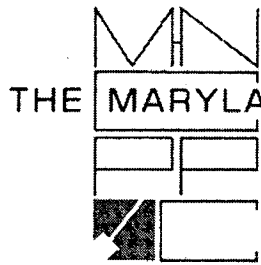


35/13-06AA 6 NEWLANDS ST
Chevy Chase Village Historic District



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL

TO: Shana R. Davis-Cook
Manager of Administration
Chevy Chase Village

FROM: Michele Oaks, Senior Planner
Historic Preservation Section

FAX #: 301-907-9721

NOTES:

Per your request.



HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: August 22, 2006

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Michele Oaks, Senior Planner
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #428407, window replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the August 16, 2006 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED AND CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HISTORIC AREA WORK PERMIT (HAWP) AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER TOWN GOVERNMENT AGENCY BEFORE WORK CAN COMMENCE.

Applicant: John C. & Marie Murphy

Address: 6 Newlands St, Chevy Chase (Chevy Chase Village Historic District)

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

M

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

728707

Contact Person: Warren Short

Daytime Phone No.: 301-718.8118

Tax Account No.: 02335311

Name of Property Owner: John C. & M.A. Murphy Daytime Phone No.: 301.986.8477

Address: 6 Newlands Street Chevy Chase MD 20815
Street Number City Street Zip Code

Contractor: To Be Selected Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Muse Architects, P.C. Daytime Phone No.: 301.718.8118

LOCATION OF BUILDING/PREMISE

House Number: 6 Street: Newlands Street

Town/City: Chevy Chase Nearest Cross Street: Connecticut Avenue

Lot: 9 Block: 47 Subdivision: 009, Chevy Chase, Section 2

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Window

1B. Construction cost estimate: \$ 2500.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Warren Short
Signature of owner or authorized agent

7.26.04
Date

Approved:

Disapproved: _____

Signature: _____

Julia O'Malley
For Chairperson, Historic Preservation Commission

Date: _____

8/22/04

Application/Permit No.: _____

Date Filed: _____

Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing structure is a one and one-half story Neo-Colonial residence constructed in 1986 to 1987. The structure is frame with a gambrel roof. We anticipate this structure as having no contribution to the historic resources of the district.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The project consists of replacing an existing double hung window with a pair of casement sash. Not being visible from the front and only somewhat visible from the west side, we anticipate no effect on the historic resources of the district.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

EXPEDITED
HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	6 Newlands St, Chevy Chase	Meeting Date:	8/16/2006
Resource:	Non-Contributing Resource Chevy Chase Village Historic District	Report Date:	8/9/2006
Applicant:	John C. & Marie Murphy	Public Notice:	8/2/2006
Review:	HAWP	Tax Credit:	N/A
Case Number:	35/13-06AA	Staff:	Michele Oaks

PROPOSAL: Window replacement

RECOMMENDATION: Approve

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within The Chevy Chase Village Historic District
STYLE: Neo-Dutch Colonial Revival
DATE: 1986

PROPOSAL: Applicant is proposing to replace an existing, double hung window with a pair of casement sash windows (painted wood, simulated-divided light with spacer bar, Low-E) on the east (side) elevation of this non-contributing resource in the Chevy Chase Village Historic District (see drawings on circles (e - g)).

STAFF RECOMMENDATION:

- Approval
- Approval with conditions

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or
- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will contact the Historic Preservation Office if any alterations to the approve plans are made prior to the implementation of such changes to the project.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

M

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

728 707

Contact Person: Warren Short

Daytime Phone No.: 301.718.8118

Tax Account No.: 02335311

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Town/City: Chevy Chase Nearest Cross Street: Connecticut Avenue

Lot: 9 Block: 47 Subdivision: 009, Chevy Chase, Section 2

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other: Window

1B. Construction cost estimate: \$ 2500.00

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

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3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Warren Short
Signature of owner or authorized agent

7.26.06
Date

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: Date Filed: Date Issued:

3

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
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HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

