

35/13-04K 14 Newlands St.
Chevy Chase Historic District

12/23/04

John,

Will be sending
dwg for our files.-

They got through DPS
without dwg stamped
or HAWP application
approval -

MUSE ARCHITECTS, P.C.
 5630 Connecticut Avenue NW
 WASHINGTON, DC 20015

LETTER OF TRANSMITTAL

(202) 966-6266
 Fax (202) 966-9666

TO MONT. CO. HISTORIC PRESERVATION COMMISSION
M-NCPPC / PRESERVATION OFFICE
8787 GEORGIA AVE.
SILVER SPRING, MD. 20910

DATE	1/14/05	JOB NO.	03-34
ATTENTION	MICHELE NARU		
RE:	14 NEWLANDS ST., CHEVY CHASE, MD.		

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

Shop drawings Prints Plans Samples Specifications

Copy of letter Change order _____

COPIES	DATE	NO.	DESCRIPTION
1	7/29/04		DR PERMIT DRAWINGS APPROVED BY MONT. CO. DPS FOR SHED CONSTRUCTION @ 14 NEWLANDS ST., CHEVY CHASE, MD.

THESE ARE TRANSMITTED as checked below:

For approval Approved as submitted Resubmit _____ copies for approval

For your use Approved as noted Submit _____ copies for distribution

As requested Returned for corrections Return _____ corrected prints

For review and comment _____

FOR BIDS DUE _____ PRINTS RETURNED AFTER LOAN TO US

REMARKS _____

COPY TO _____

SIGNED: John Thorp.

If enclosures are not as noted, kindly notify us at once.

TREE PRESERVATION NOTES & SEQUENCE OF CONSTRUCTION

(Based on recommendations by Bartlett Tree Experts, after examination of site.)

1. See plan on drawing A-1 for location of three trees to be removed (Black Walnut, American Elm, and Pawpaw tree), and one 36" Sycamore tree to be preserved.

2. **TREE REMOVAL**
Take down designated trees, with precautions taken as required to prevent damage to surrounding property. Make final stump cut as low as possible, approximately 1" to 3" above grade.

Coordinate tree removal with PEPCO for temporary shut-off to power line adjacent to trees.

Grind out stumps and visible surface roots within two feet of stumps, to depth of 8" to 10" below grade. (Note: stump removal shall be done after demolition of existing building, but prior to beginning new construction.)

3. **PRESERVATION OF SYCAMORE TREE**
Prior to building demolition- Wrap sycamore tree trunk with foam padding. Place planks against padded trunk and secure with wire ties. Install tree protection fence to protect critical root zone south of proposed new building location, as close to proposed new building as construction work will allow.

Prune to clean crown by removing dead and damaged branches 2" to 2-1/2" diameter and larger for safety. Raise crown over area of new construction, to provide 20 feet clearance above the ground.

After building demolition- Erect four foot wide platform to protect critical roots of tree during construction. Platform shall be extended along the south and east sides of the proposed new building, and from the southwest corner to the proposed fireplace foundation excavation. Construct platform of 3/4" CDX plywood on 4x4 sleepers, set over filter fabric on grade.

Place a mat of wood chips between the platform and the fence on the east side. Mat shall be 6" minimum layer of wood chips on 4.5oz. filter fabric on grade. Add wood chips to mat as required while construction progresses.

See below for Mycorrhizae and fertilization following building demolition, prior to new construction.

Excavate for two footings at south end of new building using an "Air-Spade". Roots encountered shall be cut cleanly. Contact arborist to inspect footing excavations to determine if roots encountered are critical to survival of tree. If critical roots are found, location of footings will be revised.

4. **MYCORRHIZAE AND FERTILIZATION**
Treat designated trees with Roots Mycorrhizae at four ounces per 100 gallons water. Fertilize tree with 30-9-7 fertilizer mixed at 20 pounds per 100 gallons water. Apply at a rate of 40 to 50 gallons per 1,000 sq. ft. of treatment area. Post-construction treatment area shall extend from trunk to radius of 20 feet in all directions, or the furthest extent of branch spread, whichever is greater. Treatments shall be applied by liquid soil injection of 200psi, three feet on center, 4" to 12" deep over entire treatment area. Follow with treatment in Spring, 2005.

5. **BUILDING DEMOLITION**
Existing garage building shall be disassembled and removed by hand. Existing concrete slab may be broken by Jack hammer, but removal of slab debris shall be done by hand. No operation of vehicles or large equipment shall be permitted within the footprint of the existing garage building to be demolished, or within 30 feet of the trunk of the existing sycamore tree.

6. **SEQUENCING OF CONSTRUCTION WITH TREE PROTECTION**

1. Remove existing elm, walnut, and pawpaw trees.
2. Install tree protection at trunk of sycamore tree.
3. Install tree protection fencing.
4. Prune sycamore tree and raise crown.
5. Remove existing garage building, slab, and footings (by hand).
6. Grind out stumps and visible surface roots (see above).
7. Erect root protection platform.
8. Place wood chip mat.
9. Perform mycorrhizae and fertilization treatments for sycamore.
10. Excavate for footings, grade beams, and concrete slab, with arborist inspections performed for root care and avoidance recommendations.
11. Complete excavation in accord with arborist recommendations, place gravel and concrete, and construct building.
12. Remove root protection platform.
13. Prepare terrace area subbase by hand, place gravel, terrace setting bed, and terrace paving.
14. Remove tree protection and wood chip mat.
15. Complete finish grading, seed/sod and landscaping.
16. Perform second mycorrhizae and fertilization treatments for sycamore in Spring, 2005.

LIST OF ABBREVIATIONS

Abbreviat'n	Item	Abbreviat'n	Item
@	At	JST.	Joist
A.F.F.	Above Finish Floor	L	Long
ABV.	Above	MAS.	Masonry
APPROX.	Approximate	MDO	Medium Density Overlay
BD.	Board (or Bead, if applicable)	MDF	Medium Density Fiberboard
Bldg.	Building	M.O.	Masonry Opening
BLKG.	Blocking	MECH.	Mechanical
BM.	Beam	MIN.	Minimum
C.	Concrete	O.C.	On Center
CLG.	Ceiling	PLY	Plywood
C.J.	Ceiling Joist	P.T.	Pressure Treated
CMU	Concrete Masonry Unit	PTD.	Painted
COL.	Column	R.	Riser(s)
CONC.	Concrete	R.O.	Rough Opening
CONT.	Continuous	REINF.	Reinforcing
CPR.	Copper	SHTG.	Sheathing
DS.	Downspout	SIM.	Similar
DWG.	Drawing	STD.	Standard
EX. / EXIST.	Existing	STL.	Steel
EXT.	Exterior	STOR.	Storage
FIN.	Finish	STRUC.	Structure
FLASH'G	Flashing	T	Tread(s)
FLR.	Floor	TH.	Thick
FLRG.	Flooring	T&G	Tongue and Groove
F.O.	Face of	TJI	Tress Joists
F.O.M.	Face of Masonry	T.O.	Top of
F.O.S.	Face of Stud	T.O. ARCH	Top of Arch
FRMG.	Framing	TYP.	Typical
FT.	Foot	U.N.O.	Unless Otherwise Noted
FTG.	Footing	W	Wide
GALV.	Galvanized	WI	With
GWB.	Gypsum Wall Board	WD.	Wood
HT.	Height	WDW.	Window
IN.	Inch	WWF	Welded Wire Fabric

INDEX OF DRAWINGS

C.1	COVER SHEET
A.1	SITE DEVELOPMENT/ ELECTRICAL PLAN
A.2	STRUCTURAL PLANS, ELEVATIONS
A.3	SECTION, CHIMNEY DETAIL

CODE SUMMARY

Lot Description:	Lot No. 13 and Part of 11; Block 47
Lot Area:	15,625 SF
Zone:	R-60
Required Accessory Building Setbacks:	5'-0" min. for structures under 24'-0"
Accessory Building Height:	15'-0" max.
Rear Lot Coverage:	PROPOSED ACCESSORY STRUC.: 252 SF REPRESENTS 1.6% OF LOT AREA

NOTES:

CONSTRUCTION SHALL CONFORM TO ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES, LAWS, AND ORDINANCES INCLUDING THE CURRENT MONTGOMERY COUNTY BUILDING CODE INCORPORATING THE IRC 2000 CODE.

CONTRACTOR TO PROVIDE EROSION CONTROL AS REQD. BY MONTGOMERY COUNTY REGULATIONS & REQUIREMENTS, TYPICAL.

ELECTRICAL GENERAL NOTES

1. Align all fixtures as shown, typ.
2. Contractor to verify locations of all devices with owner prior to wiring.

MATERIALS

	EARTH		WOOD FRAMED WALL		WOOD BLOCKING
	GRAVEL		BATT INSULATION		FINISH WOOD
	CONCRETE		RIGID INSULATION		GYPSUM WALL BOARD
	BRICK		CONTINUOUS WOOD FRAMING		PLYWOOD
	CONCRETE MASONRY UNIT		WOOD FRAMING W/ SIZE SHOWN		STONE
			GLASS		MONTGOMERY COUNTY APPROVED AS NOTED DIV. OF BUILDING CONSTRUCTION

LIST OF SYMBOLS

	BUILDING SECTION/ SECTION DETAIL		CONSTRUCTION ABOVE OR BELOW
	EXTERIOR ELEVATIONS		CENTER LINE OF CONSTRUCTION
	INTERIOR ELEVATIONS		FINISHED FLOOR/ FINISHED GRADE ELEVATION
	WINDOW TYPES		DOOR TYPES

NOTE

THIS PERMIT DOES NOT INCLUDE APPROVAL FOR ANY ELECTRICAL WORK. YOU MUST HAVE A SEPARATE ELECTRICAL PERMIT TO DO ANY ELECTRICAL WORK.

Chimney and Fireplace Construction to be in accordance with Chapter 10 and Figure 21003.1 of the 2000 International Residential Code and Two Family Dwelling Code.

ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	Single Pole Switch		Ceiling Mtd. Fixture/ per schedule
	3 Way Switch		Wall Mtd. Fixture/ per schedule
			Duplex Outlet

MONTGOMERY COUNTY EXECUTIVE REGULATION 36-01, SEC. 5:

THE FINAL INSPECTION MUST BE REQUESTED AND APPROVED BEFORE A BUILDING (OR PORTION THEREOF) IS USED OR OCCUPIED

MONTGOMERY COUNTY Department of Permitting Services

Approved: [Signature] Date: 07-29-2004

CHANGES OR MODIFICATIONS TO THESE PLANS MAY REQUIRE RESUBMITTAL WITH ADDITIONAL PERMIT FEES. NO CHANGES CAN BE MADE TO THE APPROVED DRAWINGS.

Electrical wiring must conform to the 1996 National Electric Code and County Requirements.

STORAGE SHED FOR THE SAUL RESIDENCE

14 NEWLANDS STREET - CHEVY CHASE, MD 20815

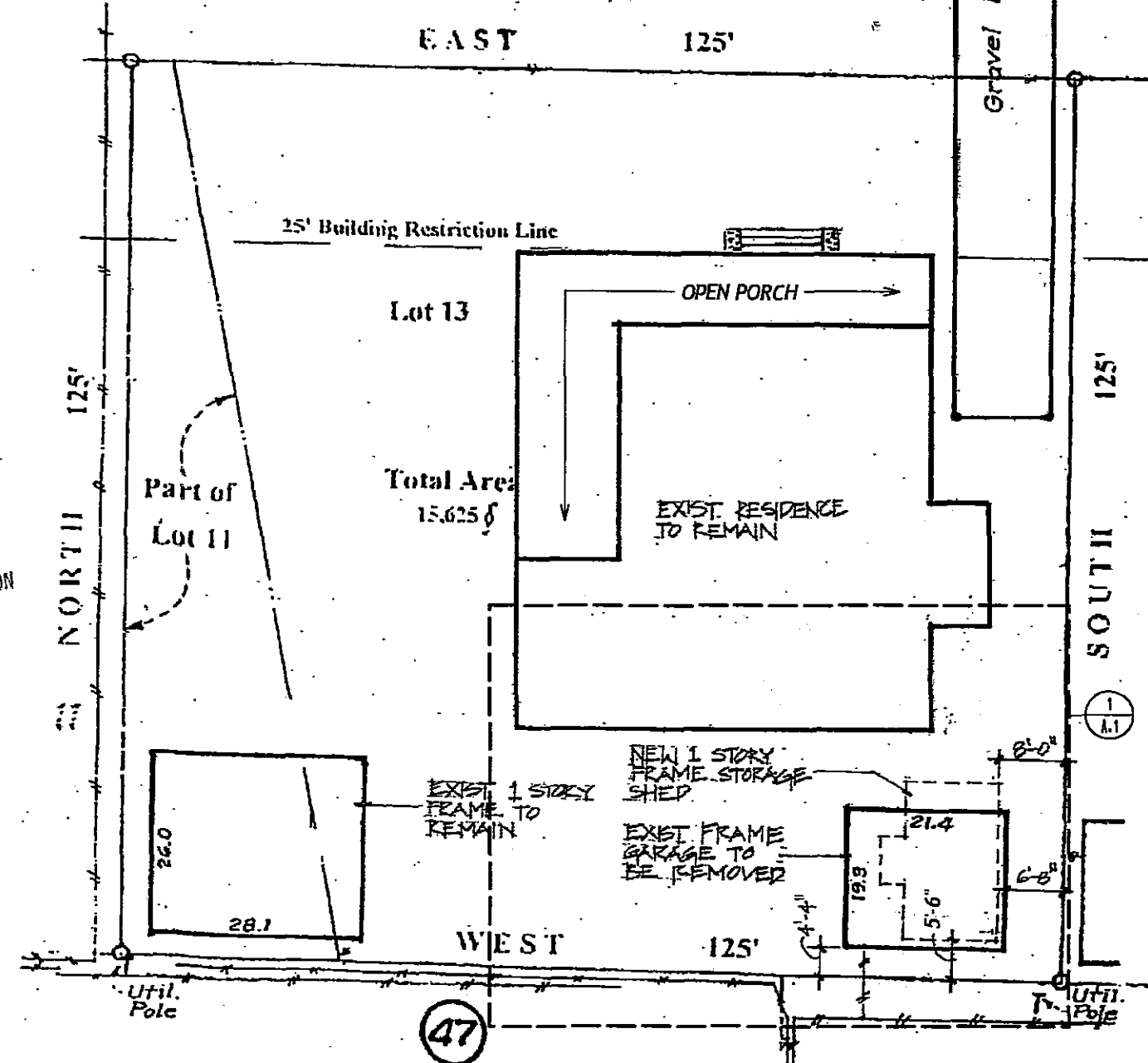
GENERAL NOTES

The following notes shall apply to all drawings made part of the Contract for construction for this project, including those drawings listed in the Index of Drawings above:

1. Contractor to field verify all dimensions.
2. DO NOT SCALE DRAWINGS to obtain construction dimensions.
3. Dimensions shown are to face of structure (or face of stud [f.o.s.]), face of masonry (f.o.m.), face of footing, or face of existing construction unless noted otherwise.
4. All work represented in the drawing set for this project shall be considered part of the Work required by the Contract Documents for the project, and shall be executed in a manner consistent with the provisions described in the Specifications and General Requirements portions of the Contract Documents, and in A.I.A. Document A107, "Agreement between Owner and Contractor for Construction Projects of Limited Scope..." as signed by Owner and Contractor.
5. All construction resulting from execution of the work described by these drawings shall be in conformance with INTERNATIONAL RESIDENTIAL CODE for One and Two Family Dwellings, 2000 Edition, with amendments.
6. The construction work described in these drawings is applicable only to the project for which the drawings were made. The Architect accepts no liability whatsoever for any construction work performed on the basis of these drawings if such work is not executed under a general Contract for Construction based on all the drawn and written documents prepared for the project and enumerated in the Contract Agreement executed between the Owner and the Contractor; or if that work is executed for any project other than the one for which these drawings were made.

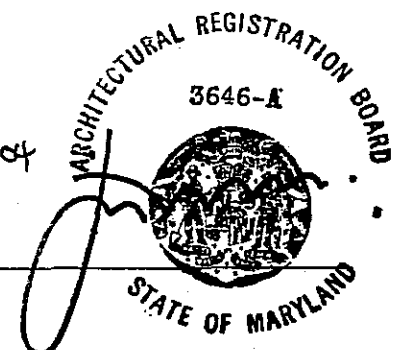
NEWLANDS STREET

100' Right of Way



SITE INFORMATION AND EXISTING CONDITIONS ARE TAKEN FROM PROPERTY SETTLEMENT PLAT PREPARED BY LANDTECH ASSOCIATES, INC., COLLEGE PARK, MD, DATED 20 FEBRUARY 1998, AMENDED BY FIELD MEASUREMENTS ADDED BY ARCHITECT.

MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES APPROVED: [Signature] DATE: 7/29/04 ZONING CLASS: R-10 PAGE: 209 NEW BOARD OF APPEALS CASE: SHED



