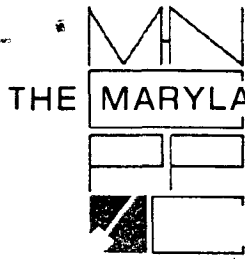


35/36-01A 5806 Warwick Place R
(Somerset Historic District)

one sided



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

**Historic Preservation Office
Department of Park & Planning**

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: Megan Mitchell FAX NUMBER: 301.652.4094

FROM: Robin Zerk

DATE: 9/7/01

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 2

NOTE:

For your file -
Robin

- OK at a staff level -

WIEDEMANN ARCHITECTS

ARCHITECTURE
PLANNING
INTERIORS

Gregory Wiedemann AIA

12 September 2001

Ms. Robin Ziek
Montgomery County Historic Preservation Commission
Maryland National Capital Park and Planning Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910-3760
VIA FAX 301.563.3412

RE: Hughes/Stern Residence
5806 Warwick Place
Permit No. 238984

Dear Robin:

This letter summarizes what we discussed at our site meeting this morning regarding the renovation and addition to 5806 Warwick Place, currently underway in Somerset. The contractor recently removed the aluminum siding that covered the original siding and clad the former addition to the residence. We are seeking the Commission's approval of the following items:

1. Removal of the deteriorating siding and the replacement with siding to match.
When it was removed the condition of the existing siding has raised several maintenance concerns that suggest to us that the existing deteriorating siding should be removed and replaced:
 - (a) Lack of Proper Moisture Barrier: There is no moisture barrier under the existing siding. The siding was installed over diagonal sheathing and rosin paper.
 - (b) Lack of Proper Insulation: There is no insulation in the exterior walls. Our client is interested in making the residence energy efficient and we were planning to place insulation in the exterior walls. The lack of a proper moisture barrier and the presence of exterior wall insulation will very likely accelerate the further deterioration of the existing siding.
 - (c) Lack of Proper Backpriming: The existing siding was not backprimed, promoting the absorption of moisture and the further deterioration of the paint on the exterior.
 - (d) Lack of Proper Flashing: The existing windows were not properly flashed, leading to deterioration of the siding at the head and jamb conditions where water was diverted from the head casing.

Portions of the existing siding on the north side are not original; it was added when the front door was relocated and a portion of the porch was enclosed. Much of that area is badly rotten and structural repair is required to the sill plate, wall framing, and sheathing that will require the removal of a significant portion of the exterior siding to execute the repair. Other portions of North side will need to be removed to install the new double Dining Room window shown on the approved plans.

*9/17/01 -
Staff approves
all this work -
While encouraging
presentation of siding
at 1st floor level under
porch, but not requiring it.
PZ*

We propose to remove the siding and retain the window casings and replace the narrow exposure lap siding with new siding of the identical profile as the original. This will permit us to backprime the siding, install a proper moisture barrier and flashing, as well as insulate the exterior wall without risking further deterioration.


2. Installation of siding on the new addition to match the existing narrow exposure siding profiles.
The second issue relates to the new siding to be used on the former addition and the new addition that we have designed. We originally proposed to double the exposure on the new portion to contrast it with the original house. As you can see from the attached sketches, our original proposal did not clearly define the line between the old and new. The original house extended to the line of the porch columns. After seeing the house with the original siding, we began to reconsider our decision to contrast the exposure and would like to seek approval for installing a similar exposure siding on the new additions with a vertical batten to delineate the historic building from the newer additions on the street façade only. The only other intersection between old and new, along the right side, is clearly delineated by a setback of the new building and by a contrasting stucco foundation wall. A sketch of the originally proposed front façade is attached, along with a sketch of the currently proposed solution.

The other houses of similar period on Warwick Street all have narrow exposure siding for both the new and the original siding, and we feel that this approach will be more sympathetic with the street, while more accurately delineating the edge of the original house. Unlike some of its neighbors, 5806 Warwick Place will have a very clear demarcation between new and old. The use of vertical battens where the new and old portions meet, by the change in the foundation from stone to stucco, and the clear offset in plane along the North side all provide a clear line between old and new.

We propose to use the same narrow exposure lap siding of the identical profile as the original for all new work and use the change of plane and vertical batten at the intersection of the new and the original portions of the house. We believe this is more consistent with the other houses on the block and more aesthetically pleasing, while preserving the distinction between old and new.

Thank you for meeting with us at the site earlier today to discuss these matters. I look forward to receiving the Commission's decision regarding the above items.

Sincerely,



Greg Wiedemann, AIA
Principal
WIEDEMANN ARCHITECTS
enclosures

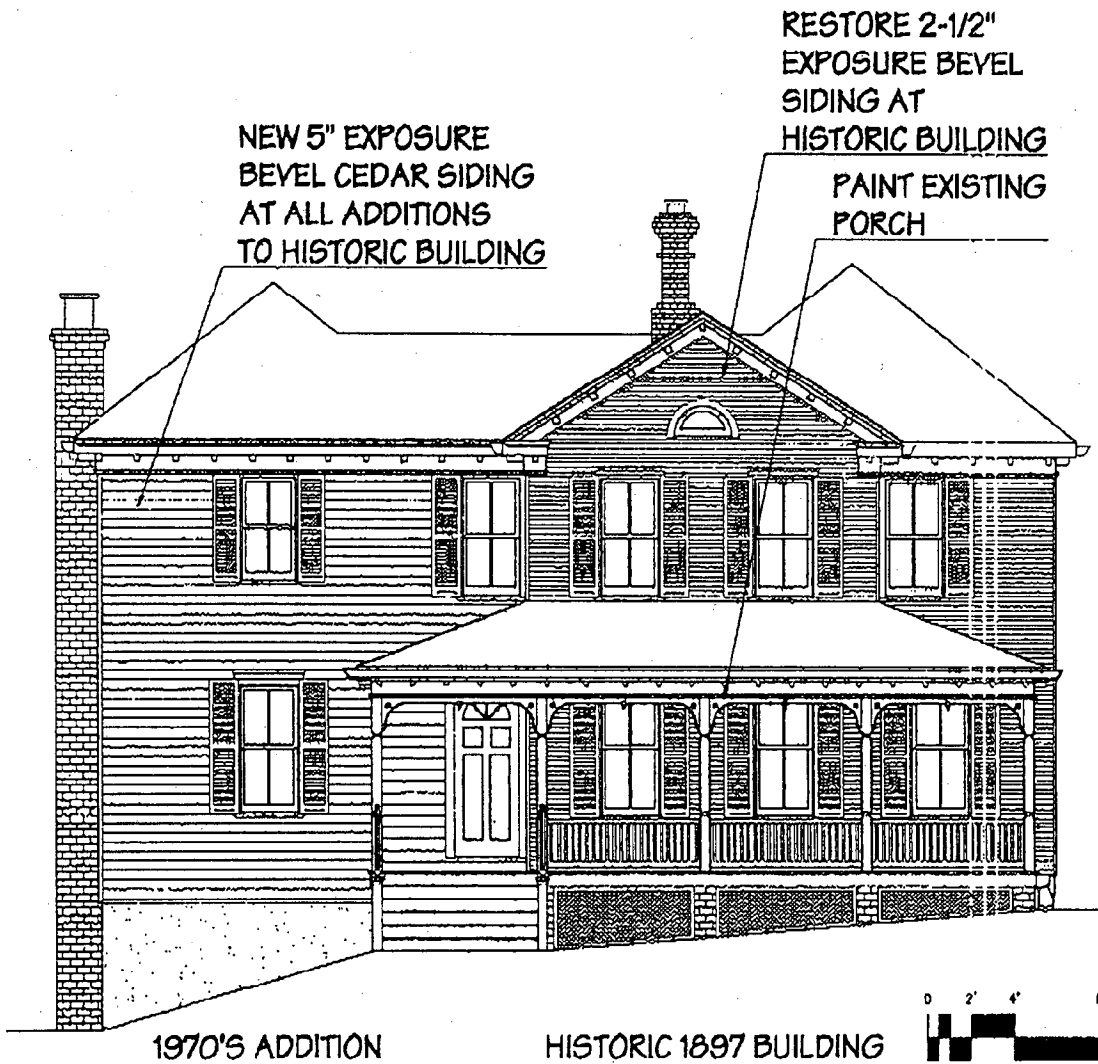
WIEDEMANN ARCHITECTS

Project: Hughes Stern Residence

Sketch: Originally Proposed Street Facade

Scale: SCALE: 1/8" = 1'-0"

Date: 12 September 2001

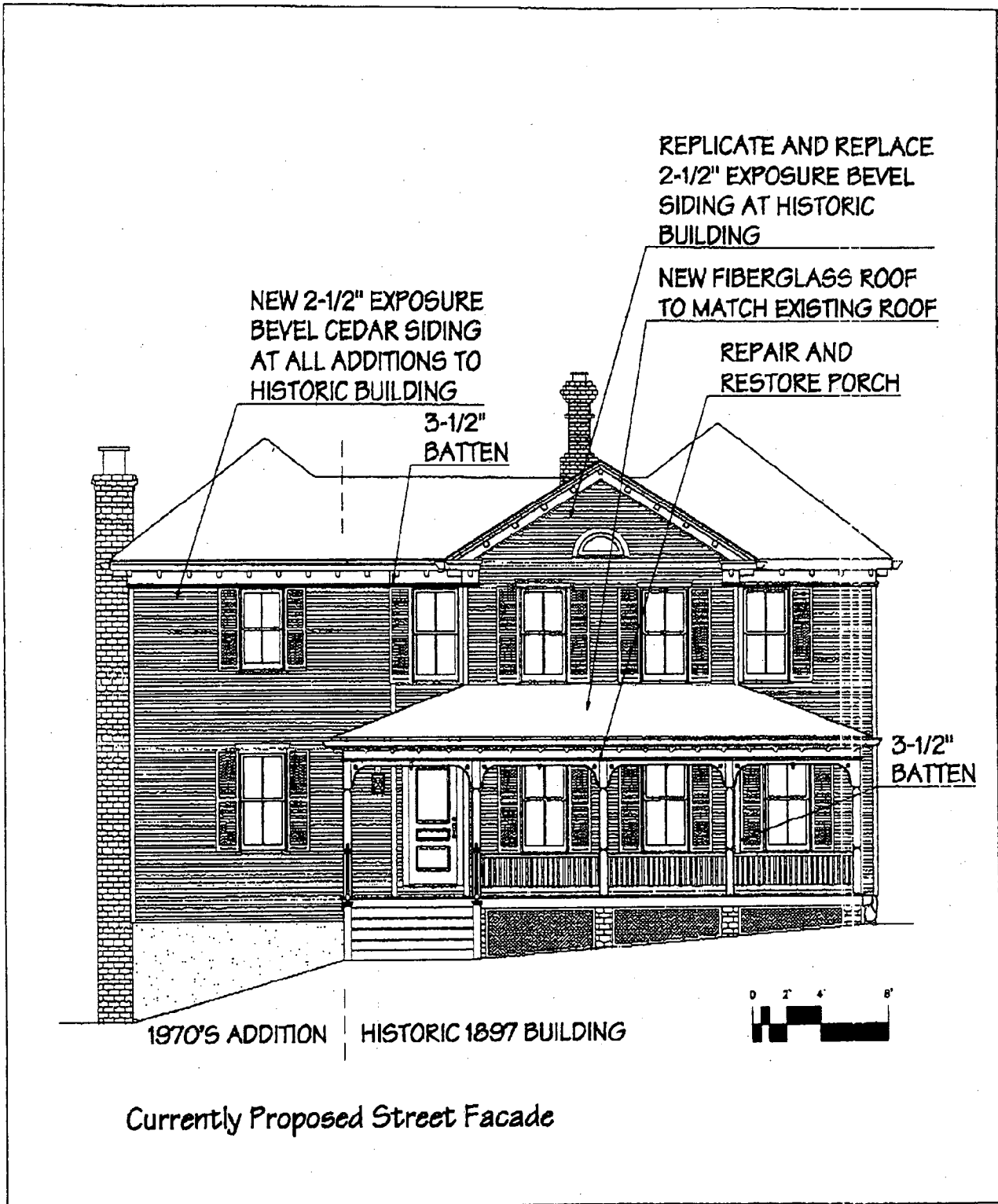


Originally Proposed Street Facade

WIEDEMANN ARCHITECTS

Project: Hughes Stern Residence
Scale: SCALE: 1/8" = 1'-0"

Sketch: Currently Proposed Street Facade
Date: 12 September 2001



WIEDEMANN ARCHITECTS

ARCHITECTURE
PLANNING
INTERIORS

Gregory Wiedemann AIA

17 August 2001

Ms. Robin Ziek
Montgomery County Historic Preservation Commission
Maryland National Capital Park and Planning Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

RE: **Hughes/Stern Residence**
5806 Warwick Place
Permit No. 238984

*Forest Products Laboratory
Been planning permits
- local rep or
clients +*

Dear Robin:

As you recall we are the architects for Tracy Hughes and David Stern for the renovation and addition to 5806 Warwick Place in Somerset. Construction is substantially underway; the addition is now framed and the windows are beginning to be installed. There are three issues that have arisen that we wanted to bring to the Commission's attention and are writing to seek your advice regarding their approval.

*oil-based
primer ->
latex top
(BAT)*

The first relates to the original historic narrow exposure double bevel siding. Upon removal of the aluminum siding, it was discovered that the historic siding was in poor condition. The original siding had not been installed over building paper and it had not been back-primed when it was originally installed. In the opinion of the general contractor and a painting consultant, the original siding will not withstand stripping and repainting. The painter will not guarantee that the new paint over the original siding will not prematurely peel due to the condition of the siding and its lack of proper installation. We would like to seek permission to remove the original siding and replace it with bevel siding of exactly the same profile as the original. This will permit us to install it over a vapor barrier and properly prepare the siding for new paint.

The second issue relates to the new siding to be used on the former addition and the new addition that we have designed. We originally proposed to double the exposure on the new portion to contrast it with the original house. As you can see from the attached sketches, our original proposal did not clearly define the line between the old and new. The original house extended to the line of the porch columns. After seeing the house with the original siding, we began to reconsider our decision to contrast the exposure and would like to seek approval for installing a similar exposure siding on the new additions with a vertical batten to delineate the historic building from the newer additions on the street façade only. The only other intersection between old and new, along the right side, is clearly delineated by a setback of the new building and by a contrasting stucco foundation wall. A sketch of the originally proposed front façade is attached, along with a sketch of the currently proposed solution.

I recall that you had suggested the use of a batten as a means of delineating the end of the original house. The other houses of similar period on Warwick Street all have narrow exposure siding for
5272 River Road Kenwood Building Suite 610 Bethesda Maryland 20816 301.652.4022 FAX 301.652.4094

both the new and the original siding, and we feel that this approach will be more sympathetic with the street, while more accurately delineating the edge of the original house.

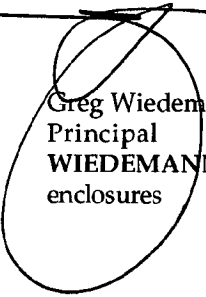
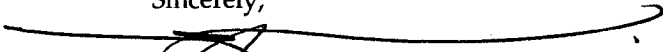
Maintenance ✓

The third issue related to the original front porch. Originally we anticipated only minor repairs and painting of the front porch. Upon further investigation, we discovered a failing foundation, a rotting porch floor and porch rails, leaning porch columns, and an unventilated roof. We would like seek approval to restore the porch by stabilizing the foundation, replace the porch decking with tongue and groove fir boards similar to the existing, replace the porch railings with exact profiles of the existing, and straighten the leaning porch columns. The original porch columns and decorative trim would be stripped and repainted. The fiberglass roofing on the porch would be replaced with a new fiberglass roof similar to the existing, with a vent at the intersection with the exterior wall to permit the porch roof to be ventilated.

Please advise us on the procedures necessary to have these three proposals approved by the Historic Preservation Commission and the Town of Somerset. We believe that they are consistent with the prior approvals, but since they differ from the original approved scope of work we seek approval to proceed with the work as outlined above.

Megan Mitchell or I would be pleased to meet you at the site if you would like to examine the conditions in person. Please give me a call at your convenience to discuss these matters.

Sincerely,

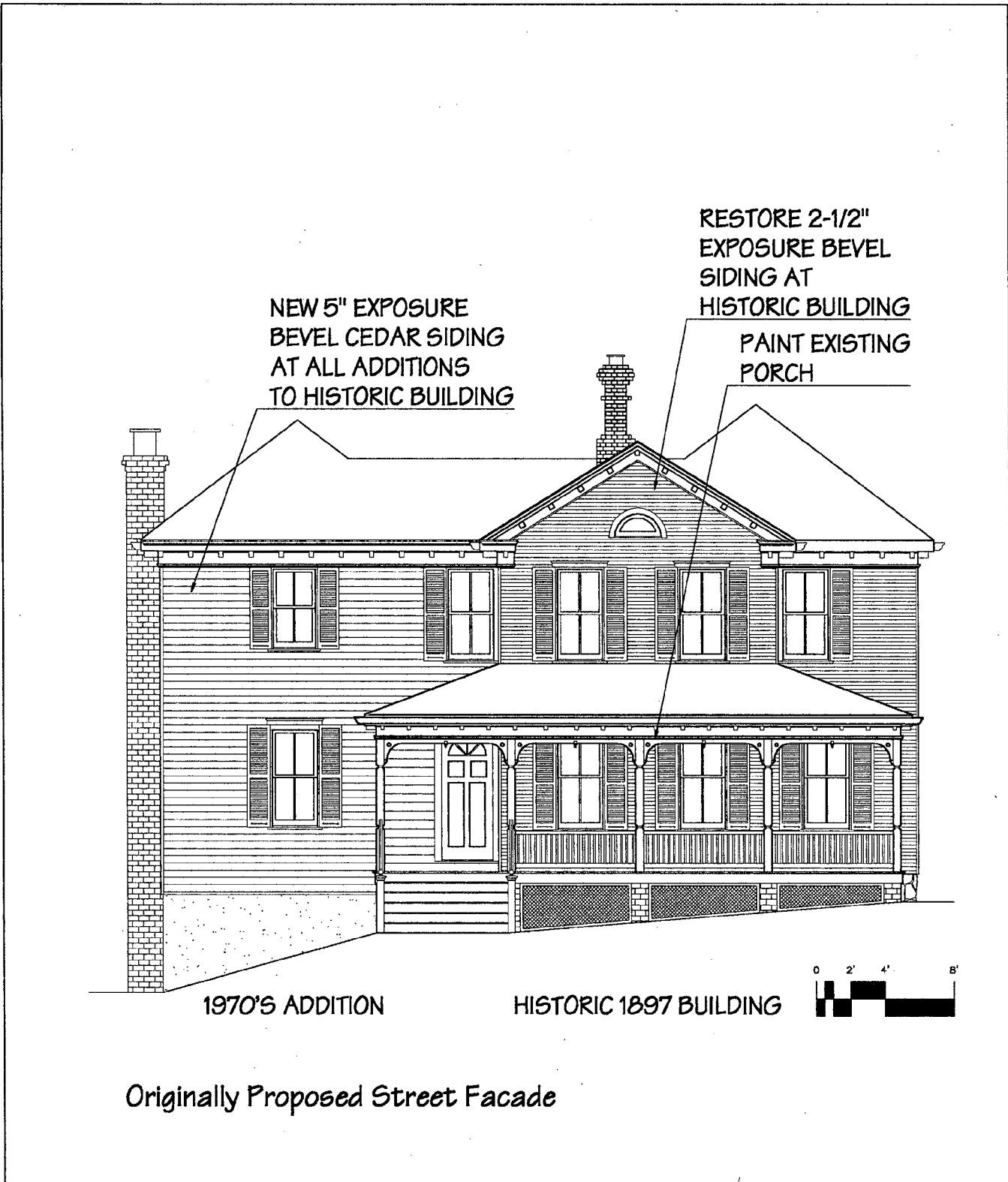


Greg Wiedemann, AIA
Principal
WIEDEMANN ARCHITECTS
enclosures

WIEDEMANN ARCHITECTS

Project: Hughes Stern Residence
Scale: SCALE: 1/8" = 1'-0"

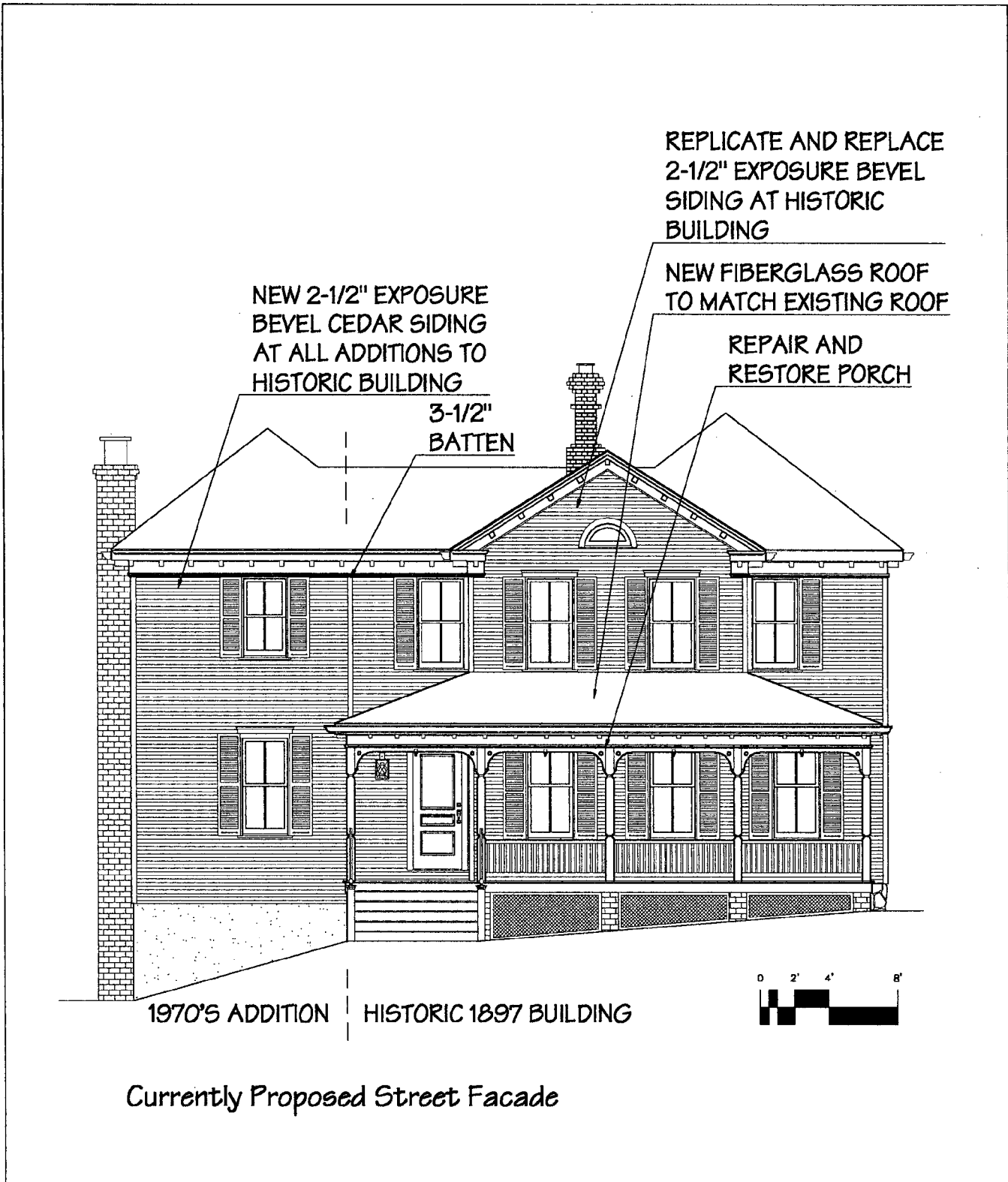
Sketch: Originally Proposed Street Facade
Date: 17 August 2001



WIEDEMANN ARCHITECTS

Project: Hughes Stern Residence
Scale: SCALE: 1/8" = 1'-0"

Sketch: Currently Proposed Street Facade
Date: 17 August 2001



WIEDEMANN ARCHITECTS

ARCHITECTURE
PLANNING
INTERIORS

Gregory Wiedemann AIA

18 September 2001

Ted Peterson
Peterson & Collins, Inc.
2332 Ontario Road, NW
Washington, DC 20009

RE: Hughes/Stern Residence
5806 Warwick Place
Permit No. 238984

Dear Ted:

As you recall, we met last week at the site with Robin Ziek regarding the siding at 5806 Warwick Place in Somerset. We sought the approval of the Montgomery County Historic Preservation Commission staff to replace the historic siding with new material to match the original and to use the same siding for the new work.. This letter is to inform you of the Commission staff's ruling yesterday on the matters in question:

1. Removal of the deteriorating siding and the replacement with siding to match.
When it was removed the condition of the existing siding has raised several maintenance concerns that suggest to us that the existing deteriorating siding should be removed and replaced:
 - (a) Lack of Proper Moisture Barrier: There is no moisture barrier under the existing siding, The siding was installed over diagonal sheathing and rosin paper.
 - (b) Lack of Proper Insulation: There is no insulation in the exterior walls. Our client is interested in making the residence energy efficient and we were planning to place insulation in the exterior walls. The lack of a proper moisture barrier and the presence of exterior wall insulation will very likely accelerate the further deterioration of the existing siding.
 - (c) Lack of Proper Backpriming: The existing siding was not backprimed, promoting the absorption of moisture and the further deterioration of the paint on the exterior.
 - (d) Lack of Proper Flashing: The existing windows were not properly flashed, leading to deterioration of the siding at the head and jamb conditions where water was diverted from the head casing.

Portions of the existing siding on the north side are not original; it was added when the front door was relocated and a portion of the porch was enclosed. Much of that area is badly rotten and structural repair is required to the sill plate, wall framing, and sheathing that will require the removal of a significant portion of the exterior siding to execute the repair. Other portions of North side will need to be removed to install the new double Dining Room window shown on the approved plans.

We proposed to remove the siding and retain the window casings and replace the narrow exposure lap siding with new siding of the identical profile as the original. This will permit us
5272 River Road Kenwood Building Suite 610 Bethesda Maryland 20816 301.652.4022 FAX 301.652.4094

to backprime the siding, install a proper moisture barrier and flashing, as well as insulate the exterior wall without risking further deterioration.

The Montgomery County Historic Preservation Commission approved the replacement of the siding at the area of the in-filled porch and along the entire North side of the house. They also approved our request to replace the siding on the remainder of the historic house, while strongly encouraging us (but not requiring us) to consider restoring the portion of the siding below the porch. They also requested that we restore as many of the vertical corner boards and battens where possible. The replacement of any deteriorated corner boards and trim is approved. The replacement of any deteriorated corner boards and vertical battens should be made with material of the same dimension and relationship to the adjacent siding as the existing.

While we are pleased that the Commission approved our request to replace the siding, we are sensitive to the desire to retain portions of the historic fabric than can be reasonably reused without compromising the long-term performance of the exterior. We therefore request that you use your professional judgement and retain those portions of the original fabric than can be safely removed, properly prepared, and reused.

