY ARCHITECTURE INTERIORS PLLC

202.686.6268



September 17, 2004

Neighbors for 35 Quincy Street

37 Quincy
Myrland, Eric H
37 Quincy Street
Chevy Chase Maryland 20815

33 Quincy
Reeside, Betty H ET AL TR
6424 10th St
Alexandria VA 22307-1447

32 Quincy
Mysliwiec, Diana D
32 Quincy Street
Chevy Chase Maryland 20815

34 Quincy
Abbey, David M & CB
34 Quincy Street
Chevy Chase Maryland 20815

36 Quincy
Bourke, Thomas K & DH
36 Quincy Street
Chevy Chase Maryland 20815



FRONT

35 QUINCY STREET

1/3

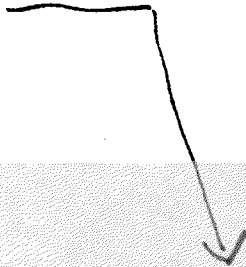


VIEW FROM DRIVEWAY
EAST ELEVATION

35 QUINCY STREET

2/3

ADDITION
ABOVE



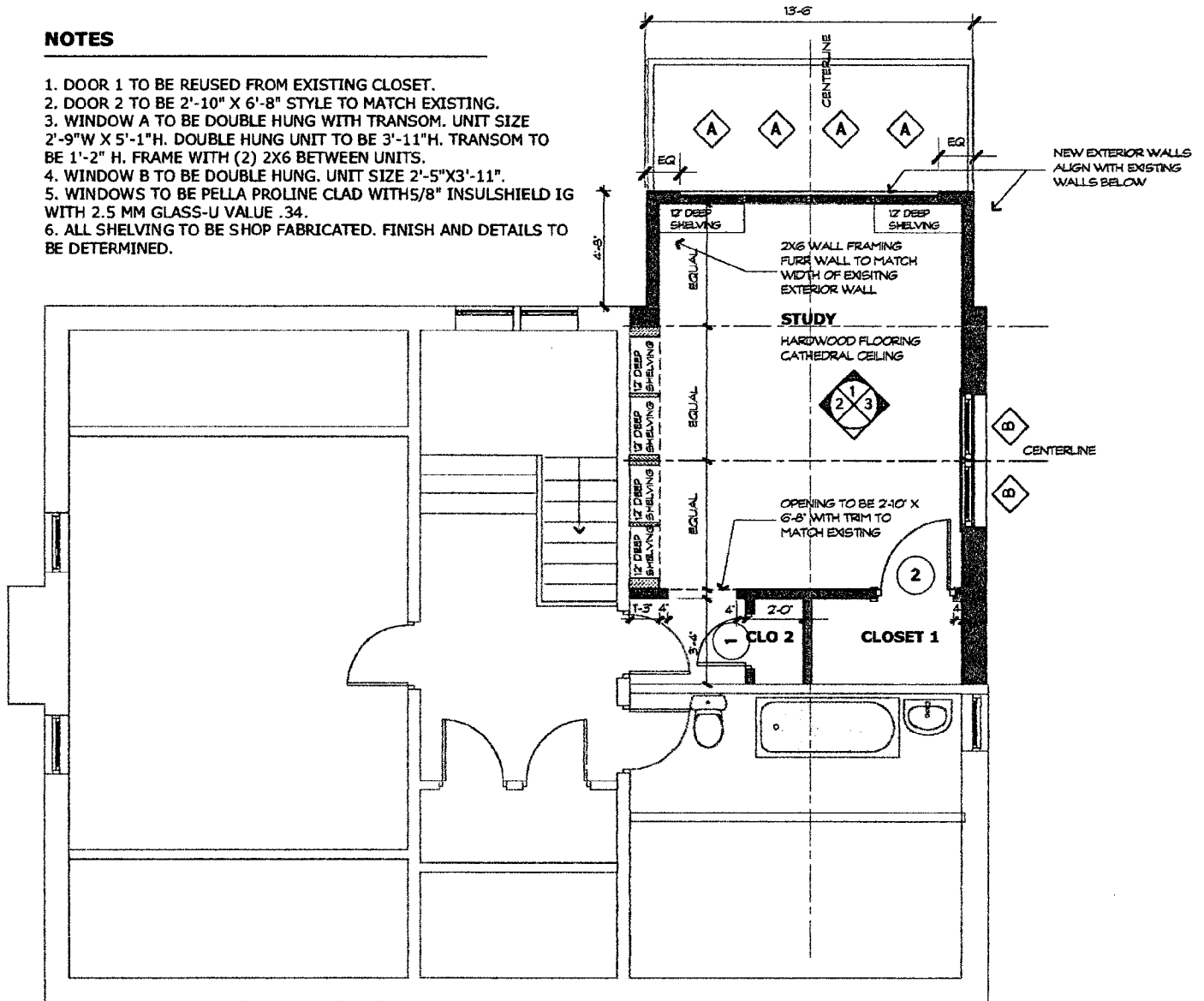
REAR ELEVATION

35 QUINCY STREET

3/3

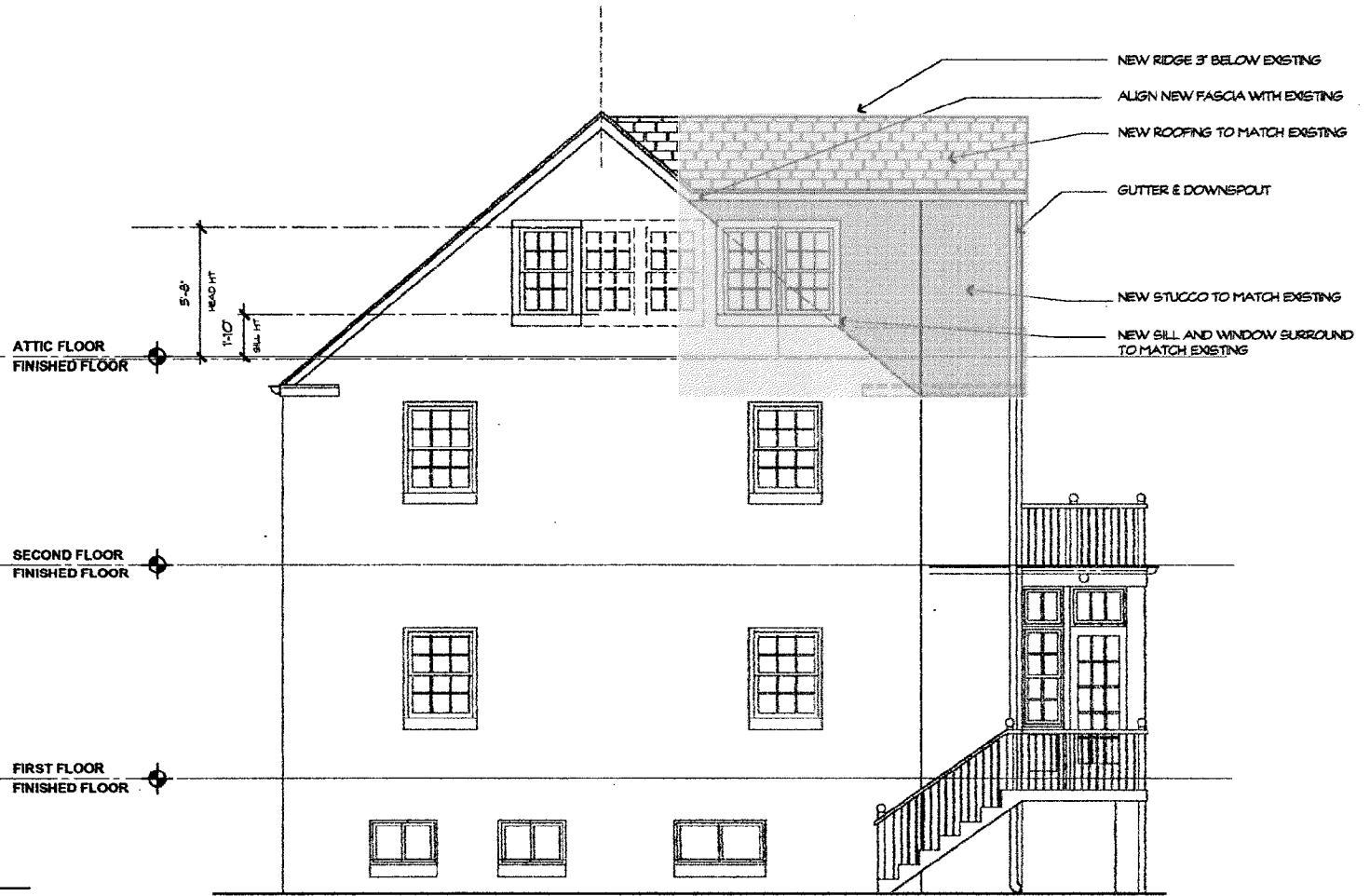
NOTES

1. DOOR 1 TO BE REUSED FROM EXISTING CLOSET.
2. DOOR 2 TO BE 2'-10" X 6'-8" STYLE TO MATCH EXISTING.
3. WINDOW A TO BE DOUBLE HUNG WITH TRANSOM. UNIT SIZE 2'-9"W X 5'-1"H. DOUBLE HUNG UNIT TO BE 3'-11"H. TRANSOM TO BE 1'-2" H. FRAME WITH (2) 2X6 BETWEEN UNITS.
4. WINDOW B TO BE DOUBLE HUNG. UNIT SIZE 2'-5"X3'-11".
5. WINDOWS TO BE PELLA PROLINE CLAD WITH 5/8" INSULSHIELD IG WITH 2.5 MM GLASS-U VALUE .34.
6. ALL SHELVING TO BE SHOP FABRICATED. FINISH AND DETAILS TO BE DETERMINED.