1 PLAT PLAN SCALE: 1" = 20'-0"

MUSE ARCHITECTS
Washington, DC 20015
Facsimile 202.966.9666

5630 Connecticut Avenue NW
Phone 202.966.6266

SAUL RESIDENCE
14 NEWLANDS STREET
CHEVY CHASE, MD 20815

PERMIT SET
07.29.04

COVER SHEET
SCALE: AS NOTED

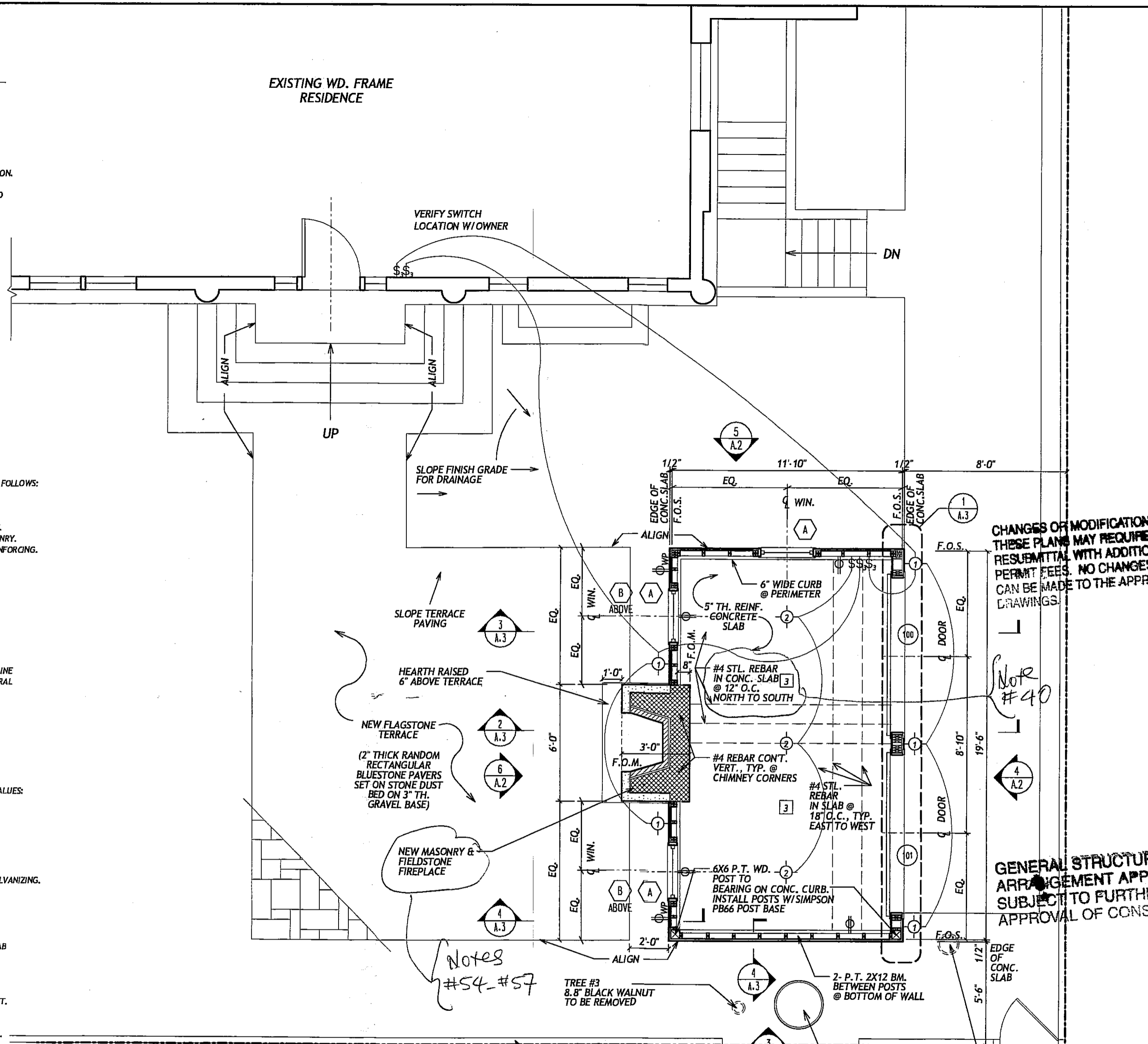
C.1

STRUCTURAL NOTES

1. GENERAL
 - A. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:
 ROOF - 30 PSF FLOOR SLAB - 60 PSF
 A MINIMUM OF 12 PSF DEAD LOAD WAS ADDED IN THE DESIGN.
 - B. MECHANICAL EQUIPMENT NOT SHOWN ON STRUCTURAL DRAWINGS AND HAVING A WEIGHT IN EXCESS OF 400 POUNDS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.
 - C. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS & ROOF ACTING TOGETHER. CONTRACTOR TO PROVIDE ALL GUYS, BRACES, STRUTS, ETC. AS REQUIRED TO ACCOMMODATE ALL LIVE, DEAD AND WIND LOADS UNTIL ALL FINAL CONNECTIONS HAVE BEEN MADE.
2. EARTHWORK
 - A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 2000 PSF.
 - B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.
 - C. BACKFILL BELOW BUILDING SLABS. MATERIALS TO BE FREE FROM ORGANIC MATERIAL, TRASH, MUCK, CONCRETE, ASPHALT OR OTHER DELETERIOUS SUBSTANCES. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR ORGANIC MATERIALS.
3. CONCRETE
 - A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (F_c) = 3000 PSI IN 28 DAYS. EXTERIOR SLABS AND GARAGE SLABS SHALL HAVE A MINIMUM STRENGTH OF 3500 PSI. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATIONS. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.
 - B. ALL REINFORCING STEEL TO MEET ASTM-A-615 GRADE 60. FURNISH SUPPORT BARS AND ALL REQUIRED ACCESSORIES IN ACCORDANCE WITH C.R.S.I. STANDARDS. ALL REINFORCING TO BE SPLICED A MINIMUM OF 30 BAR DIAMETERS.
 - C. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:
 BEAMS EXPOSED TO WEATHER - 2" FOOTINGS (BOTTOM) - 3"
 - D. PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCING IN FOOTINGS. PROVIDE DOWELS BETWEEN FOOTINGS AND WALLS TO MATCH SIZE AND SPACING OF VERTICAL REINFORCING.
4. MASONRY
 - A. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC C-90 FOR LOADBEARING MASONRY. ALL MASONRY TO HAVE JOINT REINFORCING AT 16" O.C. HORIZONTALLY. MORTAR TO BE ASTM C-270 TYPE S. LINTELS FOR MASONRY WALLS SHALL BE AS FOLLOWS: PROVIDE 1 ANGLE FOR EACH 4" OF WALL THICKNESS AS FOLLOWS:
 OPENINGS TO 3'-0": 3-1/2" X 3-1/2" X 1/4"
 3'-0" TO 5'-0": 4" X 3-1/2" X 5/16" - LLV
 (LLV = LONG LEG VERTICAL)
 - B. ALL VERTICAL REINFORCING SHALL BE GROUTED IN PLACE WITH TYPE S MORTAR OR PEA GRAVEL CONCRETE.
 - C. ALL EXPANSION BOLTS OR SLEEVE ANCHORS IN MASONRY WALLS SHALL BE PLACED IN GROUTED SOLID MASONRY.
 - D. PROVIDE DOWELS FROM ALL FOOTINGS TO MASONRY WALLS TO MATCH SIZE AND SPACING OF VERTICAL REINFORCING.
5. WOOD
 - A. ALL FRAMING LUMBER SHALL BE HEM-FIR, GRADE #2, OR SPRUCE-PINE-FIR, GRADE #2, OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:
 BENDING STRESS "F_b" = 850 PSI FOR SINGLE MEMBER USE
 HORIZONTAL SHEAR "F_v" = 70 PSI
 COMPRESSION PERPENDICULAR TO GRAIN "F_c" = 405 PSI
 COMPRESSION PARALLEL TO GRAIN "F_{c11}" = 1,150 PSI
 MODULUS OF ELASTICITY "E" = 1,300,000 PSI
 NOTE: SPRUCE-PINE-FIR (SOUTH) IS NOT ACCEPTABLE. SPRUCE-PINE-FIR MUST BE GRADED BY NLGA.
 - B. ALL EXTERIOR FRAMING SHALL BE PRESSURE-TREATED. FRAMING SHALL BE PRESSURE-TREATED WITH ALKALINE COPPER QUOT (ACQ) OR COPPER AZOLE (CRA-A AND CA-B), NOT SODIUM BORATE (SBX). LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE 2 OR BETTER
 BENDING STRESS "F_b" = 975 PSI FOR SINGLE MEMBER USE
 HORIZONTAL SHEAR "F_v" = 90 PSI
 COMPRESSION PERPENDICULAR TO GRAIN "F_c" = 565 PSI
 COMPRESSION PARALLEL TO GRAIN "F_{c11}" = 1,450 PSI
 MODULUS OF ELASTICITY "E" = 1,600,000 PSI
 - C. PLYWOOD LAMINATED (MICROLAM) BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:
 BENDING STRESS "F_b" = 2400 PSI HORIZONTAL SHEAR "F_v" = 220 PSI
 MODULUS OF ELASTICITY "E" = 1,800,000 PSI
 - D. ALL WALL STUDS SHALL BE SPF STUD GRADE OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:
 COMPRESSION PARALLEL TO GRAIN "F_{c11}" = 625 PSI
 BENDING STRESS "F_b" = 725 PSI FOR SINGLE USE MEMBERS
 MODULUS OF ELASTICITY "E" = 1,200,000 PSI
 - E. UNLESS NOTED OTHERWISE, FASTENING FOR STRUCTURAL MEMBERS SHALL FOLLOW INTERNATIONAL RESIDENTIAL CODE TABLE R602.3(1).
 - F. PREFABRICATED BEAM HANGERS, POST CAPS AND POST BASES SHALL BE SIZED AND ATTACHED PER MANUFACTURERS RECOMMENDATION. FASTENERS AND CONNECTORS UTILIZED WITH PRESSURE-TREATED MEMBERS SHALL MEET G185 HOT-DIPPED GALVANIZING.
 - G. ANCHOR BOLTS CONNECTING PRESSURE TREATED WOOD PLATES TO FOUNDATIONS, MASONRY WALLS, OR CONCRETE SLABS SHALL BE HOT-DIPPED GALVANIZED.
 - H. BUILT-UP STUD COLUMNS SHALL HAVE ONE JACK STUD AND THE REMAINING STUDS SHALL BE KING STUDS. MULTIPLE STUDS SHALL BE NAILED WITH 12d NAILS AT 8" O.C.
 PROVIDE SOLID BLOCKING OR CRIPPLE STUDS IN FLOOR SYSTEM AT ALL POINT LOADS ABOVE.
 - I. ALL FREESTANDING POSTS SHALL HAVE PREFAB POSTCAP AND BASE. POSTS WITHIN WALL SHALL HAVE PREFAB CAP ATTACHED TO BEAM. POSTS BEARING ON MASONRY OR CONCRETE SHALL HAVE PREFAB BASE.
 - J. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED 1/3 OF STUD WIDTH.
 - K. ALL STUD BEARING WALLS TO BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND 1 CONTINUOUS BOTTOM PLATE WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED MIN. 4 FT.
 - L. ALL ROOF RAFTERS SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR. EACH ANCHOR SHALL BE 1/8 GAGE MINIMUM THICK AND SHALL BE ATTACHED TO HAVE A CAPACITY TO RESIST A 450# UPLIFT LOADING UNLESS SHOWN OTHERWISE ON DRAWINGS.
6. SHEATHING
 - A. EXTERIOR WALL SHEATHING SHALL BE 7/16 (1/2) INCH THICK APA RATED WOOD STRUCTURAL PANELS. FASTEN PANELS TO STUDS WITH 8d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOCKED.
 - B. ROOF SHEATHING SHALL BE 19/32 (5/8) INCH APA RATED WOOD PANELS WITH SPAN RATING OF 24/D OR BETTER. FASTEN PANELS TO FRAMING WITH 10d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. ORIENT LONG DIMENSION OF PANELS ACROSS THREE OR MORE SUPPORTS. EDGES NEED NOT BE BLOCKED, UNLESS NOTED OTHERWISE.
7. MISCELLANEOUS
 - A. ALL WOOD BLOCKING, FRAMING, NAILERS, ETC. SHALL BE ATTACHED TO STEEL OR CONCRETE WITH POWDER ACTUATED FASTENERS OR 1/2" DIAMETER BOLTS UNLESS NOTED OTHERWISE. FASTENERS SHALL BE SPACED AT 24" MAXIMUM O.C. FASTENERS SHALL HAVE A MINIMUM CAPACITY OF 100 POUNDS IN SHEAR AND PULL-OUT, U.N.O.

WARNING: THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS, OR ARE SUPERVISED BY THE STRUCTURAL ENGINEER DURING CONSTRUCTION.

EXISTING WD. FRAME RESIDENCE

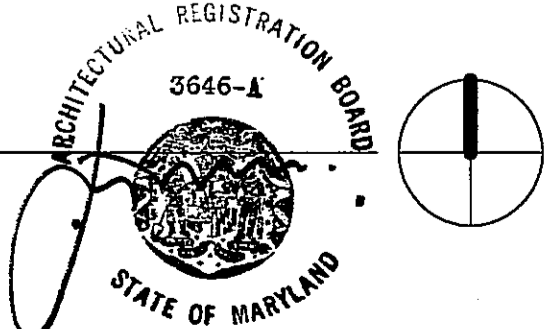


LIGHT FIXTURE SCHEDULE

SYMBOL	DESCRIPTION	LAMP	REMARKS
1	EXTERIOR WALL MOUNTED LIGHT To be selected	As required	
2	SURFACE MOUNTED UTILITY LIGHT Keyless porcelain socket	100W A19	
3	JUNCTION BOX For automatic garage door opener		

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDING CONSTRUCTION

1
A.1 **FLOOR PLAN**
SCALE: 1/4" = 1'-0"



CHANGES OF MODIFICATIONS TO THESE PLANS MAY REQUIRE RESUBMITTAL WITH ADDITIONAL PERMIT FEES. NO CHANGES CAN BE MADE TO THE APPROVED DRAWINGS.

GENERAL STRUCTURAL ARRANGEMENT APPROVED SUBJECT TO FURTHER APPROVAL OF CONSTRUCTION

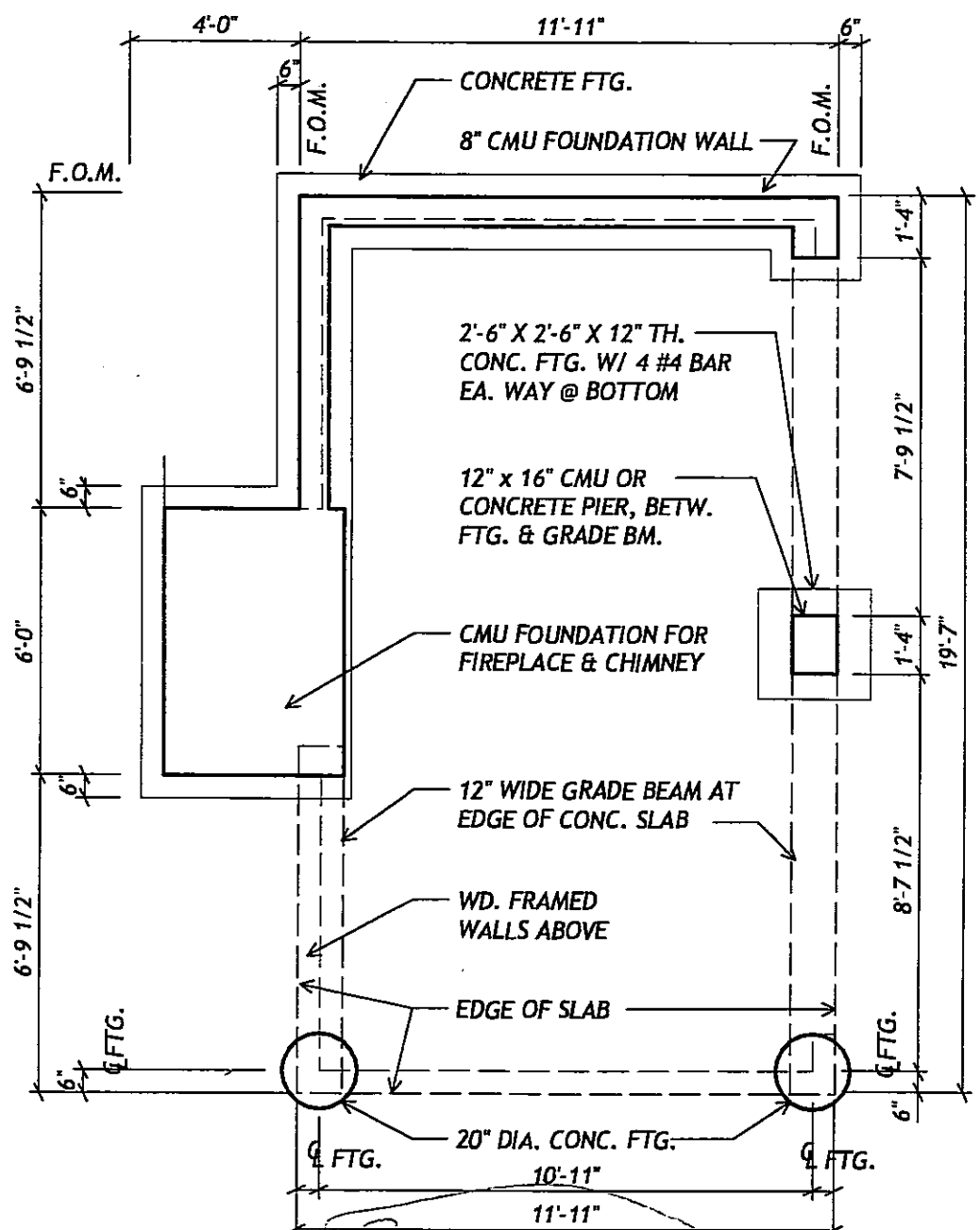
MUSE ARCHITECTS
Washington, DC 20015
Facsimile 202.966.9666
5630 Connecticut Avenue NW
Phone 202.966.6266

AUL RESIDENCE
14 NEWLANDS STREET
CHEVY CHASE, MD 20815

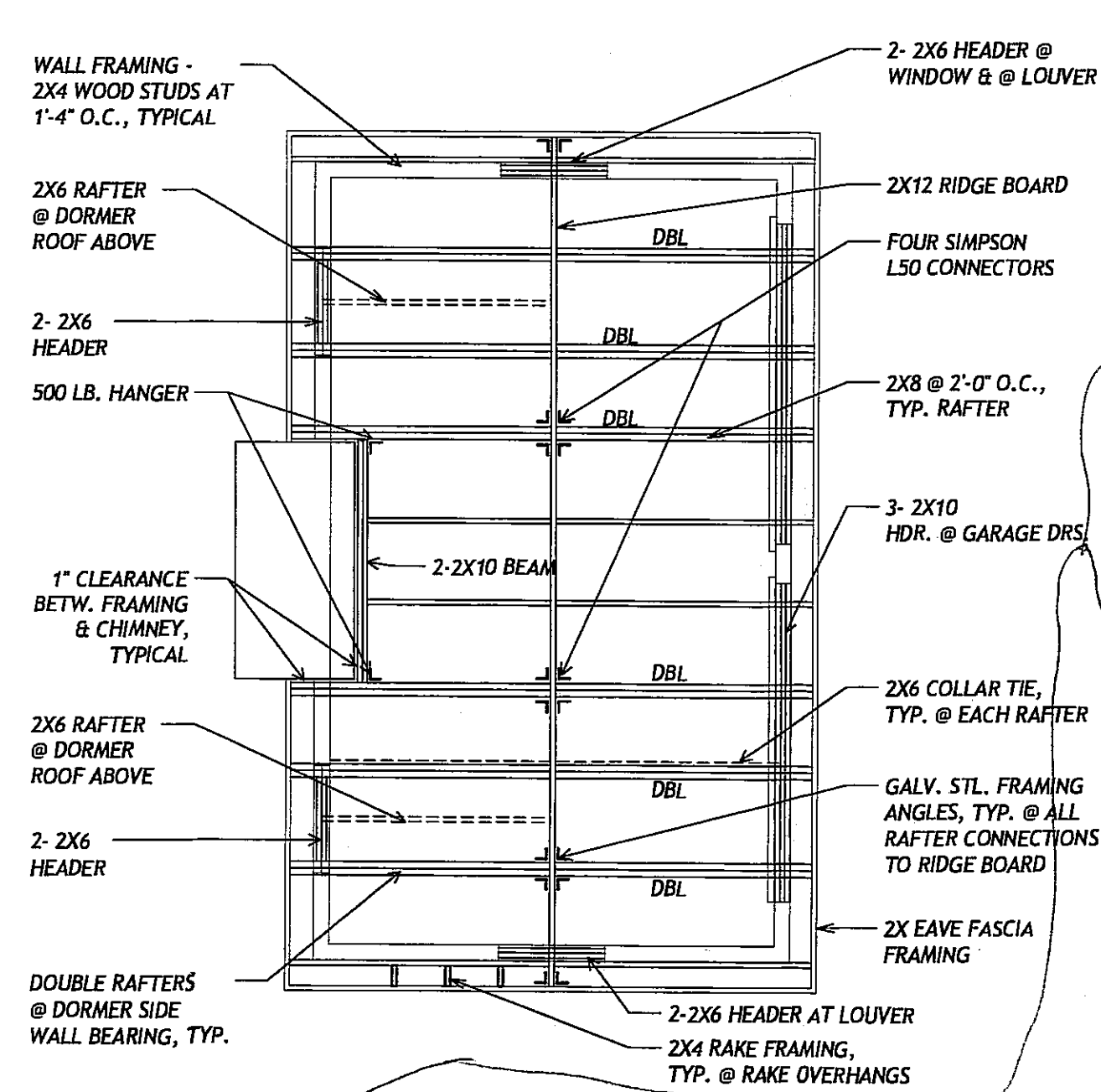
PERMIT SET
07.29.04

FLOOR PLAN
SCALE: 1/4" = 1'-0"

