

7 Magnolia Parkway, Chevy Chase
HPC Case # 3513-100 C
Chevy Chase Village Historic District

H: 301.656.6582

C: 202.262.9665

Silver, Joshua

From: Silver, Joshua
Sent: Tuesday, October 14, 2008 8:42 AM
To: 'Heather Cass'
Subject: RE: 7 Magnolia Parkway, Chevy Chase

Hi Heather,

Thanks for faxing in your revised proposal for the stairs. Your request to change the material of the steps on the west elevation from concrete to brick and change their orientation from loading on the side to the front is approved.

Thanks,
Josh

From: Heather Cass [mailto:hcass@cassassoc.com]
Sent: Friday, October 10, 2008 9:38 AM
To: Silver, Joshua
Subject: 7 Magnolia Parkway, Chevy Chase

Dear Josh,

I'm sure you will remember that last spring you helped me through the review process for a rear yard addition to my home in Chevy Chase Village. (The signature date on the approved drawings is 6/9/08.) The project is under construction, and so far so good. There is one minor change we would like to make and I hope you can approve it without going through the full process. On the west elevation (sheet A-3) we are moving the door and stoop to a new location. The drawings show the stoop as concrete, and the stairs coming down to the right. We would prefer to have brick steps coming straight out. All the dimensions would remain the same.

I'll be glad to fax you a drawing of the revisions if necessary, or bring them by the office.

Thanks for your help.

Heather Cass
301-656-6582



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: February 14, 2008

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #476406, rear addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the February 13, 2008 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Richard & Heather Cass
Address: 7 Magnolia Parkway, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: HEATHER CASS
Daytime Phone No.: 301.656.6582

Tax Account No.: 00496206
Name of Property Owner: RICHARD AND HEATHER CASS Daytime Phone No.: 301.656.6582
Address: 7 MAGNOLIA PKWY Chury Chase MD 20815
Super Number City Street Zip Code
Contractor: SBR Construction Co. Phone No.: 301.388.2320
Contractor Registration No.: Mhycty #914/MDHC #8506
Agent to: Owner, Heather Cass, FAIA Daytime Phone No.: 301.656.6582 / 202.462.7663

LOCATION OF BUILDING/PREMISE

House Number: 7 Street: MAGNOLIA PARKWAY
Town/City: Chury Chase Village Nearest Cross Street: Hesketh Street
Lot: P1 Block: Footlot 27 Subdivision: Section 2, Chury Chase
Liber: 5508 Folio: 84 Parcel: Part of lot 1 and part of lot 2 -

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate Add Slab Room Addition Porch Deck Shed
 Move Install Wreck/Reaze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Reversible Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 100,000 -
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches N/A
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Heather W Cass 1/22/08
Signature of Owner or Authorized Agent Date

Approved: X [Signature] 6/9/08
Signature Date
Application/Permit No: 476406 [Signature] [Signature]
Date Filed Date Issued

SEE REVERSE SIDE FOR INSTRUCTIONS



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: February 14, 2008

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner *JIS*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #476406, rear addition

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The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Richard & Heather Cass

Address: 7 Magnolia Avenue, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing house is a 2 1/2 story wood clapboard center hall colonial built between 1919 and 1927. Designated a category 2 contributing structure by HPC, it has a 2 story rear addition built between 1959/1960. House is located on Magnolia Parkway, where there is an exceptionally broad right of way and no side walk. Front of house is more than 65 FT from curb. Front yard has 2 large magnolias and 5 willow oaks, the latter planted in 1990's.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Proposed one story rear addition measuring 16 x 20 feet with a 2 x 8 foot "connector" to the existing 1960 wing. 1960 wing was extensively altered - window configuration - in 1992. Proposed alteration to wing would relocate doors and add/enlarge one window.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the crown of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, 301/279-1355.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7 Magnolia Parkway, Chevy Chase	Meeting Date:	2/13/2008
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	2/6/2008
Applicant:	Richard & Heather Cass	Public Notice:	1/31/2008
Review:	HAWP	Tax Credit:	None
Case Number:	35/13-08C	Staff:	Josh Silver
PROPOSAL:	Rear addition		

STAFF RECOMMENDATION:

Staff is recommending that the HPC **approve** this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: 1916-1927

The house is a 2-½ story, three-bay frame dwelling, with a side gable slate roof, and single story, columned portico entryway. The house is clad in wood siding, and contains 6/1 double-hung windows. A 1960, 2- story, addition is located at the rear of the house.

The house is sited on an asymmetrical lot and contains several mature trees. A small garage is located at the rear of the property.

HISTORIC CONTEXT

Chevy Chase Village was Montgomery County's first and most influential streetcar suburb planned and developed between 1892 and 1930. It was the most visionary investment in Montgomery County real estate in the late nineteenth and early twentieth century - representing the Chevy Chase Land Company's prototype for a planned suburb and setting the tone for early twentieth century neighborhoods throughout northwest Washington and southern Montgomery County. Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.

PROPOSAL:

The applicants are proposing to construct a one-story, 16' x 20' addition at the rear of the house. A 2' x 8' hyphen will attach the proposed addition to the existing 1960s addition at the rear of the house.

The applicants are also proposing to relocate and reuse two (non-historic) doors on the existing 1960s addition to accommodate the proposed redesign of their interior space.

APPLICABLE GUIDELINES:

When reviewing alterations within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior’s Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

Chevy Chase Village Historic District Master Plan

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

Major additions- should, where feasible, be placed to the rear of the existing structure so that they are less visible from the public right-of-way. Major additions which substantially alter or obscure the front of the

structure should be discouraged but not automatically prohibited. For example, where lot size does not permit placement to the rear, and the proposed addition is compatible with the streetscape, it should be subject to moderate scrutiny for contributing resources.

Montgomery County Code; Chapter 24

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff appreciates the thoroughness of the submitted application package and is supportive of the proposed rear addition. The massing, scale and materials for the proposed addition are complementary to the style of the historic massing and later addition. The relocation of the existing doors on the 1960s addition, and removal of the existing (non-historic) windows from the north elevation and reuse on the proposed addition will have no impact to the house or streetscape of the historic district.

Although the proposed addition projects approximately 2'8" beyond the plane of the existing 1960s addition and historic massing, its visibility from the public right-of-way will be only minimal because of its location set back 116' from Magnolia Parkway. Staff met with the applicant to discuss the possibility of shifting the addition to the east to mitigate any potential visual impacts from the public right-of-way, and learned that if relocated the addition would present an immediate threat to two trees on the property. Furthermore, the house is situated on an asymmetrical lot that limits the possibility of constructing an addition this size within the minimum side yard setback of the lot.

The applicants have met with the Chevy Chase Village arborist and been given verbal approval for the construction of the proposed addition. *Staff is recommending approval of this HAWP application.*

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 25 ROCKVILLE PIKE, 3RD FLOOR, ROCKVILLE, MD 20850
 301/777-5370

OPS - #8

J

HISTORIC PRESERVATION COMMISSION
 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: HEATHER CASS
 Daytime Phone No.: 301.656.6582

Tax Account No.: 00456206
 Name of Property Owner: RICHARD AND HEATHER CASS Daytime Phone No.: 301.656.6582
 Address: 7 MAGNOLIA PKWY Chevy Chase MD 20815
Street Number City Street Zip Code
 Contractor: SBR Construction Co. Phone No.: 301.388.2320
 Contractor Registration No.: Mty. Cty. #919 / MDHC #8506
 Agent for Owner: Heather Cass, FAIA Daytime Phone No.: 301.656.6582 / 202.462.7663

LOCATION OF BUILDING/PREMISE

House Number: 7 Street: MAGNOLIA PARKWAY
 Town/City: Chevy Chase Village Nearest Cross Street: Hesketh Street
 Lot: P1 Block: 27 Subdivision: Section 2, Chevy Chase
 Liber: 5508 Folio: 84 Parcel: Part of lot 1 and part of lot 2-

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Abate Sign Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 100,000-
 1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

7A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 7B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches N/A
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Heather W. Cass 1/22/08
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature _____ Date: _____

Application/Permit No. 476496 Date Filed: _____ Date Issued: _____

Ed: 9/2/99

SEE REVERSE SIDE FOR INSTRUCTIONS

5

Description: 7 Magnolia Parkway, Chevy Chase, Maryland 20815

Proposed one story rear addition:

Description: Existing house is a two and a half story wood clapboard center hall colonial built between 1919 and 1927 with a two-story rear addition built in 1959/60. Designated a category 2 contributing structure by HPC. House is located on Magnolia Parkway, where there is an exceptionally broad right of way and no sidewalk. Front of house is more than 65 feet from curb.

Description of Proposed Project: Proposed one story rear yard addition measuring 16 feet by 20 feet with a two foot by eight foot "connector" to the existing wing. Attaches to 1959/60 addition which was extensively renovated (window configuration changes on exterior) in 1992/4. Proposed alteration to existing addition would relocate 2 doors and build new door canopy on driveway (west) side, and add one window.

Materials: Wood siding and lattice to match existing house, brick foundation (where visible) to match existing house, copper roof to match rear dormers on existing house, copper gutters to match existing house. Reuse existing north elevation painted wood single glazed double hung windows on new north elevation. All other double hung and fixed windows to match existing and (like existing) to be single glazed, painted double hung windows with matching muntins.

Setbacks: Side and rear setbacks are within the requirements of both Chevy Chase Village and Montgomery County.

Visibility/Distance from street: Visible corner of addition (on driveway side) projects to the west three feet beyond the existing addition, but only two feet six inches beyond the farthest projection of the original house and is in line with the existing side door canopy. Closest corner of visible section of addition is 116 feet from curb of Magnolia Parkway.

Coverage: Current lot coverage including detached garage at rear of property is approximately 17.9%. Total coverage including proposed addition is 20.7%.

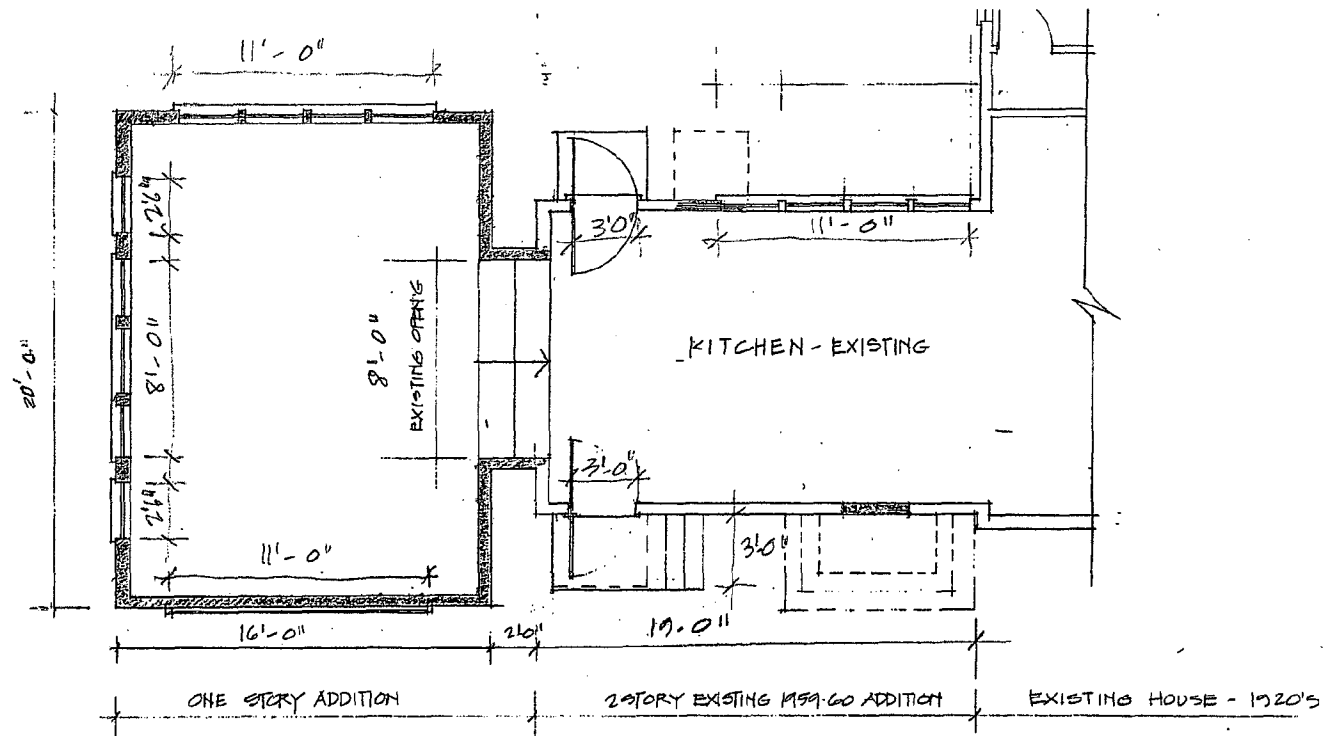
Trees: There are two trees in the vicinity of the proposed addition: an 18" diam. Pear tree approx three feet from the proposed addition and a 19" diam. Sycamore tree approx fifteen and a half feet from the proposed addition. It is the owner's intention to protect and preserve the trees. The Chevy Chase Village arborist, William Dunn, visited the site on January 22, 2008 and gave verbal approval to the proposal. Written confirmation is to follow.

Drainage: All downspouts on new addition to connect by underground piping to storm sewer per Chevy Chase Village instructions.

Submitted by:
Heather Cass
301-656-6582

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>Mr. and Mrs. RICHARD CASS 7 MAGNOLIA PARKWAY Chevy Chase, MD 20815</p>	<p>Owner's Agent's mailing address</p> <p>Ms. Heather W. Cass 7 MAGNOLIA PARKWAY Chevy Chase, MD 20815</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Ms. Kathleen Meredith Mr. BURT BRAVERMAN 2 MAGNOLIA PARKWAY Chevy Chase, MD 20815</p>	<p>Mr. and Mrs. Jerome Bracken 5 MAGNOLIA PARKWAY Chevy Chase, MD 20815</p>
<p>Dr. and Mrs. Joel Rosenberg 9 MAGNOLIA PARKWAY Chevy Chase, MD 20815</p>	<p>Mr. and Mrs. Joel Winnik 5804 Connecticut Avenue Chevy Chase, MD 20815</p>
<p>Mr. and Mrs. William J. Grace 8 West Irving Street Chevy Chase, MD 20815</p>	



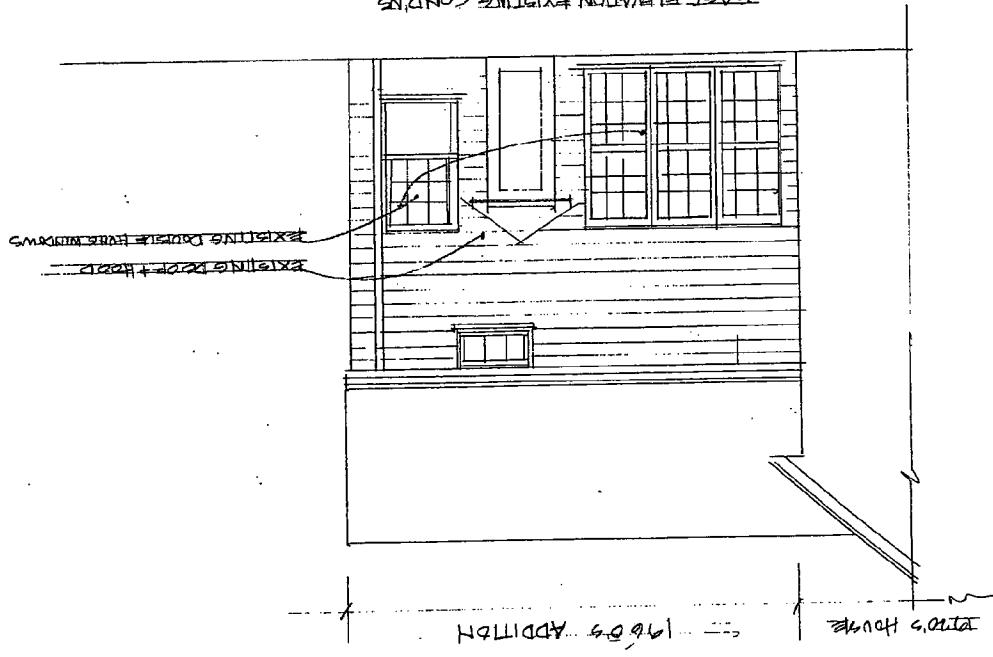
PLAN - PROPOSED ADDITION - 7 MAGNOLIA PARKWAY

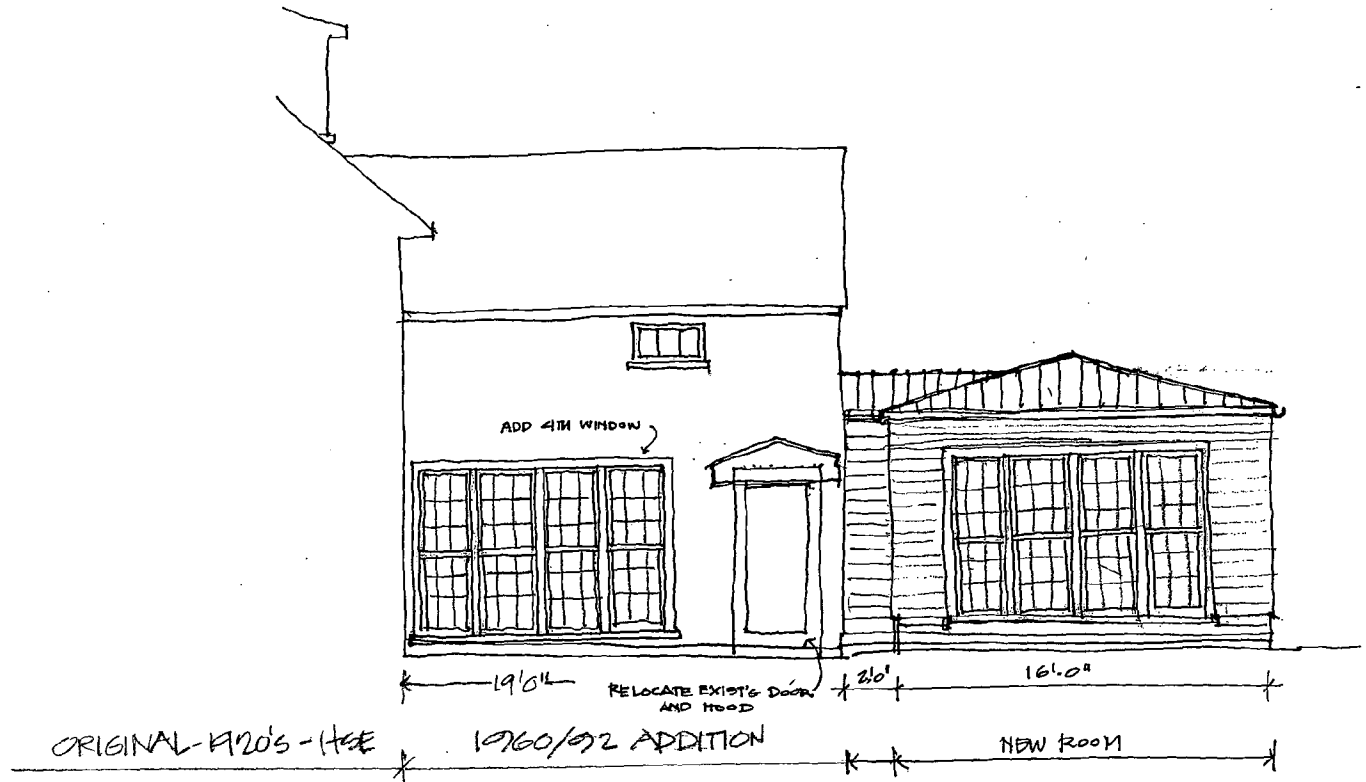
1/4" = 1'-0"
1/20/08

ALL MATERIALS TO MATCH EXISTING -

6

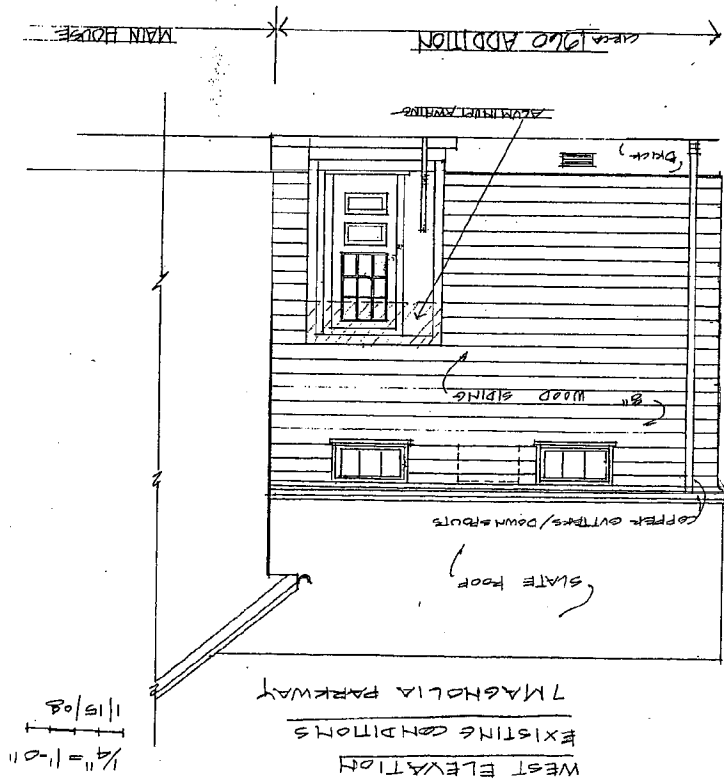
WEST ELEVATION EXISTING COND'S
#174681014 PARKWAY - 11/22/08
1/4" = 1'-0"