John C. & Marie Murphy
6 Newlands Street
Chevy Chase, MD 20815

Owner's Agent's mailing address

Muse Architects
Attn: Stephen Muse
7401 Wisconsin Avenue
Bethesda, MD 20814

Adjacent and confronting Property Owners mailing addresses

Richard McMillan, Jr.
2 Newlands Street
Chevy Chase, MD 20815

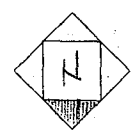
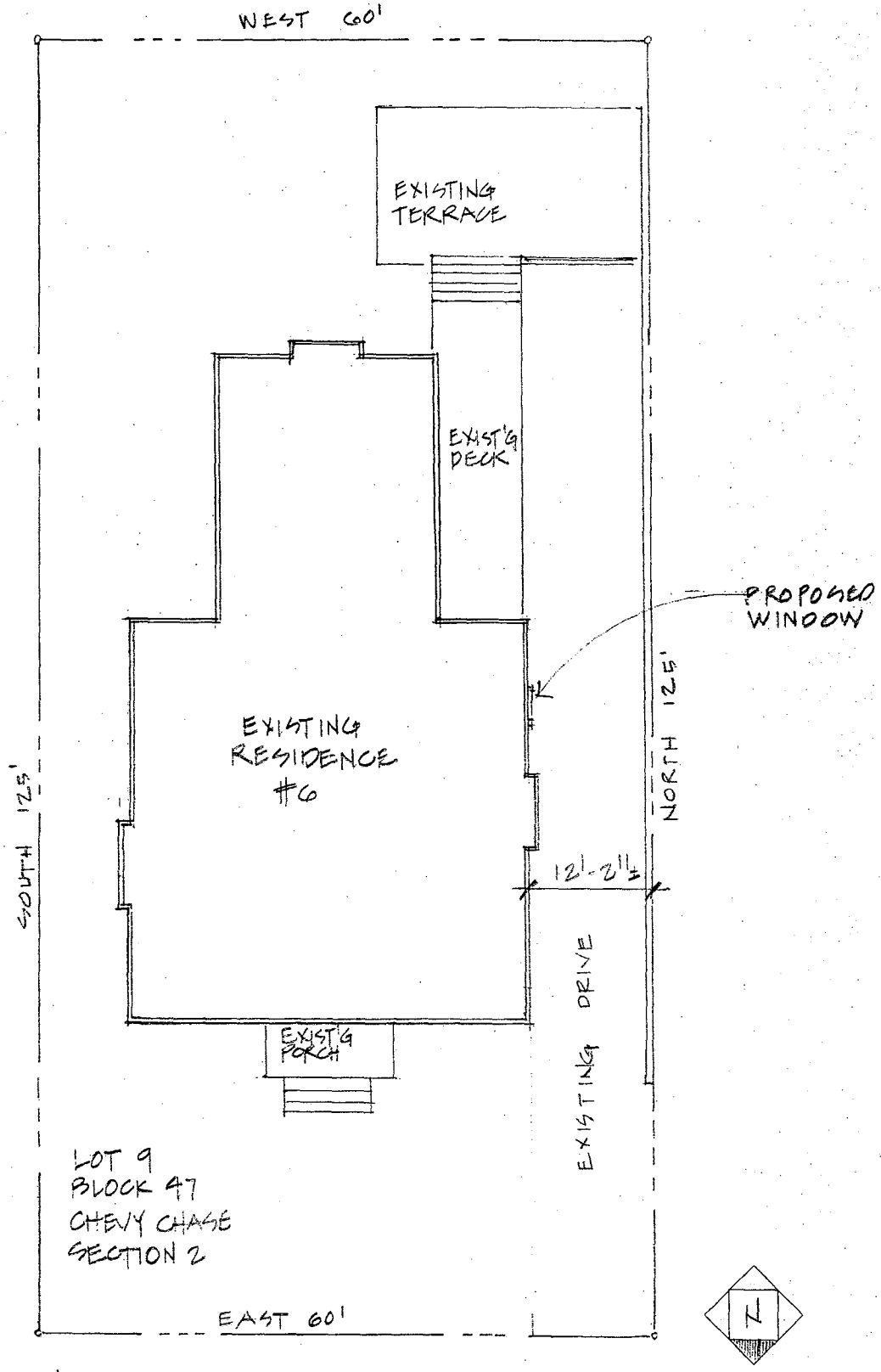
Christopher A. Dunn & Christine L.
Vaughn
8 Newlands Street
Chevy Chase, MD 20815

Dane Butswinkas & Megan Rupp
3 Newlands Street
Chevy Chase, MD 20815

Byron & M.L. Anderson
5 Newlands Street
Chevy Chase, MD 20815

Alan S. & S.B. Berlow
9 East Melrose Street
Chevy Chase, MD 20815

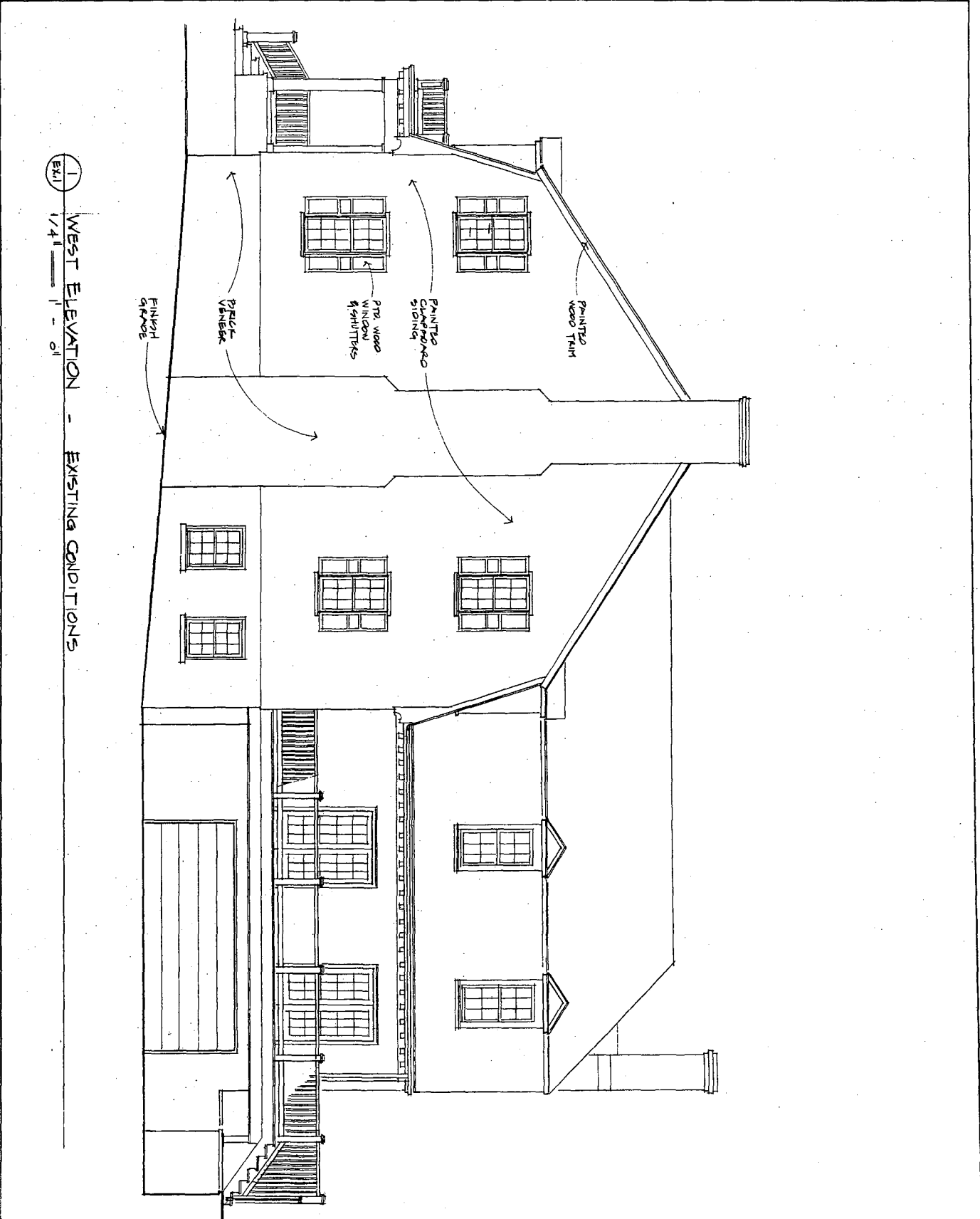
Site Plan



SITE PLAN
1/16" 1'-0"