A.1

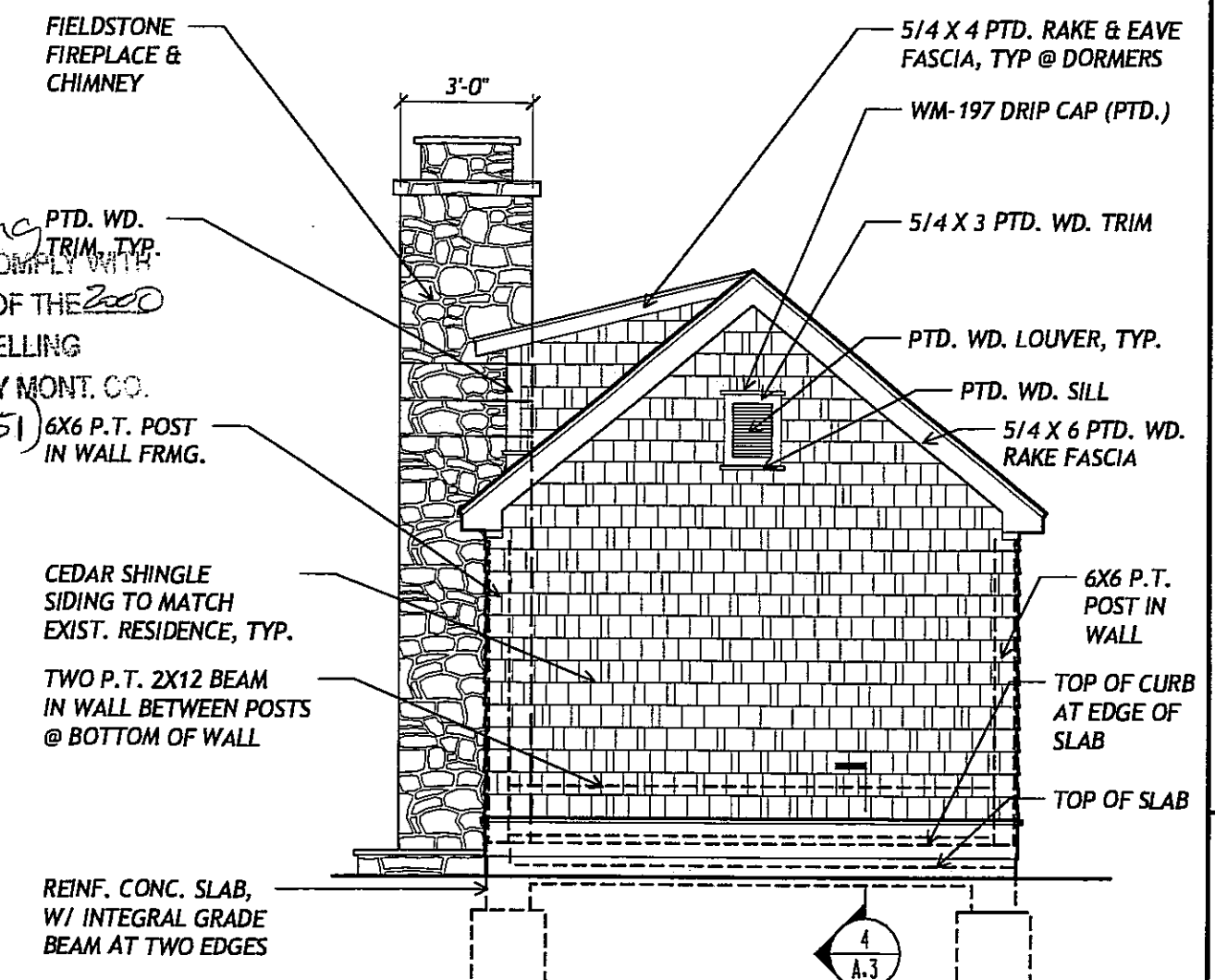


1 FOUNDATION PLAN
A.2 SCALE: 1/4"=1'-0"



2 ROOF FRAMING PLAN
A.2 SCALE: 1/4"=1'-0"

Roof Framing
THESE PLANS MUST COMPLY WITH
SECTION R802 OF THE 200
IRC 1 & 2 FAMILY DWELLING
CODE AS AMENDED BY MONT. CO.
(notes #49/#51)



3 SOUTH ELEVATION
A.2 SCALE: 1/4"=1'-0"

DOOR SCHEDULE

SYMBOL	DESCRIPTION	UNIT SIZE	REMARKS
100	Overhead Door "Ranch House Collection" Series 142	8'-0"W x 7'-0"H	
101	Overhead Door "Ranch House Collection" Series 142	8'-0"W x 7'-0"H	

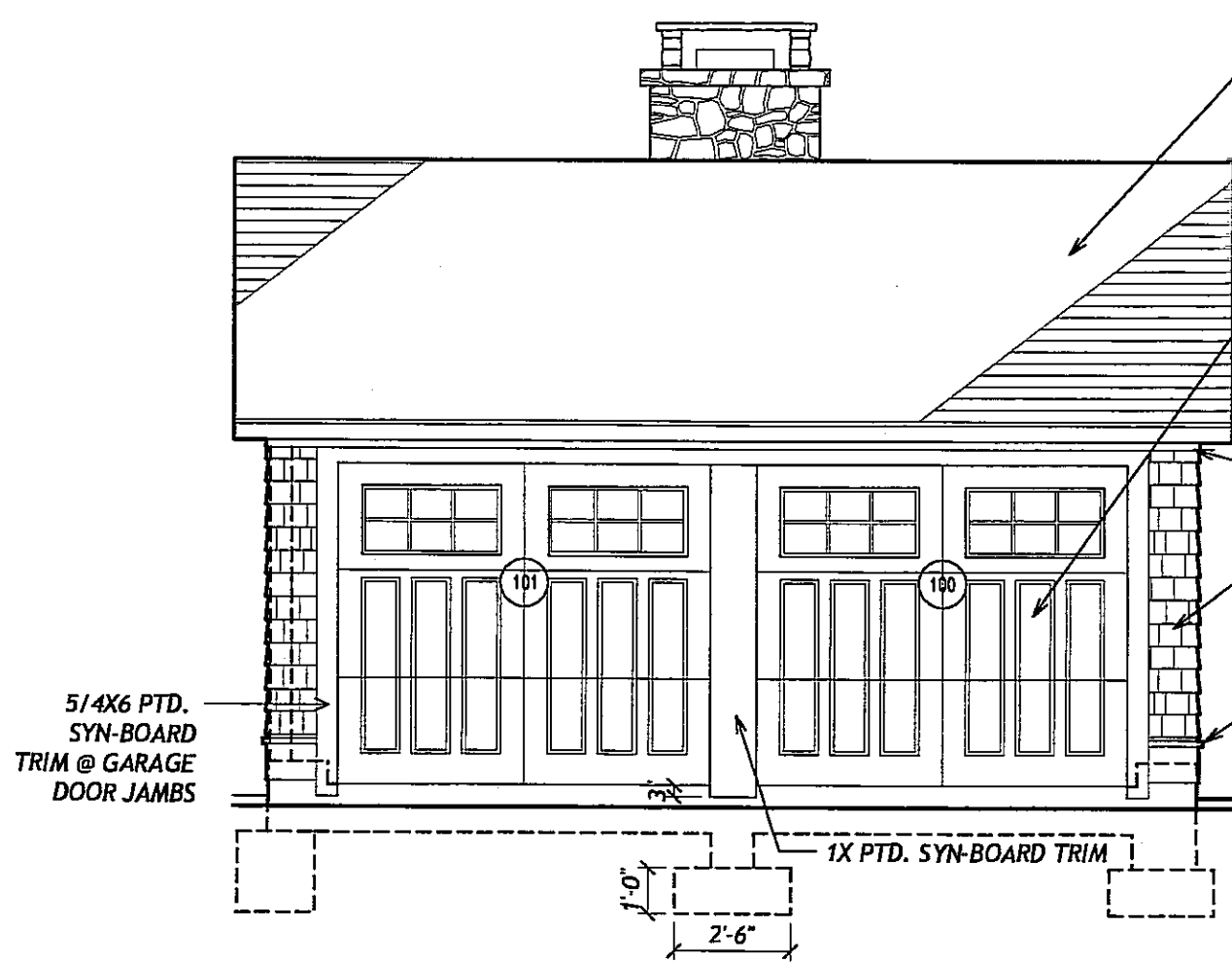
Any wood framing member having contact with concrete or masonry shall be pressure-treated.
THESE PLANS MUST COMPLY WITH
SECTION R323 OF THE 200
IRC 1 & 2 FAMILY DWELLING
CODE AS AMENDED BY MONT. CO
(see notes #23/#25)

WINDOW SCHEDULE

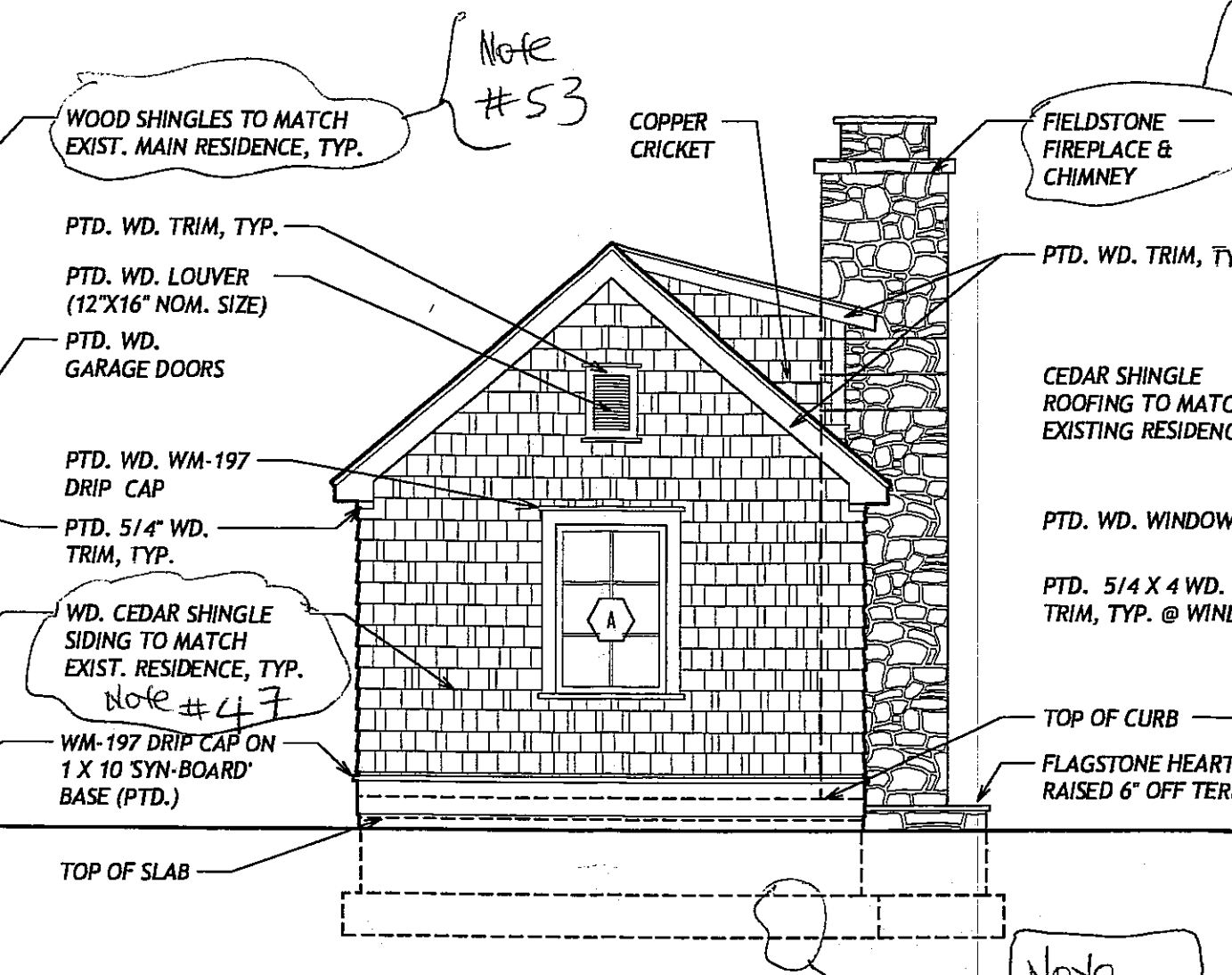
SYMBOL	DESCRIPTION	ROUGH OPENING (R.O.) u.n.o.	REMARKS
A	Marvin WCM 3656 operable wood casement window	3'-1"W X 4'-8 1/2"H	
B	Marvin WCM 2424 fixed wood casement window	2'-1"W X 2'-0 1/2"H	

ALL WINDOW 4-9/16" JAMB, SINGLE GLAZED, TRUE DIVIDED LITE.

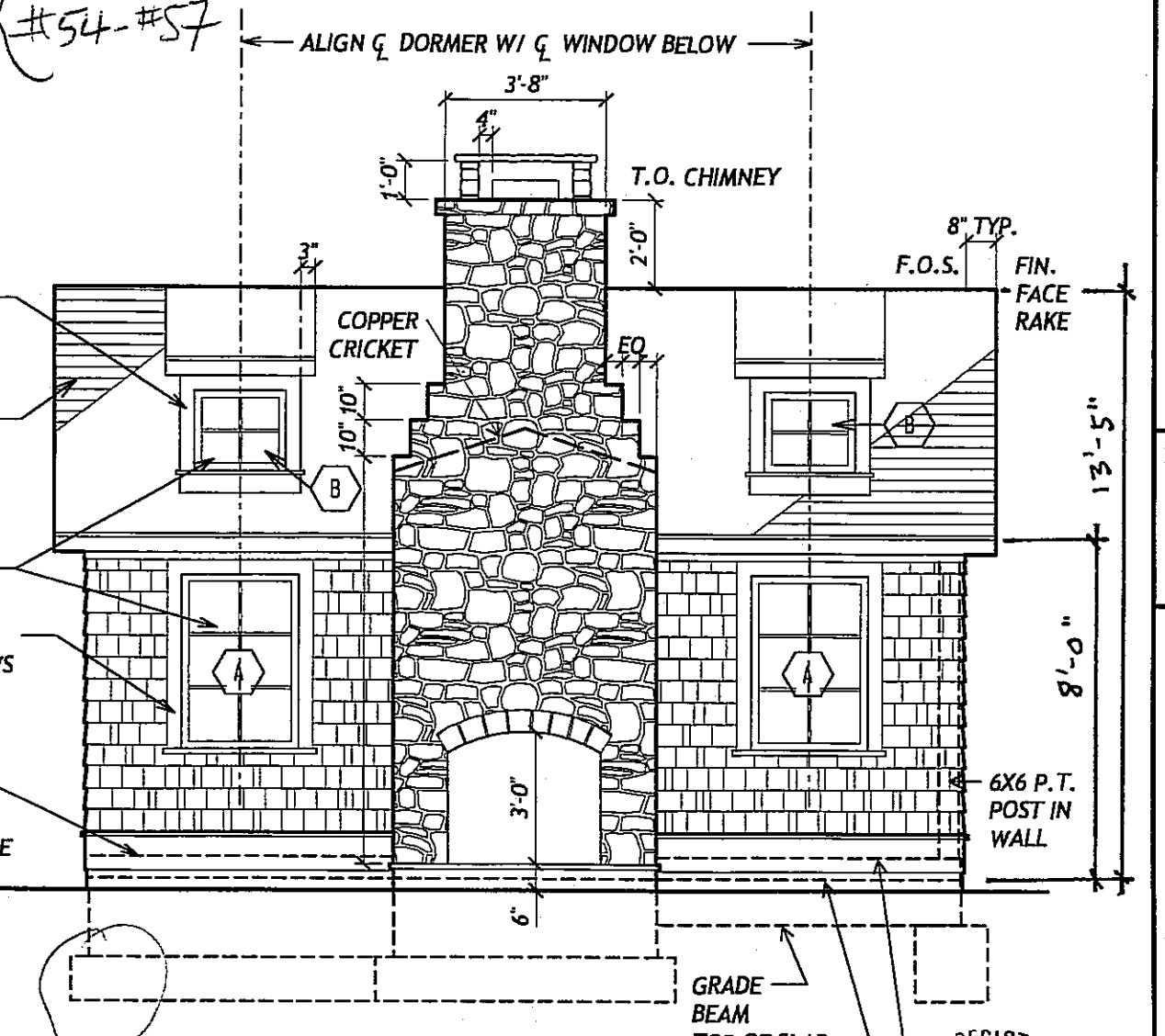
Notes #54-#57



4 EAST ELEVATION
A.2 SCALE: 1/4"=1'-0"

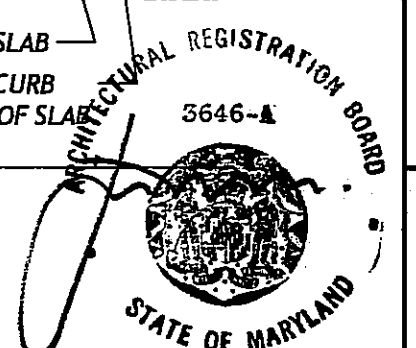


5 NORTH ELEVATION
A.2 SCALE: 1/4"=1'-0"



6 WEST ELEVATION
A.2 SCALE: 1/4"=1'-0"

MONTGOMERY COUNTY
APPROVED AS NOTED
DIV. OF BUILDINGS CONSTRUCTION



MUSE ARCHITECTS
Washington, DC 20015
5630 Connecticut Avenue NW
Phone 202.966.6266
Facsimile 202.966.9666

SAUL RESIDENCE
14 NEWLANDS STREET
CHEVY CHASE, MD 20815

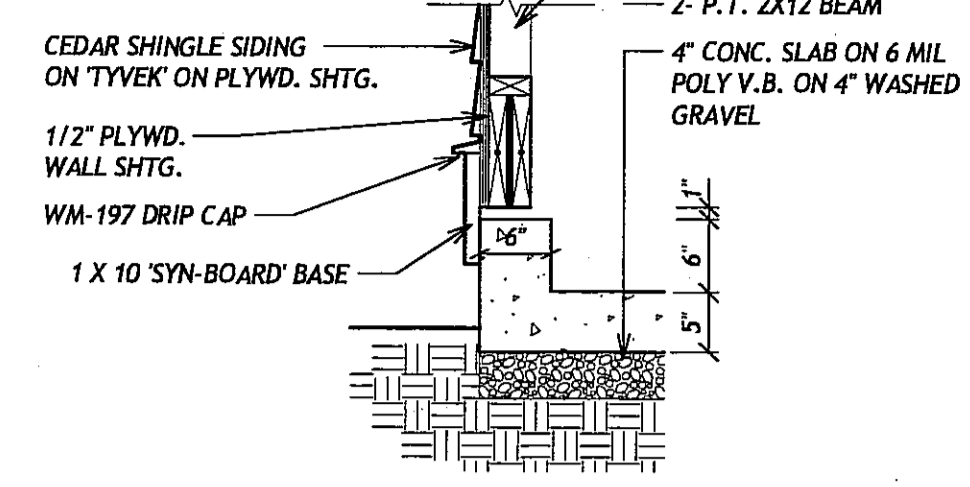
PERMIT SET
07.29.04

STRUCTURAL PLANS & ELEVATIONS
SCALE: AS NOTED

A.2

Notes
 #41-#43
 + #45

Roof Tie-Down Supports
 THESE PLANS MUST COMPLY WITH
 SECTION 202.11 OF THE 2000
 IRC 1 & 2 FAMILY DWELLING
 CODE AS AMENDED BY MONT. CO
 (notes #49/#51)



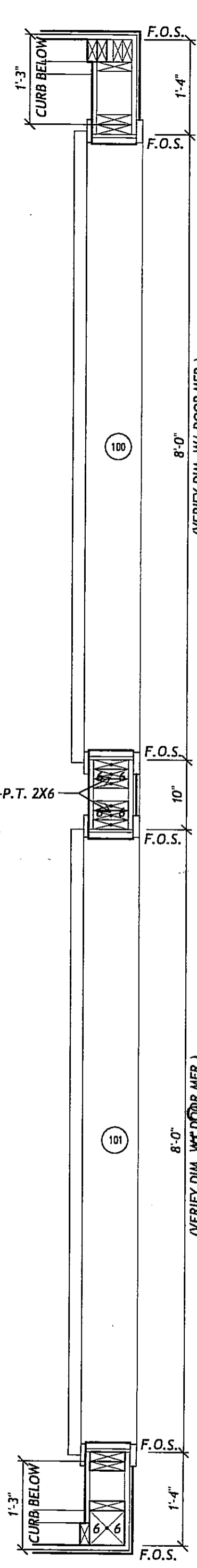
4 WALL SECTION DETAIL
 A.3 SCALE: 3/4"=1'-0"