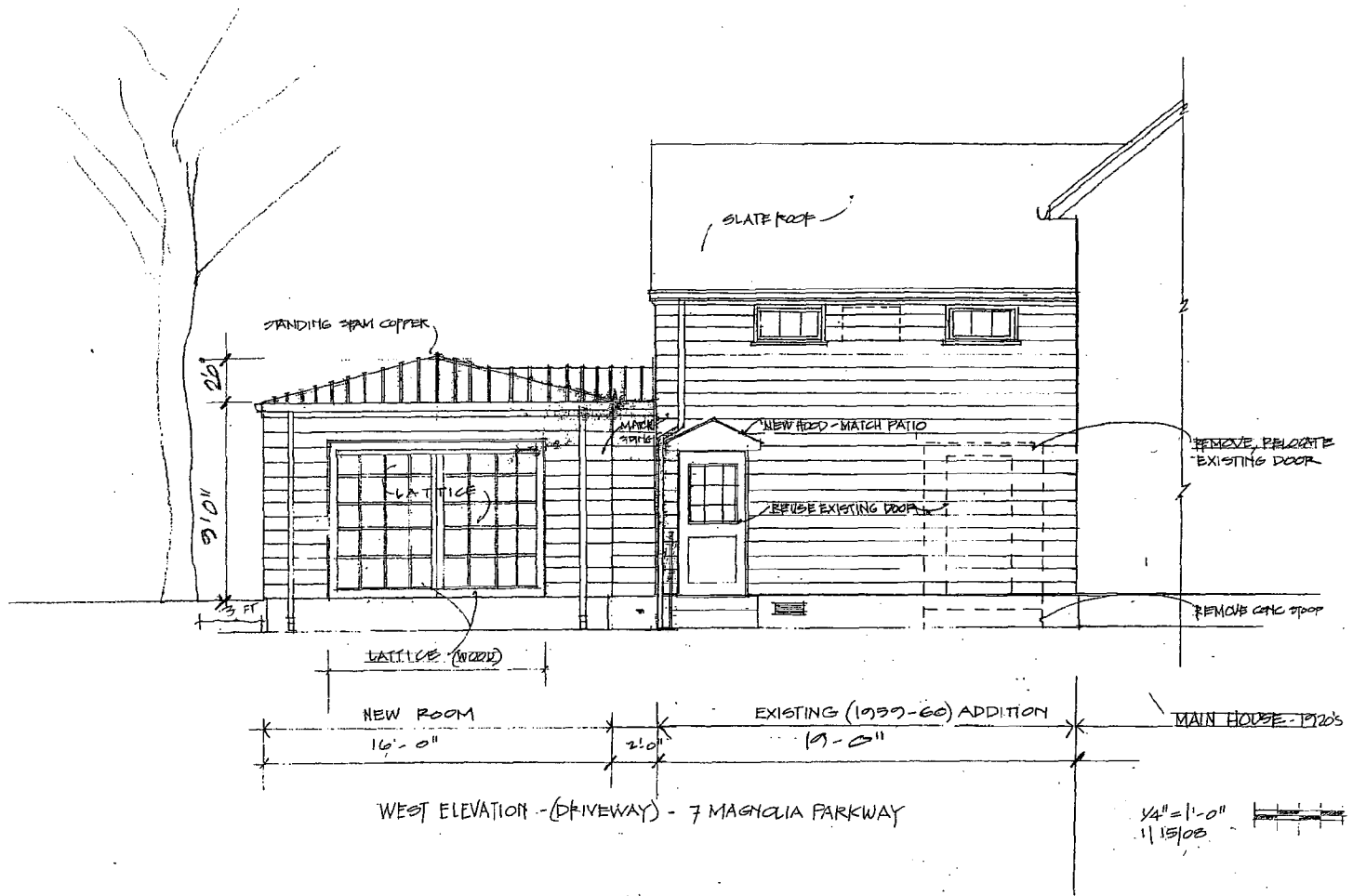


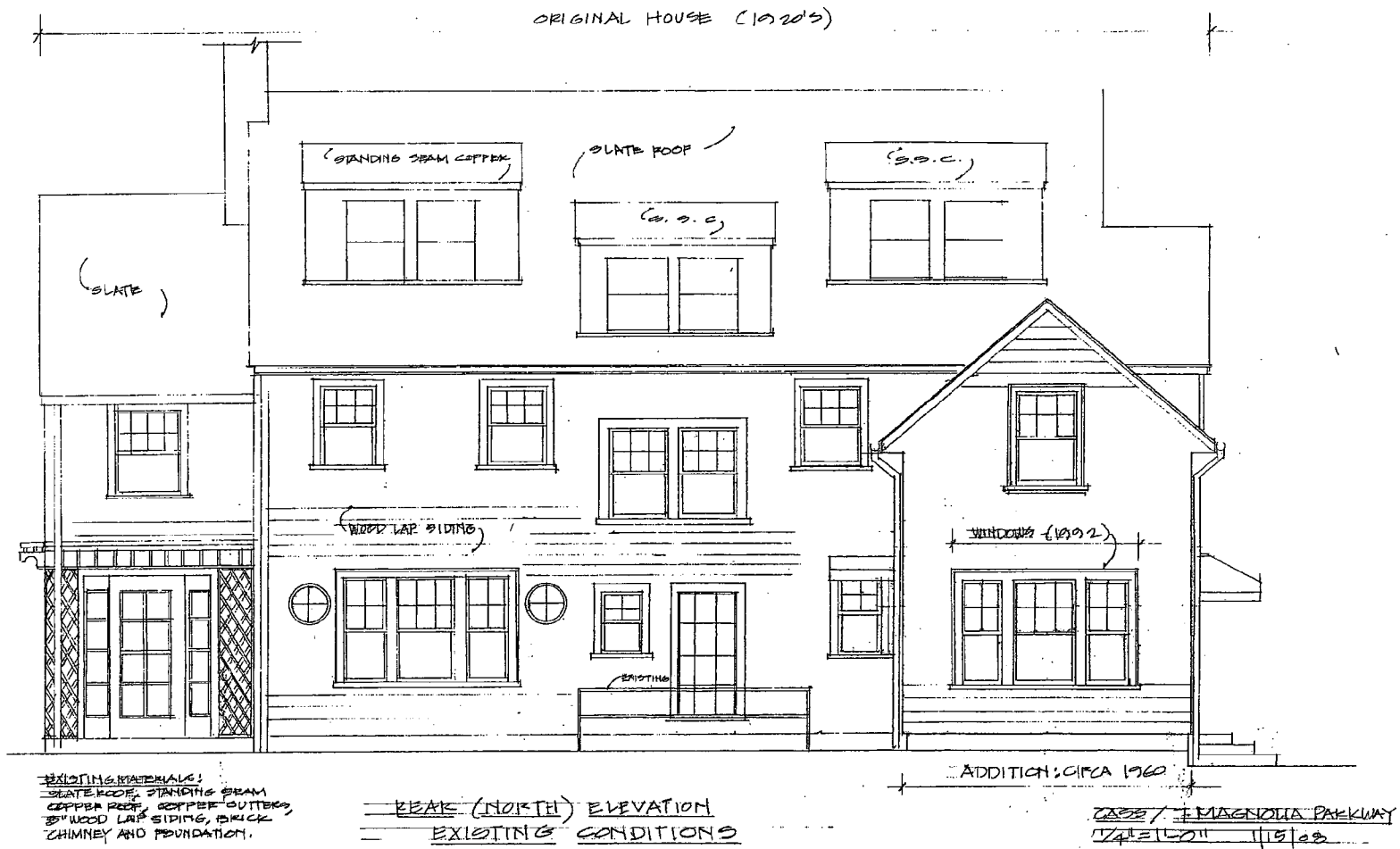


EAST ELEVATION

PROPOSED MATERIALS: ALL SIDING,
TRIM, WINDOWS TO MATCH EXISTING PTP
WOOD MATERIAL. ALL FDN TO MATCH
EXISTING BRICK. COPPER ROOF TO
MATCH EXISTING DORMERS. STANDING
SEAM COPPER.







ORIGINAL HOUSE (1920'S)



EXISTING MATERIALS:
 SLATE ROOF, STANDING SEAM
 COPPER ROOF, COPPER BUTTERS,
 WOOD LAP SIDING, BRICK
 CHIMNEY AND FOUNDATION.

REAR (NORTH) ELEVATION

ADDITION ONE STORY

2022 / 1 MAGNOLIA PARKWAY
 1/4 E 150" 12.23

**7 Magnolia Parkway, Chevy Chase
Chevy Chase Village Historic District**





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FRONT OF # 7 MAGNOLIA FROM EAST - ADDITION WILL NOT BE VISIBLE.

V7



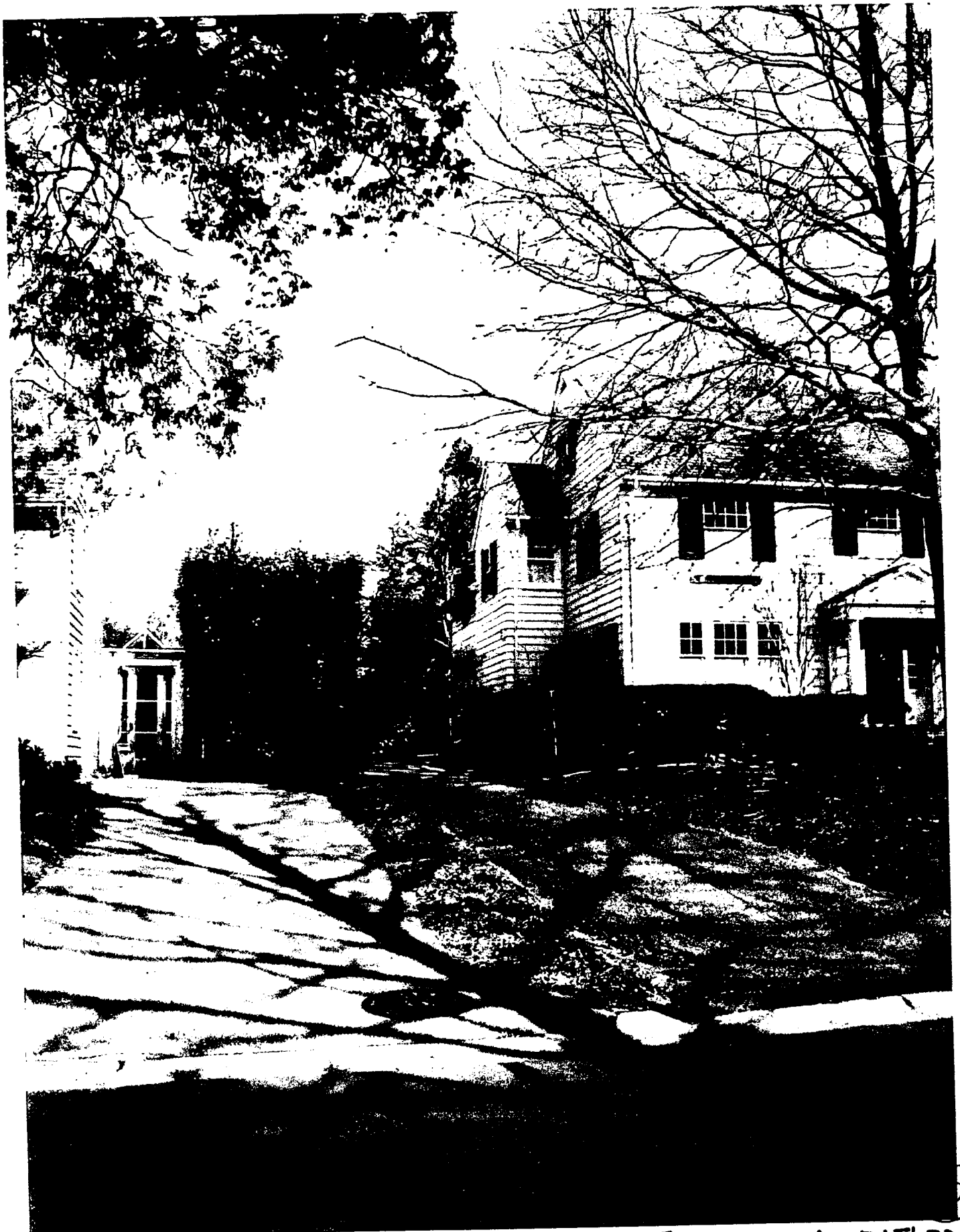
19

FRONT OF MAGNOLIA FROM SOUTH - ADDITION WILL NOT BE VISIBLE.

2/3



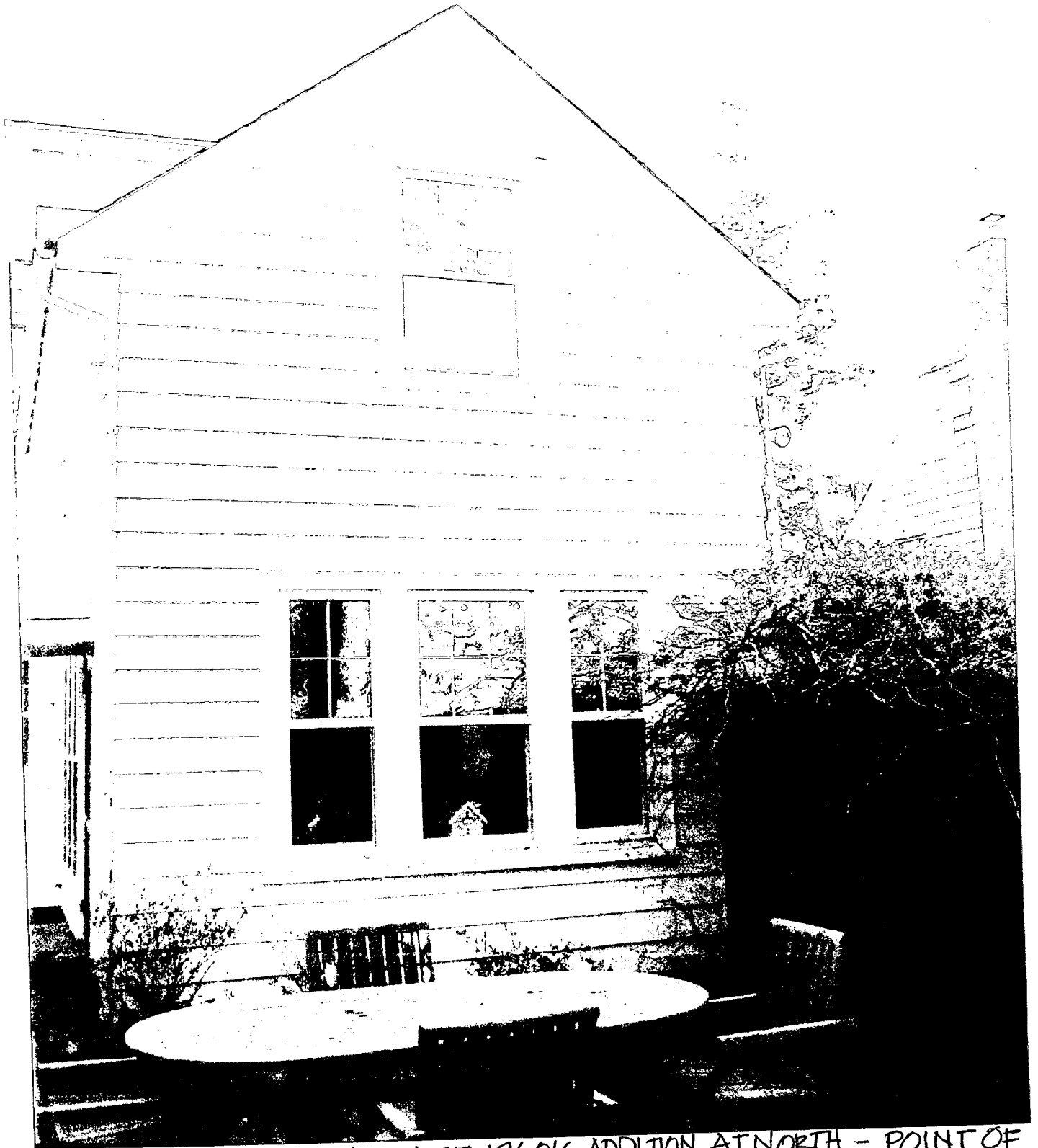
⑥ NORTH ELEVATION, REAR, # 7 MAGNOLIA PARKWAY. 1960 ADDITION IN FOREGROUND # 7/1



FRONT OF # 7 FROM WEST - SIDE PROJECTION OF ADDITION
WILL BE VISIBLE IN REAR.



7 MAGNOLIA - VIEW OF 1960'S ADDITION ON WEST SIDE



7 MAGNOLIA - VIEW OF 1960'S ADDITION AT NORTH - POINT OF CONNECTION TO ADDITION. (23) # 5.



23

REAR WING #7 MAGNOLIA - EAST ELEVATION - ADDITION WILL BE TO ~~THE~~ RIGHT #6/7

TREES

Section No. 2
CHEVY CHASE
Montgomery County, Maryland

Scale: 1" = 40'

Surveyor's Certificate

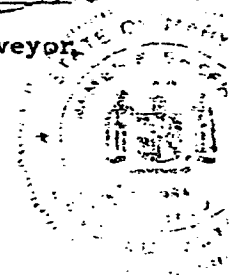
We hereby certify that we have carefully examined the property shown hereon in accordance with record description; that all of the existing buildings have been located by a transit-tape survey; that lot corners have not been set by this survey unless otherwise shown:

Date: Oct. 21, 1986

Frey, Sheehan, Stoker & Assoc., Inc.
Land Planning Consultants
Phone 588-3110

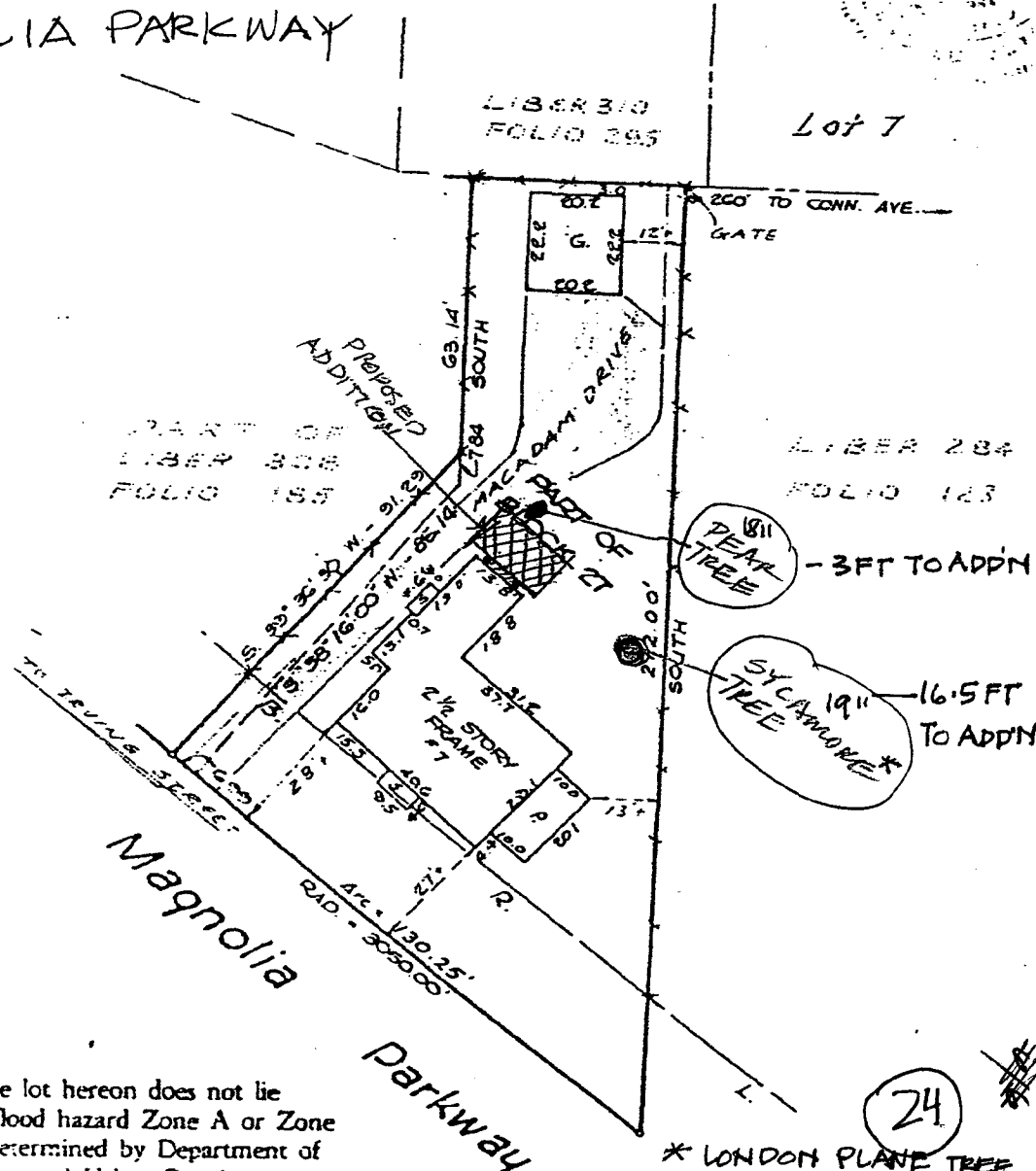
Plat Book 2
Page No. 106

By: James F. Sheehan
Professional Land Surveyor
Md. No. 3984



TREE SURVEY

#7 MAGNOLIA PARKWAY



The lot hereon does not lie within flood hazard Zone A or Zone B as determined by Department of Housing and Urban Development, Federal Insurance Administration.