1 ATTIC FLOOR PLAN
A2.01 NOT TO SCALE

SACKS HOGG RESIDENCE
 35 QUINCY STREET
 CHEVY CHASE MARYLAND

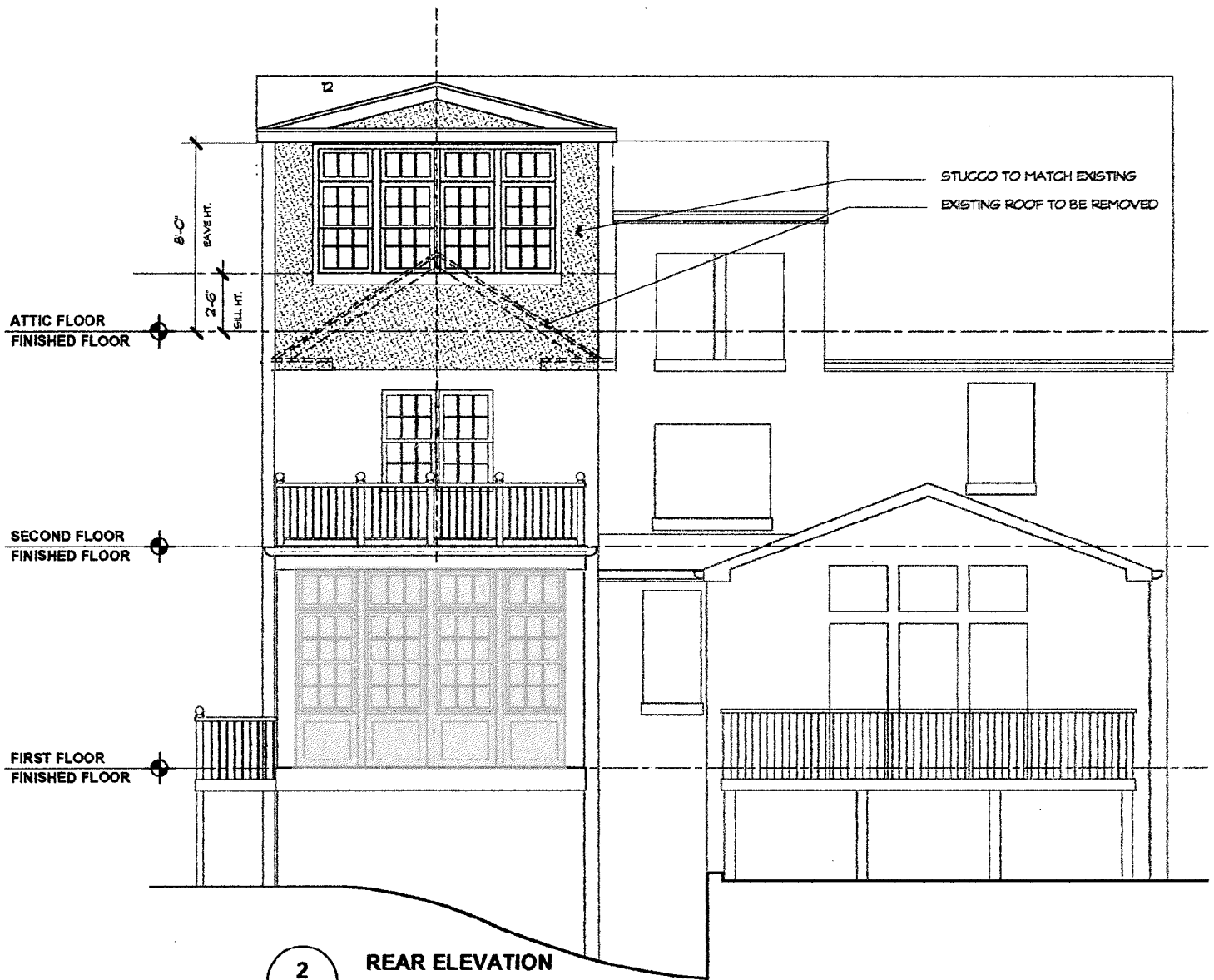


2 EAST ELEVATION
A2.01 SCALE: 1/4"=1'-0"

PAGE 2/4

SEPTEMBER 17, 2004

SACKS HOGG RESIDENCE
 35 QUINCY STREET
 CHEVY CHASE MARYLAND



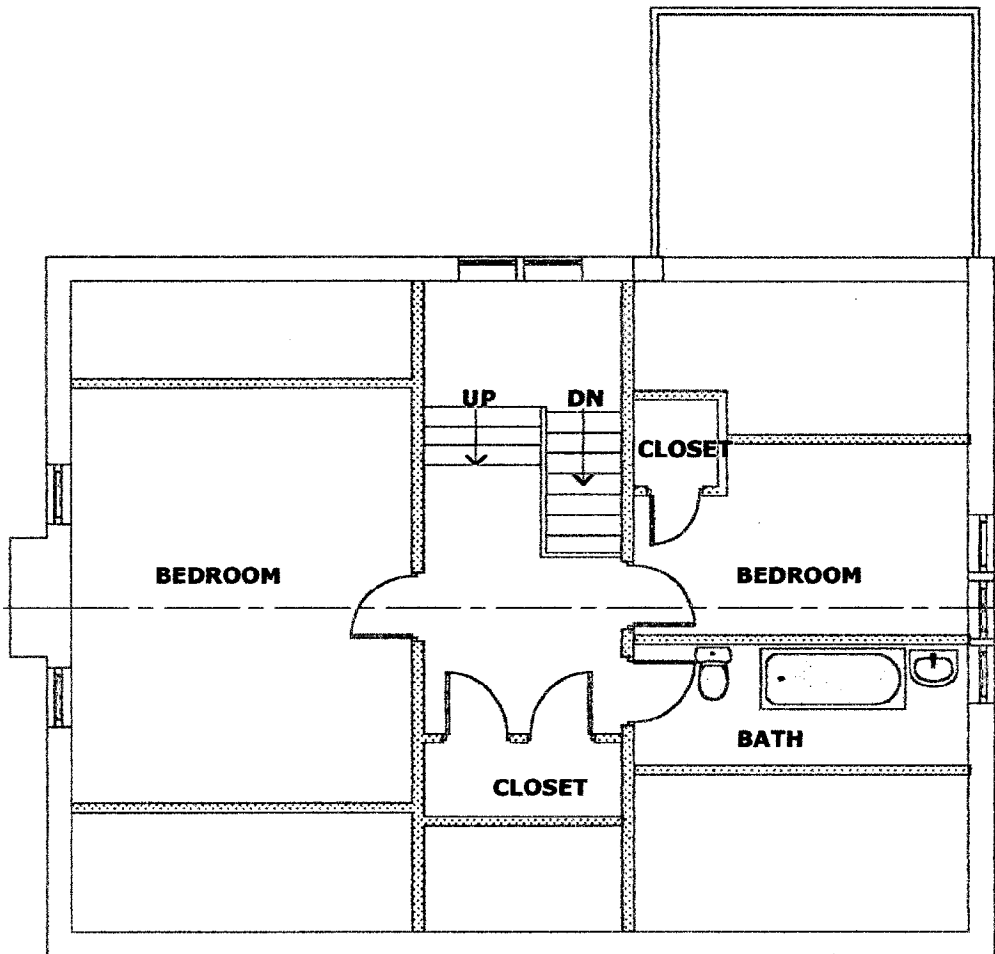
2 REAR ELEVATION
 A3.01 SCALE: 1/4"=1'-0"

NOTE: NEW TRIM TO MATCH EXISTING

PAGE 3/4

SEPTEMBER 17, 2004

SACKS HOGG RESIDENCE
 35 QUINCY STREET
 CHEVY CHASE MARYLAND



2 EXISTING ATTIC FLOOR PLAN
A2.01 NOT TO SCALE

PAGE 4/4
SEPTEMBER 17, 2004

SACKS HOGG RESIDENCE
35 QUINCY STREET
CHEVY CHASE MARYLAND

September 17, 2004

Neighbors for 35 Quincy Street

37 Quincy
Myrland, Eric H
37 Quincy Street
Chevy Chase Maryland 20815

33 Quincy
Reeside, Betty H ET AL TR
6424 10th St
Alexandria VA 22307-1447

32 Quincy
Mysliwiec, Diana D
32 Quincy Street
Chevy Chase Maryland 20815

34 Quincy
Abbey, David M & CB
34 Quincy Street
Chevy Chase Maryland 20815

36 Quincy
Bourke, Thomas K & DH
36 Quincy Street
Chevy Chase Maryland 20815



FRONT

35 QUINCY STREET

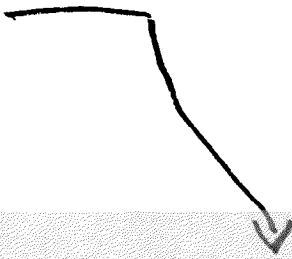
1/3



VIEW FROM DRIVEWAY
EAST ELEVATION
35 QUINCY STREET

2/3

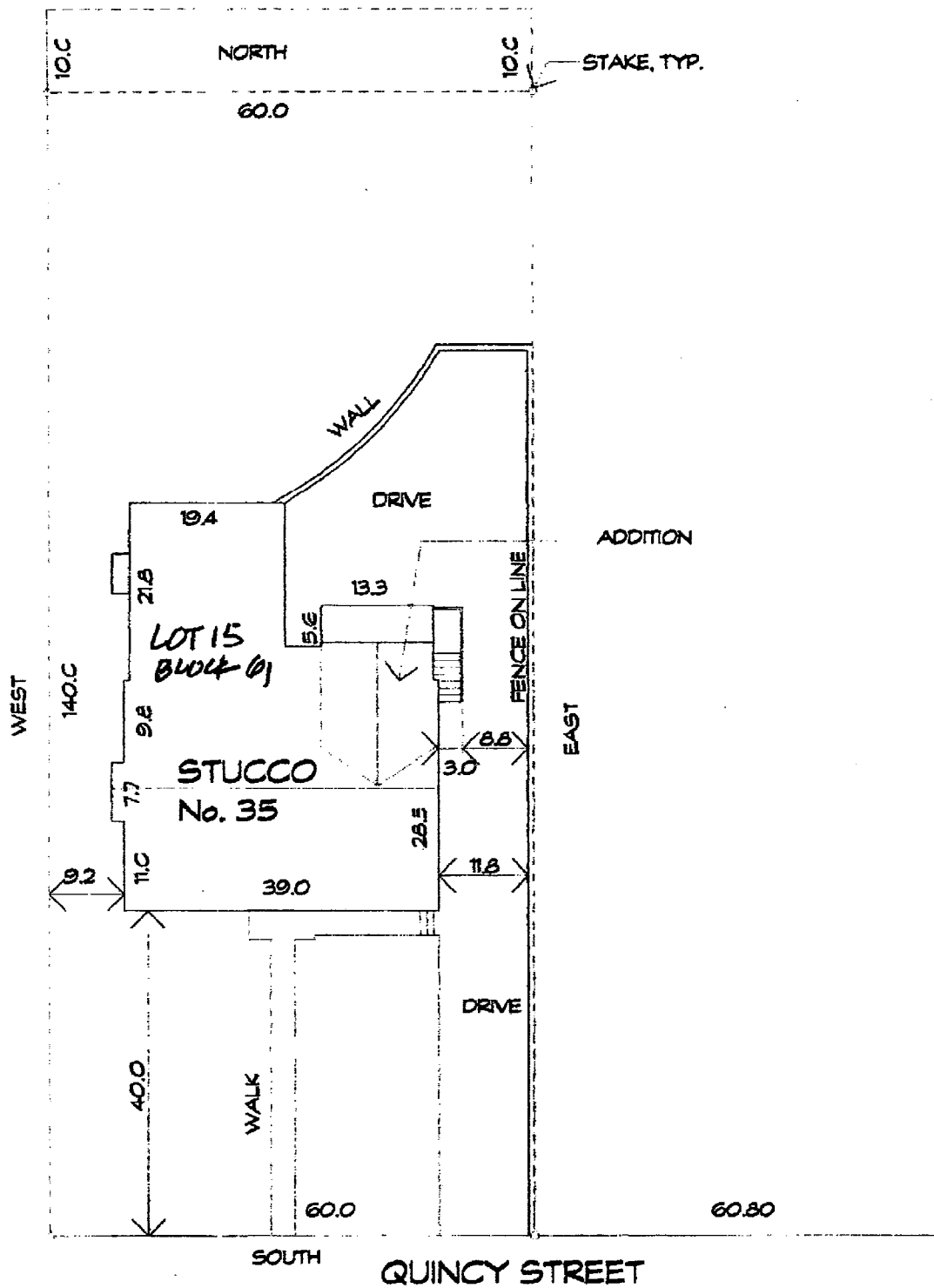
ADDITION
ABOVE



REAR ELEVATION

35 QUINCY STREET

3/3



SITE PLAN

SCALE: 1" = 20'-0"

