

35/13-04Z 25 Oxford Street
Chevy Chase Historic District

March 14, 2005

Reggie Jetter

Department of Permitting Services
255 Rockville Pike
Rockville, Maryland 20850

Re: Alterations to approved HAWP application at 25 Oxford Street, Chevy Chase
Village Historic District

Mr. Jetter:

As the attached plans dictate, the homeowner is requesting a modification to their approved Historic Area Work Permit (HAWP) to add an additional 5' of length to the approved design. This letter is to confirm the Commission and its staff have reviewed and approved the attached modification to the design. Please use this letter as the Commission's formal approval to process a building permit for this design modification without further review by the Commission or its staff.

Please note that any additional alterations or changes to the exterior of this house or its respective property must be reviewed by the HPC prior to the issuance of a Permit.

If you have any questions or concerns about this project, please do not hesitate to contact me at 301-563-3400. Thank you for your assistance in this matter.

Sincerely,

Michele Oaks, Senior Planner
Historic Preservation Office

Cc: Geoff Biddle, Chevy Chase Village
Lisa Spikell, Owner
Rick Taylor, AIA



Date: September 2, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Michele Naru, Senior Planner
Historic Preservation Section

SUBJECT: Historic Area Work Permit – Additions and Alterations to a non-contributing resource at 25 Oxford Street, **Chevy Chase Village Historic District**

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED with condition**. The condition of approval is:

The applicants will work with the Chevy Chase Village arborist to develop a tree protection plan for the existing trees on the site. This plan must be implemented prior to this program's commencement.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Armond Spikell

Address: 25 Oxford Street, Chevy Chase Village Historic District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: FREDERICK E. TAYLOR AIA
Daytime Phone No.: (202) 635-8087

Tax Account No.: _____
Name of Property Owner: ARMANDO & LISA SPIKEL Daytime Phone No.: (301) 986-5722
Address: 25 OXFORD ST. CHEVY CHASE MD 20815
Street Number City State Zip Code
Contractor: _____ Phone No.: _____
Contractor Registration No.: _____
Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 25 Street: OXFORD ST.
Town/City: CHEVY CHASE Nearest Cross Street: CONNECTICUT AVE / BROOKVILLE RD.
Lot: 35 Block: 57 Subdivision: CHEVY CHASE
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ ± 500,000

1C. If this is a revision of a previously approved active permit, see Permit # (PART OF THIS WORK HAS HAD AN APPLICATION FILED BUT NOT YET APPROVED)

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] _____ 11/24/2004
Signature of owner or authorized agent Date

Approved: X W/CONDITION For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: Julia O'Malley Date: 12/07/2005
Application/Permit No.: 366391 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING STRUCTURE FIRST STORY WAS BUILT IN CA 1960 OF BRICK VENEER. A SECOND STORY OF VINYL SIDING WITH A HIPPED ASPHALT SHINGLE ROOF WAS ADDED CA 1985. THE MOST PROMINENT FEATURE IS AN AWKWARD CENTRAL GARAGE DOOR SURMOUNTED BY AN ENTRY STAIR BALCONY. THE STRUCTURE IS CLASSIFIED AS NON-CONTRIBUTING TO THE DISTRICT.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROJECT ADDS \$1000 SF TO THE STRUCTURE, MOST OF WHICH IS BUILT ABOVE AN EXISTING 1 STORY REAR SECTION OF THE EXISTING STRUCTURE. EXTENSIVE EXTERIOR REMODELING INCL. NEW WINDOWS, CEDAR SHINGLES & ~~AND~~ STONE STEPS IS PROPOSED FOR THE ENTIRE STRUCTURE.

2. SITE PLAN

- Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

- You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 25 Oxford Street, Chevy Chase **Meeting Date:** 12/15/04
Resource: Non-Contributing Resource **Report Date:** 12/08/04
Chevy Chase Village Historic District
Review: HAWP **Public Notice:** 12/01/04
Case Number: 35/13-04Z **Tax Credit:** None
Applicant: Armond Spikell **Staff:** Michele Naru
Proposal: Additions and alterations to a non-contributing resource
Recommendation: Approval with conditions

RECOMMENDATION: Staff recommends that the Commission approve this HAWP application with the conditions that:

- The applicants will work with the Chevy Chase Village arborist to develop a tree protection plan for the existing trees on the site. This plan must be implemented prior to this program's commencement.
- A letter from the applicant will be drafted withdrawing the previously approved HAWP application prior to the issuance of the HAWP approval for these revised plans.

BACKGROUND:

The applicant received approval for alterations and a one-story addition to this non-contributing resource at its August 18, 2004 meeting (drawings on circles *23*). After this meeting, issues developed during the contractor bidding process and the applicants asked the architect to revise plans. This current HAWP application, if approved, would replace the previously approved application.

PROJECT DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource
STYLE: Modern
PERIOD OF SIGNIFICANCE: 1965, 1985

The existing house is a five-bay, hip roof structure with a centrally located, basement level, two-car garage on the front elevation. The house is detailed with a steel frame, wood slat front porch. The current house is the result of two major construction periods. The brick first level was constructed in 1965 and the frame, vinyl clad second level was added in 1985. The house is sited on a 75' x 140' lot.

PROPOSAL:

The project consists of:

Front Façade

1. Demolish the existing front stairway and install a new front stairway from the basement level to the first floor constructed of stone.
2. Install an eyebrow window in the roofline.
3. Install a painted, redwood pergola above entry door.

Rear Façade

4. Construct a two-story plus basement rear addition of wood frame construction on a masonry foundation.
5. Construct a second- story addition on top of the existing, one-story, rear addition.
6. Construct a new open pergola with an exterior fireplace.

Materials

7. Replace all of the windows on the house with painted, wood, simulated-divided light, double-hung and casement windows (see drawings).
8. Clad the existing front retaining walls along driveway wall with bluestone.
9. Paint the existing brick on the first floor.
10. Remove the existing vinyl siding and replace with cedar shingles on the second floor.
11. Replace existing people doors with new wood doors (see drawings).
12. Paint existing garage door.
13. Replace existing asphalt shingle roof with a new asphalt shingle roof.
14. Install synthetic columns for new, rear pergola.

The subject proposal will be adding approx. 200 sq.ft. to the footprint of the house and no trees larger than 6" in diameter will be removed as part of this proposal.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997 and the *Montgomery County*

Code Chapter 24A (Chapter 24A). The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Master Plan

- Non-Contributing or Out-of-Period Resource: A resource which does not directly contribute to the historicity of the district because of its lack of architectural and historical significance and/or because of major alterations that have eliminated most of the resource's original architectural integrity. Or a resource that is a newer building, which possibly contributes to the overall streetscape but is out of the district's primary historical and architectural context.
- HAWP applications for exterior alterations, changes, and/or additions to these types [non-contributing] of resources should receive the most lenient level of design review.
- Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure, which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.
- It is of paramount importance that the HPC recognize and foster the Village's open, park-like character, which necessitates respect for existing environmental settings, landscaping and patterns of open space.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

STAFF DISCUSSION

The Commission's main objectives when reviewing additions to non-contributing resources within the Chevy Chase Village Historic District are to ensure minimal impact to the open-space and park-like setting of the historic district and ensure compatibility in terms of massing, scale proportion, height and materials with the existing streetscape.

Staff continues to feel that the proposed design meets the criteria outlined in the Chevy Chase Village Guidelines. Staff recommends approval with the common condition that the applicants will work with the Chevy Chase Village arborist to develop a tree protection plan for the existing trees on the site.

Staff will note, that the approval of this application will make the previously approved HAWP application on August 18, 2004, null and void. Staff also requests that the Commission require, as a condition of approval, a letter from the applicant withdrawing the previously approved HAWP application prior to the issuance of the HAWP approval for these revised plans.

STAFF RECOMMENDATION:

Staff recommends that the Commission *approve with the above stated conditions* the HAWP application as being consistent with Chapter 25A-8(b) 2:

The proposal is compatible in character and nature with the historical, archaeological, architectural or cultural features of the historic site or district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter

and with the *Chevy Chase Village Guidelines*, adopted April 1998.

with the general conditions applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work, and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] _____ 11/24/2004 _____
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: 366391 Date Filed: _____ Date Issued: _____

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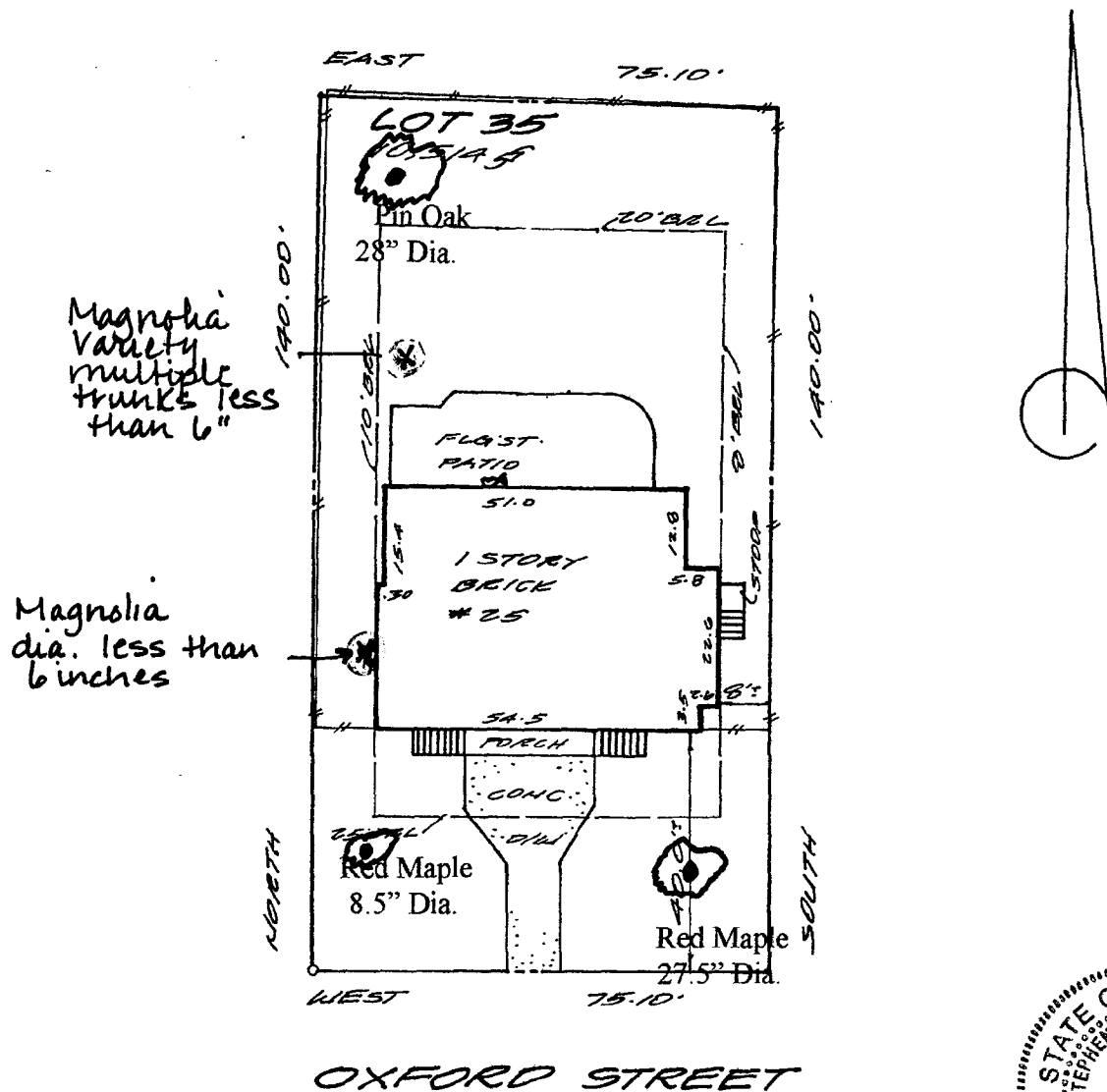
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6

Tree Survey



Unable to verify location of fences due to vegetation.

Date: 04-26-02
 Plat Book: 71
 Work Order: 6809
 Address: 25 OXFORD STREET
 District: 7
 Jurisdiction: MONTGOMERY COUNTY, MD

Scale: 1" = 30' Dnn: BD
NO TITLE REPORT FURNISHED

Surveyor's Certification

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. This property does not lie within a 100-year flood plain according to FEMA insurance maps as interpreted by the originator unless otherwise shown hereon. Building restriction lines shown are as per available information and are subject to the interpretation of the originator.

Stephen J. Wenthold

LOCATION DRAWING
 LOT 35
 BLOCK 57
 SECTION 2
 CHEVY CHASE

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the



Meridian Surveys, Inc.
 811 Russell Avenue
 Suite #303
 Gaithersburg, MD 20879
 (301) 721-9400



PROJECT LOCATION

25 OXFORD STREET
CHEVY CHASE, MD 20815

CHEVY CHASE SECTION 2

LOT 35 SQUARE: 57

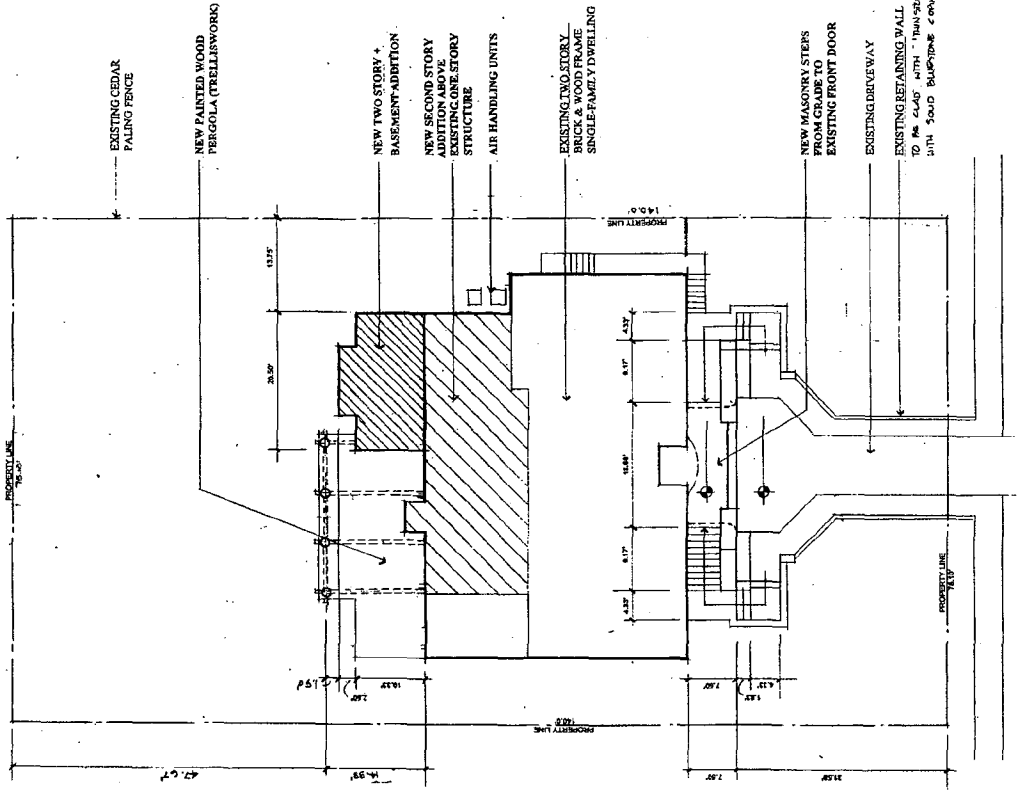
ZONING R-90

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A ONE AND TWO STORY ADDITION TO AND EXTERIOR REMODELING OF AN EXISTING DETACHED SINGLE-FAMILY DWELLING OF WOOD FRAME AND MASONRY CONSTRUCTION. THE EXTERIOR REMODELING WILL INCLUDE NEW WOOD WINDOWS THROUGHOUT, NEW WOOD TRIM AND CEDAR SHINGLE SIDING AT THE ENTRANCE. A NEW AREAWAY STAIR STONE FRONT STEPS AT THE ENTRANCE. A NEW AREAWAY STAIR TO THE BASEMENT. A PERGOLA AND EXTERIOR FIREPLACE AT THE REAR. AND COMPLETE PAINTING OF THE EXISTING BRICK VENEER. THE ADDITION WILL ADD APPROXIMATELY 238 SF TO THE FIRST FLOOR AND 837 SF TO THE SECOND. THE SECOND FLOOR ADDITION WILL ENCLOSE A NEW MASTER BEDROOM AND MASTER BATH SUITE. THE FIRST FLOOR ADDITION WILL INCLUDE A NEW BREAKFAST ROOM AND PART OF A RELOCATED KITCHEN. THE EXISTING CRAWL SPACE WILL BE PARTIALLY EXCAVATED TO CREATE NEW UNCONDITIONED BASEMENT STORAGE BELOW THE EXISTING AND NEW STRUCTURE. OTHER ANTERIOR REMODELING WILL INCLUDE THE RELOCATION OF THE LAUNDRY ROOM, CONVERSION OF THE EXISTING KITCHEN/FAMILY ROOM TO A FORMAL DINING ROOM AND BUTLER'S PANTRY.

DRAWING INDEX

- A1.0 SITE PLAN / DRAWING INDEX
- A2.0 LOWER LEVEL PLAN
- A2.1 FIRST FLOOR PLAN
- A2.2 SECOND FLOOR PLAN
- A2.3 ROOF PLAN
- A3.1 SOUTH ELEVATION
- A3.2 EAST ELEVATION
- A3.3 NORTH ELEVATION
- A3.4 WEST ELEVATION
- A4.1 DETAIL ELEVATION @ SOUTH WALL SECTION @ ENTRANCE
- A4.2 SECTION @ FRONT STEPS
- A4.3 PLAN DETAILS @ FRONT STEPS
- A4.4 WALL SECTIONS
- A5.1 EXTERIOR DETAILS @ CORNICE (RESERVED)
- A5.2 EXTERIOR DETAILS @ BRACKETS
- A5.3 EXTERIOR DETAILS @ PERGOLA
- A5.4
- A6.1 INTERIOR ELEV'S. @ KITCHEN FIREPLACE DETAILS @ PERGOLA
- A6.2 INTERIOR ELEV'S @ SECOND FLOOR (RESERVED)
- A6.3
- A6.4
- A7.1 DOOR SCHEDULE / TRIM TYPES
- A7.2 DOOR TYPES / DORMER DTL'S
- A7.3 WINDOW TYPES
- A7.4 DOOR HEAD/SILL & JAMB DTL'S
- A7.5 WINDOW HEAD/SILL & JAMB DTL'S
- A7.6 MISC. DETAILS
- S-1 FIRST & SECOND FLOOR FRAMING PLANS
- S-2 ROOF FRAMING PLAN & MISC. DTL'S
- E-0 LOWER LEVEL ELECTRICAL PLAN
- E-1 SECOND FLOOR ELECTRICAL



1 SITE PLAN

1" = 10'-0"

A1.0

8

FREDERICK TAYLOR, AIA
1433 OTIS STREET NE
WASHINGTON DC, 20017
(202) 635-8087

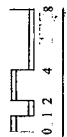
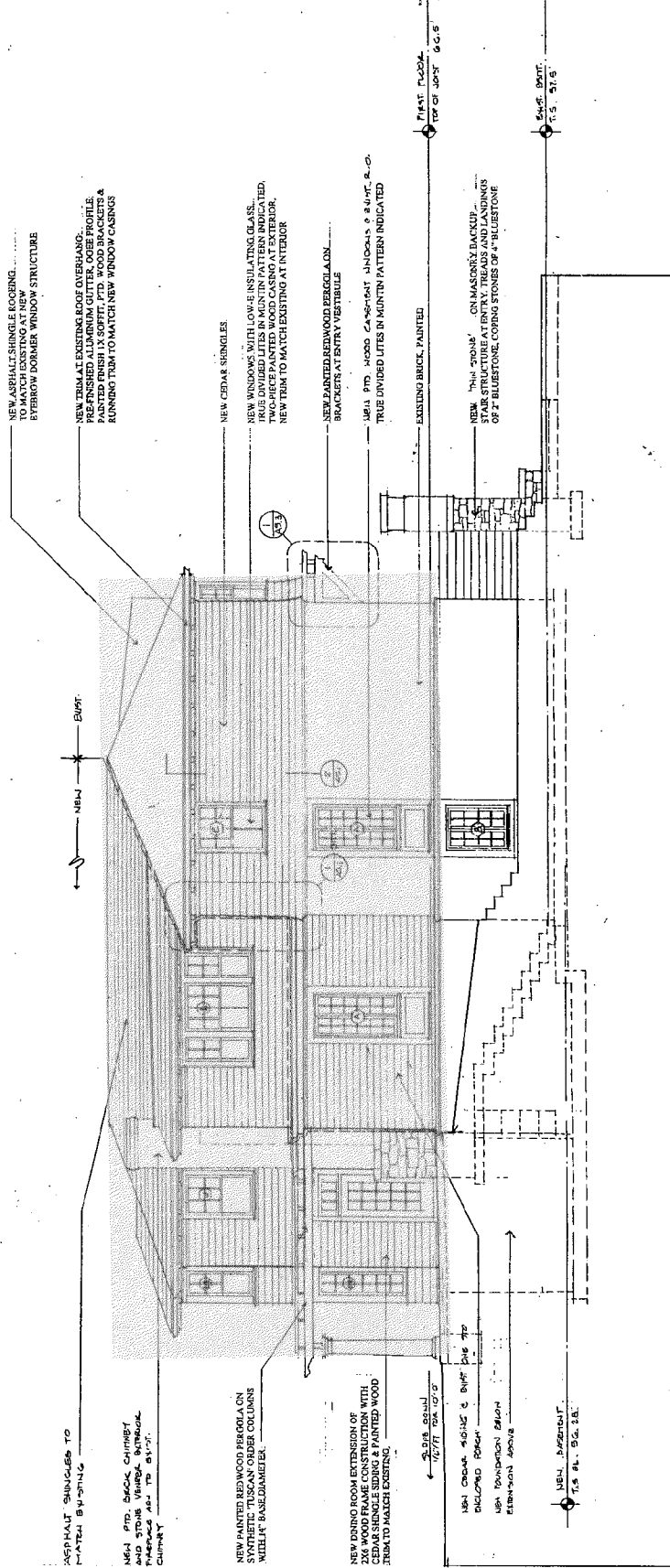
366391

SPIKELL RESIDENCE
25 OXFORD STREET
CHEVY CHASE, MARYLAND 20815

HAWP
366391

TITLE: SITE PLAN / DRAWING INDEX
DATE: NOV 12, 2004
SCALE: AS SHOWN

A1.0



WEST ELEVATION

MARCH 29, 2004

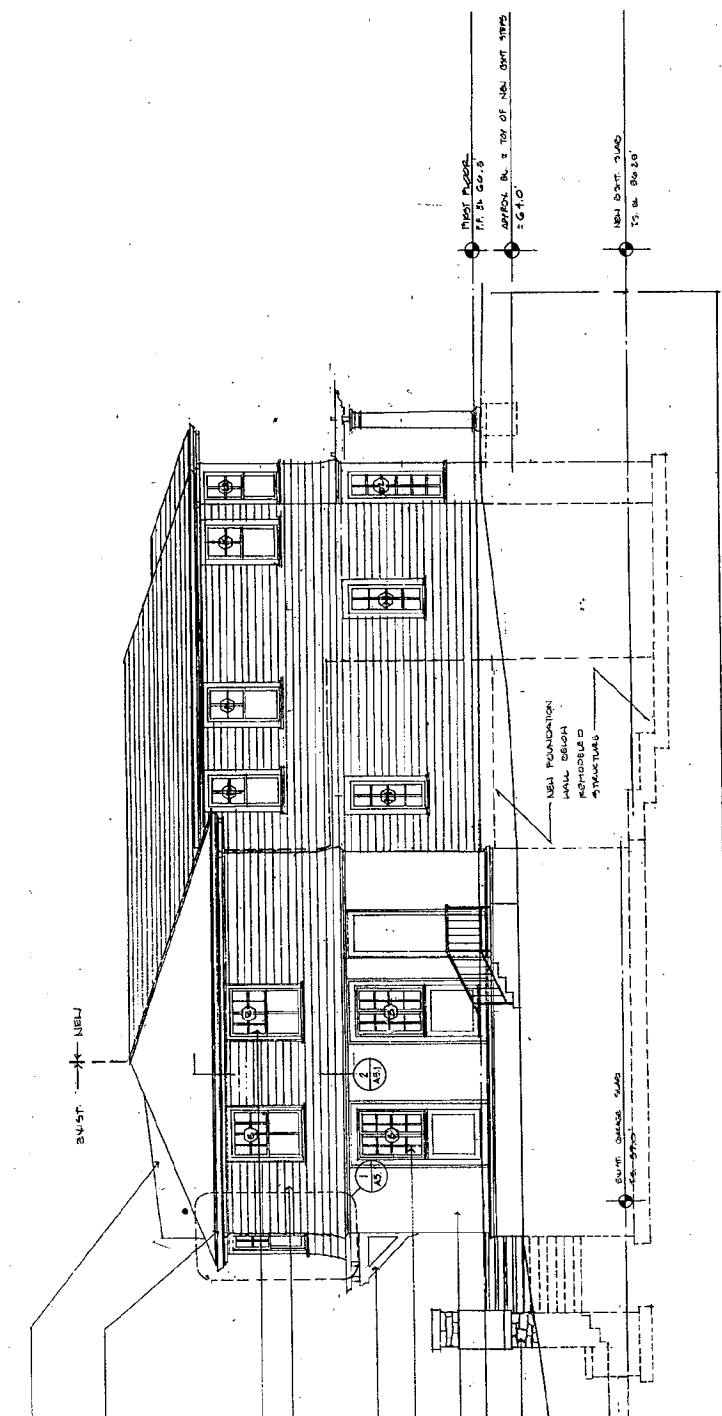
NEW SHALICE SINGLE ROOFING TO MATCH EXISTING AT NEW EYEBROW DORMER WINDOW STRUCTURE.

NEW TRIM AT EXISTING ROOF OVERHANG. PREFINISHED ALUMINUM GUTTER, COPPER PROFILE. PAINTED FINISH IN SOFT, PTD. WOOD BRACKETS & RUNNING TRIM TO MATCH EXISTING ALUMBER.

NEW WINDOWS WITH LOW-E INSULATING GLASS. TRUE DIVIDED LITES IN MOUNTAIN PATTERNS INDICATED. 3/4" WOOD BRACKETS AT CORNER. NEW TRIM TO MATCH EXISTING ALUMBER. NEW CEDAR SHINGLES.

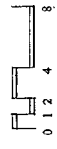
NEW PAINTED REDWOOD PERGOLA ON BRACKETS AT EXTERIOR VESTIBULE. REPLACEMENT HINGES & STAYS. TRUE DIVIDED LITES IN MOUNTAIN PATTERNS INDICATED.

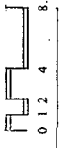
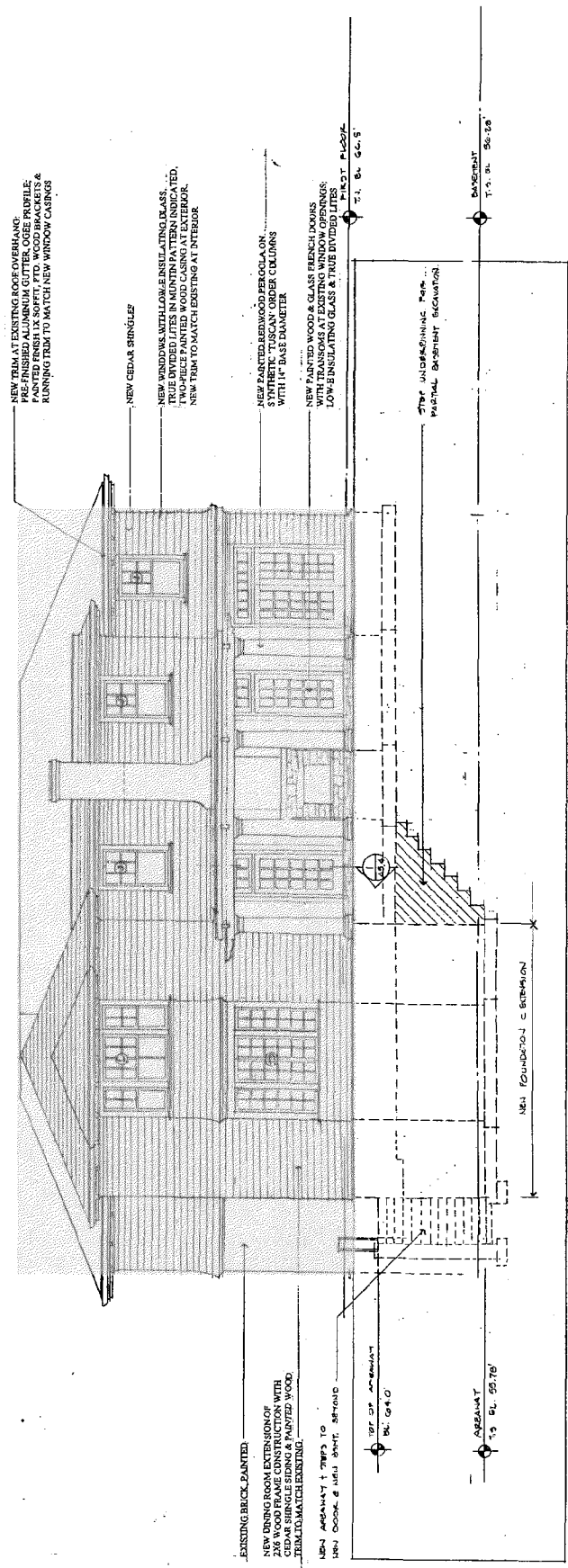
EXISTING BRICK PAINTED. NEW TRANSOMS ON MASONRY BACKUP STAIR STRUCTURE AT ENTRY. REPAIR STAIRS WITH BRICKS & BLUESTONE. DET. BLUESTONE CORNER STAIRS OF BLUESTONE.



EAST ELEVATION

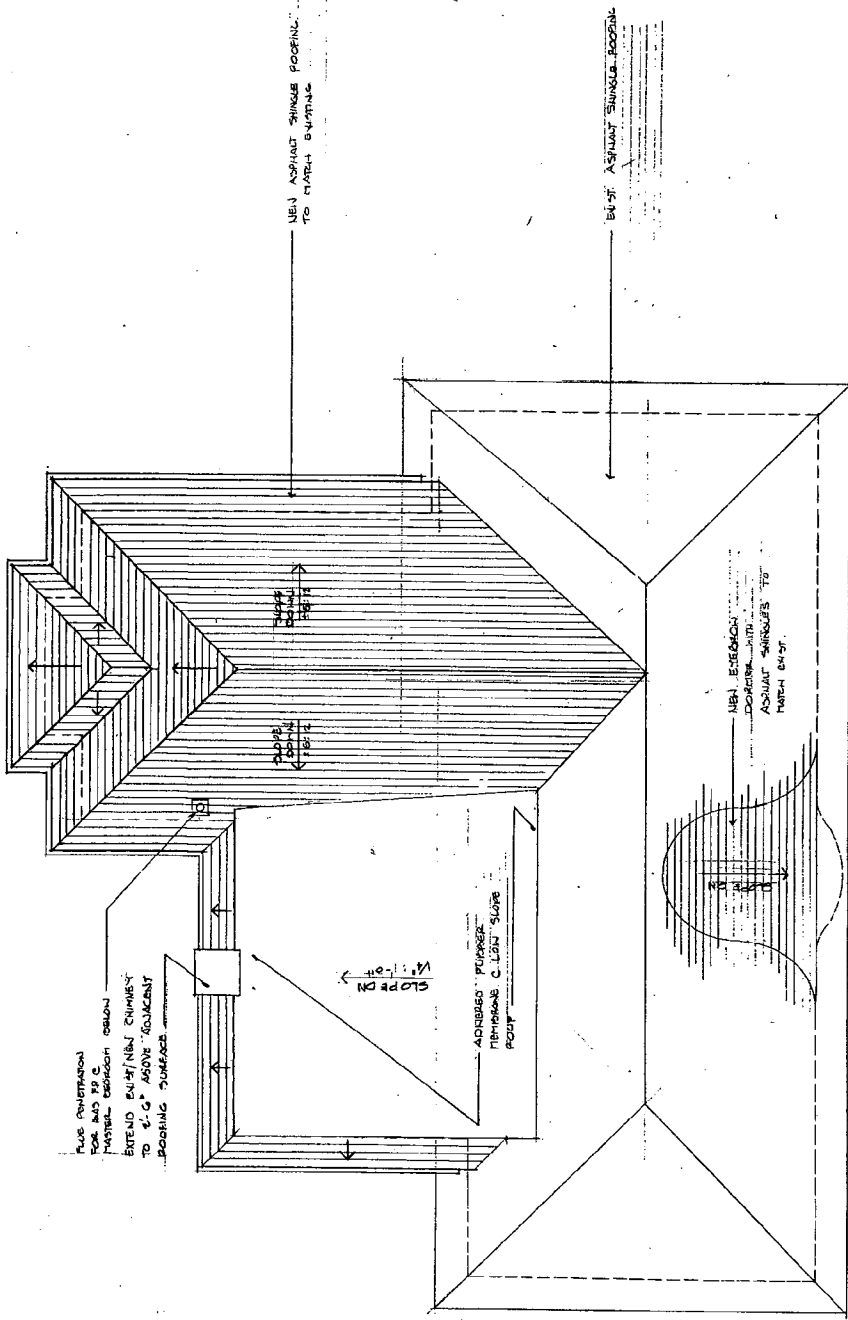
MARCH 29, 2004





NORTH ELEVATION

MARCH 29, 2004



ROOF PLAN
RUS 1/4/10



1
441 DETAIL ELEVATION @ SOUTH
1/4" = 1'-0"

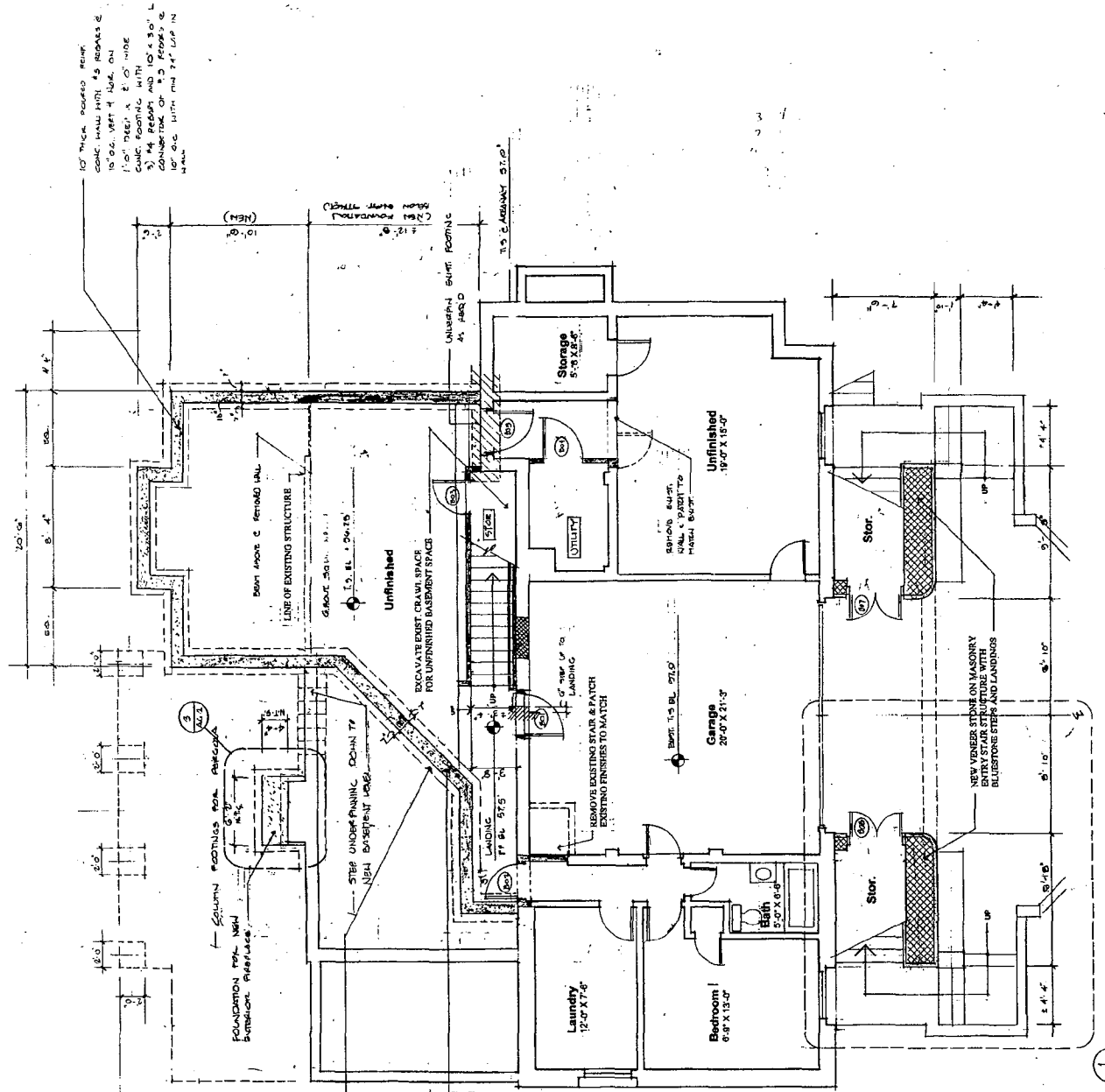
TITLE:
DETAIL ELEVATION @ SOUTH

SCALE: DATE:
AS NOTED 4.6.04

SPIKELL RESIDENCE
25 OXFORD STREET
CHEVY CHASE, MARYLAND 20815

Design 4604

FREDERICK TAYLOR, AIA
1433 OTIS STREET NE
WASHINGTON DC, 20017
(202) 635-8087



10" THICK EXPOSED REINFORCED CONCRETE WALL WITH 4# REBAR @ 18" O.C. VERT & HORIZ. ON 1'-0" DEEP x 2'-0" WIDE CONCRETE FOOTING WITH 3# REBAR AND 10" x 8" L CONCRETE ON 15" FLOORING. FINISH WITH 1/4" DIA. IN.

