

- 35/36-03E 5800 Warwick Place.
Somerset Historic District



The Alexander Group, Inc.

DESIGN ▲ BUILD ▲ RENOVATE

www.Alexandergroup.net

Mike Colman, Construction Manager

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301-230-3040 Facsimile 301-230-3136

Stamped
plans in
Copy Room



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: December 18, 2003

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator AF
Historic Preservation

SUBJECT: Historic Area Work Permit # 324527

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED WITH THE FOLLOWING CONDITIONS:**

1. The new gable on the Warwick façade will be re-designed and the new design will be submitted to staff for approval.
2. The decorative horizontal band on the first floor of the Warwick façade will be removed.
3. Detailed drawings and a material list for the new retaining wall, deck and stairway will be submitted to staff for approval.
4. The detailing on the new section of the Warwick façade will be re-designed and the new design will be submitted to staff for approval.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Michael and Karen Kuehl

Address: 5800 Warwick Place, Bethesda, MD 20816

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
200 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
844.77.4970

DPS - #8

324527

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MICHAEL KUEHL
Daytime Phone No.: 301 496-0901

Tax Account No.: _____
Name of Property Owner: MICHAEL + KAREN KUEHL Daytime Phone No.: 301 496-0901
Address: 5800 WARWICK PLACE, BETHESDA, MD 20816
Street Number City State Zip Code
Contractor: THE ALEXANDER GROUP, INC Phone No.: 301 232-3040
Contractor Registration No.: 15205

Agent for Owner: ALEX DEAN Daytime Phone No.: 301 232-3040
Address: RALPH CIAMMATTEO 301 229-1801

LOCATION OF BUILDING/PREMISE

House Number: 5800 Street: WARWICK PLACE
Town/City: BETHESDA Nearest Cross Street: DORSET AVENUE
Lot: P12 Block: 3 Subdivision: SOMERSET HEIGHTS
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|-----------------------------------------------|----------------------------------|------------------------------------------------------|----------------------------------------------------------|------------------------------------|----------------------------------------------------|---------------------------------------------------|------------------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Revitalize | <input type="checkbox"/> HVAC | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Nonin Addition | <input type="checkbox"/> Porch | <input checked="" type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Taze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 500,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
- 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies of title and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] _____ Date: 10-24-2003
Signature of owner or authorized agent Date

Approved: with conditions For Chairperson Historic Preservation Commission [Signature]
Disapproved: _____ Signature: _____ Date: 12-18-03
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

EXISTING STRUCTURE: APPROXIMATELY 100 YEAR OLD
VICTORIAN STRUCTURE. BALCON STRUCTURE W/ WOOD
SIDING & TRIM.

CORNER LOT WITHIN A SINGLE FAMILY NEIGHBORHOOD.
HISTORICAL FEATURES: VICTORIAN, WITH 3 STORY TOWER
ELEMENT SURROUNDED BY HOUSE. LARGE VICTORIAN
STYLE OPEN ENTRY PORCH.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE NEW ADDITION WILL COPY THE EXISTING STRUCTURE
IN ITS VICTORIAN STYLE AND DETAIL. A NEW SMALL
ENTRY PORCH (SIDE ENTRY) WILL MATCH THE DETAILING
OF THE EXISTING ENTRY PORCH.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the tricone of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 5800 Warwick Place, Somerset **Meeting Date:** 12/17/03
Applicant: Michael and Karen Kuehl **Report Date:** 12/10/03
Resource: Contributing Resource **Public Notice:** 12/03/03
Somerset Historic District
Review: HAWP **Tax Credit:** None
Case Number: 35/36-03E CONTINUED **Staff:** Anne Fothergill

PROPOSAL: Demolition of one-story section; construction of 2-story addition

RECOMMEND: Approval with conditions

STAFF RECOMMENDATION

Staff recommends that the Commission approve the HAWP application with the conditions that:

1. The new gable on the Warwick façade be re-designed and the new design be submitted to staff for approval.
2. The decorative horizontal band on the first floor of the Warwick façade be removed.
3. Detailed drawings and a material list for the new retaining wall, deck and stairway be submitted to staff for approval.

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource in the Somerset Historic District
STYLE: Queen Anne/Italianate
DATE: c. 1902

This house is on the corner of Dorset Avenue and Warwick Place and faces south toward Dorset. It is known as the Somerset Corner Store and the Amelia Davis House. Amelia Davis, the original owner, ran a small store and the first telephone exchange out of the rear one-story section of this house. It is unclear when that one-story section was built, but it appears it may have been originally a porch off the main house and then was enclosed at some point. William Offutt writes in Bethesda: A Social History: "About 1902, William and Amelia Davis built their home at 5800 Warwick at the corner of Dorset on one of Miles Fuller's lots. They operated a small store from the north side of the house where they sold bread, candy, tobacco, and kerosene. Later the town's first telephone switchboard was here with Mrs. Davis' older daughter Louise as the operator..." It seems the store was open some time after the turn of the century and into the early 20th century, but it has not been in operation for at least 70+ years.

The house has a central hipped roof with gabled eaves on the south and east sides. The house has many intact architectural details including a 3rd story square tower with arched windows in the

east ell of the house. The back one-story section has been altered over time including a bay window addition on the Warwick (east) side and the rear (north) wall has all replacement wood siding, however an apparently original parapet wall from the store era is still in place.

The categories of designation in the Somerset Historic District are Non-Contributing and Contributing Resources so this house has the highest level of designation within the District.

The Town of Somerset has reviewed the original proposal and approved it.

The HPC reviewed this case on December 3, 2003. At that time the provided comments about the proposed project and the application was Continued to the December 17, 2003 agenda. The minutes for the December 3, 2003 meeting were not available at the time of the staff report.

PROPOSAL

The applicants are proposing a new 2-story addition to be located where the existing one-story section is (see Circles 6-9). The new addition would have wood siding to match the existing siding and wood windows. The applicants are proposing a new metal chimney flue at the back left of the new section. The new roof would match the existing and in the center section it would be 7 ¼" higher than the existing roof, but not higher than the tower. The new addition would come out 8' wider than the existing house on the left side. The site plan shows a new retaining wall and stairway at the rear left of the new section (see Circle 6).

The applicants are proposing a basement underneath the new addition. The applicants are having drainage and flooding problems and hope that the proposed changes will solve this problem.

STAFF DISCUSSION

The categories of designation in the Somerset Historic District are Non-Contributing and Contributing Resources so this house has the highest level of designation within that District. Staff finds that this house's level of integrity is outstanding and it is a particularly important property.

Staff used the *Secretary of the Interior's Standards for Rehabilitation* as a guide, specifically Standards #1, 2, 3, 4, 5, 6, and # 9 which state that:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that has acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.

6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

At the December 3, 2003 HPC meeting, it seemed that the majority of the HPC could consider approving the demolition of the one-story section of the house and the two-story addition but they did have several specific concerns as well as an overall concern about differentiation between old and new. The HPC raised a number of concerns about the proposal that they wanted the applicant to address including:

- The parapet wall form needs to remain and be incorporated into the design
- The second floor addition needs to be set back from the first floor and from the parapet wall
- The new wood chimney should be a metal flue
- The site plan is incorrect (states 2nd story addition to be added to first floor)—needs to be fixed
- The new roof shouldn't be higher than the existing roof
- The addition is too large and should be reduced
- The new gable matches the existing gable on the Warwick facade—there should be more differentiation between the two gables

In this proposal the applicants have addressed the HPC's concerns by doing the following:

- Retaining or replicating the parapet wall on the first floor
- Pushing back the second story addition approximately 2 ½ feet from the first floor/parapet wall
- Installing a new metal flue instead of the wood chimney
- Revising the site plan

Staff appreciates that the applicants took the HPC's suggestion to highlight the historic one-story parapet feature and then incorporate a new second floor section that is set back so that the historic form can be recalled.

Staff has a few remaining concerns about this proposal including the demolition of this historically-significant rear section of the house. Although no one is certain exactly when this section was built, and possibly it was originally built as a porch, this is the section which contributes to the house's historic importance—because this is where Amelia Davis ran a corner store and the first telephone exchange. Community stores play a significant role in Montgomery County history and in this case specifically in Somerset history. Staff is reluctant to recommend approval of its removal but realizes that the majority of the HPC was open to it at the December 3, 2003 meeting.

Another concern for staff is the effect the new addition as proposed will have on the original house. In order to gain better access to the tower, the applicants are proposing new stairs in the new section of the house. This feature makes the new roof higher than the original house's roof. Staff generally recommends against this as it is preferred that a new addition show subservience to the historic resource, in this case a prominent 1902 Victorian. The HPC was open to this roof design at the December 3, 2003 meeting because they felt that is the only way the applicants can reasonably access the tower's room.

Staff is concerned that the design of the new gable on the Warwick façade was not changed in this proposal. Staff wants to try not to blur where the 1902 house ends and the 2004 section begins. Staff feels that if the gable were better differentiated it would read more clearly as a new section. One possibility is to make a few minor design changes to try and achieve that differentiation. For example, the applicants might consider removing the dentils and adding gable returns so that the new gable's design is different from the existing gable. Staff is recommending as a condition of approval that these design changes to the new gable be submitted to staff for review and approval.

Another design change staff recommends is to the first floor of the Warwick façade. Staff recommends that the applicants remove the proposed decorative horizontal band that runs across the 1st floor and the bay window beneath the parapet wall. Staff would like that wall to be a simple parapet wall with the bay window but not the decorative banding. Staff is recommending this modification as a condition of approval.

Additionally, staff still has some concern about the size of the addition and its effect on the resource and the streetscape as discussed in the previous staff report. However, at the December 3, 2003 meeting the HPC for the most part approved of the proposed size and massing.

The site plan shows a new retaining wall, deck and stairway at the rear left of the new addition but more details about materials are needed on these elements before staff can review them and staff is making that review a condition of approval.

Based on the December 3, 2003 HPC discussion with all Commissioners present, staff is recommending approval with three conditions.

STAFF RECOMMENDATION

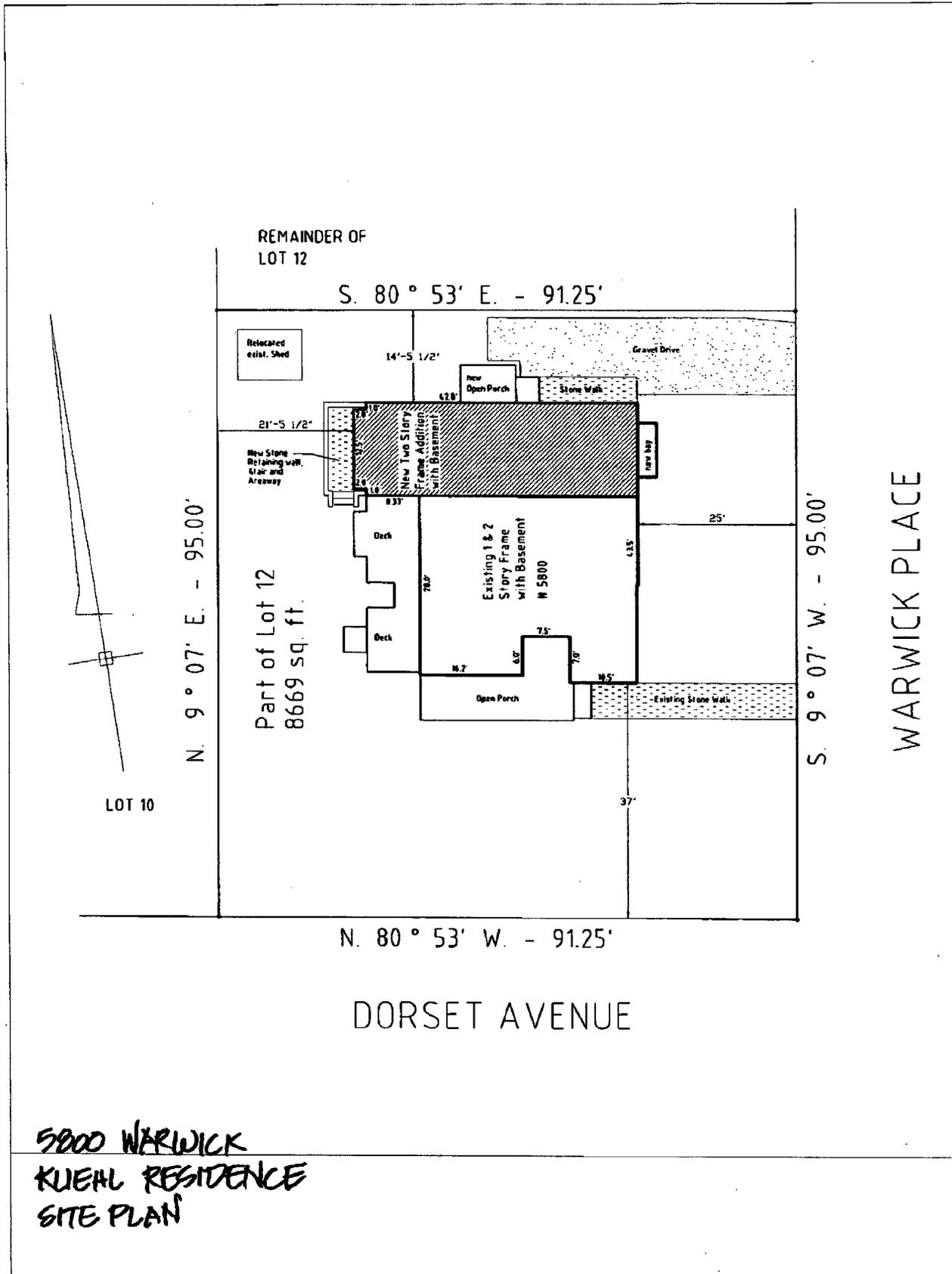
Staff recommends that the Commission *approve with conditions* the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

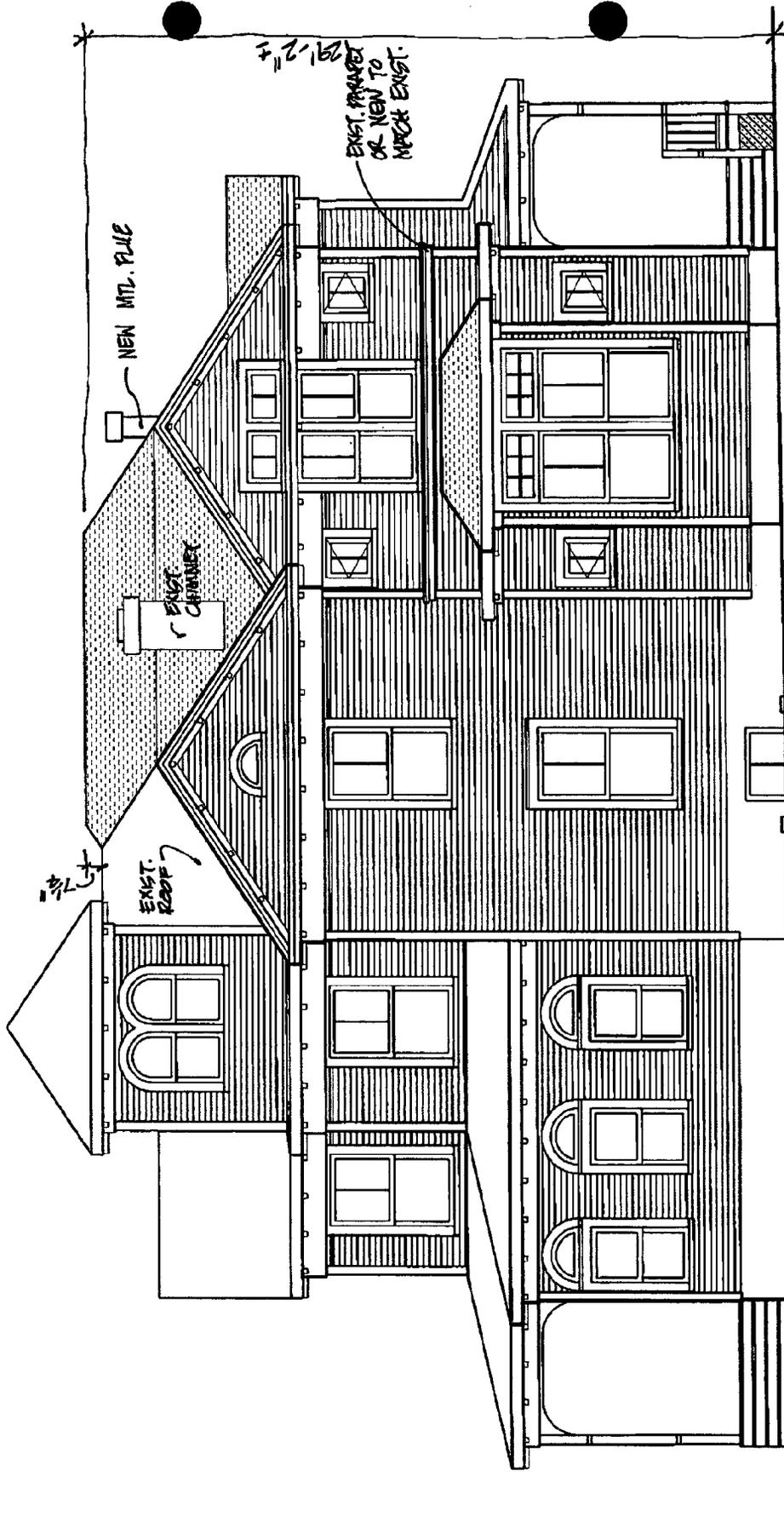
and with the conditions that:

1. The new gable on the Warwick façade be re-designed and the new design be submitted to staff for approval.
2. The decorative horizontal band on the first floor of the Warwick façade be removed.
3. Detailed drawings and a material list for the new retaining wall, deck and stairway be submitted to staff for approval.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

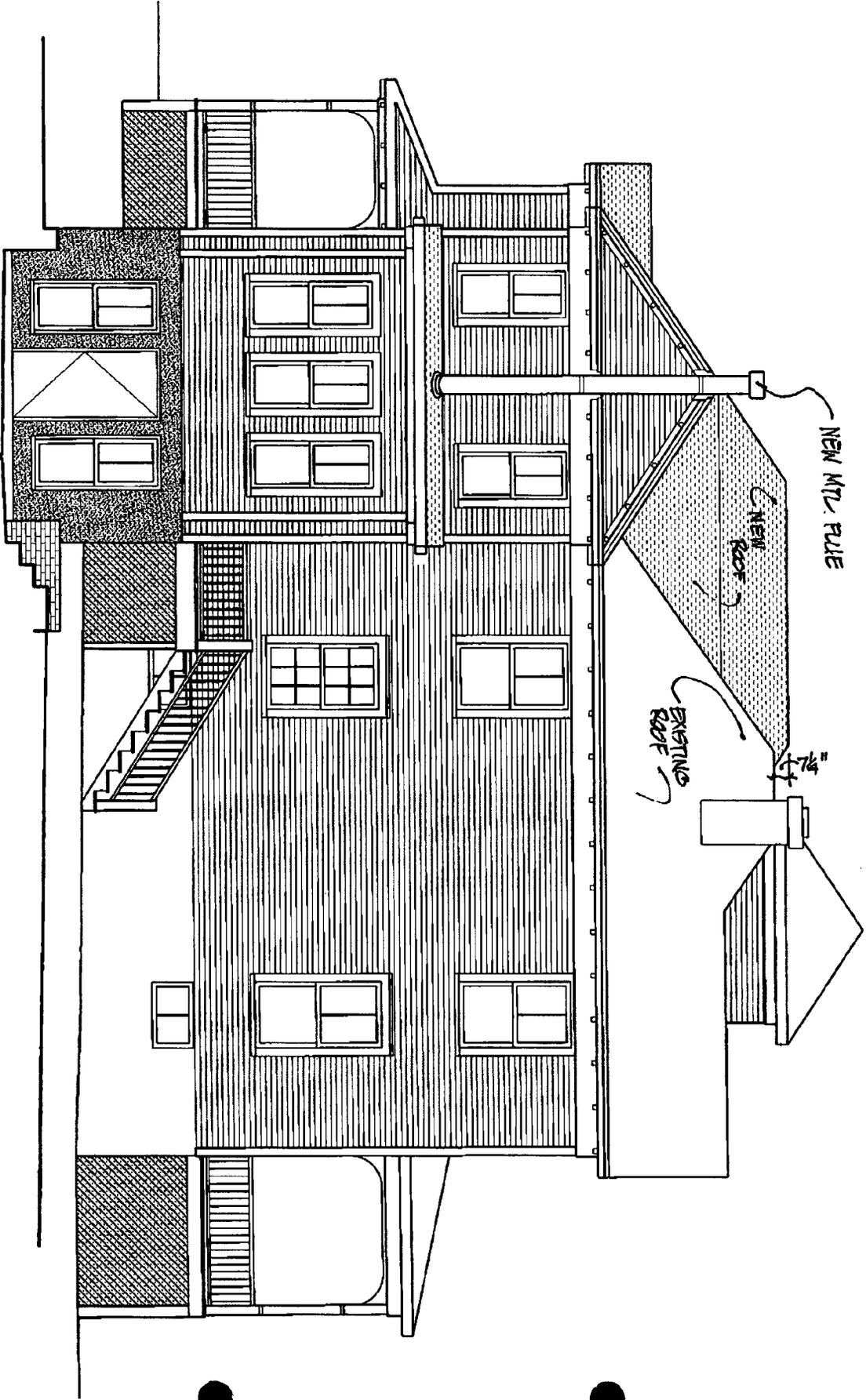


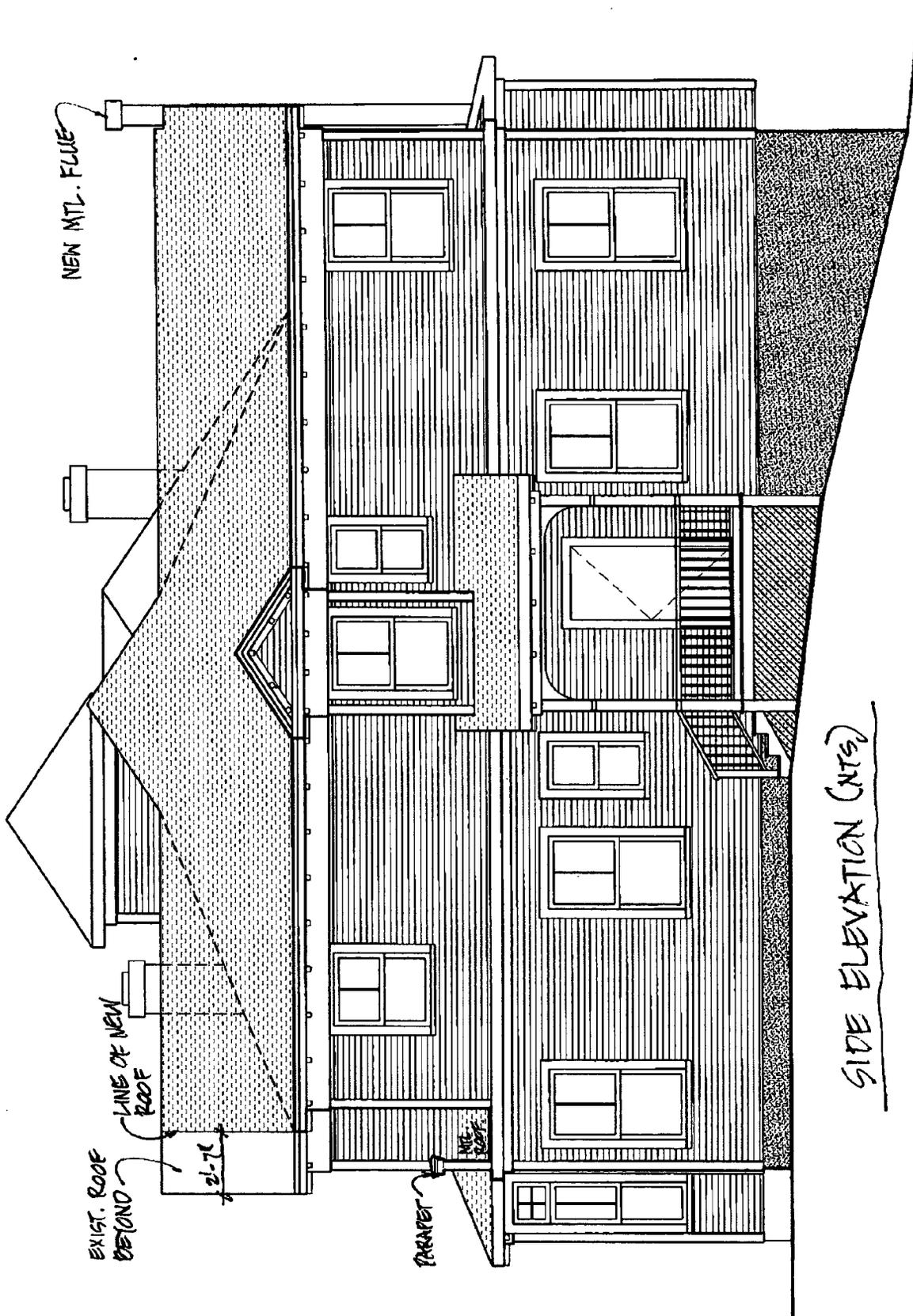
5800 WARWICK
 KUEHL RESIDENCE
 SITE PLAN

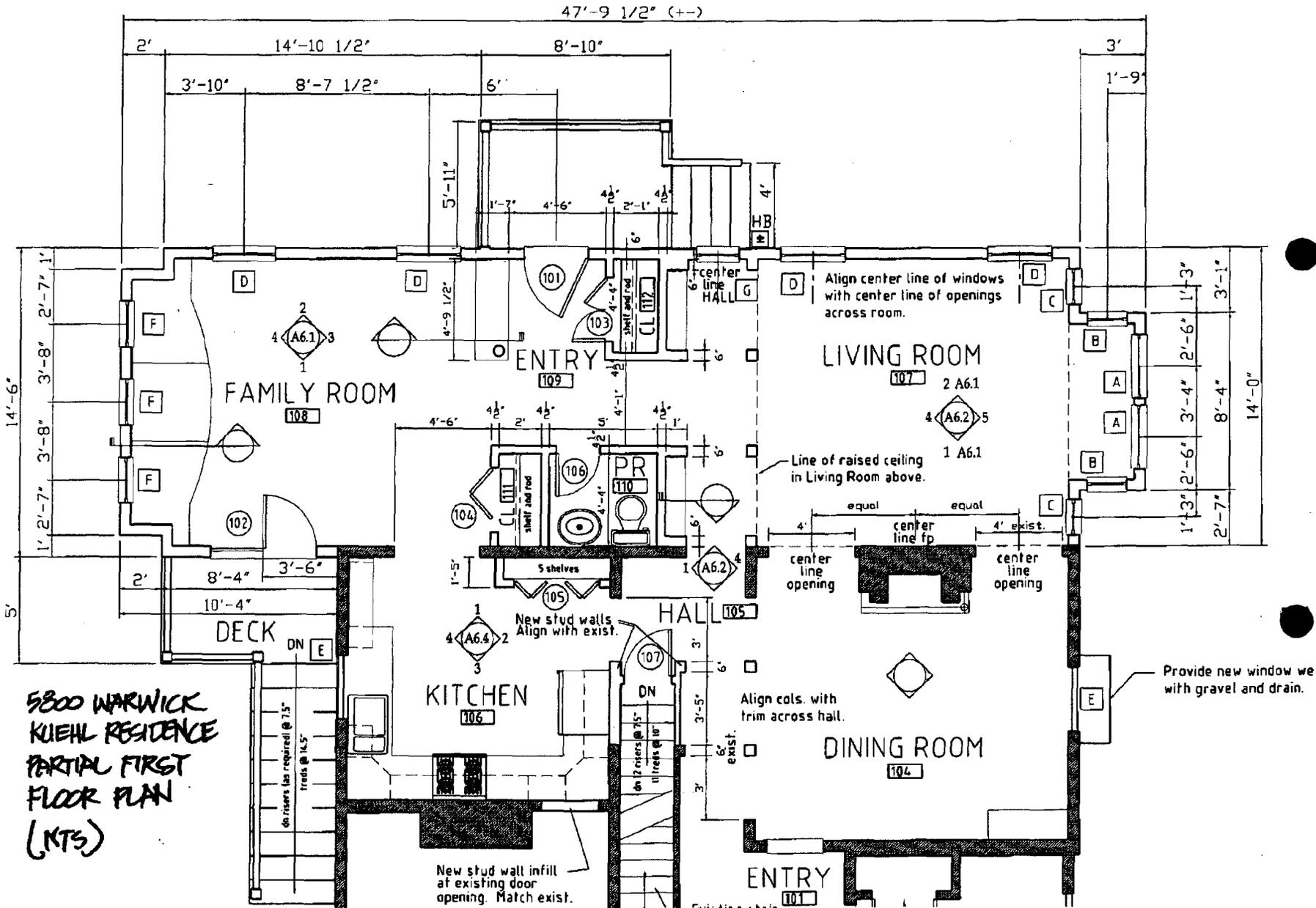


WARNICK ELEVATION (NTS)

REAR ELEVATION (NTS)