GENERAL STRUCTURAL
 ARRANGEMENT APPROVED
 SUBJECT TO FURTHER
 APPROVAL OF CONSTRUCTION

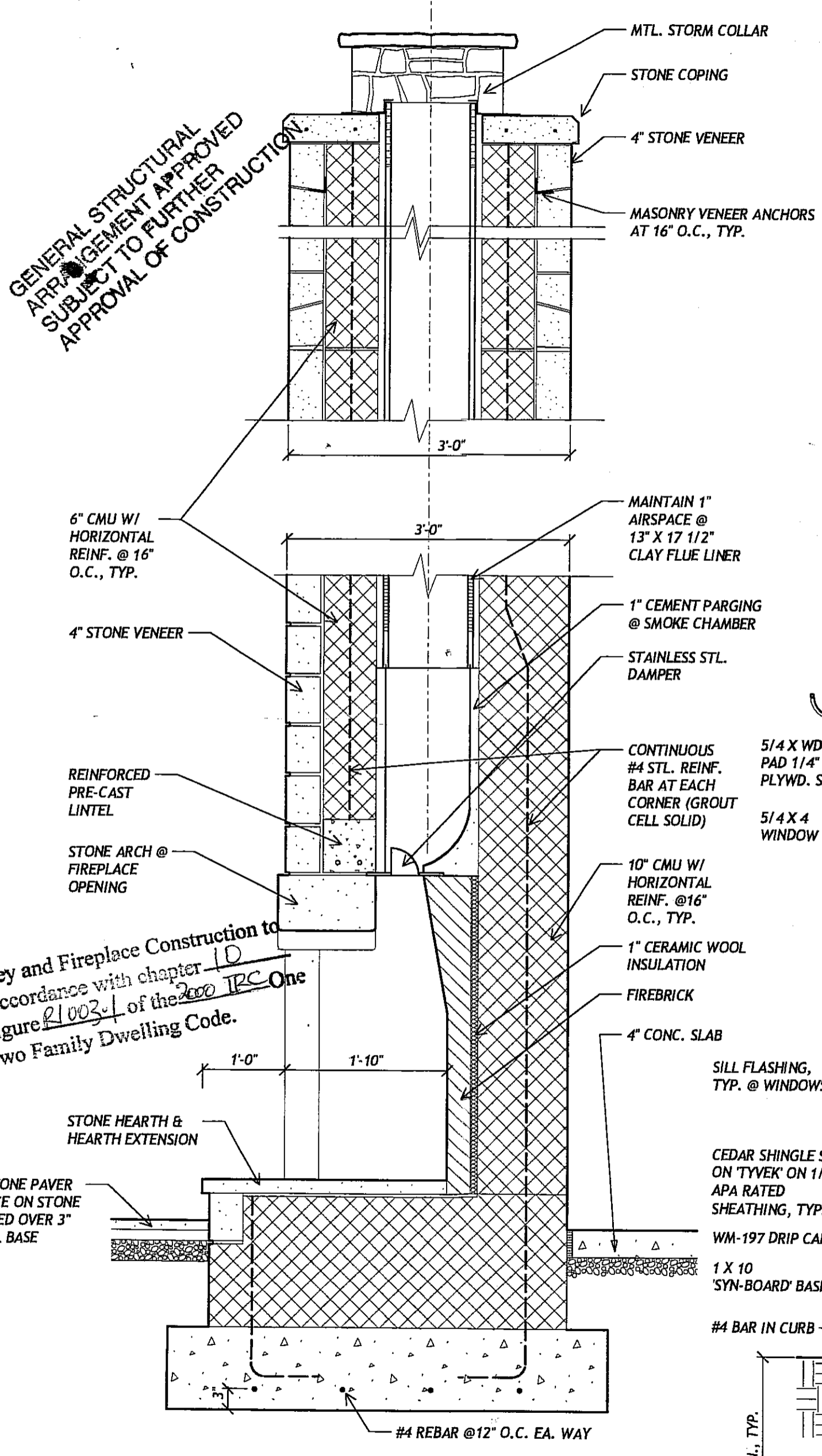
Chimney and Fireplace Construction to
 be in accordance with chapter 10
 and Figure 21003.1 of the 2000 IRC One
 and Two Family Dwelling Code.

CHANGES OR MODIFICATIONS TO
 THESE PLANS MAY REQUIRE
 RESUBMITTAL WITH ADDITIONAL
 PERMIT FEES. NO CHANGES
 CAN BE MADE TO THE APPROVED
 DRAWINGS.

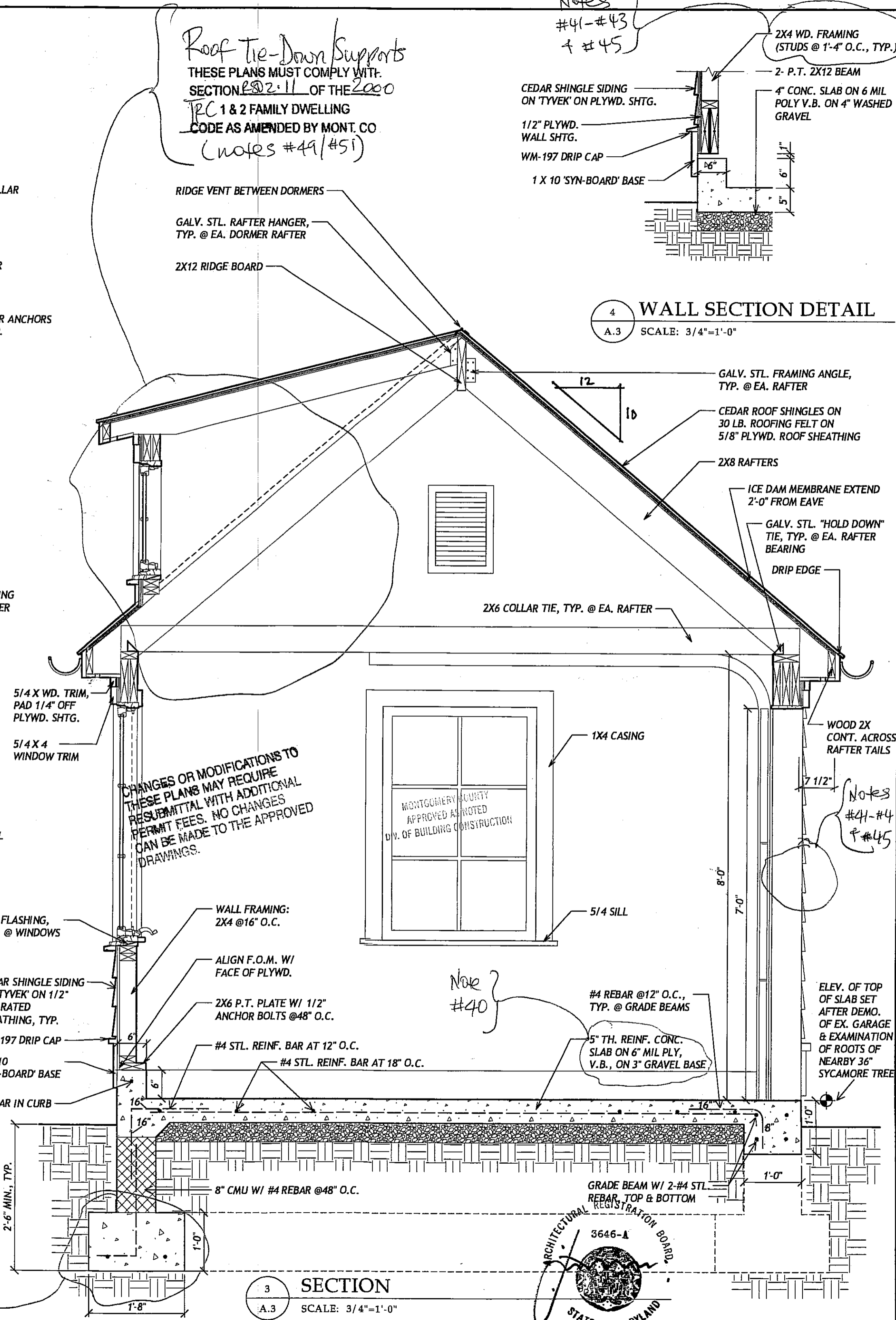
MONTGOMERY COUNTY
 APPROVED AS NOTED
 DIV. OF BUILDING CONSTRUCTION



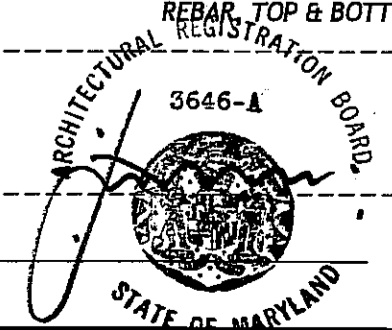
1 PLAN DETAIL
 A.3 SCALE: 3/4"=1'-0"



2 CHIMNEY DETAIL
 A.3 SCALE: 3/4"=1'-0"



3 SECTION
 A.3 SCALE: 3/4"=1'-0"



MUSE ARCHITECTS
 Washington, DC 20015
 5630 Connecticut Avenue NW
 Phone 202.966.6266
 Facsimile 202.966.9666

SAUL RESIDENCE
 14 NEWLANDS STREET
 CHEVY CHASE, MD 20815

PERMIT SET
 07.29.04

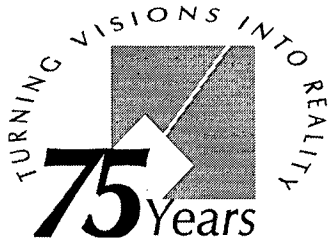
SECTIONS & DETAILS
 SCALE: 3/4"=1'-0"

A.3

Note #23

Note #40

Notes
 #41-#43
 + #45




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: April 15, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Michele Naru, Senior Planner 
Historic Preservation Section

SUBJECT: Historic Area Work Permit # 337997

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED**. The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Frank Saul (Scott Rosenbaum, Agent)

Address: 14 Newlands Street, Chevy Chase Village Historic District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: February 25, 2004

MEMORANDUM

TO: Frank Saul
14 Newlands Street, **Chevy Chase Village Historic District**

Cc: Scott Rosenbaum, Agent

FROM: Michele Naru, Senior Planner 
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application # 337997

Your Historic Area Work Permit application for a rear addition was **approved** by the Historic Preservation Commission at its **April 14, 2004** meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must schedule a meeting with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and an official approval letter (given at the time of drawing stamping. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 14 Newlands Street, Chevy Chase **Meeting Date:** 04/14/04
Resource: Chevy Chase Village Historic District **Report Date:** 04/07/04
Review: HAWP **Public Notice:** 03/31/04
Case Number: 35/13-04K **Tax Credit:** None
Applicant: Frank Saul **Staff:** Michele Naru
(Scott Rosenbaum, Agent)

PROPOSAL: New garage and patio construction

RECOMMEND: Approve

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource in Chevy Chase Village Historic District.
STYLE: Bungalow/Shingle Style
DATE: c1908

This three-story, three-bay frame dwelling is located in Chevy Chase Village Historic District. The house has a side gabled roof with a large gabled roof dormer and two brick chimneys. The walls and roof are clad in wood shingles. A roof extension provides for the one-story porch that extends across that front elevation of the house. The property contains a small carriage house and non-contributing shed located along the rear property line.

PROPOSAL:

The applicant proposes to remove the existing garage structure. The proposed new structure, designed to complement the existing house, will be a frame building with shingle siding, painted wood windows, and a wood shingle roof. The building will also have a detached exterior masonry and flagstone fireplace, which will compliment the proposed, new, 25' x 19' flagstone patio.

STAFF DISCUSSION

As per the Commission regulations, the Secretary of the Interior's *Standards for Rehabilitation* is applied when reviewing all HAWP applications. Standards #2, #9 and #10 apply in this case:

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.

- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

It is the *Approved and Adopted Amendment to the Master Plan for Historic Preservation, Chevy Chase Village Historic District – Expansion* that has particular pertinence to this case, however, and should be utilized when reviewing HAWP applications for this district. Specifically, the applicable *Chevy Chase Guidelines* are:

“Garages and Accessory buildings which are detached from the main house should be subject to lenient scrutiny but should be compatible with the main building.” (p. 16)

In the *Chevy Chase Guidelines*, the following definition is given:

“Lenient Scrutiny”: means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.”

It is staff’s opinion that this proposal demonstrates that if a building is designed well, uses compatible materials and is sited behind the historic house, with minimal view from the public right-of-way, an accessory building can be sympathetic and compatible to the environmental setting of a historic district. Staff recommends approval.

The **Chevy Chase Village LAP** has not responded at the time this report was prepared.

STAFF RECOMMENDATION:

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 25A-8(b) 3:

The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archaeological, architectural or cultural value of the historic site or historic district in which an historic resource is located.

and with the *Chevy Chase Village Guidelines*, adopted April 1998.

with the general conditions applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work, and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: SCOTT ROSENBAUM

Daytime Phone No.: 202-966-6266

Tax Account No.: 00455350

Name of Property Owner: MR. FRANK SAUL Daytime Phone No.: 301-986-6110

Address: 14 NEWLANDS ST. CHEVY CHASE MD 20815
Street Number City State Zip Code

Contractor: T. B. D. Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: MUSE ARCHITECTS Daytime Phone No.: 202-966-6266

LOCATION OF BUILDING/PREMISE

House Number: #14 Street: NEWLANDS

Town/City: CHEVY CHASE VILLAGE Nearest Cross Street: _____

Lot: 13/PO. 11 Block: 47 Subdivision: SECTION 2

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ T.B.D.

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/OADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

STEPHEN MUIE FALA FOR MUSE ARCHITECTS 16 MAR 04.
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 3379917 Date Filed: 3/22/04 Date Issued: _____

3

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

REFER TO ATTACHED PAGE

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

11

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Written Description of Project

A. Description of Existing Structure

The existing building is a one story frame structure with wood siding and asphalt roof. It serves as a garage for the wood shingle-sided main residence constructed c.1908. Given the structure's differing materials and detail, we do not believe it is original to the construction of the main house. The lot is within the Chevy Chase Village Historical District and is a combined lot. The structure is located in the southeast corner of the rear yard and within the drip-line of (3) significant trees. An existing wood frame and shingle sided outbuilding occupies the southwest corner of the rear yard, directly across from the structure in question.

B. Description of Project

The proposed new work involves removing the existing garage structure due to its drastic state of disrepair.

The proposed new structure provides the owner with exterior storage space. The shingle-siding, painted wood windows, and wood shingle roof match the existing main residence. The footprint of the proposed structure is smaller than the present garage and will move further from existing trees in the southeast corner. The proposed structure is located behind the main residence thus limiting its visibility from Newlands Street.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>B. Francis III and D.R. Saul 14 Newlands Street Chevy Chase, MD 20815</p>	<p>Owner's Agent's mailing address</p> <p>Muse Architects 5630 Connecticut Ave. Washington, DC 20015 Attn.: Scott Rosenbaum</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Paul L. and R.C. Perito 7 Newlands Street Chevy Chase, MD 20815</p>	<p>Edward and M.H. Symes 10 Newlands Street Chevy Chase, MD 20815</p>
<p>Simon Wagman 11 Newlands Street Chevy Chase, MD 20815</p>	<p>Robert S. and S.W. Morgenstein 16 Newlands Street Chevy Chase, MD 20815</p>
<p>Charles N. and S.D. Farmer 15 East Melrose Street Chevy Chase, MD 20815</p>	<p>Michael C. Williams Susan K. Gallagher 21 East Melrose Street Chevy Chase, MD 20815</p>

*Data obtained on-line from Maryland Department of Assessments and Taxation

NEWLANDS STREET

100' Right of Way

EAST

125'

Gravel Drive

Drive

Gravel Drive

25' Building Restriction Line

Lot 13

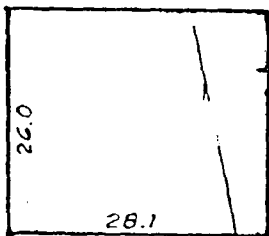
Total Area
15.625 δ

EXIST. RESIDENCE
TO REMAIN

NORTH 125'

Part of
Lot 11

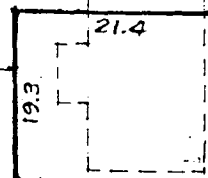
SOUTH 125'



EXIST. 1 STORY
FRAME TO
REMAIN

NEW 1 STORY
FRAME STORAGE
SHED

EXIST. FRAME
GARAGE TO
BE REMOVED



WEST

125'

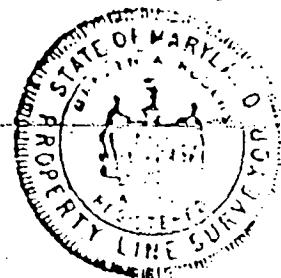
Util. Pole

(47)

Util. Pole

NOTES:

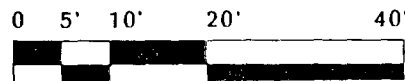
1. The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.



