

In the woods
8922 Spring Valley Rd. Chevy Chase

35/38
Prelim +
HAWP
2009

Stamped
Plans
in ofc

AF
4-28-09

Staff Item—Anne Fothergill
May 13, 2009
In the Woods

In March 2009 the HPC approved a new bathhouse and other changes^{to} this community pool, located well behind the historic house. The applicants now need to add a small pumphouse for the wading pool equipment. The materials will match the new bathhouse. Staff is asking the HPC to approve this change to be approved at the staff level.

approved by HPC

Fothergill, Anne

Subject: FW: CCRA

From: William Kirwan [mailto:wkirwan@musearchitects.com]

Sent: Monday, April 27, 2009 10:53 AM

To: Fothergill, Anne

Subject: CCRA

Anne,

We have to add a small (approx. 10 feet x 12 feet) pump house to the site plan for the new wading pool at CCRA. It will have the same painted cementitious siding and asphalt shingle roof as the main building.

Originally the plan was to sink the equipment in a well or install it at grade with a small enclosure around it, but the warranties that are best to seek for this equipment require a roofed enclosure.

Thanks,

Bill

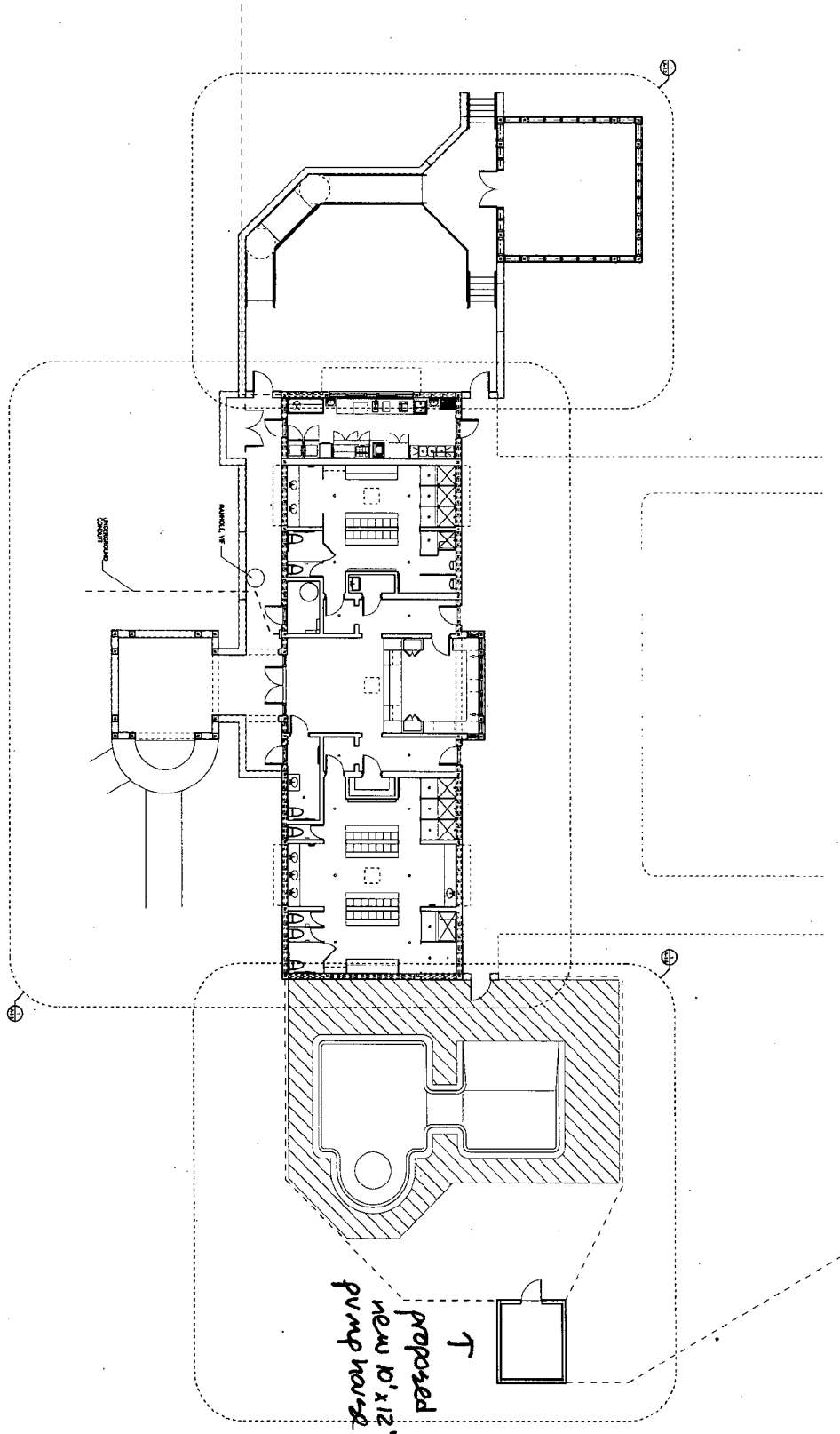
William Kirwan, AIA, LEED® AP
Principal

M U S E A R C H I T E C T S

7401 WISCONSIN AVE, SUITE 500
BETHESDA, MD 20814
T. 301.718.8118
F. 301.718.8112

WWW.MUSEARCHITECTS.COM

1
A-1.0
FLOOR PLAN
SCALE: 1/8" = 1'-0"



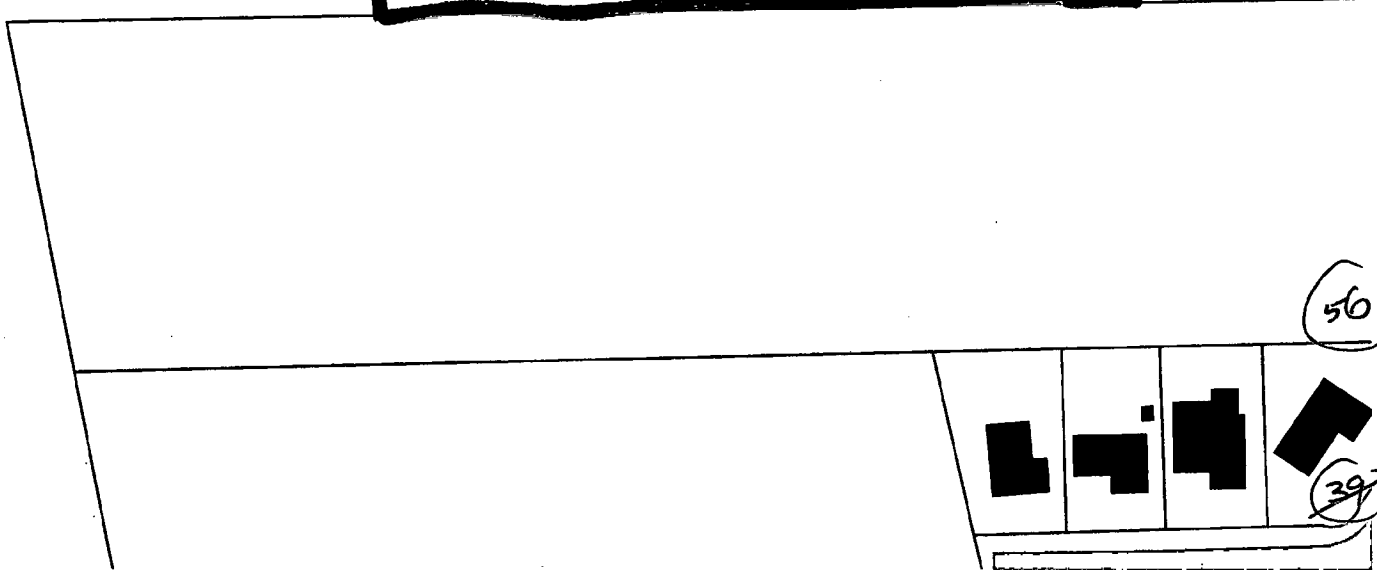
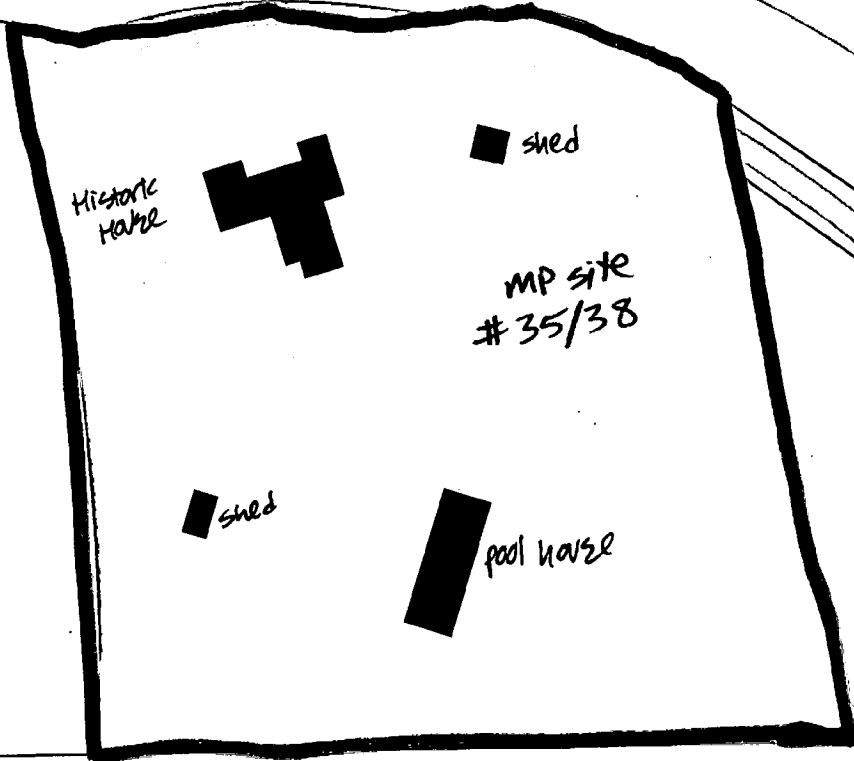
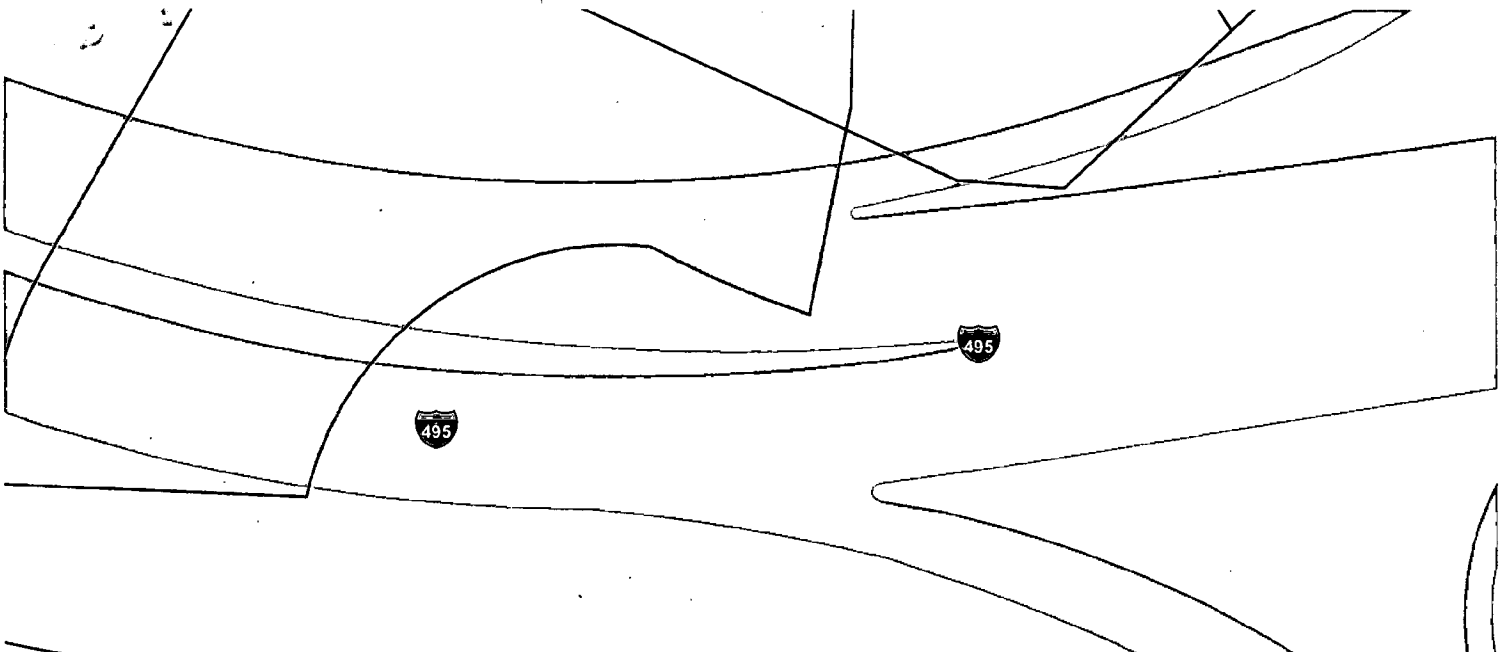
17 APR 2009
PERMIT SET
A-1.0

FLOOR PLAN
SCALE: 1/8" = 1'-0"

03.21
17 APR 2009
PERMIT SET

CHEVY CHASE
RECREATION ASSOCIATION
NEW BATH HOUSE & SITE IMPROVEMENTS
5922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815

MUSE ARCHITECTS, PC
7401 WISCONSIN AVE, STE 500 BETHESDA, MD 20814 301.718.6118
A. MERTON THOMAS & ASSOCIATES
4240 Regentwood Court, Suite 100, Fairfax, VA 22031 703.881.2040
POLLEYBRYAN, INC.
Structural Engineer/Consultant 1411 Colley Station Blvd., Ste 220 Midland, VA 22647 703.887.9943
SRL ENGINEERS, LLC
Civil Engineer/Consultant 8022 Harford Rd, Baltimore, MD 21284 410.666.8800





HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

David Rotenstein
Chairperson

Date: 4/28/09

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill *AF*
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #497019—Alterations to bathhouse, pool, patio, fencing, trees, other

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the March 25, 2009 HPC meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Chevy Chase Recreation Association (Stuart Barr, Agent)
Address: 8922 Spring Valley Road, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

497019

Contact Person: Stuart Barr, Lerch Early & Brewer

Daytime Phone No.: 301.961.6095

Tax Account No.: 07-00419988

Name of Property Owner: Chevy Chase Recreation Association, Inc. Daytime Phone No.: 301.961.6095

Address: 8922 Spring Valley Road Chevy Chase Maryland 20815
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Stuart Barr, Lerch Early & Brewer Daytime Phone No.: 301.961.6095

LOCATION OF BUILDING/PREMISE

House Number: 8922 Spring Valley Road Street: _____

Town/City: Chevy Chase Nearest Cross Street: Woodlawn Road

Lot: _____ Block: _____ Subdivision: _____

Liber: 2595 Folio: 569 Parcel: Parcel P600, Clean Drinking

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
- Move Install Wreck/Raze
- Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
- Solar Fireplace Woodburning Stove Single Family
- Fence/Wall (complete Section 4) Other: Swimming Pool Bathhouse

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

On behalf of Chevy Chase Recreation Association, Inc.,

Stuart Barr
Signature of owner or authorized agent

10/1/08
Date

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 4/28/09

Application/Permit No.: 497019 Date Filed: _____ Date Issued: _____

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	8922 Spring Valley Road, Chevy Chase	Meeting Date:	03/25/09
Applicant:	Chevy Chase Recreation Association (Stuart Barr, Agent)	Report Date:	03/18/09
Resource:	<i>Master Plan</i> Site #35/38, In The Woods	Public Notice:	03/11/09
Review:	HAWP	Tax Credit:	None
Case Number:	35/38-09A	Staff:	Anne Fothergill
PROPOSAL: Alterations to pool, patio, fencing, and bath house			

STAFF RECOMMENDATION

Staff recommends that the HPC approve the HAWP application.

PROPERTY DESCRIPTION

SIGNIFICANCE: *Master Plan* Site #35/38, **In The Woods**
STYLE: Contemporary California
DATE: 1910

Excerpt from Places in the Past:

In the Woods (1910)

Horticulturist David Fairchild was instrumental revolutionizing the American farming industry through his worldwide plant explorations. He is credited with the introduction of plants that led to the unprecedented agricultural income of over \$100 million, in 1954. Species he introduced to the U.S. include varieties of mango, avocado, cacti, seedless raisin grape, and nectarine. A self-described plant explorer, Fairchild helped organize the U.S.D.A. Office of Foreign Seed and Plant Introduction, in 1898. Discovering the beauty of Japanese Flowering Cherry trees at his estate, Fairchild was instrumental in planting the trees along the Tidal Basin, in 1912.

The David Fairchild Estate, known as In the Woods, was a 34-acre tract. Fairchild, and his wife Marian Bell Fairchild, daughter of Alexander Graham Bell, created the naturalistic gardens in 1906 and built their residence in 1910. Edward Clarence Dean, a protégé of John Russell Pope, designed the two-story house, which exhibits the influence of Japanese culture and the Arts and Crafts movement. Constructed of hollow tile, the house is sheathed in stucco that was originally covered with forty trellises. A pergola-roofed porch once sheltered the main entrance. The grounds, now 5 acres, contain an outstanding collection of exotic plant species unique to the metropolitan area and the State of Maryland.

BACKGROUND

The HPC reviewed this proposal at a Preliminary Consultation in October 2008. The HPC was very supportive of the proposal and recommended the applicants submit a HAWP application. The transcript is in Circles 48-55.

PROPOSAL

The applicants are proposing changes to the pool, bathhouse, and pool area, which are all located within the environmental setting but behind the house, past a thick grove of bamboo, and down a hill. The applicants propose to:

1. Replace existing bathhouse with new, approximately 3,000 SF one-story pool house with slightly larger footprint than the existing building; the new building will be 20' tall to roof ridge, 27' tall to top of chimneys and cupolas; it will have an asphalt shingle roof, standing seam metal roof on the cupolas, copper gutters, stucco walls, bluestone coping, fiber cement board siding, aluminum clad-wood windows, wood doors, and painted synthetic trim.
2. Construct a 576 SF detached screened porch next to the new pool house; the screened building will have synthetic trim, asphalt shingle roof, a stucco foundation with bluestone coping, and a concrete wheelchair ramp with metal railing.
3. Replace the existing concrete terraces with new concrete terraces.
4. Replace existing 6' tall chain link fencing with new 6' tall chain link fencing in approximately same location.
5. Construct new retaining walls; walls will be stucco coated CMU with bluestone cap.
6. Renovate wading pool area.
7. Remove three trees: 15" and 12" Carolina hemlock and 34" English Oak. New trees and bushes are proposed for screening.

The applicants have received approval of their Special Exception modification.

APPLICABLE GUIDELINES

When reviewing alterations and new construction to a *Master Plan* site several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A-8:

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
 - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
 - (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

- (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
 - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
 - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
 - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any one period or architectural style.
 - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

Secretary of the Interior's Standards for Rehabilitation:

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard # 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

As can be seen in the site plan and aerial photos within this staff report, the pool area is located behind and down a hill from the historic house. Additionally, between the house and the pool area is a very dense grove of bamboo that provides screening between the two areas. The historic house sits on land that is approximately 10' higher than the bathhouse and the bath house is approximately 250 feet behind the front of the house. In terms of building heights, the new bathhouse is 20' tall to the roof ridge and 27' tall to the top of the chimneys and cupolas. The historic house is 24' tall to the roof ridge and 27' to the top of the chimney so the new building will definitely not appear taller than the historic house. The bathhouse design is compatible with the setting and staff supports all of the proposed changes to the pool, bathhouse, and pool area.

While the HPC has generally not supported clad wood windows and synthetic trim, the HPC made it clear at the first review that they were comfortable with the use of them on this building since the materials will be very far from the historic house and will be on detached, new construction.

STAFF RECOMMENDATION

Staff recommends that the Commission ***approve*** the HAWP application as being consistent with Chapter 24A-8(b)1:

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; and,

and with the general condition that the applicant shall present the **3 permit sets of drawings – if applicable – to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

497019

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Stuart Barr, Lerch Early & Brewer

Daytime Phone No.: 301.961.6095

Tax Account No.: 07-00419988

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Street Number City Street Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Stuart Barr, Lerch Early & Brewer Daytime Phone No.: 301.961.6095

LOCATION OF BUILDING/PREMISE

House Number: 8922 Spring Valley Road Street: _____

Town/City: Chevy Chase Nearest Cross Street: Woodlawn Road

Lot: _____ Block: _____ Subdivision: _____

Liber: 2595 Folio: 569 Parcel: Parcel P600, Clean Drinking

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Swimming Pool Bathhouse

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

On behalf of Chevy Chase Recreation Association, Inc.,

Stuart Barr
Signature of owner or authorized agent

10/1/08
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 497019 Date Filed: _____ Date Issued: _____

5
4

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See attached.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HO 0640A

Eight One Zero One (8101)
Katie Wyrsh, Property Manager
8101 Connecticut Avenue,
Chevy Chase, MD 20815

HO 0653A

Hamlet House Condo.
Ms. Susanne Mitchell, President
3535 Chevy Chase Lake Dr. #107
Chevy Chase, MD 20815

HO 0825A

Chevy Chase Lake Apts.
Susan Merryman, Manager
3719 Chevy Chase Lake Dr.
Chevy Chase, MD 20815
301-654-3035 x

HO 0826A

Hamlet Place Owners, Inc.
Wesley Stubbs, Stubbs Mgmt. & Co.
3587 Hamlet Place
Chevy Chase, MD 20815

HO 0826B

Hamlet Place Owners, Inc.
Alan Ward
3577 Hamlet Place
Chevy Chase, MD 20815

HO 0828A

Preston Place T.H./C.C.L. Apt.
Ms. Lucille Mannelly, Manager
3710 Manor Road
Chevy Chase, MD 20815

HO 0828B

Preston Place Townhouses
Andrew Dimond, Management Agent
Chevy Chase Land Co. 8401 Connecticut
Avenue - Penthouse
Chevy Chase, MD 20815

CA 0706B

Chevy Chase View
Janet Coe, Town Administrator
4104 Franklin Street
Kensington, MD 20895

CA 0827A

Northern Chevy Chase Citizens Assn.
Sol Gnatt, Chairman
3604 Faircastle Drive
Chevy Chase, MD 20815

CA 1267B

Wheaton & Kensington Chamber
Vicky Surlis, Adm. Assistant
2401 Blueridge Ave, #101
Wheaton, MD 20902

CA 1265A

Rockville Chamber of Commerce
Jeff Miller, Board Chairman
255 Rockville Pike, #L10
Rockville, MD 20850

CA 0068E

Maplewood Citizens Assn.
Sharon Constantine, Co-President
9406 Kingsley Avenue
Bethesda, MD 20814

CA 1244A

Coalition of Kensington Communities
Liz Brennan
4324 Dresden Street
Kensington, MD 20895

CA 0668B

Allied Civic Group
William Anderson, Jr.
160 Norwood Road
Silver Spring, MD 20905

CA 1260A

Bethesda-Chevy Chase CC
Ginanne Italiano, Executive Director
7910 Woodmont Avenue, #1204
Bethesda,, MD 20814

CA 0229A

Chevy Chase Valley Citizens Assn
Ken Strickland, President
8811 Spring Valley Road
Chevy Chase, MD 20815

CA 1265B

Rockville Chamber of Commerce
Joy Young, President/CEO
255 Rockville Pike, Suite L10
Rockville, MD 20850

CA 1295A

Silver Spring Historical Society
Jerry McCoy
800 Thayer Avenue
Silver Spring,, MD 20910-4504

CW 0671B

Citizens for a Better Montgomery
George Sauer
8307 Post Oak Road
Potomac, MD 20854-3479

CW 0680A

Montgomery County Civic Federation
Wayne Goldstein, President
3009 Jennings Road
Kensington, MD 20895

CW 0683A

Northern Montgomery County Alliance
Julius Cinque, Chair
223 Slidell Road
Boyd's, MD 20841

HO 0826C

Hamlet Place Owner's Inc.
Anne Kilcullen, President
3583 Hamlet Pl.
Chevy Chase, MD 20815

CA 0038A

Hamlet Citizens Assn. of Chevy Chase
Ann Davis, President
3600 Cardiff Road
Chevy Chase, MD 20815

CA 0041A

East Bethesda Citizens Assn.
Ilaya Hopkins, President
P.O. Box 41020
Bethesda, MD 20824

CA 0051A

Chevy Chase Hills Civic Assn.
Michael Marsh, President
3904 Manor RD
Chevy Chase, MD 20815

CA 0052A

Village of North Chevy Chase
Sally Klippel, Manager
P.O. Box 15887
Chevy Chase, MD 20815

CA 0053A

Coquelin Run Citizens Assn.
Eric Peek, President
8717 Susanna Lane
Chevy Chase, MD 20815

CA 0064B

Rock Creek Hills Citizens Assn.
Shannon Hamm, President
9805 E. Bexhill Dr.
Kensington, MD 20895

CW 0716A

TROT
Ronald McNabb, President
12435 Meadowood Dr.
Silver Spring, MD 20904

CA 0065A

Byeforde-Rock Creek Highlands
Peter Beveridge, President
9818 Culver Street
Kensington, MD 20895

CW 0717A

Spanish Speaking People of Montgomery
Pedro Porro, President
5729 Bradley Boulevard
Bethesda, MD 20814

CA 0066A

Bethesda Parkview Citizens Assn.
Jon Alterman, President
4508 Traymore Street
Bethesda, MD 20814

CW 0969A

Montgomery County Taxpayers League
Marvin Weinman, President
P.O. Box 826
Rockville, MD 20848-0826

CA 0067A

Locust Hill Citizens Assn.
Kristen Hohman, President
4802 Enfield Road
Bethesda, MD 20814

CW 1135A

Montgomery Preservation, Inc.
Wayne Goldstein, President
3009 Jennings Road
Kensington, MD 20895

CA 0068A

Maplewood Citizens Assn.
Myers Allen, President
9319 Fresno Avenue
Bethesda, MD 20814

CW 1193A

Sierra Club - Montgomery County Group
Jim Fary, Chair
2836 Blue Spruce Lane
Silver Spring, MD 20906-3166

CA 0080B

Parkwood Residents Assn.
Kira Lueders, President
10112 Wildwood Road
Kensington, MD 20895-4113

CW 0908A

Audubon Naturalist Society
Dolores Milmo, Contact
8940 Jones Mill Road
Chevy Chase, MD 20815

CA 0211A

Park View Citizens Assn
Dr. Niki Zaldivar, President
3208 Park View Road
Chevy Chase, MD 20815

CA 1313A

Washington Metro Area Transit Authority
Contact
600 Fifth Street, NW
Washington, DC 20001

CA 0668A

Allied Civic Group
Michael Diegel, President
P.O. Box 13238
Silver Spring, MD 20911

Maryland National Capitol Park & Planning
Commission
8787 Georgia Avenue
Silver Spring, MD 20910
[Parcels P695, P539 and P429]

CW 6784A
Montgomery County Air Park
John Luke, Manager
7940 Air Park Road
Gaithersburg, MD 20879

Stuart Barr, Esq.
Lerch, Early & Brewer
3 Bethesda Metro Center, Suite 460
Bethesda, Maryland 20814

CW 3443A
Montgomery County Civic Federation
Jim Humphrey, Land Use Chair
5104 Elm Street
Bethesda, MD 20814

M U S E A R C H I T E C T S

Principals

Stephen Muse FAIA
William Kirwan AIA

Associates

Kuk-Ja C. Kim AIA
R. Warren Short AIA
John M. Thorp AIA

4 March 2009

Anne Fothergill
Planner Coordinator
Historic Preservation Section
Urban Design and Preservation Division
Montgomery County Planning Department
The Maryland-National Capital Park and Planning Commission

Re: CCRA New Bathhouse and Site Improvements

Dear Ann:

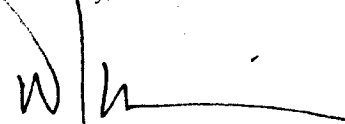
Attached please find the revised drawings reflecting the changes and additional information that we are providing for our Historic Area Work Permit request #497019. The drawings provide additional information and updated information requested in the Staff Report from our preliminary HAWP application, dated October 22nd, 2008.

The design changes to the building and site are as follows:

1. Accessibility is now provided to the Screen Porch with the addition of a ramp on two sides of the Dining Terrace. This was requested by DPS following a preliminary building code review.
2. Greater detail is now provided for the Wading Pool plan.
3. The bathhouse is one foot longer than originally submitted due to construction detailing issues resulting from the development of the design from Schematics to Construction Documents.
4. Two exterior doors were added to the East Elevation on either side of the main entry doors. One provides access to the Mechanical Room and the other provides access to an accessible Family Restroom so that tennis court users do not have to go inside the lobby of the building to use the facilities.

If you should have any questions or need additional information, please do not hesitate to contact us.

Sincerely,



William Kirwan, AIA, LEED® AP
MUSE ARCHITECTS, PC

WK/kw



ATTORNEYS

STUART R. BARR
DIRECT 301.961.6095
SRBARR@LERCHEARLY.COM

October 1, 2008

BY HAND-DELIVERY

Montgomery County Historic Preservation Commission
Attention: Ms. Anne Fothergill
1109 Spring Street, Suite 801
Silver Spring, Maryland 20910

Via:
Department of Permitting Services
255 Rockville Pike
Rockville, Maryland 20850

Re: Chevy Chase Recreation Association, Inc.
8922 Spring Valley Road, Chevy Chase, Maryland 20815
Petition for Historic Area Work Permit for Updated Pool Bathhouse

Dear Ms. Fothergill and Members of the Historic Preservation Commission:

Our firm represents Chevy Chase Recreation Association, Inc. ("CCRA"), which owns and operates a community swimming pool and tennis facility located at 8922 Spring Valley Road in the southwest quadrant of the interchange between the Capital Beltway (I-495) and Connecticut Avenue (MD-185) in Chevy Chase (the "Property"). The Property also contains an historic resource identified as "In the Woods," or the David Fairchild Estate, listed in the Bethesda-Chevy Chase Master Plan as historic resource 35/38. The purpose of this letter and the accompanying application is to request an Historic Area Work Permit to permit modifications to the existing community swimming pool facilities, as more fully described in the accompanying statement. No changes to the historic resource are proposed, and this application will not affect the historic resource in any way.

Enclosed are two (2) complete sets of the following attachments in support of our request:

1. Historic Area Work Permit Application Form
2. Statement in Support of Historic Area Work Permit Application
3. A list of adjoining and confronting property owners and civic associations
4. Letter of Support from the Chevy Chase Valley Citizens Association
5. Property Zoning Map and Tax Map

4
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 Division of Casework Management
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 OCT 1 2008
 Division of Casework Management



ATTORNEYS

Montgomery County Historic Preservation Commission
October 1, 2008
Page 2

6. Aerial Photograph and Photographs of existing property conditions
7. Engineering Plans (full size, 11 x 17, and 8.5 x 11):
 - a. Existing Conditions Plan
 - b. Site Plan
 - c. Detailed Site Plan
 - d. Grading Plan
 - e. Stormwater Management Concept Plan
 - f. Lighting Photometric Plan
 - g. Amended Forest Conservation Plan / Tree Save Plan
 - h. Detailed Amended Forest Conservation Plan / Tree Save Plan
 - i. Amended Forest Conservation Plan / Tree Save Plan Notes & Details
 - j. Landscape & Lighting Plan
8. Architectural Plans (full size, 11 x 17, and 8.5 x 11)

Our understanding is that the Commission can review this application at its meeting on October 22, 2008. If you have any questions, please do not hesitate to call the number above. Thank you very much for your favorable consideration.

Very truly yours,

Stuart Barr
April Birnbaum

Enclosures, as described

Cc (full-size plans): John Tschiderer, CCRA
Ken Strickland, President, Chevy Chase Valley Citizens Association

Cc (reduced plans): Gregory Osband, A. Morton Thomas
William Kirwan, Muse Architects

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

STATEMENT IN SUPPORT OF
HISTORIC AREA WORK PERMIT APPLICATION

October 1, 2008

Petitioner, Chevy Chase Recreation Association, Inc., the owner and operator of the community swimming pool on the subject property, hereby submits this Statement in Support of its Historic Area Work Permit application to permit the renovation and modest expansion of the swimming pool bathhouse facility, the replacement of existing patio areas with terraces, the addition of a small screen porch, and the reconfiguration and modernization of the children's wading pool, on the property located at 8922 Spring Valley Road, Chevy Chase, MD (the "Property"). Besides the swimming pool and tennis facilities, the Property contains an historic resource identified as "In the Woods," or the David Fairchild Estate, listed in the Bethesda-Chevy Chase Master Plan as historic resource 35/38. No changes to the historic resource are proposed, and this application will not affect the historic resource in any way.

I. Background Information

The subject Property is located at the southwest quadrant of the interchange between the Capital Beltway (I-495) and Connecticut Avenue (MD-185) in Chevy Chase, Maryland. The 215,622 square foot property (approximately 4.95 acres) is identified as Parcel 600, which is part of a parcel originally called "Clean Drinking." The site is within the Bethesda-Chevy Chase Master Plan area. Physical characteristics of the site are shown on the enclosed plans. The Property is zoned R-90 (single-family detached residential). As shown on the attached Zoning Map and Tax Map, the Property is located at the terminus of Spring Valley Road and is completely surrounded by the Capital Beltway to the north and Maryland-National Capital Park and Planning Commission property to the east, south, and west.

The County designated the subject Property as historic in 1979. The Property includes "In the Woods," or the David Fairchild Estate, which Dr. David Fairchild built in 1910. The David Fairchild Estate also includes extensive gardens near the site of the Fairchild home. The Property is listed in the Bethesda-Chevy Chase Master Plan as historic resource 35/38. The

David Fairchild Estate home currently houses a nursery school, which the Montgomery County Board of Appeals approved as a special exception in 1956 (CBA-482).

The Board of Appeals granted the original Special Exception approval to operate a community swimming pool on the Property in 1959 (CBA-716). The Petitioner has operated the community swimming pool (also known as "CCRA") on the Property since 1960 and is in the process of applying for a modification to the Special Exception approval concurrently with this application.

II. Request for Historic Area Work Permit

Petitioner respectfully seeks approval from the Historic Preservation Commission for a Historic Area Work Permit for various alterations to the Property. None of the following requests are inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic resource. None of the modifications substantially alter the exterior features of the historic resource, and the alterations are compatible in character and nature with the historical features of the site.

Proposed Renovation and Addition to Bathhouse Facility

As shown on the attached Existing Conditions Plan, the Property includes the entrance and drive aisle off of Spring Valley Road, the historic resource located on the north side (currently used as a day care facility), two parking lots containing approximately 80 parking spaces, the main swimming pool, a six lane lap pool, a children's pool, the existing bathhouse, a snack bar, and tennis courts. As seen from the attached Photographs, particularly the aerial photograph, there is a wooded buffer between the historic resource on the north side of the Property and the swimming pool and tennis facilities on the south side of the Property.