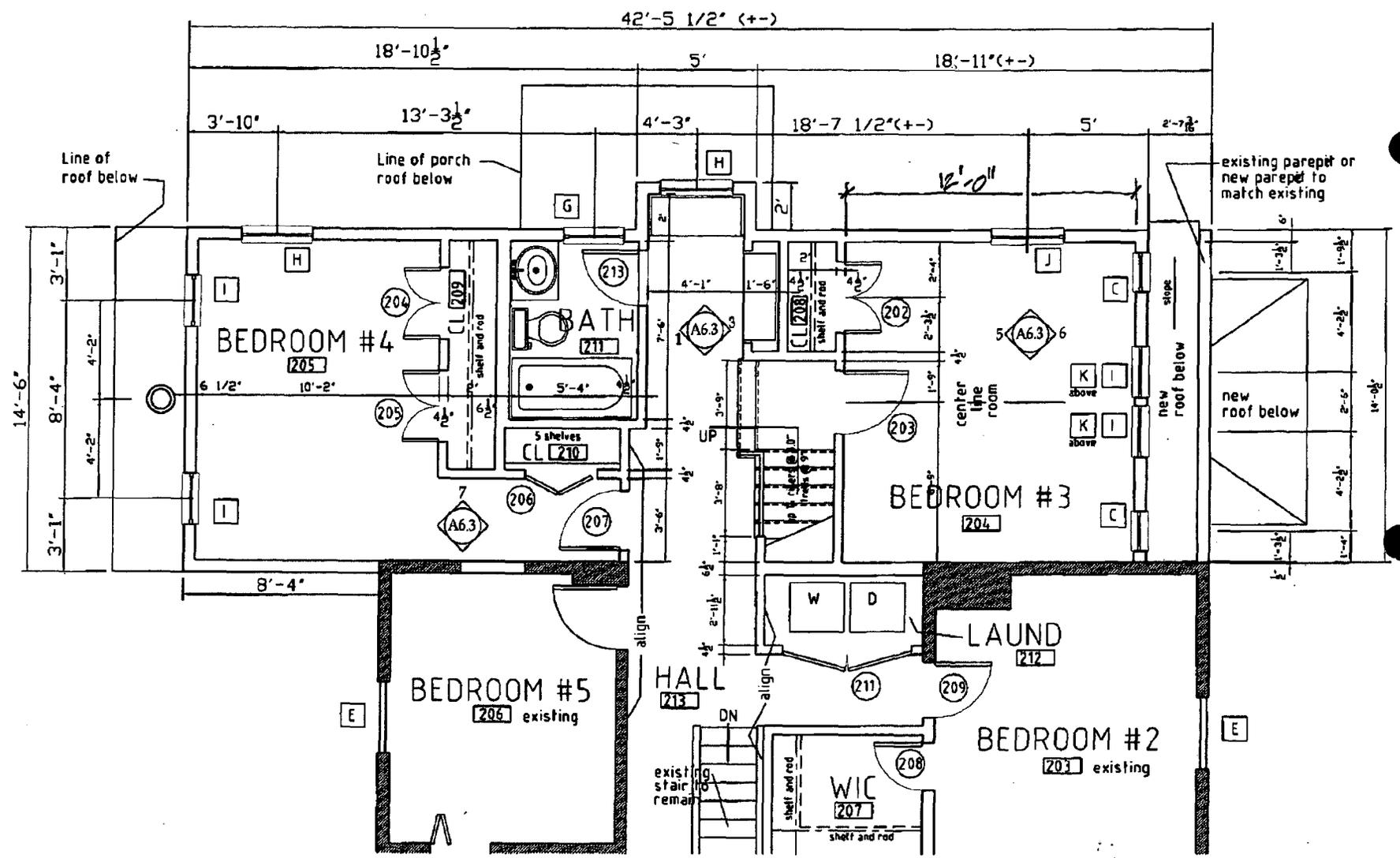




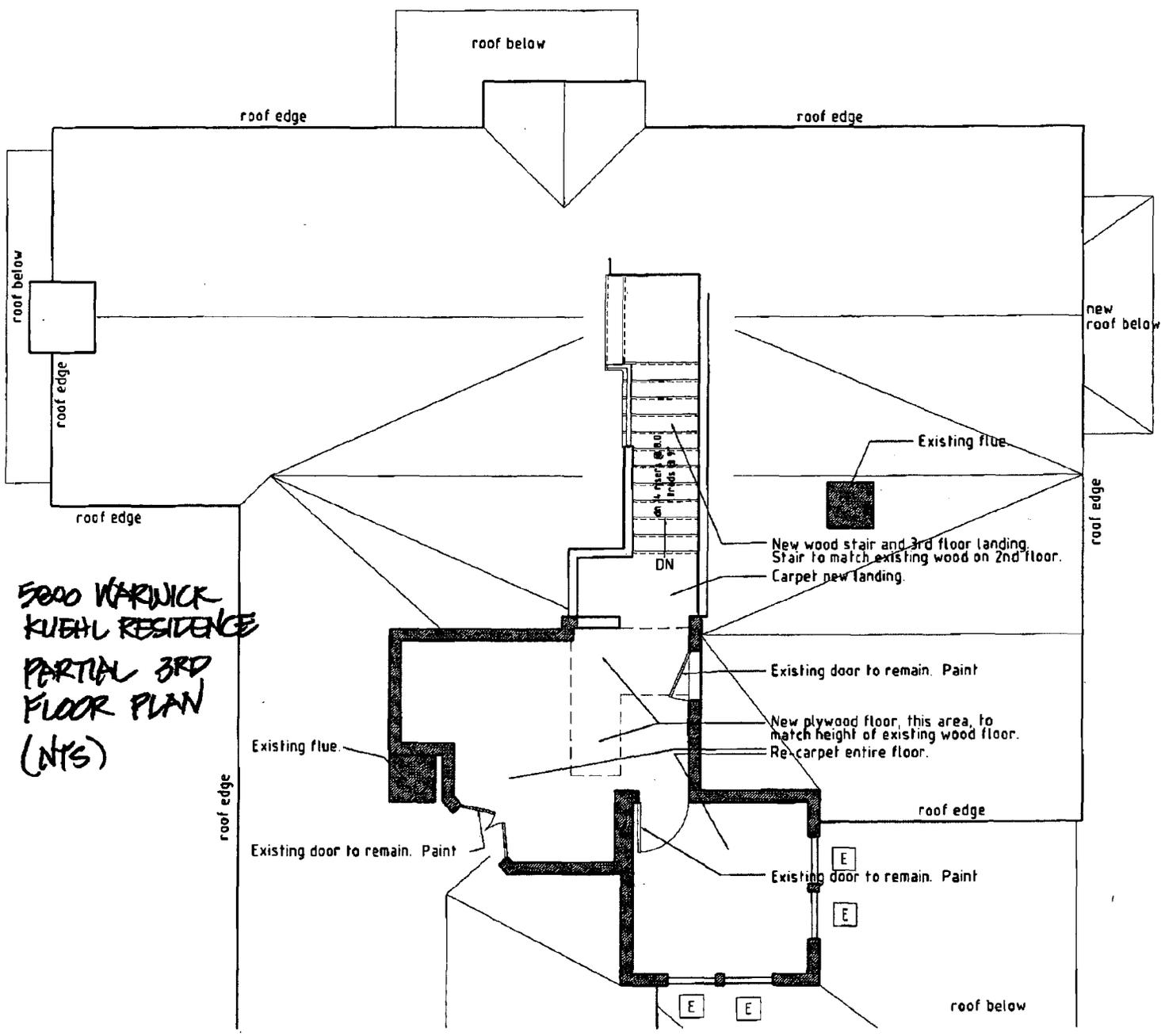
5800 WARWICK
 KUEHL RESIDENCE
 PARTIAL FIRST
 FLOOR PLAN
 (NTS)

(=)

2ND FLOOR PLAN (NTS)



21



5000 WARWICK
 KUEHL RESIDENCE
 PARTIAL 3RD
 FLOOR PLAN
 (NYS)

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	5800 Warwick Place, Somerset	Meeting Date:	12/03/03
Applicant:	Michael and Karen Kuehl	Report Date:	11/26/03
Resource:	Contributing Resource Somerset Historic District	Public Notice:	11/19/03
Review:	HAWP	Tax Credit:	None
Case Number:	35/36-03E	Staff:	Anne Fothergill

PROPOSAL: Demolition of one-story section; construction of 2-story addition

RECOMMEND: Denial

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource in the Somerset Historic District
STYLE: Queen Anne/Italianate
DATE: c. 1902

This house is on the corner of Dorset Avenue and Warwick Place and faces south toward Dorset. It is known as the Somerset Corner Store and the Amelia Davis House. Amelia Davis, the original owner, ran a small store and the first telephone exchange out of the rear one-story section of this house. It is unclear when that one-story section was built, but it appears it may have been originally a porch off the main house and then was enclosed at some point. William Offutt writes in *Bethesda: A Social History*: "About 1902, William and Amelia Davis built their home at 5800 Warwick at the corner of Dorset on one of Miles Fuller's lots. They operated a small store from the north side of the house where they sold bread, candy, tobacco, and kerosene. Later the town's first telephone switchboard was here with Mrs. Davis' older daughter Louise as the operator..." It seems the store was open some time after the turn of the century and into the early 20th century (Mrs. Davis is rumored to have sold alcohol during Prohibition), but it has not been in operation for at least 70+ years.

The house has a central hipped roof with gabled eaves on the south and east sides. The house has many intact architectural details including a 3rd story square tower with arched windows in the east ell of the house. The back one-story section has been altered over time including a bay window addition on the Warwick (east) side and the rear (north) wall has all replacement wood siding, however an apparently original parapet wall from the store era is still in place.

The categories of designation in the Somerset Historic District are Non-Contributing and Contributing Resources so this house has the highest level of designation within the District.

The Town of Somerset has reviewed this proposal and approved it.

PROPOSAL

The applicants are proposing a new 2-story addition to be located where the existing one-story section is (see Circles 8 -14). The new addition would have wood siding to match the existing siding and wood windows. The applicants are proposing a new wood frame chimney at the back left of the new section. The new roof would match the existing and in the center section it would be higher than the existing roof, but not higher than the tower. The new addition would come out 8' wider than the existing house on the left side. The site plan shows a new retaining wall and stairway at the rear left of the new section (see Circle 8).

The applicants are proposing a basement underneath the new addition. The applicants are having drainage and flooding problems and hope that the proposed changes will solve this problem.

STAFF DISCUSSION

The categories of designation in the Somerset Historic District are Non-Contributing and Contributing Resources so this house has the highest level of designation within that District. Staff finds that this house's level of integrity is outstanding and it is a particularly important property.

Staff used the *Secretary of the Interior's Standards for Rehabilitation* as a guide, specifically Standards #1, 2, 3, 4, 5, 6, and # 9 which state that:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that has acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.

Staff has concerns about this proposal. The first main concern is regarding the demolition of this historically-significant rear section of the house. Although no one is certain exactly when this section was built, and possibly it was originally built as a porch, this is the section which contributes to the house's historic importance—because this is where Amelia Davis ran a corner store and the first telephone exchange. Community stores play a significant role in Montgomery County history and in this case specifically in Somerset history. This is definitely a significant part of the house and warrants great consideration before its removal is allowed.

Staff is aware that this rear section of the house has been substantially altered over time and does not doubt that its integrity has been compromised. However, it is because the one room form is still there that someone can become aware of its purpose and role in Somerset history. With this part of the house removed, all evidence of that piece of local Somerset history would be lost.

The applicants have had the one-story section of the house inspected by a structural engineer who found the foundation posts “in very poor condition” and determined that the structure is “unstable and unsafe and is in immediate need of repair.” (see Circle 44)

If in fact the room and its foundation are determined by the HPC to be deteriorated beyond repair, the removal of this room could be considered. Staff would then still recommend that the applicants look into other options including a possible restoration of the historic one-story room. One other possibility is that the applicants could propose a new addition design that highlights the historic one-story feature with the parapet and then incorporates a new second floor section that is set back so that the historic form can be recalled.

Another concern for staff is the effect the new addition as proposed will have on the original house. In order to gain better access to the tower, the applicants are proposing new stairs in the new section of the house. This feature makes the new roof higher than the original house's roof. Staff generally recommends against this as it is preferred that a new addition show subservience to the historic resource, in this case a very prominent 1902 Victorian.

This house is located on a corner and although technically this new addition would be located at the rear of the house, because the house is on a corner, it would be very visible from Warwick Street. The house is on a small lot and the addition as proposed would be two stories right along the street. Right now the one-story addition is located there, but two full stories would have a much greater impact on the block and the streetscape.

Staff is also concerned about the lack of differentiation between old and new in the proposed design. With all the materials selected to match the existing, it may blur where the 1902 house ends and the 2004 section begins. On the rear left side it will be more evident because the new section would extend out eight feet, but staff is concerned about how the Warwick side of the house would read.

Staff notes that, as mentioned above, the new addition would come out eight feet wider than the existing house and it would be technically visible from the front of the house, although the foliage is very dense in front and visibility is minimal right now.

The site plan shows a new retaining wall, deck and stairway at the rear left of the new addition but more details about materials are needed on these elements before staff can review them.

Staff would recommend that the new chimney not be wood but instead be masonry or brick.

It is for all these reasons that Staff recommends that this case be Continued. However, because this HAWP application has a set time limit (which will expire before the next HPC meeting), the applicants would need to allow the case to be Continued. Otherwise the HPC must vote on it at the December 3, 2003 meeting and Staff would recommend Denial. It would seem to staff that the HPC must evaluate the fundamental question—whether the historic store section can be removed—before the proposed addition and its design can be considered and reviewed.

Addresses of adjacent and confronting property owners for 5800 Warwick Place

Adjacent

5806 Warwick Place
4705 Dorset Avenue

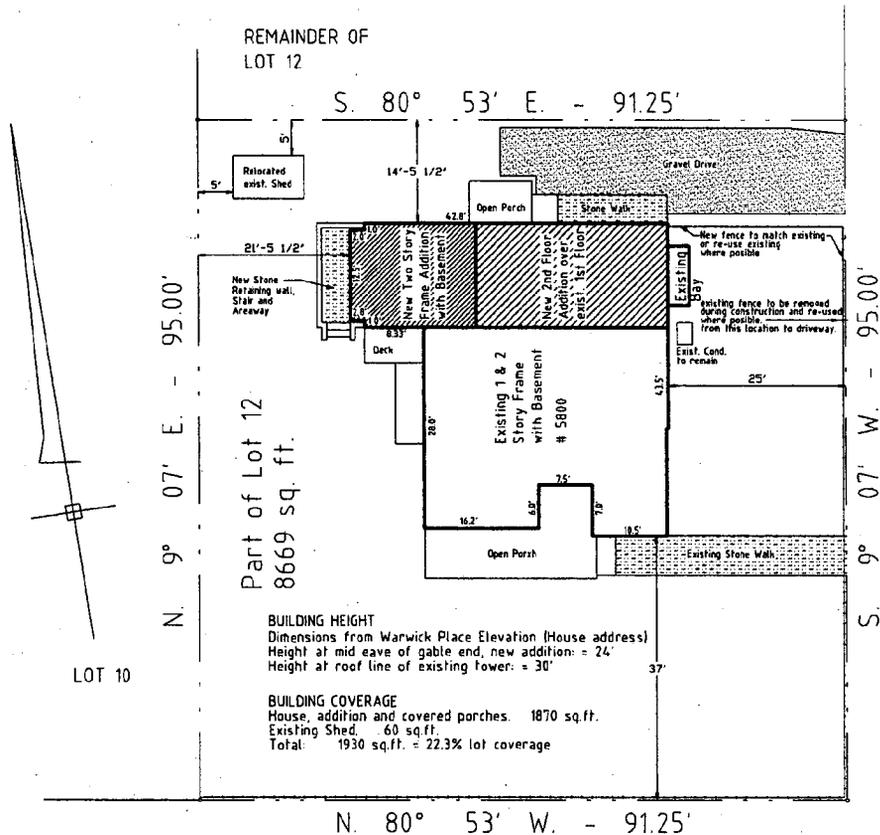
David Stern
Keith White/Maura Mahoney

Confronting

5803 Warwick Place
5801 Warwick Place
5711 Warwick Place
5712 Warwick Place
4702 Dorset Avenue

Edward and Tracy Truman
Peter Dewees & Ritva Reinikka
David Parina, Sharon Spigelmyer
Rosemary and Fred Goodwin
Giri and Malini Jadeja

SITE PLAN



BUILDING HEIGHT
 Dimensions from Warwick Place Elevation (House address)
 Height at mid eave of gable end, new addition = 24'
 Height at roof line of existing tower = 30'

BUILDING COVERAGE
 House, addition and covered porches. 1870 sq.ft.
 Existing Shed. 60 sq.ft.
 Total: 1930 sq.ft. = 22.3% lot coverage

KUEHL
RESIDENCE

5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

October 2003
Scale: 1" = 20'

(21) 8

KUEHL
RESIDENCE
5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

ADDITION &
ALTERATION

EXISTING EAST
WARWICK
ELEVATION

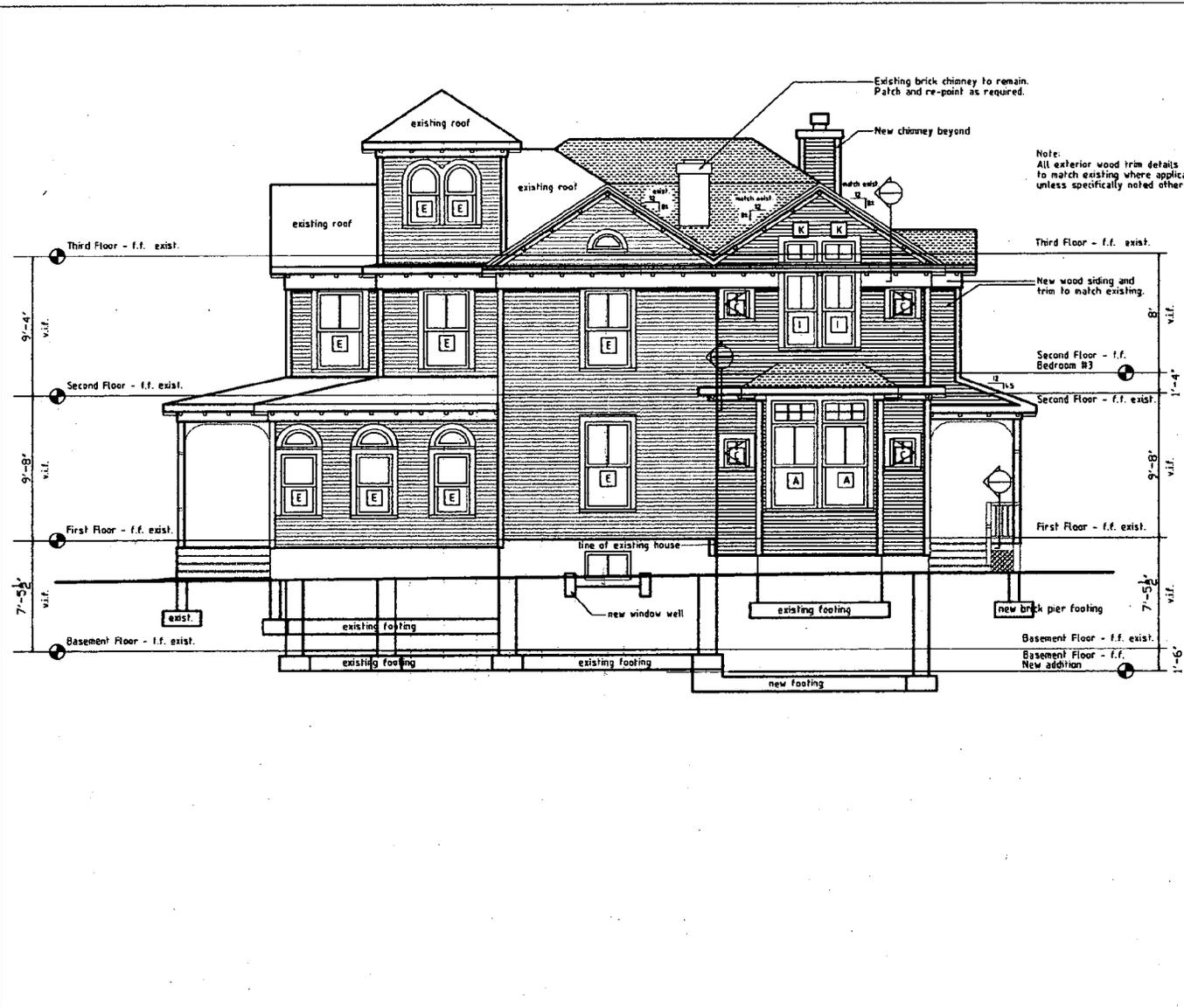
DATE 2-12-2003
SCALE 1/4" = 1'-0"
DRAWING