24

* LONDON PLANE TREE

7 MAGNOLIA: VIEW OF SITE SHOWING PROPOSED LOCATION (25) OF ADDITION BETWEEN REAR TREE AND 1960 WING.





7 MAGNOLIA: VIEW OF SITE SHOWING SYCAMORE IN FOREGROUND AND PEAR AT REAR



8000 Queenair Dr. Gaithersburg MD 20879



Proposal for Tree Preservation Work

Client:
Ms. Heather Cass
(301) 656-6582

Property:
 7 Magnolia Parkway
 Chevy Chase MD 20815

Contacts:
Ms. Heather Cass
Architect
(202) 262-9665

NEAREST INTERSECTION: Hesketh Street
Hazards: N/A
Obstacles: Driveway, Patio, Construction
Plan: Soil care, Air spade, Root Pruning, Fence
Equipment: Air spade, High Flow, Compressor, Post Pndr

Utility Ticket: Prior to air spade
Clear Date: 48 to 72 Hrs.
Renew Date: 10 business days

Project:
 Cass Residence Addition
Date:
 January 22, 2008

Map Book: Montgomery
Page: 36-40
Grid:

This proposal refers to preventative measures that are necessary to help preserve the Pear tree 18" in diameter located at the rear left of the existing house approximately 3' from proposed addition and the Sycamore 19" in diameter located at the rear of the house towards the center of the patio approximately 15.5' from proposed addition.

First Year

Objective #1 - Tree Protection Fence	Cost \$320.00	Approximately 100 Linear Feet
TCOT will provide a crew led by an ISA Certified Arborist to install 4', Welded Wire fence, set with 6' T-Posts on 10' centers along the proposed foundation boundary identified by the Arborist. Yellow Tree Conservation Area Signs and orange flagging will then be attached to the fence at 25-50' intervals. No disturbance, construction activity or piling of materials shall be permitted in the tree save area.		

Objective #2 - SSAT Root Pruning	Cost \$1530.00
TCOT will provide a crew led by an ISA Certified Arborist to Root Prune 12' to 24" deep in the area along the rear of the proposed addition (approximately 21') and also along the right side of the proposed addition (approximately 16') using the Super Sonic Air Tool (SSAT) with hand pruning of all exposed roots. SSAT Root pruning is a special stress reducing process whereby soil is non-invasively excavated by the SSAT and all exposed roots are cleanly cut to allow for the fastest callous tissue development over exposed root tips.	

Objective #4 - Cambistat Tree Growth Regulator	Total DBH 37"	Cost \$300.00
TCOT will provide an ISA Certified Arborist and Licensed Pesticide Applicator to treat the Pear and the Sycamore with Cambistat TGR™. Cambistat TGR™ is a plant growth regulator that acts to inhibit canopy growth and direct energy resources toward the root system; resulting in an increase in fine root density and root growth. The benefits of treating trees with Cambistat TGR™ include the following:		
<ul style="list-style-type: none"> • Increased fibrous root development • Higher tolerance to water stress • Enhanced defenses • Less susceptibility to stress • Decreased canopy growth for ± 2 years 		

The Care of Trees
 Phone: (301) 444-9041
 Cell: (301) 370-9646



8000 Queenair Drive
 Gaithersburg MD 20879
 Fax: (301) 444-9049

Email: tfaoro@thecareoftrees.com

Please review attached Terms and Conditions

27



Proposal for Tree Preservation Work

Objective #3 - Soil Amendments & Biostimulants	3 Part Program	Cost \$200.00 per Application
<p>Soil Care is our soil amendment program whereby an ISA Certified Arborist and/or qualified Plant Health Care Technician from TCOT will institute a custom biological amendment program the indicated trees. This is a comprehensive soil management program that acts to revitalize the soil ecosystem in a manner that supports and creates healthy trees through the creation of a forest like soil microenvironment. This program involves multiple treatments spaced out over a year and includes the following:</p> <ul style="list-style-type: none"> • Liquid humate (microbial foods) treatment • Liquid compost tea (microorganisms) treatment • 27-9-9 Complete, Low Salt Index, Slow Release Fertilizer containing: <ul style="list-style-type: none"> ▪ Micronutrients ▪ Biostimulants ▪ Humic Acid ▪ Sea kelp Extract ▪ RZ3 Surfactant ▪ Ectomycorrhizal and VA mycorrhizal (VAM) fungi ▪ Beneficial rhizosphere bacteria 		

Objective #5 - Construction Monitoring & IPM Treatments	Cost \$180.00 per Inspection
IPM Inspections & Treatments	4 Inspections/Treatments
<p>Tree Watch is our construction monitoring and integrated pest management (IPM) treatment program, that when put into effect, will assist in actively managing the living trees on a construction site. It involves monitoring the integrity of existing tree protection measures, addressing new impacts or encroachments and monitoring for insect and disease concerns typical of stressed and impacted trees. A Tree Preservation PHC Specialist from TCOT will provide 4 inspections of the indicated trees throughout the year in order to identify and act upon tree health problems at the earliest possible time. The PHC Specialist will monitor tree health, soil moisture, pathogen outbreaks and protection measures to ensure contractor compliance. Minor insects & diseases will be treated during these visits, however if major problems or pest outbreaks occur, additional work may be proposed. The PHC Specialist will coordinate with the site contact during each visit to discuss any changes, concerns or areas in need of adjustment or special consideration. The results of each inspection & treatment will be summarized in a concise report and sent to the client.</p>	

Scope & Cost Submitted by:

Tony Faoro

Terms & Conditions Accepted by:

1/16/08

 Tony Faoro,
 ISA Certified Arborist, NYO774A
 MD Licensed Tree Expert 895

 Date

 Date

The Care of Trees
 Phone: (301) 444-9041

8000 Queenair Drive
 Gaithersburg MD 20879
 Fax: (301) 444-9049

Payment is due no more than 30 days following the completion of each objective.



Proposal for Tree Preservation Work

YEAR 2

Objective #8 - Soil Amendments & Biostimulants	2 Part Program	Cost \$200.00 per Application
<p>Soil Care is our soil amendment program whereby an ISA Certified Arborist and/or qualified Plant Health Care Technician from TCOT will institute a custom biological amendment program to the indicated trees. This is a comprehensive soil management program that acts to revitalize the soil ecosystem in a manner that supports and creates healthy trees through the creation of a forest like soil microenvironment. This program involves multiple treatments spaced out over a year and includes the following:</p> <ul style="list-style-type: none"> • Liquid humate (microbial foods) treatment • 27-9-9 Complete, Low Salt Index, Slow Release Fertilizer containing: <ul style="list-style-type: none"> ▪ Micronutrients ▪ Biostimulants ▪ Humic Acid ▪ Sea kelp Extract ▪ RZ3 Surfactant ▪ Ectomycorrhizal and VA mycorrhizal (VAM) fungi ▪ Beneficial rhizosphere bacteria 		

Objective #9 - Construction Monitoring & IPM Treatments	Cost \$190.00 per Inspection
IPM Inspections & Treatments	4 Inspections/Treatments
<p>Tree Watch is our construction monitoring and integrated pest management (IPM) treatment program, that when put into effect, will assist in actively managing the living trees on a construction site. It involves monitoring the integrity of existing tree protection measures, addressing new impacts or encroachments and monitoring for insect and disease concerns typical of stressed and impacted trees. A Tree Preservation PHC Specialist from TCOT will provide 4 inspections of the indicated tree throughout the year in order to identify and act upon tree health problems at the earliest possible time. The PHC Specialist will monitor tree health, soil moisture, pathogen outbreaks and protection measures to ensure contractor compliance. Minor insects & diseases will be treated during these visits, however if major problems or pest outbreaks occur, additional work may be proposed. The PHC Specialist will coordinate with the site contact during each visit to discuss any changes, concerns or areas in need of adjustment or special consideration. The results of each inspection & treatment will be summarized in a concise report and sent to the client.</p>	

Scope & Cost Submitted by:

Tony Faoro

Terms & Conditions Accepted by:

9/6/07

 Tony Faoro,
 ISA Certified Arborist, NY0774A
 MD Licensed Tree Expert 895

Date

 Date

The Care of Trees
 Phone: (301) 444-9041

8000 Queenair Drive
 Gaithersburg MD 20879
 Fax: (301) 444-9049

Payment is due no more than 30 days following the completion of each objective.



Proposal for Tree Preservation Work

TERMS

1. Payment terms are 30 days from clients monthly cut off date. Invoicing will be monthly for work performed during prior billing cycle based on percentage of task completed or hourly rates as indicated.
2. Due to the timing and nature of our work, deduction of retainage until construction completion is not customary. Typically the scope of Tree Preservation work is complete before other subcontractors begin their work on the project. And as Tree Preservation work involves protecting and maintaining the owner's assets as opposed to installing or building structures or fixtures, other satisfactory arrangements can be negotiated.
3. The Care of Trees will perform all work in a professional and timely matter. Any events which may delay completion of tasks, such as design changes, weather or contractor's negligence will be brought to the Project Manager's attention immediately.

CONDITIONS

TREE HEALTH

Trees are living things whose livability and structural integrity is subject to a wide array of factors and impacts; among these are genetics, climate, weather, water regime, soils, insects and disease. As such, trees are subject to changes in health or condition very slowly over time or very abruptly. The Care of Trees or its employees are not liable for the actions of these or other factors upon the health or structure of the trees involved in this proposal.

SCHEDULING

Job scheduling is dependent on weather conditions and work loads.

BILLING & SALES TAX

The client is directly responsible for all charges, and payment shall not be contingent upon third-party or other associated contracts and payments. Payment is expected within 30 days of invoicing unless otherwise specified. Sales tax will be added as per local jurisdiction. Clients claiming tax exempt status must submit a copy of their official tax exempt status form including their tax exempt number in order to waive any tax.

TIME AND MATERIALS (T&M)

Jobs performed on a T&M basis will be billed for the time on the job (not including lunch break), travel to and from the job, and materials used.

CLIENT SATISFACTION

Satisfied clients are our foremost goal. We guarantee all work will be done in a professional and workmanlike manner. Our work will meet or exceed standards set by the Society of American Foresters and the International Society of Arboriculture or we will correct it at no additional cost to you. Please bring any discrepancies to our immediate attention and in no event later than 30 days from the date of such discrepancy. As our work involves living things, no guarantee on the lives of any trees or plants is expressed or implied in this contract. This includes any hand or machine transplanted trees.

INSURANCE

Our workers are covered by Worker's Compensation. The company is insured for personal injury and property damage liability. Proof of insurance can be verified by requesting a copy of our Certificate of Insurance.

OWNERSHIP OF TREES

Signature/acceptance constitutes a representation and warranty that the trees referenced in this quote are either owned by the signee or that written permission has been received to work on trees which are not on the signee's property. Signee will indemnify and hold harmless for any breach of this representation and warranty.

TREE RISK

No internal, structural, or aerial inspections were performed upon these trees. Conditions and weaknesses may exist out of sight from the human eye. Any condition or weakness noted during inspections or while performing aerial ascent will be noted in writing for the client.

UTILITY LOCATING

The Care of Trees will notify Miss Utility prior to any excavating operations; however the locating of any private utilities is the responsibility of the client. The Care of Trees will not be held responsible for damages to unmarked and/or private utilities.

The Care of Trees
Phone: (301) 444-9041

8000 Queenair Drive
Gaithersburg MD 20879
Fax: (301) 444-9049

Payment is due no more than 30 days following the completion of each objective.

30

FACSIMILE TRANSMISSION

To: Joshua Silver, Senior Planner
Urban Design Division, Historic Preservation Section
The Maryland-National Capital Park and Planning Commission

Fax: 301-563-3412
Phone: 301-563-3400

From: Heather Cass

Fax: 301-656-0812
Phone: 301-656-6582
hcass@cassassoc.com

Number of Pages: 6 including cover sheet

RE: ADDITION TO 7 MAGNOLIA PARKWAY, CHEVY CHASE
WEST STOOP REVISION

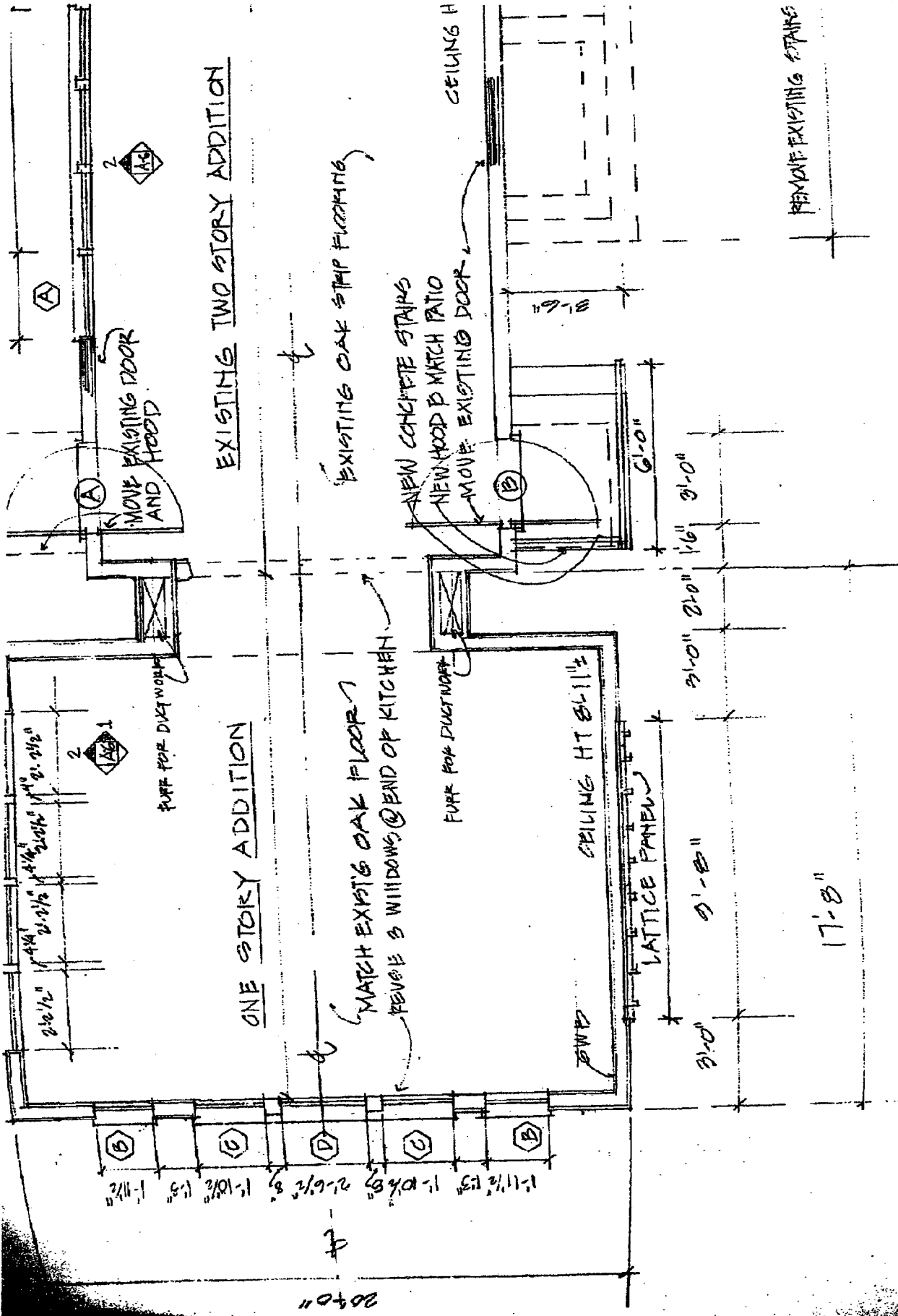
Dear Josh,

Attached are copies of the original plan and elevation showing the approved design for the west stoop, as well as copies of the revised proposal. Only the steps change: from concrete to brick to match the foundation, and to go straight out (as the old steps did) instead of turning. The door and door hood are unchanged.

Thanks for your help.

Heather Cass
301-656-6582 home
202-262-9665 cell





(APPROVED)
 7 MAGNOLIA PARKWAY 2/6

I.R.C. 200 2
 AS AMENDED BY MONTGOMERY CITY

301-656-0812

Heather Wilson Cass

Oct 10 08 12:22p

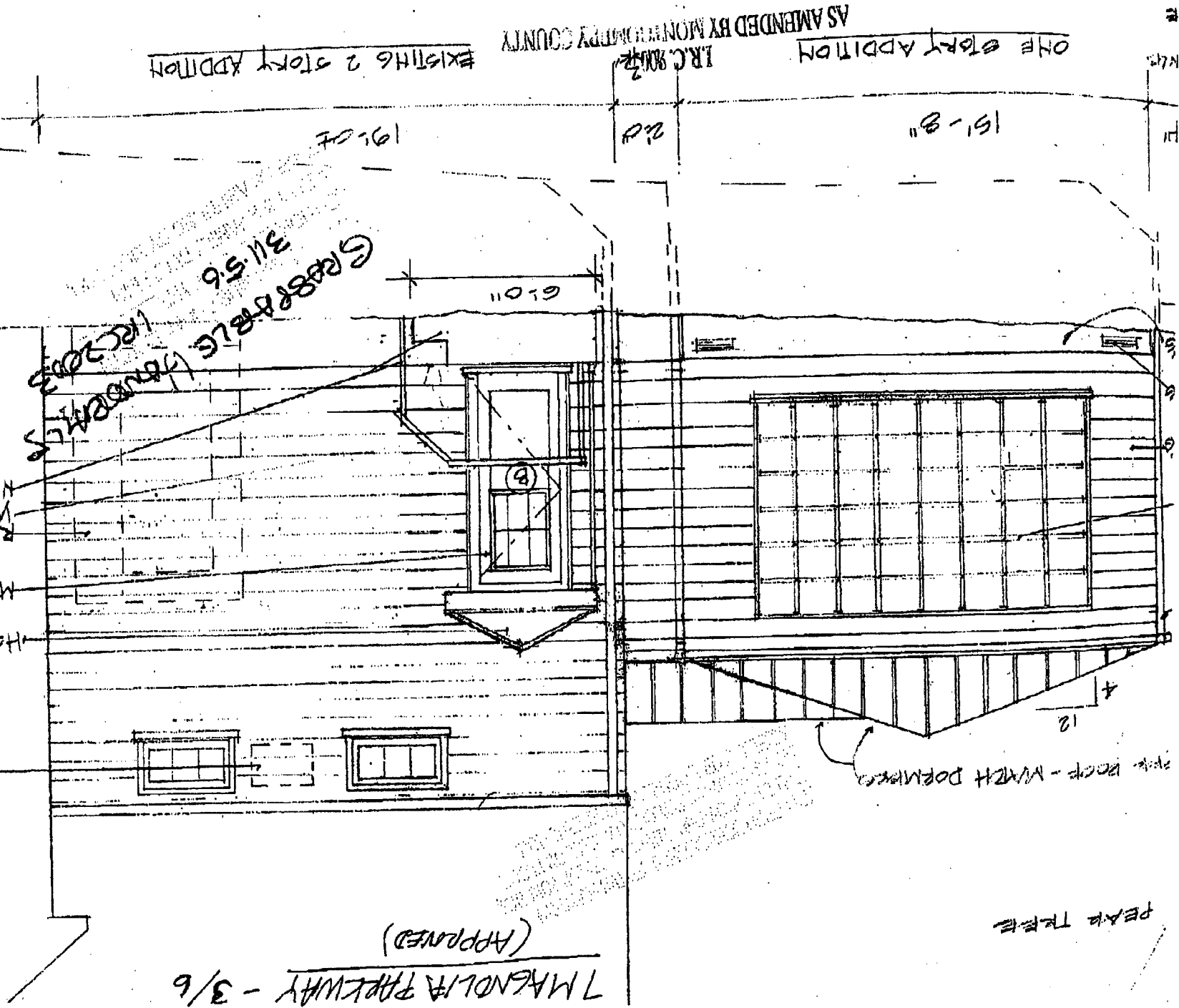
ALL DON UNDER EXISTIT

REMOVE DOOR
WROUGHT IRON
NEW CONC ETC
MOVE/REMOVE
HOOD TO MATCH

REMOVE

REBRICK
3/11/56
REWORK
1/12/2003

7 MANOLIA PPKLRY - 3/6
(APPROVED)



ONE STORY ADDITION
IR.C. 2002
AS AMENDED BY MONTEREY COUNTY

EXISTING 2 STORY ADDITION

15'-8"

2'-0"