The CCRA bathhouse is 40 years old and has not received significant upgrades since its original construction. Unfortunately, over time, the existing building has become inadequate in design and function for CCRA members. As the Commission can see from the attached Photographs, the building is old, unattractive, and in need of replacement. In order to upgrade its facilities, CCRA has decided that a renovated bathhouse is necessary to improve, upgrade, and modernize the facility. As shown on the Site Plan and Architectural Plans, the proposed single-

story bathhouse will contain an entry pavilion, reception area, and kitchen and will provide modern locker rooms to better accommodate all ages of membership. The new building also will be handicap accessible and will provide improved ventilation and plumbing systems.

The existing bathhouse currently connects with a series of multi-tiered patio areas with tables and seating (see attached Photographs). CCRA would like to replace this patio area with a terrace area and small screened porch as shown on the Site Plan and Architectural Plans. The screened porch will allow an eating area in the event of inclement weather.

As shown on the attached Site Plan, the proposed bathhouse, including the proposed screened porch and entry pavilion, is approximately 4,000 square feet in size (approximately 1,800 square feet larger than the existing bathhouse structure). It will be located in the same general location as the existing bathhouse. The use of the existing building site minimizes the potential damage and impact to established vegetation that complements the Property. As shown on the attached Elevations, the proposed architecture is very tasteful and compatible with the physical surroundings. Planned features include residential roof pitches and details, stucco exterior walls, traditional windows and doors, copper gutters and downspouts, and window planter boxes.

Proposed Modifications to Children's Wading Pool

CCRA also would like to modernize the children's wading pool area, which is 45 years old and is located directly to the north of the bathhouse. For example, the configuration of the children's pool might be adjusted slightly to accommodate the new bathhouse structure, and the pool might have a sloping entry feature as opposed to the traditional pool deck/curb design. Any changes will take place within the existing wading pool area and will not create any off-site impacts or impacts to the historic resource.

Landscaping, Lighting, and Fencing

Although the Property is already heavily landscaped and screened by existing vegetation and natural landscaping, CCRA is proposing additional plantings for the new bathhouse as shown on the attached Landscape & Lighting Plan. The attached Elevations and Lighting and Photometric Plans also depict the locations and light fixture information for the proposed lights

on the new building. The light fixtures will be located so that no light or glare intrudes into any residential area. There will not be any off-site lighting impact or impact to the historic resource. Due to the construction of the new bathhouse, a portion of the 6-foot tall chain link fencing that provides security for the pool will need to be replaced, as shown on the Site Plan.

Stormwater Management

CCRA is working with the Department of Permitting Services to address stormwater management requirements. Since the proposed building will be constructed in the same location as the existing building and on other portions of the pool deck, little additional impervious area is proposed. As shown on the attached SWM Concept Plan, CCRA is proposing a series of drywells to treat runoff from the proposed building.

Forest Conservation

The Property is subject to a Category II Forest Conservation Easement Agreement with the Montgomery County Planning Board, which generally protects specimen trees and areas of forest on the Property within the easement areas. As shown on the proposed Amended Forest Conservation Plans/Tree Save Plan, CCRA is planning to remove only a handful of trees, including one specimen tree that is in poor condition. CCRA has met with M-NCPPC Planning Staff concerning this project and is in the process of working with the Staff on the necessary amendment to the Forest Conservation Easement Agreement.

III. Community Outreach

The bathhouse renovation will not adversely impact the immediate neighborhood. In fact, the appearance of a new bathhouse building should improve the effect of the facility on the immediate neighborhood, to the extent that it is visible from any surrounding properties. As shown on the attached photographs, mature trees, vegetation, fencing, and an interstate highway will largely screen the new addition from the closest residences (as they do now with the present building).

CCRA has conducted outreach with the surrounding community. Approximately one year ago, in October, 2007, CCRA notified the adjoining community of the project. CCRA met again recently with members of the Chevy Chase Valley Citizens Association (CCVCA) and provided the most recent plans. CCVCA has provided the attached letter of support. CCRA pledges to work with the community to address the community's comments concerning an adequate water supply and construction safety. CCRA will work with the Washington Suburban Sanitary Commission to ensure an adequate water supply for the pool property and will work with its contractors during construction to reduce any impacts from construction activities.

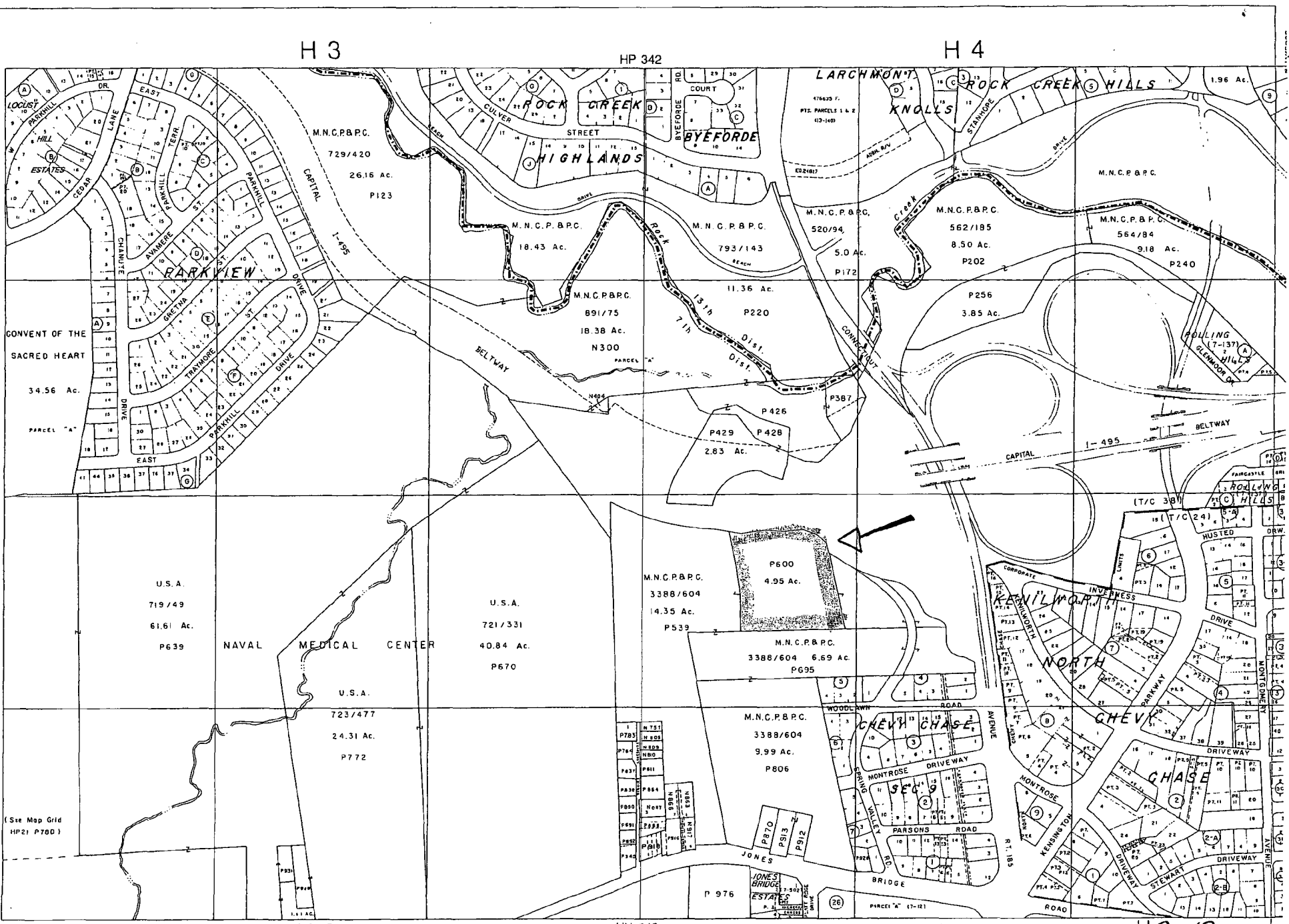
Petitioner, Chevy Chase Recreation Association, respectfully requests approval of the Historic Area Work Permit as described in this application. Again, no changes to the historic resource are proposed, and this application will not affect the historic resource in any way. Thank you very much for your favorable consideration.

Respectfully submitted,
Lerch, Early & Brewer, Chtd.

By: _____



Stuart Barr
April Birnbaum
Attorneys for Petitioner
3 Bethesda Metro Center, Suite 460
Bethesda, Maryland 20814
Phone: (301) 961-6095
Fax: (301) 347-1771



H 3

HP 342

H 4

H 3

HN 343

H 4

HP 343

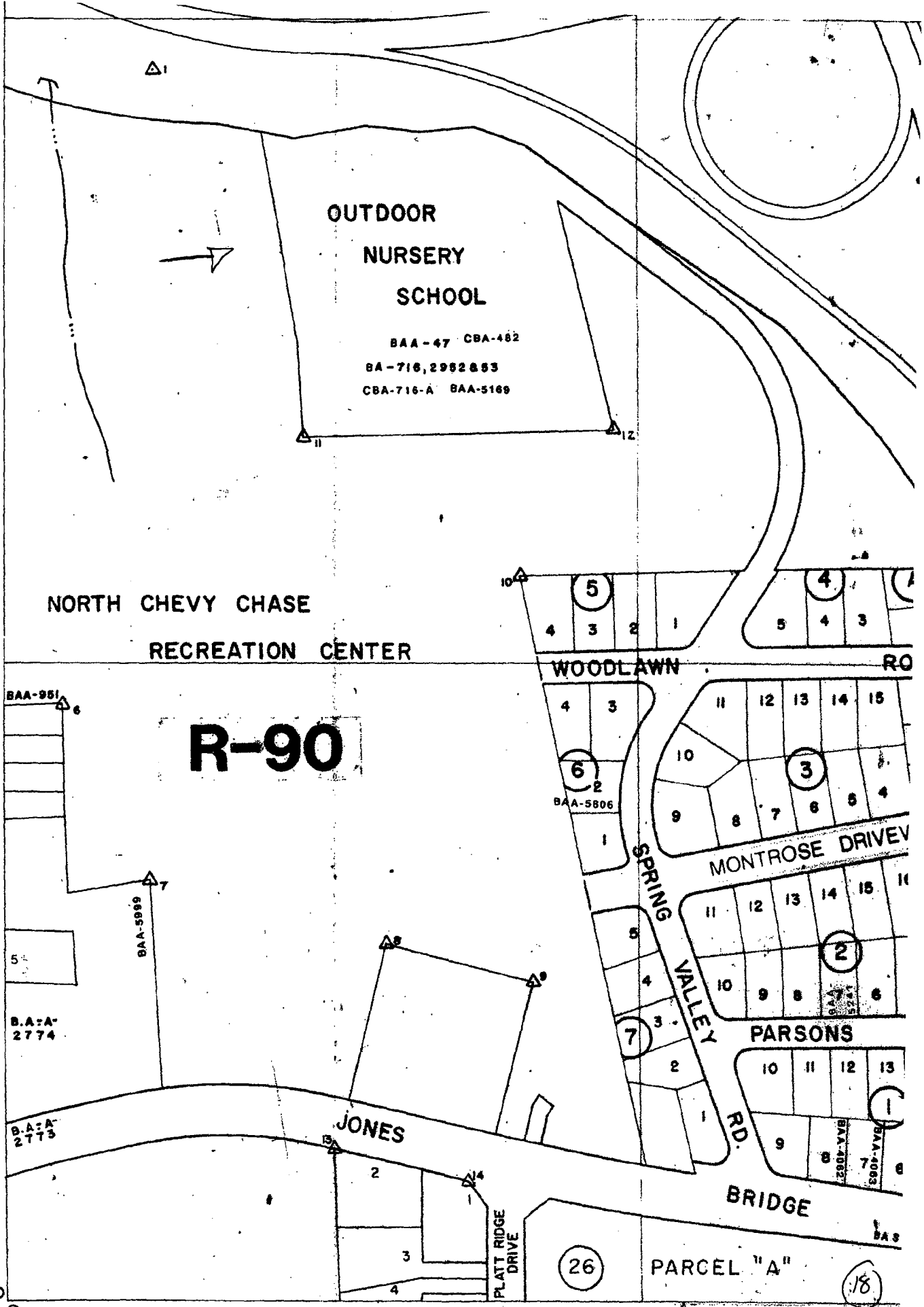
THESE MAPS ARE PROTECTED BY COPYRIGHT. THEY MAY NOT BE COPIED OR REPRODUCED IN ANY FORM INCLUDING ELECTRONIC MEANS SUCH AS DIGITIZING, SCANNING, VECTORIZING, OR IMAGE PROCESSING, OR BY ANY SYSTEM NOW KNOWN OR TO BE INVENTED WITHOUT PERMISSION IN WRITING FROM THE MARYLAND DEPARTMENT OF PLANNING.

SCALE IN FEET



MARYLAND DEPARTMENT OF PLANNING PROPERTY MAPPING SECTION. Includes contact information and a logo for MDP Maryland.

MONTGOMERY CO., MARYLAND MAP HP W.S.S.C. 2111N Location: CHEVY



OUTDOOR
NURSERY
SCHOOL

BAA-47 CBA-482
BA-716, 2982 & 83
CBA-716-A BAA-5169

NORTH CHEVY CHASE
RECREATION CENTER

R-90

WOODLAWN

RO

SPRING
VALLEY
RD.

MONTROSE DRIVE

PARSONS

JONES

BRIDGE

PLATT RIDGE
DRIVE

PARCEL "A"

N40,000

121,000

Zoning is not depicted within public or transit routes, nor is zoning depicted

CHEVY CHASE RECREATION ASSOCIATION NEW BATH HOUSE & SITE IMPROVEMENTS

MUSE ARCHITECTS, PC
A MARYLAND PROFESSIONAL ARCHITECTS FIRM
7401 WISCONSIN AVE., STE. 500 BETHESDA, MD 20814 301.713.8119
12321 BELMONT LANE, SUITE 200 BELMONT, MD 20615 301.461.6100
10000 WOODBURN DRIVE, SUITE 100 WOODBURN, MD 20686 301.702.9972
9007 PINEGROVE CIRCLE, SUITE 100 WASHINGTON, MD 20783 301.428.8800

**CHEVY CHASE RECREATION ASSOCIATION
NEW BATH HOUSE & SITE IMPROVEMENTS**
9922 SPRING VALLEY RD
CHEVY CHASE, MARYLAND 20815

ABBREVIATIONS	
A	At
A.F.F.	Above Finish Floor
AB	Above
ALT.	Alternate
APPROX.	Approximate
B.	Board (or Bead)
BLDG.	Building
BLK.	Blocking
M.	Beam
C.	Concrete
C.C.	Ceiling
J.	Ceiling Joist
MU	Concrete Masonry Unit
CL.	Column
CONC.	Concrete
CONT.	Continuous
PR.	Copper
S.	Downspout
WG.	Drawing
N./EXIST.	Existing
XT.	Exterior
IN	Finish
LASHG	Flashing
LR.	Floor
LRG.	Flooring
O.	Face of
RMG.	Framing
TG.	Footing
ALV.	Galvanized
WB.	Gypsum Wall Board
WT.	Weight
I.	Inch
IT.	Joist
M.	Masonry
DO	Medium Density Overlay
DF	Medium Density Fiberboard
.D.	Masonry Opening
MECH.	Mechanical
1/1000	1/1000 Inch
MIN.	Minimum
ON CTR.	On Center
W.T.	Open Web Truss
PLY.	Plywood
T.	Pressure Treated
TD.	Painted
O.	Riser(s)
INF.	Rough Opening
RTG.	Reinforcing
M.	Steel
ITG.	Similar
T.	Standard
L.	Steel
DR.	Storage
RUC.	Structure
	Treads(s)
IG	Tongue and Groove
I.	Truss Joists
O.	Top of Arch
O. ARCH	Top of Arch
N.O.	Unless Otherwise Noted
/	With
D.	Wood
WIN.	Window
WF	Welded Wire Fabric

LIST OF SYMBOLS	
	BUILDING SECTION/ SECTION DETAIL
	EXTERIOR ELEVATIONS
	INTERIOR ELEVATIONS
	KEY DETAILS
	CENTER LINE OF CONSTRUCTION
	FINISHED FLOOR/ FINISHED GRADE ELEVATION
	WINDOW TYPES
	DOOR TYPES
	WALL TYPES REFER TO DRAWING 2.1
	ROOM NAME
	ROOM NUMBER
	REVISIONS
	TOILET ACCESSORIES
	PLUMBING FIXTURES

CODE ANALYSIS	
REFERENCES:	
2006 INTERNATIONAL BUILDING CODE	2006 INTERNATIONAL ENERGY CONSERVATION CODE
2009 INTERNATIONAL MECHANICAL CODE	2002 NATIONAL ELECTRICAL CODE
2006 WSSC PLUMBING CODE	2003 LIFE SAFETY CODE - NFPA 101
PROPOSED NEW BATH HOUSE:	
PROPOSED USE GROUP:	A3 (ASSEMBLY)
TYPE OF CONSTRUCTION:	TYPE V B (ANY MATERIAL/ UNPROTECTED)
HEIGHT LIMITATION: (IBC 503.1, 504.1)	ALLOWED: 40' (60' W/ SPRINKLERS) 1 STORY ABOVE GRADE (2 W/ SPRINKLERS)
AREAS PER FLOOR, ALLOWED & PROPOSED:	ALLOWED: 6,000 SF (24,000 SF W/ SPRINKLERS) PER FLR. PROPOSED: 2957.67 SF (NOTE: OUTSIDE DIMENSIONS, PORCHES NOT INCLUDED IN SQUARE FOOTAGES)
EXIT ANALYSIS: (BC 1008.1.1, 1017.3, NFPA TABLE 7.3.3.1)	NUMBER OF EXITS: 3 EXITS MIN. PER SPACE PER STORY CORRIDOR WIDTH: 44" MIN. CLEAR 44" WIDTH HAS 220 CAPACITY EXIT DOOR WIDTH: 32" CLEAR MIN.
FIRE RESISTANCE RATINGS: (IBC TABLE 508.2)	MECH. ROOM: 1 HOUR OR AUTOMATIC FIRE-EXTINGUISHING SYSTEM KITCHEN: 1 HOUR OR AUTOMATIC FIRE-EXTINGUISHING SYSTEM

KEY PLAN	
SCALE: 1/32" = 1' - 0"	
OCCUPANCY CALCULATION (PER IBC 2006 - TABLE 1004.1.1)	
NOTE: DIMENSIONS ARE GROSS DIMENSIONS INSIDE EXTERIOR WALL.	
RECEPTION:	517 SF/100 SF GROSS = 6 OCCUPANTS
MENS LOCKER ROOM:	542 SF/50 SF GROSS = 11 OCCUPANTS
WOMENS LOCKER ROOM:	819 SF/50 SF GROSS = 17 OCCUPANTS
KITCHEN:	280 SF/200 SF GROSS = 2 OCCUPANTS
MECH. ROOM:	44 SF/300 SF GROSS = 1 OCCUPANT
TOTAL OCCUPANTS FOR BUILDING:	37 OCCUPANTS

GENERAL NOTES	
1.	Contractor shall field verify all dimensions
2.	DO NOT SCALE DRAWINGS to obtain construction dimensions.
3.	Dimensions shown are from finish to finish, unless noted otherwise.
4.	All work represented in the drawing set, for this project shall be considered part of the Work required by the Contract Documents for the project, and shall be executed in a manner consistent with the provisions described in the Specifications and General Requirements portions of the Contract Documents, and in A.I.A. Document A107, "Agreement between Owner and Contractor for Construction Projects of Limited Scope..." as signed by Owner and Contractor.
5.	All construction resulting from execution of the work described by these drawings shall be in conformance with all applicable local, state and national codes, laws and ordinances.
6.	The construction work described in these drawings is applicable only to the project for which the drawings were made. The architect accepts no liability whatsoever for any construction work performed on the basis of these drawings if such work is not executed under a general contract for construction based on all the drawn and written documents prepared for the project and enumerated in the Contract Agreement executed between the Owner and the Contractor or if that work is executed for any project other than the one for which these drawings were made.

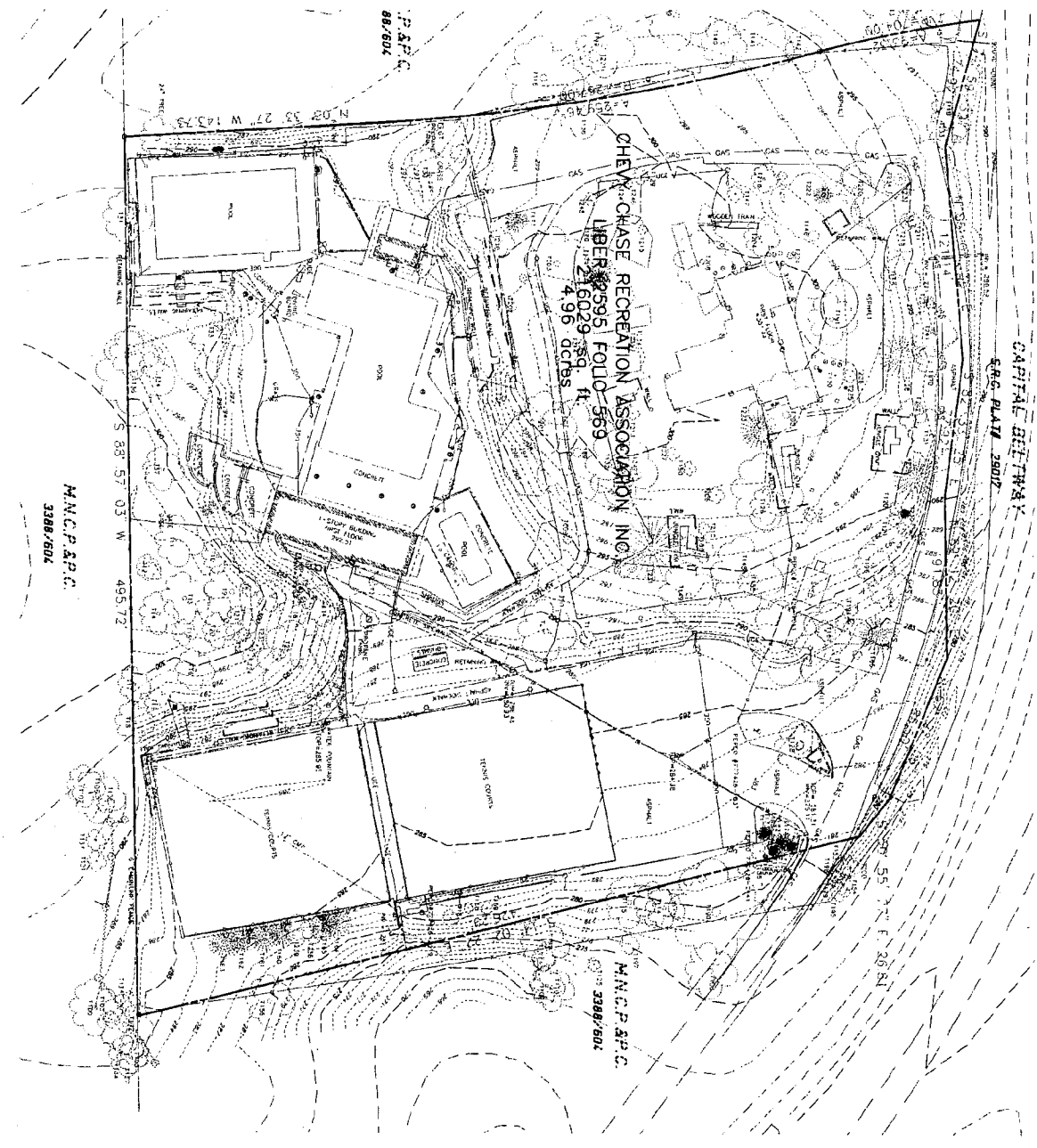
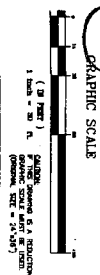
PROJECT DATA / LOCATION	
PROJECT SITE:	
PROJECT TYPE:	NEW CONSTRUCTION
PROJECT LOCATION:	CHEVY CHASE RECREATION ASSOCIATION 8922 SPRING VALLEY ROAD CHEVY CHASE, MARYLAND 20815
OWNER:	CHEVY CHASE RECREATION ASSOCIATION 8922 SPRING VALLEY ROAD CHEVY CHASE, MARYLAND 20815
CONTRACTOR:	
ARCHITECT:	MUSE ARCHITECTS, PC 7401 WISCONSIN AVE, SUITE 500 BETHESDA, MD 20814

INDEX OF DRAWINGS	
GENERAL	ARCHITECTURAL
T-1 TITLE SHEET, PROJECT DATA	A-2.6 ENLARGED ELEVATION
CIVIL	A-3.1 BUILDING SECTIONS
C-1 COVER SHEET	A-3.2 BUILDING SECTIONS
C-2 EXISTING CONDITIONS PLAN	A-4.1 WALL SECTIONS
C-3 DEMOLITION PLAN	A-4.2 WALL SECTIONS
C-4 SITE PLAN	A-5.1 SCHEDULES
C-5 DETAILED SITE PLAN	A-6.1 INTERIOR ELEVATIONS
C-6 GRADING PLAN	A-6.2 INTERIOR ELEVATIONS
C-7 STORM WATER MANAGEMENT PLAN	A-7.1 DETAILS
C-8 SITE PLAN DETAILS	STRUCTURAL
C-9 EROSION & SEDIMENT CONTROL PLAN	S-1.0 STRUCTURAL NOTES AND ABBREVIATIONS
C-10 DETAILED AMENDED FOREST CONTROL PLAN	S-1.1 FOUNDATION PLAN
C-11 EROSION & SEDIMENT CONTROL DETAILS	S-1.2 ROOF FRAMING PLAN
C-12 EROSION & SEDIMENT CONTROL NOTES	S-2.1 FOUNDATION SECTIONS
F-1 AMENDED FOREST CONSERVATION PLAN	S-3.1 FRAMING SECTIONS
F-3 CONSERVATION PLAN	ELECTRICAL
F-3 AMENDED FOREST CONSERVATION PLAN NOTES & DETAILS	E-0 ELECTRICAL LEGEND, ABBREVIATIONS, & GENERAL NOTES
L-1 LANDSCAPE & LIGHTING PLAN	E-1 FLOOR PLAN - LIGHTING NEW WORK
L-2 LIGHTING PHOTOMETRIC PLAN	E-2 FLOOR PLAN - POWER NEW WORK
	E-3 KITCHEN PART PLAN - POWER NEW WORK
ARCHITECTURAL	MECHANICAL
A-1.0 FLOOR PLAN	M-0 MECHANICAL LEGEND, NOTES & ABBREVIATIONS
A-1.1 BATH HOUSE PLAN	M-1 MECHANICAL NEW WORK PLAN
A-1.2 TERRACE PLAN	M-2 PLUMBING NEW WORK PLAN
A-1.3 WADING POOL PLAN	M-3 MECHANICAL DETAILS AND SCHEDULES
A-1.4 ROOF PLAN	
A-1.5 REFLECTED CEILING PLAN	KITCHEN
A-2.1 ELEVATIONS	K-1 KITCHEN EQUIPMENT PLAN
A-2.2 ELEVATIONS	
A-2.3 TERRACE ELEVATIONS	
A-2.4 TERRACE ELEVATIONS	
A-2.5 TERRACE ELEVATIONS	

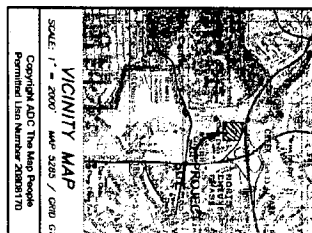
D 3. 21
04 MAR 2009 H.A.W.P SUBMISSION
TITLE SHEET, PROJECT DATA SCALE: AS NOTED
SHEET NO. T-1

(19)

12



- LEGEND**
- EXISTING
 - SHRUB
 - HYDRANT
 - GRY MARK
 - C.I.C.
 - GAS MANNED
 - UTILITY POLE
 - TRADING SIGNAL
 - TRUCK CLUB & DRIVE
 - COBB INLET
 - San 9
 - Sanitary MANHOLE
 - Sanitary LINE
 - WATER LINE
 - STORM DRAIN LINE
 - WATER VALVE
 - SMALL DRAIN
 - OVERHEAD ELECTRIC LINE
 - GAS LINE GROUP
 - INTERMEDIATE CONDUIT
 - STORM DRAIN INLET
 - Sanitary CLEANOUT

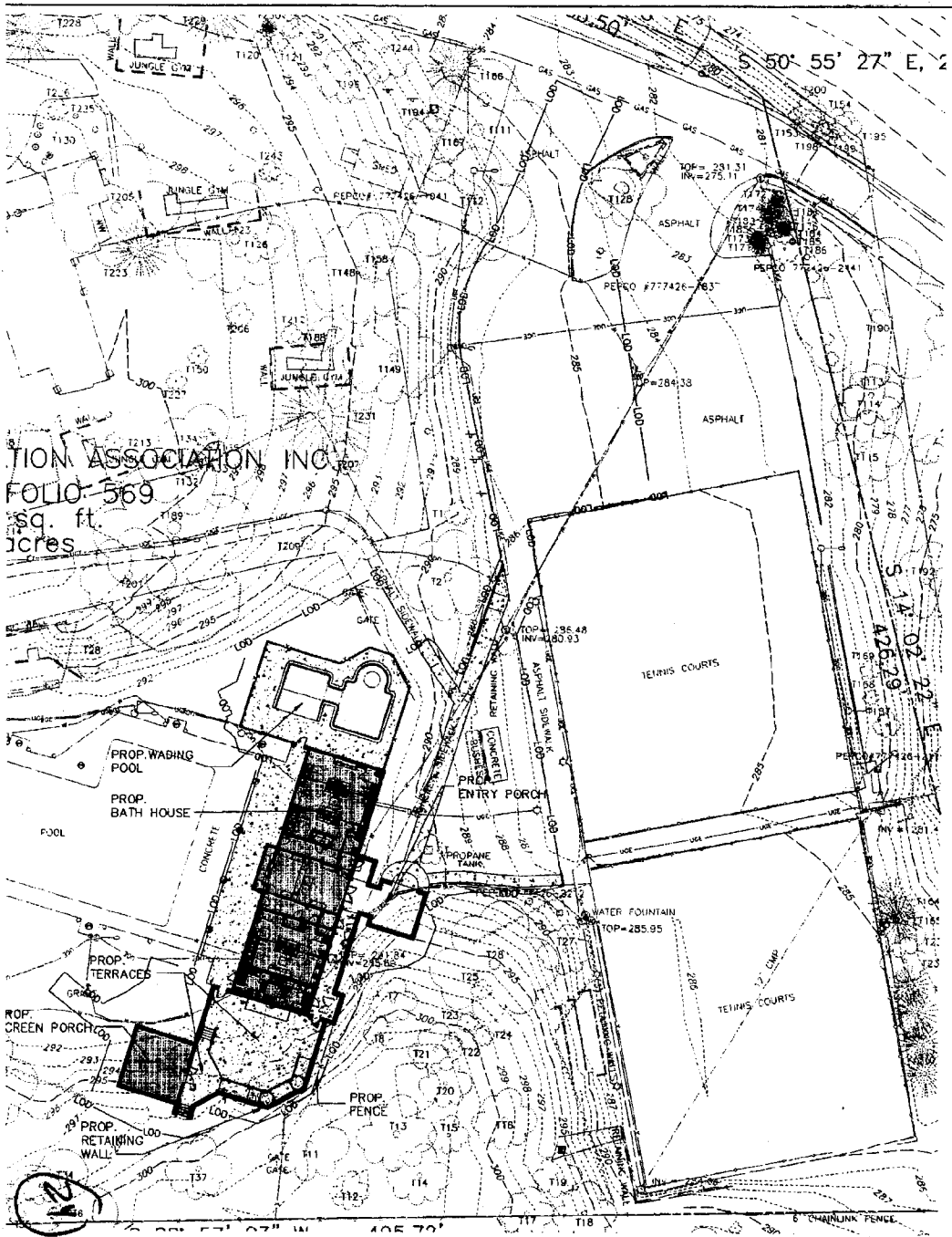


EXISTING CONDITIONS PLAN
 SUBMISSION
 04 MAR 2009
 03.21
 SCALE: 1" = 30'

CHEVY CHASE RECREATION ASSOCIATION
 NEW BATH HOUSE & SITE IMPROVEMENTS
 8922 SPRING VALLEY RD CHEVY, CHASE, MARYLAND 20815

MUSE ARCHITECTS, PC
 7401 WISCONSIN AVE, BETHESDA, MD 20814 301.718.8118
 A. WORTON THOMAS & ASSOC. (Civil Eng. Consultant) 12750 Twinbrook Parkway, Rockville, MD 20852 - 301.581.2540
 DILLEY/BRYAN, INC. (Structure Eng. Consultant) 1451 Doley Hoffman Blvd, #230, McLean, VA 22101 - 703.627.9252
 DR. ENGINEERS, LLC (Mech. Eng. Consultant) 8000 Hunters Rd, Bethesda, MD 21286 - 410.686.8000

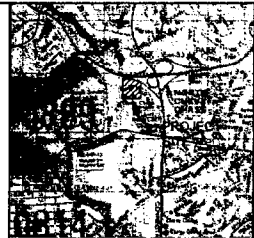
SHEET NO.
 C-2



RECREATION ASSOCIATION INC.
 FOLIO 569
 15,000 sq. ft.
 0.34 acres

LEGEND

EXISTING	NEW
SHRUB	
HYDRANT	
GAS VALVE	
CC&C	
LIGHT POLE	
GAS MARKER	
UTILITY POLE	
SEW	
TRAFFIC SIGNAL	
TREE	
CONC CURB & GUTTER	
CURB INLET	
SANITARY MANHOLE	
SANITARY LINE	
BUILDING LINE	
WATER LINE	
STORM DRAIN LINE	
WATER VALVE	
SPOT ELEVATION	430.5
OVERHEAD ELECTRIC LINE	
GAS LINE	
INDEX CONTOUR	430
INTERMEDIATE CONTOUR	432
LIMIT OF DISTURBANCE	1.00
STORM DRAIN MANHOLE	
STORM DRAIN INLET	



VICINITY MAP
 SCALE: 1" = 2000' MAP 5285 / GRD 610
 Copyright ADG The Map People
 Permitted Use Number 20808170

MUSE ARCHITECTS, PC
 7401 WISCONSIN AVE, BETHESDA, MD 20814 301.718.8116
 A. WORTON THOMAS & ASSOC. (Civil Eng. Consultant) 12750 Technwood Parkway, Rockville, MD 20850 - 301.981.2545
 COLLETT/PERKINS, INC. (Structural Eng. Consultant) 1401 Landon Middlebrook Blvd, #200, Manassas, VA 22107 - 703.887.8932
 GSC ENGINEERS LLC (Civil Eng. Consultant) 1025 Research Pk, Gaithersburg, MD 20878 - 301.983.6500