2.10. UNFINISHED & CONCRETE...
 2.11. UNFINISHED & CONCRETE...
 2.12. UNFINISHED & CONCRETE...
 2.13. UNFINISHED & CONCRETE...
 2.14. UNFINISHED & CONCRETE...
 2.15. UNFINISHED & CONCRETE...
 2.16. UNFINISHED & CONCRETE...
 2.17. UNFINISHED & CONCRETE...
 2.18. UNFINISHED & CONCRETE...
 2.19. UNFINISHED & CONCRETE...
 2.20. UNFINISHED & CONCRETE...

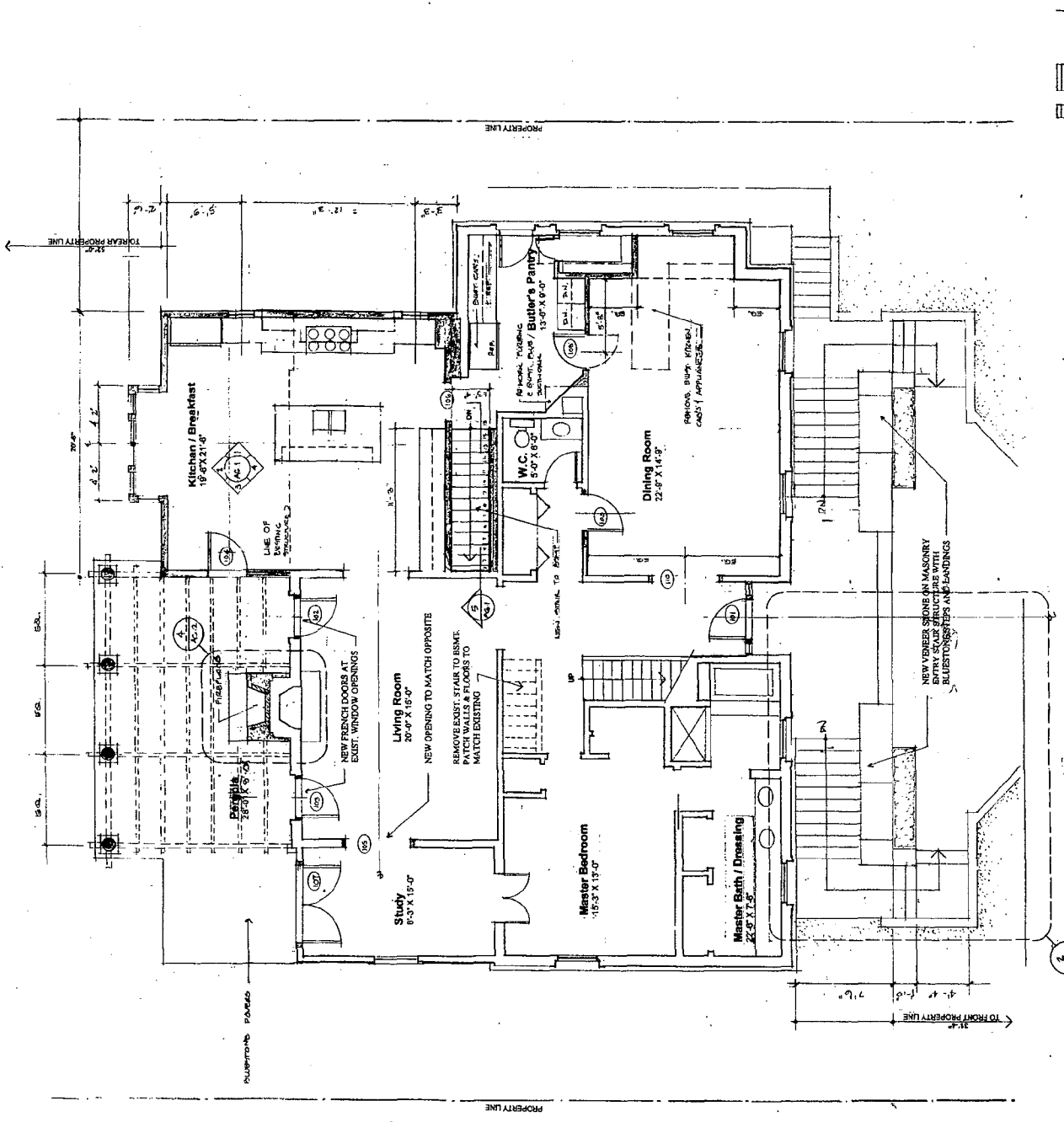


LOWER LEVEL PLAN
 1/4" = 1'-0"

FREDERICK TAYLOR, AIA
 1433 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

TITLE: FIRST FLOOR PLAN
 DATE: 4.6.04
 SCALE: AS NOTED



1 FIRST FLOOR PLAN
 1/4" = 1'-0"

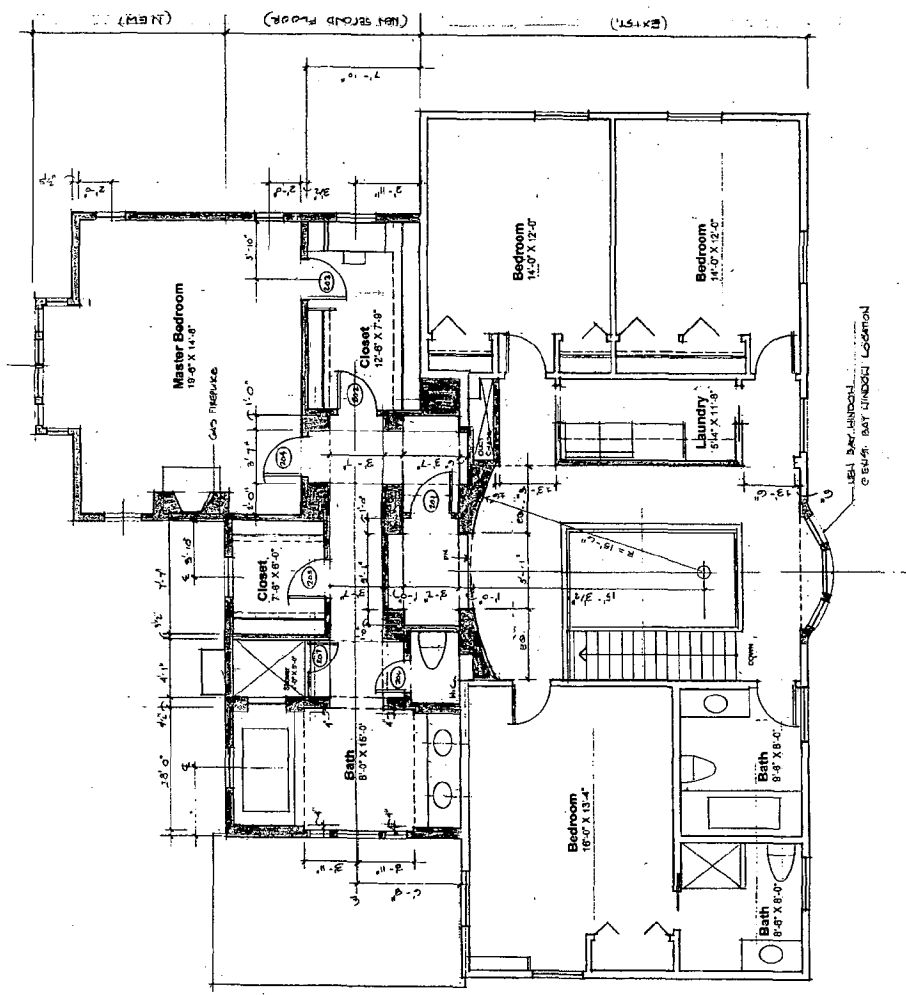
0 1 2 3 4 5 6 7 8

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 1433 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

TITLE: SECOND FLOOR PLAN
 DATE: 11/25/2005
 SCALE: 1/4" = 1'-0"

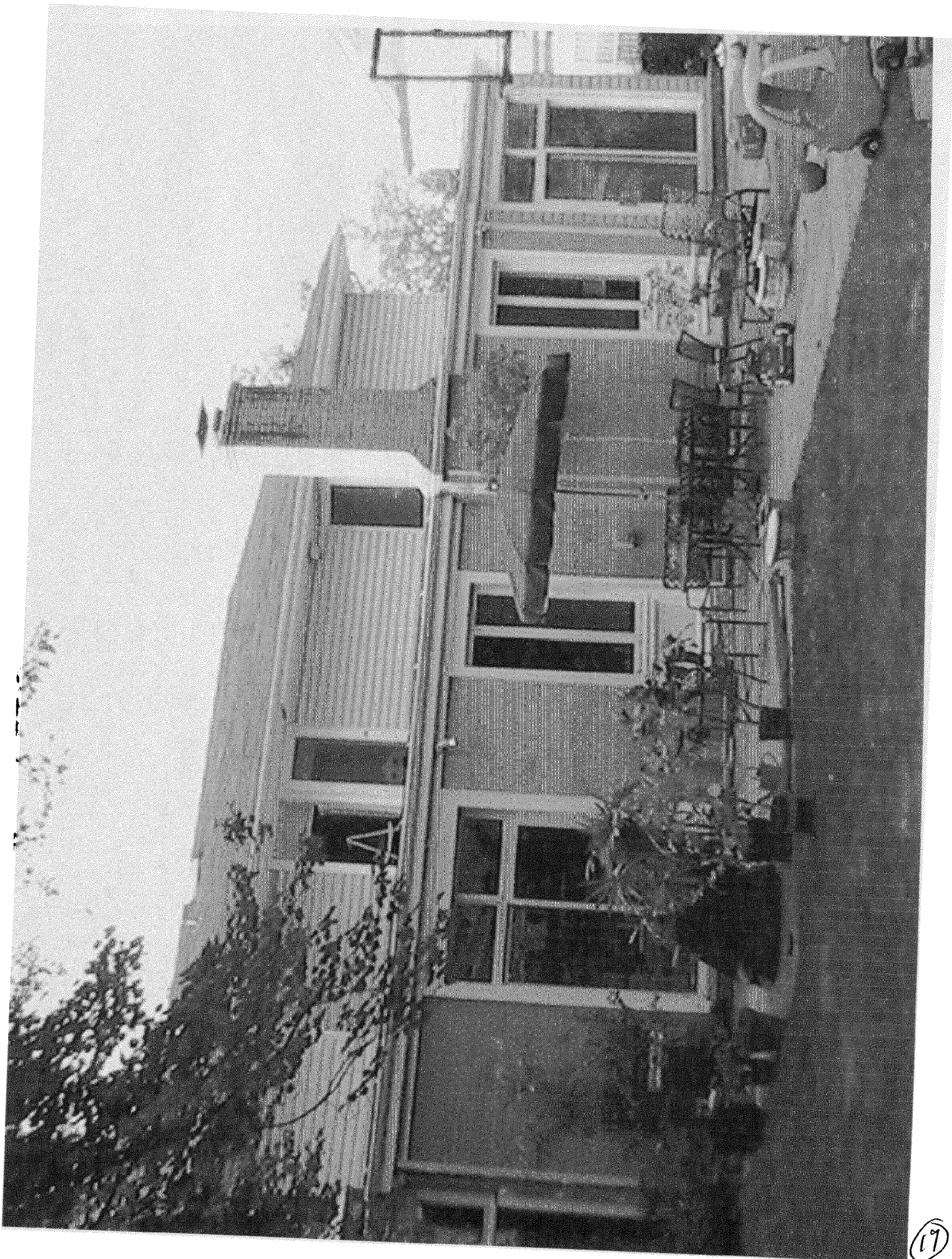
A2.2



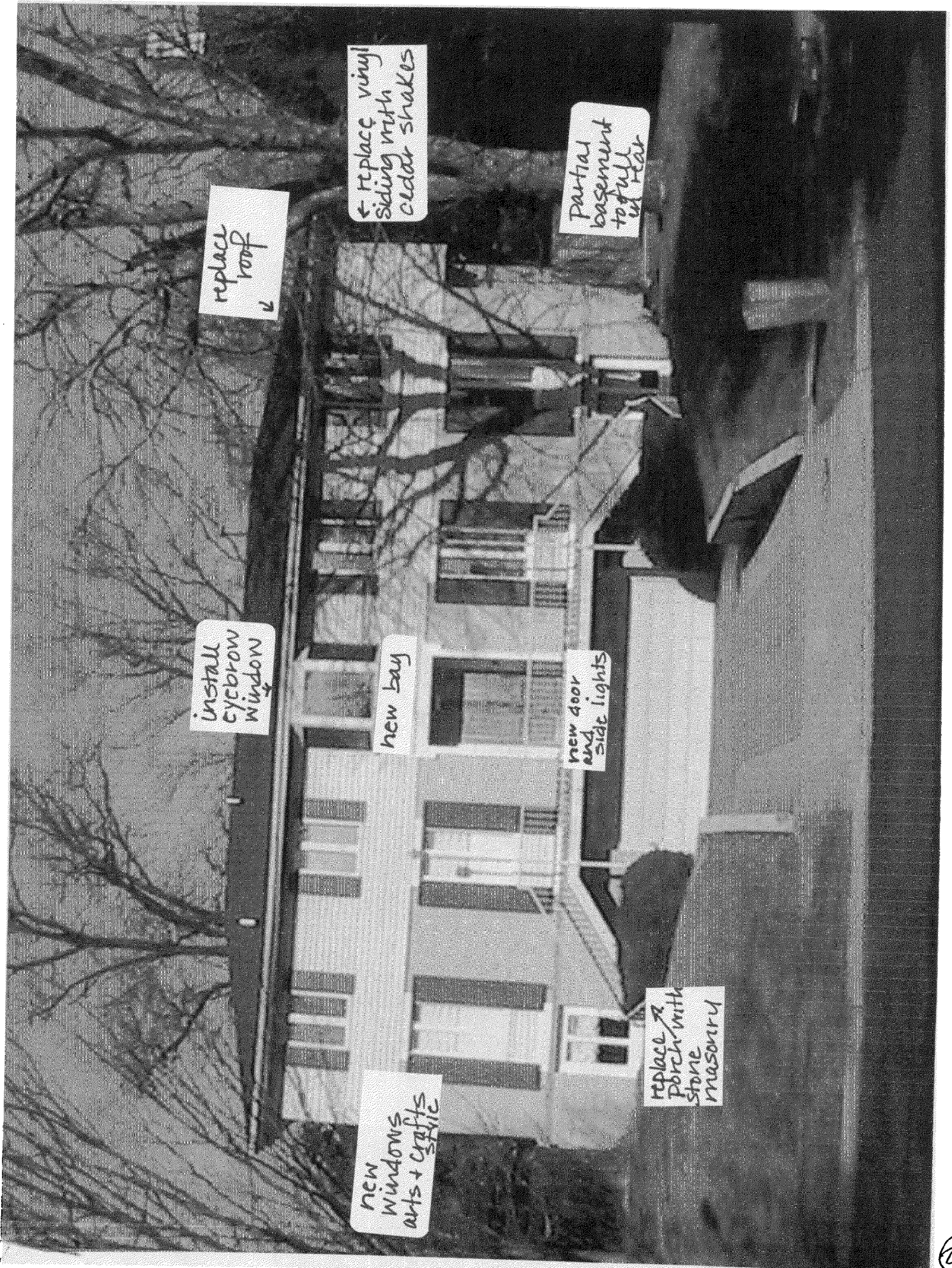
SECOND FLOOR PLAN
 1/4" = 1'-0"











replace roof

← replace vinyl siding with cedar shakes

Partial basement to full w/ 1st floor

install eyebrow window

new bay

new door and side lights

replace porch with stone masonry

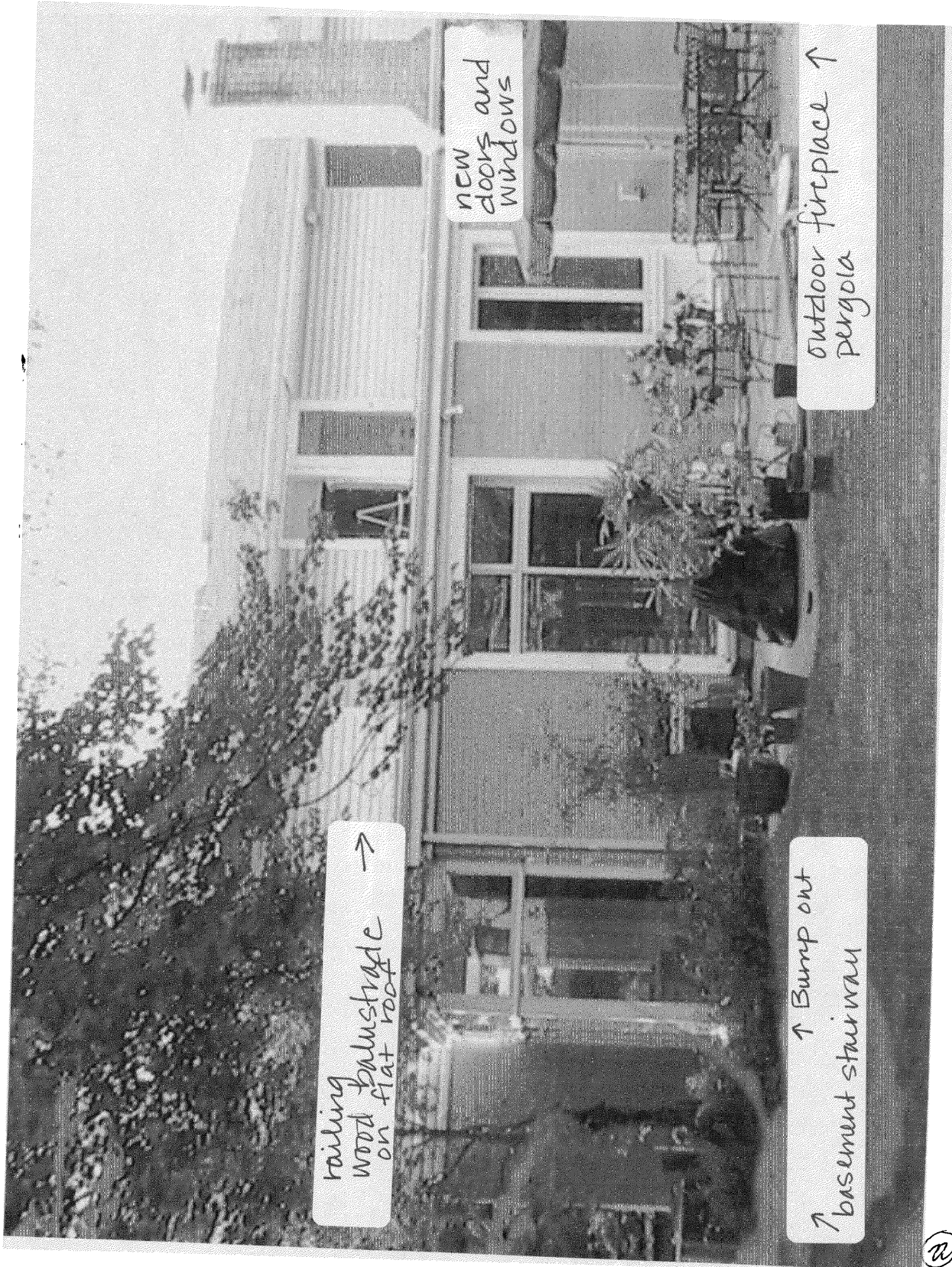
new windows arts + crafts style

railing balustrade
wood on flat roof →

NEW
WOOD
DOORS
AND
WINDOWS

↑ Bump out
basement stairway

Outdoor fireplace ↑
Pergola






THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: September 2, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Michele Naru, Senior Planner 
Historic Preservation Section

SUBJECT: Historic Area Work Permit – Additions and Alterations to a non-contributing resource at 25 Oxford Street, **Chevy Chase Village Historic District**

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED with condition**. The condition of approval is:

The applicants will work with the Chevy Chase Village arborist to develop a tree protection plan for the existing trees on the site. This plan must be implemented prior to this program's commencement.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Armond Spikell

Address: 25 Oxford Street, Chevy Chase Village Historic District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Lisa Spikell

Daytime Phone No.: (301) 986-5722

Tax Account No.: 7-9-456068

Name of Property Owner: Mr. & Mrs. Armond Spikell Daytime Phone No.: 301.986.5722

Address: 25 Oxford St Cherry Chase MD 20815
Street Number City State Zip Code

Contractor: TBD Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 25 Street: Oxford

Town/City: Cherry Chase Nearest Cross Street: Brookville Road

Lot: 35 Block: 57 Subdivision: Section 2 Cherry Chase

Liber: 21344 Folio: 632 Parcel: PLAT BOOK 71 PLAT 6807

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 150,000.

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Lisa Spikell
Signature of owner or authorized agent

July 17, 2004
Date

Approved: X w/CONDITION For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: Julia O'Malley Date: 8/18/04

Application/Permit No.: 352618 Date Filed: _____ Date Issued: _____



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Two story brick and frame structure with
partial basement and steel frame wood slat front porch.
First floor built in 1965.
Second story constructed of frame and vinyl
siding added in 1985.
Sited on a 75 x 140 rectangular lot.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The house is a non-contributing structure in CC Village.
Exterior renovation: replace steel frame and wood slat
porch with concrete and masonry extending 3 feet.
replace vinyl siding with cedar shakes, replace
windows and additions of eyebrow window on roof.
Two hundred square foot addition on rear and full basement.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

25

FREDERICK TAYLOR, AIA
 1433 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

TITLE: SCALE: DATE:

A1.0

PROJECT LOCATION

25 OXFORD STREET
 CHEVY CHASE, MD 20815
 SECTION 2
 LOT 35 SQUARE 37

ZONING

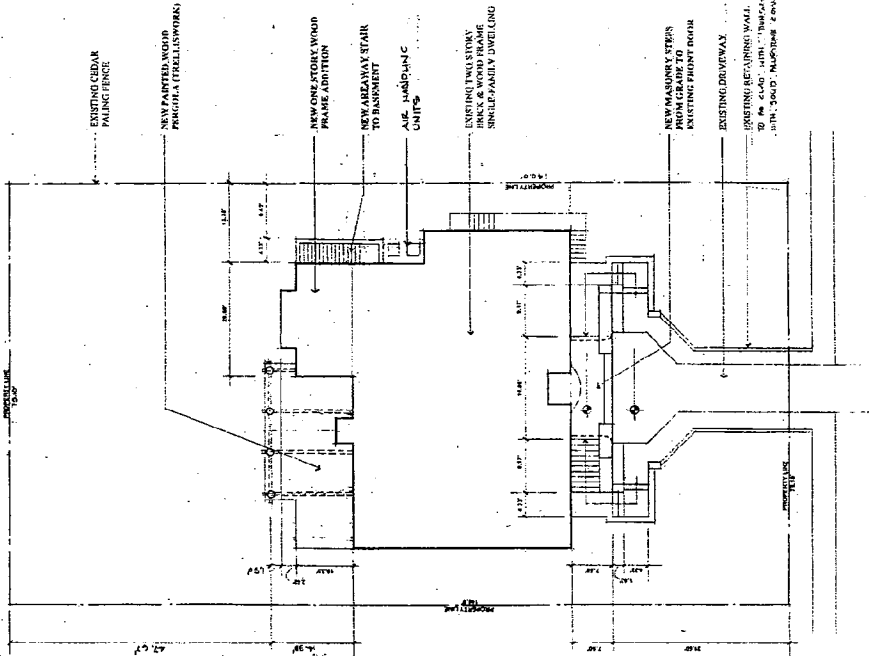
R-40

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A ONE-STORY ADDITION TO AND EXTERIOR REMODELING OF AN EXISTING DETACHED SINGLE-FAMILY DWELLING OF WOOD FRAME AND MASONRY CONSTRUCTION. THE EXTERIOR REMODELING WILL INCLUDE NEW WOOD WINDOWS THROUGHOUT, NEW WOOD TRIM AND CEDAR SHINGLE SIDING AT THE EXISTING NEW AREA WALKWAY STAIR TO THE BASEMENT, NEW AREA WALKWAY STAIR TO THE BASEMENT, NEW PAINTING OF THE EXISTING BRICK VENERE, THE ADDITION WILL ENLARGE THE EXISTING DINING ROOM BY APPROXIMATELY 230-SF TO THE REAR, AND AN EXISTING CRAWL SPACE WILL BE EXCAVATED TO CREATE NEW UNCONDITIONED BASEMENT STORAGE BELOW THE EXISTING AND NEW STRUCTURE.

DRAWING INDEX

- A1.0 SITE PLAN / DRAWING INDEX
- A2.0 LOWER LEVEL PLAN
- A2.1 FIRST FLOOR PLAN
- A2.2 ROOF PLAN
- A3.1 SOUTH ELEVATION
- A3.2 EAST ELEVATION
- A3.3 NORTH ELEVATION
- A3.4 WEST ELEVATION
- A4.1 DETAIL ELEVATION @ SOUTH WALL SECTION @ ENTRANCE
- A4.2 WALL SECTION @ FRONT STEPS
- A4.3 PLAN DETAILS @ FRONT STEPS
- A4.4 WALL SECTIONS
- A4.5 SECTIONS @ AREA WAYS
- A5.1 EXTERIOR DETAILS @ CORNICE
- A5.2 EXTERIOR DETAILS @ BALUSTRADE
- A5.3 EXTERIOR DETAILS @ PERGOLA
- A5.4 EXTERIOR DETAILS @ PERGOLA
- A6.1 INTERIOR ELEV'S. @ DINING ROOM
- A6.2 FIREPLACE DETAILS @ PERGOLA
- A7.1 DOOR SCHEDULE / TRIM TYPES
- A7.2 DOOR TYPES / DORMER DTL'S
- A7.3 WINDOW TYPES
- A7.4 DOOR HEADSILL & JAMB DTL'S
- A7.5 WINDOW HEADSILL & JAMB DTL'S
- A7.6 MISC. DETAILS
- S-1 FRAMING PLANS
- E-0 LOWER LEVEL ELECTRICAL PLAN
- E-1 FIRST FLOOR ELECTRICAL



A1.0 SITE PLAN
 1" = 10'-0"

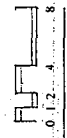
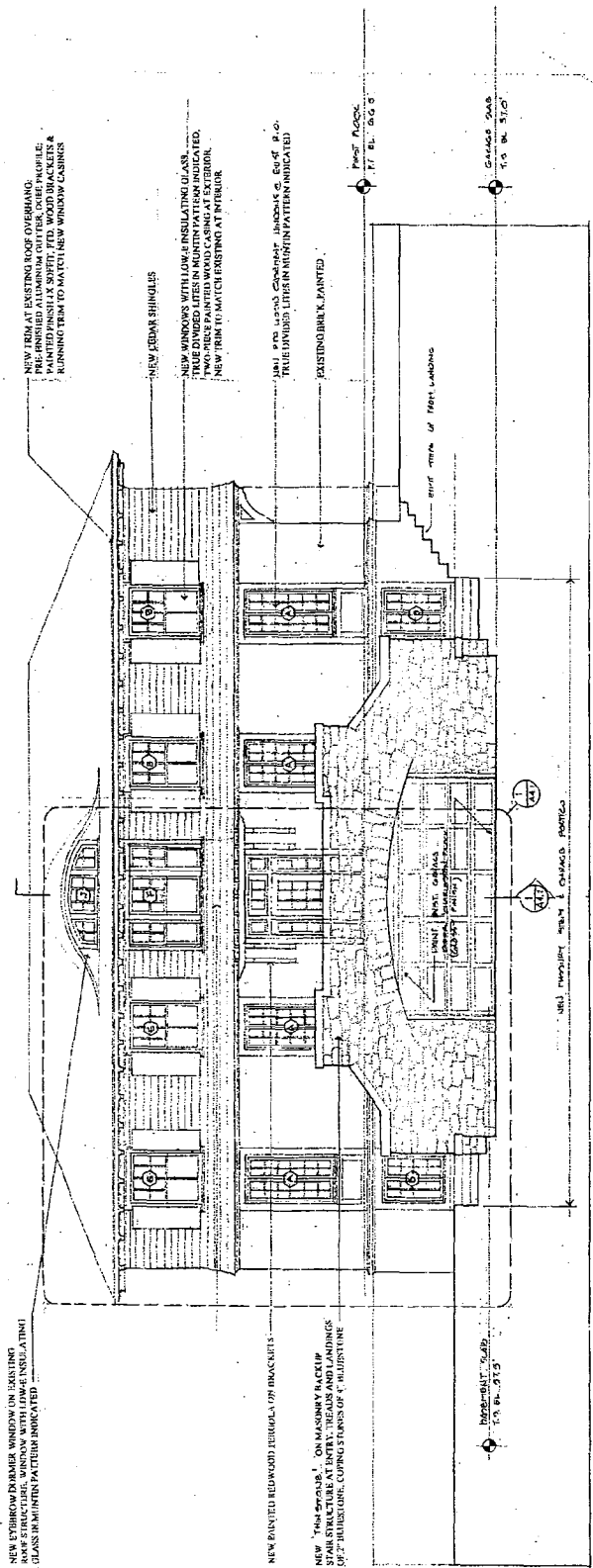
FREDERICK TAYLOR, AIA
 1433 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

Design 4604

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

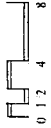
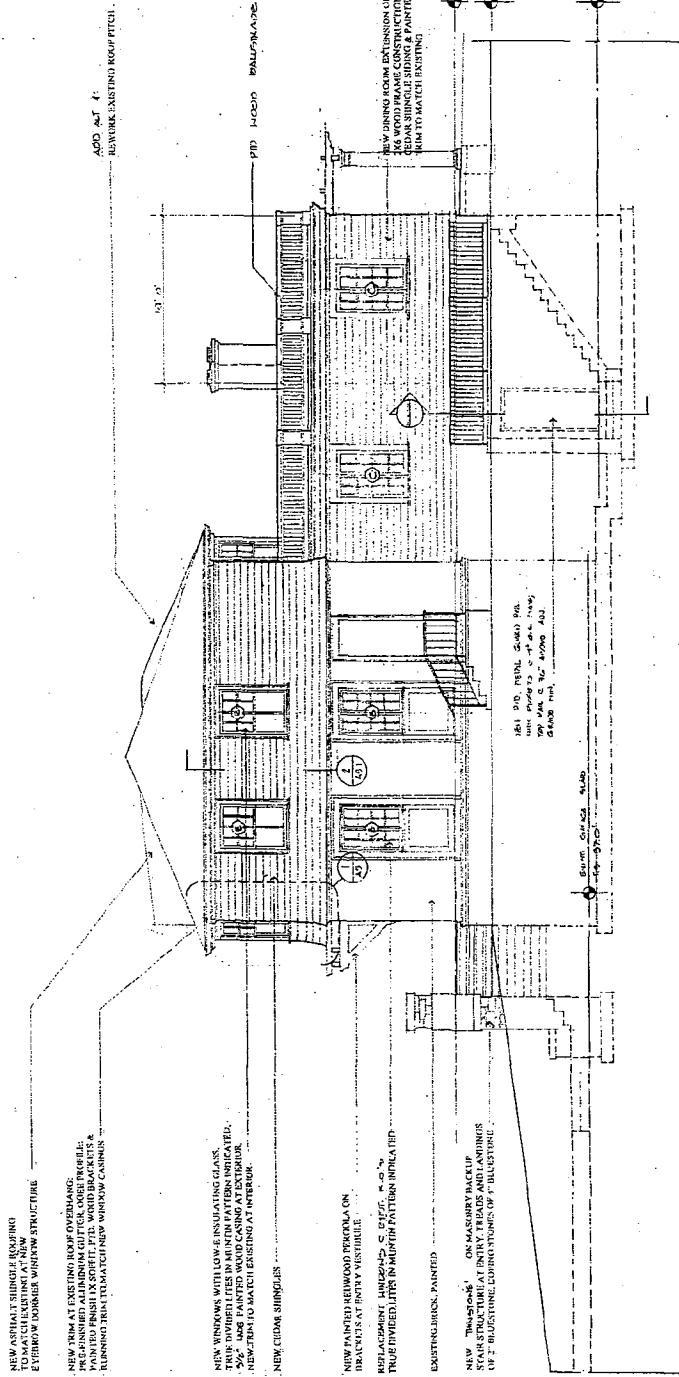
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 DATE: 4.8.04

A3.1



SOUTH ELEVATION

MARCH 29, 2004



EAST ELEVATION

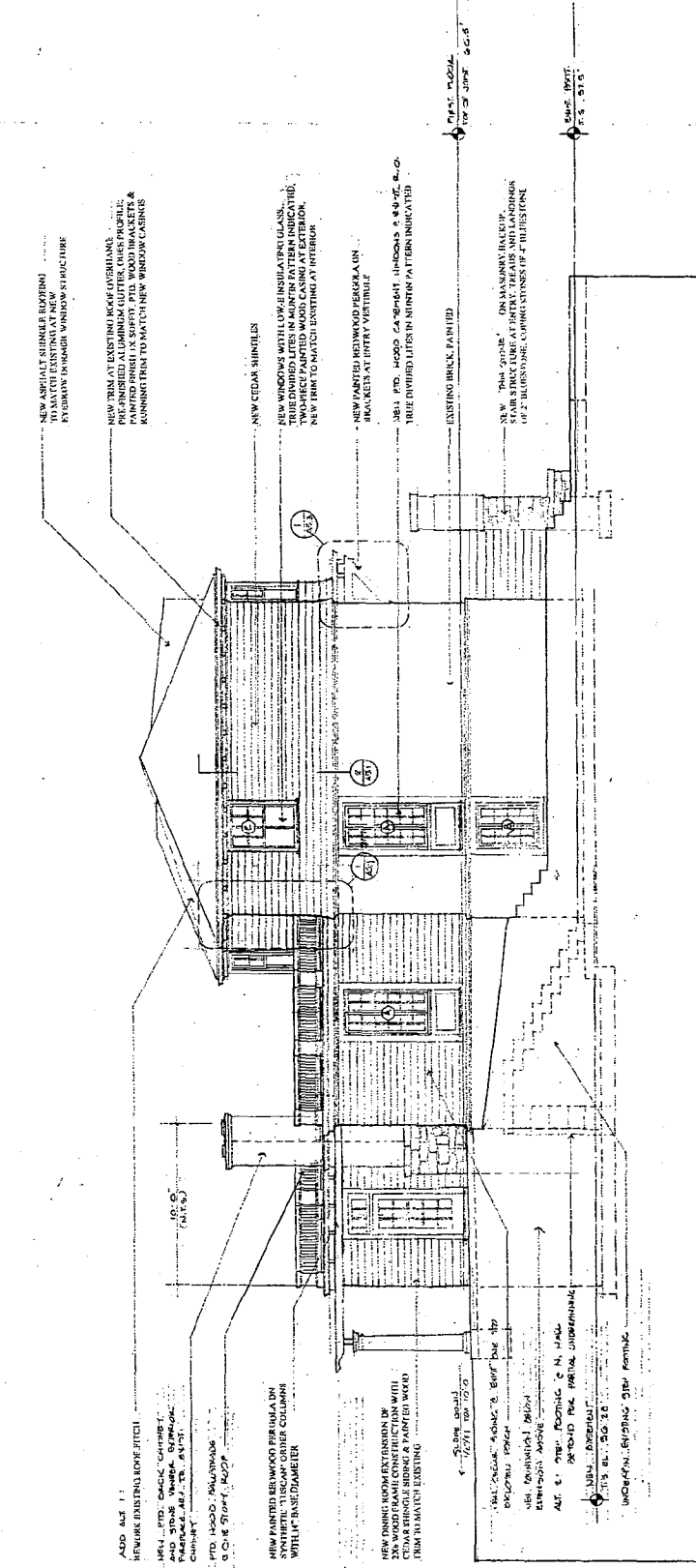
MARCH 29, 2004

FREDRICK TAYLOR, AIA
 1433 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

TITLE: WEST ELEVATION
 SCALE: 1/4" = 1'-0"
 DATE: 4/2/04

A3.4



WEST ELEVATION

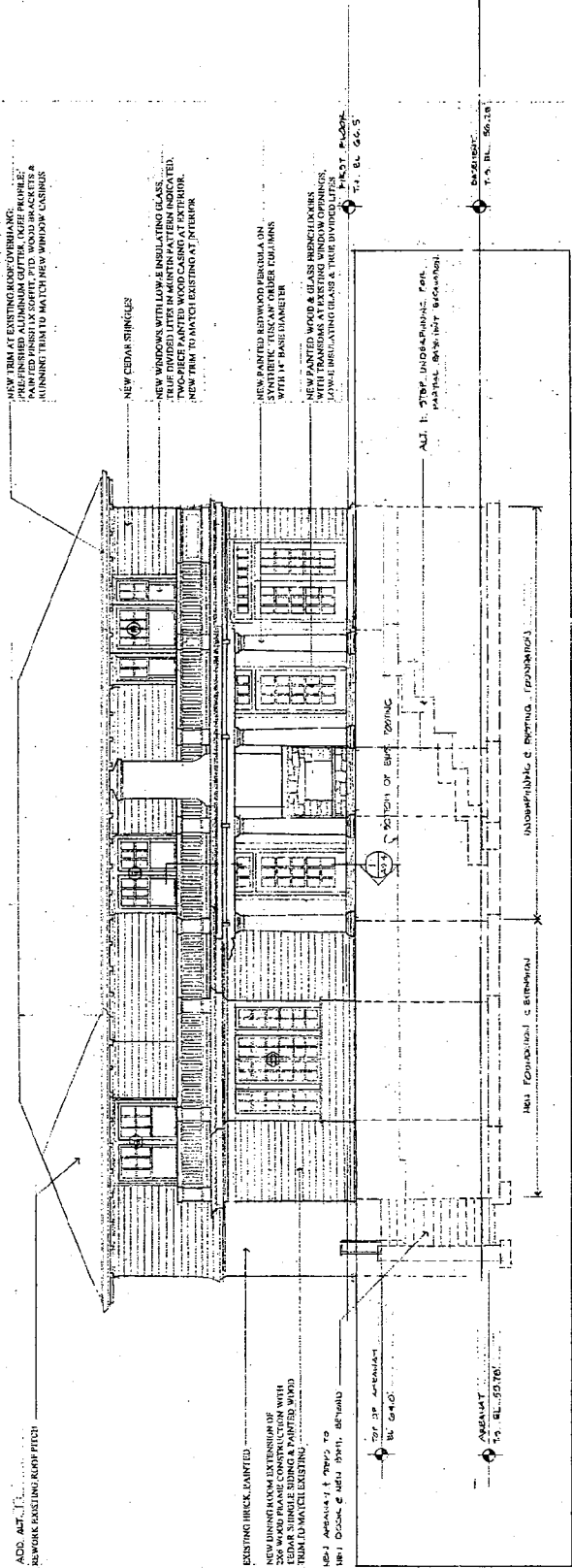
MARCH 29, 2004

A3.3

TITLE: NORTH ELEVATION
SCALE: AS SHOWN
DATE: 4.6.04

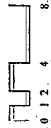
SPIKELL RESIDENCE
25 OXFORD STREET
CHEVY CHASE, MARYLAND 20815

FREDERICK TAYLOR, AIA
1433 OTIS STREET NE
WASHINGTON DC, 20017
(202) 635-8087



NORTH ELEVATION

MARCH 29, 2004



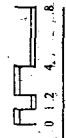
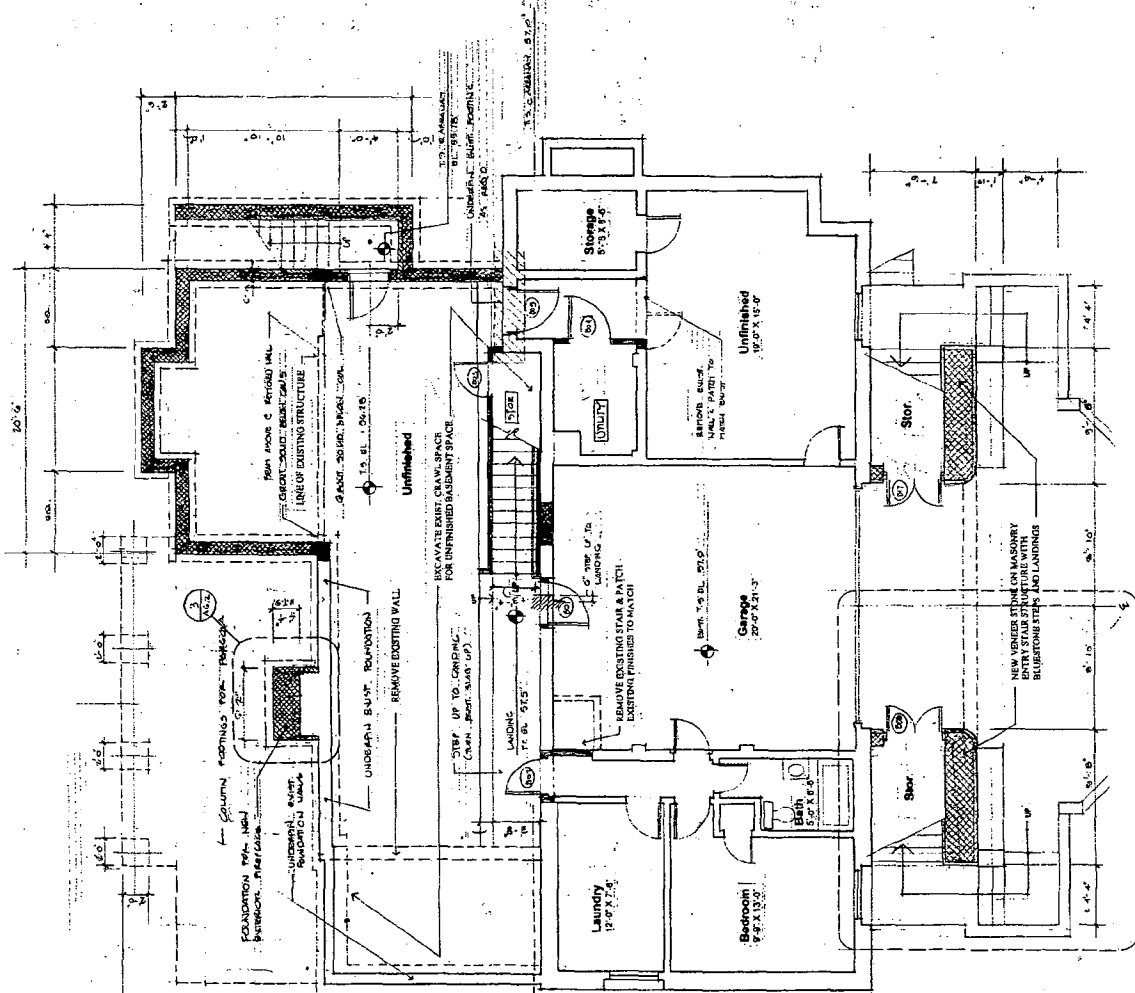
(20)