Shade portion to indicate North

Applicant: MURPHY RESIDENCE
JOHN & M.A. MURPHY



EX. 1
 1/4" = 1' - 0"
 WEST ELEVATION - EXISTING CONDITIONS

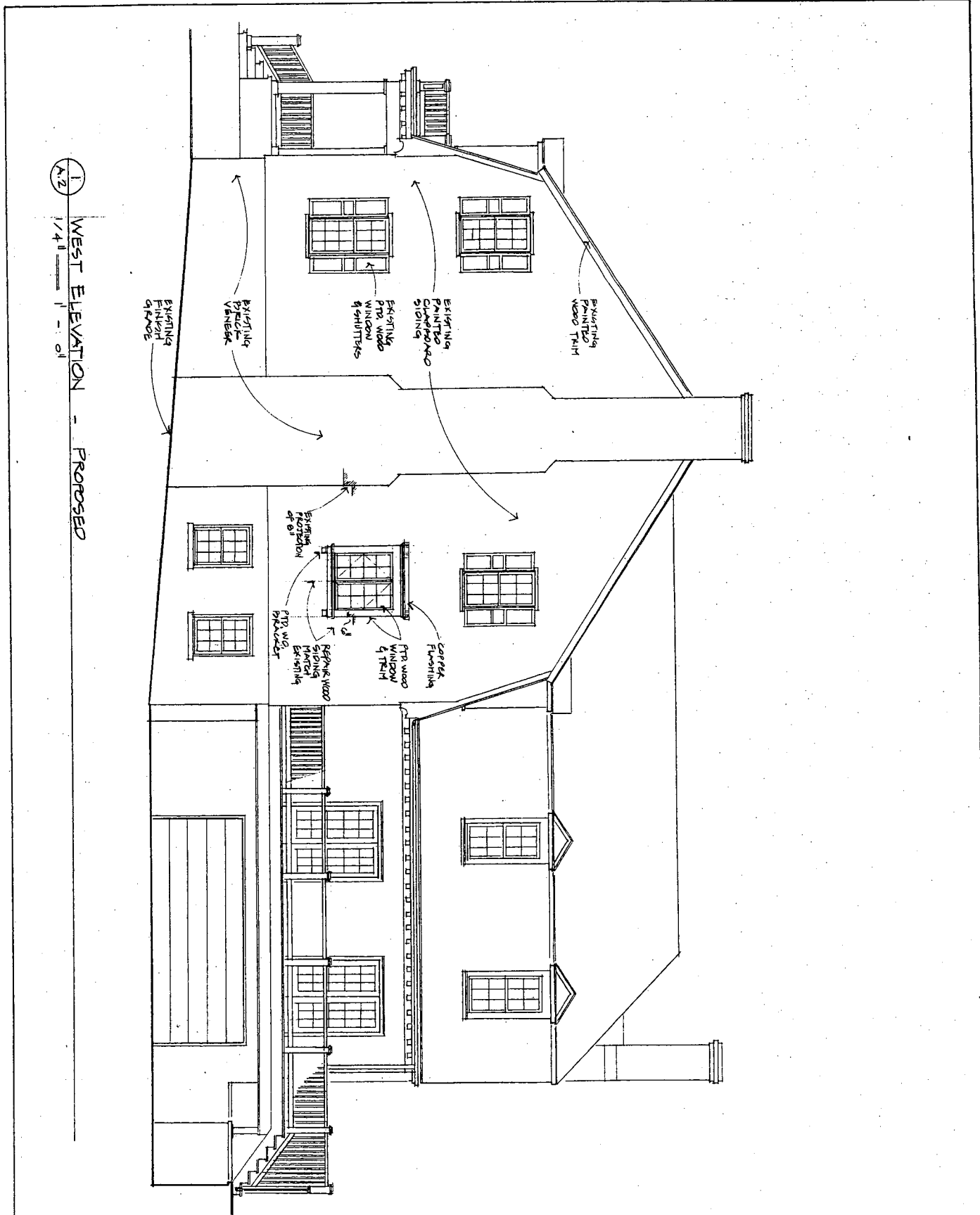
EX. 1

WEST ELEVATION
 EXISTING CONDITIONS

PROPOSED ALTERATIONS TO
MURPHY RESIDENCE
 2 NEWLANDS STREET, CHEVY CHASE, MD. 20815

MUSE ARCHITECTS
 5630 Connecticut Avenue NW Washington DC 20015
 Phone 202.966.6266 Facsimile 202.966.9666