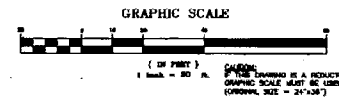
CHEVY CHASE RECREATION ASSOCIATION
 NEW BATH HOUSE & SITE IMPROVEMENTS
 8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815

03.21

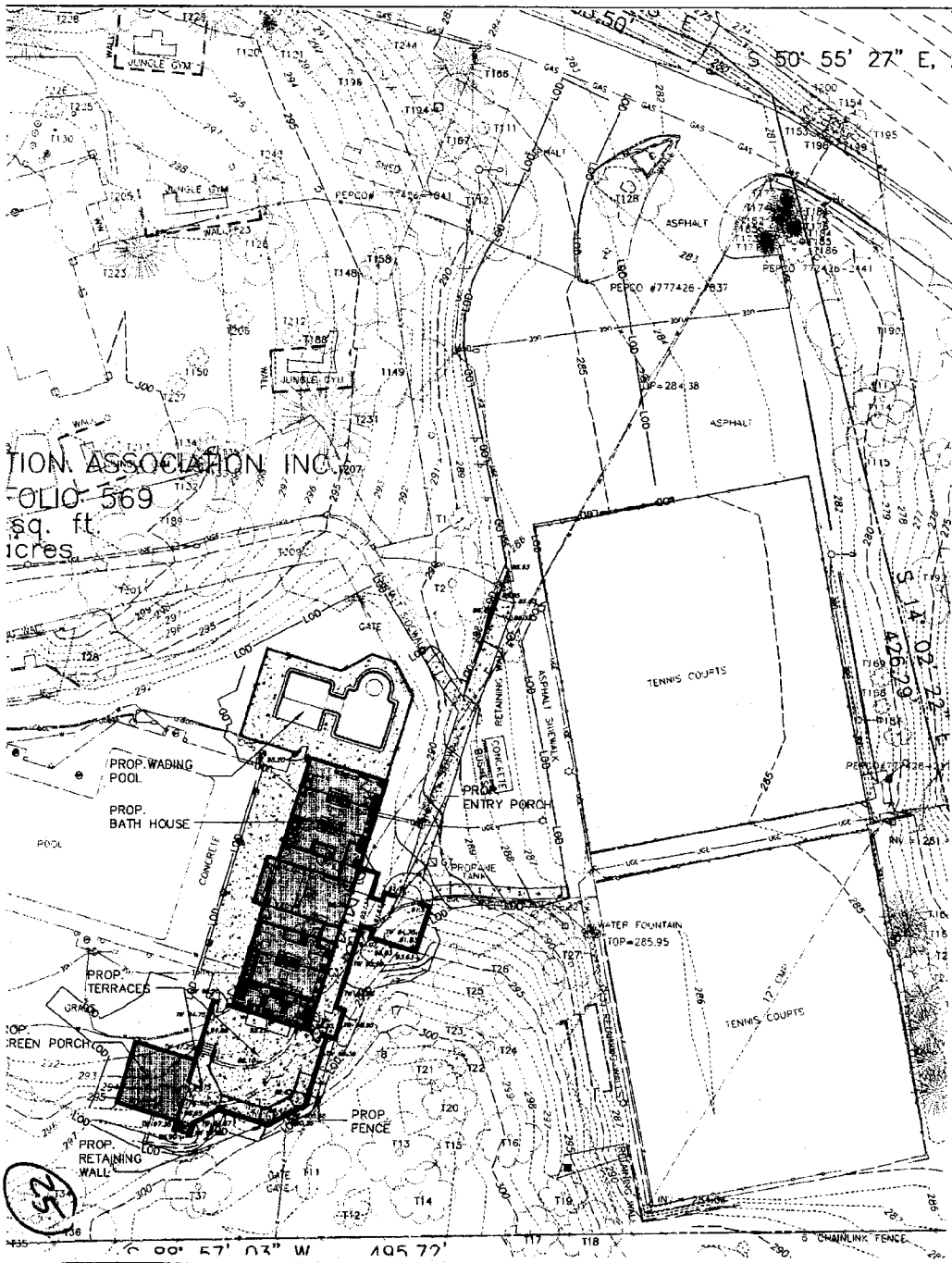
04 MAR 2009

PLANNED SUBMISSION

DETAILED SITE PLAN
 SCALE: 1" = 20'



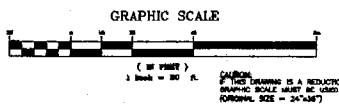
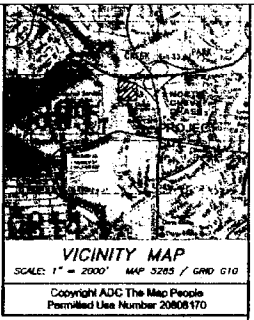
SHEET NO.
 C-5



ION ASSOCIATION INC.
 1010-569
 sq. ft.
 acres

LEGEND

EXISTING	NEW
SH-0	SIRUB
TH-0	HYDRANT
CCAG	GUY
○	GAS VALVE
○	LIGHT POLE
○	GAS MARKER
UP	UTILITY POLE
SM	SMH
○	TRAFFIC SIGNAL
○	TREE
-----	CONC CURB & GUTTER
○	CURB WHEEL
SMH-○	SANITARY MANHOLE
---	SANITARY LINE
---	BUILDING LINE
---	WATER LINE
---	STORM DRAIN LINE
W.V.	WATER VALVE
407.44	SPOT ELEVATION
---	OVERHEAD ELECTRIC LINE
---	GAS LINE
---	INDEX CONTOUR
---	INTERMEDIATE CONTOUR
---	LIMIT OF DISTURBANCE
○	STORM DRAIN MANHOLE
○	STORM DRAIN INLET

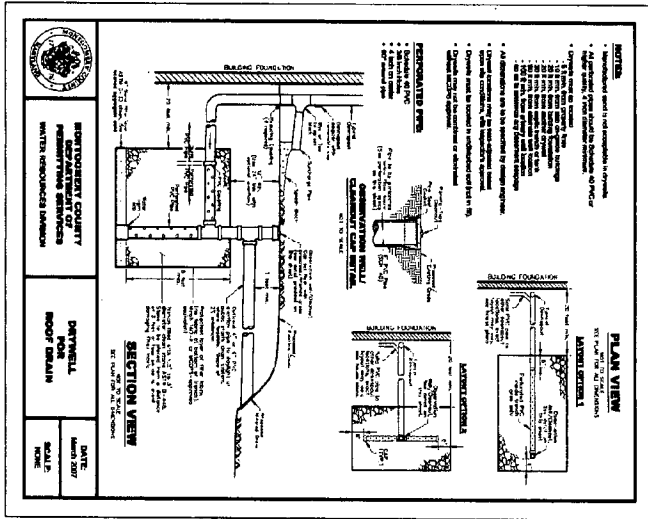


MUSE ARCHITECTS, P.C.
 7401 WISCONSIN AVE. BETHESDA, MD 20814 301.218.8118
 A. MORTON THOMAS & ASSOC. (Civil Eng. Consultant) 12200 Telepark Parkway, Rockville, MD 20850 - 301.981.8545
 CHARTER/ART/ALC, INC. (Surveying Eng. Consultant) 1401 Lumpy Mountain Blvd. #222, Mount Airy, NC 27030 - 703.837.8283
 DR. DONALDSON, LLC (Landscape Eng. Consultant) 8008 Inverness Rd, Bethesda, MD 20814 - 301.658.8000

CHEVY CHASE RECREATION ASSOCIATION
 NEW BATH HOUSE & SITE IMPROVEMENTS
 8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815

03.21
 04 MAR 2009
 HAND SUBMISSION
 GRADING PLAN
 SCALE: 1" = 20'
 SHEET NO. C-6

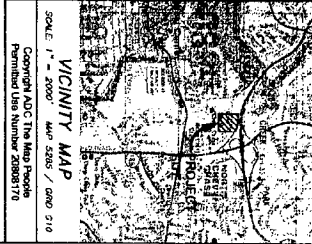
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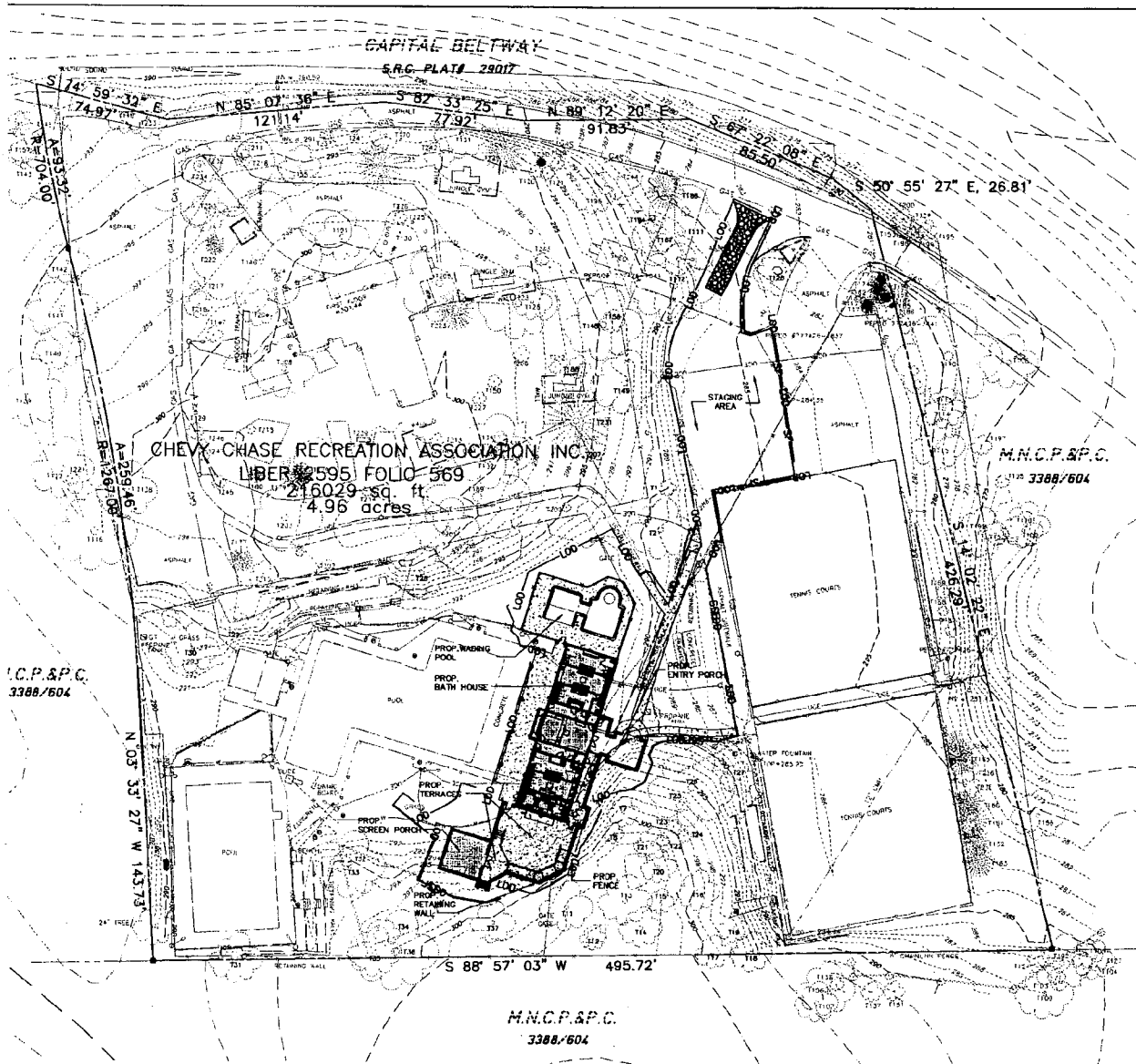
DRYWELL DATA

DRYWELL DRAINAGE AREA	WOW	SIZE	VOLUME PROVIDED
1	925 SF	22"CF 10"XS15"DEEP	100 CF
2	1185 SF	30"CF 10"XS15"DEEP	100 CF
3	1585 SF	12"CF 10"XS15"DEEP	144 CF
4	1105 SF	30"CF 10"XS15"DEEP	100 CF

NOTE: DRYWELL VOLUME BASED ON STONE POROSITY OF 0.40.

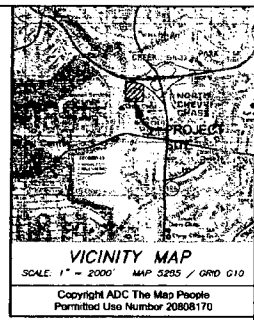


SHEET NO. C-8	SITE PLAN DETAILS	04 MAR 2009 03.21 HAMP SUBMISSION	CHEVY CHASE RECREATION ASSOCIATION NEW BATH HOUSE & SITE IMPROVEMENTS		MUSE ARCHITECTS, PC 7401 WISCONSIN AVE, BETHESDA, MD 20814 301.718.8118	
	SCALE: AS SHOWN		8922 SPRING VALLEY RD	CHEVY CHASE, MARYLAND 20815	<small>A. MORTON THOMAS & ASSOC (Civil Eng Consultant) 12750 Teleshop Parkway, Rockville, MD 20851 - 301.981.2545 DILLEY/BRYAN, INC. (Structural Eng. Consultant) 1401 Daley Madison Blvd, #220, Jackson, VA 22101 - 703.827.9552 DR. ENGINEER, LLC (MEP Eng. Consultant) 8003 Heritage Rd, Baltimore, MD 21244 - 410.688.8000</small>	



LEGEND

- SSF — SUPER SILT FENCE
- SF — SILT FENCE



MUSE ARCHITECTS, PC
 7401 WISCONSIN AVE, BETHESDA, MD 20814 301.719.8118
 A MONTGOMERY COUNTY & ASSOC. (Civil Eng. Consultant) 12120 Telephone Parkway, Rockville, MD 20850 - 301.983.2940
 DUDLEY/WATSON INC. (Structural Eng. Consultant) 140 Dulby-Moore Blvd., 2222 McLean, VA 22101 - 703.837.2633
 (Civil Engineer) 3000 Fairfax Rd., Gaithersburg, MD 20878 - 410.688.8000

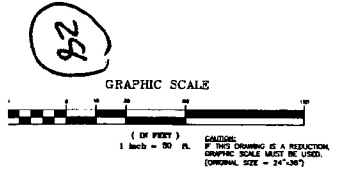
CHEVY CHASE RECREATION ASSOCIATION
 NEW BATH HOUSE & SITE IMPROVEMENTS
 8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815

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PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 10872, EXPIRATION DATE 03/28/10.

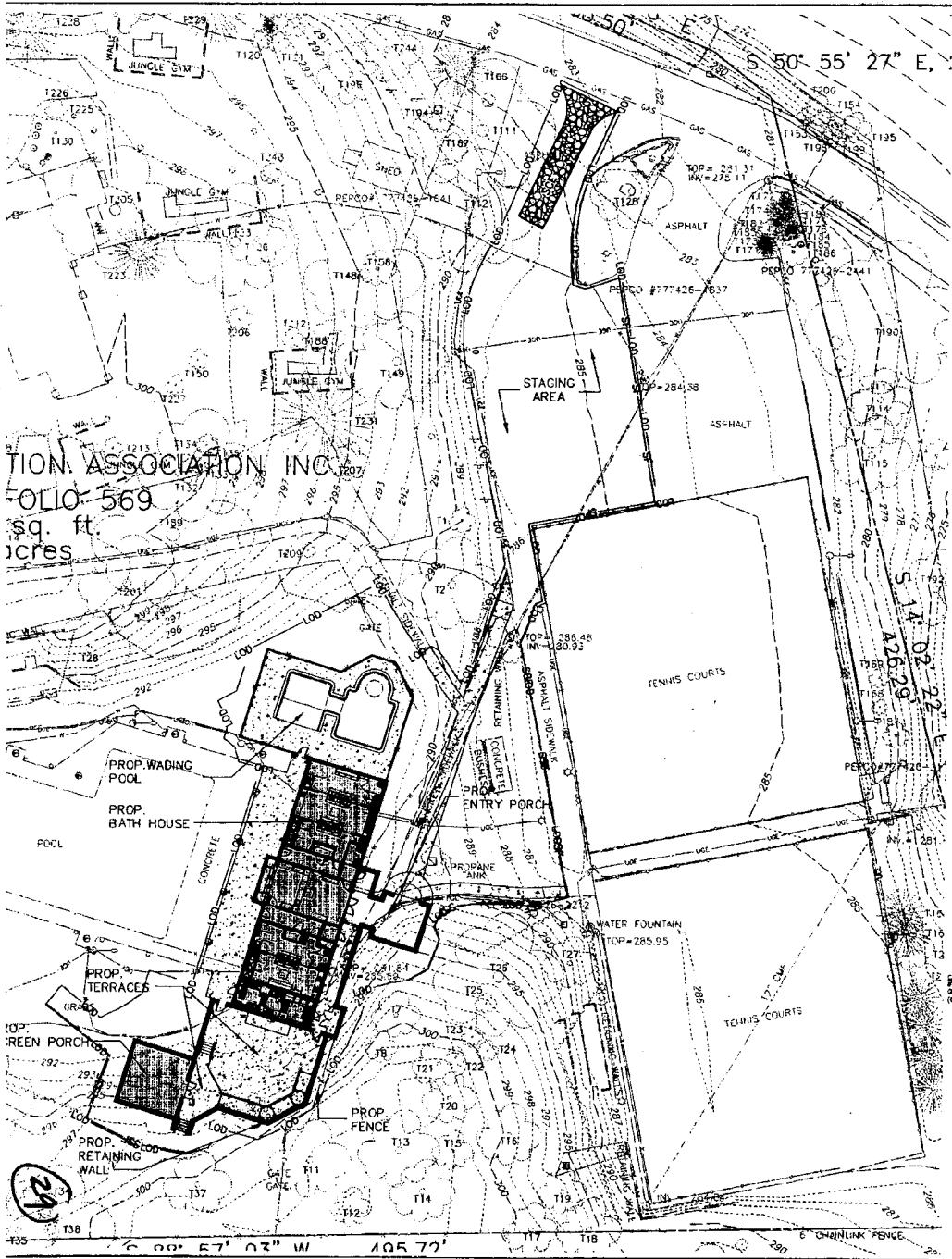
SC/SWM SHEET #X OF #XX

MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES APPROVED FOR:		NOTE: MCDPS APPROVAL DOES NOT NEGATE THE NEED OF A MCDPS ACCESS PERMIT.	
Steward Management:	Sediment Control Technical Requirements:	Administrative Requirements:	
Reviewed _____ Date _____	Reviewed _____ Date _____	Reviewed _____ Date _____	
Approved _____ Date _____	Approved _____ Date _____	SEWAGE CONTROL PERMIT NO. _____	



03.21
 04 MAR 2009
 HAMP SUBMISSION
 EROSION & SEDIMENT CONTROL PLAN
 SCALE: 1" = 30'
 SHEET NO. C-9

FOR EROSION AND SEDIMENT CONTROL PURPOSES ONLY



LEGEND

- | EXISTING | NEW |
|---------------------|------------------------|
| SHRUB | SHRUB |
| HYDRANT | HYDRANT |
| GAS VALVE | GAS VALVE |
| CC&G | CC&G |
| LIGHT POLE | LIGHT POLE |
| GAS MARKER | GAS MARKER |
| UTILITY POLE | UTILITY POLE |
| SEMI | SEMI |
| TRAFFIC SIGNAL | TRAFFIC SIGNAL |
| TREE | TREE |
| CONC CURBS & GUTTER | CONC CURBS & GUTTER |
| CURB MILET | CURB MILET |
| SMH | SANITARY MANHOLE |
| --- | SANITARY LINE |
| --- | BUILDING LINE |
| --- | WATER LINE |
| --- | STORM DRAIN LINE |
| WV | WATER VALVE |
| 40'x44' | SPOT ELEVATION |
| --- | OVERHEAD ELECTRIC LINE |
| --- | GAS LINE |
| --- | INDEX CONTOUR |
| --- | INTERMEDIATE CONTOUR |
| --- | LIMIT OF DISTURBANCE |
| ○ | STORM DRAIN MANHOLE |
| □ | STORM DRAIN INLET |
| --- | SSF - SUPER SILT FENCE |



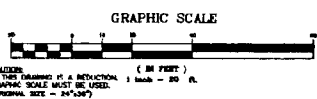
VICINITY MAP
SCALE: 1" = 2000' MAP 5285 / GRD 010
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MUSE ARCHITECTS, PC
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A. WOTON, THOMAS & ASSOC. (Civil Eng. Consultant) 12750 Technowood Parkway, Rockville, MD 20850 - 301.881.2545
CHERRY CHASE RECREATION ASSOCIATION (Civil Eng. Consultant) 105 Spring Meadow Blvd, #228, Mount Airy, NC 27030 - 703.837.9392
M. GARDNER, INC. (Civil Eng. Consultant) 4025 Westwood Blvd, Baltimore, MD 21244 - 410.684.0000

ION ASSOCIATION, INC
- 610-569-
sq. ft.
acres

CHEVY CHASE RECREATION ASSOCIATION
NEW BATH HOUSE & SITE IMPROVEMENTS
8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815

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OR LOG ON TO www.missutility.net
Keep them below. Call before you dig.



PROFESSIONAL CERTIFICATION
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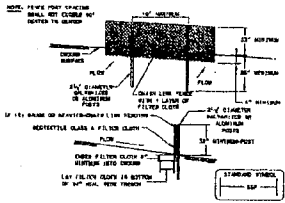
SC/SWM SHEET #X OF #XX

MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES APPROVED FOR:		NOTE: MCDPS APPROVAL DOES NOT NEGATE THE NEED OF A MCDPS ACCESS PERMIT.	
Stormwater Management:	Sediment Control Technical Requirements:	Administrative Requirements:	
Reviewed _____ Date _____	Reviewed _____ Date _____	Reviewed _____ Date _____	
Approved _____ Date _____	Approved _____ Date _____	Reviewed _____ Date _____	

03.21
04 MAR 2009
SUBMISSION
DETAILED EROSION & SEDIMENT CONTROL PLAN
SCALE: 1" = 20'
SHEET NO. C-10

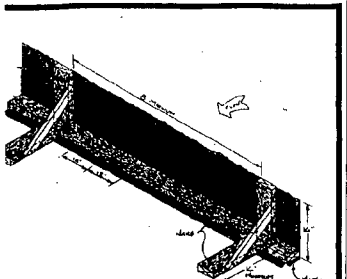
FOR EROSION AND SEDIMENT CONTROL PURPOSES ONLY

DETAIL 23 - SUPER SILT FENCE



1. Fencing shall be 18" in height and constructed on minimum 18" wide trench. The trench shall be 18" wide and 18" deep. The trench shall be 18" wide and 18" deep. The trench shall be 18" wide and 18" deep.
2. The stone shall be 18" in diameter.
3. Each 2x4 stake shall be secured vertically to the trench with wire. The wire shall be 18" in diameter. The wire shall be 18" in diameter. The wire shall be 18" in diameter.
4. Filter cloth shall be secured vertically to the trench with wire. The wire shall be 18" in diameter. The wire shall be 18" in diameter. The wire shall be 18" in diameter.
5. Filter cloth shall be secured vertically to the trench with wire. The wire shall be 18" in diameter. The wire shall be 18" in diameter. The wire shall be 18" in diameter.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE



1. All treated lumber shall be 2" x 4" minimum.
2. A section shall be provided, as shown, to prevent sediment from water escaping untreated beneath silt fence installation.
3. Silt fence fabric shall be tied and securely stapled to face of upright supports.
4. Nails used to secure boards to pavement shall be 200 x 4" minimum length.
5. Application design and material quantities shall be stated in the approved Standard and Specifications for Silt Control and Treatment Control.

SILT FENCE INSTALLATION ON ASPHALT PAVEMENT

82

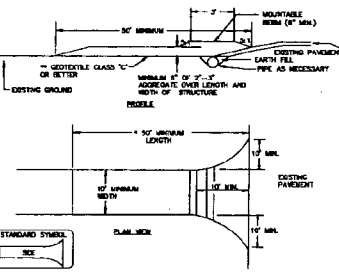
SUPER SILT FENCE

MINIMUM CRITERIA

SLOPE	SLOPE STEEPNESS	SLOPE LENGTH (MAXIMUM)	SILT FENCE LENGTH (MAXIMUM)
20 - 33%	3:1 - 3:1	100 FEET	1,000 FEET
33 - 50%	3:1 - 2:1	100 FEET	500 FEET
50% +	2:1 +	50 FEET	250 FEET

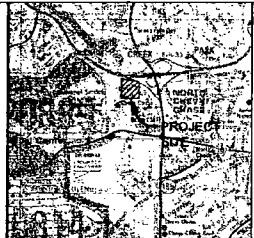
U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1 - 11 - 3A MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION

DETAIL 24 - STABILIZED CONSTRUCTION ENTRANCE



1. LENGTH - MINIMUM OF 30' (40' FOR SINGLE RESIDENCE LOT).
2. WIDTH - 10' MINIMUM. SHOULD BE FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
3. GEOTEXTILE FABRIC (ENTER CLOTH) SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE. PLEASE PLAN APPROVAL AUTHORITY MAY NOT REQUIRE SINGLE FAMILY RESIDENCES TO USE GEOTEXTILE.
4. STONE - CRUSHED AGGREGATE (2" TO 3") OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT SHALL BE PLACED AT LEAST 8" DEEP OVER THE LENGTH AND WIDTH OF THE ENTRANCE.
5. SURFACE WATER - ALL SURFACE WATER FLOWING TO OR OVER THE ENTRANCE TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED THROUGH THE ENTRANCE, MAINTAINING POSITIVE DRAINAGE. PIPE INSTALLED THROUGH THE STABILIZED CONSTRUCTION ENTRANCE SHALL BE PROTECTED WITH A MOUNTABLE BERM WITH 5:1 SLOPES AND A MINIMUM OF 8" OF STONE OVER THE PIPE. PIPE HAS TO BE SIZED ACCORDING TO THE DRAINAGE. IF THE SIZE IS LOCATED AT A HIGH SPOT AND HAS NO DRAINAGE TO CONVEY A PIPE WILL NOT BE NECESSARY. PIPE SHOULD BE SIZED ACCORDING TO THE AMOUNT OF RUNOFF TO BE CONVEYED. A 6" MINIMUM SHALL BE REQUIRED.
6. LOCATION - A STABILIZED CONSTRUCTION ENTRANCE SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST TRAVEL OVER THE ENTIRE LENGTH OF THE STABILIZED CONSTRUCTION ENTRANCE.

U.S. DEPARTMENT OF AGRICULTURE SOIL CONSERVATION SERVICE PAGE 1 - 11 - 3 MARYLAND DEPARTMENT OF ENVIRONMENT WATER MANAGEMENT ADMINISTRATION



VICINITY MAP
SCALE: 1" = 2000' MAP 5285 / GRID G10
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7401 WISCONSIN AVE. BETHESDA, MD 20814 301.718.8118
A. MORTON THOMAS & ASSOC. (Civil Eng. Consultant) 12740 Technowood Avenue, Rockville, MD 20851 - 301.881.2545
DANIEL F. HANCOCK & ASSOC. (Civil Eng. Consultant) 11111 Old Branch Road, Bethesda, MD 20814 - 301.881.2545
SILVIA DIMITROVA, LLC (MEP/ENR Consultant) 8000 Woodmont Ave., Bethesda, MD 20814 - 301.881.2545

CHEVY CHASE RECREATION ASSOCIATION
NEW BATH HOUSE & SITE IMPROVEMENTS
CHEVY CHASE, MARYLAND 20815
8922 SPRING VALLEY RD

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Know what's below. Call before you dig.

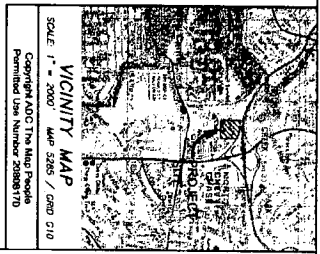
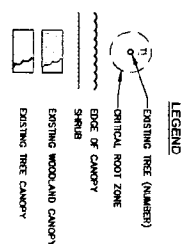
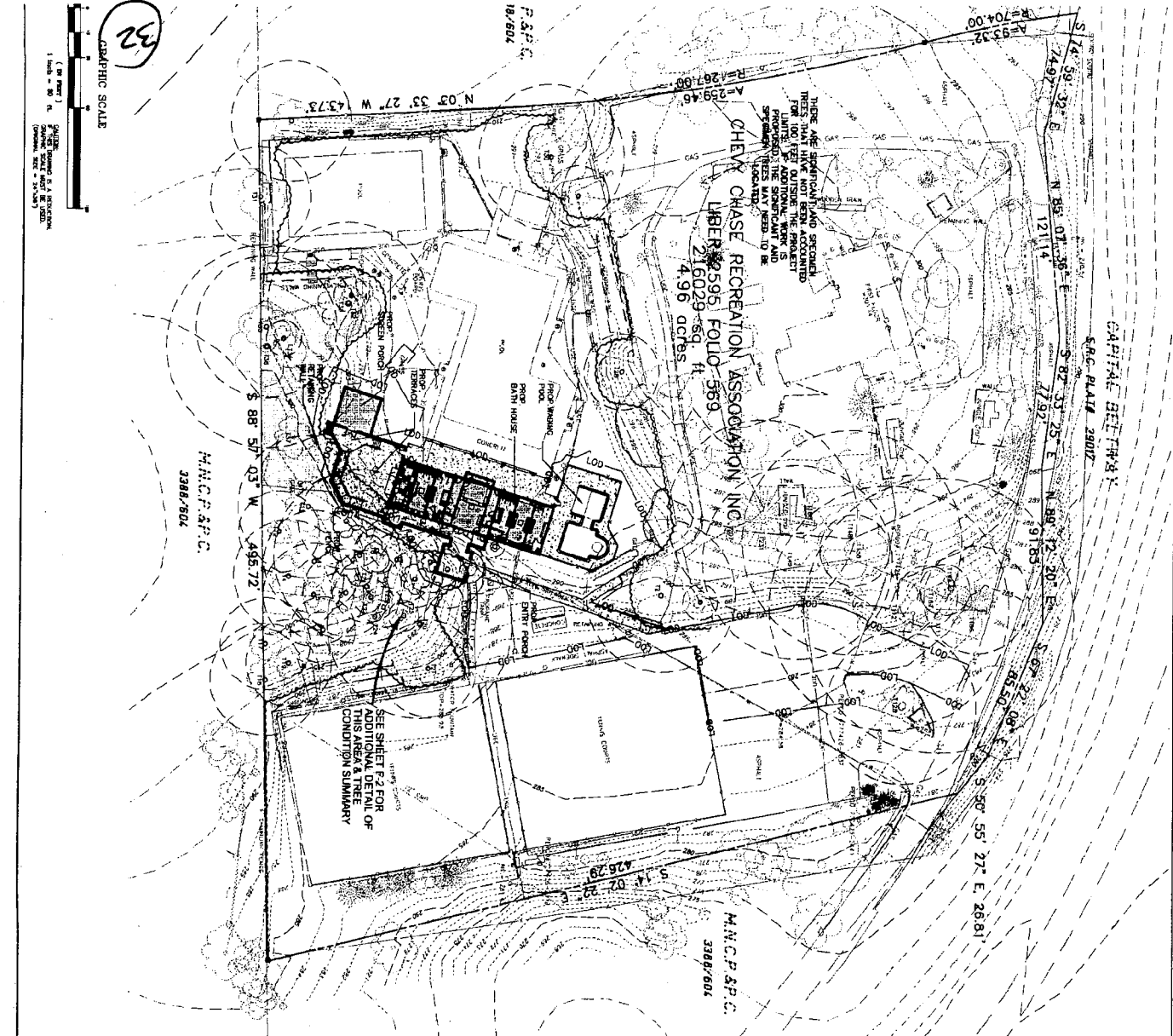
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.
LICENSE NO. 16872, EXPIRATION DATE 03/26/10.

SC/SWM SHEET #X OF #XX

MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES APPROVED FOR:		NOTE: MCDPS APPROVAL DOES NOT NEGATE THE NEED OF A MCDPS ACCESS PERMIT.	
Stormwater Management:	Sediment Control Technical Requirements:	Administrative Requirements:	
Reviewed _____ Date _____	Reviewed _____ Date _____	Reviewed _____ Date _____	
Approved _____ Date _____	Approved _____ Date _____	SEDMENT CONTROL PERMIT NO. _____	

FOR EROSION AND SEDIMENT CONTROL PURPOSES ONLY

03.21
04 MAR 2009
HAWP SUBMISSION
EROSION & SEDIMENT CONTROL NOTES & DETAILS
SCALE: AS SHOWN
SHEET NO. C - 11



Narrative Summary

The proposed site improvements are located on a 4.96-acre parcel owned by the Chevy Chase Recreation Association, Inc. (CCRA). The site is bounded by M.N.C.P.&P.C. 3388/804 to the north and south, and SAG PLAZA 2801Z to the east. The improvements include the construction of a new bath house, site grading, and the installation of site furniture. The site plan shows the proposed building footprint, parking areas, and site improvements. The plan also shows existing site features, including trees and woodlands. A note states: 'THESE ARE PROPOSED AND PROPOSED TREES THAT HAVE NOT BEEN ACCOUNTED FOR (DO NOT) OUTSIDE THE PROJECT BOUNDARIES. THE PROPOSED WORK IS LIMITED TO THE PROJECT BOUNDARIES. THESE TREES MAY NEED TO BE REMOVED (CHECKED).'. The site is bounded by M.N.C.P.&P.C. 3388/804 to the north and south, and SAG PLAZA 2801Z to the east. A north arrow and graphic scale are provided in the top left corner.

NOTE: CHANGES ARE AN ADDENDUM TO A PREVIOUSLY APPROVED FOREST CONSERVATION PLAN (FCP)-714-1.



THESE ASSESSMENTS AND PREPARED UNDER THE SUPERVISION OF AN INDEPENDENT CONSULTANT (ICA) CERTIFIED UNDER 16 CFR 11.61-11.61-11.

CERTIFICATION

I CERTIFY THAT I AM A FULLY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND AND THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND IN ACCORDANCE WITH THE FOREST CONSERVATION PLAN REQUIREMENTS.