SACKS RESIDENCE

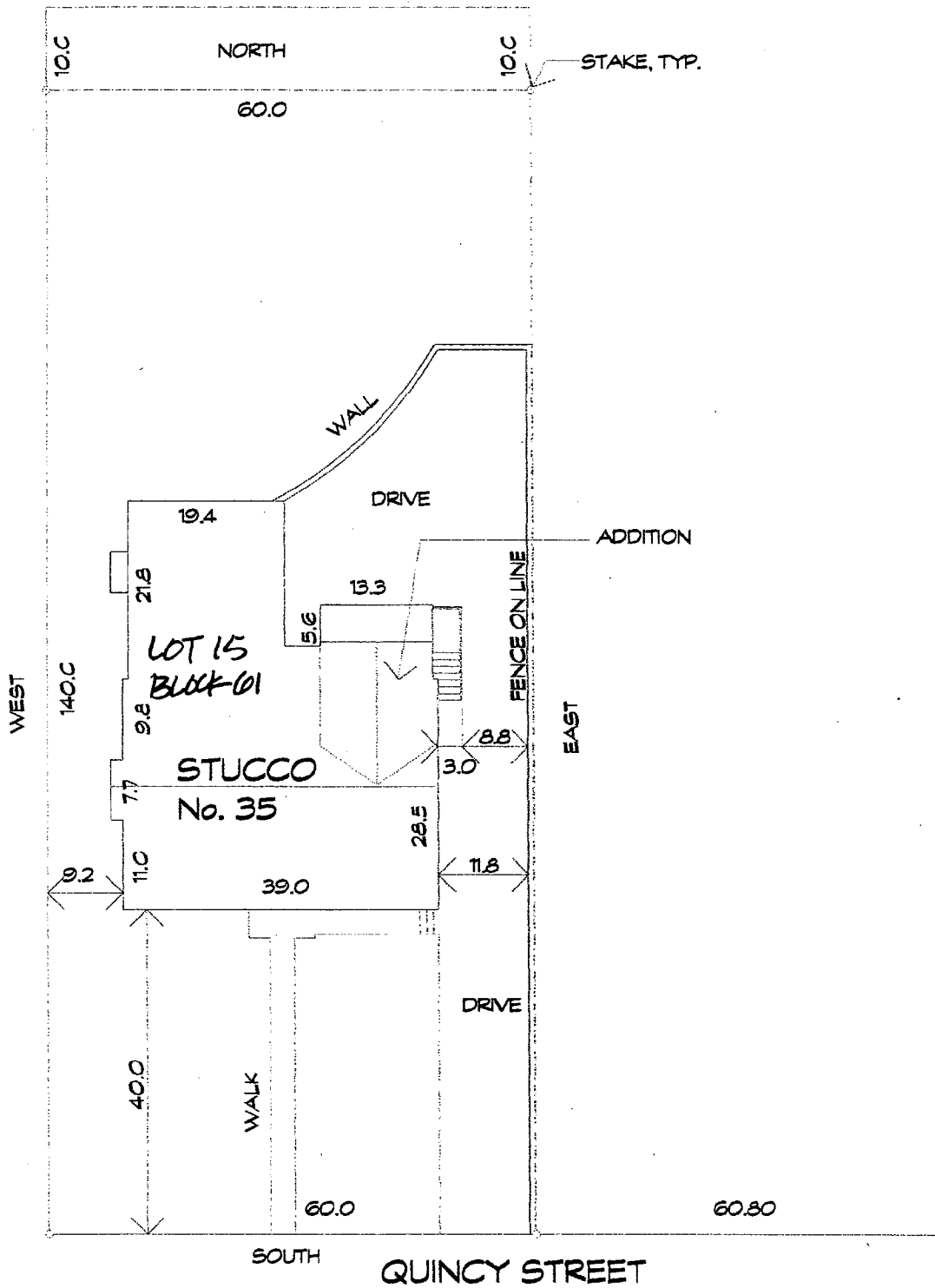
35 QUINCY STREET CHEVY CHASE MARYLAND

SEPTEMBER 17, 2004

MCMURRAY ARCHITECTURE INTERIORS PLLC

202.686.6268





SITE PLAN

SCALE: 1" = 20'-0"

SACKS RESIDENCE

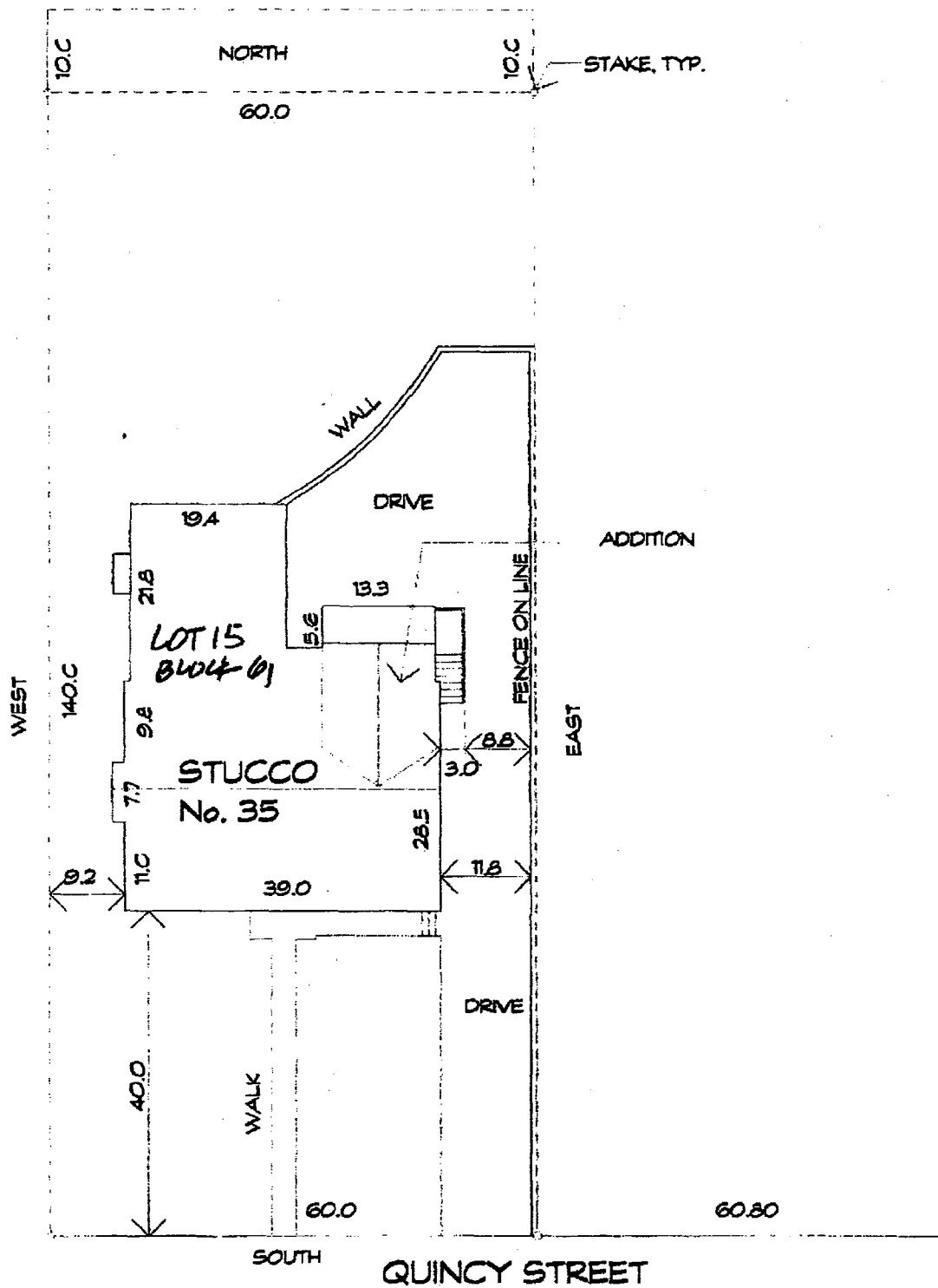
35 QUINCY STREET CHEVY CHASE MARYLAND

SEPTEMBER 17, 2004

MCMURRAY ARCHITECTURE INTERIORS PLLC

202.686.6268





SITE PLAN

SCALE: 1" = 20'-0"

SACKS RESIDENCE

35 QUINCY STREET CHEVY CHASE MARYLAND

SEPTEMBER 17, 2004

MCMURRAY ARCHITECTURE INTERIORS PLLC

202.686.6268





Date: October 18, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Michele Naru, Senior Planner
Historic Preservation Section

SUBJECT: Historic Area Work Permit # 359015

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED with Condition**. This condition is:

The applicants will utilize the Pella Proline window with the optional grilles, which are permanently bonded to the interior and exterior of the insulating glass simulating a divided light appearance.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Steve Sacks (McCain McMurray, Agent)

Address: 35 Quincy Street, Chevy Chase Village Historic District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2nd FLOOR, ROCKVILLE, MD 20850
240-777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: MCCAIN MCMURRAY
Daytime Phone No.: 202.686.6268

Tax Account No.: _____

Name of Property Owner: STEVE SACKS Daytime Phone No.: 202.662.3316

Address: 35 QUINCY STREET CHEVY CHASE MD 20815
Street Number City State Zip Code

Contractor: JOHN CASSELL NOT SELECTED Phone No.: 301

Contractor Registration No.: _____

Agent for Owner: MCCAIN MCMURRAY Daytime Phone No.: 202.686.6268

LOCATION OF BUILDING/PREMISE

House Number: 35 Street: QUINCY
Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE-TENNANT TOWN
Lot: 15 Block: 01 Subdivision: CHEVY CHASE VILLAGE SECTION 2
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 52,000
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

William W. Murray 9.21.04
Signature of owner or authorized agent Date

Approved: X W/CONDITION For Chairperson, Historic Preservation Commission
Disapproved: 3591015 Signature: Julia O'Malley Date: 10/18/04
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

STUCCO HOUSE

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ADD STUDY IN ATTIC ABOVE EXISTING MASTER BATH
NO CHANGE TO FOOTPRINT
MAINTAIN CONSISTENCY IN EXTERIOR WINDOWS, MATERIALS
& SCALE

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY INTO MAILING LABELS.