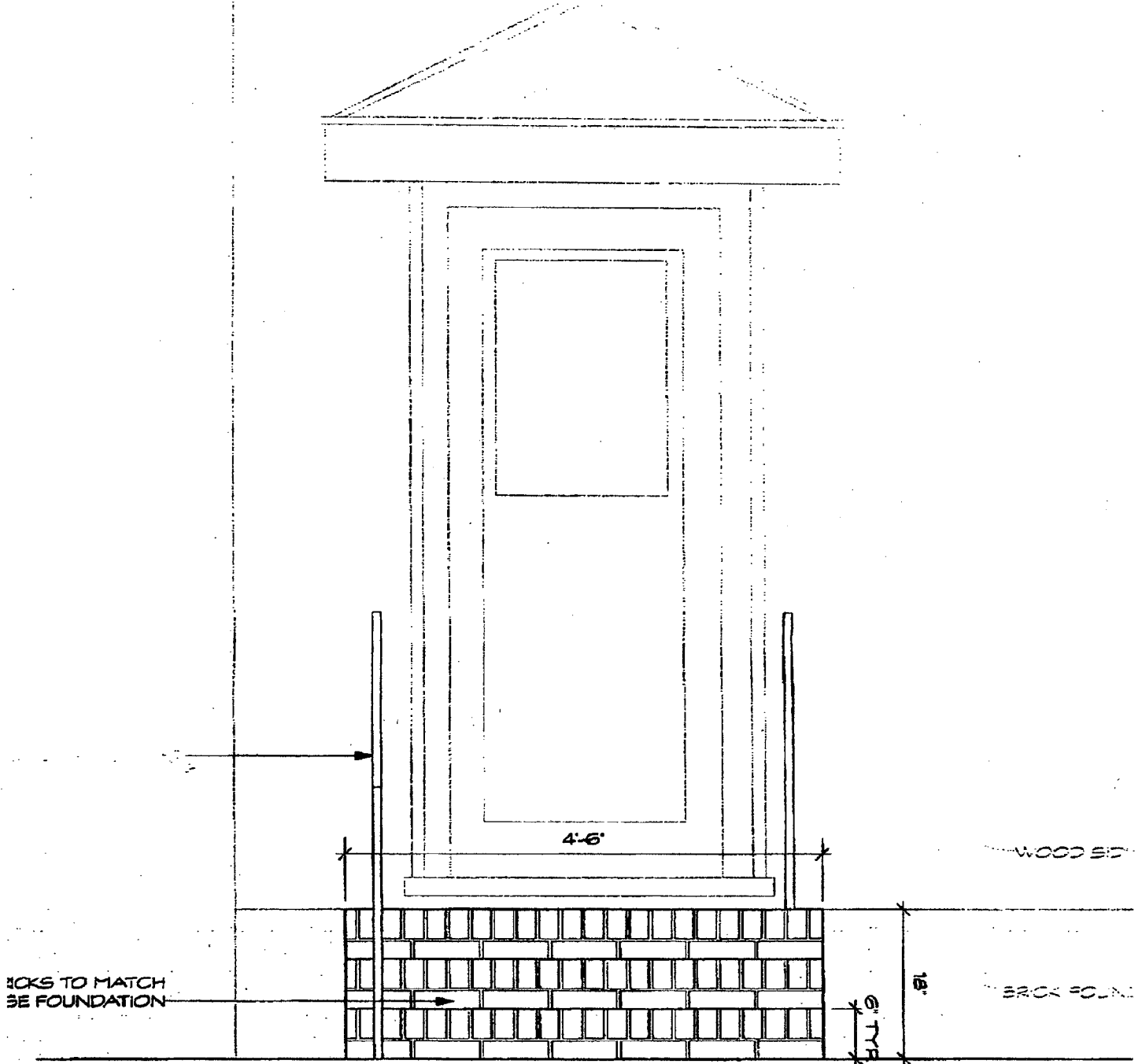
19'-0"

6'-0"

4/12

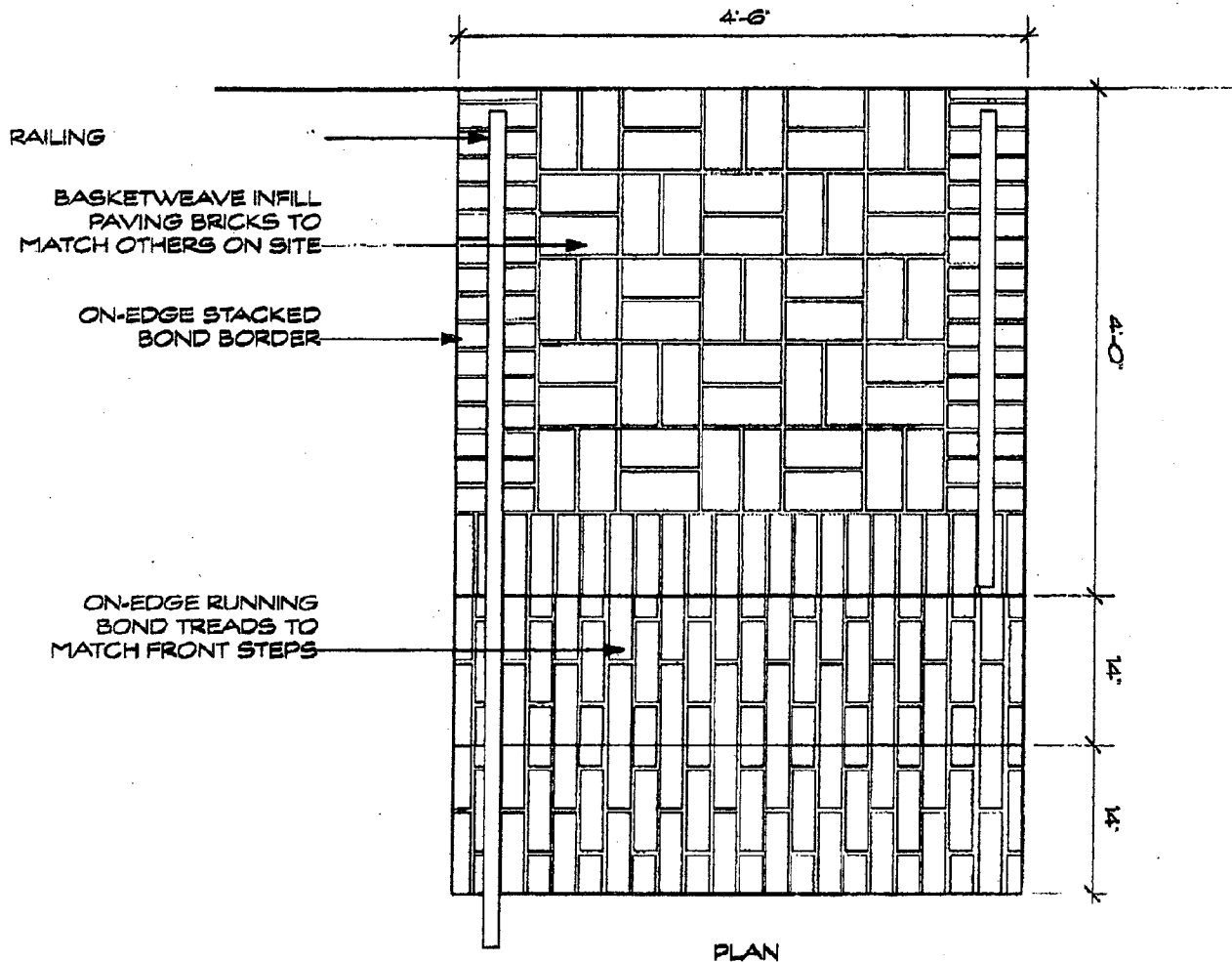
PEAK TREE - WITH DORMER

PEAK TREE



FRONT ELEVATION - WEST STOOP

PROPOSED
 7 MAGNOLIA PARKWAY 4/6

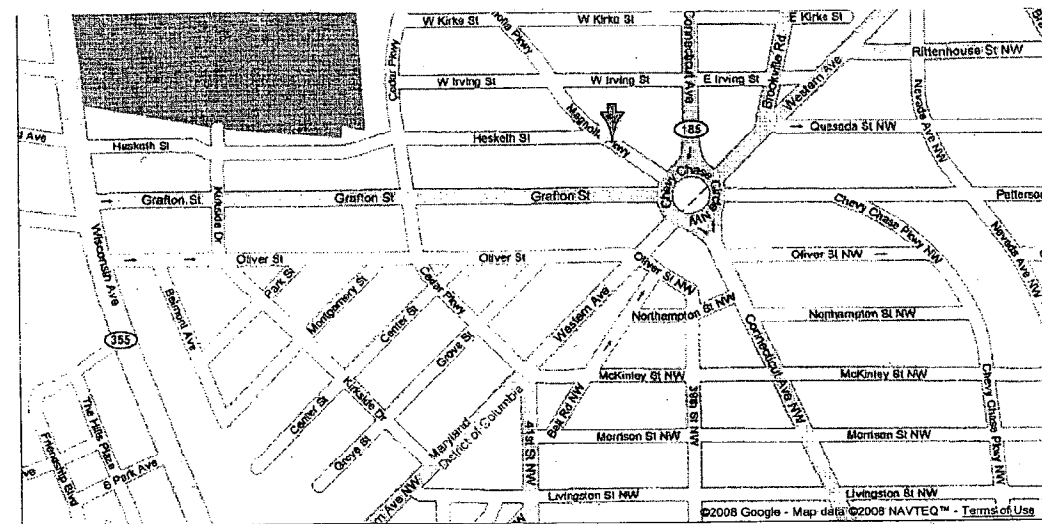


PROPOSED
7 MAGNOLIA PARKWAY 5/6

Addition
7 Magnolia Parkway
Chevy Chase, MD 20815

LOCATION MAP

7 Magnolia Parkway
Chevy Chase, MD 20815



MATERIAL SYMBOLS

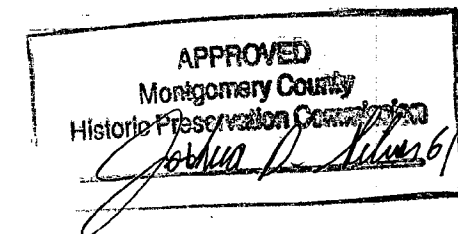
	EARTH		STUD PARTITION WITH FINISH MATERIAL
	STONE		STEEL
	CONCRETE		PLYWOOD OR PARTICLE BOARD
	BRICK		FLASHING OR WATERPROOFING
	CONCRETE MASONRY UNIT		Drawing number BUILDING SECTION Sheet number
	BATT INSULATION		Drawing number DETAIL INDICATOR Sheet number
	RIGID INSULATION		Drawing number INTERIOR ELEVATION INDICATOR Sheet number
	FINISH WOOD		DOOR NUMBER
	ROUGH WOOD FRAMING, CONTINUOUS		WINDOW TYPE
	PRESSURE TREATED WOOD		CABINET
	SAND		
	GRAVEL OR CRUSHED STONE		

THE ABOVE DRAWINGS, SPECIFICATIONS, IDEAS, DESIGNS AND ARRANGEMENTS REPRESENTED THEREBY ARE AND SHALL REMAIN THE PROPERTY OF THE ARCHITECT AND NO PART THEREOF SHALL BE COPIED, DISCLOSED TO OTHERS OR USED IN CONNECTION WITH ANY WORK OR PROJECT FOR WHICH THEY HAVE BEEN PREPARED AND DEVELOPED WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT. VISUAL CONTACT WITH THESE DRAWINGS SHALL CONSTITUTE CONCLUSIVE EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS, WHERE REQUIRED, MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

DRAWING INDEX

- C Cover Sheet
- A1 Site Plan, Zoning Information, Tree Preservation, Drainage
- A2 Floor Plan, Finish Schedule
- A3 West Elevation, Materials List
- A4 North Elevation, Window and Door Schedule
- A5 East Elevation
- A6 Wall Section, Interior Elevations
- A7 Details
- M1 Electrical, HVAC
- S1 Structural Drawings
- S2 Structural Drawings
- S3 Structural Drawings
- S4 Structural Drawings
- S5 Structural Drawings
- S6 Structural Drawings
- S7 Structural Design Notes



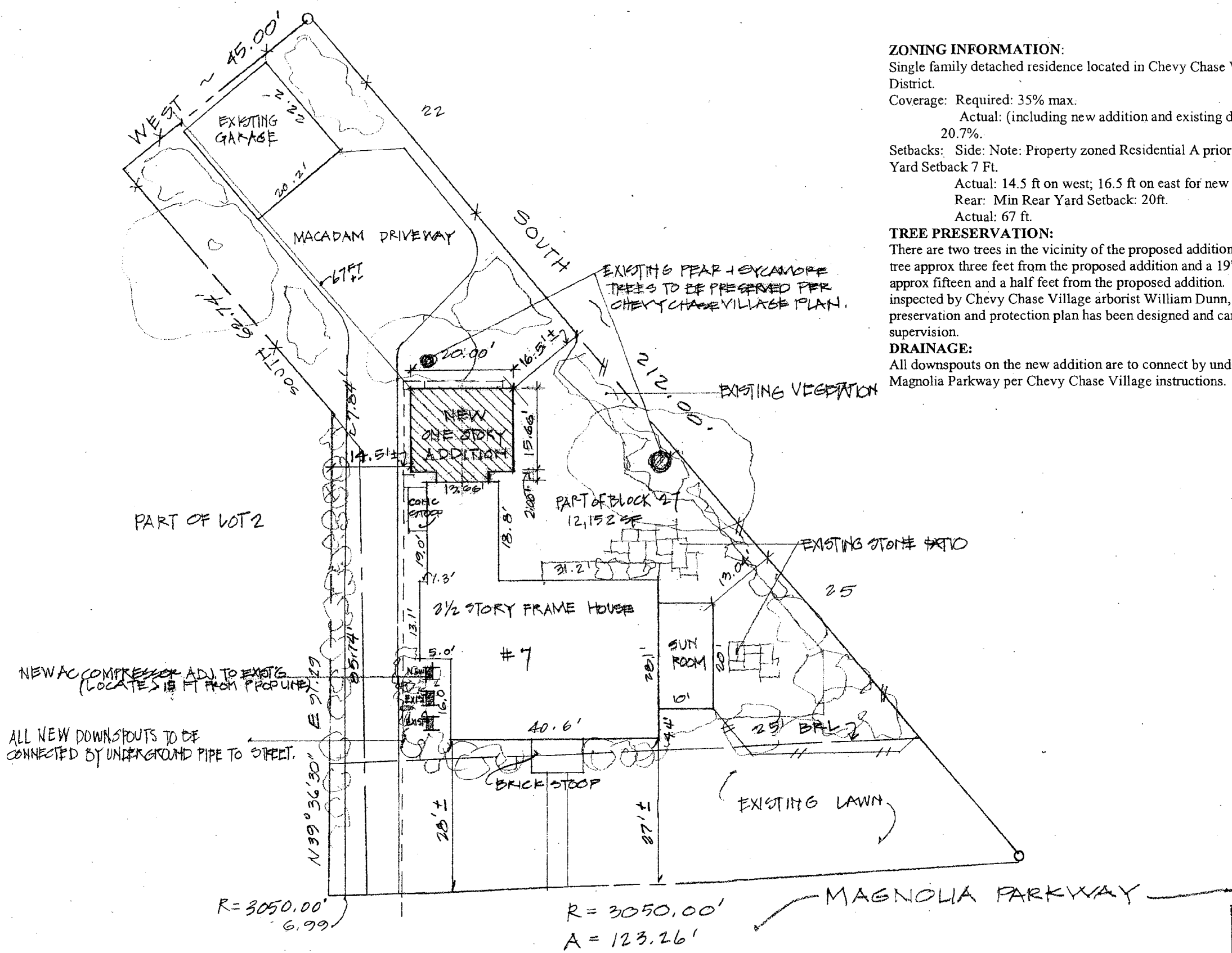
Drawing Title: COVER SHEET
Scale: N/A
Issue Date: 5/15/2008

7 Magnolia Parkway
Chevy Chase, MD 20815

Cass & Associates Architects, PC
11 Dupont Circle NW, Suite 600
Washington, DC 20036
Ph: 202-462-7663 Fax: 202-462-7818

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

C



ZONING INFORMATION:
 Single family detached residence located in Chevy Chase Village Historic District.
 Coverage: Required: 35% max.
 Actual: (including new addition and existing detached garage) 20.7%.
 Setbacks: Side: Note: Property zoned Residential A prior to 1954. Min Side Yard Setback 7 Ft.
 Actual: 14.5 ft on west; 16.5 ft on east for new addition.
 Rear: Min Rear Yard Setback: 20ft.
 Actual: 67 ft.

TREE PRESERVATION:
 There are two trees in the vicinity of the proposed addition: an 18" diam. Pear tree approx three feet from the proposed addition and a 19" diam. Sycamore tree approx fifteen and a half feet from the proposed addition. Both trees have been inspected by Chevy Chase Village arborist William Dunn, and a tree preservation and protection plan has been designed and carried out under his supervision.

DRAINAGE:
 All downspouts on the new addition are to connect by underground piping to Magnolia Parkway per Chevy Chase Village instructions.

PART OF BLOCK 27, SECTION 2, CHEVY CHASE,
 ELECTION DISTRICT #7, MONTGOMERY COUNTY, MARYLAND

PLAT BOOK: 2; PLAT#: 106
 MEMORIAL SURVEYS (30) 840-002E

APPROVED
 Montgomery County
 Historic Preservation Commission
Janet L. Rubin 6/1/08

N

Drawing Title: **SITE PLAN**
 Scale: 1/40" = 1'-0"
 Issue Date: 5/15/2008

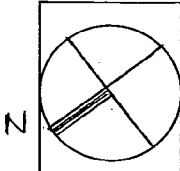
7 Magnolia Parkway
 Chevy Chase, MD 20815

Cass & Associates Architects, PC
 11 Dupont Circle NW, Suite 600
 Washington, DC 20036
 Ph: 202-462-7663 Fax: 202-462-7818

A

FINISH SCHEDULE

FLOOR - Oak strip flooring to match existing kitchen.
 WALLS - 1/2" gypsum wallboard, painted.
 CEILING - 1/2" gypsum wallboard, painted.
 TRIM - Baseboard and window painted wood (poplar or equivalent) casing to match existing kitchen.

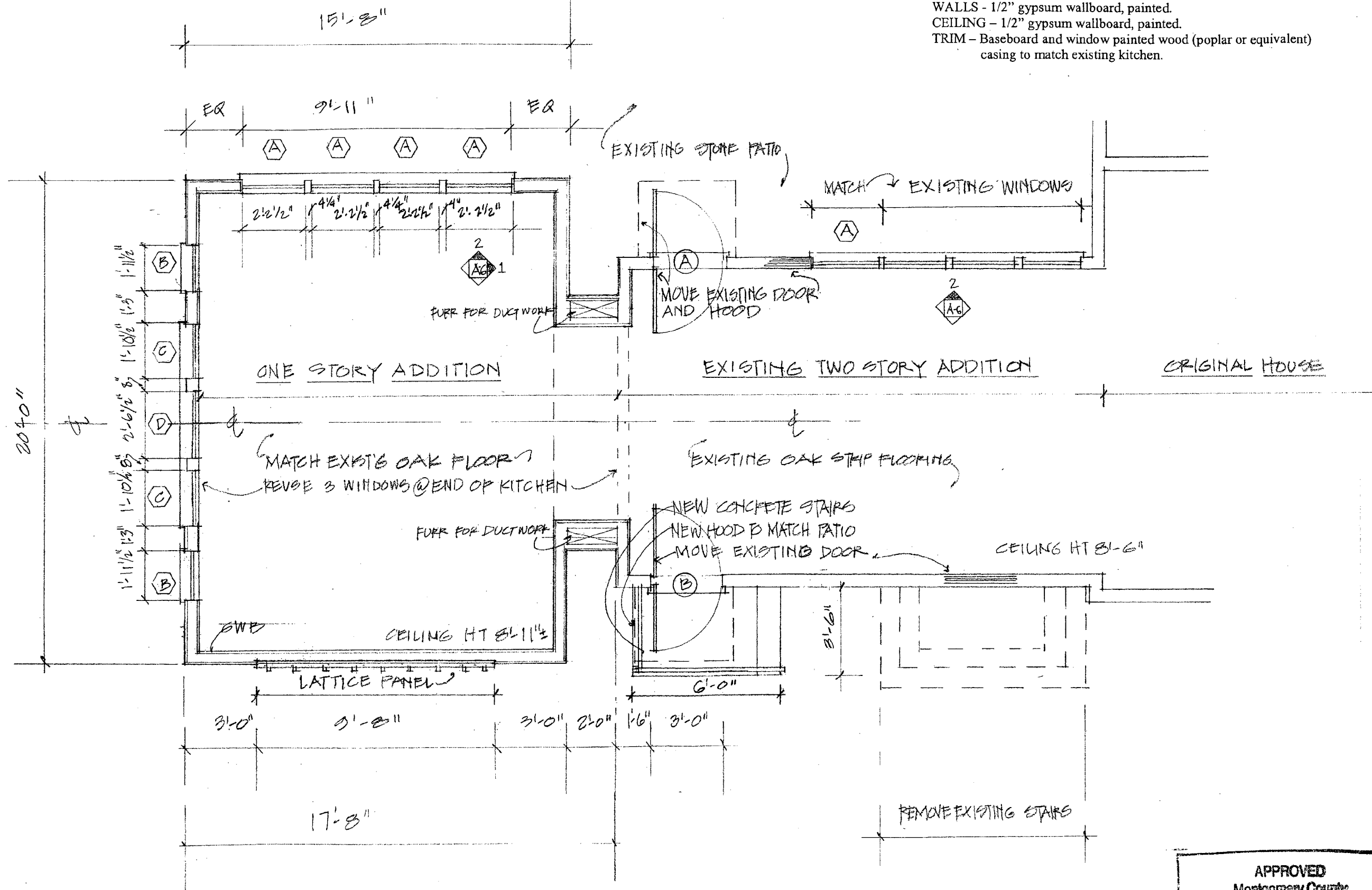


Drawing Title: **FLOOR PLAN**
 Scale: **1/4" = 1'-0"**
 Issue Date: **5/15/08**

7 Magnolia Parkway
 Chevy Chase, MD 20815

Cass & Associates Architects, PC
 11 Dupont Circle NW, Suite 600
 Washington, DC 20036
 Ph: 202-462-7663 Fax: 202-462-7818

A-2



APPROVED
 Montgomery County
 Historic Preservation Commission
John D. Silver 6/1/08

EXISTING PEAR TREE

MATERIALS:

8" wood lap siding and 2x2 lattice to match existing house, brick foundation (where visible) to match existing house, copper roof to match rear dormers on existing house, copper gutters to match existing house. Reuse existing north elevation painted double hung windows on new north elevation. All other double hung and fixed windows to match existing house. Reuse existing wood/glass exterior doors in new locations.