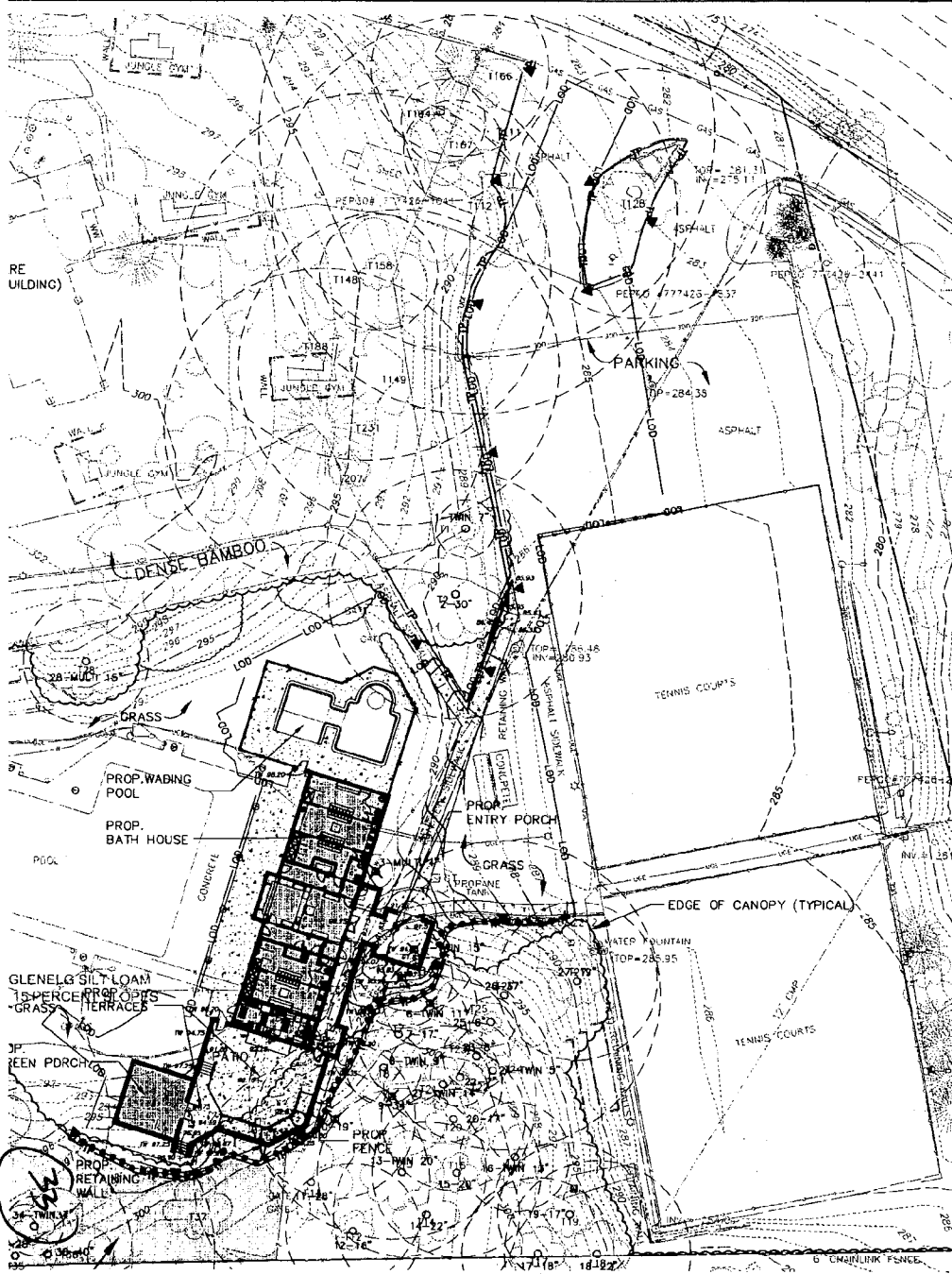
GEORGE J. OSBORN, B.L.A., F.Z.I.

CHEVY CHASE RECREATION ASSOCIATION
 NEW BATH HOUSE & SITE IMPROVEMENTS
 8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815

MUSE ARCHITECTS, P.C.
 7401 WISCONSIN AVE, BETHESDA, MD 20814 301.718.8118
 A. WORTON THOMAS & ASSOC. (Civil Eng. Consultant) 12730 Webster Parkway, Rockville, MD 20851 - 301.881.2545
 ENLERT/BRYAN, INC. (Structural Eng. Consultant) 1481 Daley Madison Blvd. #220, McLean, VA 22102 - 703.827.0032
 EKL ENGINEERS, LLC (MEP Eng. Consultant) 8020 Hartford Rd. Baltimore, MD 21284 - 410.688.8000

03.21	AMENDED FCP/TREE SAVE PLAN
04 MAR 2009	LAND SUBMISSION
SCALE: 1" = 30'	

SHEET NO. 1



Tree Condition Summary

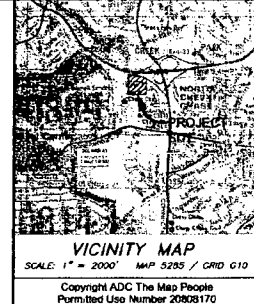
Tree #	Species	D.B.H.	Crn. Dia. (in)	Tree Condition	Comments
1	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
2	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
3	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
4	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
5	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
6	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
7	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
8	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
9	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
10	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
11	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
12	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
13	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
14	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
15	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
16	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
17	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
18	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
19	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
20	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
21	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
22	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
23	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
24	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
25	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
26	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
27	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
28	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
29	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
30	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
31	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
32	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
33	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
34	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
35	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
36	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
37	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
38	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
39	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
40	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
41	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
42	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
43	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
44	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
45	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
46	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
47	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
48	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
49	Japanese Maple	1.5	1.5	AVERAGE	Minor Root
50	Japanese Maple	1.5	1.5	AVERAGE	Minor Root

Local Tree Identification System Used

TREE IDENTIFICATION, CONDITIONS AND RETENTION POTENTIAL:

NOTE 1:
THIS PLAN IS FOR TREE PROTECTION PURPOSES ONLY. IT IS NOT A GUARANTEE OF THE CONDITION OF ANY TREE OR THE RESULT OF ANY ACTION TAKEN UNDER THIS PLAN. THE CLIENT IS RESPONSIBLE FOR THE CONDITION OF ANY TREE AND THE RESULT OF ANY ACTION TAKEN UNDER THIS PLAN. THE CLIENT IS RESPONSIBLE FOR THE CONDITION OF ANY TREE AND THE RESULT OF ANY ACTION TAKEN UNDER THIS PLAN. THE CLIENT IS RESPONSIBLE FOR THE CONDITION OF ANY TREE AND THE RESULT OF ANY ACTION TAKEN UNDER THIS PLAN.

NOTE 2:
THE LAYOUT OF LINES DEPICTING TREE PROTECTION FENCE AND ROOT PRUNING ARE FOR VISUAL REFERENCE ONLY. PLEASE REFER TO THE STRESS REDUCTION DETAIL FOR MORE INFORMATION.



VICINITY MAP
SCALE: 1" = 2000' MAP 5295 / GRID G19

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- LEGEND**
- EXISTING TREE (NUMBER - TRUNK DIAMETER)
 - CRITICAL ROOT ZONE
 - EDGE OF CANOPY
 - SHRUB
 - TREE TO BE REMOVED
 - TREE PROTECTION FENCE
 - LIMIT OF DISTURBANCE
 - TREE PROTECTION SIGNAGE
 - ROOT PRUNING
 - EXISTING WOODLAND CANOPY
 - EXISTING TREE CANOPY

NOTE: THESE DRAWINGS ARE AN AMENDMENT TO A PREVIOUSLY APPROVED FOREST CONSERVATION PLAN #20A-718-A.

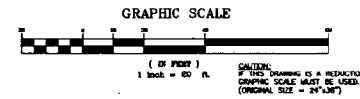
THIS PLAN IS FOR TREE PROTECTION FOREST CONSERVATION PLAN PURPOSES ONLY

TREE ASSESSMENT AND TREE SAVE RECOMMENDATIONS PREPARED UNDER MY SUPERVISION

ANDREW E. STREGALE
ISA CERTIFIED ARBORIST #MA-4828A

CERTIFICATION
I CERTIFY THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, AND THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND IN COMPLIANCE WITH THE FOREST CONSERVATION LAW REQUIREMENTS.

GREGORY J. DSRAND
LICENSE NUMBER MD.RLA.#721



MUSE ARCHITECTS, P.C.
7401 WISCONSIN AVE., BETHESDA, MD 20814 301.718.8118

CHEVY CHASE RECREATION ASSOCIATION
NEW BATH HOUSE & SITE IMPROVEMENTS
8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815

03.21

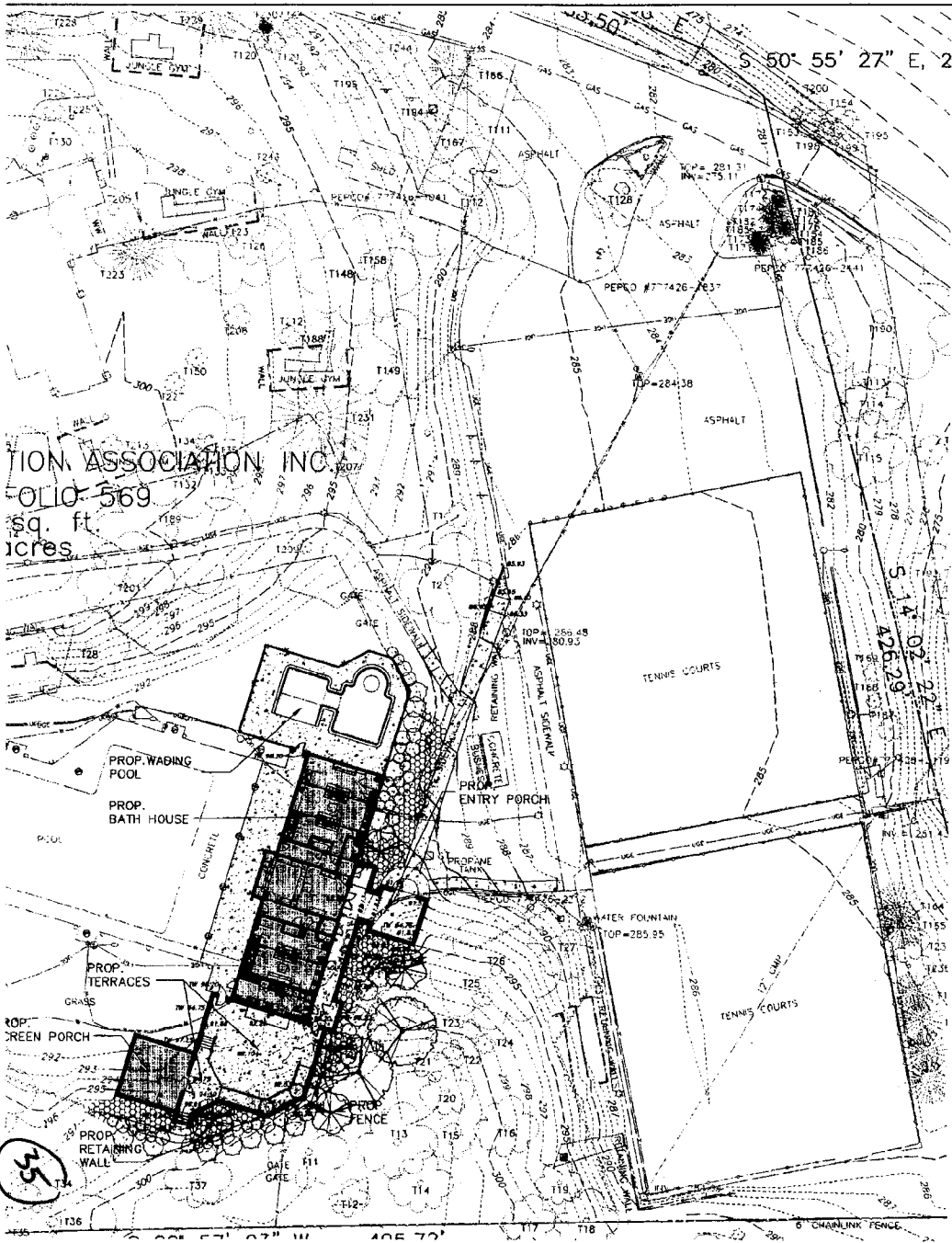
04 MAR 2009

PLAN SUBMISSION

DETAILED AMENDED FDP/TREE SAVE PLAN
SCALE: 1" = 20'

SHEET NO.

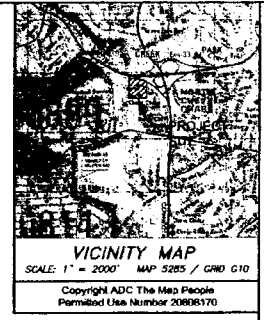
F - 2



ION ASSOCIATION INC.
 569
 sq. ft
 acres

LEGEND

- | EXISTING | NEW |
|----------|------------------------|
| PH | SHRUB |
| ○ | HYDRANT |
| ○ | DRY |
| ○ | GAS VALVE |
| ○ | LIGHT POLE |
| ○ | GAS MARKER |
| ○ | UTILITY POLE |
| ○ | SIGN |
| ○ | TRAFFIC SIGNAL |
| ○ | TREE |
| ○ | CONC CURB & GUTTER |
| ○ | CURB INLET |
| ○ | SANITARY MANHOLE |
| ○ | SANITARY LINE |
| ○ | BUILDING LINE |
| ○ | WATER LINE |
| ○ | STORM DRAIN LINE |
| ○ | WATER VALVE |
| ○ | SPOT ELEVATION |
| ○ | OVERHEAD ELECTRIC LINE |
| ○ | GAS LINE |
| ○ | INDEX CONTOUR |
| ○ | INTERMEDIATE CONTOUR |
| ○ | LIMIT OF DISTURBANCE |
| ○ | STORM DRAIN MANHOLE |
| ○ | STORM DRAIN INLET |



PLANT SCHEDULE

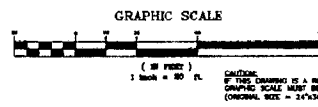
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LANDSCAPE SCHEDULE

Symbol	Material	Color	Quantity	Notes
Symbol	Material	Color	Quantity	Notes
Symbol	Material	Color	Quantity	Notes

CERTIFICATION
 I CERTIFY THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

GREGORY J. OSBAND
 LICENSE NUMBER MD.BLA.#721



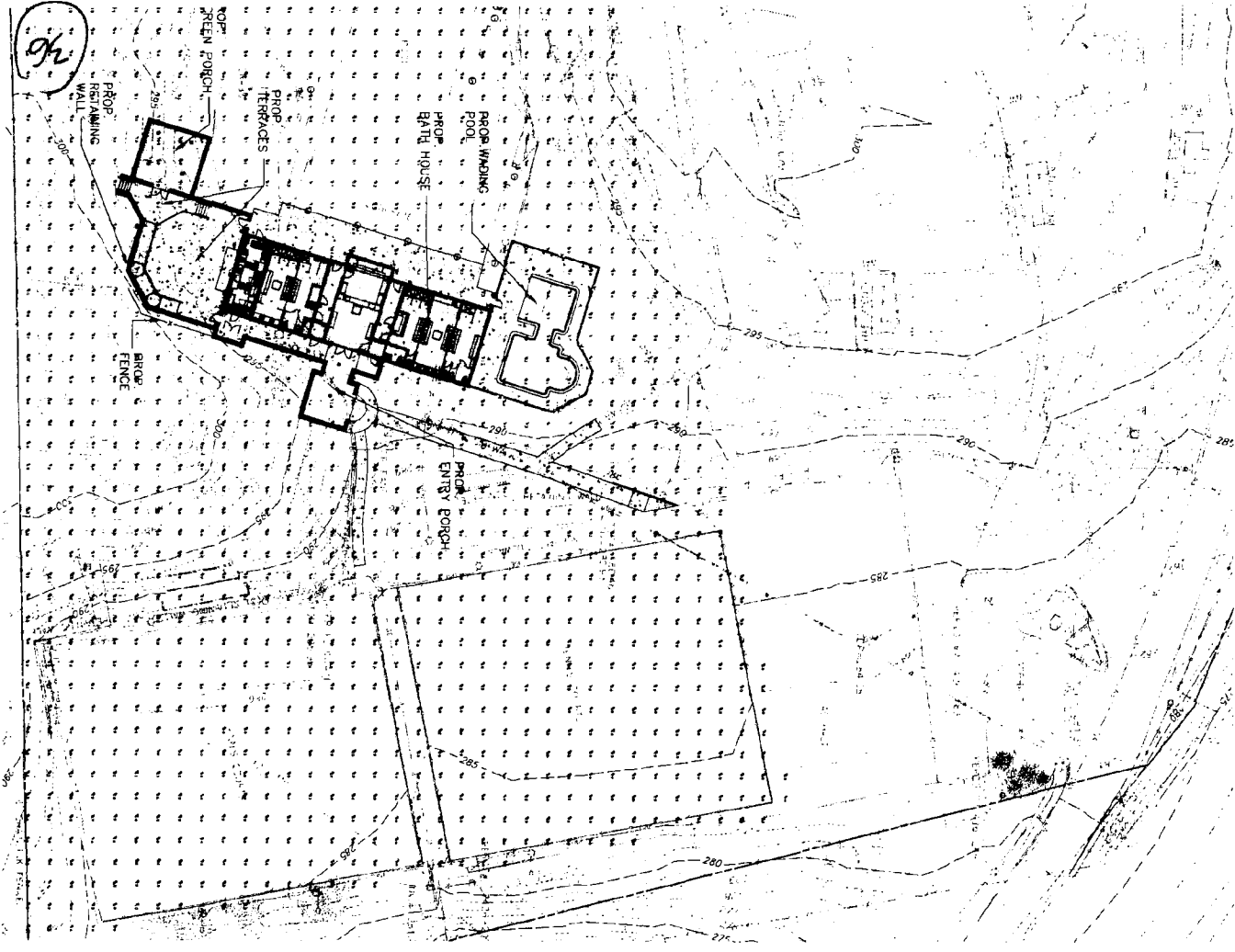
MUSE ARCHITECTS, PC
 7401 WISCONSIN AVE, BETHESDA, MD 20814 301.718.8118
 A. MORTON WALKER & ASSOC. (20th Fl., Capital) 1725 Technet Parkway, Reston, VA 20191 - 703.881.2545
 BUCKLEY/WHITMAN, INC. (Executive Eng. Services) 1441 John Mahan Blvd., #225, McLean, VA 22101 - 703.877.0252
 TBL ENGINEERS, LLC (MEP Eng. Services) 3000 Herndon Rd., Herndon, VA 22042 - 703.868.8000

CHEVY CHASE RECREATION ASSOCIATION
 NEW BATH HOUSE & SITE IMPROVEMENTS
 8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815

03.21
 04 MAR 2009
 HAVS
 SUBMISSION

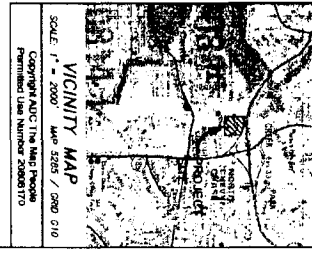
LANDSCAPE & LIGHTING PLAN
 SCALE: 1" = 20'

SHEET NO.
 L-1



LEGEND

EXISTING	NEW
SHRUB	SHRUB
HYDRANT	HYDRANT
DIRT WALK	DIRT WALK
LIGHT POLE	LIGHT POLE
GAS VALVE	GAS VALVE
SOFT FT. POOL	SOFT FT. POOL
RECREATION SIGNAL	RECREATION SIGNAL
PIPE, CORR. & GUTTER	PIPE, CORR. & GUTTER
CURB INLET	CURB INLET
SANITARY MANHOLE	SANITARY MANHOLE
SANITARY LINE	SANITARY LINE
WATER LINE	WATER LINE
STORM DRAIN LINE	STORM DRAIN LINE
SPOT ELEVATION	SPOT ELEVATION
OVERHEAD ELECTRIC LINE	OVERHEAD ELECTRIC LINE
UNDERGROUND CONDUIT	UNDERGROUND CONDUIT
STORM DRAIN MANHOLE	STORM DRAIN MANHOLE
STORM DRAIN INLET	STORM DRAIN INLET



LANDMARK SCHEMATIC

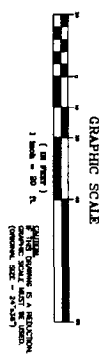
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STATISTICS

Symbol	Area	Perimeter	Volume	Area
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LANDMARK LOCATIONS

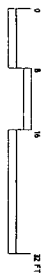
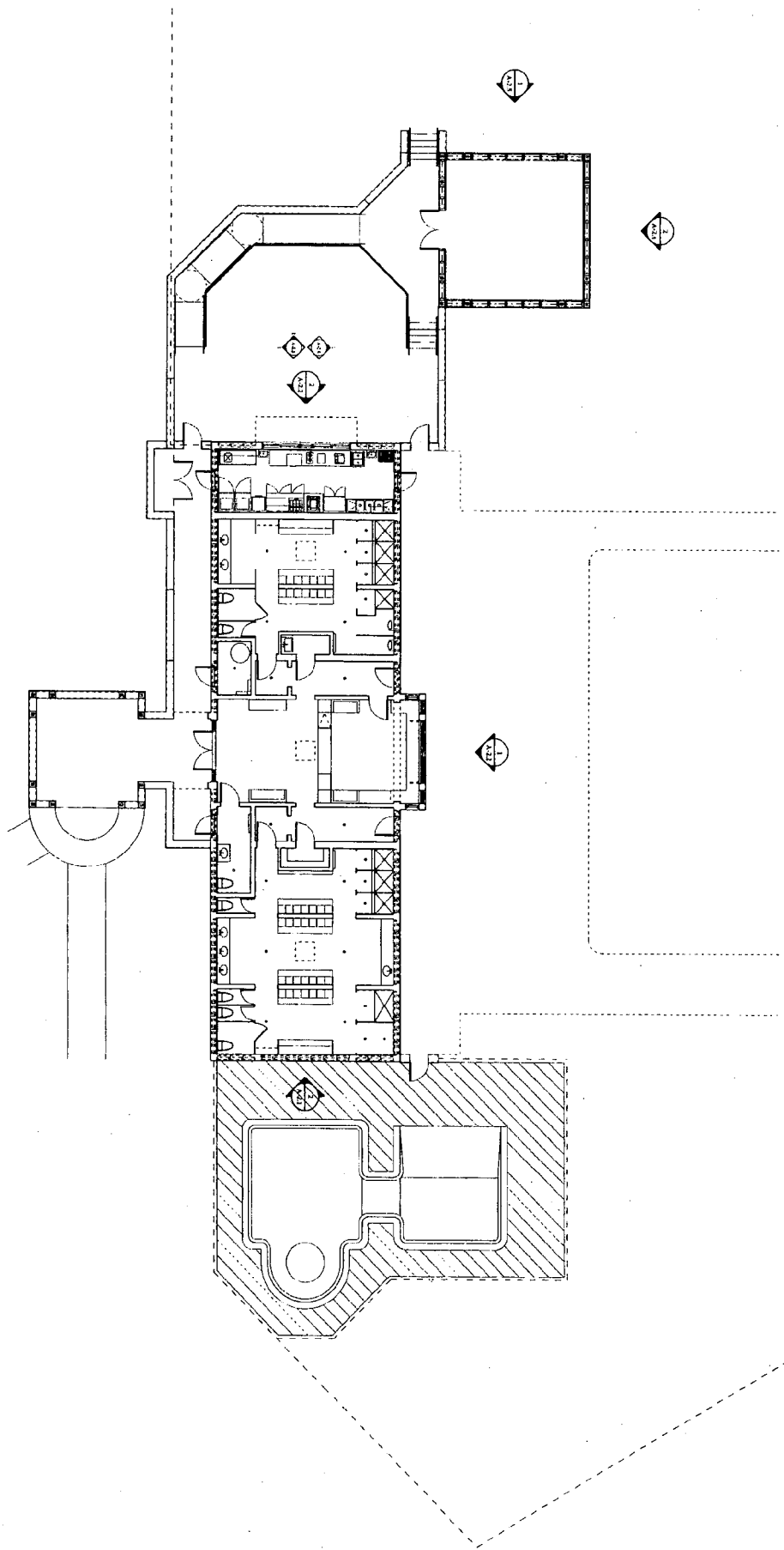
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SHEET NO. 1 of 2	LIGHTING PHOTOMETRIC PLAN	04 MAR 2009	<p align="center">CHEVY CHASE RECREATION ASSOCIATION NEW BATH HOUSE & SITE IMPROVEMENTS</p> 8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815	<p align="center">MUSE ARCHITECTS, P.C. 7401 WISCONSIN AVE, BETHESDA, MD 20814 301.718.8118</p> <p><small>A. MORTON THOMAS & ASSOC. (Civil Eng. Consultant) 12750 Telemountain Parkway, Rockville, MD 20852 - 301.881.2243 ENLERT/BRYAN, INC. (Structural Eng. Consultant) 145 Dunwoody Madison Blvd. #220, McLean, VA 22101 - 703.837.9552 EB, ENGINEERS, LLC (MEP Eng. Consultant) 8005 Hartford Rd, Baltimore, MD 21234 - 410.668.6000</small></p>
		03/21		

37

1 FLOOR PLAN
SCALE 1/8" = 1'-0"



DATE
A-1.0

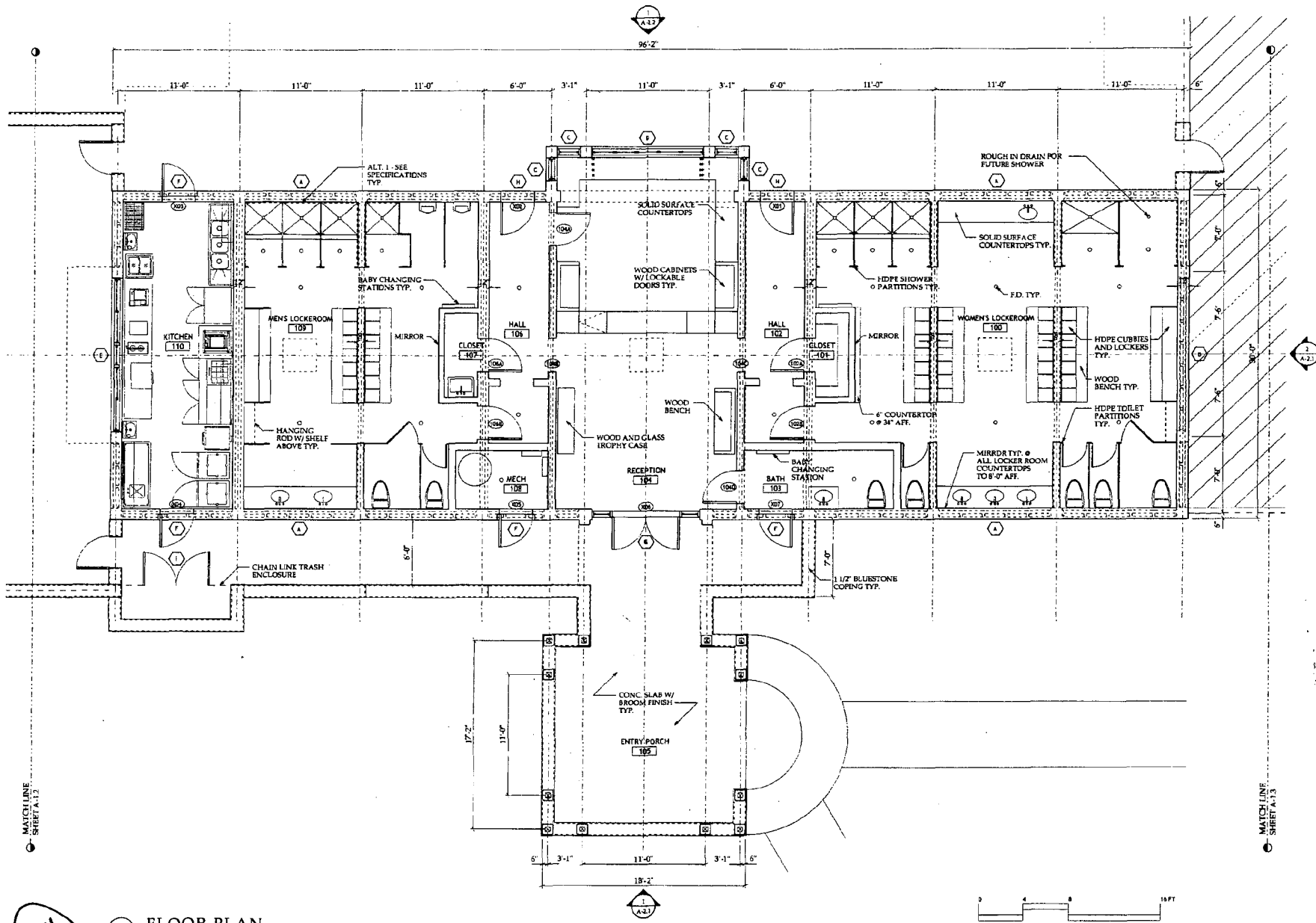
FLOOR PLAN
SCALE: 1/8" = 1'-0"

04 MAR 2009
HAWF
SUBMISSION

03.21

**CHEVY CHASE
RECREATION ASSOCIATION
NEW BATH HOUSE & SITE IMPROVEMENTS**
8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815

MUSE ARCHITECTS, PC
7401 WISCONSIN AVE, STE 500 BETHESDA, MD 20814 301.718.8118
A MONTON THOMAS & ASSOCIATES
Civil Engineer Certificate 1270 Tennessee Parkway, Rockville, MD 20850 - 301.981.2145
11020 JEFFERSON PIKE, INC.
Professional Engineer Certificate 1401 Dickey Mall Lane, Suite 220, Fairfax, VA 22031 - 703.827.9822
200 FREDERICKS LANE
ENRZ Engineer Certificate 8302 Lockwood Rd, Baltimore, MD 21284 - 410.666.8800



MATCHLINE SHEET A-12

MATCHLINE SHEET A-13

28

FLOOR PLAN
SCALE: 1/4" = 1' - 0"



MUSE ARCHITECTS, PC
7401 WISCONSIN AVE, STE 300 BETHESDA, MD 20814 301-718-8118
A NATIONAL FIDELITY & BOND COMPANY
1000 Pennsylvania Avenue, Suite 400, Washington, DC 20004-2802
202-775-2000
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CHEVY CHASE RECREATION ASSOCIATION
NEW BATH HOUSE & SITE IMPROVEMENTS
8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815

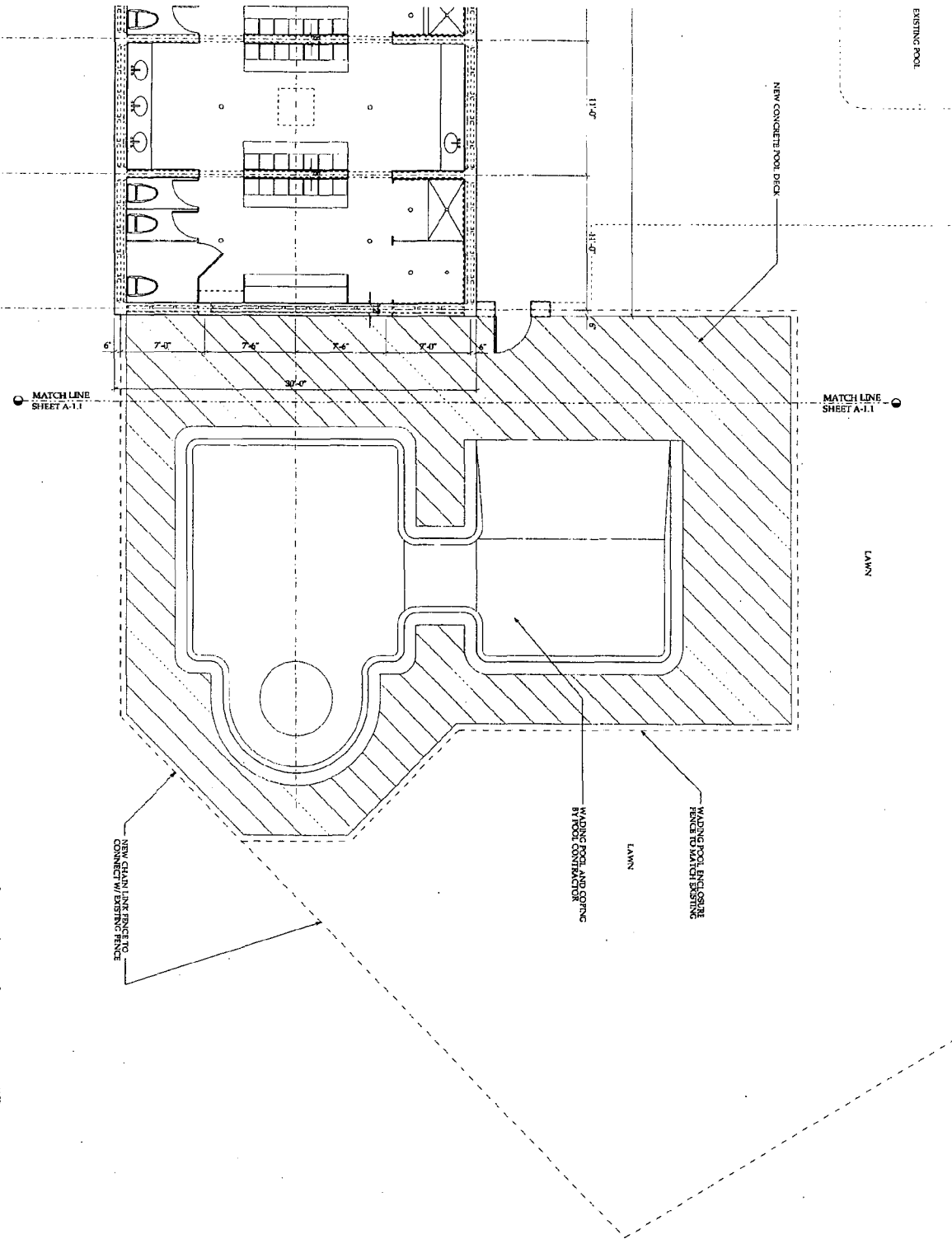
03.21
04 MAR 2009
HAWP
SUBMISSION

BATH HOUSE PLAN
SCALE: 1/4" = 1' - 0"