DM.5
FILE
ISSUE PERMIT



EXISTING EAST (WARWICK) ELEVATION

22
17



KUEHL
RESIDENCE
5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

ADDITION &
ALTERATION

EAST
ELEVATION
(WARWICK)

DATE 2-12-2003
SCALE 1/4" = 1'-0"
DRAWING
A2.1
FILE
ISSUE FEBRUARY

23
10

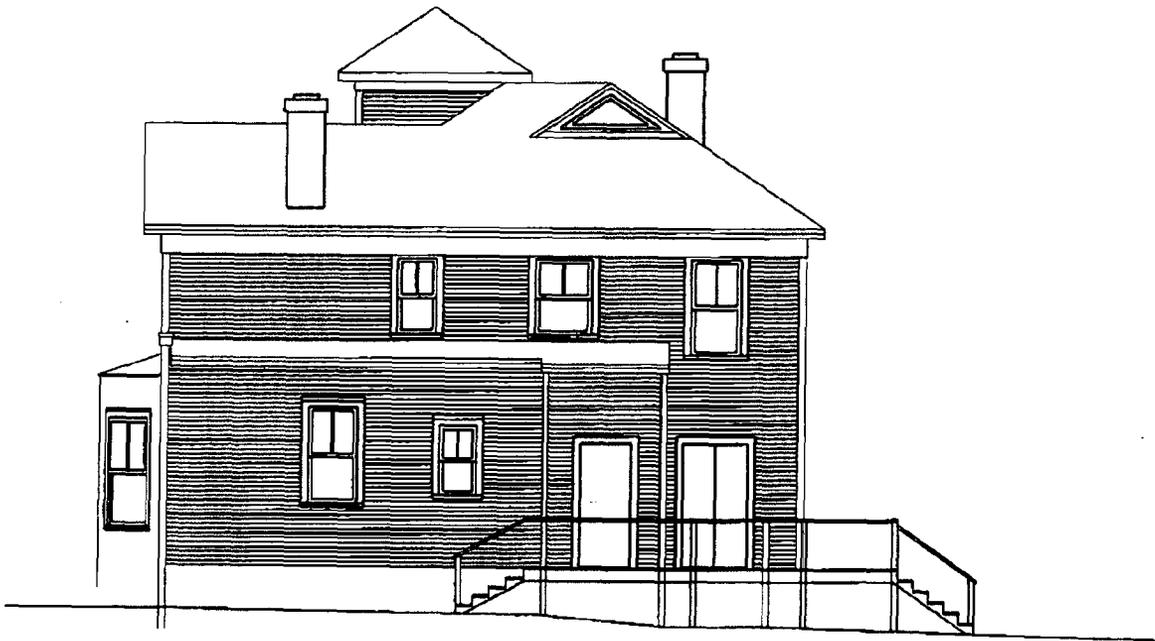
KUEHL
RESIDENCE
5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

ADDITION &
ALTERATION

EXISTING
NORTH
ELEVATION

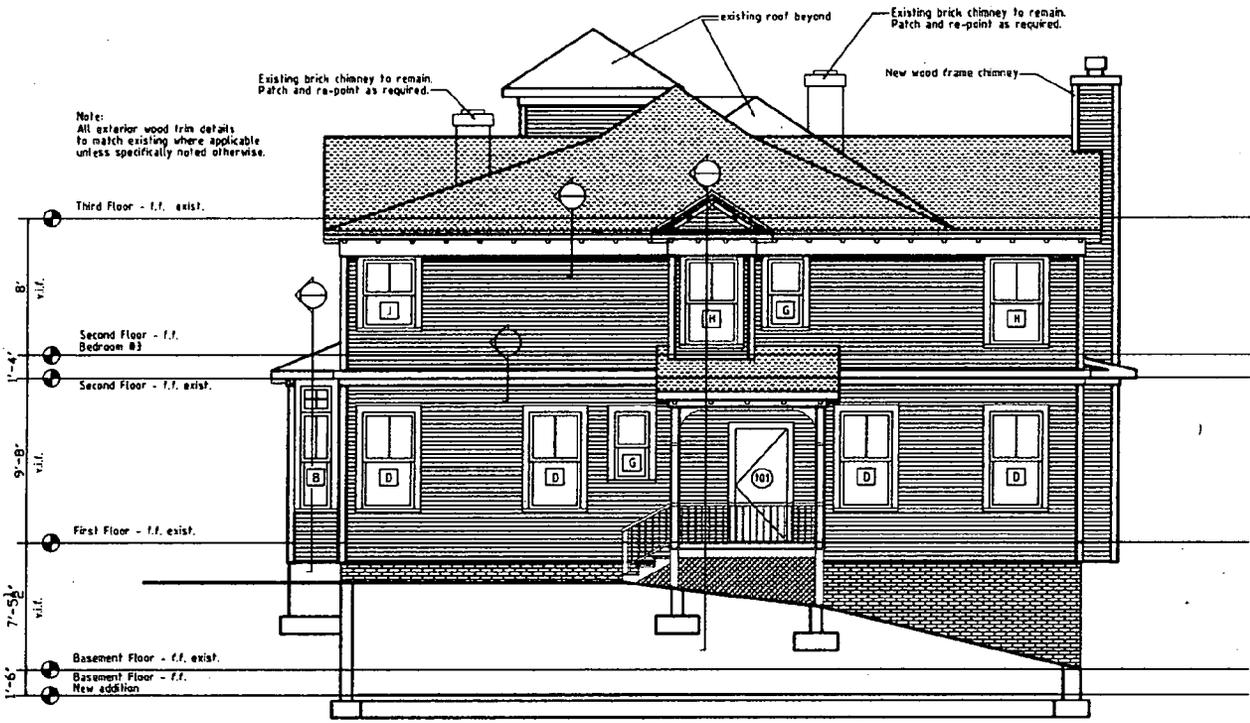
DATE 2-12-2003
SCALE 1/4" = 1'-0"

DRAWING
DM.6
FILE
ISSUE PERMIT



EXISTING NORTH ELEVATION

24
11



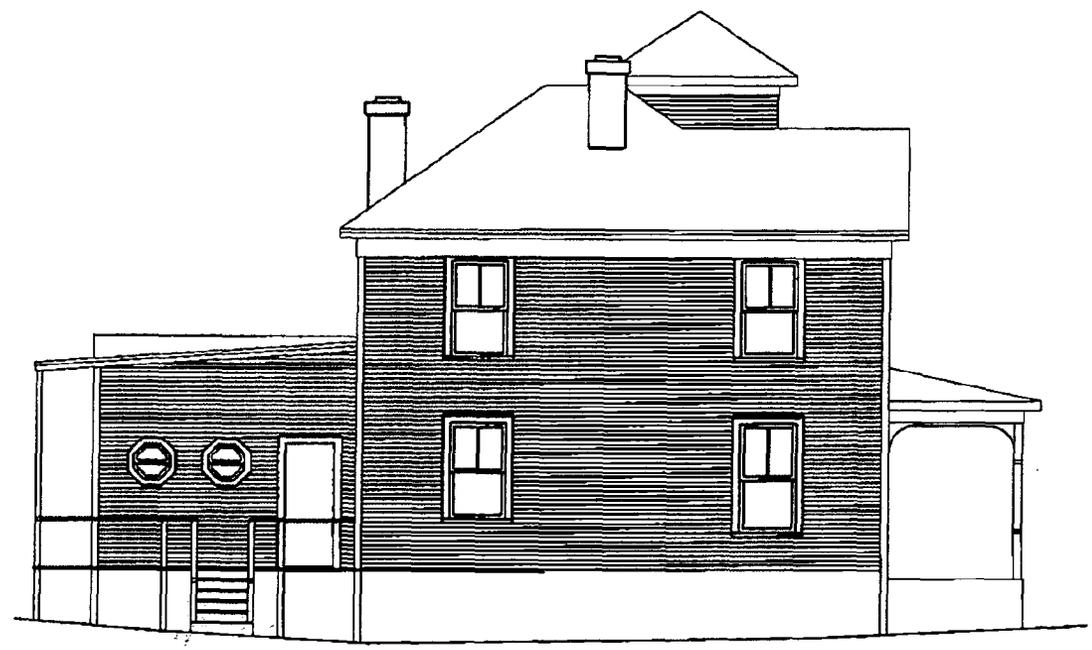
KUEHL
RESIDENCE
5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

ADDITION &
ALTERATION

NORTH
ELEVATION
(SIDE)

DATE 2-12-2003
SCALE 1/4" = 1'-0"
DRAWING
A2.2
FILE
ISSUE

25
12



KUEHL
RESIDENCE
5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

ADDITION &
ALTERATION

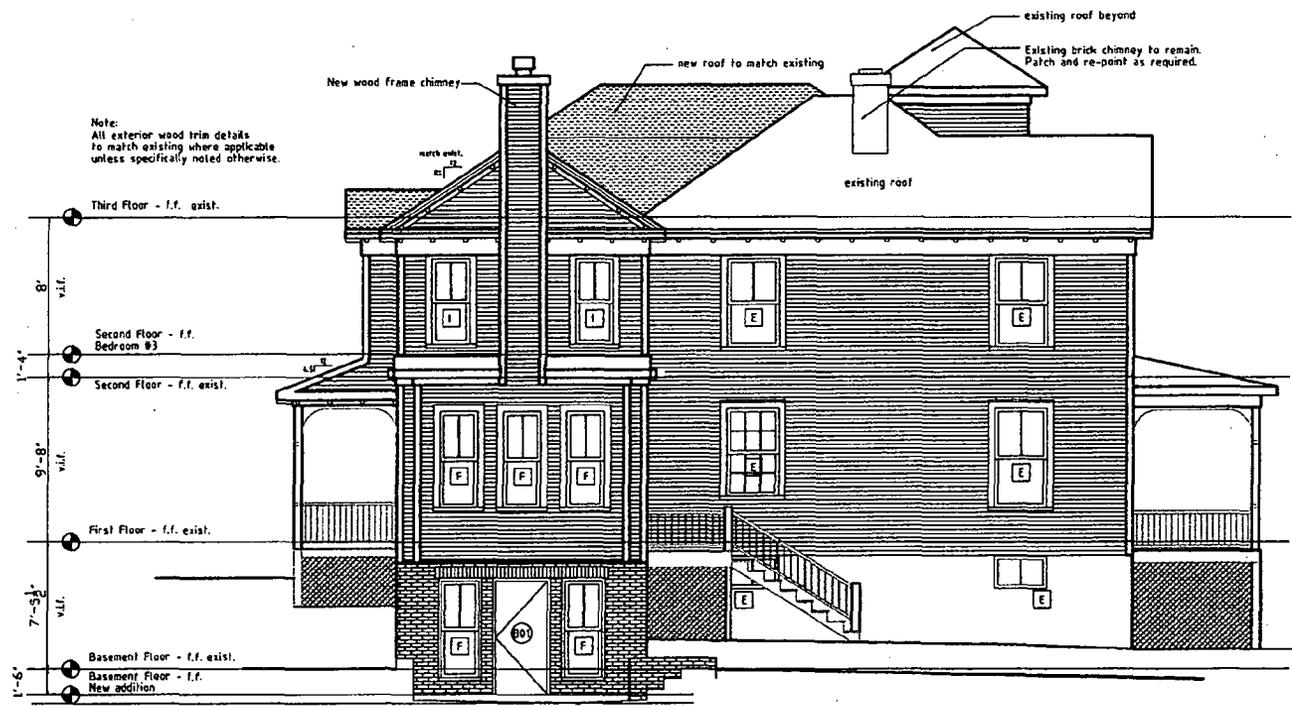
EXISTING
WEST (REAR)
ELEVATION

DATE 2-12-2003
SCALE 1/4" = 1'-0"
DRAWING

DM.7
FILE
ISSUE PERMIT

EXISTING WEST (REAR) ELEVATION

26/5



KUEHL
RESIDENCE
5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

ADDITION &
ALTERATION

WEST
ELEVATION
(REAR)

DATE 2-12-2003
SCALE 1/4" = 1'-0"
DRAWING
A2.3
FILE
ISSUE PERMIT

27
11

FAITH
RESIDENCE
5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

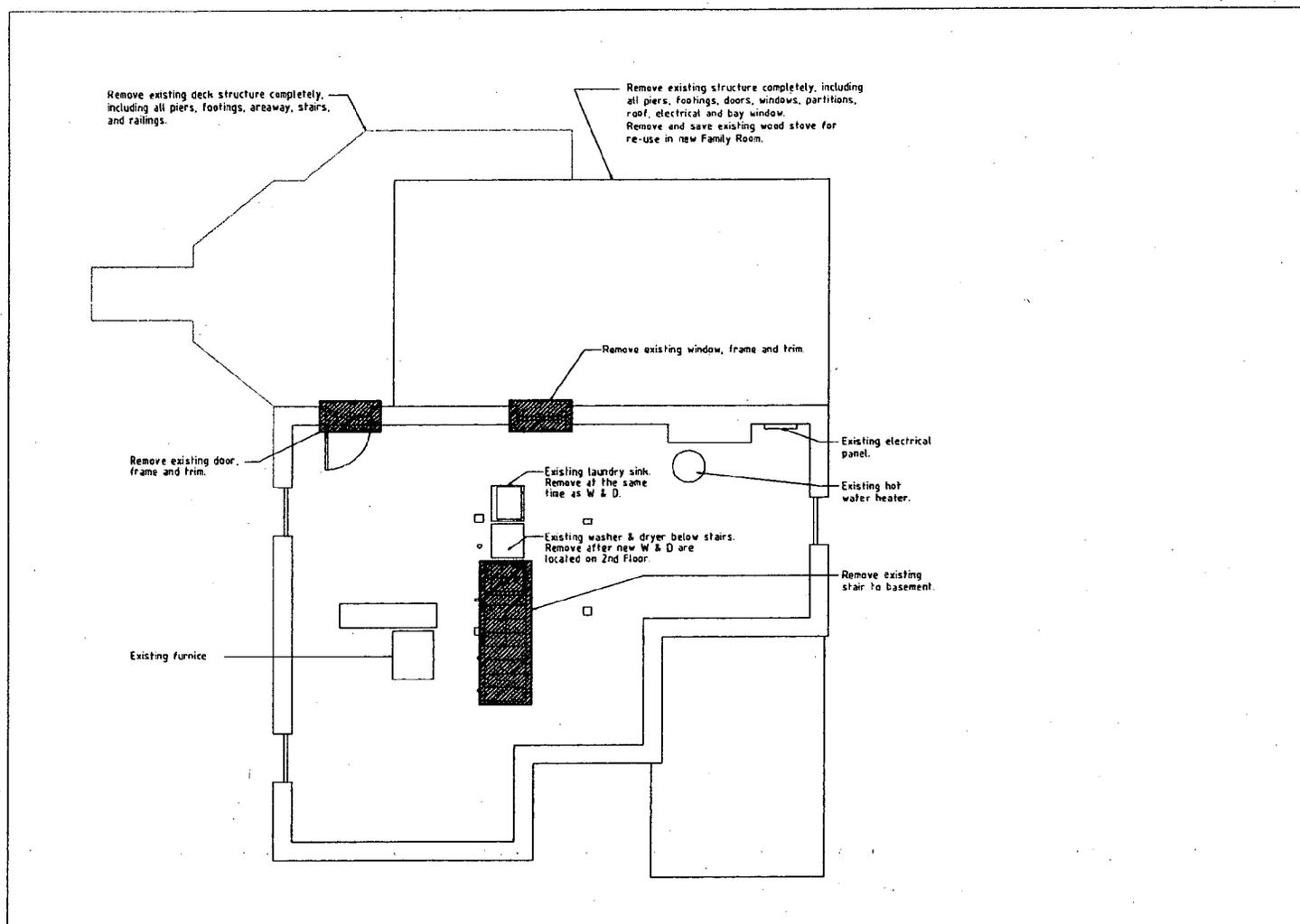
ADDITION &
ALTERATION

BASEMENT
DEMOLITION
PLAN

DATE 2-12-2003
SCALE 1/8" = 1'-0"
DRAWING

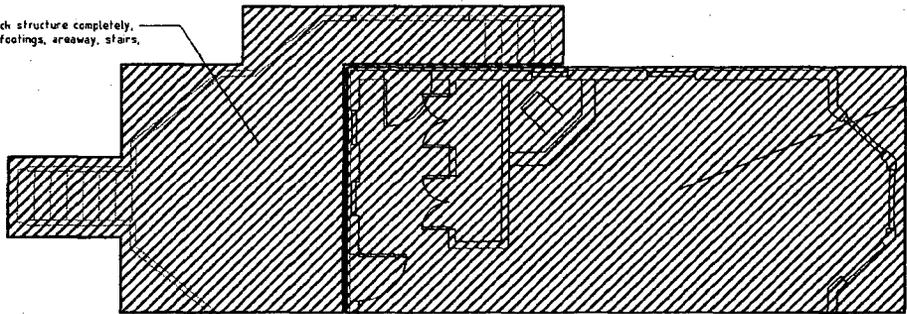
DM.1

FILE
ISSUE PERMIT



28
15

Remove existing deck structure completely, including all piers, footings, areaway, stairs, and railings.