8



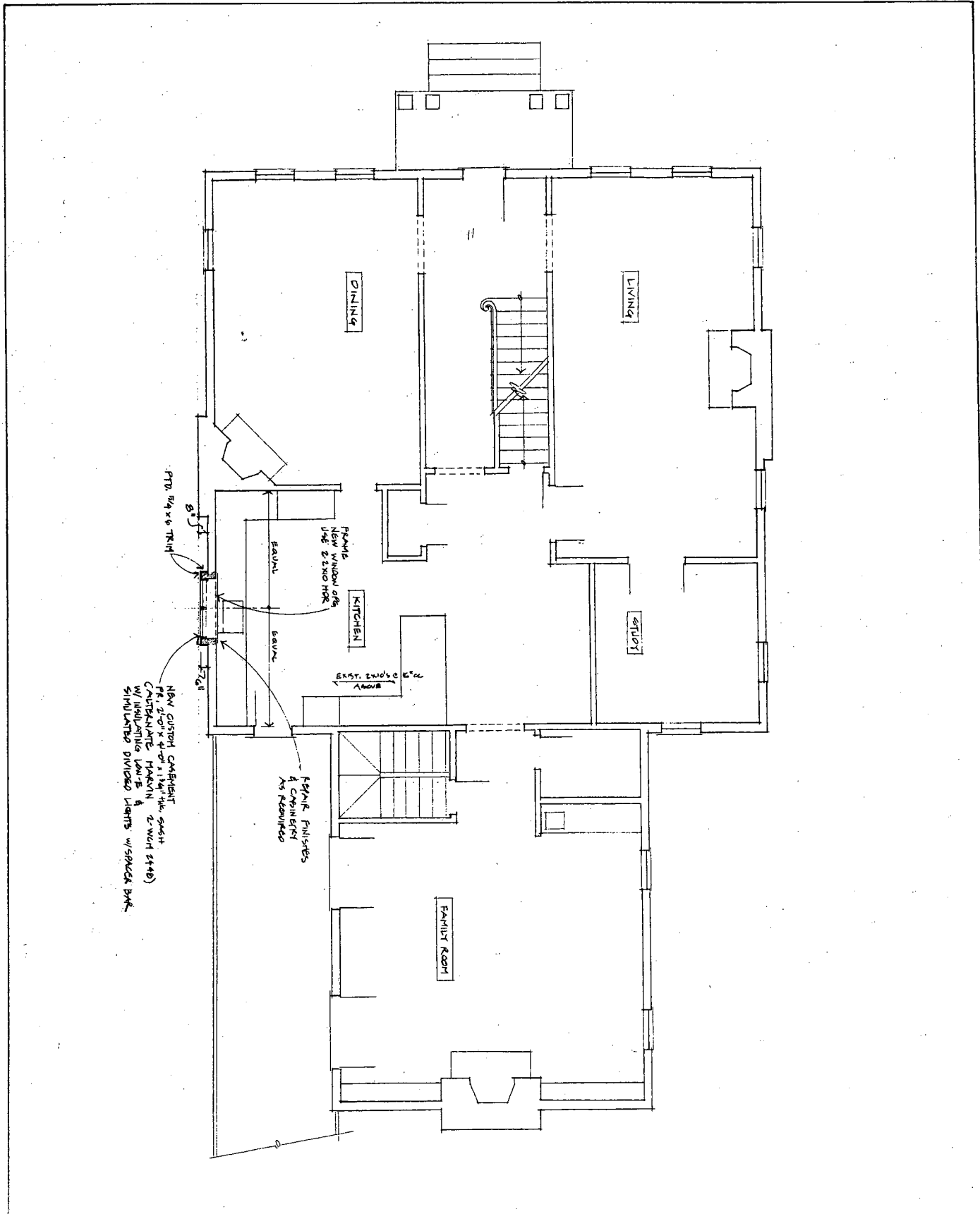
1
A.2
1/4" = 1'-0"
WEST ELEVATION - PROPOSED

A.2
WEST ELEVATION
1/4" = 1'-0"

PROPOSED ALTERATIONS TO
MURPHY RESIDENCE
6 NEWLANDS STREET, CHEVY CHASE, MD. 20815

MUSE ARCHITECTS
5630 Connecticut Avenue NW
Phone 202.966.6266
Washington DC 20015
Facsimile 202.966.9666

6



PTO. 5/4 x 6 TRIM

FRAMING NEW WINDOW OPEN UP THE 2' X 6' HOLE

ISLAND

KITCHEN

EXIST. 2' X 6' C/O

NEW CUSTOM CEMENTITE CARPETING HALLWAY (2' X 4' 1/2" S&T) W/ INSTALLING LAW-B & SIMILATED DIVIDED LIGHTS W/ SPACE BAR

FINISH FINISHES & COMMENTS AS REQUIRED

A.1

FIRST FLOOR PLAN

PROPOSED ALTERATIONS TO
MURPHY RESIDENCE
 6 NEWLANDS STREET, CHEVY CHASE, MD 20815

MUSE ARCHITECTS
 5630 Connecticut Avenue NW Washington DC 20015
 Phone 202.966.6266 Facsimile 202.966.9666