SHEET NO
A-1.1

5

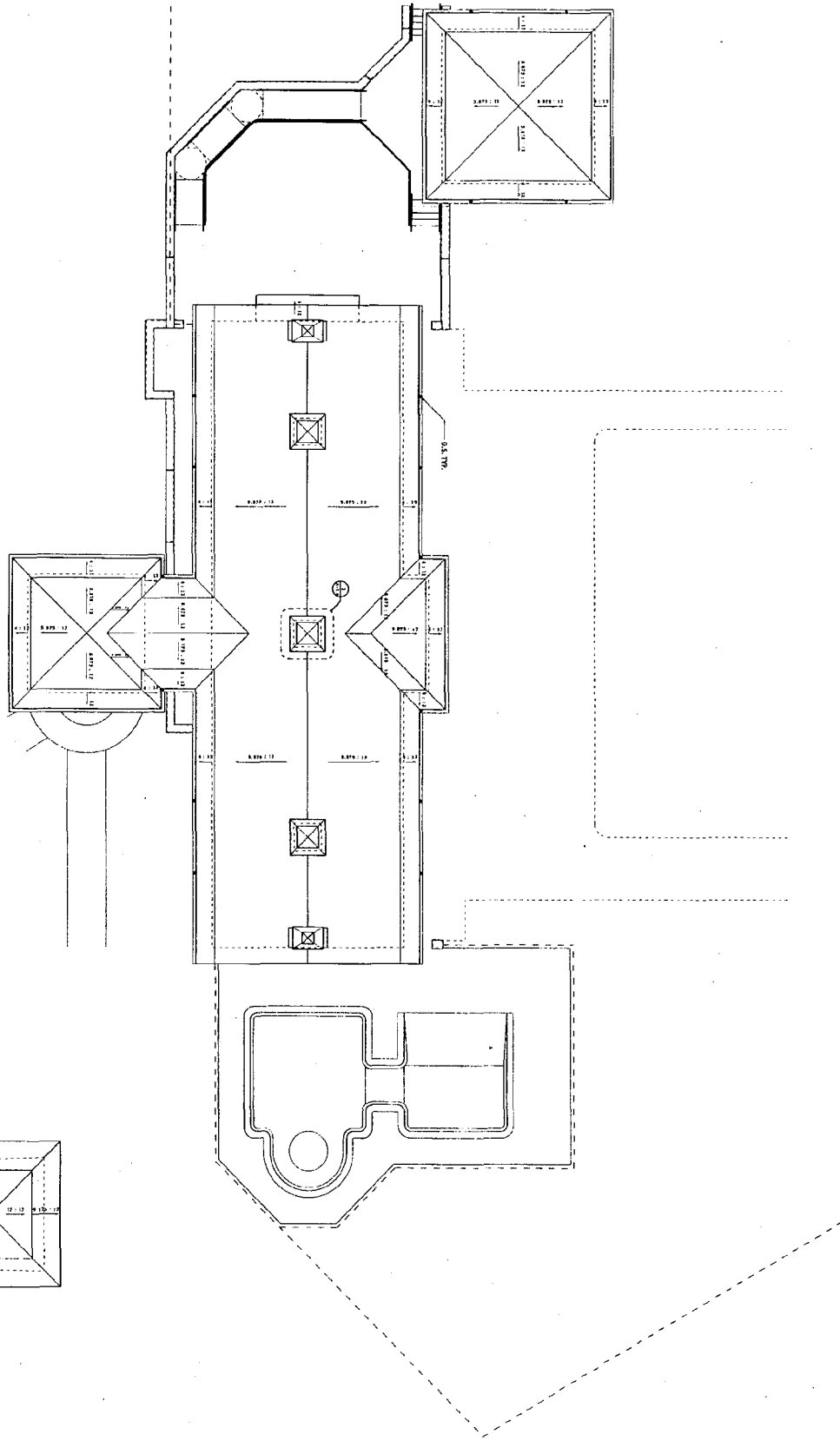
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A-1.3
WADING POOL PLAN
SCALE: 1/4" = 1'-0"



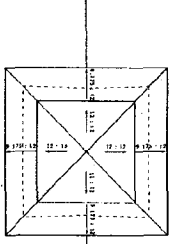
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	SCALE: 1/4" = 1'-0"			

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1 ROOF PLAN
SCALE: 1/8" = 1'-0"



2 CUPOLA
SCALE: 1/2" = 1'-0"



SHEET NO
A-1.4

ROOF PLAN
SCALE: AS NOTED

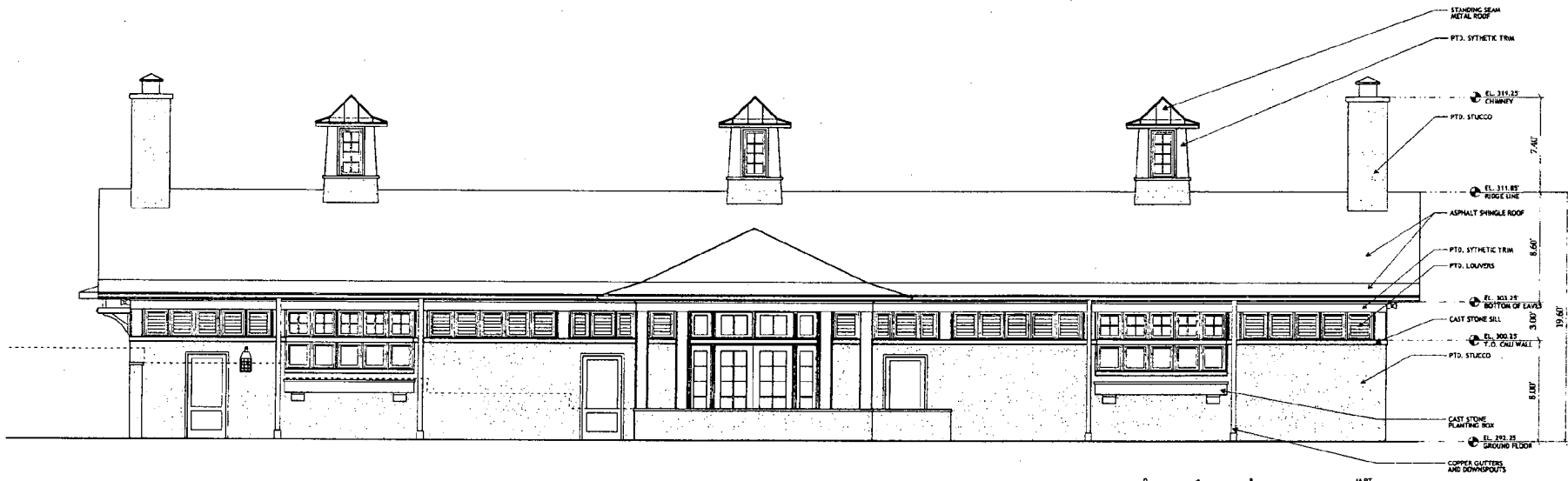
04 MAR 2009
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SUBMISSION
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**CHEVY CHASE
RECREATION ASSOCIATION
NEW BATH HOUSE & SITE IMPROVEMENTS**

8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815

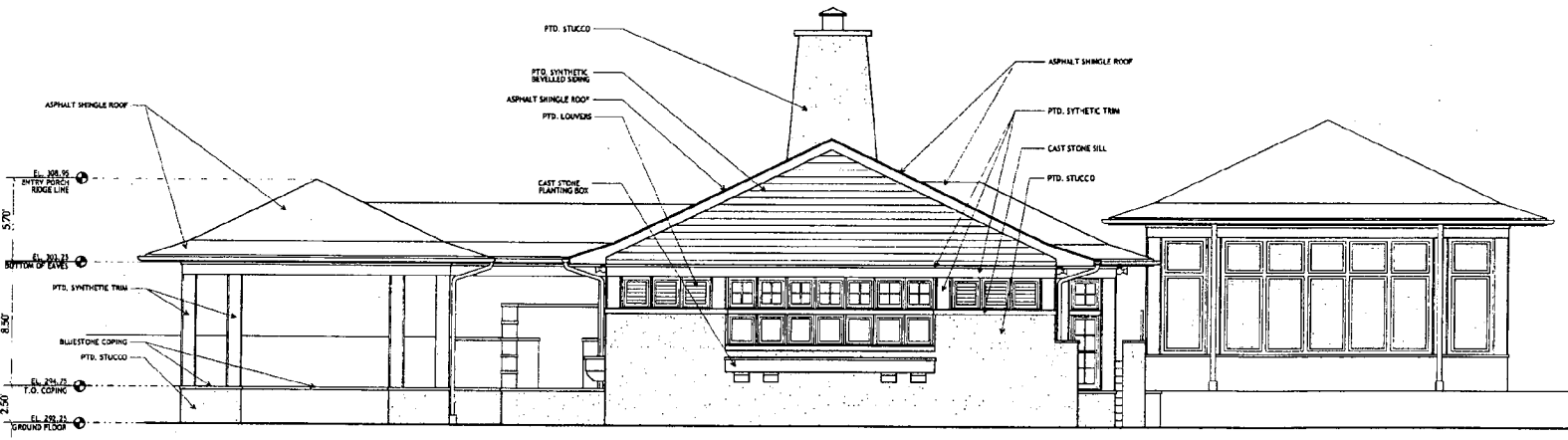
MUSE ARCHITECTS, PC
7401 WISCONSIN AVE, STE 502 BETHESDA, MD 20814 301.218.8118

A. MORTON THOMAS & ASSOCIATES
Civil Engineer/Consultant 12295 Timberbrook Parkway, Rockville, MD 20850 - 301.461.2540
101.457.0724 FAX, 246
Structural Engineer/Consultant 1481 D'Oyley Meadows Blvd., Ste 220 McLean, VA 22101 - 703.277.9970
1861.04262 FAX, 11.6
MEP Engineer/Consultant 8022 Foxcroft Rd., Baltimore, MD 21226 - 410.468.8220



1 EAST ELEVATION
SCALE: 1/4" = 1' - 0"

NOTE: ALL EXTERIOR DOORS AND WINDOWS SHALL BE ALUMINUM CLAD WOOD SIKES AND FRAMES TYPICALLY.



2 NORTH ELEVATION
SCALE: 1/4" = 1' - 0"

43

MUSE ARCHITECTS, PC
7103 WISCONSIN AVE, STE 500 BETHESDA, MD 20814 TEL: 301.414.4114
A MUSE ARCHITECTS COMPANY
2388 Regency Court, Suite 100, Bethesda, MD 20814
1800 Rockville Pike, Suite 200, Rockville, MD 20850
1800 Montgomery Avenue, Suite 200, Silver Spring, MD 20910

CHEVY CHASE RECREATION ASSOCIATION
NEW BATH HOUSE & SITE IMPROVEMENTS
8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815

03.21

04 MAR 2009
HWP
SUBMISSION

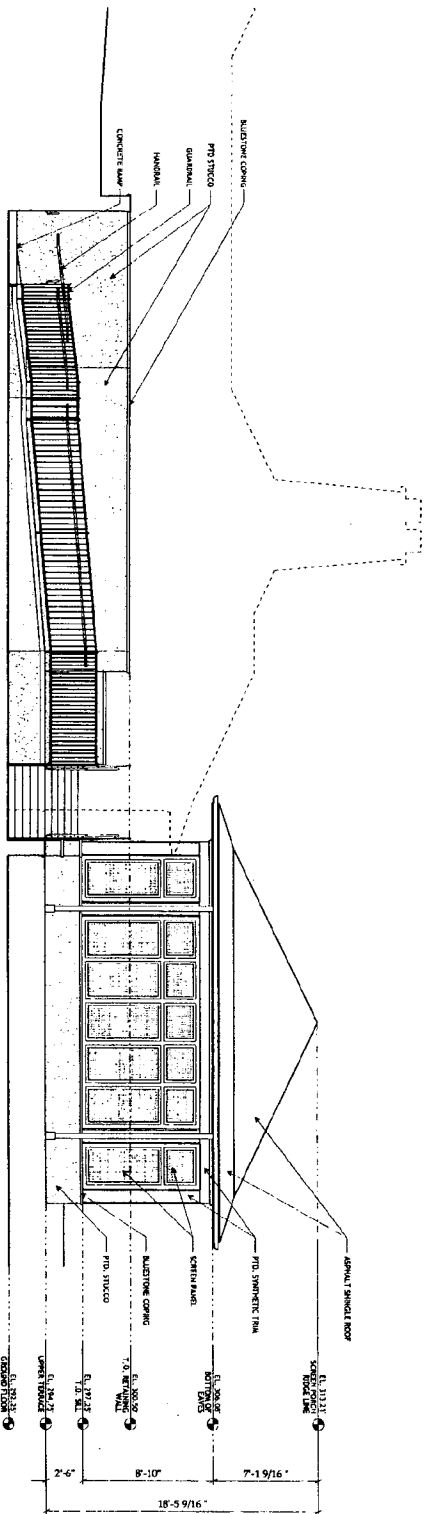
ELEVATIONS
SCALE: 1/4" = 1' - 0"

SHEET NO.
A-2.1

5h

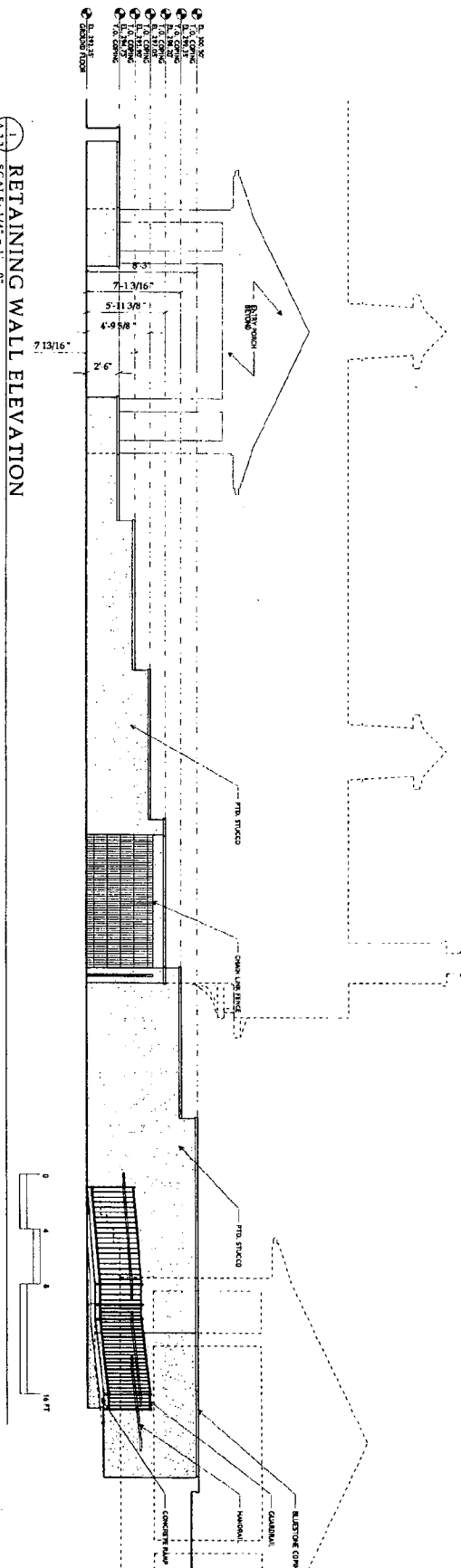
A-2.3

NORTH SCREEN PORCH ELEVATION
SCALE: 1/4" = 1'-0"

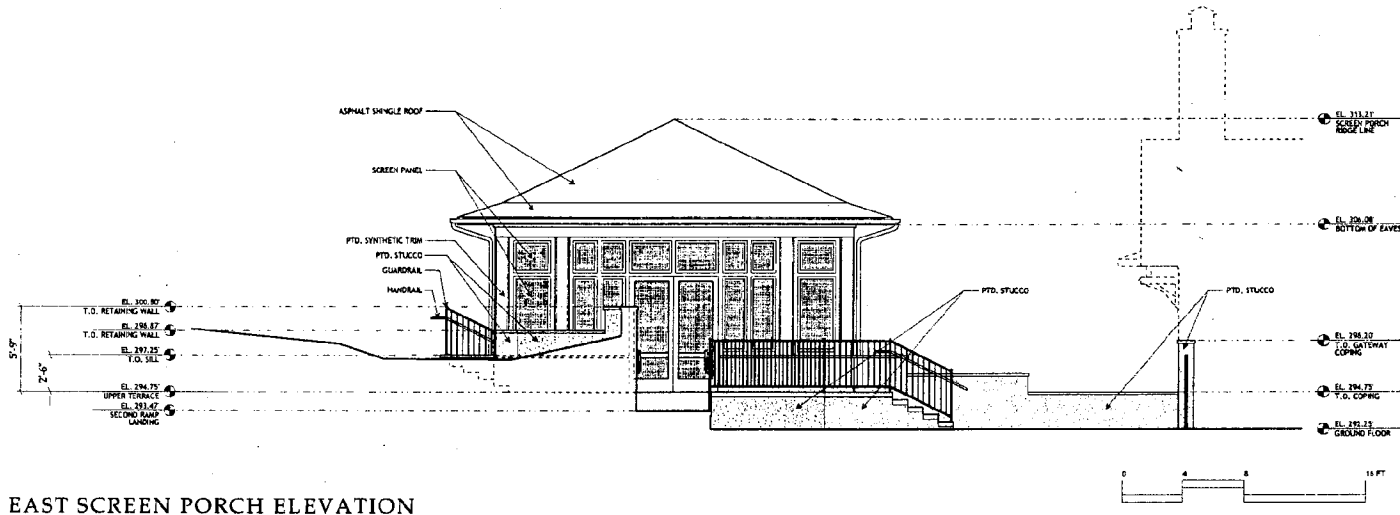


A-2.3

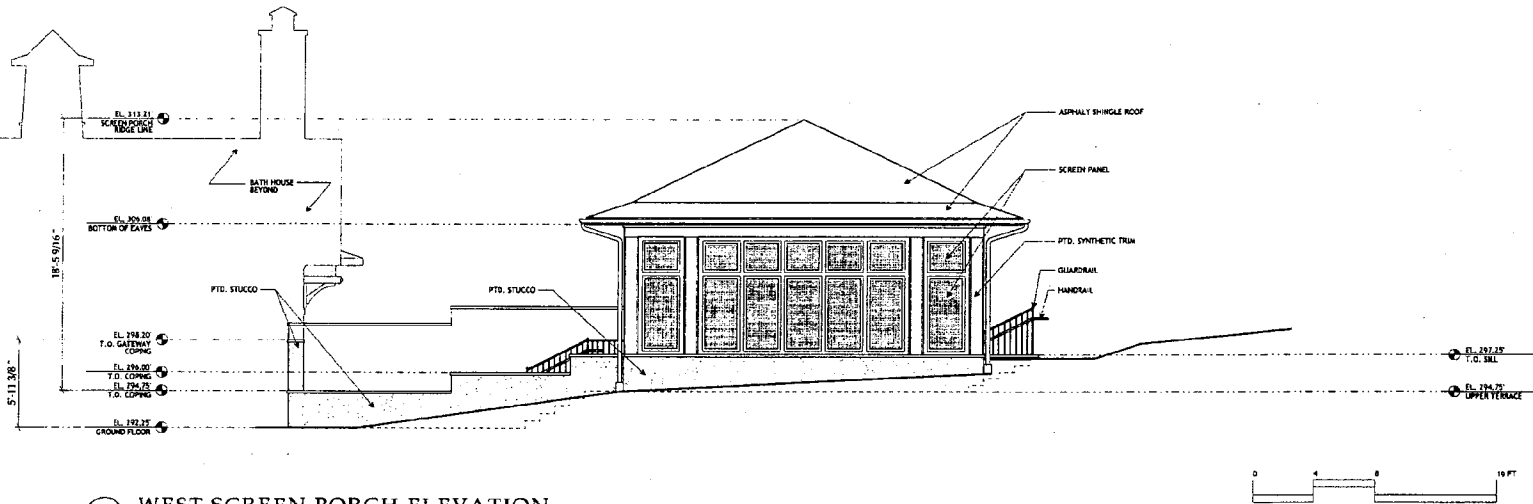
RETAINING WALL ELEVATION
SCALE: 1/4" = 1'-0"



SHEET NO. A-2.3	TERRACE ELEVATIONS SCALE: 1/4" = 1'-0"	04 MARCH 2009 SUBMISSION	03.21	CHEVY CHASE RECREATION ASSOCIATION NEW BATH HOUSE & SITE IMPROVEMENTS 8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815	MUSE ARCHITECTS, PC 7401 WISCONSIN AVE, 5TH FLOOR, BETHESDA, MD 20814 301.714.4334 <small>A MEMBER FIRM OF MASA ASSOCIATES</small> Principal Engineer/Consultant: 12700 Traylor Road, Bethesda, MD 20814-2012 Principal Engineer/Consultant: 1401 Eddy Street, Suite 100, Alexandria, VA 22304-7027 Principal Engineer/Consultant: 10000 Old Dominion Road, Suite 100, Fairfax, VA 22030-4344 Principal Engineer/Consultant: 10000 Old Dominion Road, Suite 100, Fairfax, VA 22030-4344



1 EAST SCREEN PORCH ELEVATION
SCALE: 1/4" = 1' - 0"



2 WEST SCREEN PORCH ELEVATION
SCALE: 1/4" = 1' - 0"

9h

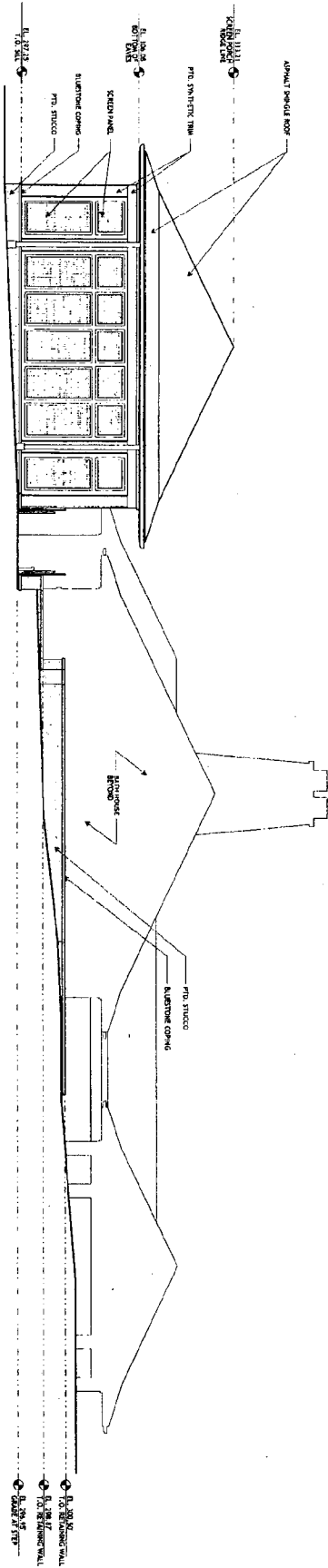
MUSE ARCHITECTS, PC
7103 WISCONSIN AVE. STE. 200 BETHESDA, MD 20814 301.771.3178
1000 WASHINGTON BLVD. SUITE 200 WASHINGTON DC 20001
624 Engineer/Consultant 07/11/2004
624 Engineer/Consultant 07/11/2004
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CHEVY CHASE RECREATION ASSOCIATION
NEW BATH HOUSE & SITE IMPROVEMENTS
8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815

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04 MAR 2009
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TERRACE ELEVATIONS
SCALE: 1/4" = 1' - 0"

SHEET NO.
A-2.4



1 SOUTH SCREEN PORCH ELEVATION
SCALE: 1/4" = 1'-0"

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SHEET NO. A-2.5	TERRACE ELEVATIONS SCALE: 1/4" = 1'-0"	04 MAR 2009 SUBMISSION	03.21	CHEVY CHASE RECREATION ASSOCIATION NEW BATH HOUSE & SITE IMPROVEMENTS 8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND 20815	MUSE ARCHITECTS, PC 7401 WISCONSIN AVE, STE 500 BETHESDA, MD 20814 301.718.8110 A MERTON THOMAS & ASSOCIATES 6148 Regency Court/Box 12290 Peninsula Parkway, Bethesda, MD 20812-3618 301.981.2340 MUSE ARCHITECTS, INC. Structural Engineer/Consultant 1401 14th Street, Suite 200, Arlington, VA 22202-4202 800.742.2444 (DEF: Design Consultant) 6000 Highland Rd., Baltimore, MD 21286-4300

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THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
HISTORIC PRESERVATION COMMISSION

----- X
:
HISTORIC AREA WORK PERMIT - : HPC Case No.
10216 Kensington Parkway :

----- X
:
PRELIMINARY CONSULTATION - :
David Fairchild Estate :

----- X

A meeting in the above-entitled matter was held on October 22, 2008,
commencing at 7:25 p.m., in the MRO Auditorium at 8787 Georgia Avenue, Silver Spring,
Maryland 20910, before:

COMMITTEE CHAIRMAN

Jeff Fuller

COMMITTEE MEMBERS

- David Rotenstein
- Warren Fleming
- Nuray Anahtar
- Leslie Miles
- Thomas Jester
- Lee Burstyn

ALSO PRESENT:

Joshua Silver
Anne Fothergill, Staff

APPEARANCES

STATEMENT OF:

PAGE

Jonathan Binder

9

Stuart Barr, Esq.
John Tschiderer

21

MR. FULLER: Okay. It took a bit longer than it should have. Next on the agenda this evening is a preliminary consultation, Chevy Chase Rec Association. Is there a staff report, a brief staff report?

MS. FOTHERGILL: There is a brief staff report. This is a master plan site, 3538, known as, in the woods. It's also known as the David Fairchild Estate. It was built in 1910 as the home of horticulturalist David Fairchild and his wife Marian Bell, who was the daughter of Alexander Graham Bell.

They first created gardens in 1906 and built the house in 1910. The house is significant for its architecture and also for its gardens. And the house is now used, I believe, for a nursery school, and then part of the back part of the house is used by the Chevy Chase Recreation Association for their pool and tennis courts.

So this is a vicinity plan. The red square is the master plan site. You can see the T-shaped building. It's the house, and then down below the rectangle is the existing back house. And this is an aerial photo to orient you. They are, as you can see, very close to the beltway, and here you can see the pool area down the hill from the historic house and the tennis courts to the side.

The applicants are proposing some changes to the pool, the bath house, and the pool area; no changes to the historic house. All these changes are located down the hill and past a big grove of bamboo from the historic house but within the historic setting.

The proposal is to replace the existing bath house with a new, slightly larger 3,000 square foot one-story pool house. The building will be 20 feet tall to the roof ridge, 27 feet tall to the top of the chimneys and cupolas. It will have a wood shingle roof, copper gutters, stucco walls, aluminum clad wood windows and painted synthetic trim.

They also are proposing to construct a detached screened wood pavilion next to the new

pool house with a footprint of 576 square feet, and the building has a wood frame and synthetic trim.

They are proposing to replace the existing concrete terraces with new concrete terraces, and slightly different configurations, replace existing six-foot tall chain link fencing with new six-foot tall chain link fencing, in approximately the same location, but it does require a HAWP since it's slightly altered. Also to construct new retaining walls which would be stucco coated, CMU with bluestone cap, and renovate the wadding pool area with slight changes. Then remove three trees that are 2 caliper Carolina hemlocks and one split trunk tree that doesn't, because the trunks are small, doesn't fall within the HPC review.

The staff supports these changes. They are downhill, behind a grove of bamboo from the historic house. In terms of height the new bath house would be, as I mentioned 20-foot tall, 20-foot high to the roof ridge, and 27 to the top of the chimneys and the cupolas. The historic house is 24 feet tall and 27 feet to the top of the chimney. It is also at a higher grade, so that the new building will not appear taller than the historic house, if you can even see them in the same vantage point. But it's very difficult, as you will see in the slides, to see them.

I will show you some slides. This was taken in the past when it was snowing. This is the front of the house. And then this is the recent photo, as you can see it's a nursery school. This is the grove of bamboo I'm referring to. It's very dense. And then this is the hill, the grove of bamboo being between the historic house to the right, and then you go down the hill to the pool area. And so this is the pool area, far removed from the historic house.

The only concern staff has is, since this is detached and removed, are materials, because in general, the Commission has not supported synthetic trim on a master plan site, or aluminum clad wood windows on a master plan site. So it's possible the Commission would consider it in this case because of all the reasons I've mentioned. But just in general, that has not been the Commission's approach.

And then also for the historic area work permit application, staff noted that you would need much more detailed plans, which the applicants are aware of and are listed out in the staff discussion section.

MR. FULLER: Are there questions for staff? Thank you. I would ask the applicant if they would like to make a brief presentation, and I emphasize brief, simply because we did review this upstairs, and people are generally supportive.

MR. BARR: Great. It will be very brief. Good evening everyone. I'm Stuart Barr with Learh, Early and Brewer, representing the applicant, Chevy Chase Recreation Association. I'm here with John Tschiderer, who is on the board of the CCRA. And we really don't have a presentation. I do just want to note that for the interested Commissioners, the Board of Appeals did consider and approve the special exception modification this morning. So we're please to report that.

And of course, we plan on coming back for the HAWP once we have all the additional detailed information that the staff requested. And right now we're just looking for any guidance from the Commission about the proposal.

We're excited about the project, want to move forward, and if there is any feedback, we're very interested in hearing it.

MR. FULLER: Good to have you. Do staff members have any items, in particular the issue raised by staff regarding the substitute materials or the non-original materials?

MR. JESTER: I just have a couple of questions. Does the CCRA actually own the residence as well as the pool club structures?

MR. BARR: You mean the historic resource?

MR. JESTER: Yes.

MR. BARR: It's not a residence. It's used as a nursery school.

MR. JESTER: Sorry. But the property.

MR. BARR: The whole property is owned by CCRA. That's correct.

MR. JESTER: Do you maintain the bamboo that separates the view shed between the two?

MR. TSCHIDERER: Yes. That's correct.

MS. MILES: My only other, my comment is, yes, of course, I would never want to see synthetic materials used on a master plan site, but this is, essentially, two entirely different things. One building and the other have nothing to do with each other, are not in view of each other, have no use together, are unrelated in time in any way. So I don't have any trouble with approving in this case synthetic materials for a replacement of what appears to be a 1950's pool house.

MS. ANAHTAR: I agree.

MR. JESTER: I concur with the Commissioner.

MS. ANAHTAR: It's a pool house.

MR. JESTER: Even with the increased height of the new pool house, I assume there still would be nothing visible from the property.

MR. BARR: From the historic resource? The bamboo probably would prevent it. I think it's unlikely.

MR. TSCHIDERER: Yeah, I mean, again, it's a 10-foot grade change. I think it would be slightly visible. I mean, the bamboo is there. It's substantial. But I think in fairness to the sight lines, you're probably going to have some distorted view of the bathhouse from the Fairchild House.

MR. BURSTYN: I just have a minor informational question. Is the house viewable from any public right-of-way other than Spring Valley Road?

MR. TSCHIDERER: No. You cannot see it, unfortunately, frankly. It's a beautiful house, beautiful building.

MS. ANAHTAR: Is the bamboo going to be there after construction as well or will the

bamboo be gone?

MR. TSCHIDERER: Yes, it will be. I mean, it's far enough away from where the proposed improvements are that we wouldn't have to impact where the bamboo is.

MR. FULLER: Are there any other --

MR. FLEMMING: Just a minor clarification. I wonder why we are approving this synthetic material for this site, but not on other previous sites that we've done before? Should this be a precedent?

MR. FULLER: I think this, from my perspective, I view this as more sort of like the agricultural properties where we have master plan properties. Where we have a historic site, and say we have an agricultural, a metal skin building. I agree with Commissioner Miles that it is sort of an A and a B. We have the historic site, which is the setting around the house, and although it is probably not officially outside of the historic setting, there is a constraint to the site, that they are just totally unrelated one to the other.

So from my perspective, it really was outside of what I would consider the real setting of the house.

MR. JESTER: It's such a unique set of circumstances that there won't be any individual impact to the historic resource or the setting.

MR. FULLER: I mean, to me, this is, you know, we have had this discussion in the past that where we have a historic property on a large piece of property right now, the general policy is that we do not reduce the historic setting until subdivision, which I personally have not been in favor of. I think that it would make sense in certain cases to reduce the setting to what we think is the really appropriate area, rather than leaving 300 acres as part of that historic setting. But they really are two different areas for this property.

Are there any other comments or advice? I agree with the Commissioners, as I was just

stating. From my perspective, it is two completely different sites, and the use of substitute materials, as long as it is not bright, shiny vinyl, simply because I object to that, but I cannot -- but anyhow.

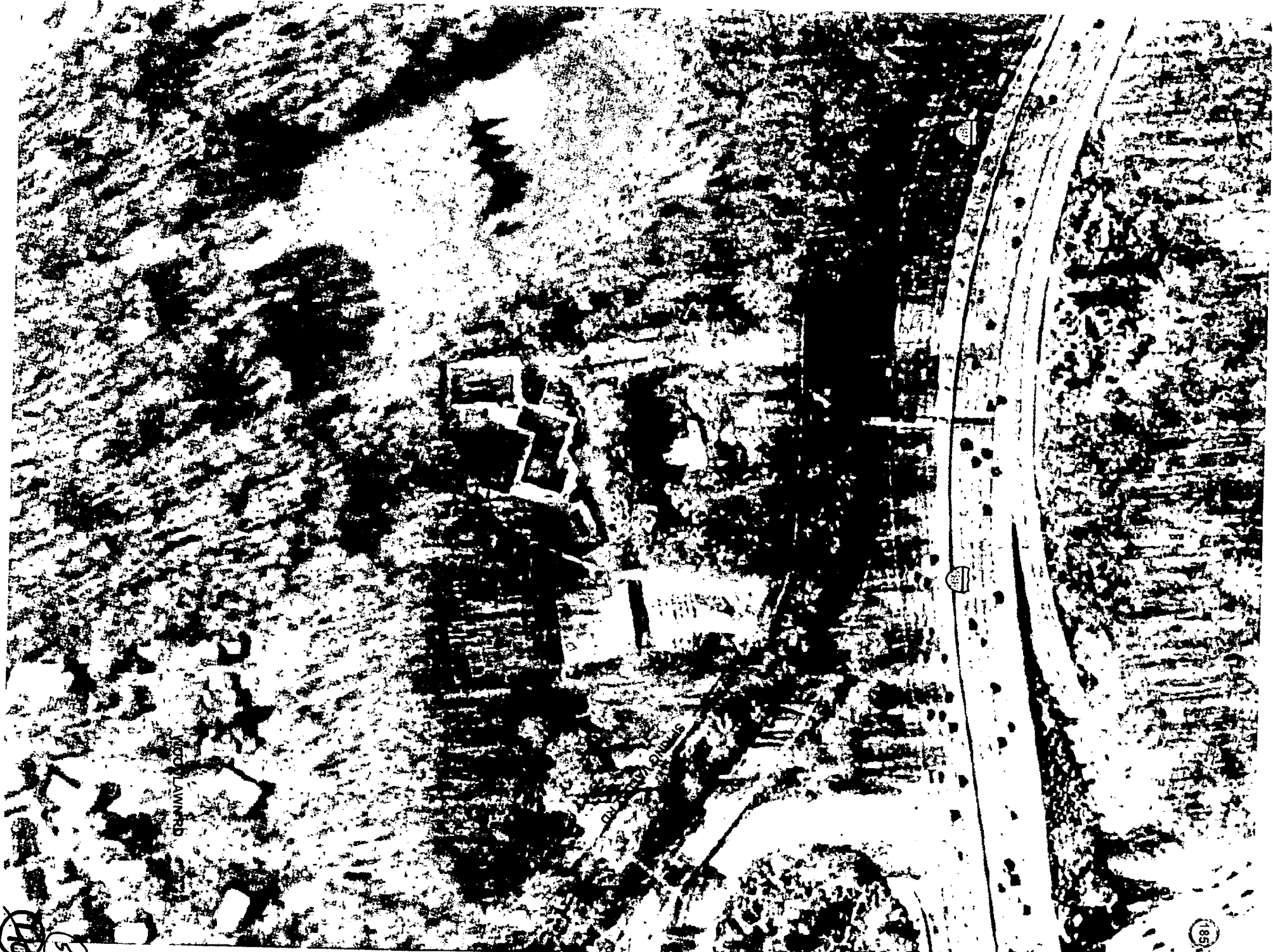
MR. JESTER: Maybe we could just suggest that it be something like Azek that when painted does look like wood, even though it is a synthetic product.

MR. FULLER: Yes. But I mean, from my perspective, and particularly around a pool house, less maintenance is obviously better. We do appreciate what you have done so far, and look forward to hearing your HAWP.