GENERAL NOTES

1 GENERAL

1.1 ALL WORK SHALL CONFORM TO APPLICABLE LOCAL AND NATIONAL CODES AND ORDINANCES.

1.2 UNLESS OTHERWISE NOTED, ALL NEW WORK SHALL CORRESPOND TO THAT WITH WHICH IT CONNECTS OR TO EXISTING SIMILAR CONDITIONS IN MATERIAL, WORKMANSHIP AND FINISH.

1.3 THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE BEGINNING THE WORK AND BE RESPONSIBLE FOR THEIR CORRECTNESS TO ASSURE A PROPER FIT OF ALL MATERIALS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY FOR CORRECTION OR DECISION.

1.4 DRAWING DIMENSIONS ARE TAKEN TO THE ROUGH SURFACE EXCEPT AS INDICATED. DIMENSIONS LABELED "VIF" ARE TO BE SUBJECT TO VERIFICATION IN THE FIELD AND ADJUSTMENT FOR EXISTING CONDITIONS. IF DISCREPANCIES ARE DISCOVERED THEY SHALL BE REPORTED TO THE ARCHITECT AT ONCE.

1.5 THE OWNER OR HIS AGENT SHALL OBTAIN THE BUILDING PERMIT. THE VARIOUS REQUIRED TRADE PERMITS SHALL BE OBTAINED BY THE RESPECTIVE TRADE SUBCONTRACTORS.

1.6 THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL WORK WITH AND BETWEEN MECHANICAL, ELECTRICAL AND PLUMBING TRADES PRIOR TO AND DURING INSTALLATION.

1.7 ALL MATERIALS SHALL CONFORM WITH SPECIFICATIONS OF UNDERWRITERS LABORATORY AND THE NATIONAL MANUFACTURERS ASSOCIATION.

1.8 ALL MATERIALS SHALL BE AS SPECIFIED ON THESE DRAWINGS. ANY SUBSTITUTIONS MUST BE APPROVED BY THE OWNER OR ARCHITECT.

1.9 ALL AREAS SHALL BE LEFT CLEAN AND ANY DAMAGED WORK SHALL BE REPLACED WITH NEW.

2 DEMOLITION

2.1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE DEMOLITION OF ALL ELEMENTS AS SCHEDULED ON THESE PLANS OR AS REQUIRED TO COMPLETE THE WORK AS SHOWN HEREIN AND PAY ALL FEES CONNECTED WITH REMOVAL AND DUMP, UNLESS OTHERWISE DESIGNATED BY THE OWNER PRIOR TO DEMOLITION OR UNLESS SUCH ITEMS ARE SCHEDULED FOR REUSE ON THE PROJECT.

2.2 DEMOLITION OF PORTION OF THE EXISTING STRUCTURE SHALL BE AS INDICATED ON THE DRAWINGS AND/OR AS NECESSARY TO PLACE NEW WORK AS SHOWN ON THE DRAWINGS. PROVIDE TEMPORARY BRACING AS REQUIRED TO PREVENT DAMAGE OR MOVEMENT OF EXISTING STRUCTURE BEFORE BEGINNING THE DEMOLITION OF LOADBEARING STRUCTURAL ELEMENTS. PROVIDE TEMPORARY CLOSURES AS REQUIRED FOR WEATHERPROOFING OR SECURITY.

3 CONCRETE

3.1 ALL NEW CONCRETE FOR SLABS AND FOOTING SHALL HAVE 3000 PSI COMPRESSIVE STRENGTH AT 28 DAYS.

3.2 VAPOR BARRIERS OVER GRAVEL FILL SHALL BE 6 MIL POLYETHYLENE FILM, LAPPED 12" AND WITHOUT HOLES OR RUPTURES, TURN UP 6" ON WALLS.

3.3 GRAVEL FILL SHALL BE CLEAN, WASHED, GRAVEL FREE FROM CLAY, LOAM, SILT, EXCESSIVE FINES AND WELL GRADED.

3.4 CONCRETE DECK SLAB TO BE SMOOTH FLOAT FINISH WITH SAW CUT PATTERN AS INDICATED ON FLOOR PLAN.

4 MASONRY

4.1 CONCRETE MASONRY UNITS SHALL BE GRADE 'N' ASTM C-90.

4.2 HORIZONTAL JOINT REINFORCEMENT SHALL BE TRUSS TYPE WIRE WALL TIES BY DUR-O-WALL OR APPROVED EQUAL AS REQUIRED TO BOND THE MASONRY WALL.

5 METALS (NOT USED)

6 WOOD

6.1 NEW WOOD STUD BEARING WALLS TO BE 2X6 AT 16" O.C. S-P-F STUD GRADE OR BETTER PROVIDE BLOCKING AS REQUIRED.

6.2 NEW WOOD JOISTS, BEAMS AND RAFTERS TO BE HEMFIR #2 OR BETTER. LUMBER SIZES INDICATED ON DRAWINGS.

6.3 ALL NEW WOOD CONSTRUCTION IN CONTACT WITH CONCRETE OR MASONRY IN AN EXTERIOR LOCATION OR EXPOSED WITHIN 18" OF GRADE SHALL BE PRESERVATIVE TREATED MATERIAL.

6.4 EXTERIOR SOFFITS TO BE 1/2" PLYWOOD PLYSHIELD AC EXTERIOR QUALITY.

6.5 EXTERIOR SIDING TO BE 3/4" PLYWOOD PLYSHIELD AC EXTERIOR QUALITY.

6.8 MILLWORK

6.81 MILLWORK CABINETRY FABRICATION TO COMPLY WITH ARCHITECTURAL WOODWORK INSTITUTE (AWI) QUALITY GRADE PREMIUM.

6.82 FINISH TO BE SHOP APPLIED STAIN. STAIN FINISH AND COLOR TO BE SELECTED AS INDICATED ON A3.01.

7 THERMAL/MOISTURE PROTECTION

7.1 INSULATION TO BE FIBERGLASS BATTS WITH FOIL WITH R VALUES AS FOLLOWS: AT WALLS R-21, AT CEILING R-38.

7.2 GUTTER AND DOWNSPOUT TO BE ANODIZED ALUMINUM, STANDARD OGEE STYLE, WHITE TO MATCH EXISTING.

7.3 ROOFING TO BE SHINGLES TO MATCH EXISTING.

8 DOORS & WINDOWS (SEE DRAWINGS FOR SPECIFICATIONS)

9 FINISHES

9.1 PAINT

9.11 PAINT TO BE BENJAMIN MOORE FROM THEIR HIGHEST QUALITY LINE OF PAINT PRODUCTS OR EQUAL. COLORS TO BE SELECTED.

9.12 PAINT ON INTERIOR WOOD: 1 COAT OIL PRIMER, 2 COATS OIL FINISH SEMIGLOSS.

9.13 PAINT ON EXTERIOR WOOD: 1 COAT OIL BASE PRIMER, 2 COATS OIL BASE FINISH SEMIGLOSS.

10, 11, 12, 13, 14 (NOT USED)

15 MECHANICAL (SEE SHEET M2.01)

16 ELECTRICAL

16.1 ALL WORK TO BE DONE ACCORDING TO ALL APPLICABLE CODES

16.2 ELECTRICAL CONTRACTOR IS TO OBTAIN ALL PERMITS AND INSPECTIONS AND TO PAY ALL RELATED FEES.

16.3 ALL MATERIALS SHALL CONFORM WITH SPECIFICATIONS OF UNDERWRITERS LABORATORIES (UL) AND THE NATIONAL MANUFACTURERS ASSOCIATION.

16.4 ELECTRICAL CONTRACTOR TO COORDINATE WITH OTHER TRADES TO INSURE PROPER INSTALLATION OF ALL EQUIPMENT. CONTRACTOR IS TO INFORM GENERAL CONTRACTOR OF ANY EQUIPMENT INSTALLATION CONFLICTS PRIOR TO INSTALLATION.

16.5 PROVIDE AND INSTALL LIGHTING FIXTURES AS SCHEDULED.

16.6 ALL OUTLET PLATES TO MATCH EXISTING.

16.7 ELECTRICAL CONTRACTOR SHALL GUARANTEE ALL MATERIAL, LABOR AND EQUIPMENT FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE; GUARANTEE TO INCLUDE FREE WARRANTY MAINTENANCE FOR FIRST YEAR OF OPERATION.