2. Installation of siding on the new addition to match the existing narrow exposure siding profiles.

The second issue relates to the new siding to be used on the former addition and the new addition that we have designed. We originally proposed to double the exposure on the new portion to contrast it with the original house. As you can see from the attached sketches, our original proposal did not clearly define the line between the old and new. The original house extended to the line of the porch columns. After seeing the house with the original siding, we began to reconsider our decision to contrast the exposure and would like to seek approval for installing a similar exposure siding on the new additions with a vertical batten to delineate the historic building from the newer additions on the street façade only. The only other intersection between old and new, along the right side, is clearly delineated by a setback of the new building and by a contrasting stucco foundation wall. A sketch of the originally proposed front façade is attached, along with a sketch of the currently proposed solution.

The other houses of similar period on Warwick Street all have narrow exposure siding for both the new and the original siding, and we feel that this approach will be more sympathetic with the street, while more accurately delineating the edge of the original house. Unlike some of its neighbors, 5806 Warwick Place will have a very clear demarcation between new and old. The use of vertical battens where the new and old portions meet, by the change in the foundation from stone to stucco, and the clear offset in plane along the North side all provide a clear line between old and new.

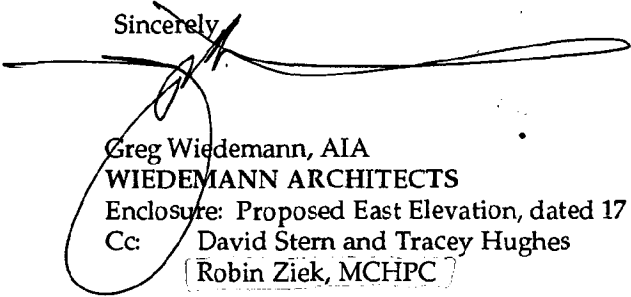
We propose to use the same narrow exposure lap siding of the identical profile as the original for all new work and use the change of plane and vertical batten at the intersection of the new and the original portions of the house. We believe this is more consistent with the other houses on the block and more aesthetically pleasing, while preserving the distinction between old and new.

The Montgomery County Historic Preservation Commission approved our request. Please fabricate siding in a profile identical to the original historic siding for use for all new work and the replacement siding mentioned above. Please note the attached sketch that shows the introduction of a vertical batten in portions of the East façade that clearly demark the junction between the old and the new building.

I have discussed these matters with David Stern. David reiterated his interest in insulating the existing exterior walls and addressing the technical concerns we have both raised as summarized in Item 1 above. He is interested in restoring the exterior to a condition that will not require additional maintenance of the historic portion of the project. Please proceed as indicated above.

Thank you.

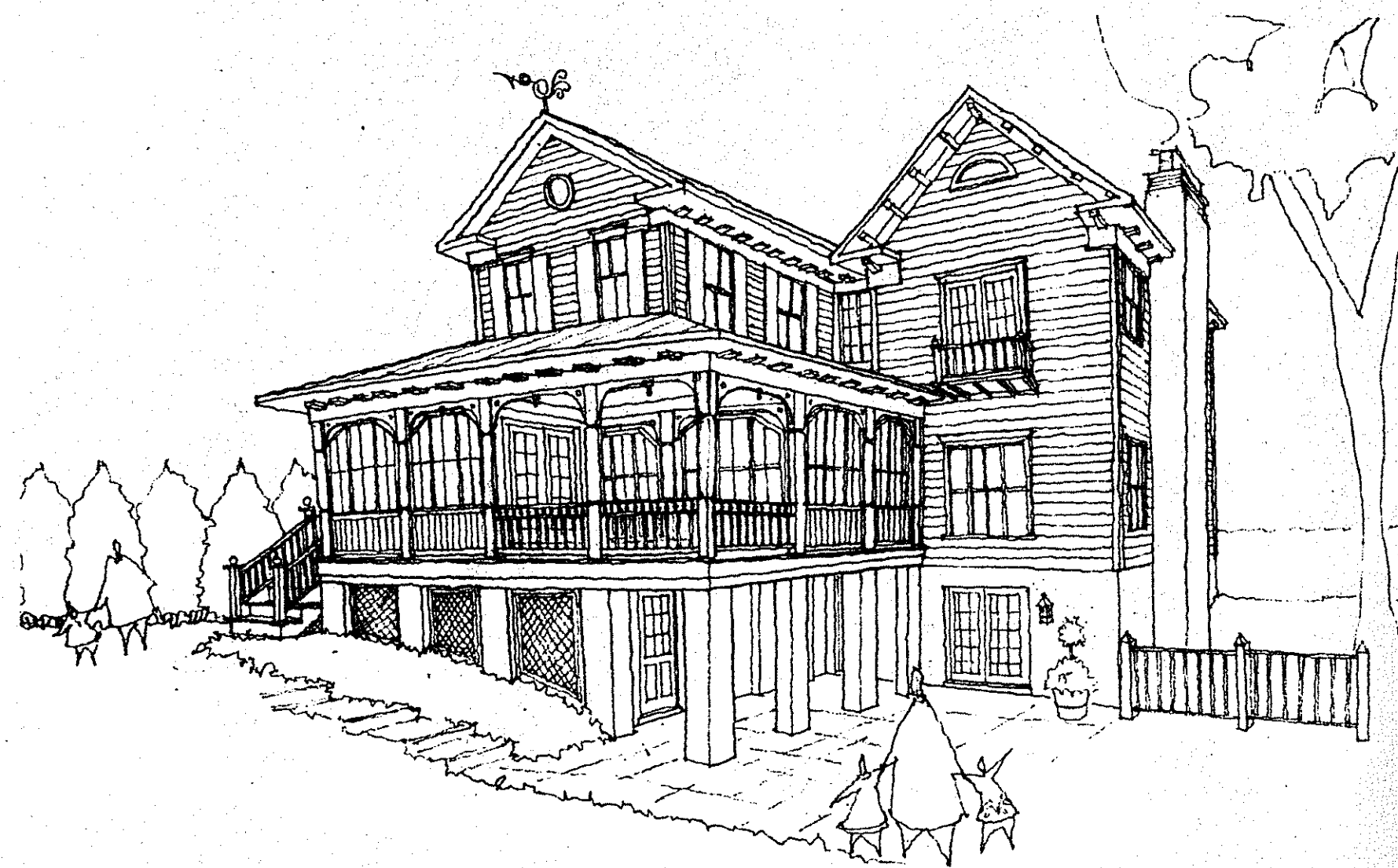
Sincerely,



Greg Wiedemann, AIA
WIEDEMANN ARCHITECTS

Enclosure: Proposed East Elevation, dated 17 August 2001, showing vertical batten locations.

Cc: David Stern and Tracey Hughes
Robin Ziek, MCHPC



3 VIEW OF ADDITION
SP-1

ZONING SUMMARY:

SITE	LOT 15, BLOCK B-3
LOT AREA	17,093 SQUARE FEET
ZONE	R-60
ALLOWABLE LOT COVERAGE	35% (5,983 SQUARE FEET)
EXISTING LOT COVERAGE	14% (2,338 SQUARE FEET)
PROPOSED LOT COVERAGE	16% (2,746 SQUARE FEET)

YARD REQUIREMENTS:

SIDE YARD	7' EACH SIDE
REAR YARD	20'
FRONT YARD	25' OR ESTABLISHED BUILDING LINE

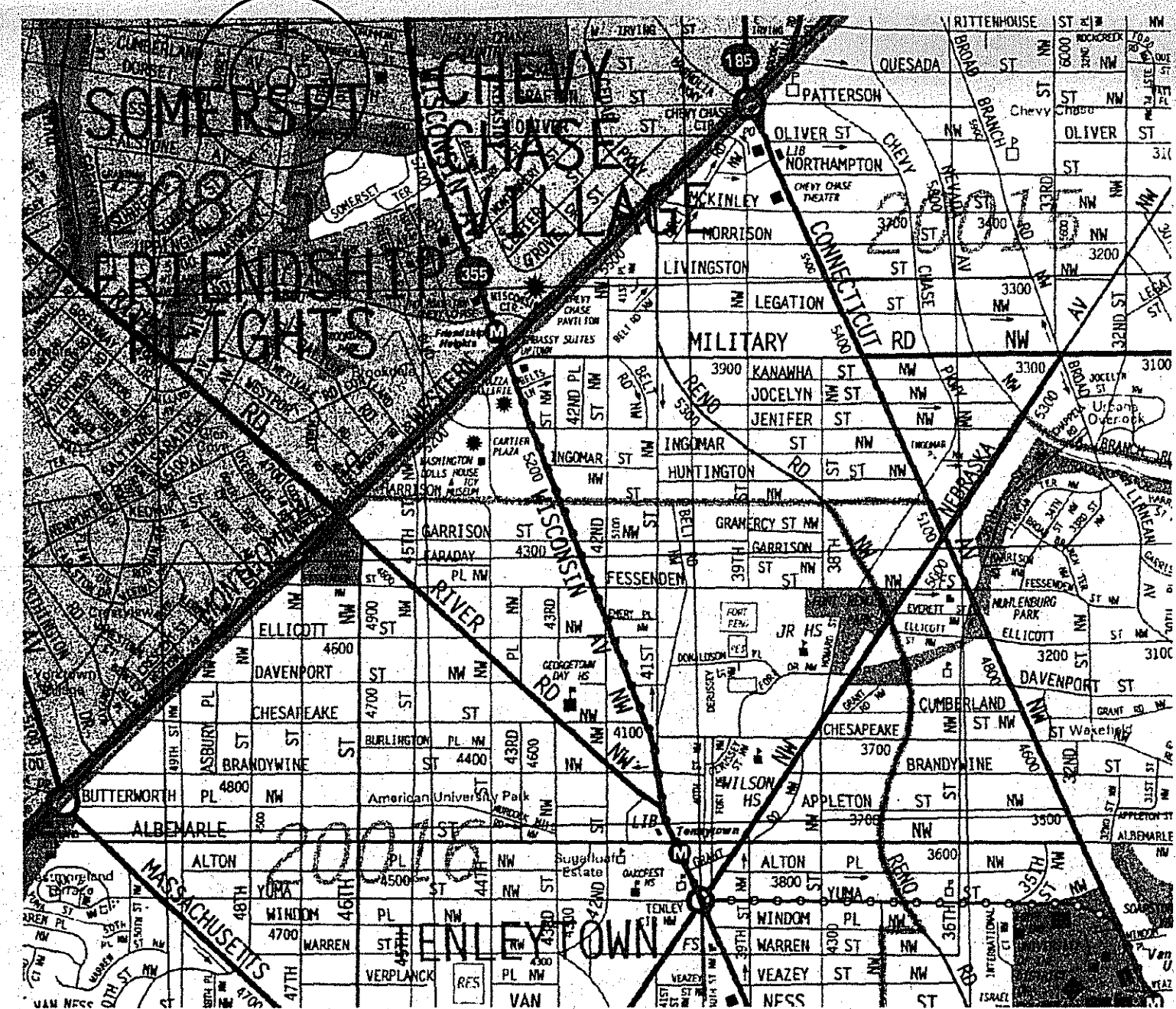
INDEX OF DRAWINGS:

- SP-1 PROPOSED SITE PLAN
- D-1 BASEMENT DEMOLITION PLAN
- D-2 FIRST FLOOR DEMOLITION PLAN
- D-3 SECOND FLOOR DEMOLITION PLAN
- A-1 PROPOSED BASEMENT PLAN
- A-2 PROPOSED FIRST FLOOR PLAN
- A-3 PROPOSED SECOND FLOOR PLAN
- A-4 PROPOSED WEST ELEVATION
- A-5 PROPOSED SOUTH ELEVATION
- A-6 PROPOSED NORTH ELEVATION
- A-7 TRANSVERSE BUILDING SECTION
- A-8 NOT INCLUDED
- A-9 WALL SECTION AT KITCHEN WALL
- A-10 WALL SECTION AT NEW PORCH
- A-11 WALL SECTION AT FAM. ROOM WALL
- A-12 SECTION THROUGH BASEMENT STAIR
- A-13 NOT INCLUDED
- A-14 INTERIOR ELEVATIONS- KITCHEN

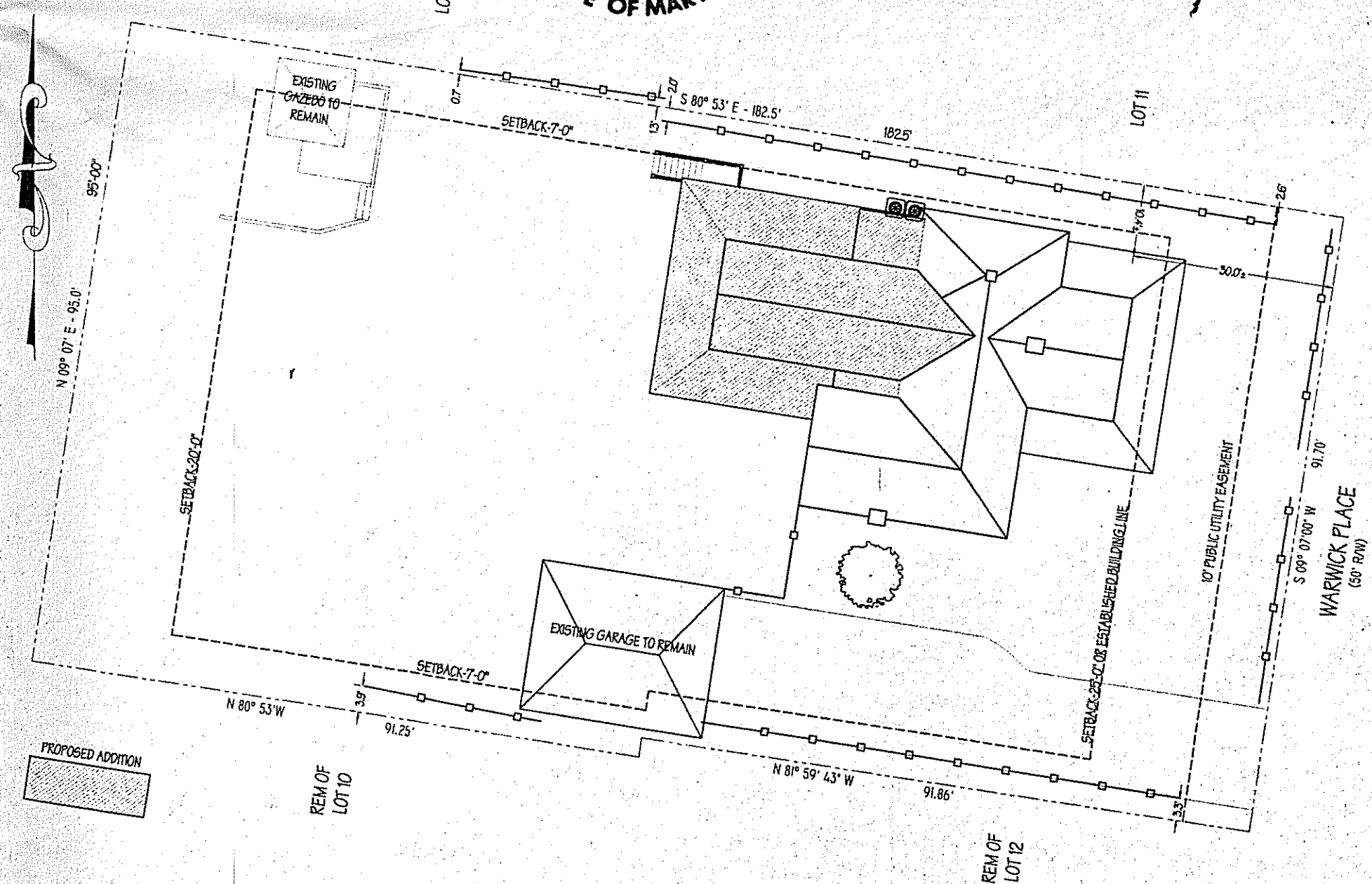
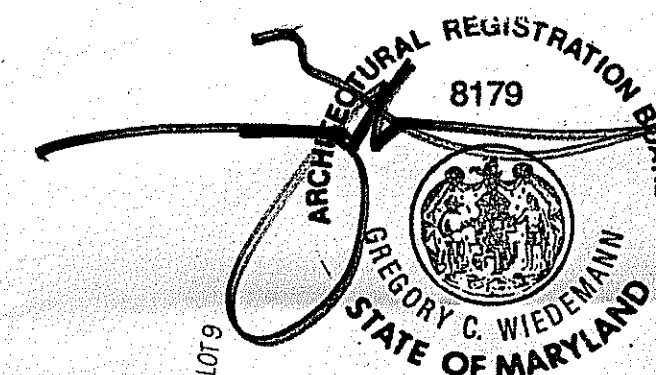
- S-1 FOUNDATION PLAN
- S-2 FIRST FLOOR FRAMING PLAN
- S-3 SECOND FLOOR FRAMING PLAN
- S-4 ROOF FRAMING PLAN

- E-1 BASEMENT ELECTRICAL PLAN
- E-2 FIRST FLOOR ELECTRICAL PLAN
- E-3 SECOND FLOOR ELECTRICAL PLAN

- M-1 BASEMENT MECHANICAL PLAN
- M-2 FIRST FLOOR MECHANICAL PLAN
- M-3 SECOND FLOOR MECHANICAL PLAN



2 SITE LOCATION MAP
SP-1



1 PROPOSED SITE PLAN
SCALE: 1"=20'
SP-1

SITE INFORMATION HAS BEEN PROVIDED BY TOTAL ENGINEERING SERVICES AND THE SITE BOUNDARIES ARE CONSISTENT WITH THE SUBDIVISION RECORD PLAT, DATED 25 JANUARY 2001, A RE-SUBDIVISION OF PART OF LOT 10 AND PART OF LOT 12 BLOCK B-3, MONTGOMERY COUNTY MARYLAND.

WIEDEMANN ARCHITECTS
5272 RIVER ROAD SUITE 610
BETHESDA, MARYLAND 20816

HUGHES STERN RESIDENCE
5806 WARWICK PLACE
CHEVY CHASE, MARYLAND 20815

PERMIT SET:
02-22-01

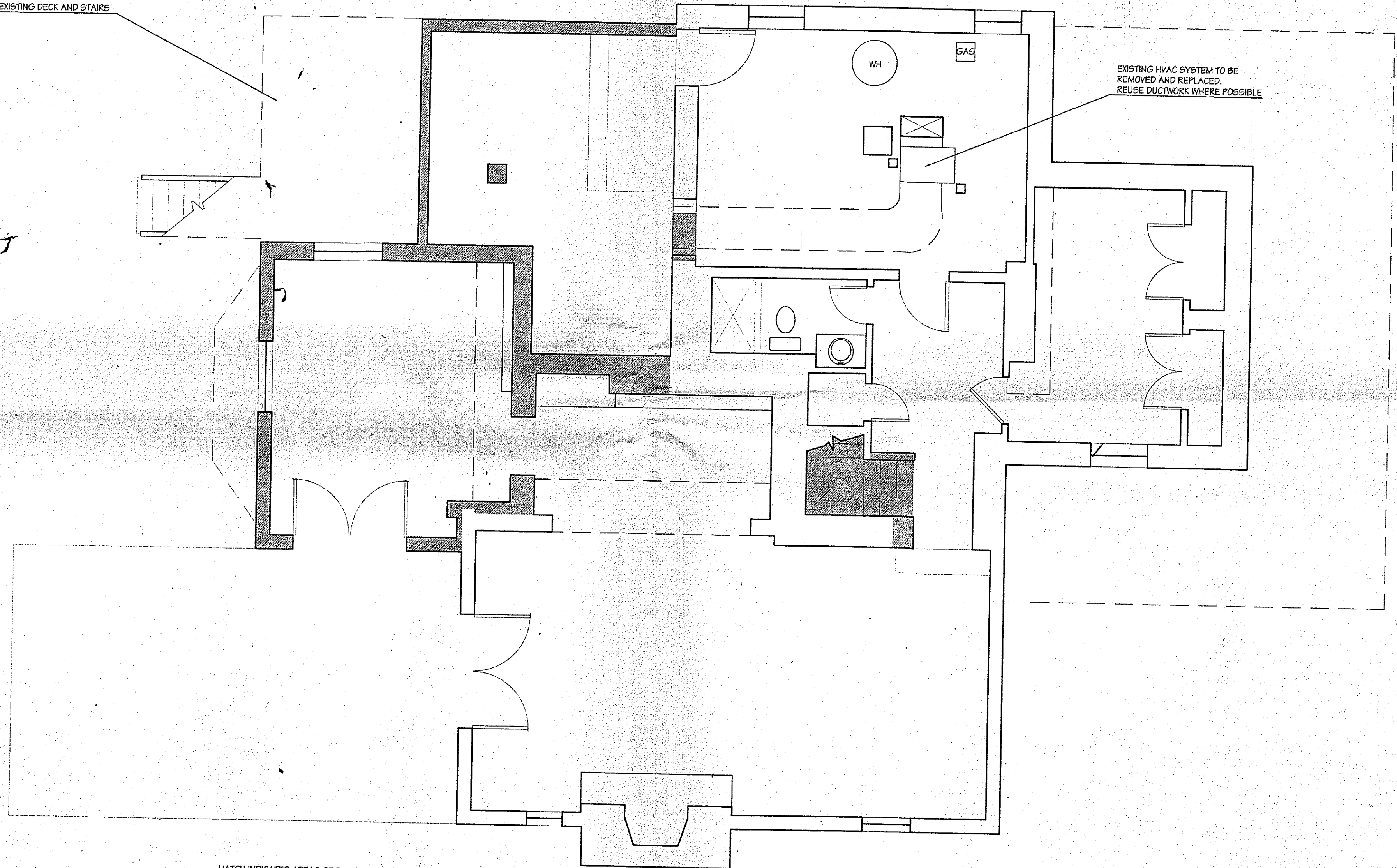
PROPOSED SITE PLAN
SCALE: 1"=20'

SP-1

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
2/22/01

REMOVE EXISTING DECK AND STAIRS

EXISTING HVAC SYSTEM TO BE REMOVED AND REPLACED. REUSE DUCTWORK WHERE POSSIBLE

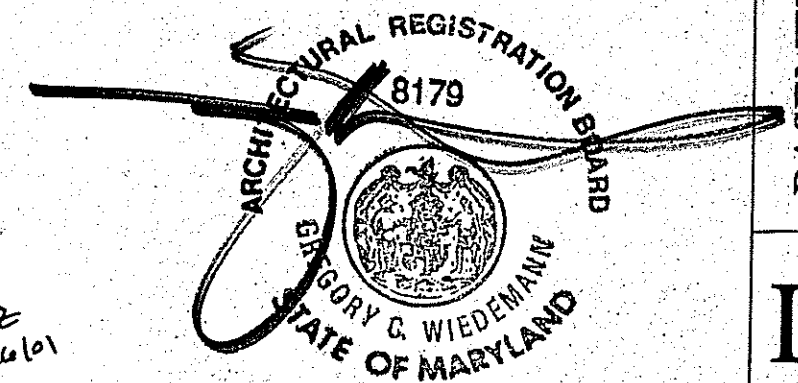


HATCH INDICATES AREAS OF DEMOLITION



1 BASEMENT DEMOLITION PLAN
 D-1 SCALE: 1/4"=1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]
 2/26/01



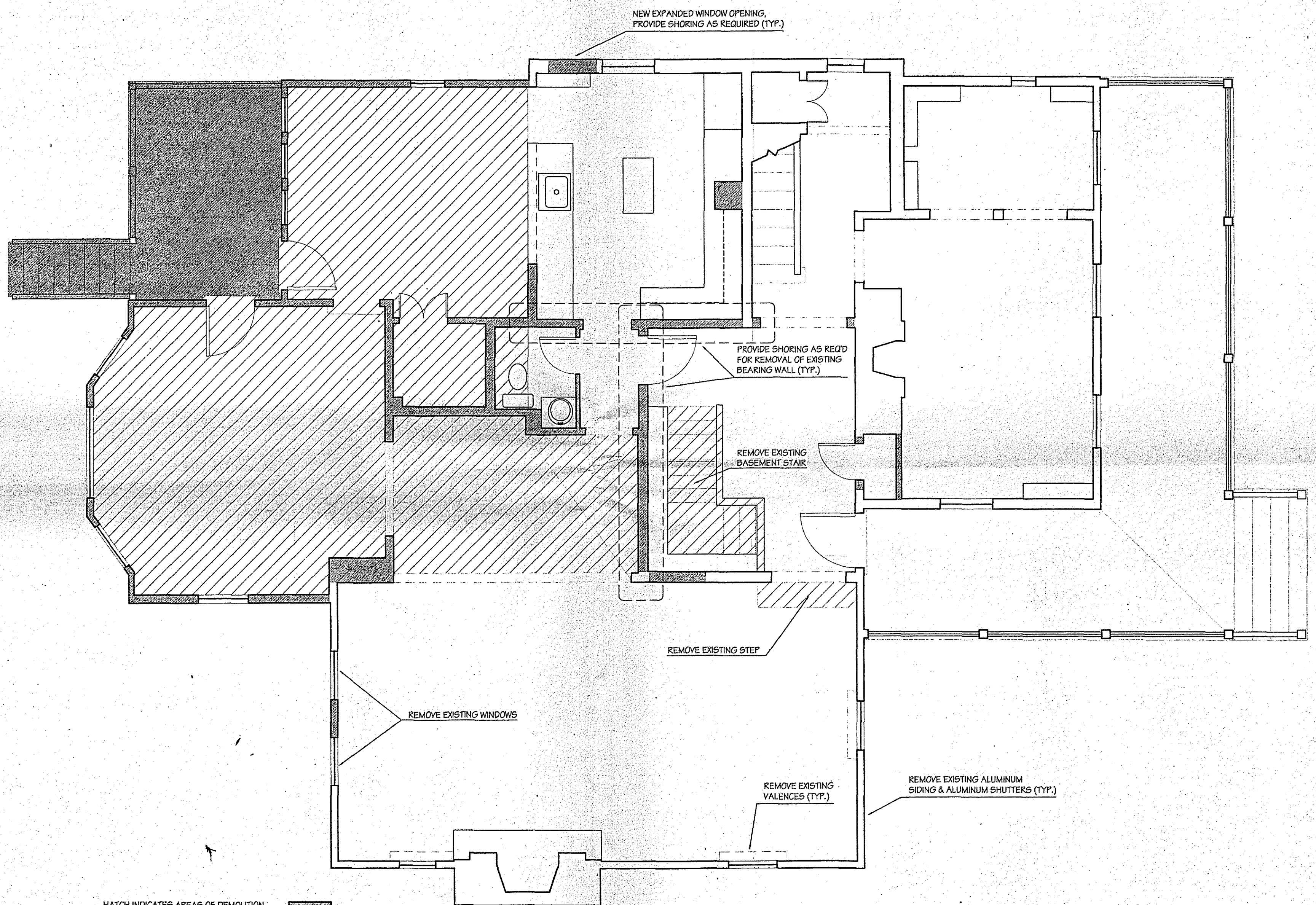
WIEDEMANN ARCHITECTS
 5272 RIVER ROAD SUITE 610
 BETHESDA, MARYLAND 20816

HUGHES STERN RESIDENCE
 5806 WARWICK PLACE
 CHEVY CHASE, MARYLAND 20815

PERMIT SET:
 02-22-01

BASEMENT DEMOLITION PLAN
 SCALE: 1/4"=1'-0"

