

31/8-99B 9803 Hollow Glen Place  
Silver Spring (Forest Glen HD)

11/2

11 AM

Perry -

Call Steve Thomas  
at DPS (240-777-6216)

re Patrick Keating NPAWS  
for 9803 + 9805 Hollow

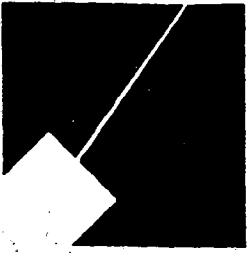
Blm. (July 14 HPC)

He has question whether a  
small roof over entrance  
porch was approved.

LOT 27

ELEVATION

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION


8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date:

11-17-99

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section 

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits - MPC # 31/B-99B (Revision)

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

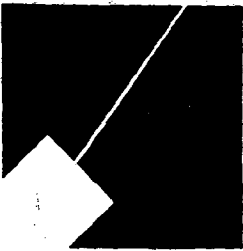
When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 11-17-99

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation *GW*

SUBJECT: Historic Area Work Permit - HPC - 31/B-99B (Revision)

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

           Approved            Denied

Approved with Conditions: APPLICANT MUST RETURN TO  
HPC WITH GRADING PLAN AND ACCURATE  
ELEVATIONS FOR THE TWO DETACHED, ONE-CAR  
GARAGES

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Patrick K. Keating

Address: 9803 Hollow Glen Place Silver Spring

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.





TURN TO: DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, 2nd FLOOR, ROCKVILLE, MD 20850  
301/217-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: PATRICK K KEATINGE  
Daytime Phone No.: 301 370 4281

Tax Account No.: 01003555  
Name of Property Owner: PATRICK K KEATINGE Daytime Phone No.: 301 370 4281  
Address: 10219 MEREDITH AVE SILVER SPRING MD 20910  
Street Number City Street Zip Code  
Contractor: PATRICK K KEATINGE Phone No.: 301-588 5468  
Contractor Registration No.: 36735  
Agent for Owner: PATRICK K KEATINGE Daytime Phone No.: 301 588 5468

LOCATION OF BUILDING/PREMISE

House Number: 9803 Street: HOLLOW GLEN PLACE  
Town/City: SILVER SPRING Nearest Cross Street: HOLMAN AVE  
Lot: 27 Block: 17 Subdivision: FOREST GLEN  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 800,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

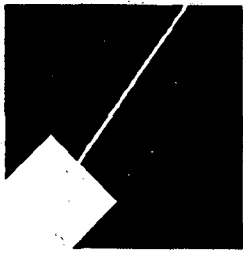
3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Pat K Keatinge 6-22-99  
Signature of owner or authorized agent Date

Approved: [Signature] For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 7/14/99  
Application/Permit No.: 990602400 Date Issued: \_\_\_\_\_

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

Historic Preservation Section  
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301) 563-3412

TO: Angela Clark FAX NUMBER: (240) 777-6262

FROM: Gwen Wright

DATE: 11/24/99

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 4

NOTE: Patrick Keating received a conditional Historic Area Work Permit approval for 2 new houses on July 14th. He then received approval of his grading plan on November 17th, again with a condition. The building permits for the 2 new houses may be released as long as Mr. Keating has met all the conditions on the July + November approvals.



**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

**Address:** 9803 Hollow Glen Place      **Meeting Date:** 11/17/99  
**Applicant:** Patrick K. Keating      **Report Date:** 11/10/99  
**Resource:** Forest Glen Historic District      **Public Notice:** 11/03/99  
**Review:** HAWP      **Tax Credit:** No  
**Case Number:** 31/8-99B (REVISION)      **Staff:** Perry Kephart  
**PROPOSAL:** Grading Plan      **RECOMMEND:** Approve

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Non-contributing Resource in Forest Glen Historic District  
**STYLE:** Neo-Homestead Queen Anne  
**DATE:** 1999

As a condition for approval of new construction in the garden of the outstanding resource at 2411 Holman Avenue, the applicant was asked to submit a revised grading plan and side elevations that illustrated the changes in grade and the placement of the proposed residence on Lot 27. The applicant has submitted a) side elevations showing placement of the house on grade, and b) a letter indicating that a new grading plan is not required

**STAFF RECOMMENDATION**

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #9, and #10:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

~~And with the conditions:~~

①

1. A roofing material other than slate is not to be approved unless a structural engineer has determined that a lighter weight roofing material is required in order to protect the integrity of the rest of the historic resource.
2. The cause of the shifting/bowing of interior framing is to be determined before another roofing material is substituted for slate.

with the general condition applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work, and within two weeks following completion of work.



# HISTORIC PRESERVATION COMMISSION

301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: PATRICK K. KEATING

Daytime Phone No.: 301-370-4281

Tax Account No.: 01003555

Name of Property Owner: PATRICK K. KEATING Daytime Phone No.: 301 370 4281

Address: 10219 MEREDITH AVE SILVER SPRING, MD. 20910  
Street Number City State Zip Code

Contractor: PATRICK K. KEATING Phone No.: 301-588 5468

Contractor Registration No.: 36735

Agent for Owner: PATRICK K. KEATING Daytime Phone No.: 301-588 5468

### LOCATION OF BUILDING/PREMISE

House Number: 9803 Street: HOLLOW GLEN PLACE

Town/City: SILVER SPRING Nearest Cross Street: HOLMAN AVE

Lot: 27 Block: 17 Subdivision: FOREST GLEN

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

- |   |  |
|---|--|
| 1A. CHECK ALL APPLICABLE:                     | CHECK ALL APPLICABLE:                                    |
| <input checked="" type="checkbox"/> Construct | <input checked="" type="checkbox"/> A/C                  |
| <input type="checkbox"/> Extend               | <input type="checkbox"/> Slab                            |
| <input type="checkbox"/> Alter/Renovate       | <input type="checkbox"/> Room Addition                   |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Porch                           |
| <input type="checkbox"/> Install              | <input type="checkbox"/> Deck                            |
| <input type="checkbox"/> Wreck/Raze           | <input type="checkbox"/> Shed                            |
| <input type="checkbox"/> Revision             | <input type="checkbox"/> Solar                           |
| <input type="checkbox"/> Repair               | <input type="checkbox"/> Fireplace                       |
| <input type="checkbox"/> Revocable            | <input type="checkbox"/> Woodburning Stove               |
|   | <input checked="" type="checkbox"/> Single Family        |
|   | <input type="checkbox"/> Fence/Wall (complete Section 4) |
|   | <input type="checkbox"/> Other: _____                    |

1B. Construction cost estimate: \$ 200,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line       Entirely on land of owner       On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Pat K. Keating  
Signature of owner or authorized agent

6-22-99  
Date



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

PKK proposes to build two new houses on vacant lots next to 2411 Holman Ave. The two lots are overgrown w/ a few large trees on the perimeter, most notable a White Oak at the front of property which will be protected during construction. 2411 Holman Ave. is a historic residence - decline and PKK has purchased property and has plans approved to construct an addition to the rear and rehabilitate the historic res. We have worked w/ HPC staff (Jerry) and HPC commission to develop the new house plans to be complimentary to historic residence

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The historic residence and the two lots face west and sit on a hill. The new houses will use a wide front porch w/ simple elegant detailing, six over one windows w/ simple adorned window heads and 6" lap siding, eaves to above window heads and below freeze. The new houses together w/ 2411 renovation will revitalize and raise property values. Across the street is a Victorian - decline and rejuvenation of corner will increase feasibility of its rehabilitation.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

4

page - 1

PATRICK K. KEATING  
Construction Contractor  
10219 Meredith Avenue  
Silver Spring, Maryland 20910  
301-588-5468

10-27-99

To Historic Preservation Commission  
Montgomery County, Md.

c/o Perry Behardt.

9803 + 9805 Hollow Glen Pl.  
Forest Glen.

At the last meeting a commission member pointed out that the side elevations did not reflect the grades shown on the site plan. I ~~was~~ responded by saying that the site plan submitted was correct and the side elevations were incorrect. I maintain that assertion. The discussion then followed about the possibility of lowering the houses even further.

§

(5)

over

Mr. Parcell,

6

Common concern and like our objectives

from front porch. I understand and agree w/ the new house and will maintain 4-5 steps to grade

that I will maintain the 5' drop from the transition

of 11-15. I would like to advise the common

that you got it. This should concern us

he made when heavy equipment begins to remove

using the steps but the final determination will

may be possible to lower the house on feet more

would be to maintain the existing steps. It

architect I have concluded that the best plan

consulting w/ my landscape architect and building

that possibly and report back to staff. After

I responded by stating that I would explore

9803-9805 Hollow Glen Pl. [page 2]

(L)

Pat K. [unclear]

Thank you

However, I must work w/ existing grade conditions for it would be unusual to try to have the lower level than existing grade conditions allow.

9803+9805 Heller-64-PL (page 3)

1 it normally does.

2 MR. BRESLIN: Right. I think the planter cut the  
3 grade. And the grade has been approved.

4 MS. VELASQUEZ: Yeah.

5 MR. KEATING: Thank you. I'd like to give you  
6 guys, I'd like to --

7 MR. SPURLOCK: Quite honestly, I disagree with the  
8 other Commissioners. I don't think you've really done your  
9 homework entirely. One of our biggest concerns the last time  
10 we were talking with you is the amount of grade or the height  
11 of the buildings in the front, how far they would project out  
12 of grade. And you've drawn them with the grade line closer  
13 to the front porch, but you've also for instance on circle 11  
14 shown a flat grade on the right side of Lot 27, on the left  
15 side, excuse me. On either side you've shown, 9/11 you've  
16 shown as the flat grade. The driveway slopes about four feet  
17 over the length of the house. I'm not really quite sure how  
18 you intend to, you know, you really haven't addressed those  
19 issues, at least to my satisfaction, in these drawings.

20 You've also shown the garage buildings as you know  
21 flat grade when in reality, your site plan shows them I  
22 assume buried three or four feet into the grade on the uphill  
23 side, and two or three out of grade on the lower side. I  
24 really don't think you've, I think you've redrawn it, but you  
25 haven't really solved the problem here. At least I don't see

8



1 that you solved the problem. If you could explain that to  
2 me. I would --

3 MR. KEATING: I'm not so certain, you covered a lot  
4 of ground. I'm not really, I have to say that I don't  
5 understand what you're asking. You have to do each point by  
6 point. Or I could bring the landscape architect in to  
7 explain it. But basically I asked for the grade to work so  
8 that the water was sloped off of the lots, and that the  
9 houses didn't stick up out of the ground, and I had a minimum  
10 amount of steps at the front door. And obviously it didn't  
11 impact the tree. And I thought I had achieved all that.

12 MR. BRESLIN: I think the Commissioner makes a very  
13 good point which I hadn't perceived before. If you look at  
14 the back of the houses, the back of the houses are at grade  
15 93, which means the first floor of the house would have to be  
16 about grade 94 1/2. And the front of the porch is about 89.