MR. BARR: Thank you very much.

MR. TSCHIDERER: Thank you.

MR. FULLER: Thanks.



SWAMPY WOODLAND

SWAMPY WOODLAND

110
57

185

front of historic house



Hill down from house to pool area

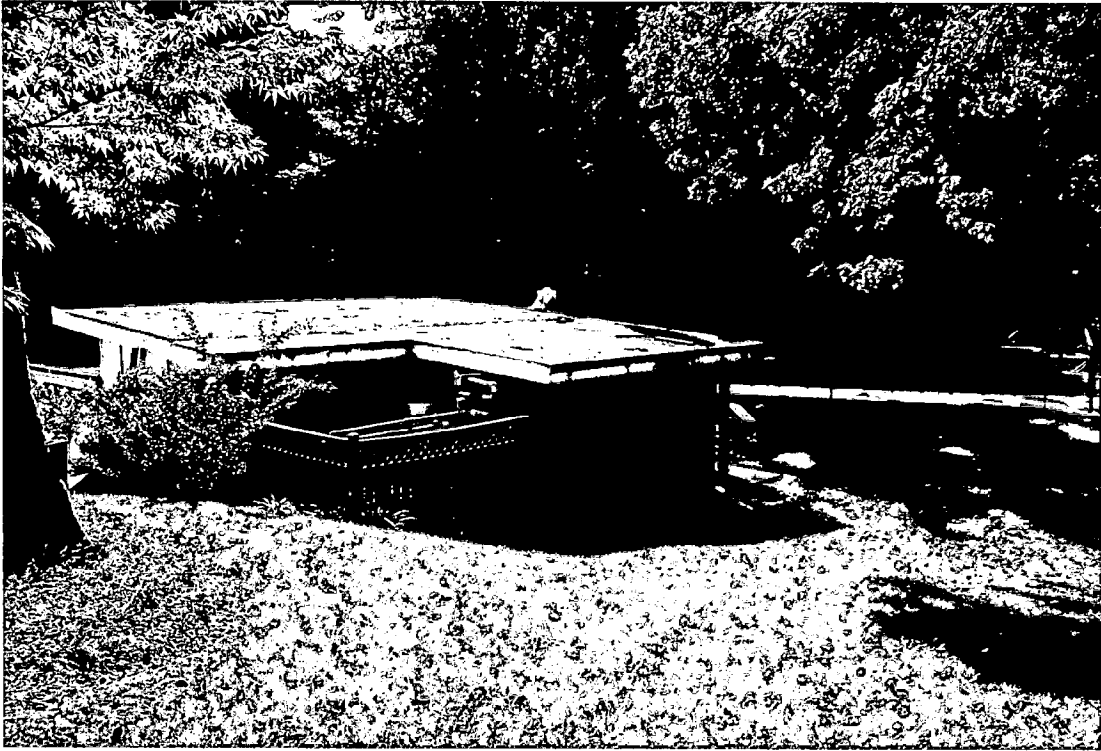


58
41

Back of existing pool house



59
42



front of historic house



60
~~43~~

Grove of bamboo
between house
and pool area



19
~~44~~

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	8922 Spring Valley Road, Chevy Chase	Meeting Date:	10/22/08
Applicant:	Chevy Chase Recreation Association (Stuart Barr, Agent)	Report Date:	10/15/08
Resource:	<i>Master Plan</i> Site #35/38, In The Woods	Public Notice:	10/08/08
Review:	Preliminary Consultation	Tax Credit:	None
Case Number:	N/A	Staff:	Anne Fothergill
PROPOSAL: Alterations to pool, patio, fencing, and bath house			

STAFF RECOMMENDATION

Staff recommends that the applicant make any revisions based on the HPC's comments and return for a HAWP.

PROPERTY DESCRIPTION

SIGNIFICANCE: *Master Plan* Site #35/38, **In The Woods**
STYLE: Contemporary California
DATE: 1910

Excerpt from Places in the Past:

In the Woods (1910)

Horticulturist David Fairchild was instrumental revolutionizing the American farming industry through his worldwide plant explorations. He is credited with the introduction of plants that led to the unprecedented agricultural income of over \$100 million, in 1954. Species he introduced to the U.S. include varieties of mango, avocado, cacti, seedless raisin grape, and nectarine. A self-described plant explorer, Fairchild helped organize the U.S.D.A. Office of Foreign Seed and Plant Introduction, in 1898. Discovering the beauty of Japanese Flowering Cherry trees at his estate, Fairchild was instrumental in planting the trees along the Tidal Basin, in 1912.

The David Fairchild Estate, known as In the Woods, was a 34-acre tract. Fairchild, and his wife Marian Bell Fairchild, daughter of Alexander Graham Bell, created the naturalistic gardens in 1906 and built their residence in 1910. Edward Clarence Dean, a protégé of John Russell Pope, designed the two-story house, which exhibits the influence of Japanese culture and the Arts and Crafts movement. Constructed of hollow tile, the house is sheathed in stucco that was originally covered with forty trellises. A pergola-roofed porch once sheltered the main entrance. The grounds, now 5 acres, contain an outstanding collection of exotic plant species unique to the metropolitan area and the State of Maryland.

PROPOSAL

The applicants are proposing changes to the pool, bathhouse, and pool area, which are all located within the environmental setting but behind the house, past a thick grove of bamboo, and down a hill. The applicants propose to:

1. Replace existing bathhouse with new, approximately 3,000 SF one-story pool house with slightly larger footprint than the existing building; the new building will be 20' tall to roof ridge, 27' tall to top of chimneys and cupolas and it will have a wood shingle roof, copper gutters, stucco walls, aluminum clad-wood windows, and painted synthetic trim.
2. Construct a 576 SF detached screened wood pavilion next to the new pool house; the screened building will have synthetic trim.
3. Replace the existing concrete terraces with new concrete terraces.
4. Replace existing 6' tall chain link fencing with new 6' tall chain link fencing in approximately same location.
5. Construct new retaining walls; walls will be stucco coated CMU with bluestone cap
6. Renovate wading pool area.
7. Remove three trees: 15" and 12" Carolina hemlock and 34" English Oak. New trees and bushes are proposed for screening.

APPLICABLE GUIDELINES

When reviewing alterations and new construction to a *Master Plan* site several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation:

Standard #2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Standard # 10: New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

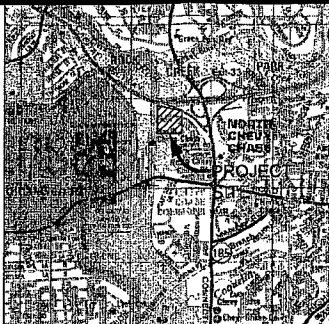
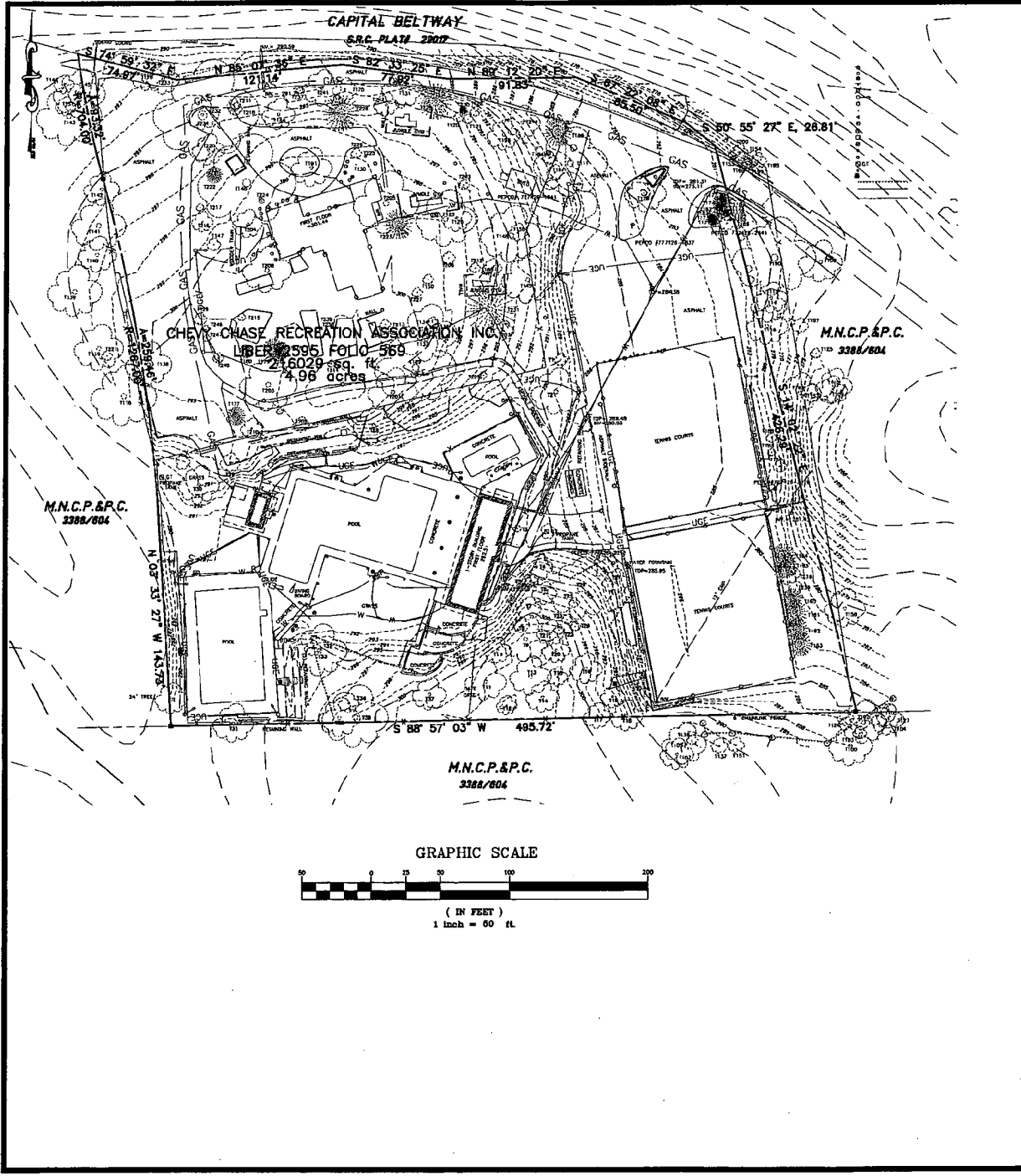
STAFF DISCUSSION

As can be seen in the site plan and aerial photos within this staff report, the pool area is located behind and down a hill from the historic house. Additionally, between the house and the pool area is a very dense grove of bamboo that provides screening between the two areas. The historic house sits on land that is approximately 10' higher than the bathhouse and the bath house is approximately 250 feet behind the front of the house. In terms of building heights, the new bathhouse is 20' tall to the roof ridge and 27' tall to the top of the chimneys and cupolas. The historic house is 24' tall to the roof ridge and 27' to the top of the chimney so the new building will definitely not appear taller than the historic house. The bathhouse design is compatible with the setting and staff supports all of the proposed changes to the pool, bathhouse, and pool area.

The applicants are applying for a Special Exception modification and then will return for a Historic Area Work Permit (HAWP). For the HAWP application, the HPC will want more detailed plans and additional information will need to be submitted in order for the HPC to fully review the proposal—for example, all elevations of both buildings, elevations showing the retaining walls (including height), all materials for both buildings including for the new bathhouse: chimneys, cupolas, doors, gable end horizontal siding and for the new screened pavilion: roofing material. If tree replacement is proposed, a landscape plan showing new plantings should be provided. Finally, the HPC has generally not supported clad wood windows and synthetic trim, even on new construction on a Master Plan site. While these materials will be very far from the historic house and they are desired for the applicants' long-term maintenance issues, staff has advised the applicants of the HPC's past decisions and the applicants plan to bring substitute material samples for the Commission to consider for this specific proposal.

STAFF RECOMMENDATION

Staff recommends that the applicant make any revisions based on the HPC's comments and return for a HAWP.



VICINITY MAP
 SCALE: 1" = 2000' MAP 5285 / GRID G10

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- LEGEND**
- EXISTING**
- SHRUB
 - HYDRANT
 - GUY
 - GAS VALVE
 - LIGHT POLE
 - GAS MARKER
 - UTILITY POLE
 - SIGN
 - TRAFFIC SIGNAL
 - TREE
 - CONC CURB & GUTTER
 - CURB INLET
 - SANITARY MANHOLE
 - SANITARY LINE
 - BUILDING LINE
 - WATER LINE
 - STORM DRAIN LINE
 - WATER VALVE
 - SPOT ELEVATION
 - OVERHEAD ELECTRIC LINE
 - GAS LINE
 - INDEX CONTOUR
 - INTERMEDIATE CONTOUR
 - STORM DRAIN MANHOLE
 - STORM DRAIN INLET
 - SANITARY CLEANOUT

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OWNER

CHEY CHASE RECREATION ASSOCIATION
 8922 SPRING VALLEY ROAD
 CHEY CHASE, MD

PROJECT TITLE

CHEY CHASE RECREATION ASSOCIATION BATHHOUSE IMPROVEMENTS
 CHEY CHASE, MD

REVISIONS

MARK	DATE	DESCRIPTION

AMT FILE NO. 105-270.001
 DATE: SEPTEMBER 28, 2008
 SCALE: 1" = 50'
 DESIGNED BY: AES
 DRAWN BY: AES
 CHECKED BY: GJO

SUBMISSION

SHEET TITLE

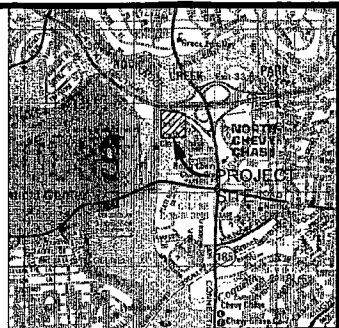
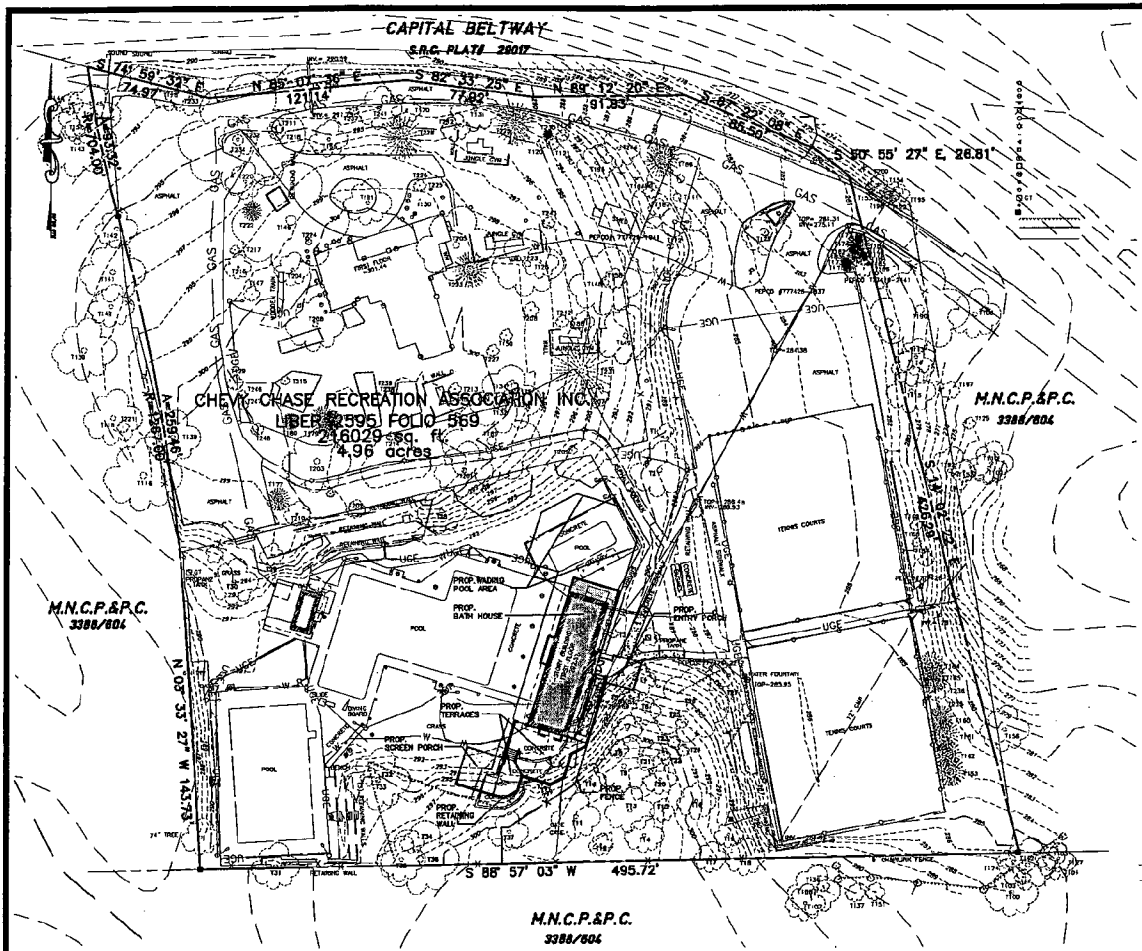
EXISTING CONDITIONS PLAN

SHEET

C-101

SHEET 1 OF 10

19

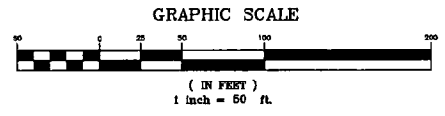


VICINITY MAP
SCALE: 1" = 2000' MAP C289017 MARR G10

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LEGEND

EXISTING		NEW
FH	SHRUB	
◇	HYDRANT	
-	GUY	
CC&G	GAS VALVE	
☆	LIGHT POLE	
⊛	GAS MARKER	
UP	UTILITY POLE	
⊞	SIGN	
⊞	TRAFFIC SIGNAL	
⊞	TREE	
---	CONC CURB & GUTTER	
CI	CURB INLET	
SMH	SANITARY MANHOLE	
S	SANITARY LINE	
---	BUILDING LINE	
W	WATER LINE	
SD	STORM DRAIN LINE	
WV	WATER VALVE	
407.44	SPOT ELEVATION	430.5
OHE	OVERHEAD ELECTRIC LINE	
G	GAS LINE	
430	INDEX CONTOUR	430
432	INTERMEDIATE CONTOUR	432
○	STORM DRAIN MANHOLE	
□	STORM DRAIN INLET	



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OWNER
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8922 SPRING VALLEY ROAD
CHEVY CHASE, MD

PROJECT TITLE
CHEVY CHASE RECREATION ASSOCIATION BATHHOUSE IMPROVEMENTS
CHEVY CHASE, MD

REVISIONS

MARK	DATE	DESCRIPTION

AMT FILE NO. 105-270,001
DATE: SEPTEMBER 29, 2008
SCALE: 1" = 50'
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DRAWN BY: AES
CHECKED BY: GJD

SUBMISSION

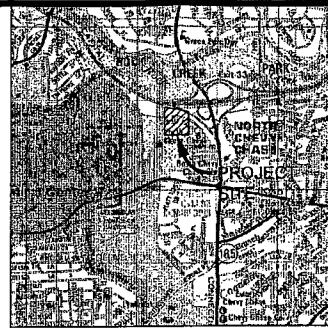
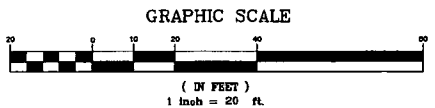
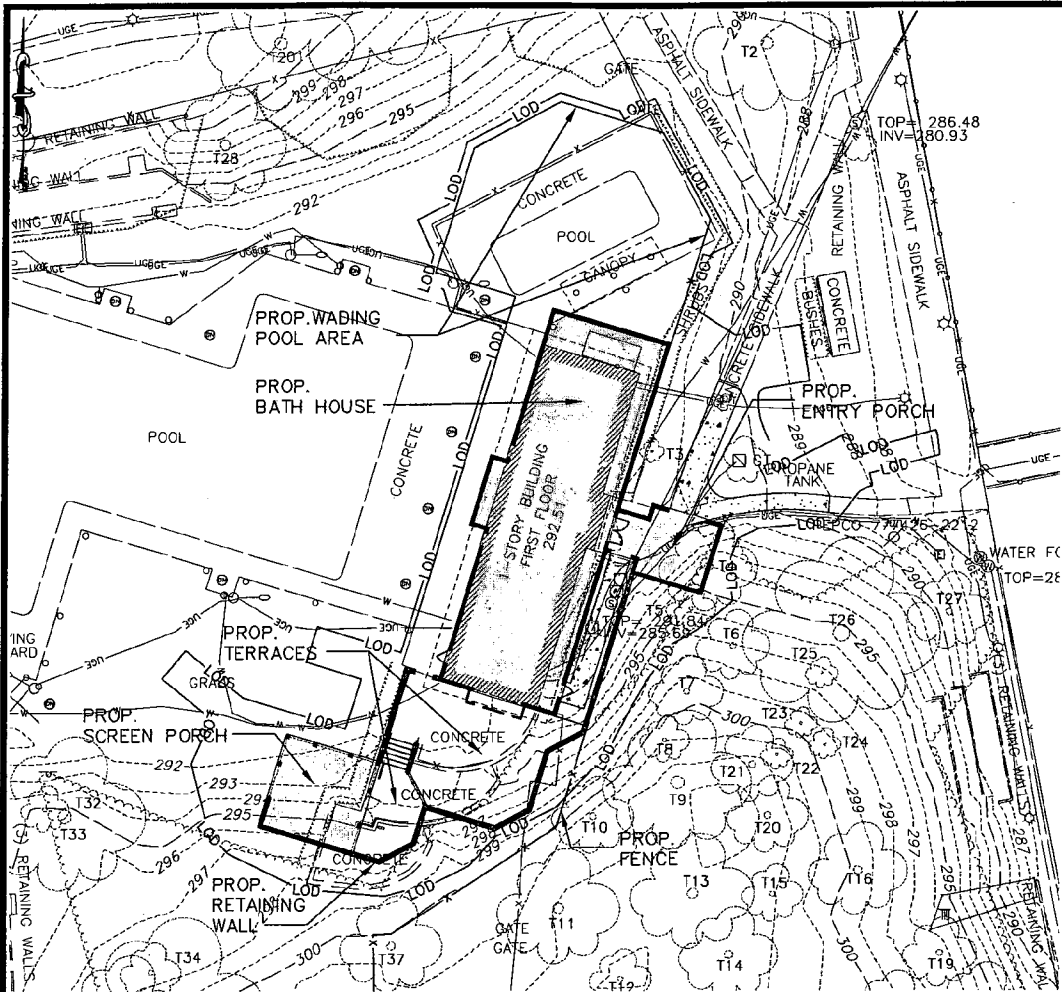
SHEET TITLE
SITE PLAN

SHEET
C-102
SHEET 2 OF 10

General Notes:

1. This plan lies within the Bethesda / Chevy Chase Planning Area and Bethesda Chevy Chase Election District.
2. The property is 4.98 acres, L2595 F.569, zoned R-90.
3. Property location: WSSC Sheet 211NW04; Tax Map HP341, Parcel 600; ADC Montgomery County Map 35. Street address: 8922 Spring Valley Road.
4. Site information is from a field survey dated January 2008 by AMT and Associates, Inc. and from available GIS records.
5. Site is served by public water and sewer (W-1, S-1).
6. Watershed: Lower Rock Creek, Use I - Water Contact Recreation.
7. There are no wetlands on this site.
8. There are no 100 year flood plains, streams or stream buffers on this site.
9. There are no readily observable rare, threatened or endangered species or critical habitats on this site.
10. The site is designated in the Montgomery County Atlas of Historic Places as Individual Site 35/038-001A "In the Woods". There are no other readily observable archaeological, historic or cultural features on this site.

20



VICINITY MAP
SCALE: 1"=2000' MAP COURTESY MORRIS GID

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LEGEND

EXISTING		NEW
FH	•	SHRUB
	•	HYDRANT
CC&G	•	GUY
	•	GAS VALVE
	•	LIGHT POLE
UP	•	GAS MARKER
	•	UTILITY POLE
	•	SIGN
	•	TRAFFIC SIGNAL
	•	TREE
====		CONC CURB & GUTTER
□	□	CURB INLET
SMH	○	SANITARY MANHOLE
—	—	SANITARY LINE
—	—	BUILDING LINE
—	—	WATER LINE
—	—	STORM DRAIN LINE
WV	○	WATER VALVE
407.44	○	SPOT ELEVATION
OHE	—	OVERHEAD ELECTRIC LINE
—	—	430.5
—	—	GAS LINE
---	---	INDEX CONTOUR
---	---	430
---	---	INTERMEDIATE CONTOUR
---	---	432
---	---	LIMIT OF DISTURBANCE
---	---	LOD
○		STORM DRAIN MANHOLE
□		STORM DRAIN INLET

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E-MAIL: AMT@AMTENGINEERING.COM

OWNER
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8922 SPRING VALLEY ROAD
CHEVY CHASE, MD

PROJECT TITLE
CHEVY CHASE RECREATION ASSOCIATION BATHHOUSE IMPROVEMENTS
CHEVY CHASE, MD

REVISIONS

MARK	DATE	DESCRIPTION

AMT FILE NO. 105-270.001
DATE: SEPTEMBER 29, 2008
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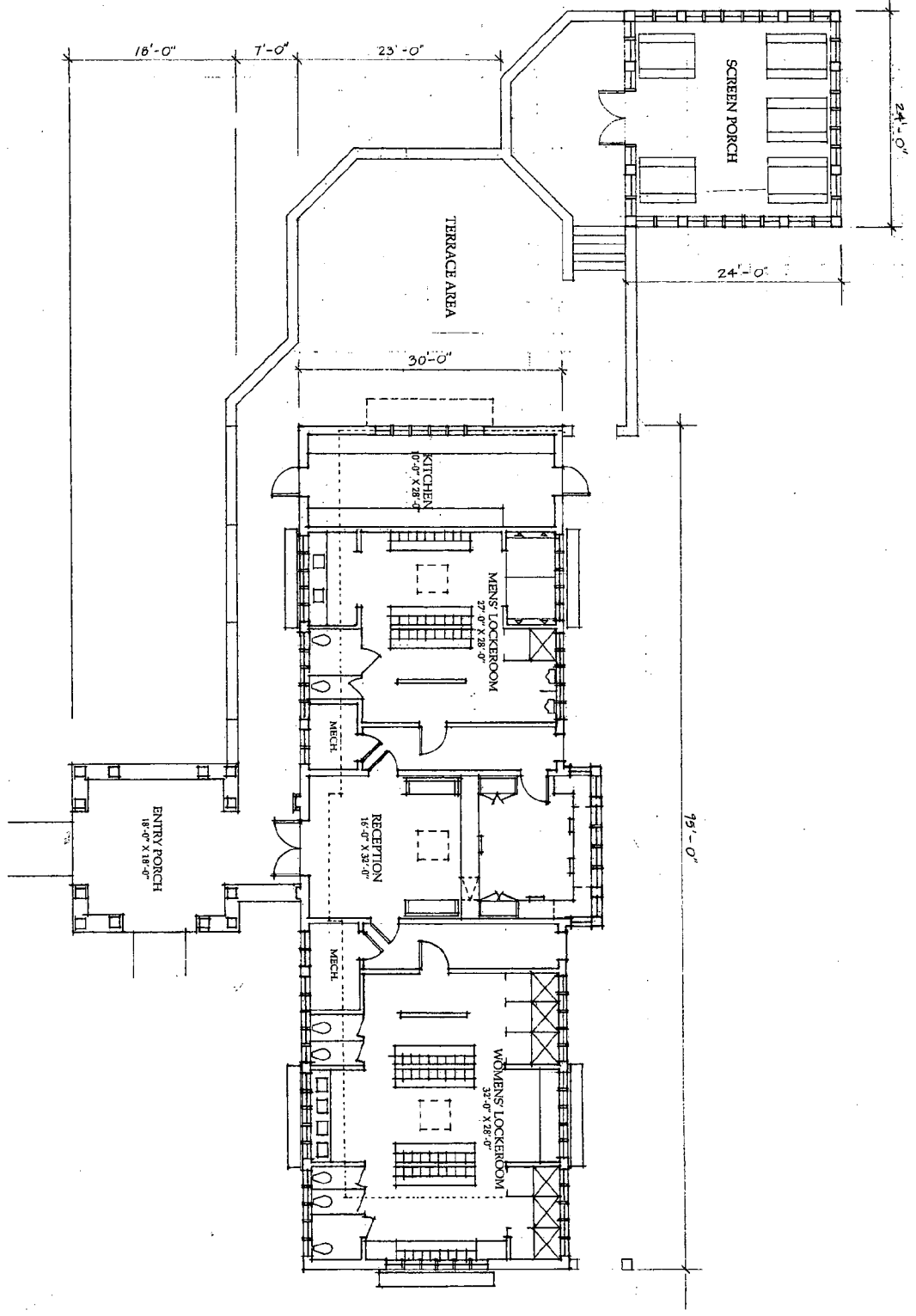
SHEET TITLE
DETAILED SITE PLAN

SHEET
C-103
SHEET 3 OF 10

12

1 PLAN
SCALE: 1/8" = 1'-0"

..... INDICATES FOOTPRINT OF EXISTING BUILDING.



7/16/08
A-1

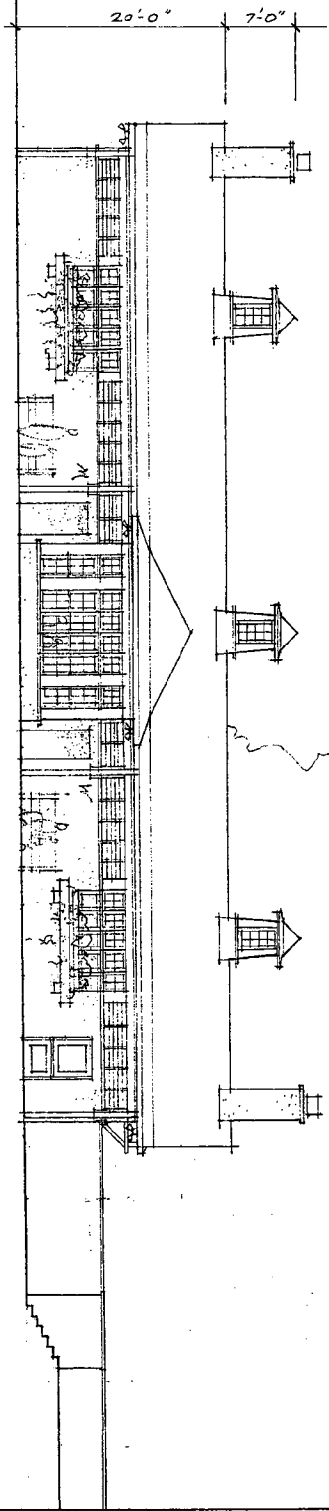
PLAN
SCALE: 1/8" = 1'-0"

CHEVY CHASE
RECREATION ASSOCIATION
8922 SPRING VALLEY RD CHEVY CHASE, MARYLAND

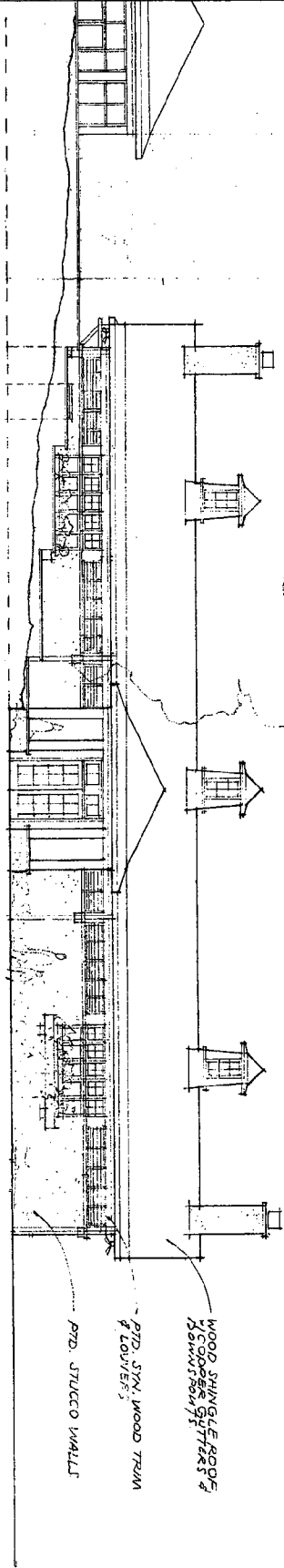
MUSE ARCHITECTS
7401 Wisconsin Avenue
Bethesda, MD 20814
Phone 301.718.8118
Facsimile 301.718.8112

23

1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

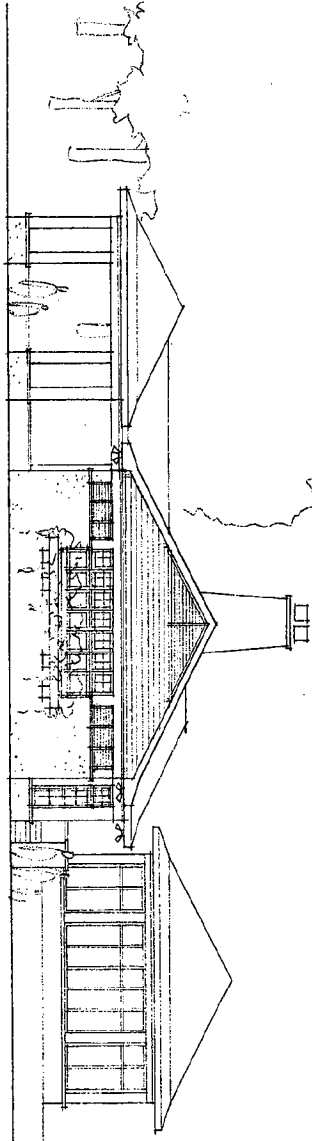


WOOD SHINGLE ROOF
DOWNWARD SLOPERS
PTD. STN. WOOD TRIM
PTD. STUCCO WALLS

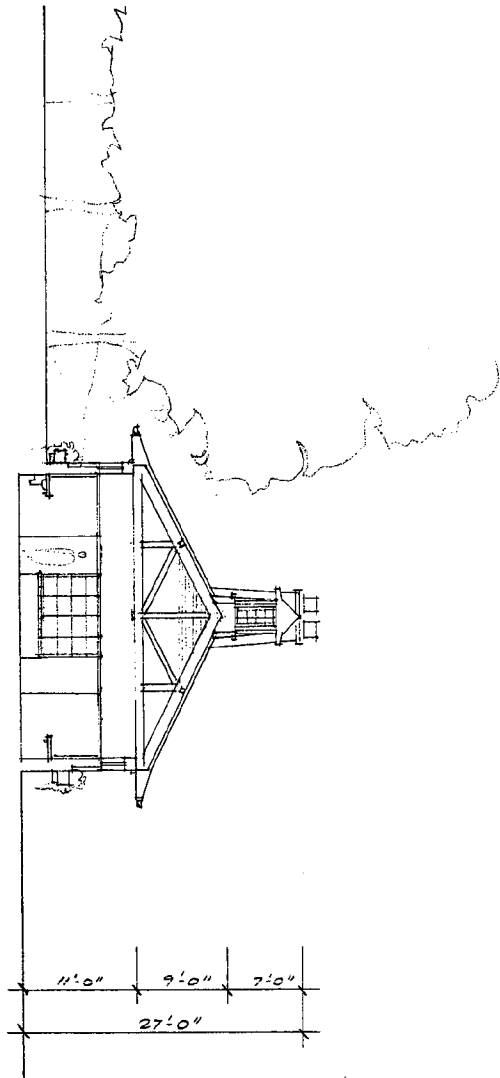
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h2

