

#35/13-010 20 Magnolia Parkway
(Chevy Chase Village III)



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan
County Executive

Robert C. Hubbard
Director

HISTORIC AREA WORK
PERMIT

IssueDate: 9/5/2001

Permit No: 253853
Expires:
X Ref:
Rev. No:

Approved With Conditions

THIS IS TO CERTIFY THAT:

SCOTT W & C A MULLER
20 MAGNOLIA PKW
CHEVY CHASE MD 208150000

HAS PERMISSION TO: ADD

PERMIT CONDITIONS: ADDITION, FENCE, DECK

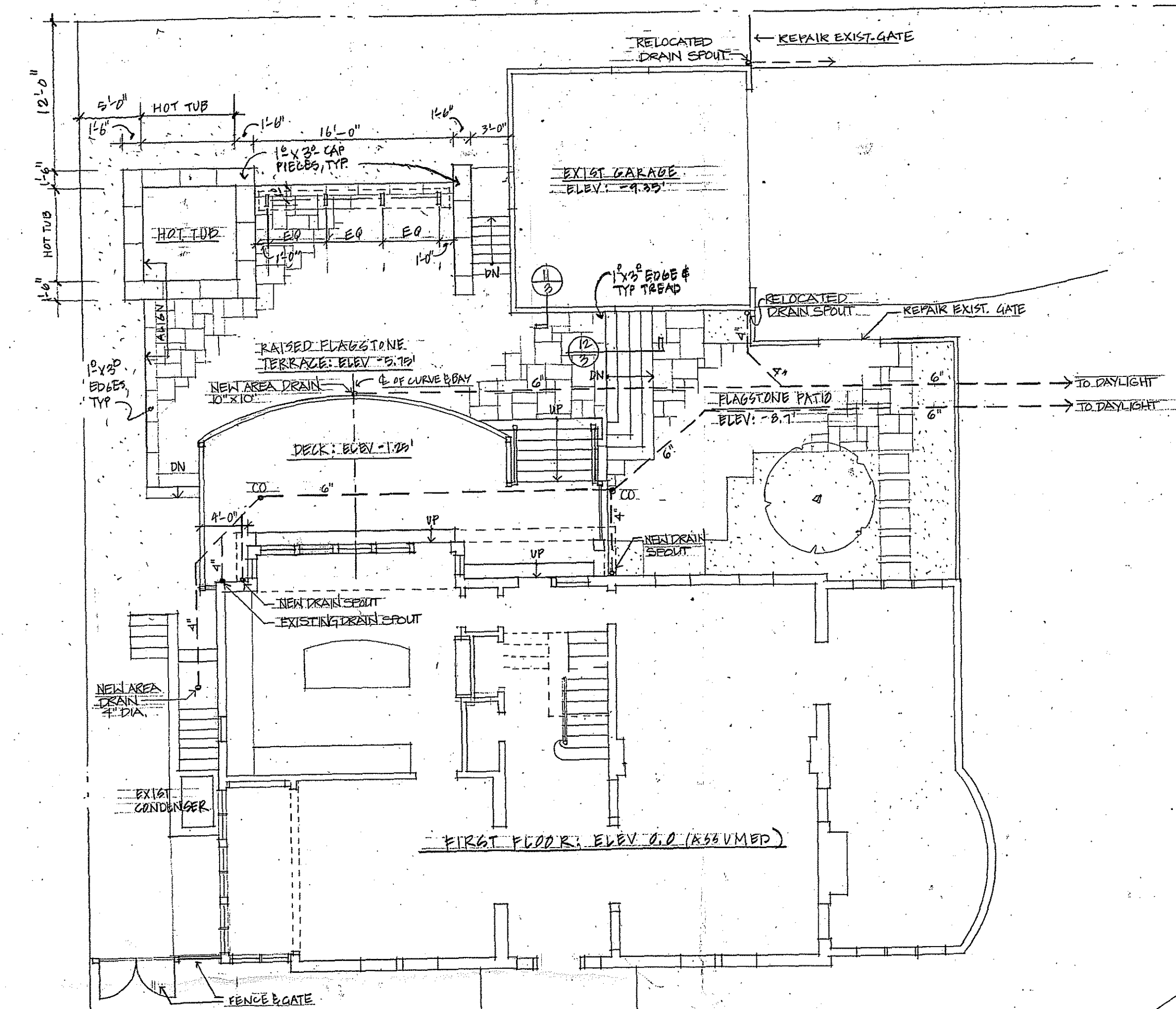
PREMISE ADDRESS 20 MAGNOLIA PKW
CHEVY CHASE MD 20815-0000

LOT 6 BLOCK 39 PARCEL ZONE R-60
LIBER ELECTION DISTRICT 07 PLATE GRID
FOLIO SUBDIVISION
PERMIT FEE: \$0.00 TAX ACCOUNT NO.:

HISTORIC MASTER: Y
HISTORIC ATLAS: N

HISTORIC APPROVAL ONLY
BUILDING PERMIT REQUIRED

Director, Department of Permitting Services



CONSTRUCTION NOTES

- Dimensions** - All dimensions on drawings are to rough unless otherwise noted. DO NOT SCALE THE DRAWINGS. Questions concerning dimensions should be referred to the Architect. All dimensions relating to existing conditions must be verified before fabrication.
- Structural:**
 - A. The Structural Design was based on the following live loads:
2nd Floor @ 30 PSF; 1st Floor @ 40 PSF
Roof @ 30 PSF
Exterior Deck @ 60 PSF
Any equipment having a weight greater than 400 lbs., shall be brought to the attention of the Structural Engineer before installation.
 - B. Soil capacity: Footings shall bear on undisturbed soil having an assumed 2000PSF bearing capacity. Bearing capacity of subgrade shall be approved by the owner's geotechnical engineer (or the building inspector) prior to start of concrete placement.
 - C. Structural bracing: The basic stability of the structure is dependent upon the diaphragm action of floors, walls, and roof acting together. Structural members are not self-bracing until permanently affixed to the structure. Contractor shall provide designs for all temporary bracing and assume sole responsibility for such.
 - D. Demolition: Provide adequate shoring, bracing and other temporary support during demolition. If necessary, retain the services of a qualified professional engineer to design and monitor the temporary support. Until properly shored, do not cut existing structural members in a manner resulting in a reduction of load-carrying capacity. Do not exceed the capacity of the existing structure with superimposed loads. In general, selective structural demolition is to be performed with physical cutting action (i.e. sawing and grinding instead of hammering and chopping). Do not use jackhammers on structurally supported members.
 - E. Backfill: Compacted backfill below building slabs and footings: All soil fill material must be approved by soils engineer prior to placement. Proofroll subgrade removing & replacing soft or compressive materials. Fill material shall be placed in layers not to exceed 8" and compacted to min. 95% of the dry maximum density as determined by ASTM D698.
 - F. Floor joists: At condition where floor joists run parallel to foundation wall, provide solid blocking at 4'-0" O.C. perpendicular & within the first two joist spaces from the foundation wall.
- Wall finish demolition:** Before removing existing wall studs, headers, brickwork, or any other suspected structural support in any area, remove first the entire plaster & lath or wallboard in these areas for inspection by architect and/or by the structural engineer.
- Protect existing floors:** Provide rosin paper and 1/8" protection board in those areas of where access by the Contractor will be required.
- Patching for other trades:** Provide demolition and patching in all other areas required for plumbing hook-ups, AC ductwork, condenser lines, and any other related construction including inadvertent damage to areas adjacent to where work is being done.
- Insulation scope:** ALL new and opened, existing walls, ceilings, and floors, are to receive insulation: thermal for exterior and acoustic for interior (see Products & Materials list).
- Floor finishing scope:** Kitchen floor, Hall, Closet, touch up new perimeter board around stair opening to basement and new thresholds.
- Built-in cabinetry (painted finish):** Typical specifications for custom built-in cabinets & shelves (unless otherwise noted):
 - Use 3/4" birch veneer plywood on tops, bottoms, and sides.
 - Use 1/4" paint-grade plywood for backs.
 - Use 1" birch veneer plywood for all shelves.
 - Provide 1/8" hardwood edge on all exposed edges of cabinetry & shelves (do not use tape).
 - For drawers use heavy-duty drawer slides w/ min. 1" over-travel & min. 150lb. capacity.
 - Use self-closing concealed-body hinges for cabinet doors.
 - For adjustable shelves, provide drilled holes at 1 1/2" on center, with Knappe & Vogt #3332C pin hardware.
 - Use knobs provided by Owner, installed by GC.
- Backplate for exterior wall mounted light fixtures:** 8" x 8" x 5/4" thick painted mount g plate, with top edged flashed
- Tile layout meeting:** Prior to setting tile or any related construction affecting tile, coordinate meeting w/GC, Tile installer, & Architect, w/ all tile on site, to discuss placement, layout, start & stop points, centerlines, whole-tiles vs. cut-tiles, etc.
- Interior painting scope** - all rooms listed on Finish Schedule
- Exterior painting scope** - All new work
- Security System:** Owner to contract directly with security company. Contractor to coordinate with security company.

PRODUCT AND MATERIALS LIST

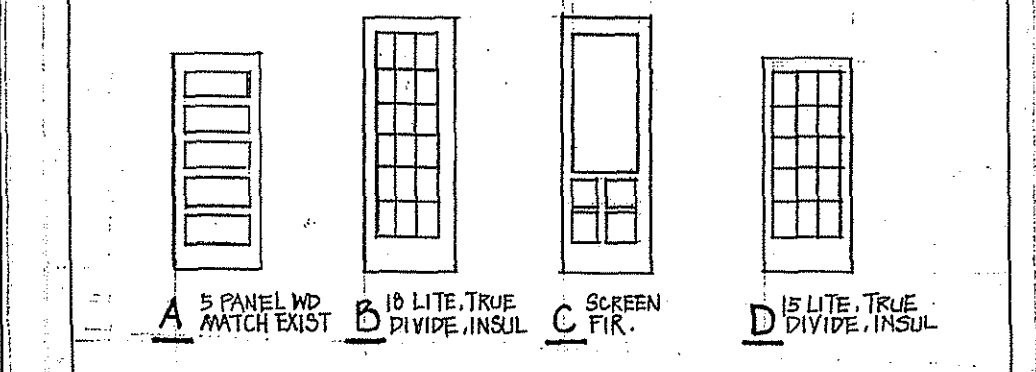
SECT	DESCRIPTION
3	CONCRETE - normal weight with minimum compressive strength of 3000 PSI @ 28 days; exterior slabs, 3500 PSI; reinforcing steel per ASTM-A-615 grade 60, retain 3" clear concrete at bottom
4	CONCR. MASONRY UNITS - ASTM C90 for hollow units and ASTM C145 for solid units STONE - 5" thick field stone, semi dry appearance BLUESTONE - 1 1/2" thick flagstone, even gray in color in random rectangular pattern MORTAR - type S per ASTM C270 (at brick, match exist)
6	FRAMING LUMBER (INTERIOR) - Hem-Fir, Grade #2 or S-P-F, Grade #2, or better with min. values: Fb = 850 PSI (single-member value), Fv = 70 PSI, Fc = 405 PSI, Fc11 = 1100 PSI, E = 1,300,000 PSI. Note that S-P-F (South) is NOT acceptable; S-P-F must be graded by NGLA FRAMING LUMBER (EXTERIOR) - Southern Yellow Pine (pressure-treated), Grade #2 or better with min. values (based on 2 x 12): Fb = 975 PSI (single-member value), Fv = 90 PSI, Fc = 565 PSI, Fc11 = 1450 PSI, E = 1,600,000 PSI LAMINATED VENEER LUMBER (LVL) - Fb = 2500 PSI, Fv = 250 PSI, E = 2,000,000 PSI; 3" minimum end bearing CONNECTORS - by Simpson Strongtie Co., Inc. or approved equal. Unless otherwise noted, use 'U' or 'LU' joist hangers @ joist ends & rafters @ ridges; Use 'U' joist hangers @ header/rimmers @ openings. Use 'HU' heavy duty joist hangers @ two plies & 'HLU' @ three plies ROOF SHEATHING - CC exterior APA plywood, 3/4" WALL SHEATHING - CC exterior APA plywood, 1/2" SUBFLOORING - CC exterior APA plywood, 3/4" (Note: glue and screw all subflooring - no squeaks) EXTERIOR TRIM - Clear pine, redwood, or cedar. INTERIOR TRIM - clear pine or poplar
7	METAL ROOFING - flat seasoned copper or rosin paper over roof sheathing WOOD SIDING - lap siding w/ 5" exposure (match existing), clear cedar or cypress, backprimed (west elevation under porch roof) ALUMINUM SIDING - salvage existing from west elevation to use for patching around window on south elevation. THERMAL INSULATION - fiberglass batt w/ Kraft paper face, 5 1/2" R-19 in walls, 10" R-30 in floors, and 10" R-30 and 3 1/2" R-11 in ceiling over new addition, unless otherwise noted (maintain 1 1/2" min. clear air space above roof insulation) SOUND INSULATION (all opened & new interior walls & floors) - unfaced fiberglass bats, 3 1/2" R-11 walls, 10" R-30 floors, unless otherwise noted. GUTTERS & DOWNSPOUTS - match existing CAULKING - "G.E. Silpu"®
8	DOORS, HARDWARE & WINDOWS - see Schedules, this sheet
9	INTERIOR WALL - 1/2" thick U.S. Gypsum Co. or equivalent; dry areas per ASTM C36; wet areas per ASTM C360 (water resistant) WOOD FLOORING - Antique heart pine; match existing species, size, stain & finish CERAMIC TILE - Backsplash - Country Floors, WAT Northwestern Series (WAT77); in 3" x 8" running bond pattern (avail @ Ademas); Powder rm - 12" x 12" floor tile, "Ramina" (avail @ Bartley Tile). Install following Tile Council of America installation methods. Provide samples for owner approval. GROUT - ASTM C476; min. compressive strength of 2500 PSI at 28 days VINYL TILE - Armstrong, Standard Excelon, color to be selected; finish with 5 coats of acrylic sealer. PAINT & STAINS - Benjamin Moore, see Project Manual for schedule COUNTERTOP (KITCHEN COUNTERS, ISLAND, BAR, SIDEBOARD): Granite. 1 1/2" thick polished Ubatuba. Provide concealed, steel angle reinforcing at cantilevered portions. HOT TUB UNIT - Sundance Spas, "Optima" shell, built into stone terrace. Available through Schimmer's; 301-881-2200
10	KITCHEN CABINETS - "WOODMODE" cherry cabinets with raised panel doors, natural finish except for south wall of kitchen which would be painted finish. Obtain pricing information from Bob Schaffer @ Kitchen Guild, 202-362-7111.
15	MECHANICAL & PLUMBING - see sheet #5
16	ELECTRICAL - see sheet #5

DOOR SCHEDULE

#	TYPE	SIZE	MTL	HDW	NOTES
1-1	A	3'-4"W x 7'-10"H x 1 3/8"	wd	H1	
1-2	A	2'-0"W x 6'-8"H x 1 3/8"	wd	H2	
1-3	A Pr	2'-0"W x 6'-8"H x 1 3/8"	wd	H3	
1-4	B	3'-0"W x 7'-10"H x 1 3/8"	wd/gl	H4	Note 1
1-5	C	3'-0"W x 7'-10"H x 1 1/8"	wd/scr	H5	
1-6	D	2'-8"W x 6'-8"H x 1 3/4"	wd/gl	H4	Note 2
1-7	C	2'-8"W x 6'-8"H x 1 1/8"	wd/scr	H5	
2-1	exist				Reverse swing of existing door

Notes:
1. Weathershield Wood French Inswing Doors 3-0 x 8-0, w/ 6 9/16" jambs, true divided lites (3W x 6H), Low-E & argon filled insulating glass, and traditional height bottom rail; interior and exterior casing by Contractor. White primed unit with chrome hardware; multi-point lockset.
2. Weathershield Wood Inswing French Door 2-8 x 6-8, w/ 4 9/16" jambs, true divided lites (3W x 5H), Low E & argon filled insulating glass and traditional height bottom rail; interior and exterior casing by Contractor. White primed unit with chrome hardware.

DOOR TYPES



HARDWARE SETS

FINISHES: US26= Chrome, US3=Brass, USP=stainless

H#	DESCRIPTION
H1	Double acting heavy duty pivot hinges, push plate, kick plate, doorstops.
H2	Privacy set, 2 F179 hinges, doorstop.
H3	2 Dummy knobs, 4 F179 hinges, 2 ballcatches, doorstops.
H4	Weathershield hardware package per Note #1 above, doorstop.
H5	Screen door latch, closer, 1 F179 hinges.
H6	Exterior lock, deadbolt, 2 FBB179 hinges, doorstop

HARDWARE

MORTISE HINGES: "Stanley" FBB179 (4 1/2" x 4 1/2"), F179 (3 1/2" x 3 1/2") USP
PIVOT HINGES: Re-use existing hardware from existing double swing door
PRIVACY SET - re-use hardware for existing Powder room door
DUMMY KNOB: match existing hardware, US3
BALL CATCH: Ives #348, US3
DOOR STOPS: Ives #441 (floor), #61 (door), US3/US26 @ Kitchen
SCREEN DOOR LATCH: Ives #980, US3
CLOSER: Ives #925
EXTERIOR LOCKSET: Provide \$400 allowance, US3
DEADBOLT: Baldwin, 8000 series, traditional, double cylinder

WINDOWS

Weathershield, 5/8" insulated Low E w/Argon filled glass, 7/8" true divided lites. Provide screens and all white hardware; custom exterior & interior casing per details.

TYPE	DESCRIPTION & SIZE
A	Wood double-hung, #11-28x32, with 6 9/16" jambs, 6 over 6. R.O. @ 2'-10 5/16" x 6'-1 5/8"
B	Wood double-hung, #11-16x32, with 6 9/16" jambs, 4 over 4. R.O. @ 1'-10 5/16" x 6'-1 5/8"
C	Wood double-hung, #11-28x24, with jamb widths to match existing wall, 6 over 6. R.O. @ 2'-10 5/16" x 4'-9 5/8"
D	Wood casement, #11-2032, with jamb widths to match existing wall, 2W x 2H. R.O. @ 2'-1" x 3'-1 3/8"
E	Wood casement, #21-2058, with jamb widths to match existing wall, 2W x 4H. R.O. @ 4'-1" x 5'-3 3/8"
F	Wood casement, #21-2458, with jamb widths to match existing wall, 2W x 4H. R.O. @ 4'-9" x 5'-3 3/8"

FINISH SCHEDULE

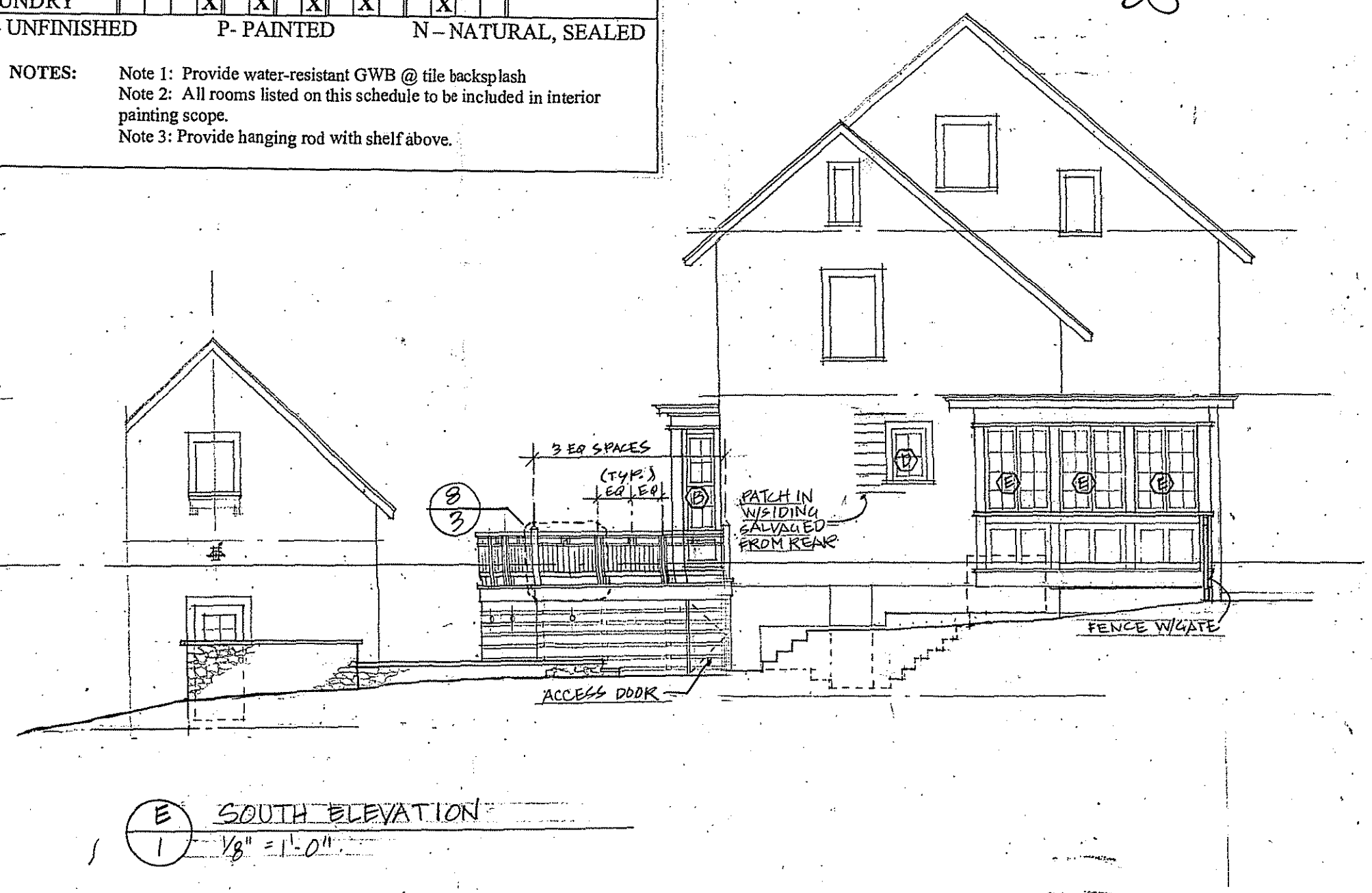
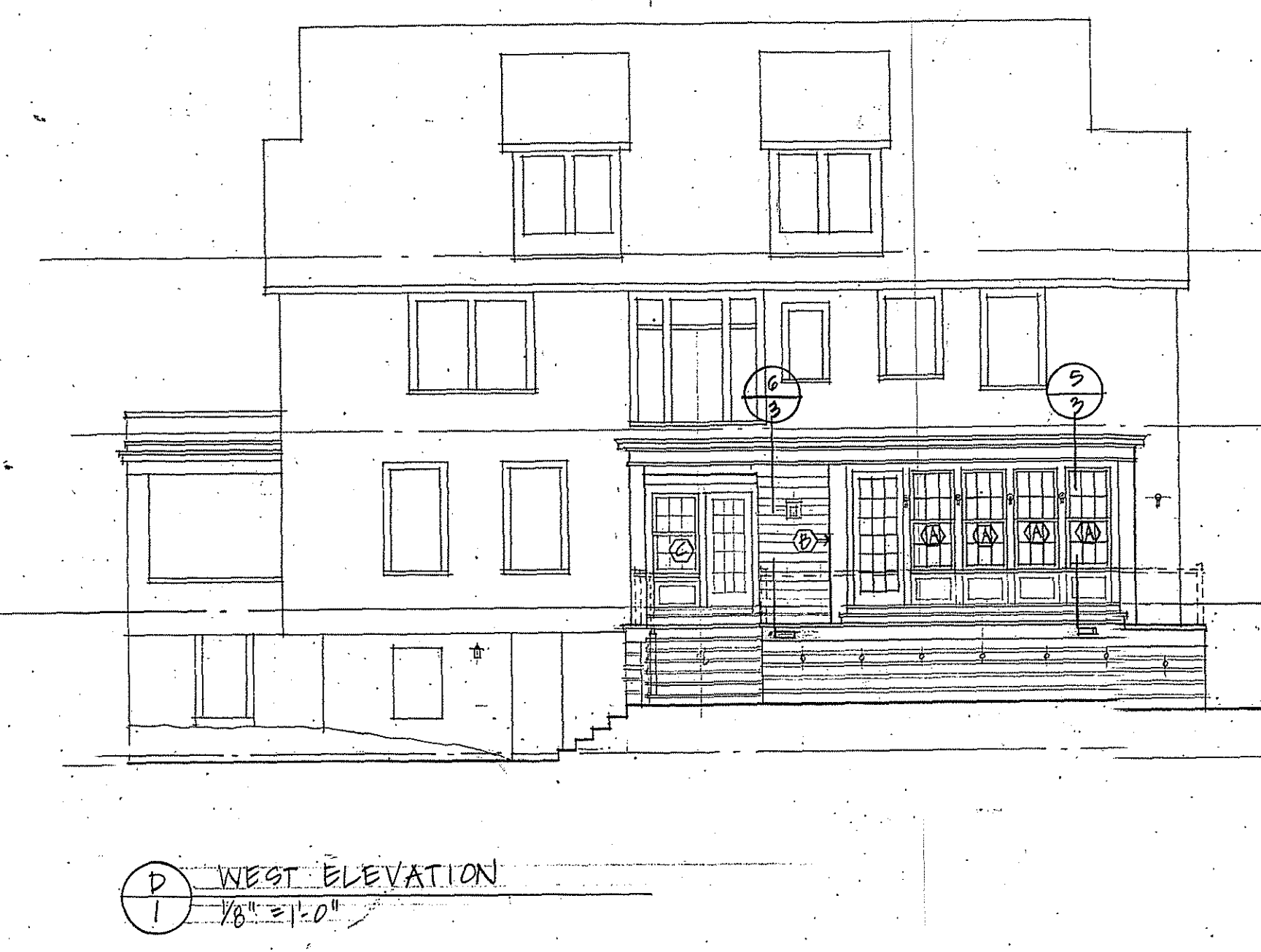
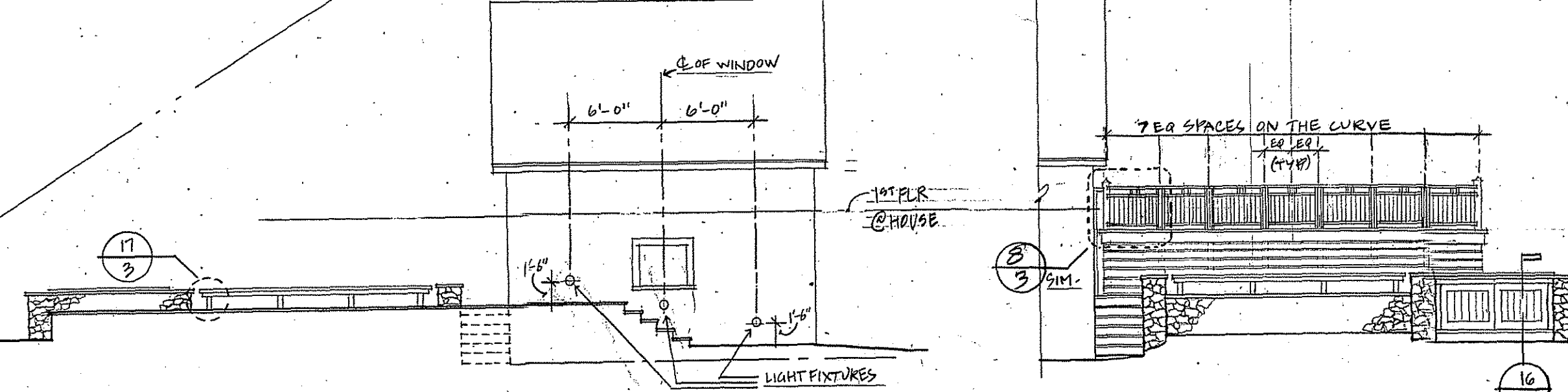
ROOM	FLOOR		WALL BASE TRIM		CEILING	
	ANTIQUE HEART PINE	PATCH & MATCH EXISTING	VINYL TILE	C.P.W.B.	PATCH AS RECD	G.W.B.
1 ST FLR						
ENTRY	N	N	P	P	P	P
DINING RM						
KITCHEN	X	X	X	X	X	X
POWDER RM	X	X	X	X	X	X
CLOSET	X	X	X	X	X	X
HALL	X	X	X	X	X	X
REAR ENTRY	X	X	X	X	X	X
2 ND FLR						
LAUNDRY			X	X	X	X
U - UNFINISHED P - PAINTED N - NATURAL, SEALED						

NOTES:
Note 1: Provide water-resistant G.W.B. @ tile backslash
Note 2: All rooms listed on this schedule to be included in interior painting scope.
Note 3: Provide hanging rod with shelf above.