17 MR. KEATING: Oh --

18 MR. BRESLIN: And from 89 to 94 1/2 is, it sticks  
19 out of the ground more than the elevation show.

20 MR. KEATING: Oh, what, I guess what I have to  
21 explain is that and hopefully this helps. Is that basically  
22 the way that I perceive it, I had a four foot difference from  
23 the back of the house to the front of the house. And I can't  
24 change that. That's the topography of the land. So, what I  
25 proposed, and what the staff and I discussed was creating a

1 garden wall. And it should be, it's possibly it's on the  
2 landscape plan. The garden wall would be approximately 18  
3 inches tall. And that would give, that would get me four  
4 steps from the porch to the landing, and then the landing  
5 would then, that garden wall, landing would be, would then  
6 get another two or three steps to the driveway. But it would  
7 make the house appear, that was our idea to make the house  
8 appear not so far out of the ground.

9 MS. KEPHART: Circle 6.

10 MR. KEATING: So, one of the topos doesn't reflect  
11 that garden wall. I would have to say.

12 MR. SPURLOCK: So you're saying you're raising the  
13 house up in stepping the garden wall in the front? Is that  
14 what you're -- is that what I'm hearing?

15 MR. KEATING: What I'm trying to convey is that the  
16 house is at 94. Let's just take Lot 27. The house is at 94.  
17 And while the grade is 91, which is when I raise the back of  
18 the house up a foot, that would give a four foot difference  
19 from the back to the front. To make that appear less, and to  
20 basically I was going to build a raised bed.

21 MS. VELASQUEZ: Stone bed.

22 MR. KEATING: Stone bed in front of, serpentine  
23 stone bed in front of the wall, that would also capture a  
24 landing of sort that would then lead to the driveway at a, I  
25 would take a right turn into the driveway and possibly get

10

1 another two steps down to the driveway height that I needed  
2 to get.

3 MR. SPURLOCK: So, there would be a lot more of  
4 this foundation wall exposed on the side. Is that what  
5 you're saying?

6 MR. KEATING: Yeah. That's probably not an  
7 accurate --

8 MR. SPURLOCK: This is not accurate.

9 MR. KEATING: That's correct. That's absolutely  
10 correct.

11 MS. KEPHART: Yeah, it isn't.

12 MR. KEATING: That's a cad drawing that doesn't  
13 show what --

14 MR. SPURLOCK: Is everyone following what I'm  
15 saying?

16 MR. BRESLIN: So, your landscape wall's in the  
17 front?

18 MR. KEATING: Yes, sir.

19 MR. BRESLIN: Okay. Could you put the landscape  
20 wall in the back similar to what you're doing with the old  
21 house and thereby lowering the houses? And if you were to  
22 take the natural grade up say, up to 89 and flatten the grade  
23 with the houses, put the landscape wall on the back of the  
24 house --

25 MR. KEATING: Similar to what I did next door.

1 MR. BRESLIN: Yes, but rather than building up the  
2 front, we're taking out the back. You could lower the  
3 houses, and that might help. One of our original concerns  
4 was that these houses would look like secondary to the  
5 primary resource.

6 MR. KEATING: I would take that into consideration.  
7 Probably what I would then ask is that I do a little of both.  
8 Cause --

9 MR. BRESLIN: -- a little of both --

10 MR. KEATING: I want a gentler more natural house.  
11 I don't want the house to look forced. If I hog out the  
12 back, you know the two feet, then I'm afraid I'm forcing it.  
13 If I go a foot in the back and then a foot in front, it may  
14 work. But I have to, again --

15 MR. BRESLIN: I think that that's a good point  
16 that's just been brought up, I think. One of the reasons the  
17 infill houses next to these houses don't work is the fact  
18 that they're so far out of the ground. And those were not  
19 done terribly sympathetically. And I think we feel that  
20 these probably could be done much better. And, but as we  
21 said last time, it's not quite demonstrated because all the  
22 details haven't been worked out. And personally I think if  
23 you did for instance build up the front, build the building  
24 entirely in the front, you wind up with a situation similar  
25 to the one next door. And if you either split the difference

(12)

1 as you suggest or do the work in the back, you start to lower  
2 them and you'd be even more in a situation you'd be  
3 comfortable with. I think we have to be shown that.

4 MR. SPURLOCK: The other thing I brought up was the  
5 garage buildings. How are you going to deal with those?  
6 When you have a side door on those. Either you need a stair  
7 or a retaining wall for that to work, one or the other.

8 MR. KEATING: More than likely on the center lot, I  
9 see your concern. The lot on the left is a lot more gentle.  
10 I don't see a problem with that one, but it could very well  
11 be that if it had a higher foundation wall in the rear and a  
12 sloped siding --

13 MR. SPURLOCK: You would bury it back into the  
14 ground.

15 MR. KEATING: Right. That's probably what --

16 MR. SPURLOCK: And delete the side door.

17 MR. KEATING: Well, the side door could just then  
18 be right next to it. I wouldn't want to do that so much.  
19 But I could put it on the front of the garage.

20 MR. SPURLOCK: Put it on the front of the garage.

21 MR. KEATING: But I could fit that garage door and  
22 the retaining wall wouldn't be that great if I had to do  
23 that. It would just be a small little, small little wall.  
24 Just a garden type wall. Nothing of a major sort.

25 MR. SPURLOCK: Anyone like to make a motion? Any

1 other questions?

2 MS. KEPHART: Are you suggesting that the setting  
3 of the houses and the house and the garage be included as a  
4 condition that those be more clearly delineated before this  
5 is, as part of the final plan? It comes to staff or do you  
6 all want to see that before you approve the HAWP?

7 MR. BRESLIN: Well, I think the way the houses are  
8 sighted could work real well. But I think seeing the houses  
9 next door sighted so unsympathetically would make me  
10 personally want, I'd like to see it demonstrated that it  
11 could work well. And I think it could work well. But I  
12 think I'd like to see that.

13 MS. WRIGHT: So, you're saying you'd like it to  
14 come back to the Commission, not just staff level review.  
15 But actually have the final revised grading plans we've  
16 discussed this evening, come back to the Commission.

17 MR. BRESLIN: Uh, yes --

18 MS. KEPHART: With all the retaining walls.

19 MR. BRESLIN: Just because I think when this is  
20 done, it will realistically give more detail. I think  
21 they'll be some substantial retaining walls similar to the  
22 house next door.

23 MS. KEPHART: Could the applicant bring it back to  
24 the July 28th meeting rather than go to the August meeting?

25 MS. WRIGHT: And one other thing that, you know our

1 first application with Mr. Alfandre, what you all did was  
2 essentially approve a historic area work permit, but with the  
3 understanding that he was going to have to come back with the  
4 landscape and paving plan. Maybe what you do here is you  
5 approve a historic area work permit conditional that they  
6 come back with a landscape and --

7 MR. BRESLIN: Grading --

8 MS. WRIGHT: -- grading plan.

9 MS. VELASQUEZ: So that you could go get your  
10 building permit going. Is that --

11 MR. KEATING: Thank you. In my own defense I live  
12 in Capitol View Park and I built a house new there. And it's  
13 not a large, a very large house, but it is larger than the  
14 house next door. And I did hold that, I believe a lot of  
15 builders hold houses up because of reasons just as simple as  
16 they want to balance the dirt, or they want to make the house  
17 look bigger. For me, and my own house is an example of that.  
18 I believe the egress of the house is much more important than  
19 ingress and egress and keeping the amount of steps minimal.  
20 And I did in my own house force the house down so low that I  
21 have a yard drain that works very well in the back. So it  
22 could be it's as simple as that. But I have to really  
23 consult with my landscape designer to see what she says is  
24 going to work. But I have no problem with what you're  
25 saying. I'm, I really have no problem with it.

1 MS. VELASQUEZ: I move that we approve the work  
 2 permit in Case Number 31/8-99B for construction at 9803  
 3 Hollow Glen Place, Silver Spring with the condition that the  
 4 landscaping plan --

5 MR. BRESLIN: Grade --

6 MS. VELASQUEZ: -- and the grading plan come back  
 7 for approval before the Commission.

8 MS. KEPHART: And that would include showing the  
 9 profiles of the house, the elevations?

10 MS. VELASQUEZ: Yes.

11 MS. KEPHART: In their setting rather than just in  
 12 this schematic that we have here?

13 MS. VELASQUEZ: Yes, so that we'll have a better  
 14 feel for how this is going to look and how it's going to  
 15 work.

16 MS. KEPHART: Okay. And all walls that are going  
 17 to be used.

18 MS. VELASQUEZ: Exactly.

19 MR. BRESLIN: Second.

20 MR. SPURLOCK: Close the public record. All those  
 21 in favor, raise your right hand. All those opposed? The  
 22 motion passes five to one.

23 Would you like to make a motion for the other  
 24 property? A similar motion for the other property?

25 MS. VELASQUEZ: Yes, I would. Unless the applicant

16



1 has something to say something first. I move that we approve  
2 the historic area work permit for Case Number 31/8-99C for  
3 9805 Hollow Glen Place, Silver Spring, with the condition  
4 that the landscaping and grading plans come back before the  
5 Commission for final approval.

6 MS. KEPHART: Does that include the hedgerow?

7 MS. VELASQUEZ: That includes the hedgerow, where  
8 it would be landscaping.

9 MS. WATKINS: I would also like to include make  
10 sure the address, how the side door functions, for the  
11 setbacks in that door.

12 MR. KEATING: Well those, those locks --

13 MS. WATKINS: Just --

14 MS. VELASQUEZ: That would be on the previous one.

15 MS. WATKINS: Right. It's just on this one. It's  
16 only shown on one.

17 MR. KEATING: Well one, one door has to go out the  
18 side, one door goes out the front.

19 MS. KEPHART: One door faces forward and one door  
20 faces sideways on each house.

21 MS. WATKINS: Okay.

22 MS. WRIGHT: And that was part of our response to  
23 Emily's comment at one of the last meetings about  
24 differentiating the two houses and not having two front  
25 doors. So he's adjusted that.

17

1 MS. WATKINS: But I was referring to the living  
2 room door on the side.

3 MS. WRIGHT: What page of the packet are you --

4 MS. KEPHART: That's page, circle 7.

5 MS. WRIGHT: Are we talking about 9805 or 9803 --

6 MS. VELASQUEZ: The motion's on 9805.

7 MS. WATKINS: 9805 I'm speaking of.

8 MS. KEPHART: Yeah, if you look at circle 10, the  
9 door shown off the -- room --

10 MS. WATKINS: Um hum.

11 MS. KEPHART: That could just also be addressed on  
12 the site plan, how the elevation relates to that door. I  
13 think it's a screen porch there. But --

14 MS. WRIGHT: How many steps?

15 MS. KEPHART: On circle 7 it has no steps.

16 MS. DEREGGI: But you can't tell.

17 MS. KEPHART: You can't tell, true.

18 MS. VELASQUEZ: Can I include that as just part of  
19 the grading plan?

20 MS. KEPHART: Um hum.

21 MS. VELASQUEZ: All right. That would be included.  
22 I think that would be --

23 MR. BRESLIN: I second.

24 MR. SPURLOCK: Close the public record. All those  
25 in favor, raise your right hand. All those opposed? Motion

180

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	9803 Hollow Glen Place, Silver Spring	<b>Meeting Date:</b>	07/14/99
<b>Resource:</b>	Forest Glen Historic District	<b>Report Date:</b>	07/07/99
<b>Review:</b>	HAWP	<b>Public Notice:</b>	06/30/99
<b>Case Number:</b>	31/8-99B	<b>Tax Credit:</b>	None
<b>Applicant:</b>	Patrick K. Keating	<b>Staff:</b>	Perry Kephart
<b>PROPOSAL:</b>	New Construction, Tree Removal	<b>RECOMMEND:</b>	Approve with conditions.