COPPER ROOF - MATCH DORMERS

4
12

GUTTER & DOWNSPOUT

2X2 PAINTED CEDAR
LATTICE - 15" OC.
ON EXT. PLYWOOD

SIDING - MATCH EXIST'G

VENTS - MATCH EXIST'G

BRICK - MATCH EXIST'G

REMOVE EXISTING THRU-WALL AC.

HOOD TO MATCH PATIO DOORWAY (A-5)

MOVE/REUSE EXISTING DOOR/STORM.

REMOVE DOOR/STORM. REPLACE W/ SIDING
WROUGHT IRON RAIL TO MATCH EXISTING
NEW CONC STORM/RAIL.

6'-0"

APPROVED
Montgomery County
Historic Preservation Commission
John A. Klein 6/9/08

3'-4"

15'-8"

2'-0"

19'-0"

ALL DOWNSPOUTS CONNECT TO
UNDERGROUND DRAIN TO STREET.

DISTANCE
TO
TREE

ONE STORY ADDITION

"LINK"

EXISTING 2 STORY ADDITION

EXISTING 2 1/2 STORY HOUSE

Drawing Title: WEST ELEVATION

Scale: 1/4" = 1'-0"

Issue Date: 5/15/2008

7 Magnolia Parkway
Chevy Chase, MD 20815

Cass & Associates Architects, PC
11 Dupont Circle NW, Suite 600
Washington, DC 20036
Ph: 202-462-7663 Fax: 202-462-7818

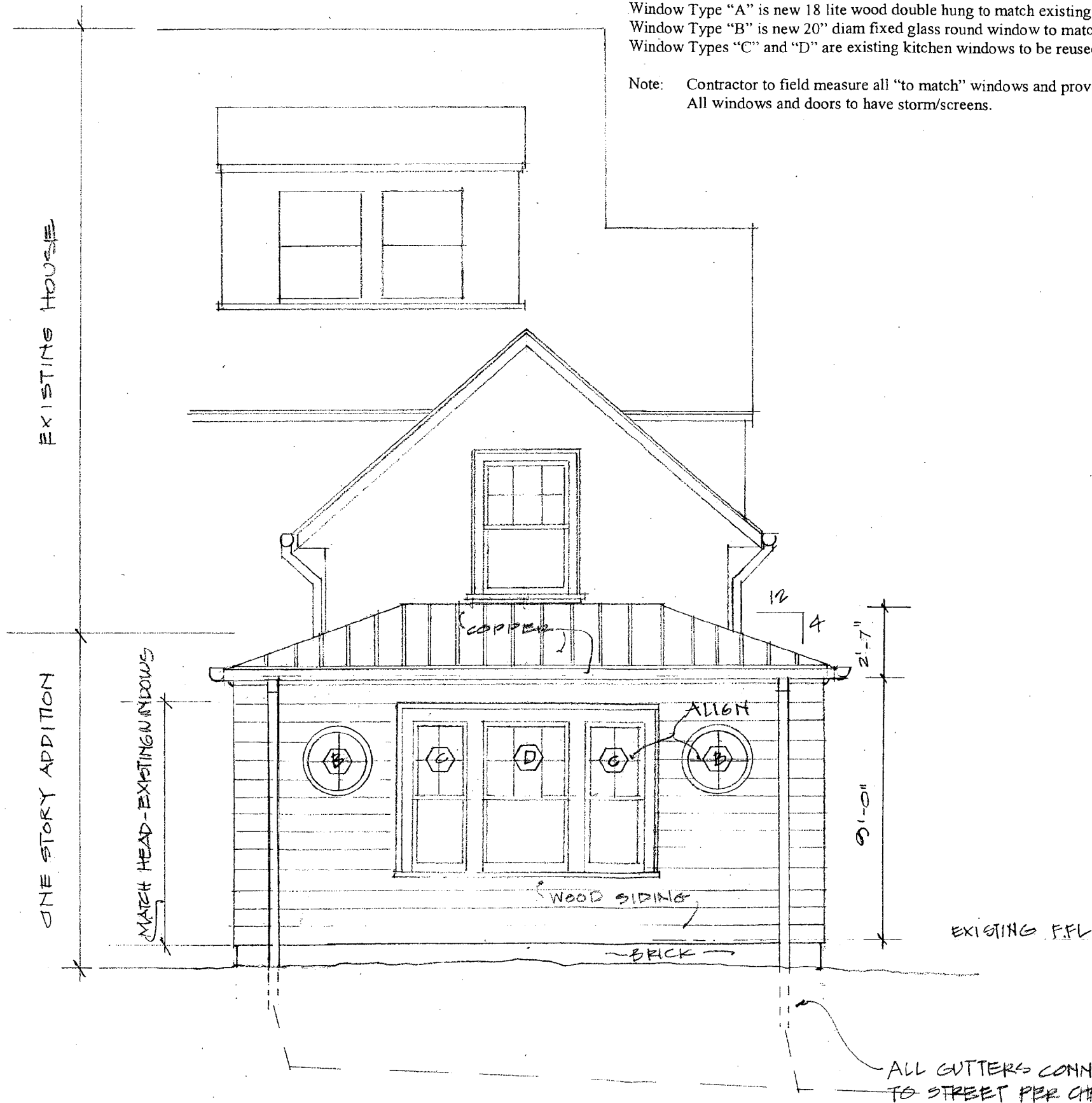
A-3

WINDOW AND DOOR SCHEDULE

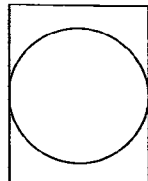
Door Type "A" is existing 2'-8"x6'-8" wood and glass patio door. Reuse in new opening per plan.
 Door Type "B" is existing 2'-8"x6'-8" wood and glass side door. Reuse in new opening per plan.

Window Type "A" is new 18 lite wood double hung to match existing kitchen windows.
 Window Type "B" is new 20" diam fixed glass round window to match round living room windows.
 Window Types "C" and "D" are existing kitchen windows to be reused in addition.

Note: Contractor to field measure all "to match" windows and provide shop drawings.
 All windows and doors to have storm/screens.



APPROVED
 Montgomery County
 Historic Preservation Commission
Spencer Schuss 6/9/08

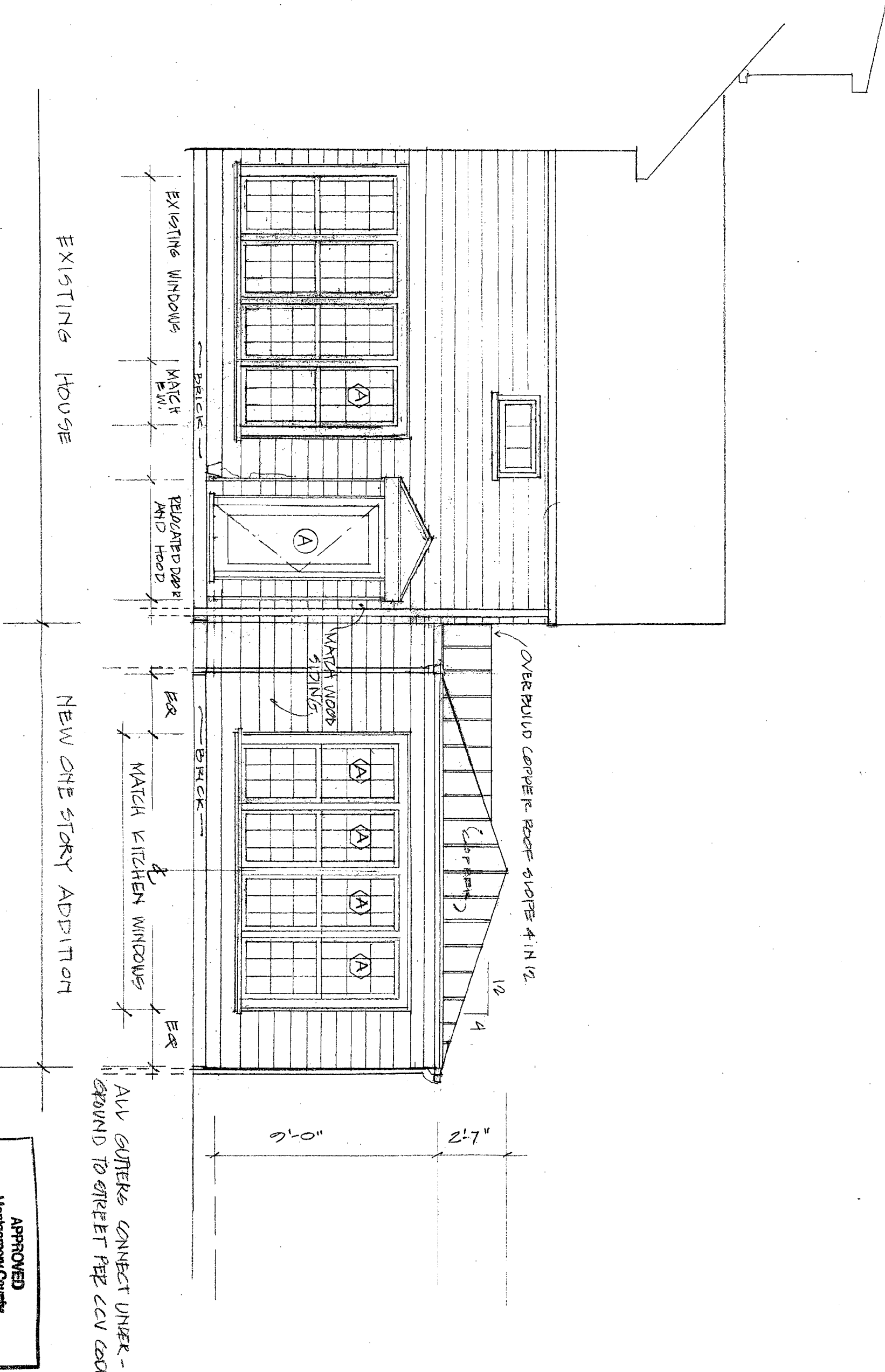


Drawing Title: NORTH ELEVATION
 Scale: 1/4" = 1'-0"
 Issue Date: 5/15/2008

7 Magnolia Parkway
 Chevy Chase, MD 20815

Cass & Associates Architects, PC
 11 Dupont Circle NW, Suite 600
 Washington, DC 20036
 Ph: 202-462-7663 Fax: 202-462-7818

A-4



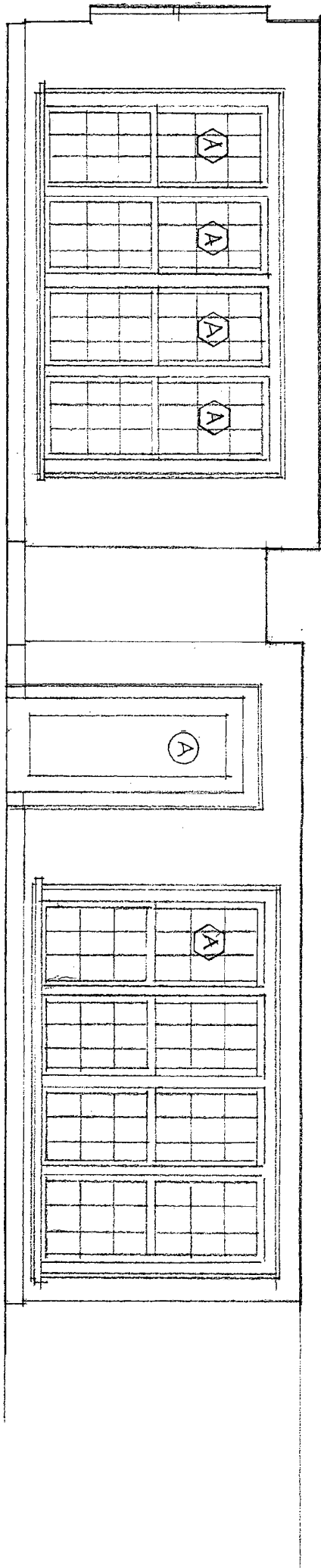
EXISTING HOUSE

NEW ONE STORY ADDITION

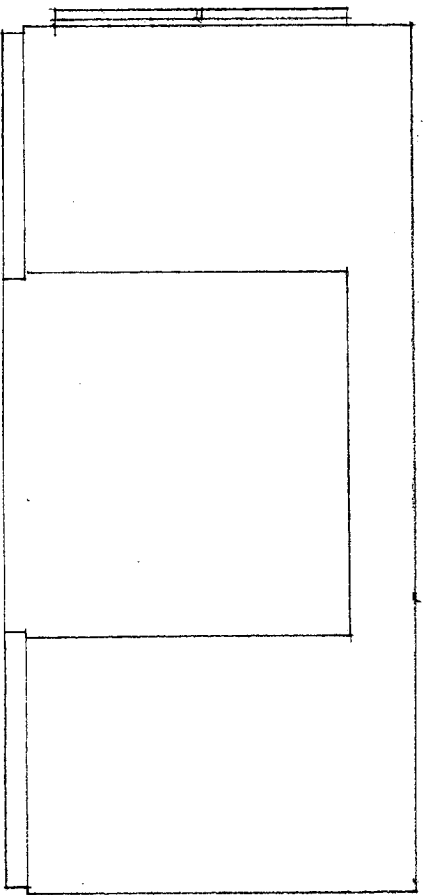
ALL GUTTERS CONNECT UNDER GROUND TO STREET PER CCV CODE.

APPROVED
 Montgomery County
 Historic Preservation Commission
Samuel Wilson 6/19/08

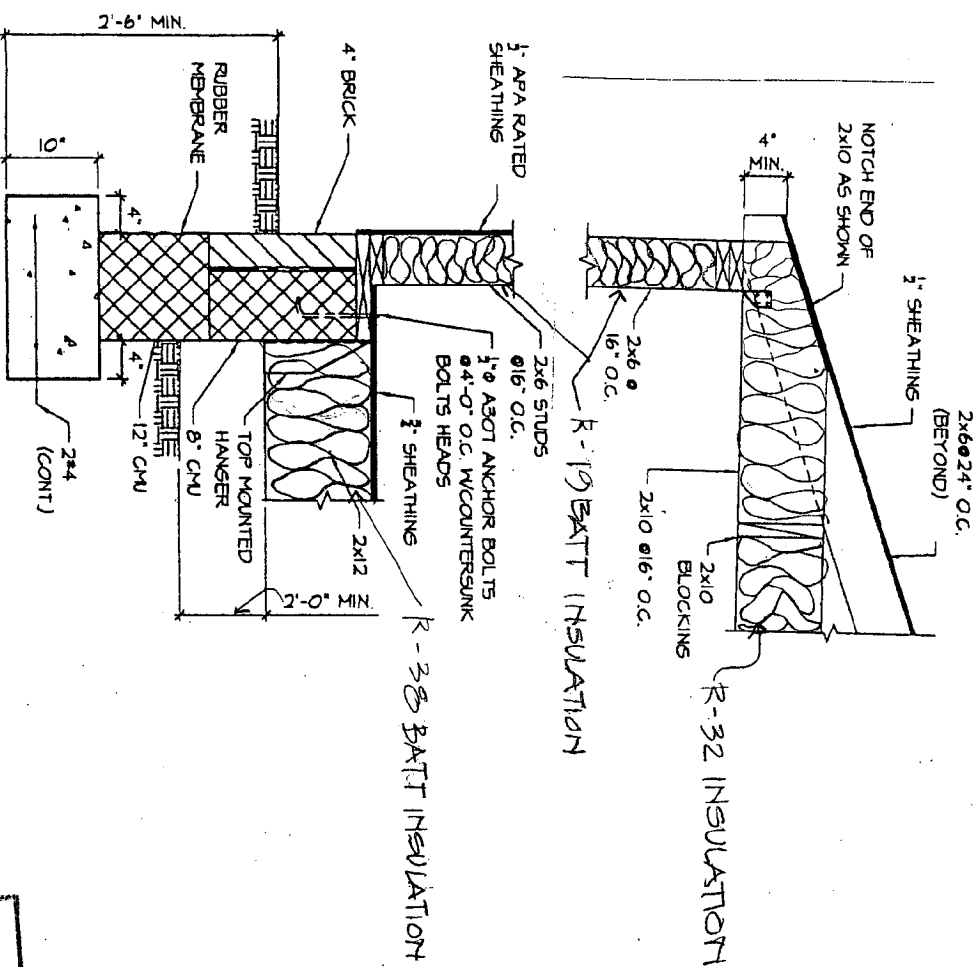
A-5	Cass & Associates Architects, PC 11 Dupont Circle NW, Suite 600 Washington, DC 20036 Ph: 202-462-7663 Fax: 202-462-7818	7 Magnolia Parkway Chevy Chase, MD 20815	Drawing Title: EAST ELEVATION Scale: 1/4" = 1'-0" Issue Date: 5/15/2008	
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ADDITION/KITCHEN #2 - EAST
 1/4" = 1'-0"



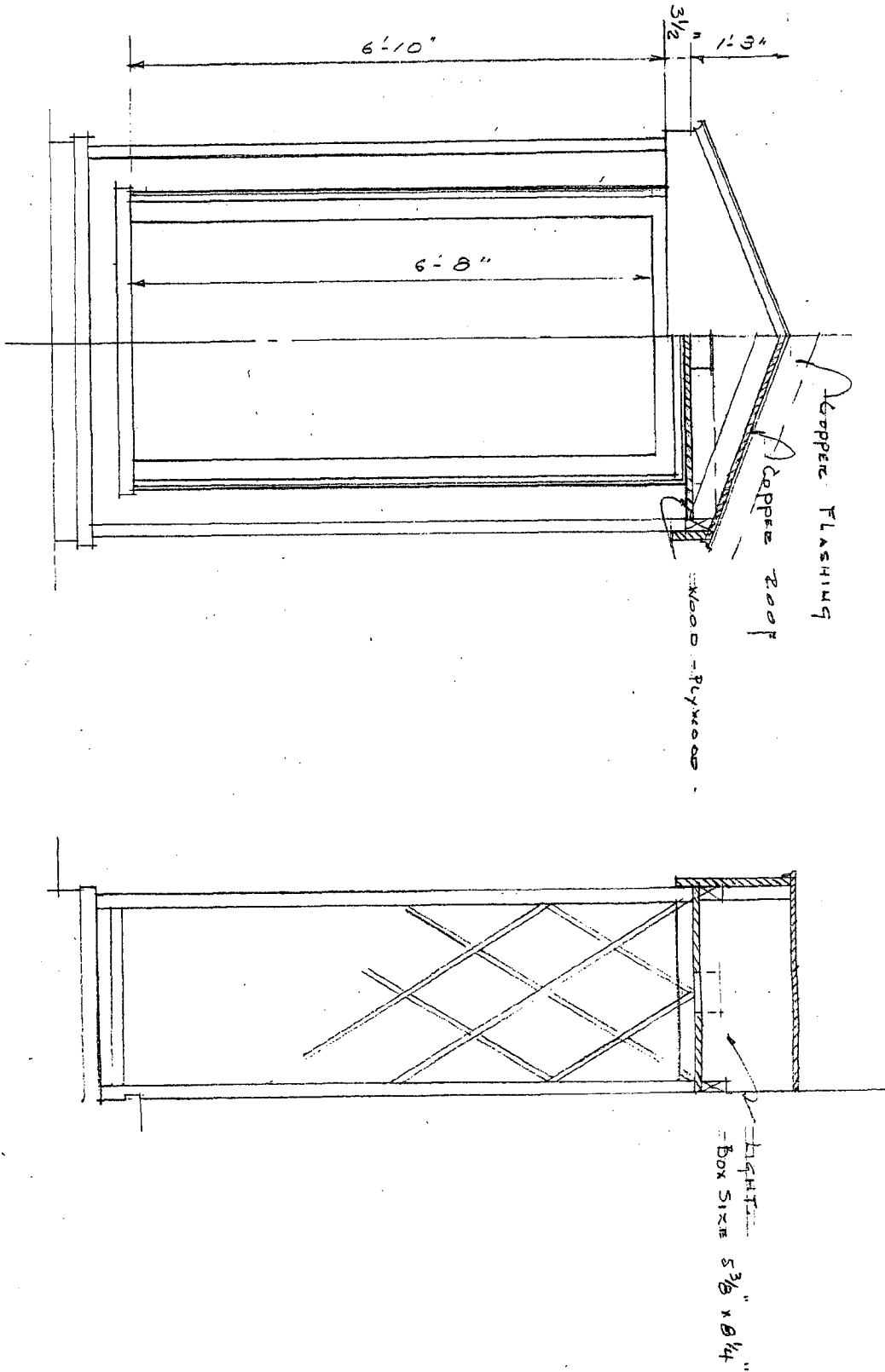
ADDITION #1 - NORTH
 1/4" = 1'-0"