Remove existing structure completely, including all piers, footings, doors, windows, partitions, roof, electrical and bay window. Remove and save existing wood stove for re-use in new Family Room.

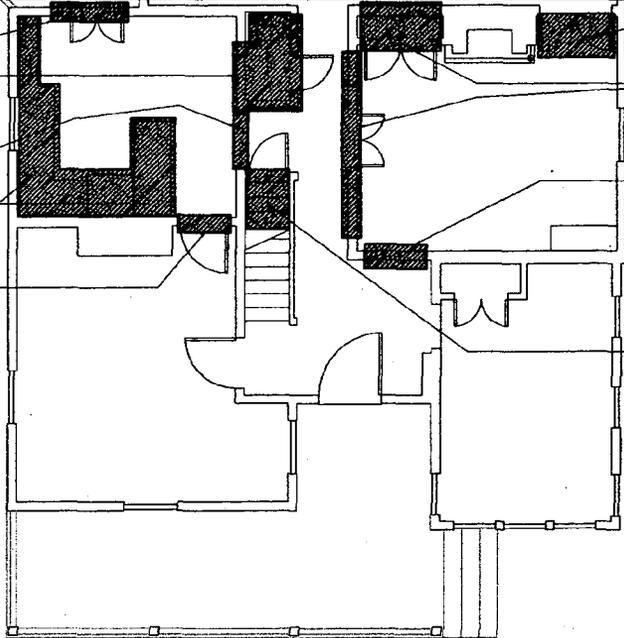
Remove existing exterior doors, frame and trim.

Remove existing bathroom, fixtures, plumbing and electrical. Remove existing door, frame and trim. Remove existing walls and provide temporary structural support as required.

Remove existing frame and trim.

Remove existing Kitchen cabinets and store for re-use in new Basement.

Remove existing door, frame and trim.



Remove existing doors. Save for possible re-use.

Remove existing doors, frames and trim. Remove existing walls and provide temporary structural support as required.

Remove existing wall and provide temporary structural support as required.

Remove existing door, frame and trim. Remove existing stair to basement. Provide temporary structural support as required.

KUPHL
RESIDENCE

5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

ADDITION &
ALTERATION

FIRST FLOOR
DEMOLITION
PLAN

DATE 2-12-2003
SCALE 1/8" = 1'-0"
DRAWING

DM.2

FILE

ISSUE

PERMIT

29
16

KUEHL
RESIDENCE

5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

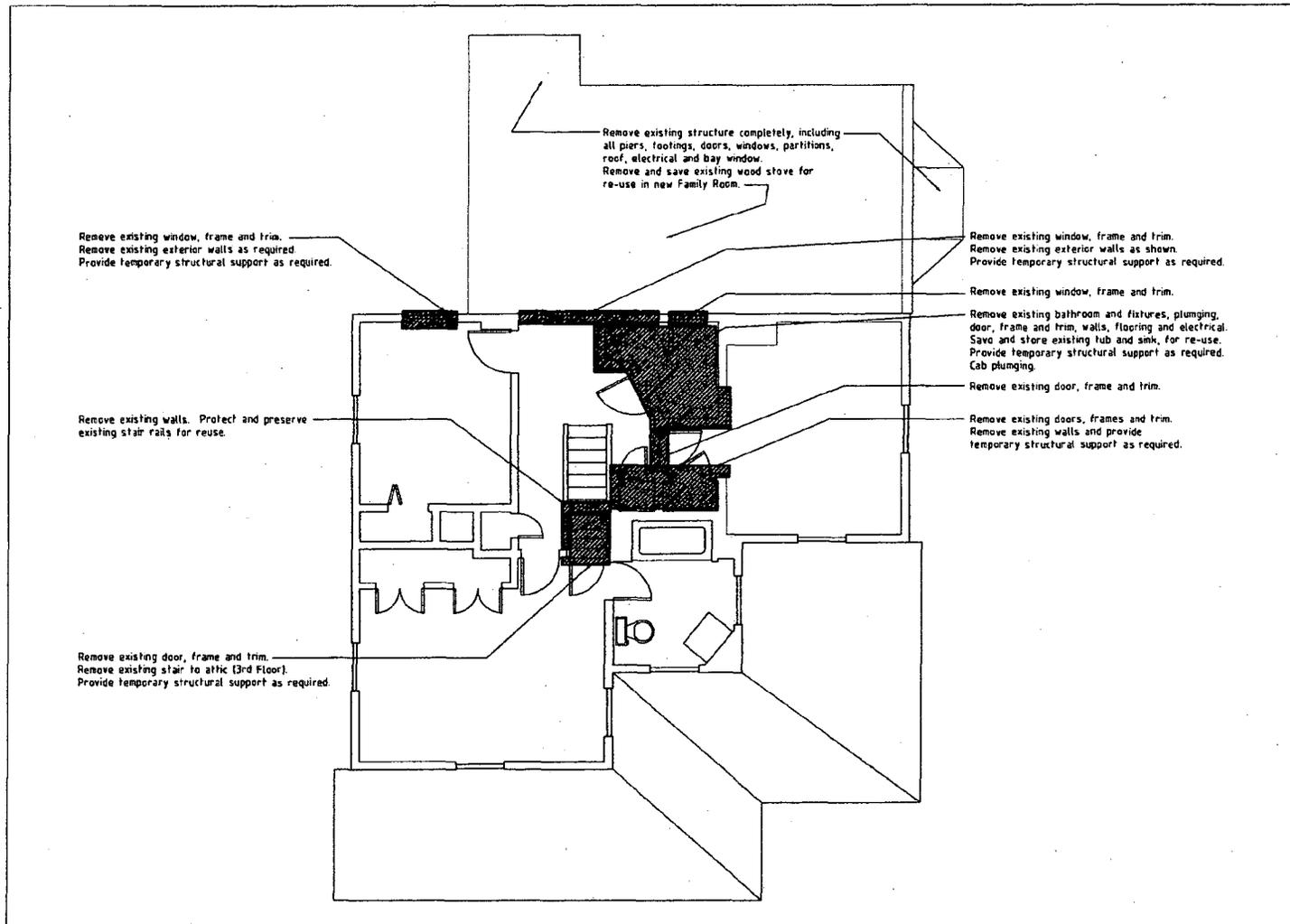
ADDITION &
ALTERATION

SECOND FLOOR
DEMOLITION
PLAN

DATE 2-12-2003
SCALE 1/8" = 1'-0"
DRAWING

DM.3

FILE
ISSUE PERMIT



30
#

KUEHL
RESIDENCE

5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

ADDITION &
ALTERATION

THIRD FLOOR
DEMOLITION
PLAN

DATE 2-12-2003

SCALE 1/8" = 1'-0"

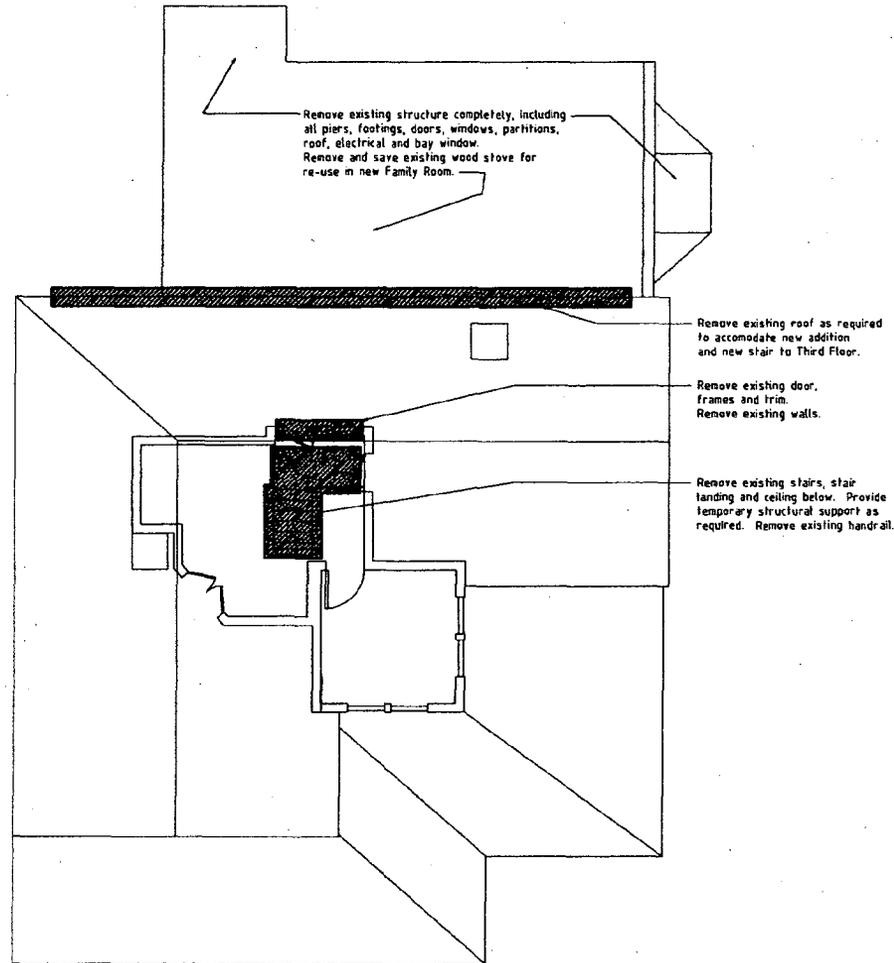
DRAWING

DM.4

FILE

ISSUE

PERMIT



KUEHL
RESIDENCE
5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

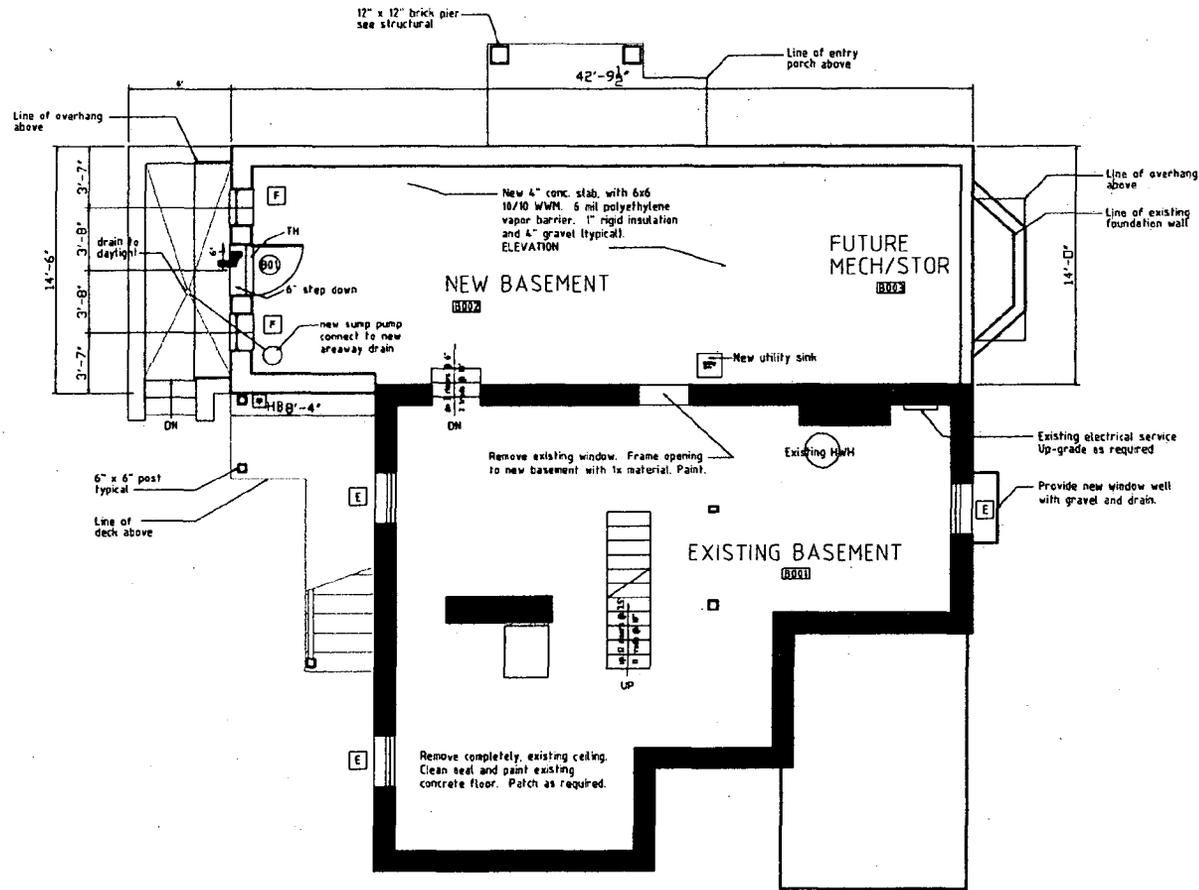
ADDITION &
ALTERATION

BASEMENT
PLAN

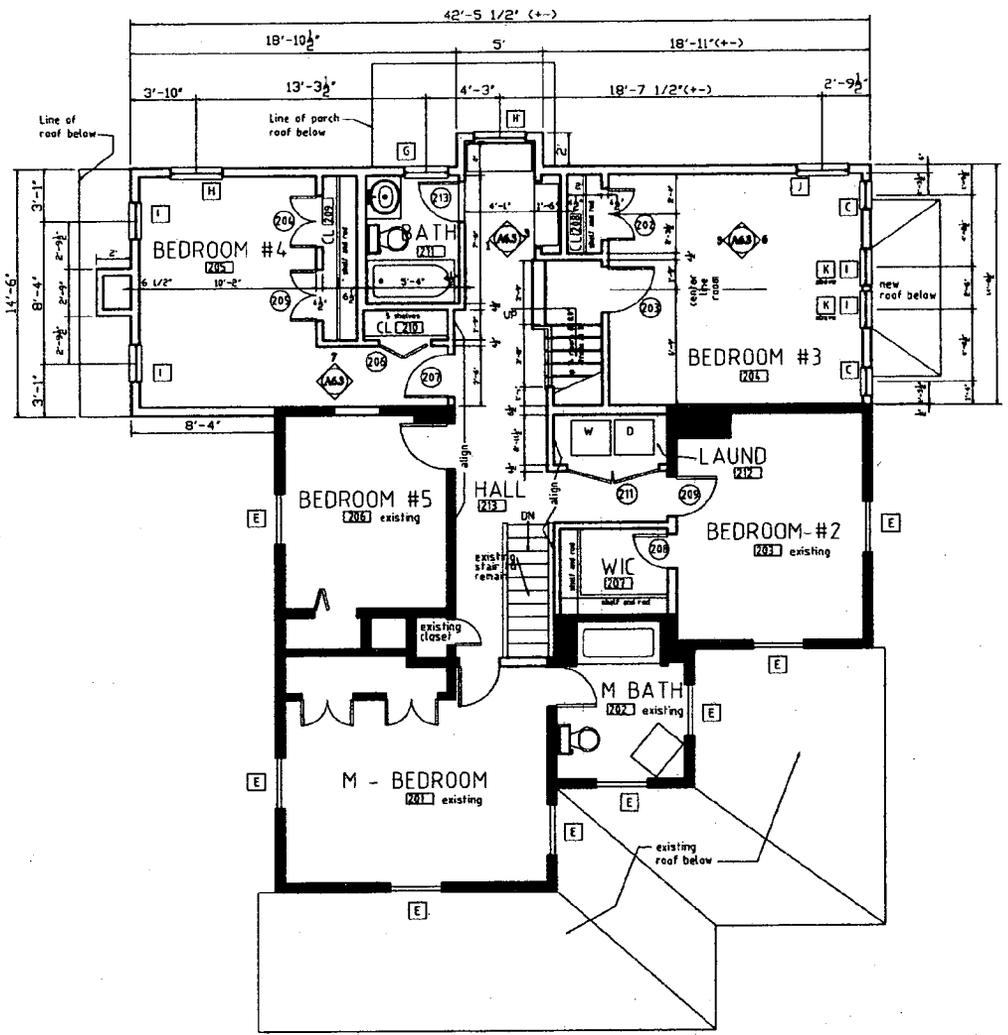
DATE 9-10-2003
SCALE 1/4" = 1'-0"
DRAWING