FREDERICK TAYLOR, AIA
 1431 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

TITLE: Lower Level Plan, A111
 SCALE: DATE:

A2.C



1
 1/4" = 1'-0"
 LOWER LEVEL PLAN

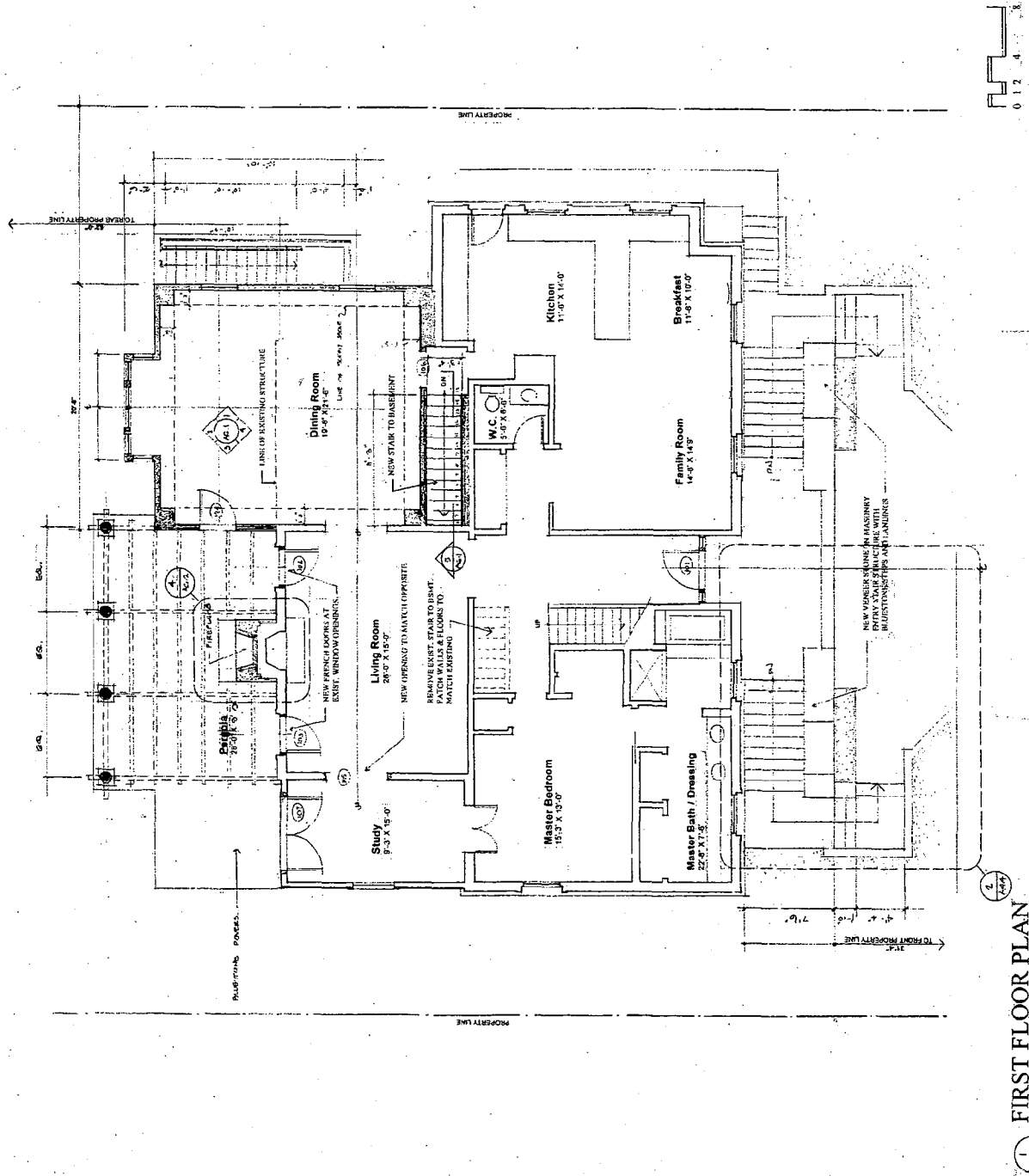
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 1433 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

TITLE: FIRST FLOOR PLAN
 SCALE: AS SHOWN
 DATE: 4-9-04

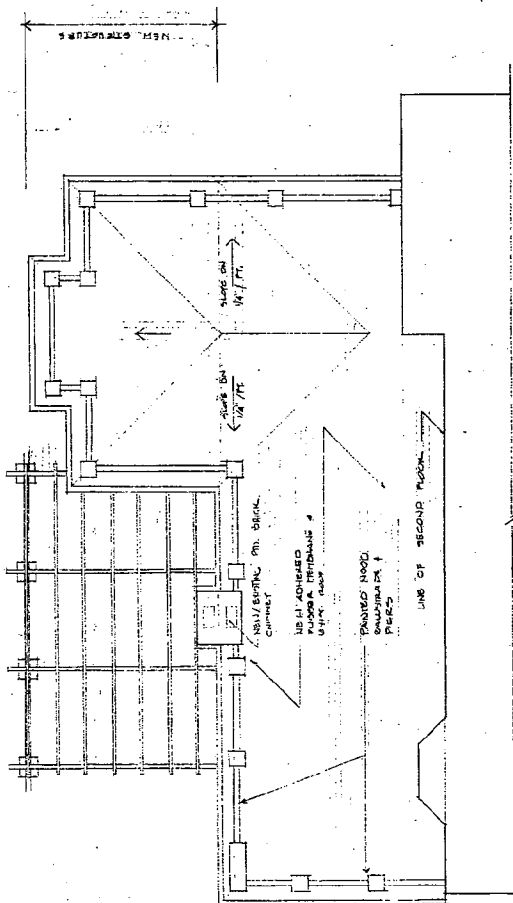
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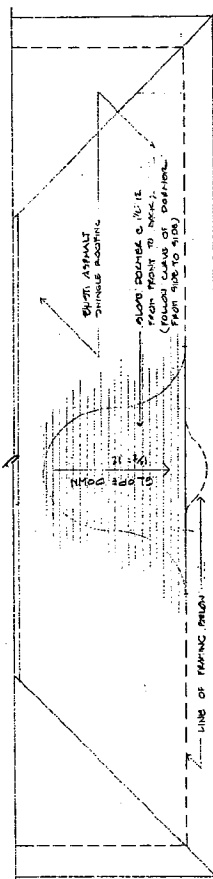
0 1/2" = 1'-0"

FIRST FLOOR PLAN
 1/4" = 1'-0"

(32)



1
 A2.2
 ROOF PLAN @ REAR
 1/4" = 1'-0"



2
 A2.2
 ROOF PLAN @ FRONT
 1/4" = 1'-0"



1
A-1
DETAIL ELEVATION @ SOUTH
3/4" = 1'-0"

A4.1

TITLE:
DETAIL ELEVATION @ SOUTH

SCALE: AS NOTED
DATE: 4.6.04

SPIKELL RESIDENCE
25 OXFORD STREET
CHEVY CHASE, MARYLAND 20815

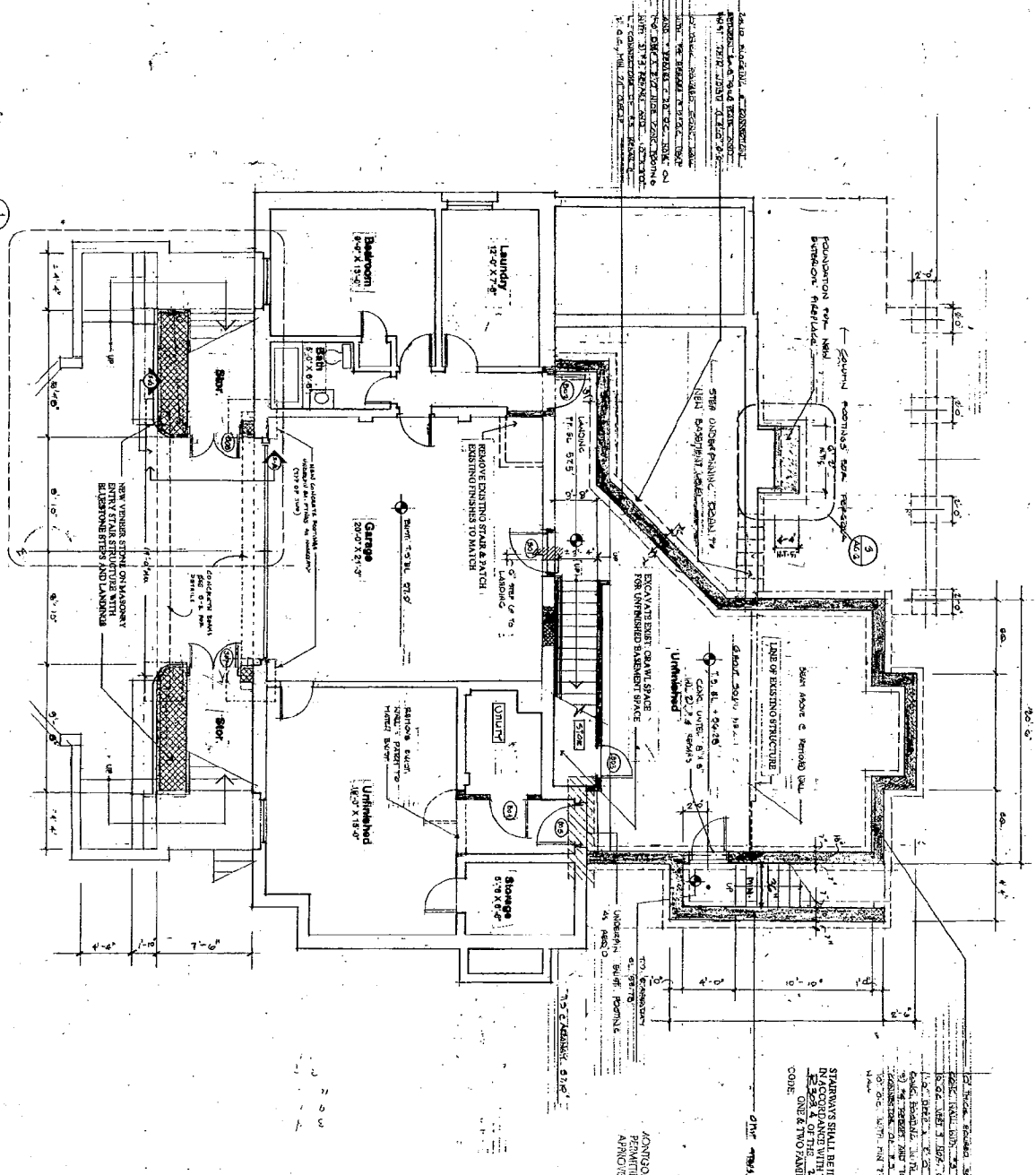
DESIGN 4.6.04

FREDERICK TAYLOR, AIA
1433 OTIS STREET NE
WASHINGTON DC, 20017
(202) 635-8087

34

1/4" = 1'-0"

LOWER LEVEL PLAN



STAIRS SHALL BE LUMBERED
 WITH THE SECTION
 ONE & TWO FAMILY DWELLING
 CODE

STAIRWAYS SHALL BE LUMBERED
 WITH THE SECTION
 ONE & TWO FAMILY DWELLING
 CODE

CONCRETE SHALL BE LUMBERED
 WITH THE SECTION
 ONE & TWO FAMILY DWELLING
 CODE

APPROVED
 ARCHITECT
 JAMES P. KELLY

A2.1

TITLE:
 LOWER LEVEL PLAN

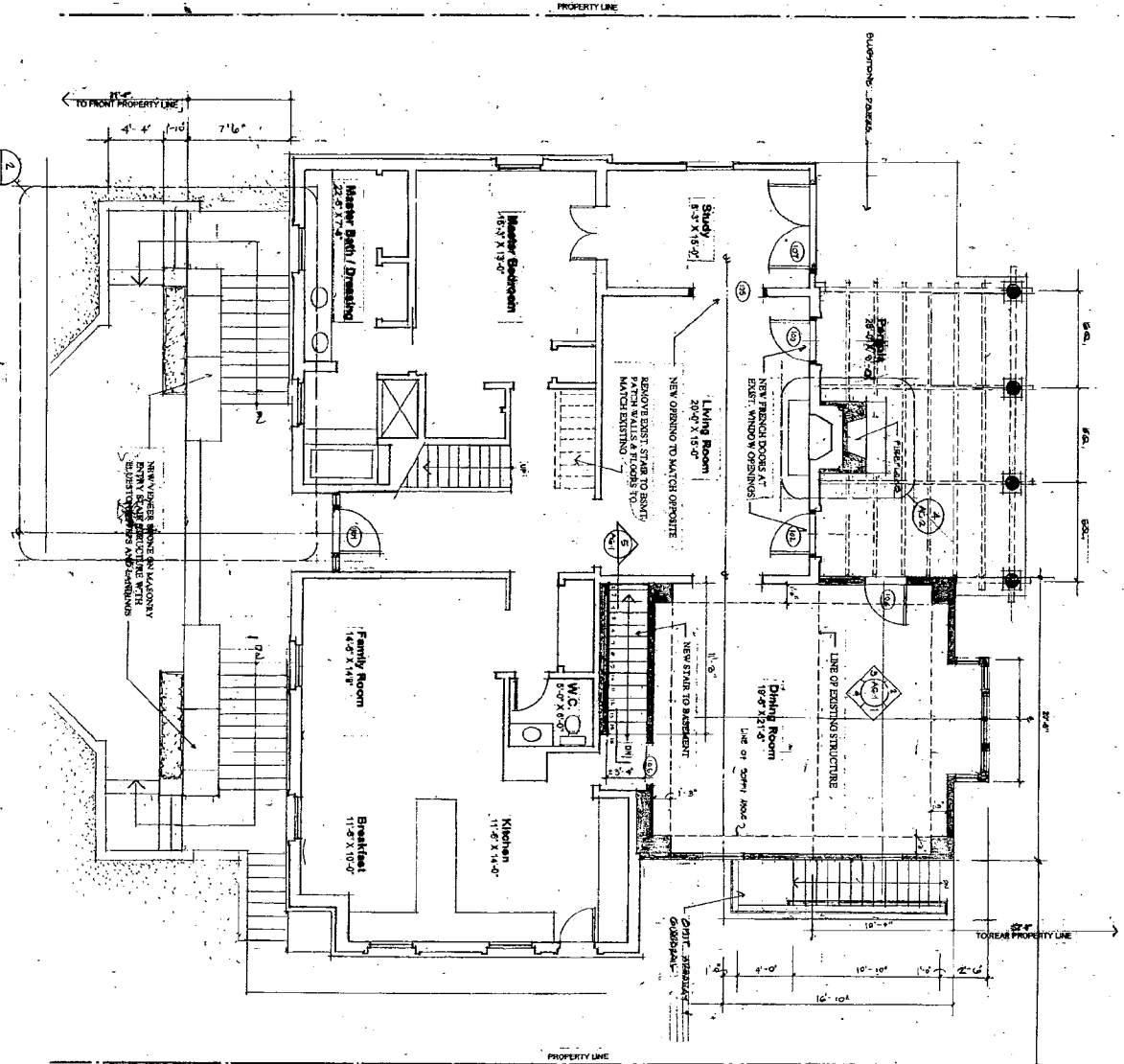
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 AS NOTED

DATE:
 4-6-2004

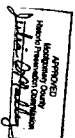
SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

FREDERICK TAYLOR, AIA
 1433 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

1
 1/4" = 1'-0"
FIRST FLOOR PLAN



CONFORMANCE NOTES:
 PERMITTING SCHEDULED
 APPROVED AS NOTED



A2.1

TITLE:
FIRST FLOOR PLAN

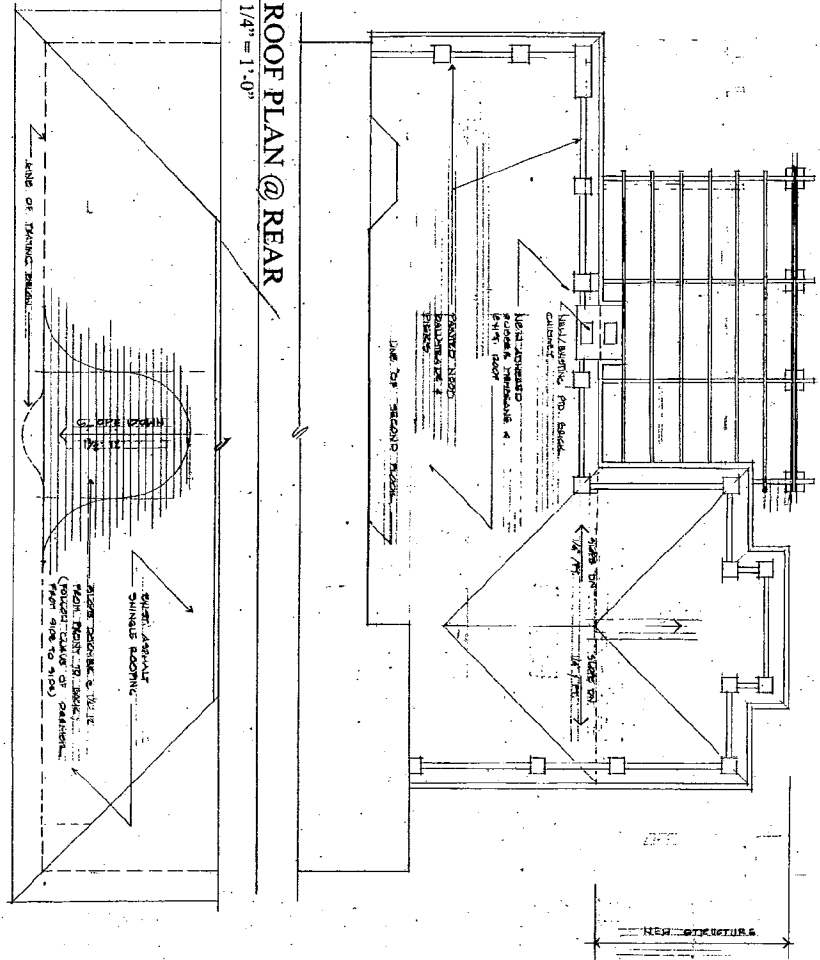
SCALE: _____ DATE: _____

AS NOTED 4-6-04

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

Design 4-6-04

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 1433 OTIS STREET NE
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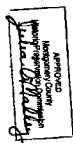
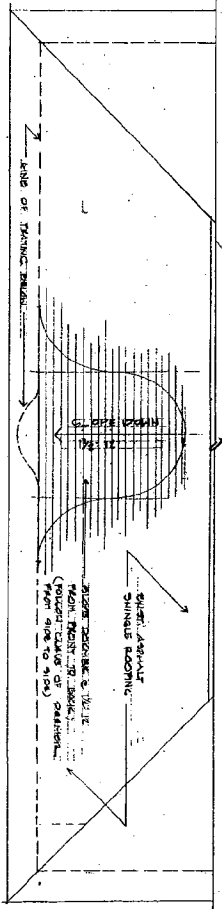


1
A22

ROOF PLAN @ REAR
1/4" = 1'-0"

2
A23

ROOF PLAN @ FRONT
1/4" = 1'-0"



A2.2

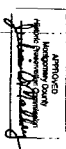
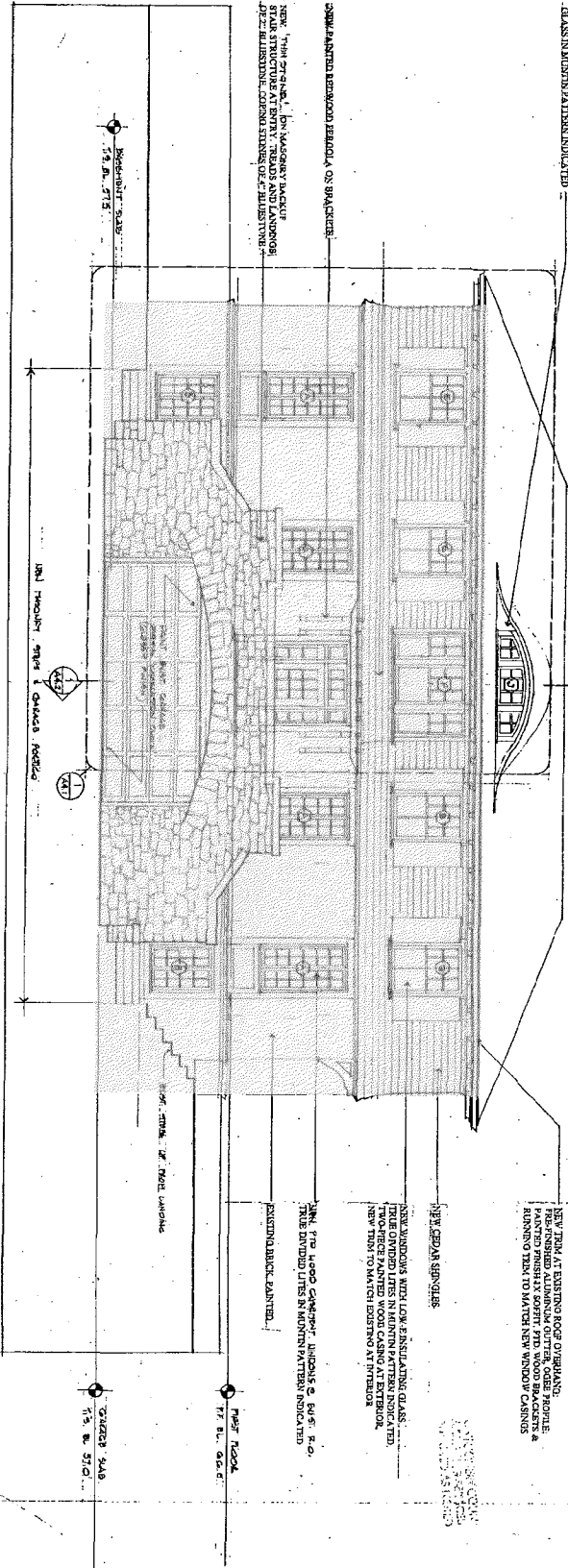
TITLE:
SCALE: DATE:

SPIKELL RESIDENCE
25 OXFORD STREET
CHEVY CHASE, MARYLAND 20815

FREDERICK TAYLOR, AIA
1433 OTIS STREET NE
WASHINGTON DC, 20017
(202) 635-8087

MARCH 29, 2004

SOUTH ELEVATION



TITLE:
SOUTH ELEVATION

SCALE: DATE:
As NOTED 4.6.04

SPIKELL RESIDENCE
25 OXFORD STREET
CHEVY CHASE, MARYLAND 20815

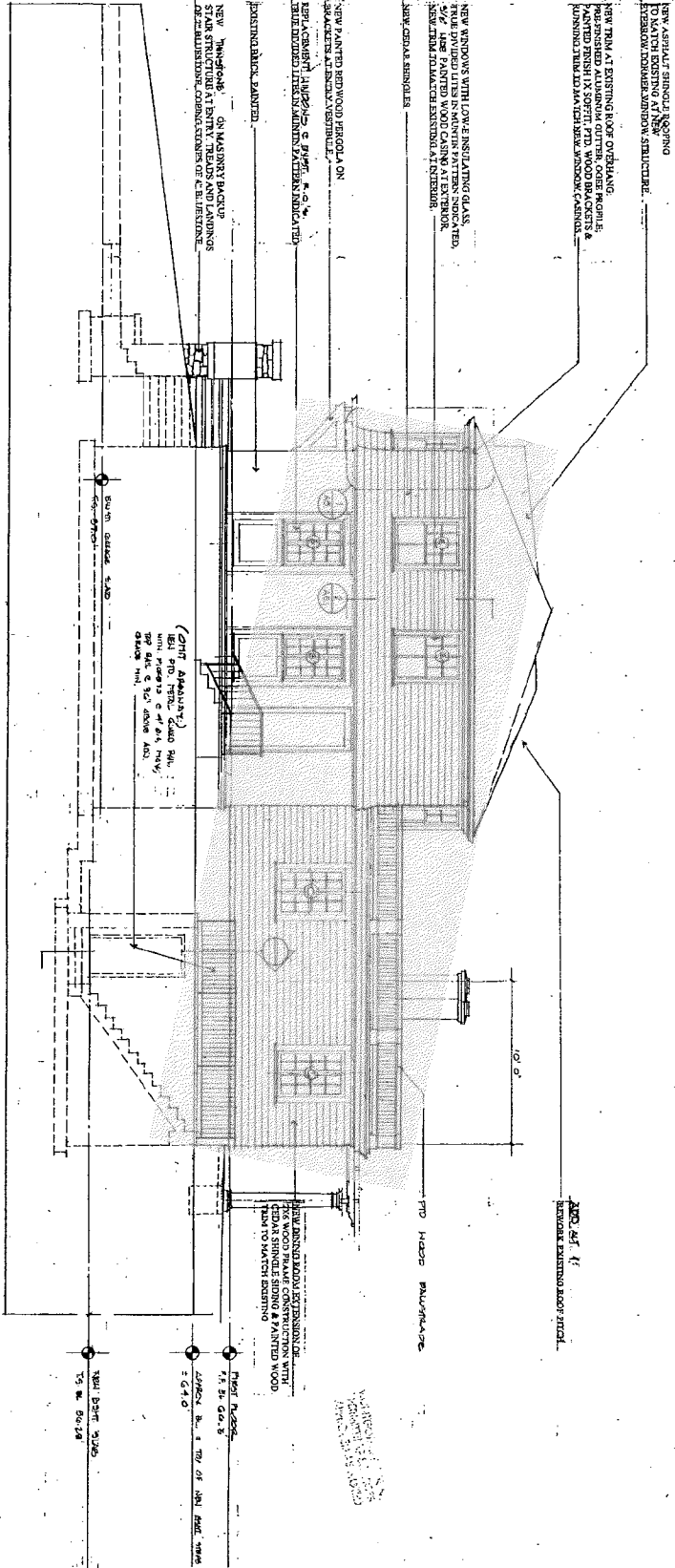
Design 46-04

FREDERICK TAYLOR, AIA
1433 OTIS STREET NE
WASHINGTON DC, 20017
(202) 635-8087

A3.1

MARCH 29, 2004

EAST ELEVATION



NEW ASPHALT SHINGLES, SCOPING TO MATCH EXISTING AT NEW EXTENSION, EXISTING SHINGLES STRUCTURE.

NEW TRIM AT EXISTING ROOF OVERHANG. NEW TRIM AT EXISTING PORCH. PAINTED BRUSH SILK SPOTT. OLD WOOD BRACKETS & RUNNING TRIM TO MATCH NEW WINDOW CASINGS.

NEW WINDOWS WITH LOW-E INSULATING GLASS. NEW PINE PAVED LITS IN WALKWAY PATTERNS. INDICATED NEW TRIM PAINTED WOOD BRACKETS & RUNNING TRIM TO MATCH NEW WINDOW CASINGS.

NEW GROUND SHINGLES

NEW PAINTED BEYOND PERIOD A ON BRACKETS AT ENTRY STRUCTURE.

REPLACE EXISTING 1 1/2" x 8" x 16" BRICK CORNER IN PLACE OF 2" x 8" x 16" BRICK CORNER. NEW BRICK AT OTHER CORNERS INDICATED.

EXISTING BRICK PAINTED.

NEW HANDRAILS ON MASONRY BACKUP STAIR STRUCTURE AT ENTRY, TERRACE AND LANDINGS. NEW BRICK SUBSTITUTION CORNER BRACKETS OF C.B. INTERIOR.

(GIRT REPLACEMENT) OLD BRICK WITH PIECES OF BRICK NEW. 2" x 8" x 16" ABOVE AND BELOW.

AND 24" x 4" NEW OR EXISTING ROOF TRIM.

TRIM HAZEL BRICKWORK

NEW BRICK ROOF EXTENSION OF THE WOOD TRIM. CONSTRUCTION WITH TRIM SHINGLES SIMILAR TO PAINTED WOOD TRIM SHINGLES EXISTING.

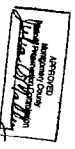
Front Porch

LANDING - 2nd - 17'0" OF NEW FRONT PORCH

1 1/2" x 8" x 16"

TRIM BRICK 2x8x16

15' x 8" 6x8x8



A3.2

TITLE: EAST ELEVATION
SCALE: AS SHOWN
DATE: 4.6.04

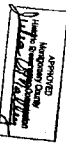
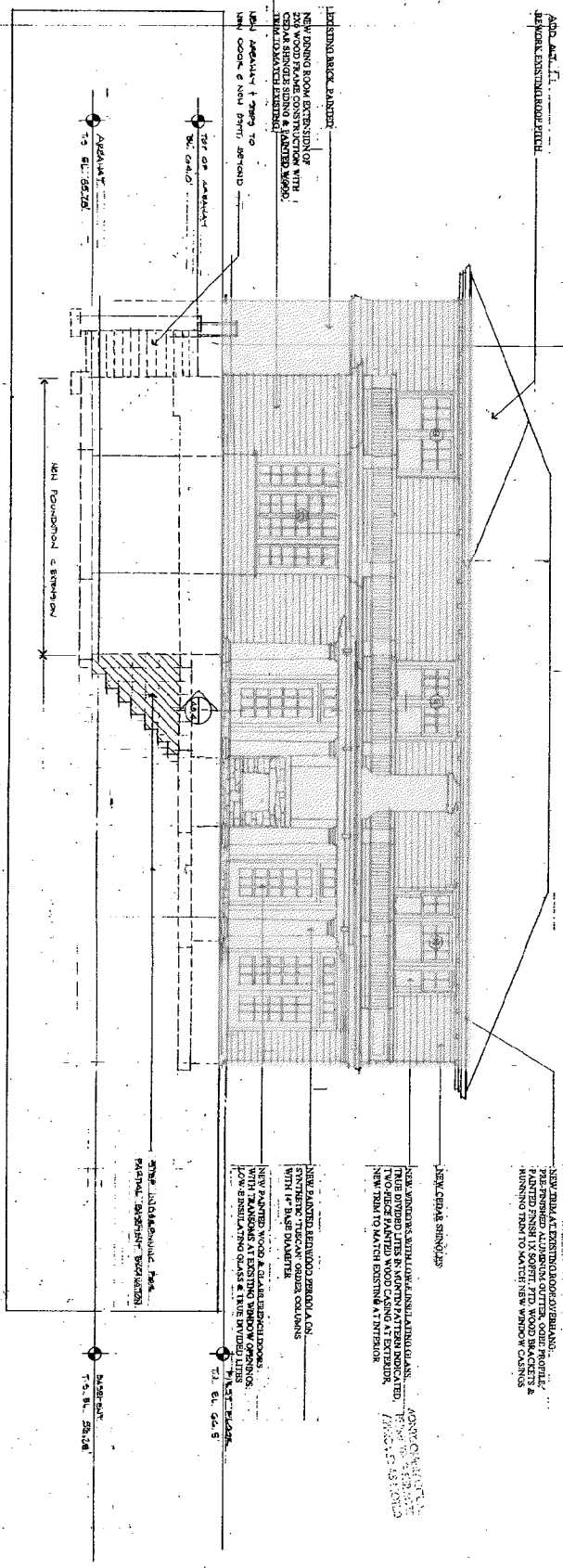
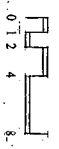
SPIKELL RESIDENCE
25 OXFORD STREET
CHEVY CHASE, MARYLAND 20815

Design 4604

FREDERICK TAYLOR, AIA
1433 OTIS STREET NE
WASHINGTON DC, 20017
(202) 635-8087

MARCH 29, 2004

NORTH ELEVATION



A3.3

TITLE: NORTH ELEVATION

SCALE: DATE: 4-6-04

DATE: 4-6-04

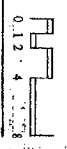
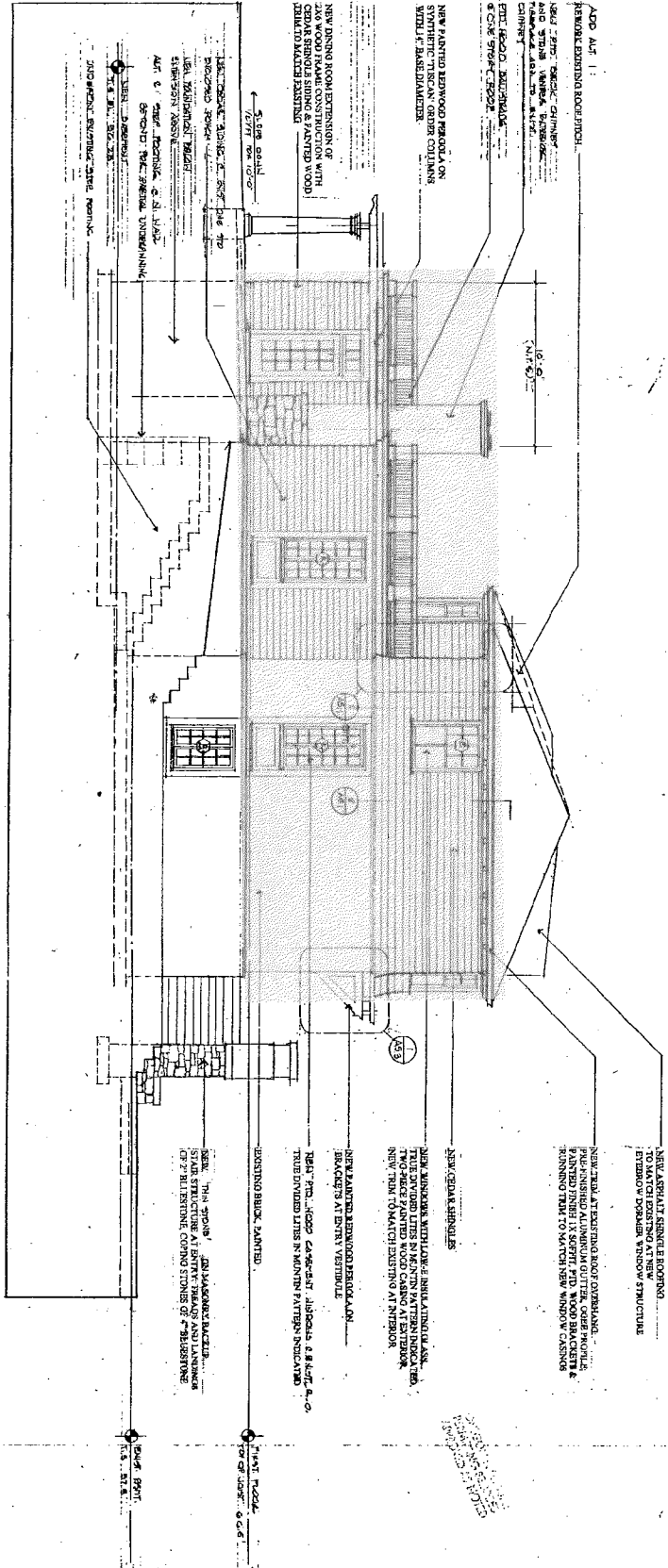
SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

