

HPC #35/43-03A 5504 Greentree Road
(Master Plan Site: Bethesda Comm.Store)

35/43-03A 5504 Greentree Road
MP Site: Bethesda Community Store

35/43-03A **Revised** 5504 Greentree Rd
Master Plan, **Bethesda Comm Store**



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: December 4, 2003

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit # 324517

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED based upon the revised drawings submitted at the HPC meeting reflecting a 29' high roofline. This approval is conditional upon a staff review and approval of a landscaping plan.**

**Please note: The HPC staff needs to review and stamp the construction drawings, if applicable, prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Greentree Associates (Holly Bernard, Architect)

Address: 5504 Greentree Road, Bethesda (Master Plan Site # 35/43 – Bethesda Community Store)

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

SQFT 2043
HOUSE + 375 GARAGE
LOT COVER

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

UNDER PREVIOUS APPLICATION
316322

Contact Person: HOLLY BERNARD

Daytime Phone No.: 301.654.1600

Tax Account No.: 07-00512757

Name of Property Owner: GREENTREE ASSOCIATES LLC Daytime Phone No.: GARY JAFFE
301.652.6366

Address: 8804 OLD GEORGETOWN RD, BETHESDA MD 20814
Street Number City Street Zip Code

Contractor: TBD Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: HOLLY BERNARD
LAWSON & ASSOCIATES, ARCHITECTS Daytime Phone No.: 301.654.1600
240.876.6952 cell

LOCATION OF BUILDING/PREMISE 8804 OLD GEORGETOWN RD.
House Number: 5504 (PROPOSED) Street: GREENTREE
Town/City: BETHESDA Nearest Cross Street: ROUTE 187
Lot: 27 Block: B-2 Subdivision: HUNTINGTON TERRACE
Liber: 19615 Folio: 25 Parcel: P961 - subdivided now into lots 27 & 28

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
- Move Install Wreck/Raze
- Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
- Solar Fireplace Woodburning Stove Single Family
- Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 150,000

1C. If this is a revision of a previously approved active permit, see Permit # 316322

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/OADITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Holly Bernard
Signature of owner or authorized agent

11/12/03
Date

Approved: X W/CONDITION For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: Julia O'Malley Date: 4/23/03

Application/Permit No.: 324517 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

BETHESDA COMMUNITY STORE PROPERTY SUBDIVIDED
INTO LOTS 27 & 28 FOR NEW HOUSE
STORE RECENTLY RENOVATED UNDER SEPARATE APPLICATION.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

1 1/2 STORY NEW HOUSE WITH SEPARATE GARAGE (1 STORY)
& 8' WIDE GRAVEL DRIVE. SUBDIVISION OF PROPERTY LEAVES
ADEQUATE PARKING AREA & TREES FOR HISTORIC SITE.
NEW HOUSE IS IN SCALE & CHARACTER W/ SURROUNDING HOUSES.
NO TREES > 6" DIA. ON HOUSE LOT.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

GREENTREE ASSOCIATES, LLC.

5504 GREENTREE RD.
BETHESDA, MD 20814



6520 Connecticut Avenue, Suite 240
Chevy Chase, Maryland 20815
1301 654 1600 1301 654 1601

DRAWING LIST

CS	COVER SHEET, LOCATION MAP & GENERAL NOTES
A1	CONSTRUCTION PLANS
A2	ELEVATIONS, SECTIONS AND DETAILS
A3	STRUCTURAL PLANS AND DETAILS
A4	MECHANICAL PLANS AND ELECTRICAL PLANS
L-1	LANDSCAPE PLAN

GENERAL NOTES

SPECIFICATIONS

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION.
- DO NOT SCALE DRAWINGS.
- ALL WORK SHALL BE IN ACCORDANCE WITH THE APPLICABLE CODES AND REGULATIONS OF MONTGOMERY COUNTY, MD.
- ANY AREAS DAMAGED AND/OR DISTURBED DURING CONSTRUCTION SHALL BE REPAIRED TO MATCH THE EXISTING ORIGINAL CONDITIONS.
- GENERAL CONTRACTOR SHALL MAINTAIN A SECURE CONSTRUCTION AREA TO PREVENT ACCESS BY UNAUTHORIZED PERSONS, AND MEET BUILDING SECURITY REQUIREMENTS.
- GENERAL CONTRACTOR IS TO SECURE ALL TRADE PERMITS AND INSPECTIONS REQUIRED BY MONTGOMERY COUNTY, MD.
- ALL CONSTRUCTION DEBRIS IS TO BE REMOVED DAILY.
- THE CONTRACTOR IS TO SCHEDULE WORK DURING THE HOURS APPROVED BY MONTGOMERY COUNTY, MD.
- CONTRACTOR TO NOTIFY ARCHITECT AND MECHANICAL ENGINEER IMMEDIATELY OF ANY CONFLICTS IN CONTRACT DOCUMENTS AND/OR SITE CONDITIONS.

PROJECT CLOSEOUT

CLEANING UP

THE ENTIRE AREA AND ALL ITS PARTS SHALL BE LEFT FREE OF DUST WITH SURFACES FREE FROM MARKS, DIRTY PAINT, PAINT SPILLS, OIL, GREASE, WASH AND/OR POLISH FLOORS (WAX AND BUFF) THOROUGHLY CLEAN HARDWARE, GLASS, FIXTURES, AND OTHER EXPOSED SURFACES.

PROCEDURE FOR SUBSTANTIAL COMPLETION

- WRITTEN NOTICE: WHEN THE CONTRACTOR CONSIDERS THE WORK SUBSTANTIALLY COMPLETE, HE SHALL SUBMIT TO THE ARCHITECT A WRITTEN NOTICE THAT THE WORK IN THE DESIGNATED PORTION IS SUBSTANTIALLY COMPLETE.
- PUNCHLIST: WITHIN A REASONABLE TIME AFTER THE RECEIPT OF SUCH NOTICE, THE CONTRACTOR, THE OWNER, AND THE ARCHITECT, ENGINEERS TENANTS SHALL GO THROUGH THE ENTIRE PROJECT, OR PORTION AS APPROPRIATE, AND LIST ANY INCOMPLETE OR UNSATISFACTORY ITEMS.

EROSION CONTROL NOTES:

- All sediment and erosion control methods shall be installed before the start of any excavation or construction as per Standards and Specifications for Soil Erosion and Sediment Control for Montgomery County, MD.
- All debris is to be removed from site.
- Any and/or silt fences shall be swept clean at all times during excavation and construction.
- All catch basins and drain areas shall be protected during excavation and construction.
- If any catch basins or drains become clogged as a result of excavation or construction the contractor shall be responsible for its cleaning.
- When sediment trap/basins have reached 67% capacity, cleanup of same is required.
- Any stockpiling, regardless of location, shall be stabilized and covered with plastic or canvas after its establishment and for the duration of the project.
- After rain or dews, there is the need for ground cover to prevent erosion and sediment runoff from occurring. Examples of ground cover include seed, sod, paving, biotidal or mulch.

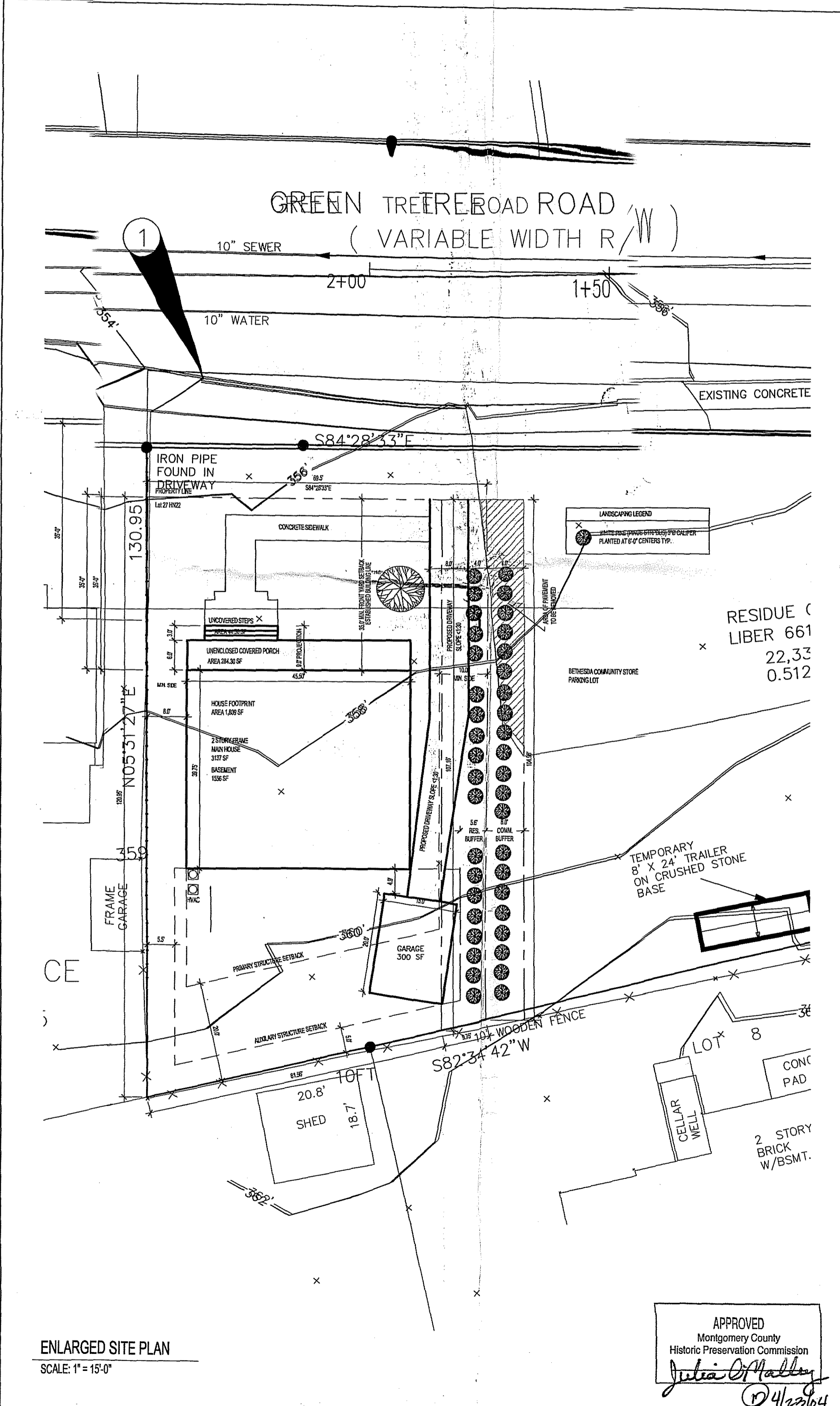
BUILDING DATA

FULLY SPRINKLERED BUILDING			
DEVELOPMENT STANDARDS	Required	Actual	
55C-1.322 (b) Minimum Lot Area	6000 SF	6812 SF	7851
55C-1.322 (b) Minimum Lot Width	30 feet	33 feet	33 feet
55C-1.322 (b) At Street Line	25 feet	25 feet	25 feet
MINIMUM SETBACKS			
55C-1.323 (b) Main Building			
55C-1.323 (b) Front	25 feet	25 feet	25 feet
55C-1.323 (b) Side	10 feet	10 feet	10 feet
55C-1.323 (b) Rear	10 feet	10 feet	10 feet
55C-1.323 (b) Sum of both sides adjoining	15 feet	15 feet	15 feet
55C-1.323 (b) Therealone min. 2nd side	10 feet	10 feet	10 feet
55C-1.323 (b) Rear	20 feet	20 feet	40.91 feet
ACCESSORY BUILDING			
55C-1.326 Must site within rear yard only			
55C-1.326 Max coverage of rear yard	25%	12.00%	
55C-1.326 Front setback min. rear lot line	5'-0"	5'-0"	
55C-1.326 For each foot height above 15 feet add 1 foot on both sides			
55C-1.326 Bases: 9' to eaves, 12' to ridge, rest 13'-0" height + 1' feet above street, rest 1'-0" above 15'			
55C-1.326 For each 2 feet length over 24 feet add 1 foot from lot line on long side			
55C-1.326 Bases: 25 feet length on side yard, rest 1' above 14 feet			
55C-1.326 25' to side lot line	5'	7'-0"	
MAXIMUM HEIGHT			
55C-1.327 Main Structure	35 feet	2-1/2 story	
55C-1.327 Through Planning Board	40 feet	3 story	
55C-1.327 Accessory Building	25 feet	2 story	
LOT COVERAGE			
55C-1.326 Max. Lot Coverage	35%		
55C-1.326 Main structure area 43'-0" x 23'-0"	1809		
55C-1.326 Unenclosed covered porch 45'-0" x 9'-0"	225		
55C-1.326 Unenclosed 14'-0" x 14'-0"	196		
55C-1.326 Garage 22' x 15'	330		
55C-1.326 Lot Area	2033	32.18%	
PERMISSIONS			
55B-3.1 Steps and open uncovered stoops, terraces and porches may extend into any yard, front or rear yard.	9'-0" max.	8'-0"	
55B-3.1 Roof covering of steps, stoops, terraces and porches and outside open stairways may extend into minimum required yards nothing may extend into any minimum side yard.	3'-0" max.	3'-0"	
55B-3.2 1'-0" deep uncovered stoops	9'-0" max.	1'-0"	
55B-3.2 1'-0" deep uncovered stoops	9'-0" max.	1'-0"	
55B-3.2 1'-0" deep uncovered stoops	9'-0" max.	1'-0"	
55B-3.2 Cornices and eaves may project over any yard.	2'-1/2" max.		
55B-3.2 Sills, ledgers, belt courses, cover any yard.	max 6"		
55B-3.2 Outside stairways over rear yard	max 3'-0"		
55B-3.2 Outside stairways over rear yard	max 2'-0"		
55B-3.2 Chimneys as walls into rear yard	1'-0"	1'-0"	
55B-3.2 Bay window projection into rear yard	1'-0"	1'-0"	
55B-3.2 Overhanging projection into rear yard	2'-0"	2'-0"	

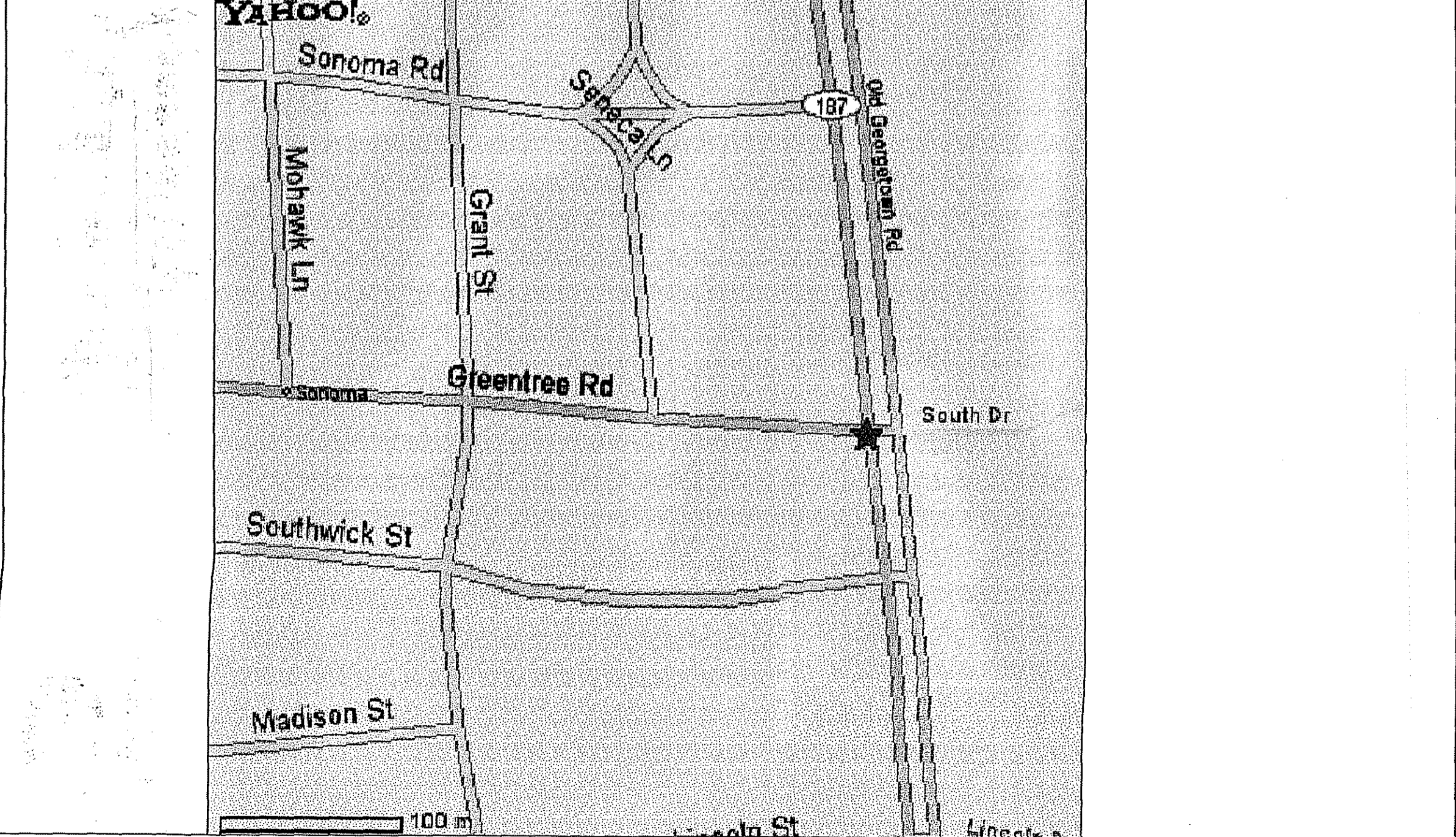
CONSTRUCTION PLAN SYMBOLS

	REVISION #		DETAIL
	DETAIL		ELEVATION
	SECTION		MULTI ELEVATION
	KEY NOTE		ELEV DATUM
	FINISH SYMBOL		PLAN DATUM
	FINISH SYMBOL		
	ROOM #		
	WINDOW #		
	PARTITION TYPE		
	CEILING HEIGHT		

SITE PLAN



LOCATION PLAN (NOT TO SCALE)



STRUCTURAL NOTES

LIVE LOADS - Roof 30 psf
Floor 40 psf

SOIL BEARING - Assumed value 2,000 psf

CONCRETE - All concrete construction shall conform to the ACI Code 318-03. 28-day concrete strength shall be fc=2000 psi. All concrete exposed to the weather shall be air entrained with 6% + 1%.

FOUNDATION - All footings shall project at least 1'-0" into undisturbed natural soil or the compacted controlled fill having a bearing value at least equal to that specified above. Bottoms of all exterior footings shall be at least 2'-0" below finished grade. Wall footings shall be 12" deep and project 6" beyond each face of wall, unless noted.

STRUCTURAL STEEL - Shall be in accordance with the latest AISC Specs. for "Design, Fabrication and Erection of Structural Steel for Buildings." All structural steel shall conform to ASTM Specification A-36.

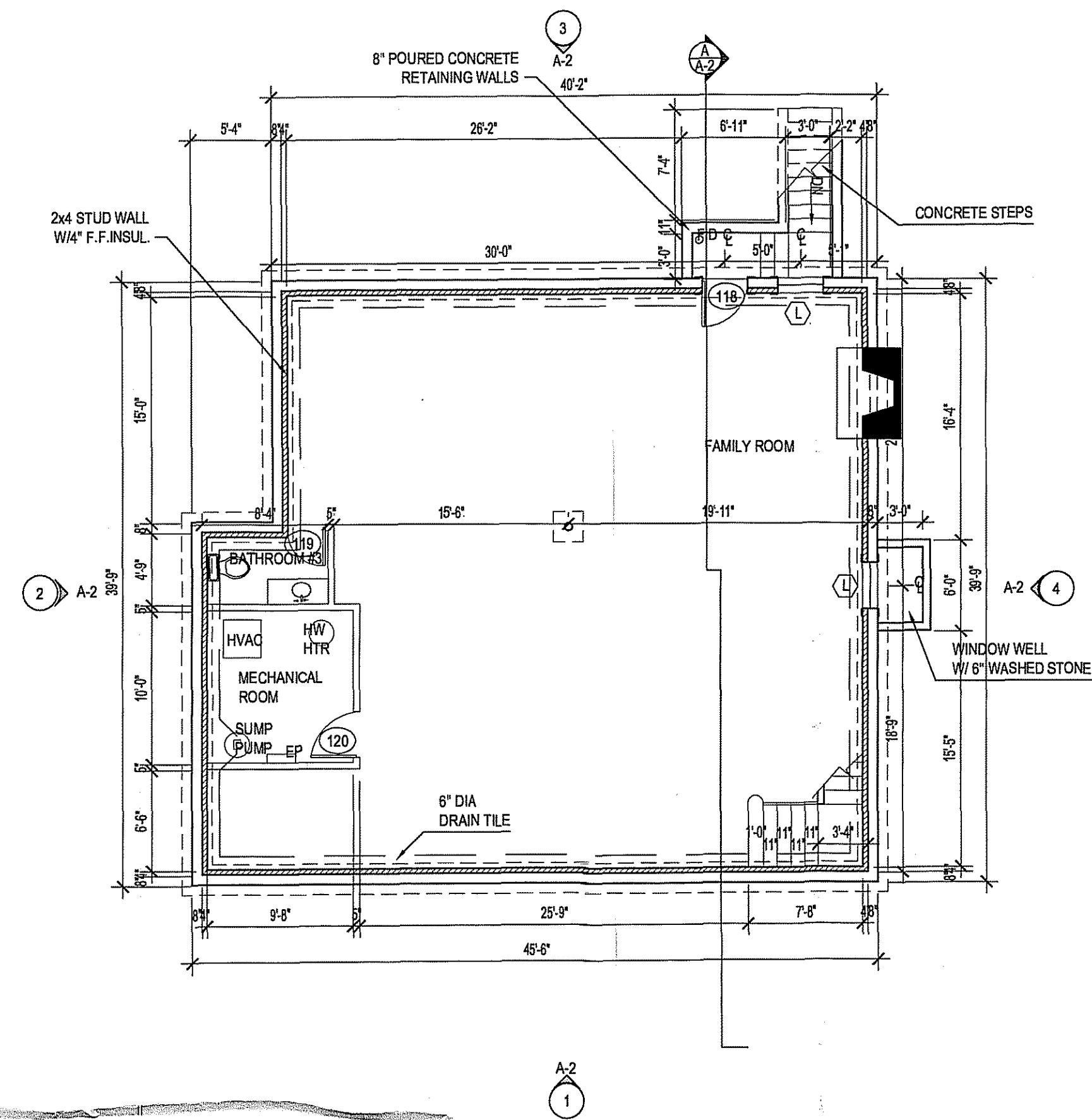
WOOD FRAMING - Framing lumber for beams and joists shall have Fb=1400 psi, E=1,600,000 psi, and for studs, Fc=500 psi, E=1,200,000 psi. Provide cross-bracing for joists at 8'-0" intervals. Joists shall have minimum 4" bearing in masonry with fire-cut (beveled) end and every second joist to have "T" shaped steel anchors. Joists or trusses running parallel to masonry wall to be anchored with 3/16"x2" steel strap anchors @ 4'-0" o.c. and extended to engage 3 joists. Wood joists and beams shall not be cut or drilled unless so authorized by the Architect. Provide approved hurricane connections between framing members. Use platform framing construction for stud partitions and posts. Lumber entering masonry or concrete walls shall be pressure treated against decay. Provide double joists below non-bearing partitions parallel to joists. All wood in contact with concrete or masonry shall be treated wood. Framing lumber shall have 19% maximum moisture content. All exterior lumber shall be treated. Brush preservative solution on all edges that are cut in members that are in contact with concrete or masonry.