---

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource in Forest Glen Historic District.  
**STYLE:** Queen Anne.  
**DATE:** 1891.

The property is a Stick Style residence that is being rehabilitated by the applicant. Changes to the structure were approved at the June 9, 1999 meeting of the HPC. The new construction is on Lot 27, directly adjacent to the historic resident.

**PROPOSAL**

The applicant further proposes to:

1. Construct a 2-story, three-bay, wood-frame residence with a full-width front porch, 6/1 true-divided light wood-framed windows, and painted cement board cladding. The roof is to be composite shingles, the foundation wall to be brick-formed. Three steps lead up from grade to the porch. There is no rear door shown on the proposed elevation.
2. Remove the 28" oak tree at the center of the property.
3. Grade the site from behind the front oak tree to the rear of the property.
4. Install a shared driveway from the front property line back to a shared apron and separate one-car wood-frame, painted cement plank garage at the back of the property.

Relocation of the boxwood is not included in this application.

### STAFF DISCUSSION

The loss of the oak tree at the proposed house site and the potential loss of the oak tree at the front of the property, both of which form an important component of the environmental setting, and the dramatic changes to the historic setting, continue to be a problem for staff. The applicant has indicated that the house cannot be sited elsewhere, nor can its size be modified. The applicant has also included a stress reduction plan for the front oak tree. However, as the grading required to put a structure of any size on this lot will kill the back tree, staff has come to the conclusion that if a house is to be approved for this lot, the tree removal will also have to be approved. The loss of the tree and the changes to the setting of the historic resource will be noticeable for many years, but if it is determined that both can be mitigated over the very long term by replacement planting, approval of the permit perhaps can be justified.

It should be emphasized that the decision to approve the construction should not take into consideration the potential for maximizing the financial return or for compensating the applicant for his rehabilitation of the historic resource. Zoning is also not a factor. The perspective in considering infill projects as to their negative or positive impact on the outstanding resource and its environmental setting is simply that in the Secretary of Interior Guidelines, "New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired."

If it is decided that an infill house should be constructed, the house, driveway and garage proposed are appropriate in terms of scale, design and materials.

### STAFF RECOMMENDATION

Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guideline #10:

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

and with the conditions:

1. A replacement planting plan is to be included in the final plans.
2. A rear door design is to be included.

3. Stress reduction measures and tree protection during construction are to be included in the approved plan.

with the general condition applicable to all Historic Area Work Permits that **the applicant shall present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits** and shall arrange for a field inspection by calling the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work and within two weeks following completion of work.

24

27

**PATRICK K. KEATING**  
Construction Contractor  
10219 Meredith Avenue  
Silver Spring, Maryland 20910  
301-588-5468

Attn: Perry  
301-563-3412

From: Pat Keating  
301-588-5468

Dear Perry,

Here is a list of the adjoining neighbors for 2411 Holman Avenue property

1. K. Singletary 2405 Holman Avenue
2. B. W. Nunnally 2500 Holman Avenue
3. Gale Osborne 9809 Hollow Glen Road

I will deliver the application package first thing Monday morning.

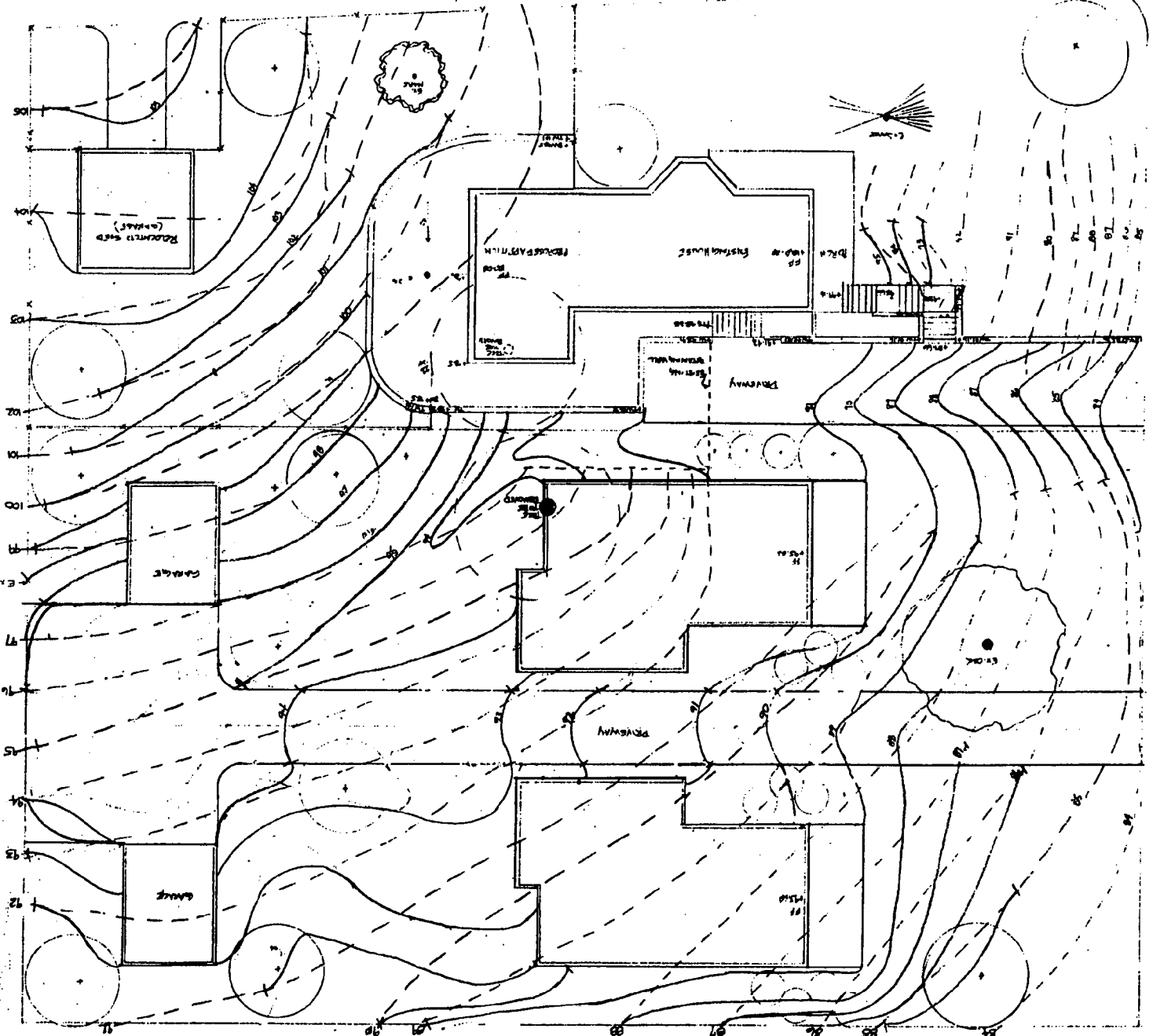
Sincerely,

Patrick Keating

22



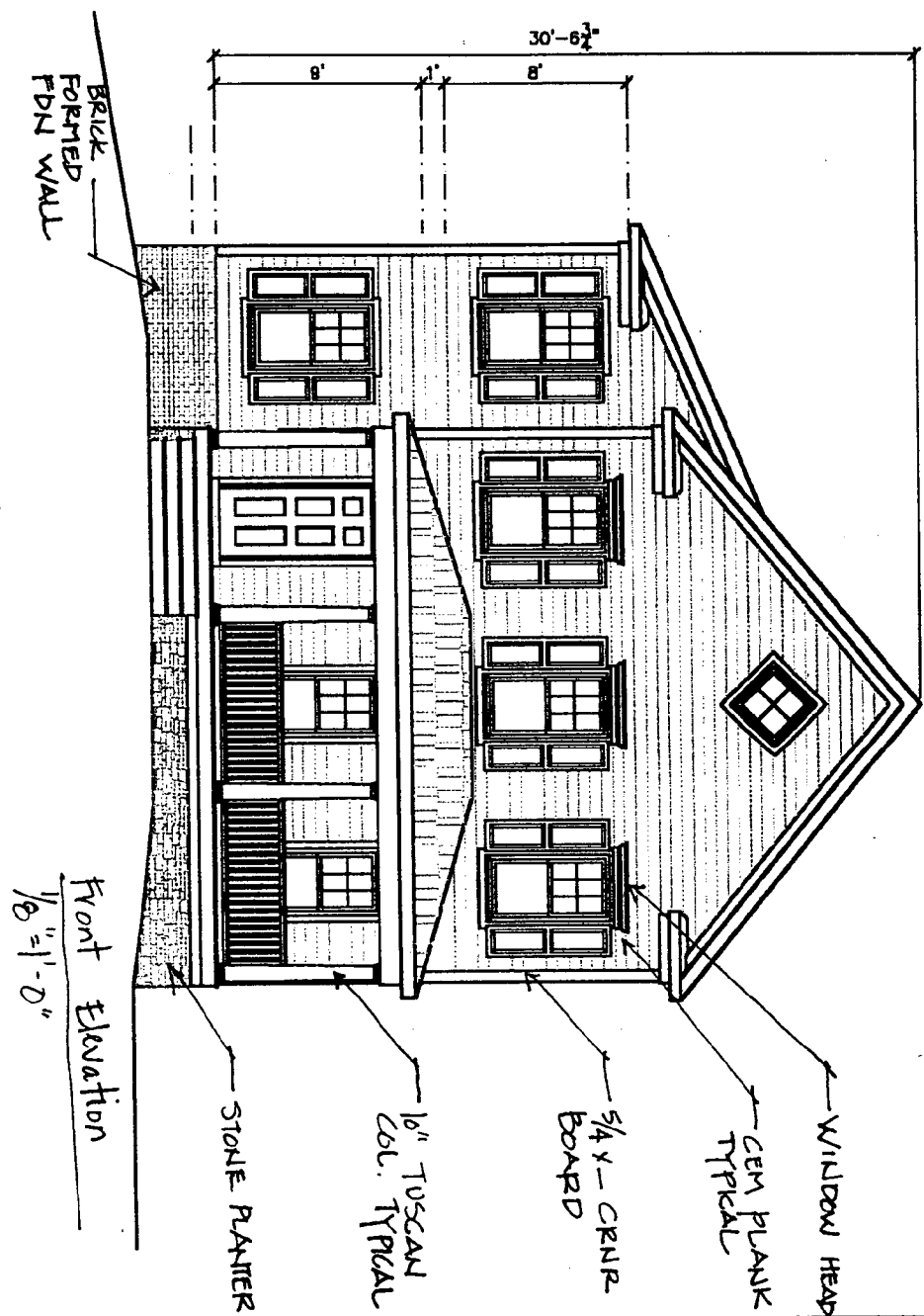
DEVELOPMENT PLAN	
SILVER SPRING PARKLAND	
LANDSCAPE PLAN	
DATE	1/17/77
SCALE	1" = 20'
PROJECT NO.	100-100-100
DESIGNER	...
CLIENT	...