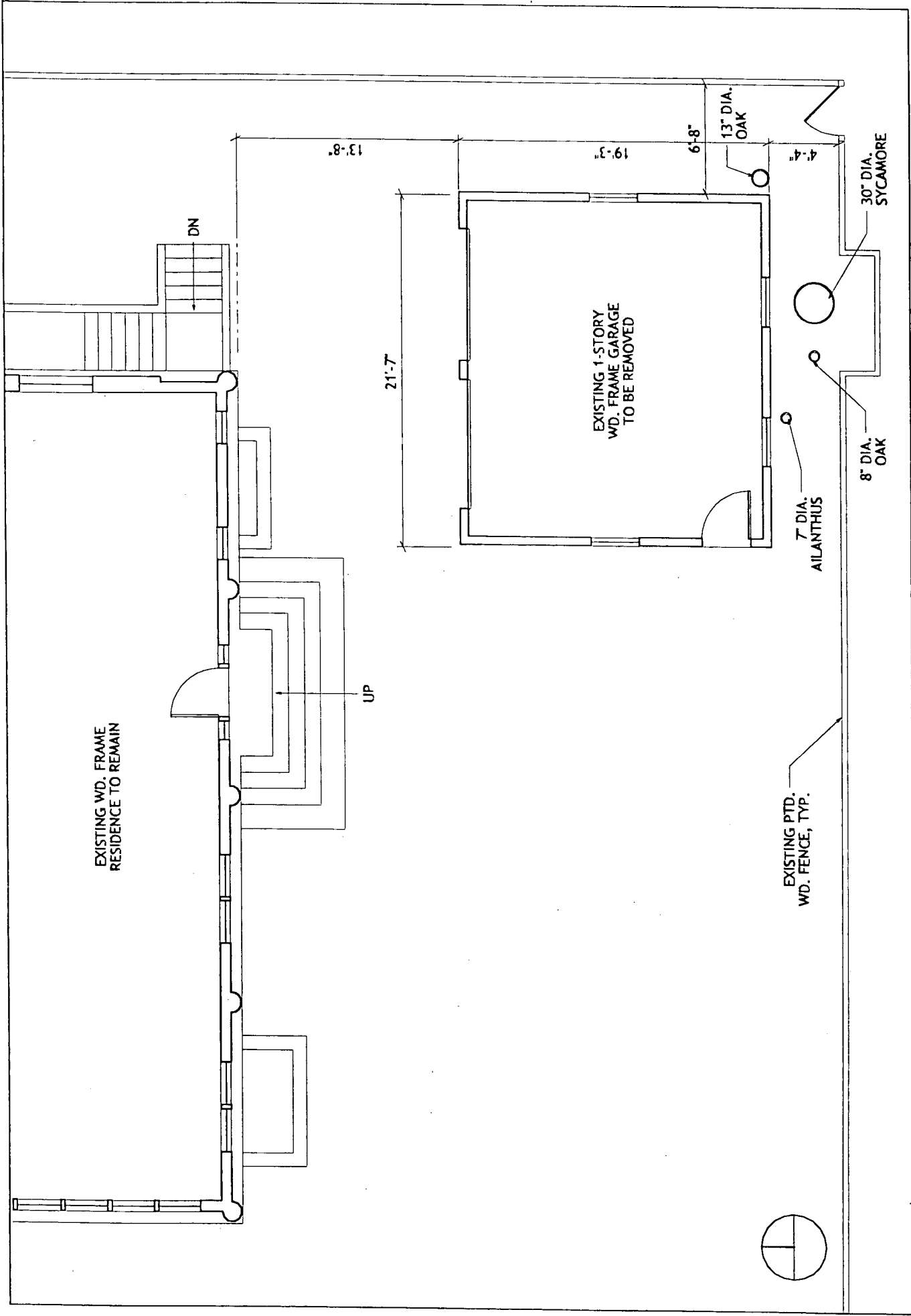
NO TITLE REPORT FURNISHED

SAUL STORAGE SHED
14 Newlands Street
Chev Chase. MD 20815

SITE PLAN

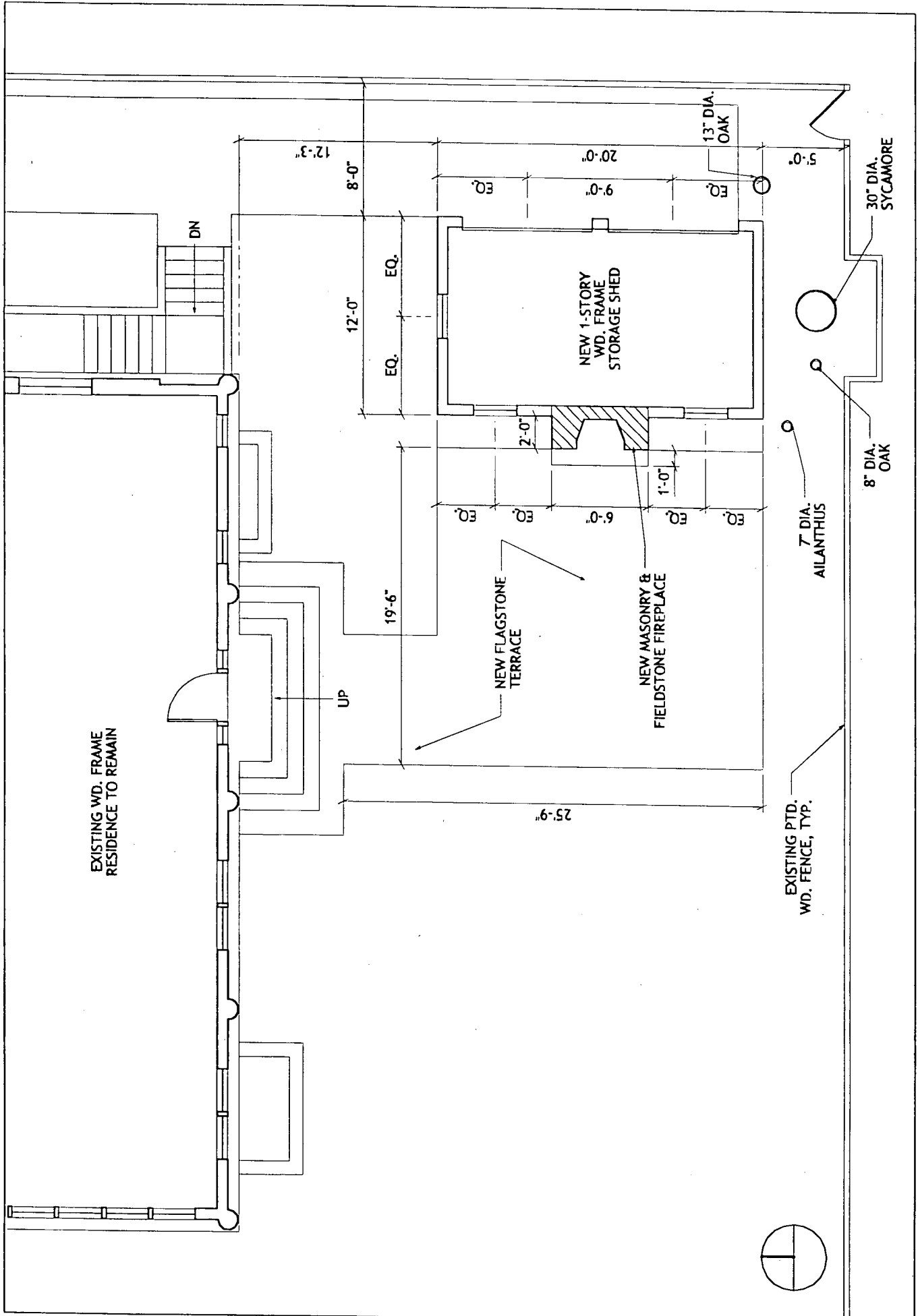


(7)



EXISTING SITE PLAN

SAUL STORAGE SHED
 14 Newlands Street
 Chevy Chase, MD 20815



EXISTING WD. FRAME
RESIDENCE TO REMAIN

DN

12'-3"

8'-0"

EQ.

EQ.

EQ.

EQ.

NEW 1-STORY
WD. FRAME
STORAGE SHED

20'-0"

9'-0"

13" DIA.
OAK

5'-0"

30" DIA.
SYCAMORE

19'-6"

NEW FLAGSTONE
TERRACE

UP

2'-0"

NEW MASONRY &
FIELDSTONE FIREPLACE

6'-0"

EQ.

EQ.

EQ.

EQ.

EQ.

EQ.

7" DIA.
AILANTHUS

8" DIA.
OAK

25'-9"

EXISTING PTD.
WD. FENCE, TYP.

PROPOSED SITE PLAN

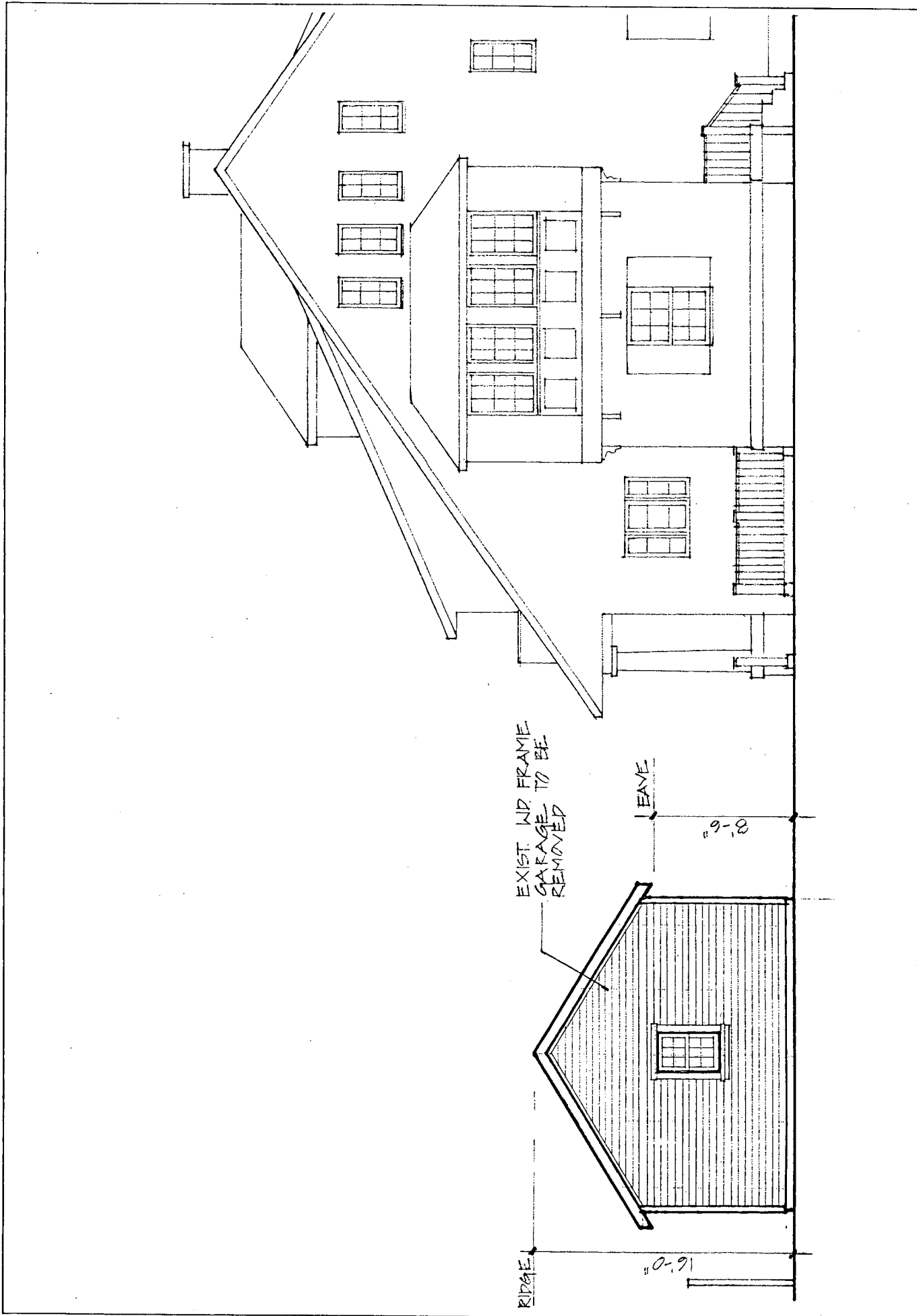
0 2' 4' 8' 16'



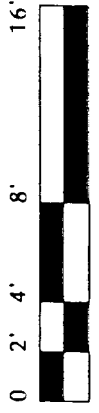
SAUL STORAGE SHED

14 Newlands Street
Chevy Chase, MD 20815





EXISTING EAST ELEVATION



EXIST. WD. FRAME
GARAGE TO BE
REMOVED

EAVE

8'-6"

RIDGE

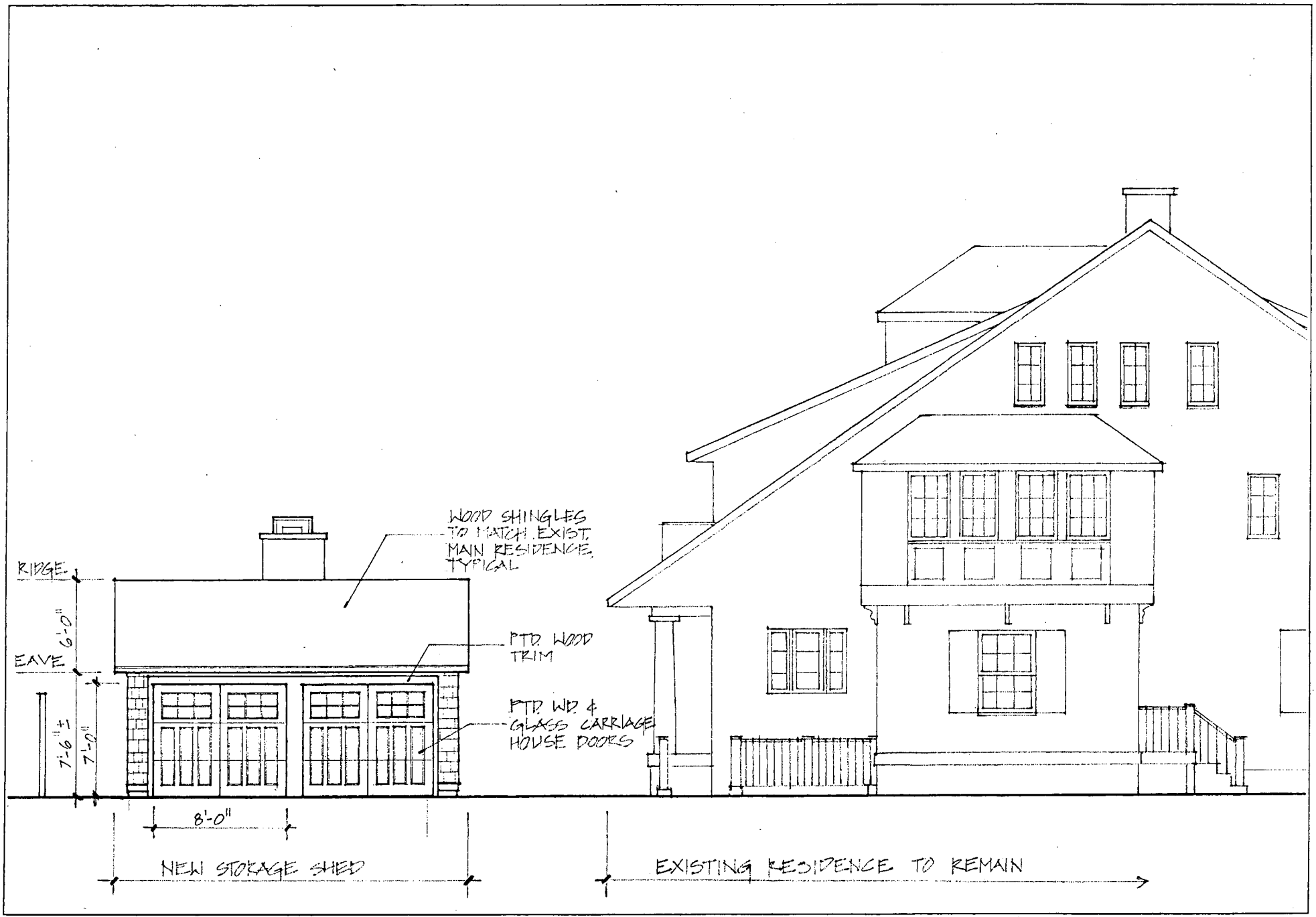
0-9'