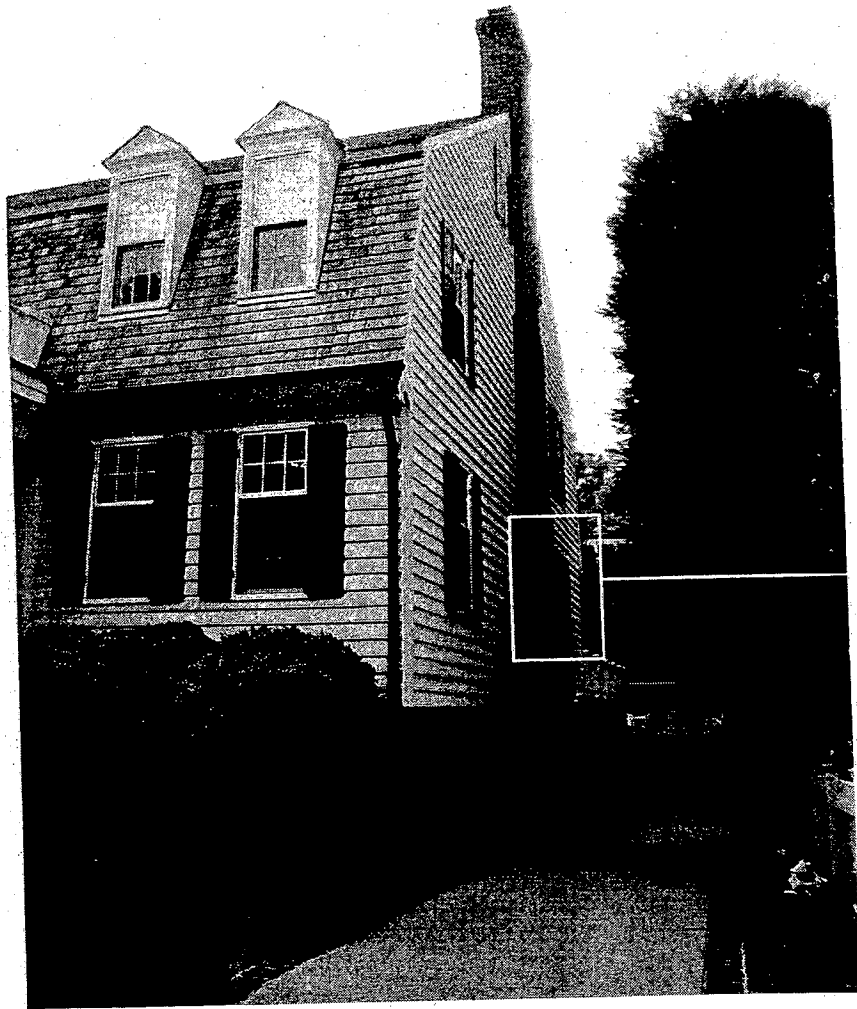


FRONT (NORTH) ELEVATION



FRONT (NORTH) ELEVATION FROM STREET

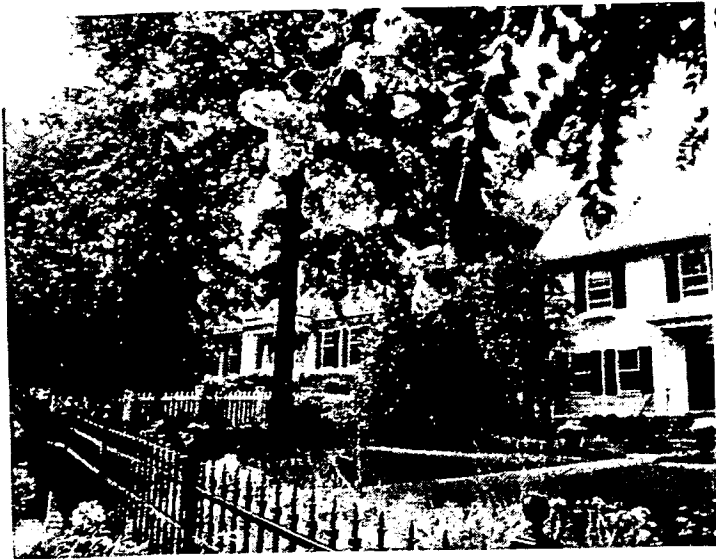
THE MURPHY RESIDENCE- 6 NEWLANDS STREET



WINDOW TO
BE MODIFIED

WEST ELEVATION





STREETSCAPE FROM WEST



STREETSCAPE FROM NORTH



STREETSCAPE LOOKING EAST

THE MURPHY RESIDENCE- 6 NEWLANDS STREET

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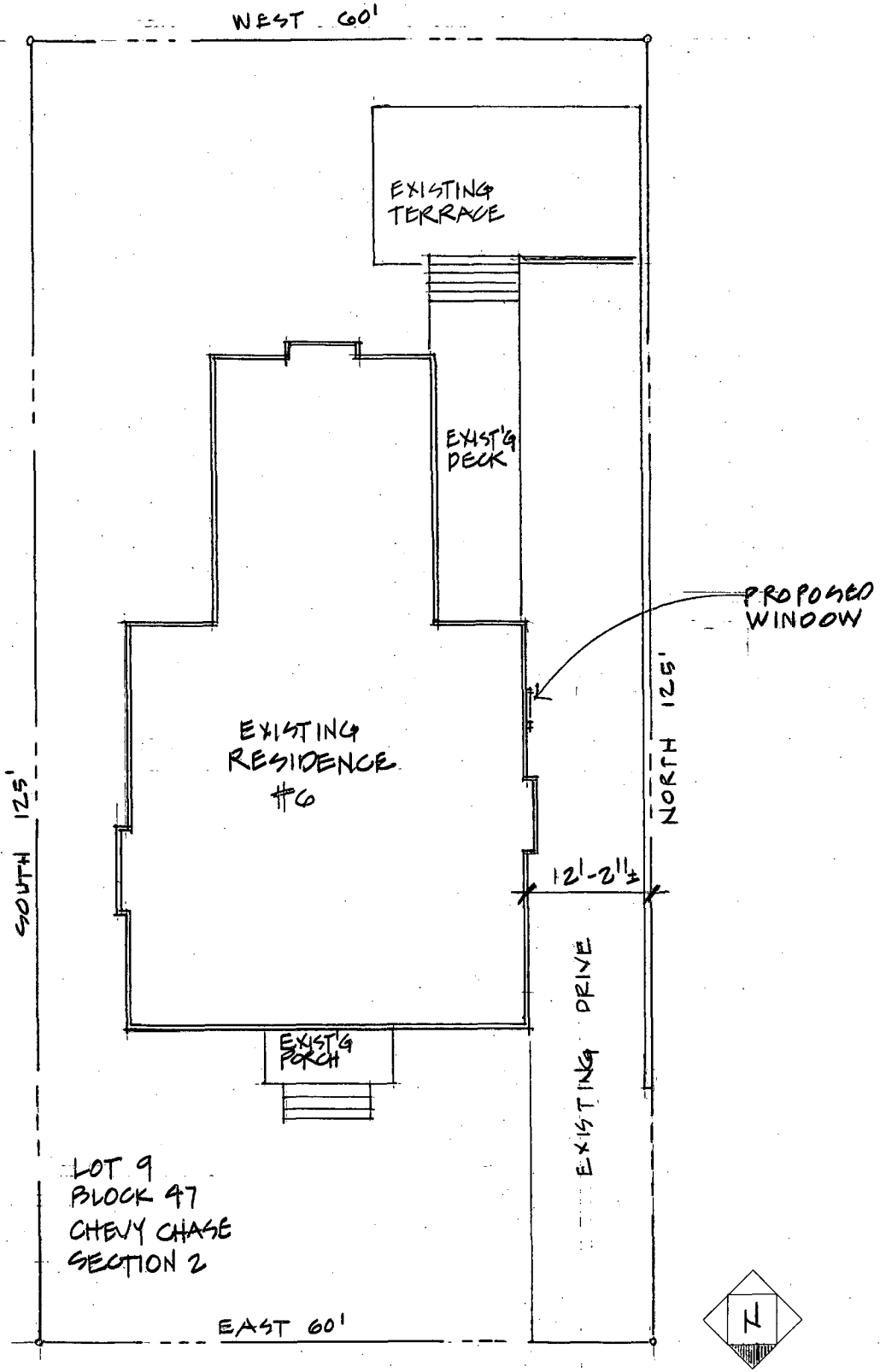
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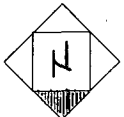
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Site Plan