D-1

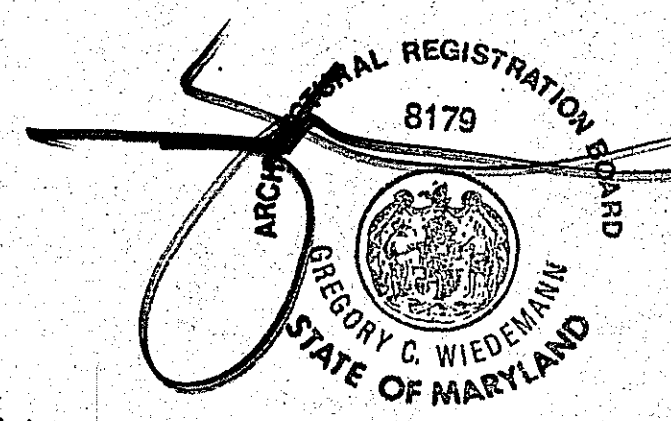


HATCH INDICATES AREAS OF DEMOLITION
 FLOOR TO BE REMOVED, INCLUDING FRAMING

1 FIRST FLOOR DEMOLITION PLAN
 D-2 SCALE: 1/4" = 1'-0"

APPROVED
 Notary Public
 State of Maryland

Gregory G. Wiedmann
 2/22/01



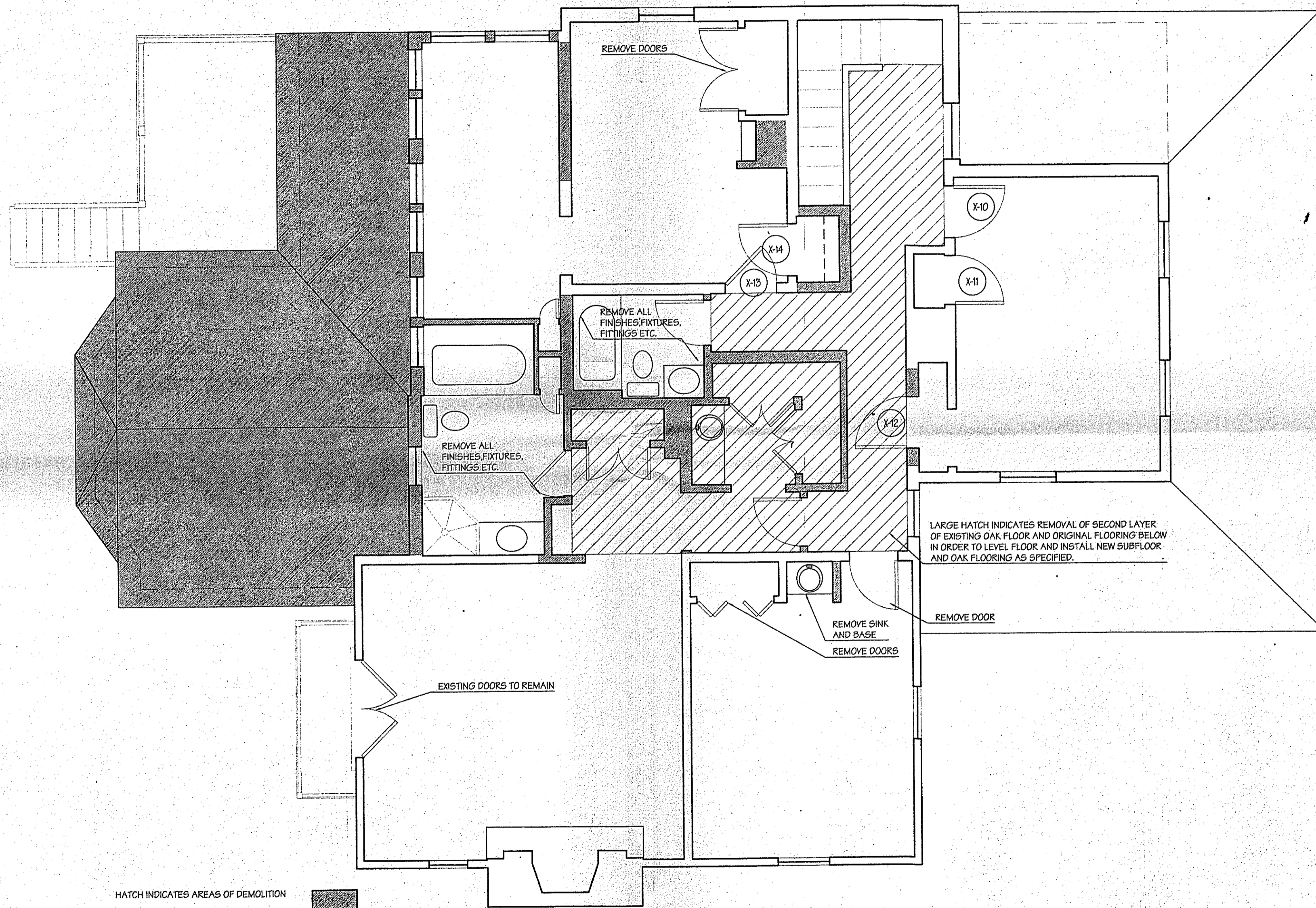
1ST FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

D-2

WIEDEMANN ARCHITECTS
 5272 RIVER ROAD SUITE 610
 BETHESDA, MARYLAND 20816

HUGHES STERN RESIDENCE
 5806 WARWICK PLACE
 CHEVY CHASE, MARYLAND 20815

PERMIT SET:
 02-22-01



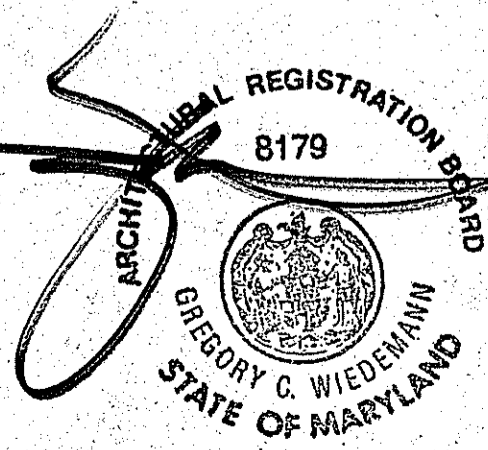
HATCH INDICATES AREAS OF DEMOLITION

LARGE HATCH INDICATES REMOVAL OF SECOND LAYER OF EXISTING OAK FLOOR AND ORIGINAL FLOORING BELOW IN ORDER TO LEVEL FLOOR AND INSTALL NEW SUBFLOOR AND OAK FLOORING AS SPECIFIED.

1 SECOND FLOOR DEMOLITION PLAN
 D-3 SCALE: 1/4" = 1'-0"

APPROVED
 Prince Georges County
 Department of Planning & Zoning

Gregory C. Wiedemann
 2/26/01



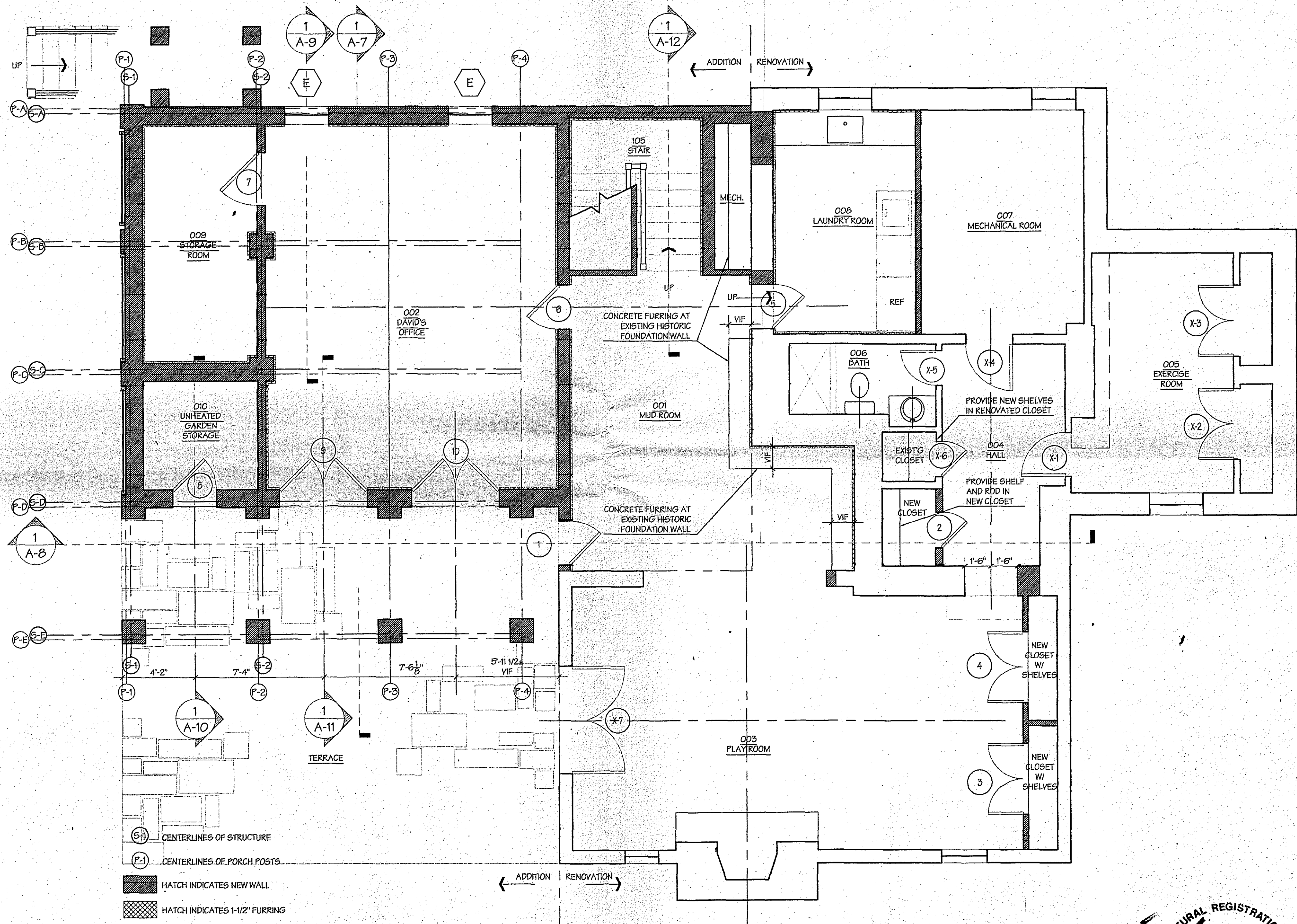
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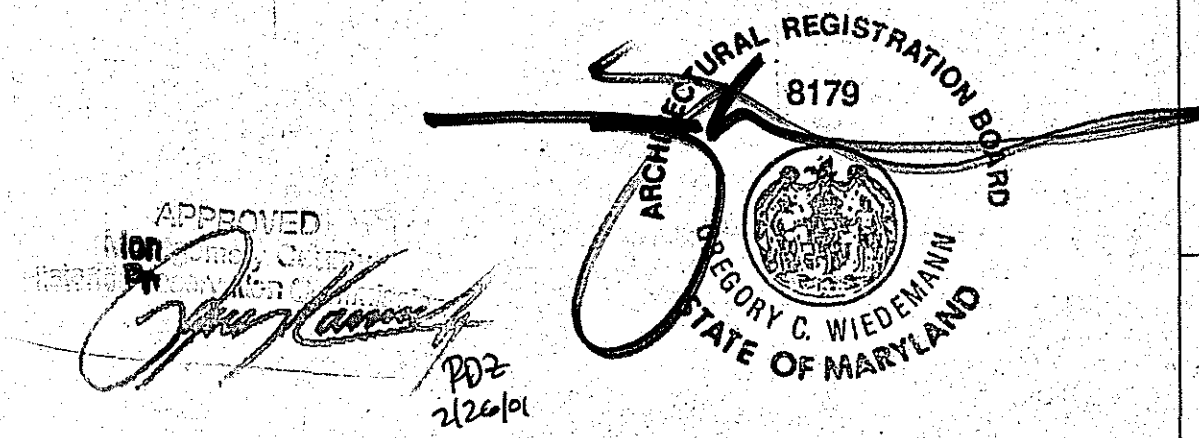
2ND FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

D-3



(S-1) CENTERLINES OF STRUCTURE
 (P-1) CENTERLINES OF PORCH POSTS
 HATCH INDICATES NEW WALL
 HATCH INDICATES 1-1/2" FURRING

1 PROPOSED BASEMENT PLAN
 A-1 SCALE: 1/4" = 1'-0"



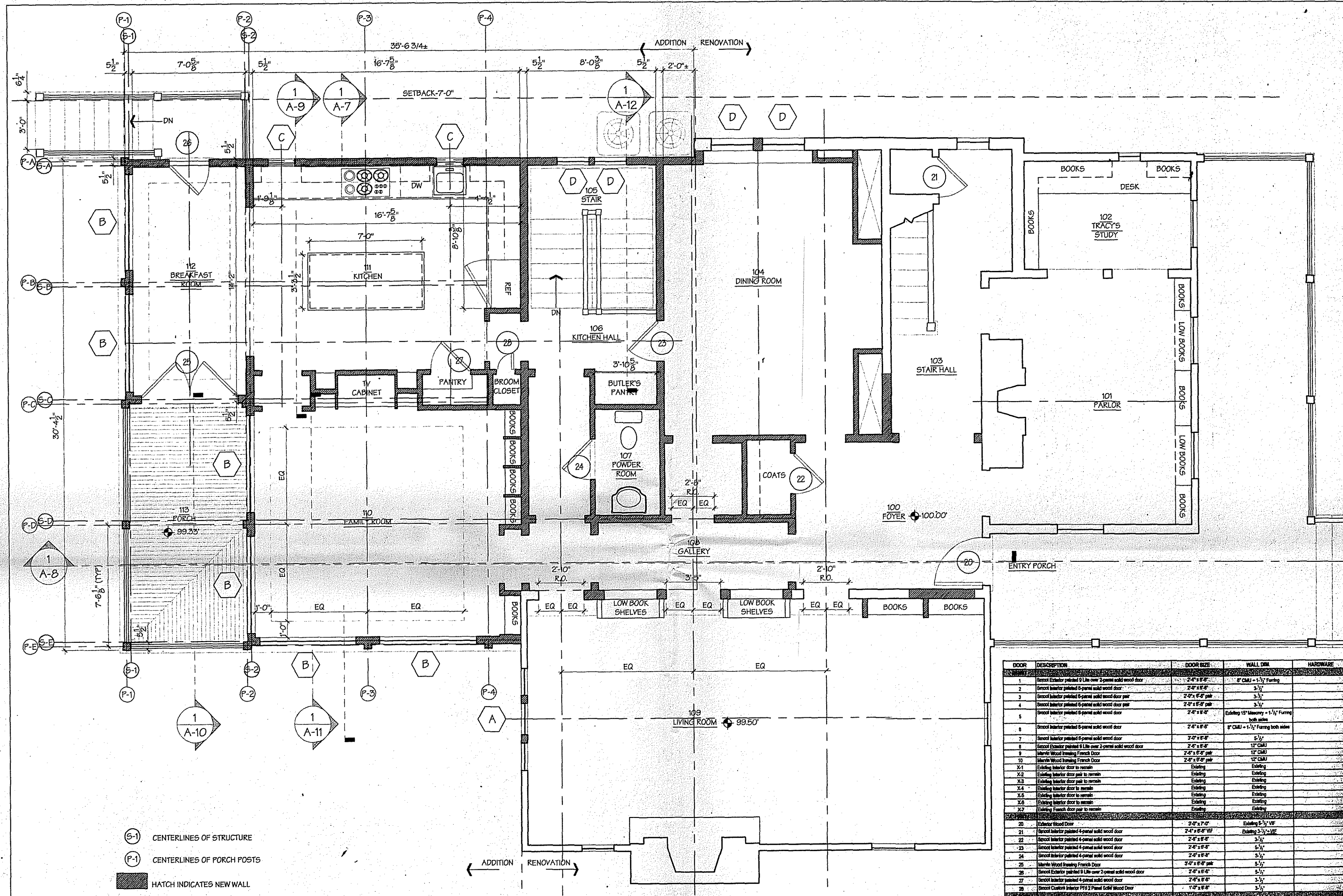
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HUGHES STERN RESIDENCE
 5806 WARWICK PLACE
 CHEVY CHASE, MARYLAND 20815

PERMIT SET:
 02-22-01

PROPOSED BASEMENT PLAN
 SCALE: 1/4" = 1'-0"

A-1

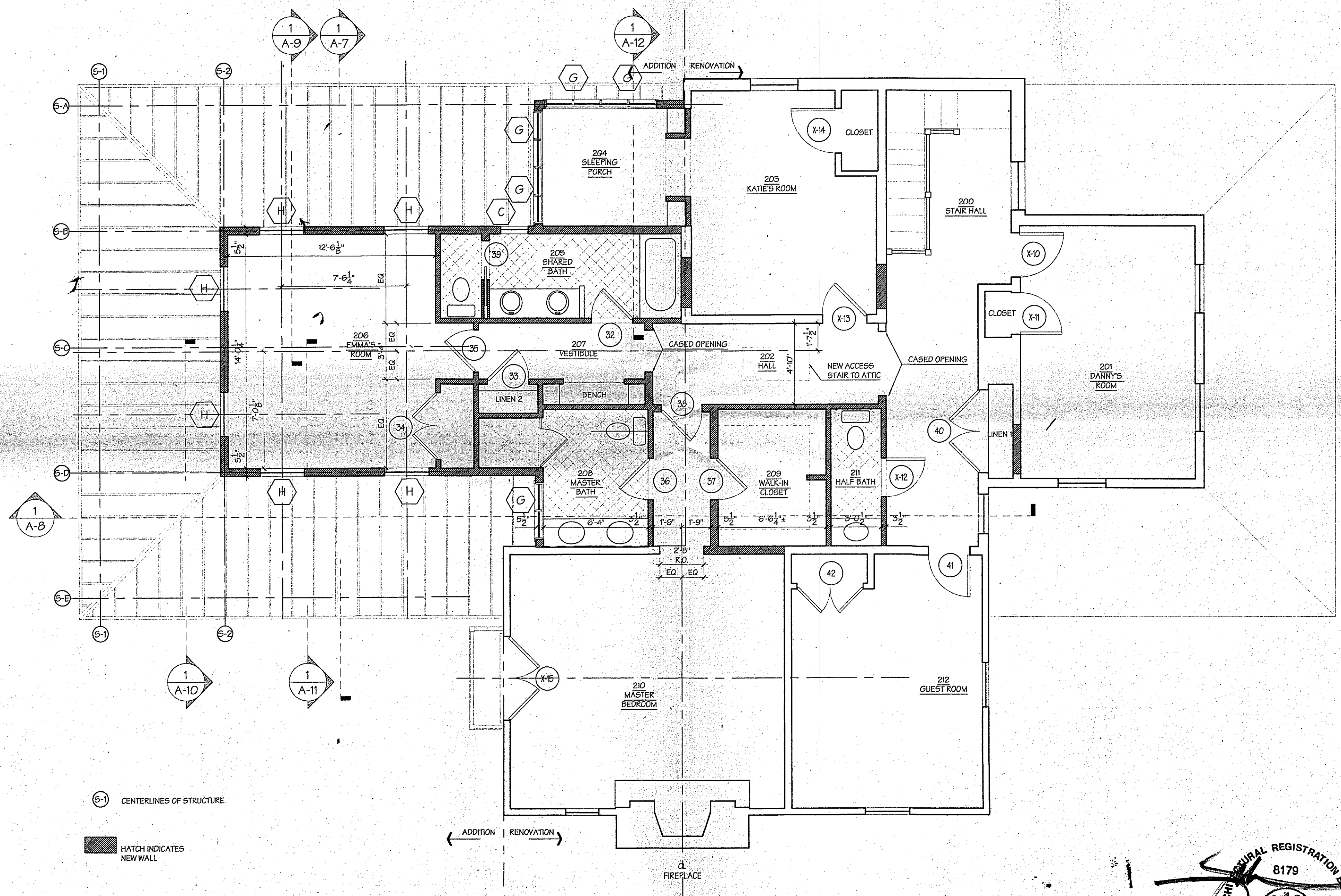


1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

DOOR	DESCRIPTION	DOOR SIZE	WALL DIM	HARDWARE
1	Smooth Exterior painted 9 Lite over 2-panel solid wood door	2'-4" x 8'-0"	8' CMU + 1-1/2" Furring	
2	Smooth Interior painted 6-panel solid wood door	2'-4" x 8'-0"	5-1/2"	
3	Smooth Interior painted 6-panel solid wood door pair	2'-4" x 6'-0" pair	3-1/2"	
4	Smooth Interior painted 6-panel solid wood door pair	2'-4" x 6'-0" pair	3-1/2"	
5	Smooth Interior painted 6-panel solid wood door	2'-4" x 8'-0"	Existing 15" Masonry + 1-1/2" Furring both sides	
6	Smooth Interior painted 6-panel solid wood door	2'-4" x 8'-0"	8" CMU + 1-1/2" Furring both sides	
7	Smooth Interior painted 6-panel solid wood door	2'-4" x 8'-0"	5-1/2"	
8	Smooth Exterior painted 9 Lite over 2-panel solid wood door	2'-4" x 8'-0"	12" CMU	
9	Mahogany Wood Framing French Door	2'-4" x 8'-0" pair	12" CMU	
10	Mahogany Wood Framing French Door	2'-4" x 8'-0" pair	12" CMU	
X-1	Existing Interior door to remain	Existing	Existing	Existing
X-2	Existing Interior door pair to remain	Existing	Existing	Existing
X-3	Existing Interior door pair to remain	Existing	Existing	Existing
X-4	Existing Interior door to remain	Existing	Existing	Existing
X-5	Existing Interior door to remain	Existing	Existing	Existing
X-6	Existing Interior door to remain	Existing	Existing	Existing
X-7	Existing French door pair to remain	Existing	Existing	Existing
20	Exterior Wood Door	2'-4" x 7'-0"	Existing 5-1/2" VF	
21	Smooth Interior painted 4-panel solid wood door	2'-4" x 8'-0" VF	Existing 3-1/2" VF	
22	Smooth Interior painted 4-panel solid wood door	2'-4" x 8'-0"	3-1/2"	
23	Smooth Interior painted 4-panel solid wood door	2'-4" x 8'-0"	5-1/2"	
24	Smooth Interior painted 4-panel solid wood door	2'-4" x 8'-0" pair	5-1/2"	
25	Mahogany Wood Framing French Door	2'-4" x 8'-0" pair	5-1/2"	
26	Smooth Exterior painted 9 Lite over 2-panel solid wood door	2'-4" x 8'-0"	5-1/2"	
27	Smooth Interior painted 4-panel solid wood door	2'-4" x 8'-0"	3-1/2"	
28	Smooth Custom Interior PVC Panel Solid Wood Door	1'-0" x 8'-0"	3-1/2"	
32	Smooth Interior painted 4-panel solid wood door	2'-4" x 8'-0"	5-1/2"	
33	Smooth Interior painted 4-panel solid wood door	2'-4" x 8'-0"	5-1/2"	
34	Smooth Interior painted 4-panel solid wood door pair	2'-4" x 6'-0" pair	3-1/2"	
35	Smooth Interior painted 4-panel solid wood door	2'-4" x 8'-0"	3-1/2"	
36	Smooth Interior painted 4-panel solid wood door	2'-4" x 8'-0"	3-1/2"	
37	Smooth Interior painted 4-panel solid wood door	2'-4" x 8'-0"	3-1/2"	
38	Smooth Interior painted 4-panel solid wood door	2'-4" x 8'-0"	5-1/2"	
39	Smooth Interior painted 4-panel solid wood door	2'-4" x 8'-0"	5-1/2"	
40	Smooth Interior painted 4-panel solid wood door	2'-4" x 8'-0" pair	Existing, VF	
41	Smooth Interior painted 4-panel solid wood door	2'-4" x 8'-0"	Existing, VF	
42	Smooth Interior painted 4-panel solid wood door pair	2'-4" x 8'-0" pair	Existing 3-1/2" VF	
X-10	Existing Interior door to remain	Existing	Existing	Existing
X-11	Existing Interior door to remain	Existing	Existing	Existing
X-12	Existing Interior door to be replaced as shown	Existing	Existing	Existing
X-13	Existing Interior door to remain-reverse seating as shown	Existing	Existing	Existing
X-14	Existing Interior door to be replaced as shown	Existing	Existing	Existing
X-15	Existing Exterior door pair to remain	Existing	Existing	Existing

2 DOOR SCHEDULE
A-2

APPROVED
ARCHITECTURAL REGISTRATION BOARD
8179
GREGORY C. WIEDEMANN
STATE OF MARYLAND
202-2126101

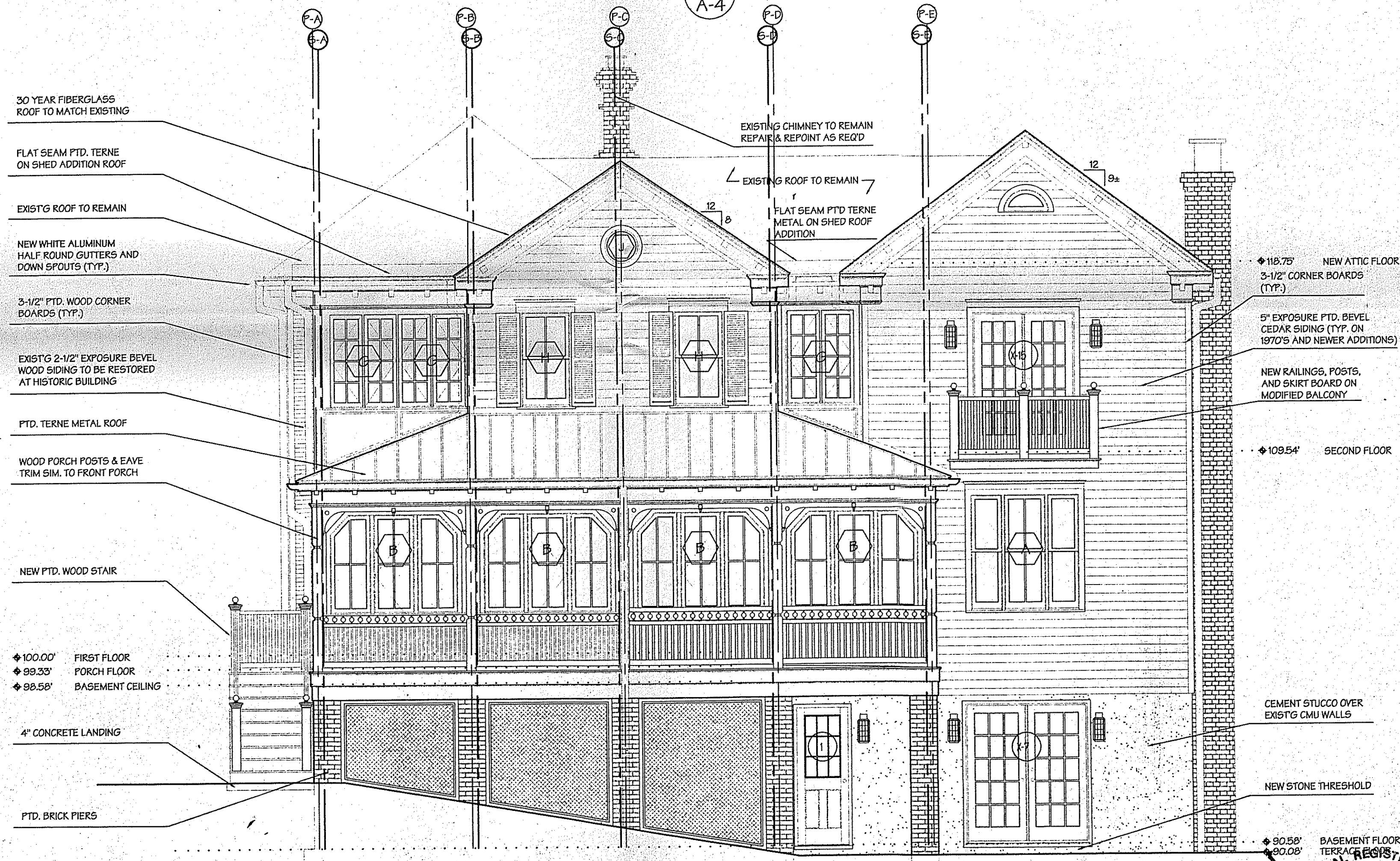


1 PROPOSED SECOND FLOOR PLAN
 A-3 SCALE: 1/4" = 1'-0"

APPROVED
 ARCHITECTURAL REGISTRATION BOARD
 8179
 GREGORY G. WIEDEMANN
 STATE OF MARYLAND
 RDZ
 2/26/01

WINDOW	MANUF.	MANUF. #	DESCRIPTION	ROUGH OPENING	FRAME SIZE	WALL DIM.	JAMB DEPTH	SPECIFICATIONS
E	Marvin	WAWN3228	Wood Awning	M.O.		12" CMU + Furring	4-7/16"	SDL: None. Glazing: Insulating Glass Low E II w/ Argon. Casing: 2" Factory fabricated. Contractor to provide jamb extensions as req'd
A	Marvin	Custom	Wood Double Hung 3-wide common mull		Existing 5-1/2" Frame V.L.F.		6-9/16"	SDL: 7/8" w/ Internal spacer bar. Glazing: Insulating Glass w/ SDL & Low E II w/ Argon. Casing: 3-1/2" Factory 5/4 Flat Casing. Contractor to provide jamb extensions if req'd
B	Marvin	Custom	Wood Casement 3-wide unit-center window operable, sides fixed		5-1/2" Frame		6-9/16"	SDL: 7/8" w/ Internal spacer bar. Glazing: Insulating Glass w/ SDL & Low E II w/ Argon. Casing: 3-1/2" Factory 5/4 Flat Casing.
C	Marvin	WCM2040	Wood Casement		5-1/2" Frame		6-9/16"	SDL: 7/8" w/ Internal spacer bar. Glazing: Insulating Glass w/ SDL & Low E II w/ Argon. Casing: 3-1/2" Factory 5/4 Flat Casing.
D	Marvin	WDH2838	Wood Double Hung		5-1/2" Frame		6-9/16"	SDL: 7/8" w/ Internal spacer bar. Glazing: Insulating Glass w/ SDL & Low E II w/ Argon. Casing: 3-1/2" Factory 5/4 Flat Casing.
G	Marvin	WCM2068 LR	Wood Casement 2-wide common mull		5-1/2" Frame		6-9/16"	SDL: 7/8" w/ Internal spacer bar. Glazing: Insulating Glass w/ SDL & Low E II w/ Argon. Casing: 2-1/2" Factory 5/4 Flat Casing.
H	Marvin	WDH2424	Wood Double Hung		5-1/2" Frame		6-9/16"	SDL: 7/8" w/ Internal spacer bar. Glazing: Insulating Glass w/ SDL & Low E II w/ Argon. Casing: 3-1/2" Factory 5/4 Flat Casing.
K	Marvin	WFCR-CUSTOM	Wood Circle Picture RT-27		20-1/2" x 20-1/2" Radius 10 1/4"		6-9/16"	SDL: None. Glazing: Insulating Glass w/ Low E II w/ Argon. Casing: 3- 1/2" Factory 5/4 Flat Casing.