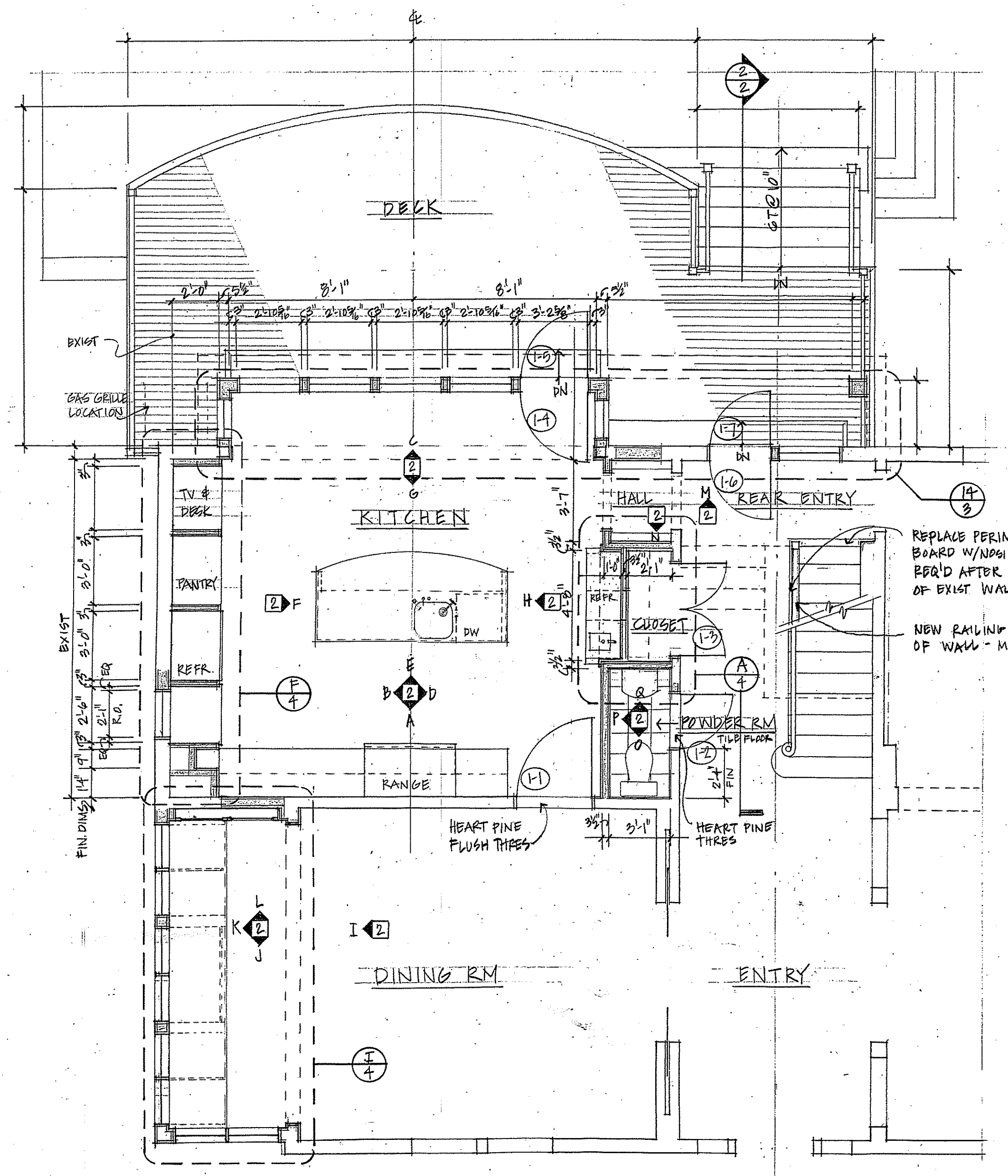
APPROVED
Montgomery County
Historic Preservation Commission

SITE PLAN
1
3/8" = 1'-0"

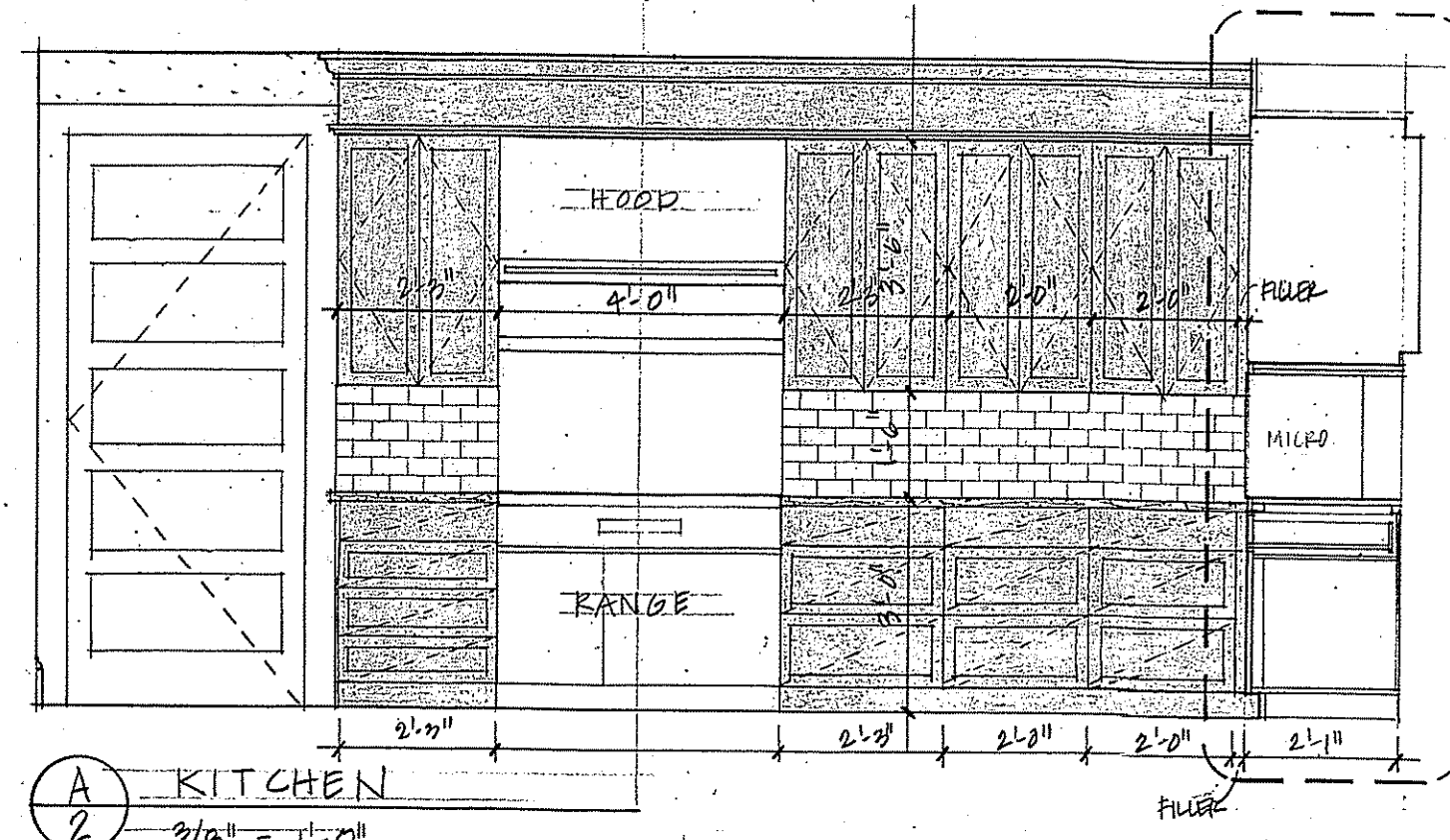
Lot 6 & part of Lot 7 -
Section 2 Block 39
Chevy Chase
Montgomery County, MD
Site information was obtained from
house location plat by Construction
Surveys, Inc., 6/7/86.



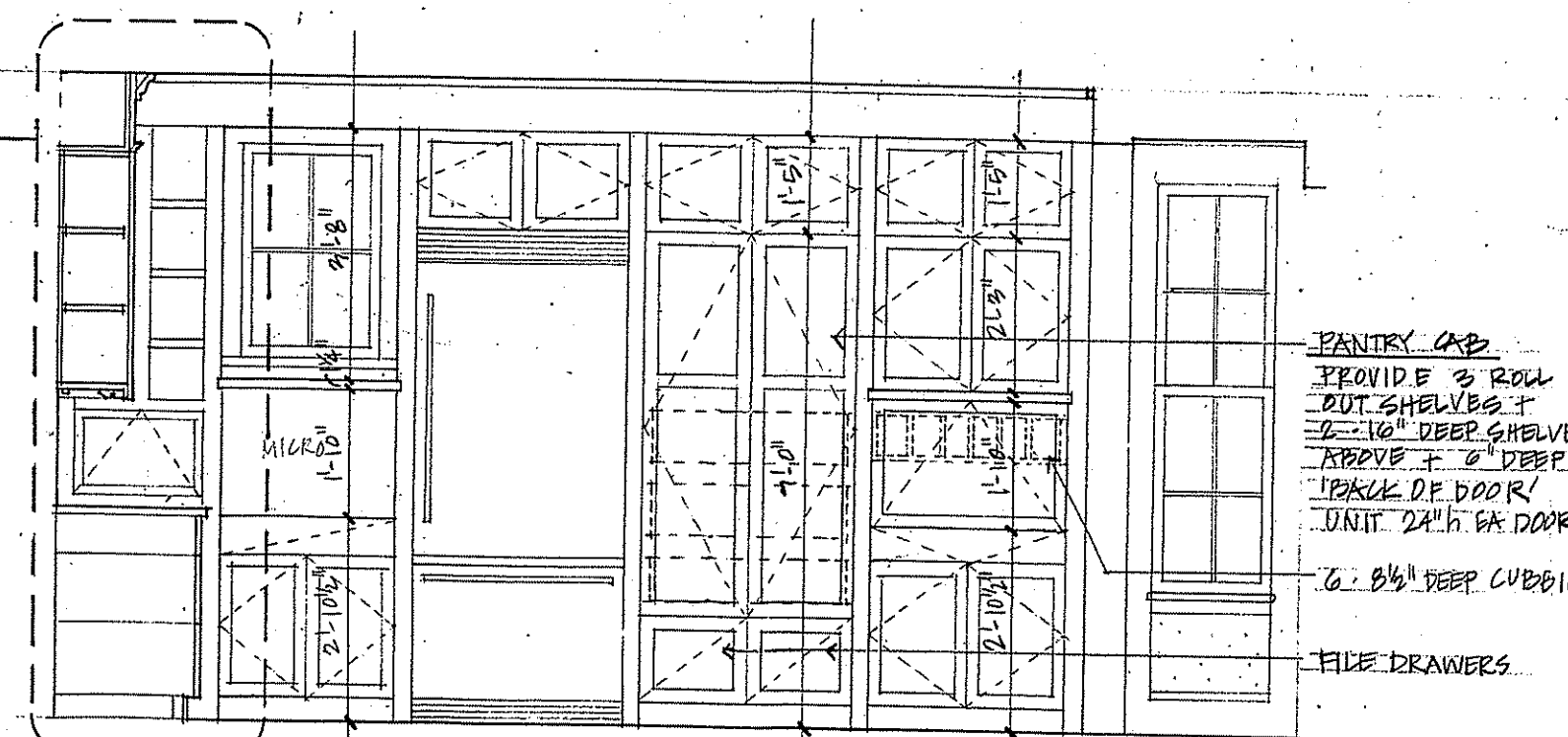
T R E A C Y & E A G L E B U R G E R
 A R C H I T E C T S
 3335 CONNECTICUT AVE. NW • 3RD FLOOR • WASHINGTON, D.C. 20008-5071
 FOK BID 7/3/01
 REVISION 7/13/01
 SITE PLAN, SCHEDULES & ELEVATIONS
 MULLER RESIDENCE
 20 MAGNOLIA PARKWAY • CHEVY CHASE, MD 20815.
 1



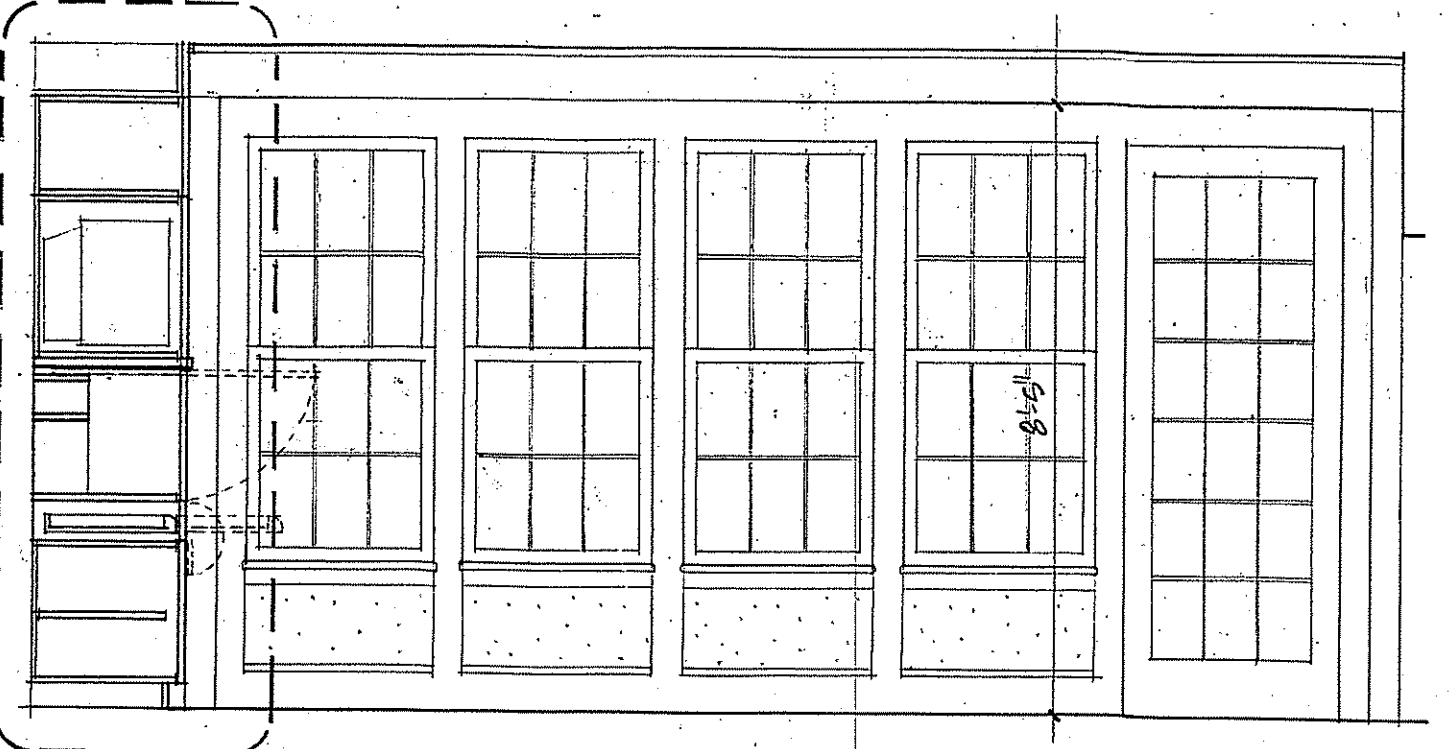
1 FIRST FLOOR PLAN
2 1/4" = 1'-0"



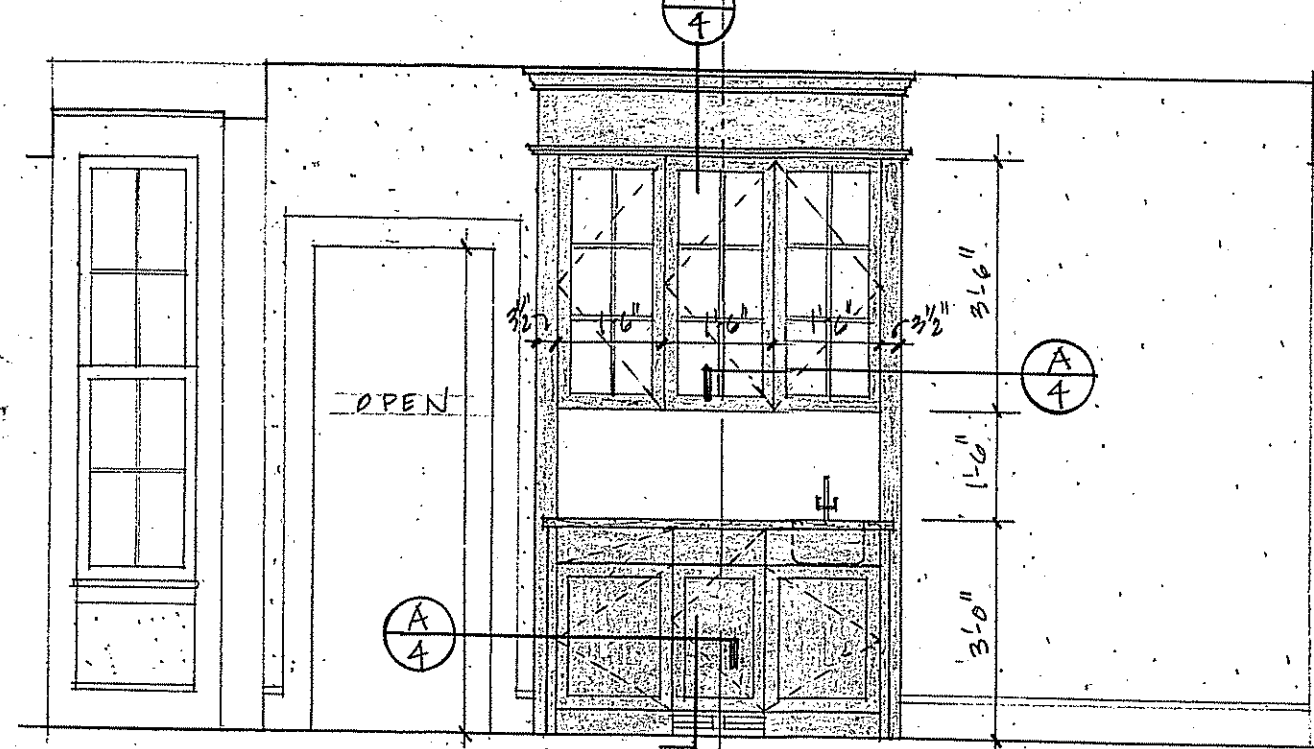
A KITCHEN
2 3/8" = 1'-0"



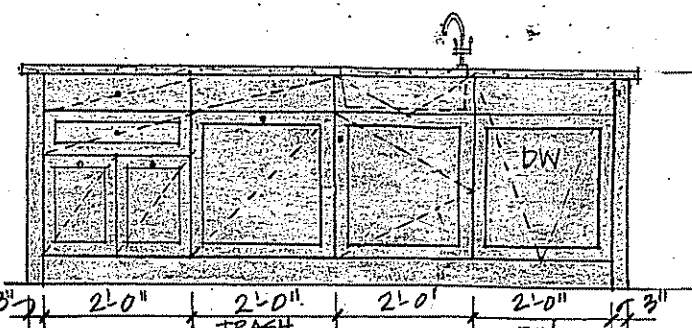
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2 3/8" = 1'-0"



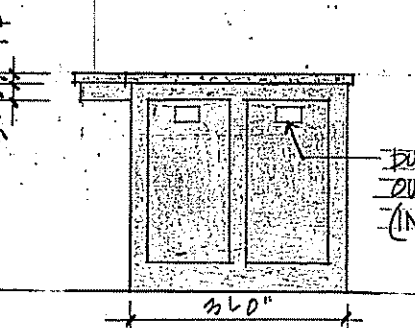
C KITCHEN
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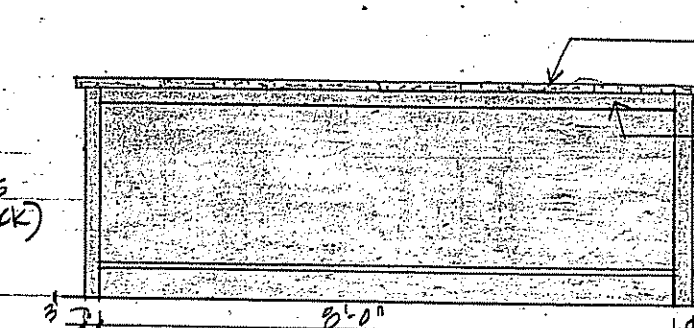
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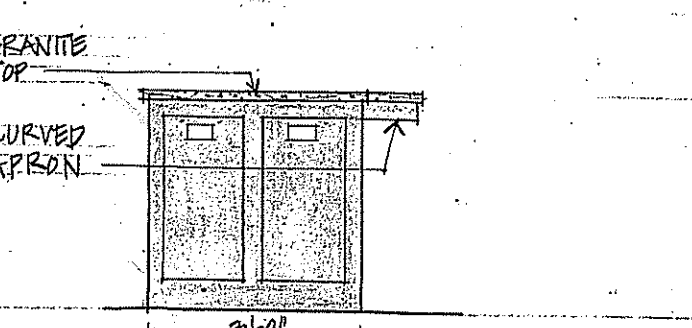
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2 3/8" = 1'-0"



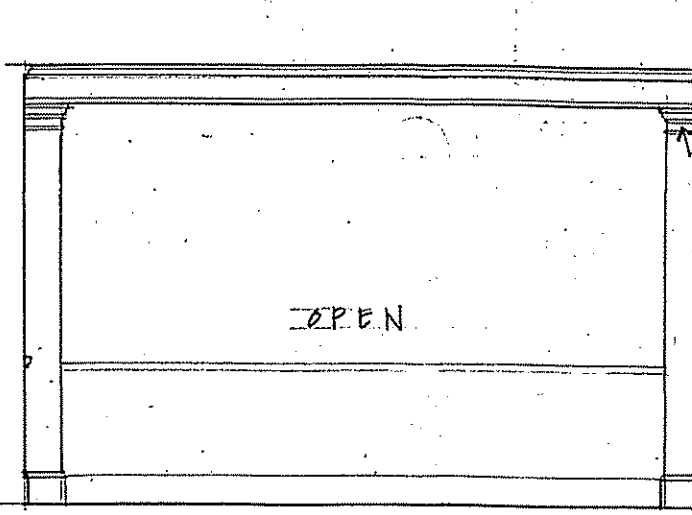
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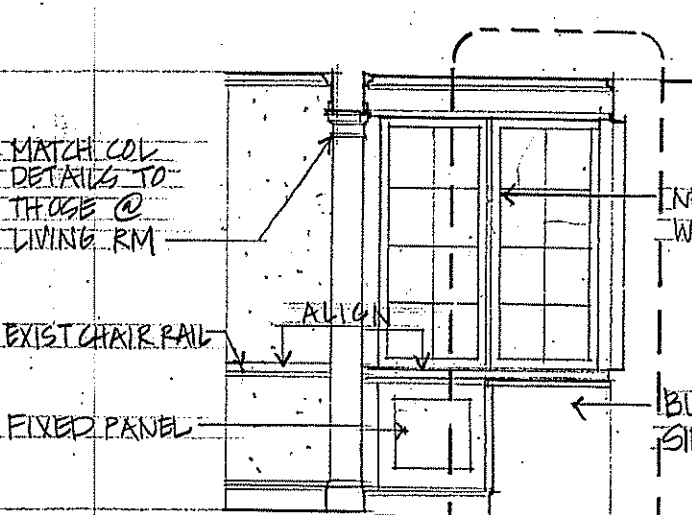
G ISLAND
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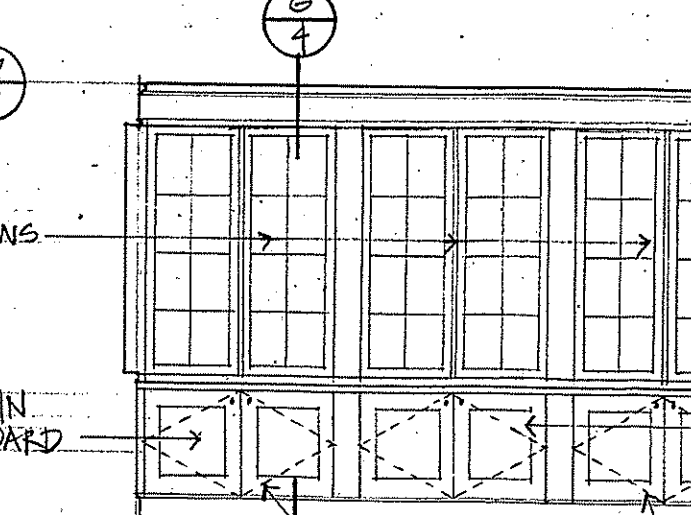
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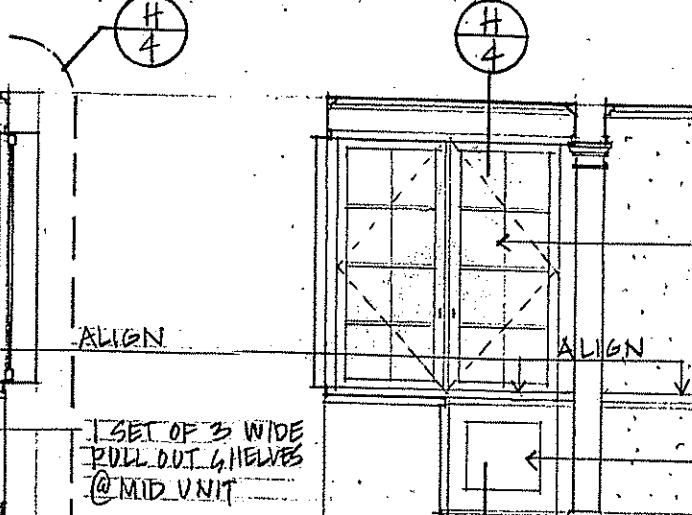
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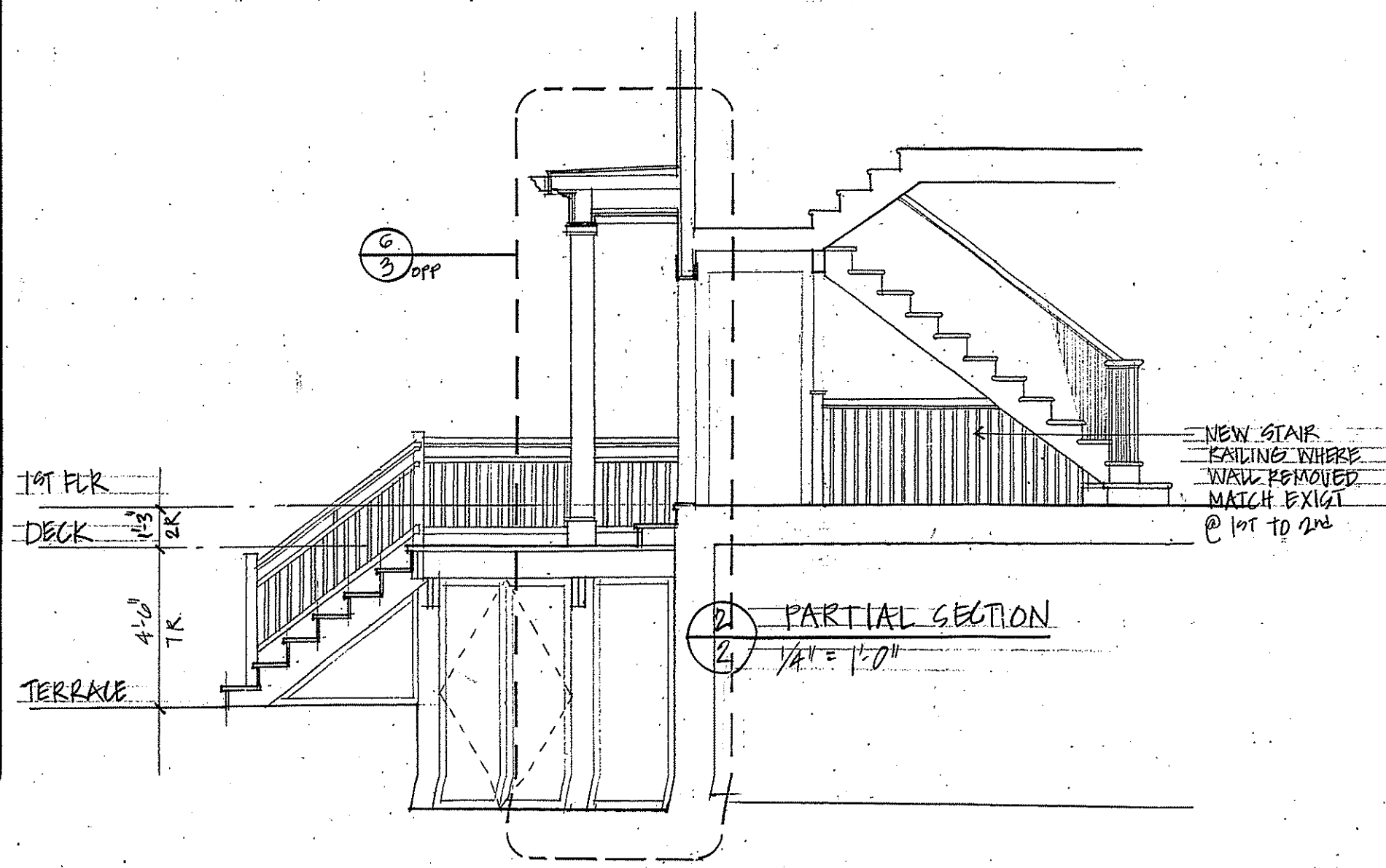
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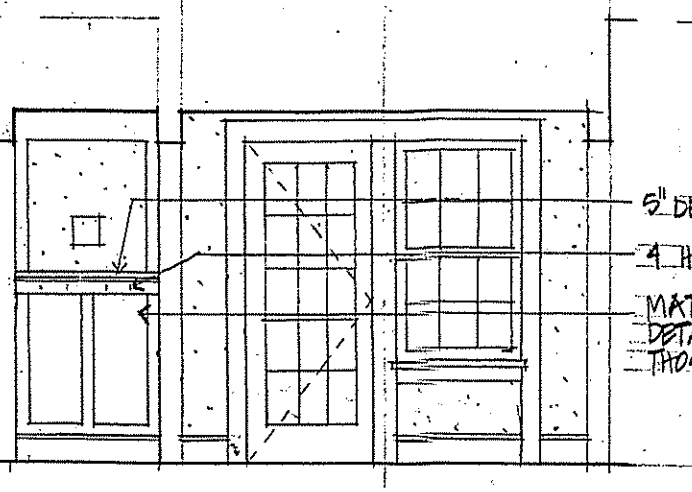
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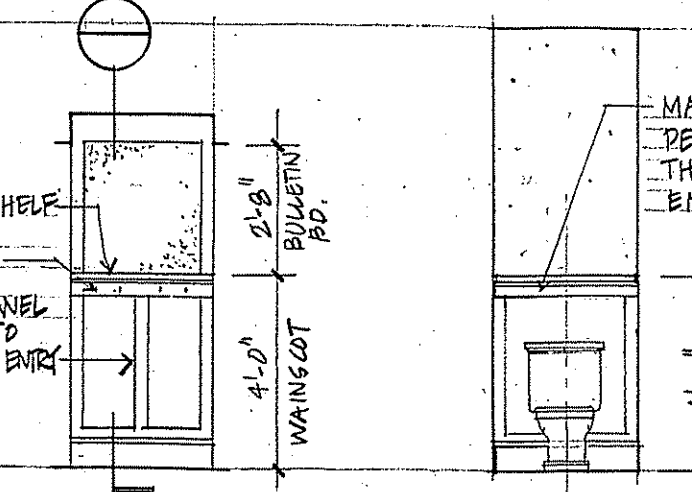
L DINING RM
2 1/4" = 1'-0"



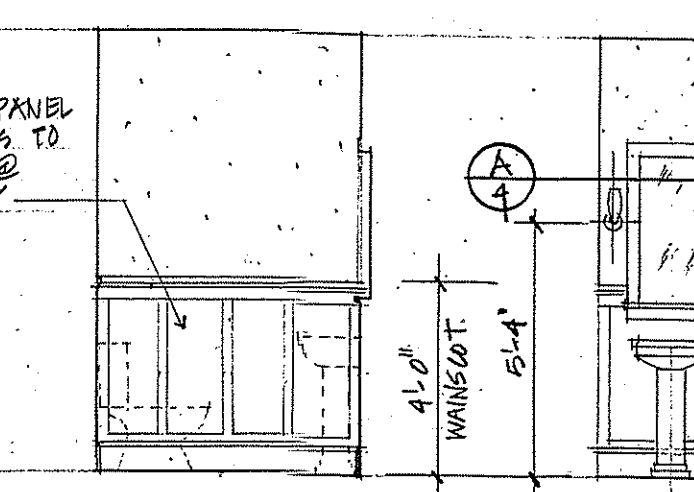
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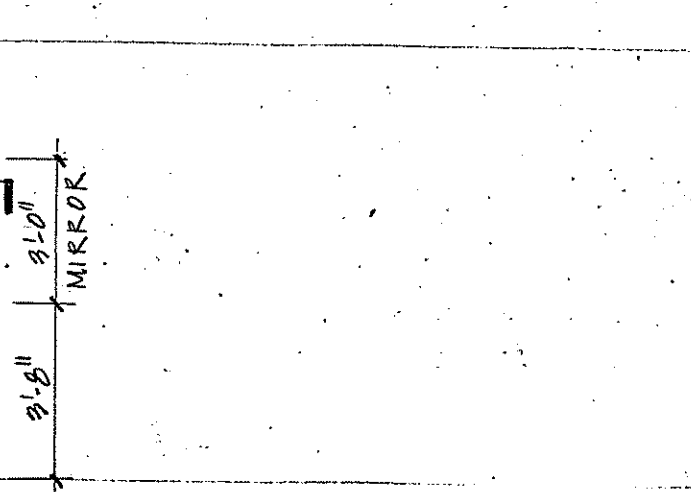
M HALL/REAR ENTRY
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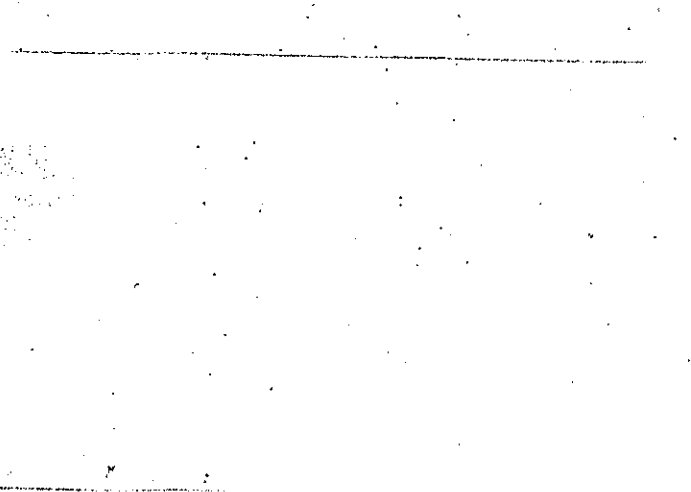
N HALL
2 1/4" = 1'-0"



O PWDR RM
2 1/4" = 1'-0"