SITE PLAN
1/16" 1'-0"

Shade portion to indicate North



MURPHY RESIDENCE
Applicant: JOHN & M.A. MURPHY



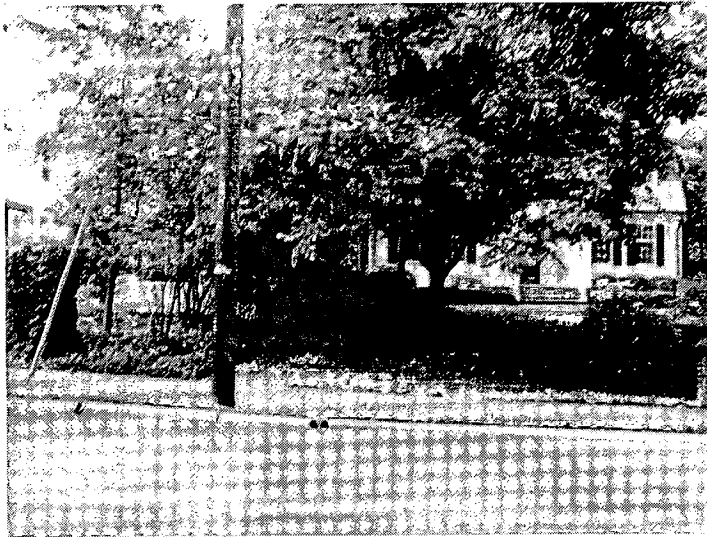
FRONT (NORTH) ELEVATION



FRONT (NORTH) ELEVATION FROM STREET



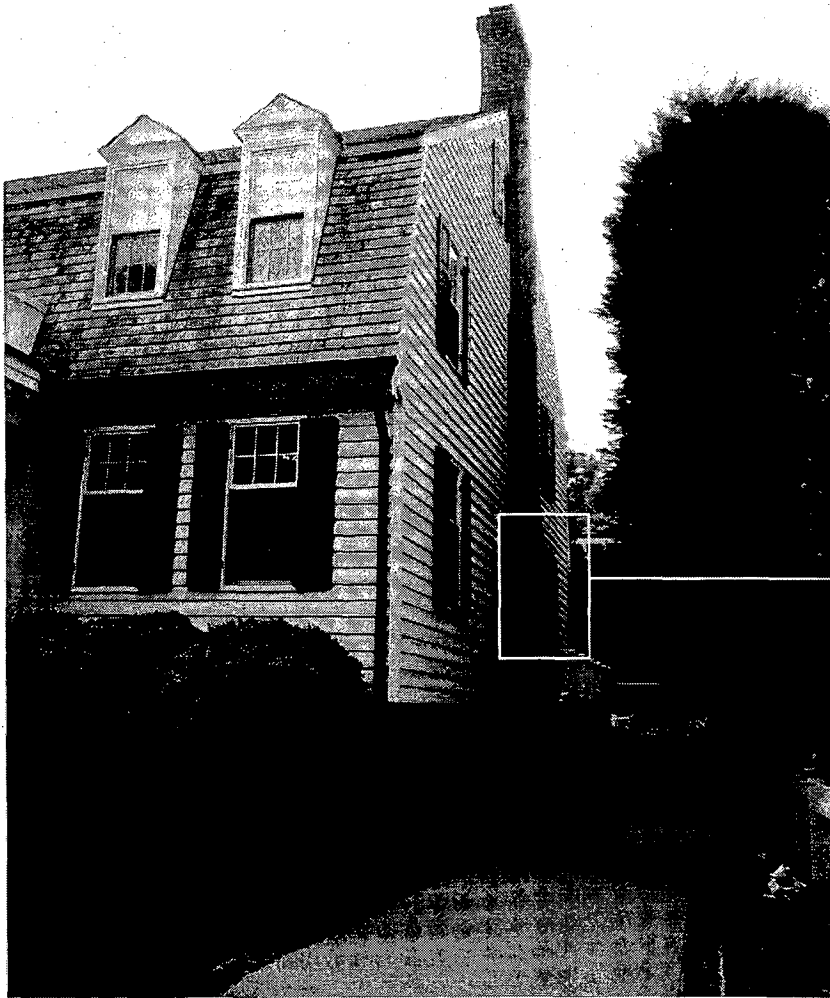
STREETSCAPE FROM WEST



STREETSCAPE FROM NORTH

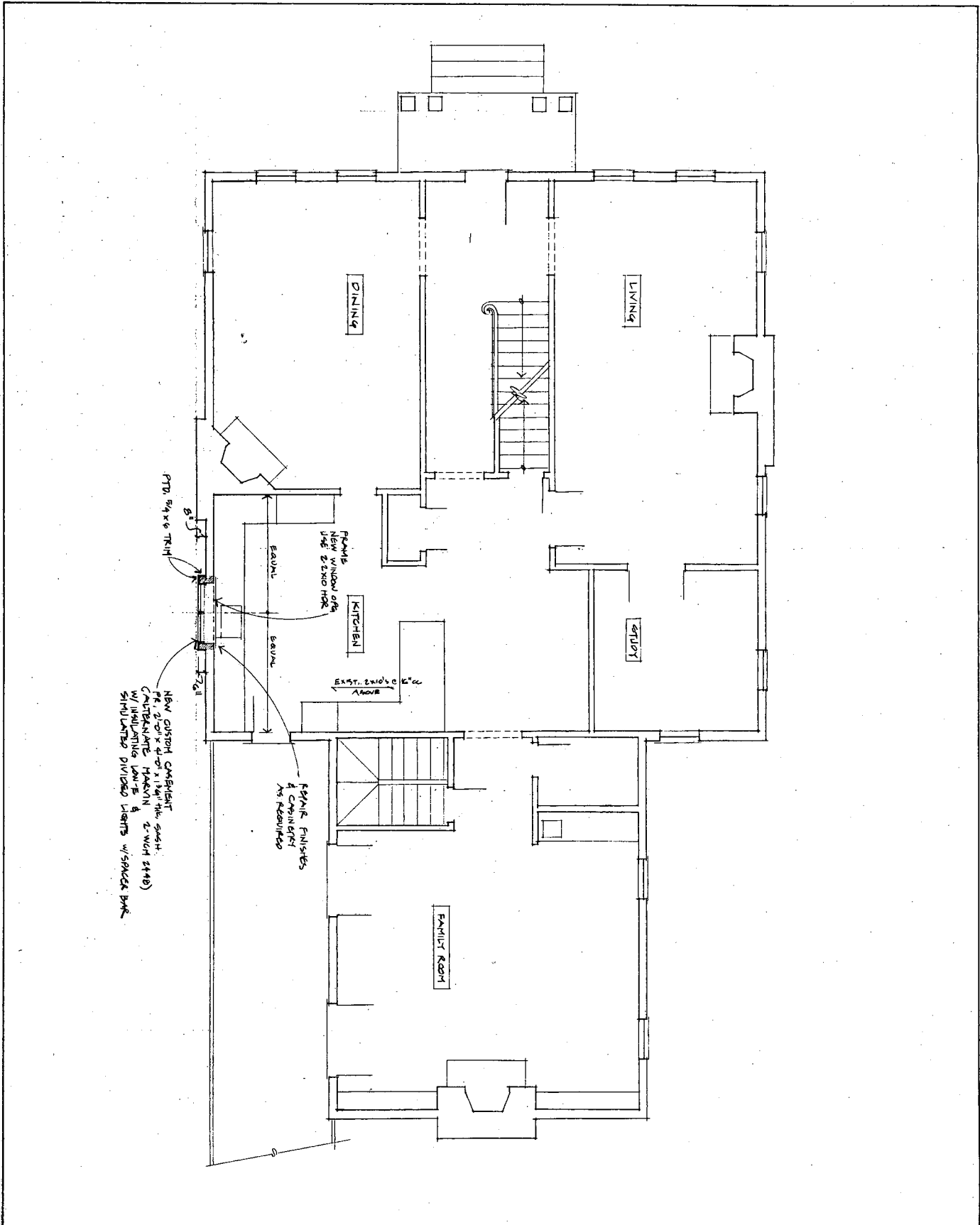


STREETSCAPE LOOKING EAST



WINDOW TO
BE MODIFIED

WEST ELEVATION

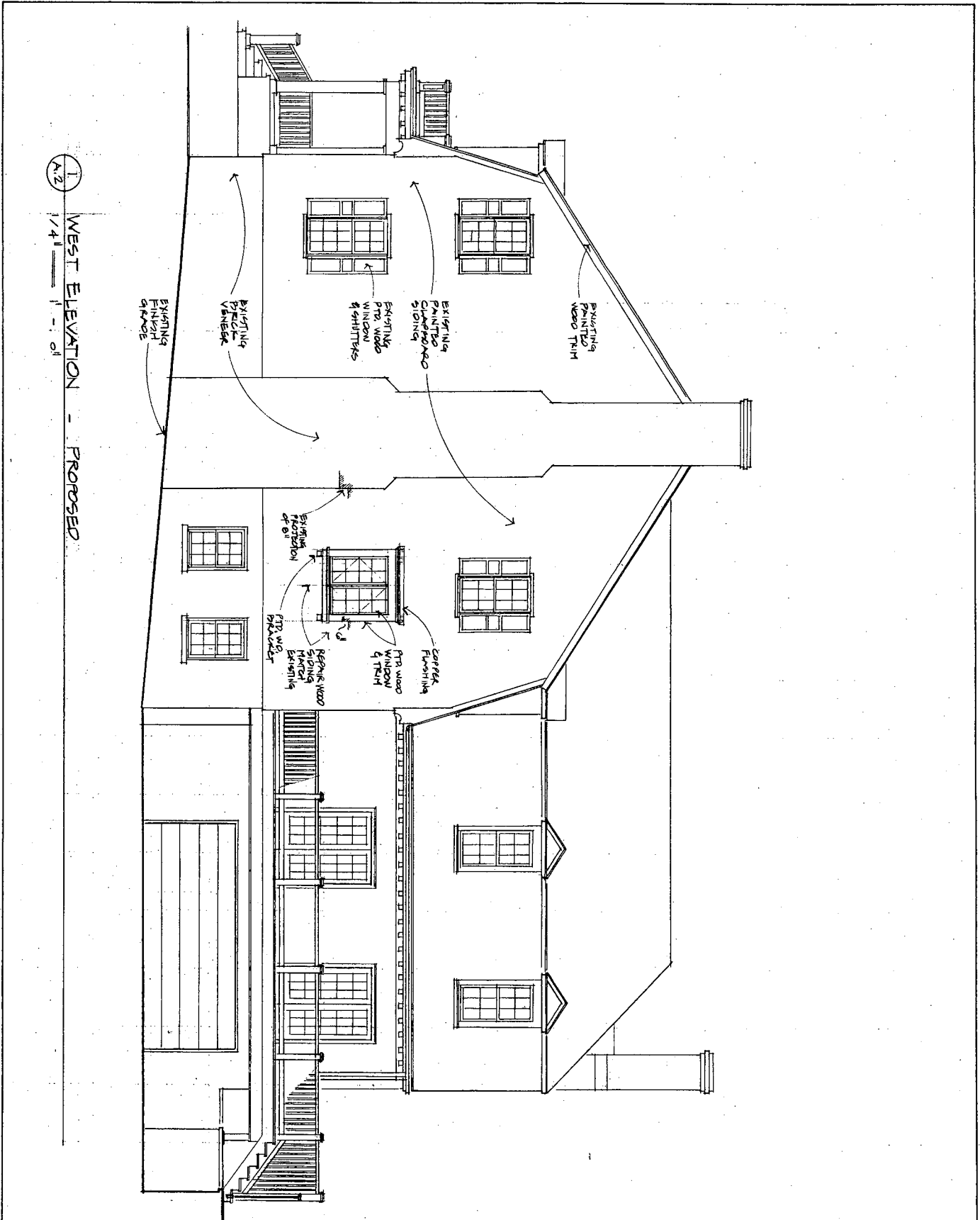


PTD 54"x6" TRIM
 NEW WINDOW ORB
 USE 2"x10" FOR
 EXIST. 2"x10" @ 6" OC
 ABOVE