THE TOPOGRAPHICAL FEATURES OF THE DISTRICT HAVE BEEN DETERMINED BY A LICENSED SURVEYOR. THESE FEATURES SHOULD BE SHOWN IN ALL FUTURE PLANS. ALL DIMENSIONS ARE REFERENCED TO THE FINISHED FLOOR ELEVATION. CONTOUR INTERVALS ARE 2 FEET. THE DISTRICT IS LOCATED IN THE CITY OF SILVER SPRING, MARYLAND. THESE PLANS HAVE BEEN APPROVED BY THE CITY ENGINEER AND THE DISTRICT ENGINEER. DATE: 1/17/77.



52



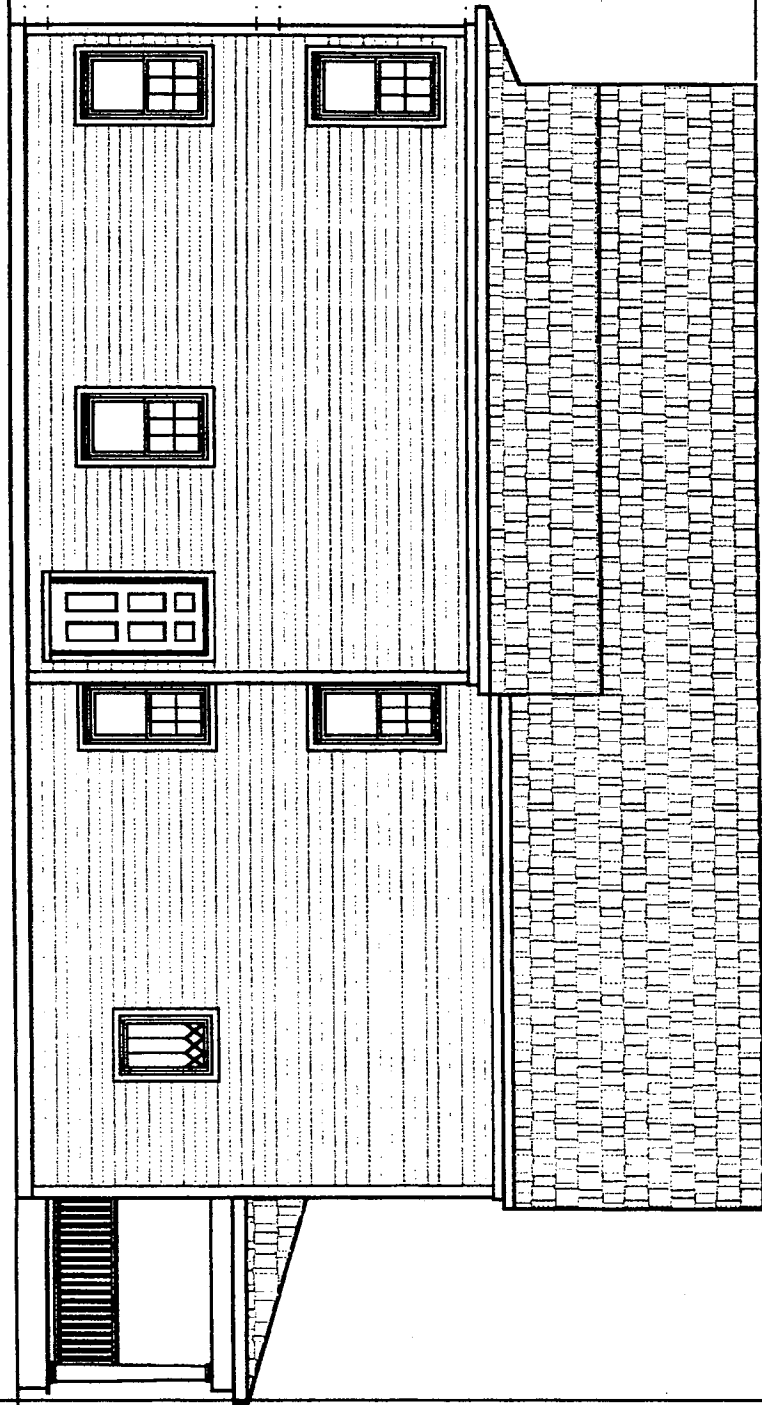
# LOT 27 HOLLOW GLEN PLACE



92

30'-6 1/2"

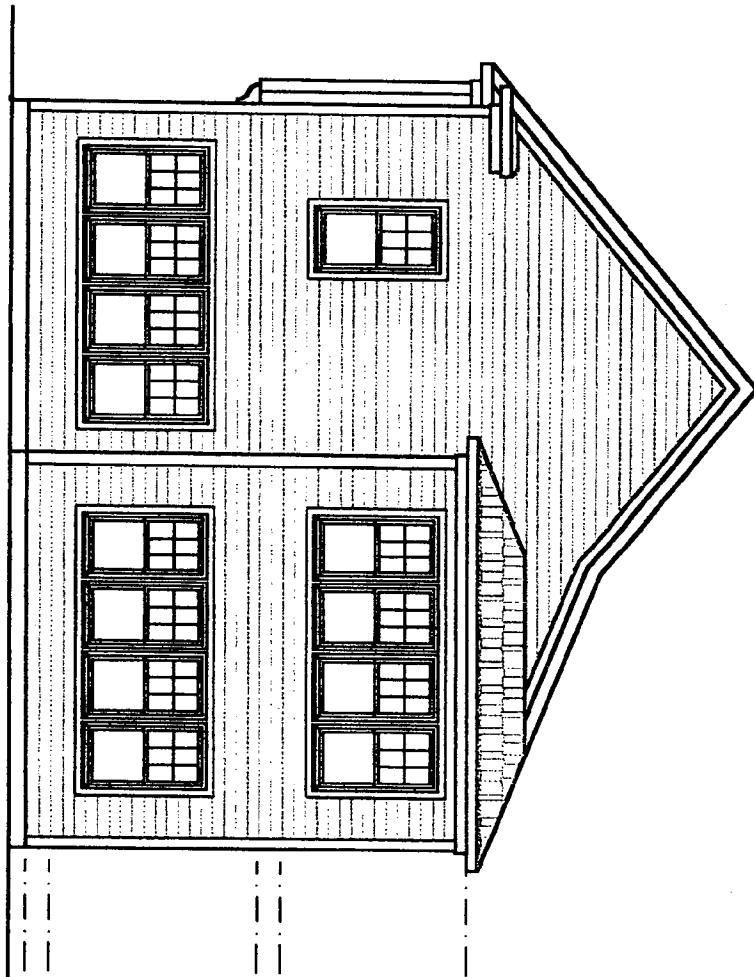
Left Elevation  
1/8" = 1'-0"



LOT 27 HOLLOW GLEN PLACE



29

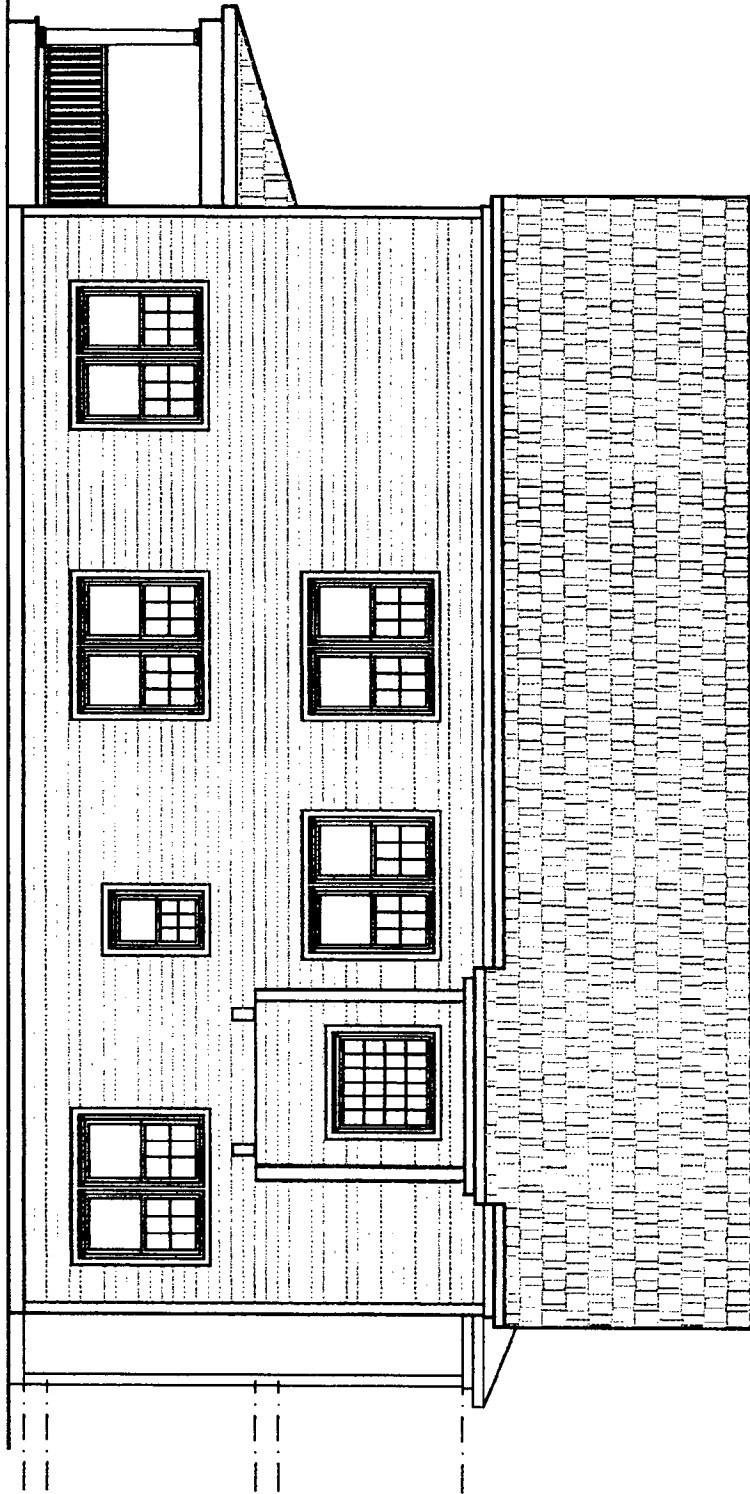


Rear Elevation  
1/8" = 1'-0"