A1.1

FILE
ISSUE PERMIT



32/17



KUEHL
RESIDENCE
5880 WARWICK PLACE
BETHESDA, MARYLAND 20816

ADDITION &
ALTERATION

SECOND
FLOOR
PLAN

DATE 9-10-2003
SCALE 1/4" = 1'-0"
DRAWING

A1.3

FILE
ISSUE **PERMIT**

34
17

KUEHL
RESIDENCE
5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

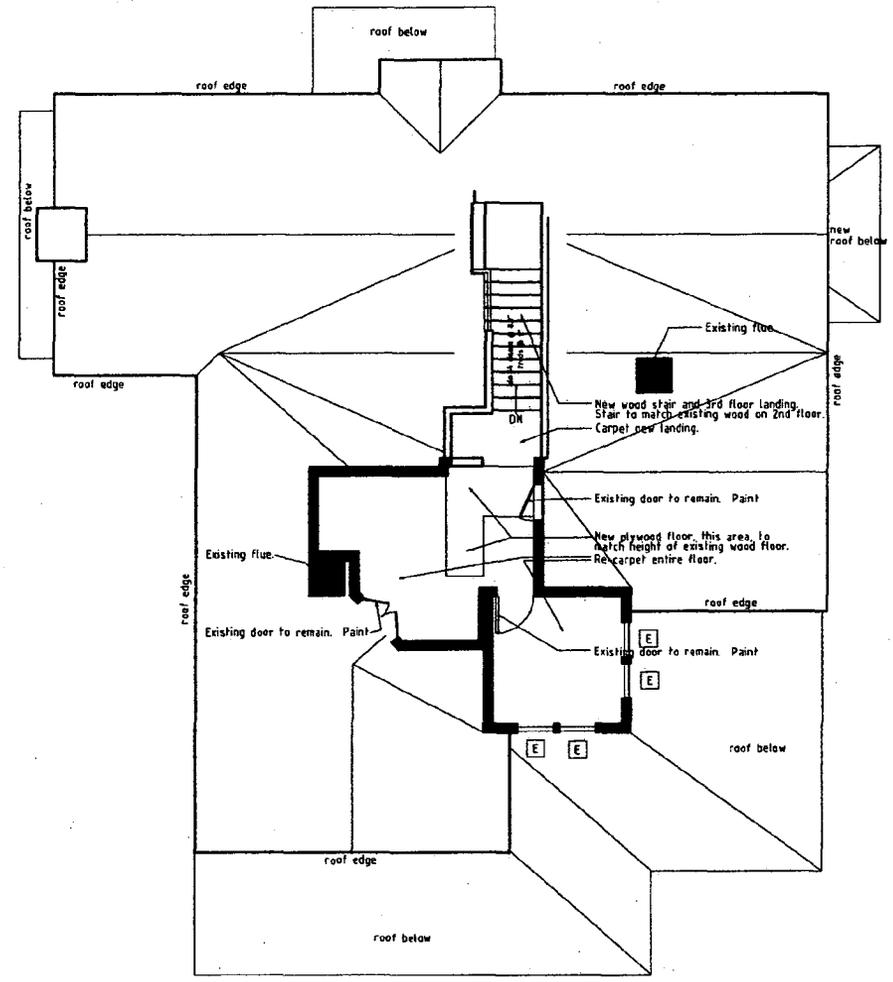
ADDITION &
ALTERATION

THIRD
FLOOR
PLAN

DATE 9-10-2003
SCALE 1/4" = 1'-0"
DRAWING

A1.4

FILE
ISSUE PERMIT



35
22

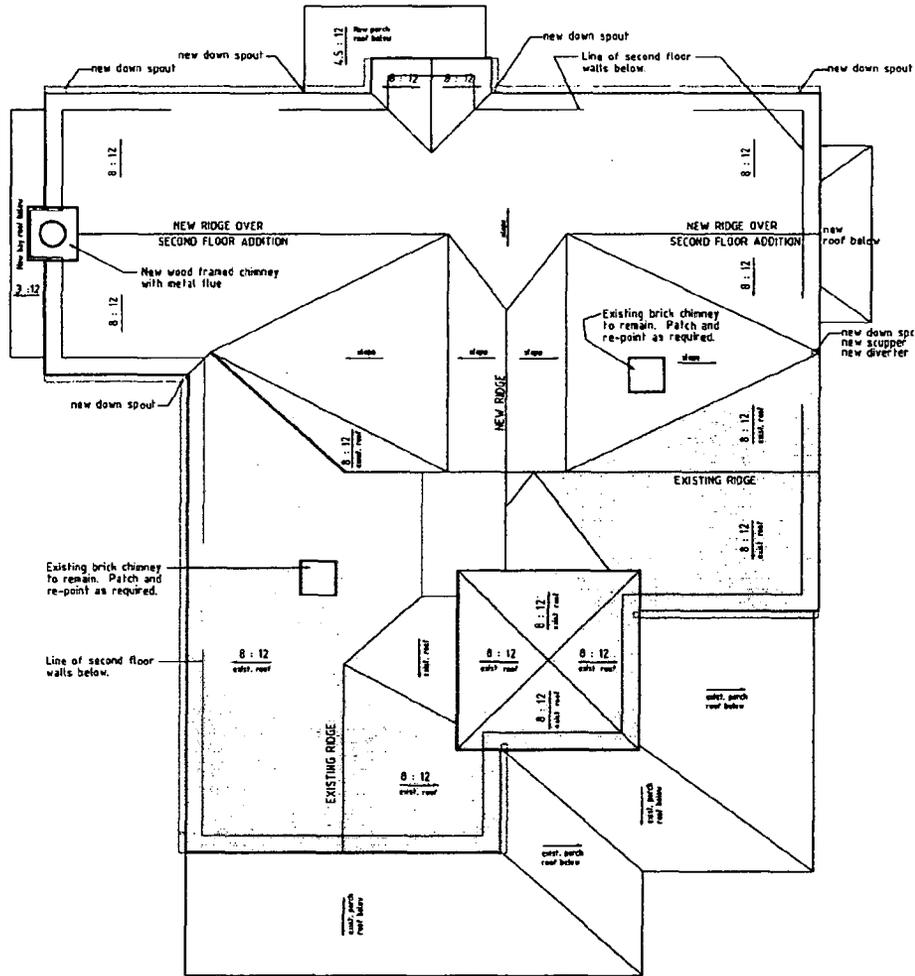
5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

ADDITION & ALTERATION

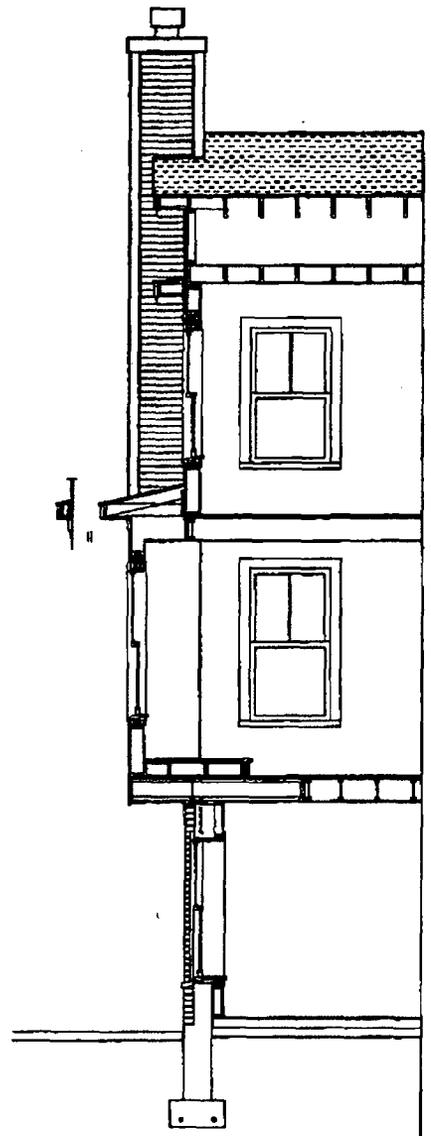
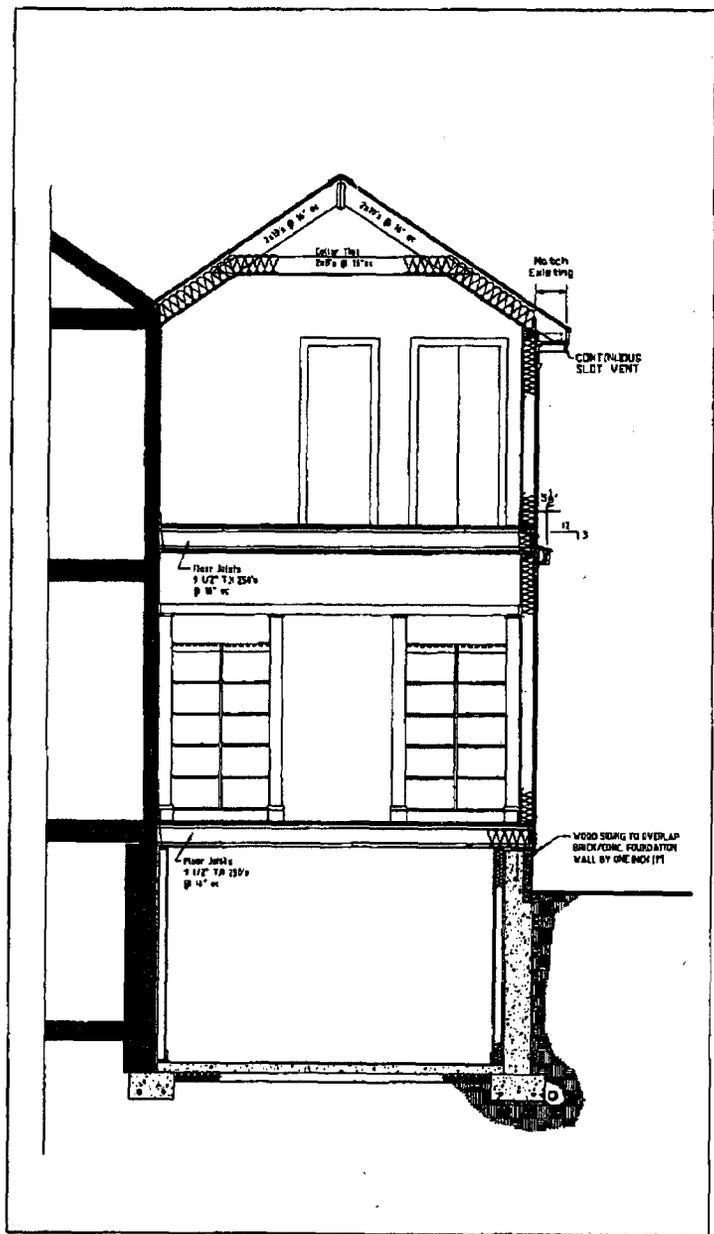
DATE 9-10-2003
SCALE 1/4" = 1'-0"
DRAWING

A1.5

FILE
ISSUE PERMIT



36
22



KUEHL RESIDENCE

5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

ADDITION & ALTERATION

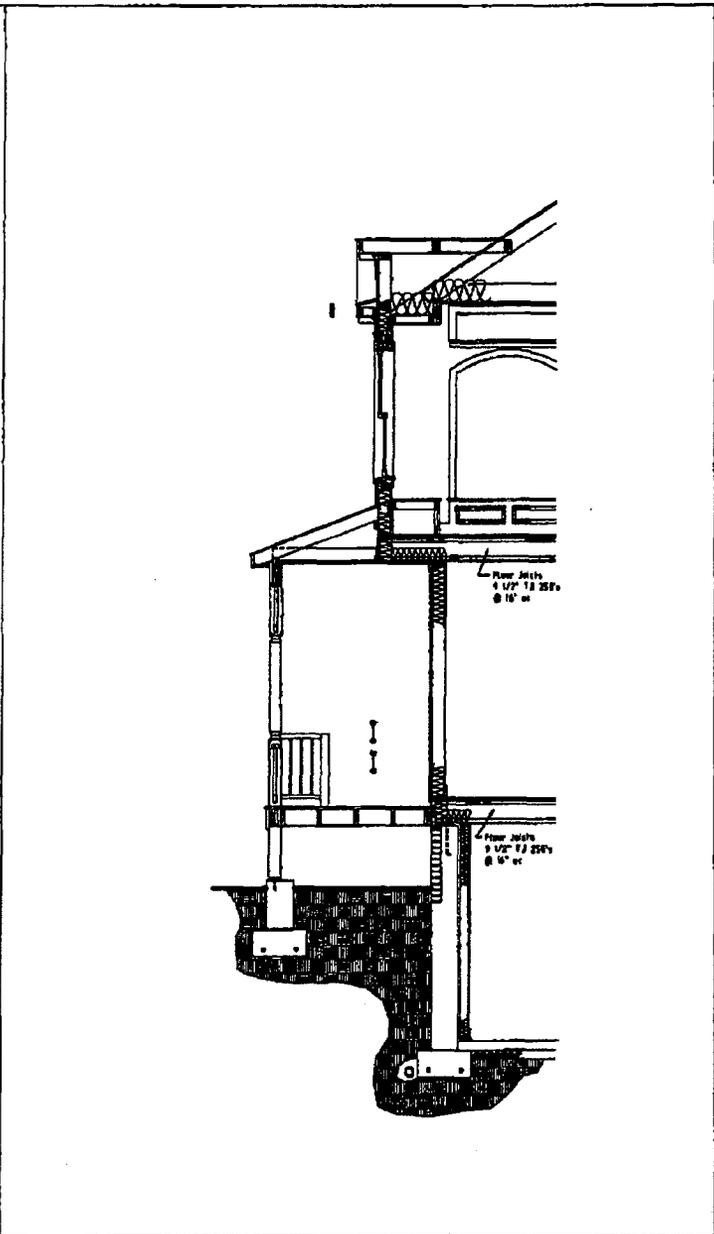
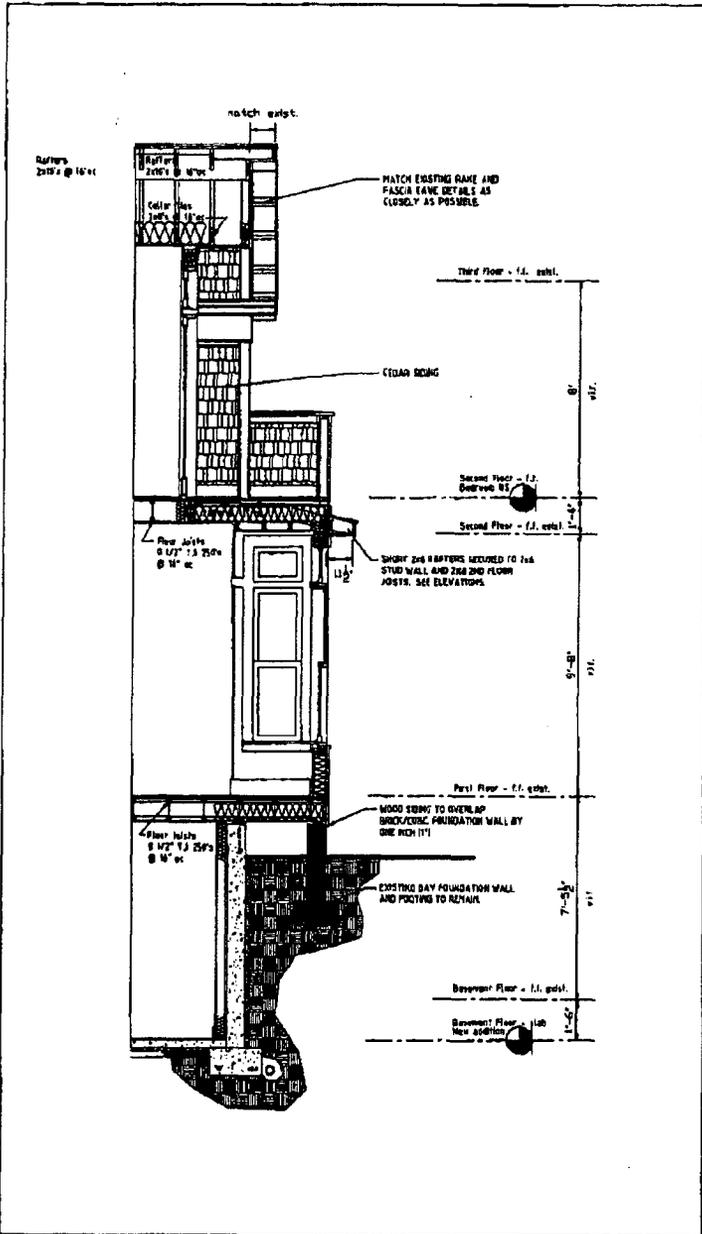
BUILDING SECTIONS