SAUL STORAGE SHED

14 Newlands Street

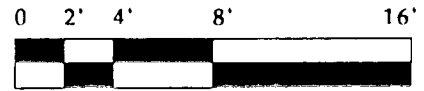
Chevy Chase, MD 20815





SAUL STORAGE SHED
 14 Newlands Street
 Chevy Chase, MD 20815

PROPOSED EAST ELEVATION

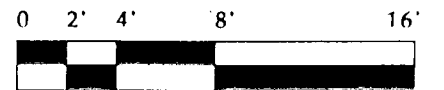




EXIST. W/.
FRAME
GARAGE TO BE
REMOVED

SAUL STORAGE SHED
14 Newlands Street
Chevy Chase, MD 20815

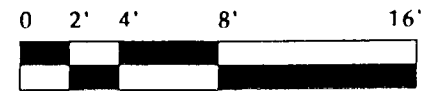
EXISTING SOUTH ELEVATION

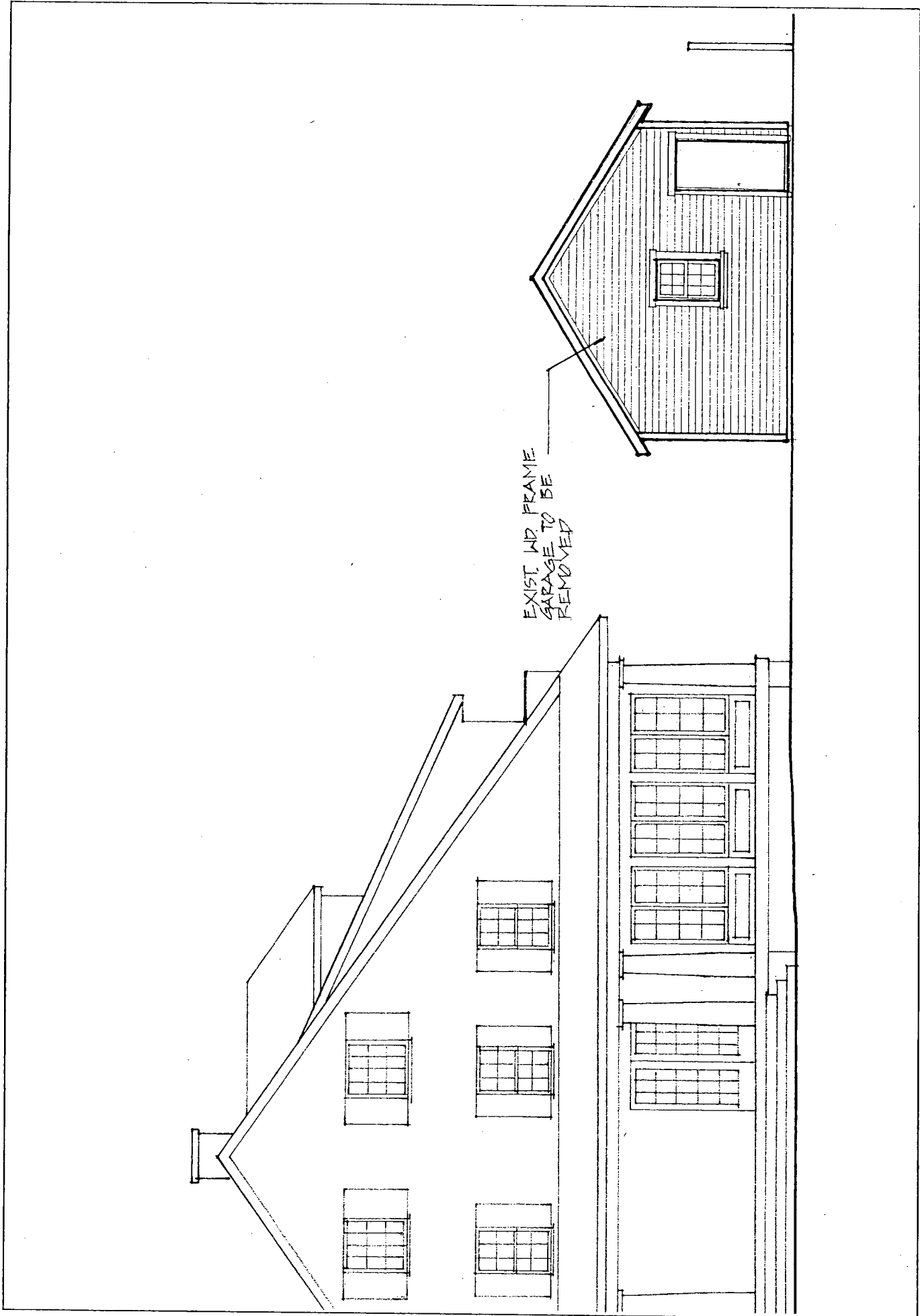




SAUL STORAGE SHED
 4 Newlands Street
 Chevy Chase, MD 20815

PROPOSED SOUTH ELEVATION



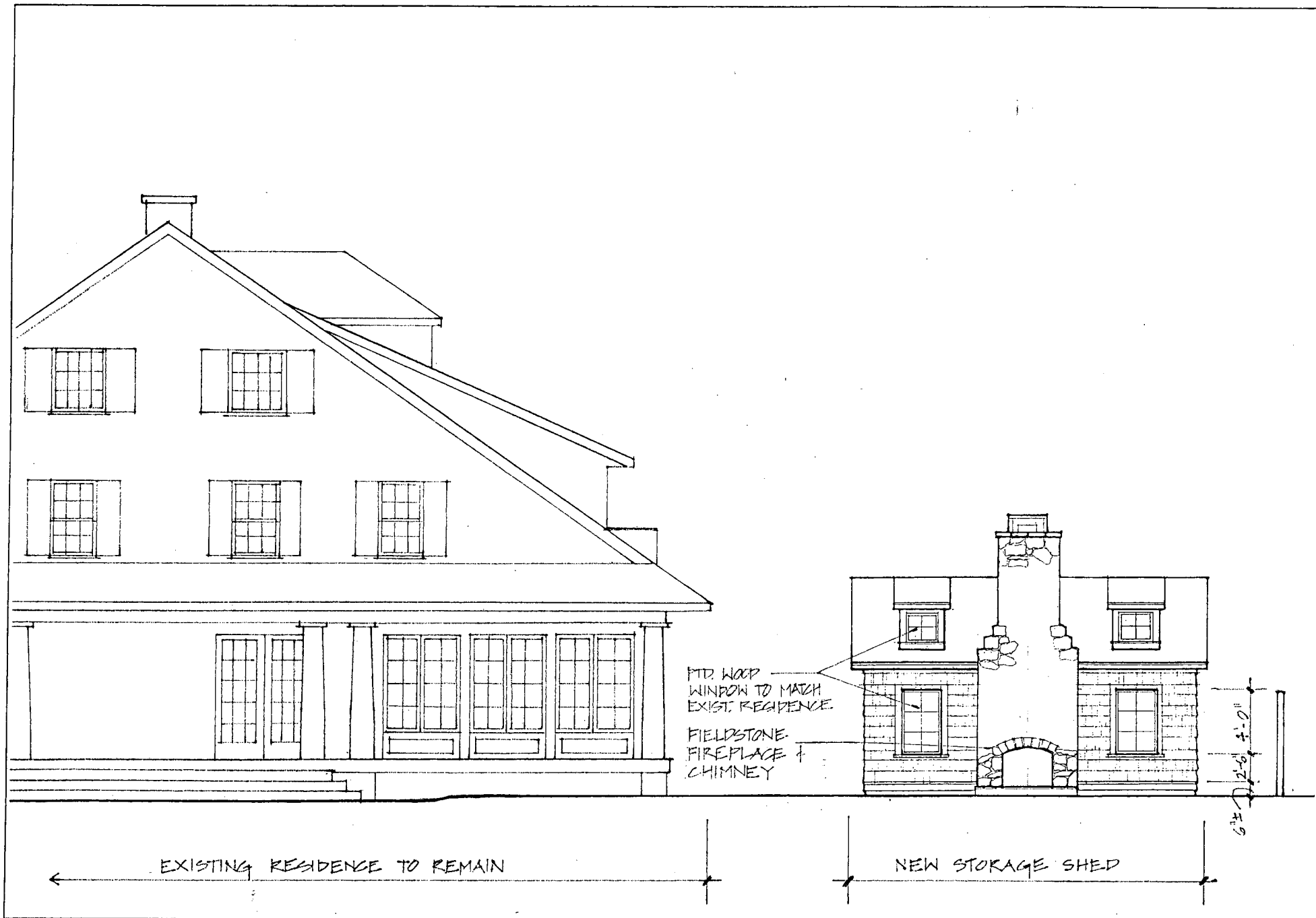


EXIST. WD. FRAME
GARAGE TO BE
REMOVED

SAUL STORAGE SHED
14 Newlands Street
Chevy Chase, MD 20815

EXISTING WEST ELEVATION

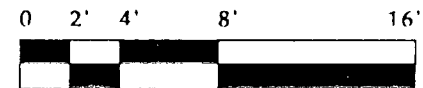


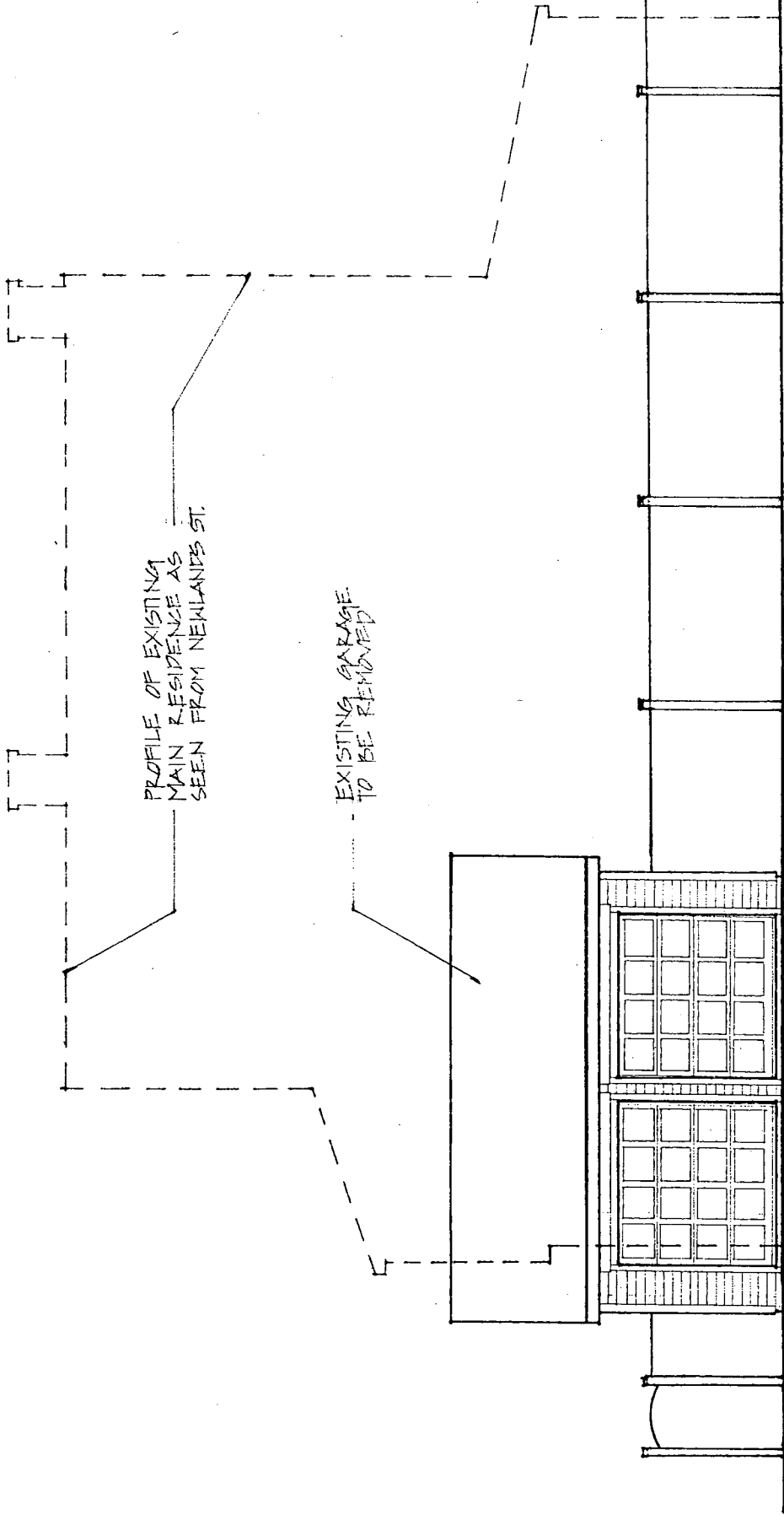


SAUL STORAGE SHED

14 Newlands Street
Chevy Chase, MD 20815

PROPOSED WEST ELEVATION





PROFILE OF EXISTING
MAIN RESIDENCE AS
SEEN FROM NEWLANDS ST.

EXISTING GARAGE
TO BE REMOVED

EXISTING NORTH ELEVATION

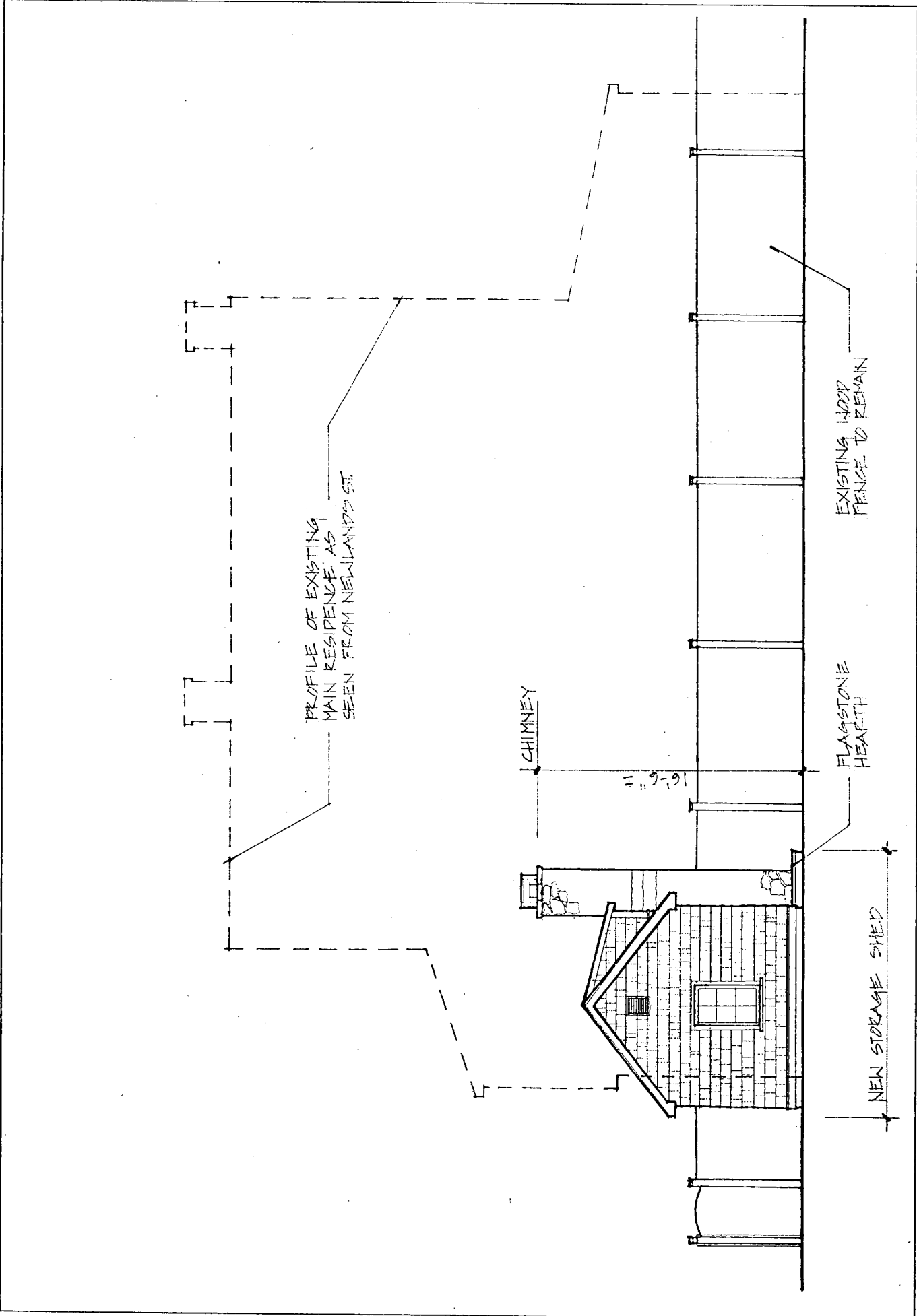


SAUL STORAGE SHED

14 Newlands Street

Chevy Chase, MD 20815

16



PROFILE OF EXISTING
MAIN RESIDENCE AS
SEEN FROM NEWLANDS ST.

CHIMNEY

16'-6" =

FLAGSTONE
HEARTH

EXISTING WOOD
FENCE TO REMAIN

NEW STORAGE SHED

SAUL STORAGE SHED
14 Newlands Street
Chevy Chase, MD 20815

PROPOSED NORTH ELEVATION

0 2' 4' 8' 16'

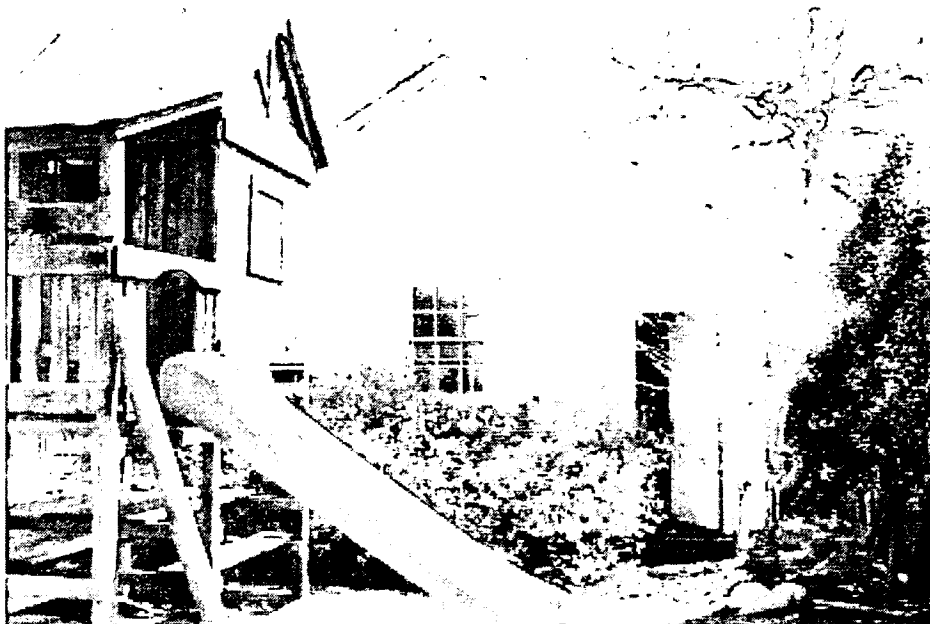
SAUL STORAGE SHED
14 NEWLANDS STREET
CHEVY CHASE, MD 20815



Existing Garage
North Elevation



Existing Residence and Garage
facing West



Existing Garage
West Elevation

SAUL STORAGE SHED
14 NEWLANDS STREET
CHEVY CHASE, MD 20815

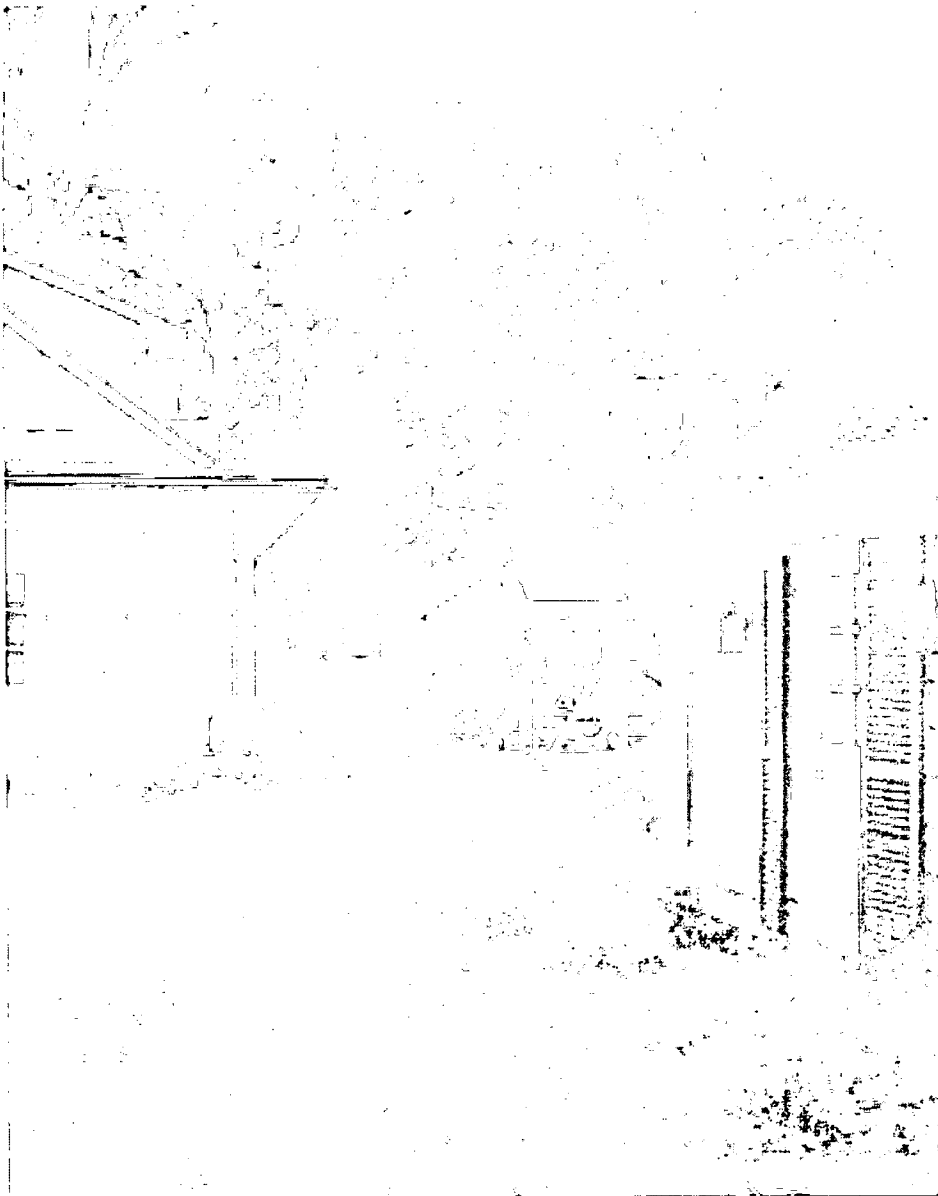


Existing Garage
East Elevation



Existing Garage
South Elevation & Sycamore

SAUL STORAGE SHED
14 NEWLANDS STREET
CHEVY CHASE, MD 20815



Rear yard facing East



Rear yard facing West



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: SCOTT ROSENBAUM

Daytime Phone No.: 202-966-6266

Tax Account No.: 00455350

Name of Property Owner: MR. FRANK SAUL Daytime Phone No.: 301-986-6110

Address: 14 NEKLANDS ST. CHEVY CHASE MD 20815
Street Number City Street Zip Code

Contractor: T.B.D. Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: MUSE ARCHITECTS Daytime Phone No.: 202-966-6266

LOCATION OF BUILDING/PREMISE

House Number: #14 Street: NEKLANDS

Town/City: CHEVY CHASE VILLAGE Nearest Cross Street: _____

Lot: 13/P.O. 11 Block: 47 Subdivision: SECTION 2

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Move
- Install
- Wreck/Raze
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Revision
- Repair
- Revocable
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ T.B.D.

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

STEPHEN MUSE FAIA FOR MUSE ARCHITECTS - 16 MAR 04
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 337997 Date Filed: 3/22/04 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

REFER TO ATTACHED PAGE

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

11

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>B. Francis III and D.R. Saul 14 Newlands Street Chevy Chase, MD 20815</p>	<p>Owner's Agent's mailing address</p> <p>Muse Architects 5630 Connecticut Ave. Washington, DC 20015 Attn.: Scott Rosenbaum</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Paul L. and R.C. Perito 7 Newlands Street Chevy Chase, MD 20815</p>	<p>Edward and M.H. Symes 10 Newlands Street Chevy Chase, MD 20815</p>
<p>Simon Wagman 11 Newlands Street Chevy Chase, MD 20815</p>	<p>Robert S. and S.W. Morgenstein 16 Newlands Street Chevy Chase, MD 20815</p>
<p>Charles N. and S.D. Farmer 15 East Melrose Street Chevy Chase, MD 20815</p>	<p>Michael C. Williams Susan K. Gallagher 21 East Melrose Street Chevy Chase, MD 20815</p>

*Data obtained on-line from Maryland Department of Assessments and Taxation

Written Description of Project

A. Description of Existing Structure

The existing building is a one story frame structure with wood siding and asphalt roof. It serves as a garage for the wood shingle-sided main residence constructed c.1908. Given the structure's differing materials and detail, we do not believe it is original to the construction of the main house. The lot is within the Chevy Chase Village Historical District and is a combined lot. The structure is located in the southeast corner of the rear yard and within the drip-line of (3) significant trees. An existing wood frame and shingle sided outbuilding occupies the southwest corner of the rear yard, directly across from the structure in question.

B. Description of Project

The proposed new work involves removing the existing garage structure due to its drastic state of disrepair.

The proposed new structure provides the owner with exterior storage space. The shingle-siding, painted wood windows, and wood shingle roof match the existing main residence. The footprint of the proposed structure is smaller than the present garage and will move further from existing trees in the southeast corner. The proposed structure is located behind the main residence thus limiting its visibility from Newlands Street.