NO.	DATE	REVISION
1	3/12/04	FOR PERMIT

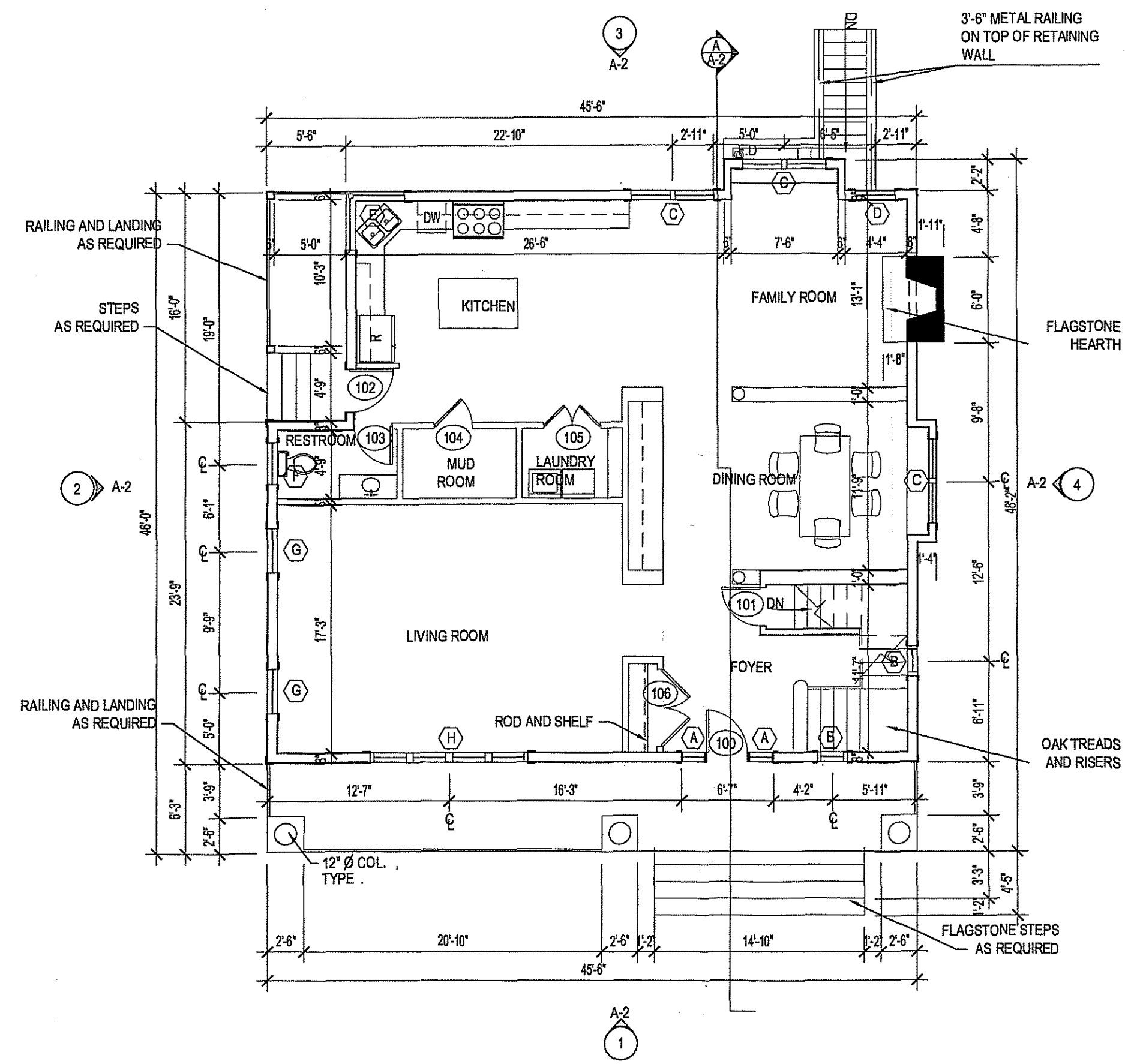
PROJECT NUMBER: 2308 DRAWING FILE: 2308CS.DWG
PROJECT TITLE: THE JAFFE GROUP
CLIENT: BETHESDA COMMUNITY HOUSE
SHEET TITLE: BETHESDA, MD
COVER SHEET
GENERAL NOTES, DRAWING LIST, LOCATION PLAN
EGRESS PLAN AND CONSTRUCTION PLAN SYMBOLS

SCALE: DATE: 01/25/04
DRAWN BY: JZ
CHECKED BY: BL
DWG: CS

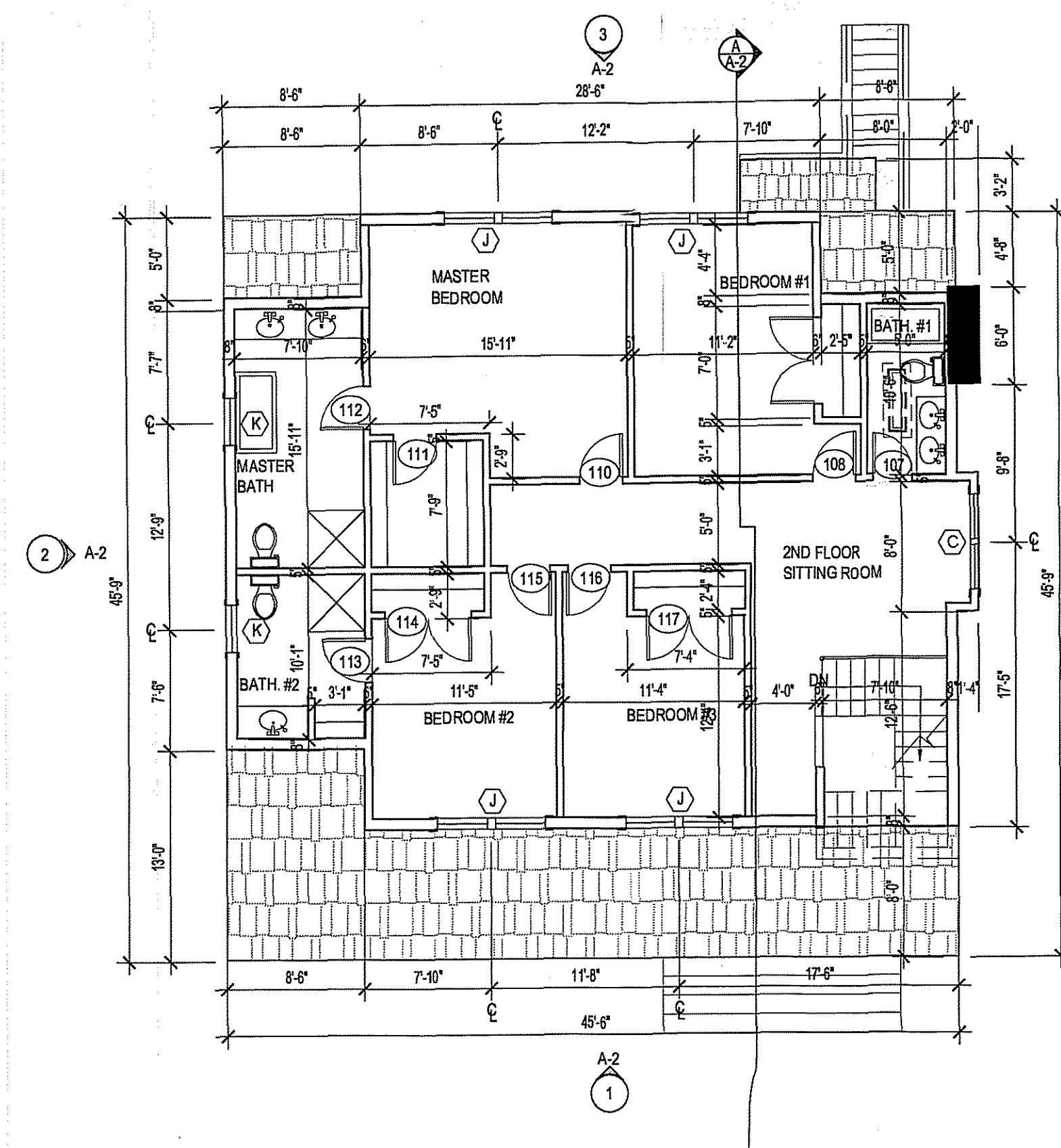
APPROVED
Montgomery County
Historic Preservation Commission
Julia D. Malley
4/22/04



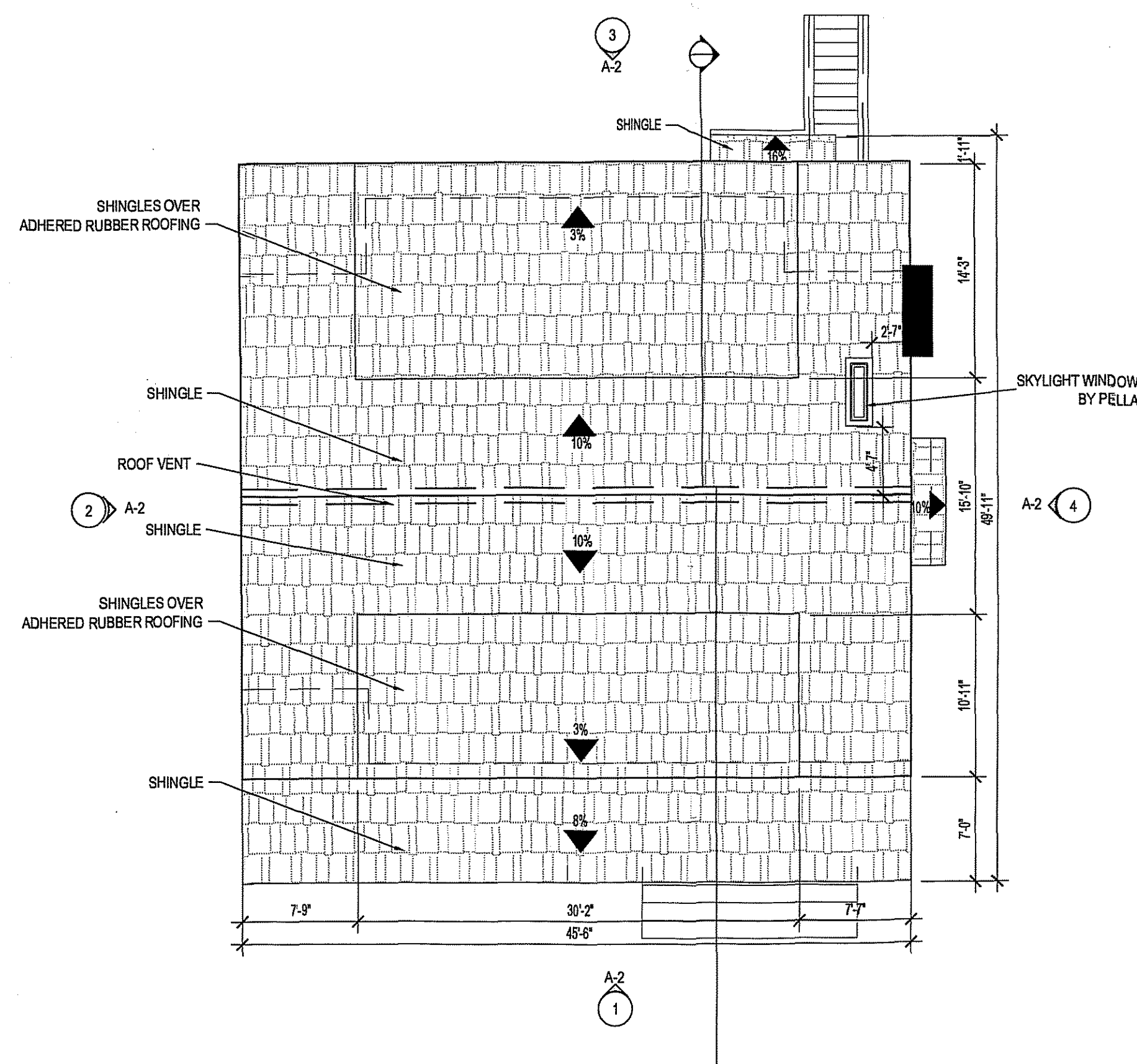
BASEMENT CONSTRUCTION PLAN
 SCALE: 1/8" = 1'-0"



1ST FLOOR CONSTRUCTION PLAN
 SCALE: 1/8" = 1'-0"



2ND FLOOR CONSTRUCTION PLAN
 SCALE: 1/8" = 1'-0"



ROOF CONSTRUCTION PLAN
 SCALE: 1/8" = 1'-0"

ROOM NAME	TYPE	COD.	JAMB OPENING		WINDOW FINISH	REMARKS
			WIDTH	HEIGHT		
GROUND FLOOR						
FOYER	A	2165	1'-9"	5'-5"	PT	FIXED
STAIRS	B	2547	2'-1"	3'-11"	PT	FIXED
STAIRS	B	2547	2'-1"	3'-11"	PT	FIXED
DINING ROOM	C	3365	2x 2'-9"	5'-5"	PT	
FAMILY ROOM	D	3365	2'-9"	5'-5"	PT	
FAMILY ROOM	C	3365	2x 2'-9"	5'-5"	PT	
FAMILY ROOM	C	3365	2x 2'-9"	5'-5"	PT	
KITCHEN	E	3741	2x 3'-1"	3'-5"	PT	
RESTROOM	F	2529	2'-5"	2'-5"	PT	FIXED
LIVING ROOM	G	3765	3'-1"	5'-5"	PT	
LIVING ROOM	G	3765	3'-1"	5'-5"	PT	
LIVING ROOM	H	3365	4x 2'-9"	5'-5"	PT	
FOYER	A	2165	1'-9"	5'-5"	PT	
1st FLOOR						
SITTING ROOM	C	3365	2x 2'-9"	5'-5"	PT	
BATHROOM #1	I	1447	1'-1 3/4"	3'-10 1/2"	PT	FIXED
BEDROOM #1	J	3765	2x 3'-1"	5'-5"	PT	
MASTER BEDROOM	J	3765	2x 3'-1"	5'-5"	PT	
MASTER BATHROOM	K	3765	3'-1"	5'-5"	PT	FIXED
BATHROOM #2	K	3765	3'-1"	5'-5"	PT	FIXED
BEDROOM #2	J	3765	2x 3'-1"	5'-5"	PT	
BEDROOM #3	J	3765	2x 3'-1"	5'-5"	PT	
BASEMENT						
FAMILY ROOM	L	4725	3'-11"	2'-1"	PT	
FAMILY ROOM	L	4725	3'-11"	2'-1"	PT	
GARAGE						
GARAGE	M	2941	2'-5"	3'-5"	PT	FIXED
GARAGE	M	2941	2'-5"	3'-5"	PT	FIXED
GARAGE	M	2941	2'-5"	3'-5"	PT	FIXED
GARAGE	M	2941	2'-5"	3'-5"	PT	FIXED
GARAGE	N	762	2'-6"	2'-6"	PT	FIXED

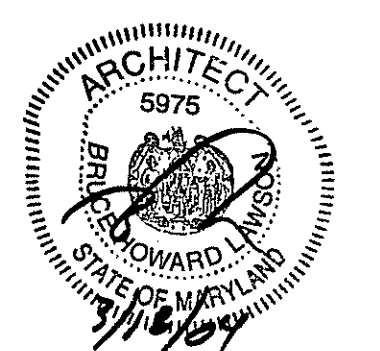
ROOM NAME	NUMBER	TYPE	JAMB OPENING		DOOR		REMARKS
			WIDTH	HEIGHT	HDW.	FINISH	
GROUND FLOOR							
ENTRY DOOR	100	E	3'	7'		PT	PANEL STYLE-HALF LITE
STAIRS	101	E	2'-8"	6'-8"		PT	
KITCHEN	102	B	3'	7'		PT	
RESTROOM	103	B	2'-8"	6'-8"		PT	
MUD ROOM	104	E	2'-8"	6'-8"		PT	EXISTING TO REMAIN - REPAINTED
LAUNDRY ROOM	105	E	2'-8"	6'-8"		PT	EXISTING TO REMAIN - REPAINTED
CLOSET	106	E	2'-8"	6'-8"		PT	EXISTING FOLDING PARTITION - REPAINTED
1 FLOOR							
BATHROOM #1	107	A	2'-6"	6'-8"		PT	
BEDROOM #1	108	A	2'-8"	6'-8"		PT	
CLOSET #1	109	-	2x 2'-6"	6'-8"		PT	
MASTER BEDROOM	110	B	2'-8"	6'-8"		PT	
CLOSET MASTER BEDROOM	111	B	2x 2'-6"	6'-8"		PT	
MASTER BATH.	112	E	2'-8"	6'-8"		PT	EXISTING TO REMAIN - REPAINTED
BATHROOM #2	113	B	2'-8"	6'-8"		PT	
CLOSET #2	114	-	2'-8"	6'-8"		PT	
BEDROOM #2	115	B	2'-8"	6'-8"		PT	
BEDROOM #3	116	B	2'-8"	6'-8"		PT	
CLOSET #3	117	B	2'-8"	6'-8"		PT	
BASEMENT							
FAMILY ROOM	118	B	2'-6"	6'-8"		PT	
BATHROOM #3	119	B	2'-6"	6'-8"		PT	
MECHANICAL ROOM	120	B	2'-6"	6'-8"		PT	
GARAGE							
GARAGE	120	B	8'	7'-5"		PT	

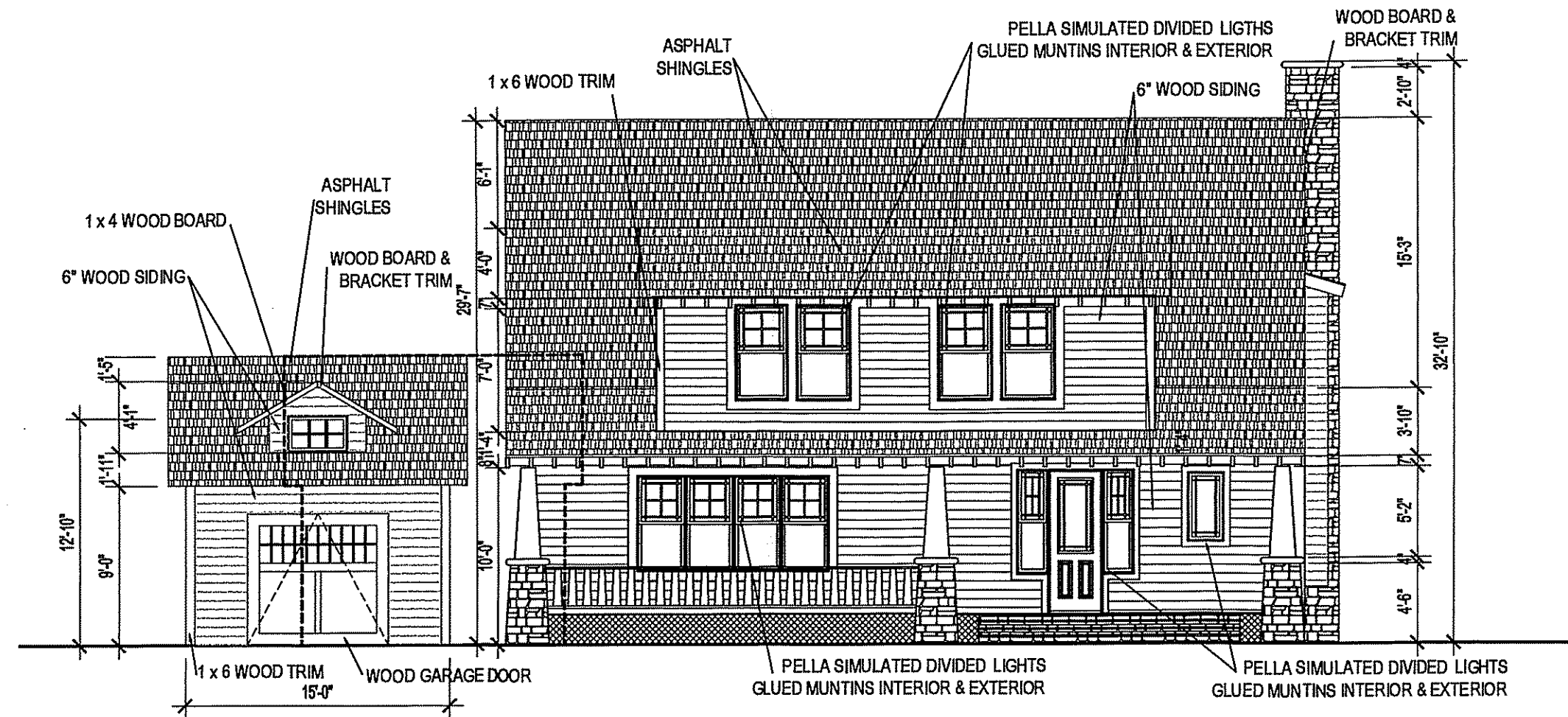
NO.	DATE	REVISION
1	3/12/04	FOR PERMIT

PROJECT NUMBER: 2308 DRAWING FILE: 2308A1.DWG
 PROJECT TITLE: THE JAFFE GROUP
 BETHESDA COMMUNITY HOUSE
 BETHESDA, MD
 SHEET TITLE: ARCHITECTURAL PLAN
 CONSTRUCTION PLANS
 SCHEDULE WINDOW AND SCHEDULE DOOR