2 NORTH ELEVATION
A-3 SCALE: 1/8" = 1'-0"



1 SECTION
A-3 SCALE: 1/8" = 1'-0"



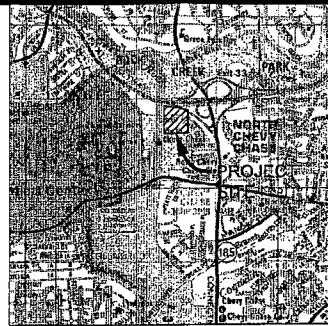
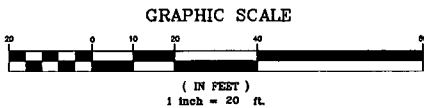
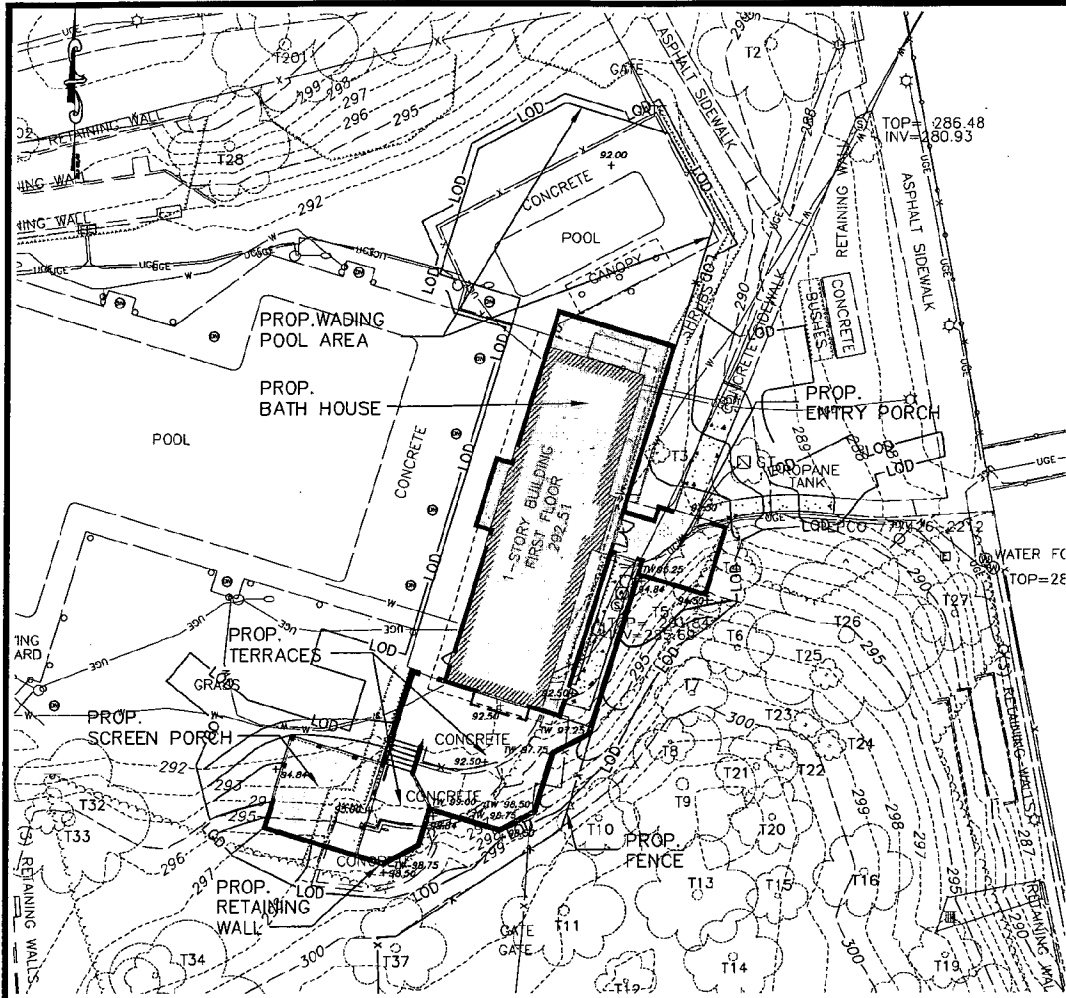
7/16-00

A-3

ELEVATION-SECTION
SCALE: 1/8" = 1'-0"

CHEVY CHASE RECREATION ASSOCIATION
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MUSE ARCHITECTS
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Phone 301.718.8113 Facsimile 301.718.8112



VICINITY MAP
SCALE: 1" = 2000' MAP COURTESY MGRD G10

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LEGEND

EXISTING	NEW
FH	SHRUB
CC&G	HYDRANT
UP	GUY
UP	GAS VALVE
UP	LIGHT POLE
UP	GAS MARKER
UP	UTILITY POLE
UP	SIGN
UP	TRAFFIC SIGNAL
UP	TREE
UP	CONC CURB & GUTTER
UP	CURB INLET
SMH	SANITARY MANHOLE
S	SANITARY LINE
W	BUILDING LINE
W	WATER LINE
SD	STORM DRAIN LINE
WV	WATER VALVE
407.44	SPOT ELEVATION
OHE	OVERHEAD ELECTRIC LINE
430	GAS LINE
432	INDEX CONTOUR
	INTERMEDIATE CONTOUR
	LIMIT OF DISTURBANCE
	STORM DRAIN MANHOLE
	STORM DRAIN INLET

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OWNER
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8922 SPRING VALLEY ROAD
CHEVY CHASE, MD

PROJECT TITLE
CHEVY CHASE RECREATION ASSOCIATION BATHHOUSE IMPROVEMENTS
CHEVY CHASE, MD

REVISIONS

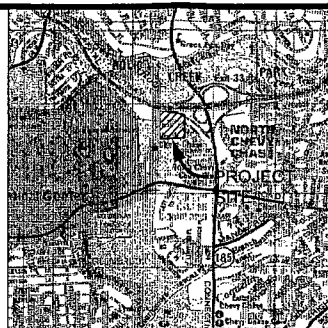
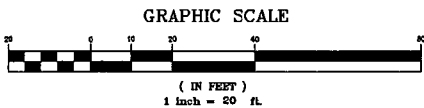
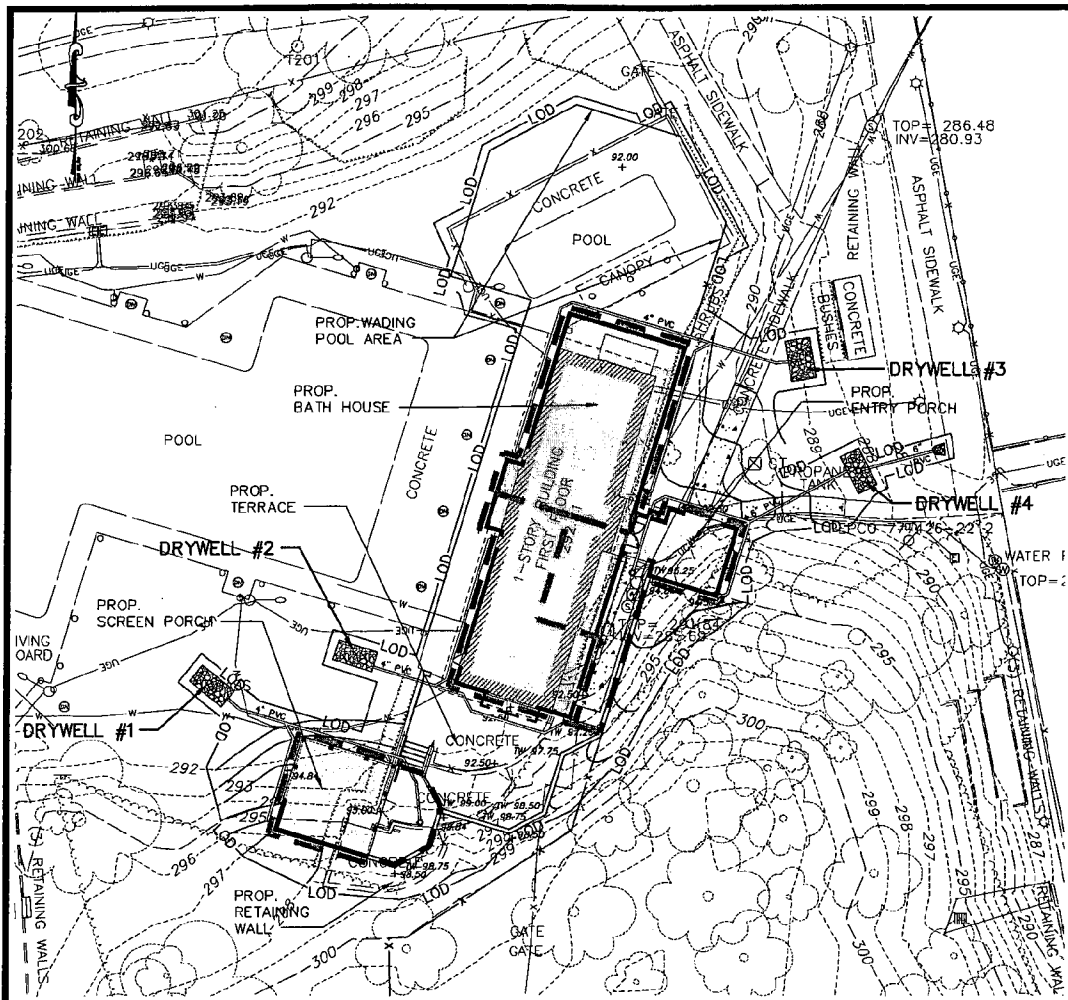
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DATE: SEPTEMBER 20, 2008
SCALE: 1" = 20'
DESIGNED BY: AES
DRAWN BY: AES
CHECKED BY: GJO

SUBMISSION
SHEET TITLE
GRADING PLAN

SHEET
C-104
SHEET 4 OF 10

25



VICINITY MAP
SCALE: 1" = 2000' MAP 5285 / GRID G10

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LEGEND

EXISTING	NEW
SHRUB	SHRUB
HYDRANT	HYDRANT
GUY	GUY
GAS VALVE	GAS VALVE
LIGHT POLE	LIGHT POLE
GAS MARKER	GAS MARKER
UTILITY POLE	UTILITY POLE
SIGN	SIGN
TRAFFIC SIGNAL	TRAFFIC SIGNAL
TREE	TREE
CONC CURB & GUTTER	CONC CURB & GUTTER
CURB INLET	CURB INLET
SMH	SANITARY MANHOLE
SANITARY LINE	SANITARY LINE
BUILDING LINE	BUILDING LINE
WATER LINE	WATER LINE
STORM DRAIN LINE	STORM DRAIN LINE
WATER VALVE	WATER VALVE
SPOT ELEVATION	SPOT ELEVATION
OVERHEAD ELECTRIC LINE	OVERHEAD ELECTRIC LINE
GAS LINE	GAS LINE
INDEX CONTOUR	INDEX CONTOUR
INTERMEDIATE CONTOUR	INTERMEDIATE CONTOUR
STORM DRAIN MANHOLE	STORM DRAIN MANHOLE
STORM DRAIN INLET	STORM DRAIN INLET
DRAINAGE DIVIDE	DRAINAGE DIVIDE

DRYWELL DATA

DRYWELL	DRAINAGE AREA	WQV	SIZE	VOLUME PROVIDED
1	925 S.F.	72 C.F.	10' X 5' X 5' DEEP	100 C.F.
2	1168 S.F.	93 C.F.	10' X 5' X 5' DEEP	100 C.F.
3	1585 S.F.	124 C.F.	10' X 6' X 6' DEEP	144 C.F.
4	1163 S.F.	93 C.F.	10' X 5' X 5' DEEP	100 C.F.

NOTE: DRYWELL VOLUME BASED ON STONE POPOISITY OF 0.40.

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EMAIL: AMT@AMTENGINEERING.COM

OWNER
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8922 SPRING VALLEY ROAD
CHEVY CHASE, MD

PROJECT TITLE
CHEVY CHASE RECREATION ASSOCIATION BATHHOUSE IMPROVEMENTS
CHEVY CHASE, MD

REVISIONS

MARK	DATE	DESCRIPTION

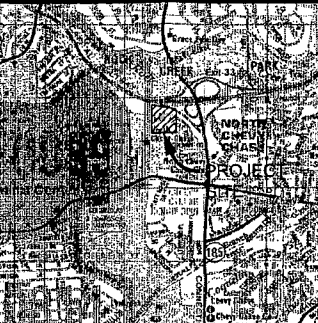
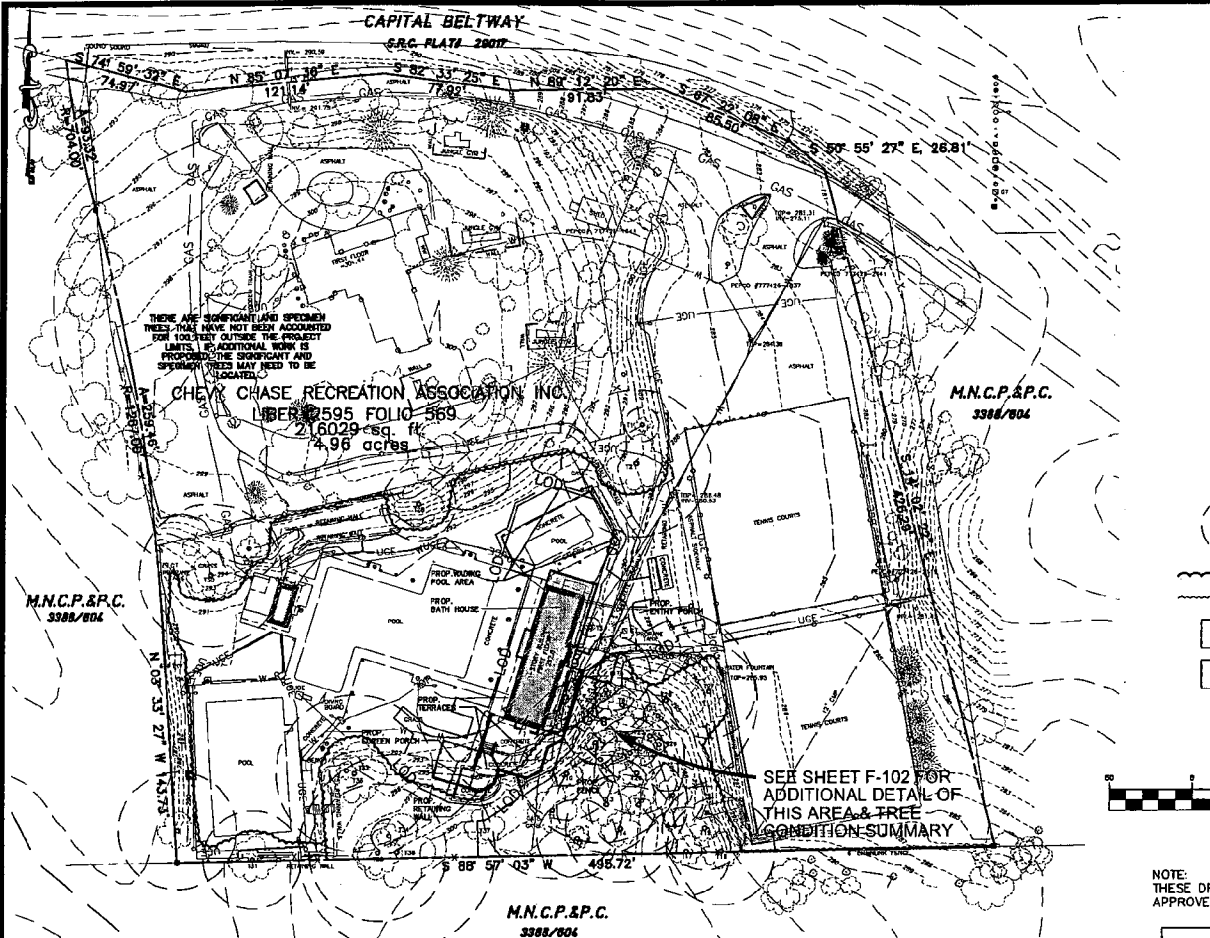
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DATE: SEPTEMBER 29, 2008
SCALE: 1" = 20'
DESIGNED BY: AES
DRAWN BY: AES
CHECKED BY: GJO

SUBMISSION

SHEET TITLE
SWM CONCEPT PLAN

SHEET
C-105

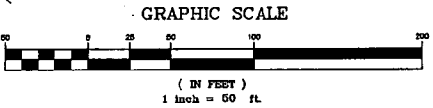
26



VICINITY MAP
SCALE: 1" = 2000' MAP 5285 / GRID G10

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- LEGEND**
- EXISTING TREE (NUMBER)
 - CRITICAL ROOT ZONE
 - EDGE OF CANOPY
 - SHRUB
 - EXISTING WOODLAND CANOPY
 - EXISTING TREE CANOPY



NOTE:
THESE DRAWINGS ARE AN AMENDMENT TO A PREVIOUSLY APPROVED FOREST CONSERVATION PLAN #CBA-1716-A.

THIS PLAN IS FOR TREE PROTECTION/
FOREST CONSERVATION PLAN PURPOSES ONLY



TREE ASSESSMENT AND TREE SAVE RECOMMENDATIONS PREPARED UNDER MY SUPERVISION

ANDREW E. STREEAGLE
ISA CERTIFIED ARBORIST #MA-4826A

CERTIFICATION

I CERTIFY THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, AND THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND IN COMPLIANCE WITH THE FOREST CONSERVATION LAW REQUIREMENTS.

GREGORY J. OSBAND
LICENSE NUMBER MD RLA #721

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CHEVY CHASE RECREATION ASSOCIATION
8622 SPRING VALLEY ROAD
CHEVY CHASE, MD

PROJECT TITLE
CHEVY CHASE RECREATION ASSOCIATION
BATHHOUSE IMPROVEMENTS
CHEVY CHASE, MD

REVISIONS		
MARK	DATE	DESCRIPTION

AMT FILE NO.	105-270.001
DATE:	SEPTEMBER 29, 2008
SCALE:	1" = 50'
DESIGNED BY:	AES
DRAWN BY:	AES
CHECKED BY:	GJO

SUBMISSION

SHEET TITLE
AMENDED FCP / TREE SAVE PLAN

SHEET
F-101

SHEET 7 OF 10

Narrative Summary

Site Context and Surroundings
This private estate and tennis club is located on 4.96 acres of land at the end of Spring Valley Road. The road terminates at the Montgomery Altus historic structure known as "In the Woods" and an adjacent parking lot. The former residence, currently being used for a day care center, is situated on the top of the land behind and above the existing pool and tennis courts. The pool and tennis courts are reached by lumbing into a parking lot on the south side of Spring Valley Road approximately three hundred feet before the historic building. The site is surrounded by MNCPPC park land to the east, south and west and by the Capital Beltway to the north. There are noise barriers between the highway and the site. Within the parkland there are multiple athletic fields southeast of the club.

A tennis court surrounded by woods is located to the south. The park land provides a wooded buffer between the club and adjacent land uses. The buffer is 75 feet wide or more at the athletic fields and over 225 feet wide between the club and the closest residences to the south. The latter woods are on a local that partially or completely obstructs the view from these houses. There is not enough of a local to directly block the view from the houses to the southwest, leaving the forest as the only visual buffer. These houses are more than 800 feet from the club.

This FCP has been prepared as part of an application for modification to a special exception. The special exception was initially granted in 1959 and has been modified several times in the ensuing years to allow such uses as additional tennis courts, lighting, parking, pools, snack bar and cabana. The proposed modification would allow the club to replace its existing bathhouse which serves as the primary entrance to the pool and provides restrooms, changing areas, flaggers' rooms and storage. The club wishes at the same time to replace its existing pump house with a new structure that complements the bathhouse. No change in type or intensity of use for the property is proposed. The bathhouse will be in the same location as the structures they will replace. Large area lighting will not change. The bathhouse will have a conventional large footprint and sections of the adjacent pool deck and lobby pool may be rebuilt. The multi-level pool on the south side of the both houses will also be modified. It is on this side of the both houses where we expect the most impact. We will need to cut into the steep slope to the southeast which abuts the bathhouse and pool. Retaining walls and landscaping techniques will be employed to limit the area of disturbance, maintain slope stability and protect drainage basins.

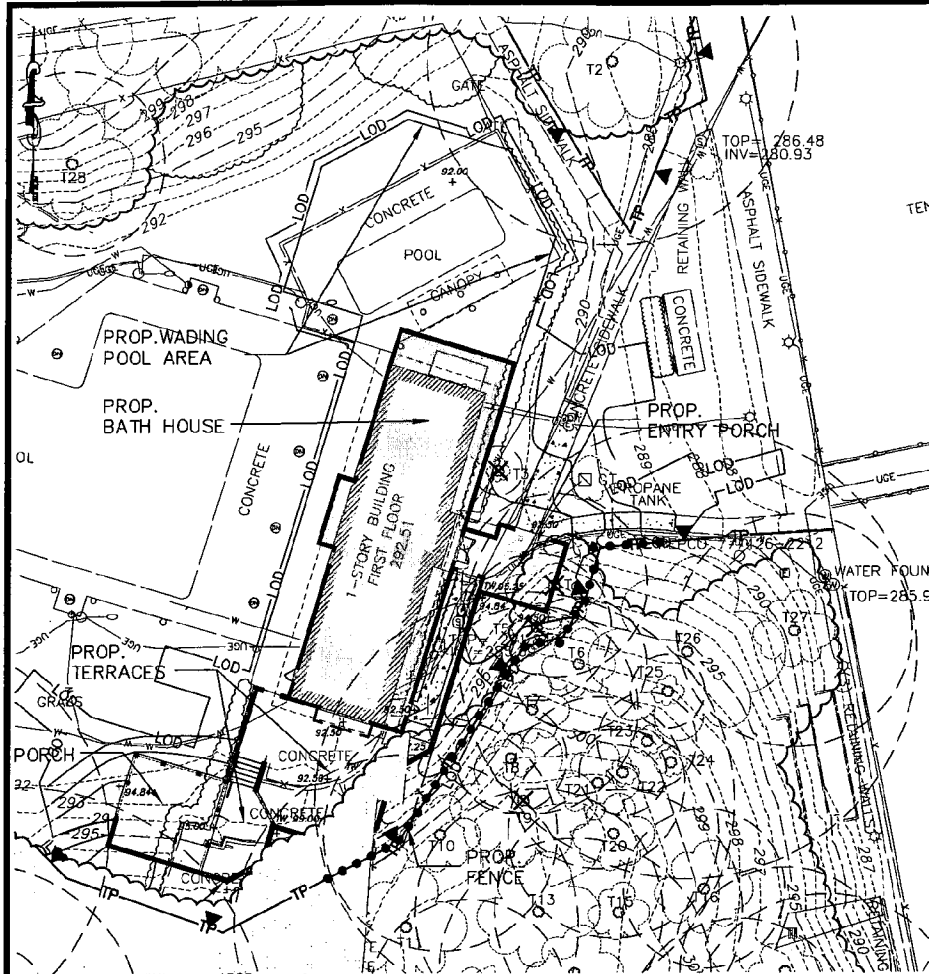
Environmental Features
For purposes of the special exception review only the fence-enclosed pool area and wooded area between the pool and tennis courts were inventoried. All trees > 4" dbh within this area were identified. Closer to the bathhouse / proposed area of disturbance trees > 6" were identified. They are shown on the plan with size, species and overall condition shown on the accompanying chart. As a condition of a previous special exception the entire parcel is subject to a Category I Conservation Covenant. The covenant approves the removal of any tree greater than 8 inches dbh or 30 feet in height. With respect to the entire parcel it is notable that the historic designation is due to the former resident, Mr. David Fairchild. A founder of the USDA Office of Foreign Seed and Plant Introduction (for agricultural production) and an instrumental figure in bringing the Flowering Cherry trees to the tidal basin, he planted the original 34 acre estate with naturalistic gardens. The Montgomery Aldus notes, "The present 2-acre property contains an outstanding collection of exotic plant species unique to the metropolitan area and the State of Maryland. Some of the larger trees in the vicinity of the bathhouse survive from this period. Some are in relatively good health, while others are in decline, succumbing to age and disease. Most of the remaining exotic species are closer to the house. Only one tree, pine, could not be identified and would be exotic. It is not within the area to be disturbed."

Waterways, Soil Descriptions, Forested Areas
The site lies within the Lower Rock Creek watershed, US 1 - Water Contact Recreation. The site are of only one series, described as follows:
20 - Gwag wet loam, 8 to 15 percent slopes; Family Fine-loamy, mixed, mesic Typic Hapludals. This moderately fine-textured soil is very deep, self drained and moderately permeable. It is on side slopes in the splanche. Slopes generally are smooth, but a few are dissected by small drainage. Areas range from 10 to 100 square ft. size. Available water capacity is high. Productivity is high. Erosion hazard is moderate.

The areas immediately adjacent to the pools and to their north and east are either concrete deck or consist of mowed lawn with pockets of trees, shrubs or hedges. There are stands of woods to the north, between the house and the pool area and to the west, on M-CPPC land between the property fields and the east. To the south of the pool area is a small wooded area within the property. There are many species maple and a few Tataria mansueta in the understory, and the herbaceous layer consists mostly of English ivy with some Elymus. The adjacent parkland is entirely wooded, with a minimum width of 225 feet. Southeast of the bathhouse is a small steep incline, created when the pool area was graded. At the top of this incline and to the east between the bathhouse and the tennis courts is a stand of large tree ferns in continuous wooded canopy. The understory is undisturbed and cleared of understory trees and shrubs. Some large beds of English ivy and other areas of thin grasses and forbs that receive regular mowing are the only other vegetative features within this stand.

As mentioned above, some of these large trees are in relatively good health, while others have rot and disease or are overtopped and in general decline. Closer to the steep slope there are several Carolina Horsehoes (Scaevola taccada), none of which are in very good condition. Tree #1, a large, old Dogwood has extensive rot and dead wood. Tree #11 is a very large and old Yoshino Cherry that, although not in imminent danger, is also close to the end of its life. A small fraction of its root zone could be affected by grading for the new bathhouse. Tree #2, a 34" Oak, should be removed. It has several areas of heart rot around its base and already poses a significant hazard. Even a moderate amount of work in the steep area below would make removal at that time if not earlier highly recommended. No other trees larger than 8" dbh will need to be removed. Before construction commences the trees should be further evaluated, and pruning or removal consistent with best arboricultural standards and practices should be carried out. None of this work should adversely affect the remaining trees. In many cases the opposite will be the case, promoting the vigor of individual trees and of the overall stand.

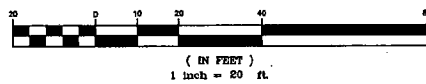
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LEGEND

- EXISTING TREE (NUMBER-TRUNK DIAMETER)
- CRITICAL ROOT ZONE
- EDGE OF CANOPY
- SHRUB
- TREE TO BE REMOVED
- TREE PROTECTION FENCE
- LIMIT OF DISTURBANCE
- TREE PROTECTION SIGNAGE
- ROOT PRUNING
- EXISTING WOODLAND CANOPY
- EXISTING TREE CANOPY

GRAPHIC SCALE



CERTIFICATION

I CERTIFY THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND AND THAT THESE DOCUMENTS WERE PREPARED UNDER MY SUPERVISION AND IN COMPLIANCE WITH THE FOREST CONSERVATION LAW REQUIREMENTS.

GREGORY J. OSBAND
LICENSE NUMBER MD_RLA #721

Tree Condition Summary

Tree #	Species	D.B.H. (Inches)	Critical Root Zone (Sq. Ft.)	Tree Condition	Comments
1	Japanese Maple	Twin 6.7	346	AVERAGE	Base Rot
2	Japanese Maple	30	6362	AVERAGE	Unhealed branch wounds and minor deadwood
3	River Birch	MAJ 14.4	153	GOOD	
4	Carolina Hemlock	Twin 10.14	1580	AVERAGE	Branch major branch in canopy, minor deadwood
5	Carolina Hemlock	12	1018	GOOD/AVG	Second trunk in decay and needs to be removed
6	Dogwood	Twin 11.11	2827	GOOD	Age, base and branch rot, major deadwood
7	Carolina Hemlock	17	3043	AVERAGE	Major deadwood
8	Carolina Hemlock	Twin 11.8	107	POOR	Major deadwood, very little canopy
9	English Oak	34	8171	POOR	Major deadwood, rot at base in multiple locations
10	Carolina Hemlock	19	3421	AVG./POOR	Several large vertical fissures with disease
11	Yoshino Cherry	28	3542	AVERAGE	age, crotch has high rot potential
12	Sweet Gum	10	1810	AVERAGE	moderate deadwood, suckers on trunk indicating stress
13	Carolina Hemlock	Twin 14.20	2827	AVERAGE	diagonal stresses at crotch
14	Yucca	22	3421	AVERAGE	Heart rot
15	Kawazeni Cherry	20	2827	AVERAGE	Some rot at crotch and branch cavities
16	Roadside	Twin 13.12	1105	AVERAGE	Age, rot in both main trunks
17	Tulip Poplar	18	2200	GOOD	
18	Tulip Poplar	22	3421	GOOD	
19	Yoshino Cherry	17	2043	POOR	dying
20	Carolina Hemlock	17	2043	POOR	dying
21	Carolina Hemlock	Twin 14.8	1345	GOOD/AVG.	
22	American Holly	7	346	GOOD	
23	Dogwood	8	452	GOOD	
24	Japanese Maple	Twin 5.5	177	GOOD	
25	Sassafras	4	264	GOOD	
26	Weeping Yoshino Cherry	57	9877	GOOD	
27	Norway Maple (Common)	19	2557	GOOD/AVG.	Minor deadwood
28	Yoshino Cherry	MAJ 15.12, 12.0	1590	GOOD	aged
29	Dogwood	Twin 12.7	1018	POOR	
30	White Oak	29	5945	GOOD/AVG.	Minor deadwood
31	Moccasin Hickory	20	2827	GOOD	
32	Yoshino Cherry	10	783	GOOD	
33	Yoshino Cherry	32	7238	AVG./POOR	Rct in crotch, suckers indicating stress
34	Japanese Maple	Twin 7.3	348	GOOD	
35	Tulip Poplar	28	5542	AVERAGE	
36	Tulip Poplar	48	11340	AVERAGE	
37	Yoshino Cherry-REMOVED	N/A	N/A	N/A	This tree has been removed

(Bold Type Denotes Specimen Trees)
(Italics Denotes Trees to be Removed)

TREE IDENTIFICATION, CONDITIONS AND RETENTION POTENTIAL:

NOTE 1:
TREE SPECIES NAMED REPRESENT THE PROFESSIONAL JUDGMENT OF THE PREPARER OR DETERMINATION BY THE MONTGOMERY COUNTY FORESTERS. THERE ARE A VARIETY OF REASONS IDENTIFICATION CAN BE INCONCLUSIVE. WRITER IDENTIFICATION IS LESS RELIABLE THAN DURING THE GROWING SEASON. PROPER IDENTIFICATION CAN ONLY BE MADE ON THE BASIS OF FLOWERING PARTS, WHICH ARE OFTEN ABSENT. WHILE THE NAMED GENERA ARE FULLY TO BE RELIABLE, SOME SPECIES AND HYBRIDS ARE LESS CERTAIN. ONE EXAMPLE IS THE DISTINCTION BETWEEN OUTDOOR SPECIES, G. BURRA, G. BOREALIS, G. PALMATA AND G. PALMATA ARE ALL CLASSIFIED AS "TREE OAK", AND THEY ARE NOTABLE FOR FREELY HYBRIDIZING. EVEN EXAMINATION OF FLORAL PARTS IS OFTEN INCONCLUSIVE. THE GENERA MALUS AND CRATAEGUS POSE A SIMILAR CHALLENGE.

NOTE 2:
NO WARRANTY, EXPRESSED OR IMPLIED, CAN BE MADE WITH RESPECT TO TREE SAFETY, FITNESS OR SURVIVAL. THE COMMENTARY ABOUT INDIVIDUAL TREES NOTES SOME ACTUAL OR POTENTIAL DEFECTS TO BE CONSIDERED. HOWEVER, HIDDEN FACTORS AND UNFORSEEABLE EVENTS MAY BE NIGHT SHOWN. WHILE SOME OF THE POTENTIAL PROBLEMS NOTED MAY NOT, THE PROPOSED DISTURBANCES WILL HAVE SOME ADVERSE IMPACT UPON THE REMAINING TREES. OTHER STRESSES SUCH AS DISEASE, WIND, SANDSTORM, AIR POLLUTION, REFLECTED HEAT AND LIGHT, INSUFFICIENT OR EXCESS RAINFALL CAN COMBINE TO CAUSE ADDITIONAL DAMAGE OR DEATH TO A TREE. ANY UNRECOMMENDED ACTIONS ARE INTENDED TO PARTIALLY OFFSET FORESEEABLE DAMAGE. HOWEVER, TREES SHOULD BE MONITORED AND ADDITIONAL CORRECTIVE MEASURES OR REMOVAL MAY BE NECESSARY.

NOTE:
THESE DRAWINGS ARE AN AMENDMENT TO A PREVIOUSLY APPROVED FOREST CONSERVATION PLAN #CBA-1716-A.