WALL SECTION
 SCALE 1/2" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
 6/9/08

A-6	Cass & Associates Architects, PC 11 Dupont Circle NW, Suite 600 Washington, DC 20036 Ph: 202-462-7663 Fax: 202-462-7818	7 Magnolia Parkway Chevy Chase, MD 20815	Drawing Title: INTERIOR ELEVATION WALL SECTION Scale: AS SHOWN Issue Date: 5/15/08	
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ELEVATION

SECTION

SCALE 1/2" = 1'-0"

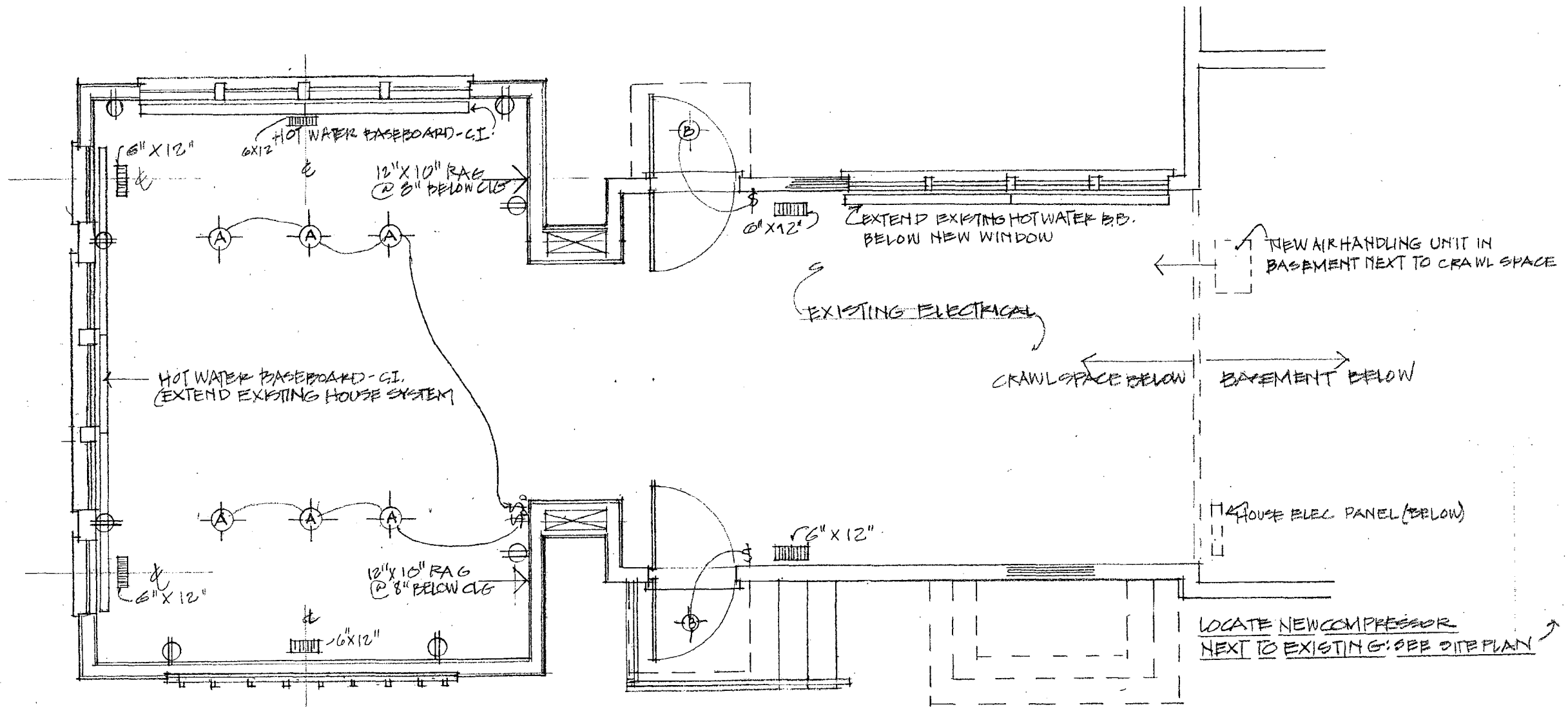
DOOR HOOD

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
 5/19/08

A 7	Cass & Associates Architects, PC 11 Dupont Circle NW, Suite 600 Washington, DC 20036 Ph: 202-462-7663 Fax: 202-462-7818	7 Magnolia Parkway Chevy Chase, MD 20815	Drawing Title: DOOR HOOD Scale: 1/2" = 1'-0" Issue Date: 5/19/08	○
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ELECTRICAL FIXTURE SCHEDULE

Fixture "A" is Lightolier Mod # C4AD-WHW-C4A1C, Rec. Dn. Light Insul. Contact, Lamp BT, 75 W.
 Fixture "B" is B-K Lighting VS-9-BZP-10-11, "Versa Star", Rec. Dnlight, Lamp MR16 FNV, WFlood, 50W



HVAC DIAGRAM / ELECTRICAL PLAN

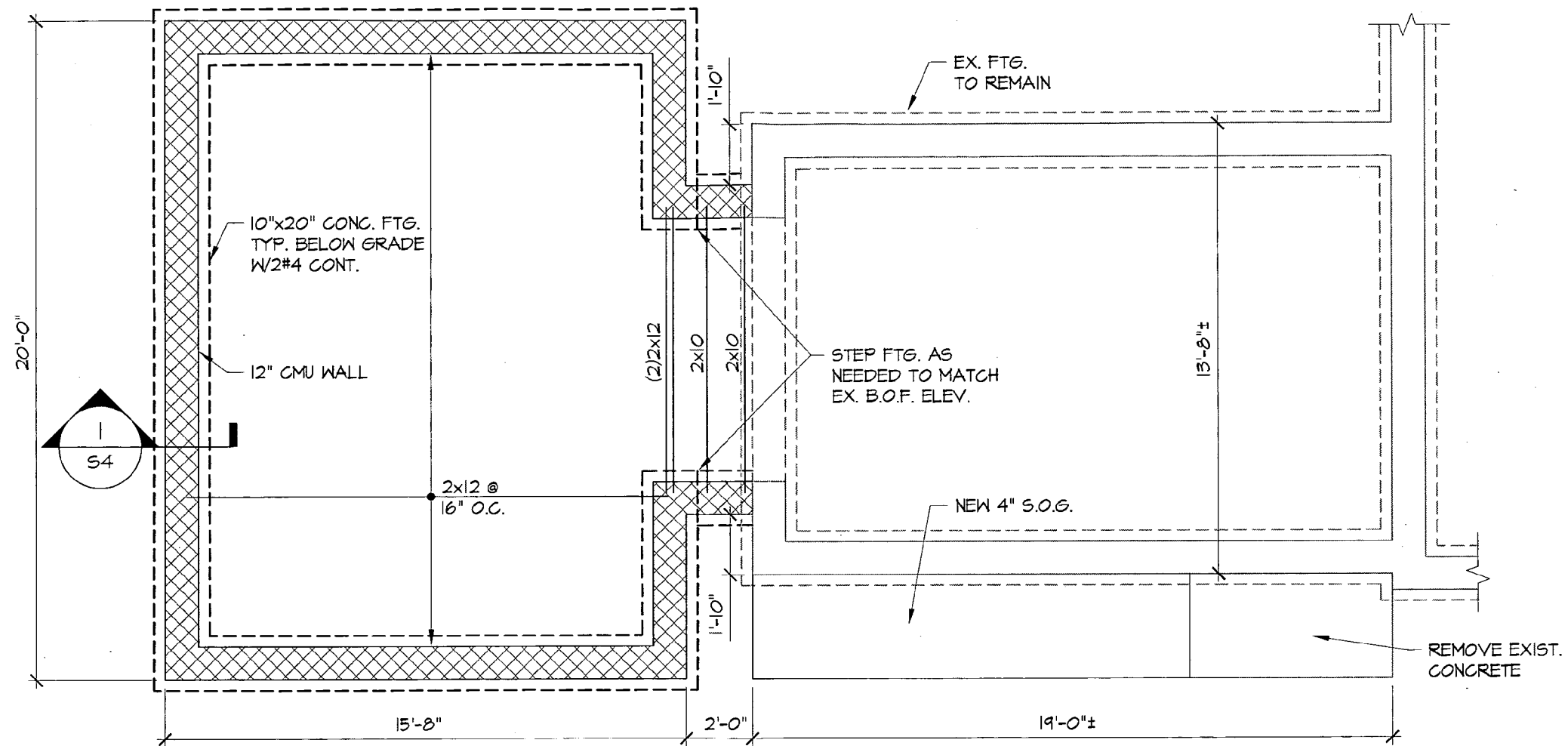
EQUIPMENT: AC

- 1- Lennox CBX27UH-024 indoor air handling unit with multi-speed direct drive blower.
- 1- Lennox XC14-024 (SEER 16.0) 24,400 BTU rated outdoor 2-speed air cooled condensing unit, including a liquid line drier.
- 1- Lennox 3/4 X 3/8 X 30 foot insulated refrigerant line set.
- 1- Aprilaire model # 8344 digital thermostat control center with provisions for automatic and continuous fan operation. (heat & cool)
- 1- Prefabricated pad to house new outdoor condenser.
- 1- Outdoor, weatherproof fused disconnect switch (30 AMP).
- 1- Condensate water removal pump.
- 1- Emergency drain pan and overflow switch.

NOTE: 1. Install one (1) outlet to serve bedroom over kitchen.
 2. Others to provide wood floor registers. (12 x 6)

APPROVED
 Montgomery County
 Historic Preservation Commission
Carol Scher 6/27/08

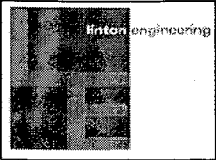
Drawing Title: HVAC / ELECTRICAL Scale: 1/4" = 1'-0" Issue Date: 5/25/08
7 Magnolia Parkway Chevy Chase, MD 20815
Cass & Associates Architects, PC 11 Dupont Circle NW, Suite 600 Washington, DC 20036 Ph: 202-462-7663 Fax: 202-462-7818
M-1

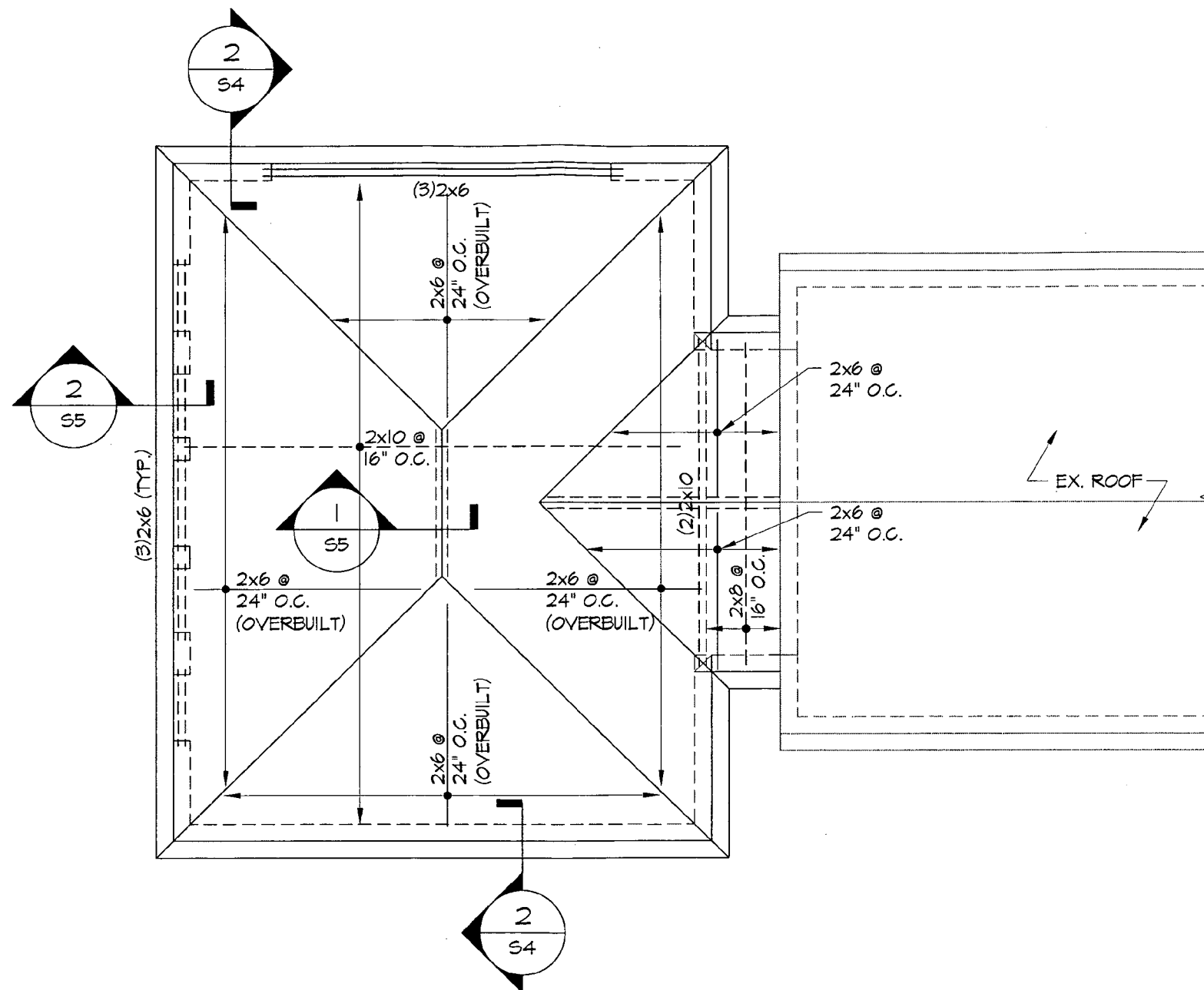


1
 S1

FOUNDATION/1ST FLOOR PLAN
 SCALE: 1/4"=1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
John L. Silver 6/9/08

CASS & ASSOCIATES ARCHITECTS, PC 11 DUPONT CIRCLE NW, SUITE 600 WASHINGTON, DC 20036 PH: 202-462-7663 FAX: 202-462-7818		LINTON ENGINEERING, LLC 46040 LAKE CENTER PLAZA, SUITE 304 POTOMAC FALLS, VA. 20165 571-323-0920	Project: 7 MAGNOLIA PARKWAY CHEVY CHASE, MD. 20815 Description: ADDITION Scale: AS-NOTED Date: 6-6-08 Approved By: DL Job No.:	Drawing No.: S1
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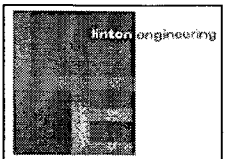
1
S2

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
John B. Miller 6/9/08

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11 DUPONT CIRCLE NW, SUITE 600
WASHINGTON, DC 20036
PH: 202-462-7663 FAX: 202-462-7818



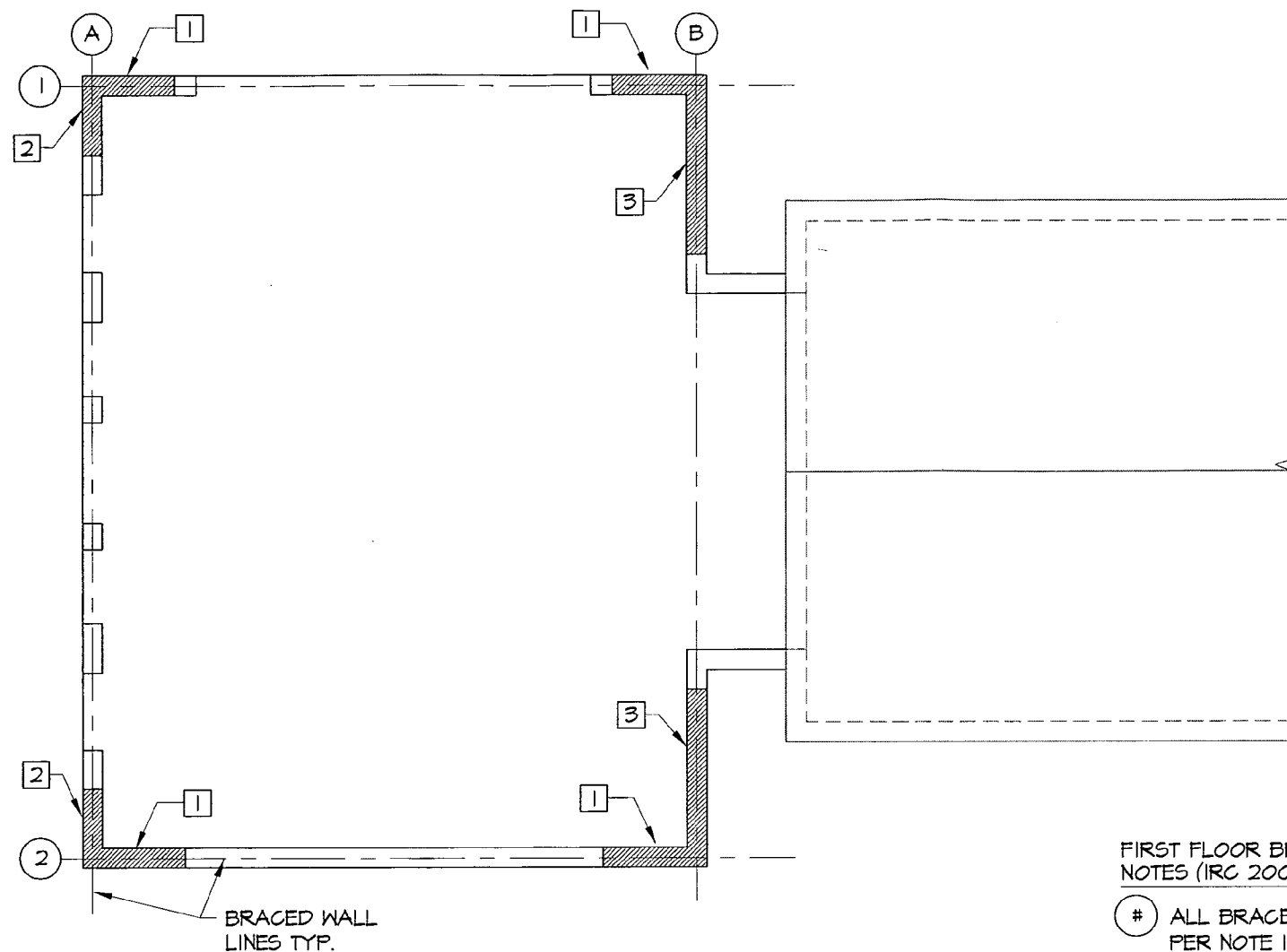
LINTON ENGINEERING, LLC
46090 LAKE CENTER PLAZA,
SUITE 309
POTOMAC FALLS, VA. 20165
571-323-0320

Project: 7 MAGNOLIA PARKWAY
CHEVY CHASE, MD. 20815

Description: ADDITION

Scale: AS-NOTED Date: 6-6-08 Approved By: DL Job No.:

Drawing No.:
S2



**BRACED WALL PANEL
PLAN - METHOD 3
W/ CONT. SHEATHING**

1
S3

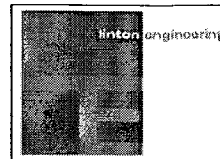
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**FIRST FLOOR BRACED WALL PANEL
NOTES (IRC 2003, METHOD 3):**

- # ALL BRACED WALL LINES (INDICATED) SHALL BE CONTINUOUSLY SHEATHED PER NOTE 11.E OF THE DESIGN NOTES W/ CORNER NAILING PER DETAIL 2/56.
- 1 INDICATES A 31"-WIDE "BRACED WALL PANEL" AS PART OF THE CONTINUOUS SHEATHING. SEE 1/56.
- 2 INDICATES A 27"-WIDE "BRACED WALL PANEL" AS PART OF THE CONTINUOUS SHEATHING. SEE 1/56.
- 3 INDICATES A 54"-WIDE "BRACED WALL PANEL" AS PART OF THE CONTINUOUS SHEATHING. (REF. IRC TABLE R602.10.5). SEE 1/56.