SCALE: 1/8" = 1'-0" DATE: 02/25/04
 DRAWN BY: TX
 CHECKED BY: BL
 DATE: 3/12/04

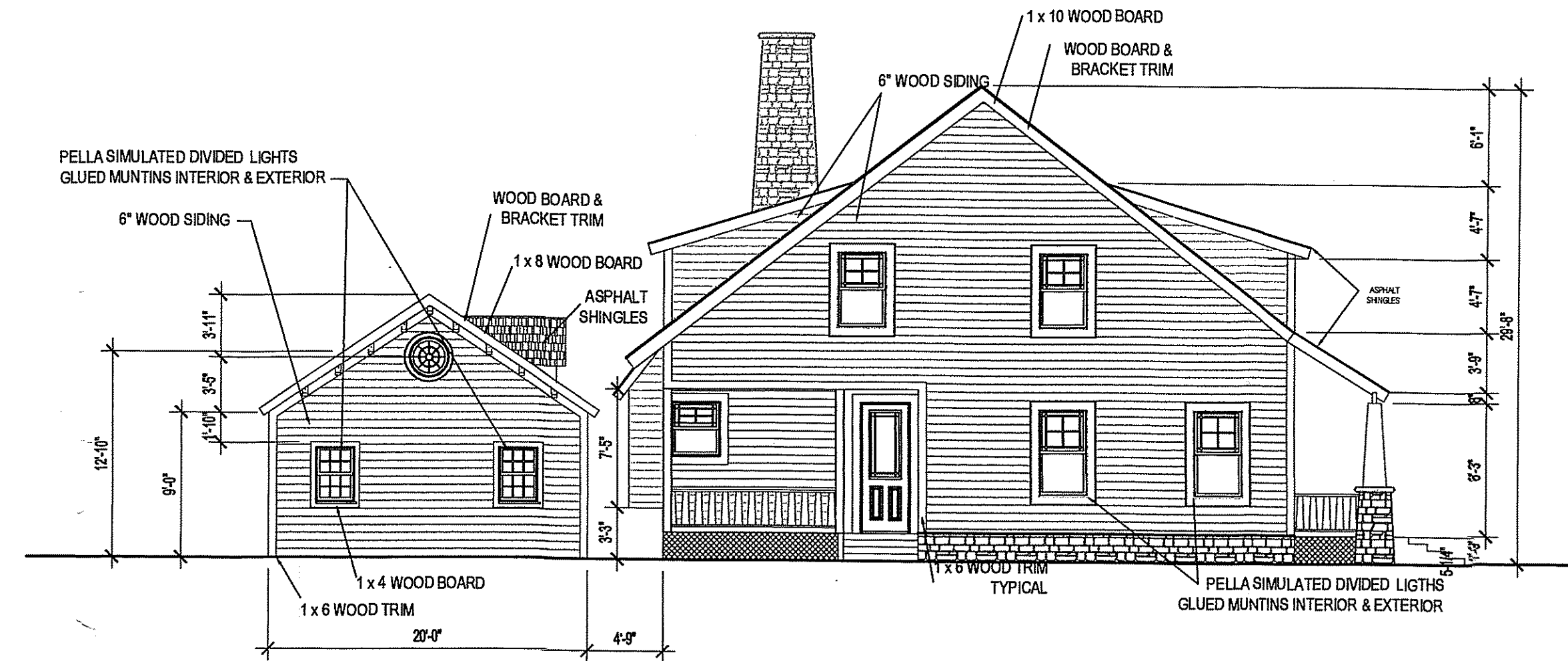
APPROVED
 Montgomery County
 Historic Preservation Commission
Judith A. Halley
 02/23/04



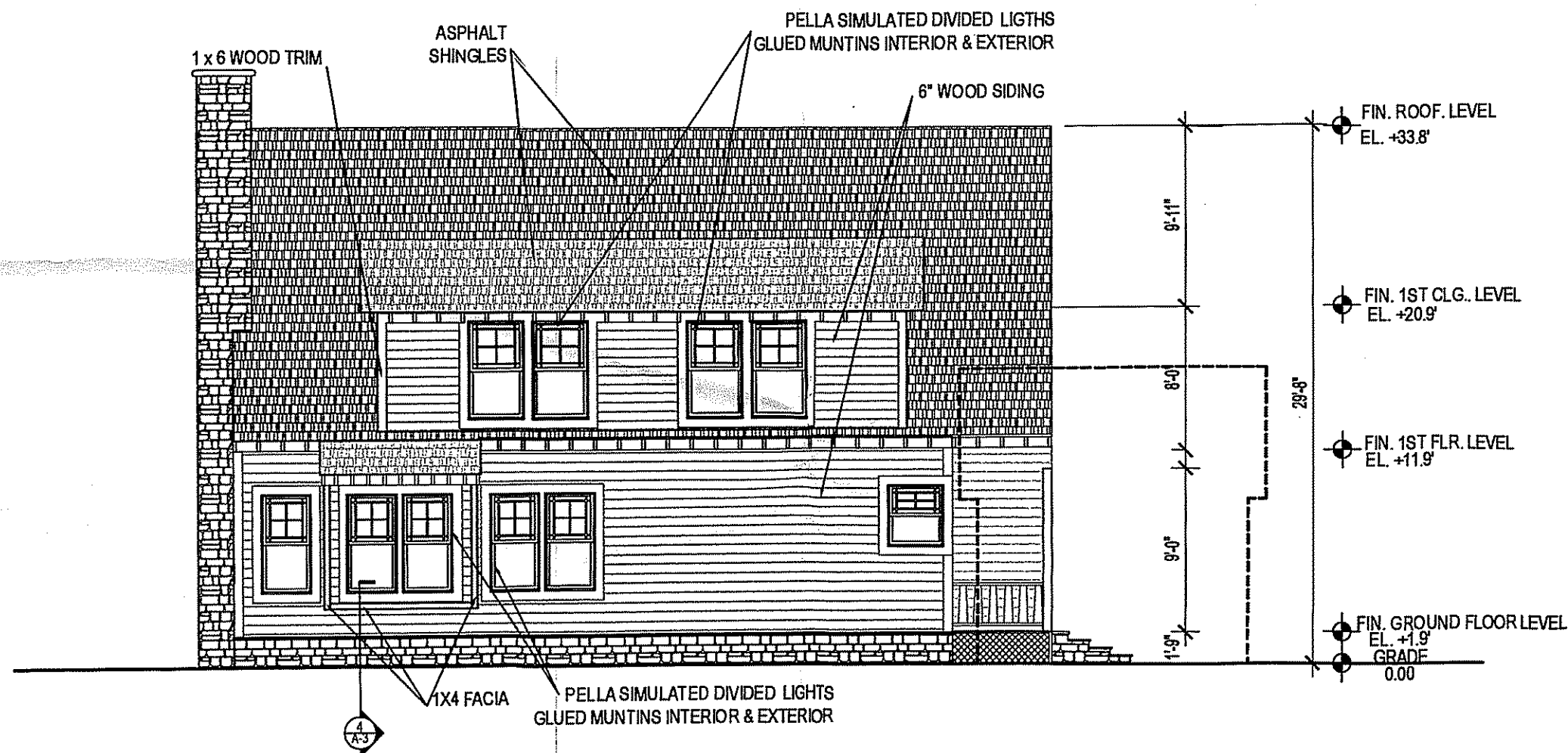


1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

NOTE:
 GARAGE NOT SHOWN ON CORRECT LOCATION FOR CLARITY.
 FOR CORRECT LOCATION SEE DASHED OUTLINE.

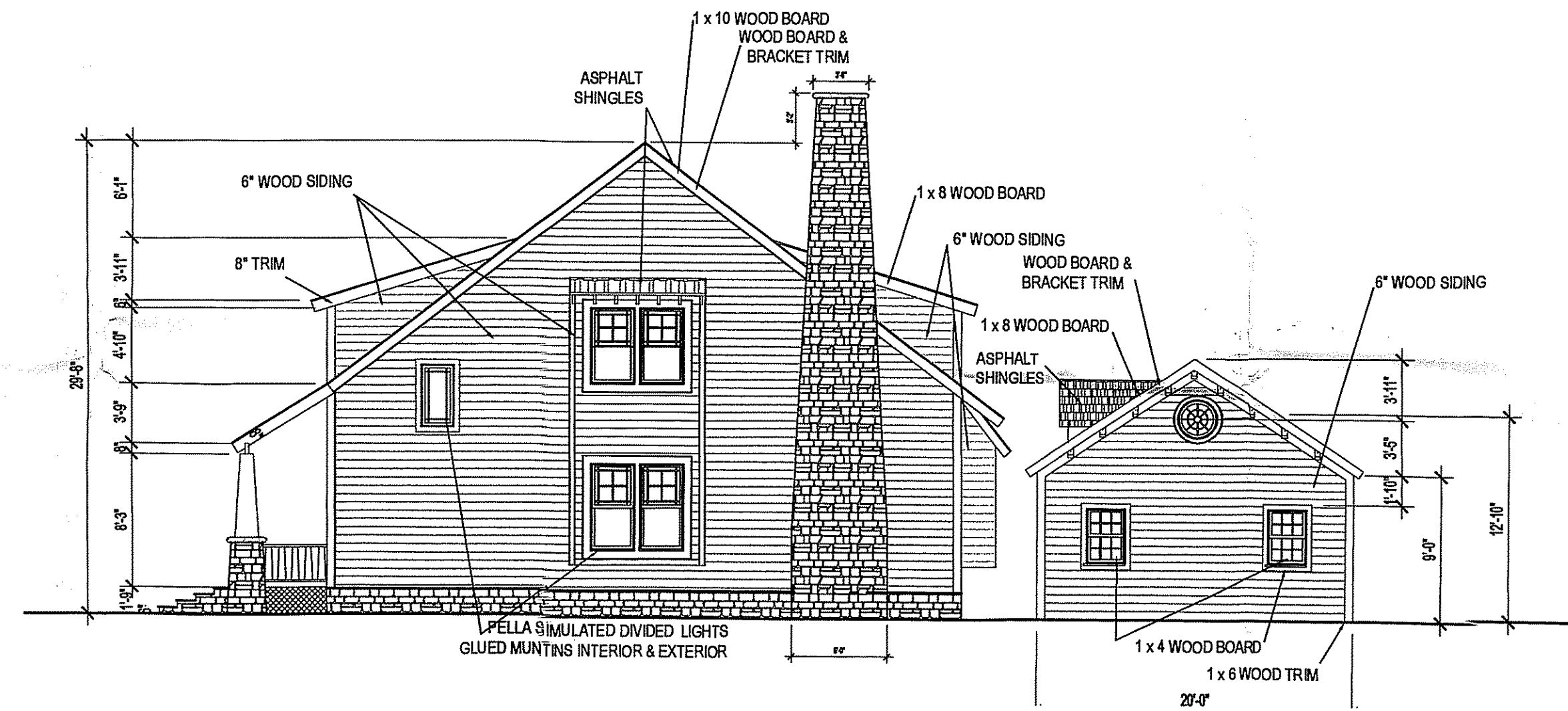


2 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

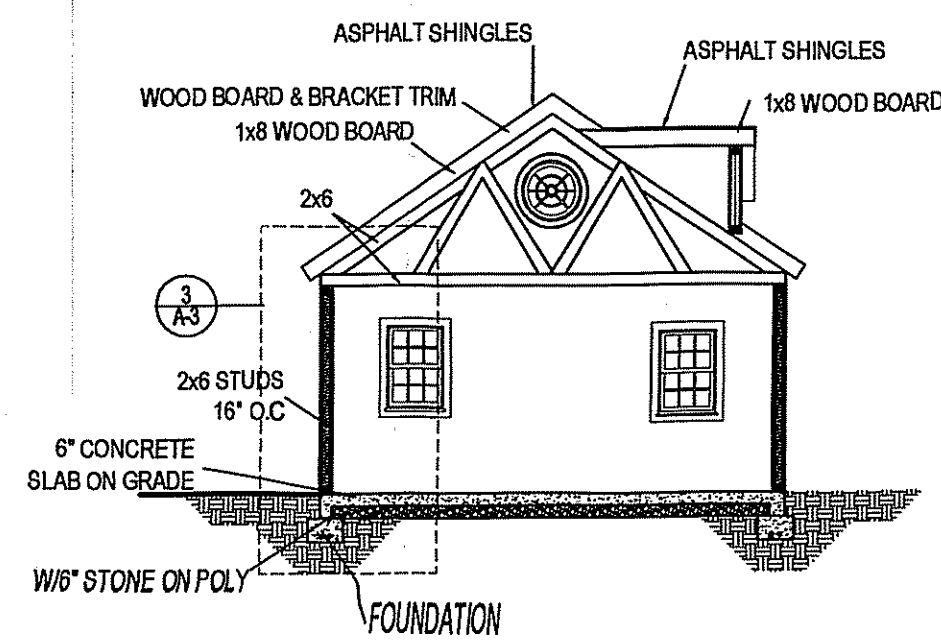


3 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

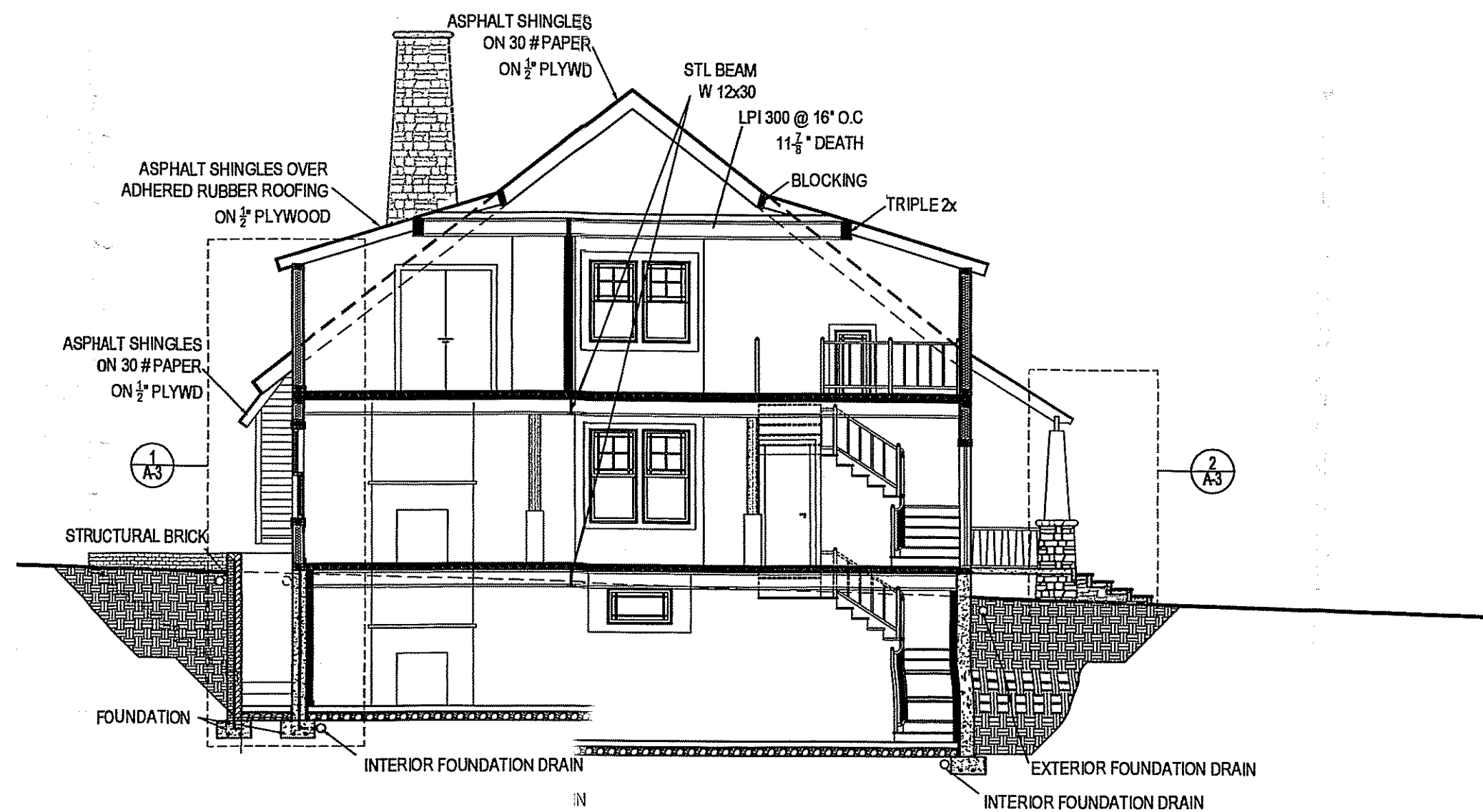
NOTE:
 GARAGE NOT SHOWN ON CORRECT LOCATION FOR CLARITY.
 FOR CORRECT LOCATION SEE DASHED OUTLINE.



4 WEST ELEVATION
 SCALE: 1/8" = 1'-0"



B CROSS SECTION
 SCALE: 1/8" = 1'-0"



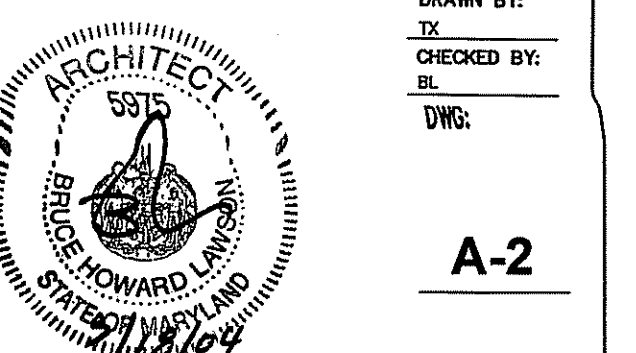
A CROSS SECTION
 SCALE: 1/8" = 1'-0"

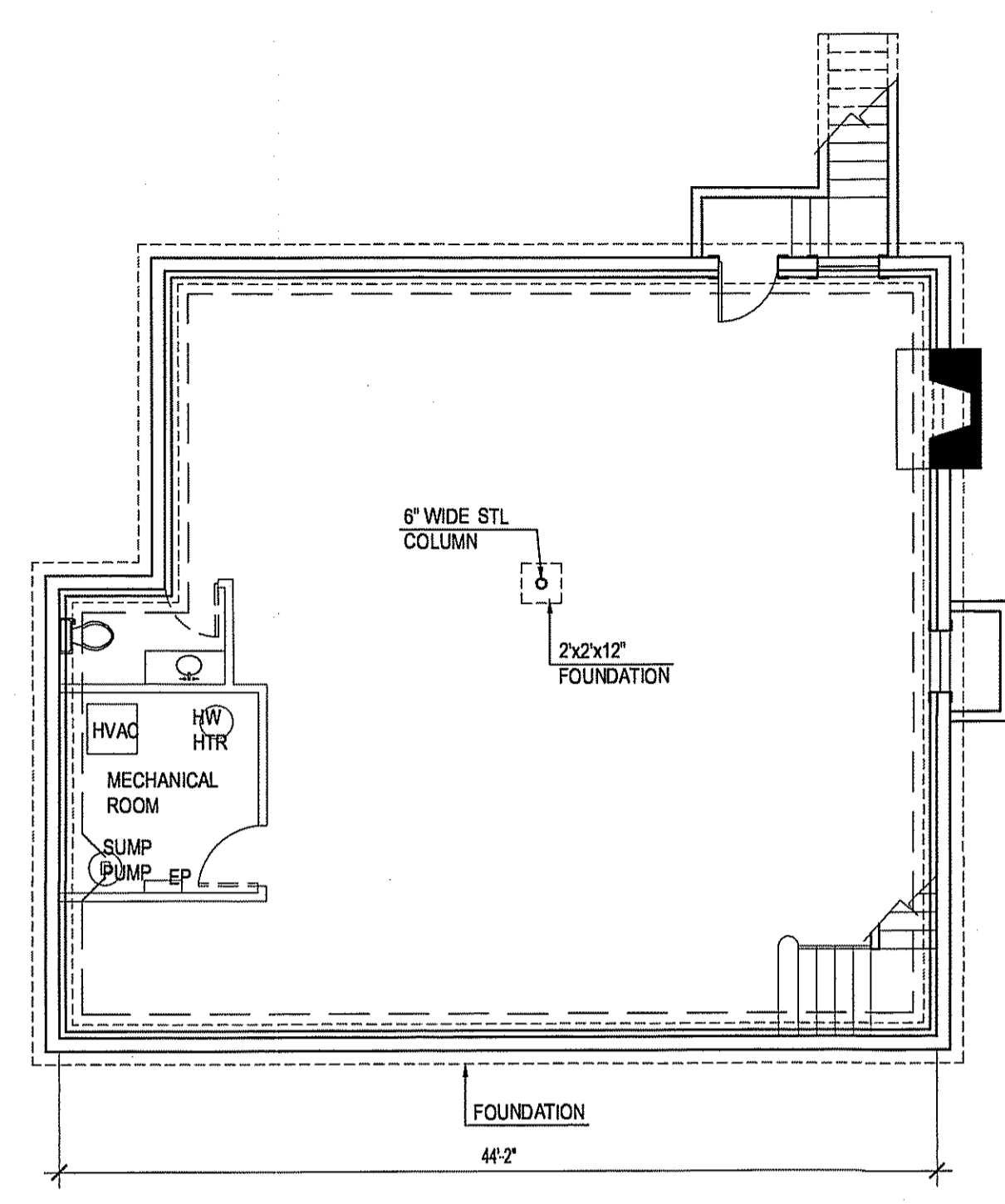
NO.	DATE	REVISION
1	3/12/04	FOR PERMIT

PROJECT NUMBER:	DRAWING FILE:
2308	2308A2.DWG
PROJECT TITLE:	
THE JAFFE GROUP	
BETHESDA COMMUNITY HOUSE	
BETHESDA, MD	
SHEET TITLE:	
ARCHITECTURAL PLAN	
ELEVATIONS AND	
SECTIONS	

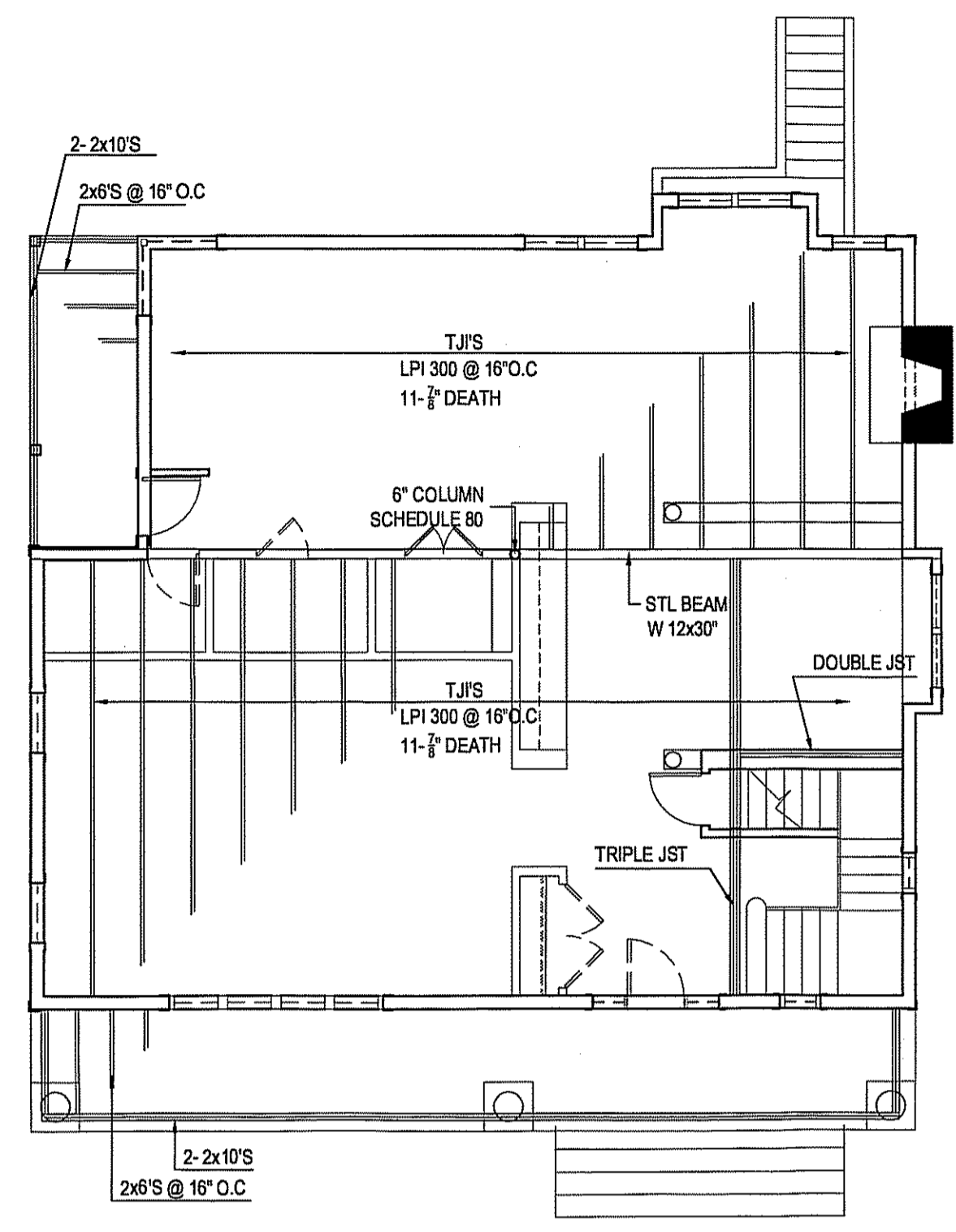
SCALE:	DATE:
1/8" = 1'-0"	01/25/04
DRAWN BY:	
CHECKED BY:	
DWG:	