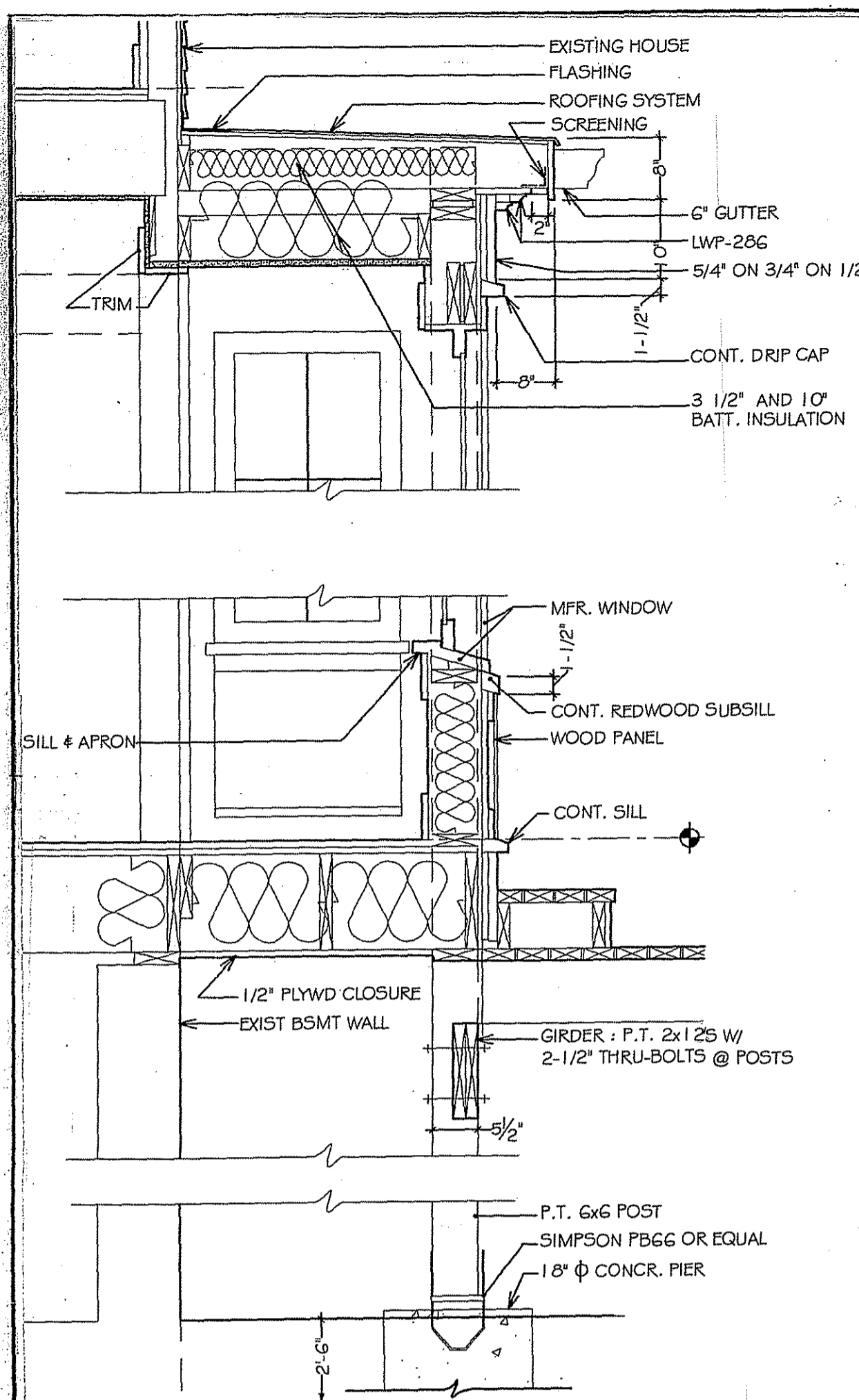


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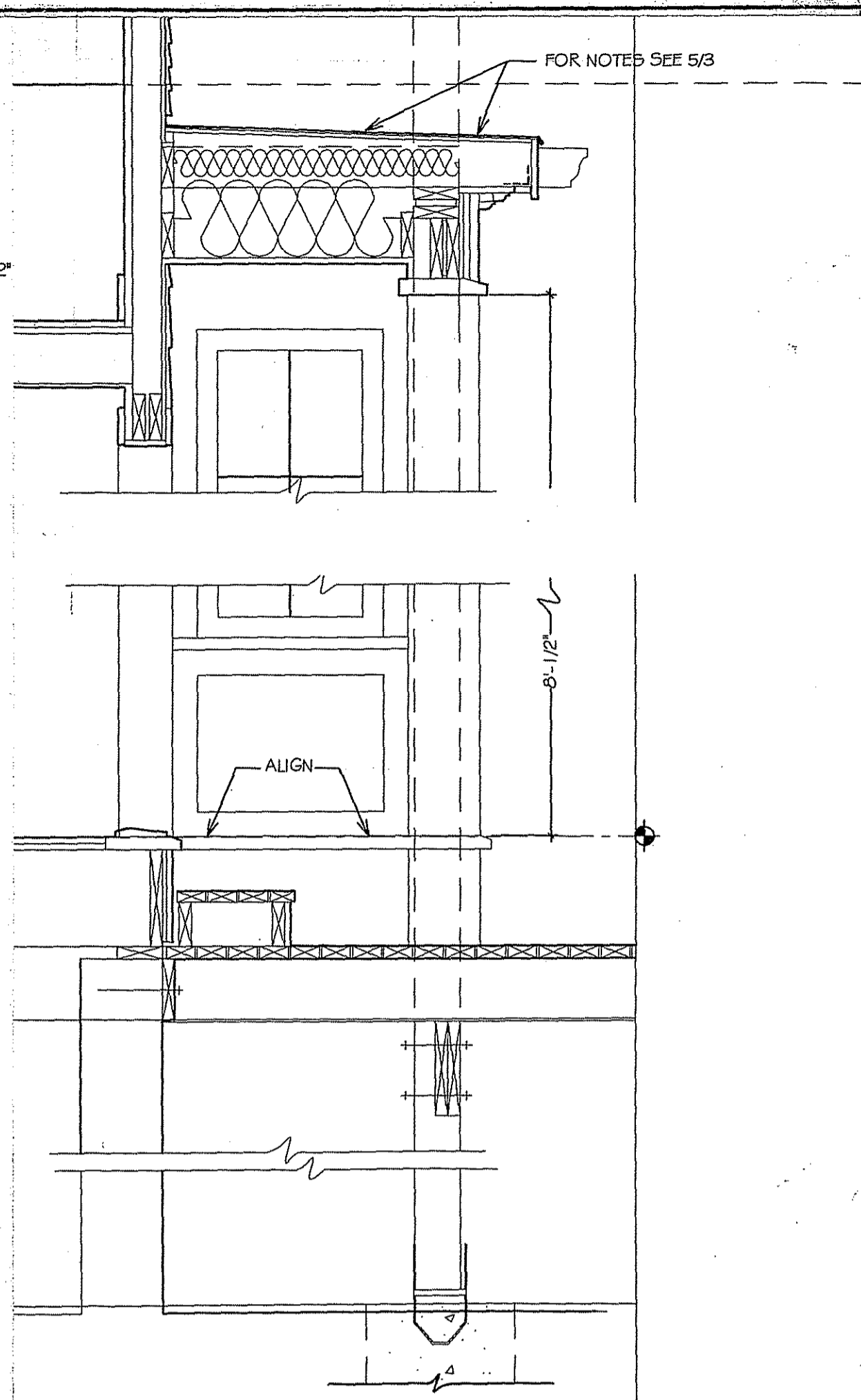


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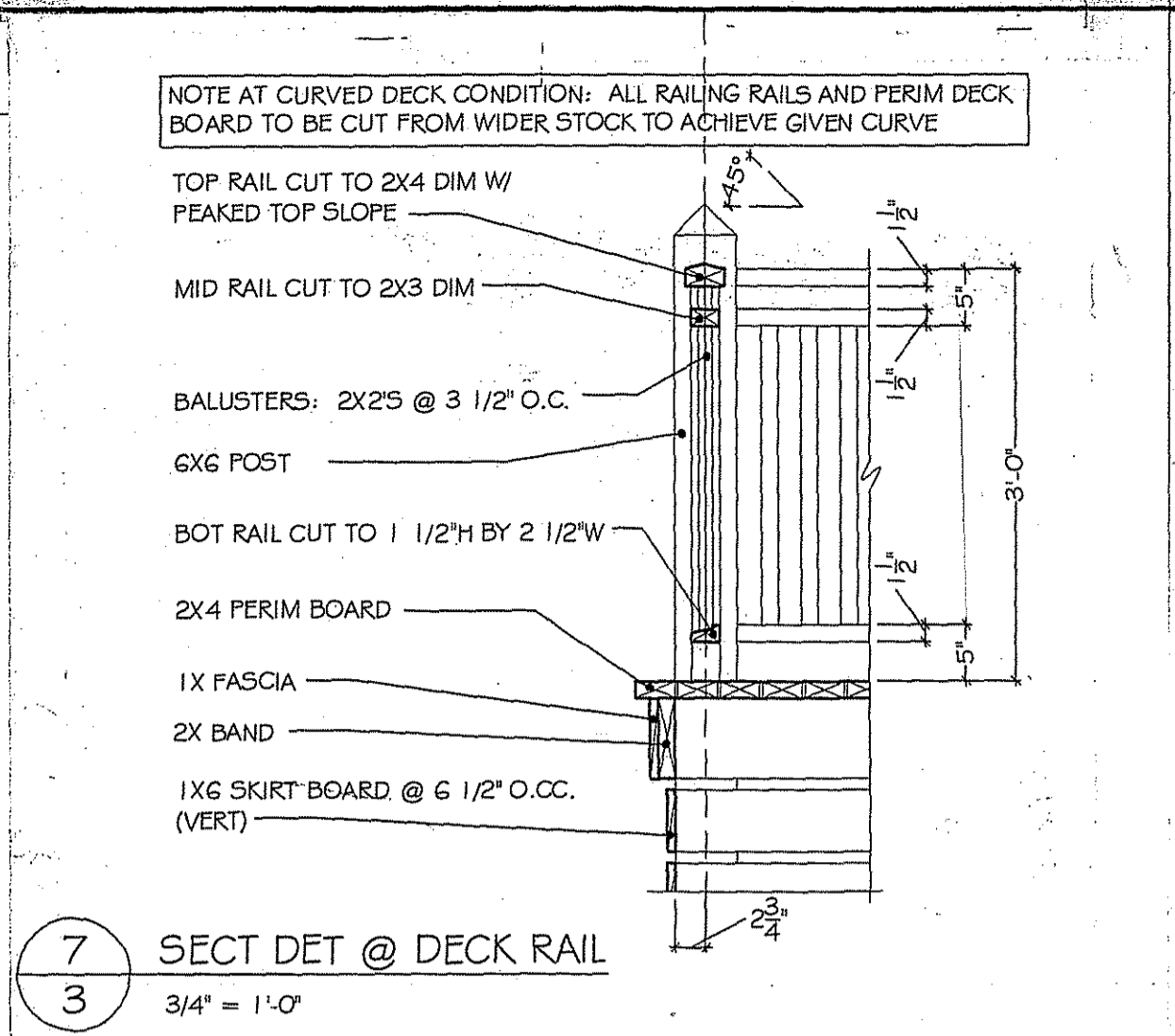
APPROVED
Montgomery County
Historic Preservation Commission



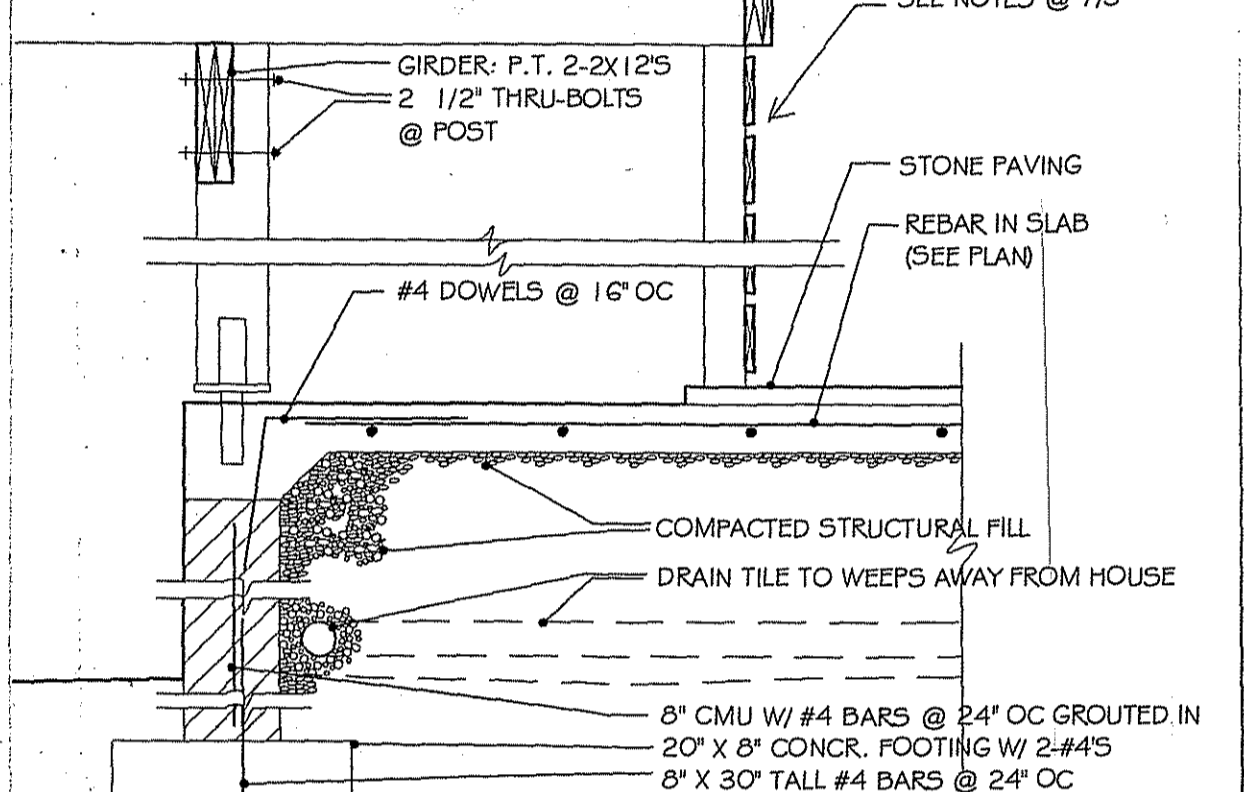
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3/4" = 1'-0"



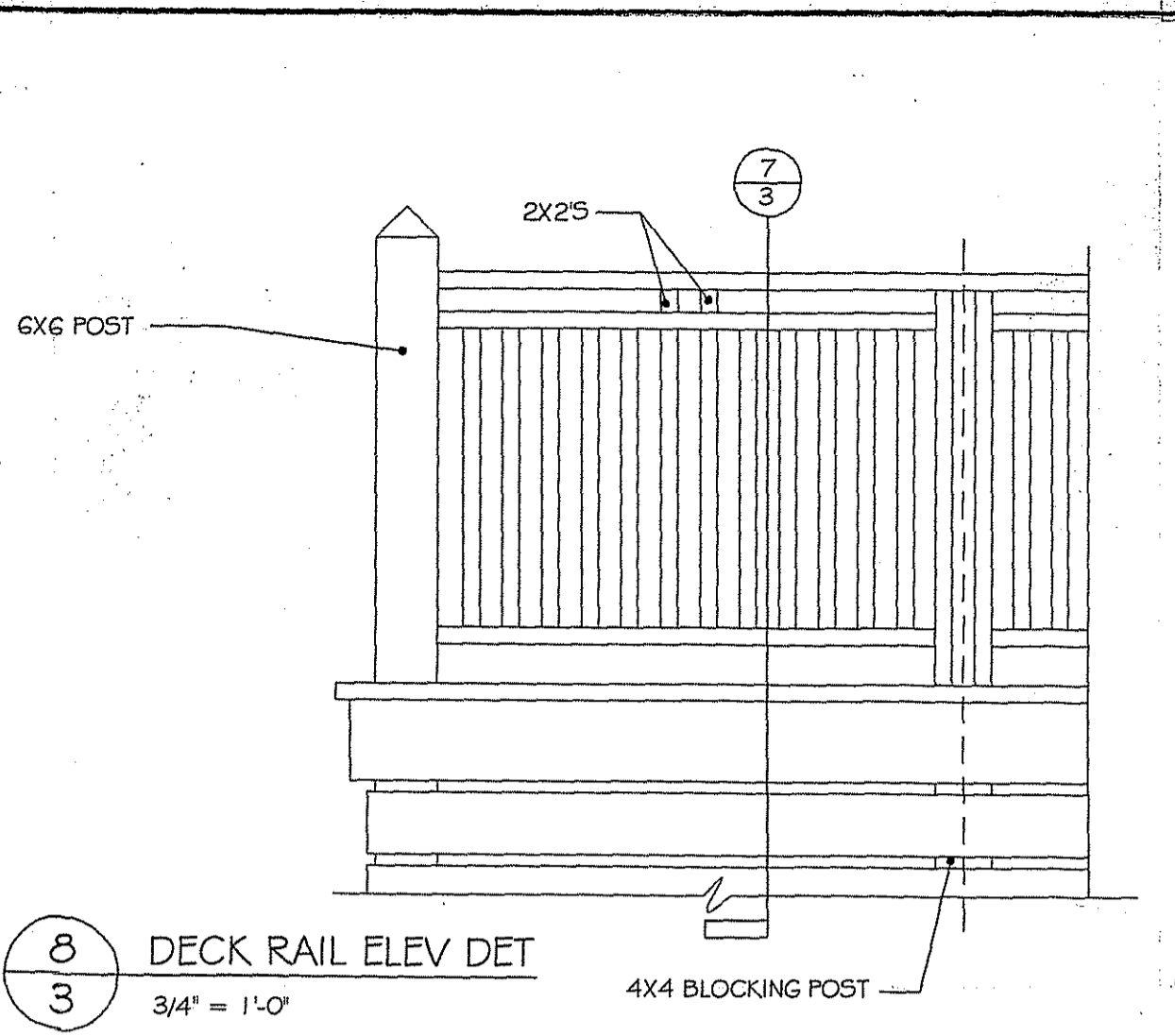
6 WALL SECTION @ STOOP
3/4" = 1'-0"



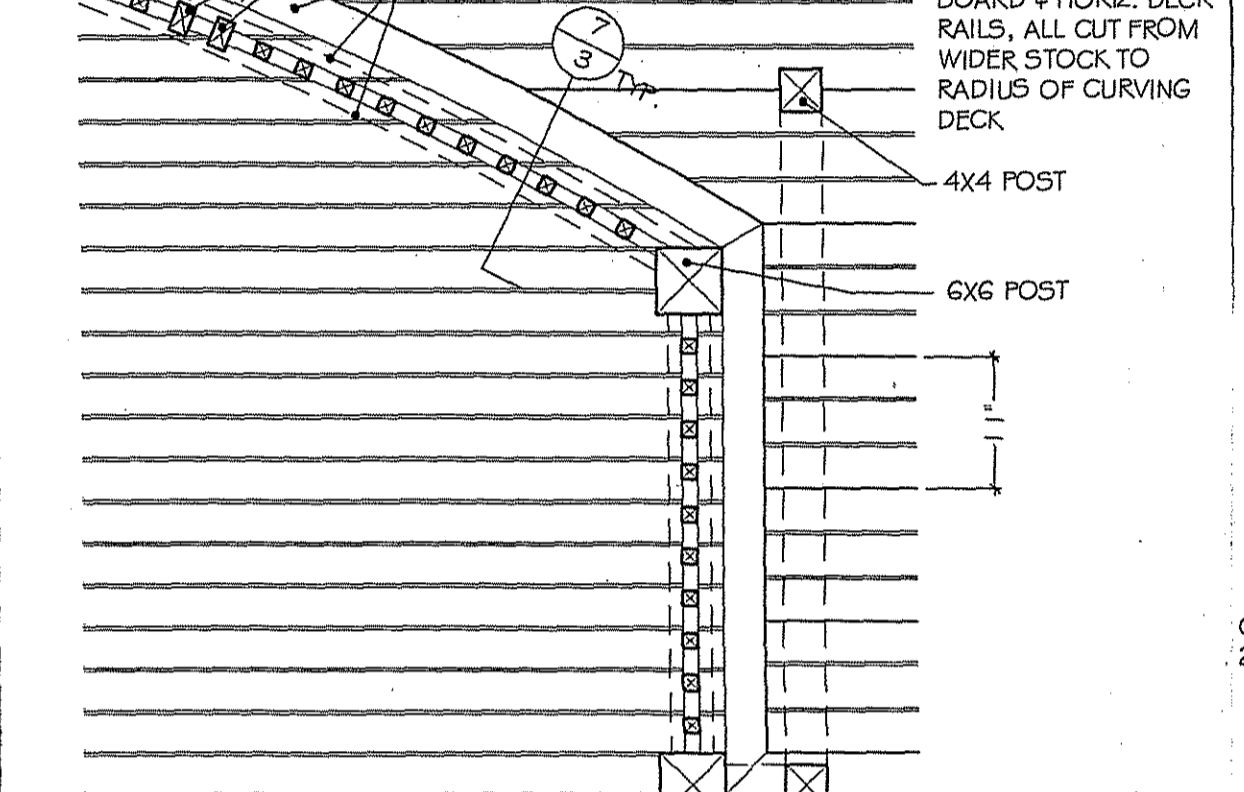
7 SECT DET @ DECK RAIL
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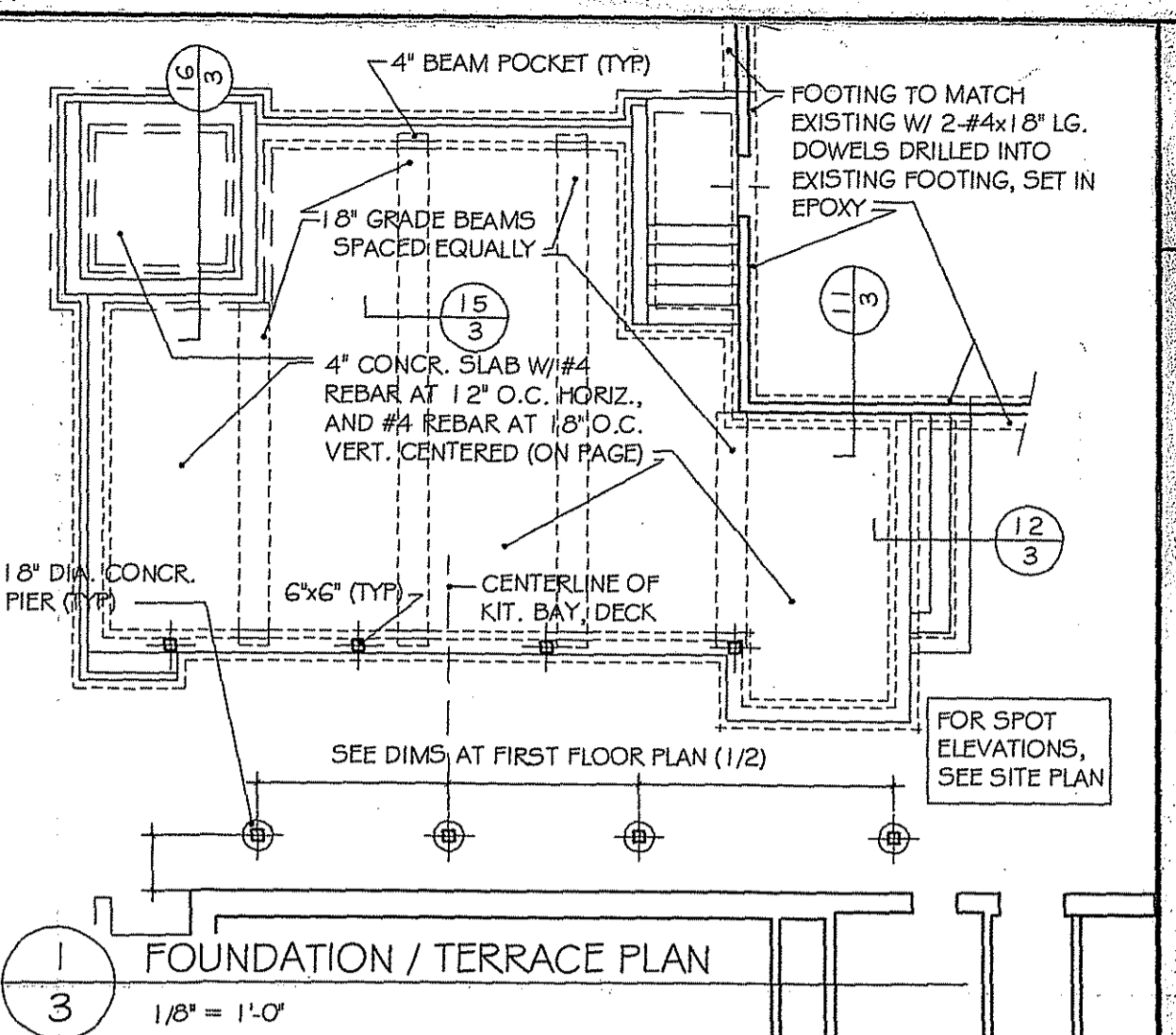
9 DECK/SLAB SECTION
3/4" = 1'-0"



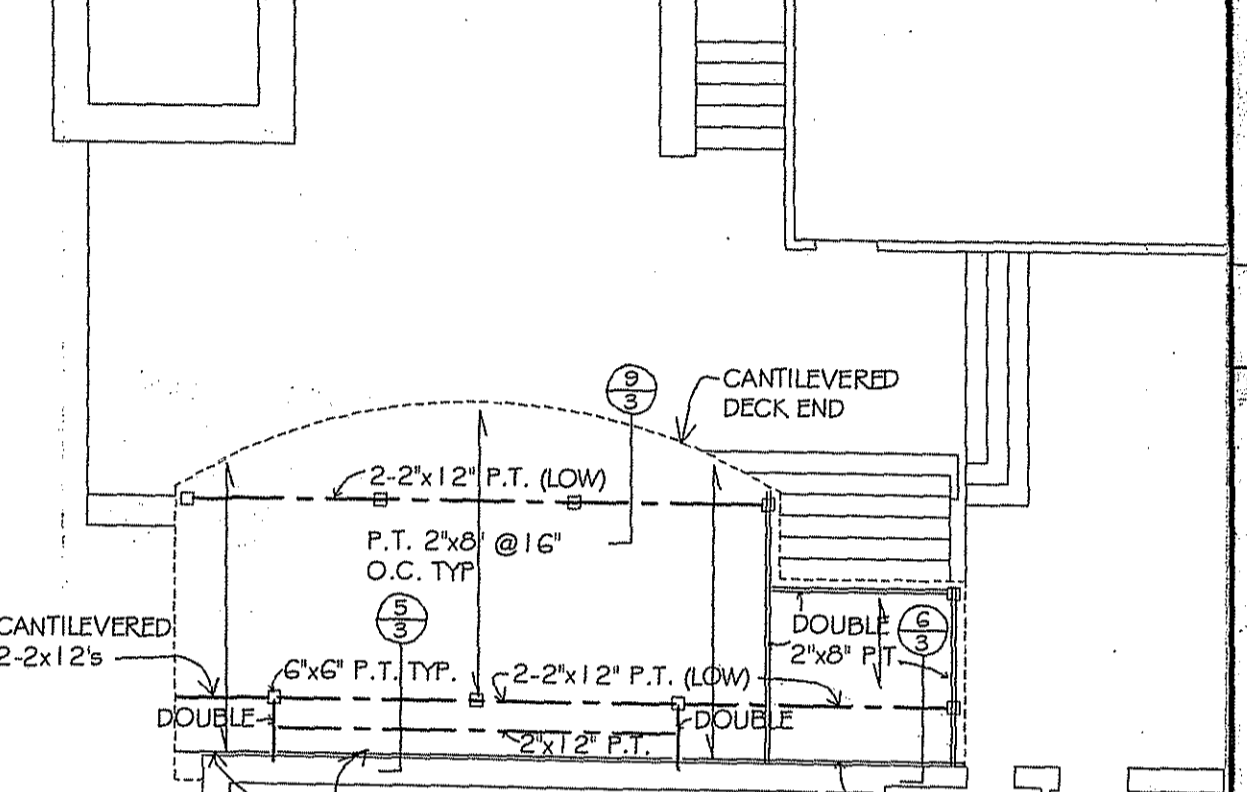
8 DECK RAIL ELEV DET
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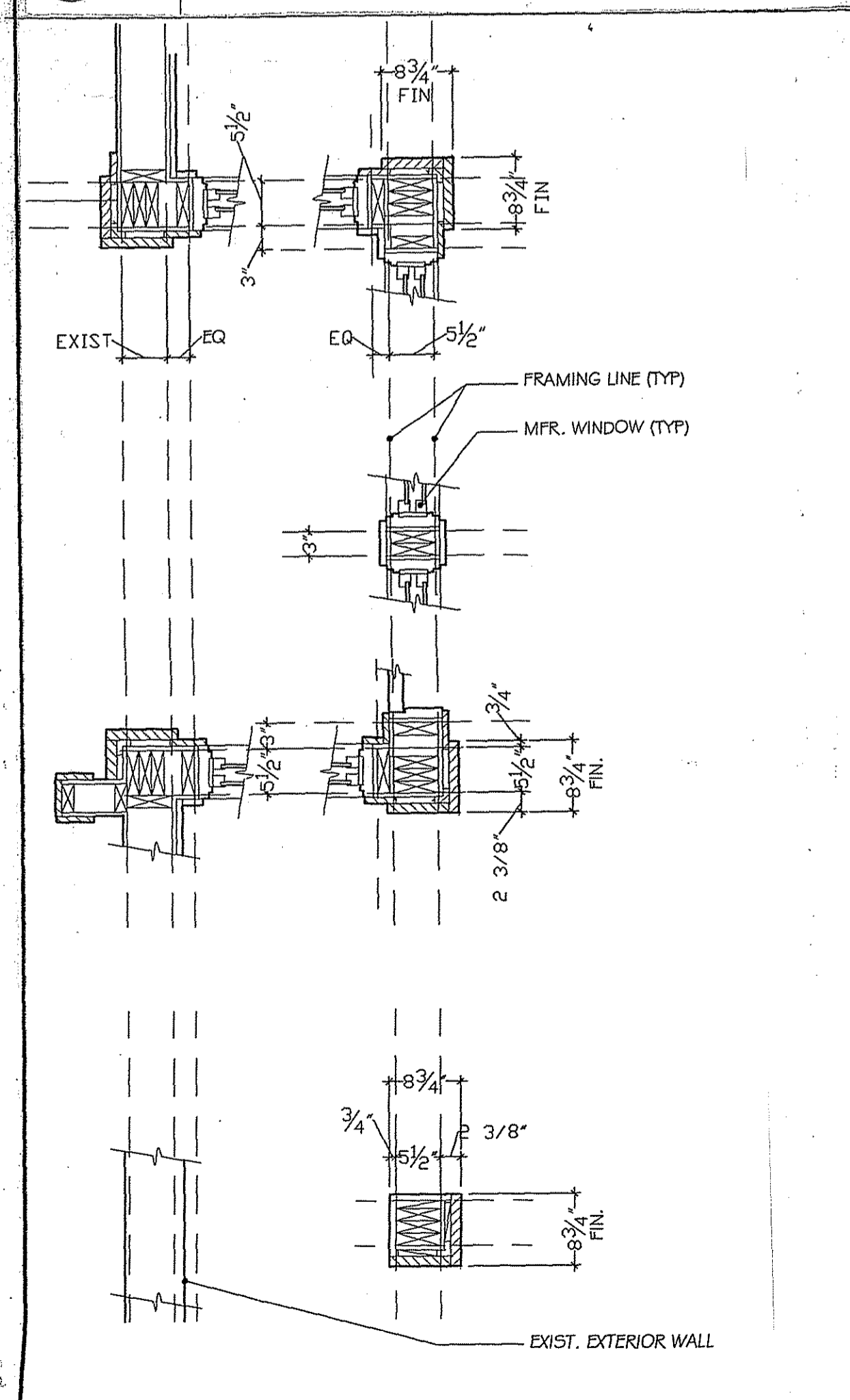
10 PLAN DET @ DECK
3/4" = 1'-0"