LOT 27 HOLLOW GLEN PLACE



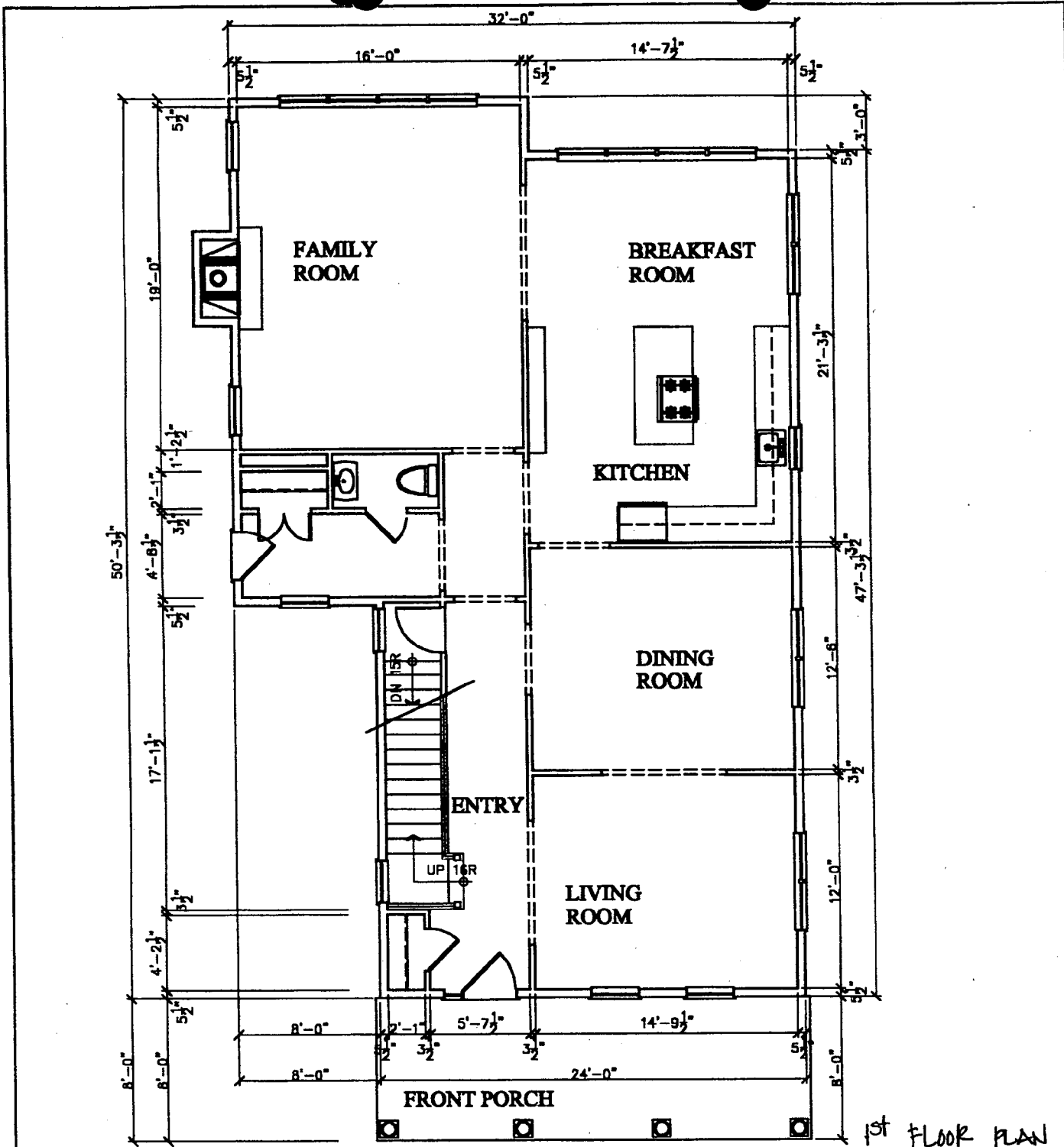
28



Right Elevation  
1/8" = 1' 0"

LOT 27 HOLLOW GLEN PLACE



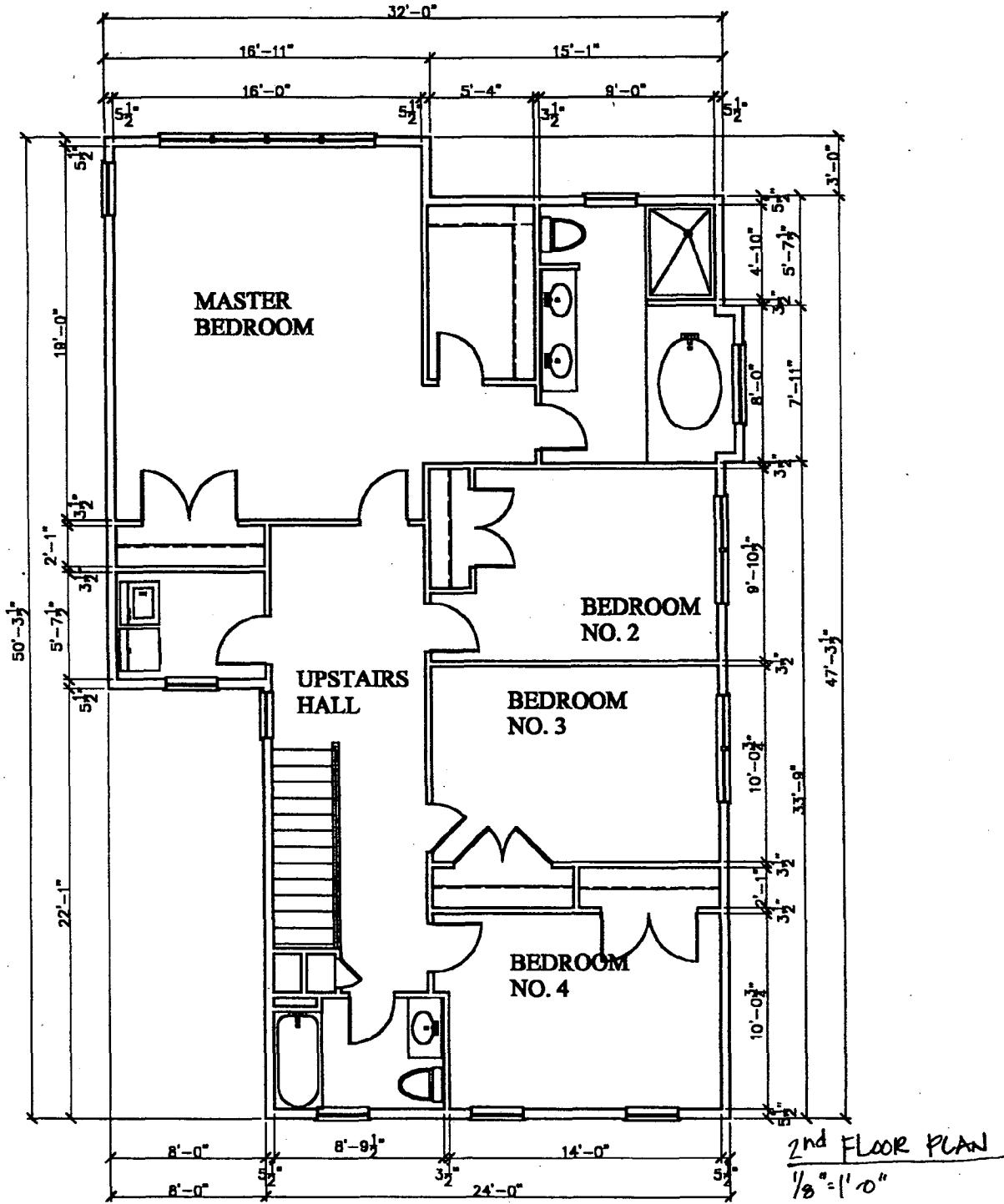


1st FLOOR PLAN  
 1/8" = 1'-0"

LOT 27 HOLLOW GLEN PL.



29



2nd FLOOR PLAN  
1/8" = 1'-0"

LOT 27 HOLLOW GLEN PL.



30

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Construction Contractor  
10219 Meredith Avenue  
Silver Spring, Maryland 20910  
301-588-5468