2 PROPOSED WINDOW SCHEDULE



1 PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

WIEDEMANN ARCHITECTS
5272 RIVER ROAD SUITE 610
BETHESDA, MARYLAND 20816

HUGHES STERN RESIDENCE
5806 WARWICK PLACE
CHEVY CHASE, MARYLAND 20815

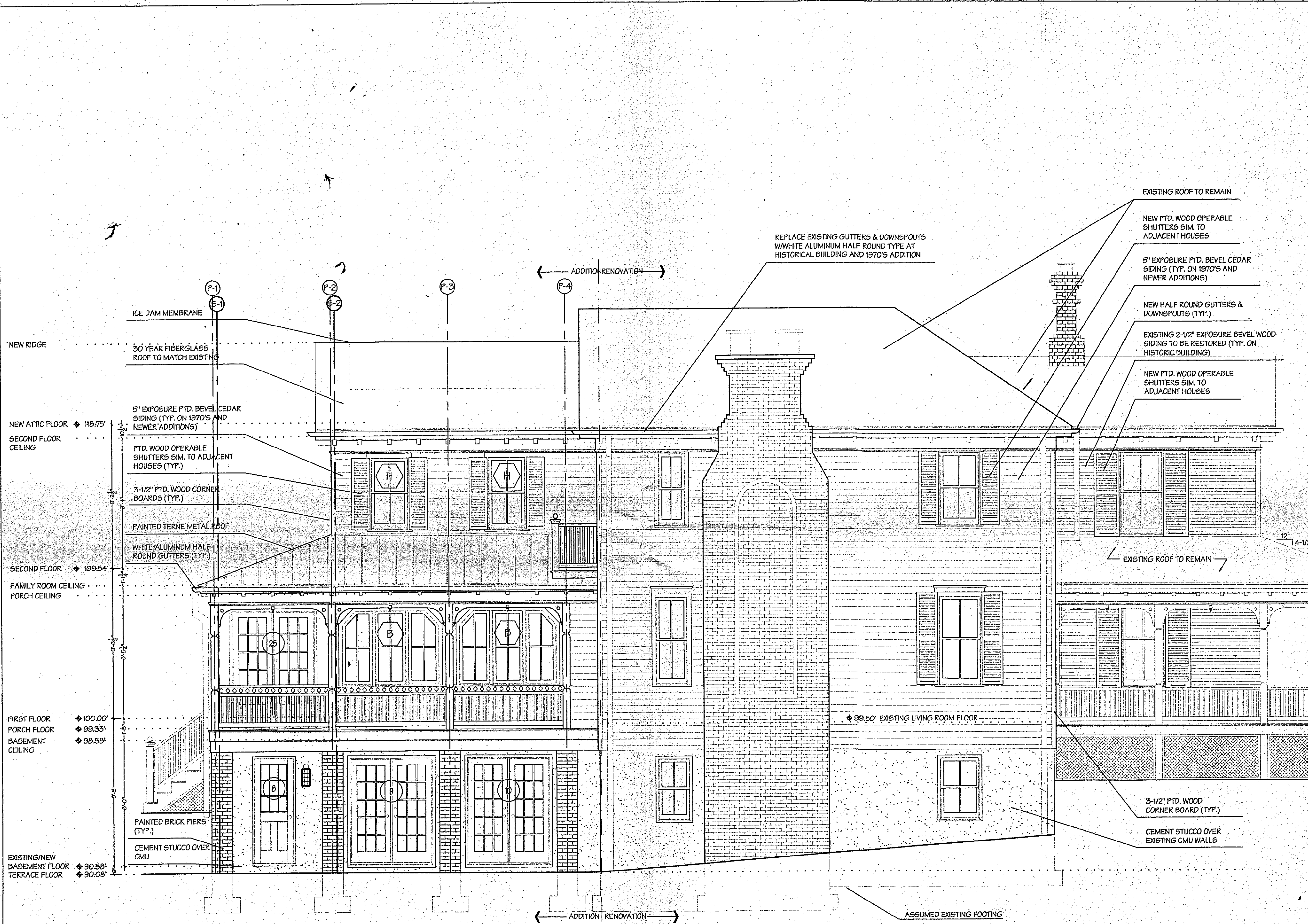
PERMIT SET:
02-22-01

PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"

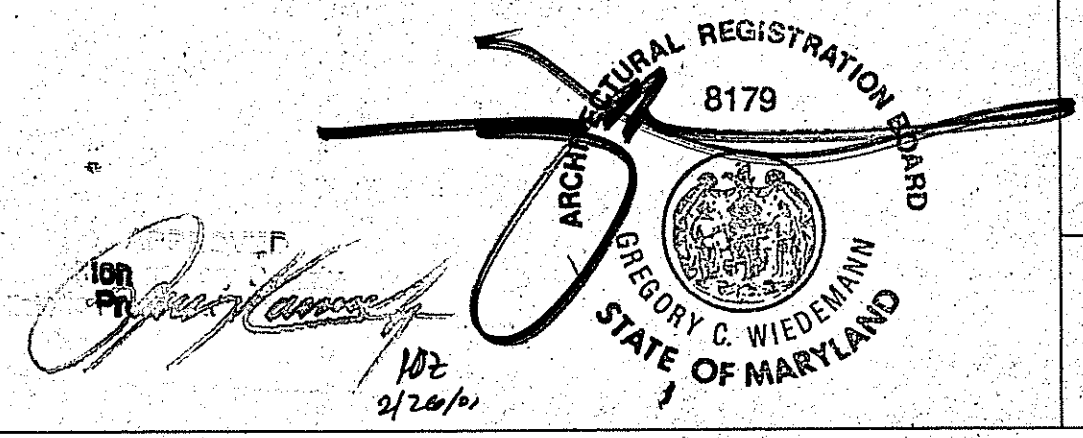
ARCHITECTURAL REGISTRATION BOARD
8179
GREGORY C. WIEDEMANN
STATE OF MARYLAND

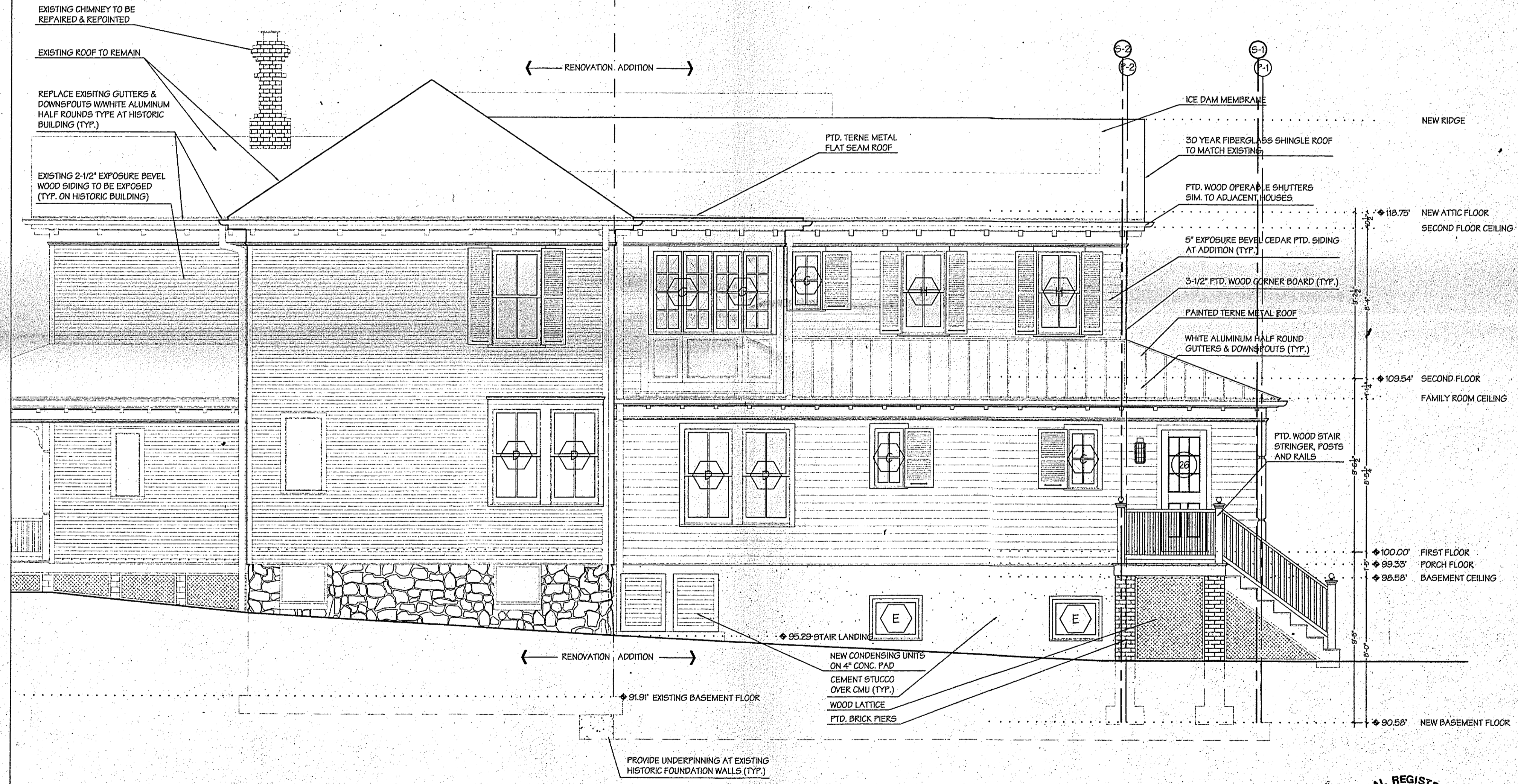
DDZ
2/24/11

A-4

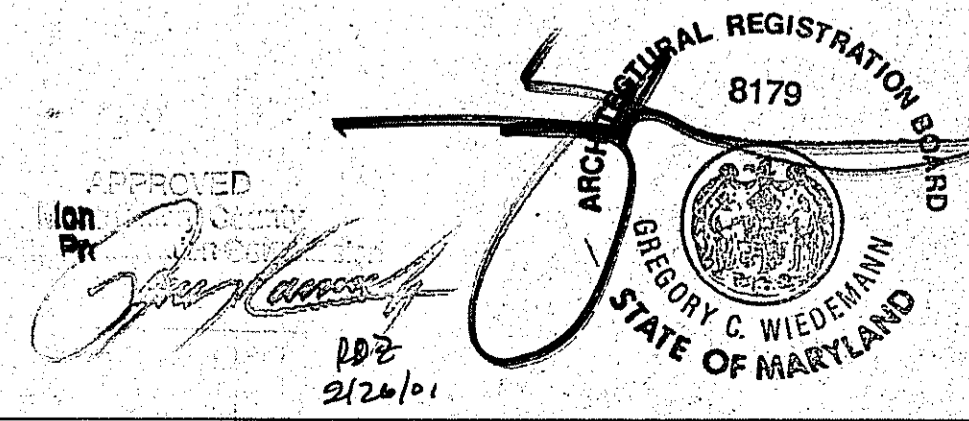


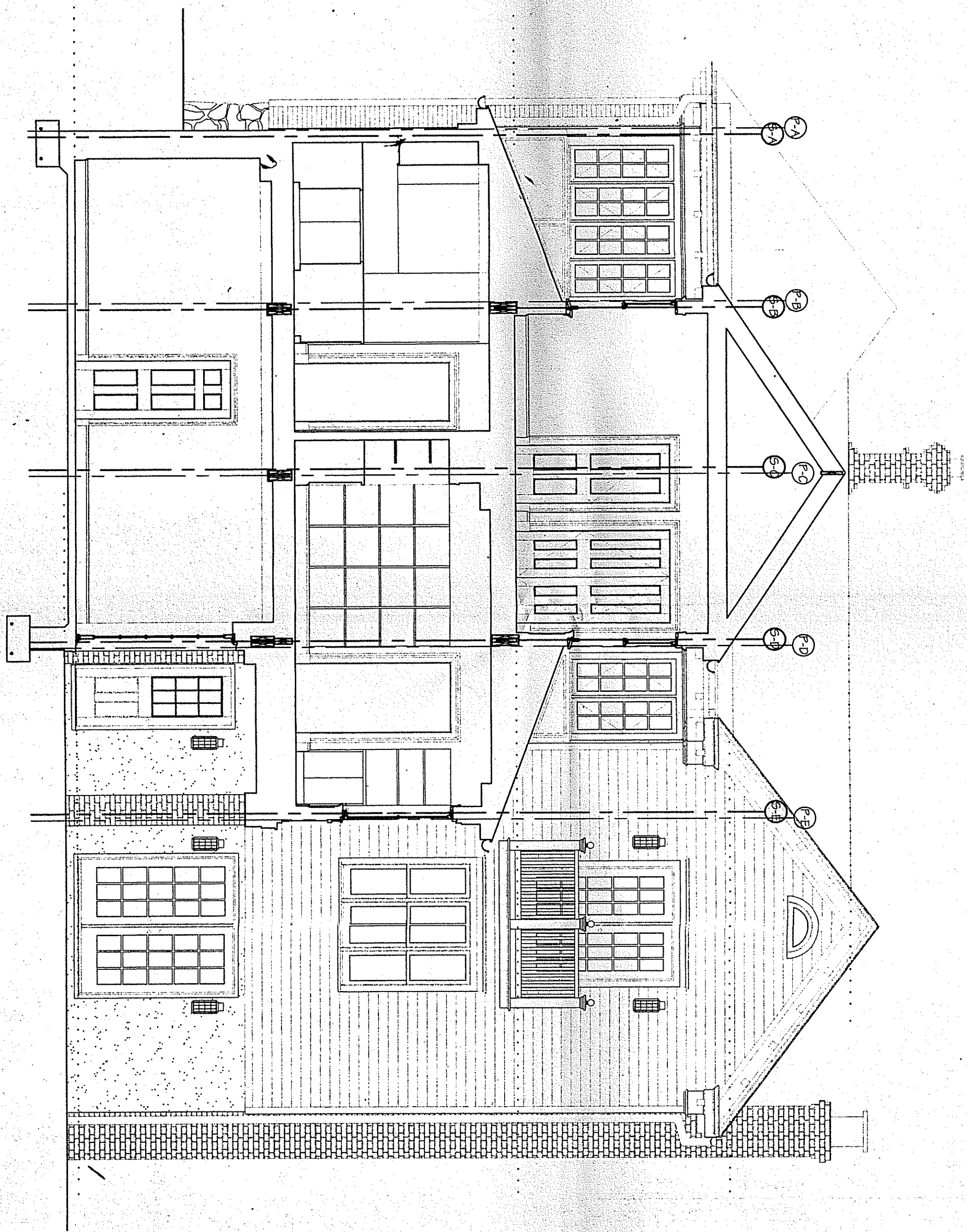
1 PROPOSED SOUTH ELEVATION
 A-5 SCALE: 1/4" = 1'-0"





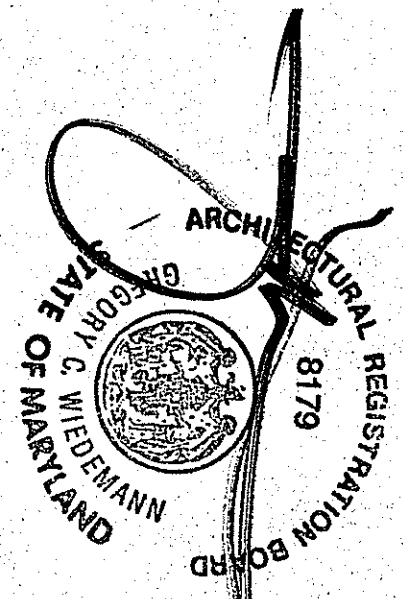
1 PROPOSED NORTH ELEVATION
 A-6 SCALE: 1/4" = 1'-0"





1
A-7 PROPOSED BUILDING SECTION
SCALE: 1/4"=1'-0"

APPROVED
Gregory C. Wiedemann
 01/26/11



A-7

PROPOSED BUILDING SECTIONS
 SCALE: 1/4"=1'-0"

PERMIT SET:
 02-22-01

HUGHES STERN RESIDENCE
 5806 WARWICK PLACE
 CHEVY CHASE, MARYLAND 20815

WIEDEMANN ARCHITECTS
 5272 RIVER ROAD SUITE 610
 BETHESDA, MARYLAND 20816

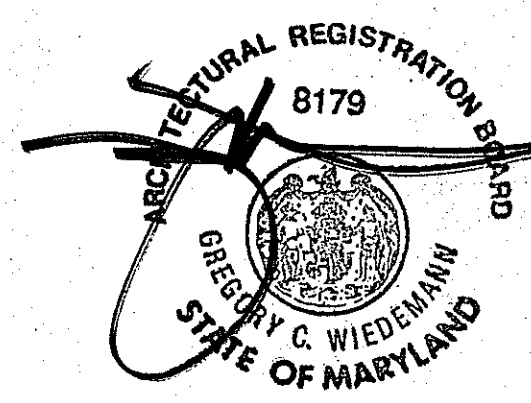
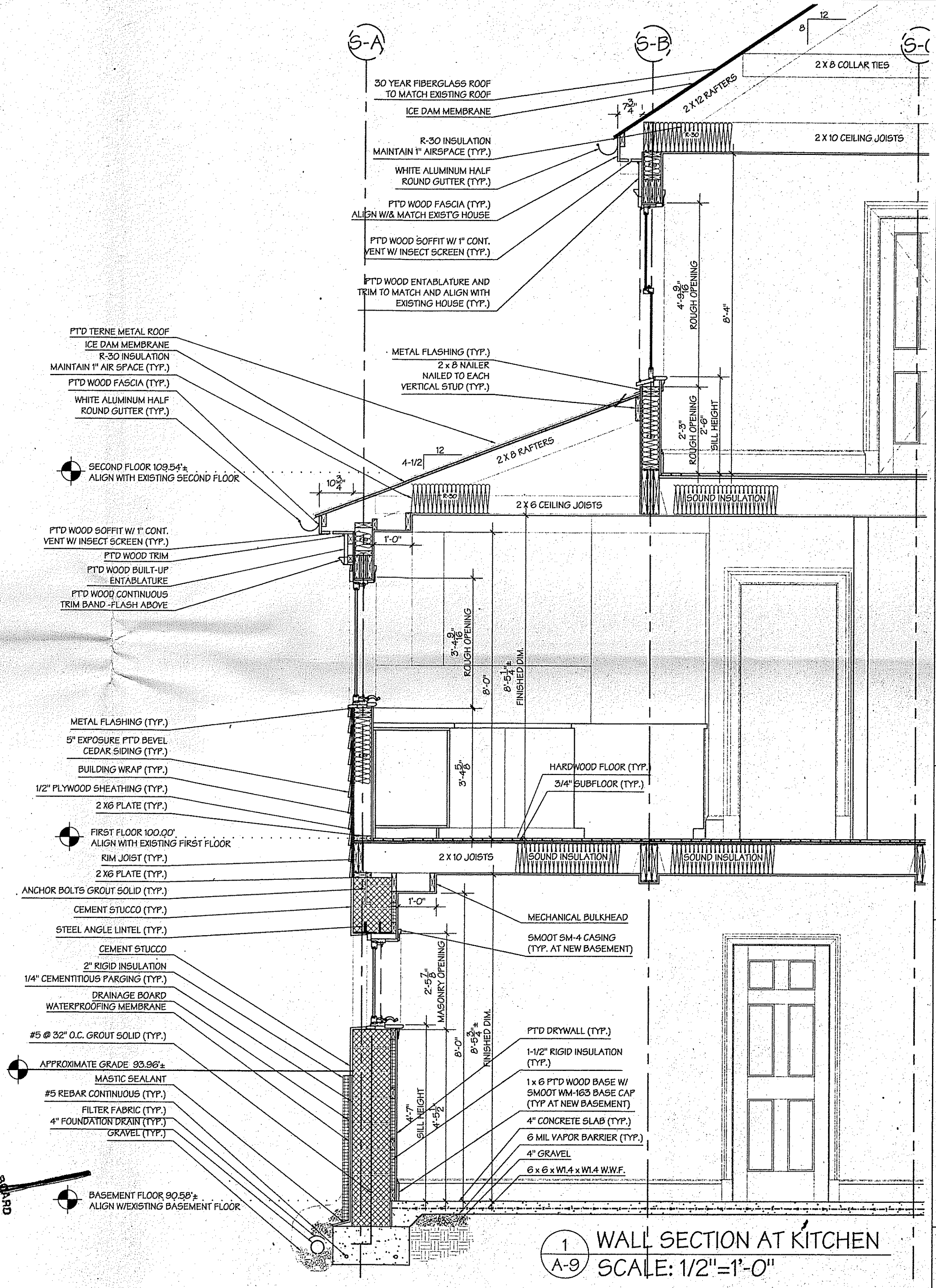
WIEDEMANN ARCHITECTS
 5272 RIVER ROAD SUITE 610
 BETHESDA, MARYLAND 20816

HUGHES STERN RESIDENCE
 5806 WARWICK PLACE
 CHEVY CHASE, MARYLAND 20815

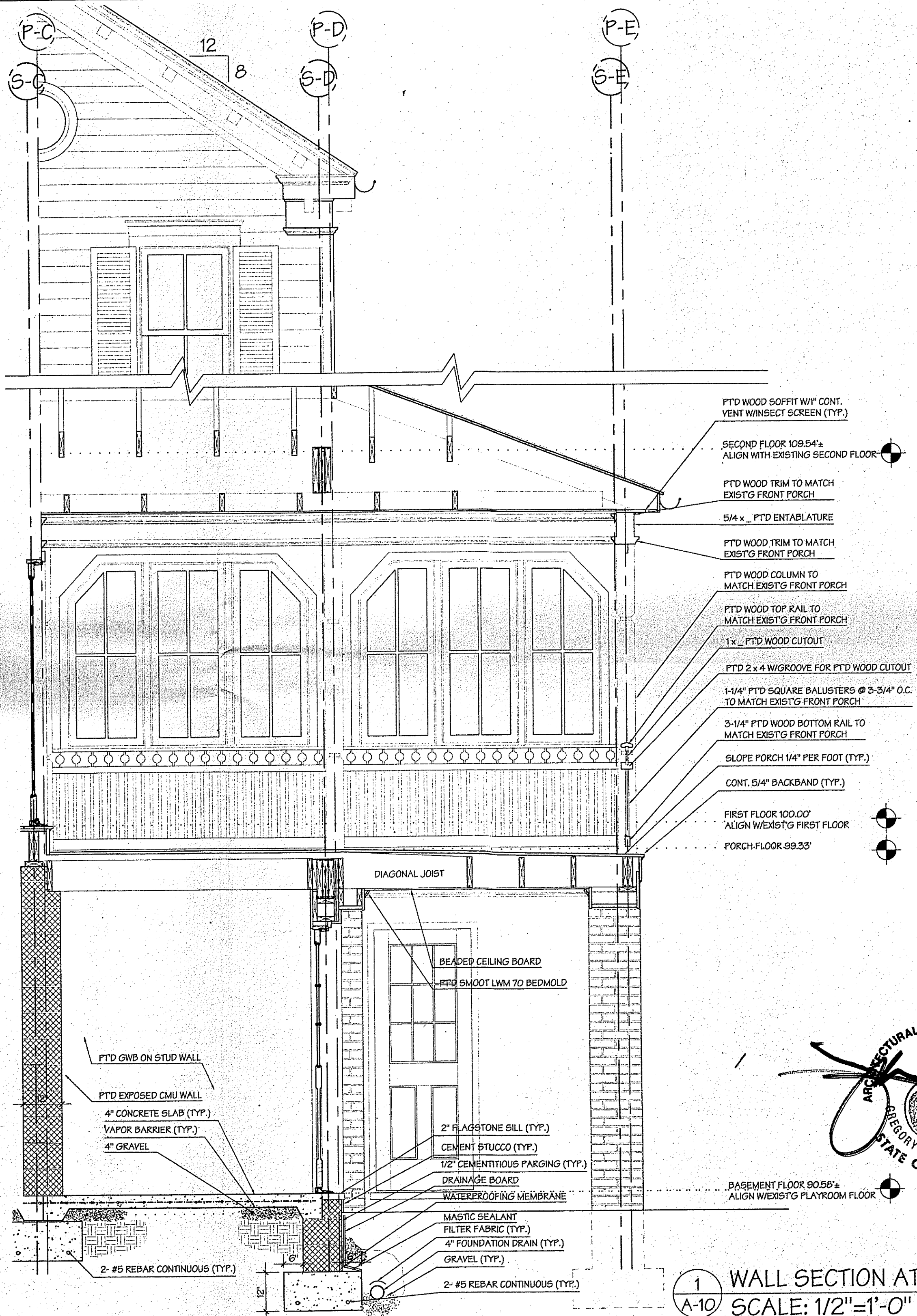
PERMIT SET:
 02-22-01

WALL SECTION @ KITCHEN
 SCALE: 1/2" = 1'-0"