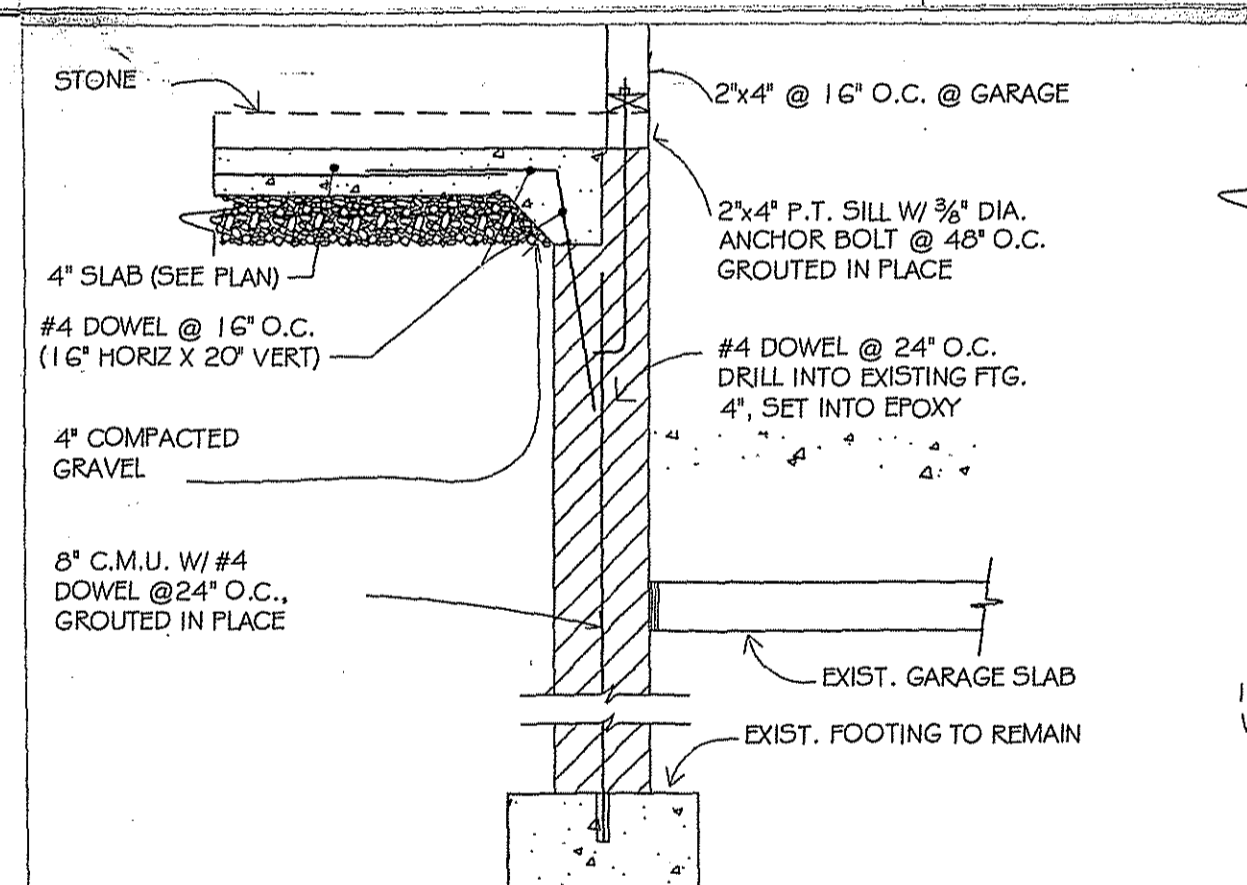
1 FOUNDATION / TERRACE PLAN
1/8" = 1'-0"



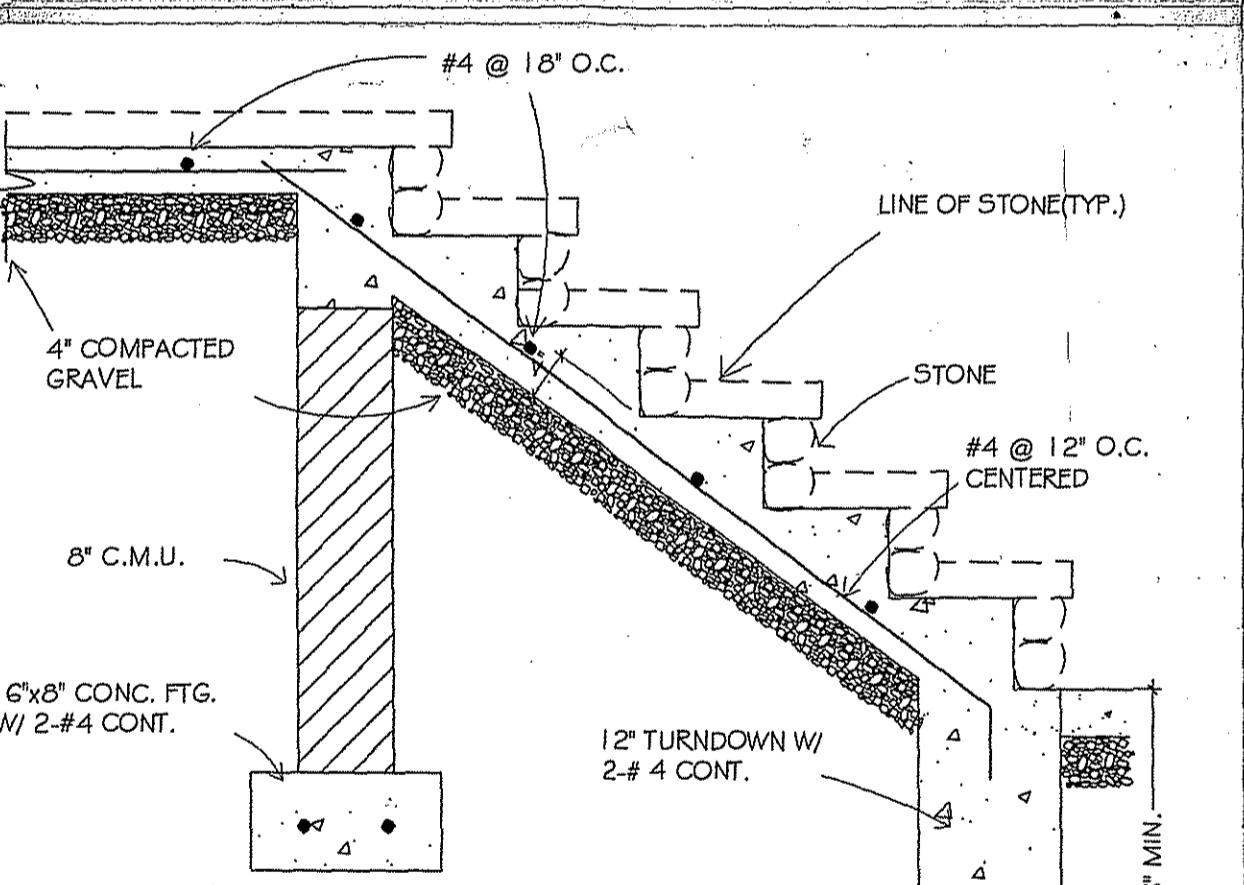
2 FIRST FLR. / DECK FRAMING (OVER BMT PLAN)
1/8" = 1'-0"



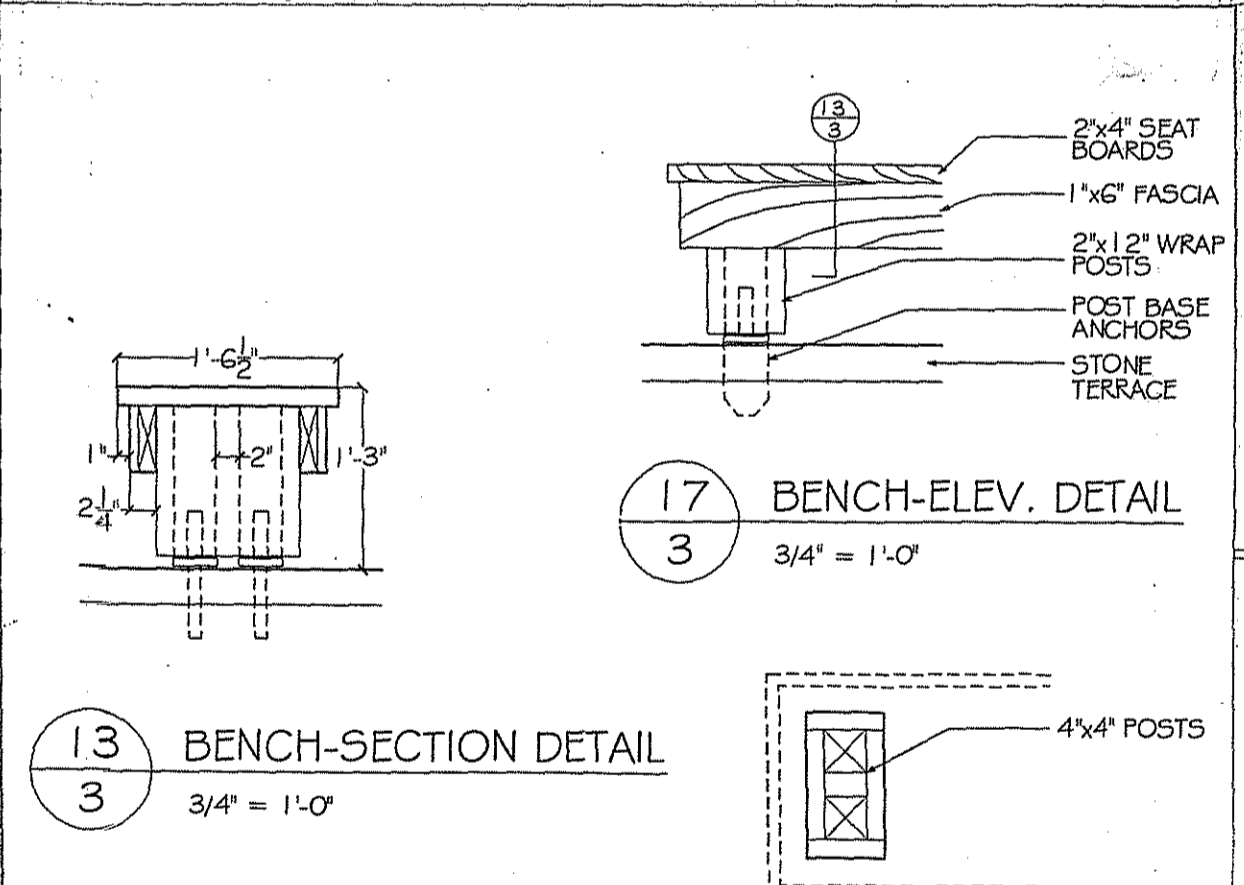
14 PLAN DETS @ KIT BAY
3/4" = 1'-0"



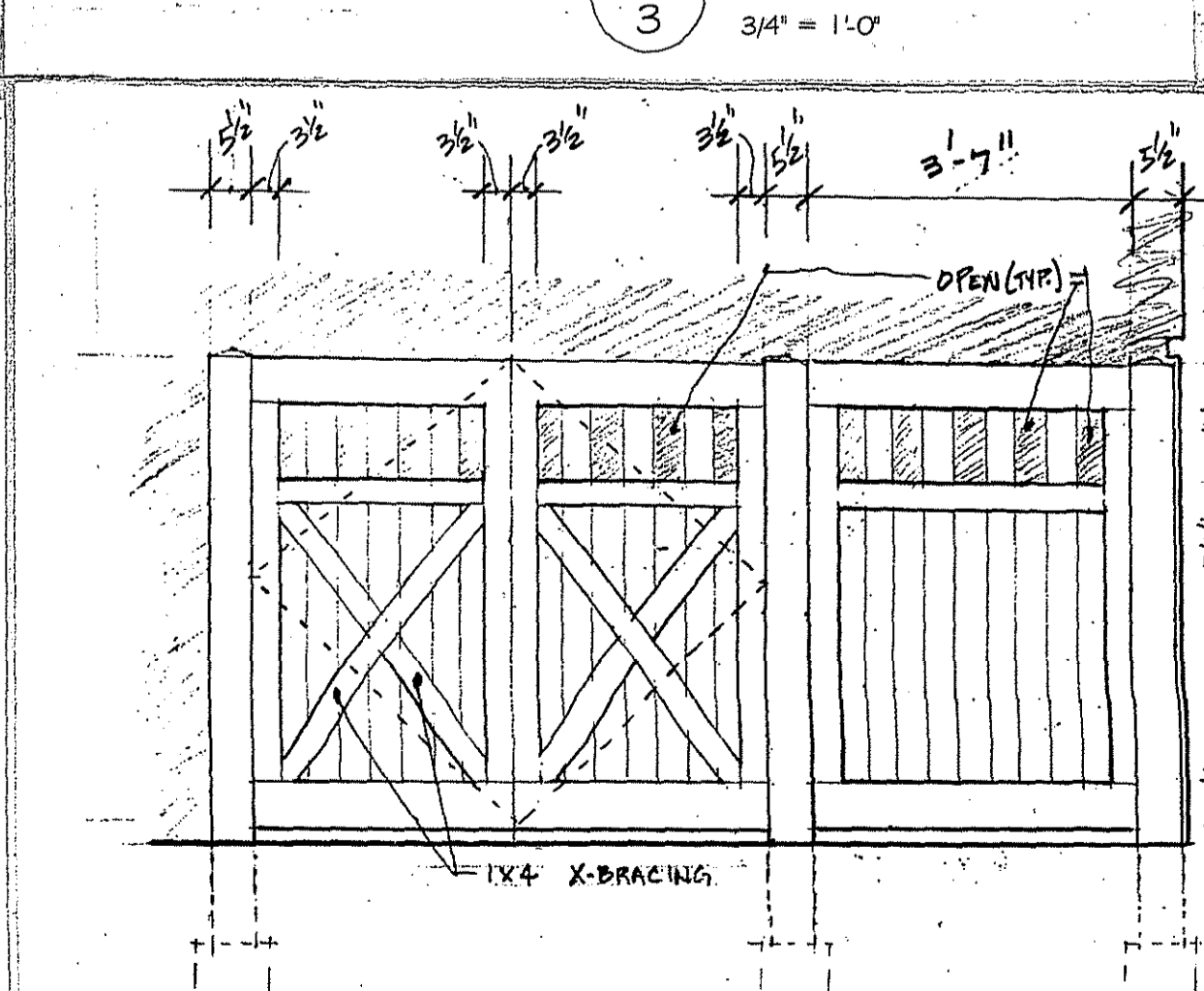
11 TERRACE @ EXIST. GARAGE
3/4" = 1'-0"



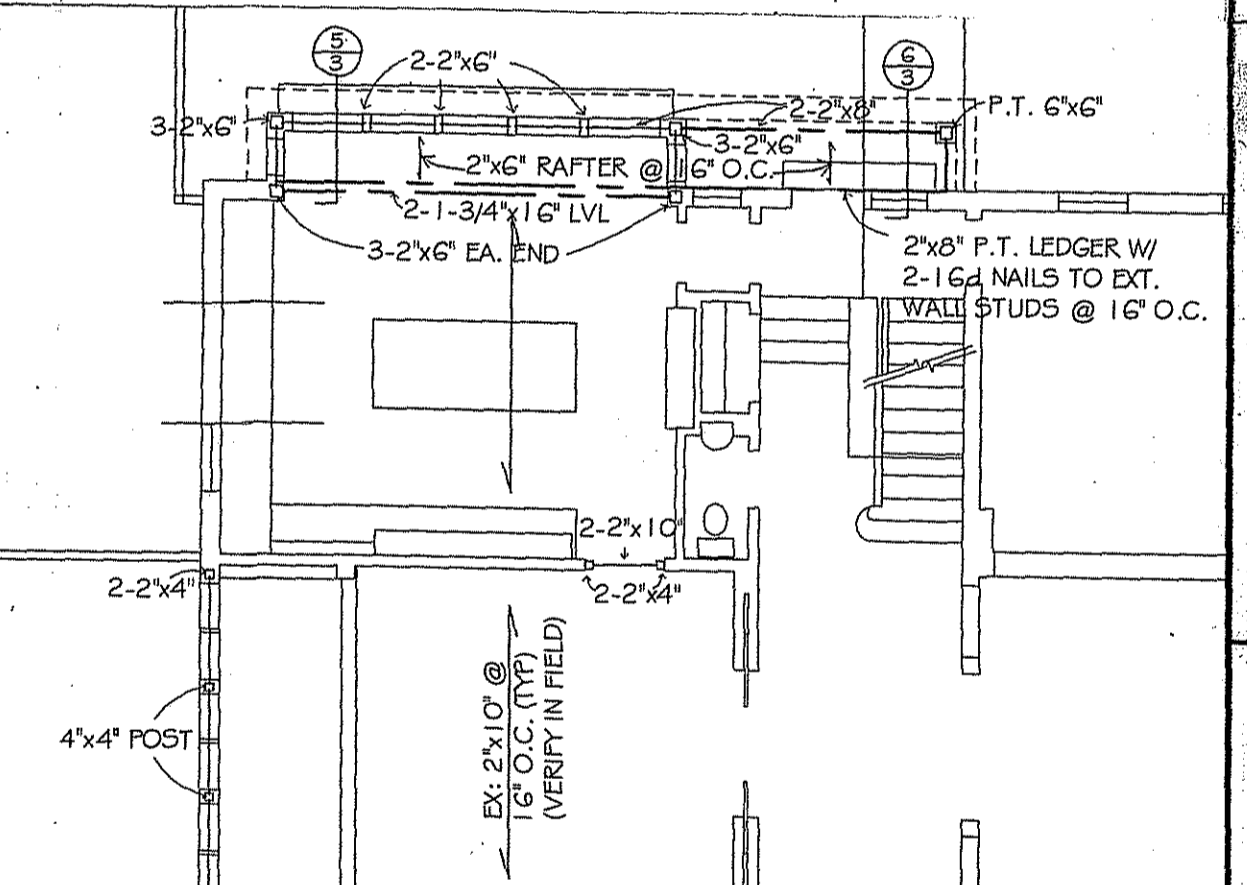
12 TERRACE STAIR
3/4" = 1'-0"



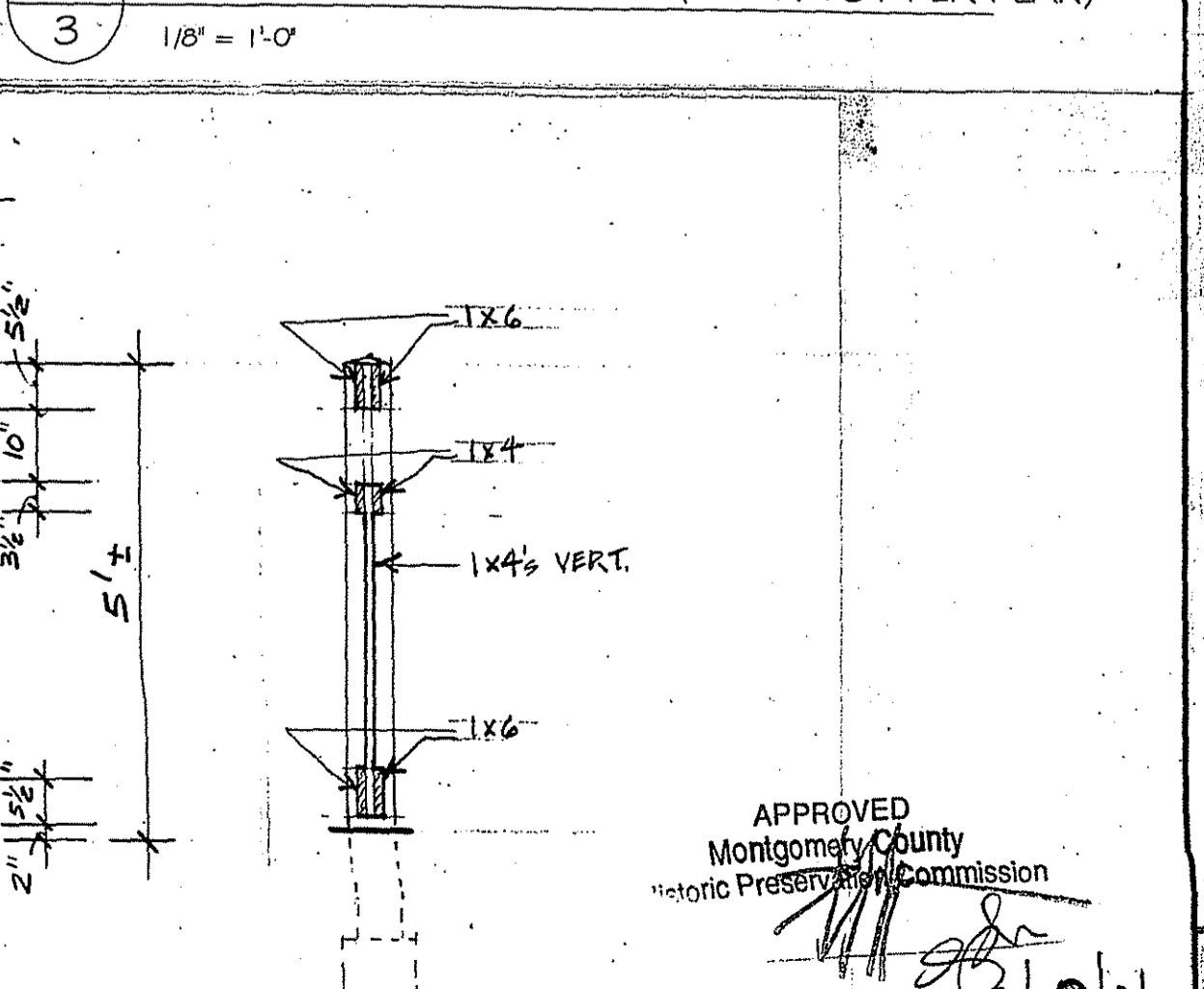
17 BENCH-ELEV. DETAIL
3/4" = 1'-0"



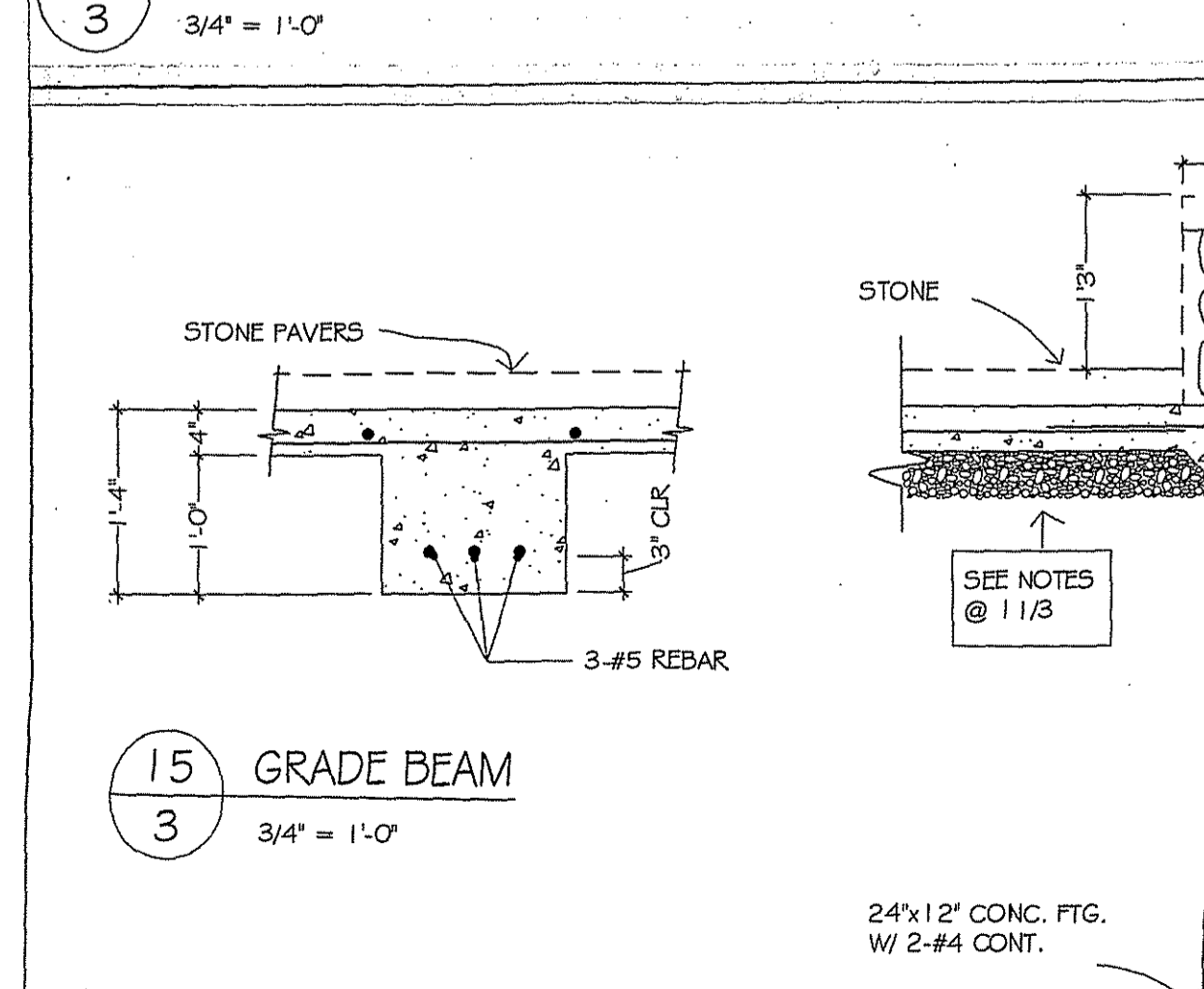
13 BENCH-SECTION DETAIL
3/4" = 1'-0"



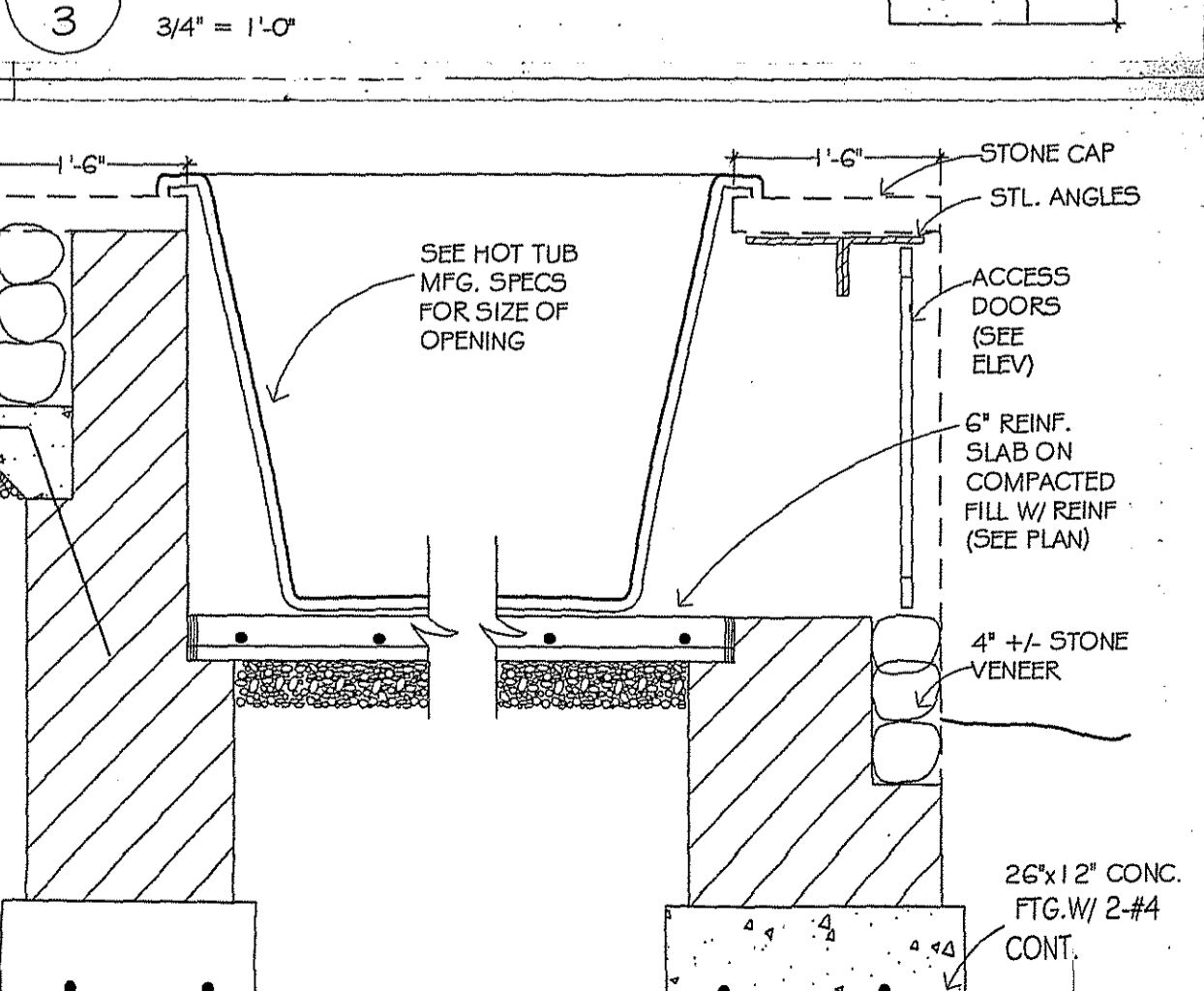
18 BENCH-PLAN DETAIL
3/4" = 1'-0"



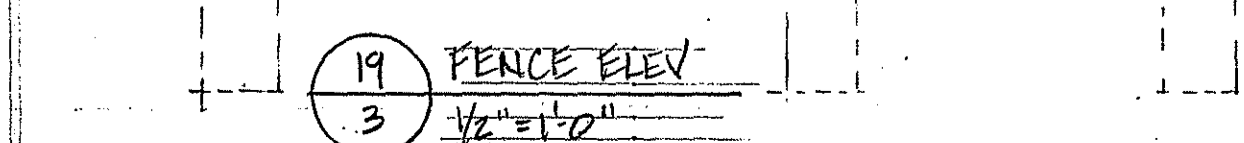
3 2ND FLR. / ROOF FRAMING (OVER 1ST FLR PLAN)
1/8" = 1'-0"



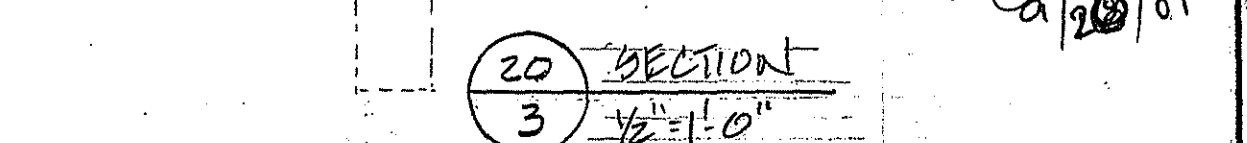
15 GRADE BEAM
3/4" = 1'-0"



16 HOT TUB SECTION
3/4" = 1'-0"

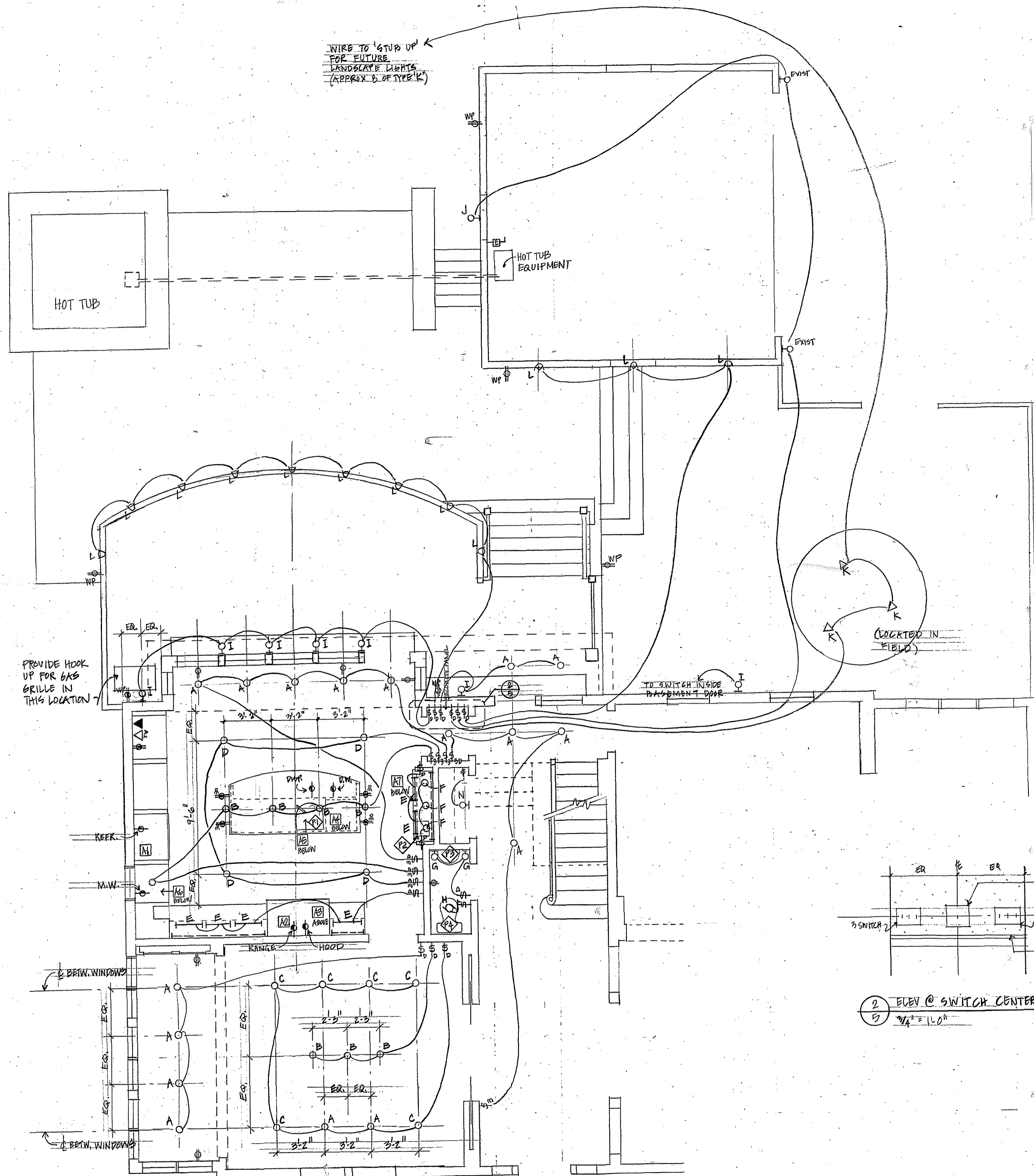


19 FENCE ELEV
1/2" = 1'-0"



20 SECTION
1/2" = 1'-0"

TREACY & EAGLEBURGER
ARCHITECTS
3335 CONNECTICUT AVENUE, 2ND FLOOR, WASHINGTON, D.C. 20008-5071
FOR BID 7/13/01
REVISION 7/18/01
FRAMING & WALL SECTIONS
EXTERIOR DETAILS
MULLER RESIDENCE
20 MAGNOLIA PARKWAY CHEVY CHASE, MD 20815
APPROVED
Montgomery County
Historic Preservation Commission
3



FIRST FLOOR PLAN
1/4" = 1'-0"

PLUMBING FIXTURES		
P-1	Kitchen sink: Disposal: Fittings: Soap dispenser Hot water disp:	Frankie, EuroPro, # WGNX110-20(20" x 28" x 10") See Appliances Frankie, Triflow Faucet, TFC 300 chrome Frankie, 902C, chrome Insta Hot, chrome
P-2	Bar sink: Fitting:	Blanco, Blancospex #501-102 satin finish, undermount Frankie, BFT 200, chrome
P-3	Pedestal Lav: Fitting:	Vitra USA, #6035, for 8" fittings, white Grohe, Classic Wideset w/ Arabesck handles, #20 890 000, chrome
P-4	Toilet: Seat:	Toto, Provincial, #CST 723, white Toto, Soft Close, round front, white

APPLIANCES		
A1	Refrigerator:	SubZero #650, with painted panel to match cabinets
A2	Dual fuel Range:	Viking, 48" stainless steel slide in range, #RES30RS
A3	Range hood:	Viking, #VDS485-6GSS, 48" wide, 24" deep, stainless steel with chrome accessory rail and full height stainless steel backsplash with high shelf. Vent to exterior through soffit above wall cabinets to exterior mounted power ventilator #VEV1200.
A4	Dishwasher:	Asko, #D1996 F1, with fully integrated panel to match cherry cabinets
A5	Disposal:	Frankie, Little Butler, #1001 with air activated control switch, deck mounted, Insinkerator E-Z switch, chrome.
A6	Microwave oven	GE Advantium Oven, SCB2001CSS built-in microwave/convection oven, stainless steel
A7	Bar refrigerator	U-Line #15R, stainless steel frame, with panel to match cherry cabinets.
A8	Washer/dryer	Asko, stackable, Washer W640, dryer #T760, vent to wall cap.