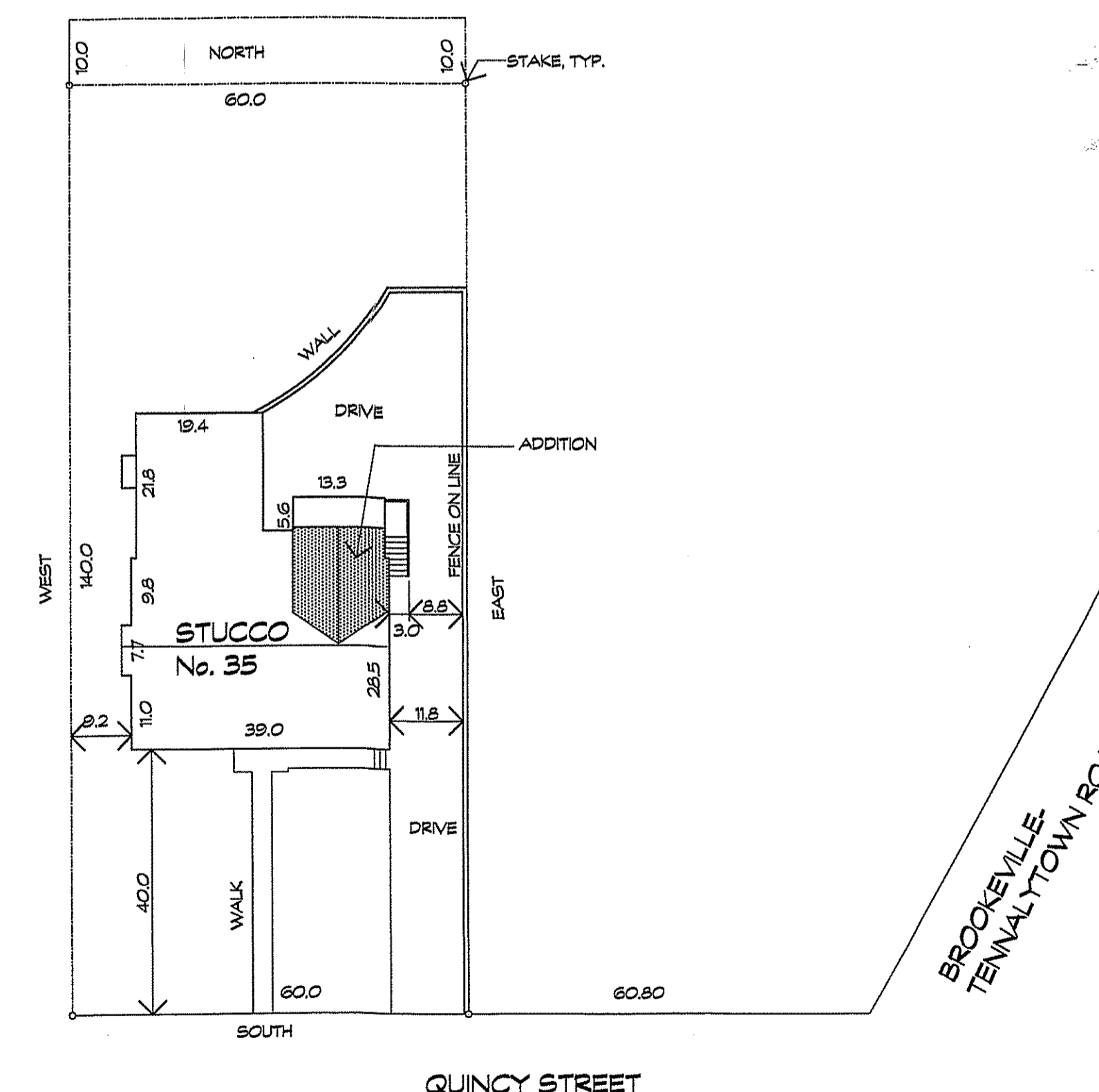
35 QUINCY STREET CHEVY CHASE MARYLAND

PROJECT INFORMATION

BUILDING ADDRESS:	35 QUINCY STREET CHEVY CHASE MARYLAND
ZONING:	R-60
BUILDING CODE:	INTERNATIONAL RESIDENTAL CODE 2000 EDITION

DRAWING INDEX

- A1.01 COVER SHEET, SITE PLAN, SPECIFICATIONS
- A2.01 FLOOR PLAN
REFLECTED CEILING PLAN
INTERIOR ELEVATIONS
- A3.01 EXTERIOR ELEVATIONS
- S2.01 STRUCTURAL PLANS, DETAILS



1 SITE PLAN
A1.01 SCALE: 1/20" = 1'0"

APPROVED
Montgomery County
Historic Preservation Commission
Julia D. Walker
10/18/04

04003.00

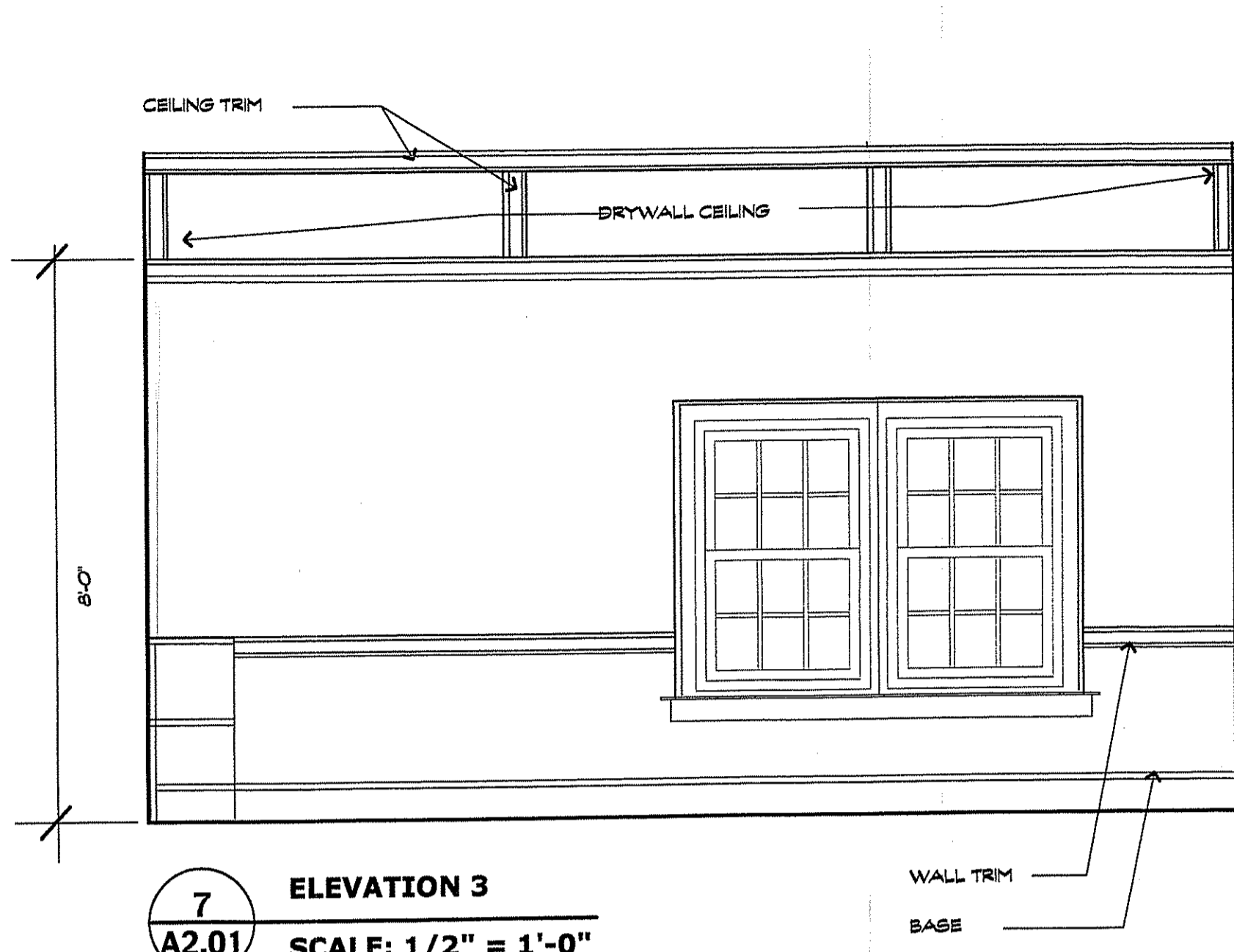
DO NOT SCALE DRAWINGS. REFER TO WRITTEN DIMENSIONS ONLY OR CONTACT ARCHITECT FOR CLARIFICATION BEFORE ORDERING MATERIALS OR PROCEEDING WITH CONSTRUCTION.
THESE DRAWINGS ARE PROVIDED AS INSTRUMENTS OF SERVICE AND SHALL REMAIN EXCLUSIVE PROPERTY OF MCMURRAY ARCHITECTURE INTERIORS PLLC. NEITHER HARD COPIES NOR ELECTRONIC COPIES OF THESE DOCUMENTS MAY BE REPRODUCED OR COPIED IN ANY MANNER, IN ANY FORM, WITHOUT THE WRITTEN CONSENT OF MCMURRAY ARCHITECTURE INTERIORS PLLC.
COPYRIGHT 2004 MCMURRAY ARCHITECTURE INTERIORS PLLC