A-9



1 WALL SECTION AT KITCHEN
 A-9 SCALE: 1/2" = 1'-0"



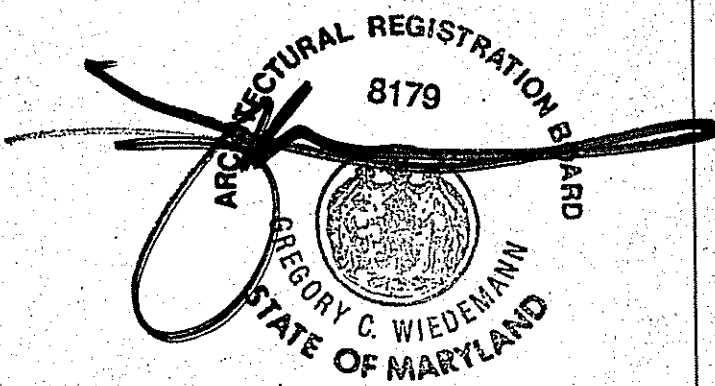
- PTD WOOD SOFFIT W/1" CONT. VENT W/INSECT SCREEN (TYP.)
- SECOND FLOOR 109.54'±
ALIGN WITH EXISTING SECOND FLOOR
- PTD WOOD TRIM TO MATCH EXIST'G FRONT PORCH
- 5/4" x PTD ENTABLATURE
- PTD WOOD TRIM TO MATCH EXIST'G FRONT PORCH
- PTD WOOD COLUMN TO MATCH EXIST'G FRONT PORCH
- PTD WOOD TOP RAIL TO MATCH EXIST'G FRONT PORCH
- 1" x PTD WOOD CUTOUT
- PTD 2 x 4 W/GROOVE FOR PTD WOOD CUTOUT
- 1-1/4" PTD SQUARE BALUSTERS @ 3-3/4" O.C. TO MATCH EXIST'G FRONT PORCH
- 3-1/4" PTD WOOD BOTTOM RAIL TO MATCH EXIST'G FRONT PORCH
- SLOPE PORCH 1/4" PER FOOT (TYP.)
- CONT. 5/4" BACKBAND (TYP.)
- FIRST FLOOR 100.00'
ALIGN W/EXIST'G FIRST FLOOR
- PORCH FLOOR 99.33'

- PTD GWS ON STUD WALL
- PTD EXPOSED CMU WALL
- 4" CONCRETE SLAB (TYP.)
- VAPOR BARRIER (TYP.)
- 4" GRAVEL

- DIAGONAL JOIST
- BEADED CEILING BOARD
- PTD SMOOT LWM TO BEDMOLD
- 2" FLAGSTONE SILL (TYP.)
- CEMENT STUCCO (TYP.)
- 1/2" CEMENTITIOUS PARING (TYP.)
- DRAINAGE BOARD
- WATERPROOFING MEMBRANE
- MASTIC SEALANT
- FILTER FABRIC (TYP.)
- 4" FOUNDATION DRAIN (TYP.)
- GRAVEL (TYP.)
- 2- #5 REBAR CONTINUOUS (TYP.)

BASEMENT FLOOR 90.58'±
ALIGN W/EXIST'G PLAYROOM FLOOR

1 WALL SECTION AT PORCH
A-10 SCALE: 1/2" = 1'-0"



WIEDEMANN ARCHITECTS
5272 RIVER ROAD SUITE 610
BETHESDA, MARYLAND 20816

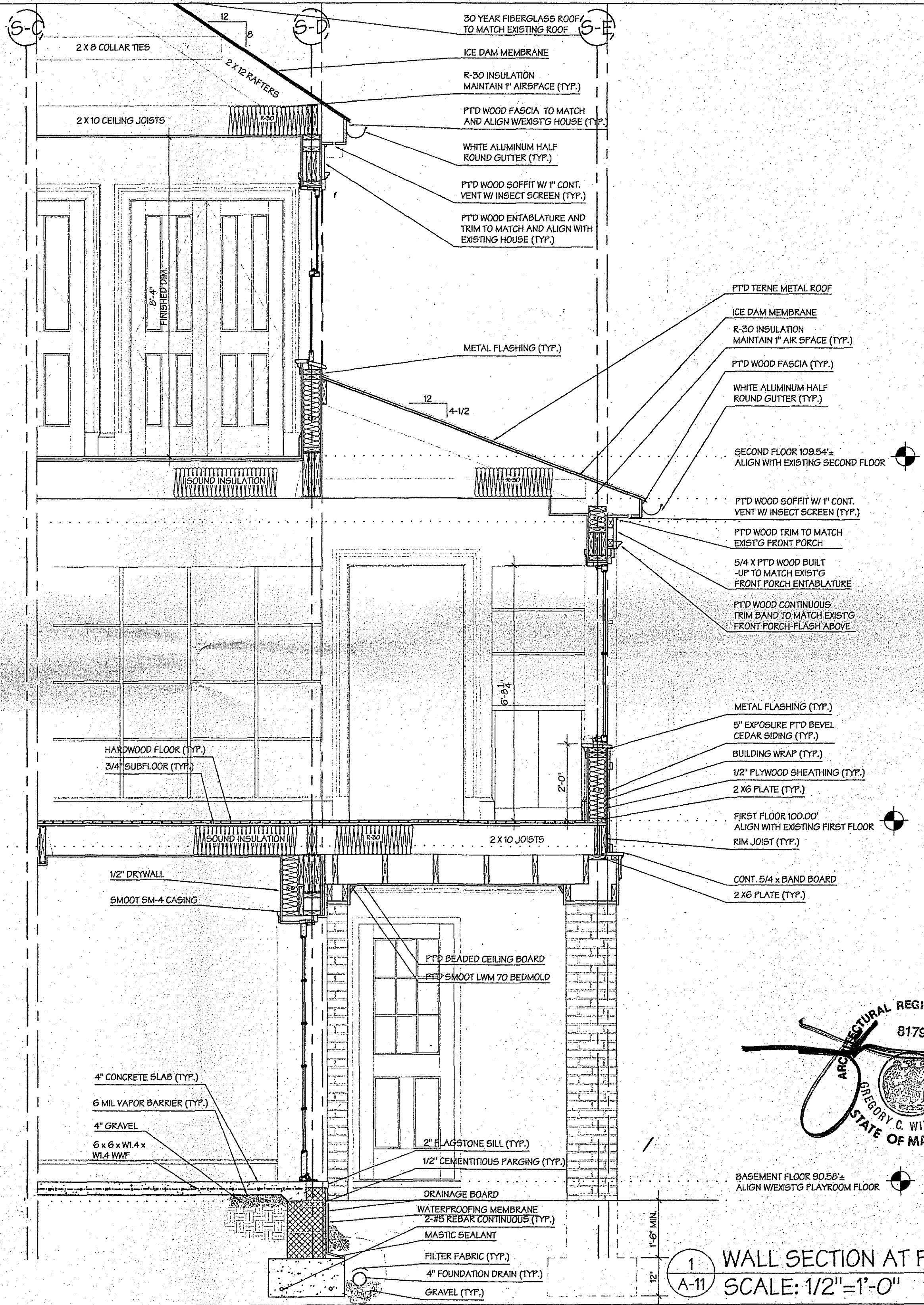
HUGHES STERN RESIDENCE
5806 WARWICK PLACE
CHEVY CHASE, MARYLAND 20815

PERMIT SET:
02-22-01

WALL SECTIONS @ PORCH

SCALE: 1/2" = 1'-0"

A-10



- 30 YEAR FIBERGLASS ROOF TO MATCH EXISTING ROOF
- ICE DAM MEMBRANE
- R-30 INSULATION MAINTAIN 1" AIRSPACE (TYP.)
- PTD WOOD FASCIA TO MATCH AND ALIGN W/EXISTG HOUSE (TYP.)
- WHITE ALUMINUM HALF ROUND GUTTER (TYP.)
- PTD WOOD SOFFIT W/ 1" CONT. VENT W/ INSECT SCREEN (TYP.)
- PTD WOOD ENTABLATURE AND TRIM TO MATCH AND ALIGN WITH EXISTING HOUSE (TYP.)

- PTD TERNE METAL ROOF
- ICE DAM MEMBRANE
- R-30 INSULATION MAINTAIN 1" AIRSPACE (TYP.)
- PTD WOOD FASCIA (TYP.)
- WHITE ALUMINUM HALF ROUND GUTTER (TYP.)

- SECOND FLOOR 109.54'± ALIGN WITH EXISTING SECOND FLOOR
- PTD WOOD SOFFIT W/ 1" CONT. VENT W/ INSECT SCREEN (TYP.)
- PTD WOOD TRIM TO MATCH EXISTG FRONT PORCH
- 5/4 X PTD WOOD BUILT UP TO MATCH EXISTG FRONT PORCH ENTABLATURE
- PTD WOOD CONTINUOUS TRIM BAND TO MATCH EXISTG FRONT PORCH FLASH ABOVE

- METAL FLASHING (TYP.)
- 5" EXPOSURE PTD BEVEL CEDAR SIDING (TYP.)
- BUILDING WRAP (TYP.)
- 1/2" PLYWOOD SHEATHING (TYP.)
- 2 X6 PLATE (TYP.)
- FIRST FLOOR 100.00'± ALIGN WITH EXISTING FIRST FLOOR RIM JOIST (TYP.)
- CONT. 5/4 X BAND BOARD
- 2 X6 PLATE (TYP.)

HARDWOOD FLOOR (TYP.)
3/4" SUBFLOOR (TYP.)

1/2" DRYWALL
SMOOT SM-4 CASING

4" CONCRETE SLAB (TYP.)
6 MIL VAPOR BARRIER (TYP.)
4" GRAVEL
6 x 6 x W1.4 x W1.4 WWF

PTD BEADED CEILING BOARD
PTD SMOOT LWM TO BEDMOLD

2" FLAGSTONE SILL (TYP.)
1/2" CEMENTITIOUS FARGING (TYP.)

DRAINAGE BOARD
WATERPROOFING MEMBRANE
2-#5 REBAR CONTINUOUS (TYP.)
MASTIC SEALANT
FILTER FABRIC (TYP.)
4" FOUNDATION DRAIN (TYP.)
GRAVEL (TYP.)

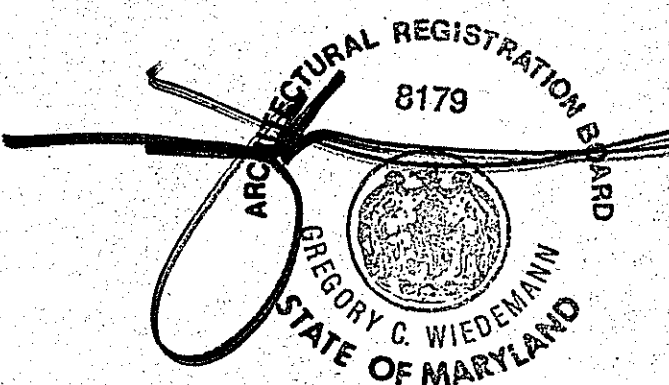
SECOND FLOOR 109.54'± ALIGN WITH EXISTING SECOND FLOOR

FIRST FLOOR 100.00'± ALIGN WITH EXISTING FIRST FLOOR RIM JOIST (TYP.)

BASEMENT FLOOR 90.58'± ALIGN WITH EXISTG PLAYROOM FLOOR

12"
1'-6" MIN.

1 WALL SECTION AT FAM. RM.
SCALE: 1/2" = 1'-0"



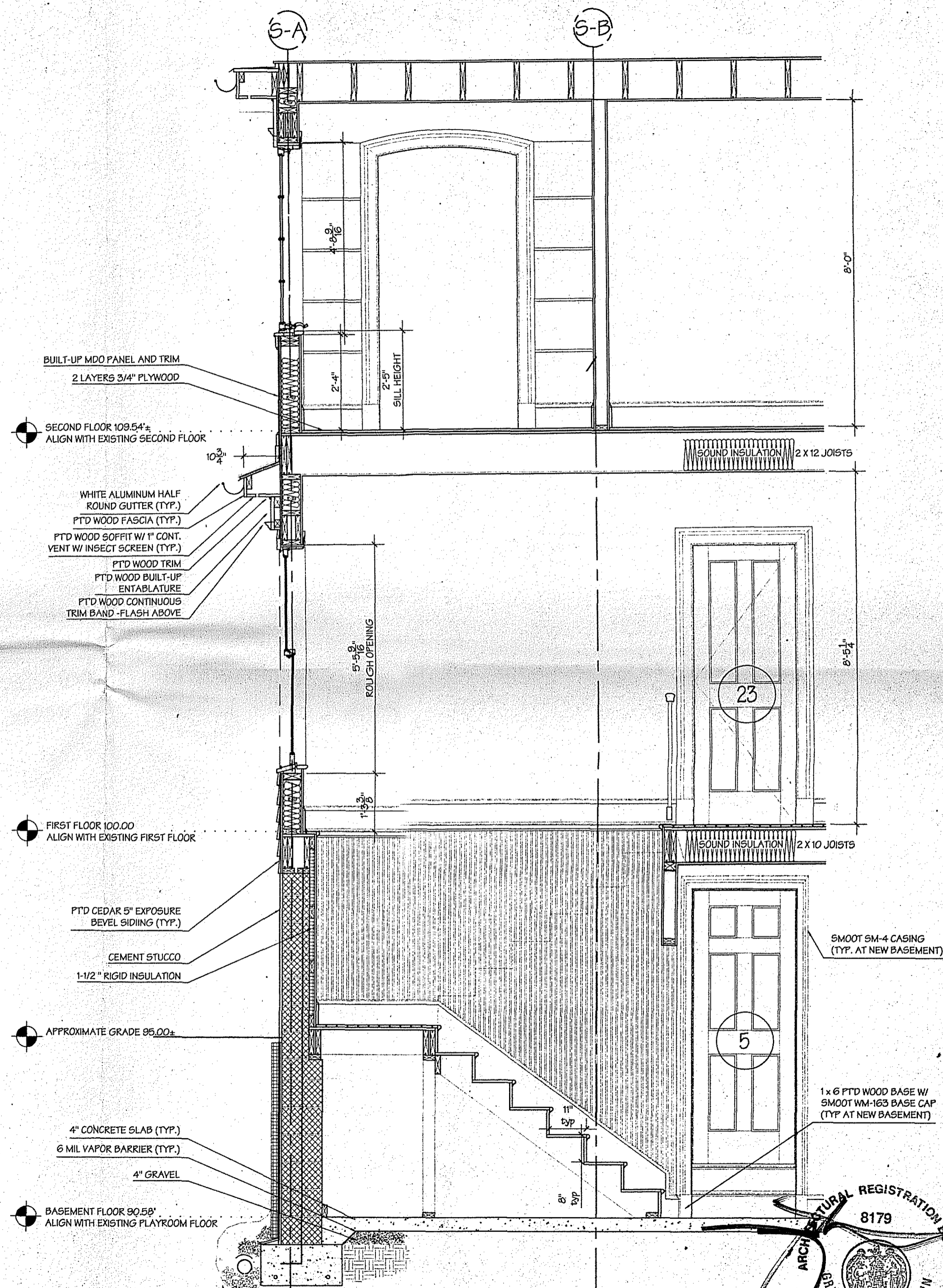
WIEDEMANN ARCHITECTS
5272 RIVER ROAD SUITE 610
BETHESDA, MARYLAND 20816

HUGHES STERN RESIDENCE
5806 WARWICK PLACE
CHEVY CHASE, MARYLAND 20815

PERMIT SET:
02-22-01

WALL SECTIONS @ FAMILY ROOM
SCALE: 1/2" = 1'-0"

A-11



BUILT-UP MDO PANEL AND TRIM
2 LAYERS 3/4" PLYWOOD

SECOND FLOOR 109.54'
ALIGN WITH EXISTING SECOND FLOOR

WHITE ALUMINUM HALF ROUND GUTTER (TYP.)
PTD WOOD FASCIA (TYP.)
PTD WOOD SOFFIT W/ 1" CONT. VENT W/ INSECT SCREEN (TYP.)
PTD WOOD TRIM
PTD WOOD BUILT-UP ENTABLATURE
PTD WOOD CONTINUOUS TRIM BAND - FLASH ABOVE

FIRST FLOOR 100.00
ALIGN WITH EXISTING FIRST FLOOR

PTD CEDAR 5" EXPOSURE BEVEL SIDING (TYP.)
CEMENT STUCCO
1-1/2" RIGID INSULATION

APPROXIMATE GRADE 95.00±

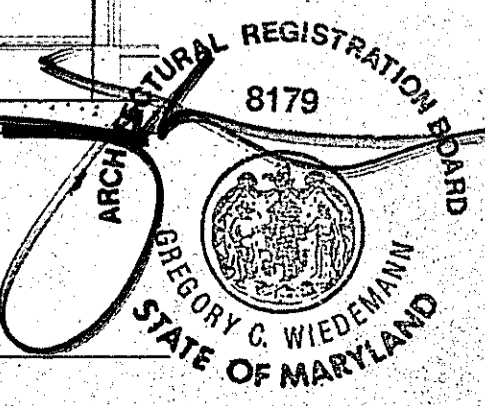
4" CONCRETE SLAB (TYP.)
6 MIL VAPOR BARRIER (TYP.)
4" GRAVEL

BASEMENT FLOOR 90.58'
ALIGN WITH EXISTING PLAYROOM FLOOR

SMOOT SM-4 CASING (TYP. AT NEW BASEMENT)

1 x 6 PTD WOOD BASE W/ SMOOT WM-163 BASE CAP (TYP. AT NEW BASEMENT)

1 SECTION THROUGH BASEMENT STAIR
A-12 SCALE: 1/2" = 1'-0"



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5272 RIVER ROAD SUITE 610
BETHESDA, MARYLAND 20816

HUGHES STERN RESIDENCE
5806 WARWICK PLACE
CHENY CHASE, MARYLAND 20815

PERMIT SET:
J2-22-01

SECTION AT BASEMENT STAIR
SCALE: 1/2" = 1'-0"

A-12

WIEDEMANN ARCHITECTS

ARCHITECTURE
PLANNING
INTERIORS

Gregory Wiedemann AIA

12 September 2001

Ms. Robin Ziek
Montgomery County Historic Preservation Commission
Maryland National Capital Park and Planning Commission
8787 Georgia Avenue
Silver Spring, Maryland 20910-3760
VIA FAX 301.563.3412

RE: Hughes/Stern Residence
5806 Warwick Place
Permit No. 238984

Dear Robin:

This letter summarizes what we discussed at our site meeting this morning regarding the renovation and addition to 5806 Warwick Place, currently underway in Somerset. The contractor recently removed the aluminum siding that covered the original siding and clad the former addition to the residence. We are seeking the Commission's approval of the following items:

1. Removal of the deteriorating siding and the replacement with siding to match.

When it was removed the condition of the existing siding has raised several maintenance concerns that suggest to us that the existing deteriorating siding should be removed and replaced:

- (a) Lack of Proper Moisture Barrier: There is no moisture barrier under the existing siding. The siding was installed over diagonal sheathing and rosin paper.
- (b) Lack of Proper Insulation: There is no insulation in the exterior walls. Our client is interested in making the residence energy efficient and we were planning to place insulation in the exterior walls. The lack of a proper moisture barrier and the presence of exterior wall insulation will very likely accelerate the further deterioration of the existing siding.
- (c) Lack of Proper Backpriming: The existing siding was not backprimed, promoting the absorption of moisture and the further deterioration of the paint on the exterior.
- (d) Lack of Proper Flashing: The existing windows were not properly flashed, leading to deterioration of the siding at the head and jamb conditions where water was diverted from the head casing.

Portions of the existing siding on the north side are not original; it was added when the front door was relocated and a portion of the porch was enclosed. Much of that area is badly rotten and structural repair is required to the sill plate, wall framing, and sheathing that will require the removal of a significant portion of the exterior siding to execute the repair. Other portions of North side will need to be removed to install the new double Dining Room window shown on the approved plans.

We propose to remove the siding and retain the window casings and replace the narrow exposure lap siding with new siding of the identical profile as the original. This will permit us to backprime the siding, install a proper moisture barrier and flashing, as well as insulate the exterior wall without risking further deterioration.

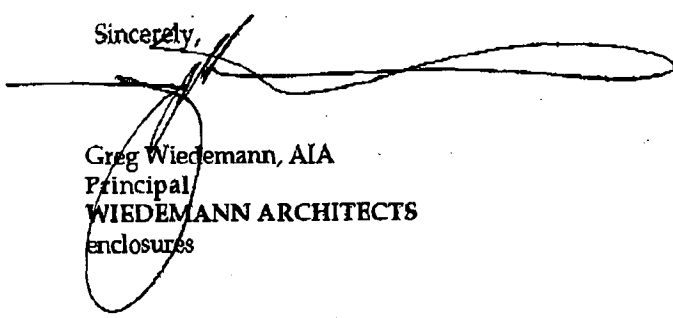
2. Installation of siding on the new addition to match the existing narrow exposure siding profiles.
The second issue relates to the new siding to be used on the former addition and the new addition that we have designed. We originally proposed to double the exposure on the new portion to contrast it with the original house. As you can see from the attached sketches, our original proposal did not clearly define the line between the old and new. The original house extended to the line of the porch columns. After seeing the house with the original siding, we began to reconsider our decision to contrast the exposure and would like to seek approval for installing a similar exposure siding on the new additions with a vertical batten to delineate the historic building from the newer additions on the street façade only. The only other intersection between old and new, along the right side, is clearly delineated by a setback of the new building and by a contrasting stucco foundation wall. A sketch of the originally proposed front façade is attached, along with a sketch of the currently proposed solution.

The other houses of similar period on Warwick Street all have narrow exposure siding for both the new and the original siding, and we feel that this approach will be more sympathetic with the street, while more accurately delineating the edge of the original house. Unlike some of its neighbors, 5806 Warwick Place will have a very clear demarcation between new and old. The use of vertical battens where the new and old portions meet, by the change in the foundation from stone to stucco, and the clear offset in plane along the North side all provide a clear line between old and new.

We propose to use the same narrow exposure lap siding of the identical profile as the original for all new work and use the change of plane and vertical batten at the intersection of the new and the original portions of the house. We believe this is more consistent with the other houses on the block and more aesthetically pleasing, while preserving the distinction between old and new.

Thank you for meeting with us at the site earlier today to discuss these matters. I look forward to receiving the Commission's decision regarding the above items.