HOLMATT

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301-563-3412

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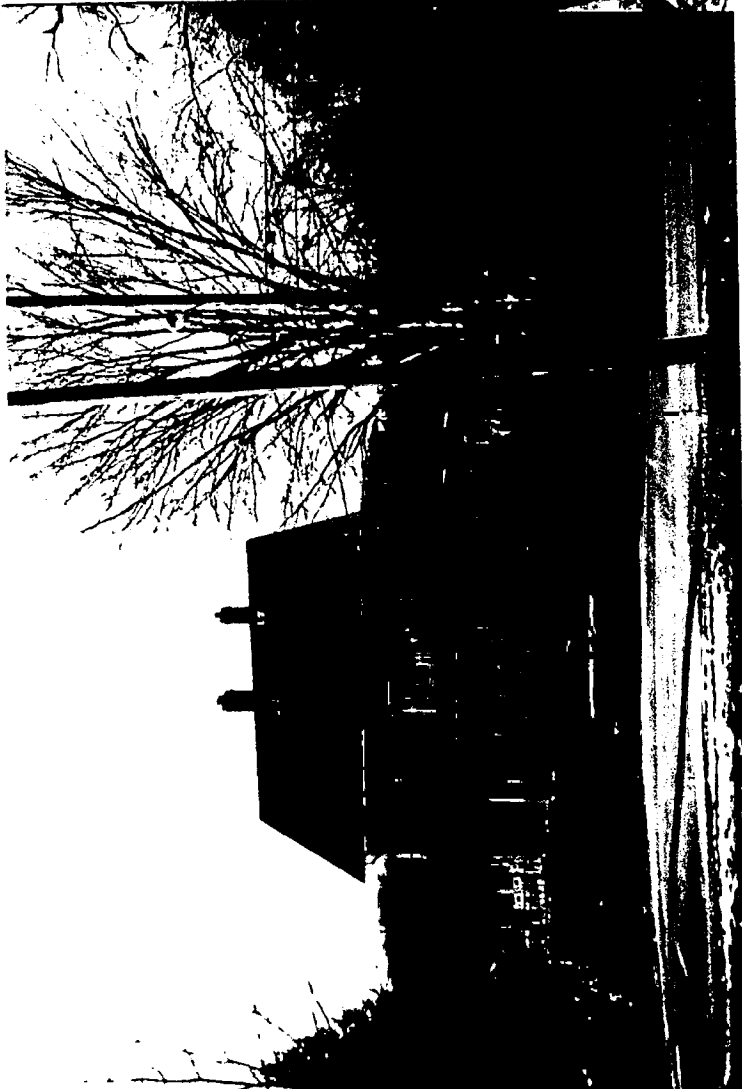
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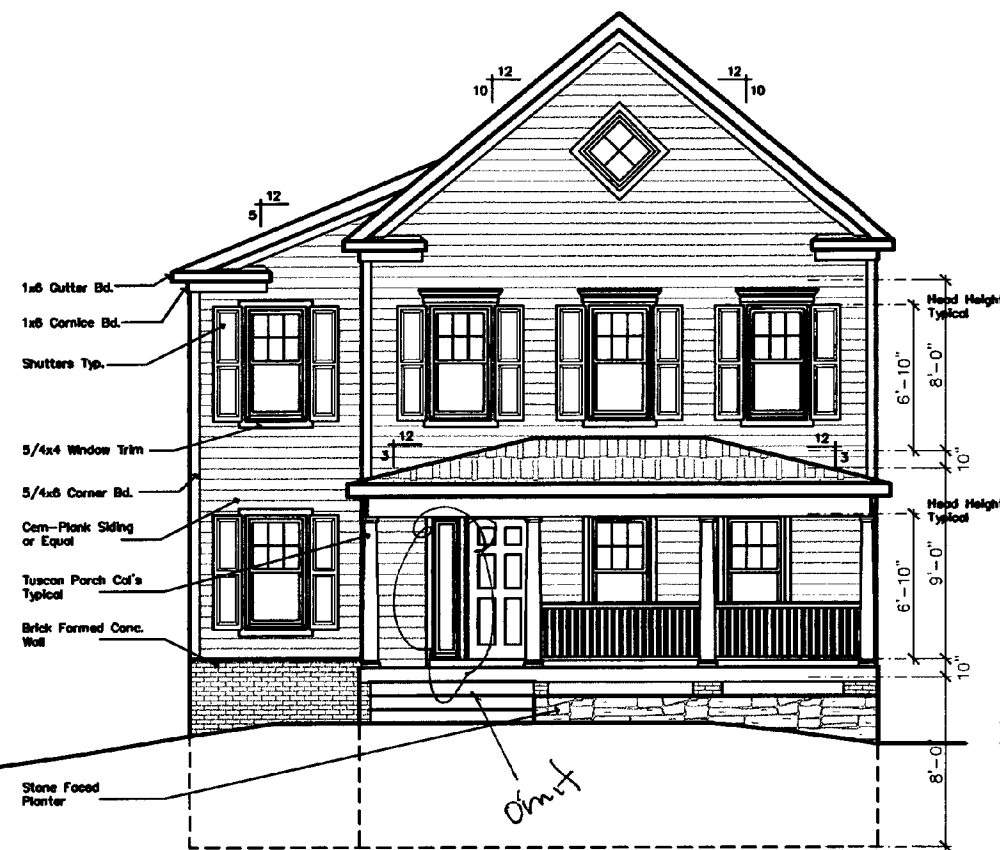
Sincerely,

Patrick Keating

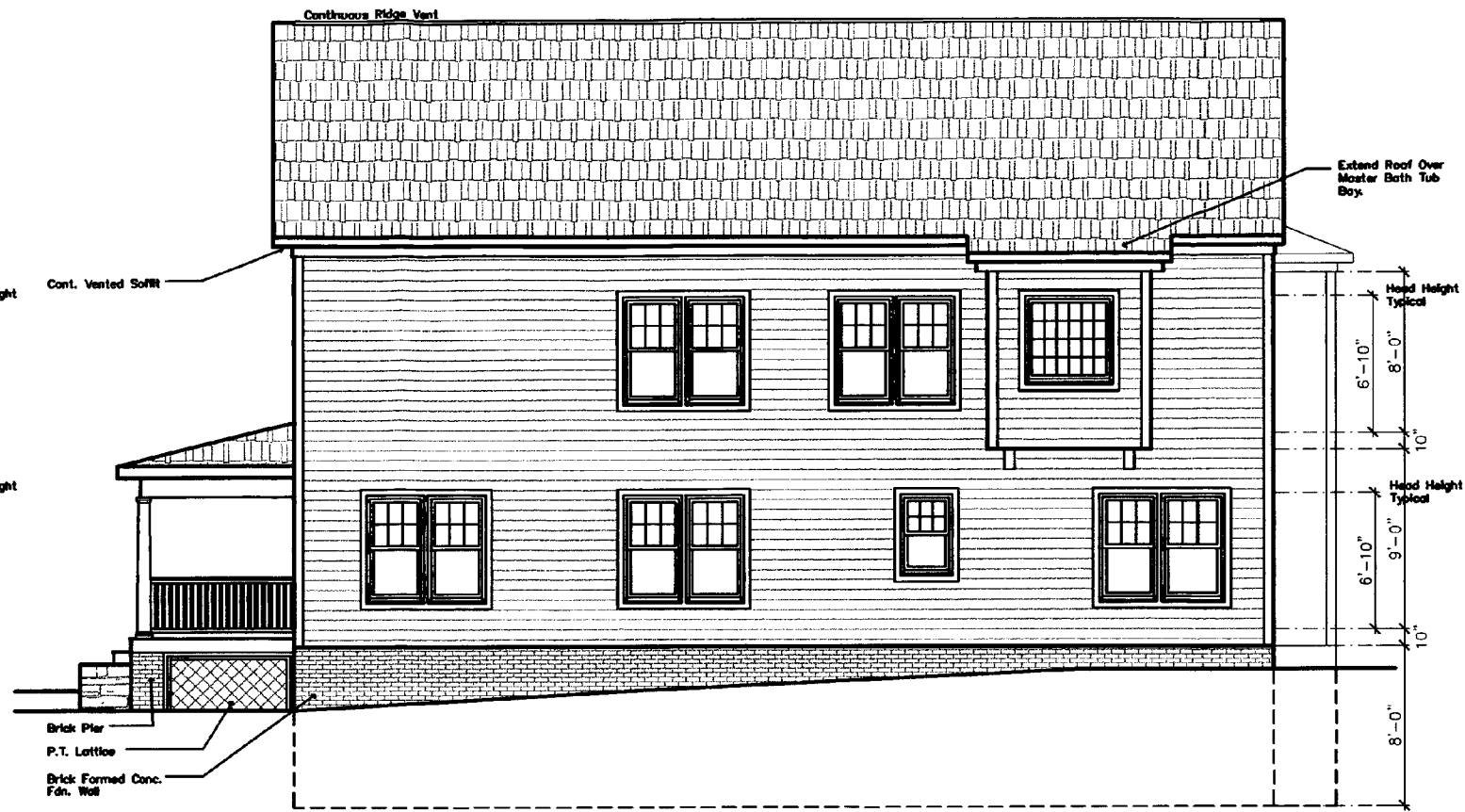




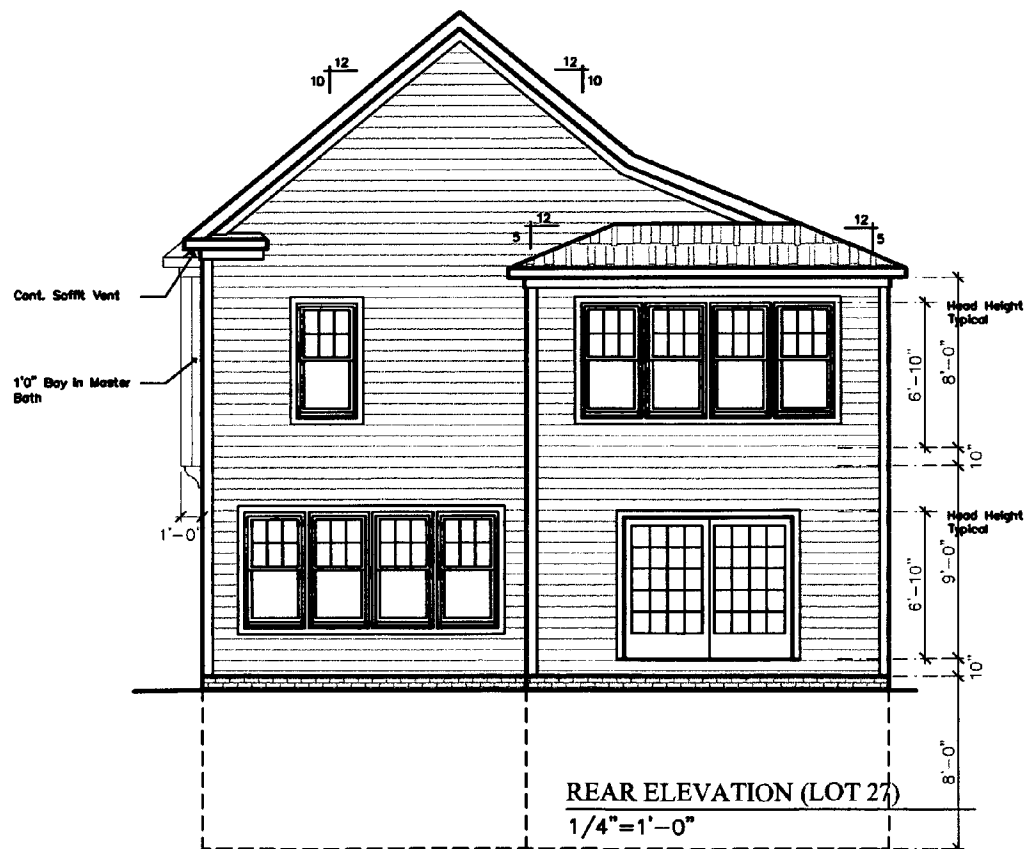




FRONT ELEVATION (LOT 27)  
1/4"=1'-0"



RIGHT ELEVATION (LOT 27)  
1/4"=1'-0"



REAR ELEVATION (LOT 27)  
1/4"=1'-0"



LEFT ELEVATION (LOT 27)  
1/4"=1'-0"