SACKS HOGG RESIDENCE
35 QUINCY STREET
CHEVY CHASE MARYLAND

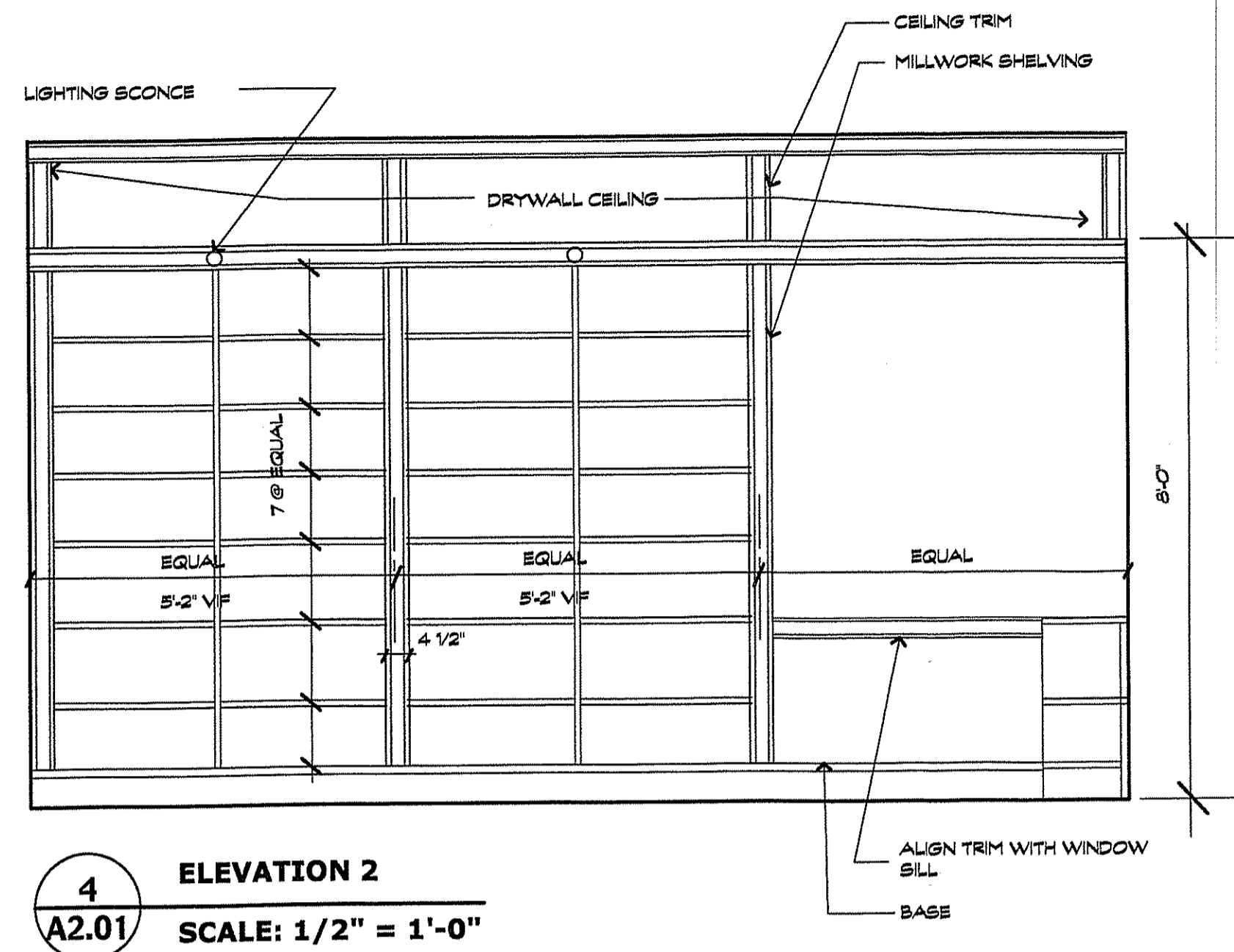
SEPTEMBER 17, 2004
ISSUED FOR PERMITTING & CONSTRUCTION

GENERAL NOTES
SITE PLAN

A1.01

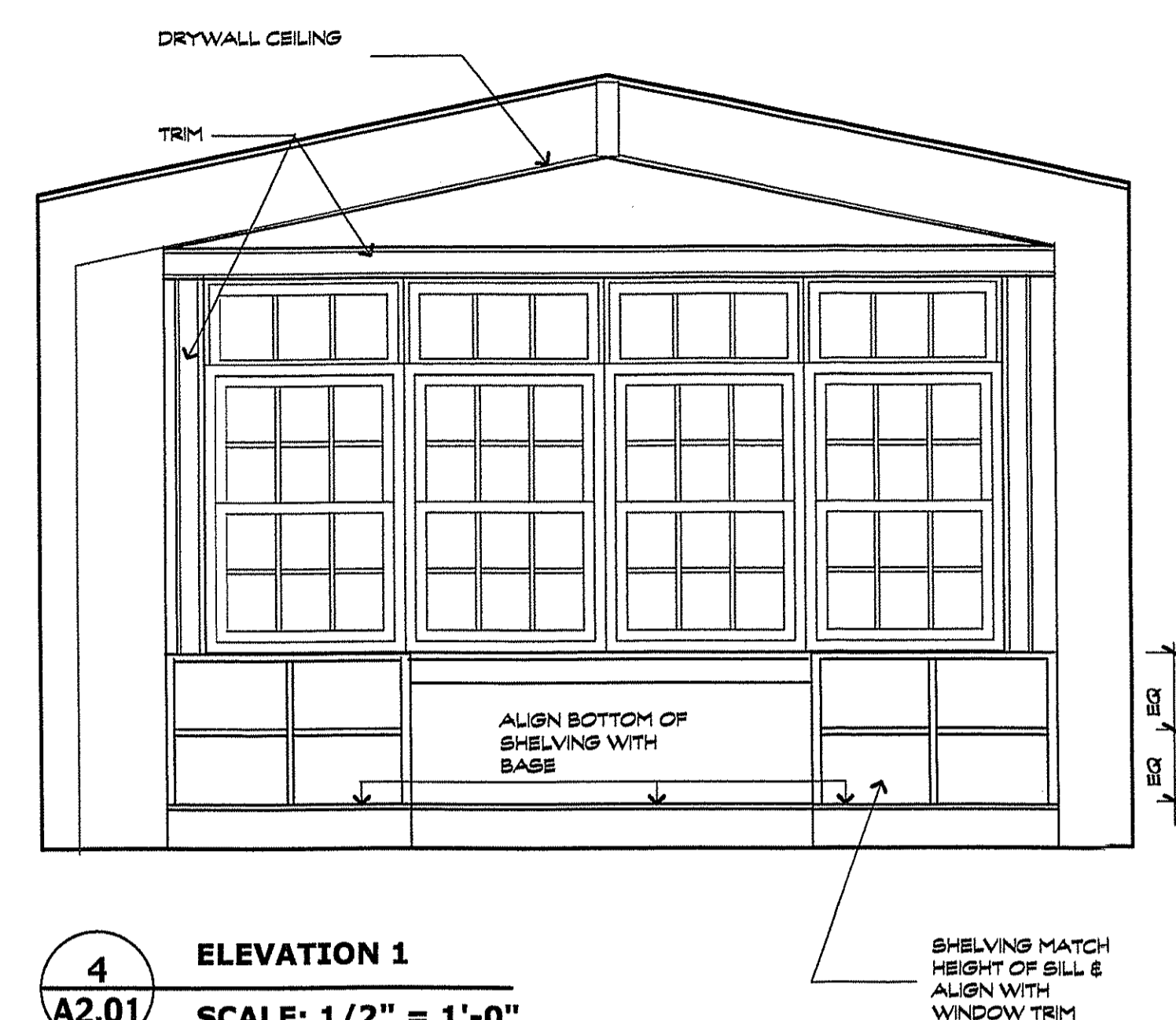


7 ELEVATION 3
A2.01 SCALE: 1/2" = 1'-0"



4 ELEVATION 2
A2.01 SCALE: 1/2" = 1'-0"

NOTES:
1. WALL, CASING AND CEILING TRIM TO BE 4 1/2" X 5/8" TRIM. TRIM TO BE STAINED. COLOR TO BE SELECTED. PROFILE TO BE PROVIDED.
2. SHELVES AND STANDARDS TO HAVE 1 1/4" EDGING TRIM.



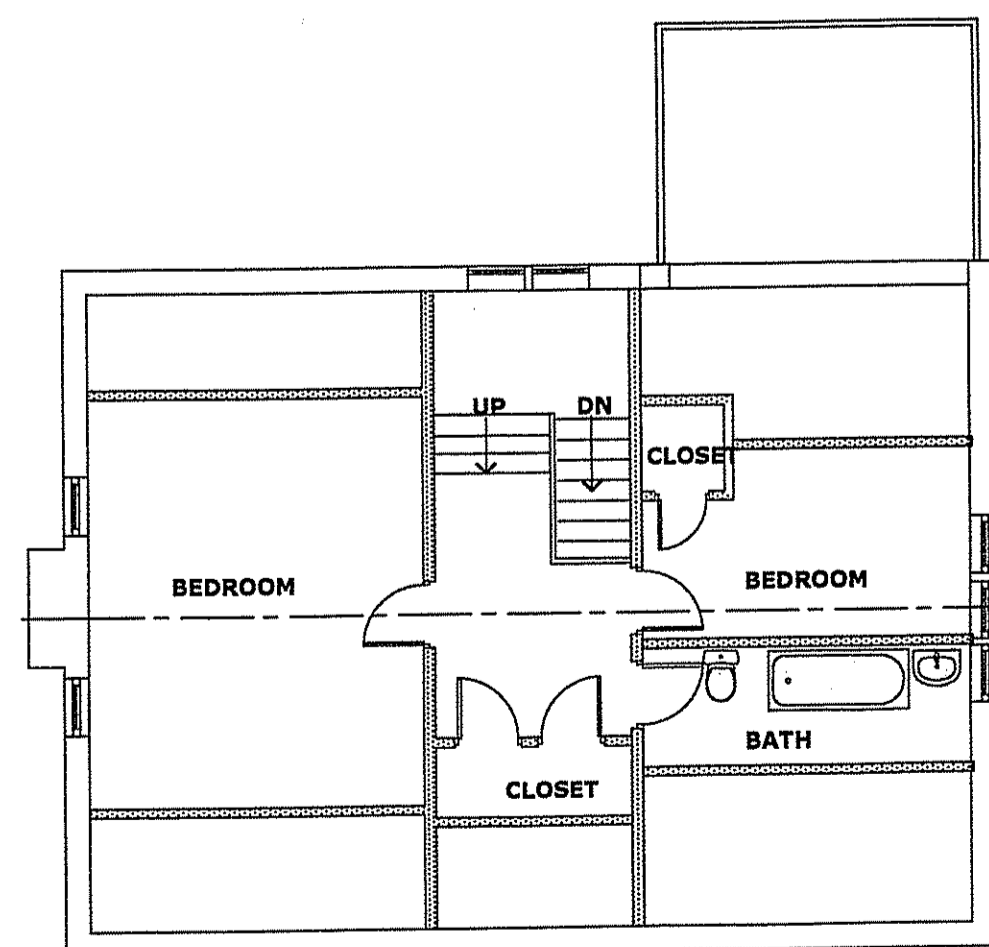
4 ELEVATION 1
A2.01 SCALE: 1/2" = 1'-0"

NOTES

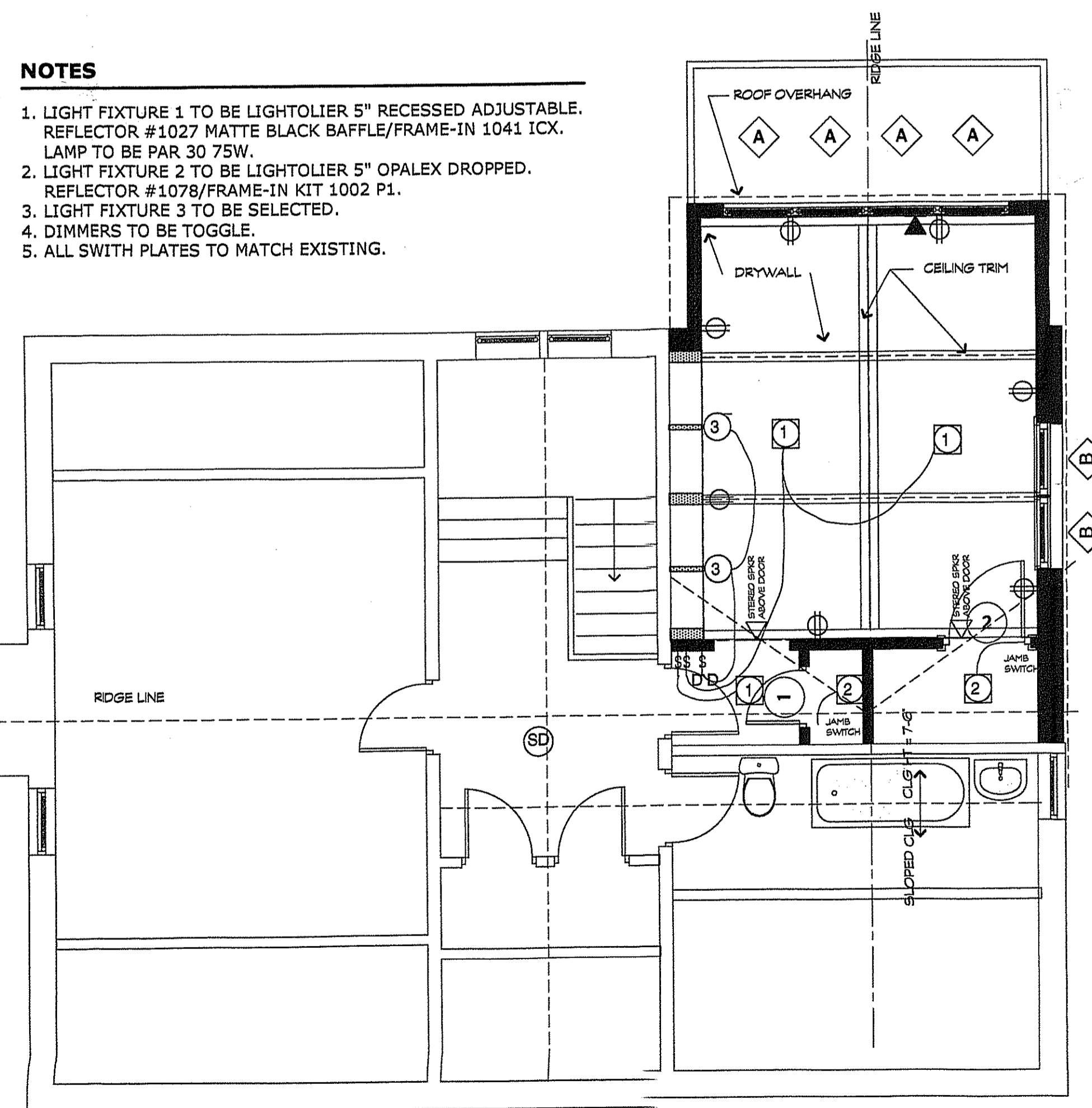
1. LIGHT FIXTURE 1 TO BE LIGHTOLIER 5" RECESSED ADJUSTABLE. REFLECTOR #1027 MATTE BLACK BAFFLE/FRAME-IN 1041 ICX. LAMP TO BE PAR 30 75W.
2. LIGHT FIXTURE 2 TO BE LIGHTOLIER 5" OPALEX DROPPED. REFLECTOR #1078/FRAME-IN KIT 1002 P1.
3. LIGHT FIXTURE 3 TO BE SELECTED.
4. DIMMERS TO BE TOGGLE.
5. ALL SWITCH PLATES TO MATCH EXISTING.