Sincerely,

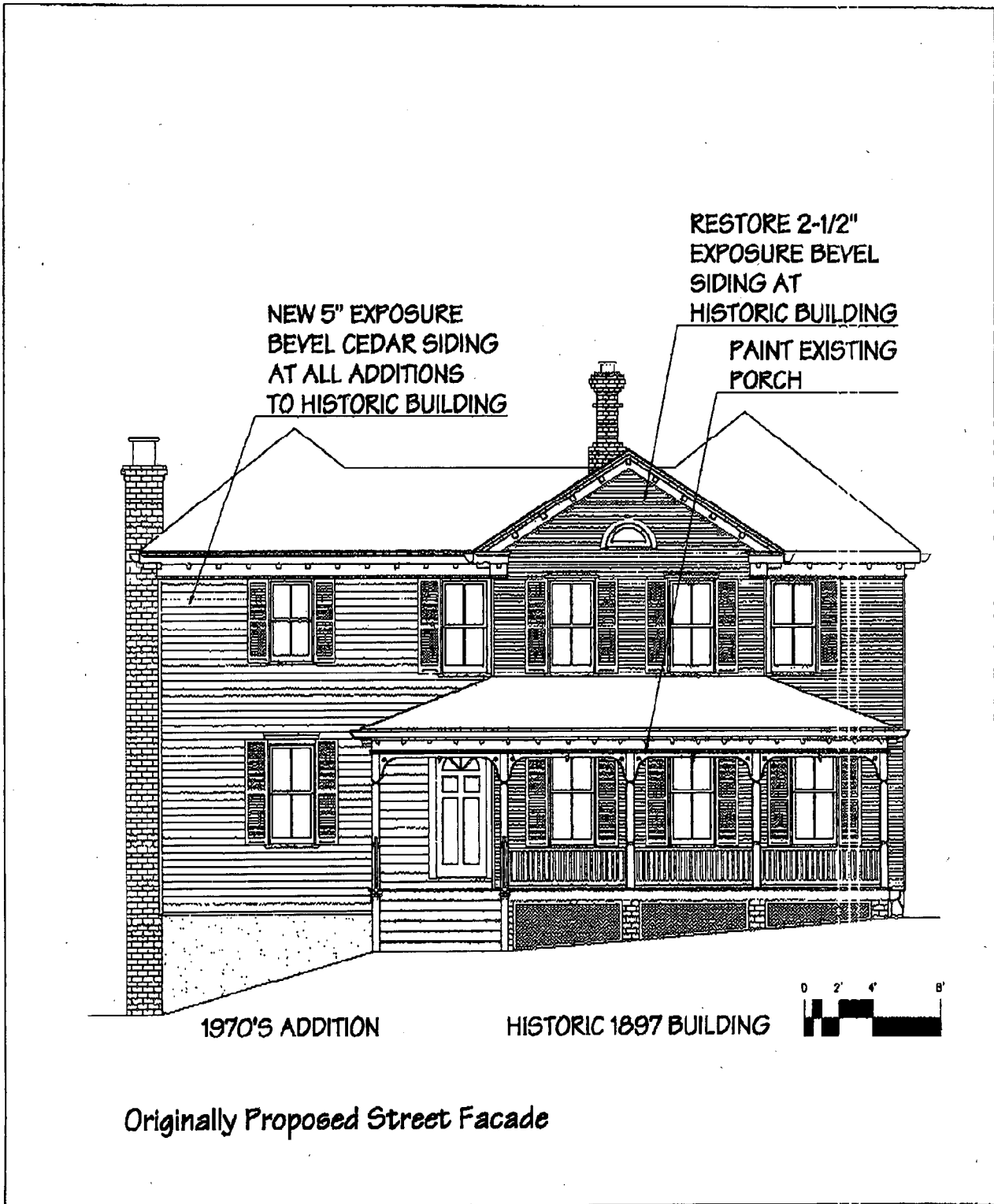


Greg Wiedemann, AIA
Principal
WIEDEMANN ARCHITECTS
enclosures

WIEDEMANN ARCHITECTS

Project: Hughes Stern Residence
Scale: SCALE: 1/8" = 1'-0"

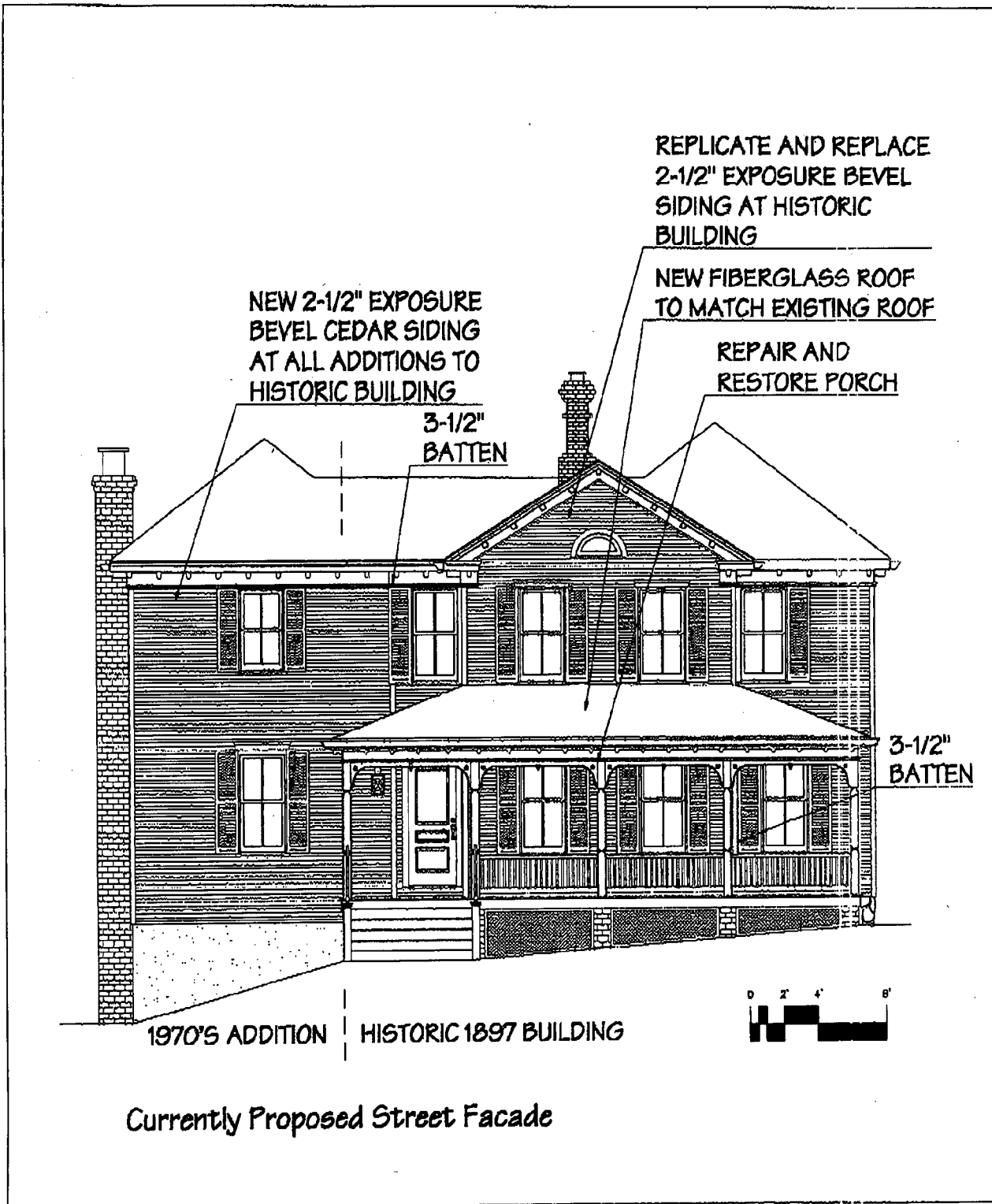
Sketch: Originally Proposed Street Facade
Date: 12 September 2001



WIEDEMANN ARCHITECTS

Project: Hughes Stern Residence
Scale: SCALE: 1/8" = 1'-0"

Sketch: Currently Proposed Street Facade
Date: 12 September 2001



5272 RIVER ROAD
SUITE 610
BETHESDA, MD 20816-1405
Phone: 301.652.4022
Fax: 301.652.4094

**WIEDEMANN
ARCHITECTS**

Fax

To: Robin Ziek, MNCPPC

From: Greg Wiedemann, AIA

Fax: 1.301.563.3412

Date: September 12, 2001

Phone:

Pages: 5, including cover sheet

Re: 5806 Warwick Place

CC:

Urgent For Review Please Comment Please Reply Please Recycle

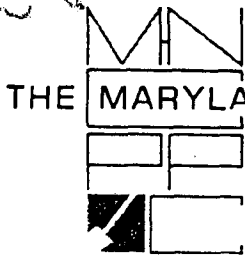
•Comments:

Robin:

Attached is a summary of our discussion this morning.

Greg Wiedemann, AIA

WIEDEMANN ARCHITECTS



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 2/16/01

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: *GW* Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Doris Stern + Tracey Hughes

Address: 4713 Yuma Street NW. Wash. DC 20016

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

RE: 5806 Warwick Place
Somerset Historic District



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: MICHAEL MITCHELL/WIEDERMANN ARCH

Daytime Phone No.: 301.652.4022

Tax Account No.: 077 3L 1204

Name of Property Owner: DAVID STEPH AND TRACY HUGHES Daytime Phone No.: 202.303.9273 (HOME)

Address: 4713 YUMA STREET NW WASHINGTON DC 20010
Street Number City State Zip Code

Contractor: PETERSON AND COLLINS, INC. Phone No.: 202.234.4500

Contractor Registration No.: #2760

Agent for Owner: WIEDERMANN ARCHITECTS Daytime Phone No.: 301.652.4022

LOCATION OF BUILDING/PREMISE

House Number: 5806 Street: WARWICK PLACE

Town/City: CHEV CHASE Nearest Cross Street: DORSET AVENUE

Lot: 13 Block: B-3 Subdivision: SOMERSET HEIGHTS

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
Move Install Wreck/Raze
Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
Solar Fireplace Woodburning Stove Single Family
Fence/Wall (complete Section 4) Other:

1B. Construction cost estimate: \$ 877,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENSO/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Tracy Hughes
Signature of owner or authorized agent

Jan 22, 2001
Date

Approved: X For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date: 2/14/01

Application/Permit No.: 238984 Date Filed: 1/22/01 Date Issued:

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	5806 Warwick Place	Meeting Date:	2/14/01
Applicant:	David Stern & Tracey Hughes Wiedemann Architects, Agent)	Report Date:	2/7/01
Resource:	Somerset Historic District	Public Notice:	1/31/01
Review:	HAWP	Tax Credit:	Partial
Case Number:	35/36-01A	Staff:	Robin D. Ziek

PROPOSAL: Remove portions of recent additions; add new rear addition. Remove existing aluminum siding and restore original wood siding; reside remaining portions of recent additions with wood siding; remove existing aluminum shutters and install operable wood shutters; retain existing fireplace and chimney, and remove one flue chimney; retain original stone foundation and parge 1970's block foundation and new foundation with cement.

RECOMMEND: Approval

PROJECT DESCRIPTION

SIGNIFICANCE: Primary Resource
STYLE: Victorian, Queen Anne
DATE: Built before 1916

The 2-1/2 story Victorian residence was altered in the 1970's with large rear and side additions (see Circle 8, 9). The original wood siding was covered with aluminum siding, and the new additions were sided with aluminum. The applicant has researched the site, and provided information about the extent of the original structure remaining (see Circle 10, 12, 14).

PROPOSAL

The applicant proposes to remove portions of the rear additions dating to the 1970's but retain some of these additions, including the large addition on the side (see Circle 10-15). A new addition is proposed which will include a rear-facing porch and an additional bedroom at the 2nd-floor level. The new proposal aims to be compatible with the original structure, and seeks to address compatibility issues reflected in the design decisions of the 1970's. The one chimney which is proposed to be removed has no apparent internal function (see Circle 16). The original central chimney and fireplace will be preserved.

The applicant will remove all of the aluminum siding from the house. The original wood siding will be restored, while those portions of the 1970's additions which are to remain will be resided with wood lapped siding with a 5" exposure. This will serve to differentiate the new siding from the original wood siding with its 2-1/2" exposure.

STAFF DISCUSSION

The original house has been much altered. The original entrance has already been shifted from the front elevation to the side. Some original aspects have been retained, such as the front porch, the original stairs, and the front rooms on both floors, including the fireplace and chimney on the first floor. The proposal retains these original features, and attempts to restore some integrity to the property by removing the aluminum siding and restoring the original wood siding. This work should qualify for the county's tax credit program and may qualify for the state tax credit program as well. The applicant proposes to replace the aluminum siding on 1970's additions with wood siding, and this is a more compatible material in the district.

Staff notes that the applicant is removing portions of a large addition and constructing a new large rear addition with a different "look", with more compatible materials and with a more compatible massing. The overall increased footprint is relatively small (440 sf). All of the changes are in the rear, and match the scale of what the existing house. Staff feels that the proposal is consistent with the resource and with the district.

The Somerset LAP reviewed and supports this proposal without changes.

STAFF RECOMMENDATION

Staff recommends that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the *Secretary of the Interior Guidelines #2*:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MEGAN MITCHELL/WIEDEMANN ARCH

Daytime Phone No.: 301.652.4022

Tax Account No.: 077 36 1266

Name of Property Owner: DAVID STERN AND TRACY HUGHES Daytime Phone No.: 202.303.9273 (HOME)

Address: 4713 YUMA STREET NW WASHINGTON DC 20010
Street Number City State Zip Code

Contractor: PETERSON AND COLLINS, INC. Phone No.: 202.234.4500

Contractor Registration No.: #2760

Agent for Owner: WIEDEMANN ARCHITECTS Daytime Phone No.: 301.652.4022

LOCATION OF BUILDING/PREMISE

House Number: 5806 Street: WARWICK PLACE

Town/City: CHEVY CHASE Nearest Cross Street: DORSET AVENUE

Lot: 13 Block: B-3 Subdivision: SOMERSET HEIGHTS

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

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- Construct Extend Alter/Renovate
 Move Install Wreck/Raze
 Revision Repair Revocable

CHECK ALL APPLICABLE:

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 Solar Fireplace Woodburning Stove Single Family
 Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 877,000

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2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

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3A. Height _____ feet _____ inches

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Tracy Hughes
Signature of owner or authorized agent

Jan 22, 2001
Date

Approved: _____ For Chairperson, Historic Preservation Commission

(3)

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
5800 WARWICK PLACE CHEVY CHASE, MD 20815	WIEDEMANN ARCHITECTS 5272 RIVER ROAD SUITE 610 BETHESDA, MD 20810
Adjacent and confronting Property Owners mailing addresses	
5800 WARWICK PLACE CHEVY CHASE, MD 20815	4705 DORSET AVENUE CHEVY CHASE, MD 20815
5800 - OWNER	4709 DORSET AVENUE CHEVY CHASE, MD 20815
5808 WARWICK PLACE CHEVY CHASE, MD 20815	4712 CUMBERLAND AVENUE CHEVY CHASE, MD 20815
5801 WARWICK PLACE CHEVY CHASE, MD 20815	5803 WARWICK PLACE CHEVY CHASE, MD 20815

g\addresses\noticing table

WIEDEMANN ARCHITECTS

ARCHITECTURE
PLANNING
INTERIORS

Gregory Wiedemann AIA

The following is information to supplement the Application for Historic Area Work Permit for the renovation and addition to 5806 Warwick Place. We are the architects for the Owner, David Stern and Tracey Hughes.

1. WRITTEN DESCRIPTION OF PROJECT:

(a) Brief History of House:

According to information furnished to us in a Town of Somerset publication, we understand that this house was built in 1897 for Miles Fuller and possibly lived in by the builder for a time. It was a modest L-shaped Victorian house with a U-shaped front porch and a straight rear porch.

The house has been sold several times and changed ownership most recently in 1954 and 1975. Our clients, David Stern and Tracey Hughes purchased the house in 2000. During the 1970's, several additions were constructed at the south and west sides of the original house, removing the original rear porch and significantly modifying the rear façade. The large south facing addition currently houses the living room on the first floor and two bedrooms above with a recreation room at the lower level. The two smaller west facing additions are occupied by the family room and dining room. The kitchen was expanded at that time to occupy much of the area of the previous rear porch.

The original front door has been relocated from the north side of the porch to the south side and a portion of the porch has been enclosed. The front porch, two east facing rooms (the original living room on the first floor and a bedroom on the second floor) and stair hall remain from the original house. In those areas most of the original woodwork remains. The original stair remains the current stair to the second floor, although a new stair to the lower level was added in the present foyer.

On the exterior, the original narrow exposure beveled wood siding has been covered with aluminum and the original wood shutters have been replaced with aluminum. The original front porch remains as well as the decorative wood moldings at the eaves. The original roof has been replaced with fiberglass shingles.

(b) Description of proposed project:

The 1970's additions facing west into the backyard shall be razed so that a new, more sympathetic rear addition can be built. The addition shall house a new family room and kitchen with a bedroom and bath above and an office and storage at the basement level. The proposed massing shall emulate the historic front gable and porch. The roof of the second story shall be asphalt while the roof of the first floor porch shall be painted metal. The proposed addition to the house, although sympathetic in character and massing, shall be virtually unseen from the street and shall increase the net footprint, including porches, by 440 square feet.

At the street façade it is the intention of the Owners and Architect to restore the nineteenth century portion of the house to its original character. The original beveled wood siding that still exists shall be exposed and restored. New wood siding, slightly different from the original shall replace the aluminum siding on the remaining 1970's living room addition and on the proposed addition to the rear. Operable wood shutters shall replace the aluminum applied shutters throughout. The block foundation of the 1970's living room addition and the foundation of the new addition shall have a cement parging to contrast with the historic stone foundation.

5272 River Road Kenwood Building Suite 610 Bethesda Maryland 20816 301.652.4022 FAX 301.652.4094

The original fireplace and chimney shall remain, while a flue that is unseen from the street will be taken down to allow for a new high-efficiency furnace. The existing condensing units for the air conditioning system shall remain in their north side yard location.

2. SITE PLAN

- See attached site plan

3. PLANS AND ELEVATIONS

- See required two (2) copies of the required plans and elevations

4. MATERIAL SPECIFICATIONS

The following is a description of the proposed materials for the project:

Exterior Siding:

The existing aluminum siding shall be removed from the historic structure and the recent additions scheduled to remain. The historic siding on the 1897 house, a narrow bevel siding with 2-1/2" exposure, shall be repaired and restored. All new siding, including the siding to be applied to the 1970's additions shall be a wider bevel Western Red Cedar siding with 5" exposure, as suggested by the historic preservation planning staff at the Montgomery County Department of Park and Planning.

Wood Shutters:

Operable wood shutters shall replace the aluminum applied shutters throughout.

Foundations:

The block foundation of the 1970's living room addition and the foundation of the new addition shall have a cement grout to contrast with the historic stone foundation.

Exterior Trim:

The existing front porch shall remain, as well as all other existing historic trim on the original house. All new exterior trim shall be Western Red Cedar or Redwood, in profiles as depicted on the elevations.

Windows:

The windows in the historic house shall be restored and all new windows shall be Marvin wood windows, both double hung and casements, with simulated divided lites with spacer bars. The mullion pattern of the existing and proposed windows are as shown on the attached drawings.

Roofing:

The existing fiberglass roof shall remain. The new roof of the proposed addition shall be fiberglass, similar to the existing roof, with the exception of the proposed lower rear "porch roof" that is proposed to be painted terne metal.

5. PHOTOGRAPHS

- See attached required photographs, labeled as requested.

6. TREE SURVEY

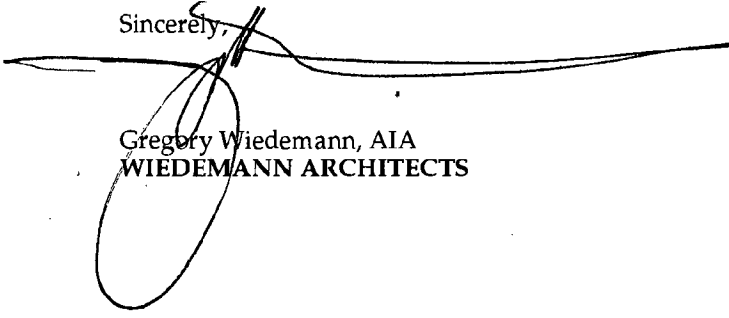
- The proposed construction is not adjacent to or within the drip line of any tree 6" or larger in diameter (at approximately 4 feet above the ground), therefore no tree survey is required. There will be no tree removal and no change to the curb cut.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

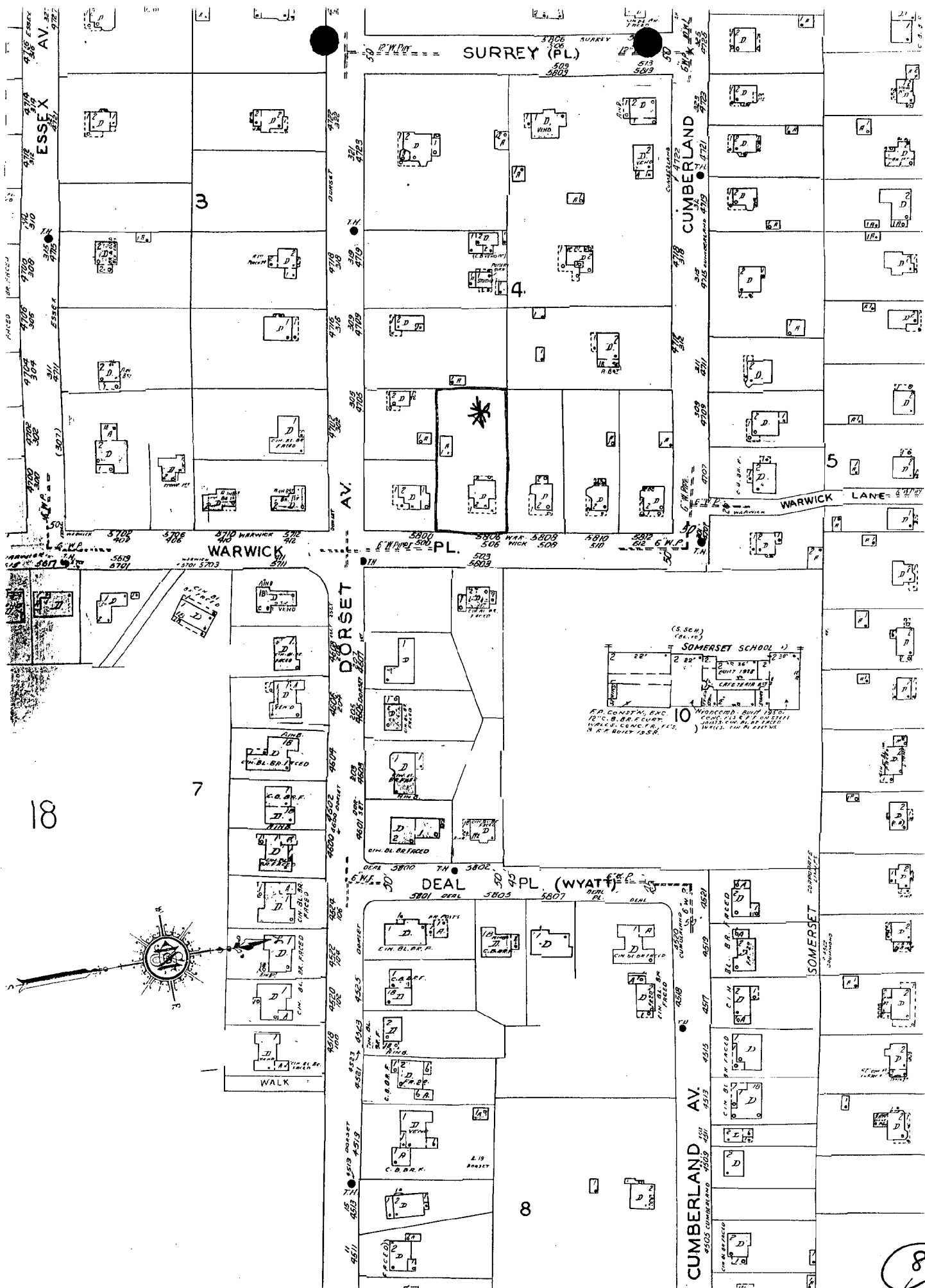
- See attached list of addresses.

On behalf of David Stern and Tracey Hughes, we respectfully submit these materials for your review and approval. If you have any questions concerning our application, please contact Megan Mitchell or myself at 301.652.4022.

Sincerely,



Gregory Wiedemann, AIA
WIEDEMANN ARCHITECTS



SURREY (PL)

CUMBERLAND

WARWICK

DORSET

DEAL PL (WYATT)

CUMBERLAND AV

SOMERSET

SOMERSET SCHOOL

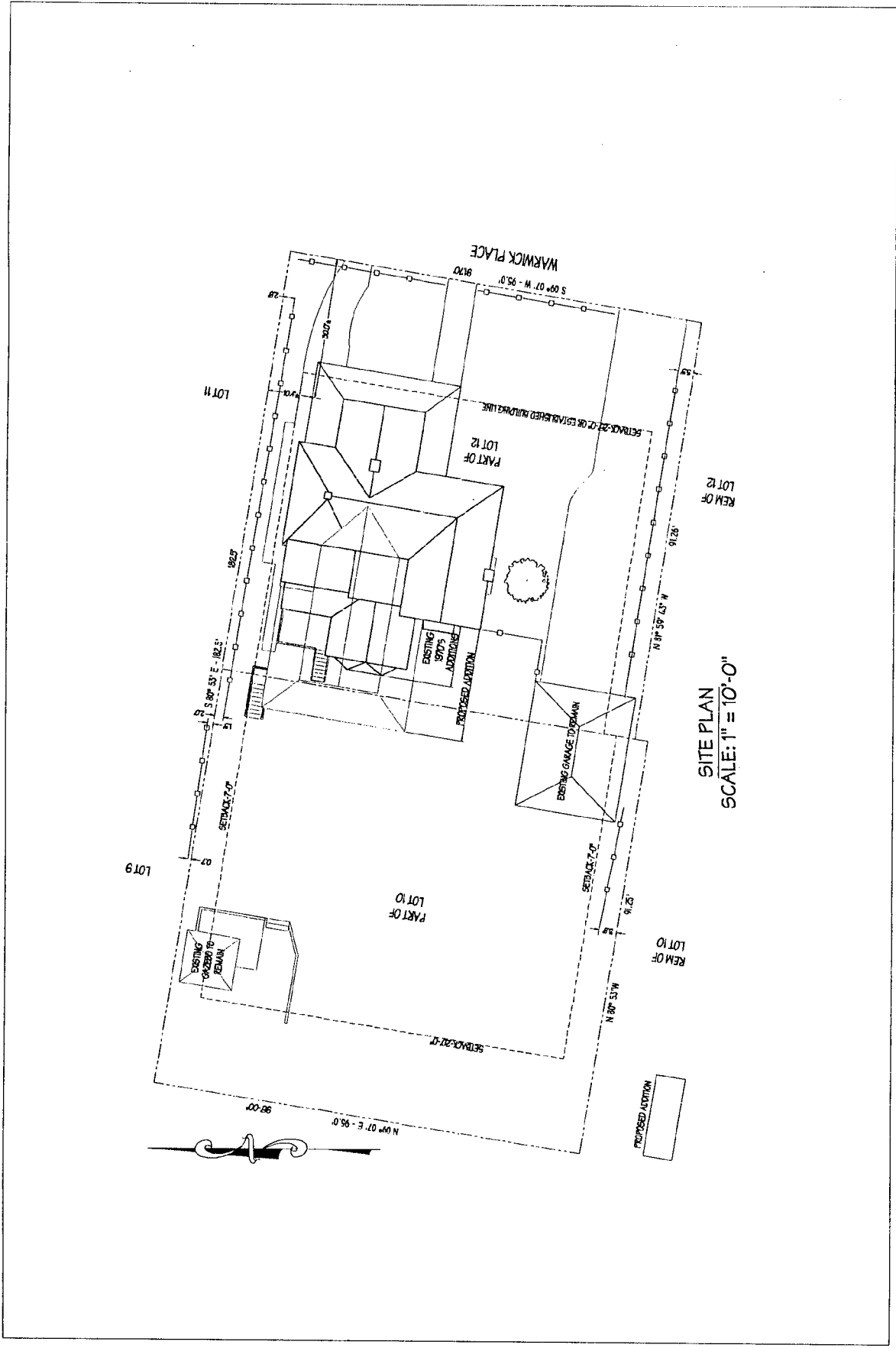
WINDHAM BUILT 1850.
 12" C. B. BR. R. CUMBERLAND
 12" C. B. BR. R. CUMBERLAND
 12" C. B. BR. R. CUMBERLAND
 12" C. B. BR. R. CUMBERLAND
 12" C. B. BR. R. CUMBERLAND

8

WEDEMANN ARCHITECTS

Project: HUGHES STERN RESIDENCE
 Scale: 1" = 10'-0"

Sketch: SITE PLAN
 Date: 22 JANUARY 2001



SITE PLAN
SCALE: 1" = 10'-0"