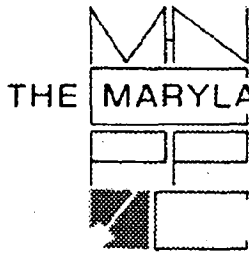
- M.E.P. NOTES**
- HVAC (also see Project Manual):**
Heating & Cooling
Modify existing forced air system to accommodate new layout of rooms in southwest corner of house. New layout and work should address insufficiencies in existing supply to existing Kitchen.
HVAC subcontractor is responsible for the exact layout and should propose a layout to be reviewed with the Architect prior to installation.
 - Smoke Detectors:** Provide alterations and upgrading as required to accommodate renovated areas and to provide a safe and professional system which meets current local code.
 - Lighting fixture locations:** See the architectural elevations for locations of all wall-mounted fixtures.
 - Provide new category 5 phone jacks at locations indicated.** All wiring should go back to main incoming telephone service box.
 - Electrical cover plate finishes:** All exposed electrical outlets, switches, jacks, cover plates, and other exposed equipment, shall be all white unless otherwise noted.
 - Island electrical boxes:** Coordinate with carpenter, the boxing and trimming out of exposed boxes inside kitchen cabinets at kitchen island.
 - Allowances:** Labor & overhead on all allowances, should already be included as part of contract price. Additional mark-up on allowance amounts at time of fixture selection, will not be accepted.
 - Backplates:** see architectural drawings for wooden backplates and boxouts where indicated.

ELECTRICAL FIXTURES		
A	Recessed, adjustable, low-voltage downlight:	Creative Lighting Systems, CSI, #2085, white 50W, MR16.
B	Recessed adjustable low-voltage -	Edison Price Anglux MR4-COL, 50W MR-16.
C	Recessed wall wash -	Edison Price Darklite A19/5 WW COL with mounting bars for wood joist installation, A19 lamp, 100W max.
D	Pendant mounted incandescent:	Flos, Romeo Moon S1, Opal A21 lamp, 150 W max.
E	Undercabinet incandescent-	Kichler Lighting, #K-10563-WH, (18W, 12.8 V lamps included)
F	"Puck" Lights for recessed in head of Glassware cabinet at Bar -	Hafele #824.20.300 for recessed mounting with baffle #824.20.390, black, 18W Xenon (12v) w/ remote transformer
G	Wall mounted incandescent -	Provide \$250 allowance (fixture cost only).
H	Exhaust fan:	Panasonic FV-05VQ2, 50cfm, .50 sones, ducted to eave cap
I	Wall sconce incandescent:	BK Lighting, Delta Star, D/S-8WHP-9-11-B, MR-16, 50W w/ remote transformer (in Basement) and cast aluminum canopy, white.
J	Exterior wall mounted fixture:	Provide 8" x 8" x 5/4" pid wood backplate for fixture. Provide \$400 allowance (fixture only cost).
K	Ground mounted uplights for trees and landscaping -	BK Lighting, Delta Star, D/S-5-BLW-10-A, MR-16, 35W w/ Power Pipe #PP-S-13-B-BLW and remote transformer (in Garage).
L	Recessed low voltage wall/step light -	B-K Lighting, Step Star, #SS-3-SAP-A with remote transformer (under deck), MR16 FRB, 35W.
M	Utility lights for Storage area -	Stonco #VWXL11GC, A-19, 100W max
N	Closest light -	Kichler, K-8880, white, 75W max A19 lamp.

- SYMBOLS**
- CEILING MOUNTED OR RECESSED INCANDESCENT FIXTURE, SEE FIXTURE SCHEDULE
 - ◇ RECESSED WALL WASH INCANDESCENT FIXTURE, SEE FIXTURE SCHEDULE
 - RECESSED LOW VOLTAGE WALL/STEP LIGHT
 - △ TELEVISION CABLE JACK PREWIRE FROM INCOMING HOOK-UP AREA (4 LINES MIN.) 1" A.F.F., white
 - WALL MOUNTED INCANDESCENT FIXTURE, SEE FIXTURE SCHEDULE
 - ┌ UNDERCABINET OR COVE LIGHT, SEE LIGHT FIXTURE
 - ⊕ DUPLEX WALL OUTLET, 1" ABOVE FIN. FL., U.O.N., white
 - ⊕ DUPLEX WALL OUTLET, GROUND FAULT CIRCUIT INTERRUPT, 45" A.F.F., U.O.N., white
 - ⊕ DUPLEX WALL OUTLET, WEATHERPROOF, 1" A.F.F., black
 - ⊕ DUPLEX FLOOR OUTLET, FLUSH IN FLR. SURFACE, BRASS
 - ⊕ SINGLE FLOOR OUTLET, FLUSH IN FLR. SURFACE, BRASS
 - ⊕ SPECIAL RECEPTACLE, FOR EQUIPMENT, VOLTAGE AS REQ.
 - ⊕ SINGLE POLE SWITCH, TOGGLE TYPE, 45" A.F.F., white
 - ⊕ SINGLE POLE SWITCH, WITH DIMMER (LUTRON TG series) 45" A.F.F., white. NOTE: USE LOW VOLTAGE DIMMERS WHERE LOW VOLTAGE FIXTURES
 - ⊕ THREE WAY SWITCH, TOGGLE TYPE, 45" A.F.F., white
 - ⊕ THREE WAY SWITCH WITH DIMMER, TOGGLE TYPE (LUTRON TG series) 45" A.F.F., white. NOTE: USE LOW VOLTAGE DIMMER WHERE LOW VOLTAGE FIXTURES
 - ⊕ SINGLE POLE TIMER SWITCH, all white
 - ▲ TELEPHONE JACK (CATEGORY FIVE WIRING), PREWIRE FROM INCOMING HOOK-UP AREA (4 LINES MIN.), 1" A.F.F., white.
 - ⊕ TELEVISION CABLE JACK PREWIRE FROM INCOMING HOOK-UP AREA (4 LINES MIN.) 1" A.F.F., white
 - ⊕ THERMOSTAT, white, REVIEW EXACT LOCATION W/ ARCHITECT AND OWNER
 - ⊕ SMOKE DETECTOR, WIRED TO CIRCUIT, white (per MONTGOMERY CO. CODE, BRING ENTIRE HOUSE UP TO CURRENT CODE AS IS NECESS.)
 - ⊕ EQUIPMENT SHUT-OFF
 - ⊕ RECESSED STEREO SPEAKERS, PROVIDED BY OWNER, INSTALLED BY ELECTRICAL SUB
 - ┌ PLUG MOLD STRIPS W/ ALUM. SATIN ANODIZED FINISH; WIREMOLD MOD. # ALD06G12

ARCHITECT: T R E A C Y & E A G L E B U R G E R
 202-362-5276
 3335 CONNECTICUT AVE. NW • 2ND FLOOR • WASHINGTON, D.C. 20008-5071
 FOR BID 7/15/01
 REVISION 7/13/01
 MECHANICAL, ELECTRICAL & PLUMBING
 MULLER RESIDENCE
 20 MAGNOLIA PARKWAY CHEVY CHASE, MD 20815

APPROVED
 Montgomery County
 Historic Preservation Commission
 [Signature]



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

August 15, 2001

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit
HPC Case No: 35/13-01R

DPS No.: 253853

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit.

This application was:

APPROVED

APPROVED WITH CONDITIONS:

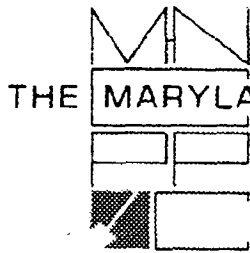
Please note that the building permit for this project will be issued subject to adherence to the approved Historic Area Work Permit (HAWP) to:

Applicant: **Scott & Caroline Muller**

Address: **20 Magnolia Parkway, Chevy Chase**

and subject to the general conditions pertinent to all Historic Area Work Permits that:

1. **HPC Staff must review and stamp the permit set of construction drawings prior to application for a building permit with Department of Permitting Services.**
2. **After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 prior to commencement of work and not more than two weeks following completion of work.**




THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

August 15, 2001

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator
Historic Preservation Section 

SUBJECT: Historic Area Work Permit Application
Approval of Application /Release of Other Required Permits

HPC Case No. 35/13-01R

DPS #: 253853

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) for approval.

You may now apply for a county building permit at Department of Permitting Services (DPS) at 255 Rockville Pike, 2nd Floor, Rockville. **Before applying, please be sure that any permit sets of construction drawings have been reviewed and stamped by HPC Staff.** We are located at 1109 Spring Street, Suite 801, Silver Spring. Our office hours are 8:30 to 5:00.

When you file for your building permit with DPS, you must take with you: 1) the enclosed forms, 2) the stamped sets of construction drawings, and 3) the Historic Area Work Permit if one was mailed directly to you from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 of your anticipated work schedule.

Thank you very much for your patience – and good luck with your project!

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]	
Owner's mailing address SCOTT & CAROLINE MULLER 20 MAGNOLIA PKWY CHEVY CHASE, MD 20815	Owner's Agent's mailing address TREACY & EAGLEBURGER ARCHITECTS 3335 CONNECTICUT AVE, NW 2ND FLOOR WASHINGTON, DC 20008-5011
Adjacent and confronting Property Owners mailing addresses	
LEE M. PETTY 37 W. LENOX STREET CHEVY CHASE, MD 20815	BRIAN SMITH & DONNA HOLVERSON 35 W. LENOX STREET CHEVY CHASE, MD 20815
JANE C. HOLDER 4020 N. PARK AVE. APT # 1003 W CHEVY CHASE, MD 20815	ALEXANDER & M. HUMPHREY 25 W. KIRKE STREET CHEVY CHASE, MD 20815
ELIZABETH B. ROBERTS 27 W. KIRKE STREET CHEVY CHASE, MD 20815	WILLIAM DOOLEY & MARION BLAKEY 31 W. KIRKE STREET CHEVY CHASE, MD 20815
MARY A. TUOHEY 29 W. KIRKE STREET CHEVY CHASE, MD 20815	JEROME POWELL & ELISSA LEONARD 5921 CEDAR PKWY CHEVY CHASE, MD 20815

g\addresses\ noticing table

5



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JANE TREACY, ARCHITECT

Daytime Phone No.: 202-302-5220
362-7791 fax

Tax Account No.: 07-457820

Name of Property Owner: SCOTT & CAROLINE MULLER Daytime Phone No.: 301-657-4303

Address: 20 MAGNOLIA PARKWAY CHEVY CHASE, MD 20815
Street Number City State Zip Code

Contractor: Phone No.:

Contractor Registration No.:

Agent for Owner: TREACY & EAGLEBURGER ARCHITECTS Daytime Phone No.: 202-302-5220
JANE TREACY

LOCATION OF BUILDING/PREMISE

House Number: 20 Street: MAGNOLIA PARKWAY

Town/City: CHEVY CHASE Nearest Cross Street: LENOX STREET

Lot: 62 PART 7 Block: 39 Subdivision: SECTION 2

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, AC, Slab, Room Addition, Porch, Deck, Shed, Move, Install, Wreck/Raze, Solar, Fireplace, Woodburning Stove, Single Family, Revision, Repair, Revocable, Fence/Wall, Other.

1B. Construction cost estimate: \$

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [X] WSSC 02 [] Septic 03 [] Other:

2B. Type of water supply: 01 [X] WSSC 02 [] Well 03 [] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 5 feet 0 inches (FENCE & GATE) 2'-0" MAX HEIGHT (RETAINING WALL)

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[] On party line/property line [X] Entirely on land of owner [] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 7/19/01

Approved: [Signature] Chairperson, Historic Preservation Commission Date: 8/19/01

Disapproved: Signature: Date: Application/Permit No.: 253853 Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING HOUSE IS A GRACIOUS 2 1/2 STORY CENTER HALL COLONIAL, WHICH IS CLAD IN ALUMINUM SIDING, TRADITIONAL PAINTED WOOD TRIM AND WOOD SHUTTERS. A SMALL GLASSED-IN ROOM EXISTS ON THE SOUTH SIDE OF THE FRONT FACADE, WHICH APPEARS TO HAVE ONCE BEEN A PORCH AND POSSIBLY KITCHEN DOOR. THE NEIGHBORHOOD IS A RICH MIX OF TRADITIONAL STYLES TIED TOGETHER BY COMPARABLE HOUSE AND LOT SIZE.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE PROPOSED WORK WOULD MODIFY THE GLASSED-IN ROOM BY INSTALLING NEW WOOD WINDOWS WITH PAINTED WOOD PANELS BELOW. A SMALL 'BAY-TYPE' ADDITION, FULLY WINDOWED AND NEW DECK WOULD BE ADDED TO THE REAR AS WELL AS A NEW STONE TERRACE WITH HOT TUB. IN STONE TERRACE. THE DETAILING IS CAREFULLY THOUGHT OUT TO MATCH THE EXISTING.

SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	20 Magnolia Parkway	Meeting Date:	08/15/01
Applicant:	Scott & Caroline Miller (Jane Treacy, Architect)	Report Date:	08/08/01
Resource:	Chevy Chase Village Historic District	Public Notice:	08/01/01
Review:	HAWP	Tax Credit:	Partial
Case Number:	35/13-01R	Staff:	Perry Kephart Kapsch

PROPOSAL: Rear Addition, Window Rehabilitation, Fence Installation.

RECOMMEND: Approve.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource
STYLE: Colonial Revival
DATE: c1915 – 1925

The residence is a 5-bay, side-gable, 2 ½-story Colonial Revival structure with Craftsman influences seen in the 3 shed roof dormers and prominent eaves overhang. The house is currently clad in aluminum siding. There are one-story enclosed porches on either side of the main section. There is a 2-car garage at the left rear of the property.

PROPOSAL

The applicant proposes to:

1. Install a 4-foot high wood fence and gate on the left side between the house and the property line.
2. Replace the aluminum siding on the left side porch with painted wood panels.
3. Replace the deteriorated non-historic wood windows on the left side porch with double-glazed TDR wood casement windows.
4. Construct a covered rear entry leading to a stained cedar deck with stairs leading down to a stone terrace with a hot tub next to the existing garage. The cedar deck is to have an inset picket railing and horizontal foundation lattices.

STAFF DISCUSSION

The applicant is to be commended for removing some of the aluminum siding from the historic resource. Staff would suggest that the applicant investigate the type of original cladding on the house and duplicate it instead of using wood panels on the left side sun porch in order to qualify for a tax credit for that aspect of the project. If the wood panels are preferred, they should be approved.

The design and materials for the changes at the rear of the house, and for the fence and gate, are in keeping with the guidelines for the historic district.

STAFF RECOMMENDATION

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the general condition applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JANE TREACY, ARCHITECT

Daytime Phone No.: 202-302-5220

Tax Account No.: 07-457820

362-7791 Fax

Name of Property Owner: SCOTT & CAROLINE MULLER Daytime Phone No.: 301-657-4303

Address: 20 MAGNOLIA PARKWAY CHEVY CHASE, MD 20815
Street Number City State Zip Code

Contractor: Phone No.:

Contractor Registration No.:

Agent for Owner: TREACY & EAGLEBURGER ARCHITECTS Daytime Phone No.: 202-302-5220
JANE TREACY

LOCATION OF BUILDING/PREMISE

House Number: 20 Street: MAGNOLIA PARKWAY

Town/City: CHEVY CHASE Nearest Cross Street: LENOX STREET

Lot: 6 & PART 7 Block: 39 Subdivision: SECTION 7

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct, Extend, Alter/Renovate, A/C, Slab, Room Addition, Porch, Deck, Shed, Move, Install, Wreck/Raze, Solar, Fireplace, Woodburning Stove, Single Family, Revision, Repair, Revocable, Fence/Wall, Other

1B. Construction cost estimate: \$

1C. If this is a revision of a previously approved active permit, see Permit #

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3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date 7/19/01

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 253853 Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

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You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

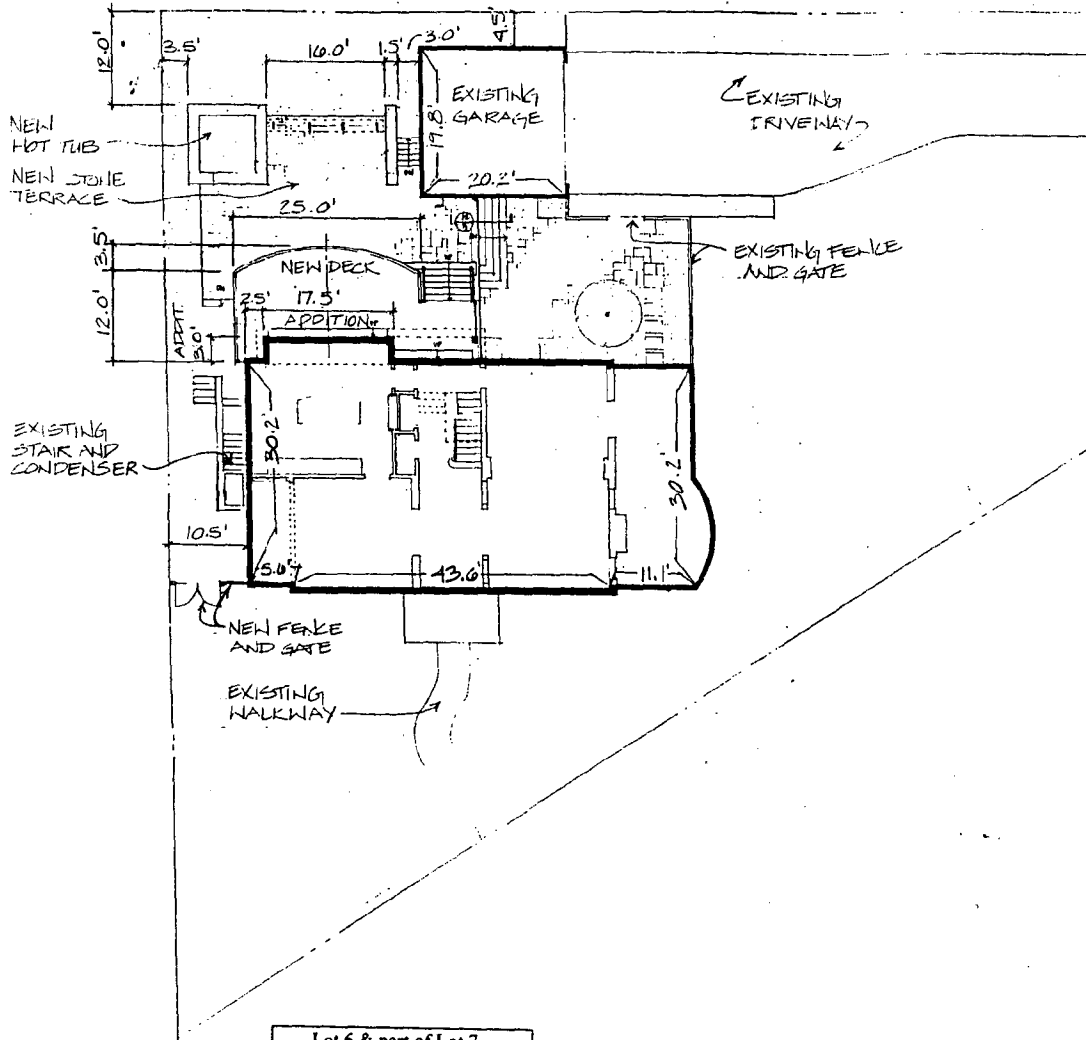
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

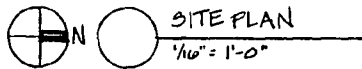
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY INTO MAILING LABELS.

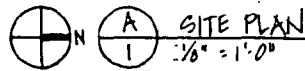
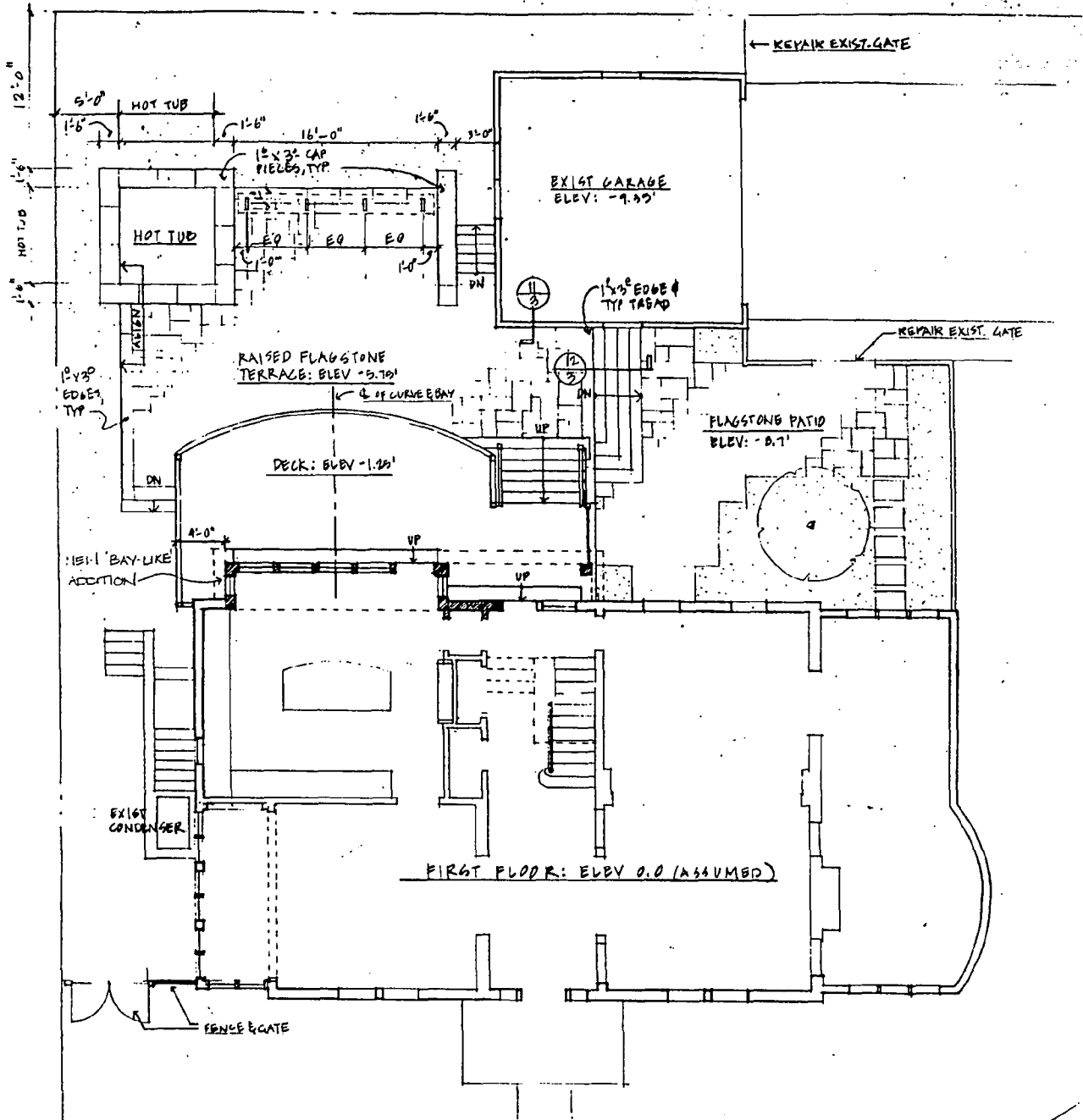


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Montgomery County, MD



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<p>MULLER RESIDENCE 20 MAGNOLIA PARKWAY CHEVY CHASE, MD 20815</p>	<p>PROPOSED SITE PLAN 7/19/01 PG 1 of 5</p>	<p>TREACY & EAGLEBURGER ARCHITECTS 3335 CONNECTICUT AVENUE NW WASHINGTON, DC 20008 (202) 362-5226</p>
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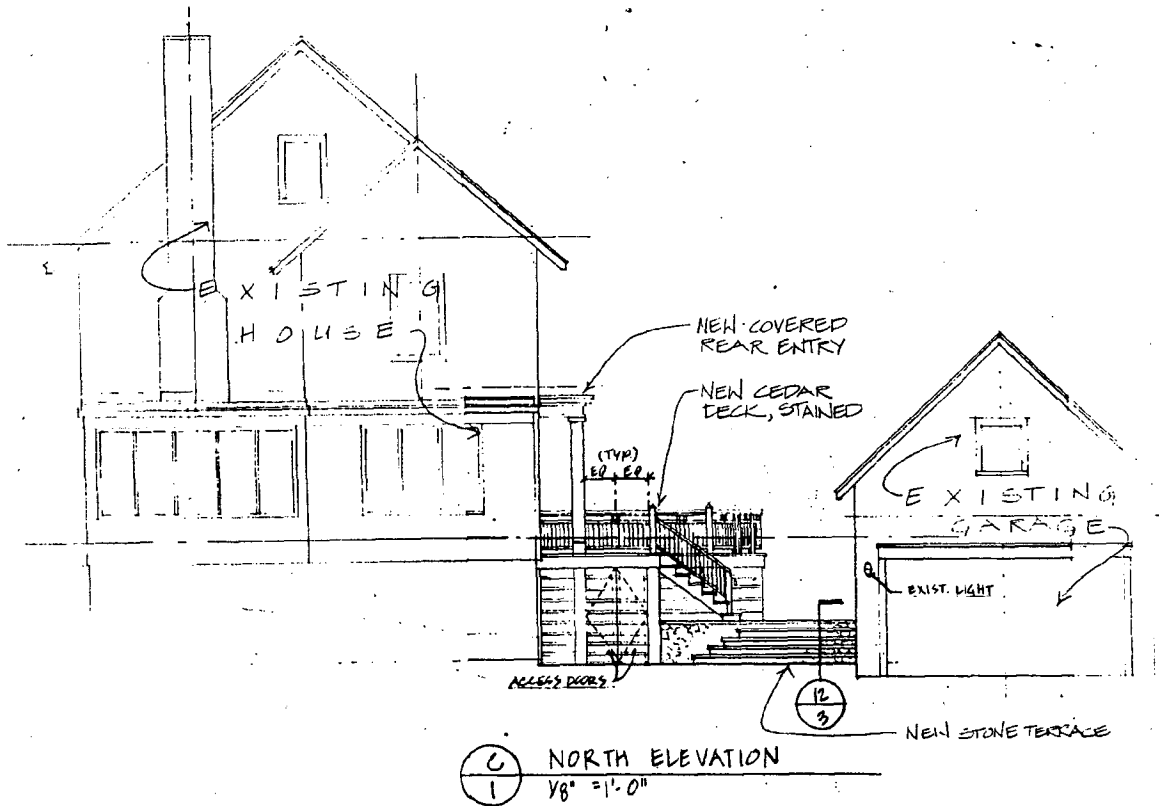
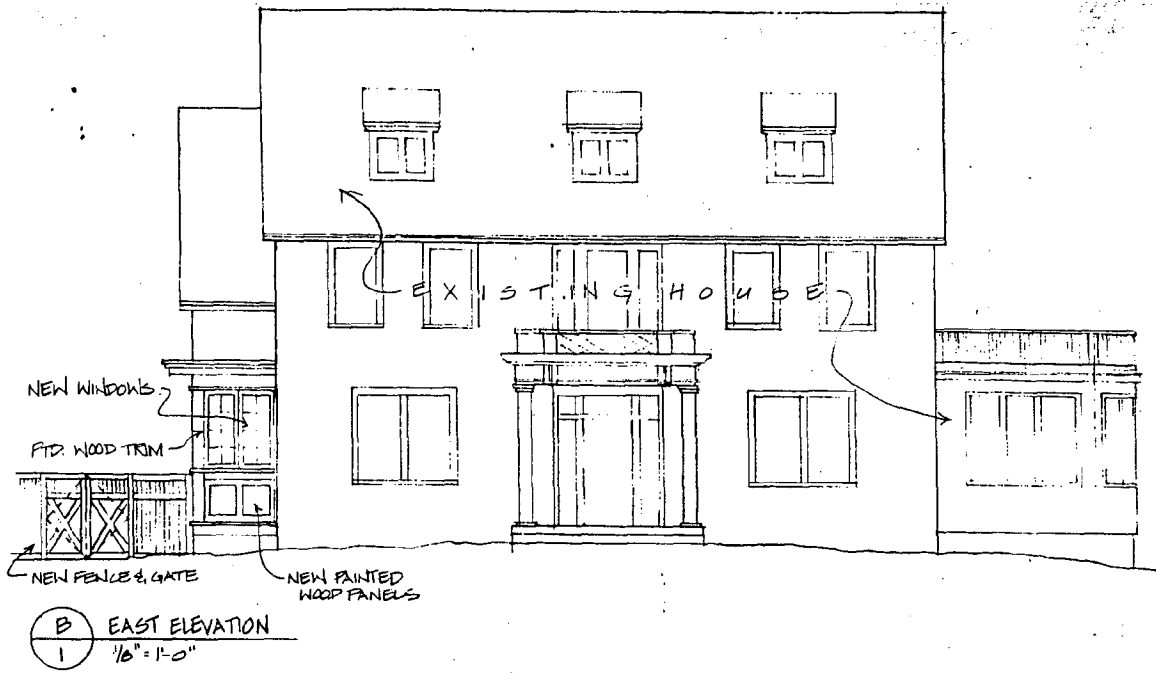