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia O'Malley
 04/23/04

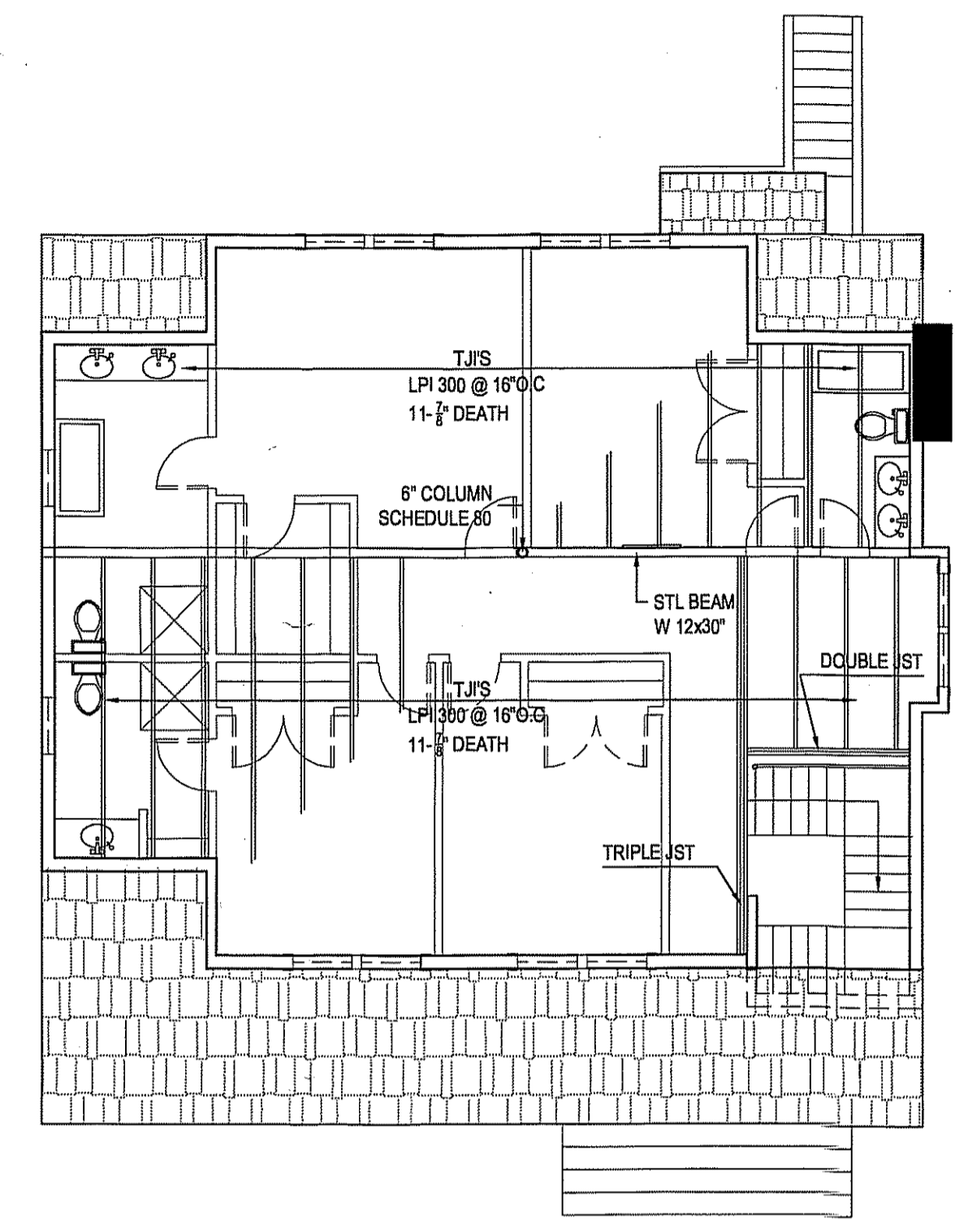




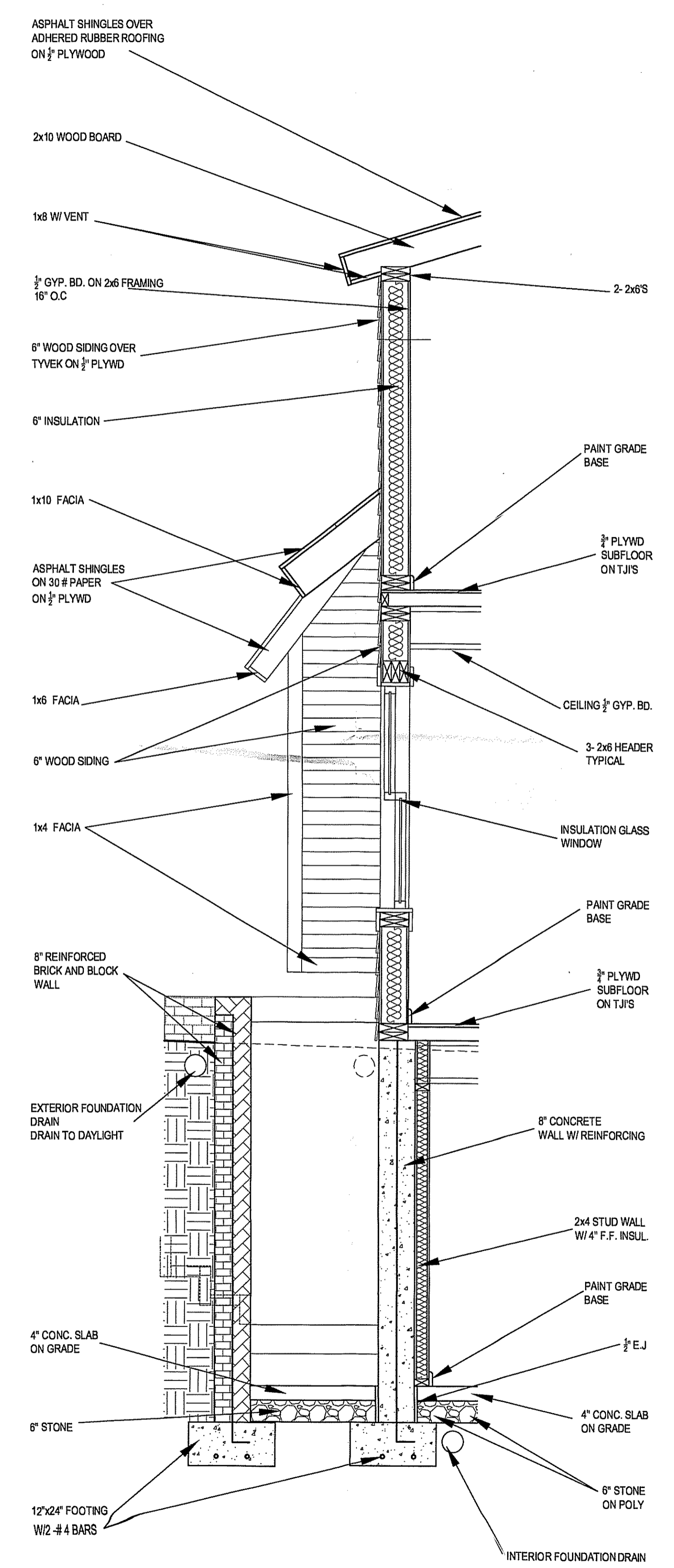
BASEMENT - STRUCTURAL PLAN
 SCALE: 1/8" = 1'-0"



1ST FLOOR - STRUCTURAL PLAN
 SCALE: 1/8" = 1'-0"

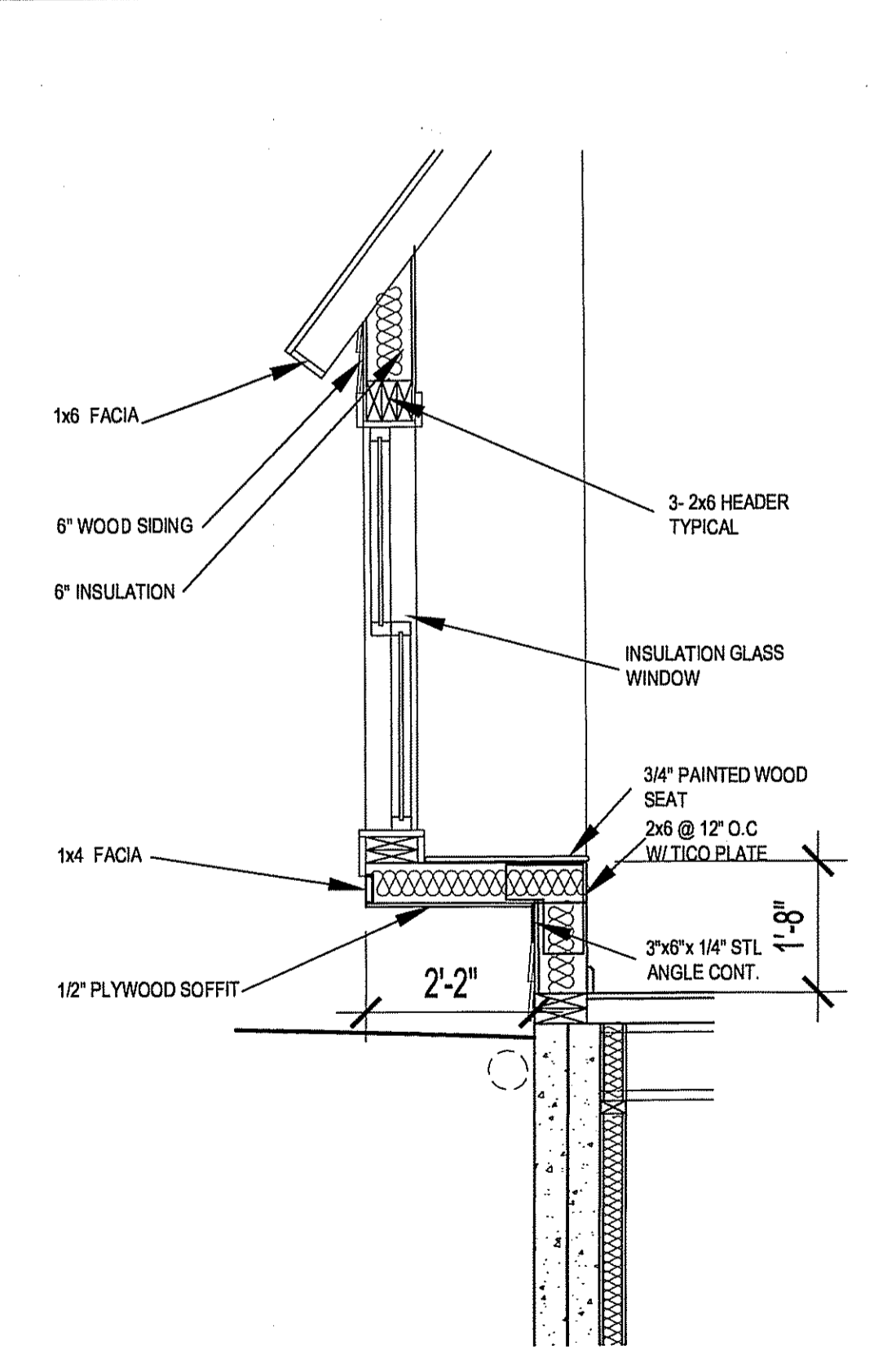


2ND FLOOR - STRUCTURAL PLAN
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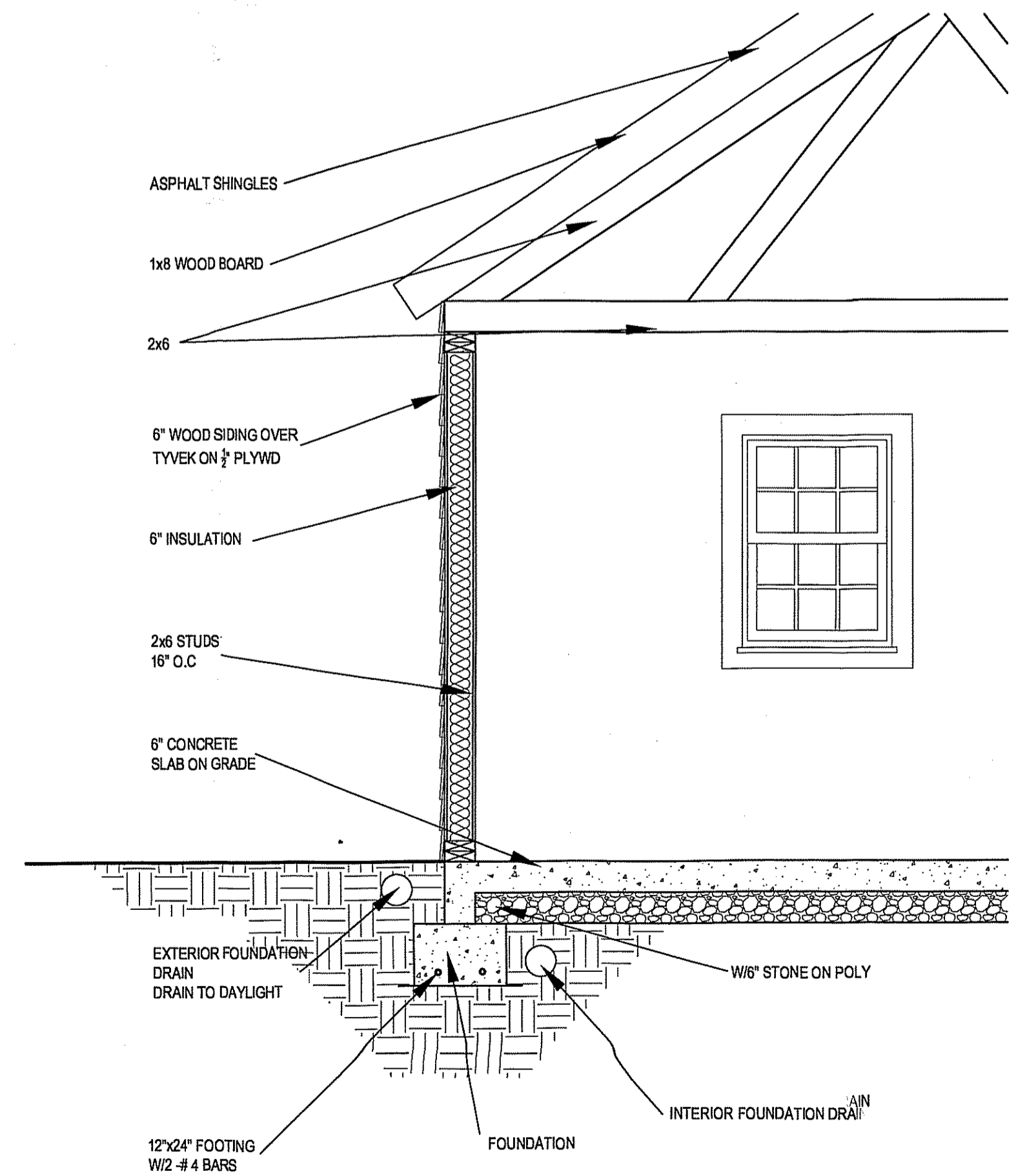


1 WALL SECTION
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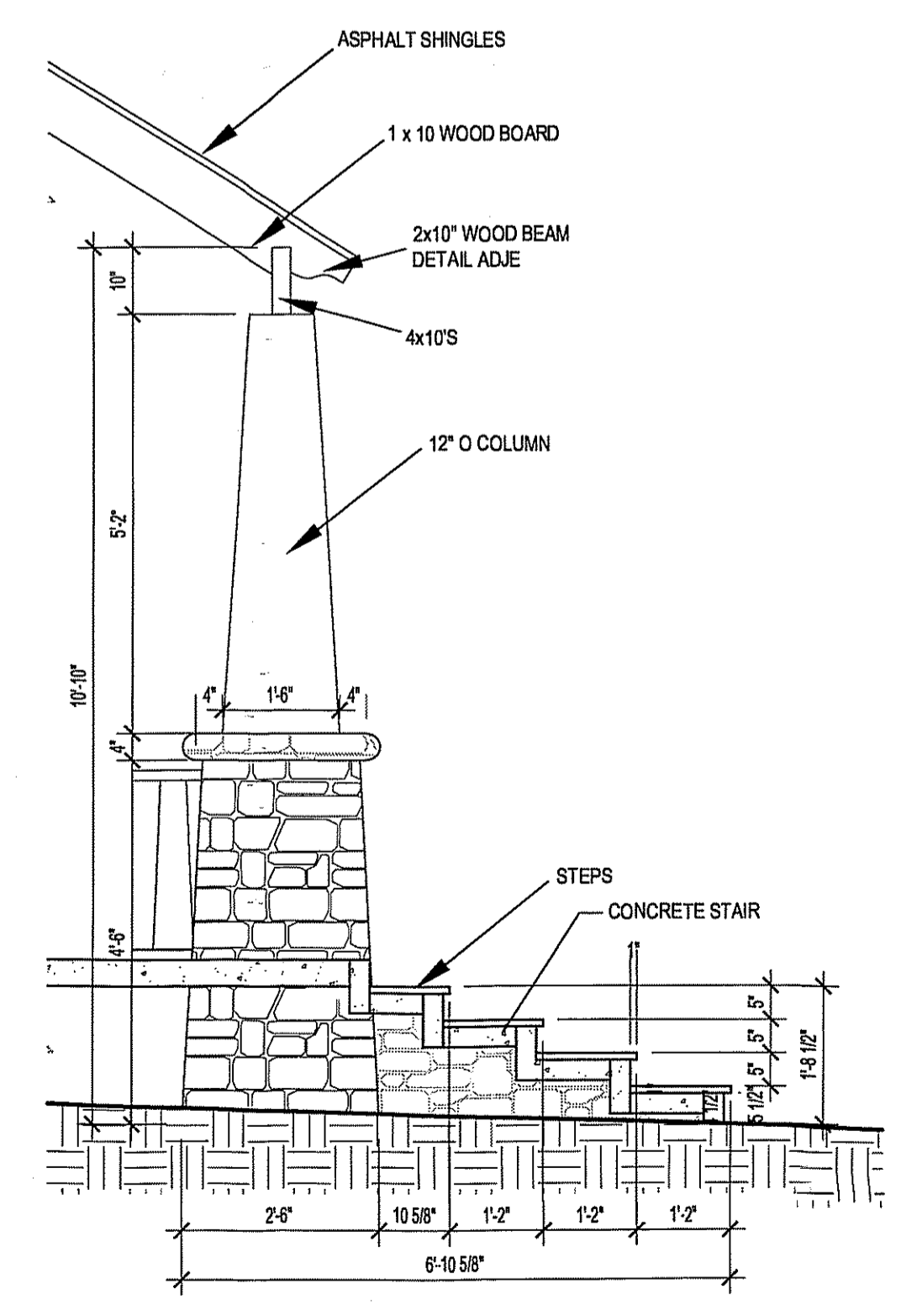
DETAILS



4 WINDOW SECTION
 SCALE: 1/2" = 1'-0"



3 GARAGE SECTION
 SCALE: 1/2" = 1'-0"

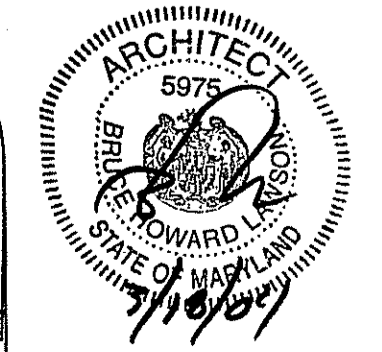


2 STEPS SECTION
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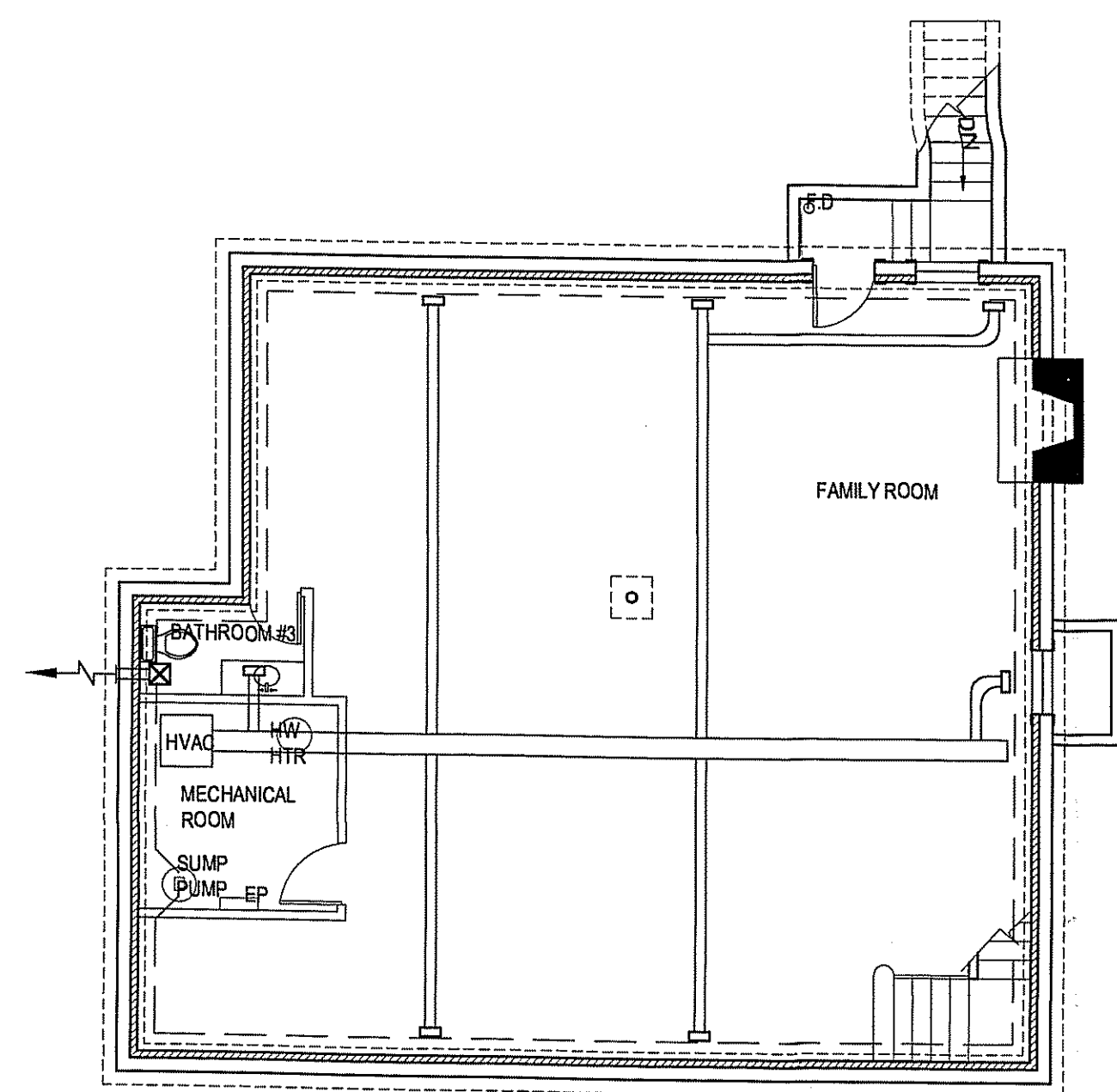
NO.	DATE	REVISION
1	3/12/04	FOR PERMIT