NOTES

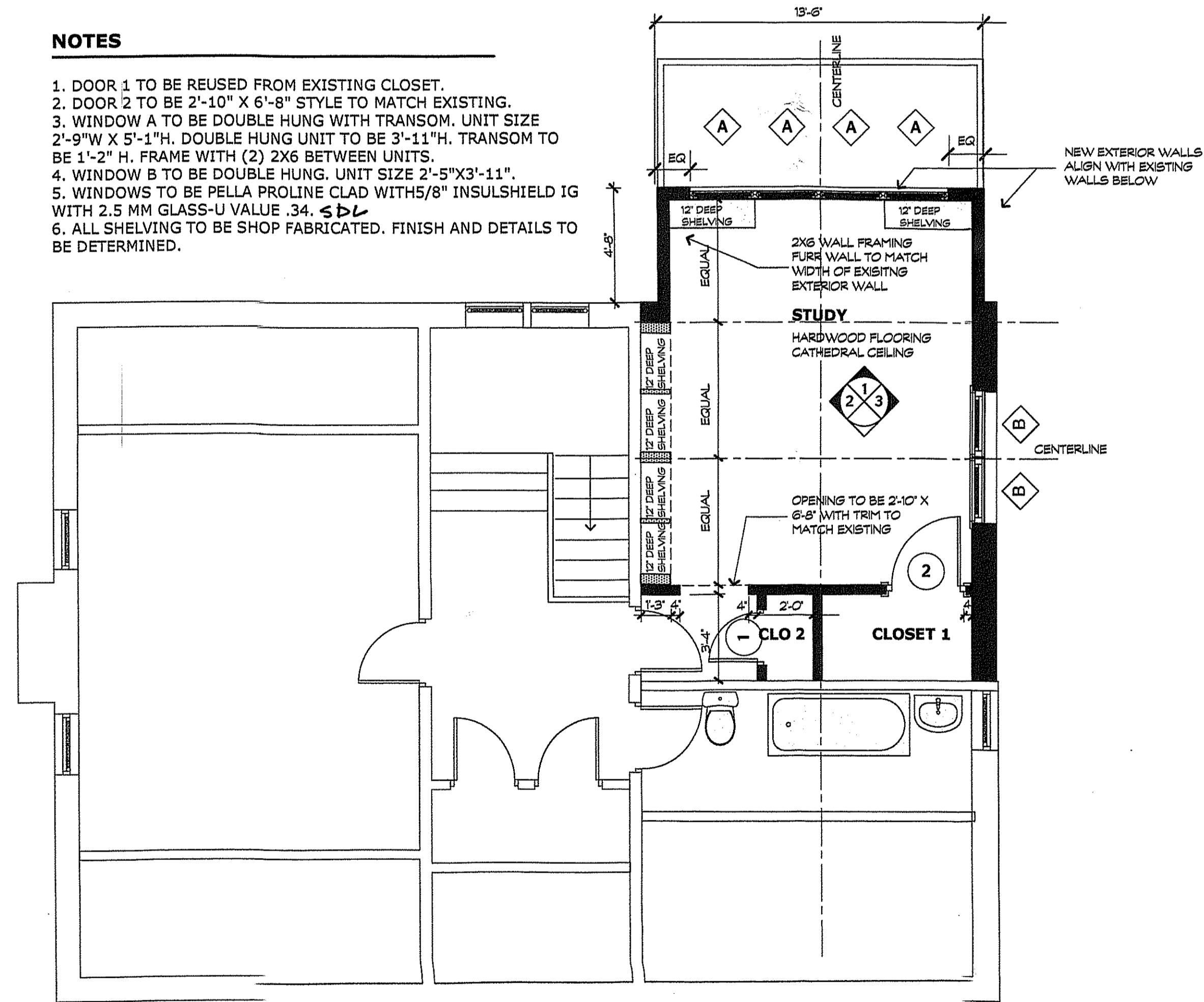
1. DOOR 1 TO BE REUSED FROM EXISTING CLOSET.
2. DOOR 2 TO BE 2'-10" X 6'-8" STYLE TO MATCH EXISTING.
3. WINDOW A TO BE DOUBLE HUNG WITH TRANSOM. UNIT SIZE 2'-9"W X 5'-1"H. DOUBLE HUNG UNIT TO BE 3'-11"H. TRANSOM TO BE 1'-2" H. FRAME WITH (2) 2X6 BETWEEN UNITS.
4. WINDOW B TO BE DOUBLE HUNG. UNIT SIZE 2'-5"X3'-11".
5. WINDOWS TO BE PELLA PROLINE CLAD WITH 5/8" INSULSHIELD IG WITH 2.5 MM GLASS-U VALUE .34. *sbl*
6. ALL SHELVING TO BE SHOP FABRICATED. FINISH AND DETAILS TO BE DETERMINED.



2 EXISTING ATTIC FLOOR PLAN
A2.01 SCALE: 1/4" = 1'-0"



2 ATTIC REFLECTED CEILING / ELECTRICAL PLAN
A2.01 SCALE: 1/4" = 1'-0"



1 ATTIC FLOOR PLAN
A2.01 SCALE: 1/4" = 1'-0"

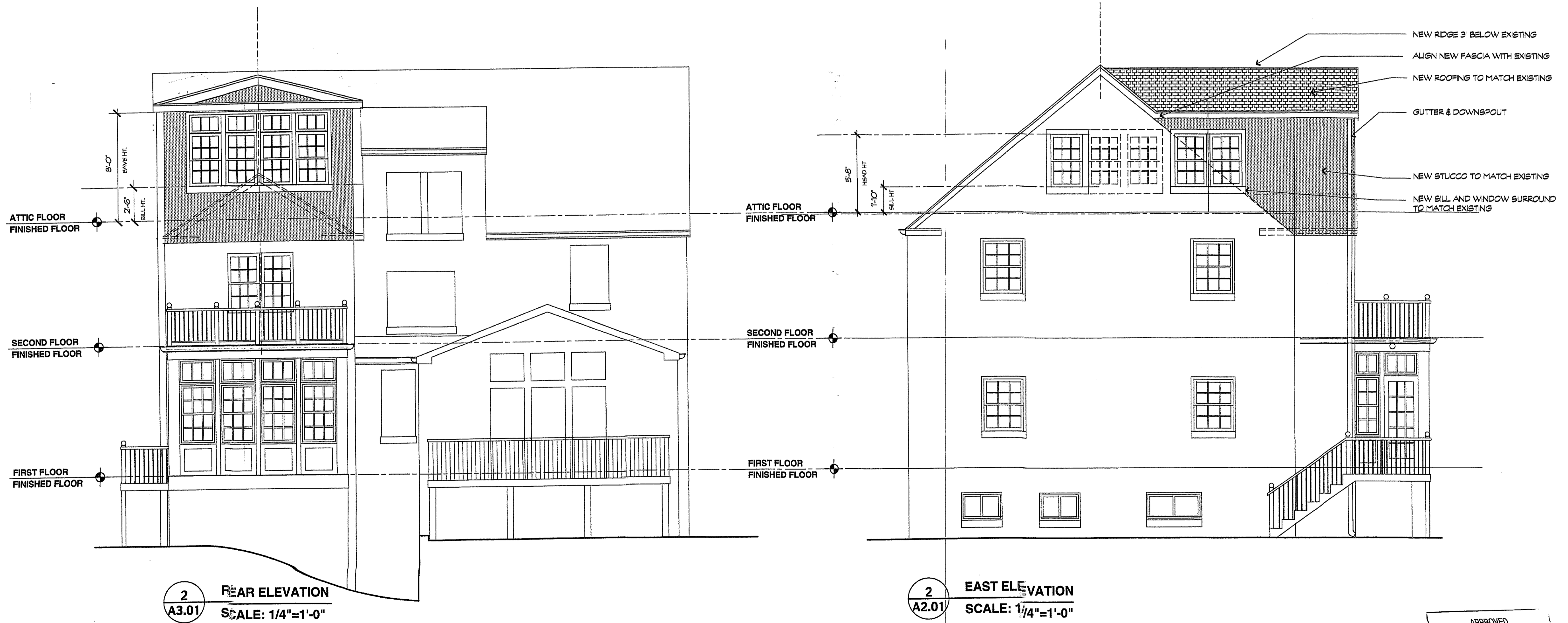
APPROVED
Montgomery County
Historic Preservation Commission
Julia D. Malley