DATE 2-12-2003
 SCALE 3/8" = 1'-0"
 DRAWING

A3.3

FILE
 ISSUE PERMIT

33
 24



KUEHL RESIDENCE

5800 WARWICK PLACE
BETHESDA, MARYLAND 20816

ADDITION & ALTERATION

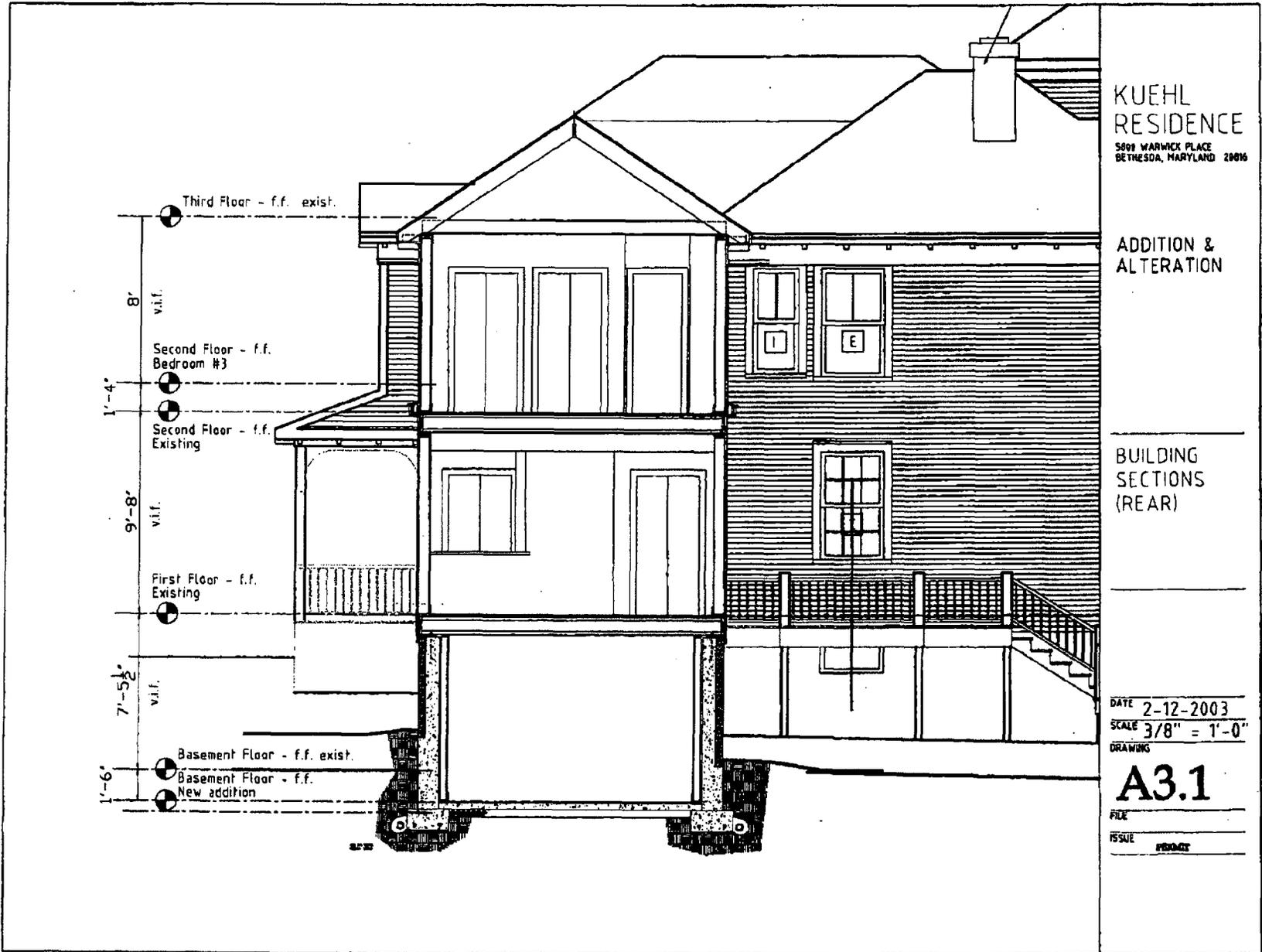
BUILDING SECTIONS

DATE 2-12-2003
SCALE 3/8" = 1'-0"
DRAWING

A3.2

FILE
ISSUE PERMIT

38
25



KUEHL
RESIDENCE
5809 WARWICK PLACE
BETHESDA, MARYLAND 20816

ADDITION &
ALTERATION

BUILDING
SECTIONS
(REAR)

DATE 2-12-2003
SCALE 3/8" = 1'-0"
DRAWING

A3.1

FILE _____
ISSUE _____
PROJECT _____

39
26

Neubauer Consulting Engineers
7825 TUCKERMAN LANE
POTOMAC, MD 20854
PHONE: 301-299-7617
FAX: 301-299-6547

FAX

TO: MONTGOMERY CTY. PRESERVATION FROM: RALPH GIAMMATEO
ATTN: ANN F. DATE: 11/25/03
FAX: 301-563-3412 PAGES: 2
RE: *Structural Evaluation* CC:

URGENT FOR REVIEW PLEASE COMMENT PLEASE REPLY

•COMMENTS:

5800 Warwick (front of house facing Dorset)



Warwick side including rear one-story section



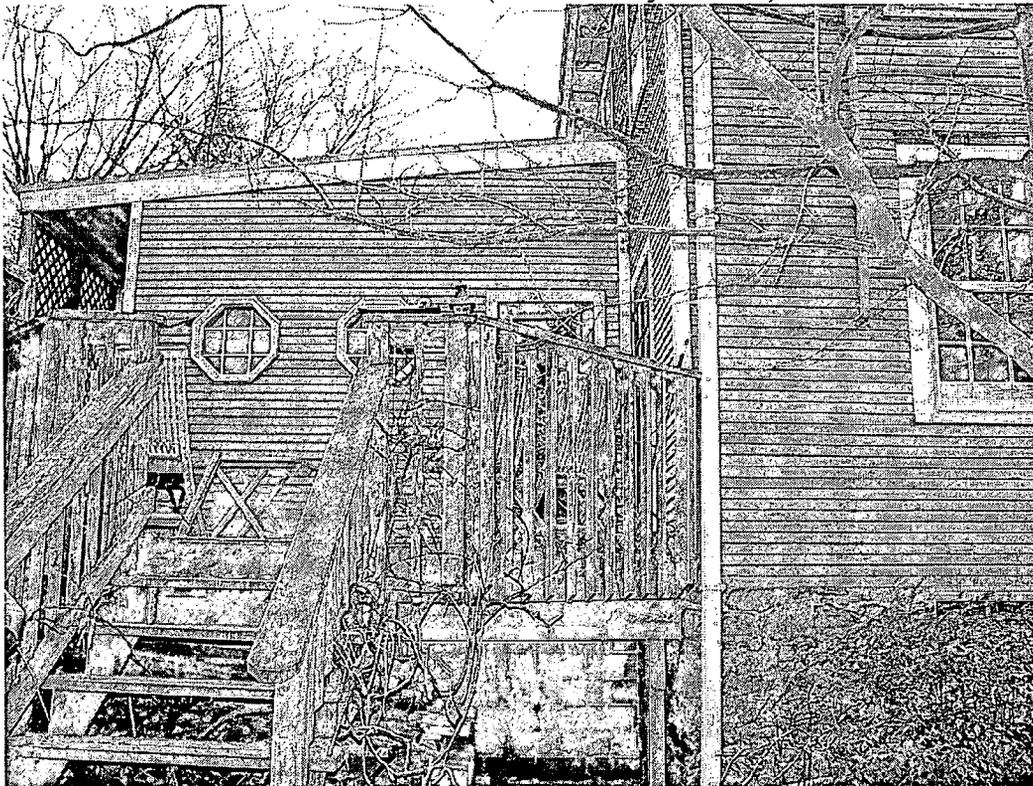
Warwick side one-story section with parapet wall

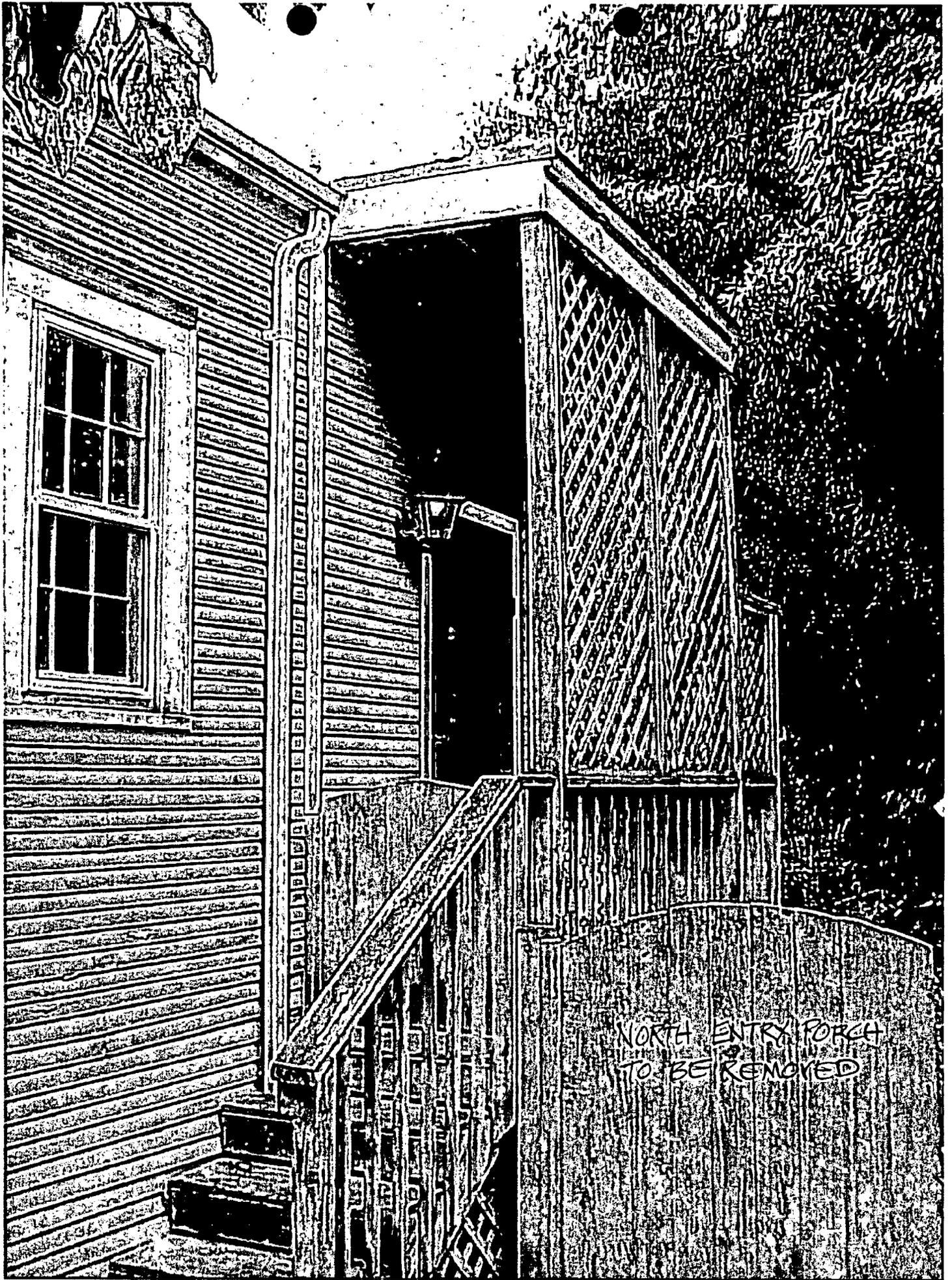


2nd story site of new addition



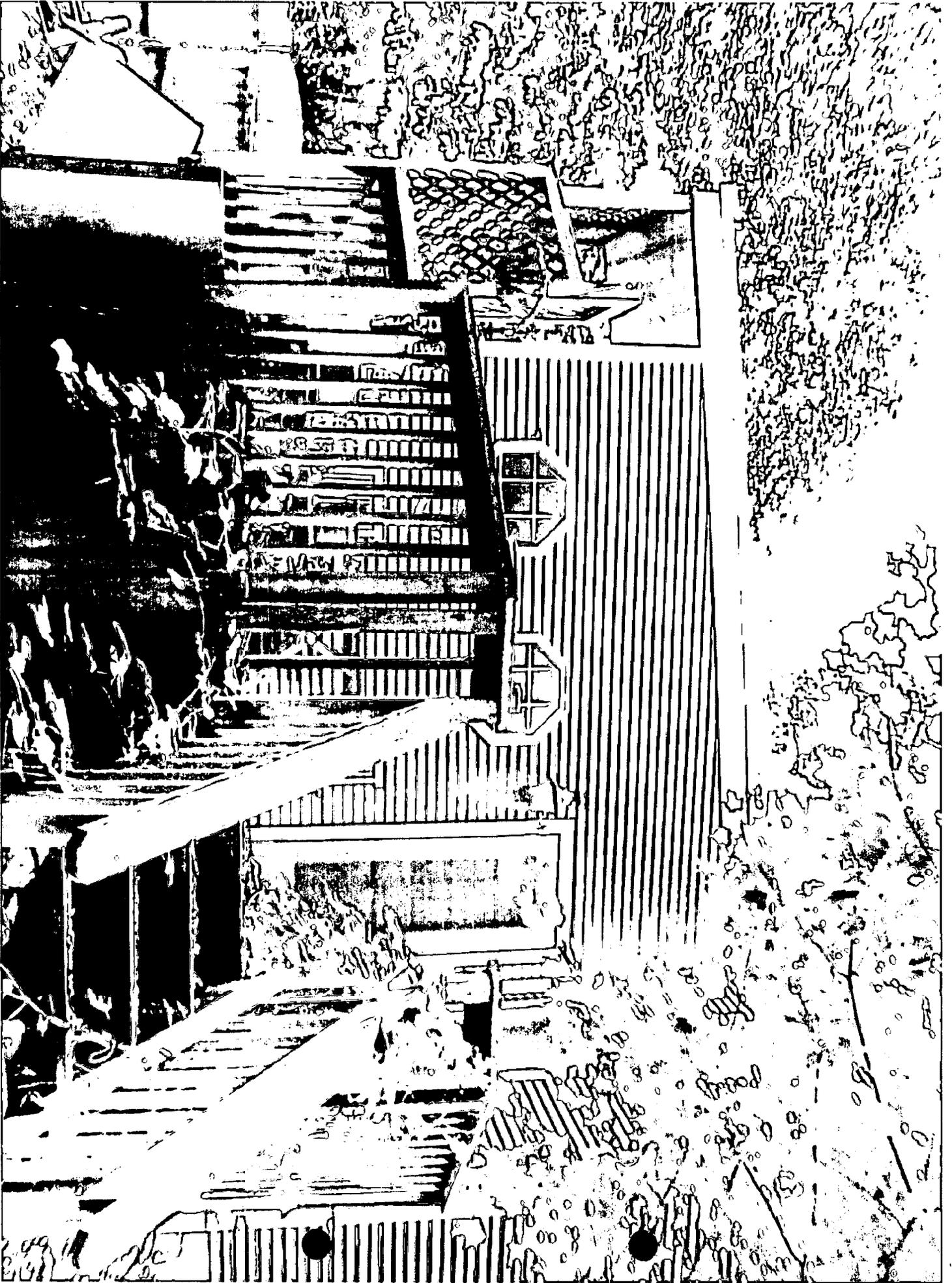
back left of house (site of 2-story addition)