PROJECT NUMBER: 2308	DRAWING FILE: 2308A2.DWG
PROJECT TITLE: THE JAFFE GROUP BETHESDA COMMUNITY HOUSE BETHESDA, MD	
SHEET TITLE: ARCHITECTURAL PLAN STRUCTURAL PLANS DETAILS	

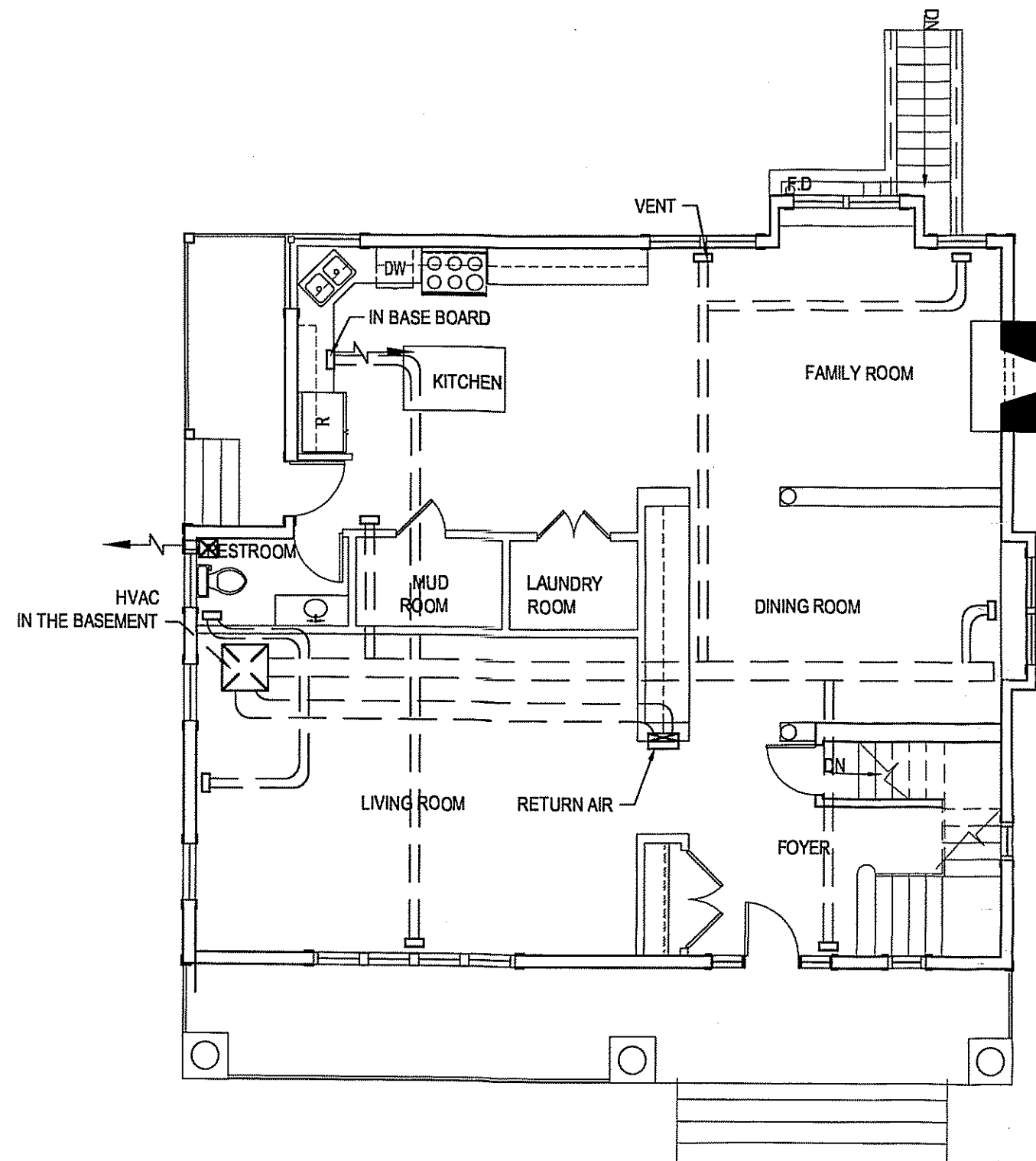
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DRAWN BY: SL	CHECKED BY: SL
DATE: 3/12/04	



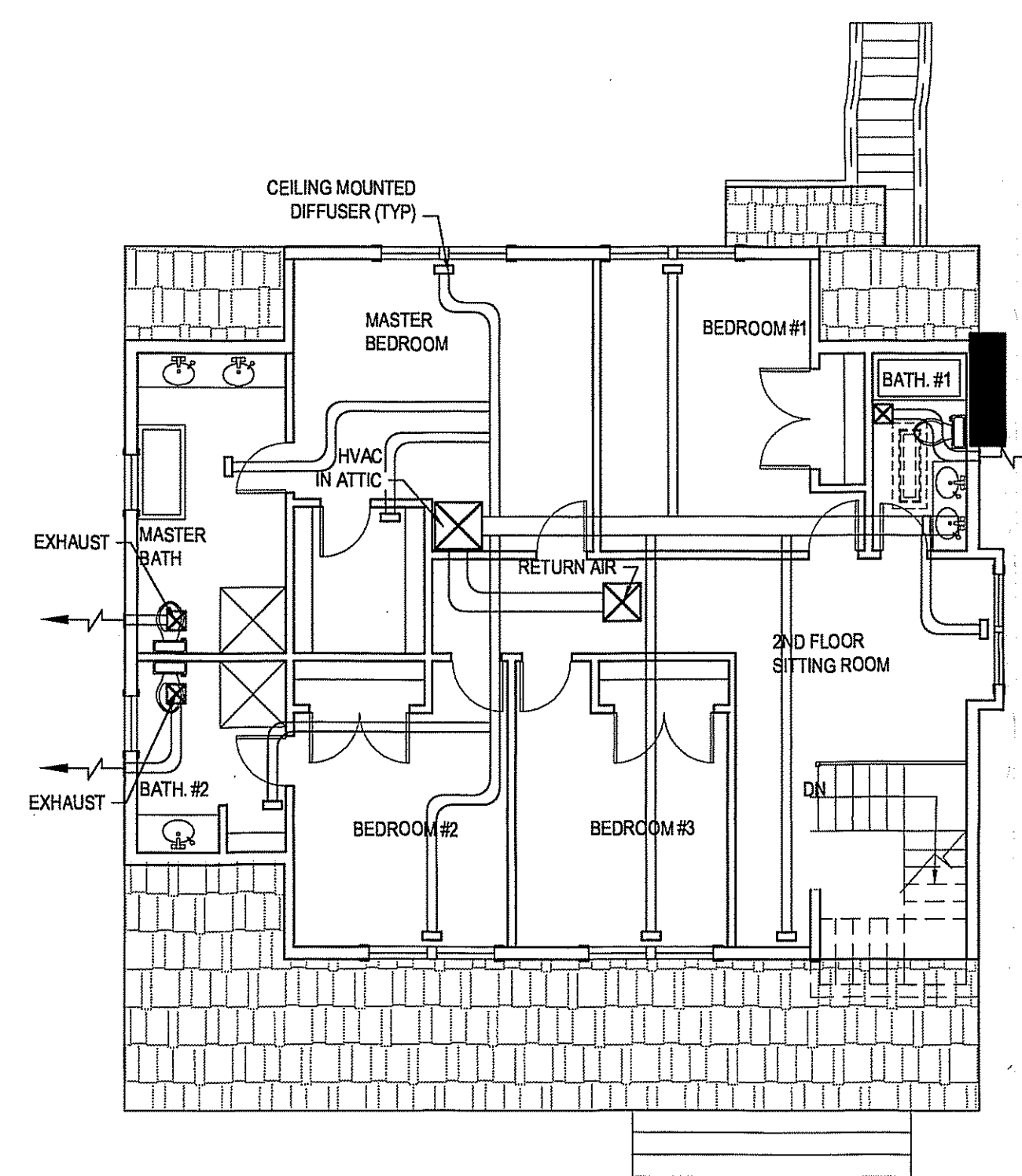
APPROVED
 Montgomery County
 Historic Preservation Commission
 Julia D. Valley
 3/12/04



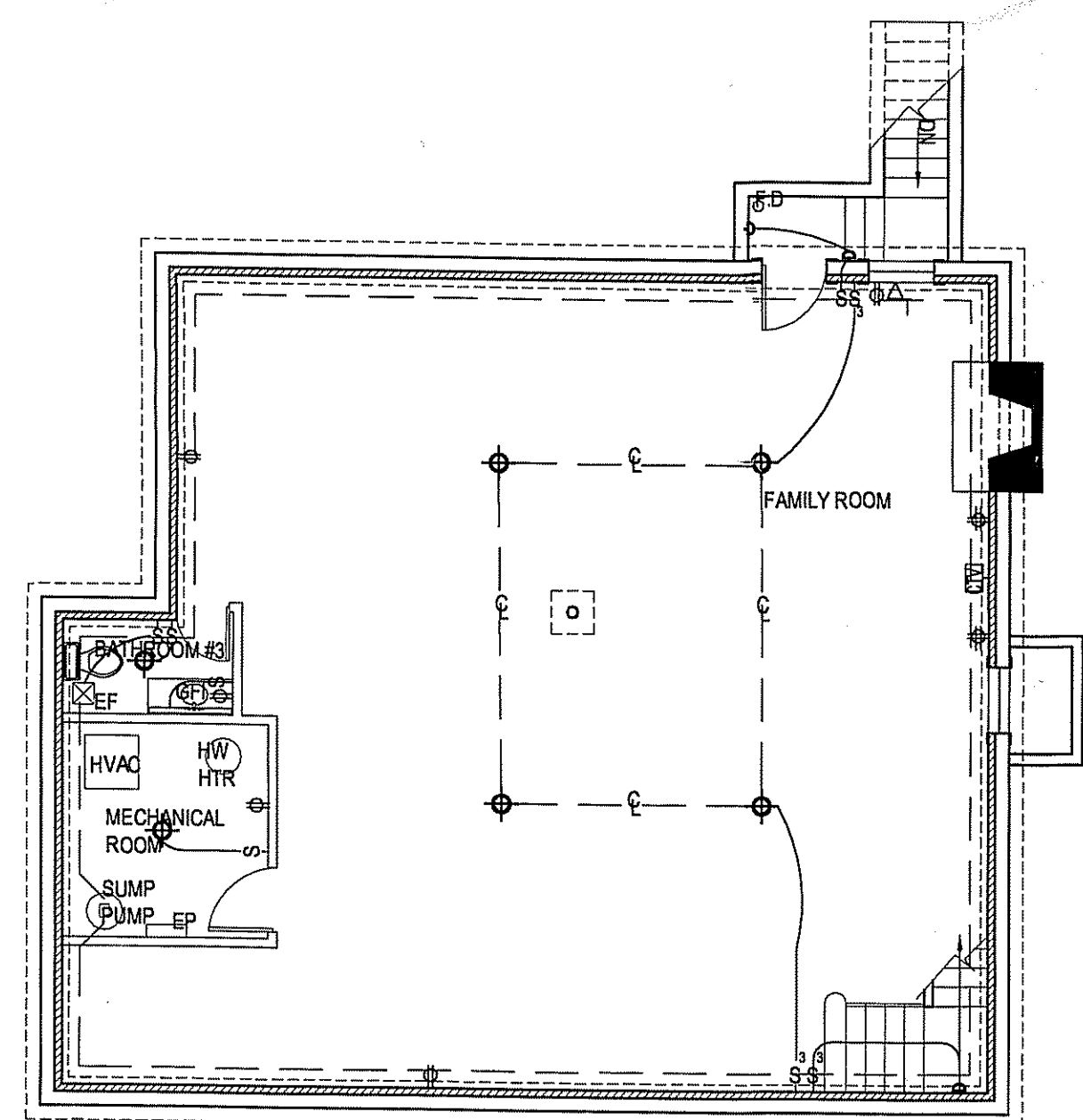
BASEMENT - MECHANICAL HVAC PLAN
 SCALE: 1/8" = 1'-0"



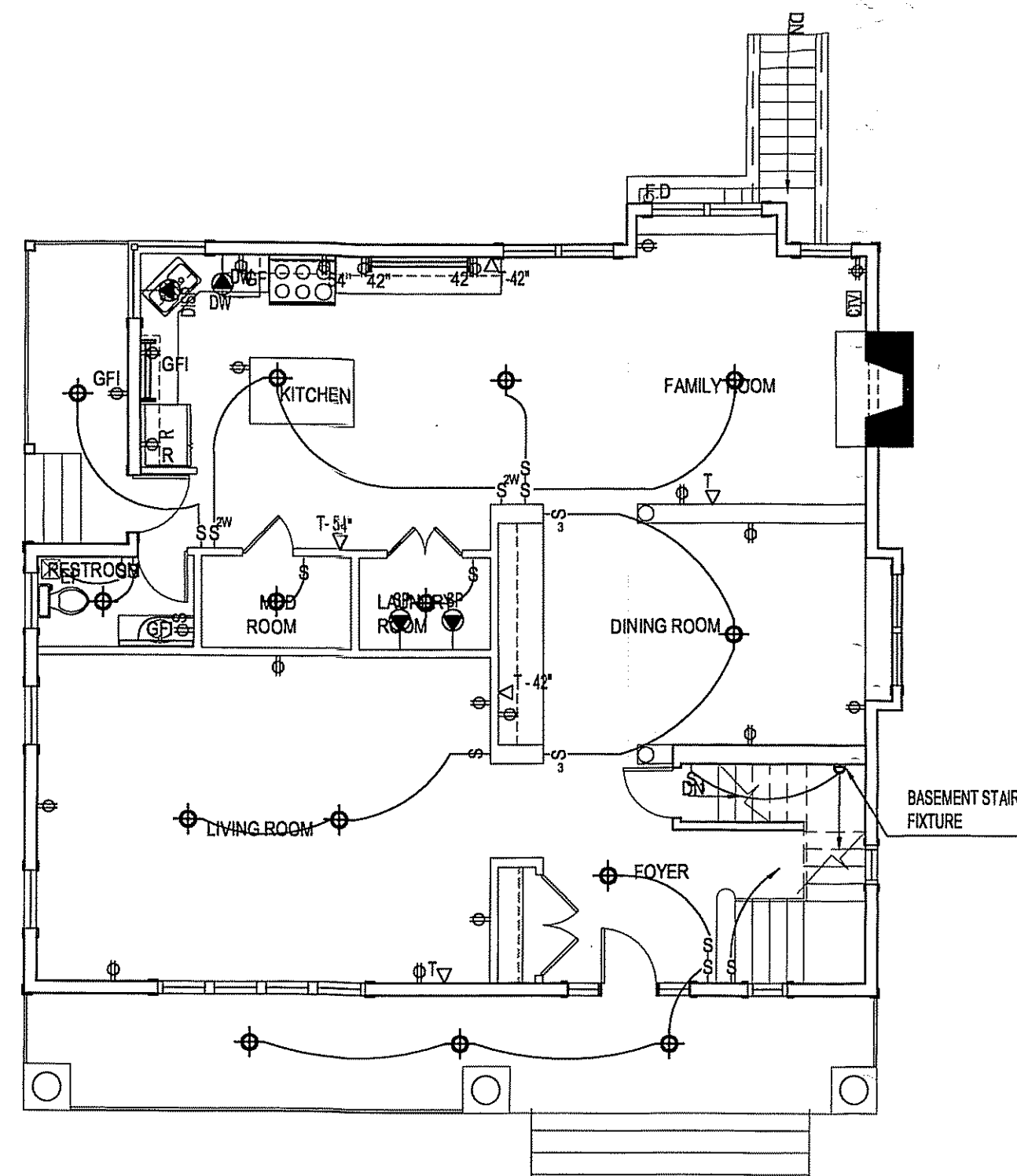
1ST FLOOR - MECHANICAL HVAC PLAN
 SCALE: 1/8" = 1'-0"



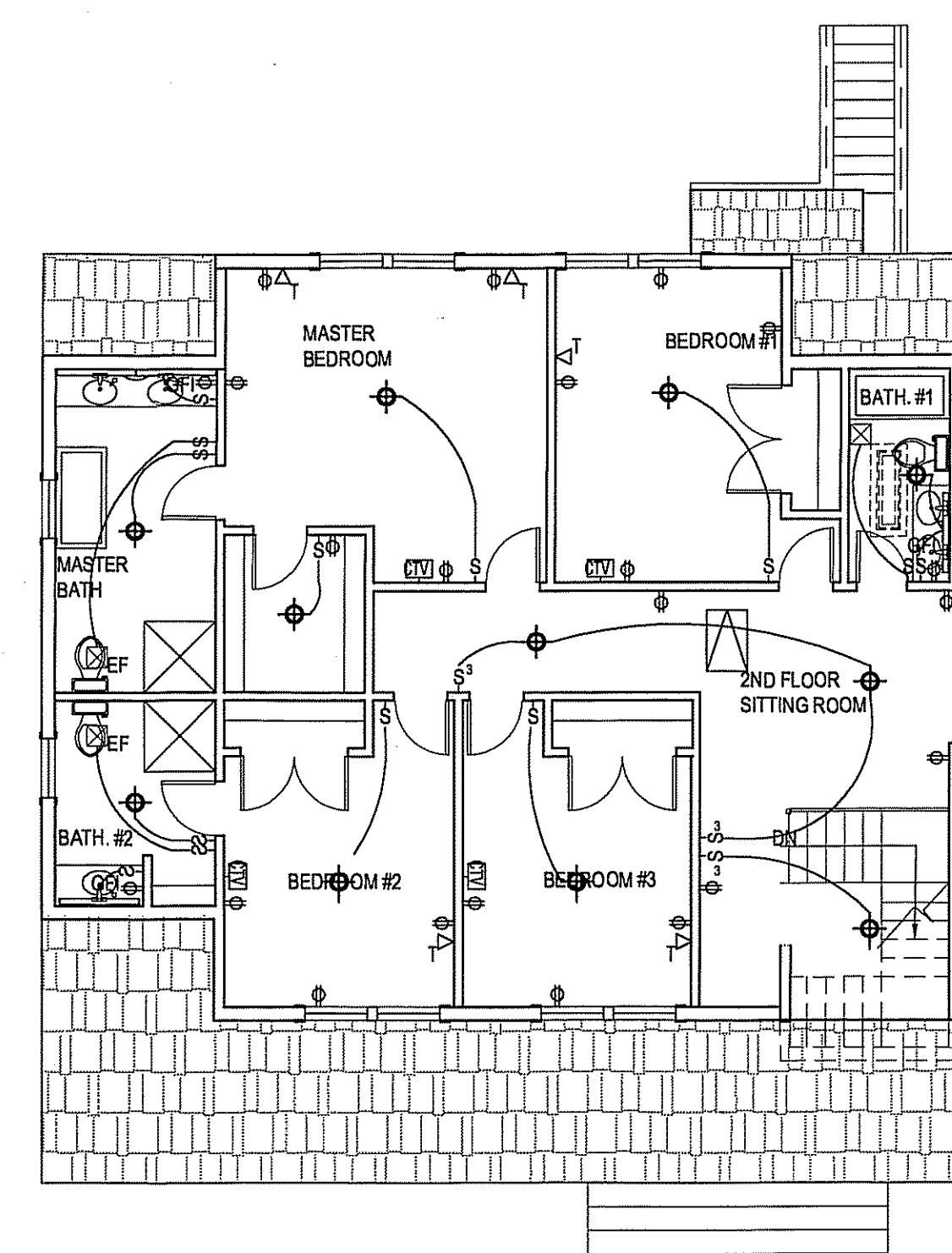
2ND FLOOR - MECHANICAL HVAC PLAN
 SCALE: 1/8" = 1'-0"



BASEMENT - ELECTRICAL PLAN
 SCALE: 1/8" = 1'-0"



1ST FLOOR - ELECTRICAL PLAN
 SCALE: 1/8" = 1'-0"



2ND FLOOR - ELECTRICAL PLAN
 SCALE: 1/8" = 1'-0"

NO.	DATE	REVISION
1	3/12/04	FOR PERMIT

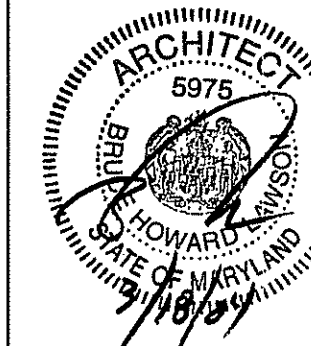
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 PROJECT TITLE: THE JAFFE GROUP
 BETHESDA COMMUNITY HOUSE
 BETHESDA, MD