DESIGN 46.04

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 WASHINGTON DC, 20017
 (202) 635-8087

MARCH 29, 2004

WEST ELEVATION



APPROVED
 Frederick Taylor, AIA
 Principal Architect

A3.4

TITLE:
 WEST ELEVATION

SCALE: 1/8" = 1'-0"
 DATE: 4/6/04

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

DESIGN 4604

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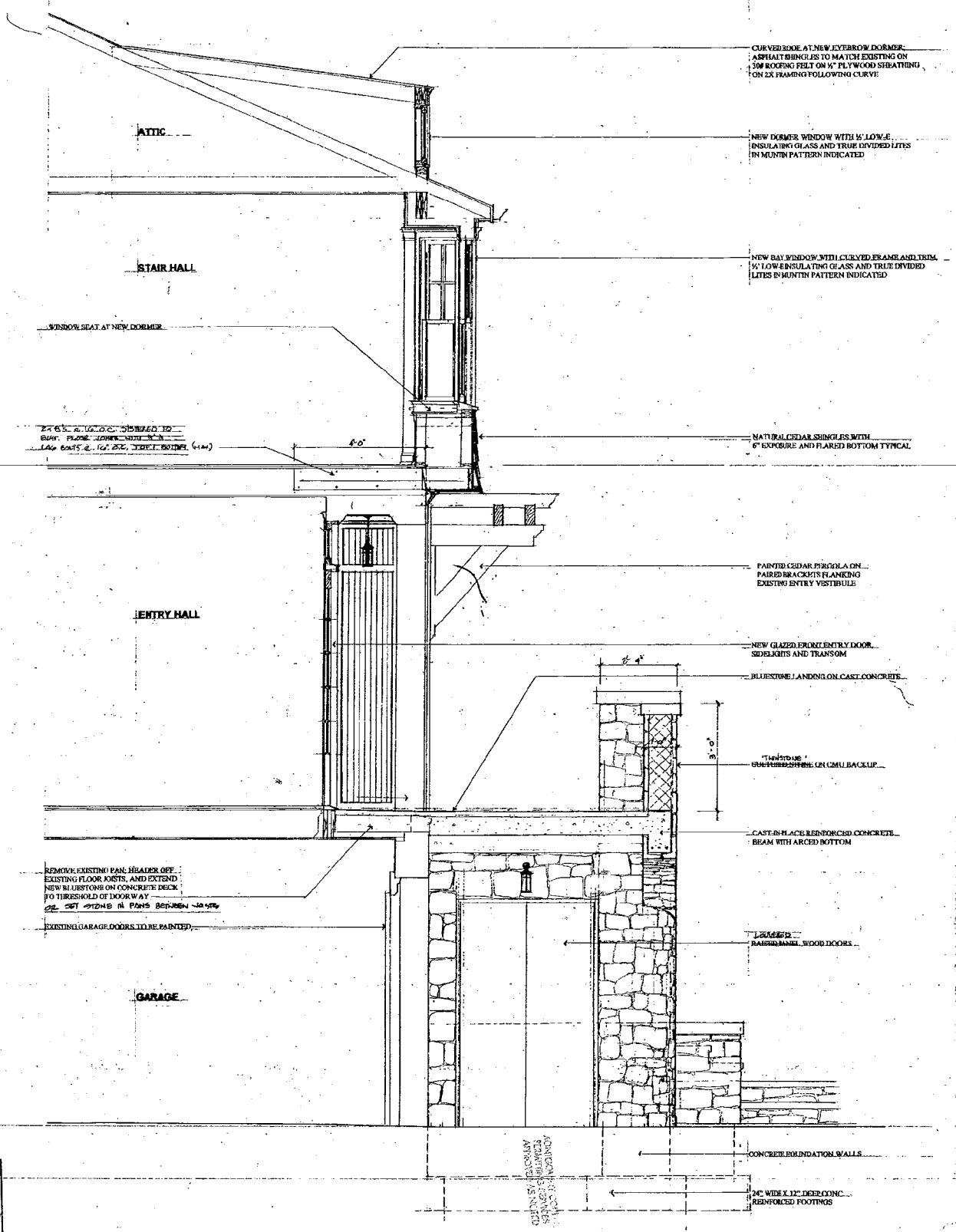
ONE COPY TO BE
 RETURNED TO ARCHITECT
 WITHIN 15 DAYS

APPROVED
 J. M. [Signature]
 ARCHITECT

1
 A4.1
 DETAIL ELEVATION @ SOUTH

3/4" = 1'-0"

<h1 style="margin: 0;">A4.1</h1>	TITLE: DETAIL ELEVATION @ SOUTH	<h2 style="margin: 0;">SPIKELL RESIDENCE</h2> <p style="margin: 0;">25 OXFORD STREET CHEVY CHASE, MARYLAND 20815</p>	DESIGN 4004	<p style="margin: 0;">FREDERICK TAYLOR, AIA 1433 OTIS STREET NE WASHINGTON DC, 20017 (202) 635-8087</p>
	SCALE: AS NOTED		DATE: 4-6-04	



1 WALL SECTION AT ENTRANCE
 A4.2 3/4" = 1'-0"

A4.2

TITLE:
 WALL SECTION @ ENTRANCE

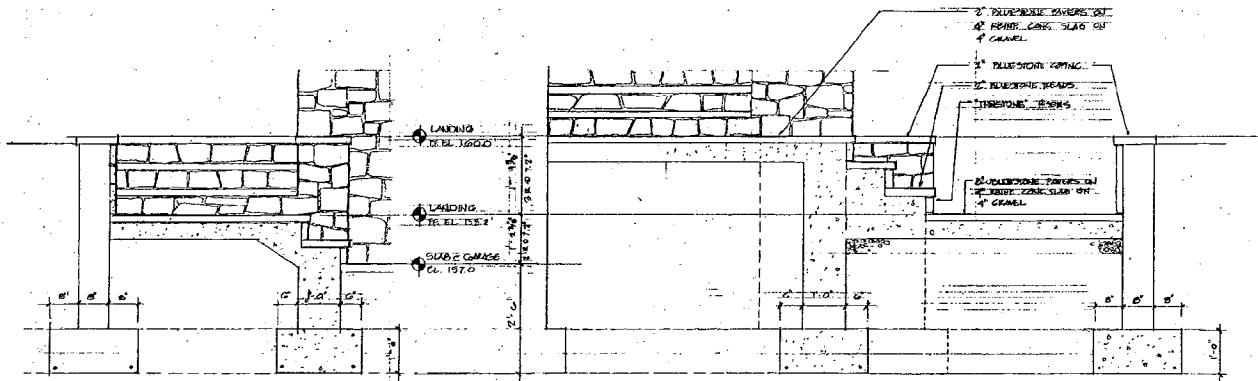
SCALE:
 AS NOTED

DATE:
 4-6-04

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

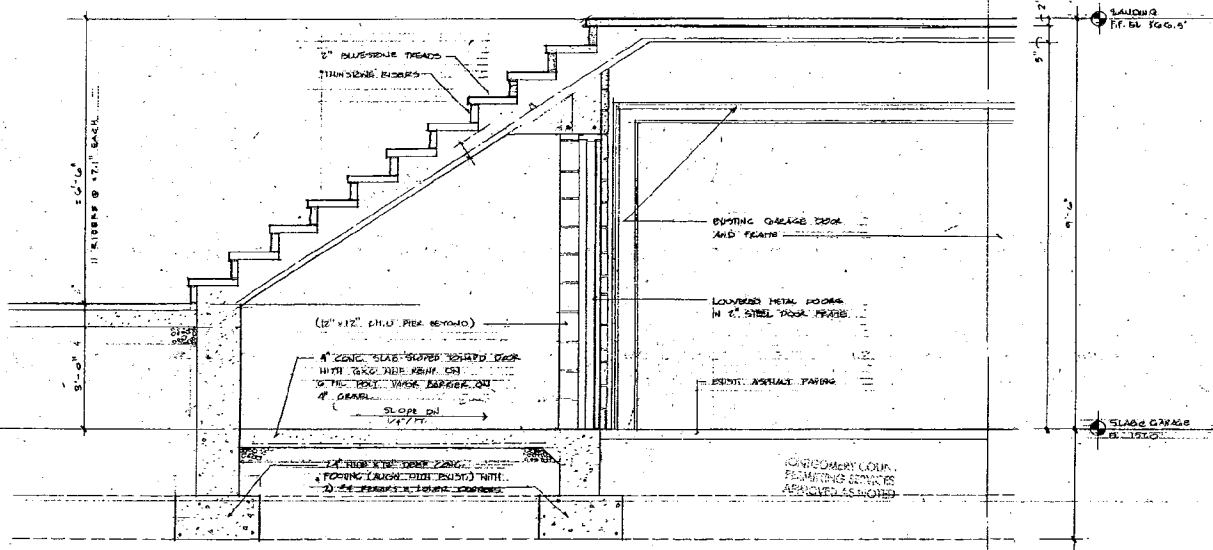
DESIGN 4604

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 1433 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087



3 SECT. @ FRONT STEPS
 3/4" = 1'-0"

2 SECT. @ FRONT STEPS
 3/4" = 1'-0"



1 SECTION @ FRONT STEPS
 3/4" = 1'-0"

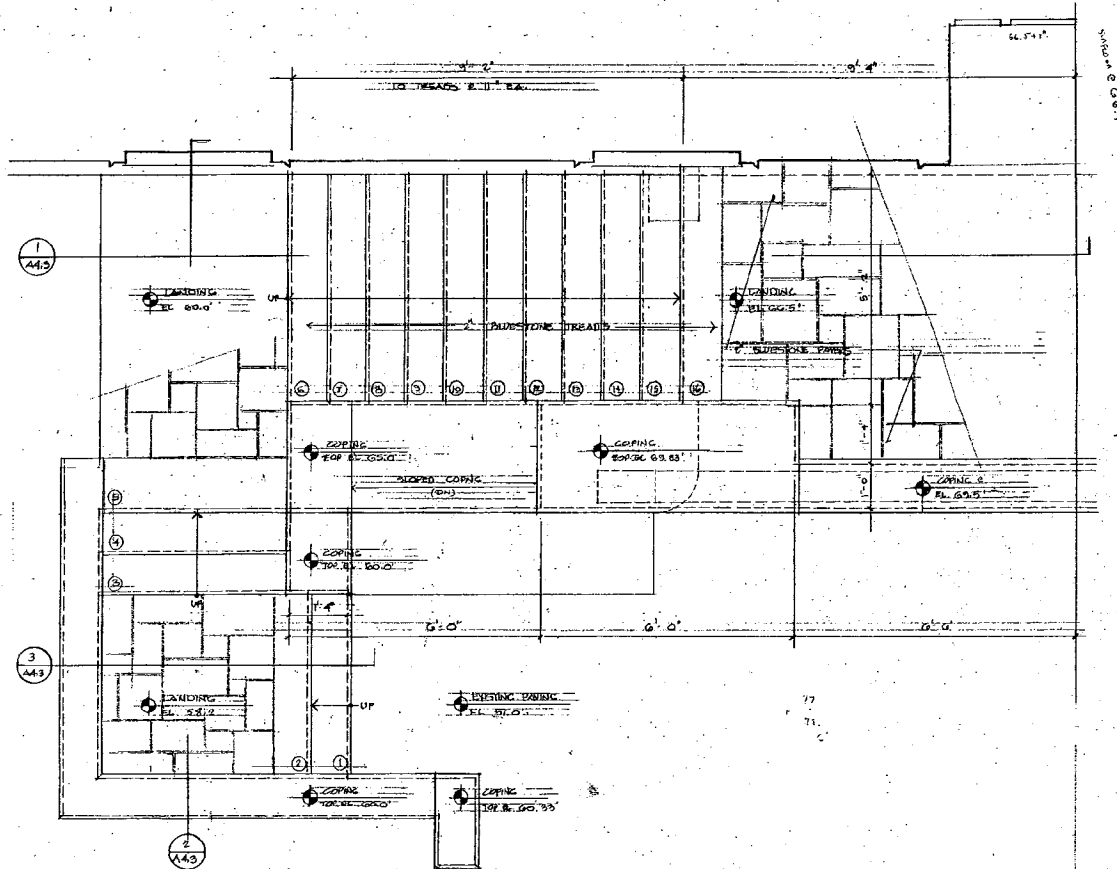


A4.3

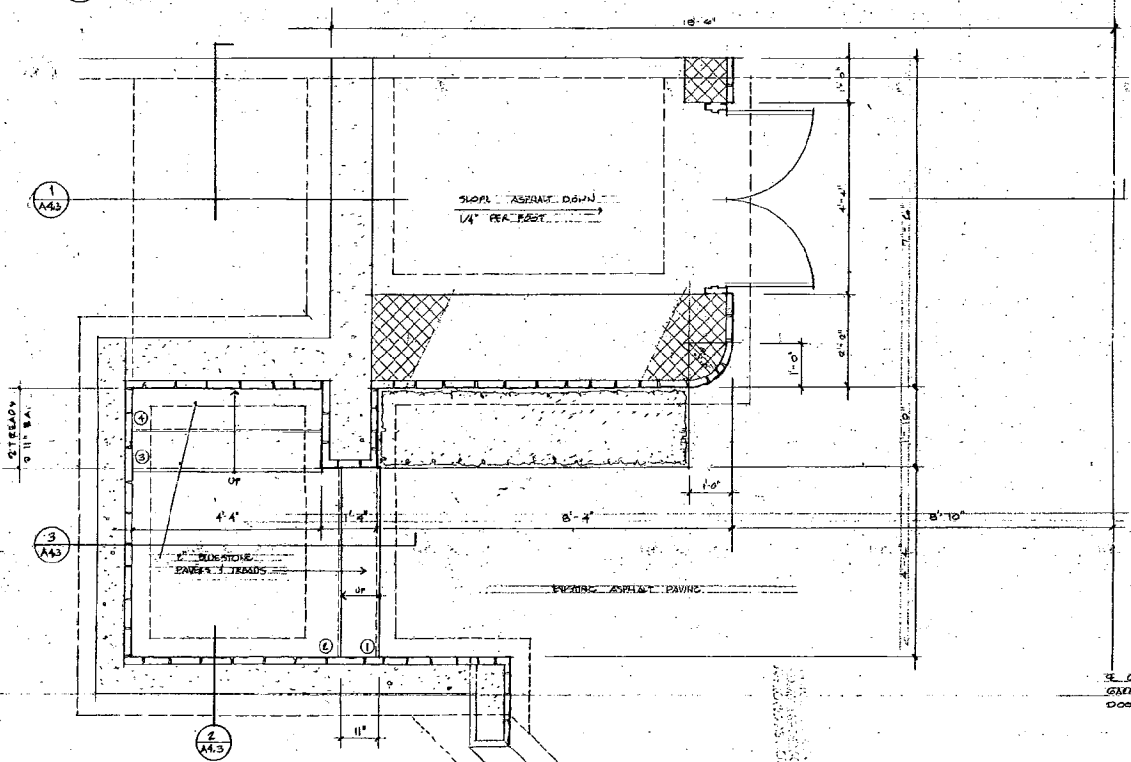
TITLE:
 SCALE: DATE:

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

FREDERICK TAYLOR, AIA
 143 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087



2 PLAN DETAIL @ FIRST FLOOR
 A4.4 3/4" = 1'-0"



1 PLAN DETAIL @ LOWER LEVEL
 A4.4 3/4" = 1'-0"

A4.4

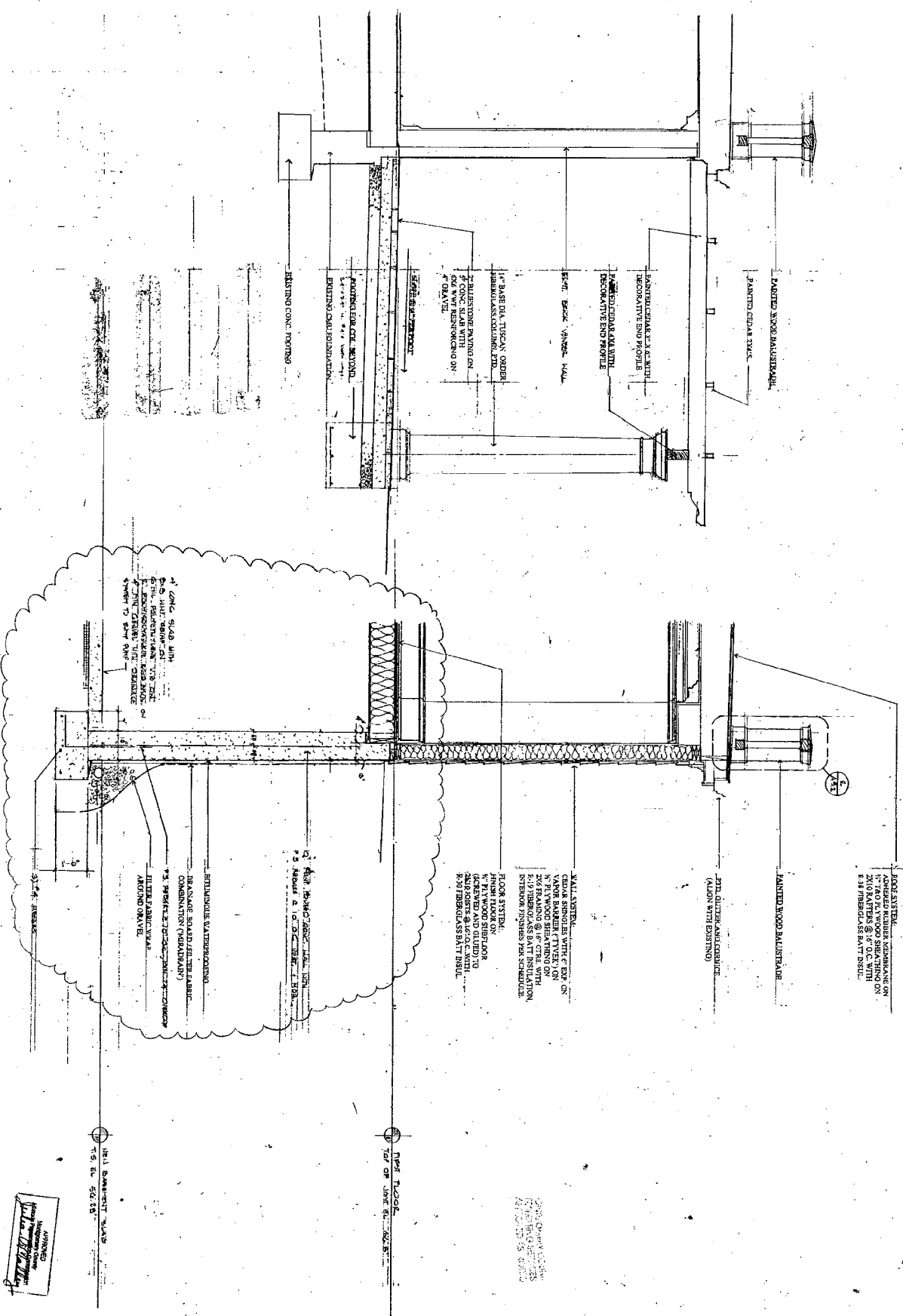
TITLE:
 SCALE: DATE:

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

FREDERICK TAYLOR, AIA
 143 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

2 WALL SECTION @ PERGOLA
 3/4" = 1'-0"

1 WALL SECTION @ NEW CONST.
 3/4" = 1'-0"



APPROVED
 [Signature]
 ARCHITECT

TITLE: SPINDLES
 SCALE: DATE: 11/2/2004

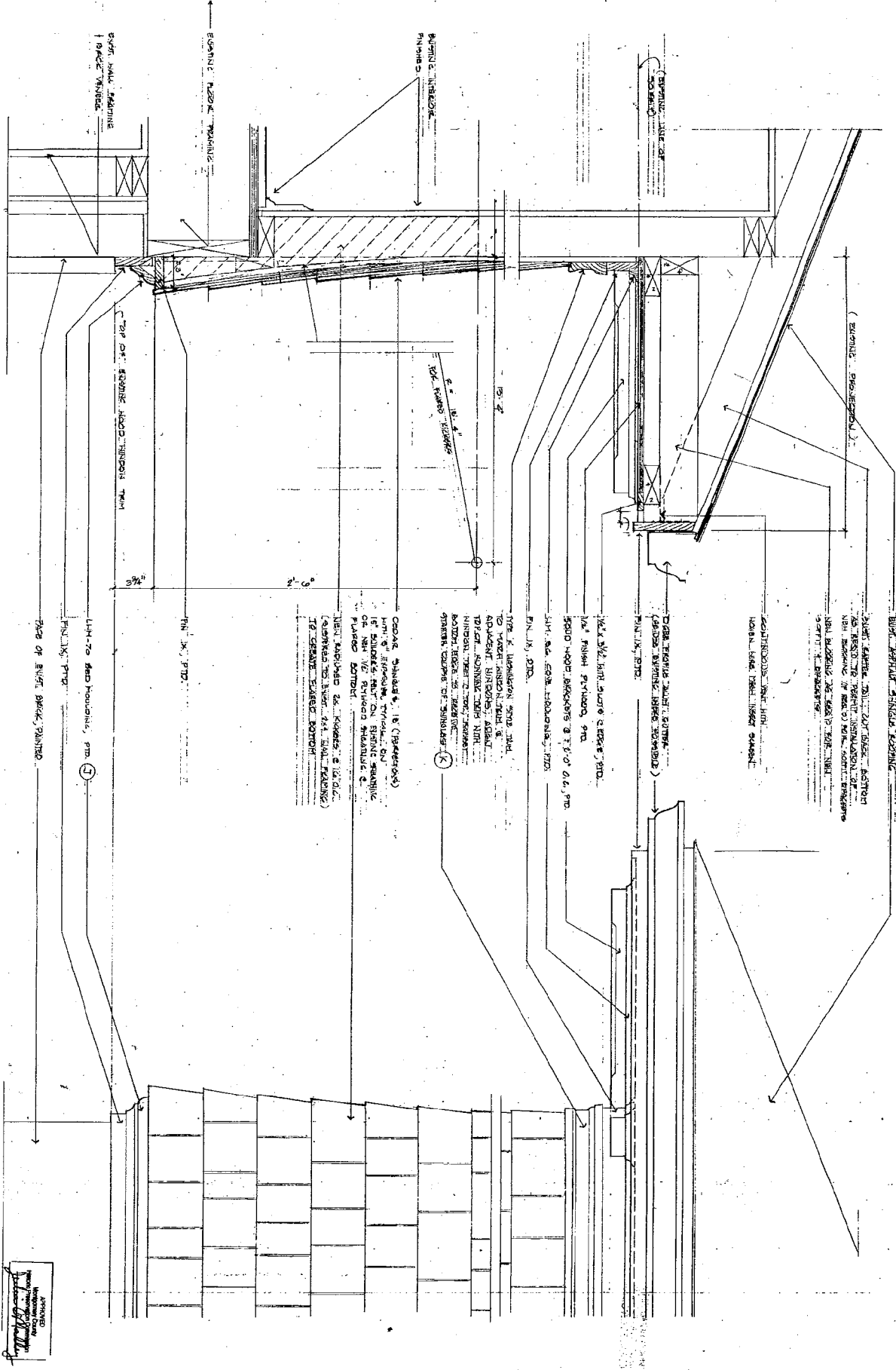
SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

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 1433 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

A4.5

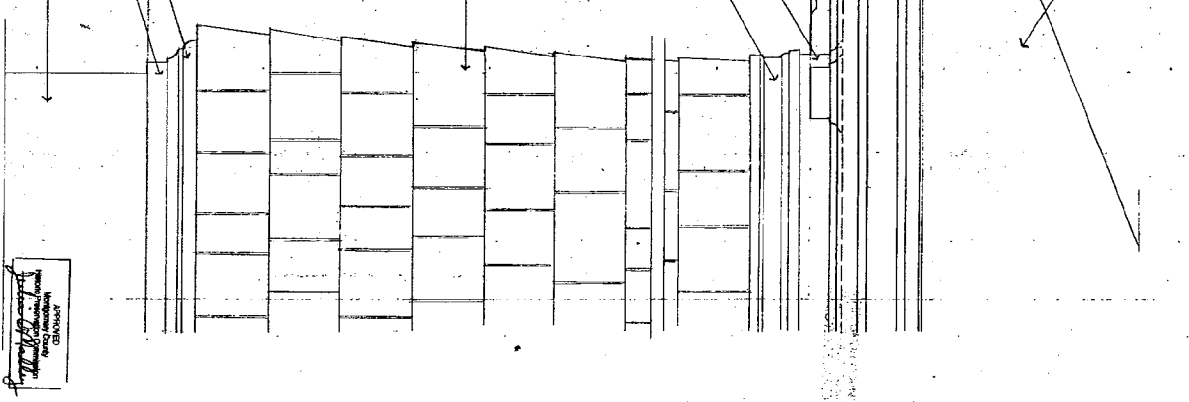
2
A5.1
3" = 1'-0"

DETAIL WALL SECTION @ UPPER LEVEL



1
A5.1
3" = 1'-0"

DETAIL ELEVATION @ UPPER LEVEL



A5.1

TITLE:
SCALE: DATE:

SPIKELL RESIDENCE
25 OXFORD STREET
CHEVY CHASE, MARYLAND 20815

FREDERICK TAYLOR, AIA
1433 OTIS STREET NE
WASHINGTON DC, 20017
(202) 635-8087

Naru, Michele

From: Bourke, Tom (Winchester Homes, Inc.)(Tom) [tom.bourke@whihomes.com]
Sent: Tuesday, December 14, 2004 4:07 PM
To: Hist Pres fax; Fothergill, Anne; Wright, Gwen; Naru, Michele
Cc: Bourke email file; Wellington, P. (ccv); Elliott, Bob; Feldman, Gail; Jacobs c/o angela muckenfuss; Marsh, Joan; Stephens, Betsy
Subject: HPC hearing 12-15: 25 Oxford, 14 Grafton

The following are the comments of the Chevy Chase Village LAP for items on the 12/15/04 agenda:

25 Oxford St
Spiekell residence, non-contributing resource
alterations to front etc: resubmission with minor changes to prior approval; staff recommends approval
LAP concurs and recommends approval as submitted

14 Grafton St
Guerra Vanasse residence
alterations for brick lead walk, rear patio, and new front door
Staff recommends approval.
LAP concurs with staff and recommends approval as submitted

Submitted for the LAP,
Tom Bourke
Chairman

tom.bourke@whihomes.com
tel: 301.803.4901
fax: 301.803.4929
cell: 301.252.9931

PROJECT LOCATION

25 OXFORD STREET
CHEVY CHASE, MD 20815

CHEVY CHASE SECTION 2

LOT 35 SQUARE 57

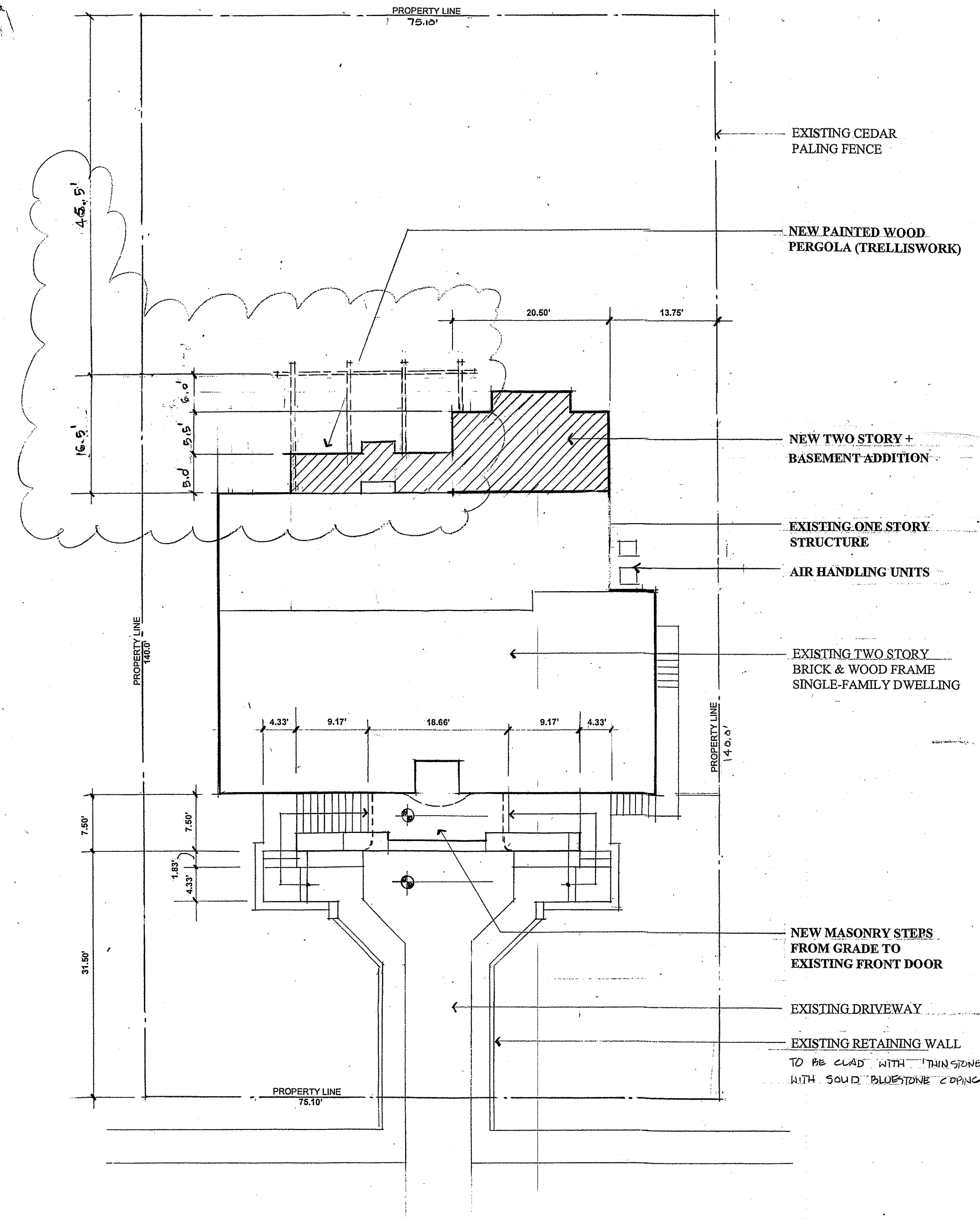
ZONING R-90

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A ONE AND TWO STORY ADDITION TO AND EXTERIOR REMODELING OF AN EXISTING DETACHED SINGLE-FAMILY DWELLING OF WOOD FRAME AND MASONRY CONSTRUCTION. THE EXTERIOR REMODELING WILL INCLUDE NEW WOOD WINDOWS THROUGHOUT, NEW WOOD TRIM AND CEDAR SHINGLE SIDING AT THE EXISTING SECOND STORY, NEW STONE FRONT STEPS AT THE ENTRANCE, A NEW AREAWAY STAIR TO THE BASEMENT, A PERGOLA AND EXTERIOR FIREPLACE AT THE REAR, AND COMPLETE PAINTING OF THE EXISTING BRICK VENEER. THE ADDITION WILL ADD APPROXIMATELY 238 SF TO THE FIRST FLOOR AND 837 SF TO THE SECOND. THE SECOND FLOOR ADDITION WILL ENCLOSE A NEW MASTER BEDROOM AND MASTER BATH SUITE. THE FIRST FLOOR ADDITION WILL INCLUDE A NEW BREAKFAST ROOM AND PART OF A RE-LOCATED KITCHEN. THE EXISTING CRAWL SPACE WILL BE PARTIALLY EXCAVATED TO CREATE NEW UN-CONDITIONED BASEMENT STORAGE BELOW THE EXISTING AND NEW STRUCTURE. OTHER INTERIOR REMODELING WILL INCLUDE THE RELOCATION OF THE LAUNDRY ROOM, CONVERSION OF THE EXISTING KITCHEN/FAMILY ROOM TO A FORMAL DINING ROOM AND BUTLER'S PANTRY.

DRAWING INDEX

- A1.0 SITE PLAN / DRAWING INDEX
- A2.0 LOWER LEVEL PLAN
- A2.1 FIRST FLOOR PLAN
- A2.2 SECOND FLOOR PLAN
- A2.3 ROOF PLAN
- A3.1 SOUTH ELEVATION
- A3.2 EAST ELEVATION
- A3.3 NORTH ELEVATION
- A3.4 WEST ELEVATION
- A4.1 DETAIL ELEVATION @ SOUTH WALL SECTION @ ENTRANCE
- A4.2 SECTIONS @ FRONT STEPS
- A4.3 PLAN DETAILS @ FRONT STEPS
- A4.4 WALL SECTIONS
- A5.1 EXTERIOR DETAILS @ CORNICE (RESERVED)
- A5.2 EXTERIOR DETAILS @ BRACKETS
- A5.3 EXTERIOR DETAILS @ PERGOLA
- A6.1 INTERIOR ELEV'S. @ KITCHEN
- A6.2 FIREPLACE DETAILS @ PERGOLA
- A6.3 INTERIOR ELEV'S @ SECOND FLOOR (RESERVED)
- A7.1 DOOR SCHEDULE / TRIM TYPES
- A7.2 DOOR TYPES / DORMER DTL'S.
- A7.3 WINDOW TYPES
- A7.4 DOOR HEAD/SILL & JAMB DTL'S.
- A7.5 WINDOW HEAD/SILL & JAMB DTL'S.
- A7.6 MISC. DETAILS
- S-1 FIRST & SECOND FLOOR FRAMING PLANS
- S-2 ROOF FRAMING PLAN & MISC. DTL'S.
- E-0 LOWER LEVEL ELECTRICAL PLAN
- E-1 FIRST FLOOR ELECTRICAL
- E-2 SECOND FLOOR ELECTRICAL



1 SITE PLAN
A1.0 1" = 10'-0"

FREDERICK TAYLOR, AIA
1433 OTIS STREET NE
WASHINGTON DC, 20017
(202) 635-8087

SPIKELL RESIDENCE
25 OXFORD STREET
CHEVY CHASE, MARYLAND 20815

TITLE: SITE PLAN / DRAWING INDEX
SCALE: AS NOTED
DATE: NOV. 12, 2004

APPROVED
Montgomery County
Historic Preservation Commission
Michael Spikell
3/11/05

A1.0

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

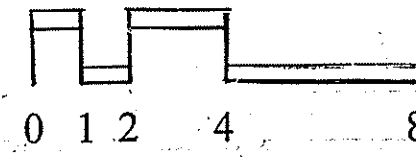
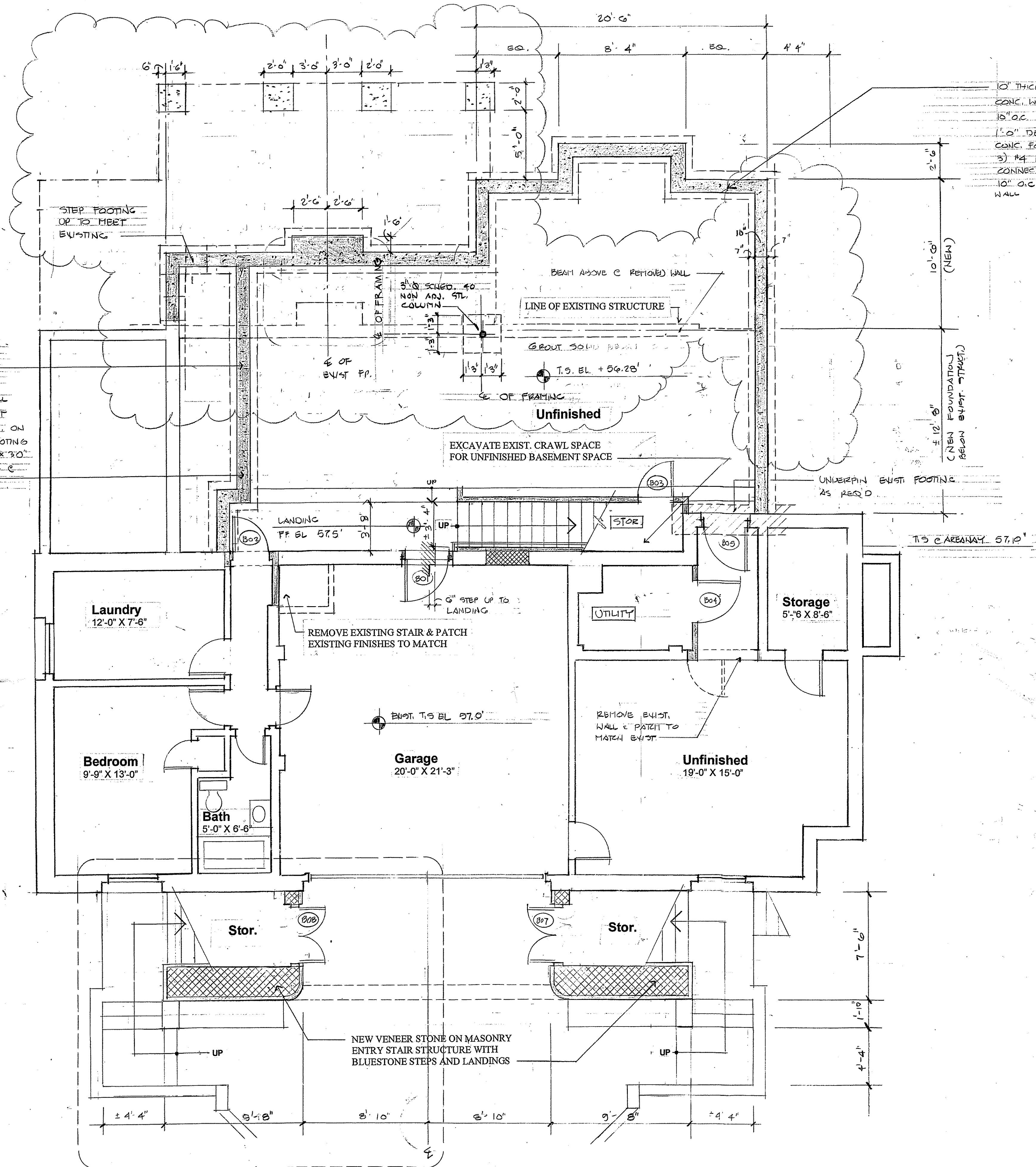
TITLE: LOWER LEVEL PLAN
 SCALE: AS NOTED
 DATE: 4.6.2004

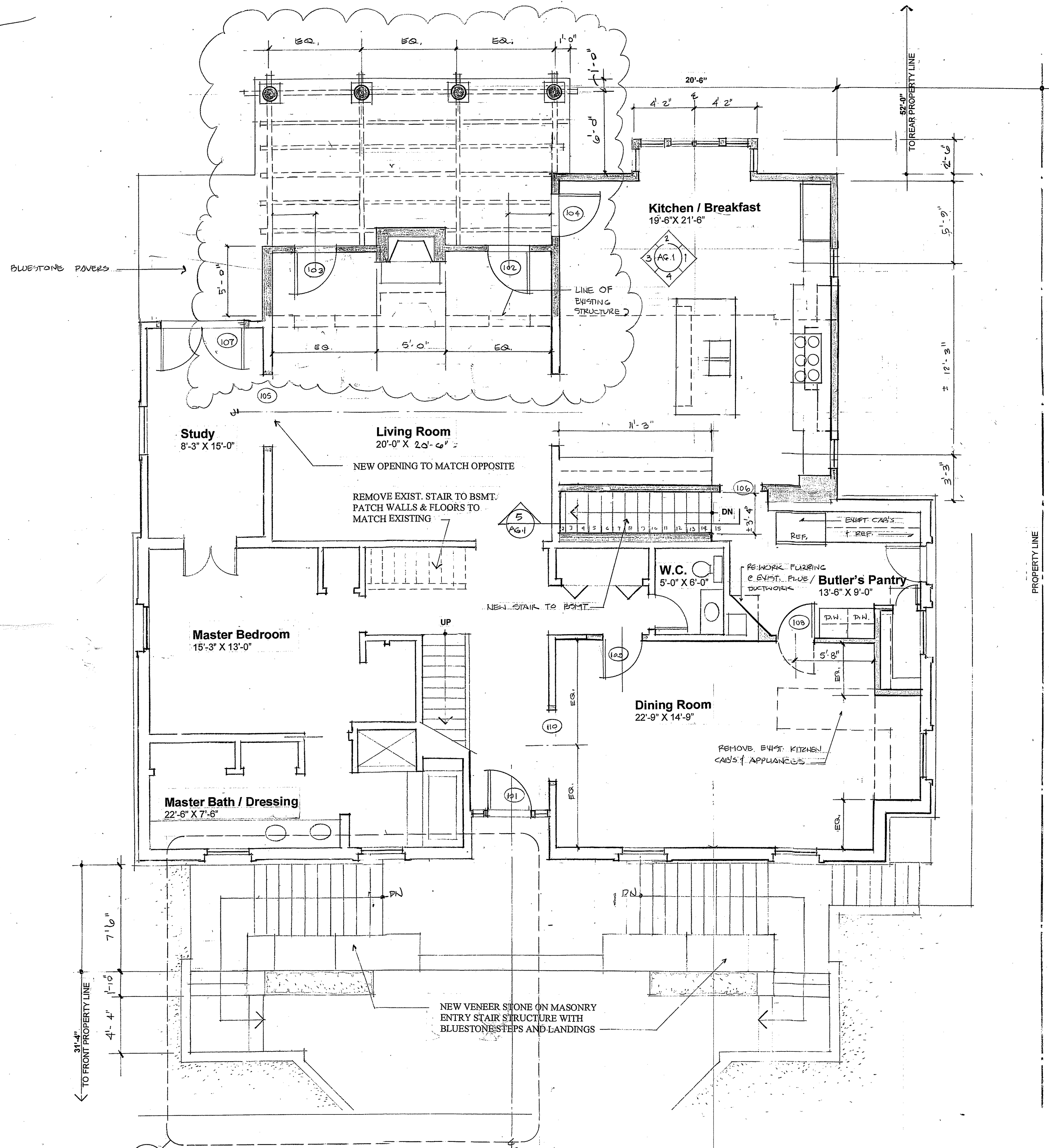
LOWER LEVEL PLAN
 1/4" = 1'-0"

2x10 BLOCKING @ CONNECTION BETWEEN EXIST. SILE PLATE AND EXIST. 2x10 JOIST @ 4'-0" O.C.