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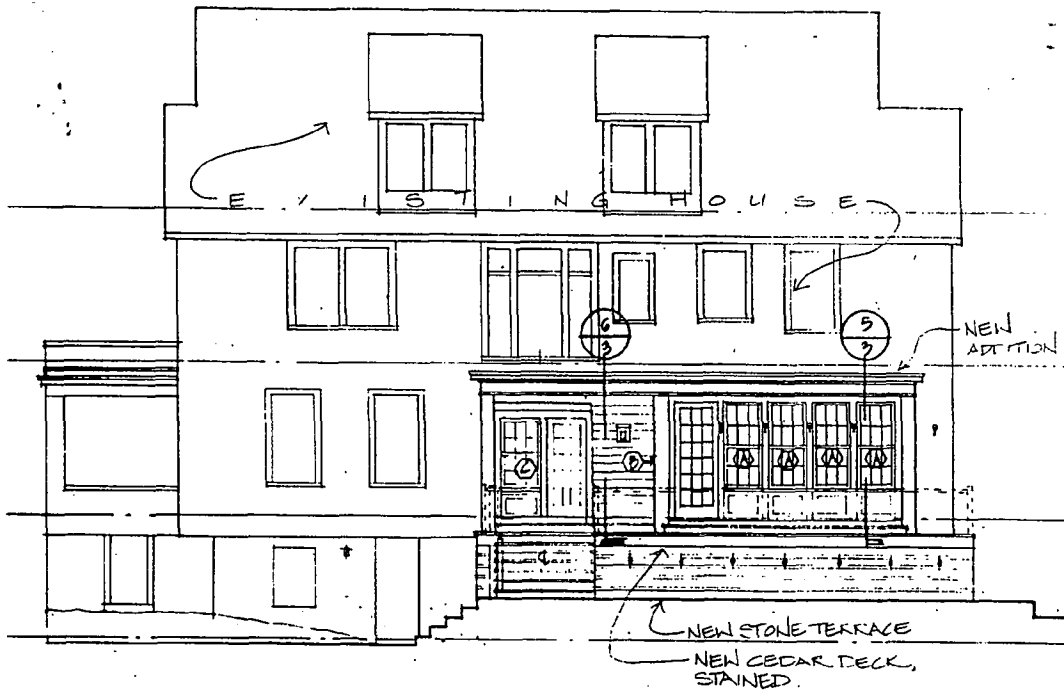
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<p>MULLER RESIDENCE 20 MAGNOLIA PARKWAY CHEVY CHASE, MD 20815</p>	<p>PROPOSED FIRST FLOOR PLAN</p> <p>7/19/01 pg 2 of 5</p>	<p>TREACY & EAGLEBURGER ARCHITECTS 3335 CONNECTICUT AVENUE NW WASHINGTON, DC 20008 (202) 362-5226</p>
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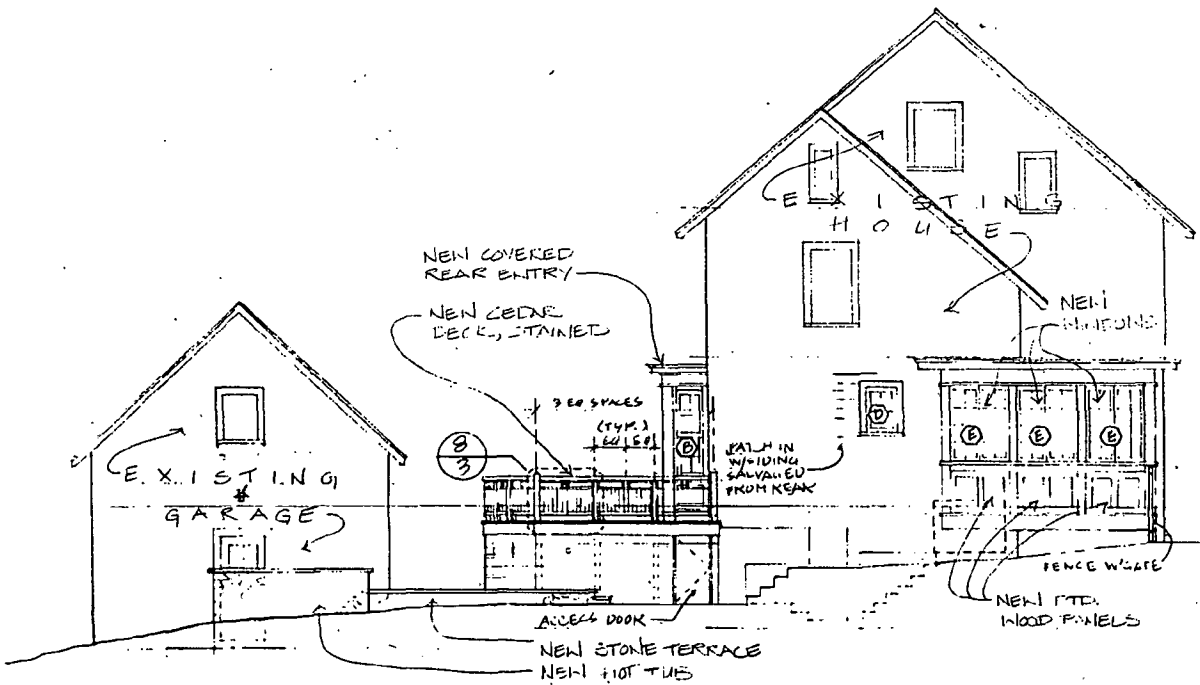


<p>MULLER RESIDENCE 20 MAGNOLIA PARKWAY CHEVY CHASE, MD 20815</p>	<p>PROPOSED NORTH & EAST ELEVATIONS</p> <p>7/19/01 pg 3 of 5</p>	<p>TREACY & EAGLEBURGER ARCHITECTS 3335 CONNECTICUT AVENUE NW WASHINGTON, DC 20008 (202) 362-5226</p>
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8



D WEST ELEVATION
 1/8" = 1'-0"



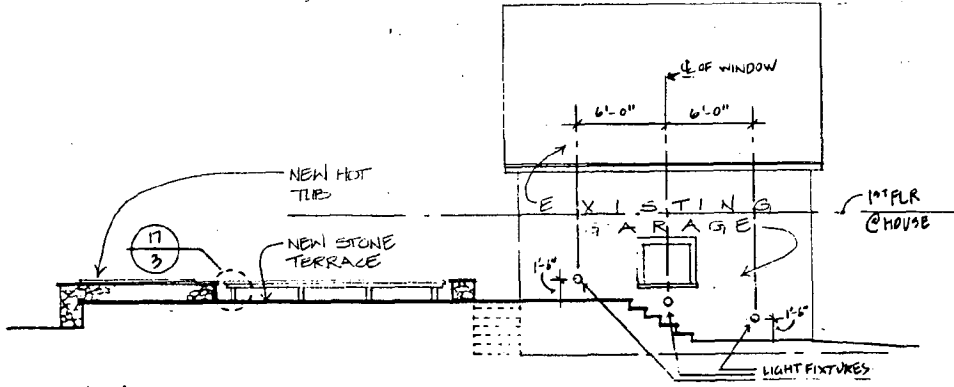
E SOUTH ELEVATION
 1/8" = 1'-0"

MULLER RESIDENCE
 20 MAGNOLIA PARKWAY
 CHEVY CHASE, MD 20815

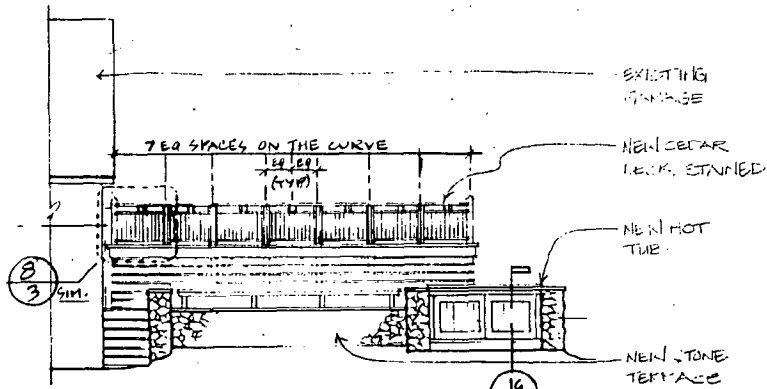
PROPOSED
WEST & SOUTH ELEVATIONS
 7/19/01 pg 4 of 5

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(9)



F EAST ELEVATION @ TERRACE
 1/8" = 1'-0"



G WEST ELEVATION @ TERRACE
 1/8" = 1'-0"

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MULLER RESIDENCE
 20 MAGNOLIA PARKWAY
 CHEVY CHASE, MD 20815

**PROPOSED
 TERRACE ELEVATIONS**
 7/19/01 pg 5 of 5

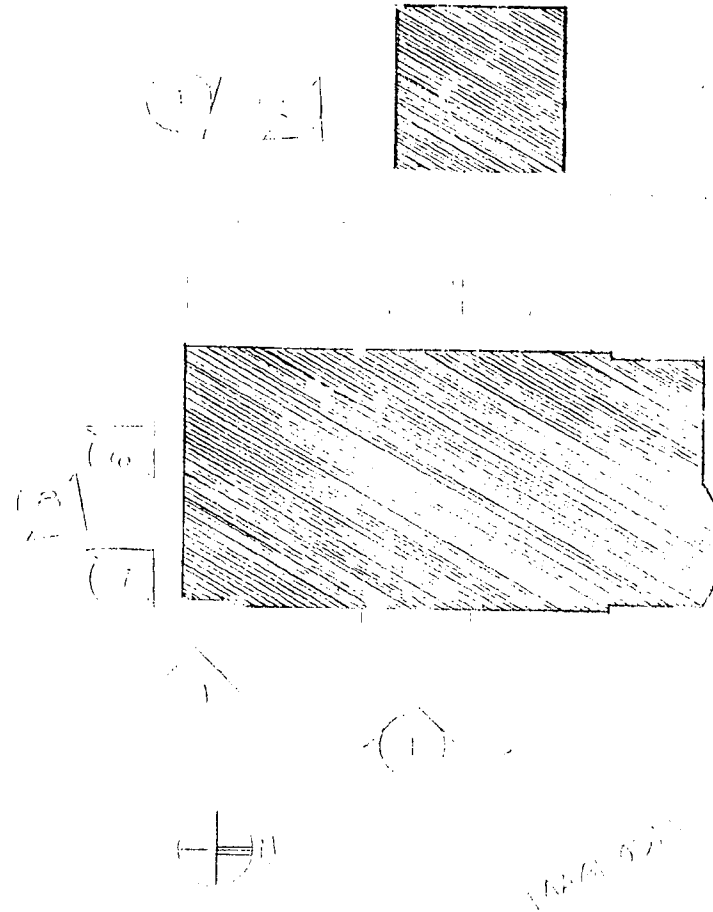
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MULLER RESIDENCE
 20 MAGNOLIA PARKWAY
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PHOTOS & KEY PLAN
 EXISTING FRONT & SIDE

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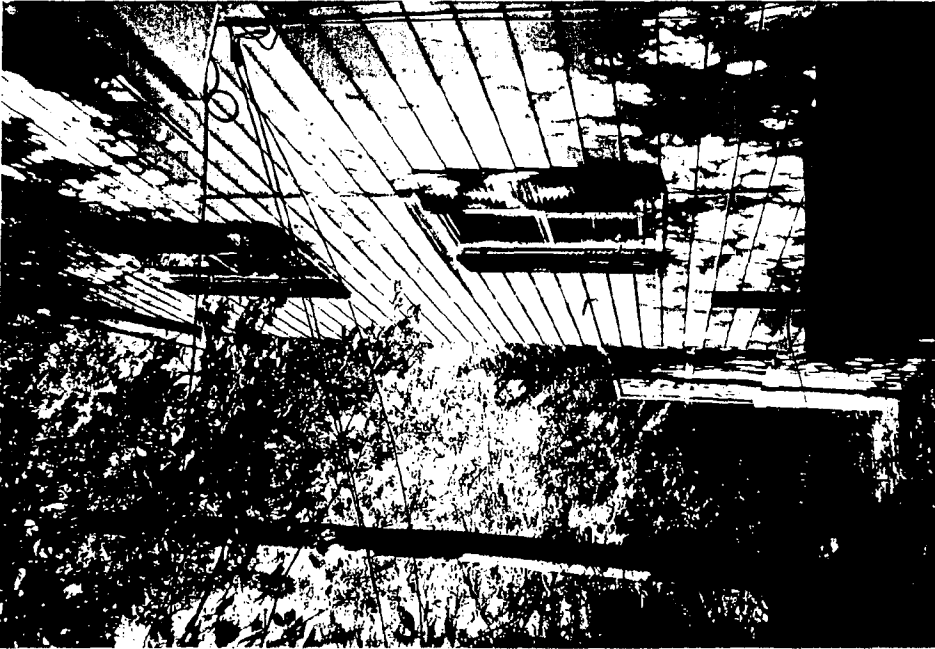
MULLER RESIDENCE
20 MAGNOLIA PARKWAY
CHEVY CHASE, MD 20815

PHOTOS
EXISTING SIDE & REAR

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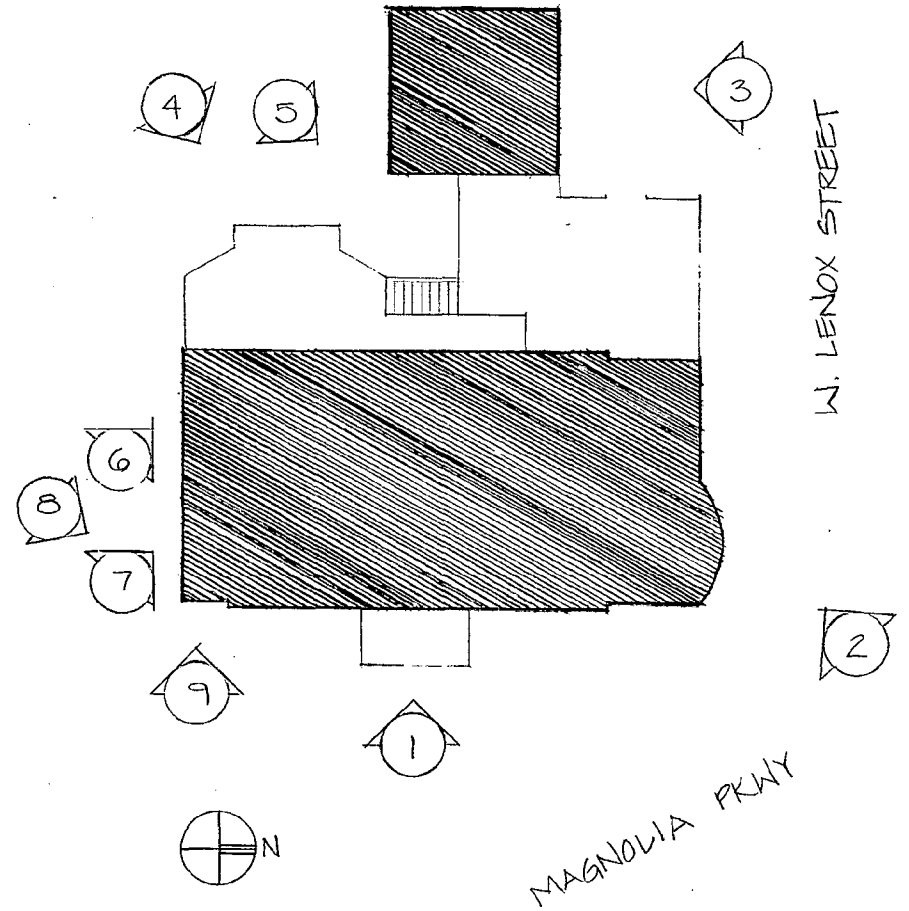
MULLER RESIDENCE
20 MAGNOLIA PARKWAY
CHEVY CHASE, MD 20815

PHOTOS
EXISTING SIDE

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MULLER RESIDENCE
 20 MAGNOLIA PARKWAY
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PHOTOS & KEY PLAN
 EXISTING FRONT & SIDE

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MULLER RESIDENCE
20 MAGNOLIA PARKWAY
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PHOTOS
EXISTING SIDE & REAR

7/19/01

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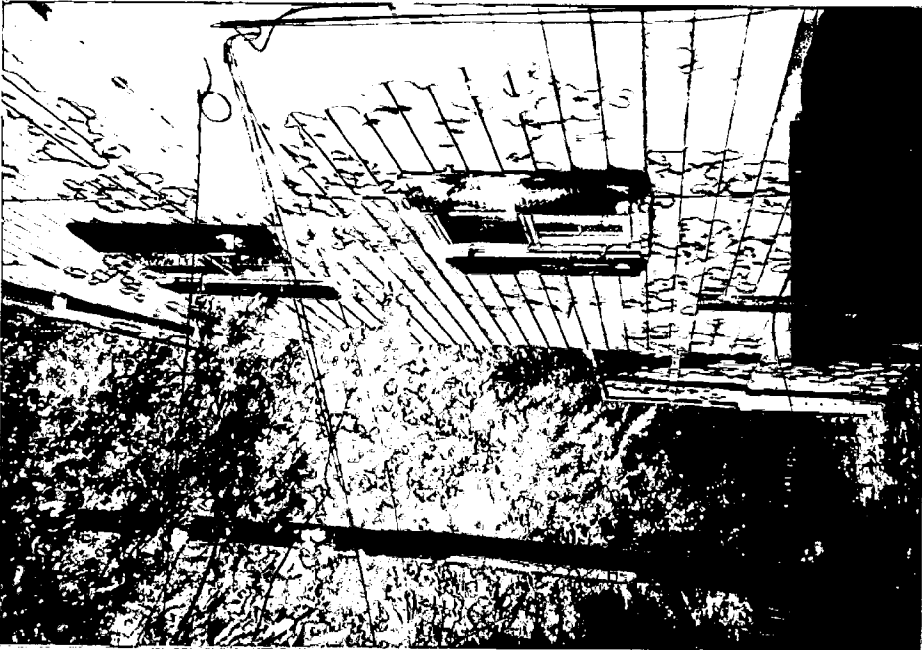
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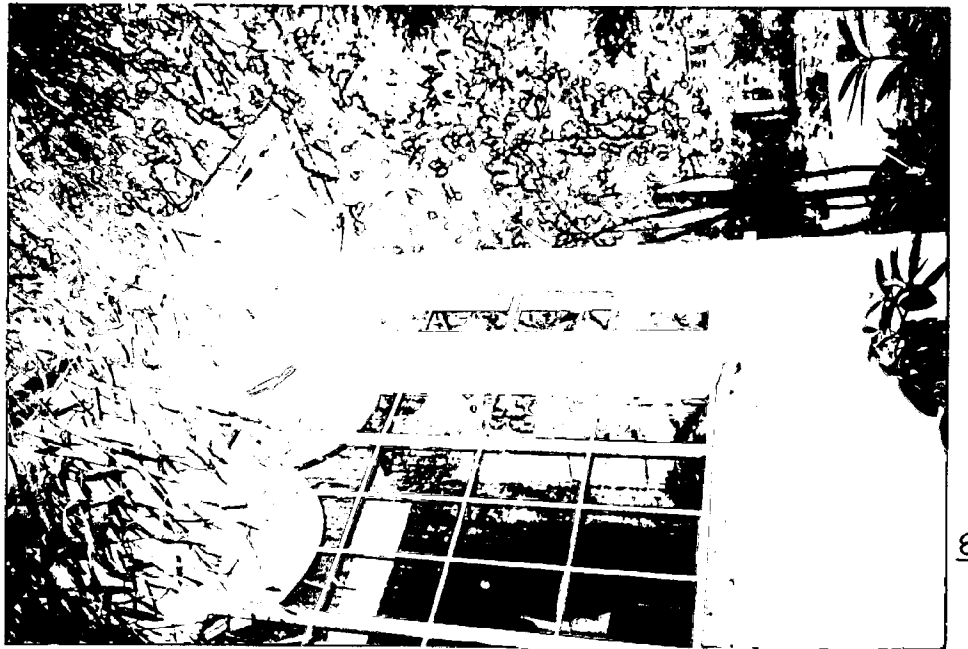
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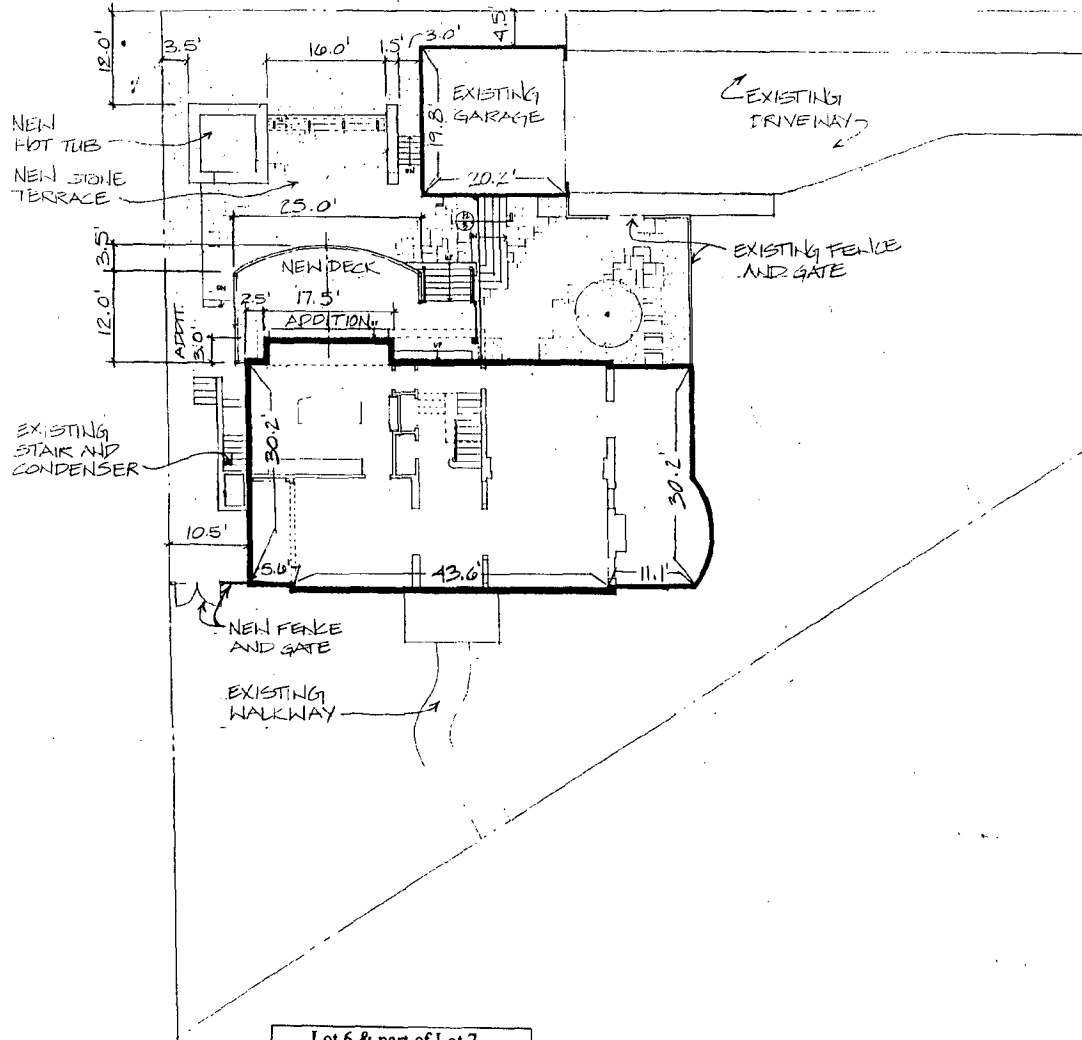
MULLER RESIDENCE
20 MAGNOLIA PARKWAY
CHEVY CHASE, MD 20815

PHOTOS
EXISTING SIDE

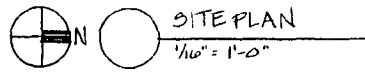
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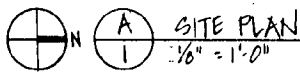
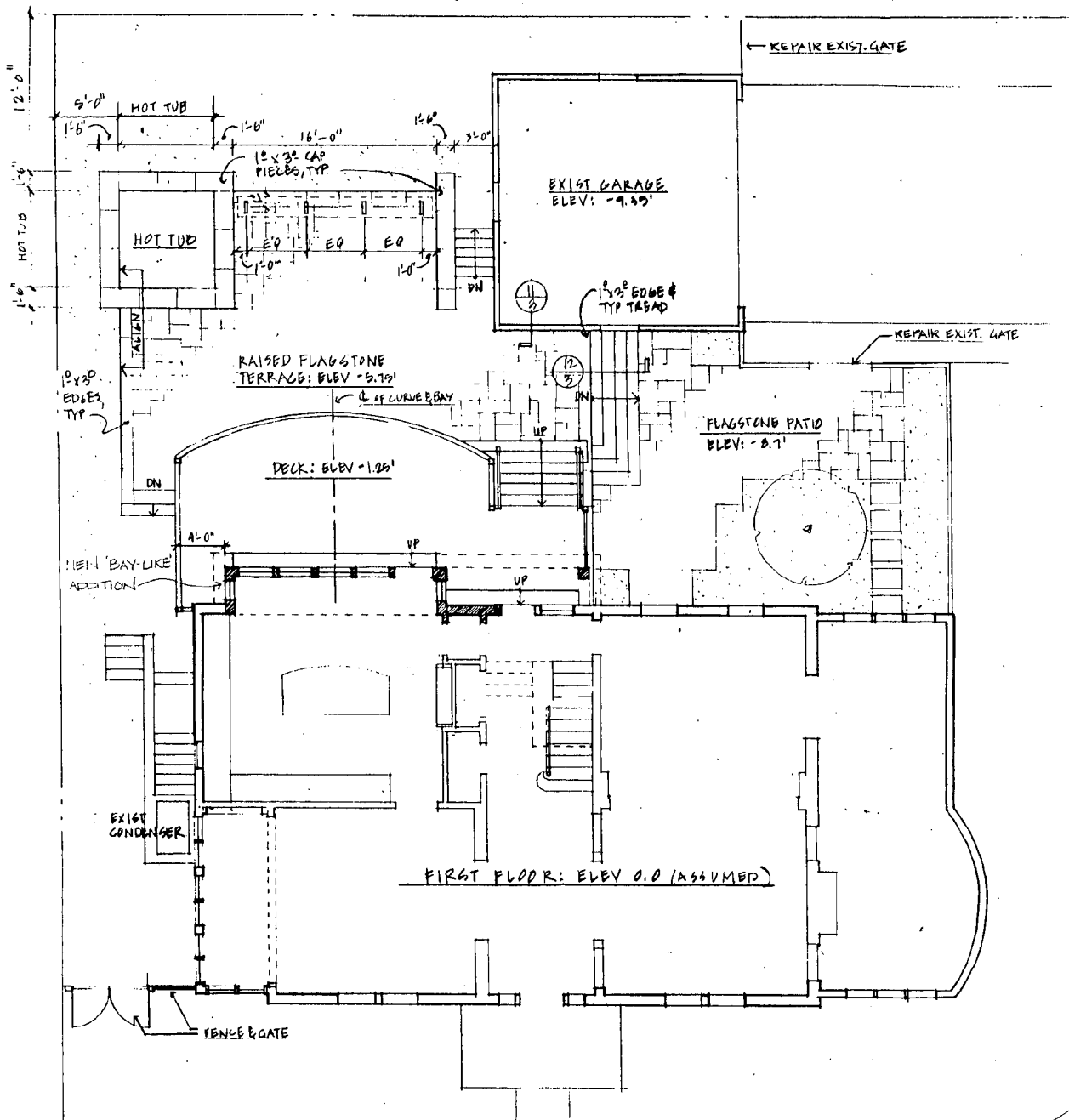
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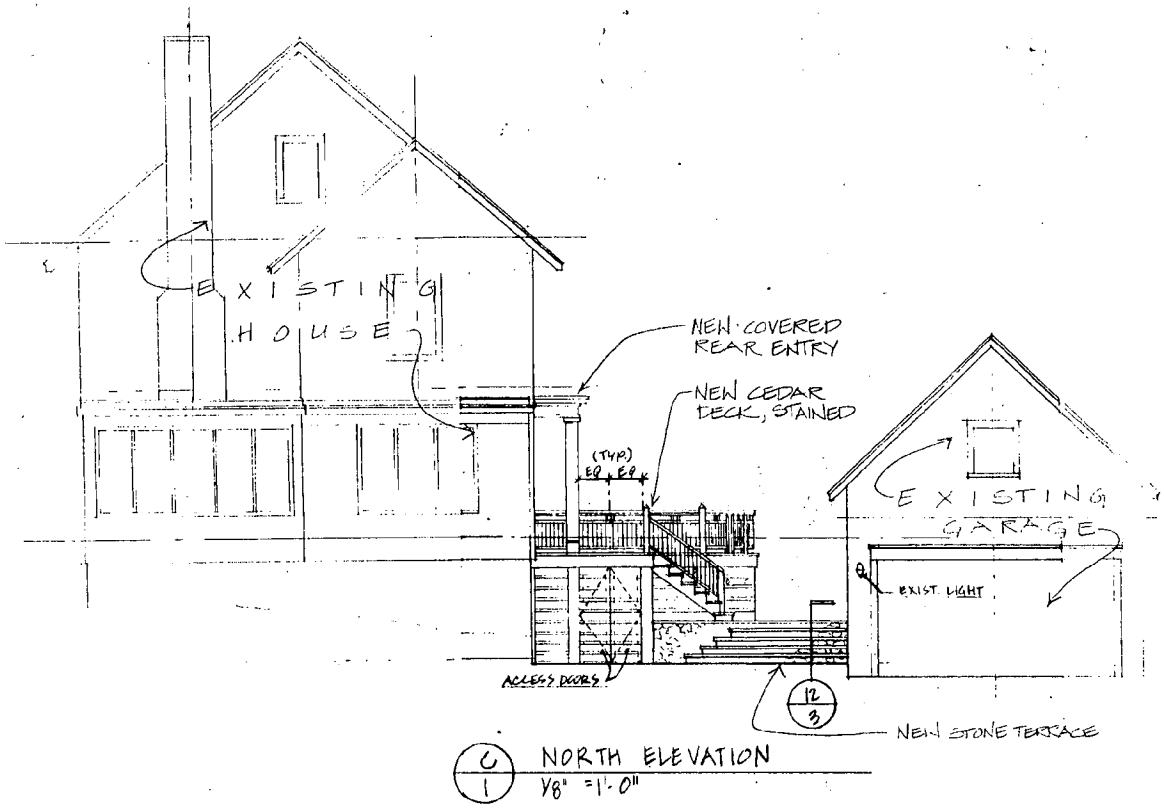
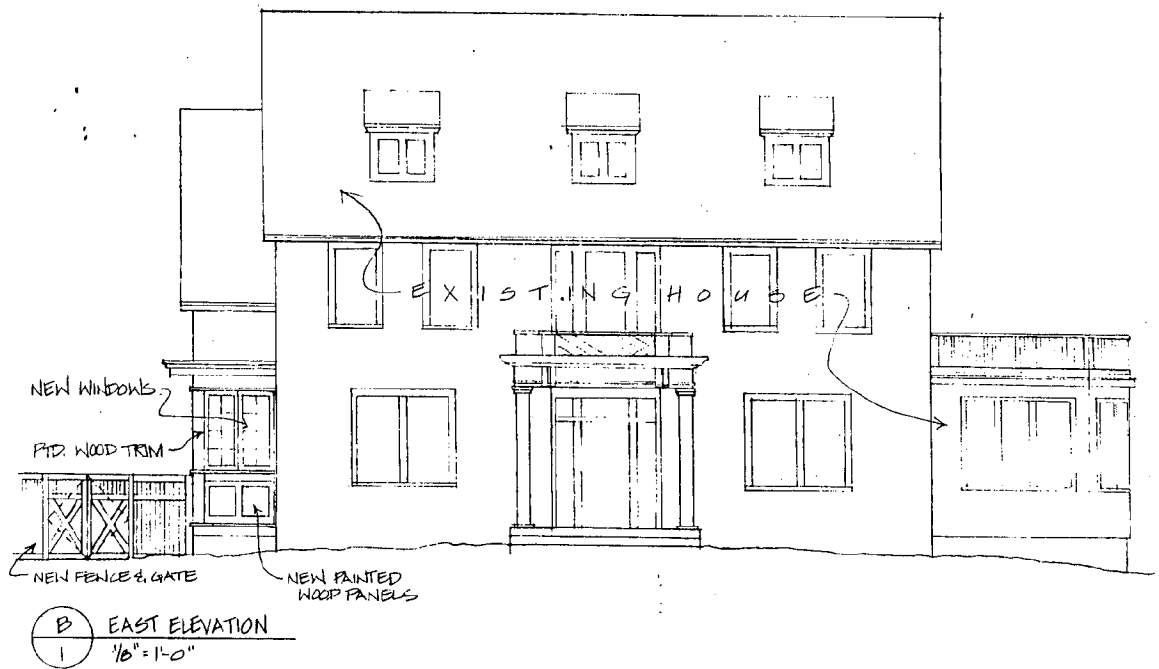