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[Signature] 6/9/08

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11 DUPONT CIRCLE NW, SUITE 600
WASHINGTON, DC 20036
PH: 202-462-7663 FAX: 202-462-7818



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SUITE 304
POTOMAC FALLS, VA. 20165
571-323-0320

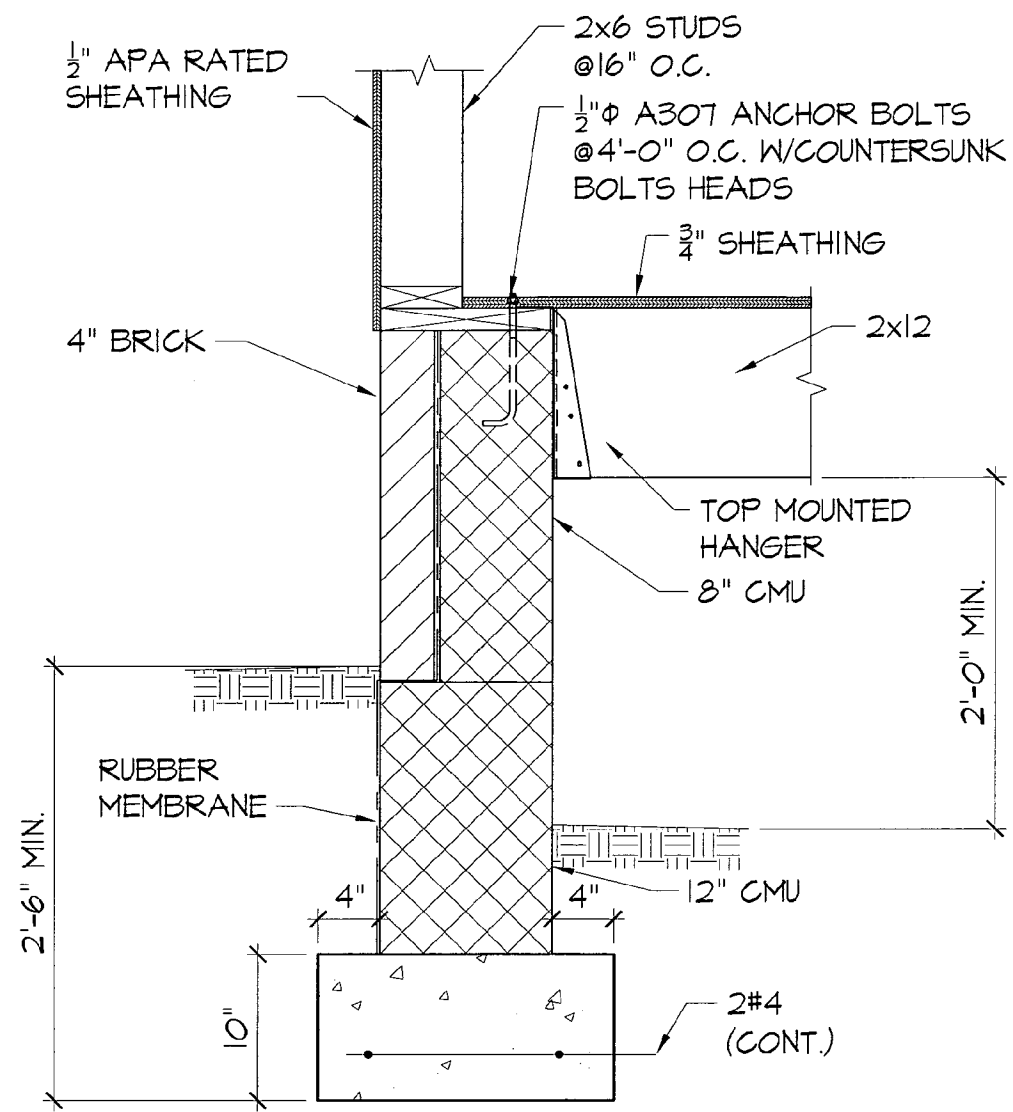
Project: 7 MAGNOLIA PARKWAY
CHEVY CHASE, MD. 20815

Description: ADDITION

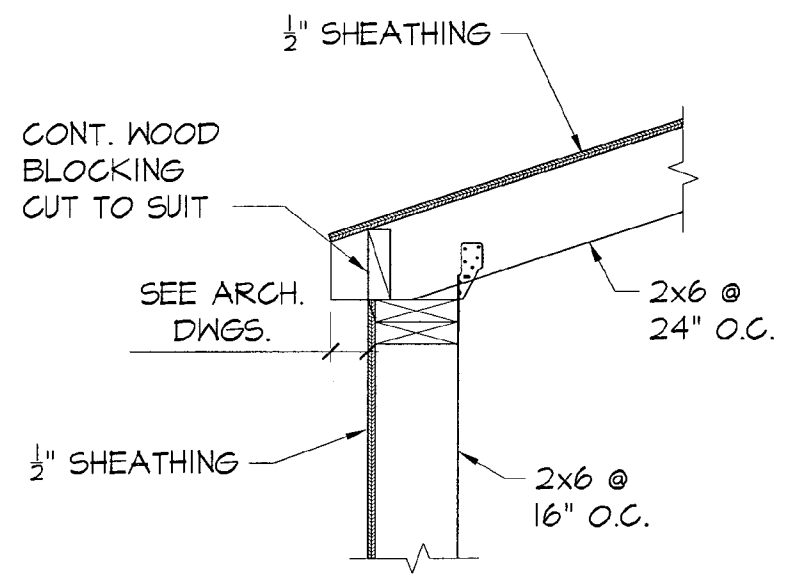
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Drawing No.:

S3



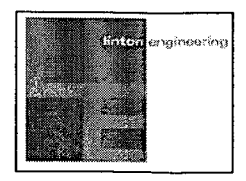
1 FOUNDATION WALL SECTION
 S4 SCALE: 1"=1'-0"



2 OVERBUILD RAFTER BEARING DET.
 S4 SCALE: 1"=1'-0"

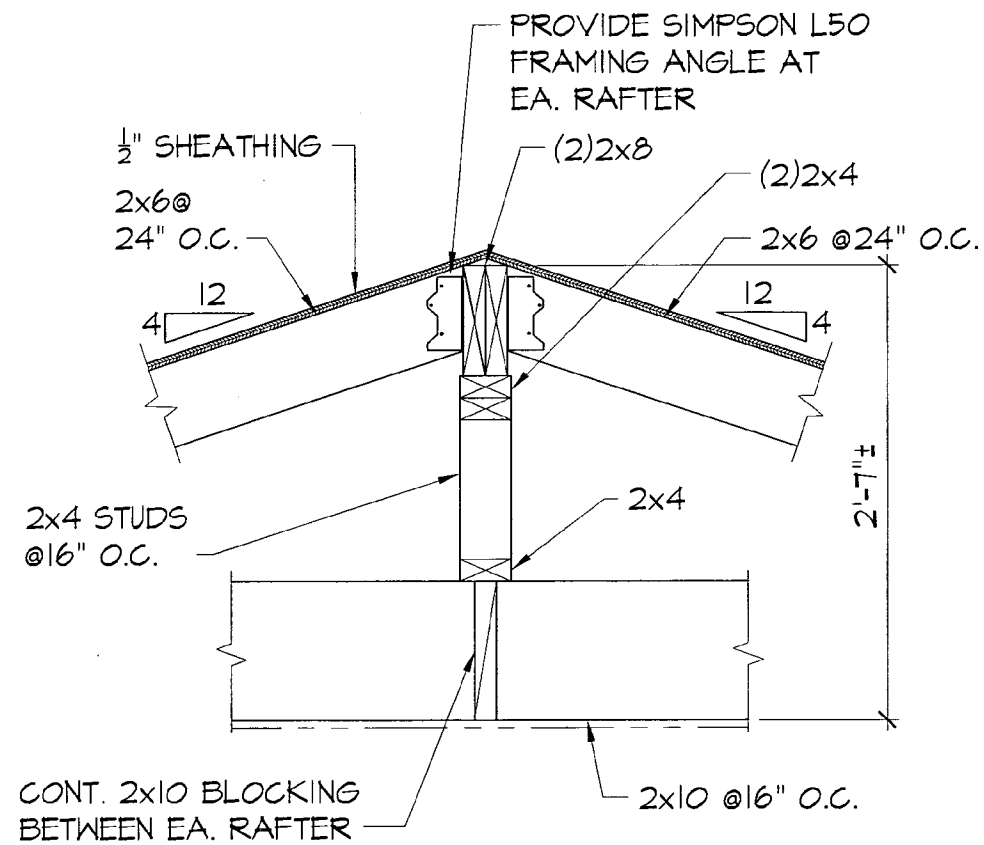
APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 6/9/08

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 11 DUFONT CIRCLE NW, SUITE 600
 WASHINGTON, DC 20036
 PH: 202-462-7665 FAX: 202-462-7818

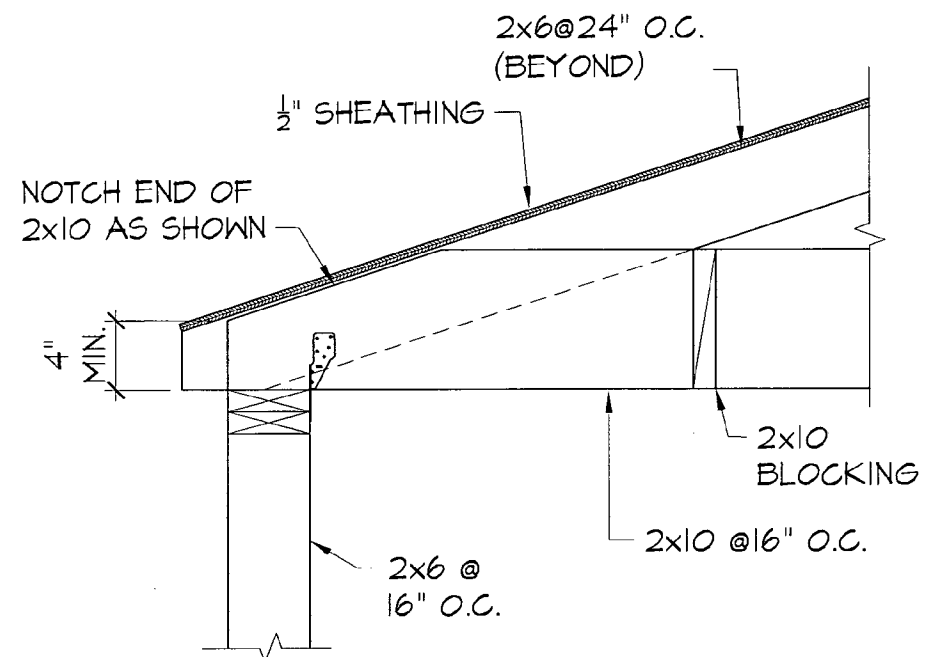


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 46040 LAKE CENTER PLAZA,
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 POTOMAC FALLS, VA 20165
 571-323-0320

Project: 7 MAGNOLIA PARKWAY CHEVY CHASE, MD. 20815		Drawing No.:	
Description: ADDITION		S4	
Scale: AS-NOTED	Date: 6-6-08	Approved By: DL	Job No.:



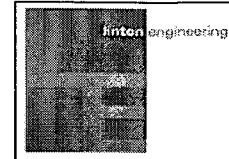
1 RIDGE SECTION
S5 SCALE: 1"=1'-0"



2 MAIN RAFTER BEARING
S5 SCALE: 1"=1'-0"

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Montgomery County
Historic Preservation Commission
Charles Wilson 6/9/08

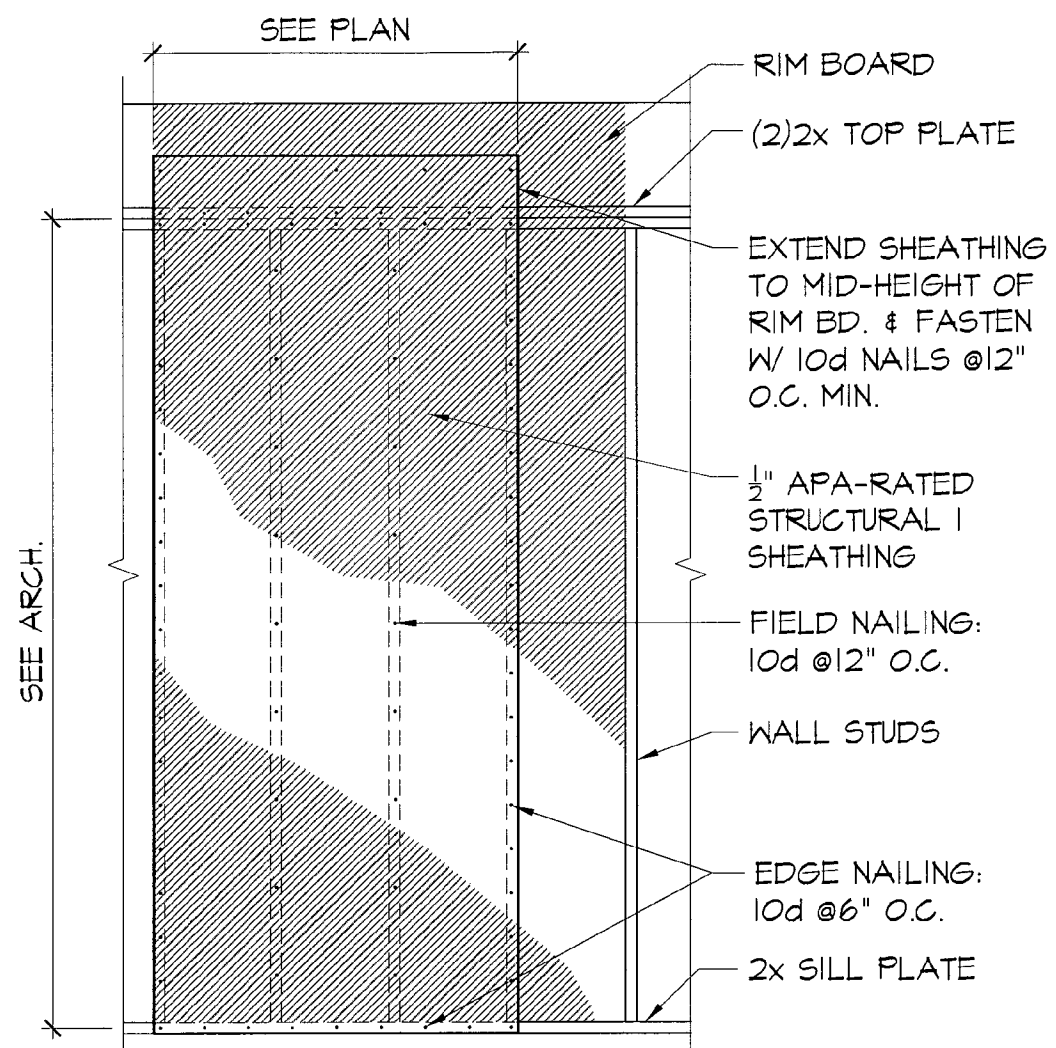
CASS & ASSOCIATES ARCHITECTS, PC
11 DUPONT CIRCLE NW, SUITE 600
WASHINGTON, DC 20036
PH: 202-462-7663 FAX: 202-462-7818



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46040 LAKE CENTER PLAZA,
SUITE 304
POTOMAC FALLS, VA. 20165
57-325-0820

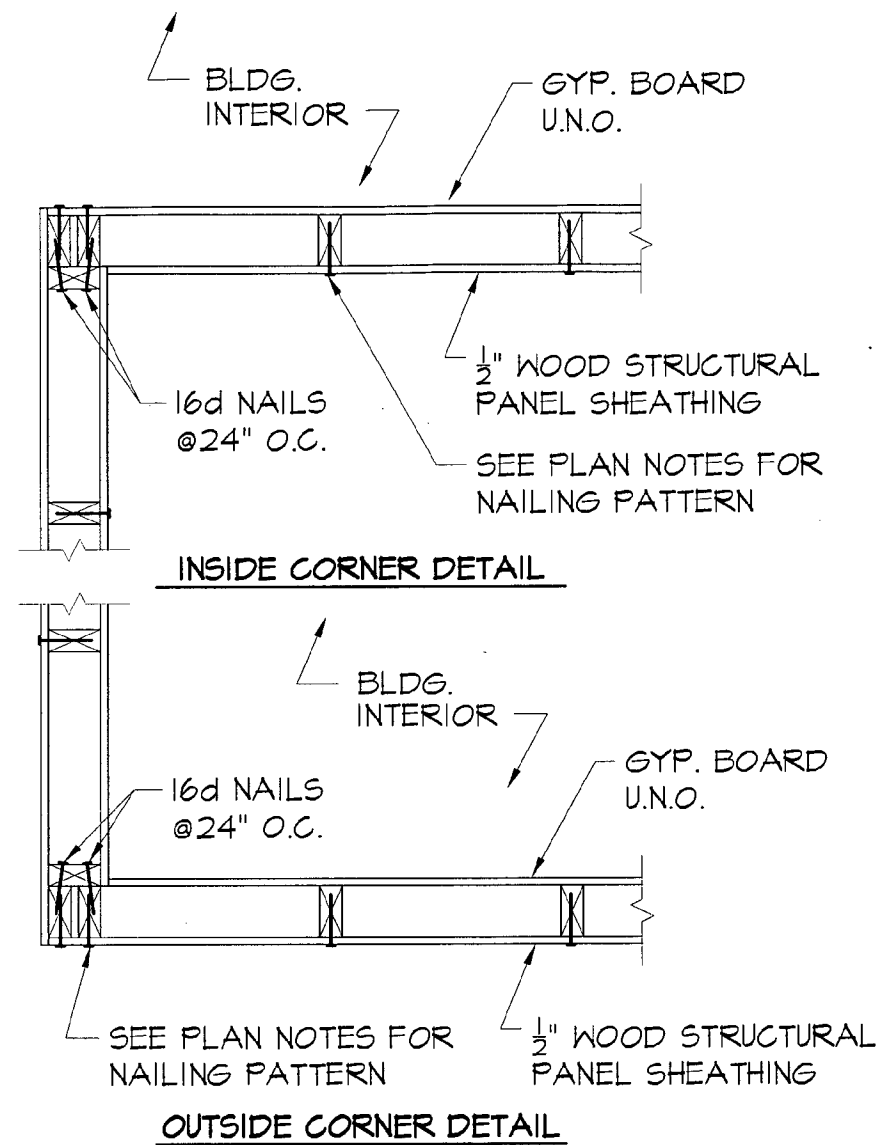
Project:		7 MAGNOLIA PARKWAY CHEVY CHASE, MD. 20815	
Description:		ADDITION	
Scale:	Date:	Approved By:	Job No.:
AS-NOTED	6-6-08	DL	

Drawing No.:
S5



NOTE: THIS BRACED WALL PANEL DETAIL APPLIES ONLY TO TYPICAL PANELS AS NOTED ON PLAN. OTHER SHEATHED WALLS REQUIRE NAILING SPACING PATTERNS AS NOTED PER THE PLANS.

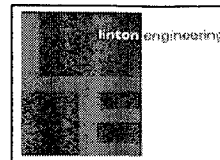
1
S6
TYP. IRC BRACED WALL PANEL DET.
SCALE: 1/2"=1'-0"



2
S6
TYP. CORNER NAILING DETAILS FOR CONT. SHEATHED WALLS
SCALE: 1"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Janet L. Lerner 6/9/08

CASS & ASSOCIATES ARCHITECTS, PC
11 DUPONT CIRCLE NW, SUITE 600
WASHINGTON, DC 20036
PH: 202-462-7663 FAX: 202-462-7818



LINTON ENGINEERING, LLC
46090 LAKE CENTER PLAZA,
SUITE 304
POTOMAC FALLS, VA 20165
571-323-0320

Project: 7 MAGNOLIA PARKWAY
CHEVY CHASE, MD. 20815

Description: ADDITION

Scale: AS-NOTED

Date: 6-6-08

Approved By: DL

Job No.:

Drawing No.:

S6

DESIGN NOTES

I. DESIGN LIVE LOADS FOR NEW WORK

A. ROOF LIVE LOAD

1. $P_g = 30$ PSF
2. $P_f = 21$ PSF
3. $C_e = 1.0$
4. $I_s = 1.0$
5. $C_s = 1.0$

B. FLOOR LIVE LOADS

1. DWELLING AREAS = 40 PSF

C. WIND LOAD

1. V (3-second gust) = 90 MPH
2. $I_w = 1.0$
3. EXPOSURE = B

D. SEISMIC LOAD

1. LATERAL FORCE SYSTEM: BRACED WOOD PANELS
2. SEISMIC USE GROUP = I
3. SITE CLASS = D
4. NO DESIGN REQUIRED PER IRC/R301.2.2

E. CODE: THE STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE/2003.

F. ASSUMED EARTH PRESSURES

1. P AT REST = 6DH
2. P ACTIVE = 45H
3. P PASSIVE = 300H

G. DEAD LOADS

1. ROOF = 15 PSF
2. TYPICAL FLOORS = 10 PSF
3. WOOD

H. ALL JOISTS, BEAMS AND POSTS TO BE SPRUCE-PINE-FIR NO.1/NO.2 PER "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", NFPA. ALL STUDS SHALL BE SPRUCE-PINE-FIR STUD-GRADE. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PS20 OF "AMERICAN SOFTWOOD LUMBER STANDARDS" AND SHALL HAVE 19% MAXIMUM MOISTURE CONTENT.

MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS:

1. WOOD LINTELS, JOISTS AND BEAMS

- a) FLEXURE: $F_b = 875$ PSI
 - b) SHEAR: $F_v = 70$ PSI
 - c) MODULUS OF ELASTICITY = 1,400,000 PSI
2. WALL STUDS: STUD GRADE
- a) FLEXURE: $F_b = 675$ PSI
 - b) COMPRESSION PARALLEL: $F_c = 725$ PSI
 - c) MODULUS OF ELASTICITY = 1,200,000 PSI

I. ALL EXTERIOR WALL STUDS ARE TO BE 2x6'S SPACED AT 16" O.C. (U.N.O.). PLACE DOUBLE STUDS AT END OF WALLS AND TRIPLE STUDS AT INTERSECTIONS AND CORNERS. ALL MULTIPLE STUD POSTS SHALL BE FASTENED WITH 16d NAILS AT 8-INCHES ON CENTER STAGGERED ON EACH SIDE, FOR (4) STUD POSTS, USE 20d NAILS AT 8-INCHES ON CENTER.

J. ALL ROOF AND WALL SHEATHING SHALL BE 1/2-INCH, CDX, APA STRUCTURAL II RATED SHEATHING, EXPOSURE I, PER THE "AMERICAN PLYWOOD ASSOCIATION." SHEATHING SHALL BE FASTENED WITH 10d NAILS AT 6-INCHES ON CENTER AT PANEL EDGES AND AT 12-INCHES ON CENTER AT ALL INTERMEDIATE SUPPORTS.