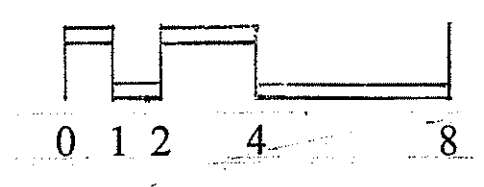
12" THICK POURED CONC. WALL WITH #4 REBAR @ 12" O.C. VERT. ON 1'-0" DEEP X 2'-0" WIDE CONC. FOOTING WITH 3) #4 REBAR AND 10" X 20" L CONNECTOR OF #5 REBAR @ 12" O.C. MIN. 2" OVERCAP

10" THICK POURED REIN. CONC. WALL WITH #5 REBAR @ 16" O.C. VERT. & HOR. ON 1'-0" DEEP X 2'-0" WIDE CONC. FOOTING WITH 3) #4 REBAR AND 10" X 20" L CONNECTOR OF #5 REBAR @ 10" O.C. WITH MIN. 2" LAP IN WALL





1
A2.1
FIRST FLOOR PLAN
1/4" = 1'-0"



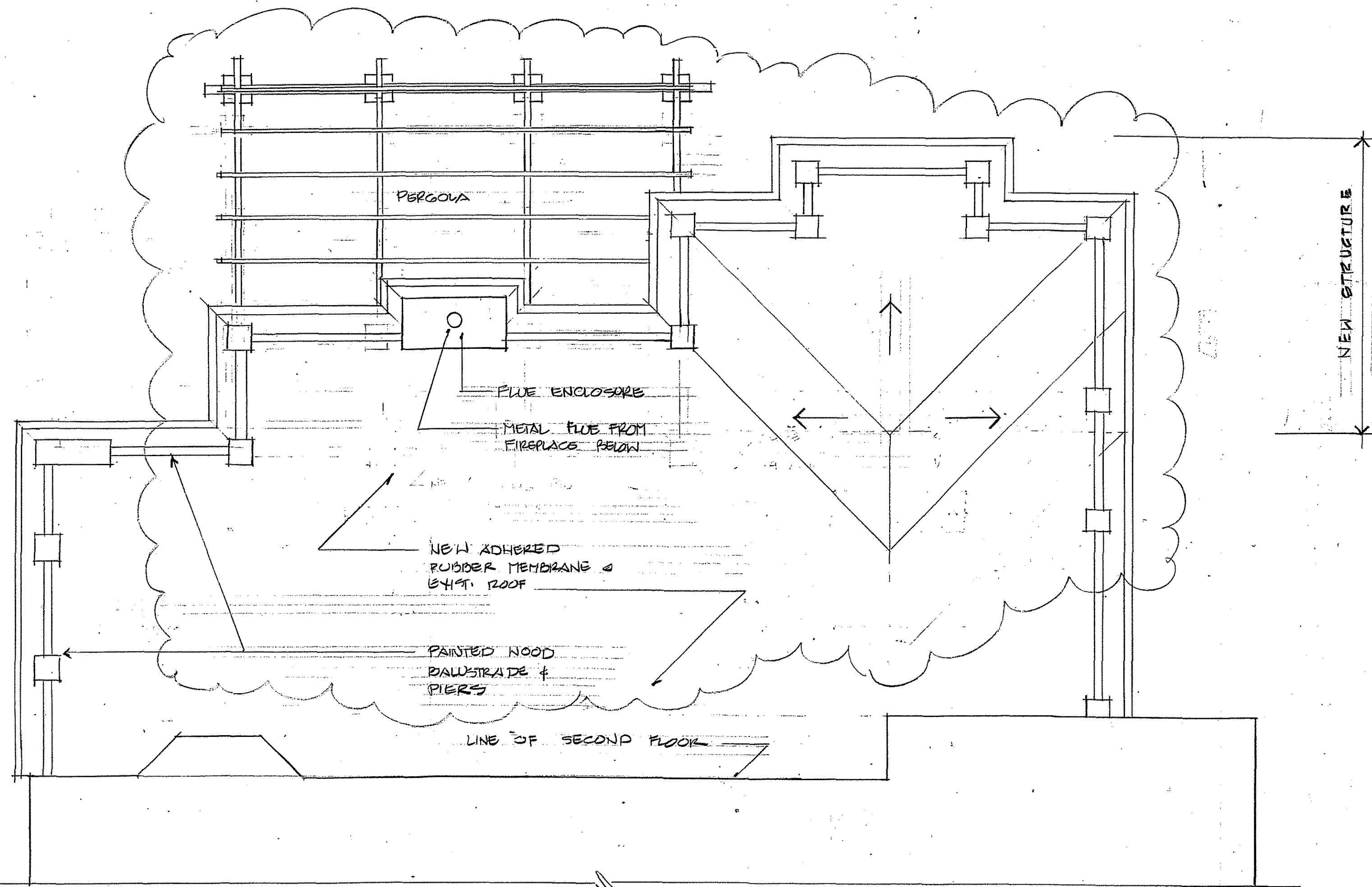
FREDERICK TAYLOR, AIA
1433 OTIS STREET NE
WASHINGTON DC, 20017
(202) 635-8087

DESIGN 46.04

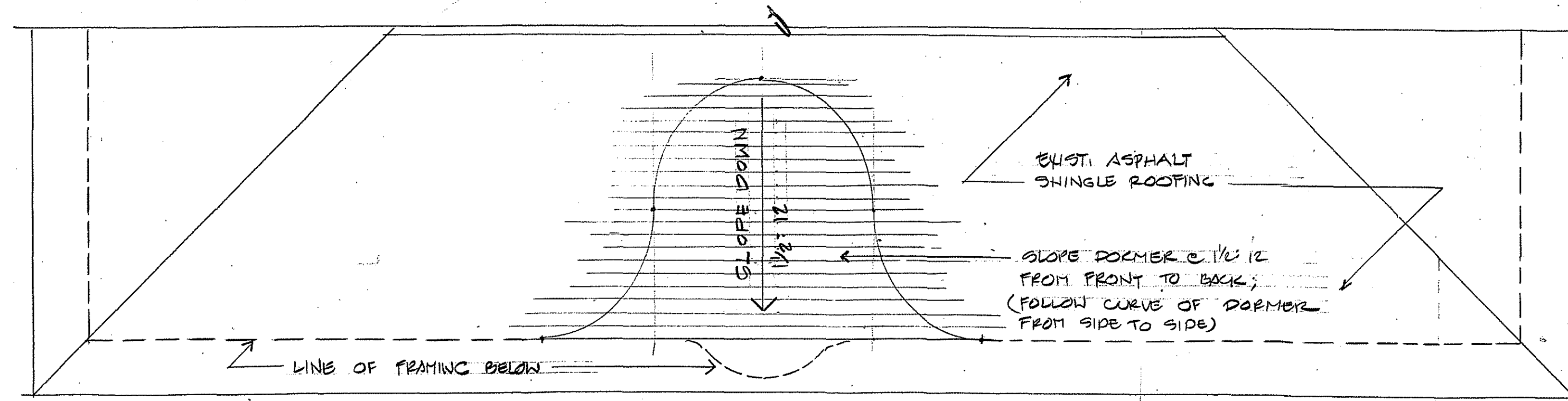
SPIKELL RESIDENCE
25 OXFORD STREET
CHEVY CHASE, MARYLAND 20815

TITLE: FIRST FLOOR PLAN
SCALE: AS NOTED
DATE: 4.6.04

A2.1



1
A2.2
ROOF PLAN @ REAR
1/4" = 1'-0"

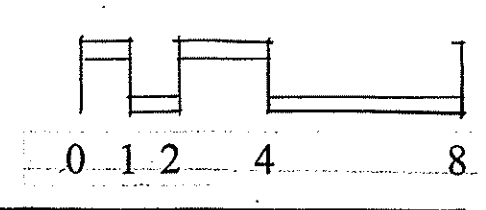


2
A2.2
ROOF PLAN @ FRONT
1/4" = 1'-0"

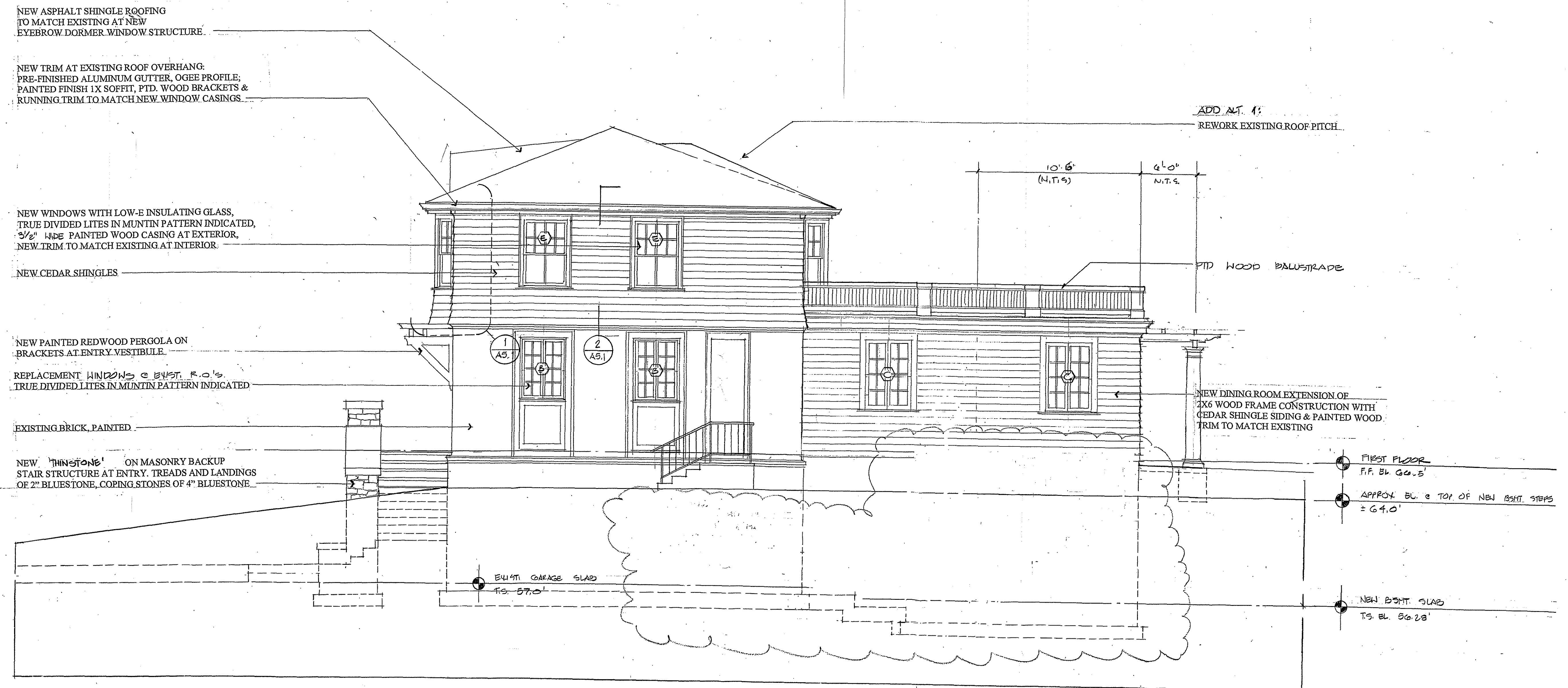


MARCH 29, 2004

SOUTH ELEVATION

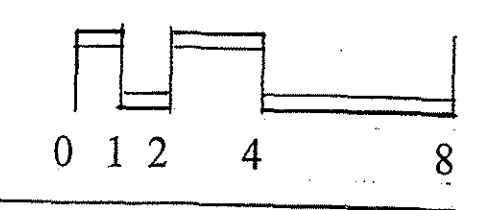


TITLE: SOUTH ELEVATION
 SCALE: AS NOTED
 DATE: 4.6.04



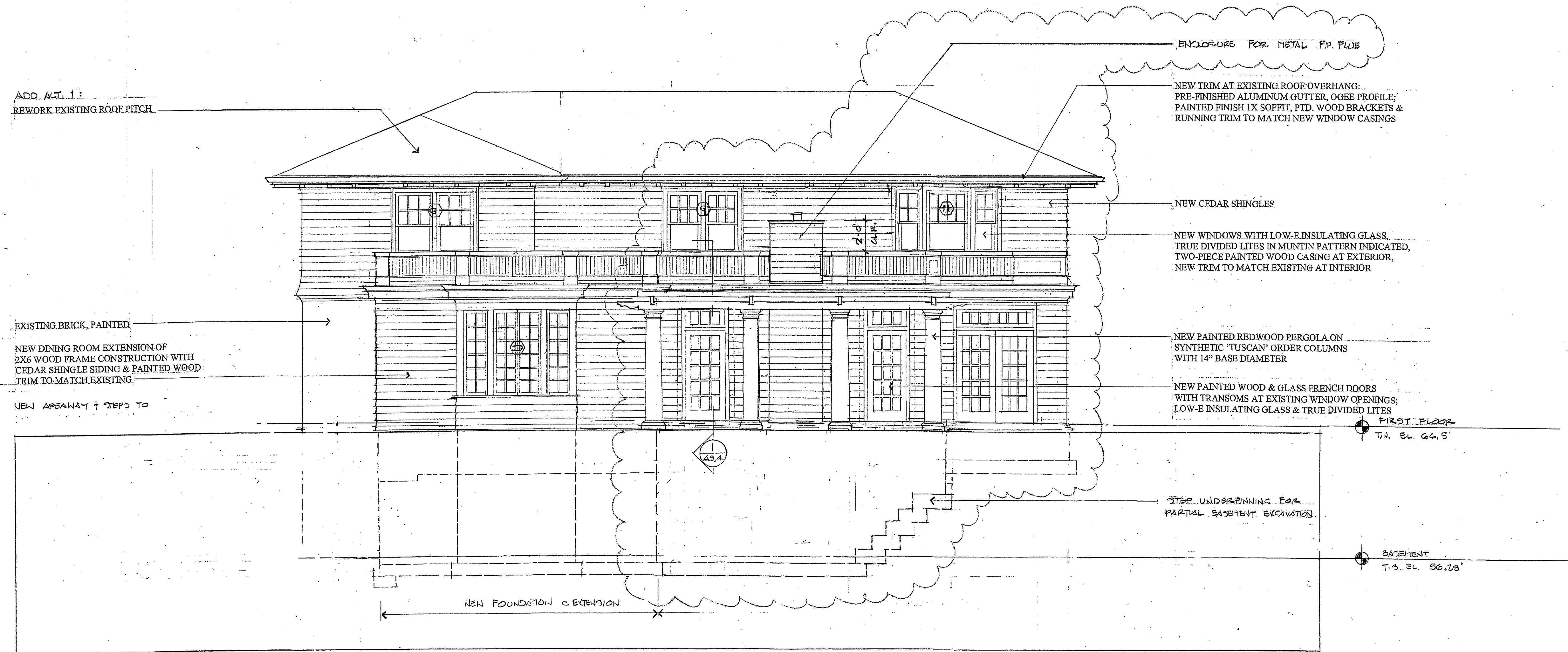
MARCH 29, 2004

EAST ELEVATION



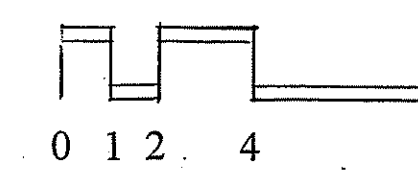
SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

TITLE: EAST ELEVATION
 DATE: 4/6/04
 SCALE: AS NOTED



MARCH 29, 2004

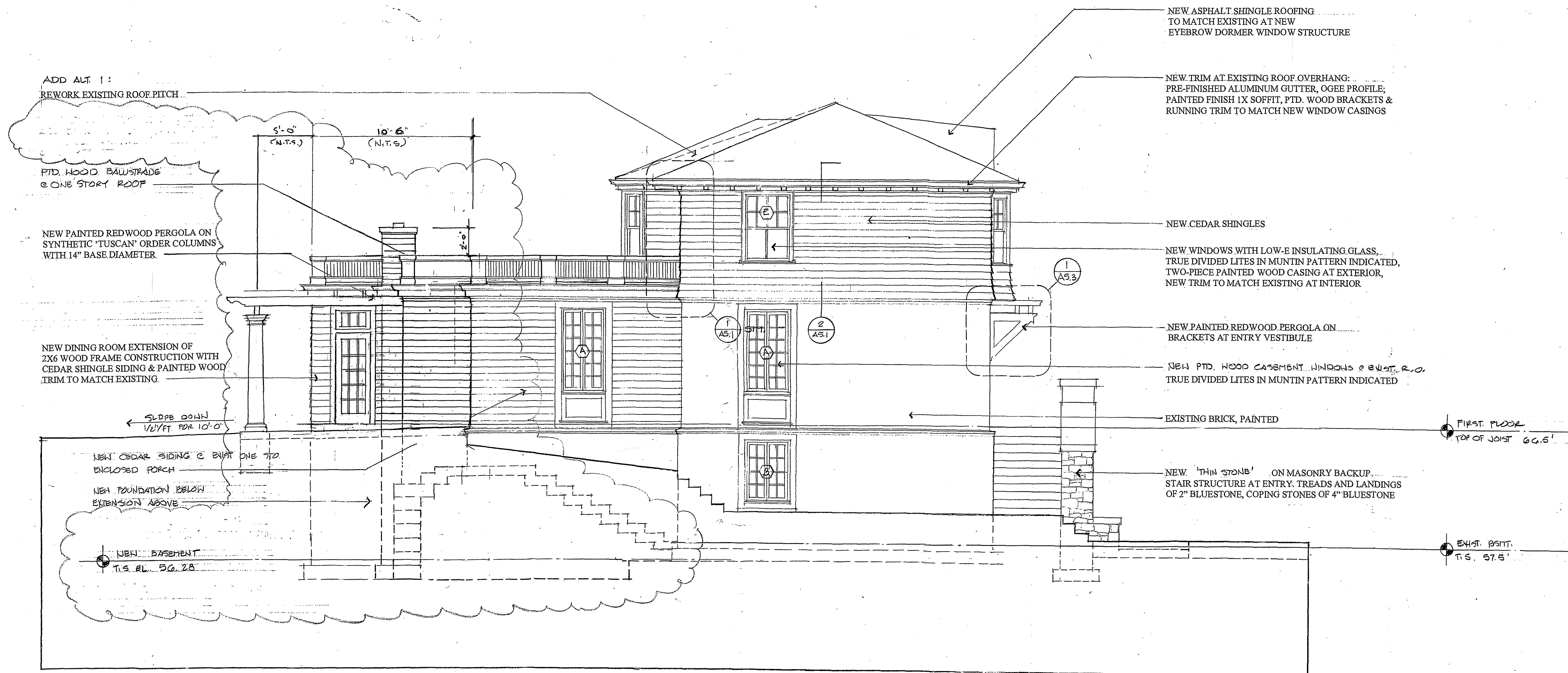
NORTH ELEVATION



SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

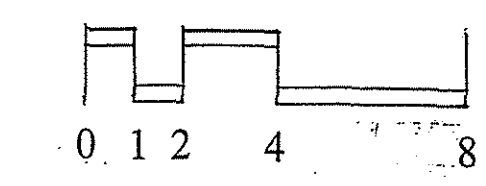
TITLE: NORTH ELEVATION
 DATE: 4/6/04
 SCALE: AS NOTED

A3.3



MARCH 29, 2004

WEST ELEVATION



SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

TITLE: WEST ELEVATION
 DATE: 4/6/04
 SCALE: AS NOTED

A3.4

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 25 Oxford Street, Chevy Chase **Meeting Date:** 08/18/04
Resource: Non-Contributing Resource **Report Date:** 08/11/04
Chevy Chase Village Historic District
Review: HAWP **Public Notice:** 08/04/04
Case Number: 35/13-04Z **Tax Credit:** None
Applicant: Armond Spikell **Staff:** Michele Naru
Proposal: Additions and alterations to a non-contributing resource
Recommendation: Approval with condition

RECOMMENDATION: Staff recommends that the Commission approve this HAWP application with the condition that:

- The applicants will work with the Chevy Chase Village arborist to develop a tree protection plan for the existing trees on the site. This plan must be implemented prior to this program's commencement.

PROJECT DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource
STYLE: Modern
PERIOD OF SIGNIFICANCE: 1965, 1985

The existing house is a five-bay, hip roof structure with a centrally located, basement level, two-car garage on the front elevation. The house is detailed with a steel frame, wood slat front porch. The current house is the result of two major construction periods. The brick first level was constructed in 1965 and the frame, vinyl clad second level was added in 1985. The house is sited on a 75' x 140' lot.

PROPOSAL:

The project consists of:

Front Façade

1. Demolish the existing front stairway and install a new front stairway from the basement level to the first floor constructed of stone.
2. Install an eyebrow window in the roofline.

3. Install a painted, redwood pergola above entry door.

Rear Façade

4. Construct a one-story plus basement rear addition of wood frame construction on a masonry foundation.
5. Construct a new open pergola with an exterior fireplace.
6. Excavate the existing crawlspace and underpin existing adjacent foundations to create a new unfinished basement space under the existing structure.

Materials

7. Replace all of the windows on the house with painted, wood, simulated-divided light, double-hung and casement windows (see drawings).
8. Clad the existing front retaining walls along driveway wall with bluestone.
9. Paint the existing brick on the first floor.
10. Remove the existing vinyl siding and replace with cedar shingles on the second floor.
11. Replace existing people doors with new wood doors (see drawings).
12. Paint existing garage door.
13. Replace existing asphalt shingle roof with a new asphalt shingle roof.
14. Install synthetic columns for new, rear pergola.

The subject proposal will be adding approx. 200 sq.ft. to the footprint of the house and no trees larger than 6" in diameter will be removed as part of this proposal.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997 and the *Montgomery County Code Chapter 24A (Chapter 24A)*. The pertinent information in these documents is outlined below.

Chevy Chase Village Historic District Master Plan

- **Non-Contributing or Out-of-Period Resource:** A resource which does not directly contribute to the historicity of the district because of its lack of architectural and historical significance and/or because of major alterations that have eliminated most of the resource's original architectural integrity. Or a resource that is a newer building, which possibly contributes to the overall streetscape but is out of the district's primary historical and architectural context.

- HAWP applications for exterior alterations, changes, and/or additions to these types [non-contributing] of resources should receive the most lenient level of design review.
- Most alterations and additions to non-contributing/out-of-period resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of the structure, which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.
- It is of paramount importance that the HPC recognize and foster the Village's open, park-like character, which necessitates respect for existing environmental settings, landscaping and patterns of open space.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffers undue hardship.
- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

STAFF DISCUSSION

The Commission's main objectives when reviewing additions to non-contributing resources within the Chevy Chase Village Historic District are to ensure minimal impact to the open-space and park-like setting of the historic district and ensure compatibility in terms of massing, scale proportion, height and materials with the existing streetscape.

Staff feels that the proposed design meets the criteria outlined in the Chevy Chase Village Guidelines. Staff recommends approval with the common condition that the applicants will work with the Chevy Chase Village arborist to develop a tree protection plan for the existing trees on the site.

The Local Advisory Panel (LAP) for Chevy Chase Village has not responded to this HAWP application at the time this report was prepared.

STAFF RECOMMENDATION:

Staff recommends that the Commission *approve with the above stated condition* the HAWP application as being consistent with Chapter 25A-8(b) 2:

The proposal is compatible in character and nature with the historical, archaeological, architectural or cultural features of the historic site or district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter

and with the *Chevy Chase Village Guidelines*, adopted April 1998.

with the general conditions applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work, and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Lisa Spikell
Daytime Phone No.: (301) 986-5722

Tax Account No.: 7-9-456068

Name of Property Owner: Mr. & Mrs Armond Spikell Daytime Phone No.: 301. 986. 5722

Address: 25 Oxford St Chery Chase MD 20815
Street Number City State Zip Code

Contractor: TBD Phone No.:

Contractor Registration No.:

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 25 Street: Oxford
Town/City: Chery Chase Nearest Cross Street: Brookville Road
Lot: 35 Block: 57 Subdivision: Section 2 Chery Chase
Liber: 21344 Folio: 632 Parcel: PLAT 62016 71 PLAT 6807

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
[] Construct [x] Extend [x] Alter/Renovate [] A/C [] Slab [x] Room Addition [x] Porch [] Deck [] Shed
[] Move [] Install [] Wreck/Raze [] Solar [] Fireplace [] Woodburning Stove [x] Single Family
[] Revision [x] Repair [] Revocable [] Fence/Wall (complete Section 4) [] Other:
1B. Construction cost estimate: \$ 150,000.
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [x] WSSC 02 [] Septic 03 [] Other:
2B. Type of water supply: 01 [x] WSSC 02 [] Well 03 [] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[] On party line/property line [] Entirely on land of owner [] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Lisa Spikell

Date: July 17, 2004

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 352618 Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Two story brick and frame structure with partial basement and steel frame wood slat front porch. First floor built in 1965. Second story constructed of frame and vinyl siding added in 1985. Sited on a 75 x 140 rectangular lot.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The house is a non-contributing structure in CC Village. Exterior renovation: replace steel frame and wood slat porch with concrete and masonry extending 3 feet. replace vinyl siding with cedar shakes, replace windows and additions of eyebrow window on roof. Two hundred square foot addition on rear and full basement.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

8 1/2 x 11 PLANS

TREE SURVEY - DBH, LOCATION, TYPE (GENUS)

!
DIAMETER AT BREAST HEIGHT

MATERIAL SPECIFICATIONS

DOOR & WINDOW SCHEDULE

HPC MEETING 8/18/ - DEADLINE 7/28

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>25 Oxford Street Chevy Chase, MD 20815</p>	<p>Owner's Agent's mailing address</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>17 Oxford Street Chevy Chase, MD 20815 Mr. Ms. (Monahan-Marcel)</p>	<p>31 Oxford Street Chevy Chase, MD 20815 Mr. Ms. (Morgan-Shannon)</p>
<p>12 Oxford Street Chevy Chase, MD 20815 Mr. and Mrs Werner (Minshall)</p>	<p>10 Oxford Street Chevy Chase, MD 20815 Mr. Ms. (Sharfman-Silber)</p>
<p>33 Oxford Street Chevy Chase, MD 20815 Mr and Mrs. (Hyland-Collins)</p>	<p>14 Oxford Street Chevy Chase, MD 20815 Mr. and Mrs. JW (Rader)</p>

PROJECT LOCATION

23 OXFORD STREET
 CHEVY CHASE, MD 20815
 SECTION 2
 CHEVY CHASE SQUARE 57
 LOT 35

ZONING

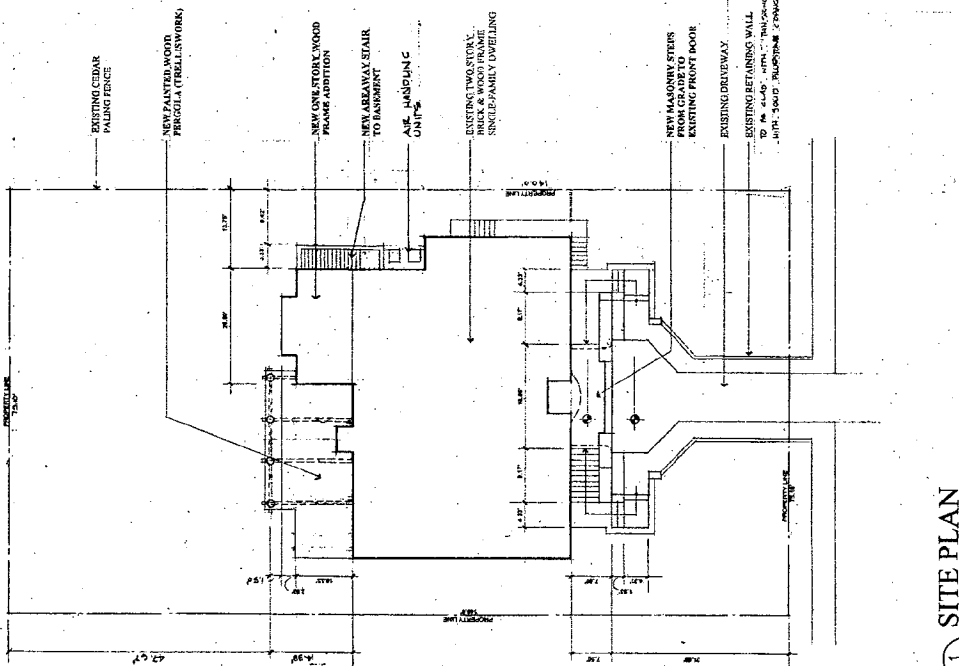
R-90

PROJECT DESCRIPTION

THE PROJECT CONSISTS OF A ONE-STORY ADDITION TO AND EXTERIOR REMODELING OF AN EXISTING DETACHED SINGLE-FAMILY DWELLING OF WOOD FRAME AND MASONRY CONSTRUCTION. THE EXTERIOR REMODELING WILL INCLUDE NEW WOOD WINDOWS THROUGHOUT, NEW WOOD TRIM AND CEDAR SHINGLE SIDING AT THE EXISTING SECOND STORY, NEW STONE FRONT STEPS AT THE ENTRANCE, A NEW AREAWAY STAIR TO THE BASEMENT, A PERGOLA AND EXTERIOR FIREPLACE AT THE REAR, AND COMPLETE PAINTING OF THE EXISTING VENER. THE ADDITION WILL BE APPROXIMATELY 280 SF TO THE REAR AND AN EXISTING GARAGE SPACE WILL BE EXCAVATED TO CREATE NEW UNCONDITIONED BASEMENT STORAGE BELOW THE EXISTING AND NEW STRUCTURE.