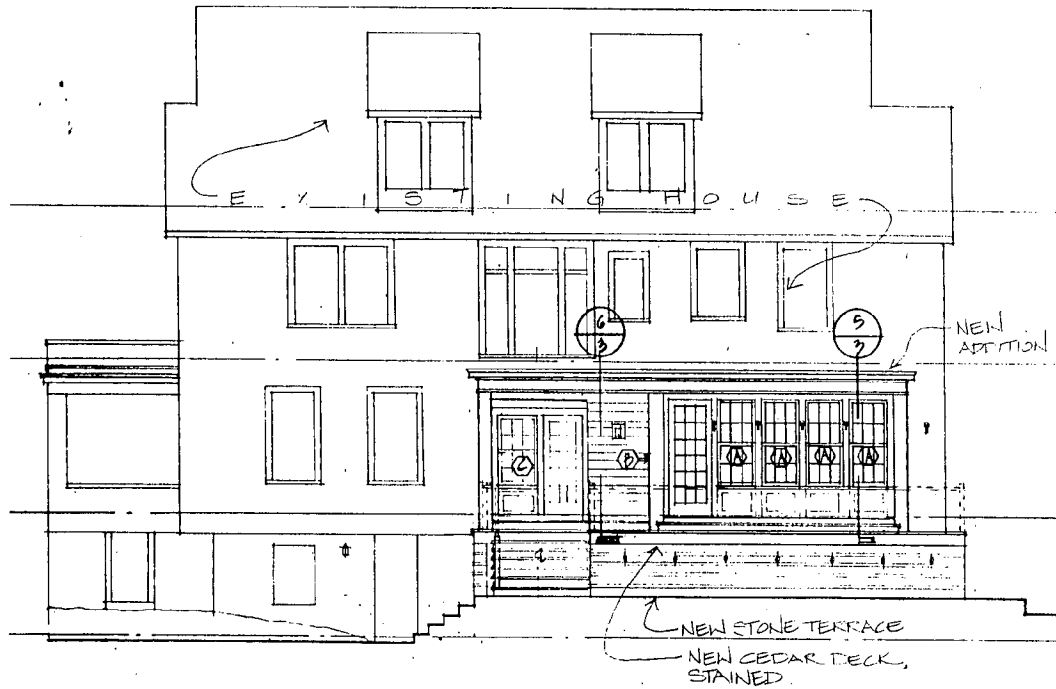
Lot 6 & part of Lot 7 -
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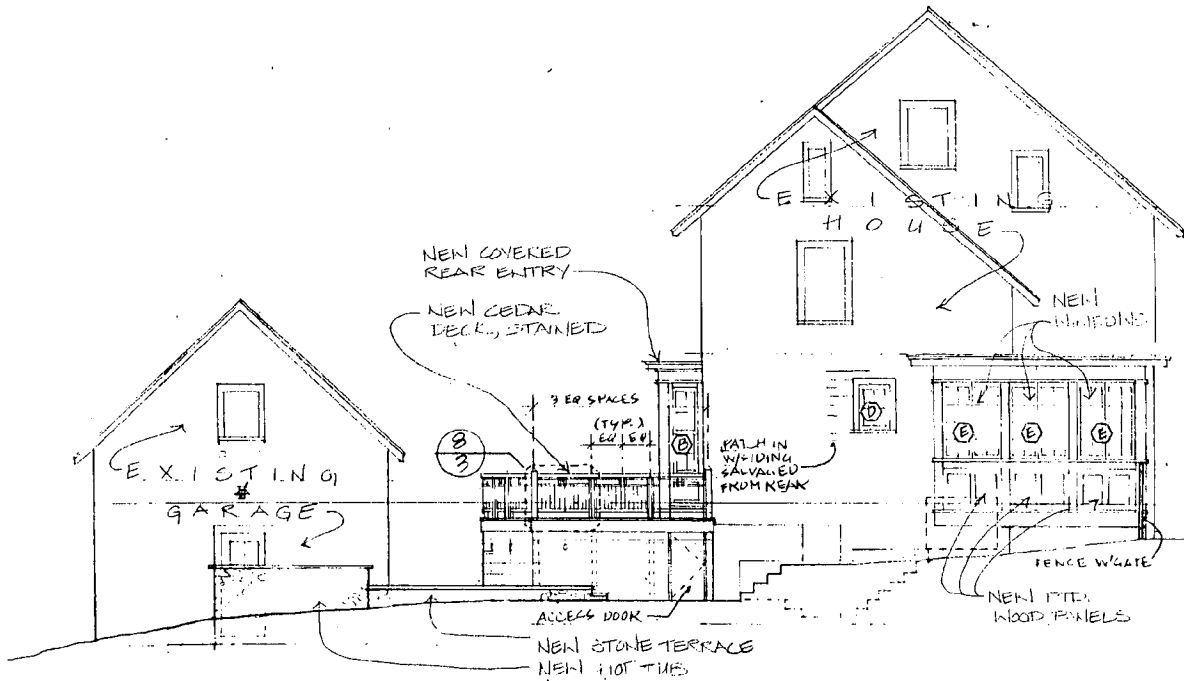
<p> MULLER RESIDENCE 20 MAGNOLIA PARKWAY CHEVY CHASE, MD 20815 </p>	<p> PROPOSED FIRST FLOOR PLAN 7/19/01 pg 2 of 5 </p>	<p> TREACY & EAGLEBURGER ARCHITECTS 3335 CONNECTICUT AVENUE NW WASHINGTON, DC 20008 (202) 362-5226 </p>
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<p>MULLER RESIDENCE 20 MAGNOLIA PARKWAY CHEVY CHASE, MD 20815</p>	<p>PROPOSED NORTH & EAST ELEVATIONS</p> <p>7/1/001 pg 3 of 5</p>	<p>TREACY & EAGLEBURGER ARCHITECTS 3335 CONNECTICUT AVENUE NW WASHINGTON, DC 20008 (202) 362-5226</p>
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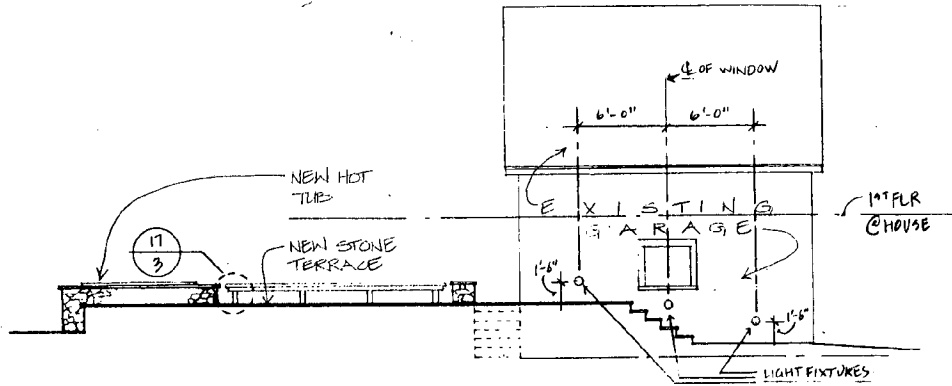


D WEST ELEVATION
1 $\frac{1}{8}'' = 1'-0''$

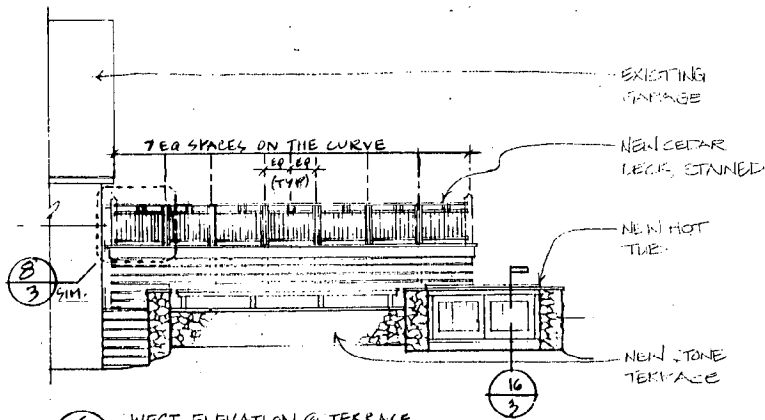


E SOUTH ELEVATION
1 $\frac{1}{8}'' = 1'-0''$

MULLER RESIDENCE 20 MAGNOLIA PARKWAY CHEVY CHASE, MD 20815	PROPOSED WEST & SOUTH ELEVATIONS <small>7/19/00 pg 4 of 5</small>	TREACY & EAGLEBURGER ARCHITECTS 3335 CONNECTICUT AVENUE NW WASHINGTON, DC 20008 (202) 362-5226
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F EAST ELEVATION @ TERRACE
1 $\frac{1}{8}'' = 1'-0''$



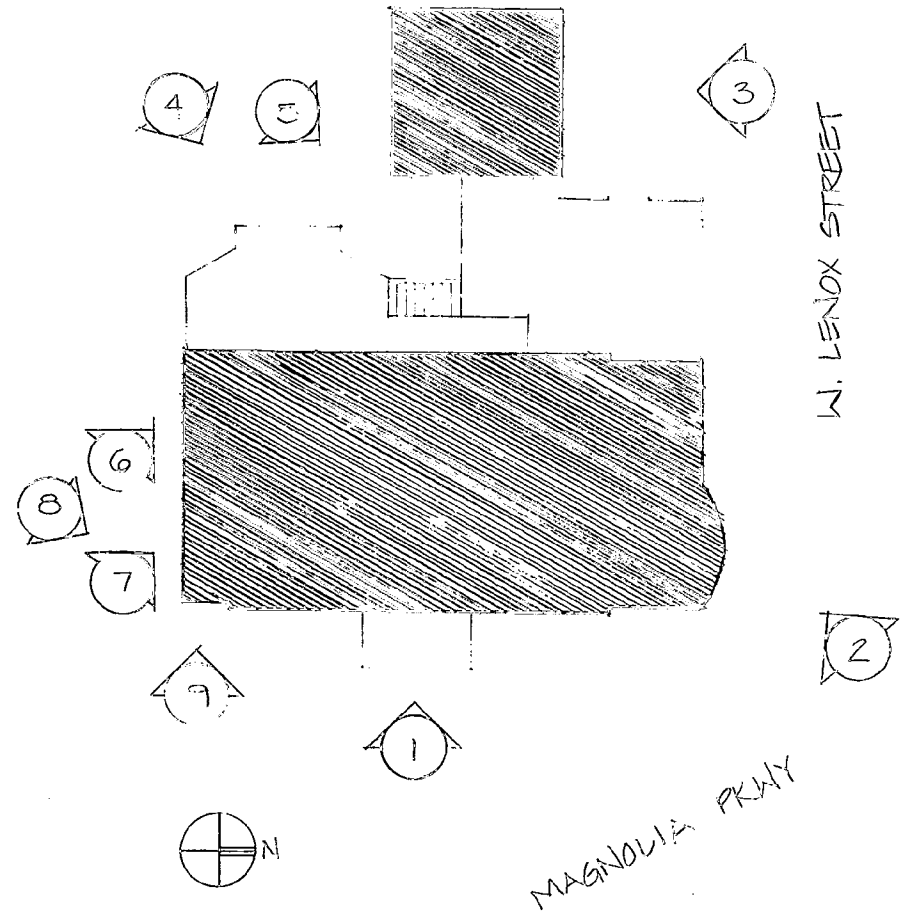
G WEST ELEVATION @ TERRACE
1 $\frac{1}{8}'' = 1'-0''$

MULLER RESIDENCE
 20 MAGNOLIA PARKWAY
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PROPOSED
TERRACE ELEVATIONS

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 20 MAGNOLIA PARKWAY
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PHOTOS & KEY PLAN
 EXISTING FRONT & SIDE

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MULLER RESIDENCE
20 MAGNOLIA PARKWAY
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PHOTOS
EXISTING SIDE & REAR

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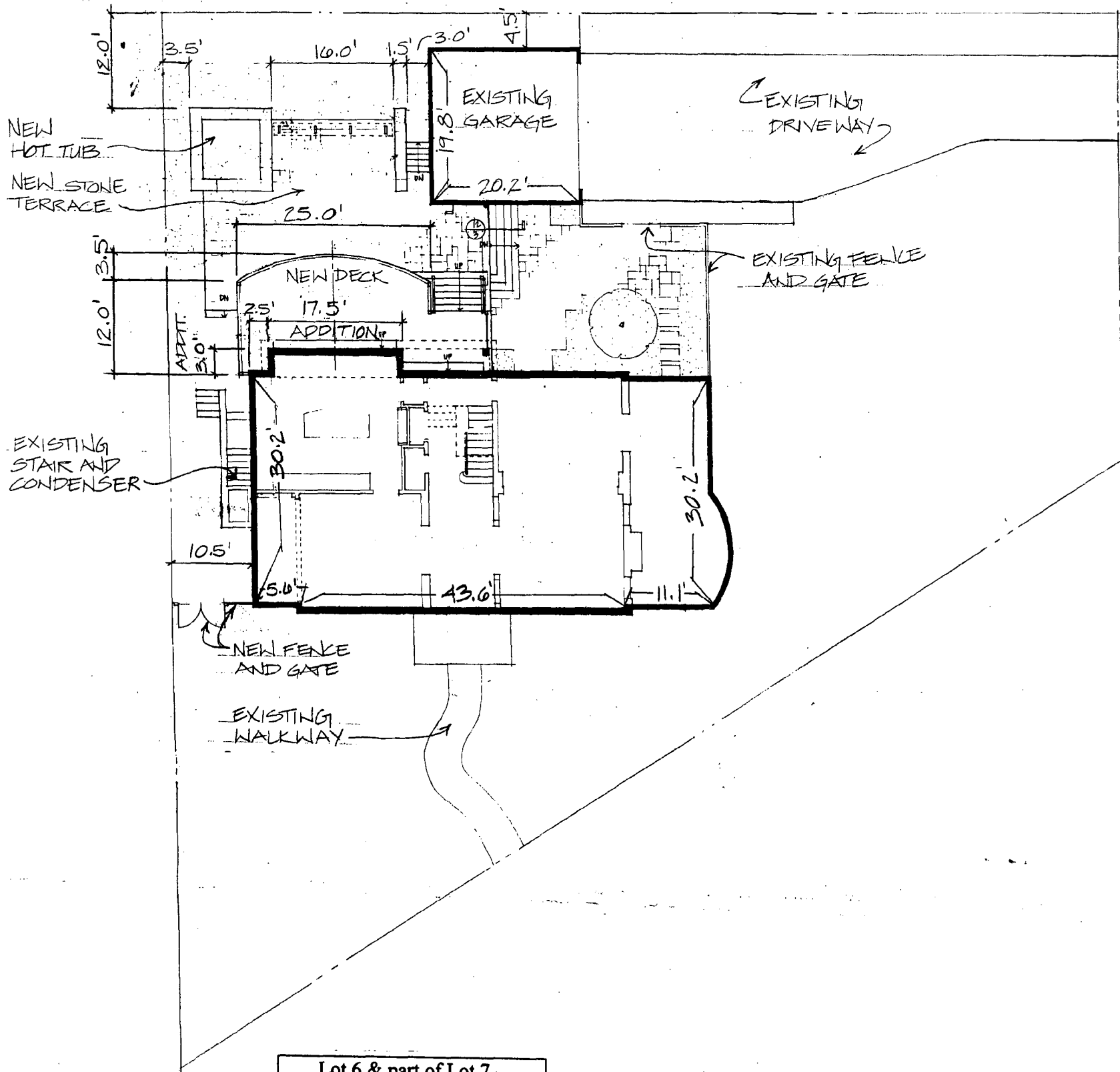
MULLER RESIDENCE
 20 MAGNOLIA PARKWAY
 CHEVY CHASE, MD 20815

PHOTOS
 EXISTING SIDE

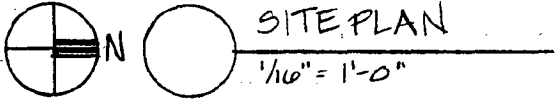
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 Montgomery County, MD

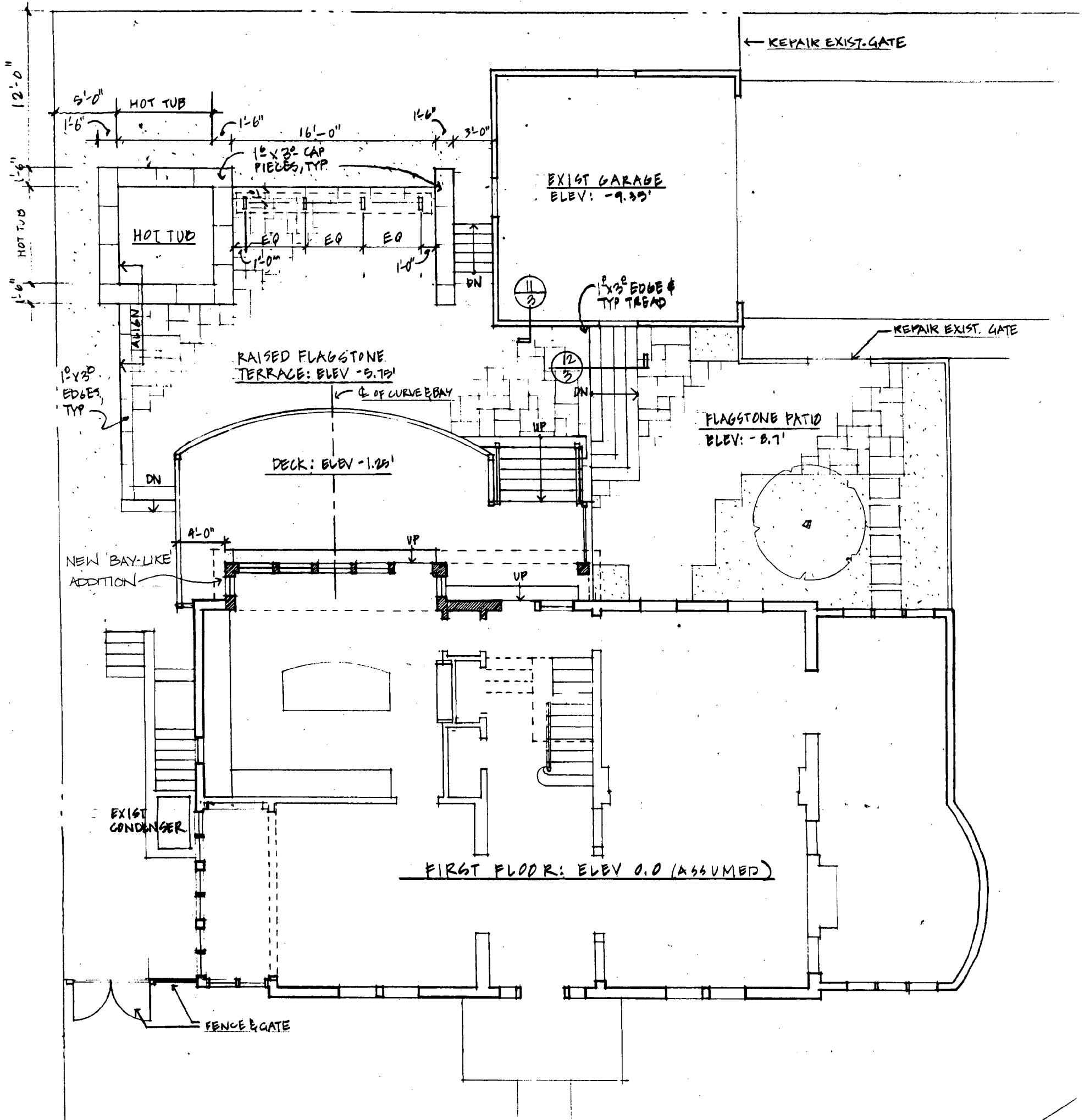




MULLER RESIDENCE
 20 MAGNOLIA PARKWAY
 CHEVY CHASE, MD 20815

PROPOSED SITE PLAN

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SITE PLAN
 1/8" = 1'-0"

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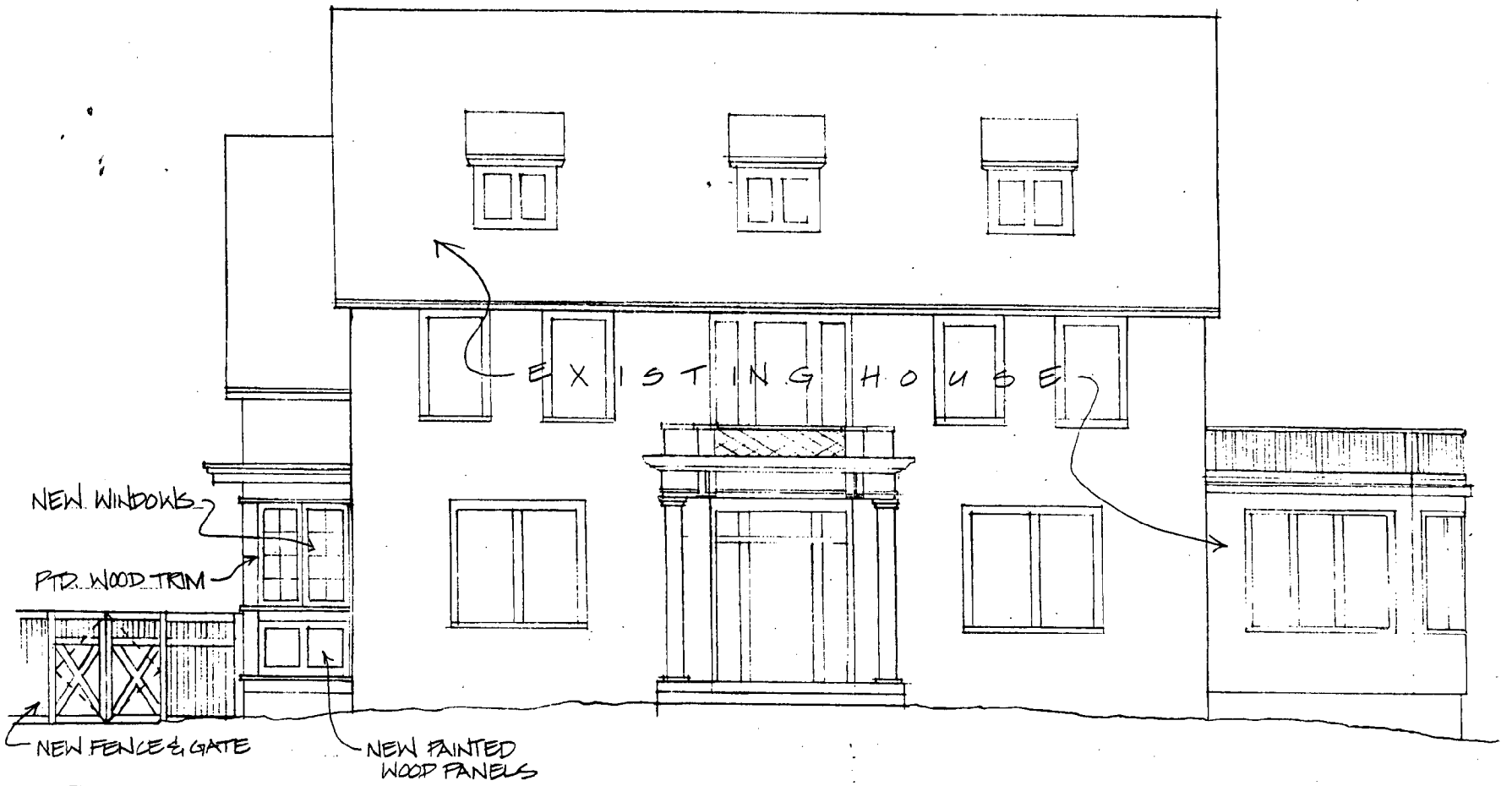
 Site information was obtained from
 house location plat by Construction
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MULLER RESIDENCE
 20 MAGNOLIA PARKWAY
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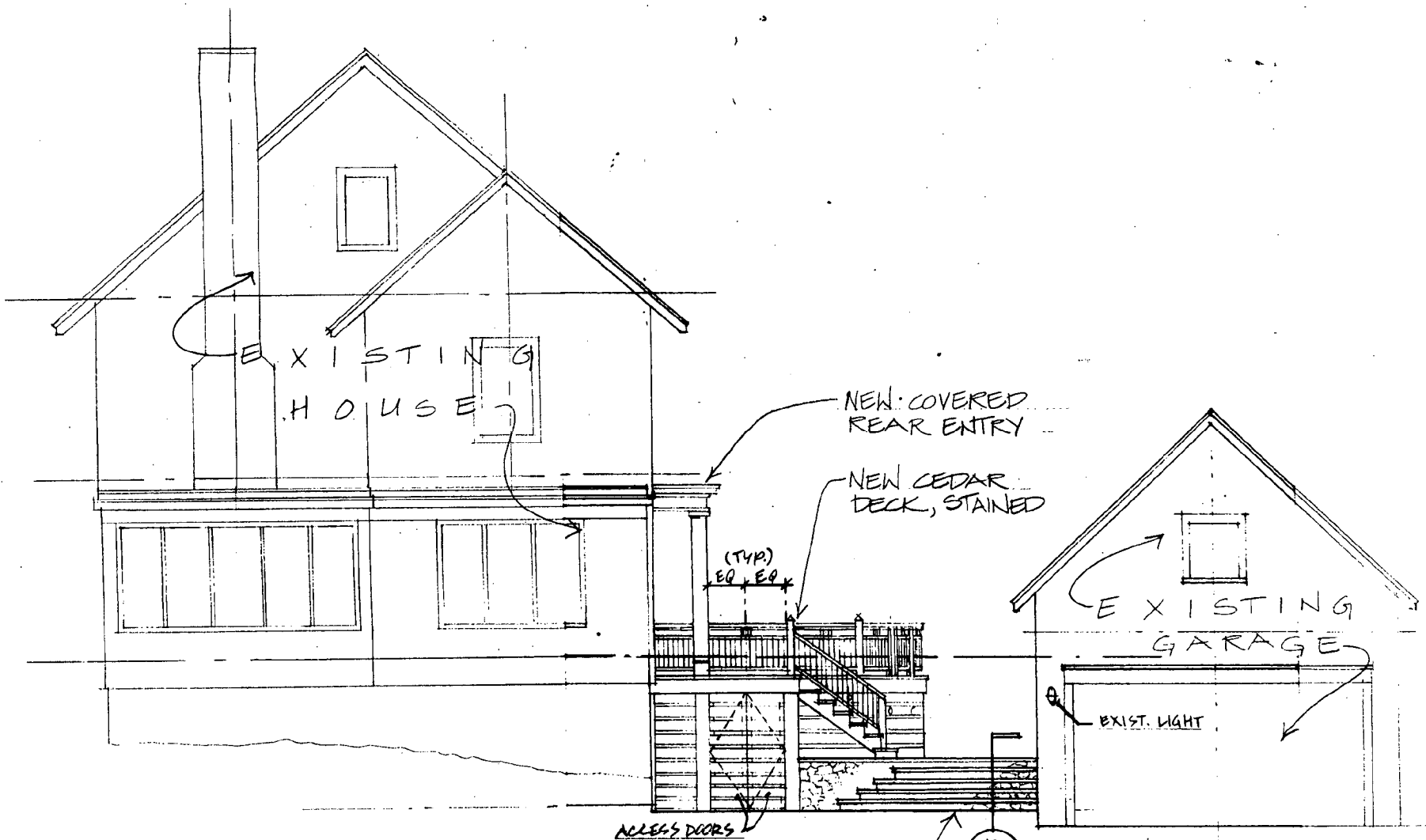
PROPOSED
FIRST FLOOR PLAN

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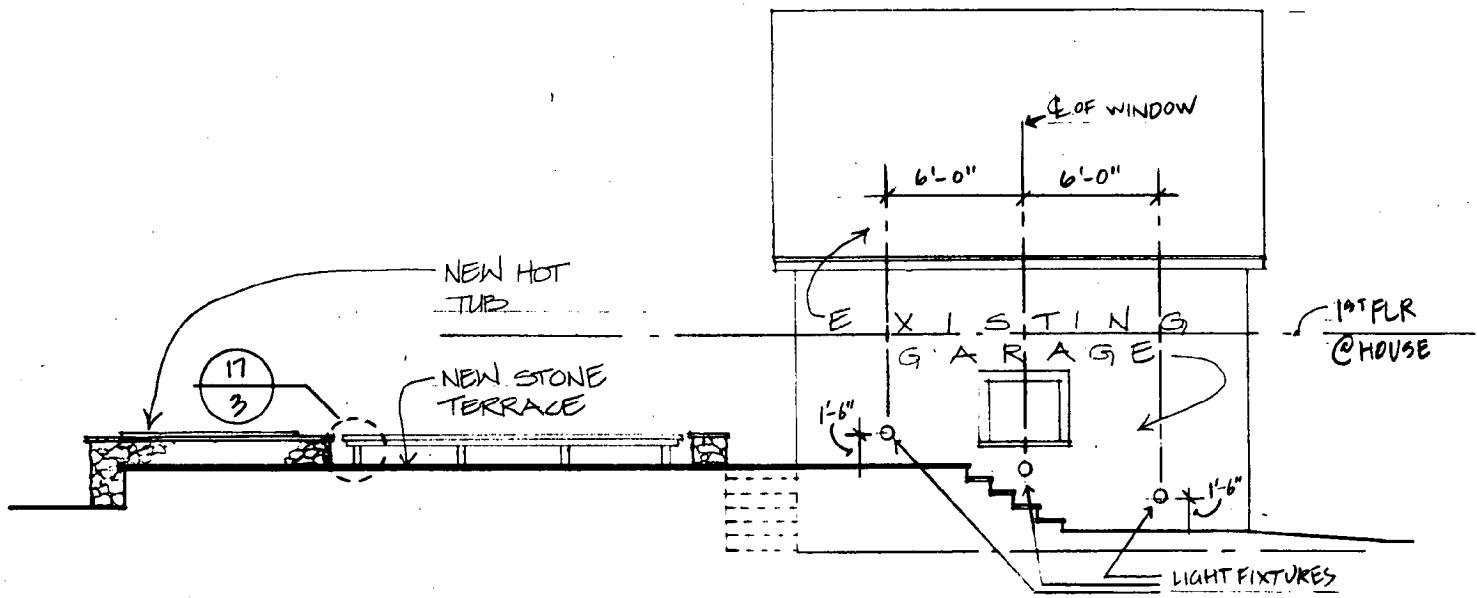
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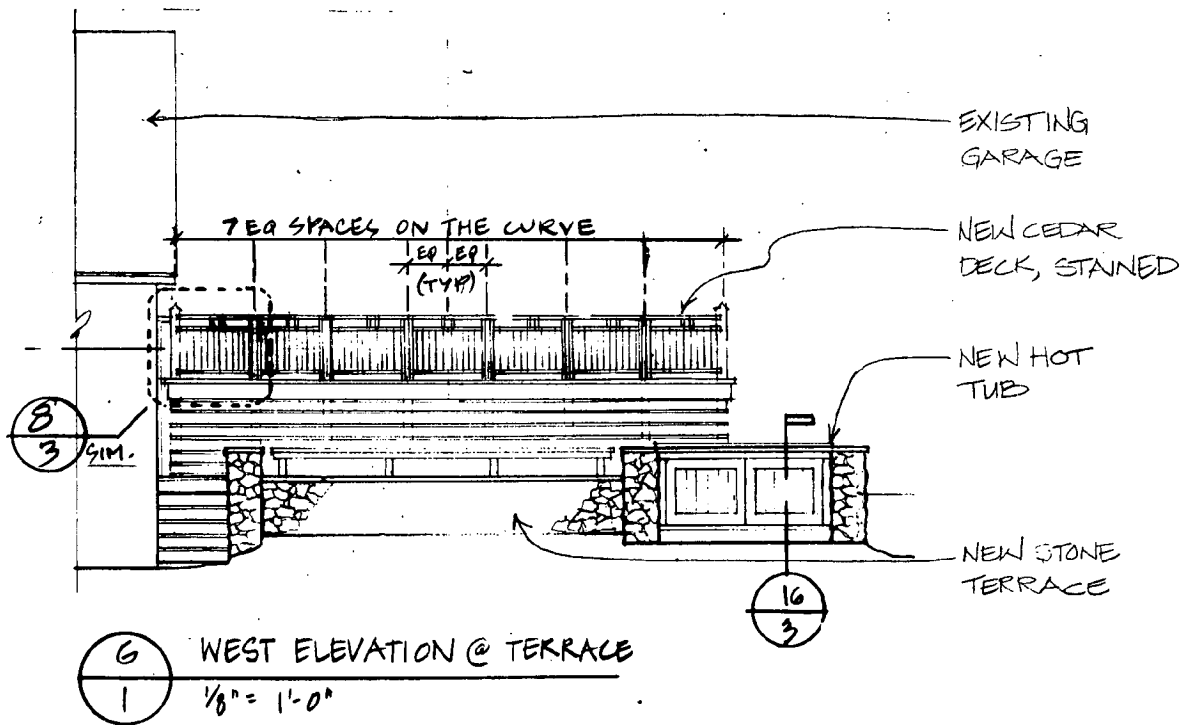
B EAST ELEVATION
1 1/8" = 1'-0"