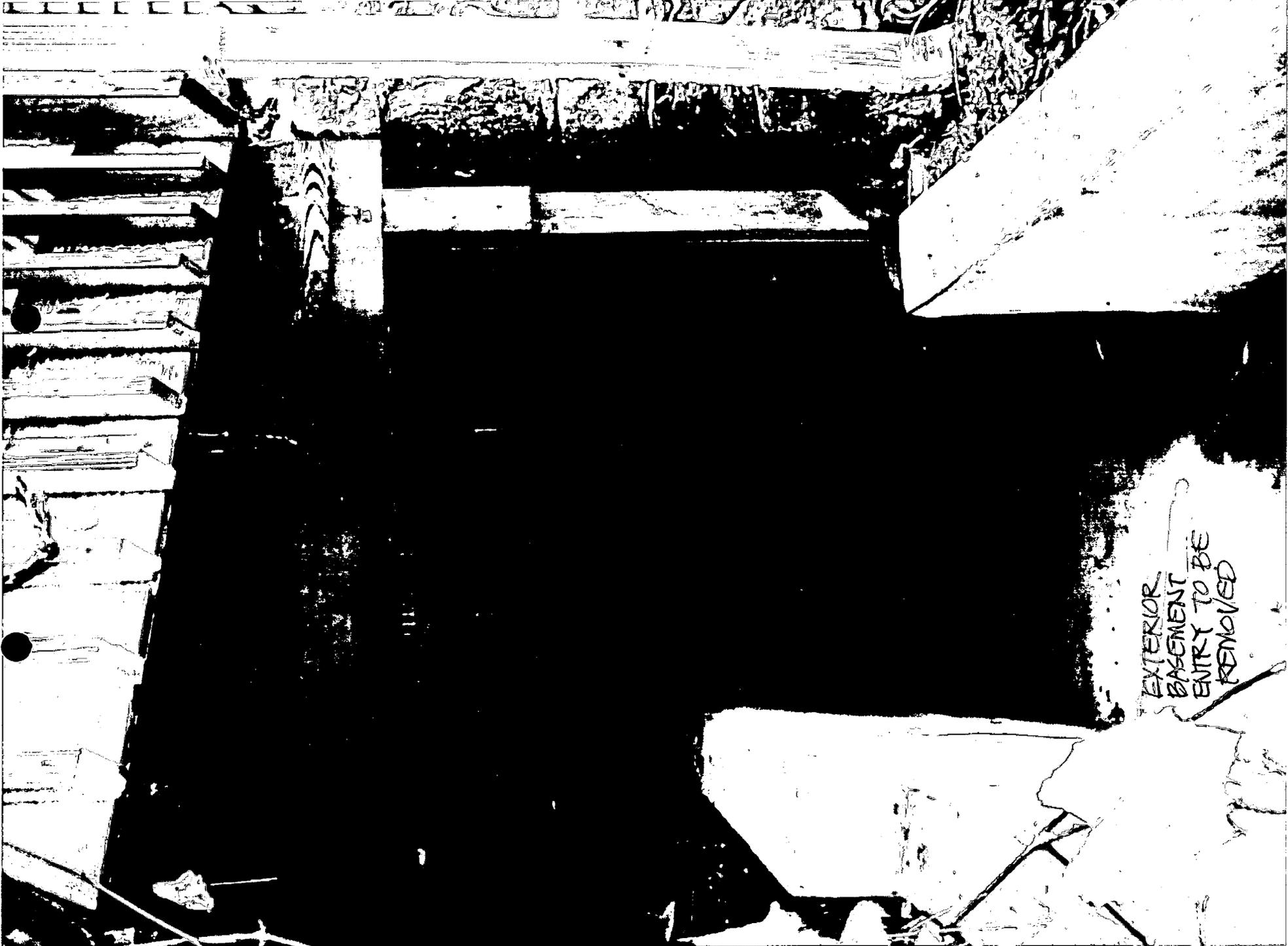
NORTH ENTRY PORCH
TO BE REMOVED

REAR (NORTH WEST) DECK TO BE REMOVED



STONE WALL DETAIL



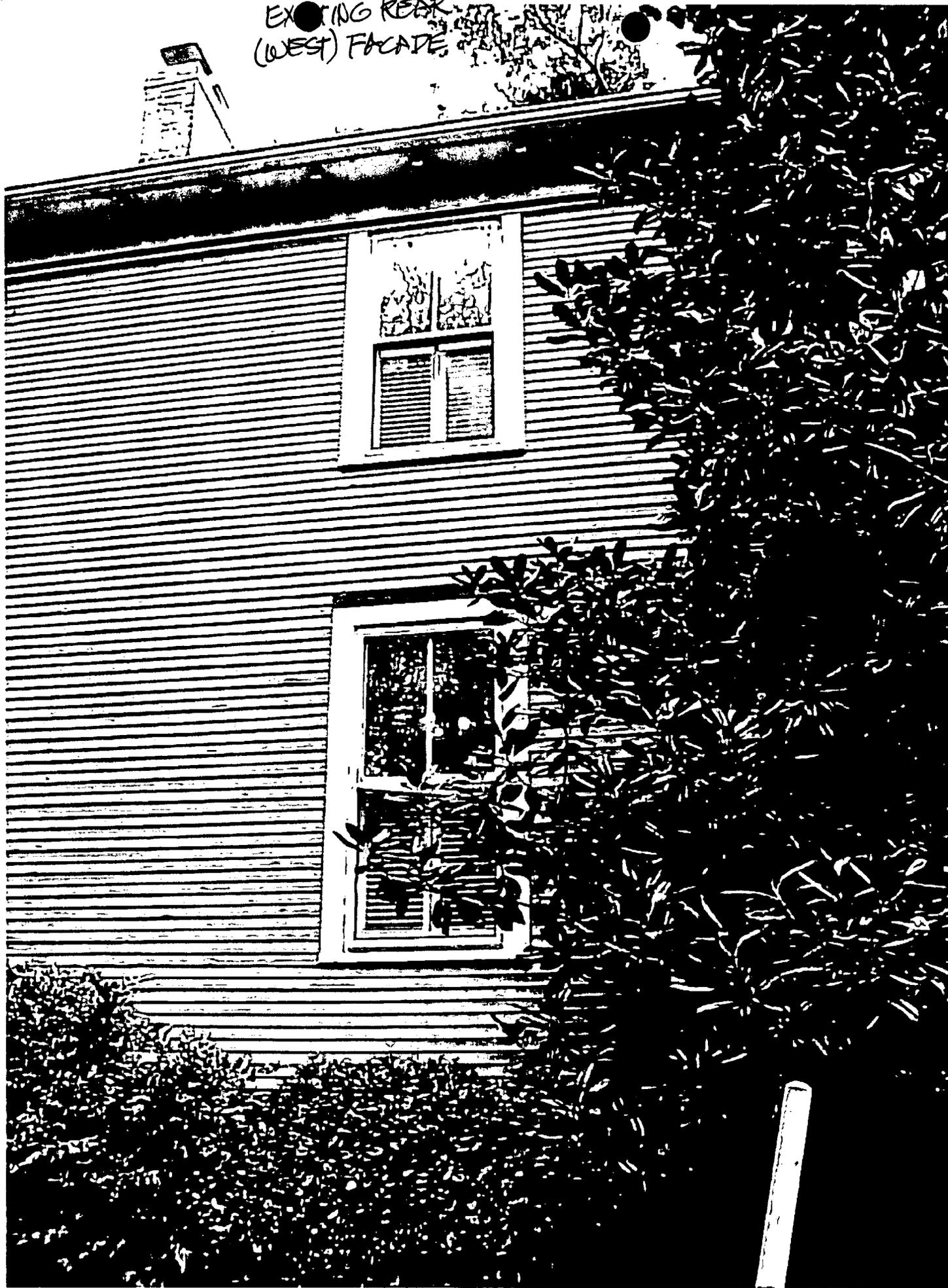


EXTERIOR
BASEMENT
ENTRY TO BE
REMOVED

EXISTING WEST (REAR) FACADE

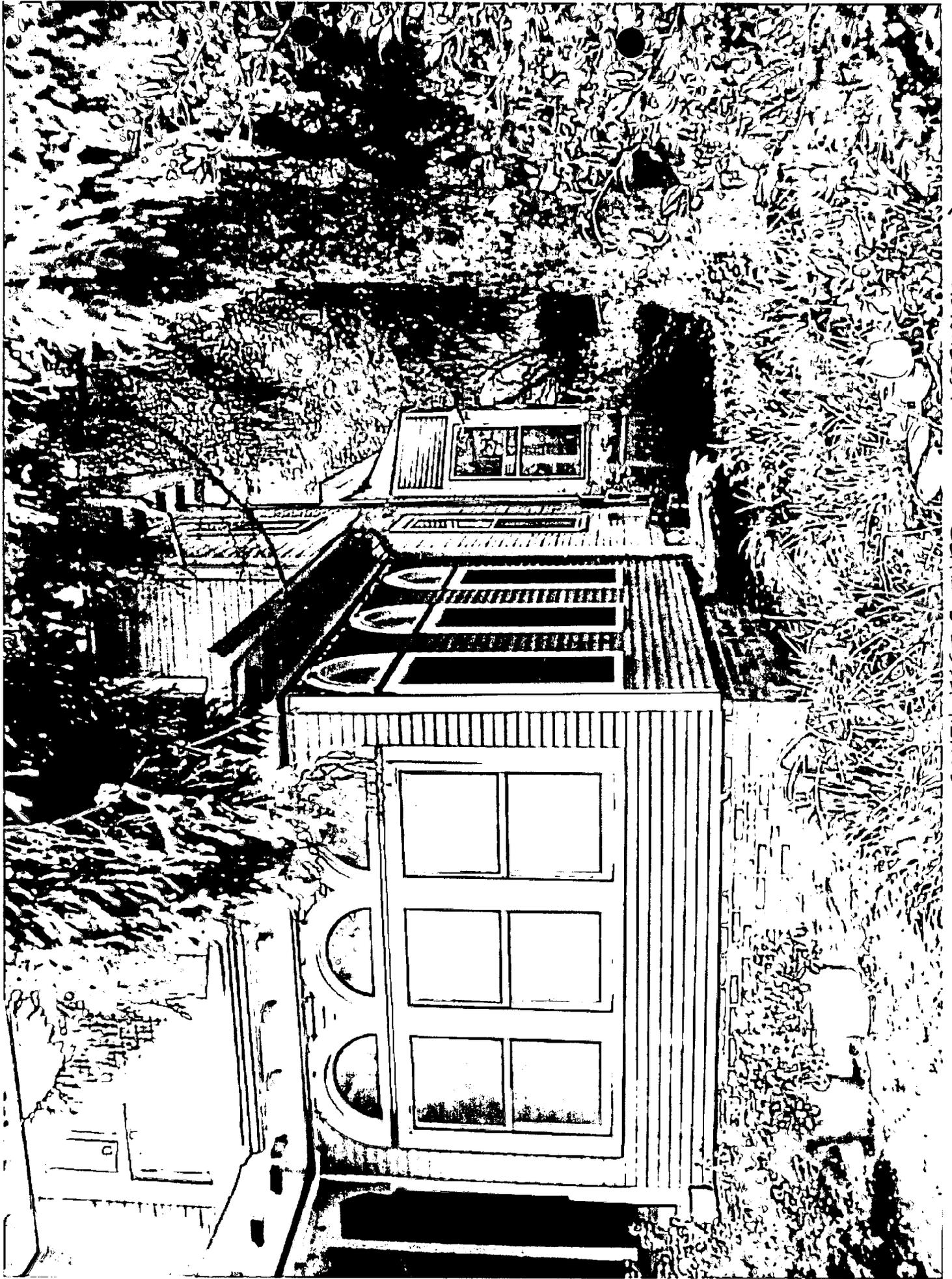


EXISTING REAR
(WEST) FACADE



EAST (WARWICK) ELEVATION



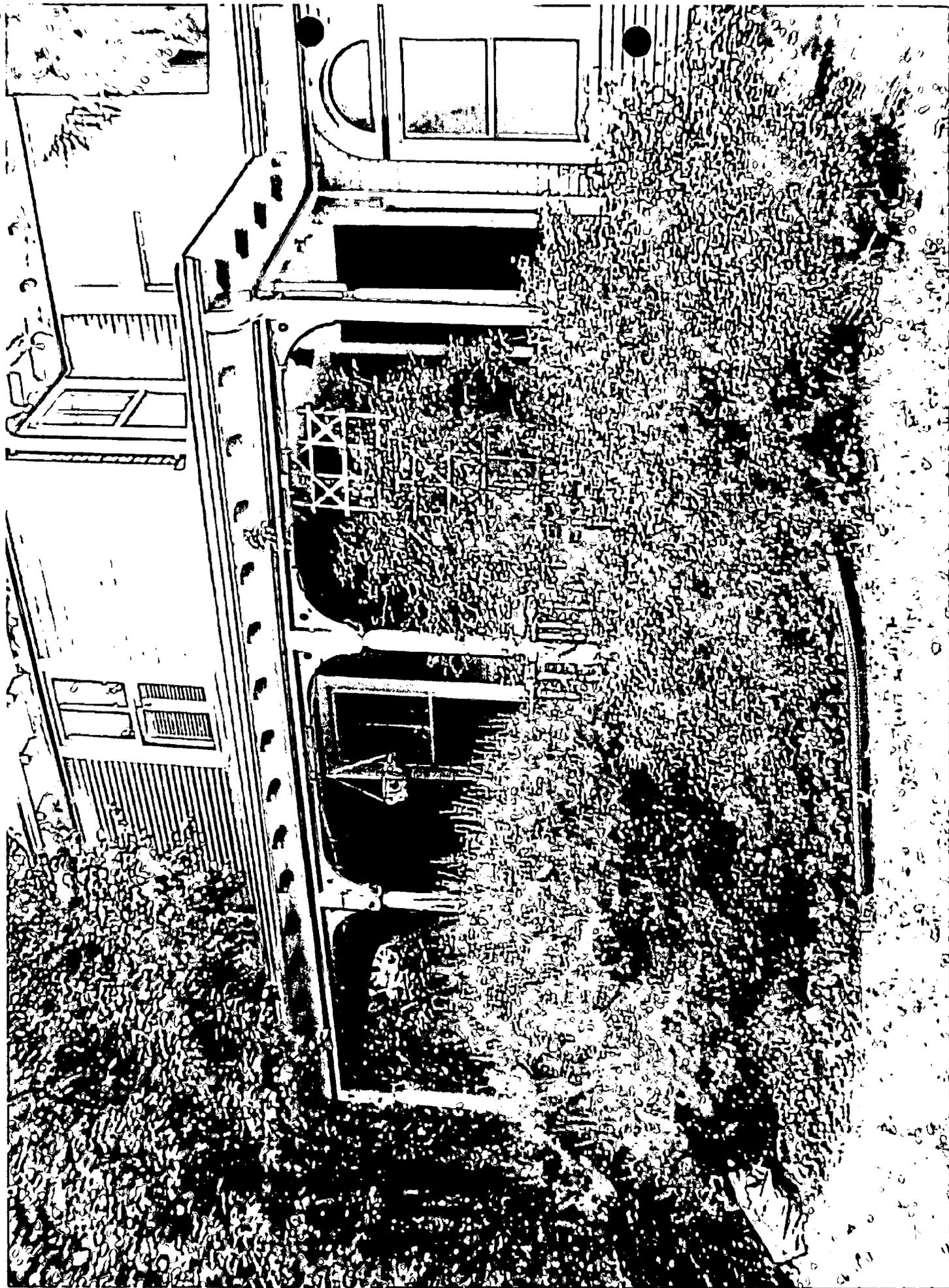


WARWICK →

SOUTH EAST CORNER



SOUTH (DORSET) ELEVATION



SOUTH ELEVATION



SOUTH ENTRY
PORCH



EXISTING NORTH (SIDE) ELEVATION



EXISTING
WEST (REAR)
ELEVATION