DRAWING INDEX

- A1.0 SITE PLAN / DRAWING INDEX
- A2.0 LOWER LEVEL PLAN
- A2.1 FIRST FLOOR PLAN
- A2.2 ROOF PLAN
- A3.1 SOUTH ELEVATION
- A3.2 EAST ELEVATION
- A3.3 NORTH ELEVATION
- A3.4 WEST ELEVATION
- A4.1 DETAIL ELEVATION @ SOUTH WALL SECTION @ ENTRANCE
- A4.2 SECTIONS @ FRONT STEPS
- A4.3 PLAN DETAILS @ FRONT STEPS
- A4.4 WALL SECTIONS
- A4.5 SECTIONS @ AREAWAYS
- A4.6 EXTERIOR DETAILS @ CORNICE
- A5.1 EXTERIOR DETAILS @ BALUSTRADE
- A5.2 EXTERIOR DETAILS @ BRACKETS
- A5.3 EXTERIOR DETAILS @ PERGOLA
- A5.4 INTERIOR ELEV'S @ DINING ROOM
- A6.1 FRERFACE DETAILS @ PERGOLA
- A6.2
- A7.1 DOOR SCHEDULE / TRIM TYPES
- A7.2 DOOR TYPES / DORMER DTL'S
- A7.3 WINDOW TYPES
- A7.4 DOOR HEADSILL & JAMB DTL'S
- A7.5 WINDOW HEADSILL & JAMB DTL'S
- A7.6 MISC. DETAILS
- S-1 FRAMING PLANS
- E-0 LOWER LEVEL ELECTRICAL PLAN
- E-1 FIRST FLOOR ELECTRICAL



1 SITE PLAN
 A1.0 1" = 10'-0"

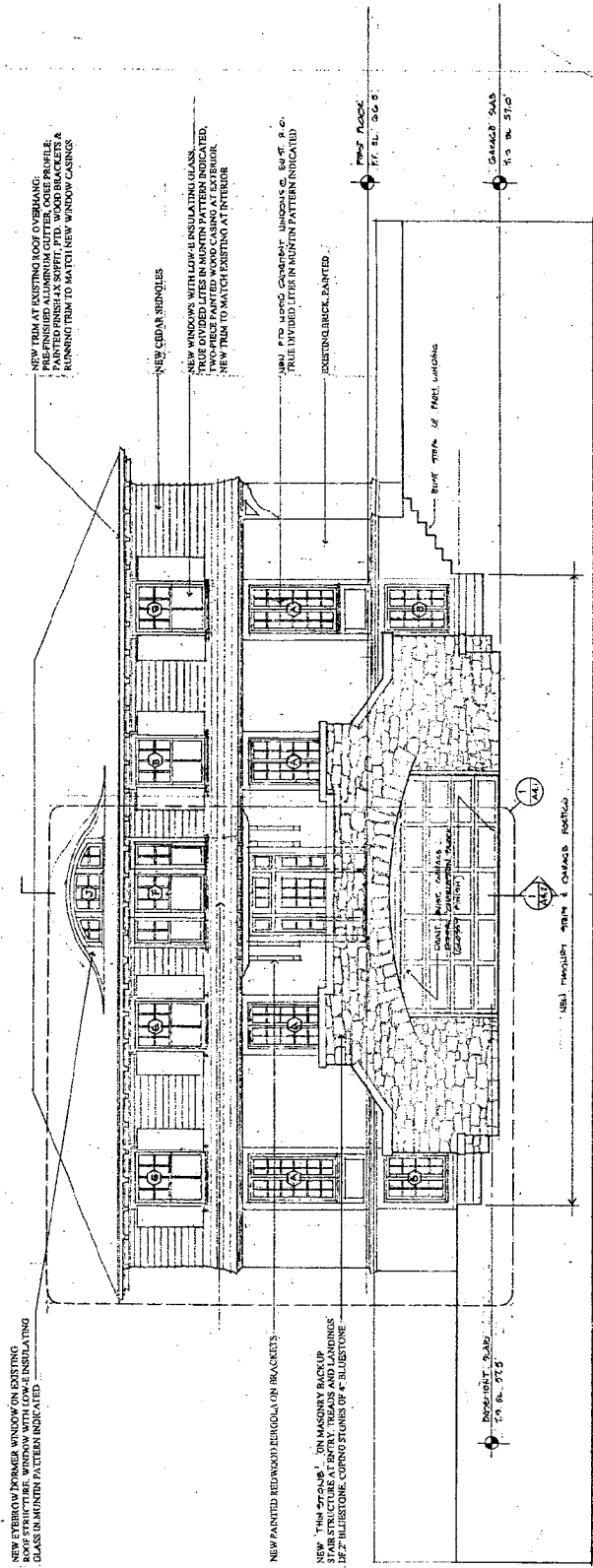
FREDERICK TAYLOR, AIA
 1433 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

Design 4604

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

TITLE: SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"
 DATE: 4.6.04

A3.1



SOUTH ELEVATION

MARCH 29, 2004



1
A4.1
DETAIL ELEVATION @ SOUTH
3/4" = 1'-0"

A4.1

TITLE:
DETAIL ELEVATION @ SOUTH

SCALE: AS NOTED DATE: 4.6.04

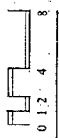
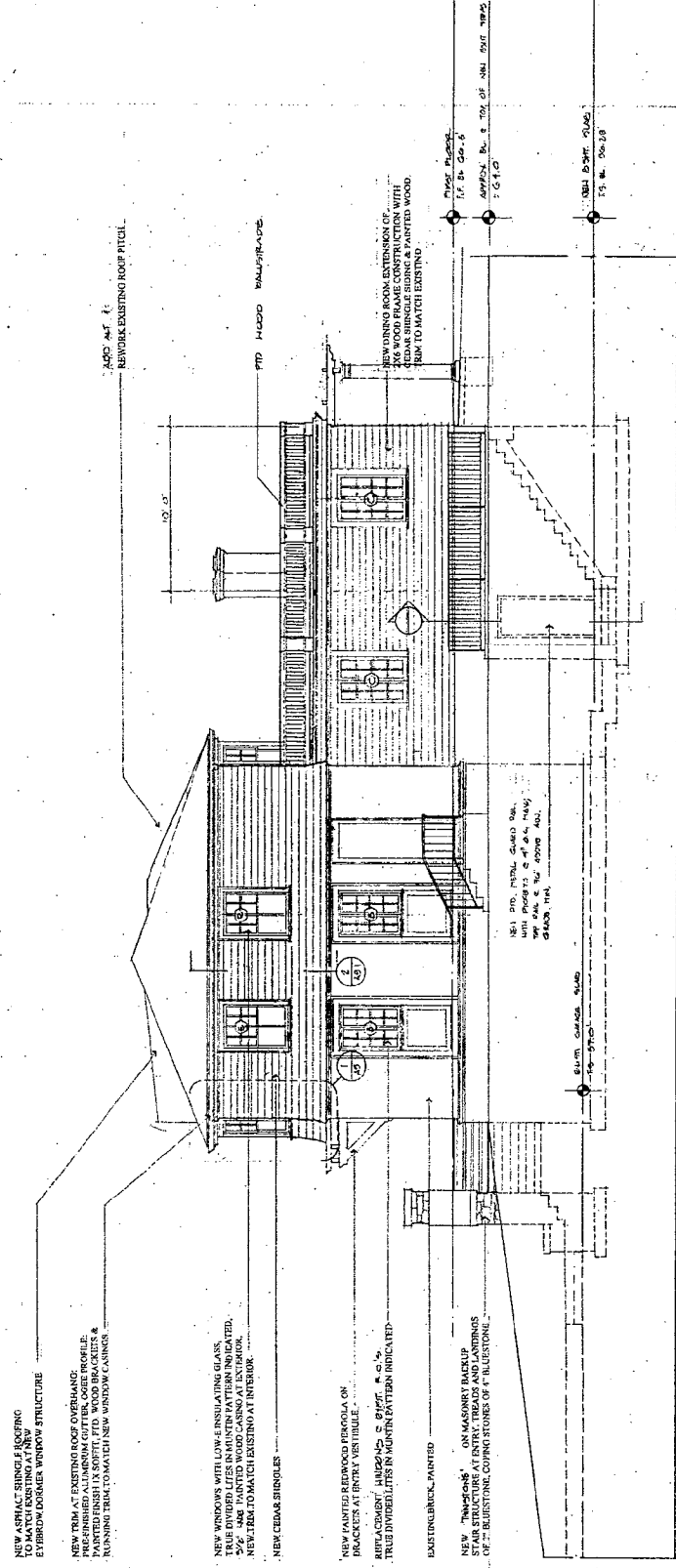
SPIKELL RESIDENCE
25 OXFORD STREET
CHEVY CHASE, MARYLAND 20815

DESIGN 4604

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1433 OTIS STREET NE
WASHINGTON DC, 20017
(202) 635-8087



Design 4/04



EAST ELEVATION

MARCH 29, 2004

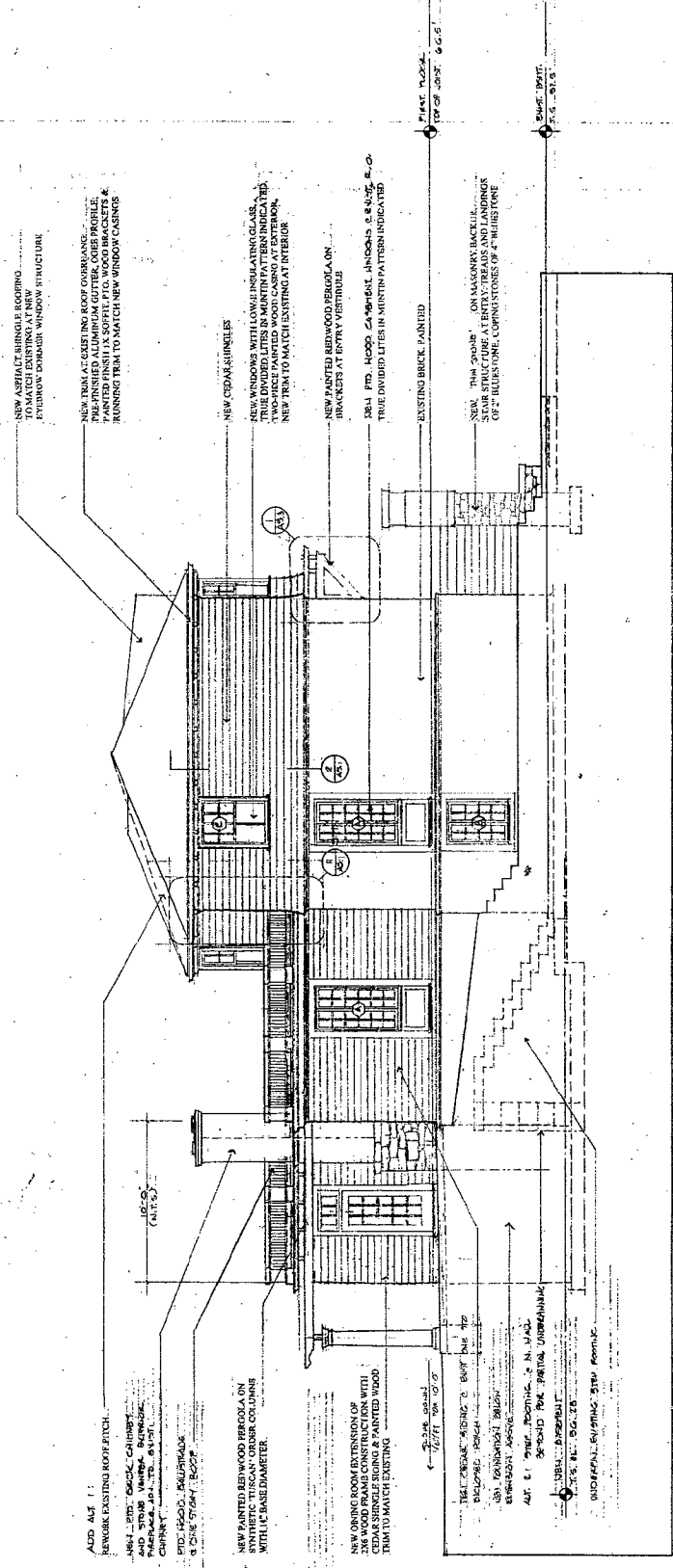
FREDERICK TAYLOR, AIA
 1433 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

TITLE: WEST ELEVATION
 SCALE: 1/8" = 1'-0"
 DATE: 4/6/04

A3.4

4004

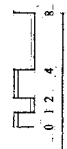
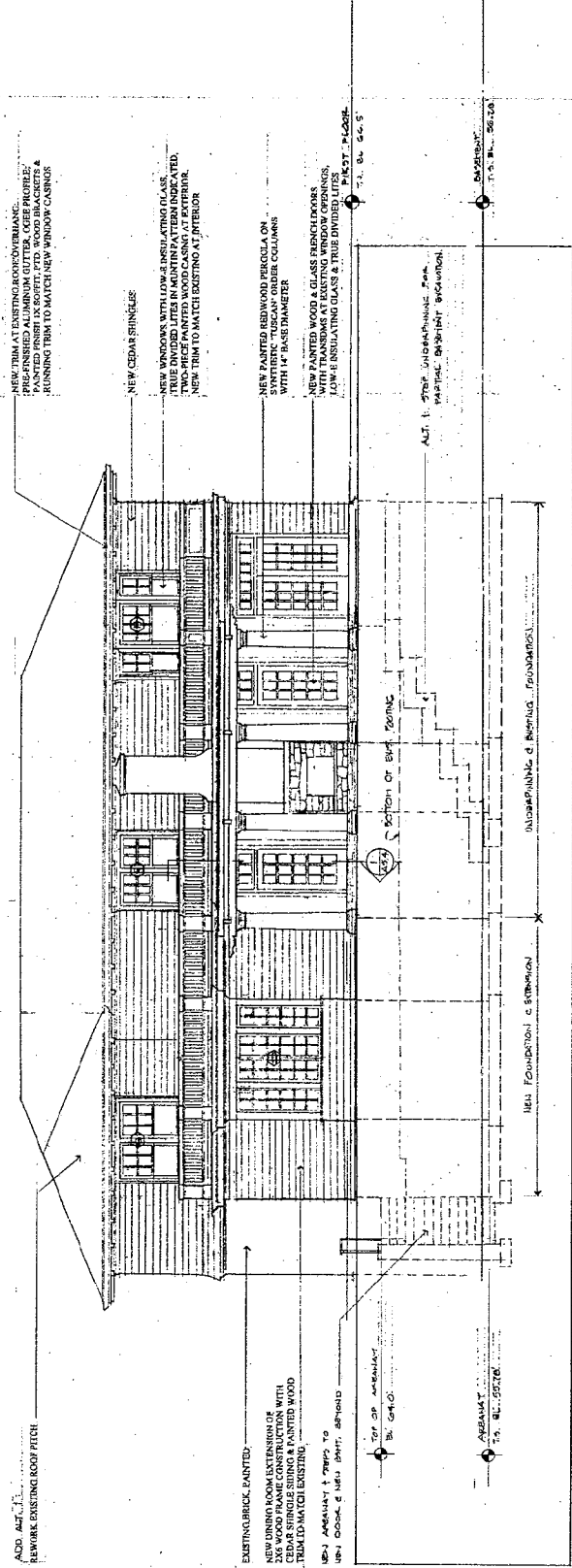


WEST ELEVATION

MARCH 29, 2004

(13)

DRG# 44-04



NORTH ELEVATION

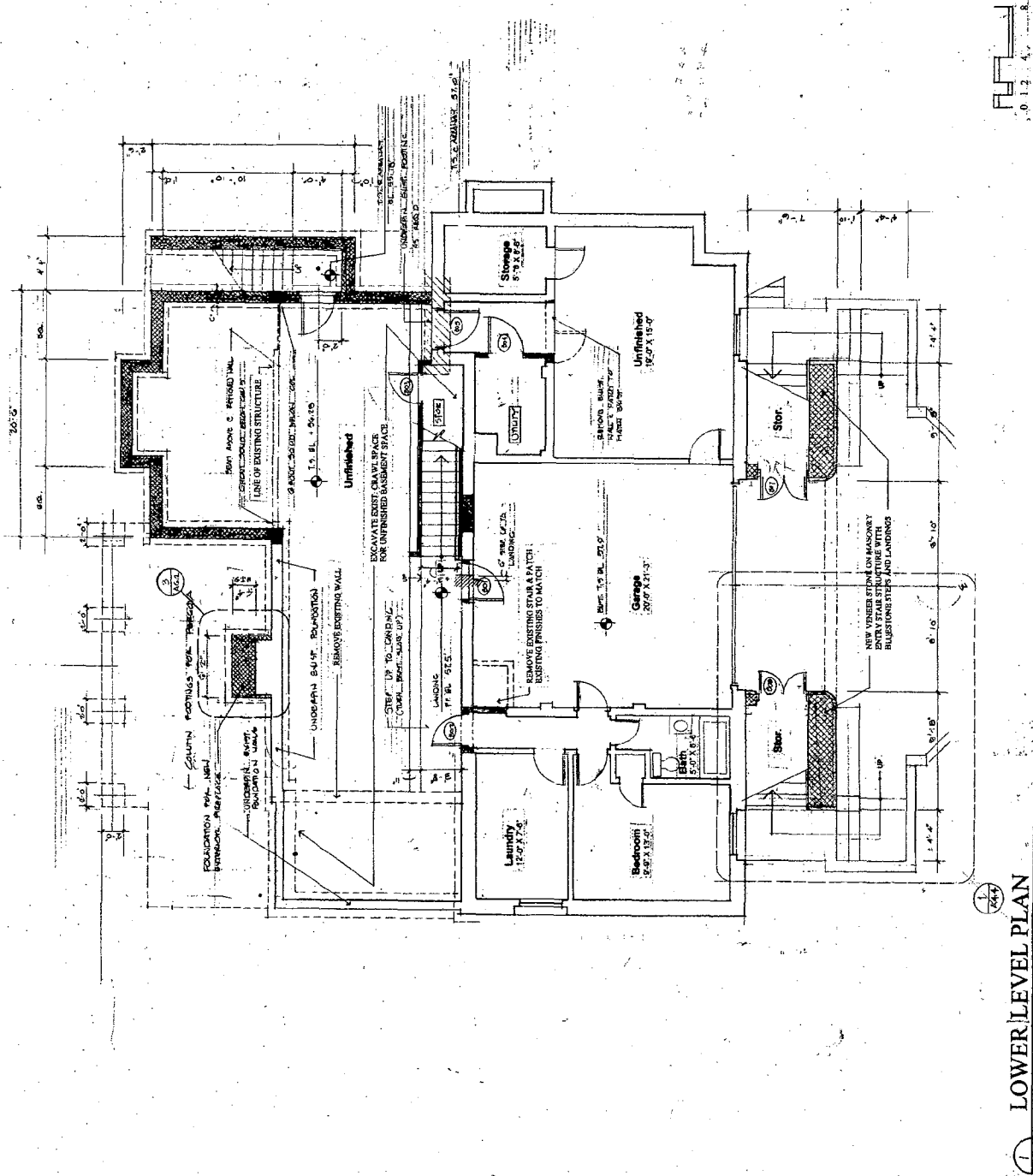
MARCH 29, 2004

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 1433 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

TITLE: Lower Level Plan, A11
 SCALE: DATE:

A2.C



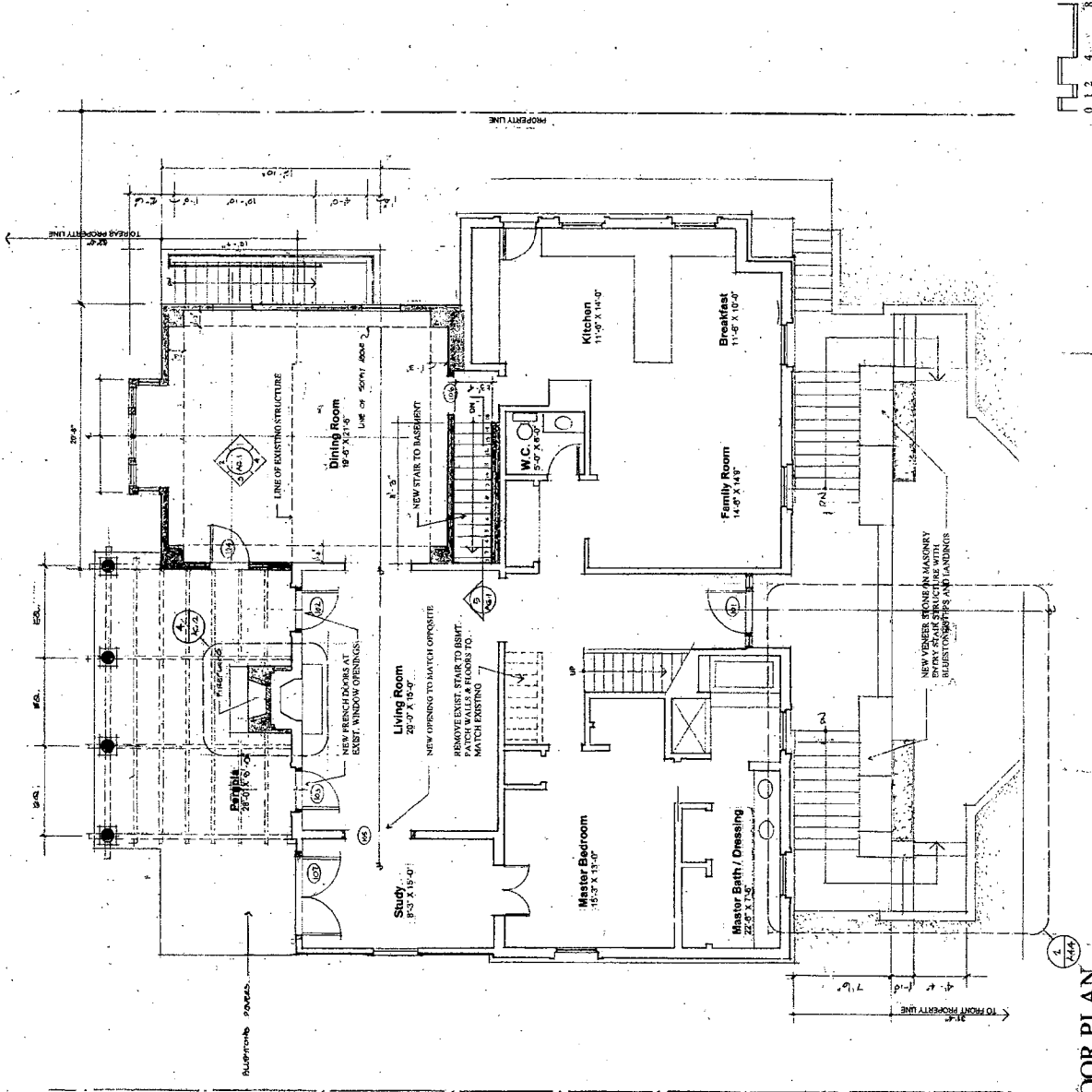
1 LOWER LEVEL PLAN
 1/4" = 1'-0"

FREDRICK TAYLOR, AIA
 1433 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

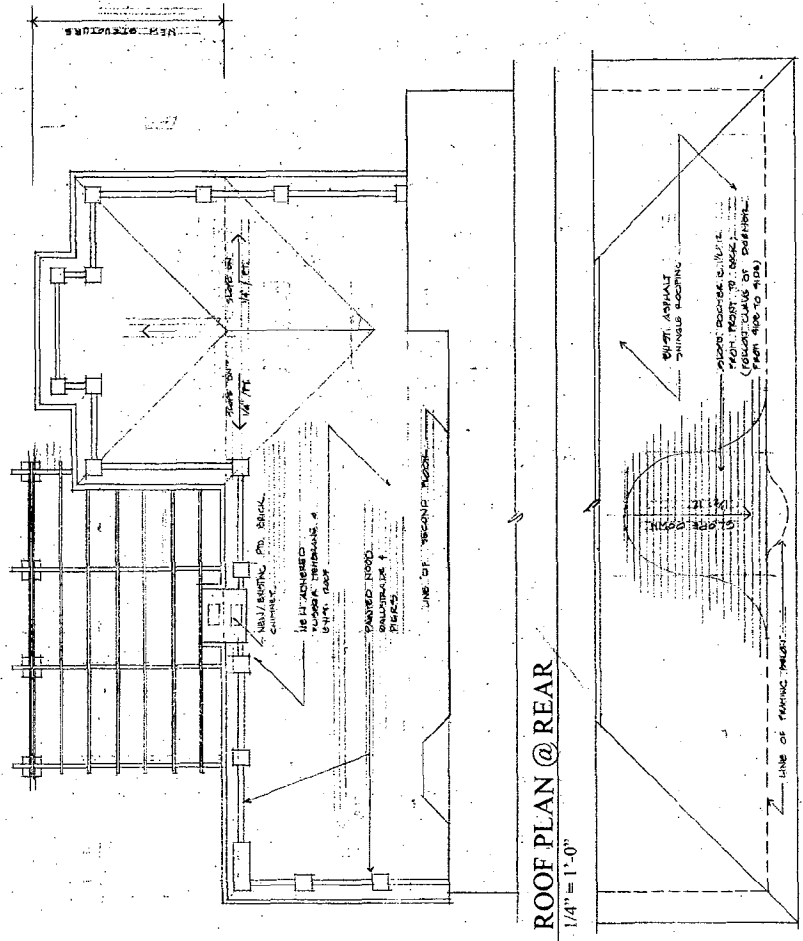
TITLE: FIRST FLOOR PLAN
 SCALE: DATE: 4.6.04
 AS NOTED

A2.1



1 FIRST FLOOR PLAN
 421 1/4" = 1'-0"

16



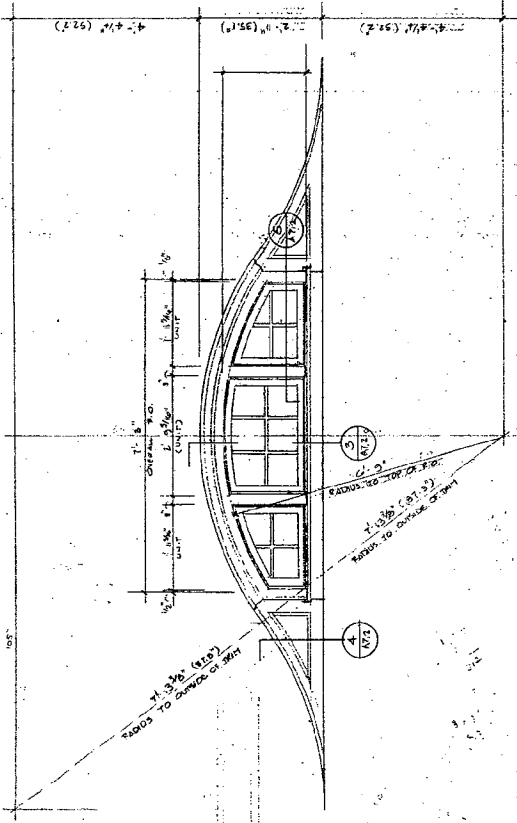
1
A2.2
ROOF PLAN @ REAR
1/4" = 1'-0"

2
A2.3
ROOF PLAN @ FRONT
1/4" = 1'-0"

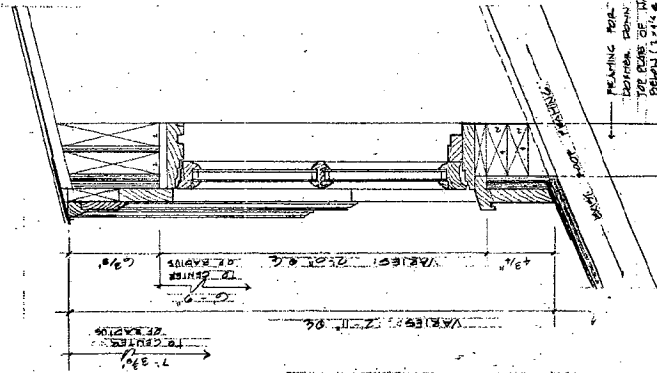
SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

FREDERICK TAYLOR, AIA
 1433 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

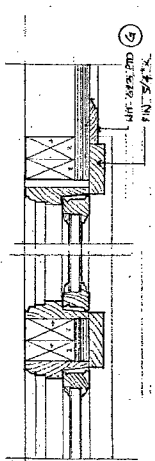
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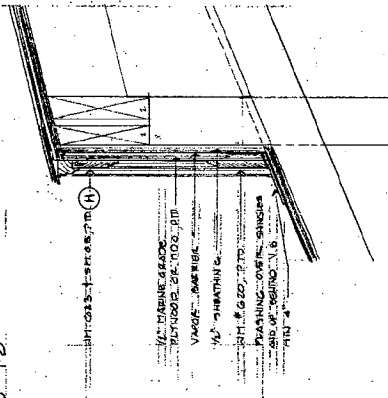
2. PORTIER - INDOOR ELEVATION (TYPE J)
 N12 5'-11 1/2"



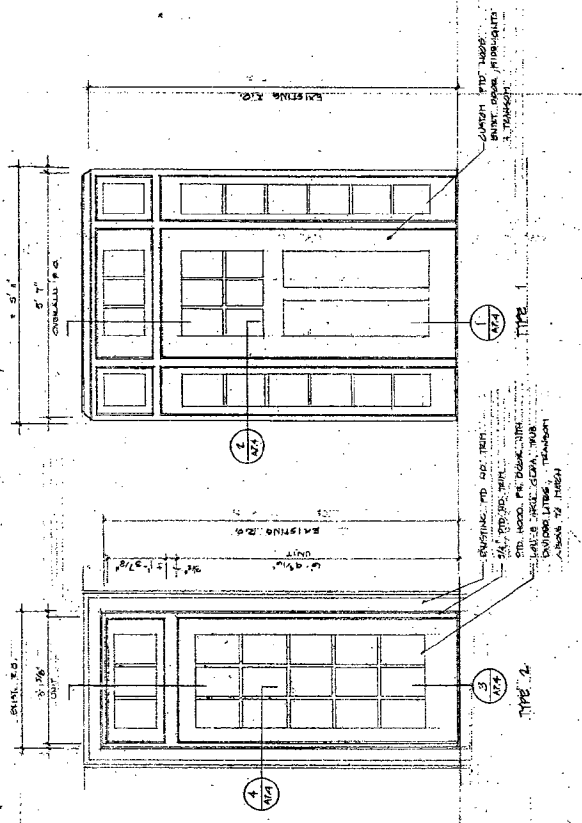
3. DETAIL SECTION 3 - DOOR/IE (TYPE J)
 N12 5'-11 1/2"



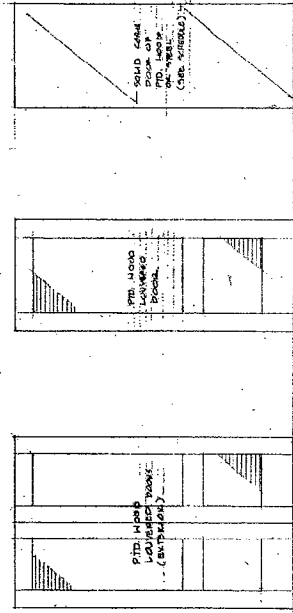
4. PLAN DETAIL 2 - PORTIER (TYPE J)
 N12 5'-11 1/2"



4. DETAIL SECTION 2 - PORTIER
 N12 5'-11 1/2"



TYPE 3
 TYPE 4
 TYPE 5

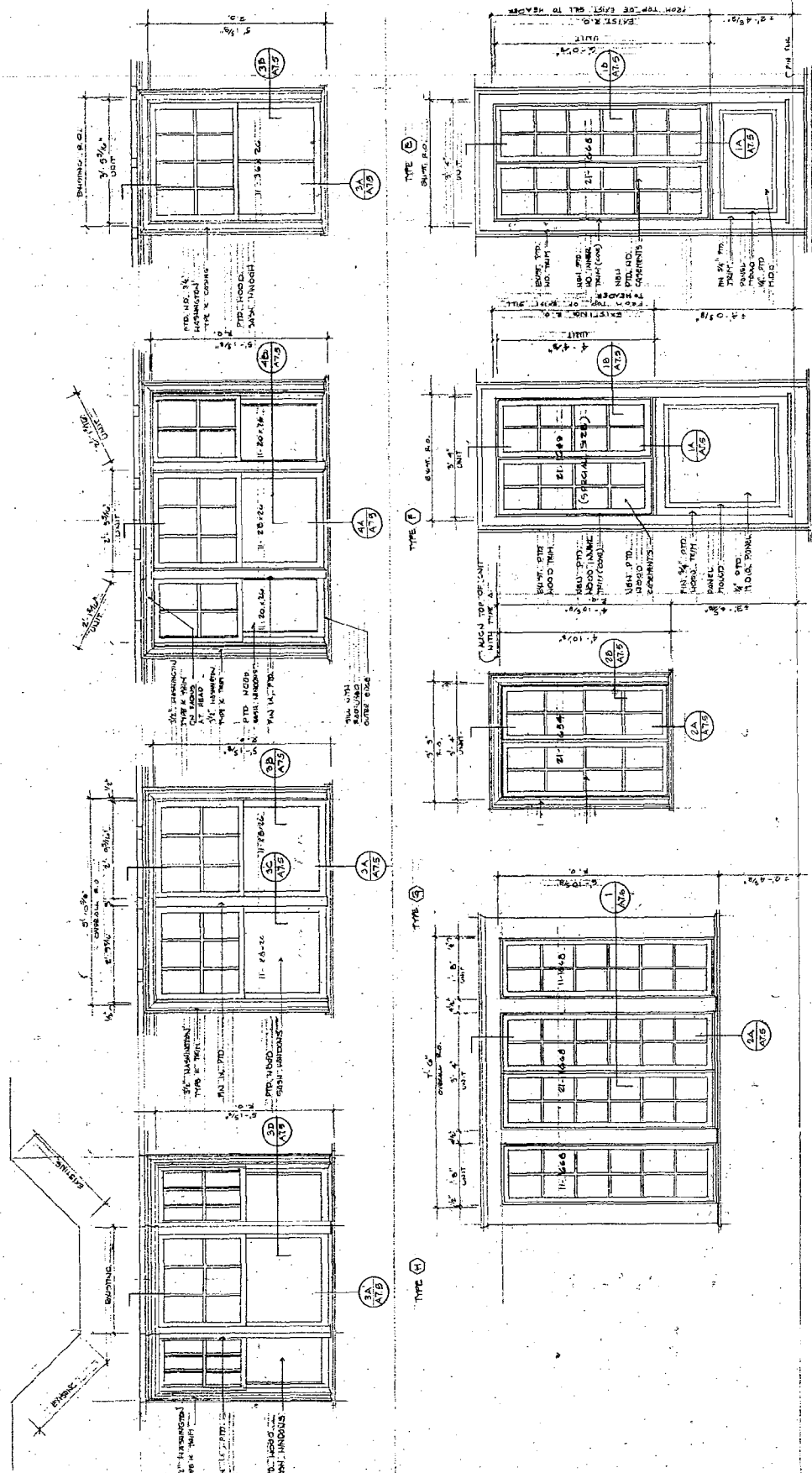


DOOR TYPES
 3/4" = 1'-0"

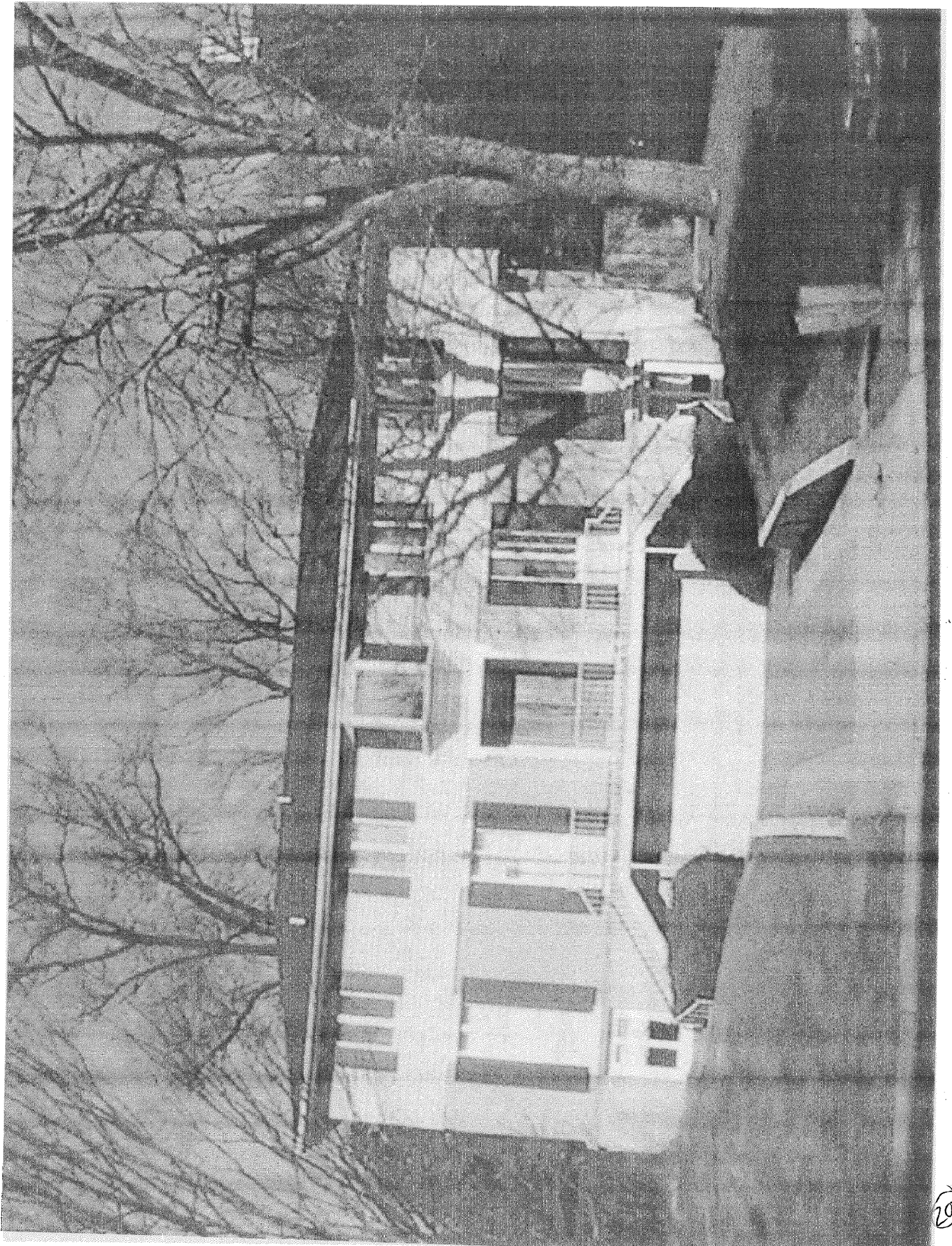
SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