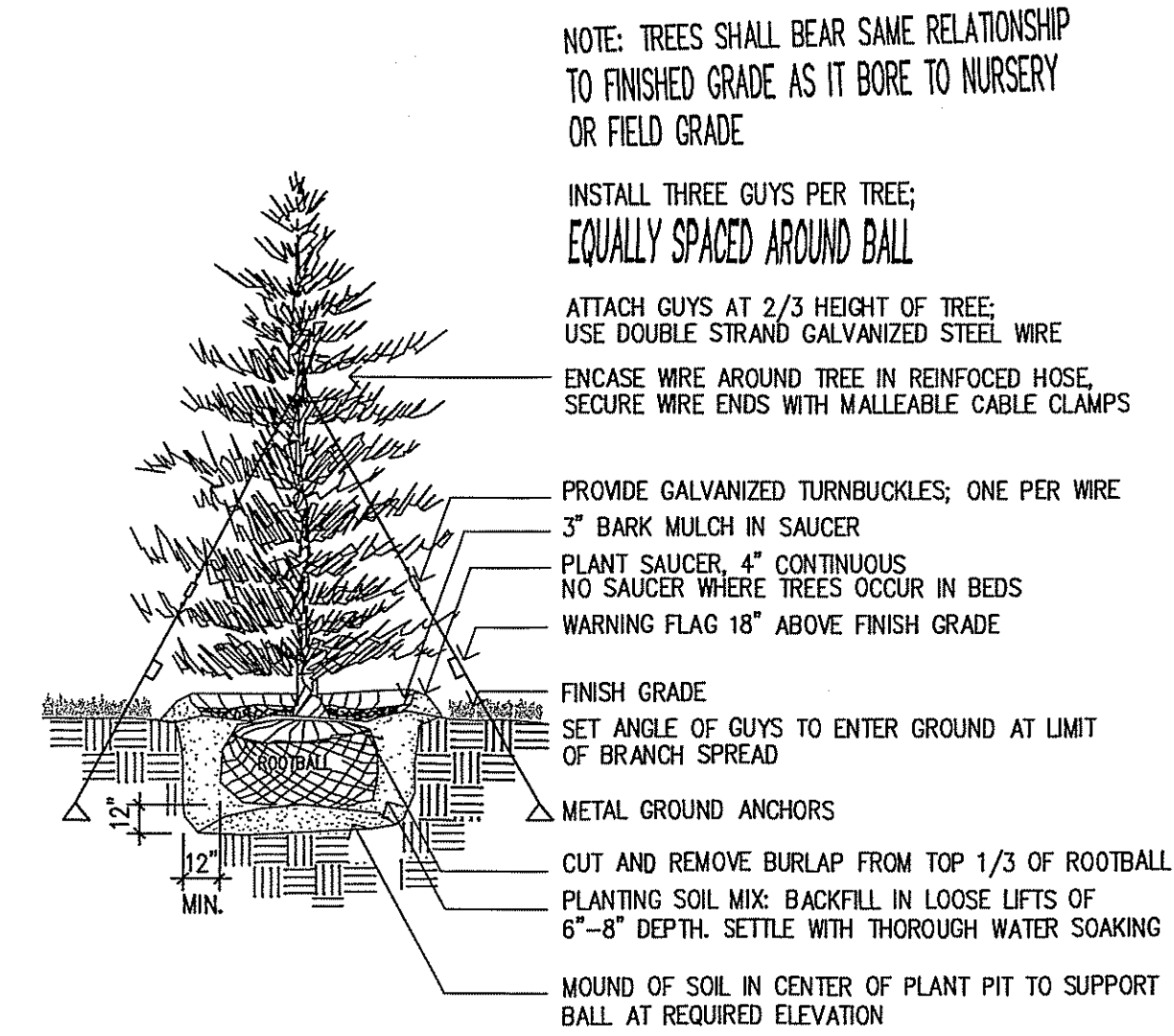
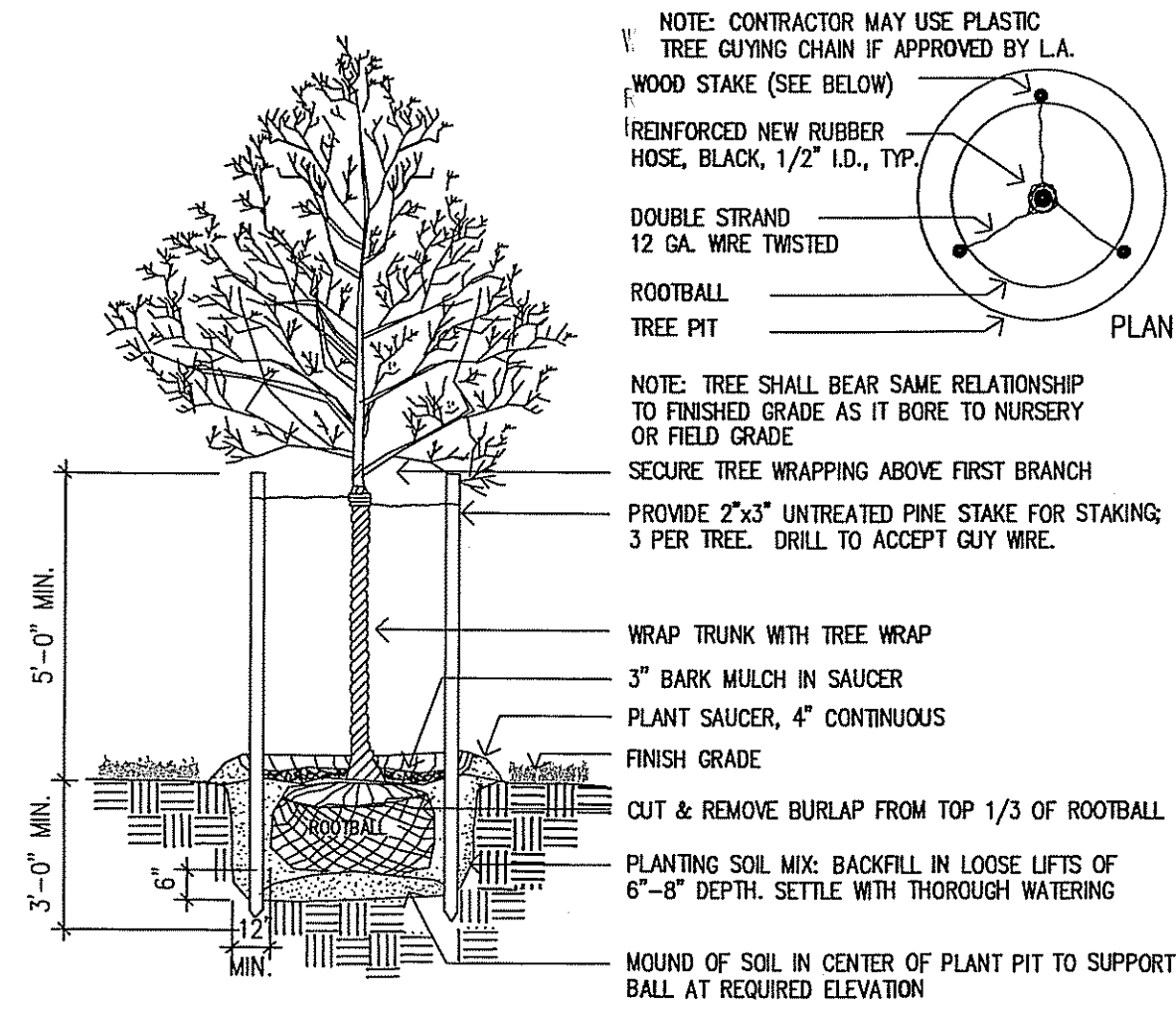
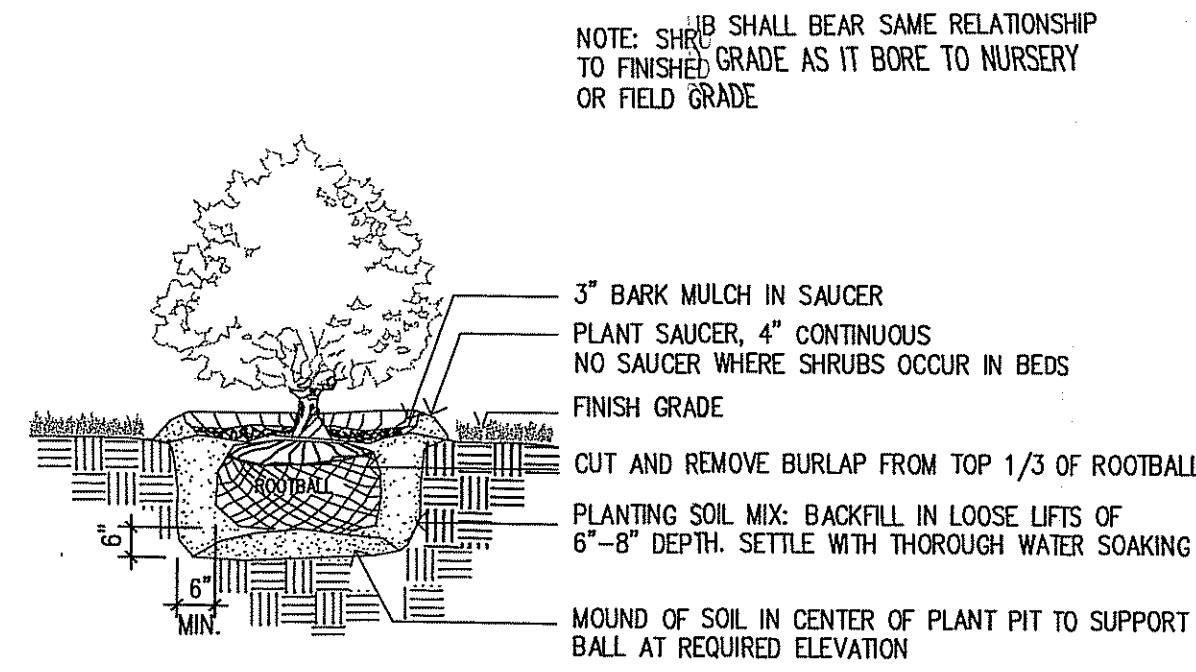
DRAWING FILE: 2308A3.DWG

SHEET TITLE: ARCHITECTURAL PLAN
 MECHANICAL PLANS
 ELECTRICAL PLANS

SCALE: 1/8" = 1'-0"
 DATE: 03/25/04
 DRAWN BY: TX
 CHECKED BY: JB
 DWG: A-4

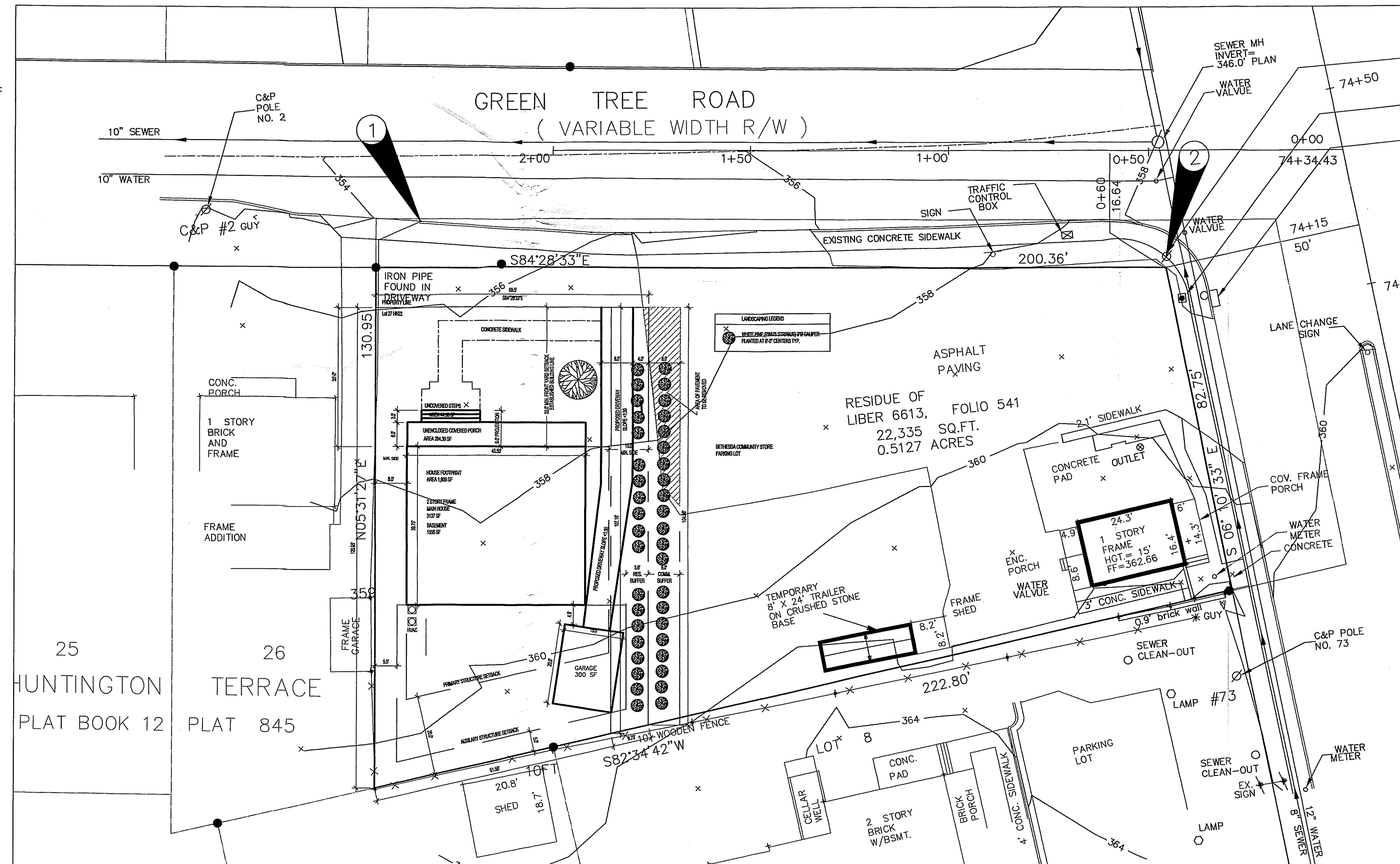
APPROVED
 Montgomery County
 Historic Preservation Commission
Julia O'Malley
 4/22/04





PLANTING NOTES

- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT BOTH ON AND OF THE SITE, THE CONTRACTOR SHALL NOTIFY MISS UTILITY AND BE PROVIDED WITH A MISS UTILITY NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL ACCEPTANCE.
- CONTRACTOR SHALL VERIFY ALL TREE REMOVALS WITH LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
- MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK; PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- PLANTING SOIL MIX: LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. PEAT MOSS WITH FERTILIZER ADDED PER MANUFACTURER'S RECOMMENDED RATES.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
- LANDSCAPE ARCHITECT TO FLAG ALL TREES TO BE TRANSPLANTED PRIOR TO CONSTRUCTION START.
- ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED AND SEEDING WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

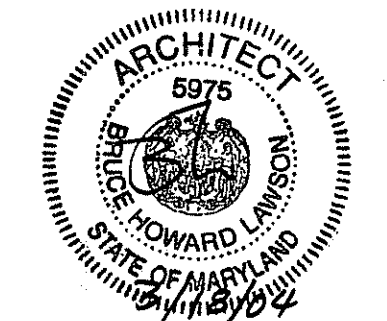


NO.	DATE	REVISION:

PROJECT NUMBER:	DRAWING FILE:
2308	2308 L-10WS
PROJECT TITLE:	
GREEN TREE ASSOCIATES	
5504 GREENTREE RD.	
BETHESDA, MARYLAND	
SHEET TITLE:	
LANDSCAPING PLAN	
NOTES & DETAILS	

SCALE:	DATE:
1:200	3/23/04
	DRAWN BY:
	CH
	CHECKED BY:
	BL
	DWG:

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia D. Valley
 07/22/04



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	5504 Greentree Road, Bethesda (Lot 27)	Meeting Date:	01/28/04
Resource:	<i>Master Plan</i> Site # 35/43 Bethesda Community Store	Report Date:	01/21/04
Review:	HAWP	Public Notice:	01/14/04
Case Number:	18/08-03A REVISION	Tax Credit:	None
Applicant:	Greentree Associates LLC (Carlos Madero, Agent)	Staff:	Michele Naru

PROPOSAL: Revision to Approved Site Plan

RECOMMEND: Approval

BACKGROUND INFORMATION

The Planning Board on September 19, 2002 approved the subdivision of this .5 acre parcel of land into two separate lots. Lot 27 is a residential lot measuring 60' x 122' (7,320sf). Lot 28 is the remainder of the original parcel (14,586 sf) and includes the Bethesda Community Store and associated parking lot. Both of these lots still remain within the environmental setting of the aforementioned Master Plan site. Therefore, the Historic Preservation Commission (HPC) has review and approval authority over the size, design, massing, materials, and style of buildings to be constructed on both lots.

The HPC, at its November 13, 2002 meeting, was presented with a preliminary consultation, which outlined a proposed design for new house construction on Lot 27. The HPC did not support the proposed design due to its massiveness in scale, massing and height, the lack of a unified treatment for the exterior surfacing, and the proposal's use of an exposed basement with attached, two-car garage. The HPC encouraged the applicant to develop a design for the new construction that would be compatible to the existing site. The suggestions included a below-grade basement, a freestanding garage to be located at the rear of the property, a front door height of approximately two or three steps above the street and a 1-1/2 story building height restriction.

On September 10, 2003, the Commission reviewed a HAWP application, which illustrated a new design for the new house construction on Lot 27. The HPC did not support this proposed design for the same reasons that were given at the preliminary consultation. The Commission again encouraged the applicant to develop a design for the house that incorporated the suggestions, which were outlined at the preliminary consultation. The applicants continued the HAWP application in order to develop a new house design for the site.

On December 3, 2003, the Commission reviewed the previously discussed continued HAWP application. At the Commission's work session, staff issued a new set of plans, which addressed all the concerns staff discussed in their prepared staff report. The Commission recommended approval of the new revised drawings dated 12/03/03 and with the condition that a landscape plan will be developed and approved by staff.

DESCRIPTION

SIGNIFICANCE: Lot is within the Environmental Setting of a Master Plan site
(Bethesda Community Store #35/43)
STYLE: 20th Century Vernacular Commercial
DATE: 1924

The Bethesda Community Store sits in the southwest corner of .5 acres of property. The store is a small one-story building (24.3'L x 14.5'W). A shopkeeper's residence was also built on the same lot. This building was demolished prior to the Store's designation on the Master Plan. The Bethesda Community Store was built in 1924 on the site of an earlier store, and is one of the few surviving 20th century commercial structures in Montgomery-County still in operation.

PROPOSAL:

The applicants are proposing to revise their currently approved site plan (see Circles 445). The changes to the approved site plan are:

1. Moving the lot line between the store and new house, 8' toward the new house, making the lot, which houses the historic store approx. 840 sq. ft larger than previously approved – and subsequently the lot which houses the new house, will be 840 sq.ft. smaller than previously approved.
2. Moving and angling the approved garage, so that a portion of the garage will be behind the house.
3. Removing the turn around in front of the garage and angling the proposed driveway to meet up with the garage's front façade.
4. Moving the existing house's location approx 11' closer to the road.
5. Altering the design of the front walkway.

STAFF DISCUSSION

New construction within the environmental setting of Master Plan individually designated historic resources are reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values. The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy

historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed alterations to the approved site plan do not negatively affect the historic resource and are compatible with the existing streetscape. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

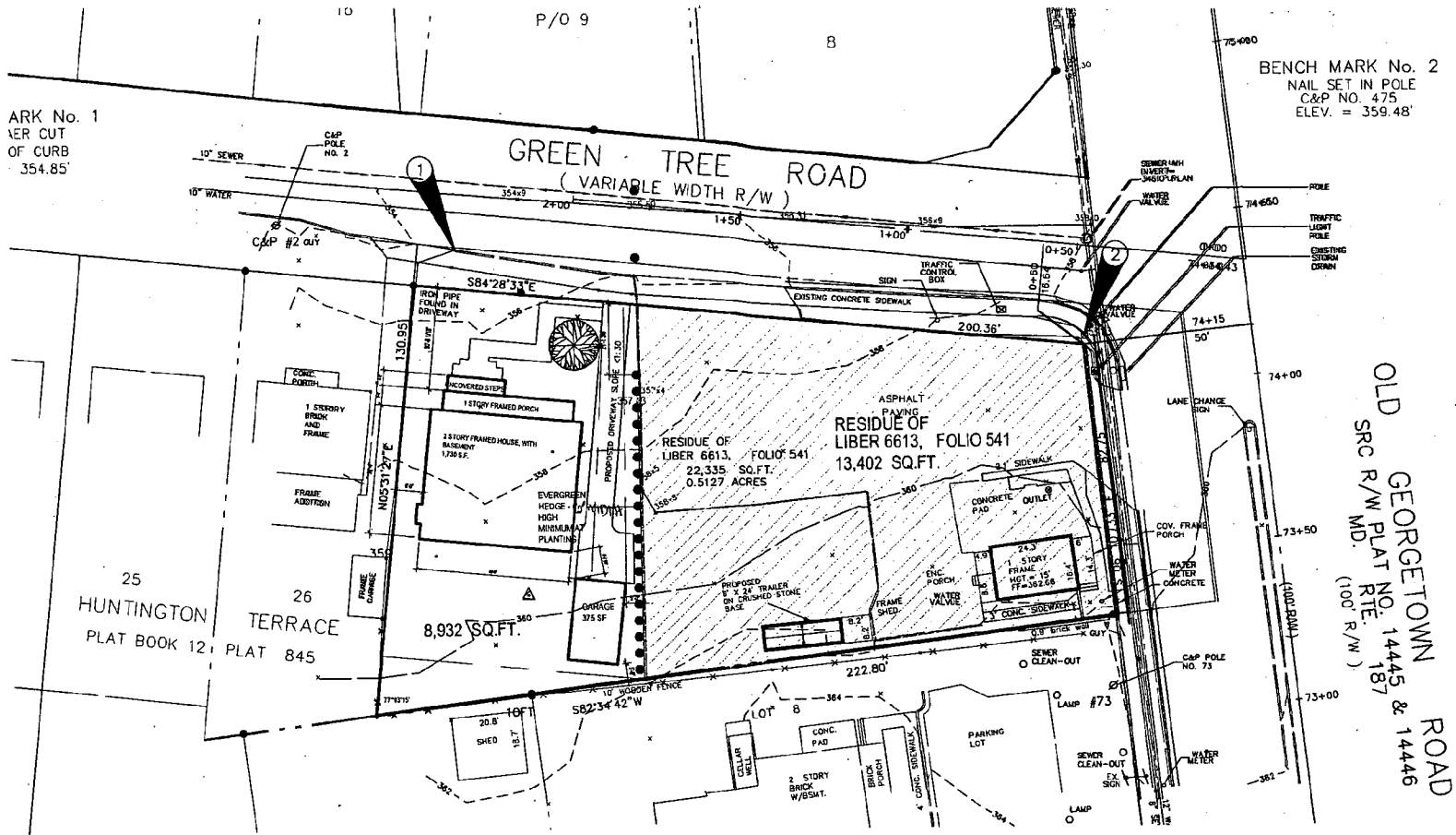
and with the Secretary of the Interior Guideline #2, #9, #10:

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



LAWSON & ASSOCIATES, ARCHITECTS
 8520 Connecticut Avenue, Suite 240
 Chevy Chase, Maryland 20815
 1.301.654.1600 1.301.654.1601

THE JAFFE GROUP
BETHESDA COMMUNITY STORE

SITE PLAN
 12/3/03
 SCALE 1:250

*APPROVED SITE PLAN
 ON 12/3/03*

①

APPROVED SITE PLAN
ON 12/8/02

PLAT BOOK 15 PLAT 98

SONOMA
PLAT BOOK 2
BLOCK 1

PLAT 157

HUNTINGTON TERRACE

PLAT BOOK 2 PLAT 157

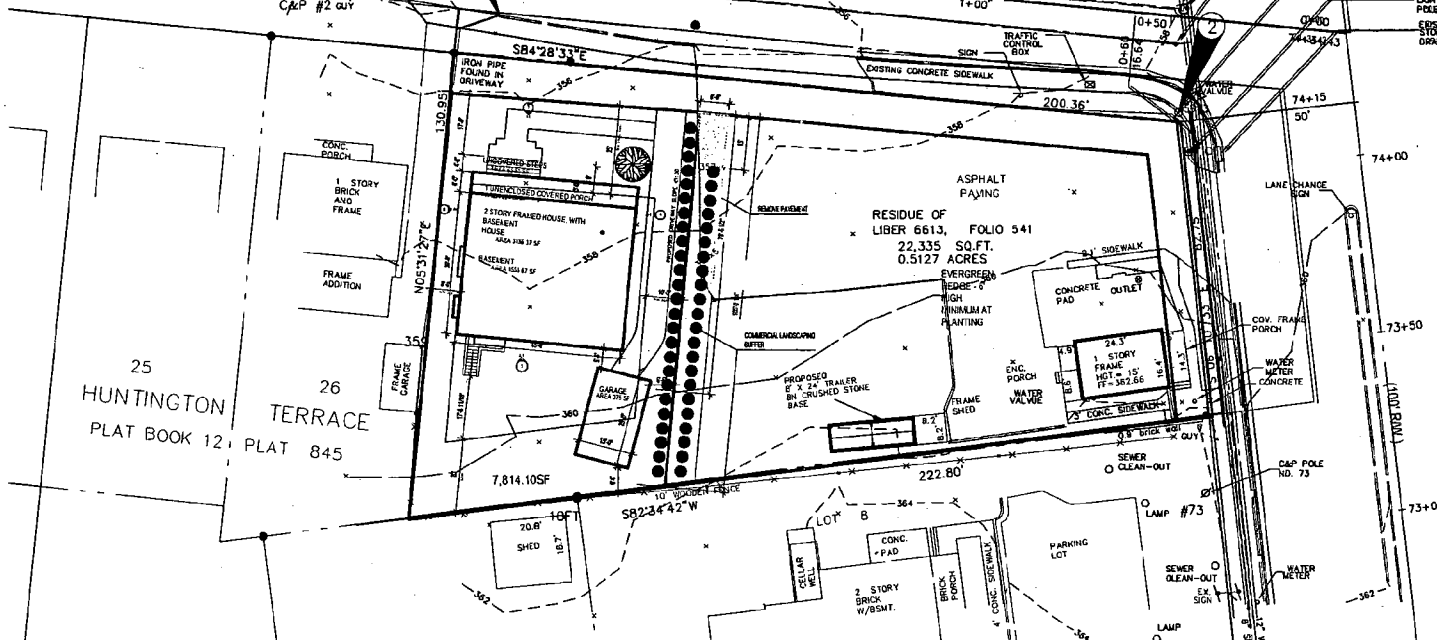
P/O 9

8

ARK No. 1
AER CUT
OF CURB
= 354.85'

BENCH MARK No. 2
NAIL SET IN POLE
C&P NO. 475
ELEV. = 359.48'

GREEN TREE ROAD
(VARIABLE WIDTH R/W)



OLD GEORGETOWN ROAD
SRC R/W PLAT NO. 14445 & 14446
MD. 187
(100' R/W)

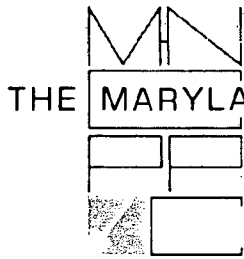
WSSC MERIDIAN

PROPOSED SITE PLAN
REVISIONS

5

(2)

MADE THE RECORD
SHOWN



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

Historic Preservation Office
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: Lorraine Driscoll FAX NUMBER: 202-434-3758

FROM: Michele New

DATE: 1/30/04

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 10

NOTE:

Lorraine, it appears from the attached
staff report that the trailer's length of stay is
a zoning issue... it was not a condition of
approval by HPC -- therefore I would contact
DPS regarding this matter. Also, attached
are the drawings of the approved house! I
hope you concur that this bldg. is much
more compatible than a 3-story townhouse style
dwelling! If you have any additional questions
pls. contact me @ the above #.