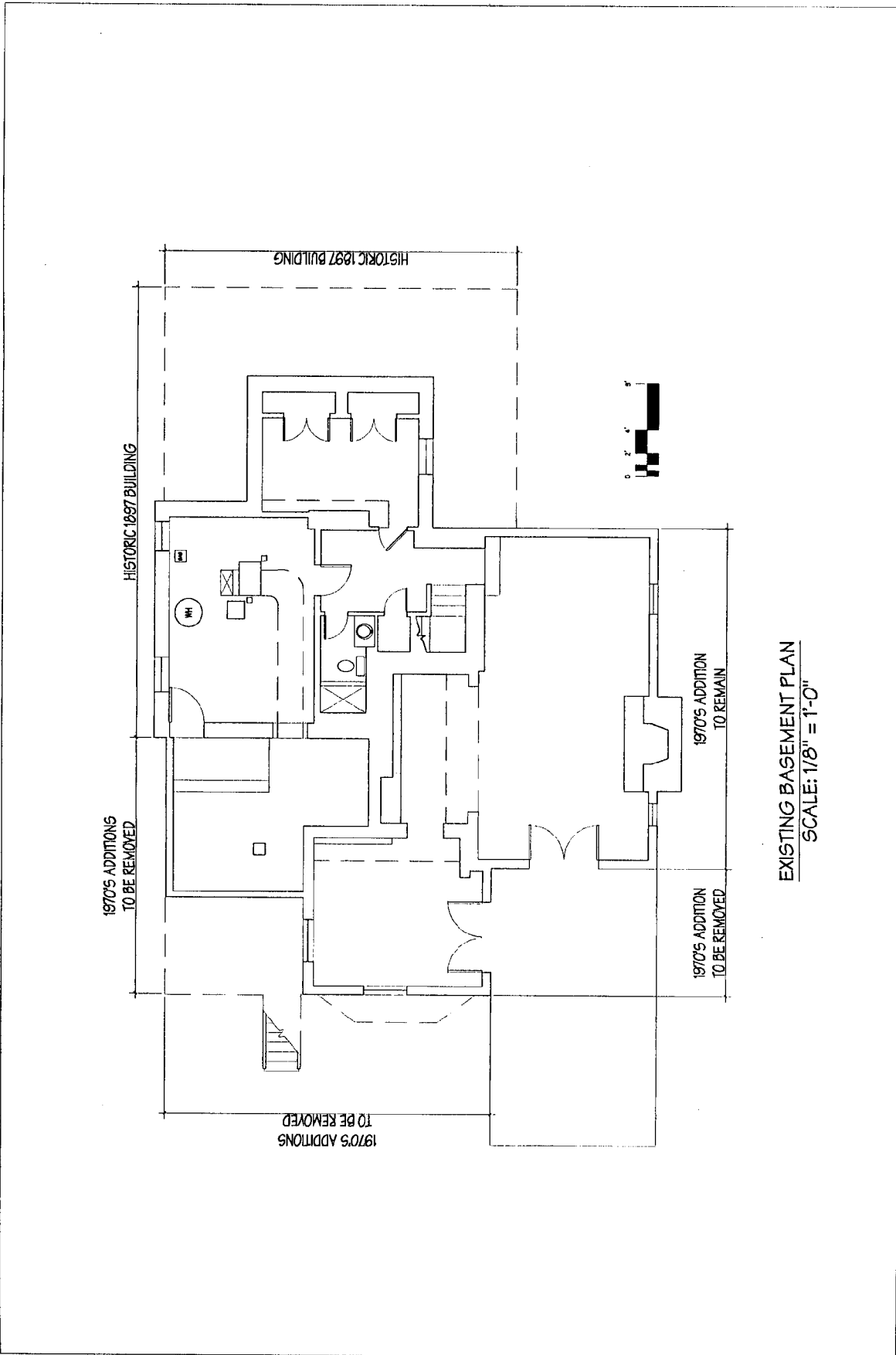
W EDEMANN ARCHITECTS

Project: HUGHES STERN RESIDENCE

Sketch: EXISTING BASEMENT PLAN

Scale: 1/8" = 1'-0"

Date: 22 JANUARY 2001



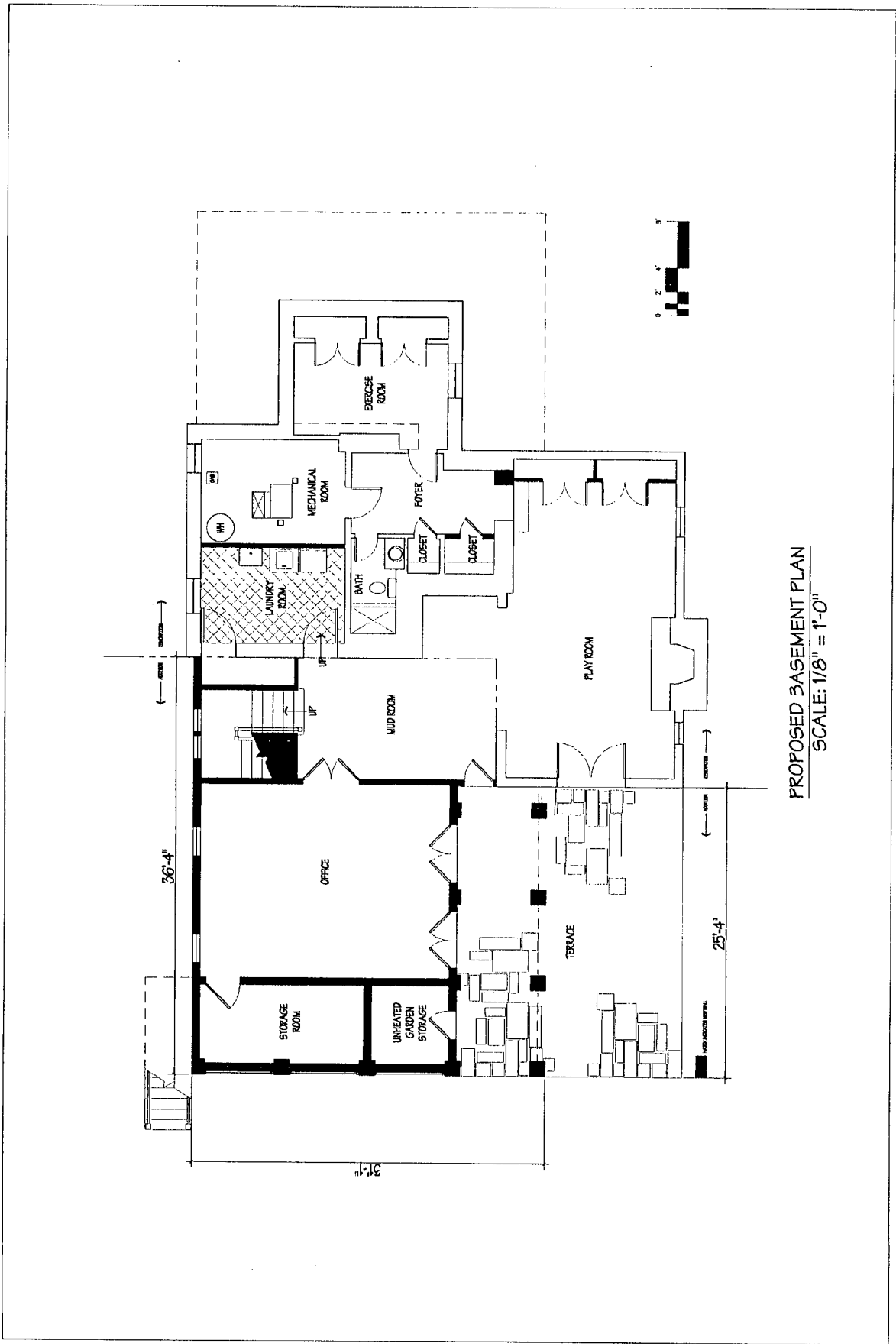
EXISTING BASEMENT PLAN
SCALE: 1/8" = 1'-0"

10

WEDEMANN ARCHITECTS

Project: HUGHES STERN RESIDENCE
Scale: 1/8" = 1'-0"

Sketch: PROPOSED BASEMENT PLAN
Date: 22 JANUARY 2001

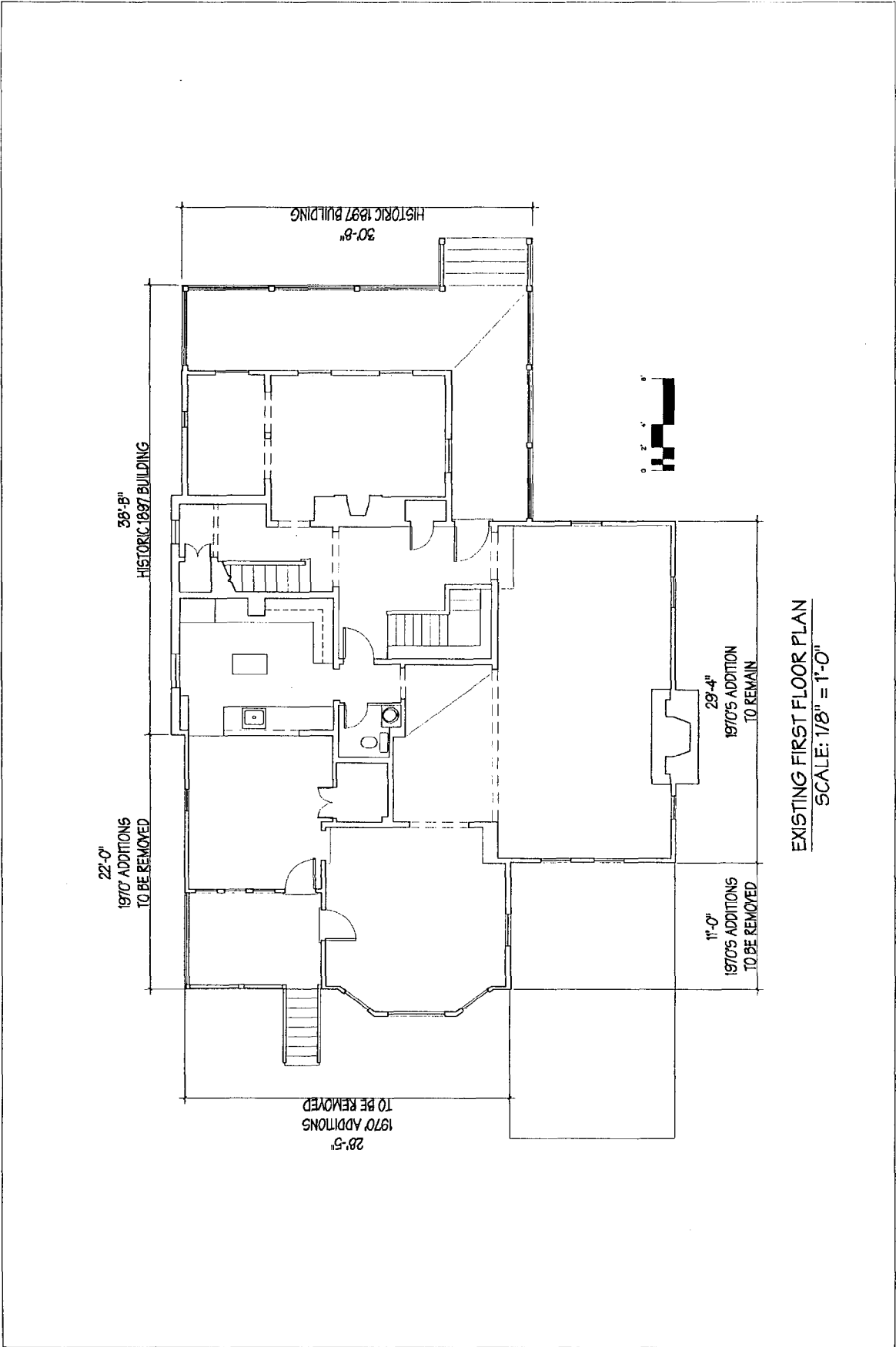


PROPOSED BASEMENT PLAN
SCALE: 1/8" = 1'-0"

11

Project: HUGHES STERN RESIDENCE
Scale: 1/8" = 1'-0"

Sketch: EXISTING FIRST FLOOR PLAN
Date: 22 JANUARY 2001

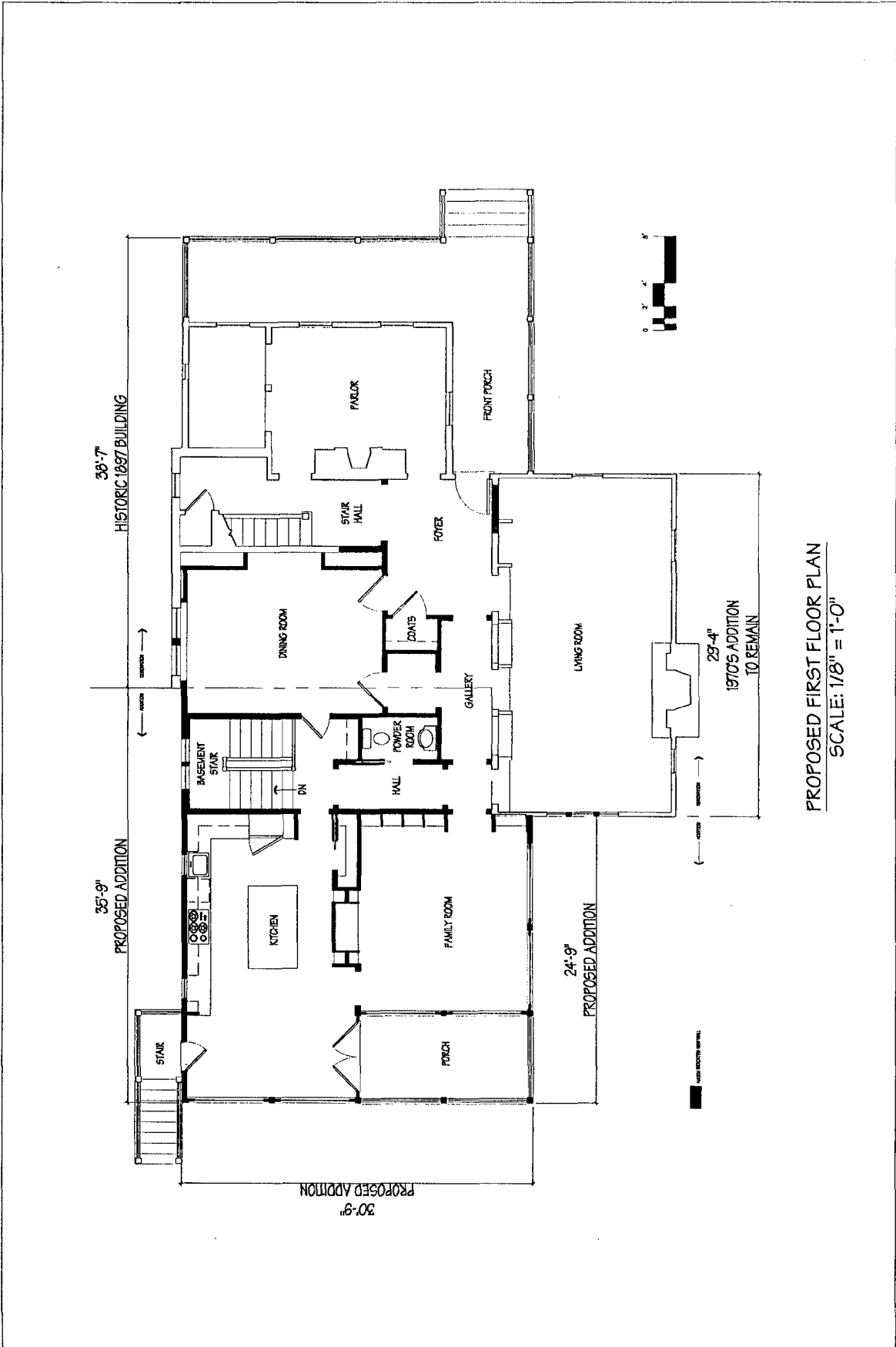


EXISTING FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

WEDEMANN ARCHITECTS

Project: HUGHES STERN RESIDENCE
 Scale: 1/8" = 1'-0"

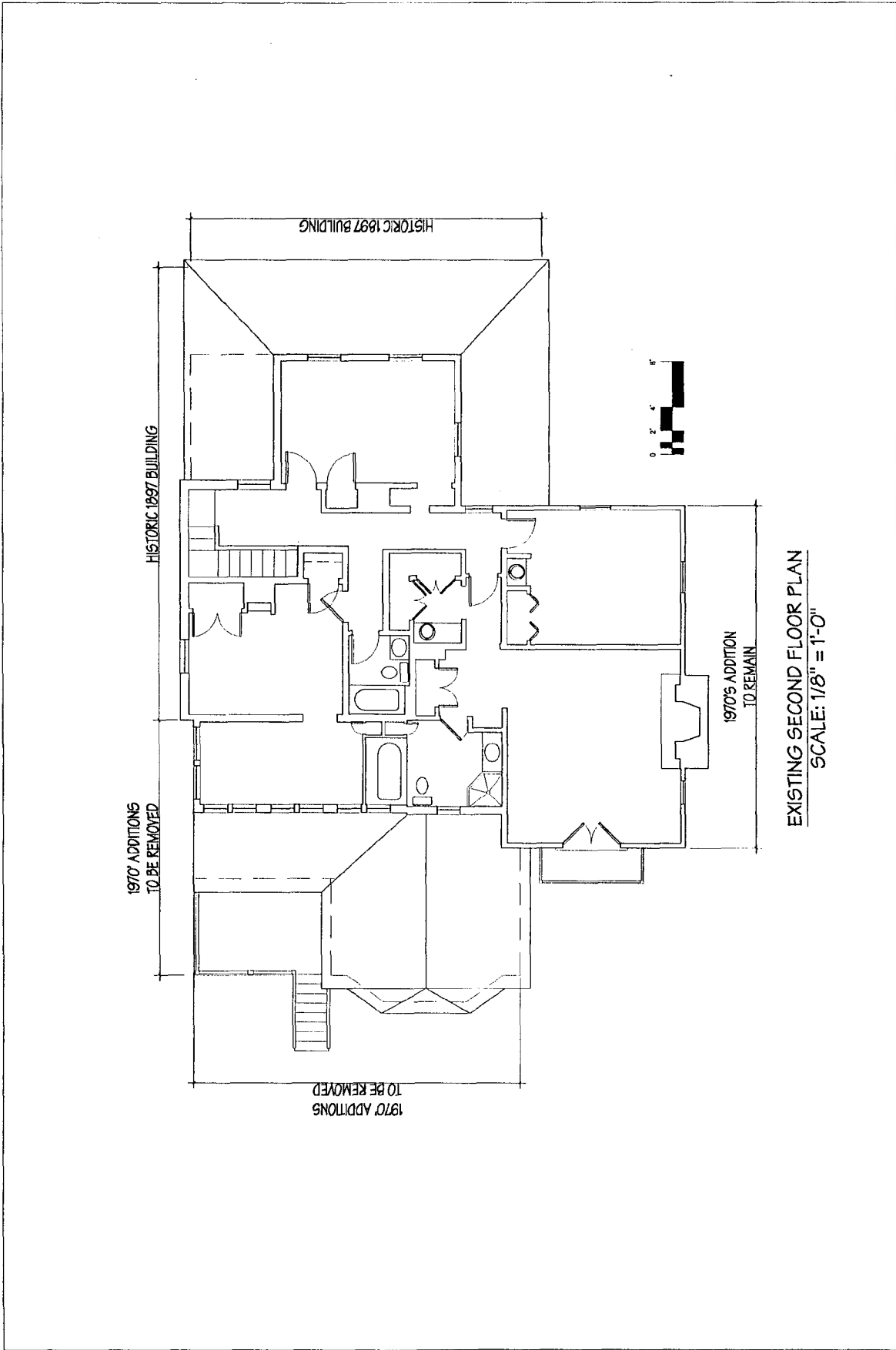
Sketch: PROPOSED FIRST FLOOR PLAN
 Date: 22 JANUARY 2001



PROPOSED FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"

Project: HUGHES STERN RESIDENCE
Scale: 1/8" = 1'-0"

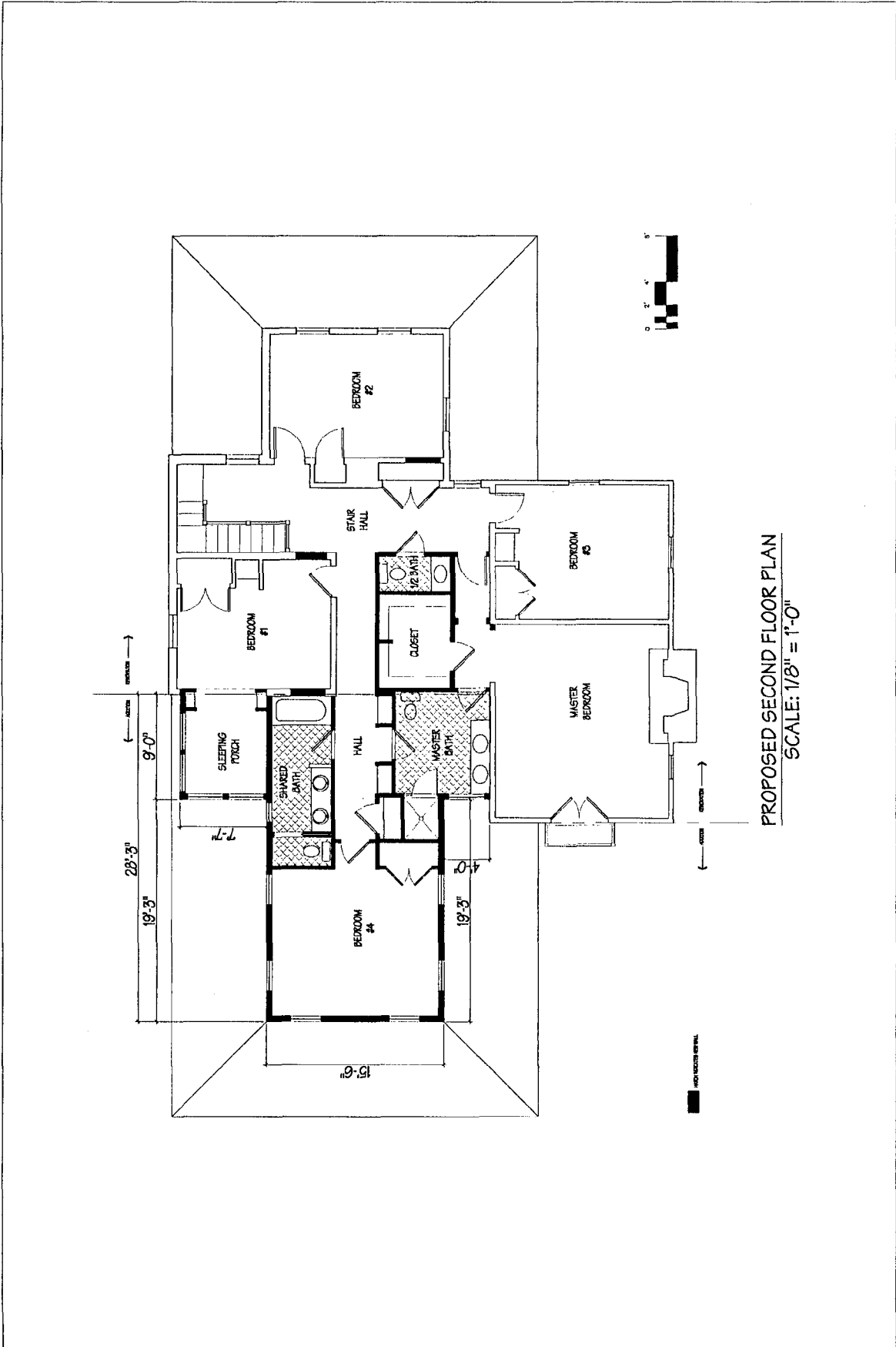
Sketch: EXISTING SECOND FLOOR PLAN
Date: 22 JANUARY 2001



19

Project: HUGHES STERN RESIDENCE
Scale: 1/8" = 1'-0"

Sketch: PROPOSED SECOND FLOOR PLAN
Date: 22 JANUARY 2001

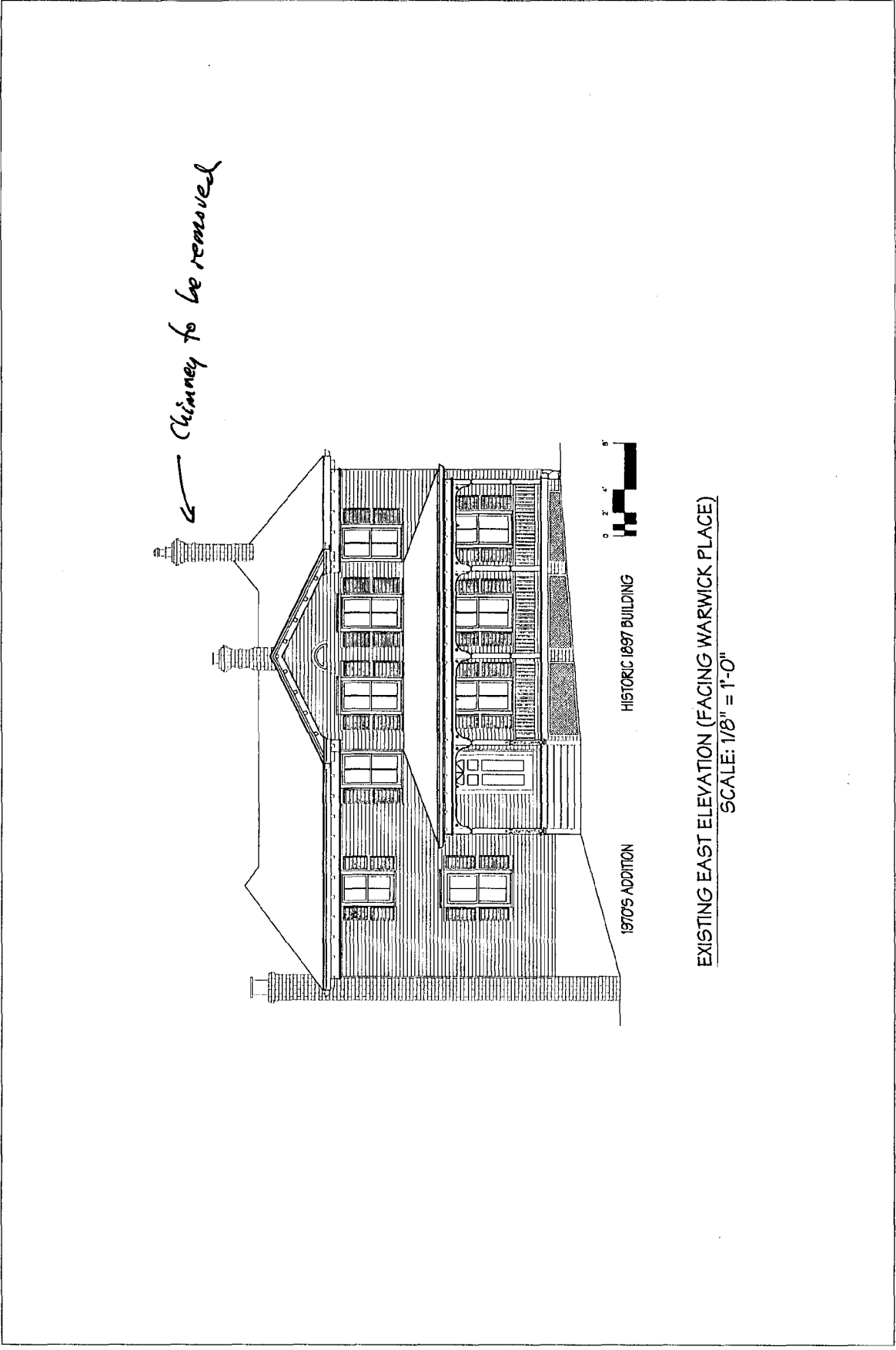


15

WEDEMANN ARCHITECTS

Project: HUGHES STERN RESIDENCE
Scale: 1/8" = 1'-0"