K. ALL PLYWOOD SUBFLOORING SHALL BE 3/4-INCH THICK T&G, APA RATED 32/16 SHEATHING.

L. PROVIDE MIN. 3" BEARING FOR ALL LAMINATED VENEER AND PARALLEL STRAND BEAMS, 2" BEARING FOR STANDARD LUMBER BEAMS.

M. ALL WOOD TOP PLATE SPLICES SHALL BE STAGGERED 6"-0" MINIMUM.

N. ALL WALL SHEATHING SHALL BE CONTINUOUS BETWEEN TOP PLATES AND BOTTOM PLATE OF WALL ABOVE.

O. ALL MULTIPLE MEMBERS ARE TO BE FASTENED TOGETHER WITH 10d NAILS AT 12" O.C. TWO (2) ROWS FOR BEAMS 9"-12" DEEP, THREE (STAGGERED).

P. PROVIDE SOLID BLOCKING BETWEEN JOISTS AND RAFTERS AT ALL BEARING POINTS.

Q. ALL MISCELLANEOUS WOOD CONNECTIONS SHALL BE FASTENED PER 2003 IBC, TABLE 2304.9.1 "FASTENING SCHEDULE."

R. DOUBLE STUDS SHALL BE NAILED TOGETHER WITH 10d AT 6" O.C. TRIPLE STUDS SHALL BE NAILED TOGETHER WITH 16d AT 6" O.C. EACH SIDE.

S. JOIST HANGERS SHALL BE SIZED ACCORDING TO THE FOLLOWING SCHEDULE, EXCEPT AT SLOPED MEMBER CONDITIONS:

SUPPORTED MEMBER	REQ'D HANGER CAPACITY (#)	HANGER
2x10	770	LU28
2-2x10	1465	LUS210-2
2x12	960	LU210
2-2x12	1465	LUS210-2

T. PROVIDE SIMPSON H2.5A HURRICANE CLIPS AT ALL RAFTER BEARING LOCATIONS.

II. CONCRETE

A. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302.

B. CEMENT SHALL COMPLY WITH ASTM C150, TYPE I OR III.

C. REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A615 GRADE 60. ALL REINFORCEMENT SPLICES SHALL BE A MINIMUM OF 40 BAR DIAMETERS.

D. CAST IN PLACE CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH $F'_c = 3000$ PSI.

E. PROVIDE WWF 6x6 - W1.4xW1.4 IN ALL SLAB-ON-GRADE. ALL WIRE FABRIC SHALL CONFORM TO ASTM A185. ALL MESH EDGES SHALL LAP A MINIMUM OF TWO (2) SQUARES.

F. CONCRETE SLUMP SHALL = 4" ± 1".

G. MINIMUM CONCRETE COVER BETWEEN FACE OF REINFORCING BAR AND FACE OF CONCRETE SHALL BE AS FOLLOWS:

1. CONCRETE CAST AGAINST EARTH = 3"
2. FORMED CONCRETE EXPOSED TO WEATHER OR EARTH = 2"

H. ALL CONCRETE EXPOSED TO WEATHER SHALL HAVE A MINIMUM AIR ENTRAINMENT OF 6% ± 1.5% PER ACI- 318 4.2.1.

III. MASONRY

A. ALL HOLLOW CONCRETE MASONRY UNITS SHALL BE LIGHT WEIGHT AND CONFORM TO ASTM C90-93 TYPE I HAVING A NET AREA COMPRESSIVE STRENGTH OF 1900 PSI AND A PRISM STRENGTH $F'_m = 1500$ PSI IN ACCORDANCE WITH THE UNIT STRENGTH METHOD.

B. ALL FACE BRICK MASONRY UNITS SHALL CONFORM TO ASTM C216 AND C652, GRADE MW OR SW, TYPE FBS, FBX, OR FBA. WITH A MINIMUM COMPRESSIVE STRENGTH = 6000 PSI.

C. GALVANIZED HORIZONTAL JOINT REINFORCEMENT SHALL BE PLACED AT 16" O.C. VERTICALLY. REINFORCEMENT SHALL BE LADDER TYPE, AND WHERE SPLICED, SHALL LAP A MINIMUM OF 6". REINFORCEMENT SHALL CONFORM TO ASTM A-82 AND ASTM A153, CLASS B2, HOT DIP GALVANIZED (1.5 OZ./SF)

D. MASONRY MORTAR SHALL BE ASTM C270 TYPE S FOR HOLLOW CMU WALLS AND TYPE N FOR VENEER WALLS.

E. ALL MASONRY CELLS CONTAINING BOLTS OR REINFORCEMENT SHALL BE FILLED WITH COARSE GROUT PER ASTM C476, AGGREGATE PER ASTM C404.

F. PROVIDE TWO (2) COURSES OF SOLID CMU PER ASTM C 90 OR GROUT-FILLED CMU BENEATH ALL POST, BEAM AND HEADER BEARING POINTS.

G. BRICK TIES SHALL BE ATTACHED TO ALL BRICK VENEER SPACED AT 24" O.C. HORIZONTALLY AND 16" O.C. VERTICALLY (MAXIMUM). CORRUGATED TIES ARE PROHIBITED FOR WALLS WITH CAVITIES OVER 1". TIES SHALL EXTEND 3" INTO BRICK AND/OR CMU.

H. TIE MATERIAL SHALL CONFORM TO ASTM A366 AND ASTM A153, CLASS B2, HOT DIP GALVANIZED (1.5 OZ./SF.) STEEL WIRE SHALL CONFORM TO ASTM A82.

I. ALL PRECAST MASONRY LINTELS SHALL HAVE A MINIMUM BEARING LENGTH OF 8" AND SHALL BE PROPORTIONED AS FOLLOWS FOR EACH 4" OF THICKNESS FOR NON-LOAD-BEARING WALLS, $F'_c=3000$ PSI.

OPENING THICKNESS	LINTEL (8" DEEP)
UP TO 4'-0"	W/1 #4 T&B
4'-1" TO 5'-0"	W/1 #5 T&B
5'-1" TO 8'-0"	W/1 #6 T&B

J. ALL MASONRY WORK SHALL BE IN CONFORMANCE WITH THE "SPECIFICATIONS FOR MASONRY STRUCTURES" ACI 530.1-02/ASCE 6-02/TMS 602-02.

K. ALL CMU GROUT SHALL HAVE A 28-DAY COMPRESSIVE STRENGTH OF 2000 PSI.

IV. GENERAL

A. ALLOWABLE SOIL BEARING PRESSURE FOR ALL SHALLOW FOOTINGS IS ASSUMED AS 1500 PSF. SHOULD UNSUITABLE MATERIAL BE ENCOUNTERED, FOOTINGS SHALL BE OVEREXCAVATED AND REPLACED WITH LEAN CONCRETE, $F'_c = 2000$ PSI. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW EXTERIOR GRADE, UNLESS NOTED OTHERWISE.

B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING TEMPORARY BRACING AND SHORING, AS REQUIRED, TO ENSURE VERTICAL AND LATERAL STABILITY OF THE ENTIRE STRUCTURE OR PORTION THEREOF DURING CONSTRUCTION.

C. ALL WALLS ARE DESIGNED AS Laterally Braced by the floor and roof systems. CONTRACTOR SHALL ENSURE THAT WALLS ARE ADEQUATELY BRACED DURING CONSTRUCTION.

D. THE DEVELOPMENT AND IMPLEMENTATION OF JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

V. DEMOLITION

A. ALL MEANS AND METHODS OF SAFELY REMOVING ALL EXISTING CONSTRUCTION SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

B. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL TEMPORARY SHORING AND BRACING REQUIRED FOR DEMOLITION OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN OF AND PROCEDURES FOR THE REQUIRED TEMPORARY SHORING. THE DESIGN PROCEDURES SHALL CONFORM TO ALL GOVERNING CODES AND SAFETY REQUIREMENTS.

VI. EARTHWORK

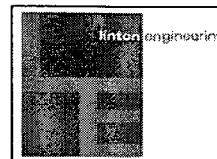
A. ALL FILL MATERIAL SHALL BE FREE OF ORGANIC MATERIAL AND SHALL BE SELECTED ON THE BASIS OF LABORATORY COMPACTION TESTS, HAVING A LIQUID LIMIT OF LESS THAN 40, A PLASTICITY INDEX OF LESS THAN 15. FILL SHALL BE PLACED IN MAXIMUM 8-INCH LIFTS AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINED BY ASTM D1557, MODIFIED PROCTOR METHOD.

B. FOOTING TRENCHES SHALL BE BACKFILLED WITH LEAN CONCRETE IMMEDIATELY UPON EXCAVATION TO PREVENT GROUNDWATER INFILTRATION.

C. PERIMETER DRAIN TILE SHALL CONSIST OF 4-INCH DIAMETER CORRUGATED POLYETHYLENE TUBING PER ASTM D-405 WITH A MAXIMUM SIZE WIDTH OF 1/4-INCH. TUBING SHALL BE PLACED WITH SLOTS DOWN USING STRAIGHT SECTIONS AND STANDARD CONNECTIONS.

APPROVED
Montgomery County
Historic Preservation Commission
James D. Silver 6/9/08

CASS & ASSOCIATES ARCHITECTS, PC
11 DUPONT CIRCLE NW, SUITE 600
WASHINGTON, DC 20036
PH: 202-462-7663 FAX: 202-462-7818



LINTON ENGINEERING, LLC
46040 LAKE CENTER PLAZA,
SUITE 304
POTOMAC FALLS, VA. 20165
571-323-0320

Project: 7 MAGNOLIA PARKWAY
CHEVY CHASE, MD. 20815

Description: ADDITION

Scale: AS-NOTED Date: 6-6-08 Approved By: DL Job No.:

Drawing No.:

57

Description: 7 Magnolia Parkway, Chevy Chase, Maryland 20815

Proposed one story rear addition:

Description: Existing house is a two and a half story wood clapboard center hall colonial built between 1919 and 1927 with a two-story rear addition built in 1959/60. Designated a category 2 contributing structure by HPC. House is located on Magnolia Parkway, where there is an exceptionally broad right of way and no sidewalk. Front of house is more than 65 feet from curb.

Description of Proposed Project: Proposed one story rear yard addition measuring 16 feet by 20 feet with a two foot by eight foot "connector" to the existing wing. Attaches to 1959/60 addition which was extensively renovated (window configuration changes on exterior) in 1992/4. Proposed alteration to existing addition would relocate 2 doors and build new door canopy on driveway (west) side, and add one window.

Materials: Wood siding and lattice to match existing house, brick foundation (where visible) to match existing house, copper roof to match rear dormers on existing house, copper gutters to match existing house. Reuse existing north elevation painted wood single glazed double hung windows on new north elevation. All other double hung and fixed windows to match existing and (like existing) to be single glazed, painted double hung windows with matching muntins.

Setbacks: Side and rear setbacks are within the requirements of both Chevy Chase Village and Montgomery County.

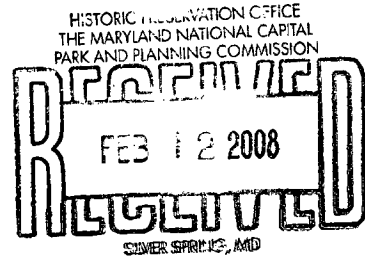
Visibility/Distance from street: Visible corner of addition (on driveway side) projects to the west three feet beyond the existing addition, but only two feet six inches beyond the farthest projection of the original house and is in line with the existing side door canopy. Closest corner of visible section of addition is 116 feet from curb of Magnolia Parkway.

Coverage: Current lot coverage including detached garage at rear of property is approximately 17.9%. Total coverage including proposed addition is 20.7%.

Trees: There are two trees in the vicinity of the proposed addition: an 18" diam. Pear tree approx three feet from the proposed addition and a 19" diam. Sycamore tree approx fifteen and a half feet from the proposed addition. It is the owner's intention to protect and preserve the trees. The Chevy Chase Village arborist, William Dunn, visited the site on January 22, 2008 and gave verbal approval to the proposal. Written confirmation is to follow.

Drainage: All downspouts on new addition to connect by underground piping to storm sewer per Chevy Chase Village instructions.

Submitted by:
Heather Cass
301-656-6582



Burt Braverman
Kathleen Meredith
2 Magnolia Parkway
Chevy Chase, MD 20815
9 February, 2008
katymeredith@verizon.net
301.654.4274

Dear Mr. Whipple,

We are writing in support of our neighbors' (Richard & Heather Cass) HAWP application for work in Chevy Chase Village. Burt & I have no objections and we feel there will be no adverse effect on any property adjacent or near to their property at #7 Magnolia Parkway. In fact, we are certain that the new addition will be very beautiful and certainly in keeping with the current structure and of the other houses surrounding their property and with the overall "flavor" of our neighborhood.

Respectfully yours,

A handwritten signature in cursive script that reads "Burt Braverman".

Burt Braverman

A handwritten signature in cursive script that reads "Kathleen Meredith".
Kathleen Meredith

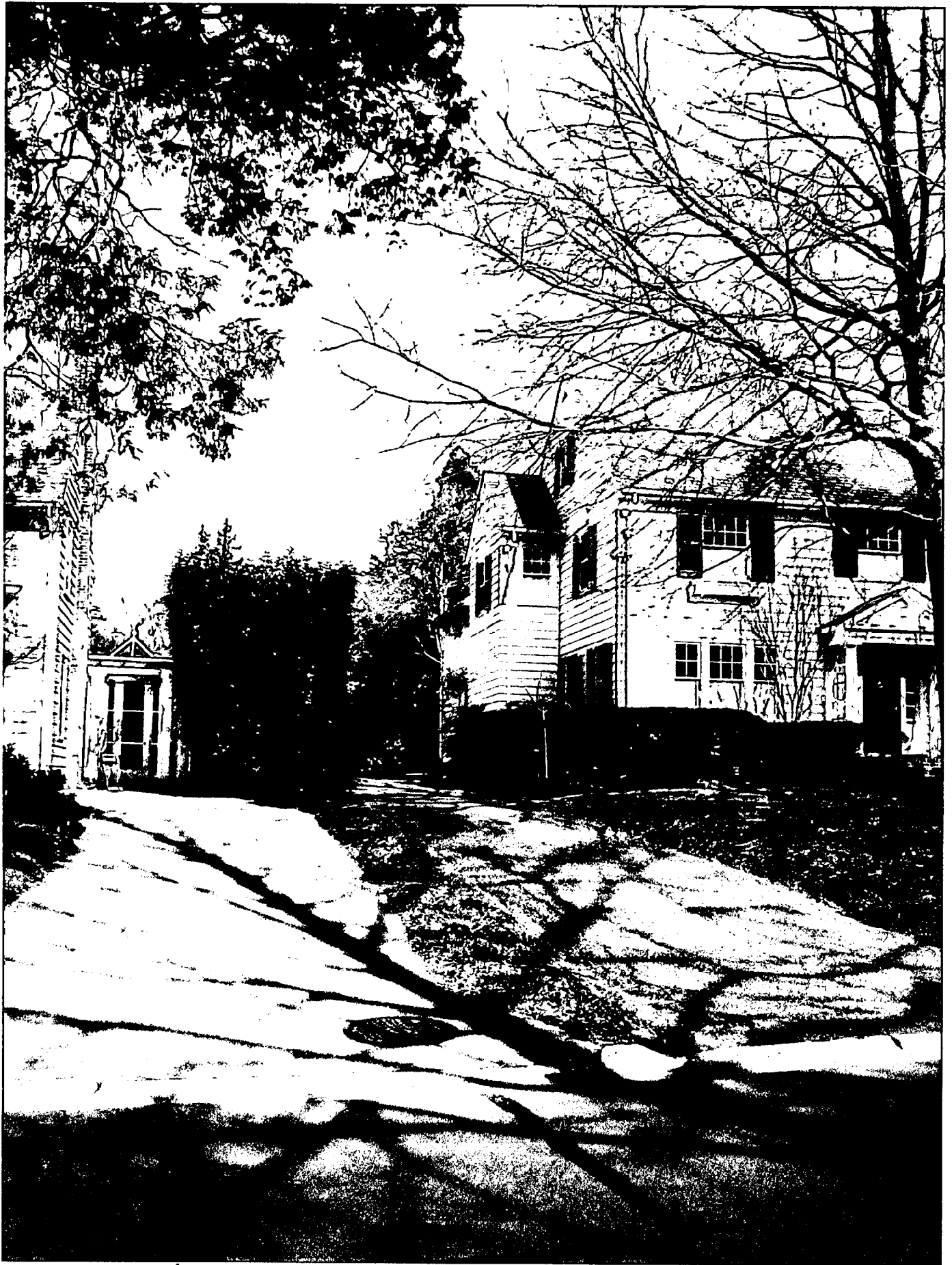
cc Heather Cass

#517

CONNECTION TO ADDITION.

#7 MANOVA - VIEW OF 1960'S ADDITION AT NORTH - POINT OF





FRONT OF # 7 FROM WEST - SIDE PROJECTION OF ADDITION
WILL BE VISIBLE IN REAR. 3/7



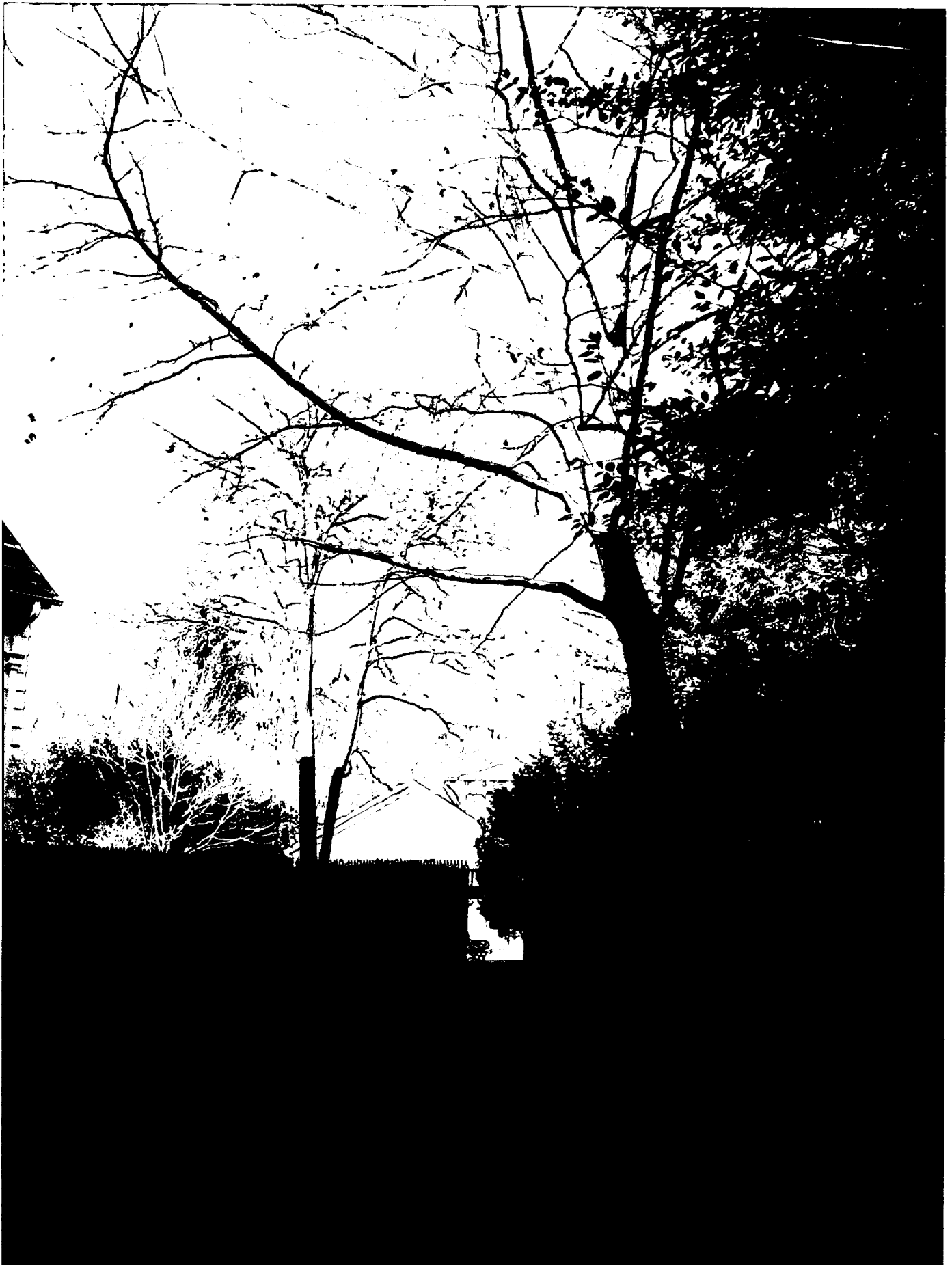
FRONT OF MAGNOLIA FROM SOUTH - ADDITION WILL NOT BE VISIBLE.

2/7

Bill / Tim
Bartlett



7 MAGNOLIA: VIEW OF SITE SHOWING PROPOSED LOCATION OF ADDITION BETWEEN PEAR TREE AND 1960 WING.



7 MAGNOLIA: VIEW OF SITE SHOWING SYCAMORE IN FORE GROUND
AND PEAR AT REAR



FRONT OF # 7 MAGNOLIA FROM EAST - ADDITION WILL NOT BE VISIBLE.

17

#4

#7 MAGNOLIA - VIEW OF 1960'S ADDITION ON WEST SIDE