SACKS HOGG RESIDENCE
35 QUINCY STREET
CHEVY CHASE MARYLAND

SEPTEMBER 17, 2004
ISSUED FOR PERMITTING & CONSTRUCTION

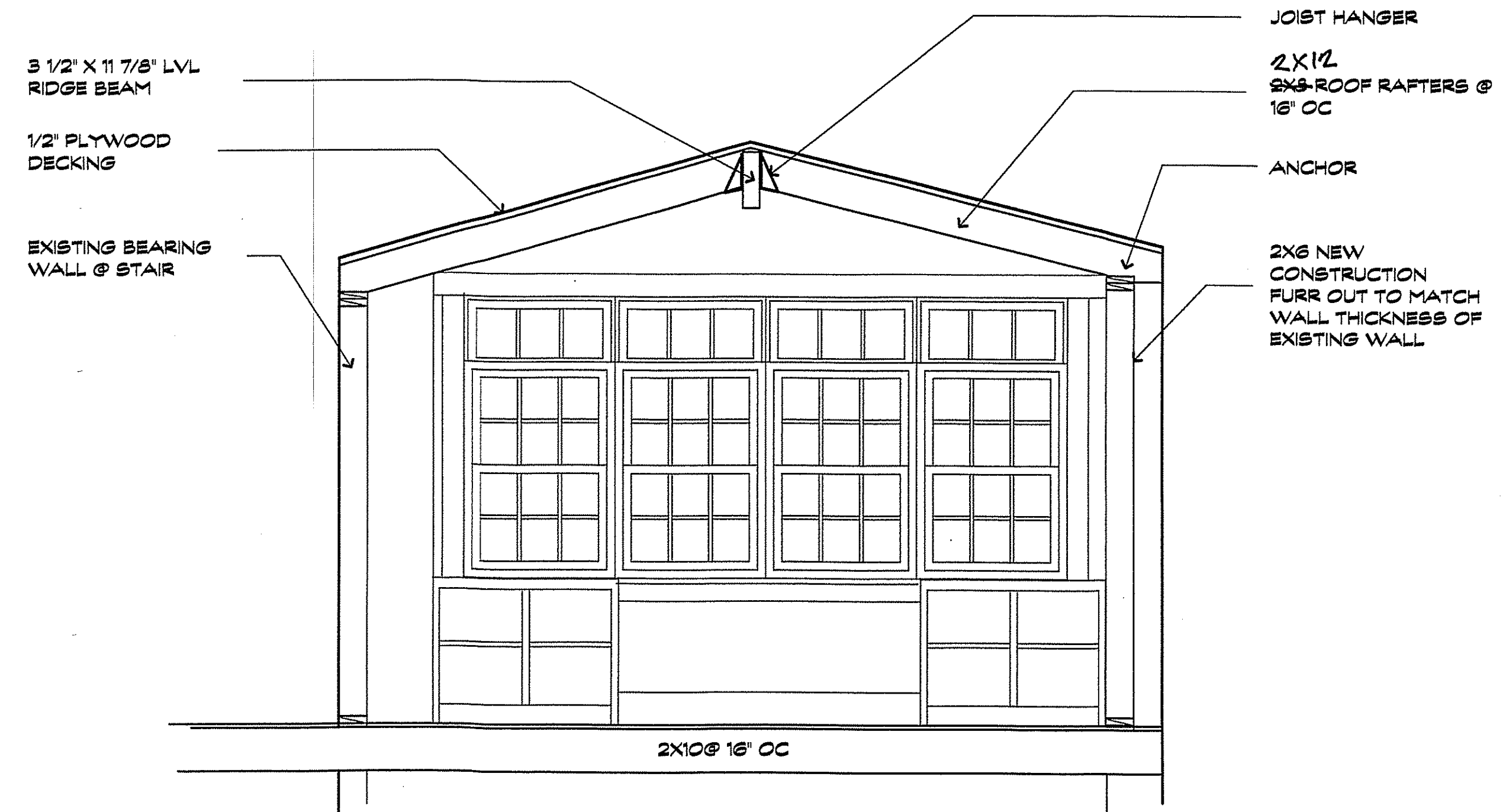
EXTERIOR ELEVATIONS

A3.01

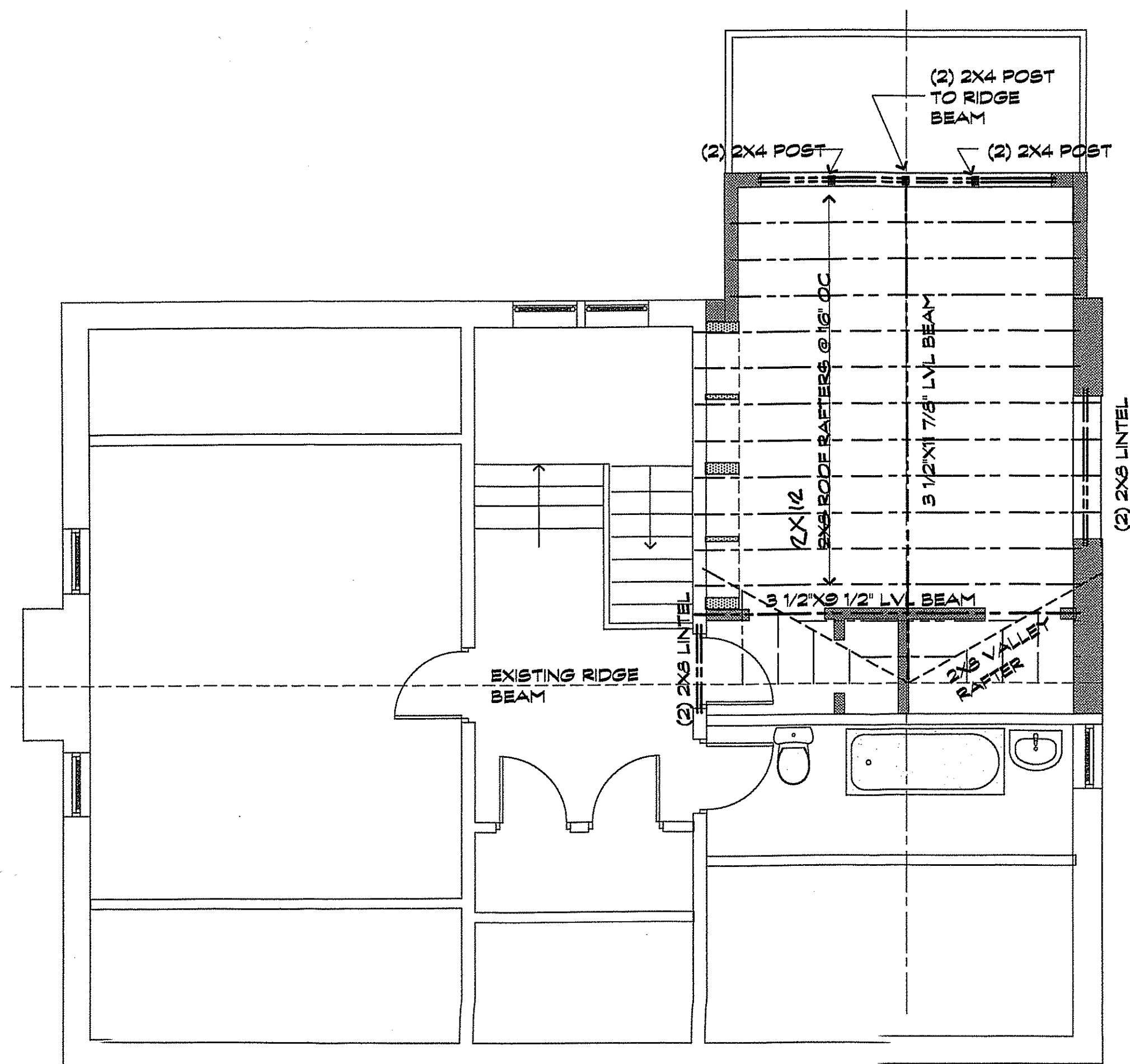


NOTE: NEW TRIM TO MATCH EXISTING

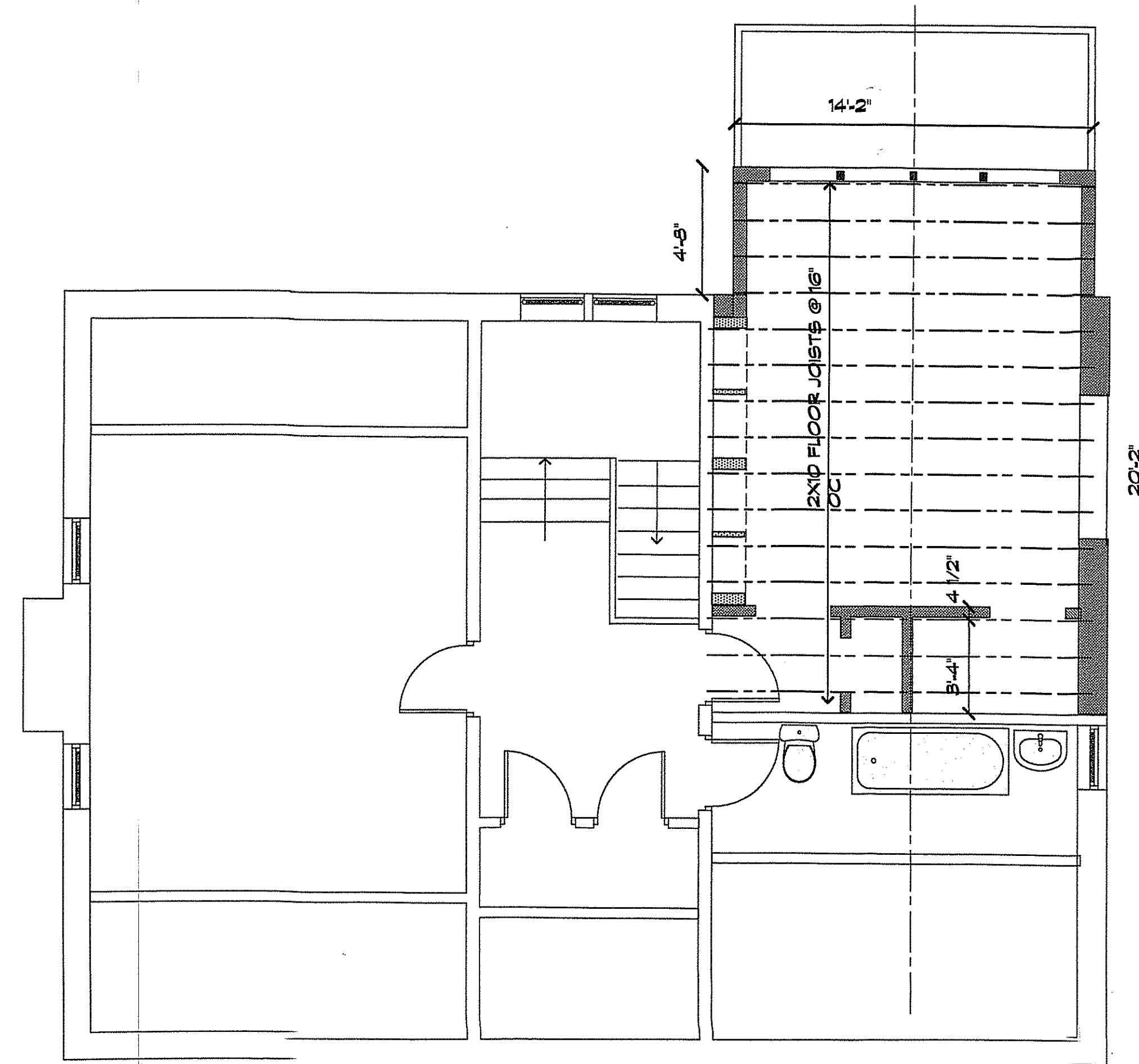
APPROVED
Montgomery County
Historic Preservation Commission
Julia D. Malley



3 SECTION
S2.01 SCALE: 1/2" = 1'-0"



2 ATTIC ROOF FRAMING PLAN
S2.01 SCALE: 1/4" = 1'-0"



1 ATTIC FLOOR FRAMING PLAN
S2.01 SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Julia D. Malley