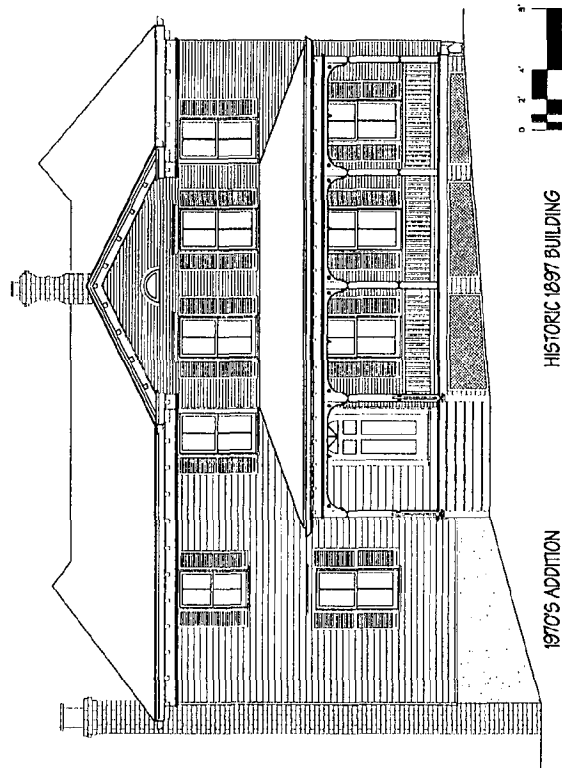
Sketch: EXISTING EAST FACADE
Date: 22 JANUARY 2001



EDEMANN ARCHITECTS

Project: HUGHES STERN RESIDENCE
Scale: 1/8" = 1'-0"

Sketch: PROPOSED EAST FACADE
Date: 22 JANUARY 2001



PROPOSED EAST ELEVATION (FACING WARWICK PLACE)

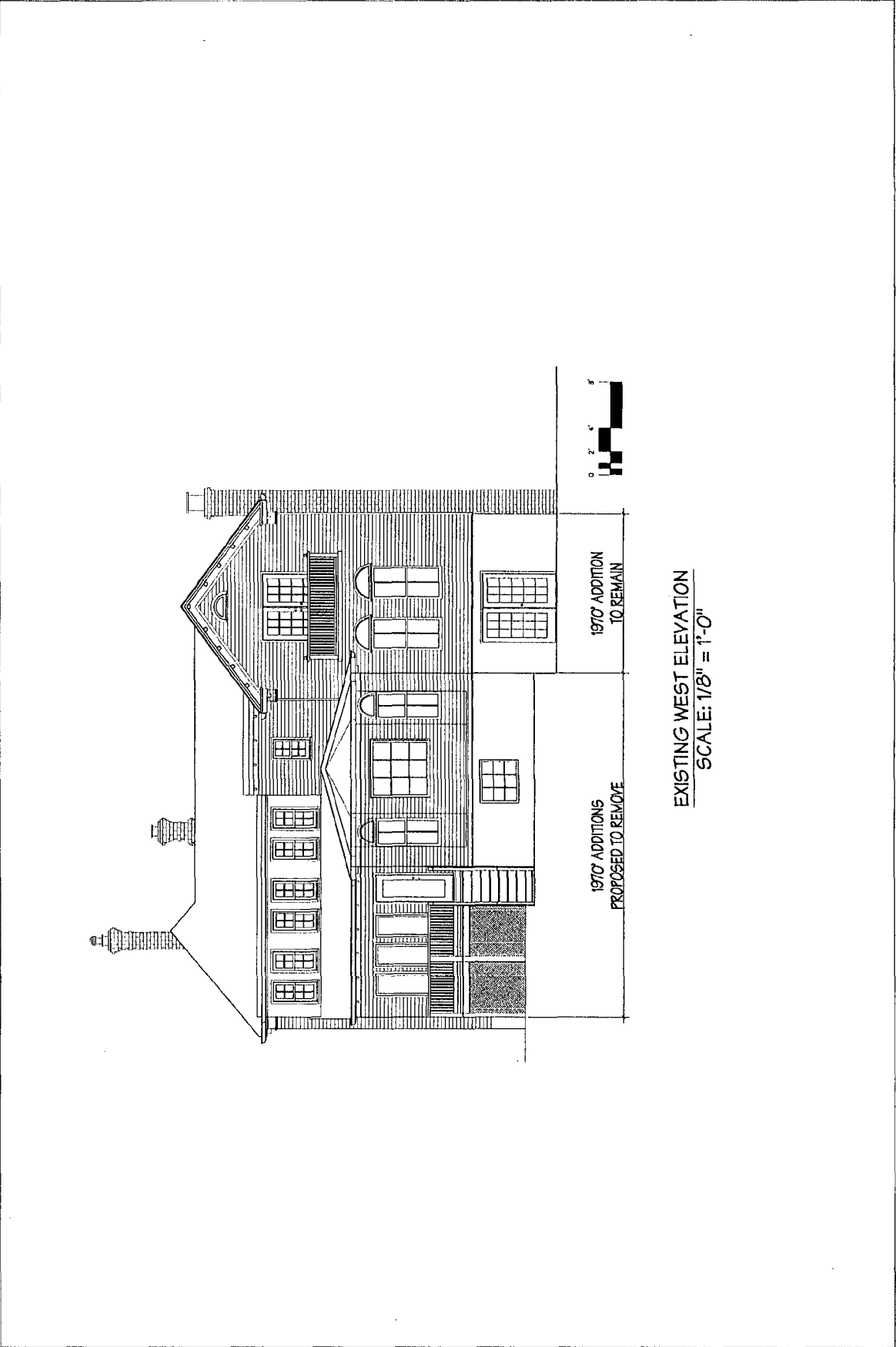
SCALE: 1/8" = 1'-0"

17

WEDEMANN ARCHITECTS

Project: HUGHES STERN RESIDENCE
Scale: 1/8" = 1'-0"

Sketch: EXISTING WEST FACADE
Date: 22 JANUARY 2001



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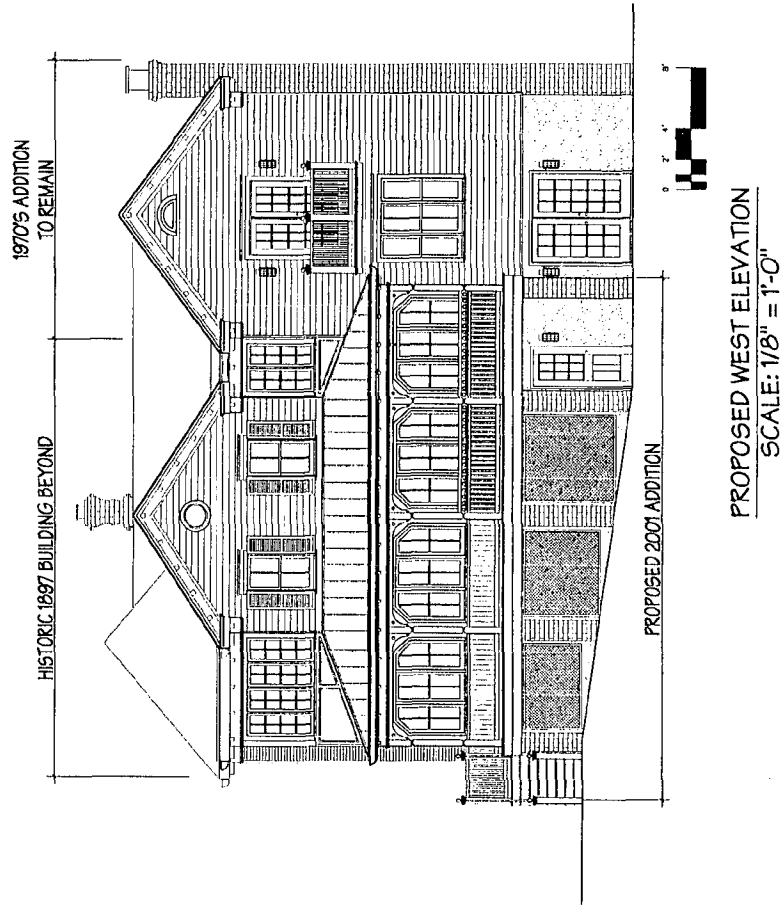
WEDEMANN ARCHITECTS

Project: HUGHES STERN RESIDENCE

Sketch: PROPOSED WEST FACADE

Scale: 1/8" = 1'-0"

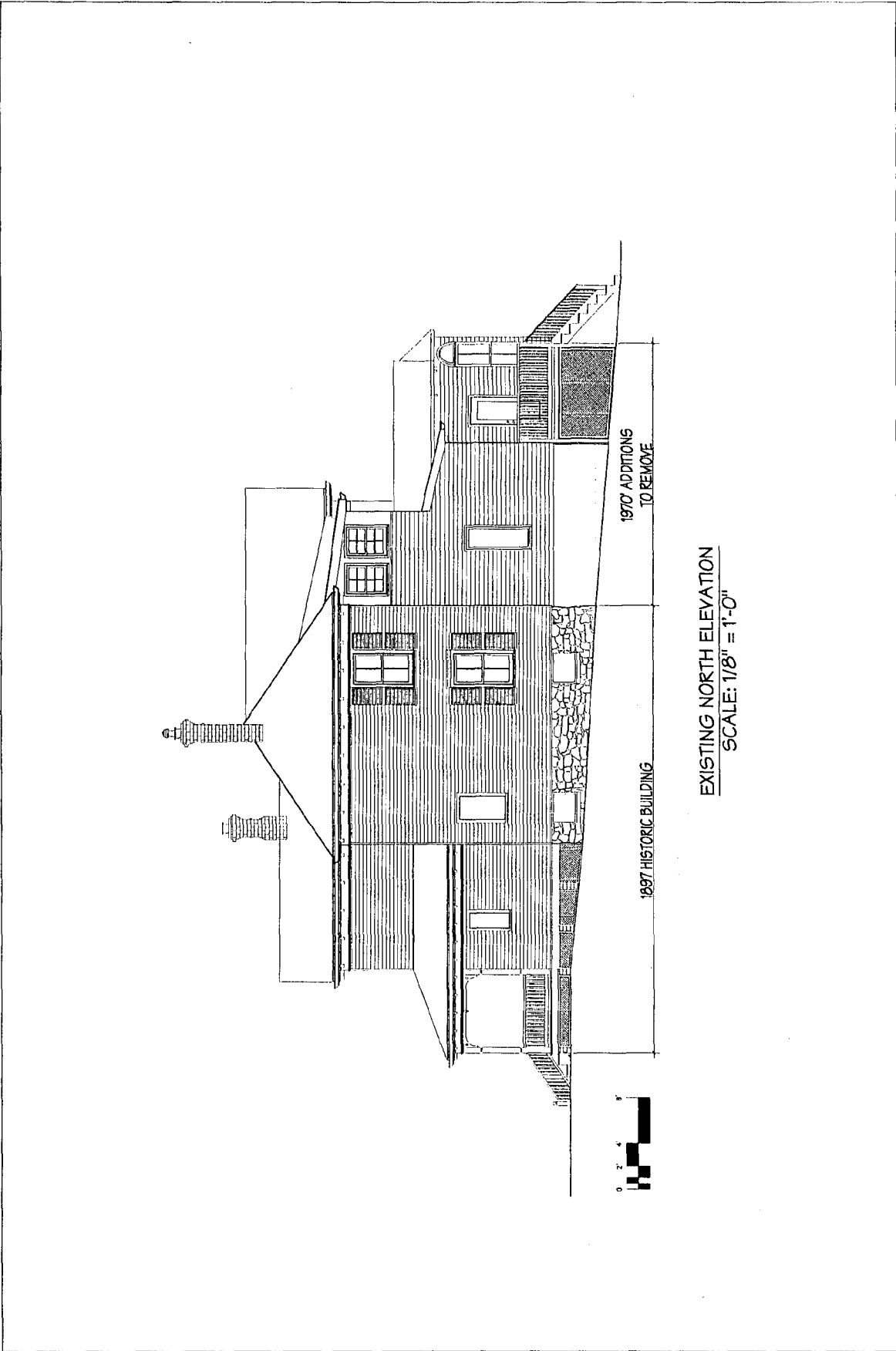
Date: 22 JANUARY 2001



EDEMANN ARCHITECTS

Project: HUGHES STERN RESIDENCE
Scale: 1/8" = 1'-0"

Sketch: EXISTING NORTH FACADE
Date: 22 JANUARY 2001



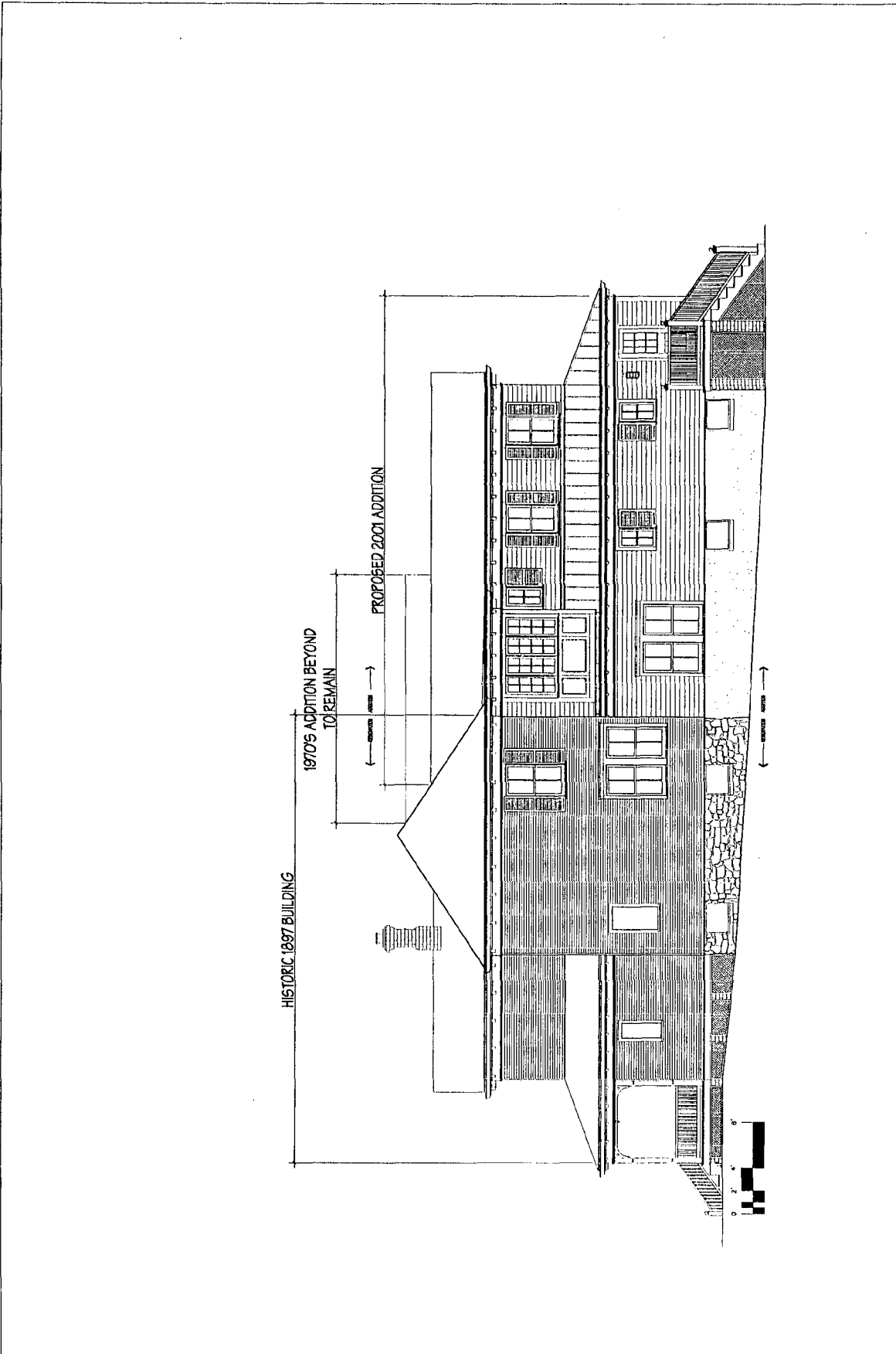
HEDEMANN ARCHITECTS

Project: HUGHES STERN RESIDENCE

Sketch: PROPOSED NORTH FACADE

Scale: 1/8" = 1'-0"

Date: 22 JANUARY 2001

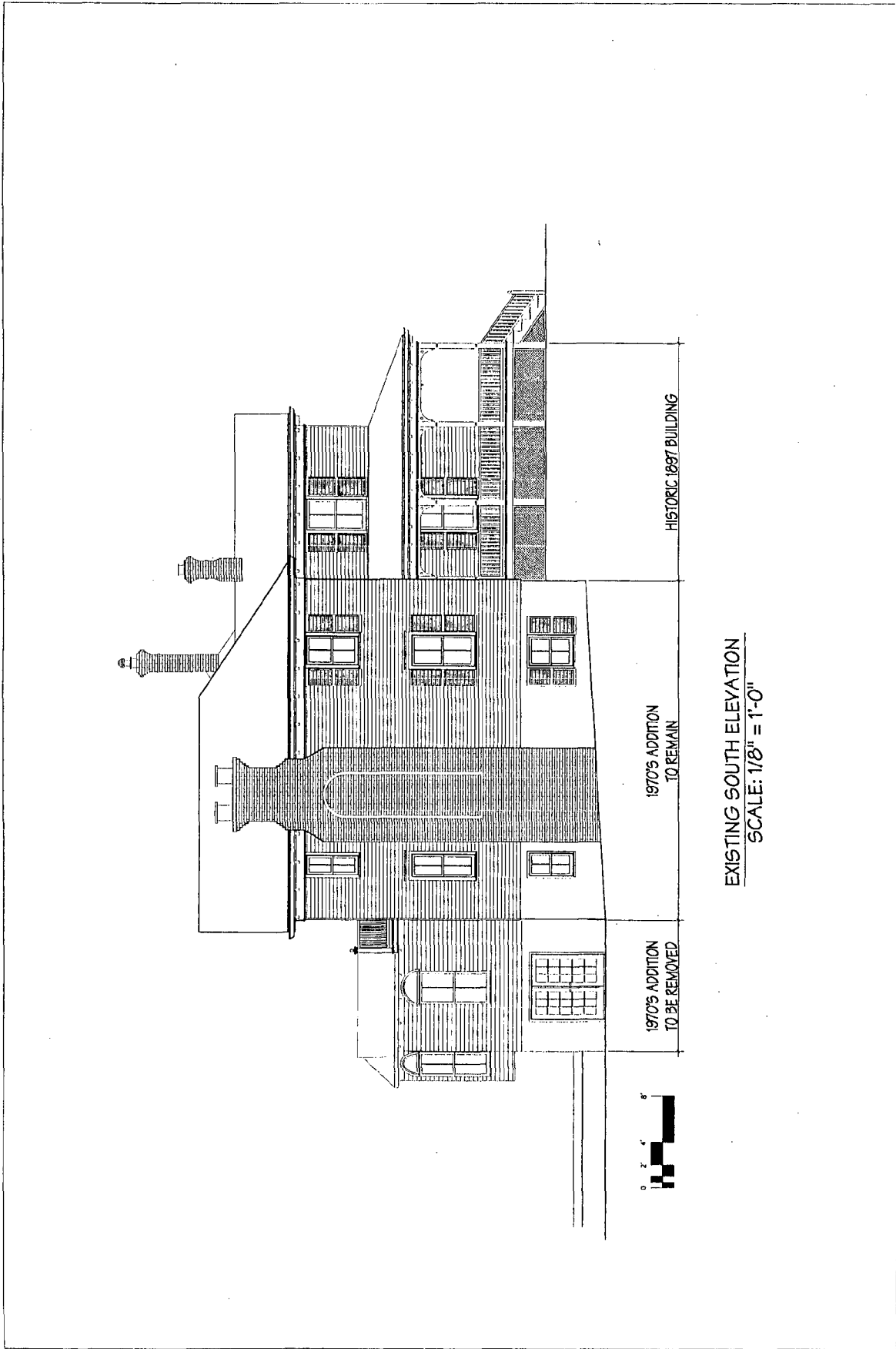


21

WEDEMANN ARCHITECTS

Project: HUGHES STERN RESIDENCE
Scale: 1/8" = 1'-0"

Sketch: EXISTING SOUTH FACADE
Date: 22 JANUARY 2001



EXISTING SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

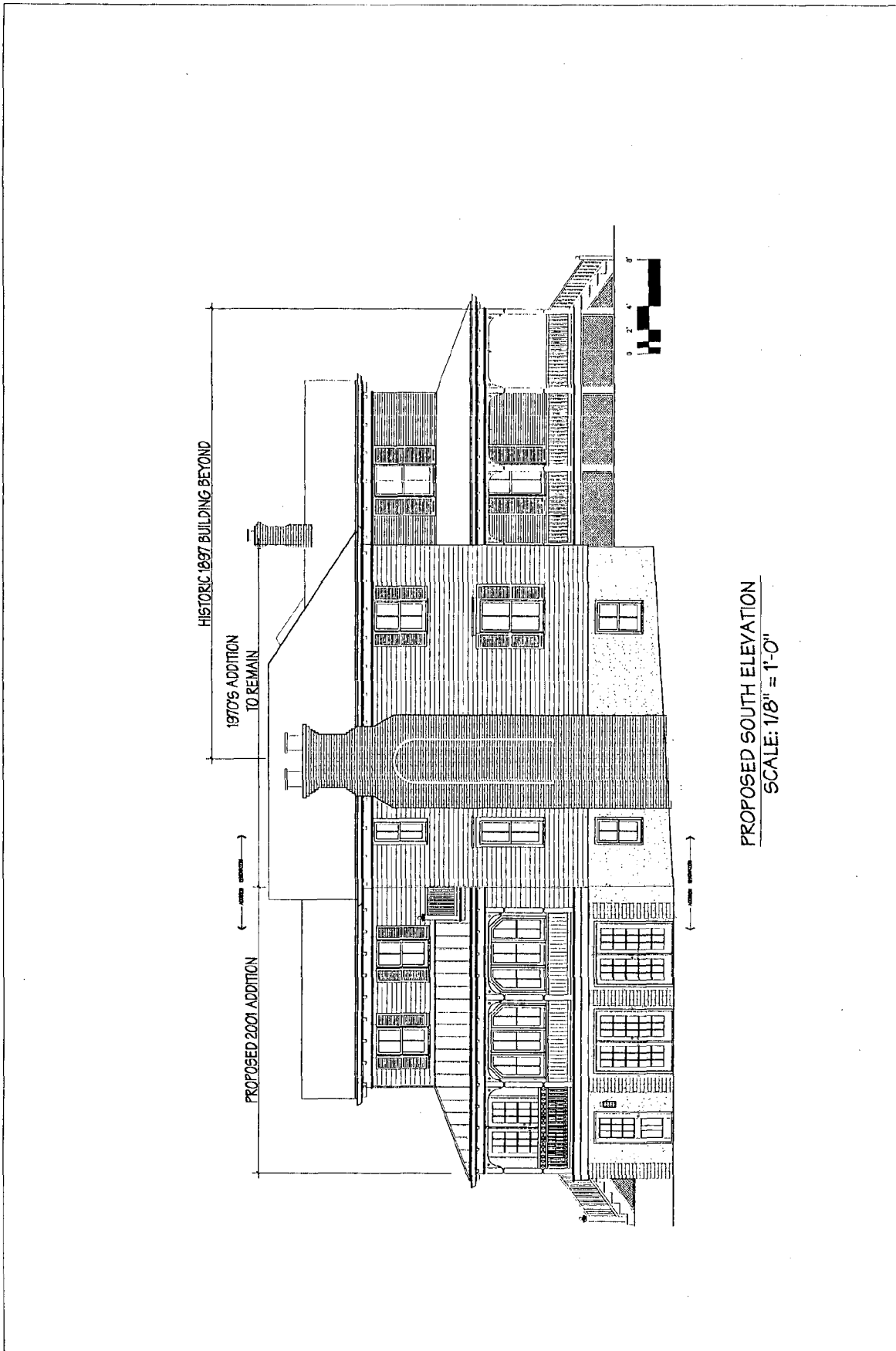
WIEDEMANN ARCHITECTS

Project: HUGHES STERN RESIDENCE

Sketch: PROPOSED SOUTH FACADE

Scale: 1/8" = 1'-0"

Date: 22 JANUARY 2001



WIEDEMANN ARCHITECTS

Project: HUGHES STERN RESIDENCE

Sketch: PHOTOS OF EXISTING STREET FACADES

Scale: PHOTOS

Date: 22 JANUARY 2001



VIEW OF EAST/STREET FACADE FROM WARWICK PLACE



COLLAGED PHOTOS - VIEW OF HISTORIC FRONT PORCH NEXT TO 1970'S ADDITION
(AT LEFT)

WIEDEMANN ARCHITECTS

Project: HUGHES STERN RESIDENCE
Scale: PHOTOS

Sketch: PHOTOS OF EXISTING "BACK" YARD FACADES
Date: 22 JANUARY 2001



VIEW OF WEST/REAR FACADE FROM BACKYARD
1970'S ONE-STORY ADDITIONS PROPOSED TO BE REMOVED



VIEW OF WEST/REAR FACADE FROM BACKYARD
1970'S ONE-STORY ADDITIONS PROPOSED TO BE REMOVED

W EDEMANN ARCHITECTS

Project: HUGHES STERN RESIDENCE

Sketch: PHOTOS OF EXISTING STREET FACADES

Scale: PHOTOS

Date: 22 JANUARY 2001



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Scale: PHOTOS

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VIEW OF WEST/REAR FACADE FROM BACKYARD
1970'S ONE-STORY ADDITIONS PROPOSED TO BE REMOVED



VIEW OF WEST/REAR FACADE FROM BACKYARD
1970'S ONE-STORY ADDITIONS PROPOSED TO BE REMOVED

35/36-01A
David Weed & Tracey Hughes
4713 Yuma Street, N.W.
Washington, DC 20016

Owner
5800 Warwick Place
Chevy Chase, MD 20815

Owner
5808 Warwick Place
Chevy Chase, MD 20815

Owner
5803 Warwick Place
Chevy Chase, MD 20815

Virginia Humphreys
10401 Fawcett Street
Kensington, MD 20895

37/3-01C
Dana & Karen Czapaniski
7310 Maple Avenue
Takoma Park, MD 20912

Leroy & C.A. Adams
7312 Maple Avenue
Takoma Park, MD 20912

PRELIM.

Resident
1 West Lenox Street
Chevy Chase, MD 20815

Owner
5806 Warwick Place
Chevy Chase, MD 20815

Owner
4705 Dorset Avenue
Chevy Chase, MD 20815

Owner
4712 Cumberland Avenue
Chevy Chase, MD 20815

31/6-01F
Rudy & Suly Uberman
10403 Fawcett Street
Kensington, MD 20895

St. Paul's Methodist Church
10401 Armory Avenue
Kensington, MD 20895

Richard Deutsch
7306 Maple Avenue
Takoma Park, MD 20912

Maracy Campos
7309 Maple Avenue
Takoma Park, MD 20912

Bill & Judy Munn
3 West Lenox Street
Chevy Chase, MD 20815

Resident
5 West Lenox Street
Chevy Chase, MD 20815

Wiedemann Architects
5272 River Road, Suite 610
Bethesda, MD 20816

Owner
4709 Dorset Avenue
Chevy Chase, MD 20815

Owner
5801 Warwick Place
Chevy Chase, MD 20815

Brian Kahin & Julia Royal
10405 Fawcett Street
Kensington, MD 20895

Resident
10400 Montgomery Avenue
Kensington, MD 20895

Doris Dove
7313 Maple Avenue
Takoma Park, MD 20912

John Cope
7311 Maple Avenue
Takoma Park, MD 20912

Ron Brasher
5560 Sterrett Place, Suite 300
Columbia, MD 21044