30

PROJECT:  
LOT 27  
HOLLOW GLEN PLACE  
FOREST GLEN, MD

BUILDER:  
PATRICK K. KEATING & COMPANY  
10219 MEREDITH AVE  
SILVER SPRING, MD 20910



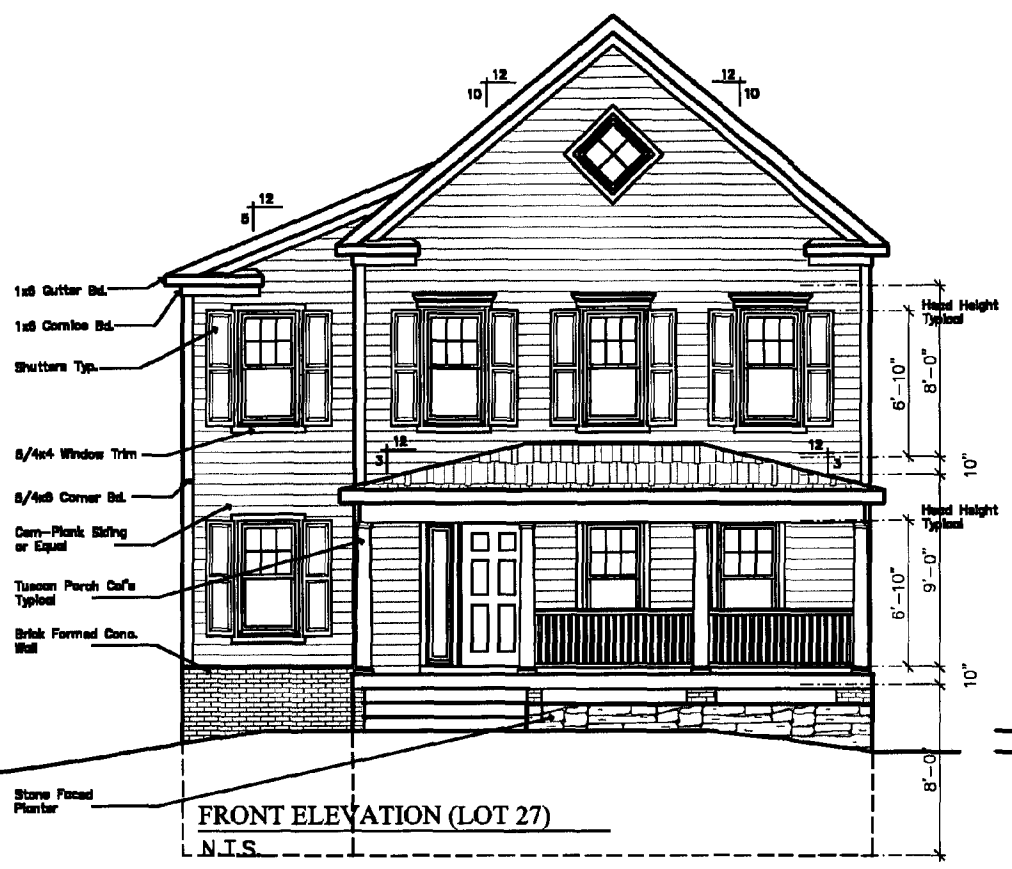
P.O. Box 507  
KENSINGTON, MD 20895  
PH: (301) 946-1155 FAX: (301) 929-6003

ISSUE:

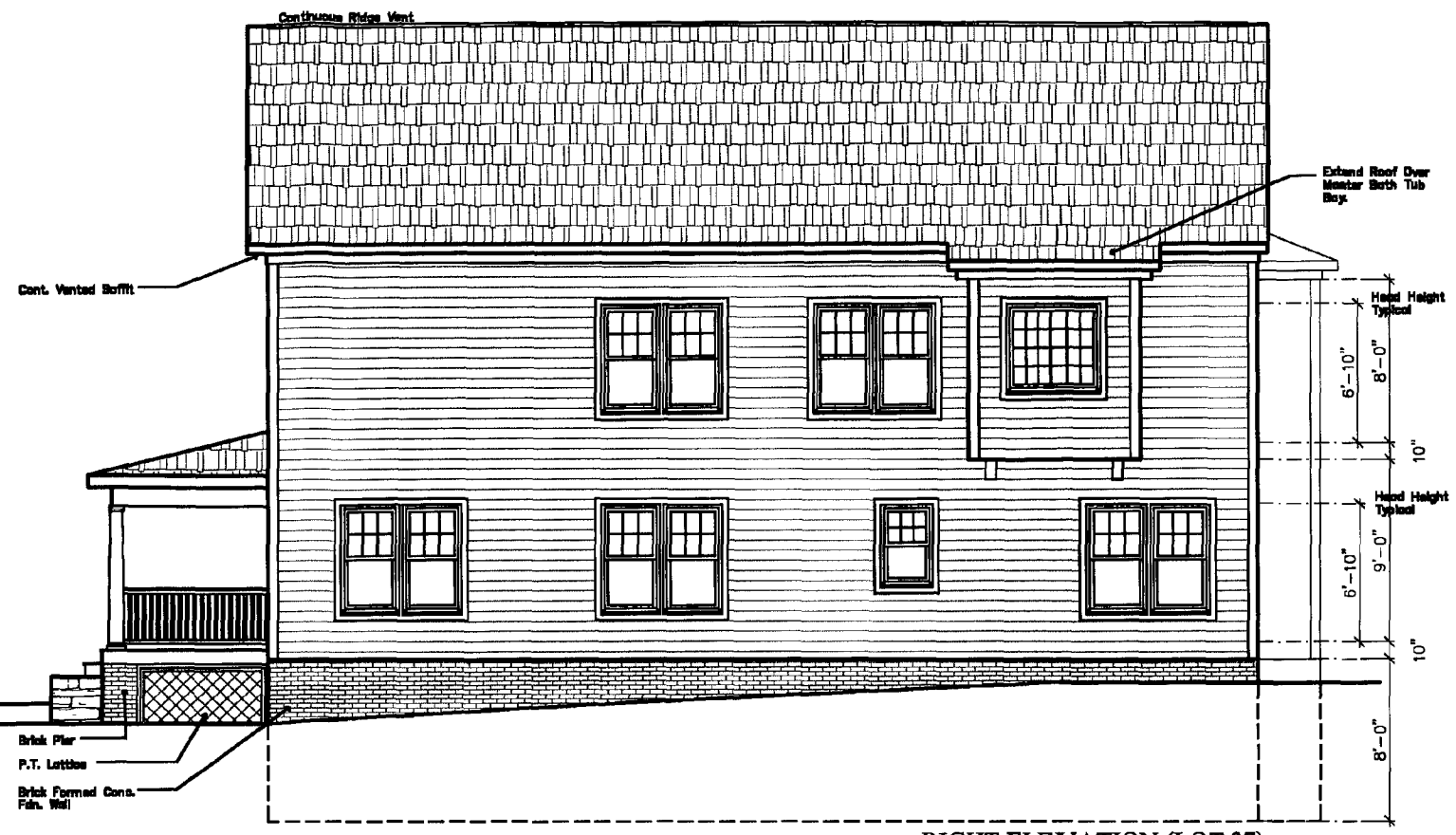
REVISION:


DRAWING:  
ELEVATIONS (LOT 27)

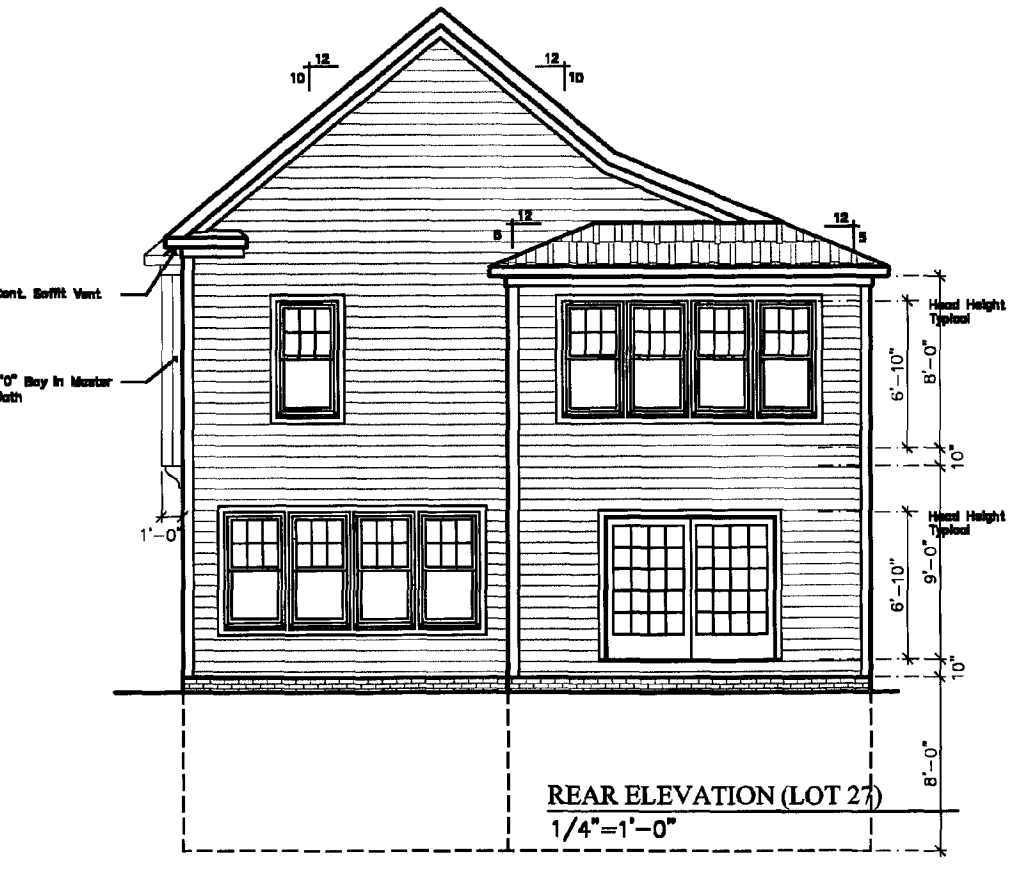
DWG #: A-5



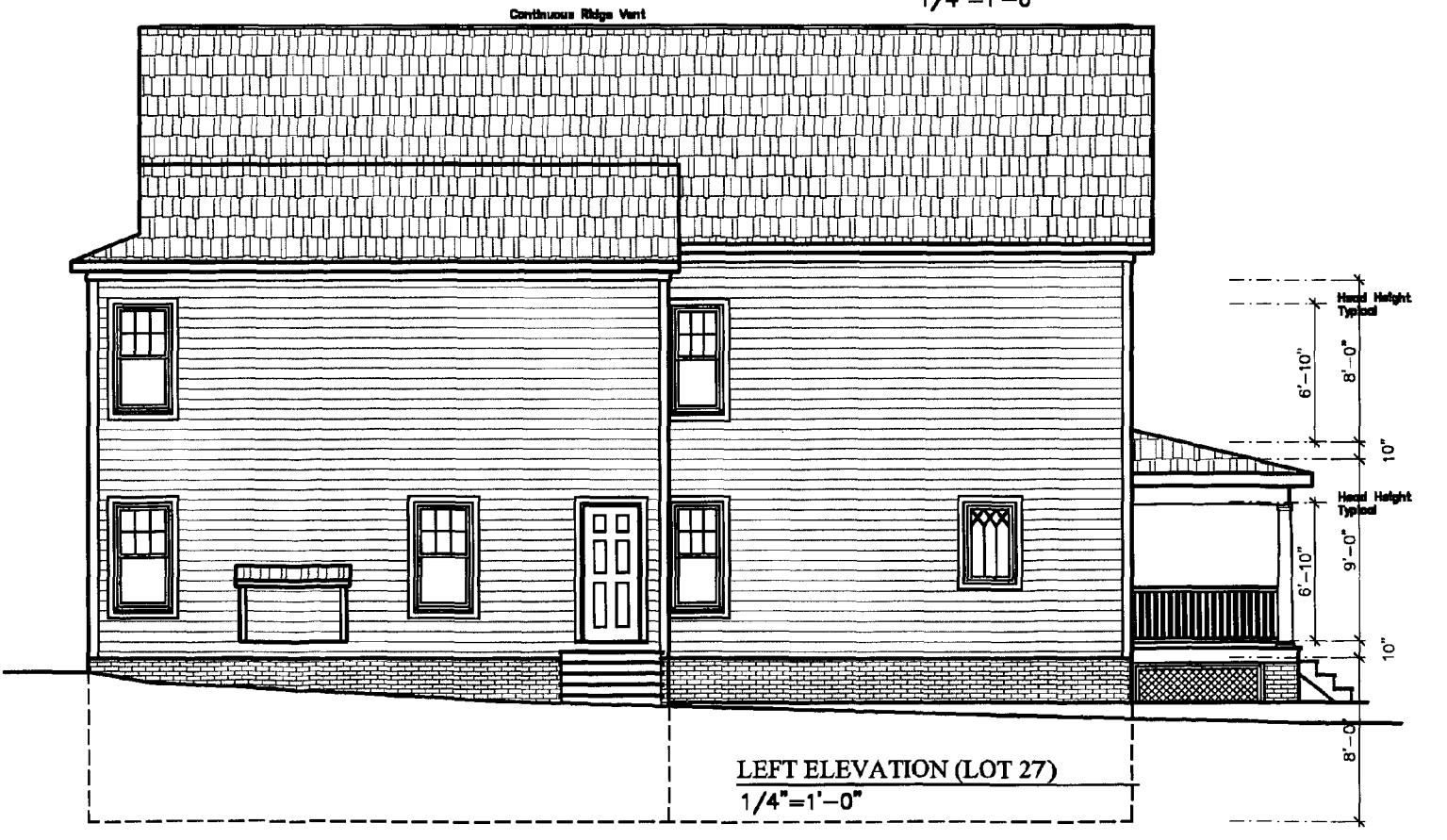
FRONT ELEVATION (LOT 27)  
N.T.S.