NEWLANDS STREET

100' Right of Way

EAST 125'

Gravel Drive

Gravel Drive

Drive

25' Building Restriction Line

Lot 13

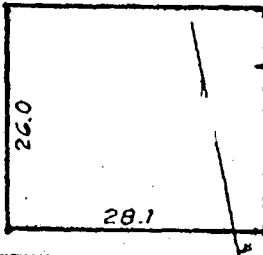
Total Area
15.625 §

EXIST. RESIDENCE
TO REMAIN

Part of
Lot 11

NORTH 125'

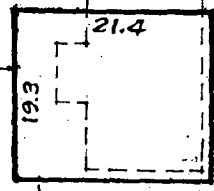
SOUTH 125'



EXIST. 1 STORY
FRAME TO
REMAIN

NEW 1 STORY
FRAME STORAGE
SHED

EXIST. FRAME
GARAGE TO
BE REMOVED



WEST 125'

Util. Pole

Util. Pole

(47)



NO TITLE REPORT FURNISHED

NOTES:

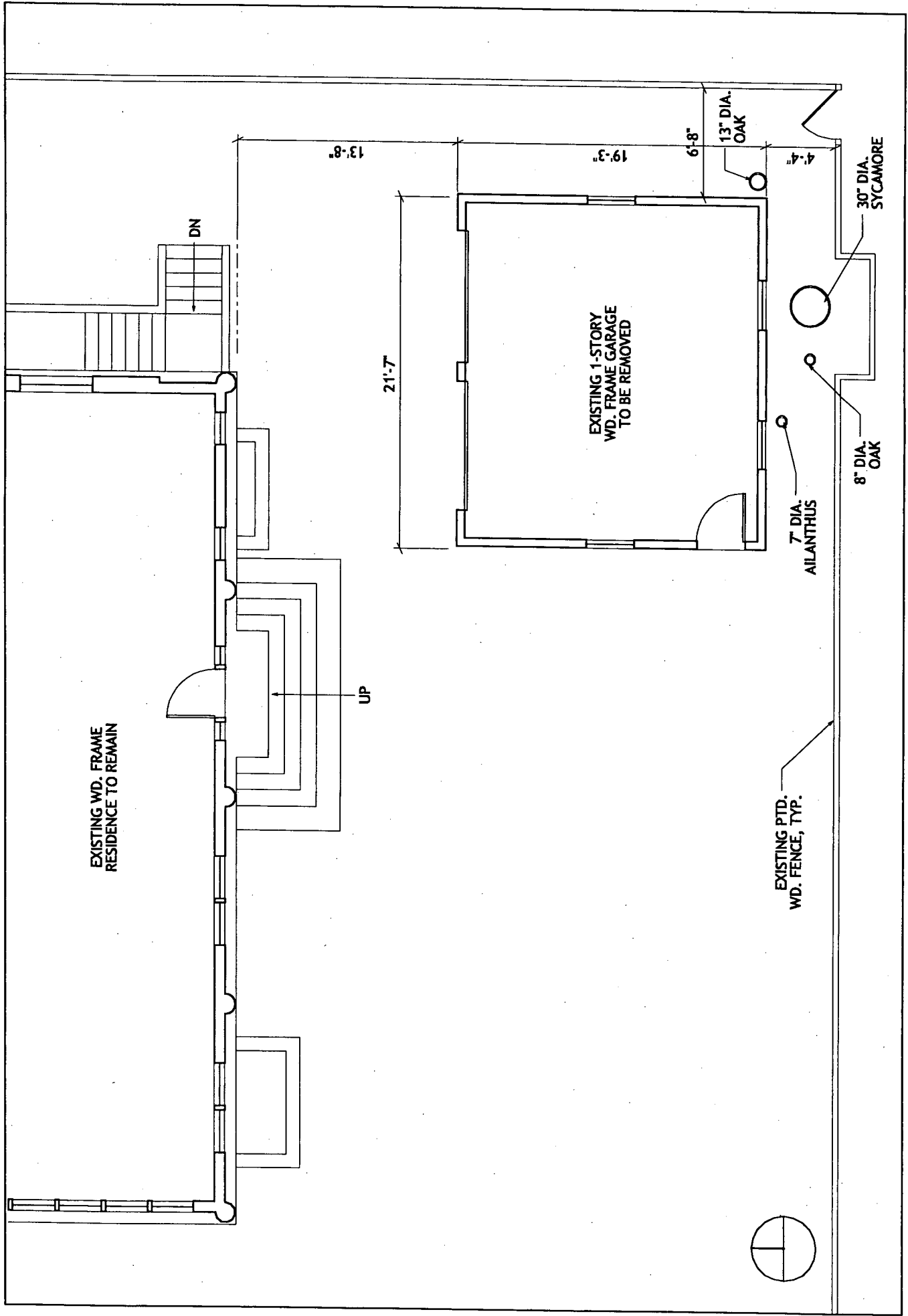
1. The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.

SAUL STORAGE SHED
14 Newlands Street
Chevy Chase, MD 20815

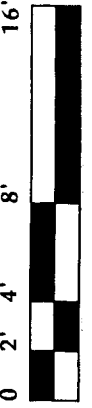
SITE PLAN

0 5' 10' 20' 40'



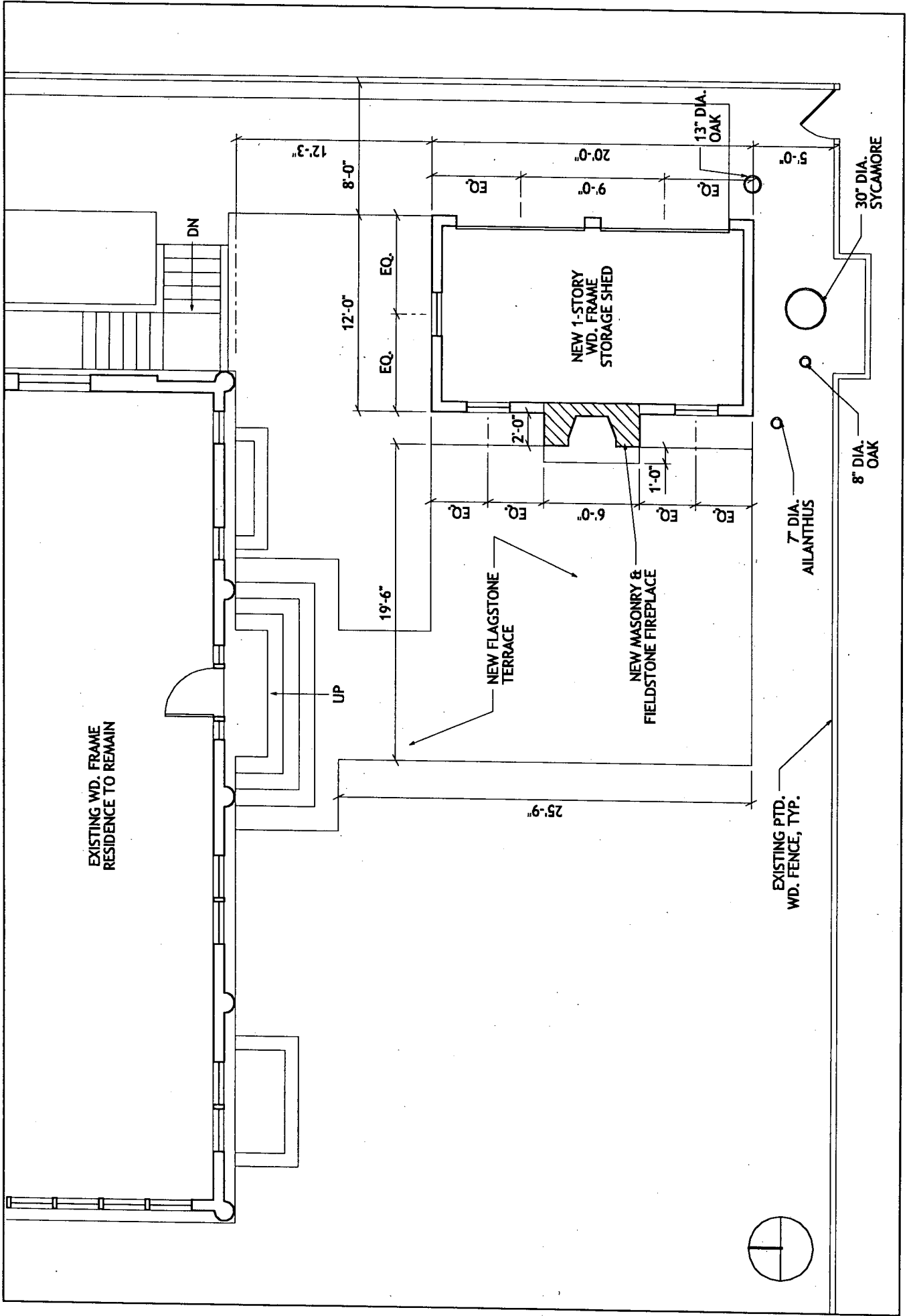


EXISTING SITE PLAN



SAUL STORAGE SHED

14 Newlands Street
 Chevy Chase, MD 20815



EXISTING WD. FRAME
RESIDENCE TO REMAIN

DN

12'-3"

8'-0"

EQ.

12'-0"

EQ.

EQ.

20'-0"

13" DIA.
OAK

5'-0"

30" DIA.
SYCAMORE

NEW 1-STORY
WD. FRAME
STORAGE SHED

2'-0"

NEW FLAGSTONE
TERRACE

19'-6"

UP

NEW MASONRY &
FIELDSTONE FIREPLACE

6'-0"

EQ.

EQ.

1'-0"

7" DIA.
AILANTHUS

8" DIA.
OAK

25'-9"

EXISTING PTD.
WD. FENCE, TYP.

PROPOSED SITE PLAN

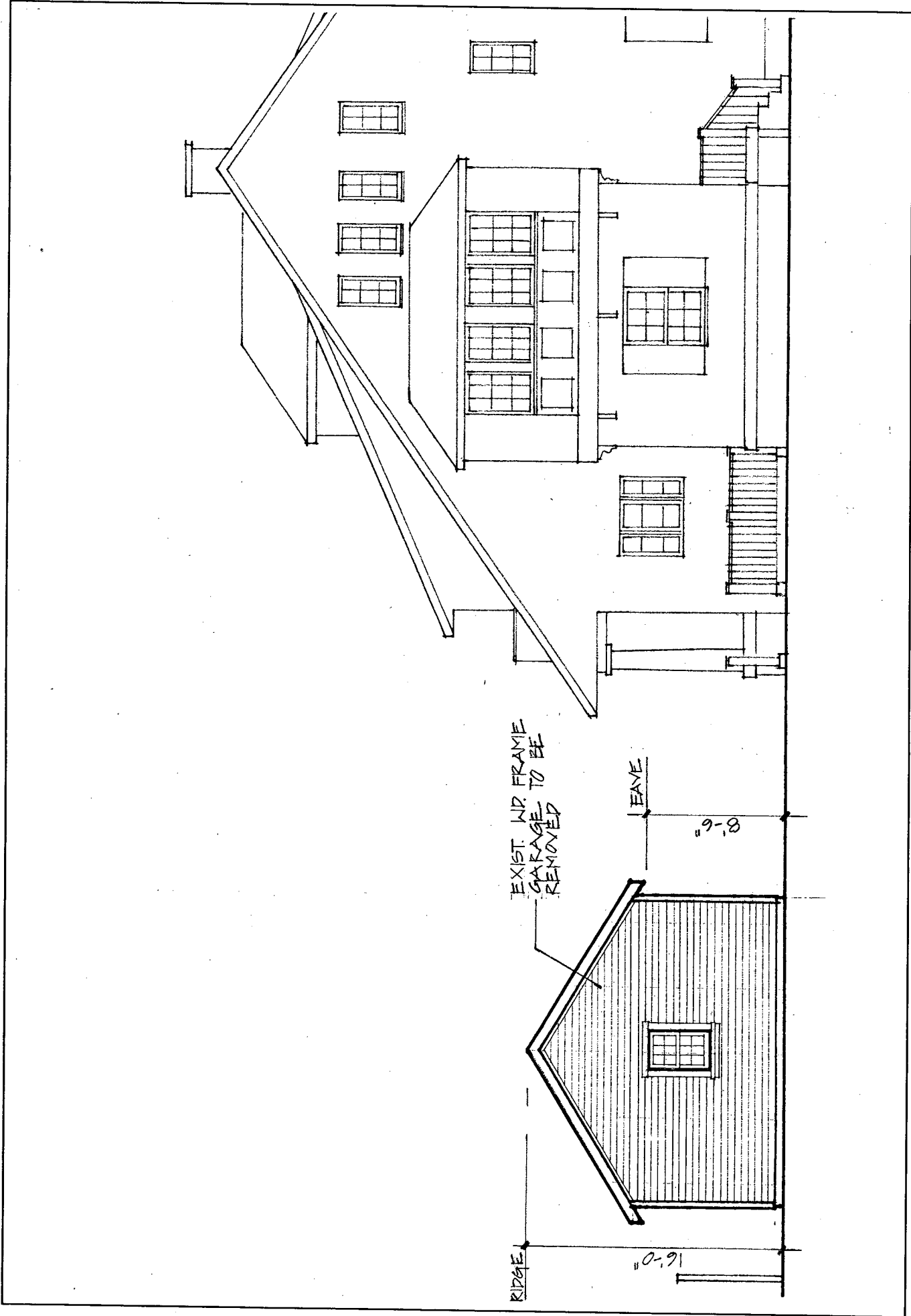
0 2' 4' 8' 16'



SAUL STORAGE SHED

14 Newlands Street

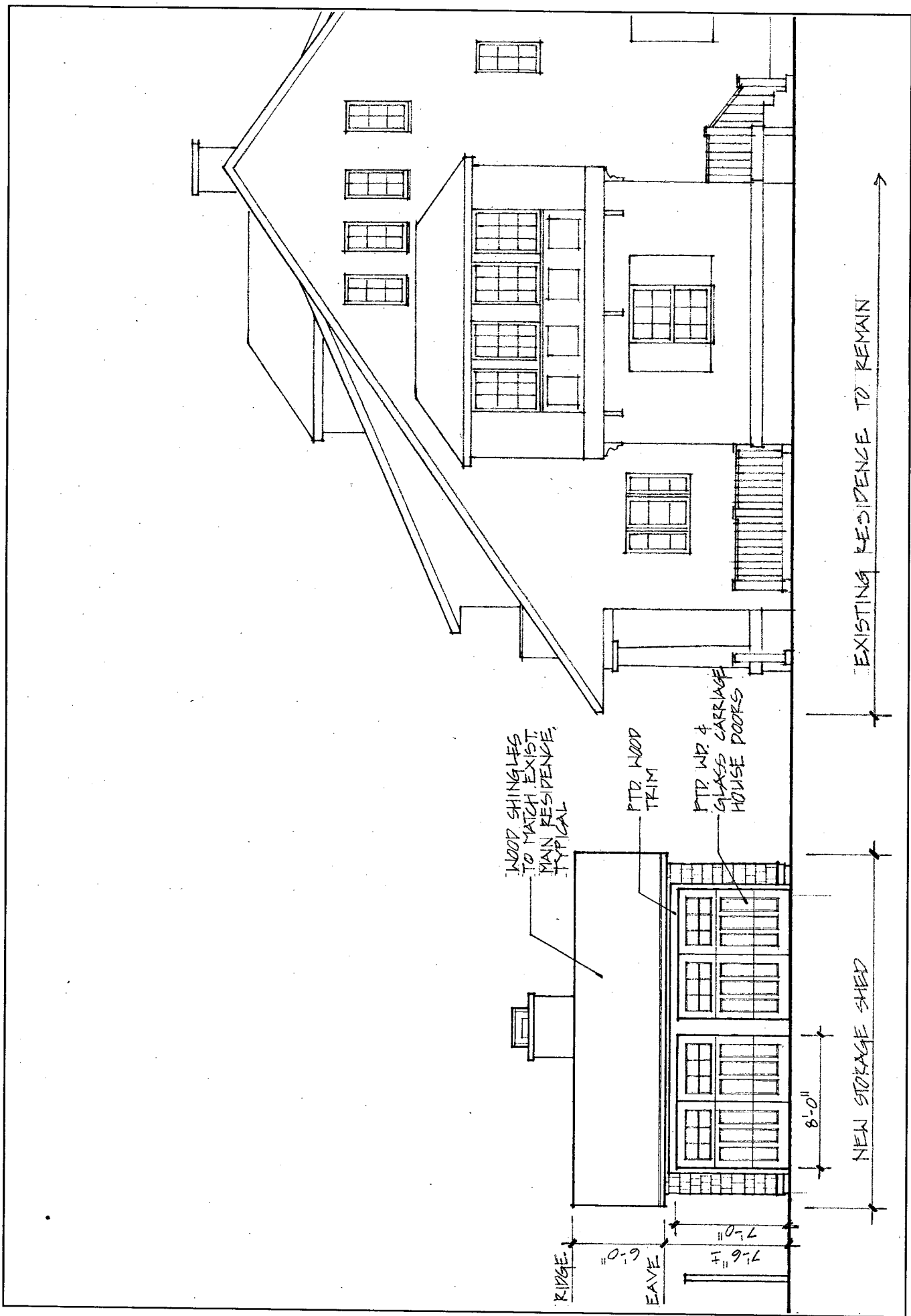
Chevy Chase, MD 20815



EXISTING EAST ELEVATION



SAUL STORAGE SHED
 14 Newlands Street
 Chevy Chase, MD 20815



SAUL STORAGE SHED

14 Newlands Street

Chevy Chase, MD 20815

PROPOSED EAST ELEVATION

0 2' 4' 8' 16'



EXISTING RESIDENCE TO REMAIN

NEW STORAGE SHED

WOOD SHINGLES
TO MATCH EXIST.
MAIN RESIDENCE,
TYPICAL

PTR. WOOD
TRIM

PTR. W.P. 4
GLASS CARRIAGE
HOUSE DOORS

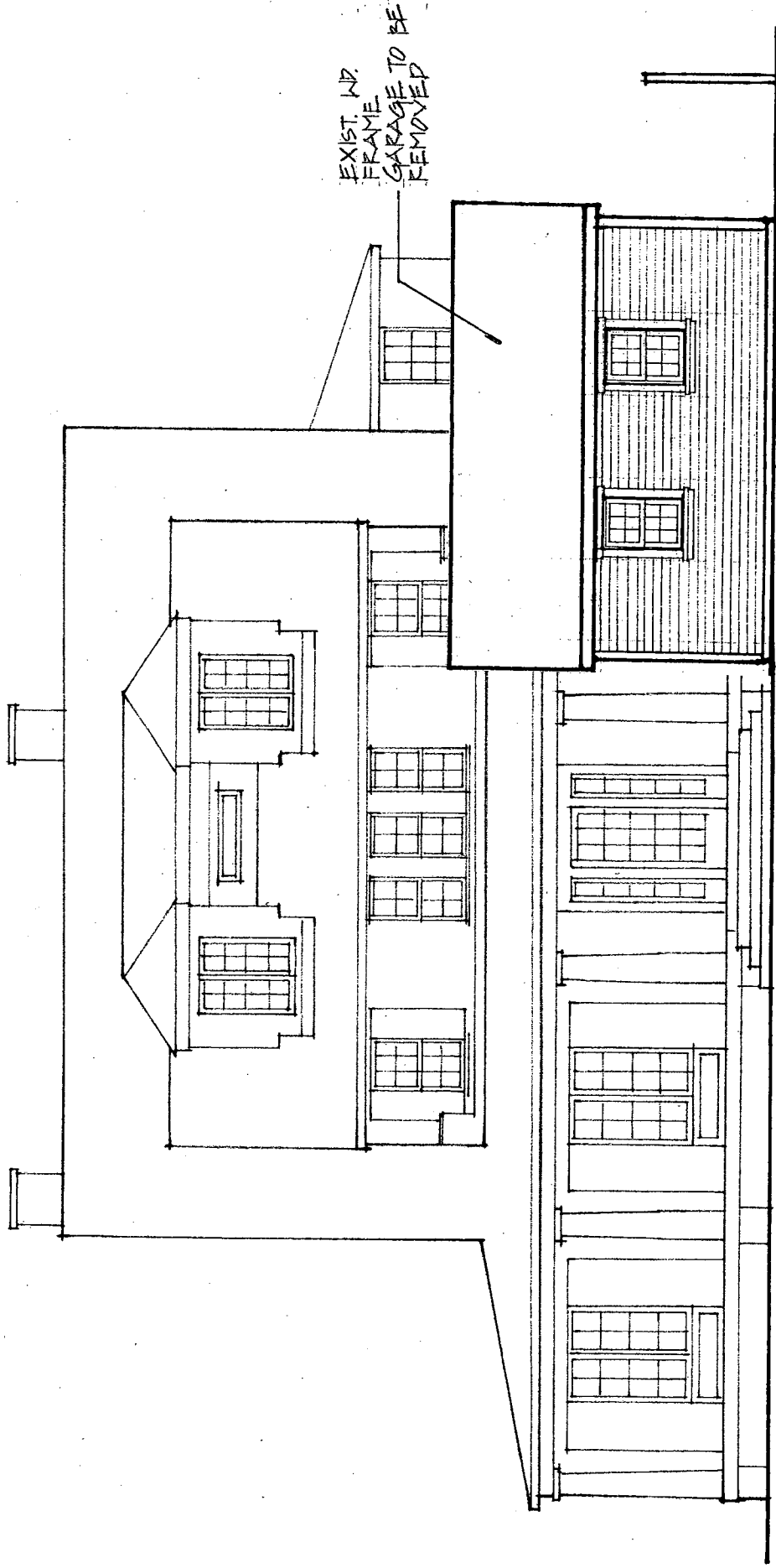
RIDGE

6'-0"

EAVE

7'-6"

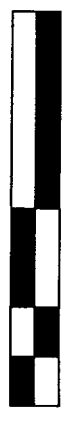
8'-0"