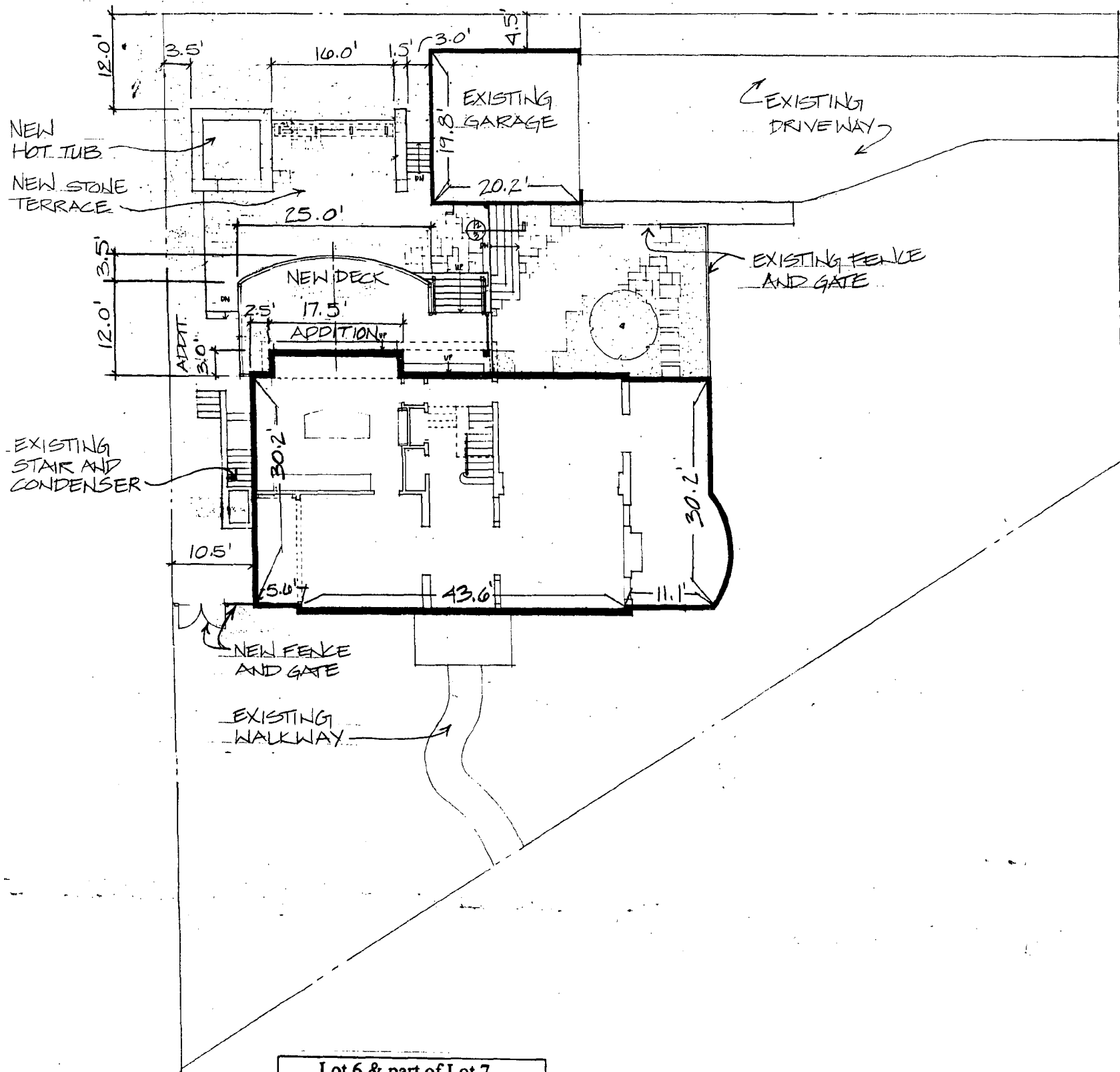
C NORTH ELEVATION
1 1/8" = 1'-0"



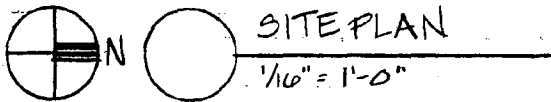
F EAST ELEVATION @ TERRACE
1 $\frac{1}{8}'' = 1'-0''$



G WEST ELEVATION @ TERRACE
1 $\frac{1}{8}'' = 1'-0''$



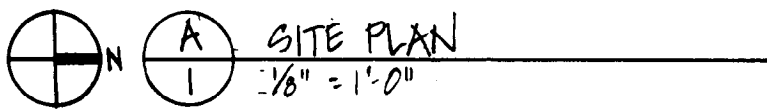
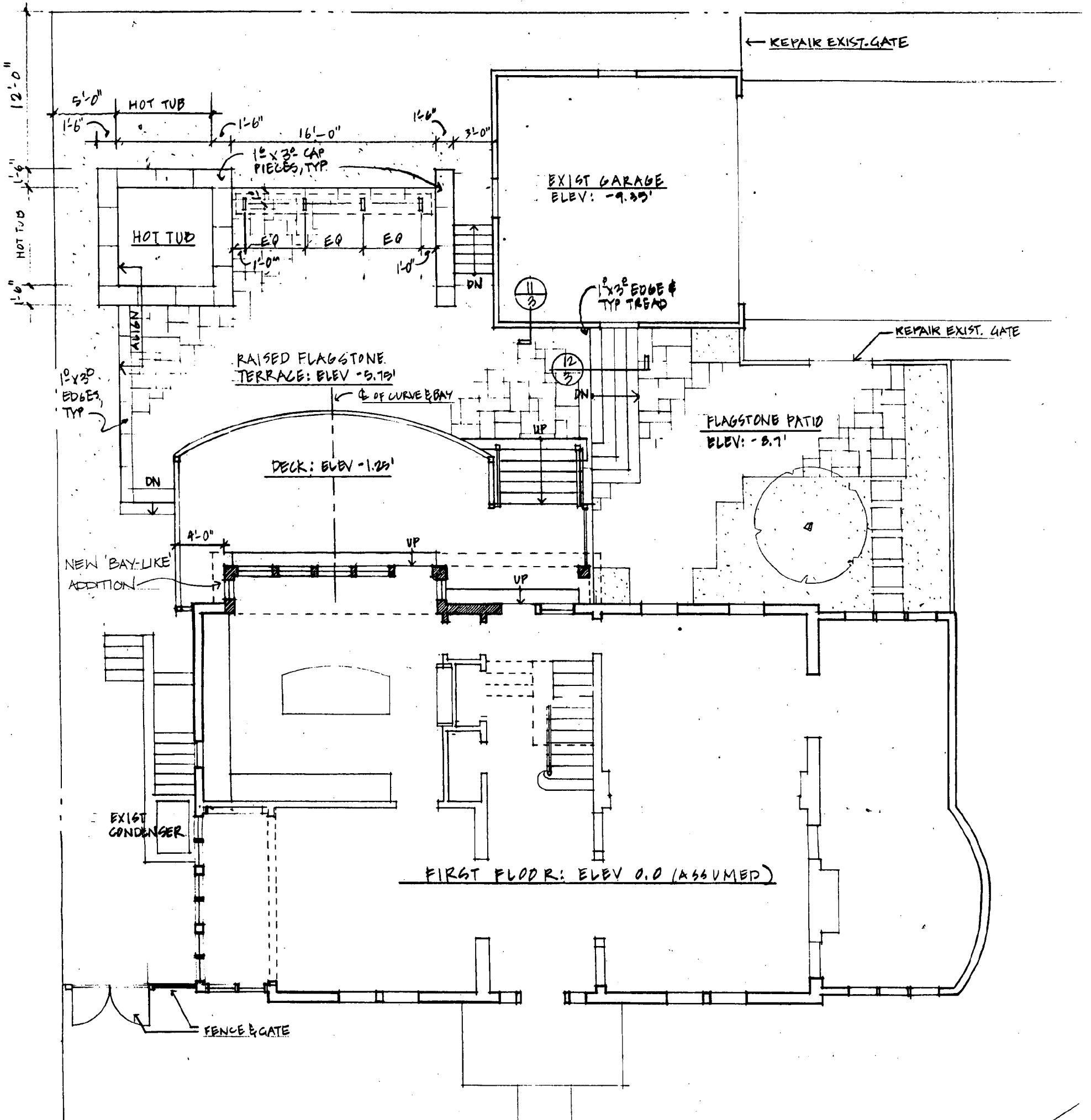
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MULLER RESIDENCE
 20 MAGNOLIA PARKWAY
 CHEVY CHASE, MD 20815

**PROPOSED
 SITE PLAN**
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 Montgomery County, MD

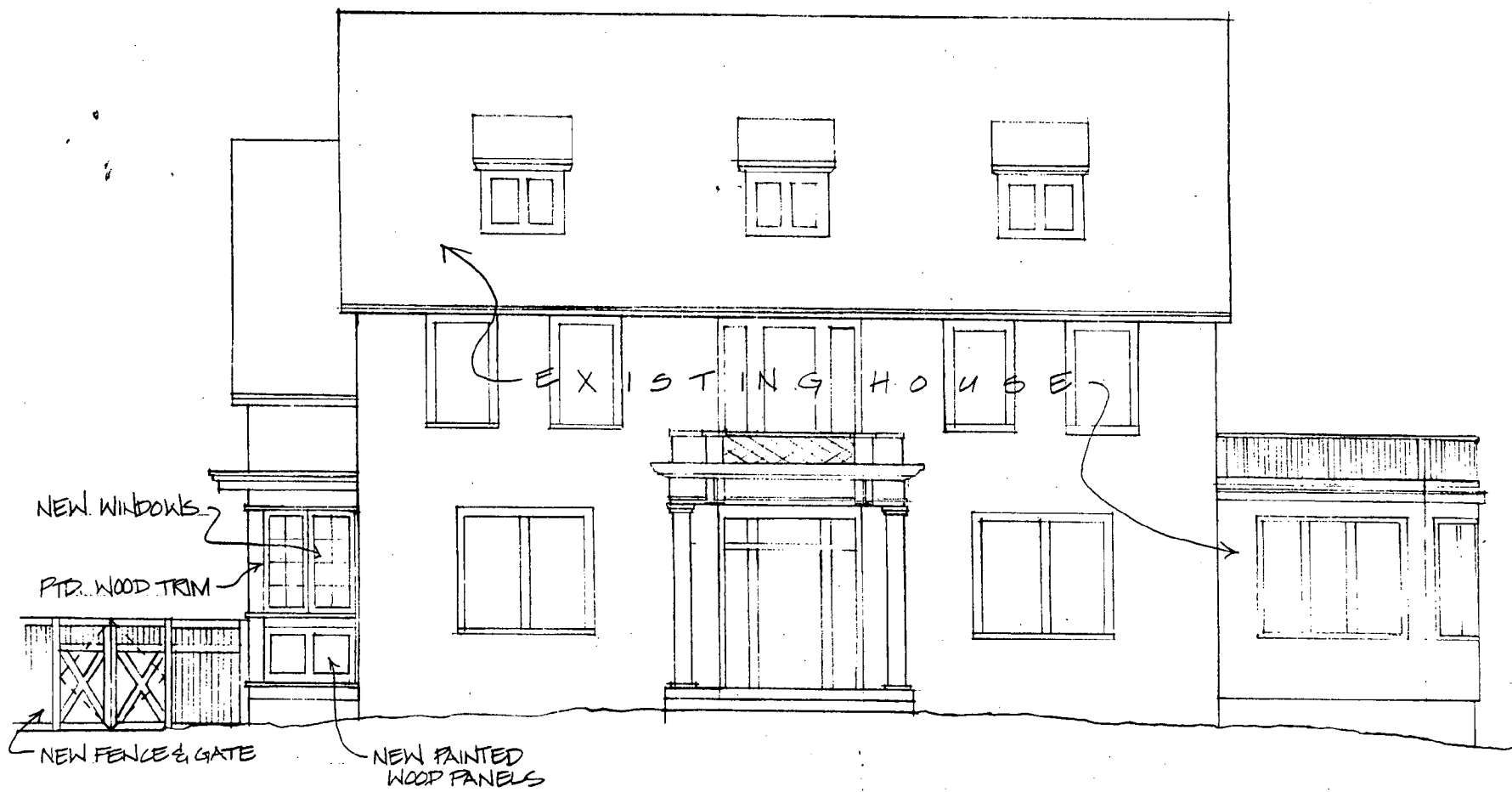
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MULLER RESIDENCE
 20 MAGNOLIA PARKWAY
 CHEVY CHASE, MD 20815

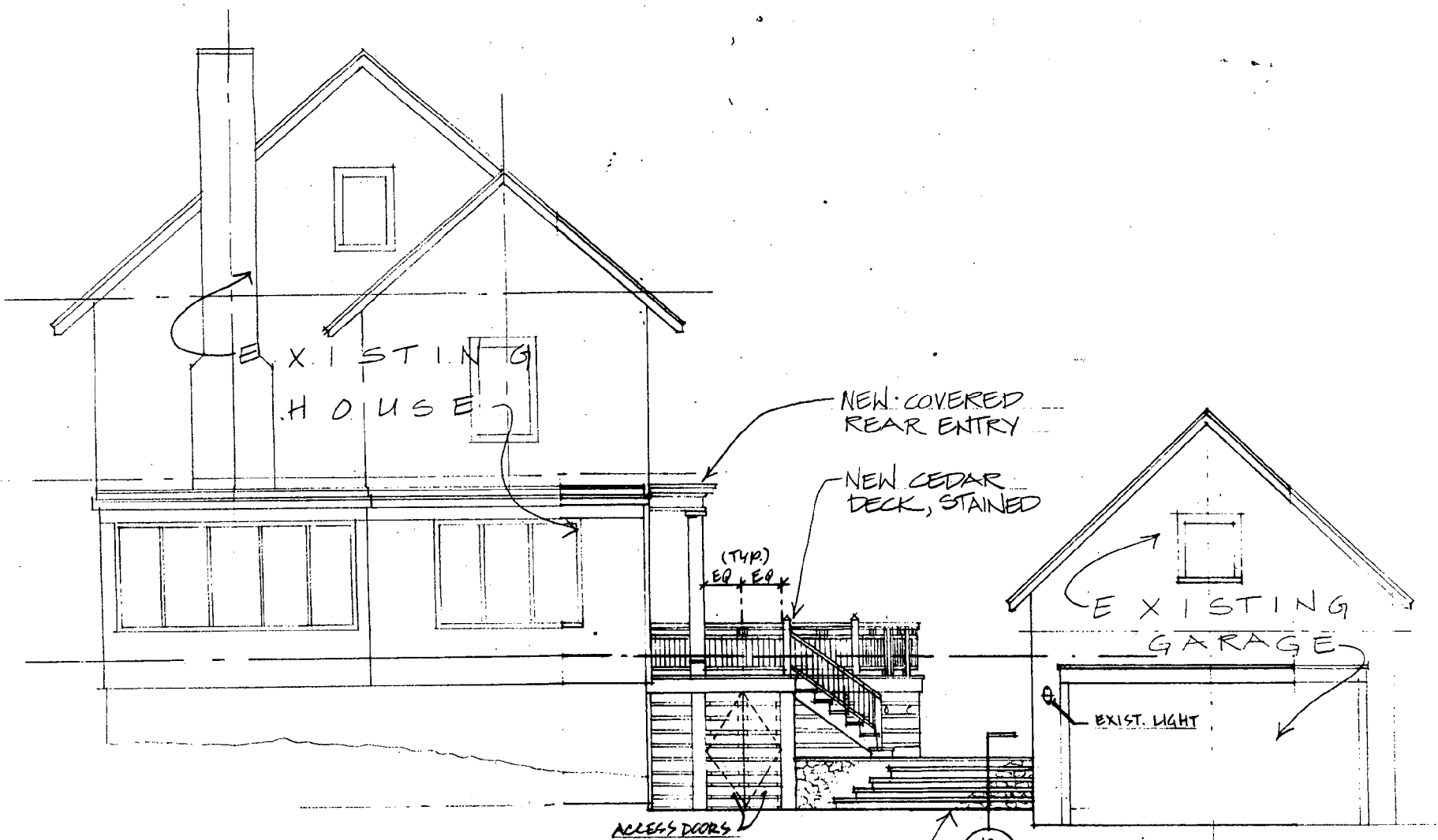
PROPOSED
FIRST FLOOR PLAN

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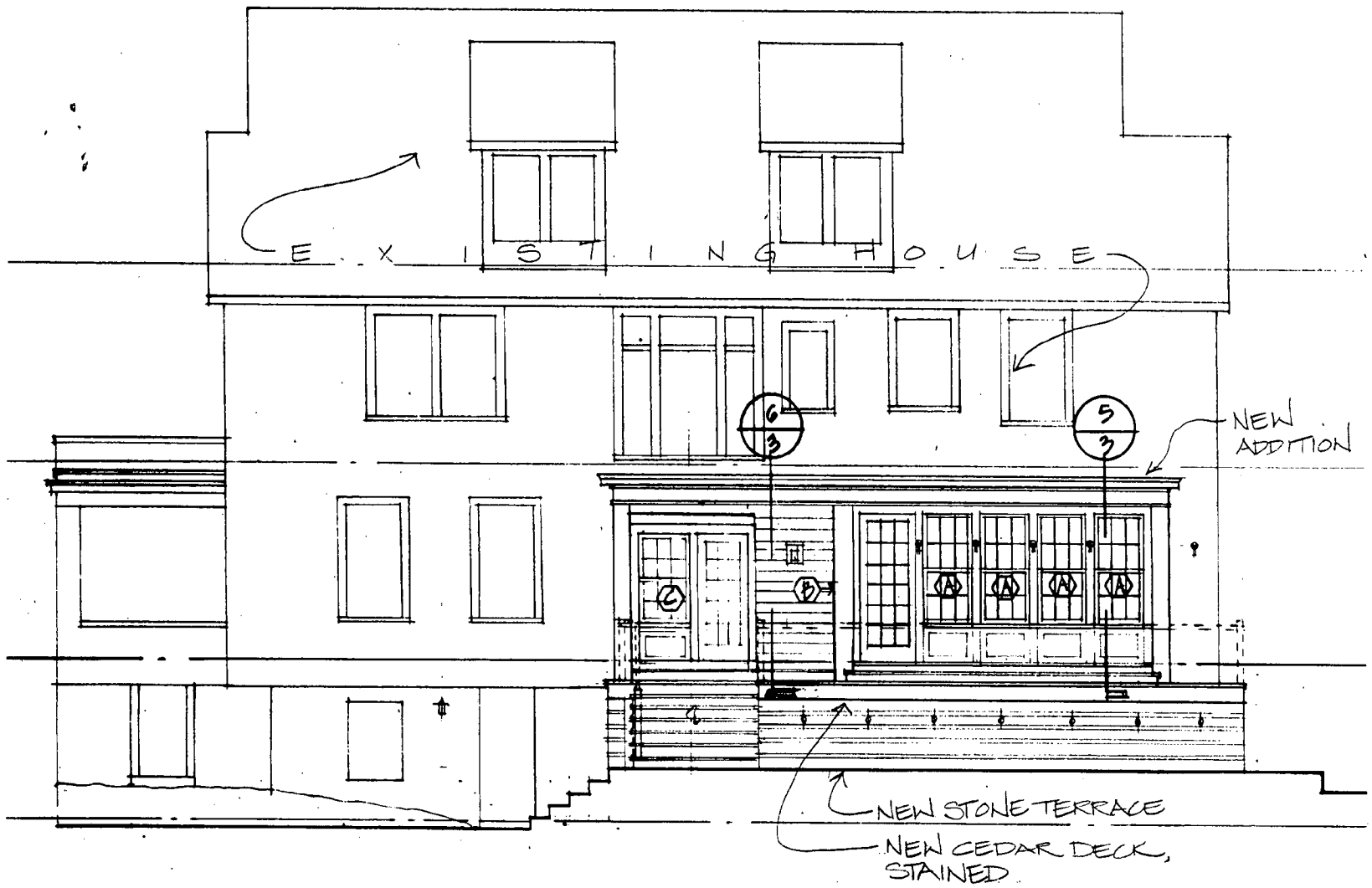


B EAST ELEVATION
 1 1/8" = 1'-0"

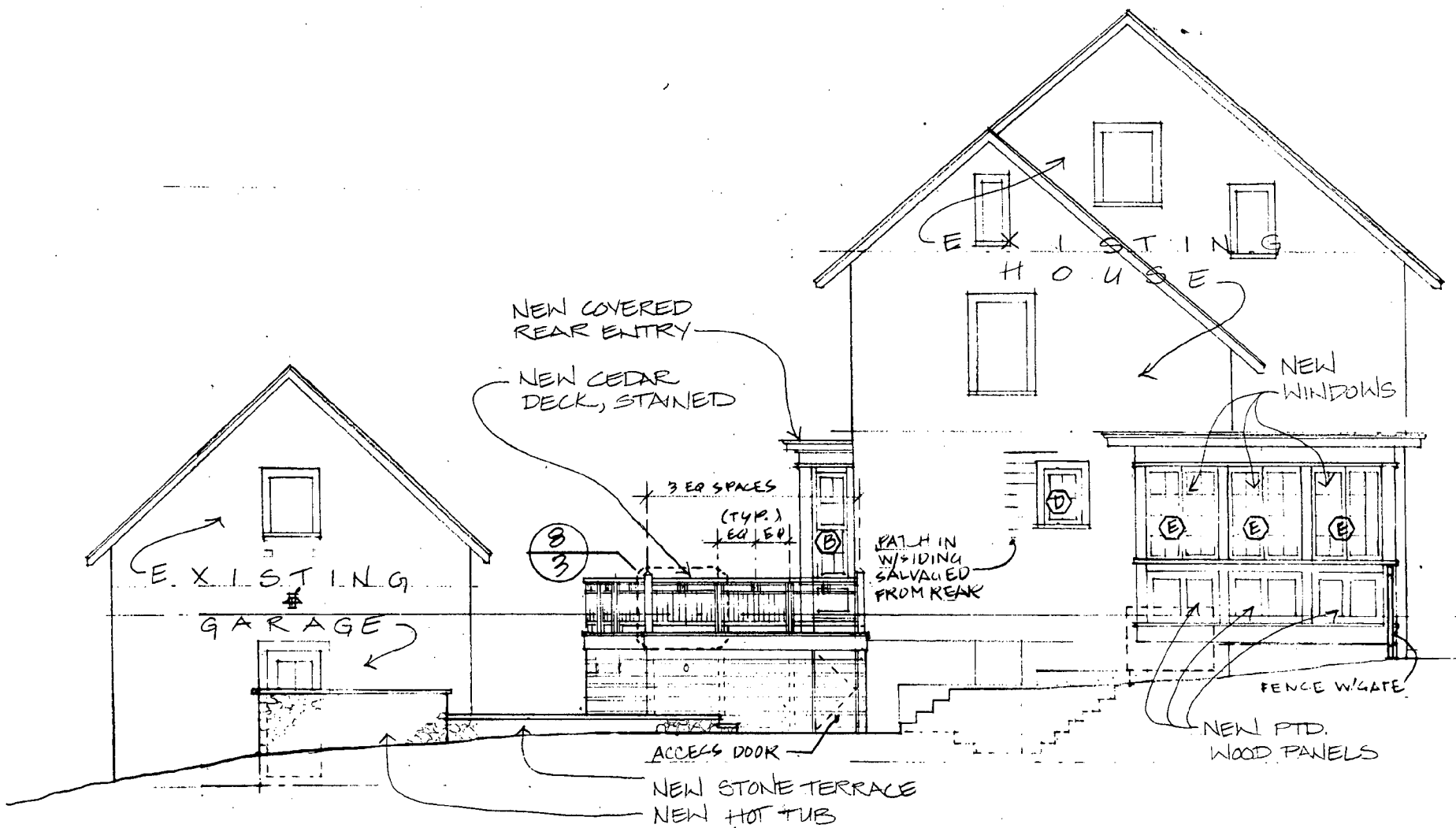


C NORTH ELEVATION
 1 1/8" = 1'-0"

<p>MULLER RESIDENCE 20 MAGNOLIA PARKWAY CHEVY CHASE, MD 20815</p>	<p>PROPOSED NORTH & EAST ELEVATIONS</p> <p>7/19/01 pg 3 of 5</p>	<p>TREACY & EAGLEBURGER ARCHITECTS 3335 CONNECTICUT AVENUE NW WASHINGTON, DC 20008 (202) 362-5226</p>
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D WEST ELEVATION
 1/8" = 1'-0"



E SOUTH ELEVATION
 1/8" = 1'-0"

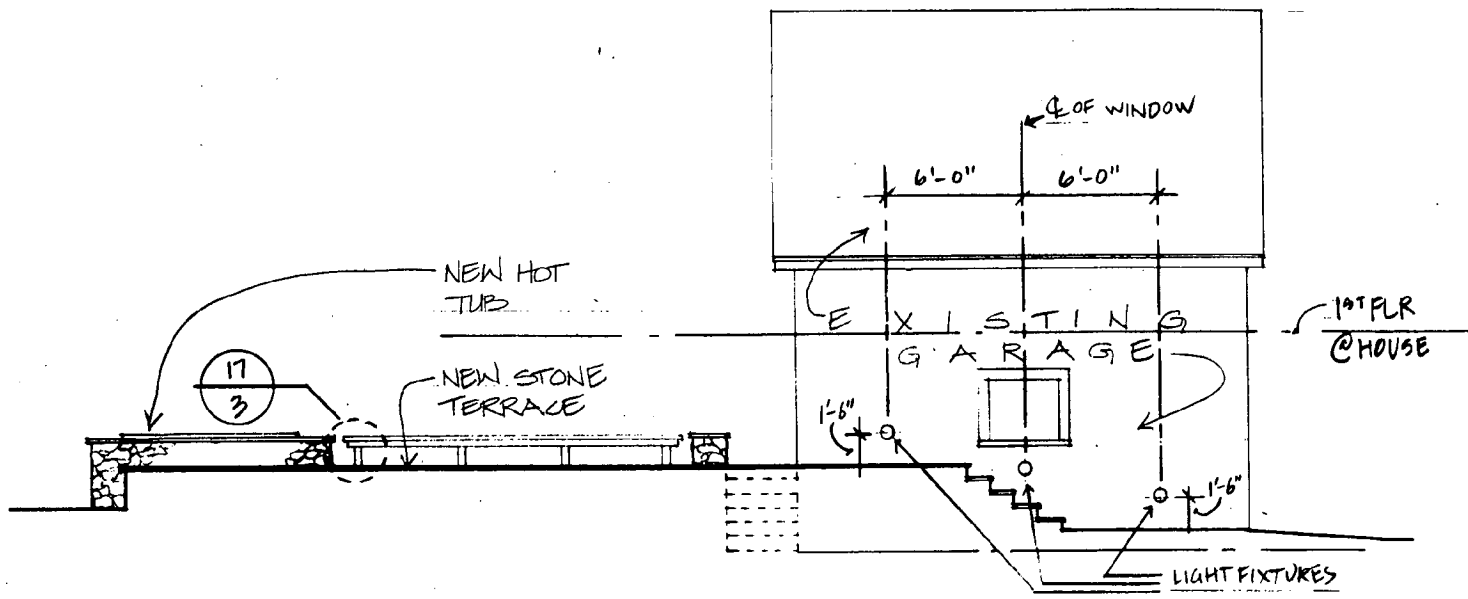
MULLER RESIDENCE
 20 MAGNOLIA PARKWAY
 CHEVY CHASE, MD 20815

PROPOSED
WEST & SOUTH ELEVATIONS

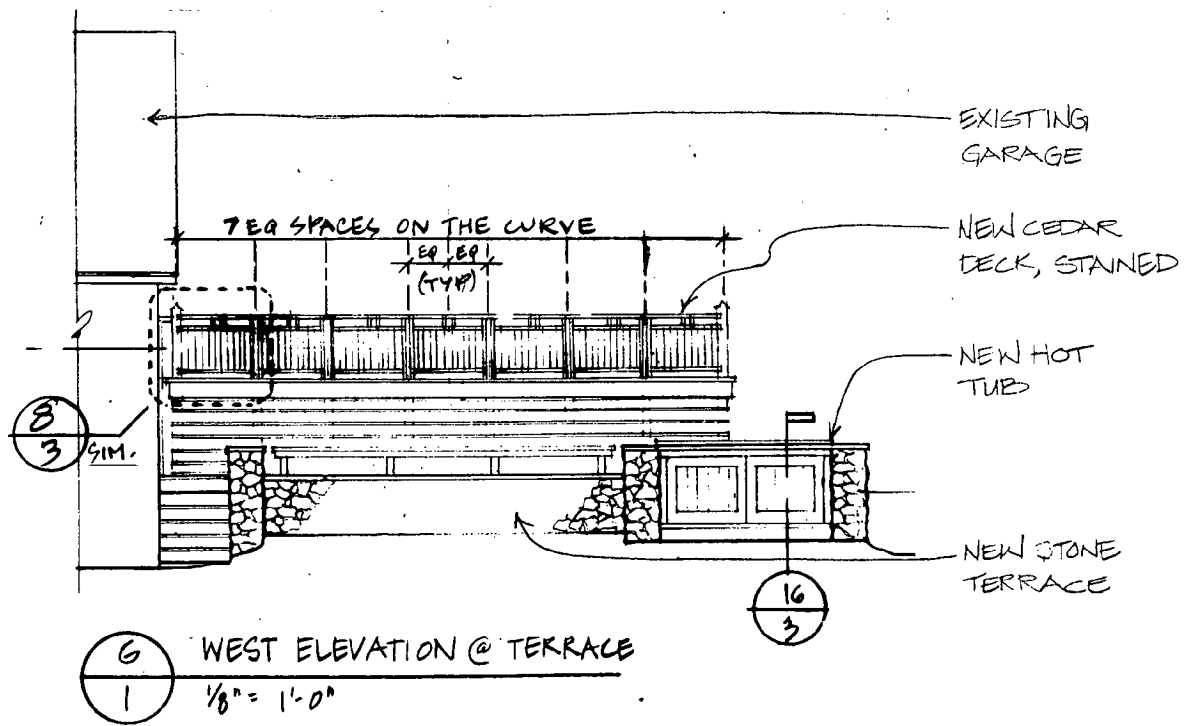
7/19/01

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F EAST ELEVATION @ TERRACE
 1 $\frac{1}{8}'' = 1'-0''$



G WEST ELEVATION @ TERRACE
 1 $\frac{1}{8}'' = 1'-0''$