-Michele New

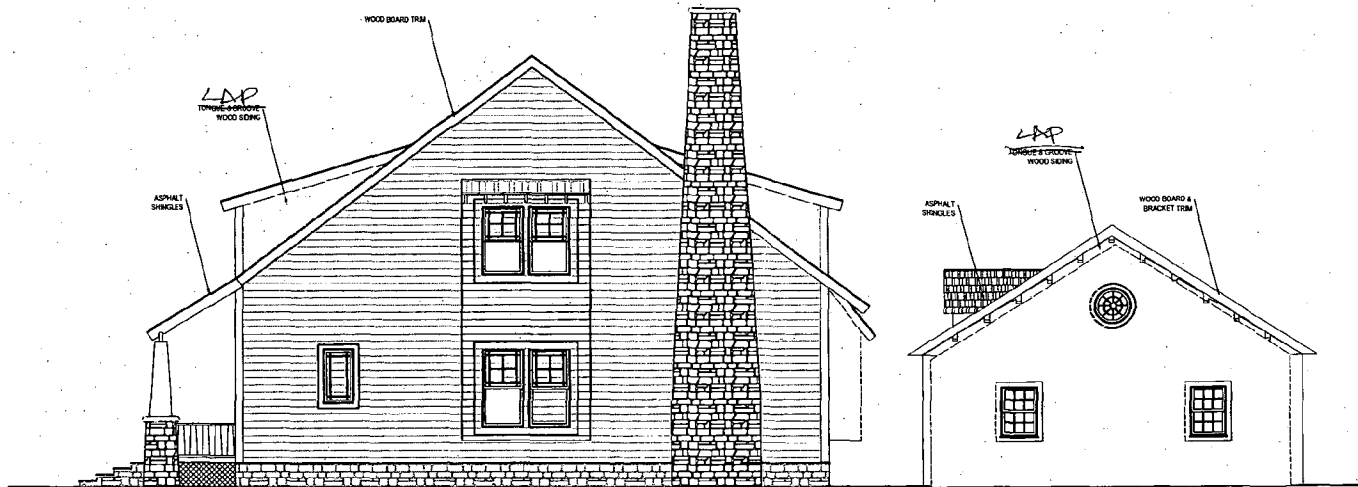


LAWSON & ASSOCIATES, ARCHITECTS

8520 Connecticut Avenue, Suite 240
 Chevy Chase, Maryland 20815
 1 301 854 1600 1 301 654 1601

THE JAFFE GROUP
BETHESDA COMMUNITY STORE

FRONT ELEVATION (Greentree)
 12/3/03
 1/8" = 1'-0"

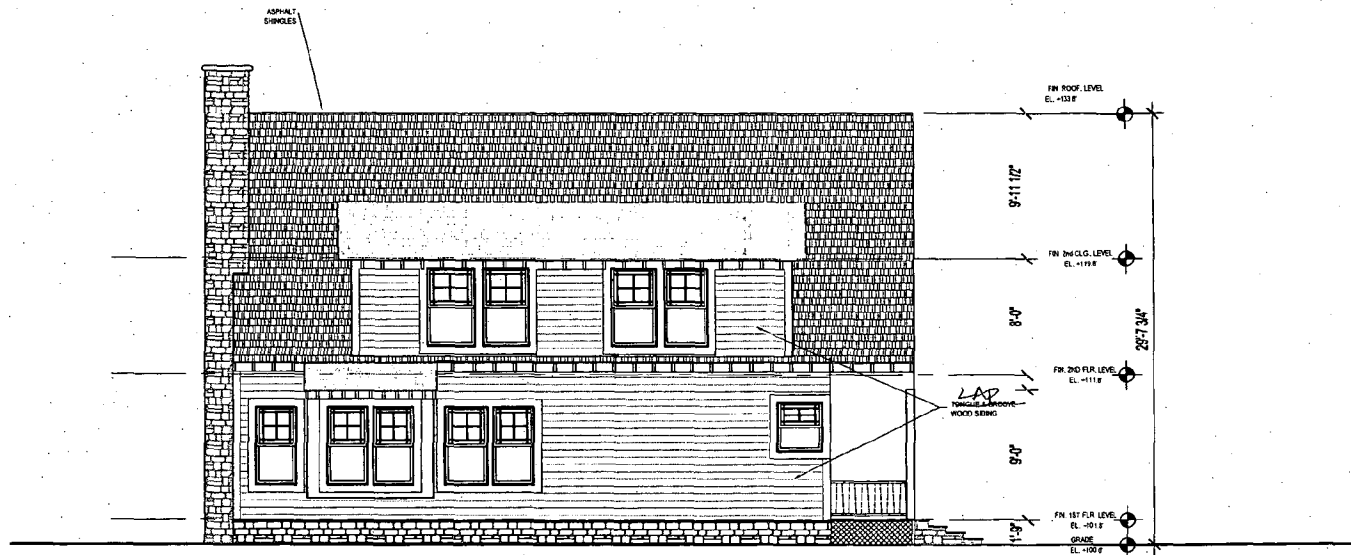


LAWSON & ASSOCIATES, ARCHITECTS

8520 Connecticut Avenue, Suite 240
 Chevy Chase, Maryland 20815
 t 301 654 1800 f 301 654 1601

THE JAFFE GROUP
BETHESDA COMMUNITY STORE

SIDE ELEVATION
 11/12/03
 1/8" = 1'-0"

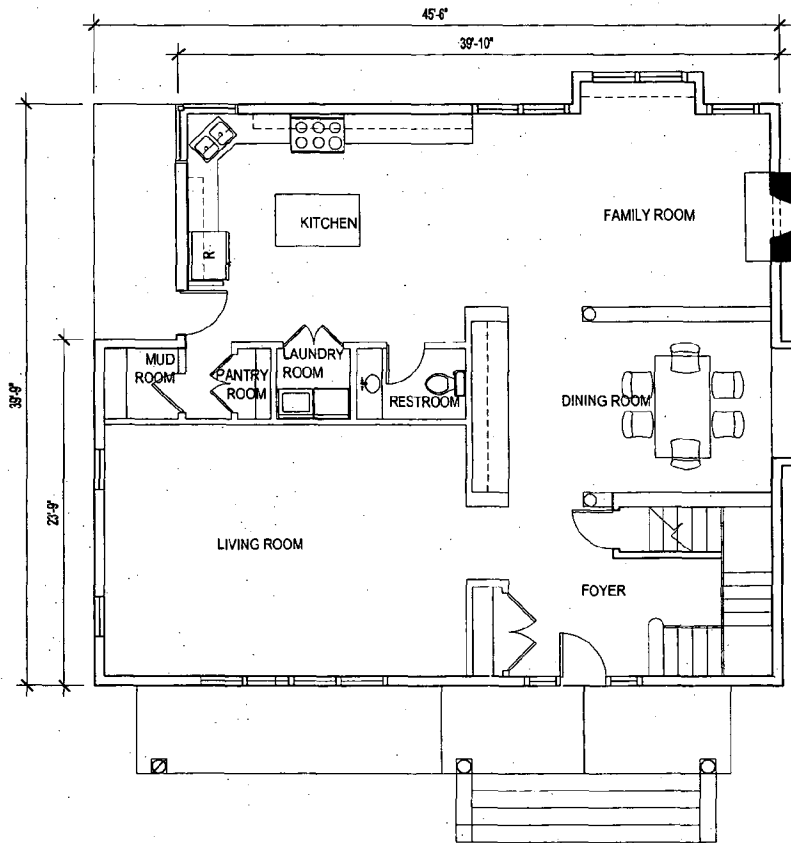


LAWSON & ASSOCIATES, ARCHITECTS

8520 Connecticut Avenue, Suite 240
 Chevy Chase, Maryland 20815
 t 301 654 1600 f 301 654 1601

THE JAFFE GROUP
BETHESDA COMMUNITY STORE

BACK ELEVATION
 12/3/03
 1/8" = 1'-0"

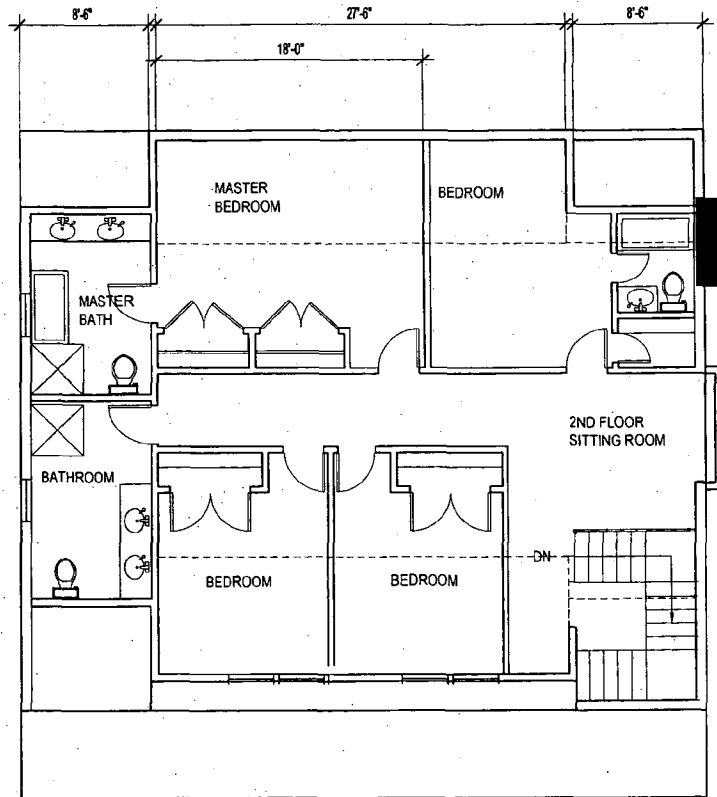


LAWSON & ASSOCIATES, ARCHITECTS

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 Chevy Chase, Maryland 20815
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THE JAFFE GROUP
BETHESDA COMMUNITY STORE

FIRST FLOOR PLAN
 12/3/03
 1/8" = 1'-0"



LAWSON & ASSOCIATES, ARCHITECTS

8520 Connecticut Avenue, Suite 240
 Chevy Chase, Maryland 20815
 t 301 654 1600 f 301 654 1601

THE JAFFE GROUP
BETHESDA COMMUNITY STORE

SECOND FLOOR PLAN
 12/3/03
 1/8" = 1'-0"

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 5504 Greentree Road, Bethesda (Lot 27) **Meeting Date:** 09/10/03

Resource: Master Plan Site # 35/43 **Report Date:** 09/03/03
Bethesda Community Store

Review: HAWP **Public Notice:** 08/27/03

Continued

Case Number: 35/43-03A

Tax Credit: None

Applicant: Greentree Associates LLC (Holly Bernard, Agent)

- domes
- bungalow/craftsman style house
- reducing height of house.
- tree survey

Staff: Michele Naru

PROPOSAL: Construct a new house on Lot 27

RECOMMEND: Denial

BACKGROUND INFORMATION

- continued existing
- Site plan w/ parking lot, bldg
- scale is too big - OLD Stown Rd relationship

The Planning Board on September 19, 2002 approved the subdivision of this .5 acre parcel of land into two separate lots. Lot 27 is a residential lot measuring 60' x 122' (7,320sf). Lot 28 is the remainder of the lot (14,586 sf) and includes the Bethesda Community Store and associated parking. Both of these lots still remain within the environmental setting of the aforementioned Master Plan site. Therefore, the Historic Preservation Commission (HPC) has review and approval authority over the size, design, massing, materials, and style of what is to be built on both lots.

The HPC, at its November 13, 2002 meeting, was presented with a preliminary consultation, which outlined a proposed design for new house construction on Lot 27 (See proposal on Circles 20 - 24). The HPC did not support the proposed design due to its massiveness in scale, massing and height, the lack of a unified treatment for the exterior surfacing, and the proposal's use of an exposed basement with attached, two-car garage. The HPC encouraged the applicant to develop a design for the new construction that would be compatible to the existing site. The suggestions included a below-grade basement, a freestanding garage to be located at the rear of the property, a front door height of approximately two or three steps above the street and a 1-1/2 story building height restriction.

DESCRIPTION

SIGNIFICANCE: Lot is within the Environmental Setting of a *Master Plan* site (Bethesda Community Store #35/43)

STYLE: 20th Century Vernacular Commercial

DATE: 1924

The Bethesda Community Store sits in the southwest corner of .5 acres of property. The

store is a small one-story building (24.3'L x 14.5'W). A shopkeeper's residence was also built on the same lot. This building was demolished prior to the Store's designation on the *Master Plan*. The Bethesda Community Store was built in 1924 on the site of an earlier store, and is one of the few surviving 20th century commercial structures in Montgomery County still in operation.

PROPOSAL:

The applicant is proposing to build a new house on Lot 27. The proposal is a 2-1/2 story, front gabled dwelling with a wrap around porch and significant, two-story rear "extension" (front elevation measuring 31' wide, front width of the rear extension measuring 35' wide and side elevation measuring 58' long. The total proposed height is 35') The proposed one-car garage is 15'W x 25'L.

The material specifications for this project include wood, simulated, divided-light, double hung windows, 5" painted, wood siding, asphalt roofing shingles, solid wood doors and trim, wood porch construction with tongue and groove wood flooring, and a gravel drive with paved brick walkway.

STAFF DISCUSSION

New construction within the environmental setting of *Master Plan* individually designated historic resources is reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed material specifications for this new construction are compatible with the site and the adjacent neighborhood. The applicant has an understanding of the importance of these "natural" materials in preserving the existing historic character and integrity of the existing environmental setting of this historic resource.

The applicant is also proposing a detached, one-car garage, which is generally supported by the Commission. The use of a detached garage helps to reduce the massing of the proposed new construction.

Staff's concerns are mainly focused on the proposed size, scale and massing of the proposed dwelling for the site. The proposed new house is 2-1/2 stories in height, which is significantly higher than the Commission's recommendation at the preliminary consultation of a 1-1/2 story building on the site. The scale and massing of this house should be compatible with the existing historic resource, the one-story, community store. The building should be designed specifically for this site, taking into account the flat grade of the property. Additionally, staff is concerned with the large "extension" that is being proposed for the building. This additional massing creates a very substantial side elevation, the elevation that will be visible from the store and Old Georgetown Road.

Staff suggests a redesign of this building utilizing the following guidelines: The building should be 1-1/2 stories in height, with a simple roof form. The use of dormers (shed or gable) and a full, below-grade basement might provide additional needed square footage for the house. The house should be built low to the ground, with no more than 3 steps up to the front door. The driveway should be 8' wide. Additionally, a landscape buffer proposal between the two lots should be developed for HPC consideration and should be installed during the house construction.

STAFF RECOMMENDATION

Staff recommends that the Commission **deny** the HAWP application as it is **not** consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #2, #9 and #10:

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

III J

HISTORIC PRESERVATION COMMISSION
301/563-3400 316322

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: HOLLY BERNARD

Daytime Phone No.: 301-654-1600

Tax Account No.: 07-00512757

Name of Property Owner: GREENTREE ASSOCIATES LLC Daytime Phone No.: _____

Address: 8804 OLD GEORGETOWN RD, BETHESDA MD 20814
Street Number City State Zip Code

Contractor: TBD Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: HOLLY BERNARD, LAWSON & ASSOCIATES ARCHITECTS LLC Daytime Phone No.: 301-654-1600

240-876-6952 (CELL)

LOCATION OF BUILDING/PREMISE

House Number: [5504] ^{PROPOSED} ~~8804~~ Street: GREENTREE RD ~~RD~~

Town/City: BETHESDA Nearest Cross Street: RTE 187

Lot: 8804 Block: 2 Subdivision: HUNTINGTON TERRACE

Liber: 19615 Folio: 25 Parcel: P961 - west part of this parcel being subdivided.

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 150,000.

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Holly Bernard
Signature of owner or authorized agent

7/23/03
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

VACANT PROPERTY BEING SUBDIVIDED FROM BETHESDA COMMUNITY
HISTORIC PROPERTY. COMMUNITY STORE WAS RECENTLY RENOVATED
UNDER SEPARATE APPLICATION.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SUBDIVISION OF PROPERTY ~~AREA~~ LEAVES ADEQUATE PARKING AREA &
TREES FOR HISTORIC SITE. NEW HOUSE IS IN SCALE & IN CHARACTER
WITH SURROUNDING HOUSES. THERE ARE NO SUBSTANTIAL TREES > 6" DIA.
ON SUBDIVIDED HOUSE LOT.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

(5)

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Holly Bernard
Lawson & Associates, Architects LLC
8520 Connecticut Avenue #240
Chevy Chase, MD 20815

Adjacent and confronting Property Owners mailing addresses

PREMISE ADDRESS

MAILING ADDRESS

Adjoining to East

Bethesda Community Store
P961
8804 Old Georgetown Rd

Greentree Associates LLC
8804 Old Georgetown Road
Bethesda MD 20814-1426

Confronting to Northeast

Block1 Lot 19
8900 Old Georgetown Road

Chao H. & Chen Qing Zheng
8900 Old Georgetown Road
Bethesda MD 20814-1426

Confronting to North

Block1 Lot P9
5507 Greentree Road

Sandra L Raciti et al.
5507 Greentree Road
Bethesda, MD 20817-3547

Confronting to Northwest

Block1 Lot 16
5509 Greentree Road

Teresa M. Nalecz-Mrozowski
5509 Greentree Road
Bethesda, MD 20817

Adjoining to West

Block 2, Lot 26
5506 Greentree Road

Peter C. Hsueh
13140 River Road
Potomac, MD 20854

2nd Adjoining to West

Block 2, Lot 25
5508 Greentree Road

Joel Plotkin
5508 Greentree Road
Bethesda, MD 20817

Adjoining to Southeast

Block 2, Lot 8
5501 Southwick Road

Suburban Hospital Assoc. Inc.
8600 Old Georgetown Road
Bethesda, MD 20814

Adjoining to South

Block 2, Lot 7
5507 Southwick Road

Accounting Department:
Suburban Hospital Assoc. Inc.
8600 Old Georgetown Road
Bethesda, MD 20814

Adjoining to Southwest

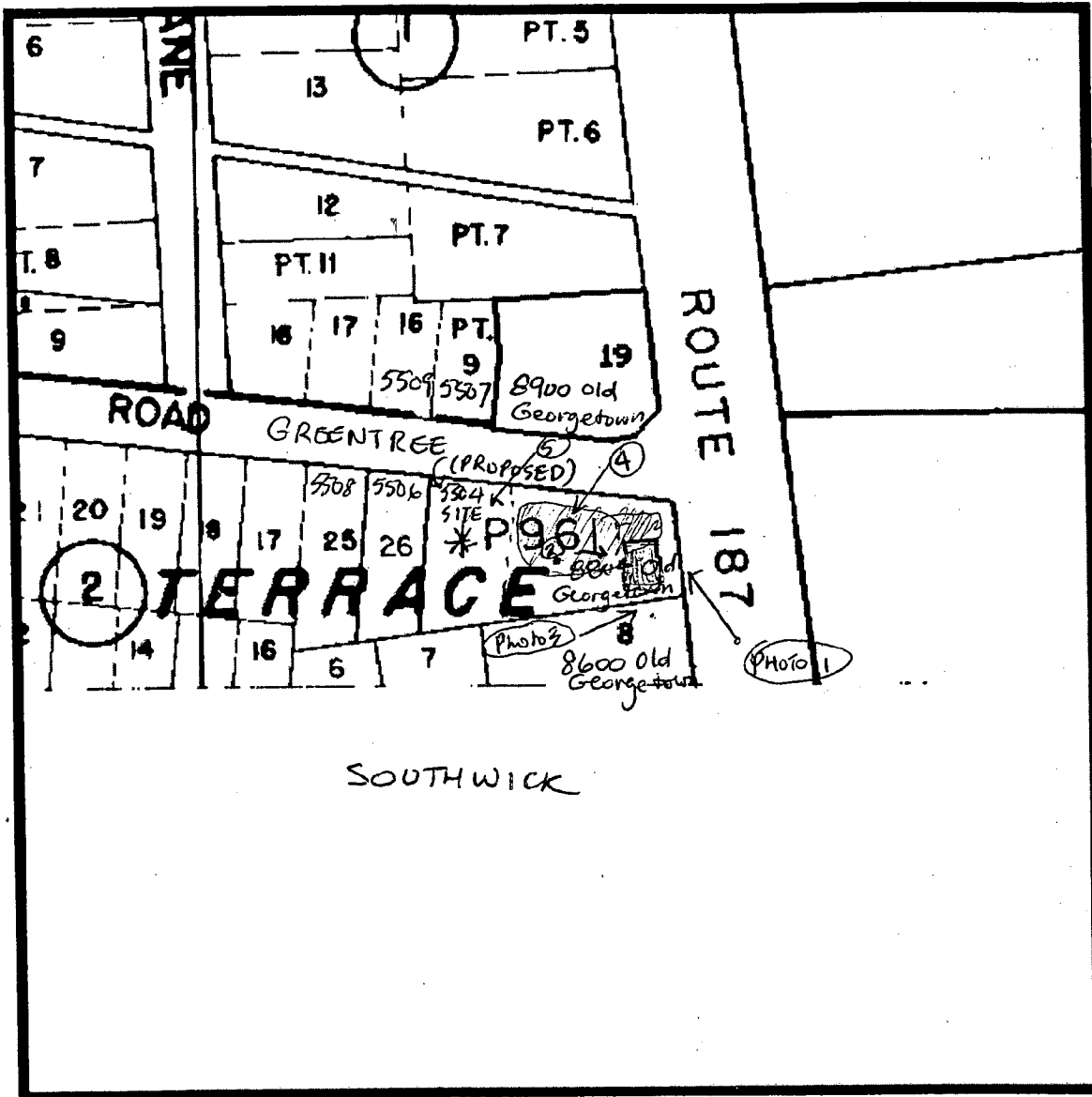
Block 2, Lot 6
5511 Southwick Road

Michael Wohl
5511 Southwick Road
Bethesda, MD 20817

(6)