 REPAIR FINISHES
 & CABINETRY
 AS REQUIRED
 NEW CUSTOM CABINET
 FOR ENTRY AREA (SEE SCHED.
 C) MATERIALS: LAMINATE &
 SHOWN. DIVIDED SHEETS w/ SPACER BAR.

FIRST FLOOR PLAN

PROPOSED ALTERATIONS TO
MURPHY RESIDENCE
 6 NEWLANDS STREET, CHEVY CHASE, MD 20815

MUSE ARCHITECTS
 5630 Connecticut Avenue NW Washington DC 20015
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1
A2

WEST ELEVATION - PROPOSED

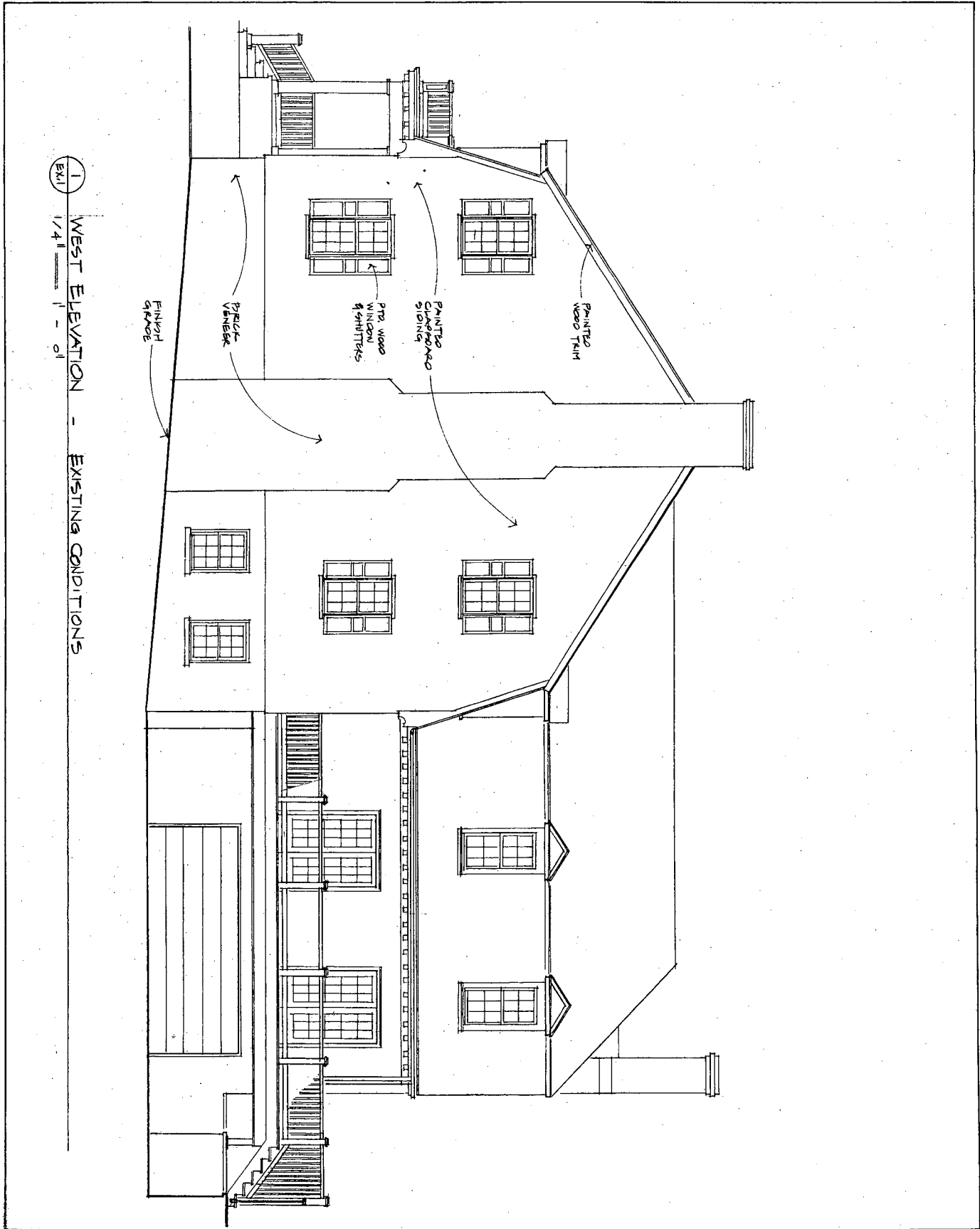
1/4" = 1'-0"

A2

WEST ELEVATION
1/4" = 1'-0"

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MURPHY RESIDENCE
6 NEWLANDS STREET, CHEVY CHASE, MD. 20815

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 WEST ELEVATION - EXISTING CONDITIONS
 1/4" = 1'-0"

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WEST ELEVATION
 EXISTING CONDITIONS
 1/4" = 1'-0"

PROPOSED ALTERATIONS TO
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FRONT (NORTH) ELEVATION



FRONT (NORTH) ELEVATION FROM STREET



STREETSCAPE FROM WEST



STREETSCAPE FROM NORTH



STREETSCAPE LOOKING EAST



WINDOW TO
BE MODIFIED

WEST ELEVATION