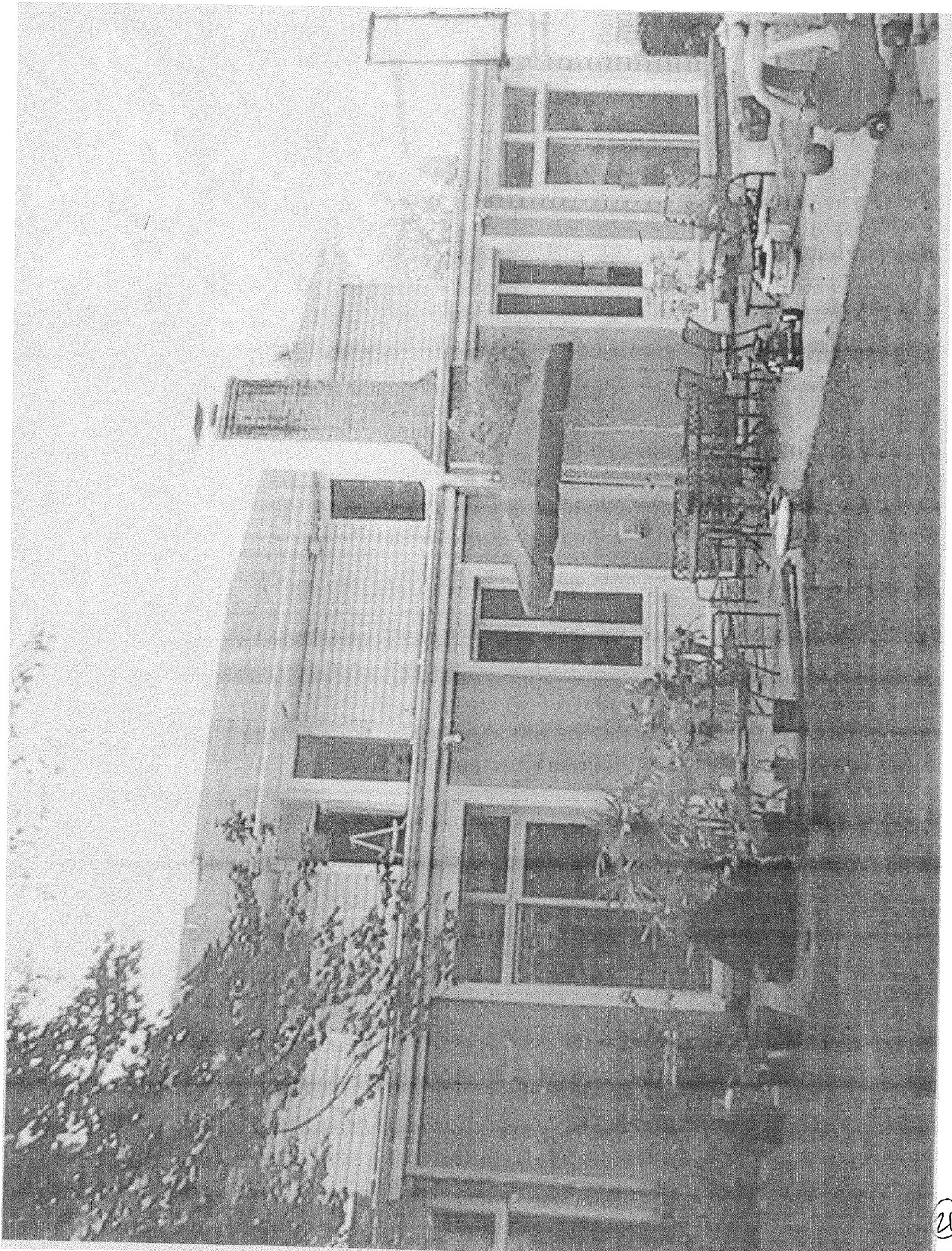
FREDERICK TAYLOR, AIA
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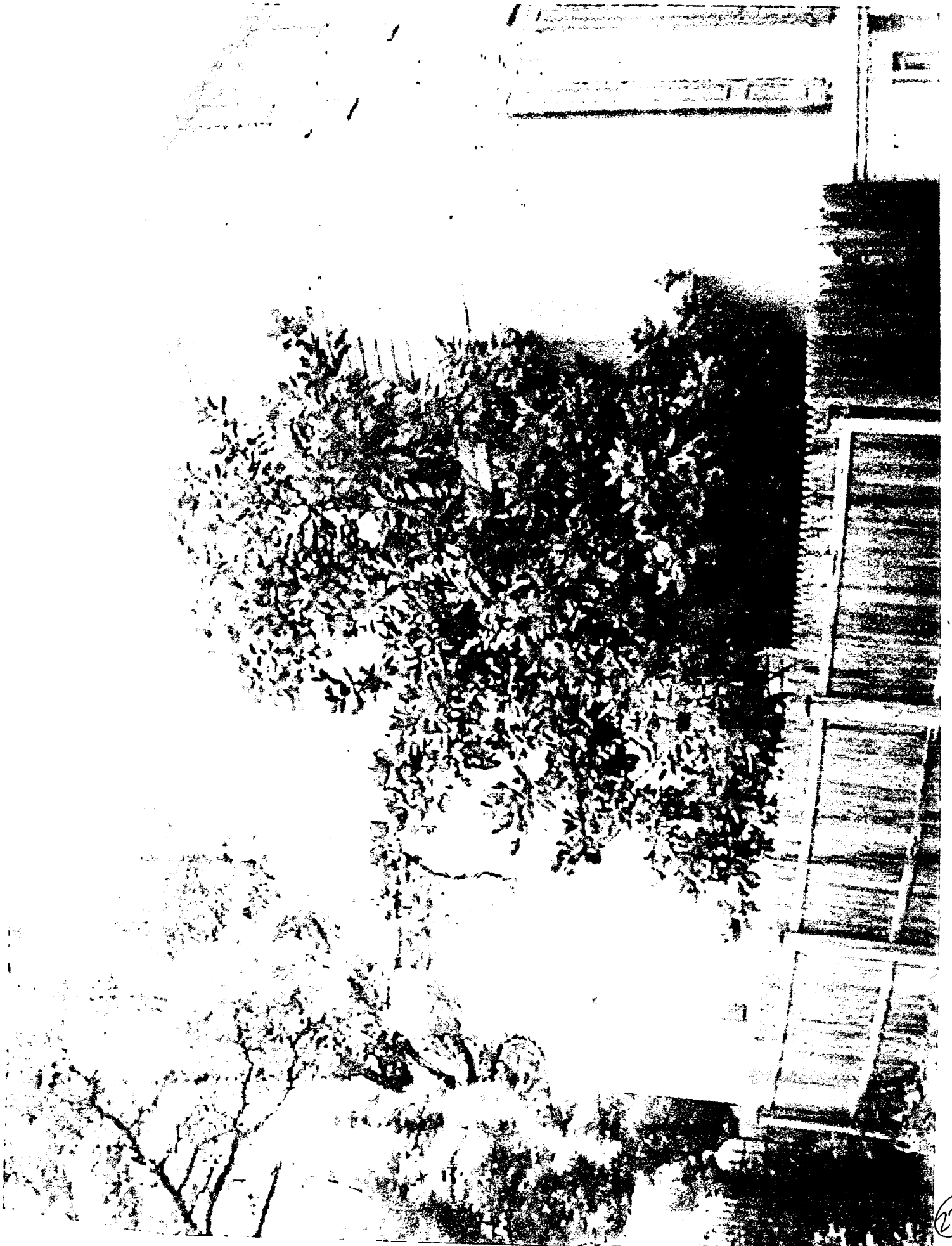
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 SCALE: _____
 DATE: _____

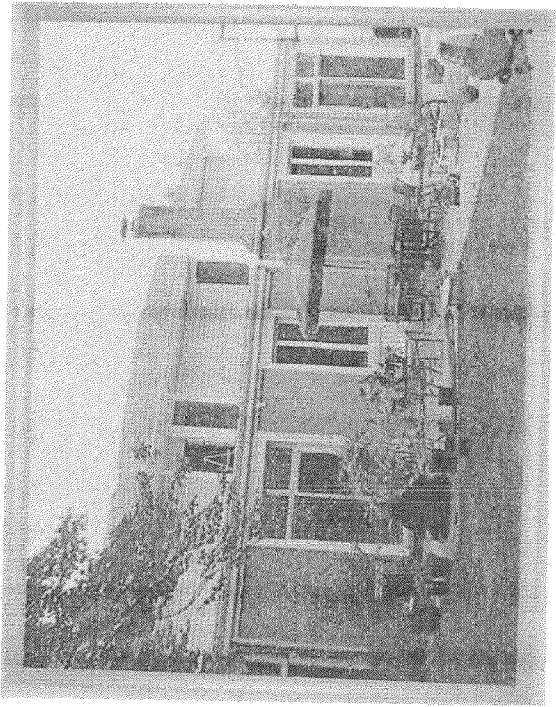
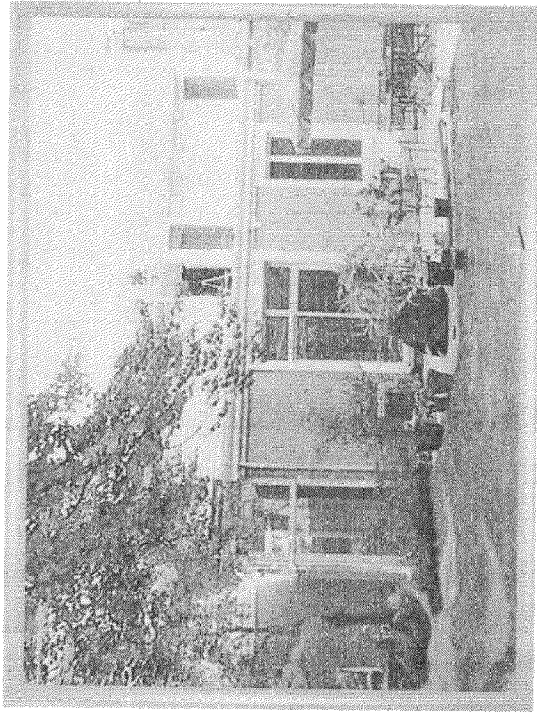


WINDOW TYPES
 A7.3 - 3/4" = 1'-0"

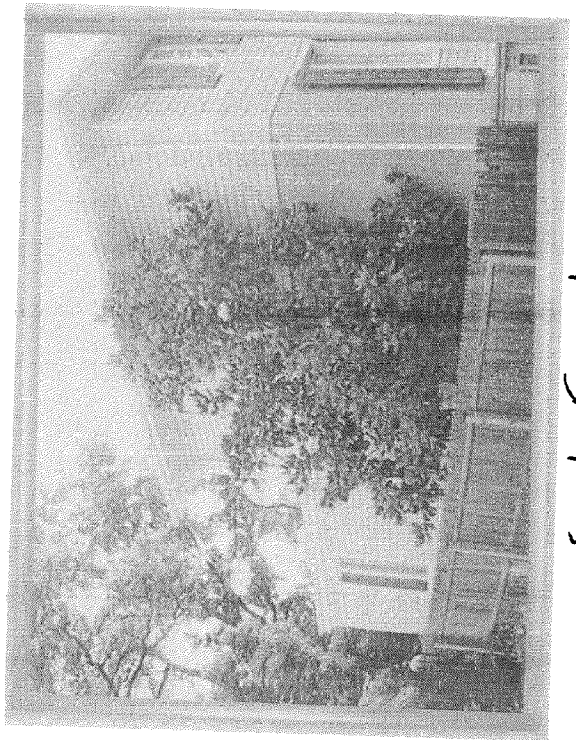






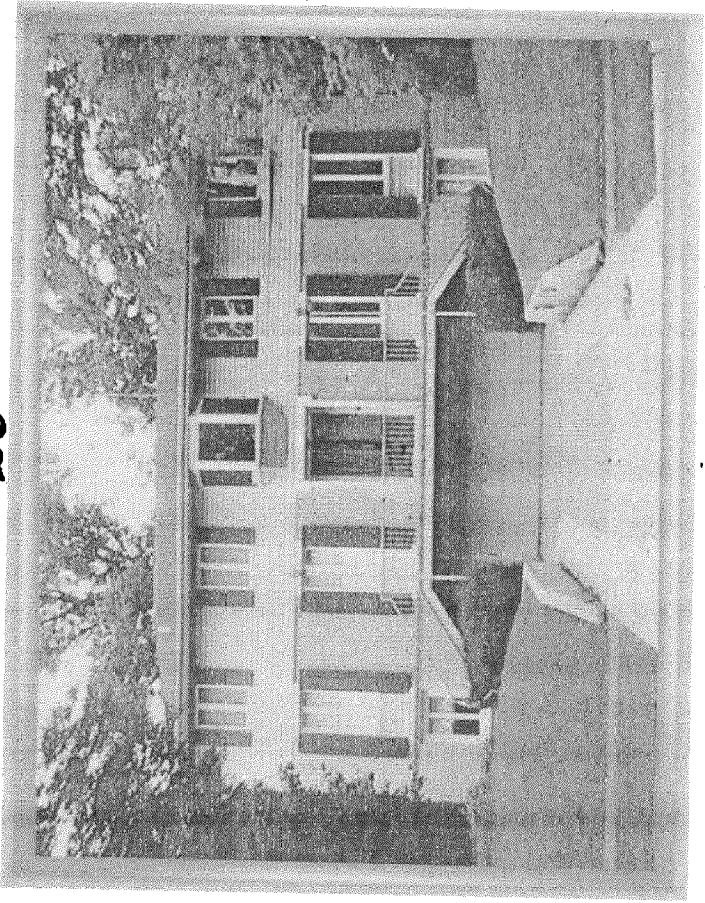


rear



East facade

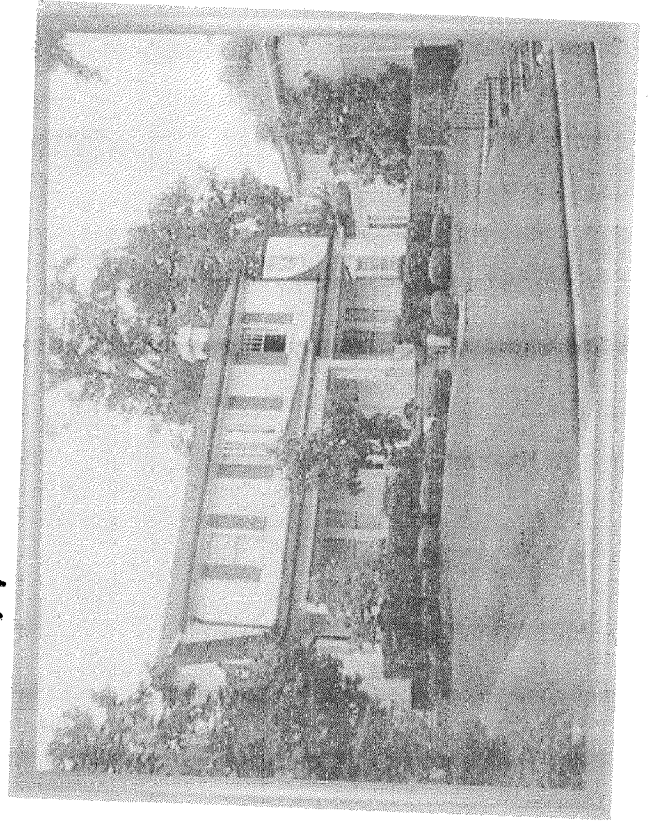
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31

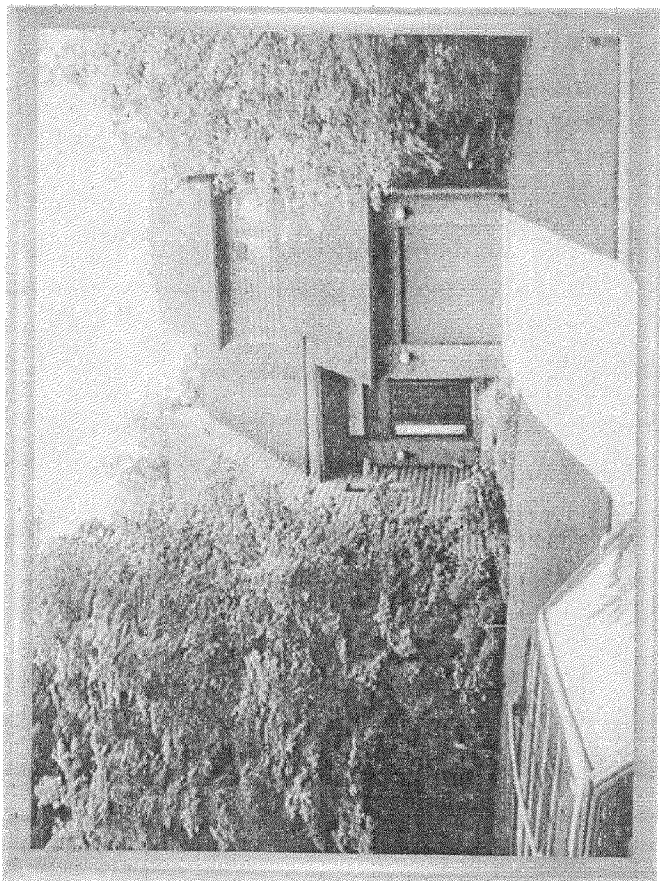


17

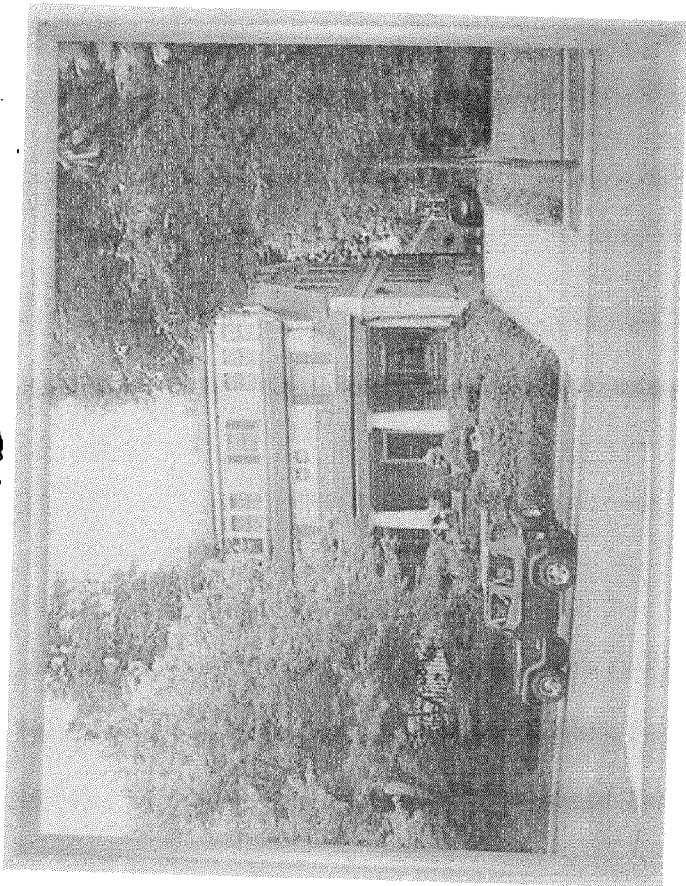


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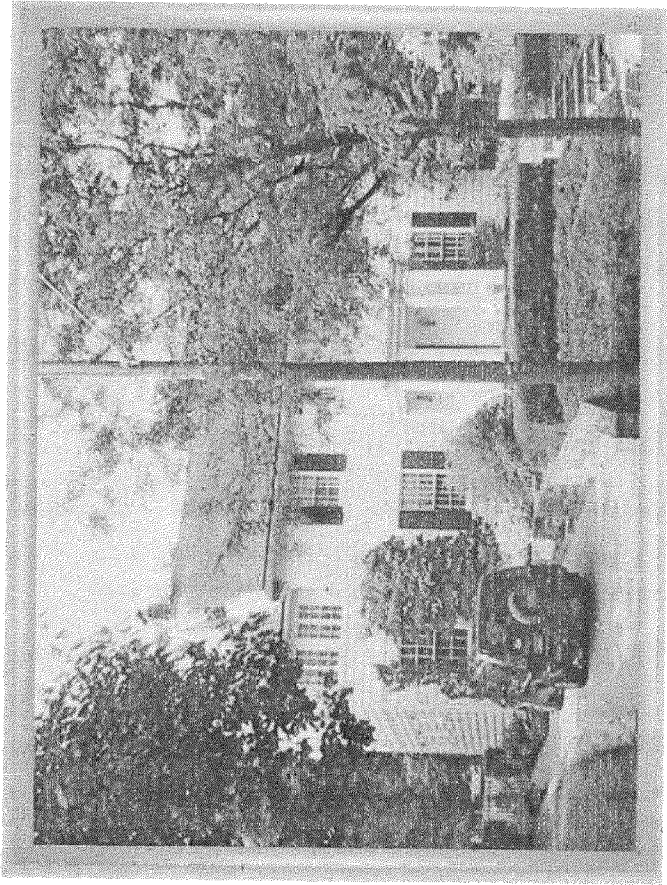
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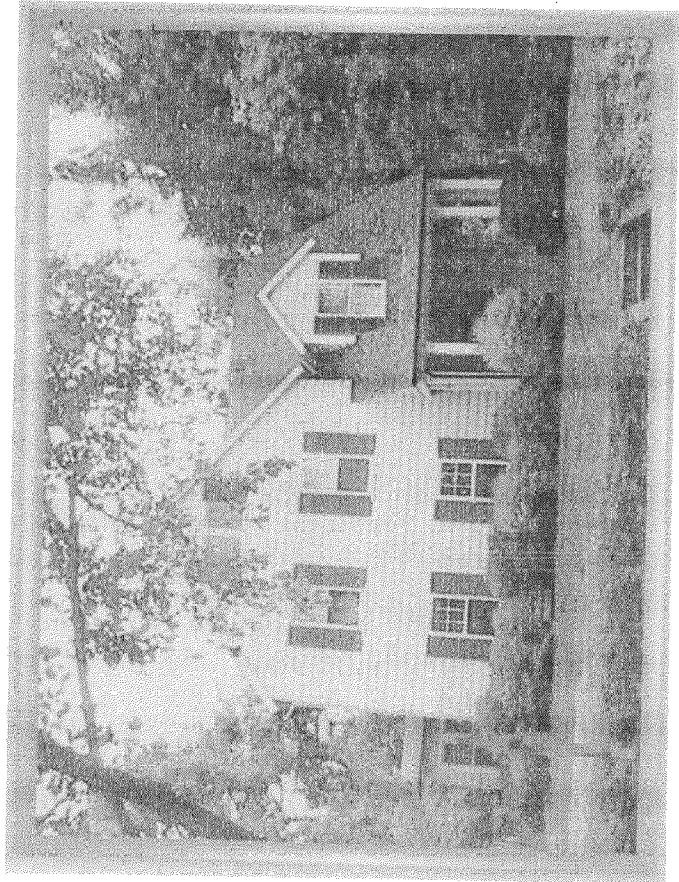
12



14



33



26

ADDITION AND RENOVATIONS
SPIKELL RESIDENCE
25 OXFORD STREET
CHEVY CHASE, MARYLAND 20815

June 25, 2004

OUTLINE SPECIFICATION

GENERAL NOTES:

All work shall be in accordance with all applicable portions of the UBC as adopted by the State of Maryland, and all other applicable codes and ordinances as adopted by the local jurisdiction having authority. The work shall comply with the interpretations of the local building official. If the interpretation of the local official is at variance with these documents, inform the architect prior to construction. Nothing in these specifications shall be construed as permitting installation of any material or use of any installation method not in conformance with accepted industry standards for safety or quality. All products shall be installed in strict accordance with manufacturer's printed instructions. Contractor shall be responsible for all means, methods, and for maintaining all required and appropriate job-site safety measures.

EXISTING CONDITIONS

1. Carefully examine the site to verify existing conditions. Extra costs will not be approved for failure to understand the existing conditions or due to discrepancies between assumed actual conditions.
2. Do not scale drawings. Verify all existing dimensions. Details not specifically shown shall be of the same nature as of similar conditions.

PROJECT DESCRIPTION

The project is located at 25 Oxford Street, Chevy Chase, Maryland, 20815. The project consists of a one story plus basement addition of wood frame construction on a masonry foundation, a new open pergola with an exterior fireplace, installation of a new stair from the basement level to the first floor, excavation of existing crawlspace and underpinning of existing adjacent foundations to create new un-finished basement space under the existing structure, as well as the replacement of existing windows, siding, trim, and existing front steps. The addition will increase the conditioned area of the structure by approximately 200 SF. The addition will enlarge an existing dining room. Exterior finishes will be painted wood, cedar shingles, and stone.

DIVISION 0 - CONTRACT REQUIREMENTS

This section shall include the General Conditions of the Contract which shall be based on the AIA General Conditions contained in AIA form A201, dated 1997

The Architect as referred to in this document is Frederick E. Taylor, AIA, 1433 Otis Street NE, Washington, DC 20017.

The Owner as referred to in this document is Mr. and Mrs. Armond Spikell, 25 Oxford Street, Chevy Chase, MD 20815

ALTERNATES

Alternate 1: Excavate part of existing crawl space as shown on sheet A2.0-alternate in lieu of complete excavation.

Alternate 2: Omit painted redwood balustrade from one-story flat roof at rear elevation

Alternate 3: Omit pergola

Alternate 4: Use stone in lieu of 'thinstone' at front steps.

DIVISION 1 - GENERAL REQUIREMENTS

DEMOLITION:

The General Contractor shall furnish all labor, equipment, and materials required to complete all demolition work of the existing elements as indicated on the drawings.

The Contractor shall provide, erect, and maintain all bracing, shoring, lights, barricades, warning signs, and guards as necessary for the protection of adjacent parts of the existing building and site, employees of the Owner, and the public.

Any parts of existing construction which are to remain and which are damaged during demolition and preparatory work or new construction work on the project shall be patched to match existing surfaces.

EARTH WORK AND SITE GRADING:

Excavation and backfilling will be in accordance with the drawings. All backfill will be compacted in accordance with applicable standard codes, and all earth requirements will be acquired and/or disposed off site.

SOIL TREATMENT:

Provide poisoning of soil under all areas around foundation walls, piers, and crawl space.

Use an emulsible concentrate insecticide for dilution with water, specially formulated to prevent infestation by termites. Provide a working solution of one of the following chemical elements and concentrations:

Chlordane	1.0% in water emulsion
Aldrin	0.5% in water emulsion
Dieldrin	0.5% in water emulsion

Chlordane and Heptachlor 0.5% chlordane plus 0.25% Heptachlor in water emulsion

Prior to soil poisoning, verify with the appropriate local authority having jurisdiction that the proposed soil poisoning conforms to all applicable environmental protection statutes.

DIVISION 3 - CONCRETE

CAST-IN-PLACE CONCRETE

Welded Wire Fabric: Shall conform to requirements of ASTM A185. Wire mesh shall be 6" X 6" 10/10 and shall be provided in all slab on grade.

Footing reinforcement: Shall be 2 #4 bars (typical).

Concrete Materials: Concrete shall be 3500 psi at 28 day cure. Portland cement shall conform to ASTM C 150, type 1. Stone and sand shall conform to ASTM C 33 and shall be provided by a single supplier.

Water Vapor Barrier: 5 mil polyethylene.

Concrete walks: Broom finish.

DIVISION 4 - MASONRY

MASONRY MORTAR

Type S Mortar: Compressive strength not less than 1800 psi at 28 days. Quantities of mortar components shall be proportioned as follows:

Portland Cement	1.0 part
Type S lime	0.5 part
Sand	4.6 parts (by volume)

Do not include any air-entraining agents

MASONRY ACCESSORIES

Single and Double Wythe Reinforcement: Shall be manufactured from cold-drawn steel wire conforming to ASTM A 82, consisting of two deformed longitudinal side rods welded at not more than 16" intervals to continuous diagonal cross-rod forming truss or ladder type design. Outside dimension of side rods shall be 2" less than the nominal thickness of the wythe. Cross rods and side rods shall be not smaller than 9 gauge mill galvanized in accordance with ASTM A 116, class 1, 0.40 oz. zinc coating. Reinforcement shall be as manufactured by Dur-o-Wall or equal. Spacing of reinforcement shall be at 16" vertically.

CONCRETE MASONRY UNITS

Concrete Masonry Units: Shall be of modular dimensions. Units shall be of the same appearance and be cured by the same process, delivered to the project site in an air dry condition. Units shall be made with light-weight aggregate conforming to ASTM C 331 and meet or exceed the following requirements:

Hollow load-bearing Concrete Masonry Units:	ASTM C 90, Grade N-1
Hollow Concrete Masonry Units:	ASTM C 129, Type I
Concrete Building Brick:	ASTM C 145, Type I, Grade U-1
Expansion Joint Material:	As Mfg. by Dur-o-Wire or equal.

The top five courses (min.) of all piers and foundation walls shall be solid brick.

BRICK

Brick: Shall be of modular dimensions. Brick shall be selected to match existing brick color and texture. Architect shall approve sample prior to purchasing. Masonry joints shall match existing joints and shall align with existing joints. Where frogs or cores would be exposed in finish work, in pierced masonry or elsewhere, bricks shall be solid. Cleaning solution shall be equal to Sure-Clean, Type 600.

STONE:

Treads, landings, & paving: 2" nominal thickness bluestone, honed finish. Risers of steps shall be formed of single pieces of stone. Landings and paving shall be random ashlar rectilinear pieces.

Coping stone: 3" nominal thickness bluestone to match paving.

Stone for walls of fireplace and (alternate 4) stair enclosure (alternate 4): shall be as selected by Architect similar to Stonyhurst Quarries "flat rough" in un-coursed roughly squared pattern. Mortar joints shall be concave (not raked).

Veneer stone: 'Thinstone'): shall be as selected by Architect similar to Stonyhurst Quarries "flat rough" in un-coursed roughly squared pattern. Mortar joints shall be concave (not raked).

DIVISION 5 - METALS

Metal Fabrication:

Structural Shapes: In accordance with ASTM A36

Shop drawings: Prior to installation provide for the architect's approval shop drawings of all structural shapes and connections. Fully dimension and describe all welds, and/or bolt connections.

DIVISION 6 - WOOD AND PLASTIC

ROUGH CARPENTRY

Lumber: All lumber shall be #2 SPF with moisture content not to exceed 19 percent. Lumber shall be sound, thoroughly seasoned, dressed to nominal finish dimensions indicated, well manufactured, and free from warping. All sills which are in contact with masonry or concrete shall be pressure-treated no. 2 SHP. Unless otherwise indicated in the Drawings, the lumber components of the structure shall be of the following nominal size and spacing:

First Floor Joists:	2X10 @ 16" o.c.
Exterior wall studs	2X6 @ 16" o.c. min.
Interior wall studs:	2X4 @ 16" o.c. min.
Ceiling joists	2X8 @ 16" o.c. min
Rafters:	2X10 @ 24" o.c. min. at new shed dormers at second floor 2X6 @ 24" o.c., typ. at porch and kitchen roof
Engineered lumber:	As manufactured by Georgia-Pacific or approved equal. Fb = 2800 E = 1,900,000

Sub-flooring: Sub-flooring shall be 3/4" tongue and groove plywood glued and screwed to the supporting floor joists.

Builder's Paper: (at plywood corners, roof, under hardwood floors and behind shingles) shall be 30# asphalt-impregnated felt.

Wall Sheathing: Shall be 1/2" exterior grade C-D plywood. Plywood corners shall be covered with builder's paper. Plywood shall be glued to framing and nailed with spiral shank nails.

Roof Sheathing: Shall be 3/4" exterior grade C-D plywood. Roof sheathing shall be screwed to framing with 1" min. penetration. Sheathing shall be dry, free of protrusions, debris, sharp edges and loose or foreign material.

FINISH CARPENTRY

Exterior Siding: Shall be single-coursed red cedar shingles with ± 6 " exposure. Shingles shall be installed only over 30# asphalt-impregnated felt, not tyvek or similar vapor barriers. Nails shall be corrosion-resistant type such as hot-dipped galvanized, bright or colored aluminum-alloy. Common wire nails and electro-galvanized nails shall not be used.

Quality:	No. 1, Blue Label
Length:	18" (perfections)
Exposure	± 6 "

Exterior wood trim: Shall be made in sizes and shapes indicated on the Drawings of clear or better pine. All pieces shall be solid (not finger jointed).

Pergola, and arbor @ entry: Shall be made in sizes and shapes indicated on Drawings of clear or better redwood.

Balustrade rails, & piers: Shall be framed in pressure-treated lumber. Painted finish wood at piers and rails shall be made in sizes and shapes indicated on Drawings of clear or better redwood.

Pergola columns: Shall be painted synthetic material as manufactured by Chadsworth, Dixie-Pacific or approved equal. Columns shall be 14" base diameter, 'Tuscan' order.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

WATERPROOFING AND DAMP-PROOFING

Air infiltration barrier: Provide 30# asphalt-impregnated felt as manufactured by GAF, Byrd, or Equal.

Roofing felt: Shall be 30# inorganic asphalt-saturated felt. Rolls shall be 36" wide, and shall conform to ASTM D 250.

Masonry damp-proofing (below grade): shall be emulsion-type fiber-reinforced damp-proofing, trowel grade, and shall conform to ASTM D-1227.

Protection board & filter fabric:

BUILDING INSULATION

Install all building insulation in strict accordance with manufacturer's printed instructions.

Ceiling Insulation: Shall be 11" fiberglass batts (R-38). Vapor barrier shall be turned to inside and shall be rated at not more than 1 perm.

Wall Insulation: Shall be 5-1/2" (r-19) foil-faced fiberglass batt insulation. Vapor barrier shall be turned to inside and shall be rated at not more than 1 perm.

Floor: Shall be 9" fiberglass batts (R-30).

Rigid Insulation: Shall be 2" thick non-absorptive polystyrene as manufactured by Firestone, Celotex, or approved equal.

ASPHALT ROOFING AND ASSOCIATED COMPONENTS

Shingles: Shall be 20 year fiberglass roofing shingles by GAF, Byrd, or Equal. Install roofing in strict accordance with manufacturer's printed instructions. Color of shingles shall be as selected to match existing roof.

Roofing Felt: Shall be 30# inorganic felt asphalt-saturated. Rolls shall be 36" wide, and shall conform to ASTM D 250.

Gutters: Shall be ogee profile pre-finished aluminum to match existing.

ADHERED RUBBER ROOFING MEMBRANE

Adhered Rubber Roofing: Shall be "Sure-Seal" fully adhered Membrane of .060 inch (1.5 mm) thickness ("Design A") by Carlisle Syntec Corporation, Carlisle PA. Membrane shall be installed in strict accordance with manufacturer's printed instructions.

Continuous drip edge flashing or 26 gage stainless steel shall be provided at all perimeter edges (per Carlisle detail FB-1-B). Continuous regletted counter-flashing shall be provided at juncture of new roof and existing masonry wall (per Carlisle details U-9-C and U-12). Full height flashing shall be provided at all plumbing vents and other roof penetrations (per Carlisle detail U-14-A).

FLASHING AND SHEET METAL

All metal cap and counter- flashing shall be 16 ounce copper. Aluminum flashing shall not be accepted.

All fabric thru-wall flashing shall be "Cop-R-Tex Duplex" by Wasco/York or equal.

CAULKING AND SEALANT

Provide a one-part butyl exterior and around interior of all doors and windows.

Interior sealant shall be acrylic latex to fill all cracks and voids in the construction.

Sealant shall be installed only after priming is completed. Un-primed wood shall not be caulked.

DIVISION 8 - DOORS AND WINDOWS

INTERIOR WOOD DOORS: Shall be painted wood panel-style doors 1-3/8" thick and shall match existing doors in style as closely as possible from standard products.

WINDOWS AND GLAZED EXTERIOR DOORS:

Windows shall be double-hung or casement type primed wood as manufactured by Weathershield. Windows shall have low-e argon-filled insulating glass and true-divided lites in pattern indicated on window elevations. Exterior trim shall be primed wood of dimensions indicated on drawings. Glazing within 18" of floor level shall be tempered.

French doors shall be primed wood as manufactured by Weathershield. Glazing shall have low-e argon-filled insulating glass and true-divided lites in pattern indicated on window elevations. Hardware shall be manufacturer's standard in polished brass finish. Glazing shall be tempered. Exterior trim shall be primed wood of dimensions and profiles indicated on drawings.

GLASS: shall conform to ASTM C1048 (tempered).

DIVISION 9 - FINISHES

GYP SUM DRYWALL:

Gypsum drywall shall be Type X (fire-rated) tapered-edge 1/2" thick throughout conforming to ASTM C 36 and as manufactured by USG or equal. Tape shall be "Perf-a-tape" by USG or equal. Compound for embedding fill coat application shall be "Perf-a-tape" Joint Compound by USG or equal. All gypsum board shall be skim-coated with compound to form first finish coat. Trim shall be zinc or vinyl. All corners shall receive corner bead.

Comply with applicable portions of ASTM 3-840, "Application & Finishing of Gypsum Board" and as follows: Provide smooth trowel finish suitable for painting. Screw (do not nail) gypsum boards to framing. Allow sufficient time for green framing lumber to stabilize, and correct or replace any warped, twisted, or cracked lumber prior to installing gypsum board. Return one year after completion to re-point and touch up paint any cracks or screw pops.

WOOD FLOORING

Shall be random length 25/32" tongue-and-groove strip flooring of width to match existing. Install over 15# flooring felt and 3/4" min. sub-flooring. Sand and finish with three coats of water based clear satin urethane sealer; machine rub to burnish between coats. Cut the first coat for best penetration. Finish shall match existing flooring adjacent (in dining and living room).

Species: Red or White Oak, plain sawn (match existing).

PAINTING::

Provide painting for new areas as follows: All exterior brick, wood, metal, and trim, interior rooms (including walls, trim, doors, etc.) Colors shall be as selected by Owner. Paint shall be as manufactured by Devoe, Glidden, PPG, Sherwin-Williams, Pratt & Lambert or approved equal. Paint in accordance with the following schedule:

Gypsum Wallboard:

Spot prime all cemented and taped joints with Fast-Dri Latex wall primer. Paint type listed is Devoe for quality standard:

One (1) coat	latex Wall Primer # 50801
Two (2) coats	Velour Alkyd Eggshell Enamel #23XX

Wood (interior and exterior):

One (1) coat	Alkyd Primer # 1102
Two (2) coats	Mirrolac Alkyd gloss or Semi-gloss Enamel #70XX (match existing finish of interior trim)

All areas to be painted shall be filled, sanded, cleaned, and primed in preparation for finish painting.

DIVISION 10 - SPECIALTIES (NOT USED)

DIVISION 11 - EQUIPMENT

DIVISION 12 - FURNISHINGS (NOT USED)

DIVISION 13 - SPECIAL CONSTRUCTION (NO USED)

DIVISION 14 - CONVEYING SYSTEMS (NOT USED)

DIVISION 15 - MECHANICAL

PLUMBING

HEATING AND AIR CONDITIONING

Existing heating system is a gas-fired furnace serving a forced air delivery system. Existing cooling system is a two-zone system.

Contractor shall install complete heating and air conditioning systems properly sized for the additional heating and cooling loads of the new structure. All ductwork shall be hard (metal) duct wrapped with insulation. Supply and return diffusers shall be extruded aluminum. No soffits other than those indicated in drawings shall be added to accommodate ductwork. Coordinate ductwork and register locations with architect as required.

DIVISION 16 - ELECTRICAL

Install all wiring, outlets, light fixtures and other electrical work indicated on drawings in compliance with all applicable state and local codes and the current edition of the National Electrical Code. All fixture, switches, receptacles, housings, and frame-in kits shall bear the UL label. All permits shall be obtained and paid for by and all work shall be performed by a licensed electrical subcontractor. No work shall be covered until it has been approved by the Electrical Inspector.