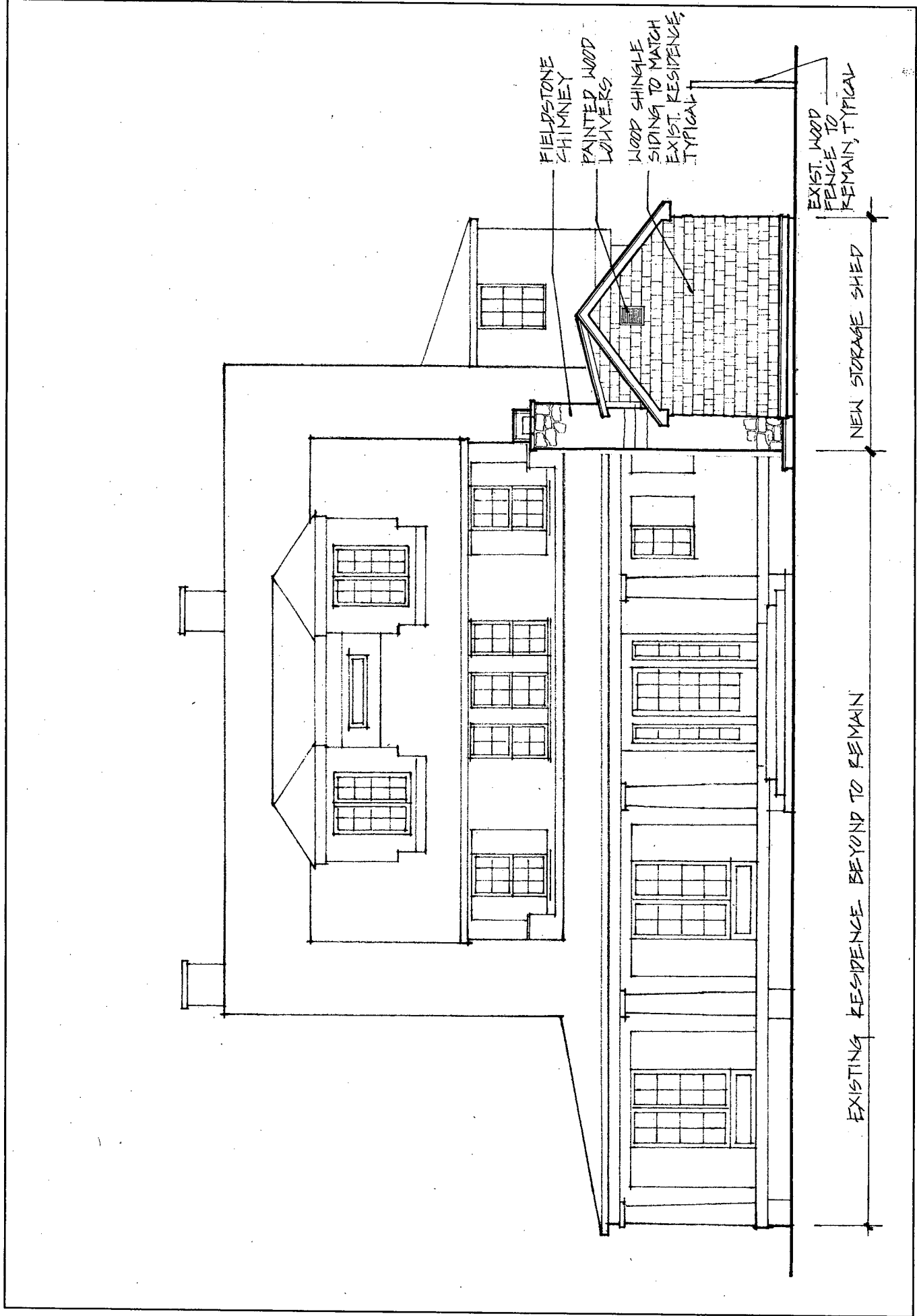
EXIST. WP
FRAME
GARAGE TO BE
REMOVED

EXISTING SOUTH ELEVATION

0 2' 4' 8' 16'



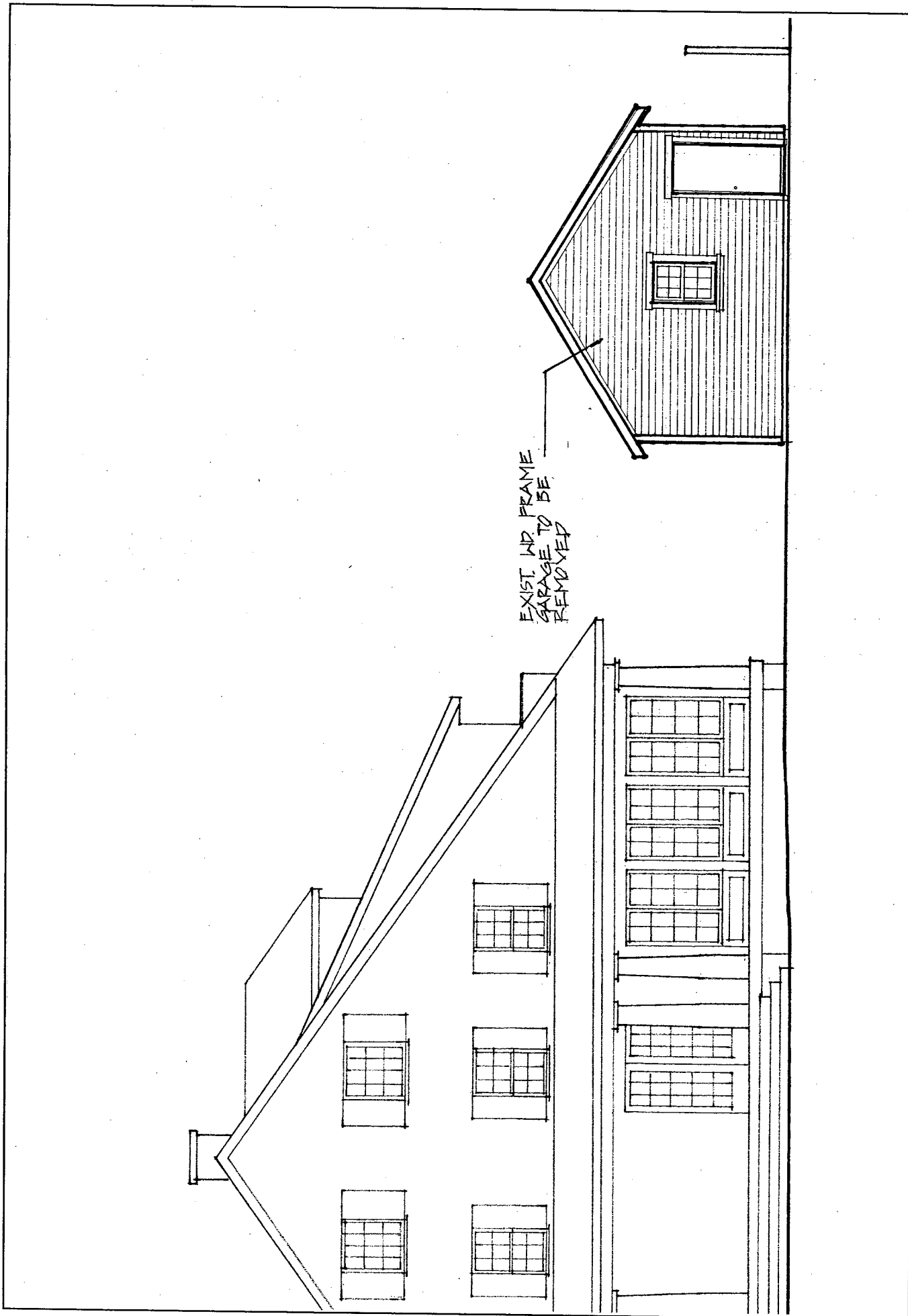
SAUL STORAGE SHED
14 Newlands Street
Chevy Chase, MD 20815



SAUL STORAGE SHED
 14 Newlands Street
 Chevy Chase, MD 20815

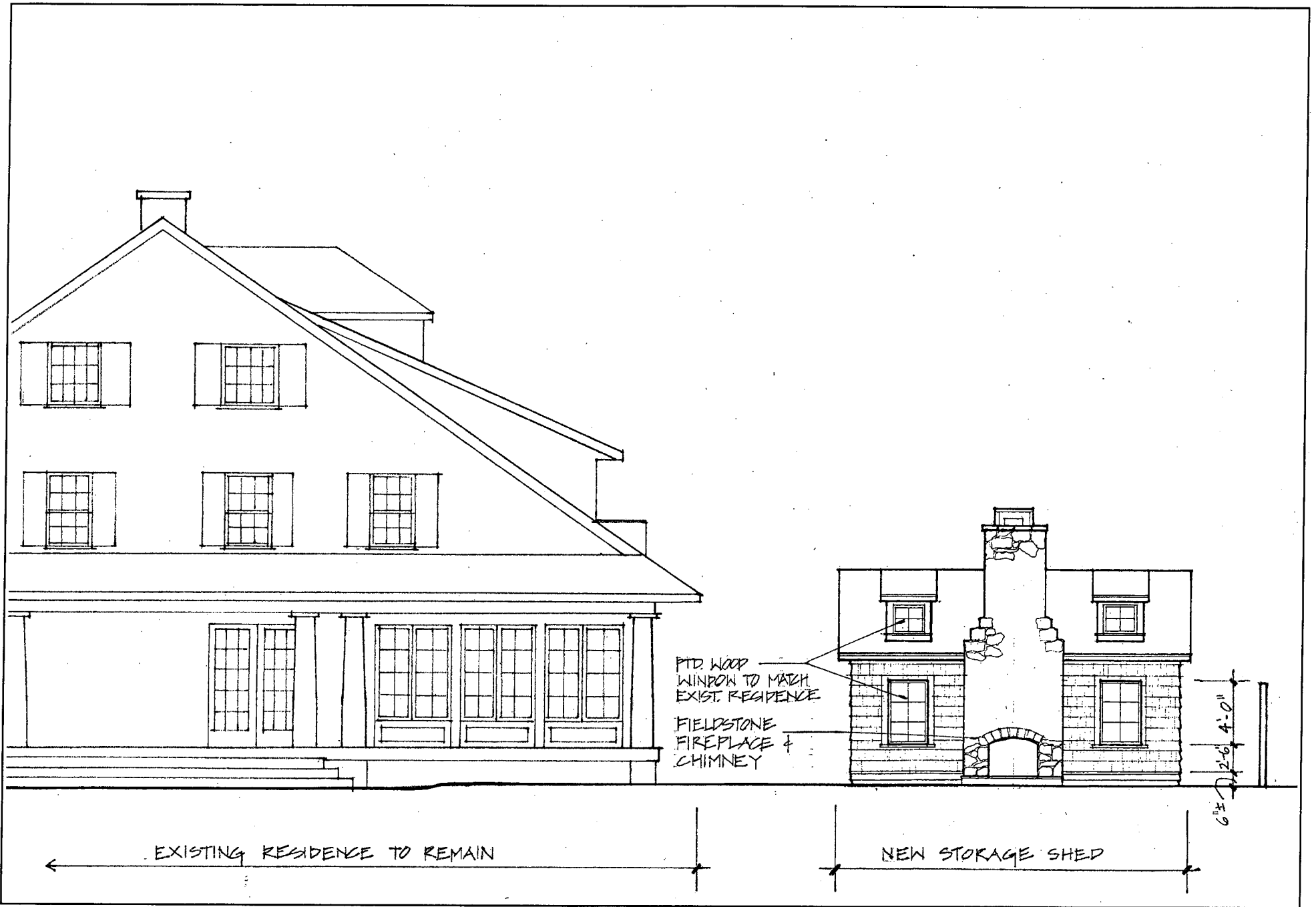
PROPOSED SOUTH ELEVATION

0 2' 4' 8' 16'



SAUL STORAGE SHED
14 Newlands Street
Chevy Chase, MD 20815

EXISTING WEST ELEVATION
0 2' 4' 8' 16'

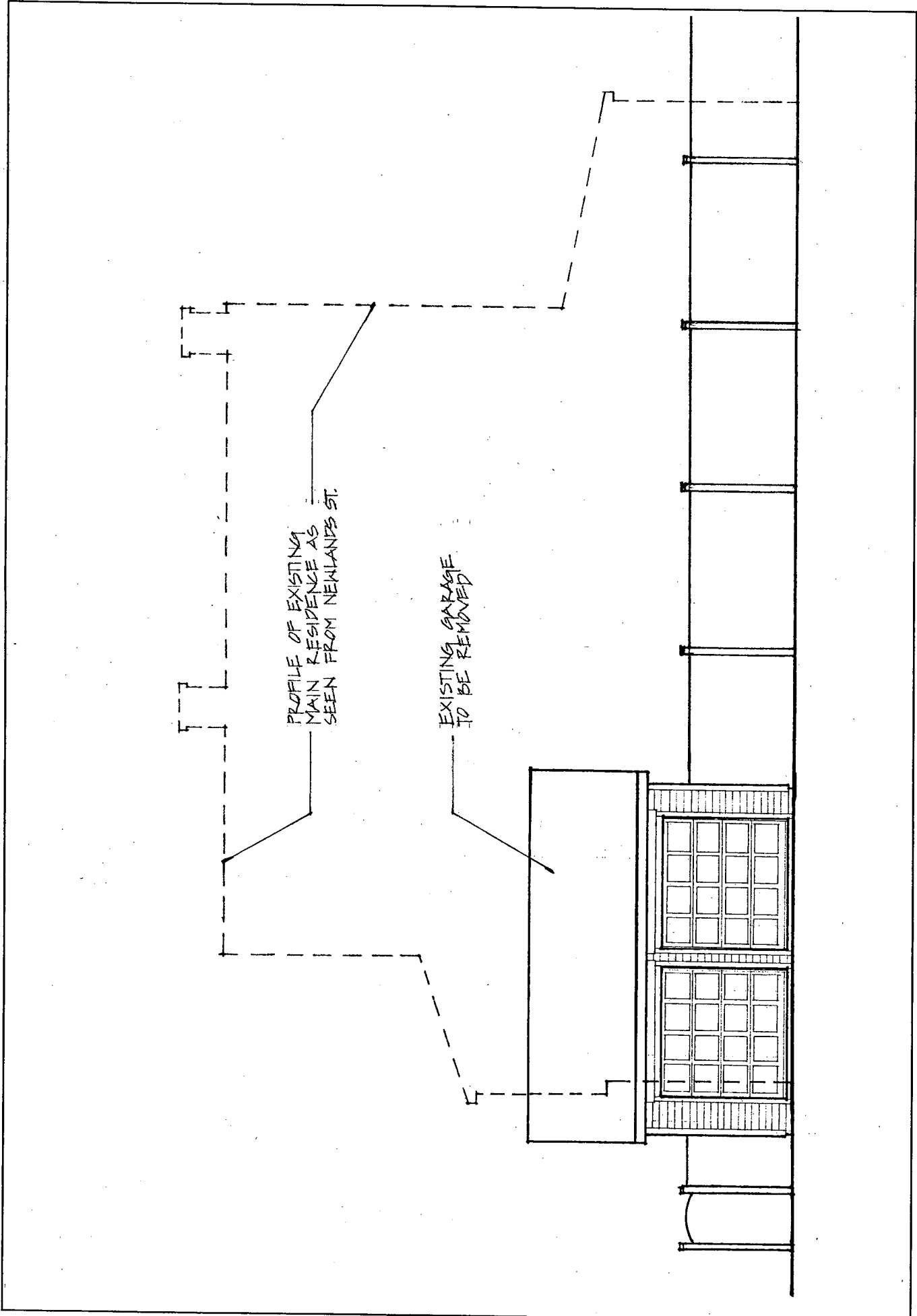


SAUL STORAGE SHED
 14 Newlands Street
 Chevy Chase, MD 20815

PROPOSED WEST ELEVATION

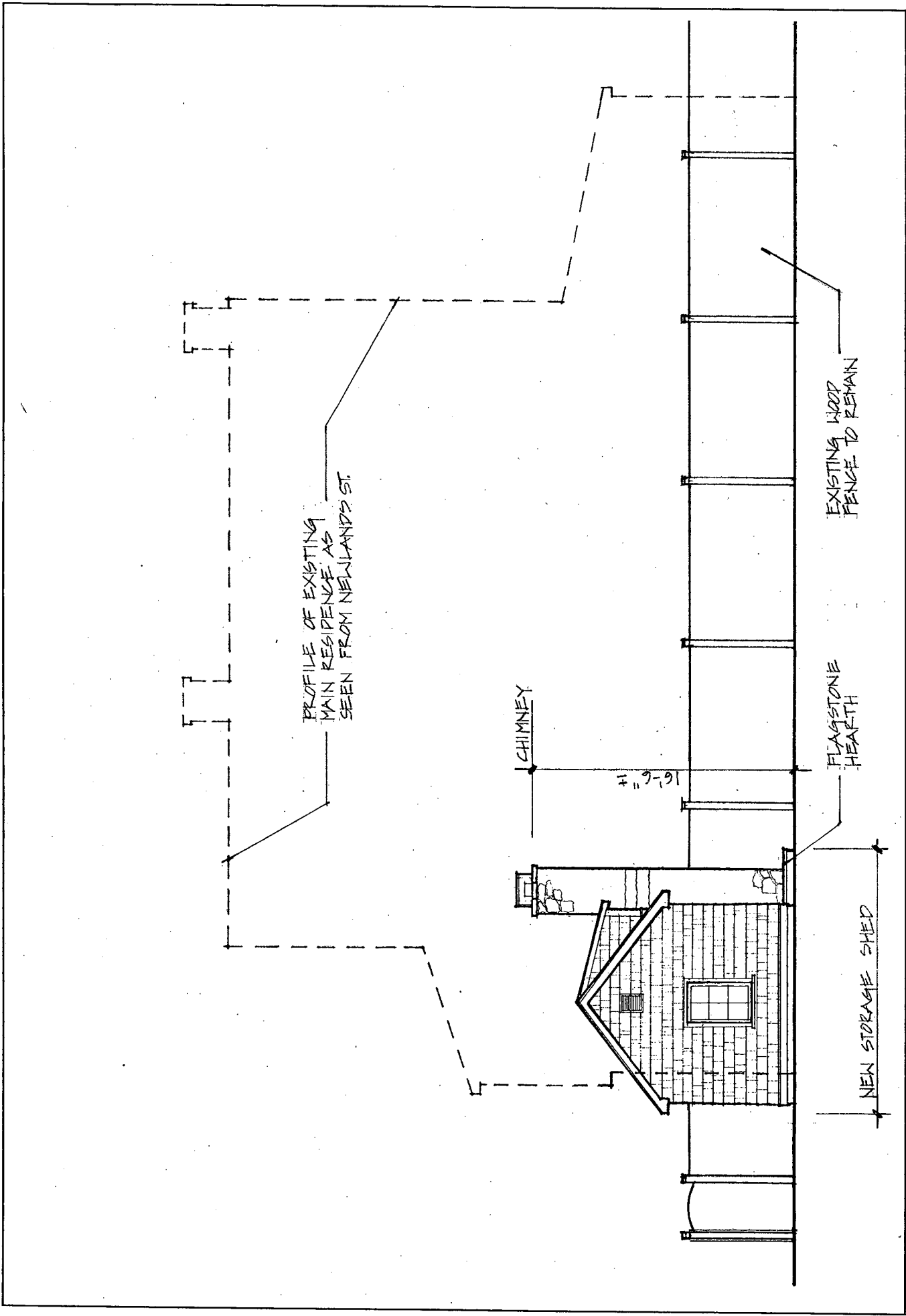
0 2' 4' 8' 16'





SAUL STORAGE SHED
 14 Newlands Street
 Chevy Chase, MD 20815

EXISTING NORTH ELEVATION



SAUL STORAGE SHED
14 NEWLANDS STREET
CHEVY CHASE, MD 20815



Existing Garage
North Elevation



Existing Residence and Garage
facing West



Existing Garage
West Elevation

SAUL STORAGE SHED
14 NEWLANDS STREET
CHEVY CHASE, MD 20815



Existing Garage
East Elevation



Existing Garage
South Elevation & Sycamore

SAUL STORAGE SHED
14 NEWLANDS STREET
CHEVY CHASE, MD 20815



Rear yard facing East



Rear yard facing West