THIS PLAN IS FOR TREE PROTECTION/ FOREST CONSERVATION PLAN PURPOSES ONLY



TREE ASSESSMENT AND TREE SAVE RECOMMENDATIONS PREPARED UNDER MY SUPERVISION

ANDREW E. STREACLE
ISA CERTIFIED ARBORIST #MA-4826A



OWNER
CHEVY CHASE RECREATION ASSOCIATION
8922 SPRING VALLEY ROAD
CHEVY CHASE, MD

PROJECT TITLE
CHEVY CHASE RECREATION ASSOCIATION
BATHHOUSE IMPROVEMENTS
CHEVY CHASE, MD

REVISIONS

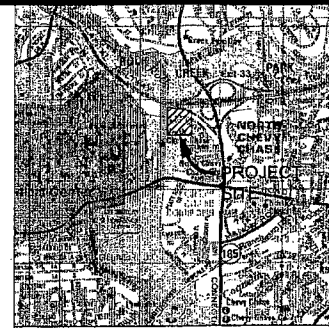
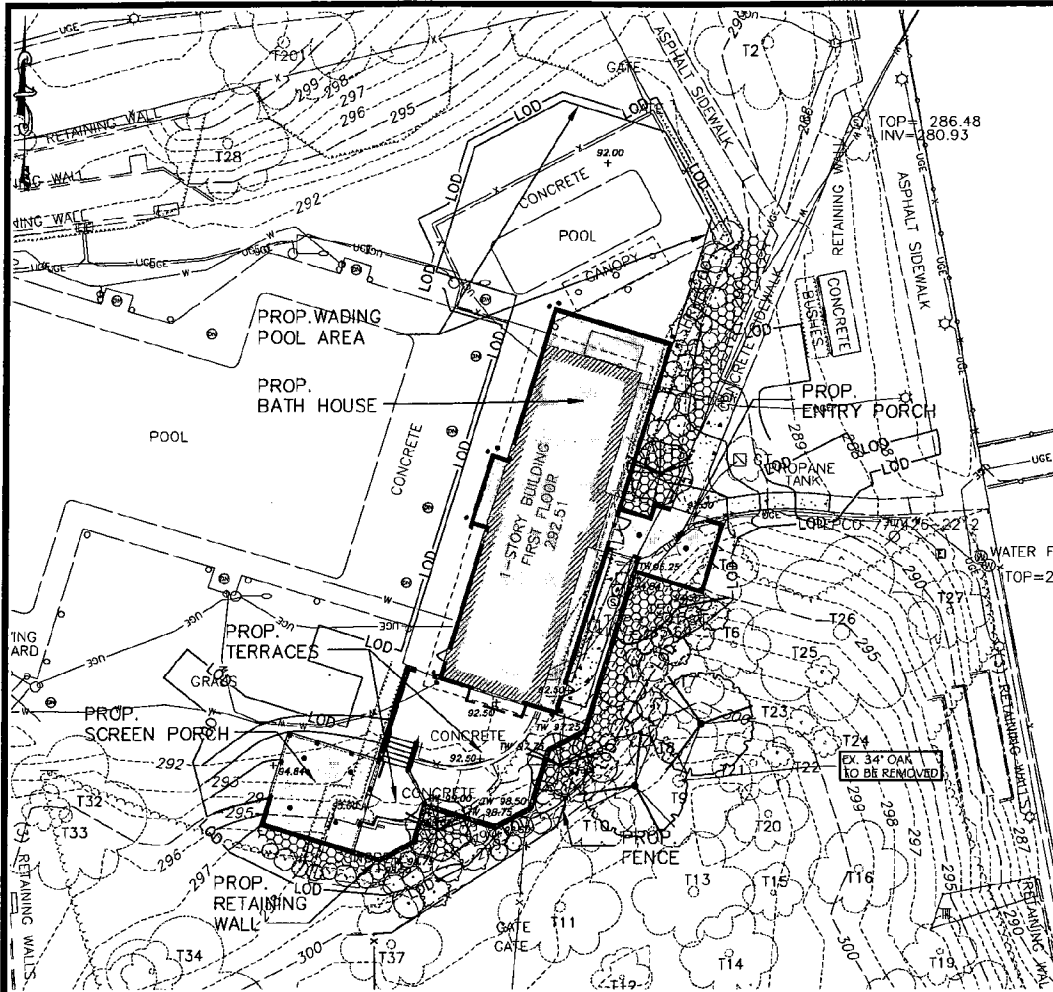
MARK	DATE	DESCRIPTION

AMT FILE NO. 105-270.001
DATE: SEPTEMBER 29, 2008
SCALE: 1" = 20'
DESIGNED BY: AES
DRAWN BY: AES
CHECKED BY: GJD

SUBMISSION
SHEET TITLE
DETAILED AMENDED FCP/ TREE SAVE PLAN

SHEET
F-102
SHEET 8 OF 10

62

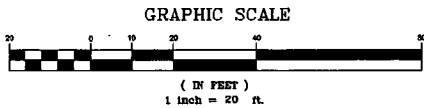


VICINITY MAP
SCALE: 1"=2000' MAP COURTESY ARRD G10

Copyright ADC The Map People
Permitted Use Number 20808170

LEGEND

- | EXISTING | NEW |
|----------|------------------------|
| FH ◊ | SHRUB |
| CC&G | HYDRANT |
| UP ◊ | GUY |
| UP ◊ | GAS VALVE |
| UP ◊ | LIGHT POLE |
| UP ◊ | GAS MARKER |
| UP ◊ | UTILITY POLE |
| UP ◊ | SIGN |
| UP ◊ | TRAFFIC SIGNAL |
| UP ◊ | TREE |
| UP ◊ | CONC CURB & GUTTER |
| CI (G) | CURB INLET |
| SMH ◊ | SANITARY MANHOLE |
| S | SANITARY LINE |
| --- | BUILDING LINE |
| --- | WATER LINE |
| --- | STORM DRAIN LINE |
| WV ◊ | WATER VALVE |
| 407.44 | SPOT ELEVATION |
| OHE | OVERHEAD ELECTRIC LINE |
| G | GAS LINE |
| --- | INDEX CONTOUR |
| --- | INTERMEDIATE CONTOUR |
| --- | LIMIT OF DISTURBANCE |
| ○ | STORM DRAIN MANHOLE |
| □ | STORM DRAIN INLET |



CERTIFICATION

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GREGORY J. OSBAND
LICENSE NUMBER MD_RLA #721

LUMINAIRE SCHEDULE

Symbol	Label	Qty	Catalog Number	Description	Lamp	Ft	Lumens	LLF	Watts
○	1	0		150PAR/PL/27 220/230V	IES_4003 hrs	130	0.81	150	
●	2	0		150PAR/PL/27 220/230V	IES_4003 hrs	130	0.81	300	

PLANT SCHEDULE

Symbol	Quantity
SHRUB TREES	2
ORNAMENTAL TREES	3
LARGE FRUITING	14
MEDIUM SHRUBS	19
SMALL SHRUBS	31
GROUND COVERS	1200 sq.ft.

A. MORTON THOMAS AND ASSOCIATES, INC.
CONSULTING ENGINEERS
12130 FIVEMILEBROOK PARKWAY ROCKVILLE, MD 20852
(301) 881-2545 FAX (301) 881-0314
EMAIL: AMT@AMTENGINEERING.COM

OWNER

CHEVY CHASE RECREATION ASSOCIATION
8922 SPRING VALLEY ROAD
CHEVY CHASE, MD

PROJECT TITLE

CHEVY CHASE RECREATION ASSOCIATION BATHHOUSE IMPROVEMENTS
CHEVY CHASE, MD

REVISIONS

MARK	DATE	DESCRIPTION

AMT FILE NO.	105-270.001
DATE:	SEPTEMBER 26, 2008
SCALE:	1" = 20'
DESIGNED BY:	AES
DRAWN BY:	AES
CHECKED BY:	GJO

SUBMISSION

SHEET TITLE

LANDSCAPE & LIGHTING PLAN

SHEET

L-101



I-495

Historic Resource

CCRA Property

Spring Valley Road

Existing bathhouse to be replaced

300' - Minimum distance between bathhouse and closest residence

M-NCPPC Property

Chevy Chase Recreation Association
8922 Spring Valley Road
Aerial Photograph

Chevy Chase Recreation Association
Property Photographs

Chevy Chase Recreation Association
Property Photographs

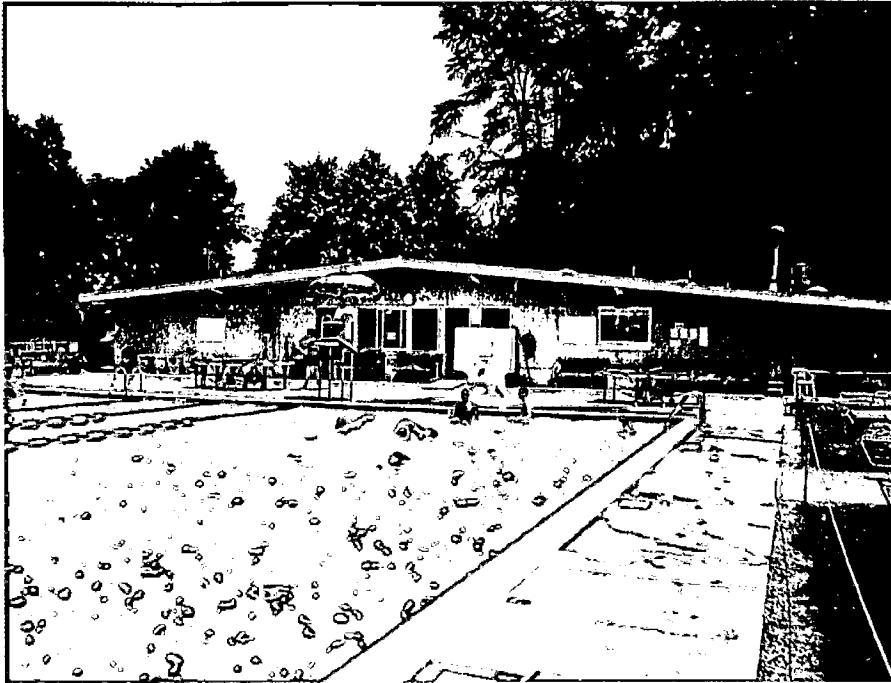


1. Eastern elevation of existing bathhouse to be replaced

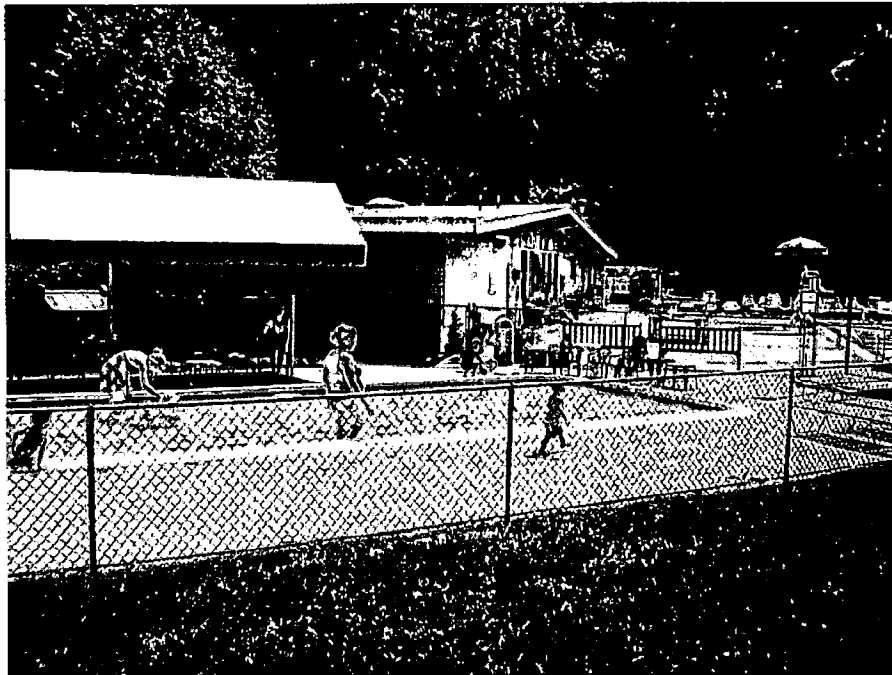


2. Southern elevation of existing bathhouse to be replaced

Chevy Chase Recreation Association
Property Photographs



3. Western elevation of existing bathhouse to be replaced

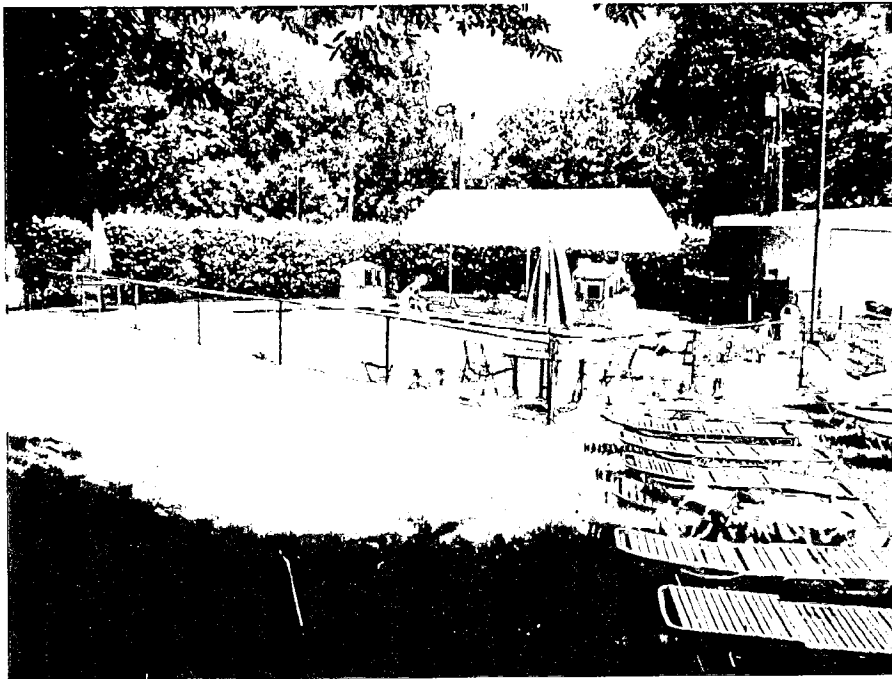


4. Northern elevation of existing bathhouse to be replaced

Chevy Chase Recreation Association
Property Photographs

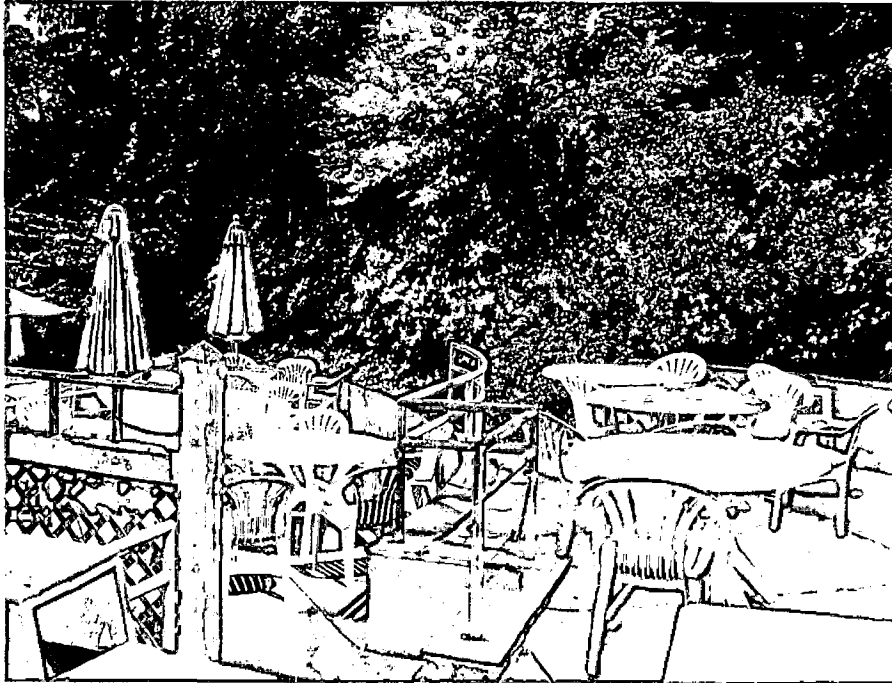


5. Existing concrete patios to be replaced with terraces and screen porch



6. Existing baby pool to be replaced with wading pool area

Chevy Chase Recreation Association
Property Photographs



7. View from existing concrete patios facing southeast (closest residences are on other side of M-NCPPC property, a minimum of 300 feet away from proposed bathhouse)



8. General view from property facing southeast

Chevy Chase Recreation Association
Property Photographs



9. Northern elevation of Historic Resource (David Fairchild Estate)



10. Southern elevation of Historic Resource (David Fairchild Estate)

September 29, 2008

CCRA Board of Directors
P.O. Box 15295
Chevy Chase, MD 20825-5295
att: Virginia Caesar, President

Re: CCRA Pool Improvement Project

Dear Sirs:

The Chevy Chase Valley Citizen's Association (CCVCA) is submitting this letter in support of the Chevy Chase Recreational Association (CCRA) and their request for a Special Exception that would allow them to replace their existing bathhouse, infant pool and, snack area with new structures.

Our neighborhood directly abuts the CCRA property and we are directly affected by their actions. However, we have met with one of their directors, Mr. John Tschiderer, and feel comfortable that our concerns will be adequately addressed.

Specifically, we raised the following concerns (by category)

Water Supply

1. Affects of new plumbing lines on area water pressure.
2. Duration of any water shutoff due to construction.
3. Any impact on clean water due to construction and opening of existing line.

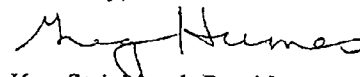
Construction

1. Construction traffic noise or violation of speed limits or turn restrictions.
2. Damage to roadway due to the need to excavate for water lines.
3. Road or lane closures necessitated by construction

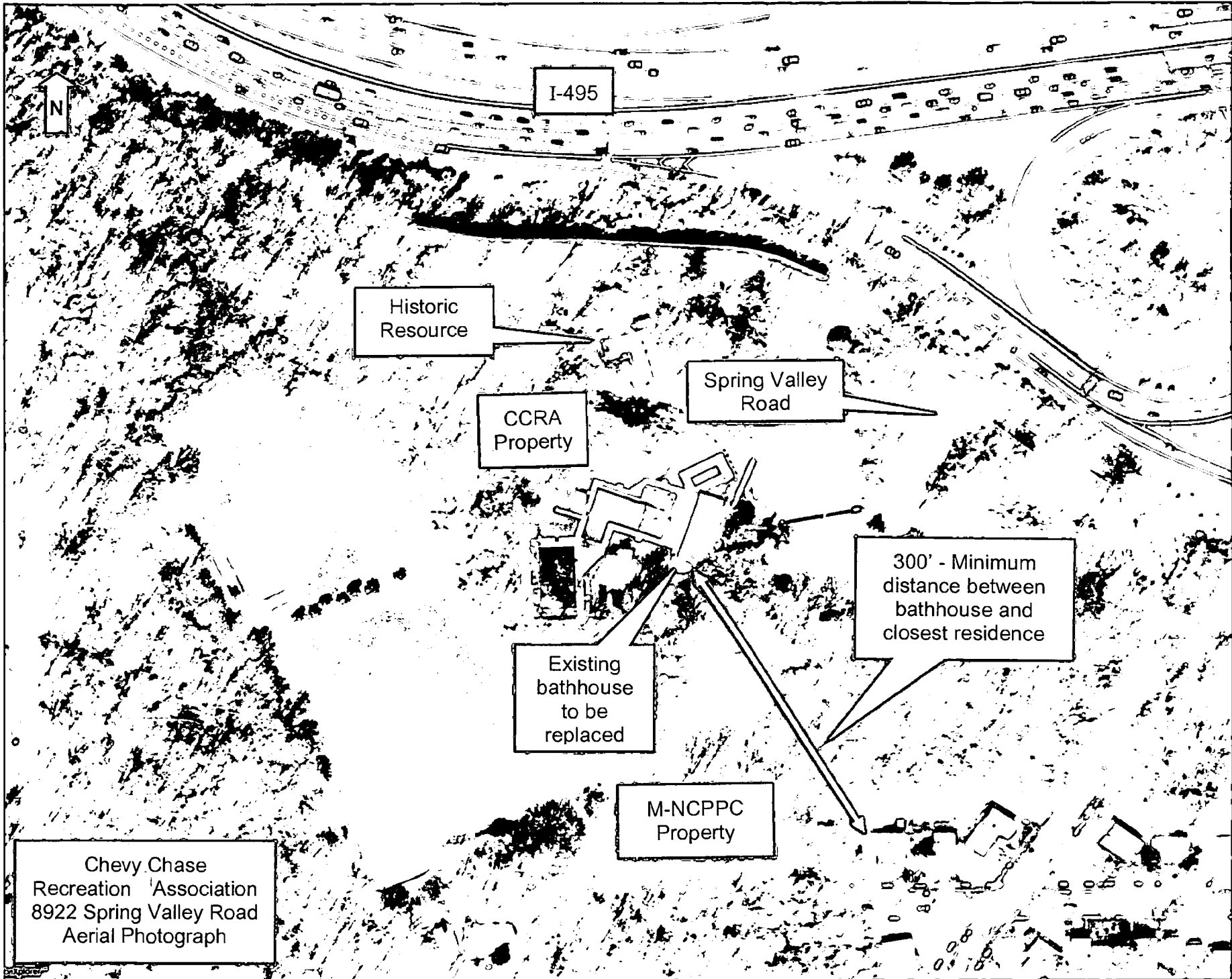
After meeting with the CCRA representative it is our understanding that water issues (Water Supply 1-3 above) will be regulated or overseen by the WSSC and must adhere to their strict guidelines. Construction concerns will be outlined clearly by CCRA to their contractor/subcontractors and guidelines will be clearly put in place. Also, a designated 'Hotline' number will be established by CCRA to address any of the above concerns or any unanticipated issues that may arise.

At this juncture in the permitting process we are satisfied that CCRA has every intention of being a 'good neighbor' during this construction process and we support their improvement plans for a new bathhouse and related facilities. We also applaud their efforts to build a well-designed and thoughtfully landscaped facility.

Sincerely,



Ken Strickland, President
Greg Humes, Vice President
Chevy Chase Valley Citizens Assoc.



I-495

N

Historic Resource

CCRA Property

Spring Valley Road

Existing bathhouse to be replaced

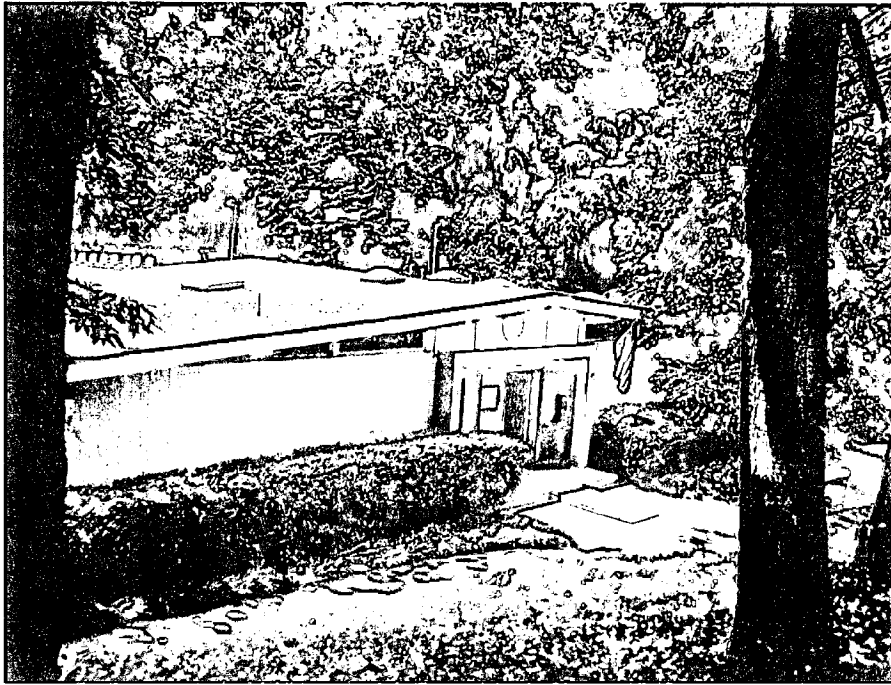
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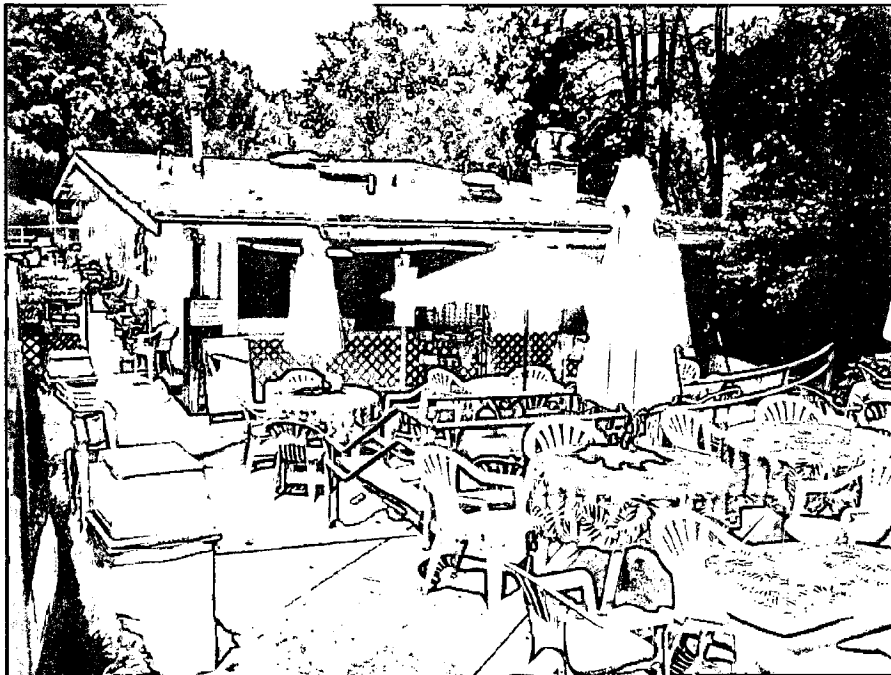
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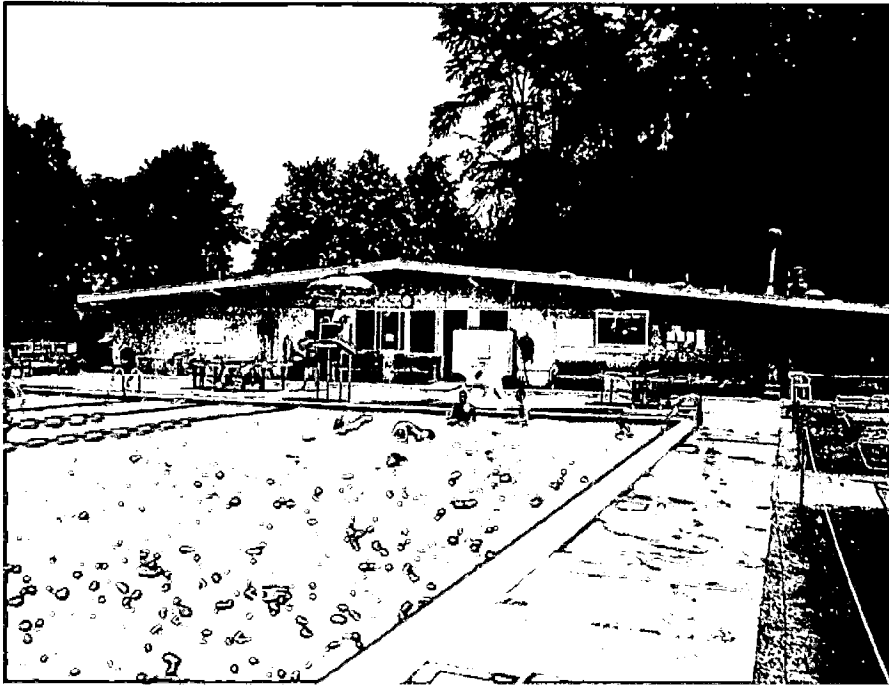


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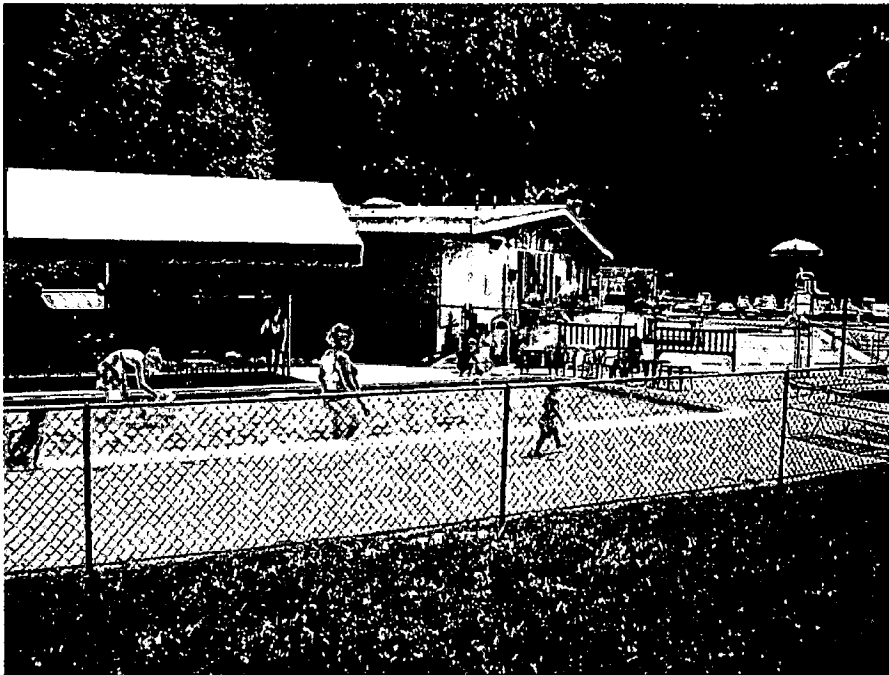


2. Southern elevation of existing bathhouse to be replaced

Chevy Chase Recreation Association
Property Photographs

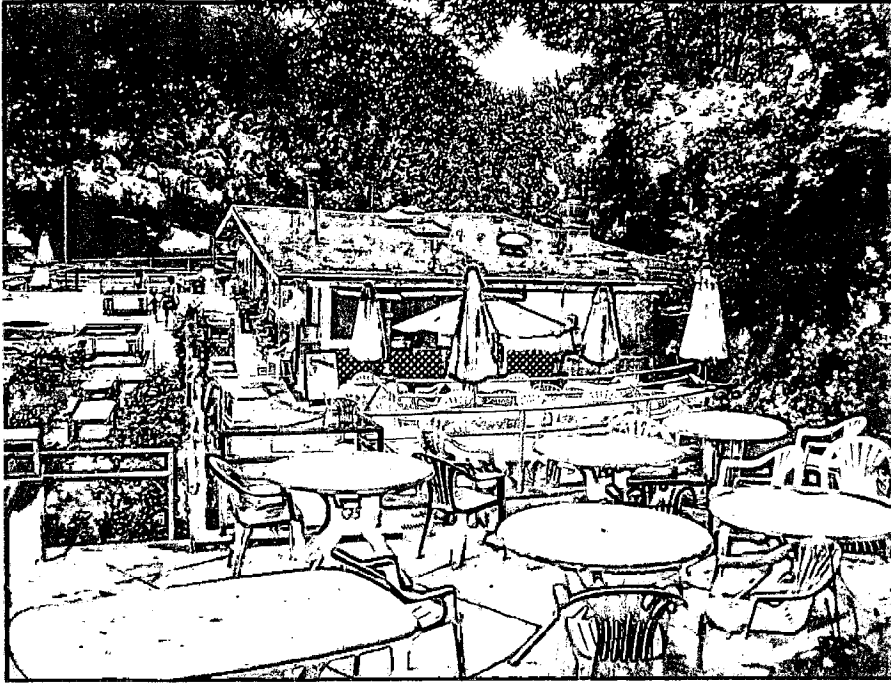


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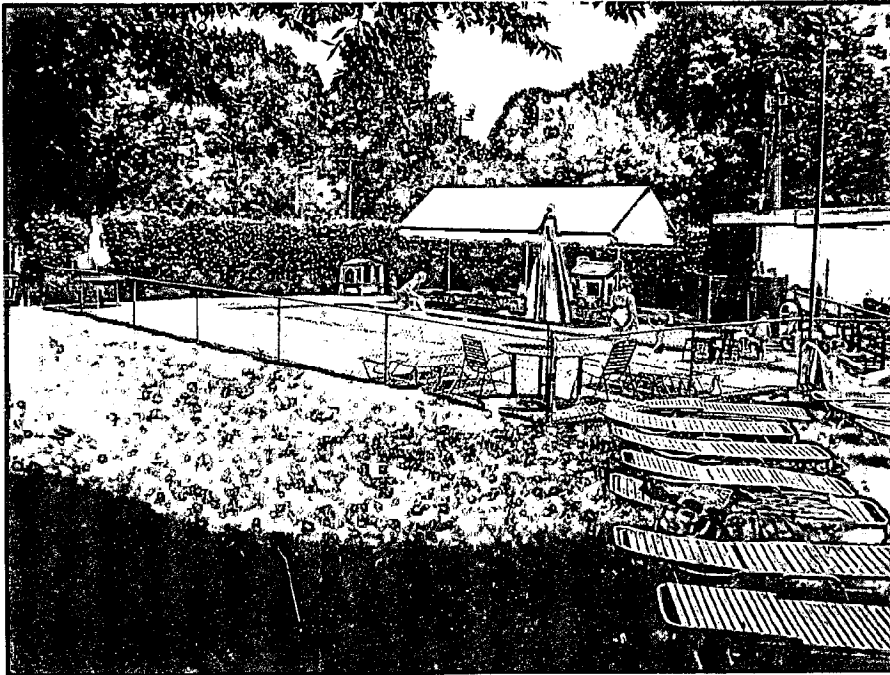


4. Northern elevation of existing bathhouse to be replaced

Chevy Chase Recreation Association
Property Photographs

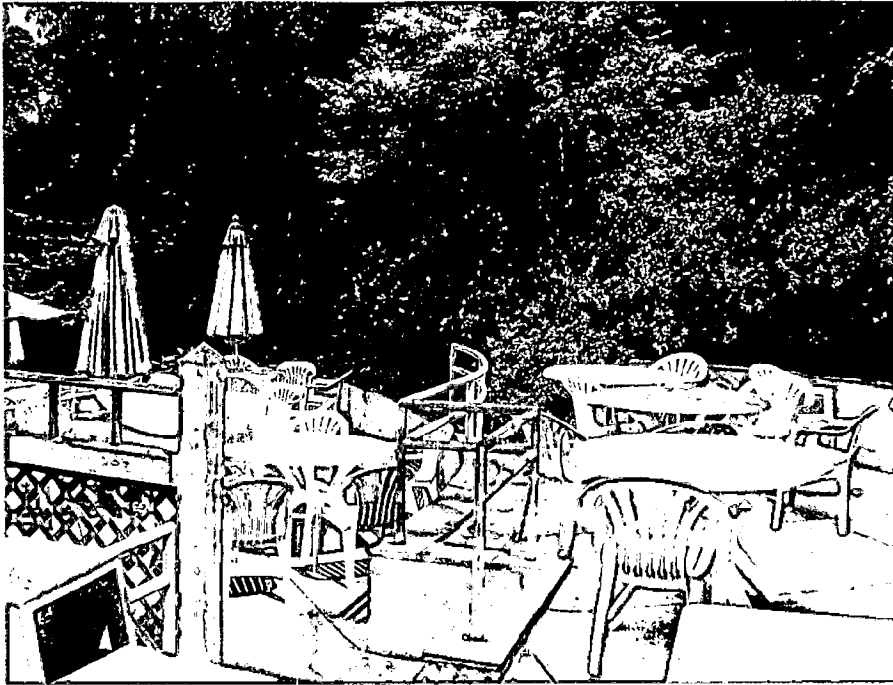


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