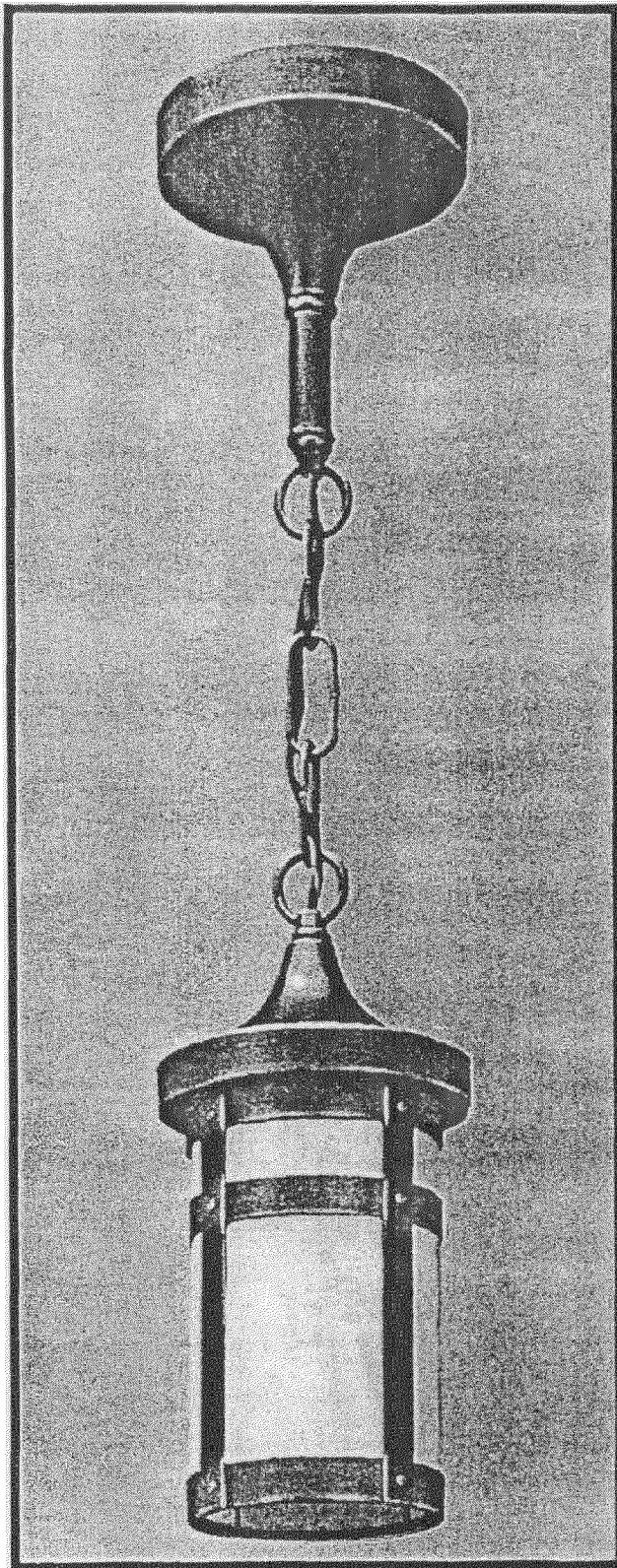
Existing service is ____ amp. Contractor shall verify the adequacy of the existing service for new circuits or provide heavy-up to accommodate new loads if required.

Provide power and wiring to all fixtures and equipment shown or specified and to all outlets indicated on drawings.

Switches, Receptacles, and Cover Plates shall be white (not ivory) in color. Switches shall be toggle type, silent mercury by Lutron or approved equal. All new receptacles shall be located at 15" AFF except where indicated otherwise on drawings. All outlets above kitchen counters and at other wet locations including all basement convenience outlets shall be GFI type as required by code.

Electrical Fixtures shall be as indicated in Electrical Fixture Schedule on Sheet E-0.

END OF OUTLINE SPECIFICATION



Columbia C303

Choose from:

12 finishes

6 types art glass

Specifications	
Item #	C303
Diameter	5"
Standard Length	22"
Minimum Length	17"
Ceiling Canopy	5"
Finish Shown	Matte Antique Brass
Art Glass Shown	Caramel-and-White Art Glass
Wattage (incandescent)	100
Sockets (incandescent)	1
UL Location	damp

Price As Shown	
Base Total	\$206.00
Grand Total	\$206.00

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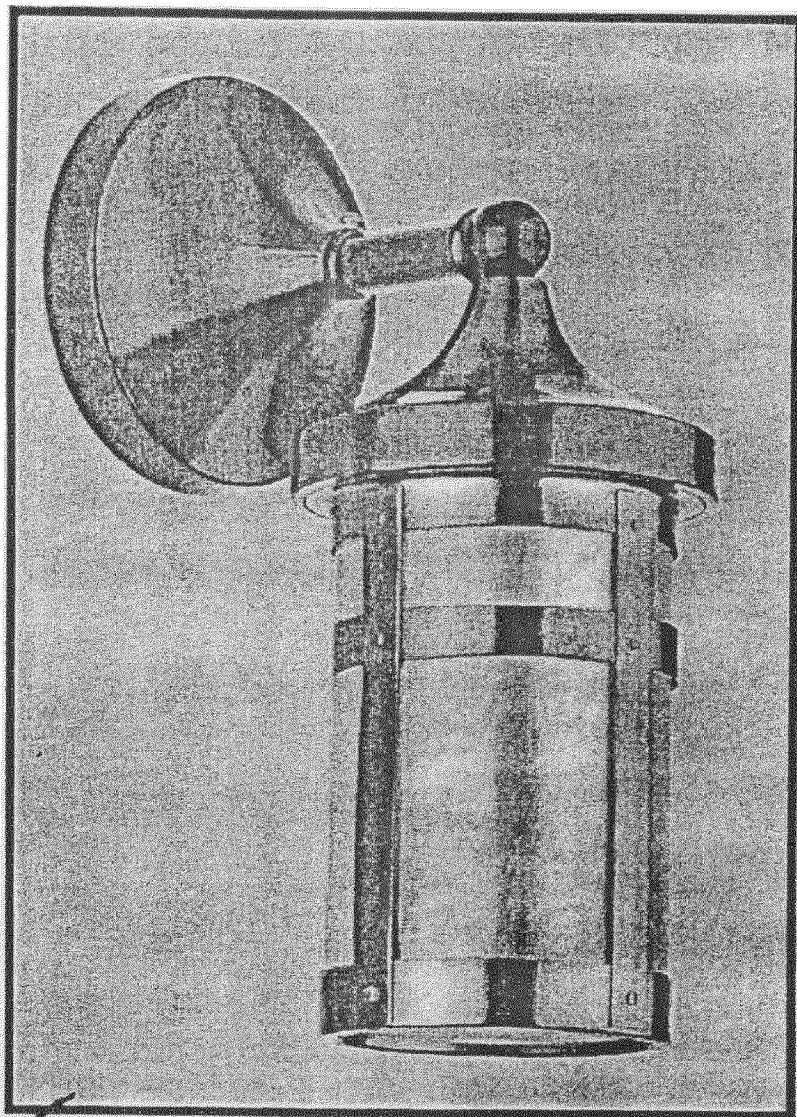

 AT FRONT
 ENTRY VESTIBULE

Riverton W929

Choose from:

12 finishes

7 types art glass



Specifications

Item #	W929
Width	5"
Height	14"
Projection	9"
Wall Canopy	5"
Finish Shown	Old Brass
Art Glass Shown	Gold-White
Wattage (incandescent)	60
Sockets (incandescent)	1
Orientation	install as shown
UL Location	wet

Price As Shown

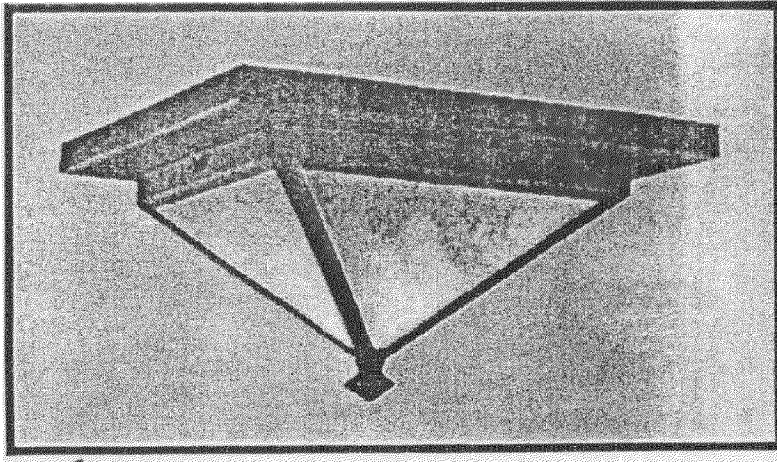
Base Total	\$179.00
Grand Total	\$179.00

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Beside doors to pergola,
 above doors to storage
 below front steps, and
 beside new basement door

Baxter C346



Choose from:
 12 finishes
 6 types art glass

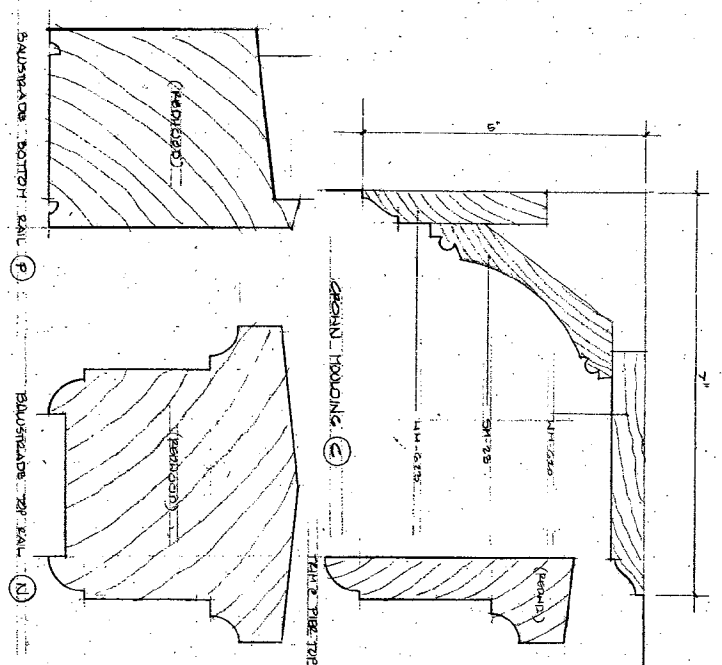
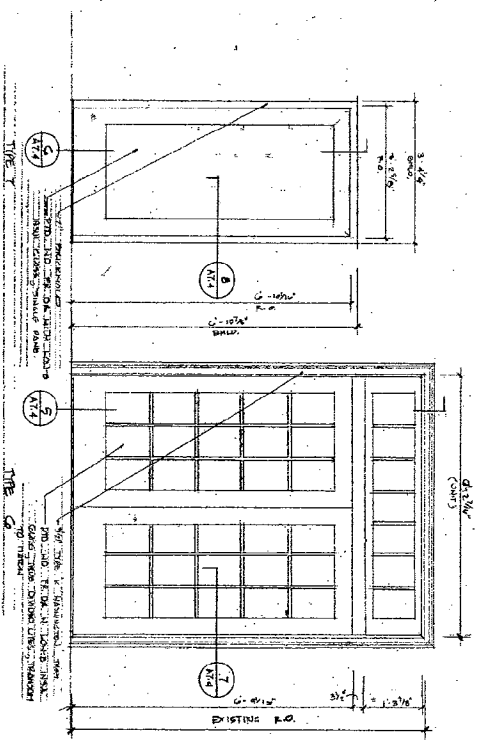
Specifications	
Item #	C346
Height	6"
Diameter	17"
Ceiling Canopy	12 x 12"
Finish Shown	Matte Antique Brass
Art Glass Shown	Caramel-and-White Art Glass
Wattage (incandescent)	60
Sockets (incandescent)	1
UL Location	damp

*@ ceiling below
 new front entry landing*

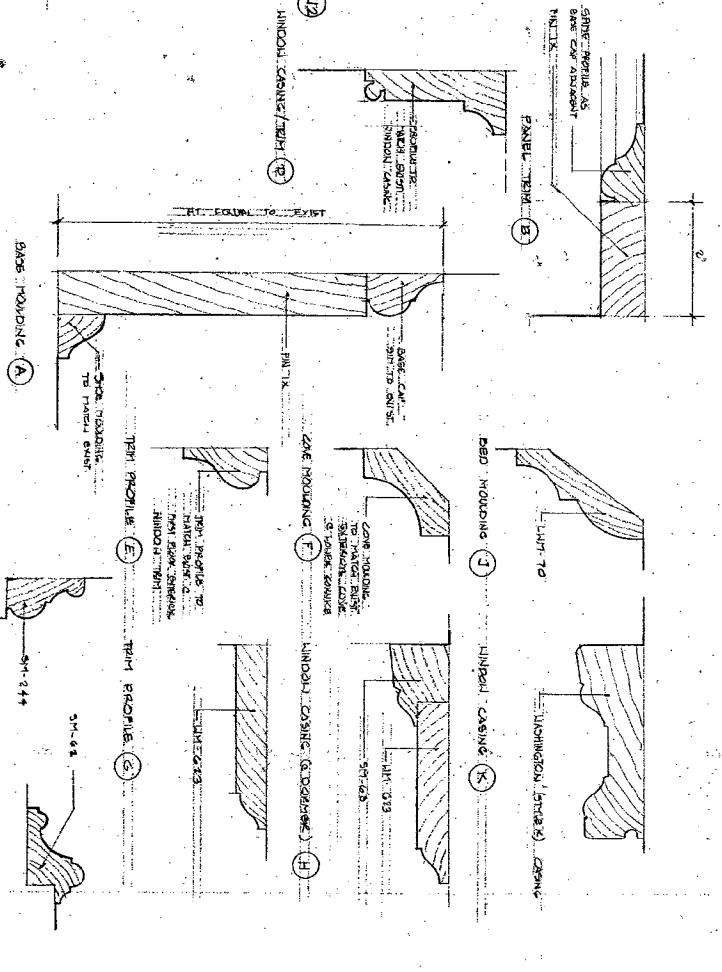
Price As Shown	
Base Total	\$203.00
Grand Total	\$203.00

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1. DOOR TYPES (SEE SHIT A72 FOR TYPES 1-5)
 ATT 3/4" TYP



2. TRIM TYPES
 ATT FULL SIZE



#	LOCATION	SIZE	THICK	TYPE	DESCRIPTION	ID	DATE	HARDW	NOTES
101	ENTRANCE	3'0\"/>							

A7.1

TITLE:
 SCALE: DATE:

SPIKELL RESIDENCE
 25 OXFORD STREET
 CHEVY CHASE, MARYLAND 20815

FREDERICK TAYLOR, AIA
 1433 OTIS STREET NE
 WASHINGTON DC, 20017
 (202) 635-8087

ADDITION AND RENOVATIONS

**SPIKELL RESIDENCE
25 OXFORD STREET
CHEVY CHASE, MARYLAND 20815**

June 25, 2004

OUTLINE SPECIFICATION

GENERAL NOTES:

All work shall be in accordance with all applicable portions of the UBC as adopted by the State of Maryland, and all other applicable codes and ordinances as adopted by the local jurisdiction having authority. The work shall comply with the interpretations of the local building official. If the interpretation of the local official is at variance with these documents, inform the architect prior to construction. Nothing in these specifications shall be construed as permitting installation of any material or use of any installation method not in conformance with accepted industry standards for safety or quality. All products shall be installed in strict accordance with manufacturer's printed instructions. Contractor shall be responsible for all means, methods, and for maintaining all required and appropriate job-site safety measures.

EXISTING CONDITIONS

1. Carefully examine the site to verify existing conditions. Extra costs will not be approved for failure to understand the existing conditions or due to discrepancies between assumed actual conditions.
2. Do not scale drawings. Verify all existing dimensions. Details not specifically shown shall be of the same nature as of similar conditions.

PROJECT DESCRIPTION

The project is located at 25 Oxford Street, Chevy Chase, Maryland, 20815. The project consists of a one story plus basement addition of wood frame construction on a masonry foundation, a new open pergola with an exterior fireplace, installation of a new stair from the basement level to the first floor, excavation of existing crawlspace and underpinning of existing adjacent foundations to create new un-finished basement space under the existing structure, as well as the replacement of existing windows, siding, trim, and existing front steps. The addition will increase the conditioned area of the structure by approximately 200 SF. The addition will enlarge an existing dining room. Exterior finishes will be painted wood, cedar shingles, and stone.

DIVISION 0 - CONTRACT REQUIREMENTS

This section shall include the General Conditions of the Contract which shall be based on the AIA General Conditions contained in AIA form A201, dated 1997

The Architect as referred to in this document is Frederick E. Taylor, AIA, 1433 Otis Street NE, Washington, DC 20017.

The Owner as referred to in this document is Mr. and Mrs. Armond Spikell, 25 Oxford Street, Chevy Chase, MD 20815

ALTERNATES

Alternate 1: Excavate part of existing crawl space as shown on sheet A2.0-alternate in lieu of complete excavation.

Alternate 2: Omit painted redwood balustrade from one-story flat roof at rear elevation

Alternate 3: Omit pergola

Alternate 4: Use stone in lieu of 'thinstone' at front steps.

DIVISION 1 - GENERAL REQUIREMENTS

DEMOLITION:

The General Contractor shall furnish all labor, equipment, and materials required to complete all demolition work of the existing elements as indicated on the drawings.

The Contractor shall provide, erect, and maintain all bracing, shoring, lights, barricades, warning signs, and guards as necessary for the protection of adjacent parts of the existing building and site, employees of the Owner, and the public.

Any parts of existing construction which are to remain and which are damaged during demolition and preparatory work or new construction work on the project shall be patched to match existing surfaces.

EARTH WORK AND SITE GRADING:

Excavation and backfilling will be in accordance with the drawings. All backfill will be compacted in accordance with applicable standard codes, and all earth requirements will be acquired and/or disposed off site.

SOIL TREATMENT:

Provide poisoning of soil under all areas around foundation walls, piers, and crawl space.

Use an emulsible concentrate insecticide for dilution with water, specially formulated to prevent infestation by termites. Provide a working solution of one of the following chemical elements and concentrations:

Chlordane	1.0% in water emulsion
Aldrin	0.5% in water emulsion
Dieldrin	0.5% in water emulsion

Chlordane and Heptachlor 0.5% chlordane plus 0.25% Heptachlor in water emulsion

Prior to soil poisoning, verify with the appropriate local authority having jurisdiction that the proposed soil poisoning conforms to all applicable environmental protection statutes.

DIVISION 3 - CONCRETE

CAST-IN-PLACE CONCRETE

Welded Wire Fabric: Shall conform to requirements of ASTM A185. Wire mesh shall be 6" X 6" 10/10 and shall be provided in all slab on grade.

Footing reinforcement: Shall be 2 #4 bars (typical).

Concrete Materials: Concrete shall be 3500 psi at 28 day cure. Portland cement shall conform to ASTM C 150, type 1. Stone and sand shall conform to ASTM C 33 and shall be provided by a single supplier.

Water Vapor Barrier: 5 mil polyethylene.

Concrete walks: Broom finish.

DIVISION 4 - MASONRY

MASONRY MORTAR

Type S Mortar: Compressive strength not less than 1800 psi at 28 days. Quantities of mortar components shall be proportioned as follows:

Portland Cement	1.0 part
Type S lime	0.5 part
Sand	4.6 parts (by volume)

Do not include any air-entraining agents

MASONRY ACCESSORIES

Single and Double Wythe Reinforcement: Shall be manufactured from cold-drawn steel wire conforming to ASTM A 82, consisting of two deformed longitudinal side rods welded at not more than 16" intervals to continuous diagonal cross-rod forming truss or ladder type design. Outside dimension of side rods shall be 2" less than the nominal thickness of the wythe. Cross rods and side rods shall be not smaller than 9 gauge mill galvanized in accordance with ASTM A 116, class 1, 0.40 oz. zinc coating. Reinforcement shall be as manufactured by Dur-o-Wall or equal. Spacing of reinforcement shall be at 16" vertically.

CONCRETE MASONRY UNITS

Concrete Masonry Units: Shall be of modular dimensions. Units shall be of the same appearance and be cured by the same process, delivered to the project site in an air dry condition. Units shall be made with light-weight aggregate conforming to ASTM C 331 and meet or exceed the following requirements:

- Hollow load-bearing Concrete Masonry Units: ASTM C 90, Grade N-1
- Hollow Concrete Masonry Units: ASTM C 129, Type I
- Concrete Building Brick: ASTM C 145, Type I, Grade U-1
- Expansion Joint Material: As Mfg. by Dur-o-Wire or equal.

The top five courses (min.) of all piers and foundation walls shall be solid brick.

BRICK

Brick: Shall be of modular dimensions. Brick shall be selected to match existing brick color and texture. Architect shall approve sample prior to purchasing. Masonry joints shall match existing joints and shall align with existing joints. Where frogs or cores would be exposed in finish work, in pierced masonry or elsewhere, bricks shall be solid. Cleaning solution shall be equal to Sure-Clean, Type 600.

STONE:

Treads, landings, & paving: 2" nominal thickness bluestone, honed finish. Risers of steps shall be formed of single pieces of stone. Landings and paving shall be random ashlar rectilinear pieces.

Coping stone: 3" nominal thickness bluestone to match paving.

Stone for walls of fireplace and (alternate 4) stair enclosure (alternate 4): shall be as selected by Architect similar to Stonyhurst Quarries "flat rough" in un-coursed roughly squared pattern. Mortar joints shall be concave (not raked).

Veneer stone: 'Thinstone': shall be as selected by Architect similar to Stonyhurst Quarries "flat rough" in un-coursed roughly squared pattern. Mortar joints shall be concave (not raked).

DIVISION 5 - METALS

Metal Fabrication:

Structural Shapes: In accordance with ASTM A36

Shop drawings: Prior to installation provide for the architect's approval shop drawings of all structural shapes and connections. Fully dimension and describe all welds, and/or bolt connections.

DIVISION 6 - WOOD AND PLASTIC

ROUGH CARPENTRY

Lumber: All lumber shall be #2 SPF with moisture content not to exceed 19 percent. Lumber shall be sound, thoroughly seasoned, dressed to nominal finish dimensions indicated, well manufactured, and free from warping. All sills which are in contact with masonry or concrete shall be pressure-treated no. 2 SHP. Unless otherwise indicated in the Drawings, the lumber components of the structure shall be of the following nominal size and spacing:

First Floor Joists:	2X10 @ 16" o.c.
Exterior wall studs	2X6 @ 16" o.c. min.
Interior wall studs:	2X4 @16" o.c. min.
Ceiling joists	2X8 @ 16" o.c. min
Rafters:	2X10 @ 24" o.c. min. at new shed dormers at second floor 2X6 @ 24" o.c., typ. at porch and kitchen roof
Engineered lumber:	As manufactured by Georgia-Pacific or approved equal. Fb = 2800 E = 1,900,000

Sub-flooring: Sub-flooring shall be 3/4" tongue and groove plywood glued and screwed to the supporting floor joists.

Builder's Paper: (at plywood corners, roof, under hardwood floors and behind shingles) shall be 30# asphalt-impregnated felt.

Wall Sheathing: Shall be 1/2" exterior grade C-D plywood. Plywood corners shall be covered with builder's paper. Plywood shall be glued to framing and nailed with spiral shank nails.

Roof Sheathing: Shall be 3/4" exterior grade C-D plywood. Roof sheathing shall be screwed to framing with 1" min. penetration. Sheathing shall be dry, free of protrusions, debris, sharp edges and loose or foreign material.

FINISH CARPENTRY

Exterior Siding: Shall be single-coursed red cedar shingles with ± 6 " exposure. Shingles shall be installed only over 30# asphalt-impregnated felt, not tyvek or similar vapor barriers. Nails shall be corrosion-resistant type such as hot-dipped galvanized, bright or colored aluminum-alloy. Common wire nails and electro-galvanized nails shall not be used.

Quality:	No. 1, Blue Label
Length:	18" (perfections)
Exposure	± 6 "

Exterior wood trim: Shall be made in sizes and shapes indicated on the Drawings of clear or better pine. All pieces shall be solid (not finger jointed).

Pergola, and arbor @ entry: Shall be made in sizes and shapes indicated on Drawings of clear or better redwood.

Balustrade rails, & piers: Shall be framed in pressure-treated lumber. Painted finish wood at piers and rails shall be made in sizes and shapes indicated on Drawings of clear or better redwood.

Pergola columns: Shall be painted synthetic material as manufactured by Chadsworth, Dixie-Pacific or approved equal. Columns shall be 14" base diameter, 'Tuscan' order.

DIVISION 7 - THERMAL AND MOISTURE PROTECTION

WATERPROOFING AND DAMP-PROOFING

Air infiltration barrier: Provide 30# asphalt-impregnated felt as manufactured by GAF, Byrd, or Equal.

Roofing felt: Shall be 30# inorganic asphalt-saturated felt. Rolls shall be 36" wide, and shall conform to ASTM D 250.

Masonry damp-proofing (below grade): shall be emulsion-type fiber-reinforced damp-proofing, trowel grade, and shall conform to ASTM D-1227.

Protection board & filter fabric:

BUILDING INSULATION

Install all building insulation in strict accordance with manufacturer's printed instructions.

Ceiling Insulation: Shall be 11" fiberglass batts (R-38). Vapor barrier shall be turned to inside and shall be rated at not more than 1 perm.

Wall Insulation: Shall be 5-1/2" (r-19) foil-faced fiberglass batt insulation. Vapor barrier shall be turned to inside and shall be rated at not more than 1 perm.

Floor: Shall be 9" fiberglass batts (R-30).

Rigid Insulation: Shall be 2" thick non-absorptive polystyrene as manufactured by Firestone, Celotex, or approved equal.

ASPHALT ROOFING AND ASSOCIATED COMPONENTS

Shingles: Shall be 20 year fiberglass roofing shingles by GAF, Byrd, or Equal. Install roofing in strict accordance with manufacturer's printed instructions. Color of shingles shall be as selected to match existing roof.

Roofing Felt: Shall be 30# inorganic felt asphalt-saturated. Rolls shall be 36" wide, and shall conform to ASTM D 250.

Gutters: Shall be ogee profile pre-finished aluminum to match existing.

ADHERED RUBBER ROOFING MEMBRANE

Adhered Rubber Roofing: Shall be "Sure-Seal" fully adhered Membrane of .060 inch (1.5 mm) thickness ("Design A") by Carlisle Syntec Corporation, Carlisle PA. Membrane shall be installed in strict accordance with manufacturer's printed instructions.

Continuous drip edge flashing or 26 gage stainless steel shall be provided at all perimeter edges (per Carlisle detail FB-1-B). Continuous regletted counter-flashing shall be provided at juncture of new roof and existing masonry wall (per Carlisle details U-9-C and U-12). Full height flashing shall be provided at all plumbing vents and other roof penetrations (per Carlisle detail U-14-A).

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All fabric thru-wall flashing shall be "Cop-R-Tex Duplex" by Wasco/York or equal.

CAULKING AND SEALANT

Provide a one-part butyl exterior and around interior of all doors and windows.

Interior sealant shall be acrylic latex to fill all cracks and voids in the construction.

Sealant shall be installed only after priming is completed. Un-primed wood shall not be caulked.

DIVISION 8 - DOORS AND WINDOWS

INTERIOR WOOD DOORS: Shall be painted wood panel-style doors 1-3/8" thick and shall match existing doors in style as closely as possible from standard products.

WINDOWS AND GLAZED EXTERIOR DOORS:

Windows shall be double-hung or casement type primed wood as manufactured by Weathershield. Windows shall have low-e argon-filled insulating glass and true-divided lites in pattern indicated on window elevations. Exterior trim shall be primed wood of dimensions indicated on drawings. Glazing within 18" of floor level shall be tempered.

French doors shall be primed wood as manufactured by Weathershield. Glazing shall have low-e argon-filled insulating glass and true-divided lites in pattern indicated on window elevations. Hardware shall be manufacturer's standard in polished brass finish. Glazing shall be tempered. Exterior trim shall be primed wood of dimensions and profiles indicated on drawings.

GLASS: shall conform to ASTM C1048 (tempered).

DIVISION 9 - FINISHES

GYPSUM DRYWALL:

Gypsum drywall shall be Type X (fire-rated) tapered-edge 1/2" thick throughout conforming to ASTM C 36 and as manufactured by USG or equal. Tape shall be "Perf-a-tape" by USG or equal. Compound for embedding fill coat application shall be "Perf-a-tape" Joint Compound by USG or equal. All gypsum board shall be skim-coated with compound to form first finish coat. Trim shall be zinc or vinyl. All corners shall receive corner bead.

Comply with applicable portions of ASTM 3-840, "Application & Finishing of Gypsum Board" and as follows: Provide smooth trowel finish suitable for painting. Screw (do not nail) gypsum boards to framing. Allow sufficient time for green framing lumber to stabilize, and correct or replace any warped, twisted, or cracked lumber prior to installing gypsum board. Return one year after completion to re-point and touch up paint any cracks or screw pops.

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Species: Red or White Oak, plain sawn (match existing).

PAINTING::

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Gypsum Wallboard:

Spot prime all cemented and taped joints with Fast-Dri Latex wall primer. Paint type listed is Devoe for quality standard:

One (1) coat	Latex Wall Primer # 50801
Two (2) coats	Velour Alkyd Eggshell Enamel #23XX

Wood (interior and exterior):

One (1) coat	Alkyd Primer # 1102
Two (2) coats	Mirrolac Alkyd gloss or Semi-gloss Enamel #70XX (match existing finish of interior trim)

All areas to be painted shall be filled, sanded, cleaned, and primed in preparation for finish painting.

DIVISION 10 - SPECIALTIES (NOT USED)

DIVISION 11 - EQUIPMENT

DIVISION 12 - FURNISHINGS (NOT USED)

DIVISION 13 - SPECIAL CONSTRUCTION (NO USED)

DIVISION 14 - CONVEYING SYSTEMS (NOT USED)

DIVISION 15 - MECHANICAL

PLUMBING

HEATING AND AIR CONDITIONING

Existing heating system is a gas-fired furnace serving a forced air delivery system. Existing cooling system is a two-zone system.

Contractor shall install complete heating and air conditioning systems properly sized for the additional heating and cooling loads of the new structure. All ductwork shall be hard (metal) duct wrapped with insulation. Supply and return diffusers shall be extruded aluminum. No soffits other than those indicated in drawings shall be added to accommodate ductwork. Coordinate ductwork and register locations with architect as required.

DIVISION 16 - ELECTRICAL

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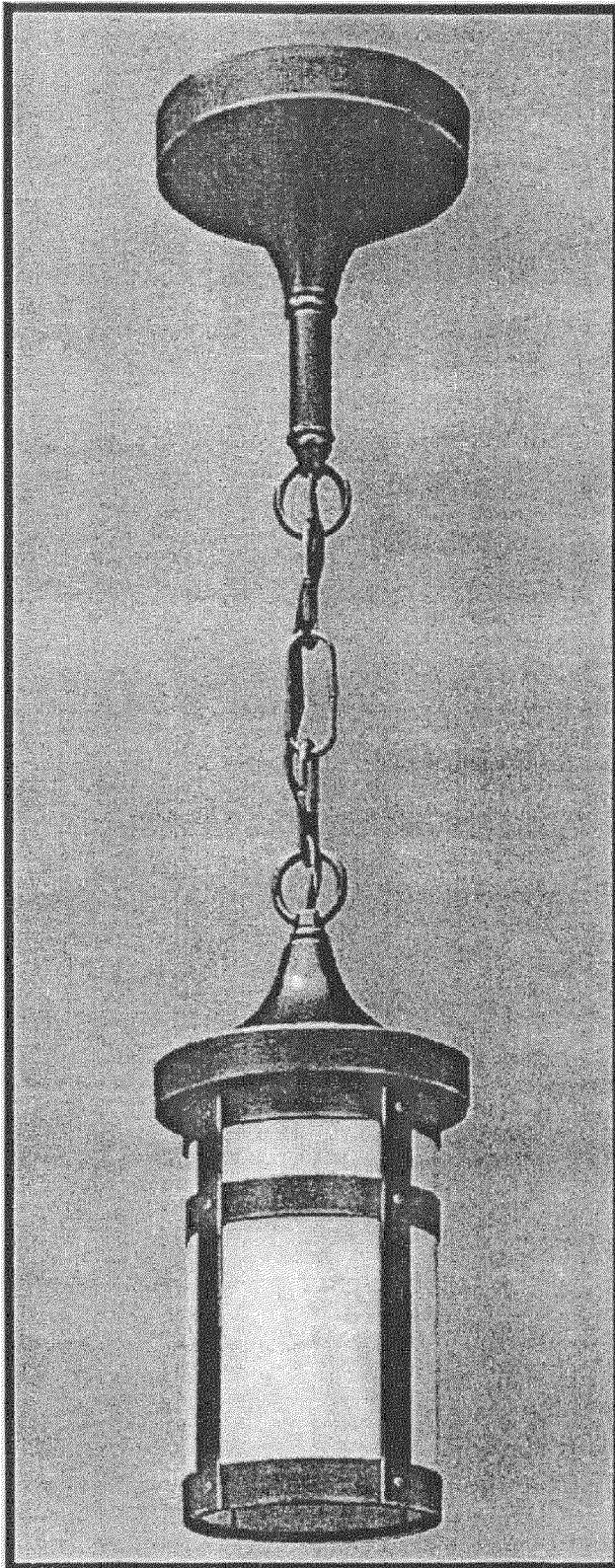
Existing service is ____ amp. Contractor shall verify the adequacy of the existing service for new circuits or provide heavy-up to accommodate new loads if required.

Provide power and wiring to all fixtures and equipment shown or specified and to all outlets indicated on drawings.

Switches, Receptacles, and Cover Plates shall be white (not ivory) in color. Switches shall be toggle type, silent mercury by Lutron or approved equal. All new receptacles shall be located at 15" AFF except where indicated otherwise on drawings. All outlets above kitchen counters and at other wet locations including all basement convenience outlets shall be GFI type as required by code.

Electrical Fixtures shall be as indicated in Electrical Fixture Schedule on Sheet E-0.

END OF OUTLINE SPECIFICATION



Columbia C303

Choose from:

12 finishes


6 types art glass

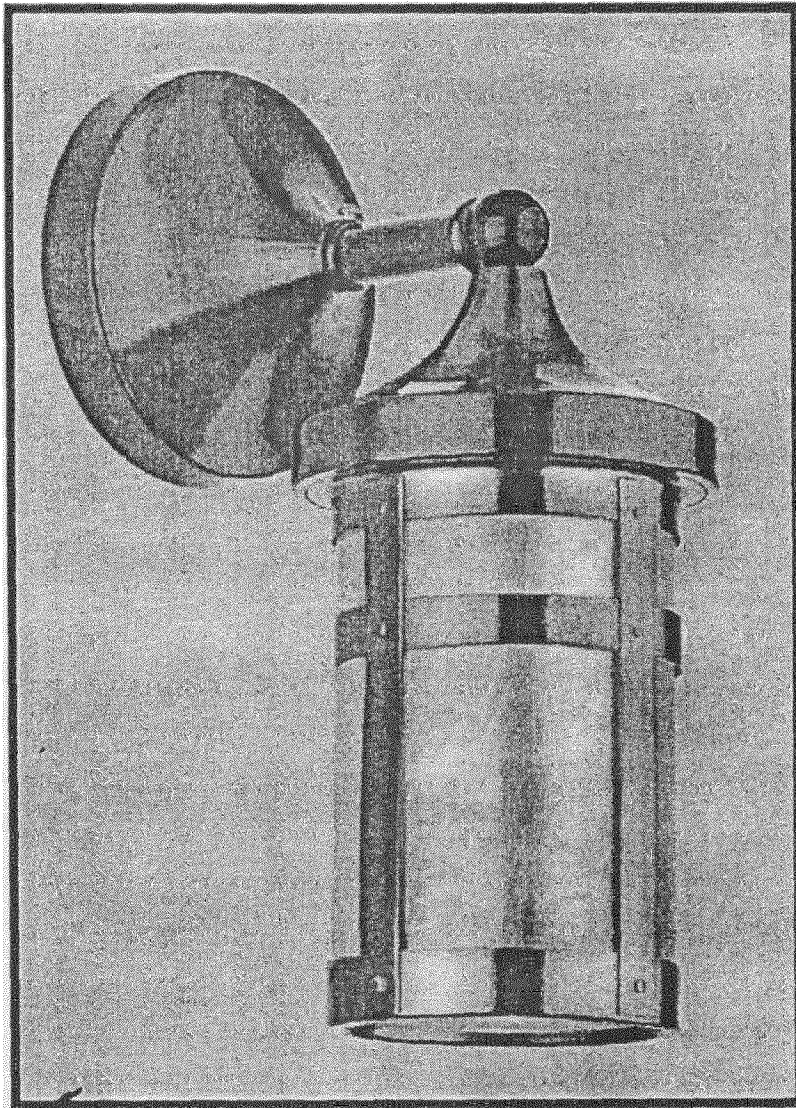
Specifications	
Item #	C303
Diameter	5"
Standard Length	22"
Minimum Length	17"
Ceiling Canopy	5"
Finish Shown	Matte Antique Brass
Art Glass Shown	Caramel-and-White Art Glass
Wattage (incandescent)	100
Sockets (incandescent)	1
UL Location	damp

Price As Shown	
Base Total	\$206.00
Grand Total	\$206.00

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 AT FRONT
 ENTRY VESTIBULE



Riverton W929

Choose from:
 12 finishes
 7 types art glass

Specifications

Item #	W929
Width	5"
Height	14"
Projection	9"
Wall Canopy	5"
Finish Shown	Old Brass
Art Glass Shown	Gold-White
Wattage (incandescent)	60
Sockets (incandescent)	1
Orientation	install as shown
UL Location	wet

Price As Shown

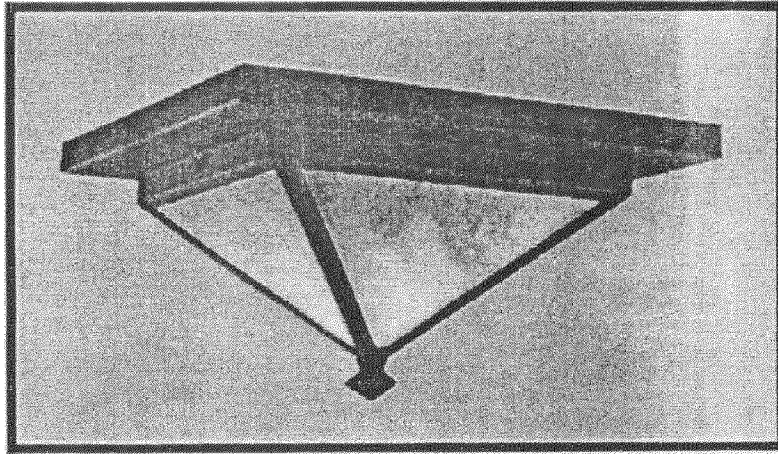
Base Total	\$179.00
Grand Total	\$179.00

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Beside doors to pergola,
 above doors to storage
 below front steps, and
 beside new basement door

Baxter C346



Choose from:
 12 finishes
 6 types art glass

Specifications	
Item #	C346
Height	6"
Diameter	17"
Ceiling Canopy	12 x 12"
Finish Shown	Matte Antique Brass
Art Glass Shown	Caramel-and-White Art Glass
Wattage (incandescent)	60
Sockets (incandescent)	1
UL Location	damp

*@ ceiling below
 new front entry landing*

Price As Shown	
Base Total	\$203.00
Grand Total	\$203.00

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