RIGHT ELEVATION (LOT 27)  
1/4"=1'-0"



REAR ELEVATION (LOT 27)  
1/4"=1'-0"



LEFT ELEVATION (LOT 27)  
1/4"=1'-0"

PROJECT:  
LOT 26  
HOLLOW GLEN PLACE  
FOREST GLEN, MD

BUILDER:  
PATRICK K. KEATING &  
COMPANY  
10219 MEREDITH AVE  
SILVER SPRING, MD 20910



P.O. BOX 507  
KENSINGTON, MD 20895  
PH: (301) 948-1158 FAX: (301) 929-6003  
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ISSUE:

REVISION:


DRAWING:  
ELEVATIONS (LOT 27)

PROJECT # 9914  
DRAWN BY: JH/JJM  
CHECKED BY:  
DATE:

DWG #:  
A-5

6/25/99

White oak (25 inch diameter) located at front left of property at 9803 Hollow Glen Place.

- 1) Install aeration matting to driveway area that is in conjunction with critical root zone of tree

# 1,500 -

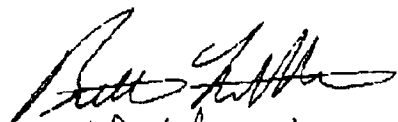
- 2) Soil drench with paclobutrazol to help facilitate new root growth.

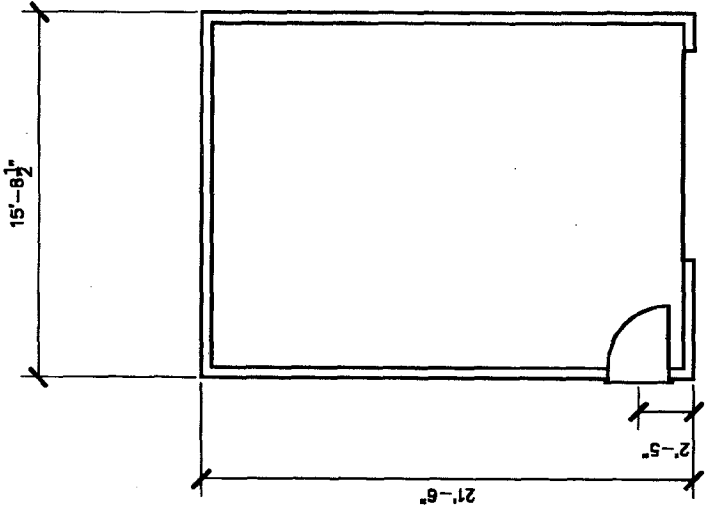
# 260 -

- 3) Liquid inject fertilizer with a mycorrhizal inoculant to help maintain health and facilitate new root hair growth (Best done in fall).

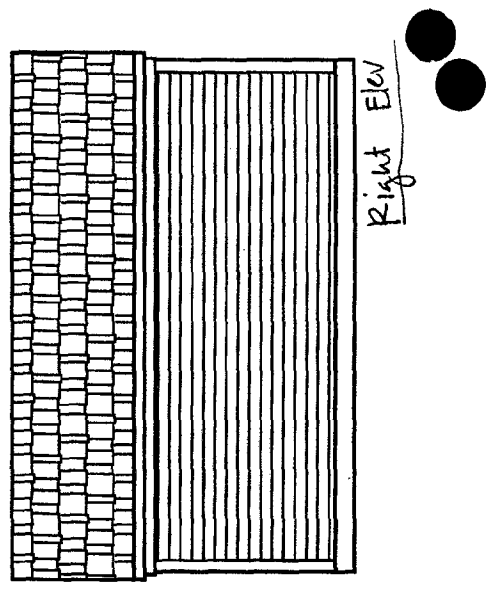
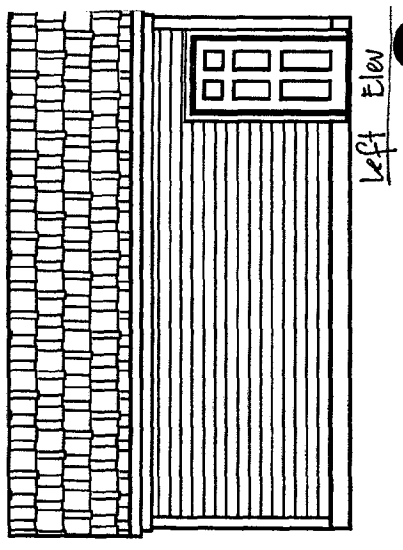
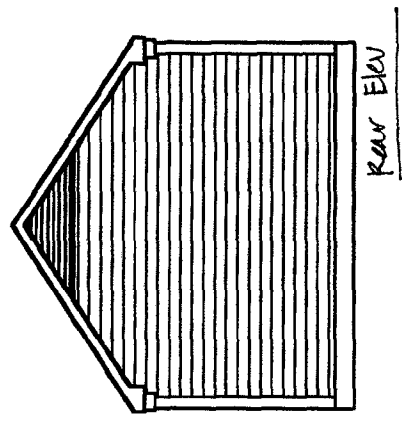
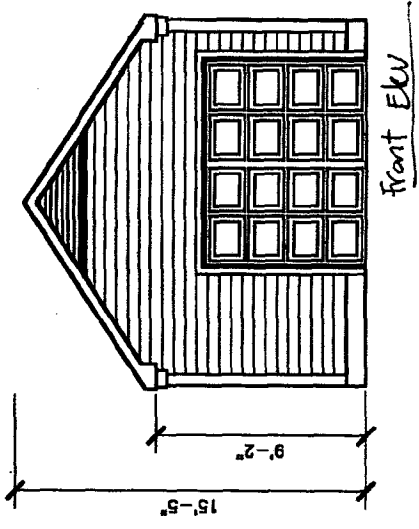
# 175 -

- Tree should be watered during summer months by letting water soak into ground around tree for 2 hours once a week (if no rain occurs).
- Fencing should be established around tree. The fence should go around entire tree and be at least 20 feet from the base of the tree.

  
Certified Arborist



Hollow  
 Glen Infillis: Garage Plan & Elevs.  
 6/16/99



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Construction Contractor  
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Silver Spring, Maryland 20910  
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LOT 26

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Patrick Keating



**DESIGN GUIDELINES**  
**Root Aeration Mat for Tree Preservation**  
 By the Care of Trees  
 March 1998

The purpose of the Root Aeration Mat is to provide necessary air/gas exchange between the atmosphere and the critical root zone that will be covered by a proposed fill situation. Root Aeration Mats have been employed successfully for many years in a wide variety of construction scenarios, including retaining walls, parking lots, state highways, and toe of slope conditions. Each site and application varies. Specialists familiar with tree root structure and functioning in construction are necessary to review the design situation, approve specifications and supervise installation. The following are standards that apply to a wide variety of situations:

1. Determine health and condition of trees in consideration.
2. Based upon accurate tree survey location including grade(s) at base of tree, determine the appropriate Critical Root Zone for the tree(s). Investigative digging may be needed since roots vary in width and depth with species, soil type, moisture level, and urban infrastructure involved. (Refer to CRZ sheets)
3. Review grading and utility plans to determine zones of cut and fill. Minimize cut and fill areas within the CRZ where possible. Some utilities proposed may fit into fill outside the curb and not impact the root system.
4. Determine square footage of Root Aeration Mat needed. Round arcs can be squared off to lessen angle cuts.
5. Determine the need for retaining wall for fill near tree trunk. No soil should ever contact that part of the tree normally above ground.
6. If a retaining wall or tree well is needed the footer cannot cut into grade more than 3"-6" based upon depth of lateral roots from investigative digging. Various walls that have worked in the past are 1. Dry laid stone (no mortar) 2. "Keystone" type wall system. 3. Timber wall with geogrid tie-backs. If footer beyond the frost line is required, a pier and beam approach has been used (Very expensive)
7. Whether or not a retaining wall or toe of slope is used it is necessary to design the venting system to allow the air/gas exchange between the soil surface and the aeration mat. This is typically a combination of highway grade flexible drain pipe and PVC at a size that fits the application.
8. Thickness of aeration matting is typically ½". For installation under structural fill the review of a geotechnical engineer is needed. Typically 24" is minimum needed between existing grade and proposed finish grade of pavement.
9. Develop the appropriate sequence of events to facilitate construction but not compromise protection of the tree root system.
10. Design other related tree protection items such as root pruning and silt/tree protection fence.
11. Prescribe proper arboriculture specifications appropriate for the tree including mulching; fertilization; selective removal of sapling, brush, and vine removal within the CRZ to be protected; crown pruning; cabling/lightning protection; and IPM needs.
12. Installation should always be by ISA Certified Arborist with experience in this type of work. Budget number for the root aeration mat is approximately \$ 2.00/ square foot installed.

**REFERENCE STANDARDS**

1. Standard Practices for Trees, Shrubs, and Other Woody Plant Maintenance, ANSI A300 December 1994.
2. National Arborist Association, Standards for Guying, Fertilization, Lightning Protection, and Hydraulic Sprayer Calibration, 1988.
3. ANSI Z133.1 - 1994, Tree Care Operations - Safety Requirements

Refer to "Installation Guidelines for Root Aeration Mat" by the Care of Trees.