District - 07 Account Number - 00512757



Property maps provided courtesy of the Maryland Department of Planning ©2001.
 For more information on electronic mapping applications, visit the Maryland Department of Planning
 web site at www.mdp.state.md.us/webcom/index.html

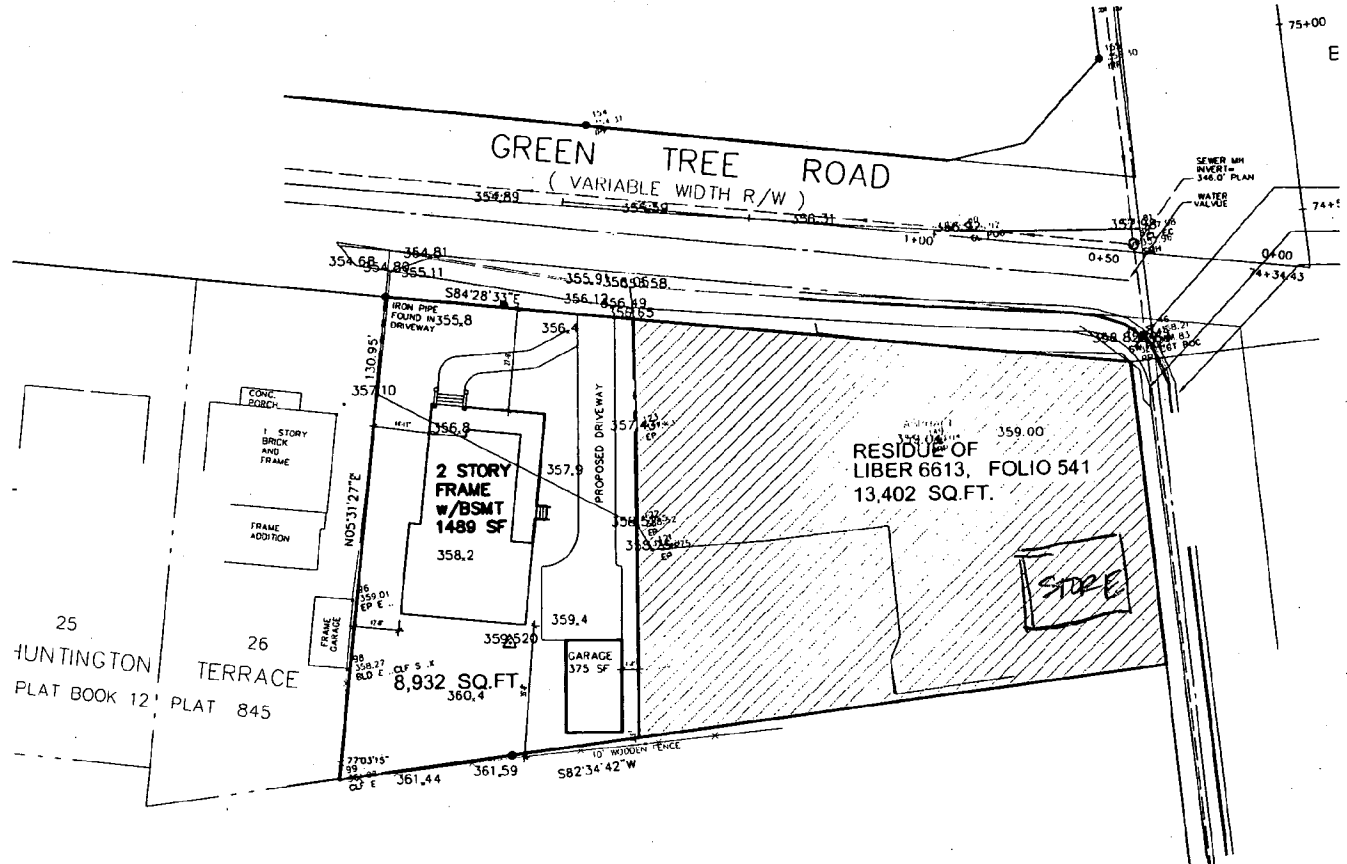
MATERIAL SPECIFICATIONS

Roofing	Asphalt shingles
Siding	5" Wood
Trim	wood board & bracket trim
Windows	Pella simulated divided lights Glued muntins interior & exterior
Doors	Solid wood doors Wood trim
Porch Details	wood details
Porch Flooring	tongue & groove wood
Railings	wood
Foundation	brick foundation
Garage Doors	wood garage doors
Drive	gravel drive
Walk	brick paved walk

ZONING

Zoning	R-60
Lot Coverage	House & Garage 20% Driveway & Walk adds 15%
Tree Coverage	No existing trees on site to be removed.
Grading	Existing grade is flat.
Building Height	House under 35 feet Garage under 15 feet

P:\0308 - Beth Comm. House\CD\Plan Files\1308 A-Ldwg.08/20/2003 12:06:16 PM, Carlos Madron, Lawson & Assoc. Architects, 1:1



LAWSON & ASSOCIATES, ARCHITECTS

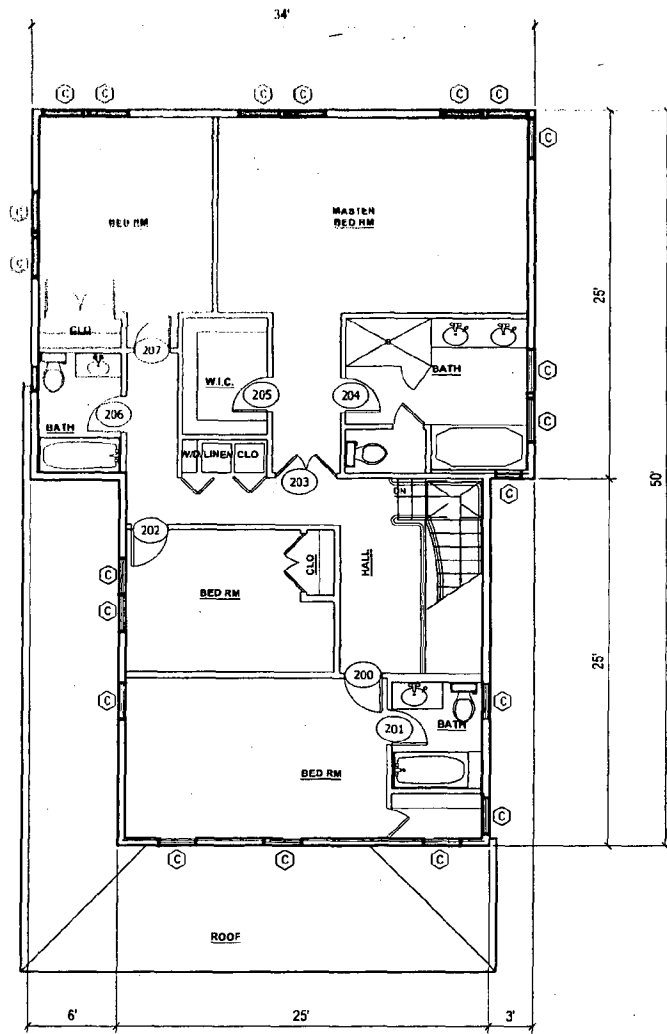
8520 Connecticut Avenue, Suite 240
 Chevy Chase, Maryland 20815
 1 301 654 1600 1 301 654 1601

THE JAFFE GROUP
BETHESDA COMMUNITY STORE RESIDENCE

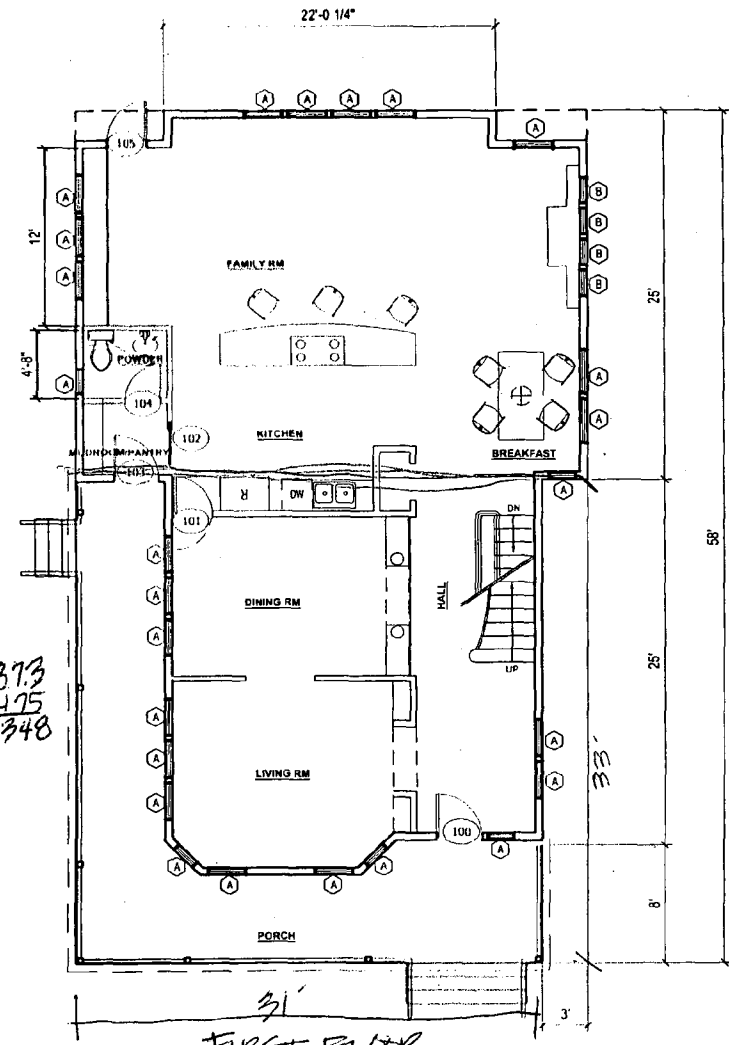
SITE PLAN
 5/5/03
 1/32" = 1'-0"

10

P:\1208 - Beth Comm. House\3-CO\Sheet Files\2300 A-2.dwg, 08/20/2003 12:33:12 PM, Carlos Madors, Lawson & Assoc. Architects, 1:1



SECOND FLOOR
1475 SF



FIRST FLOOR
1873 SF

AREAS:
1st FLOOR: 1,412 sq ft
2nd FLOOR: 1,475 sq ft
TOTAL: 2,887 sq ft

1,873
1,475
3,348



LAWSON & ASSOCIATES, ARCHITECTS

8520 Connecticut Avenue, Suite 240
Chevy Chase, Maryland 20815
1 301 654 1600 1 301 654 1601

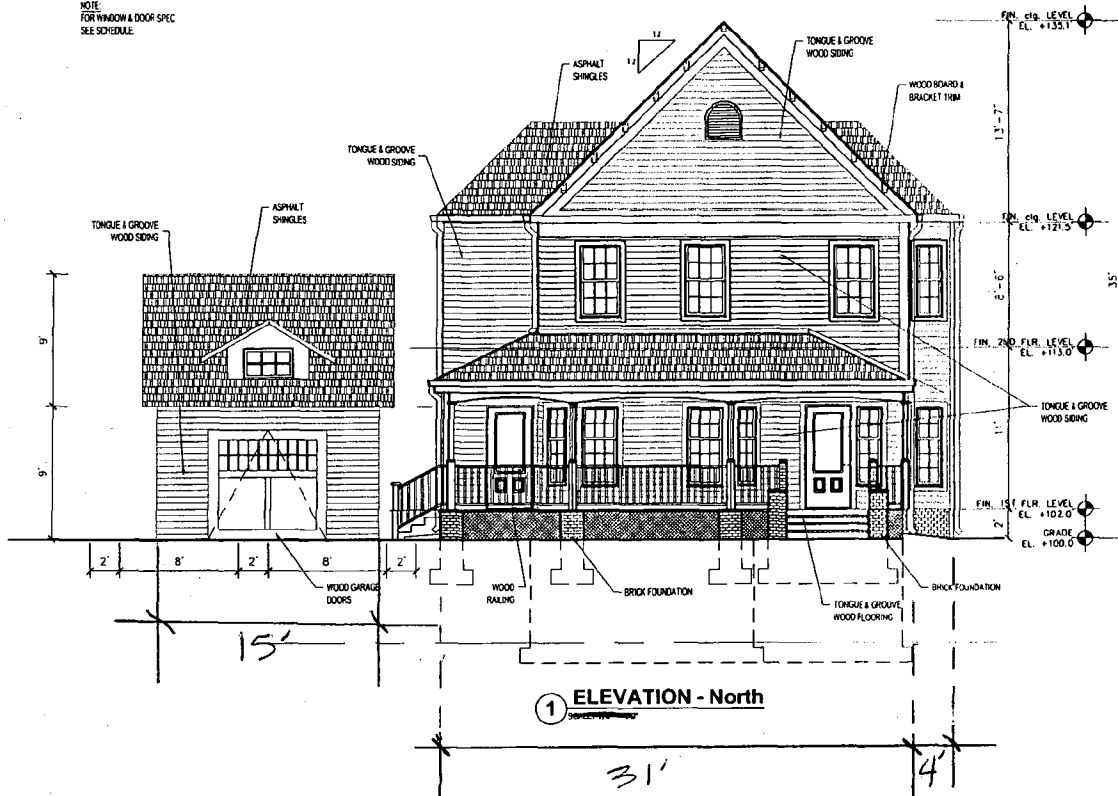
THE JAFFE GROUP
BETHESDA COMMUNITY STORE RESIDENCE

FLOOR PLANS
5/5/03
1/8" = 1'-0"



P:\2208 - Beth Comm. House\3-CD\3X-mrf\1\extelevations.dwg, 08/20/2003 02:27:55 PM, Carlos Madeno, Lawson & Assoc. Architects, 1:1

NOTE
FOR WINDOW & DOOR SPEC
SEE SCHEDULE



LAWSON & ASSOCIATES, ARCHITECTS

8520 Connecticut Avenue, Suite 240
Chevy Chase, Maryland 20815
T 301 654 1600 F 301 654 1601

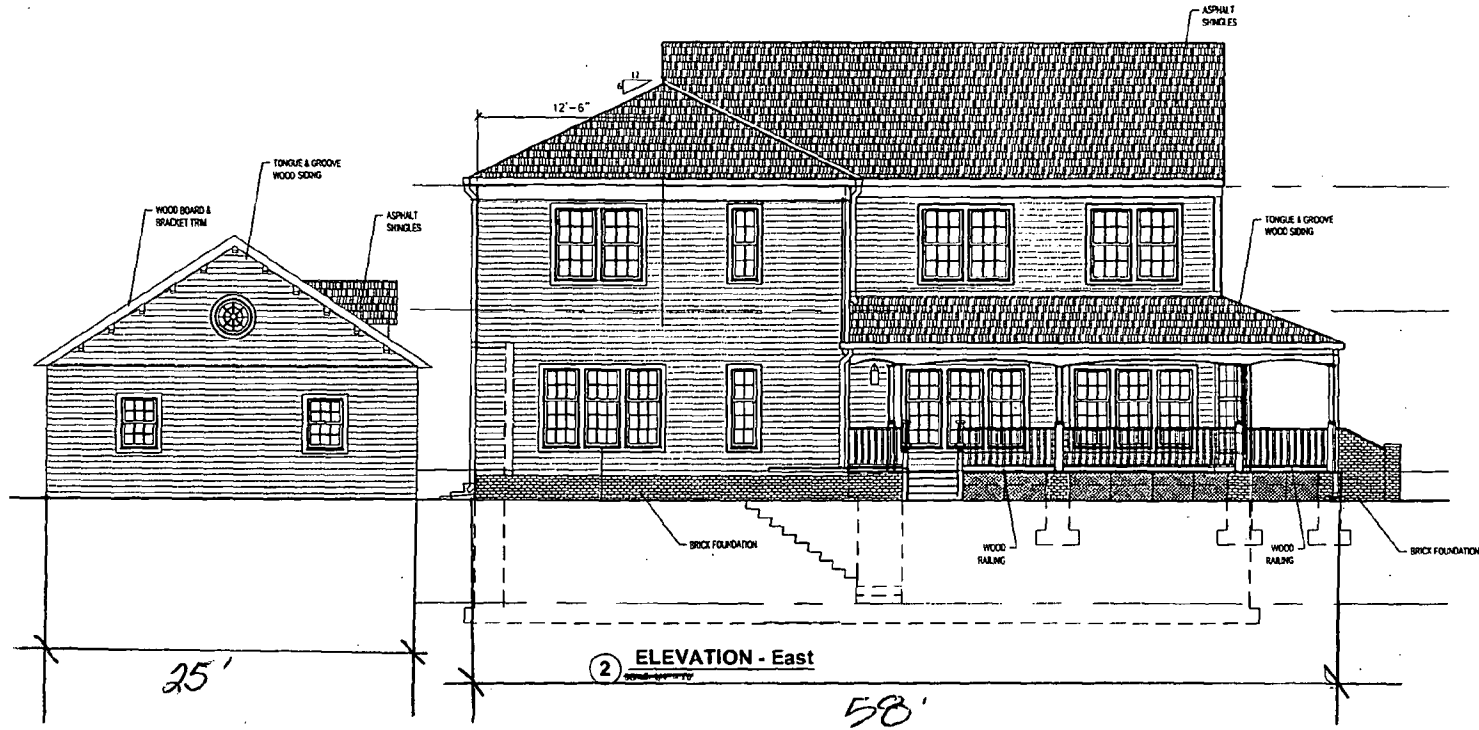
THE JAFFE GROUP

BETHESDA COMMUNITY STORE RESIDENCE

FRONT ELEVATION
5/5/03
-488-4402

11

P:\13306 - Beth Comm. House\3-CD\3-1-03\115654.dwg, 08/20/2003 11:56:54 AM, Carlos Madero, Lawson & Assoc. Architects, 1:1



LAWSON & ASSOCIATES, ARCHITECTS

8520 Connecticut Avenue, Suite 240
 Chevy Chase, Maryland 20815
 (301) 654 1600 (301) 654 1601

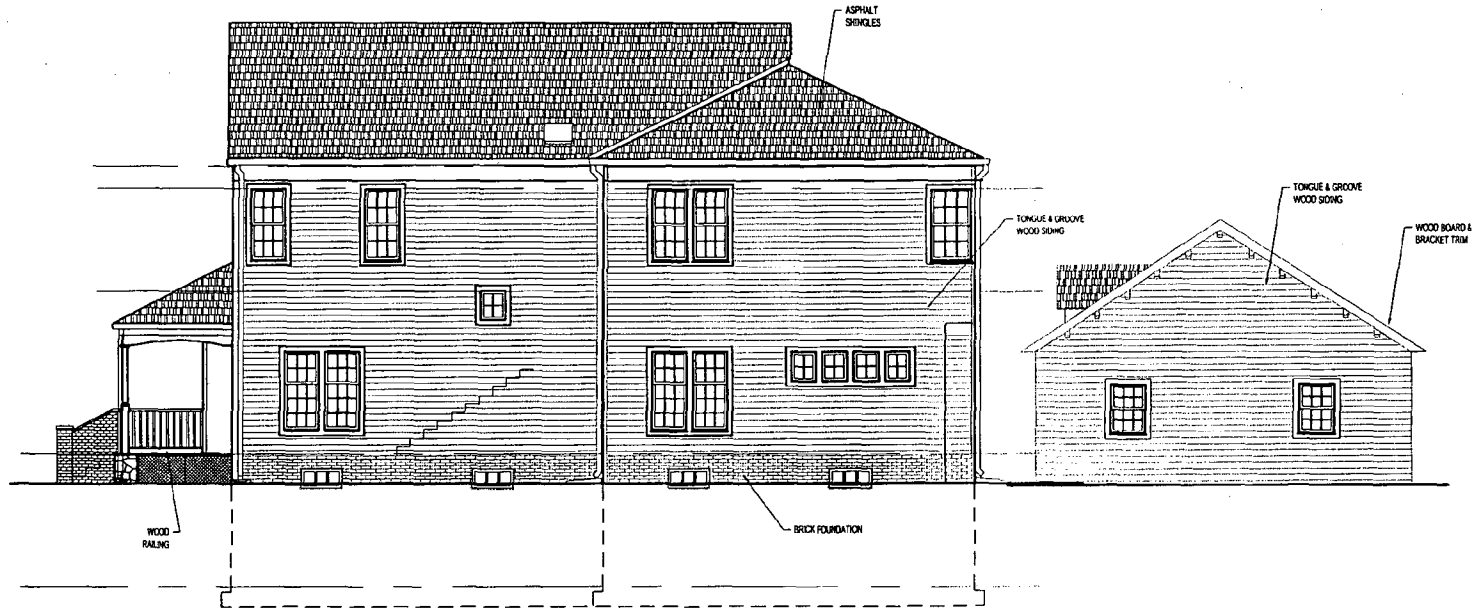
THE JAFFE GROUP
BETHESDA COMMUNITY STORE RESIDENCE

*(ELEVATION TO BE SEEN FROM
 STORE & OLD GEORGETOWN RD)*

FRONT ELEVATION
 5/9/03
 1:00

②

P:\2108 - Beth Comm. House\CD\X-ref\3xerlevation.dwg, 08/20/2003 11:57:12 AM, Carlos Madro, Lawson & Assoc. Architects, 1:1



4 ELEVATION - West



LAWSON & ASSOCIATES, ARCHITECTS

8520 Connecticut Avenue, Suite 240
Chevy Chase, Maryland 20815
1 301 654 1600 1 301 654 1601

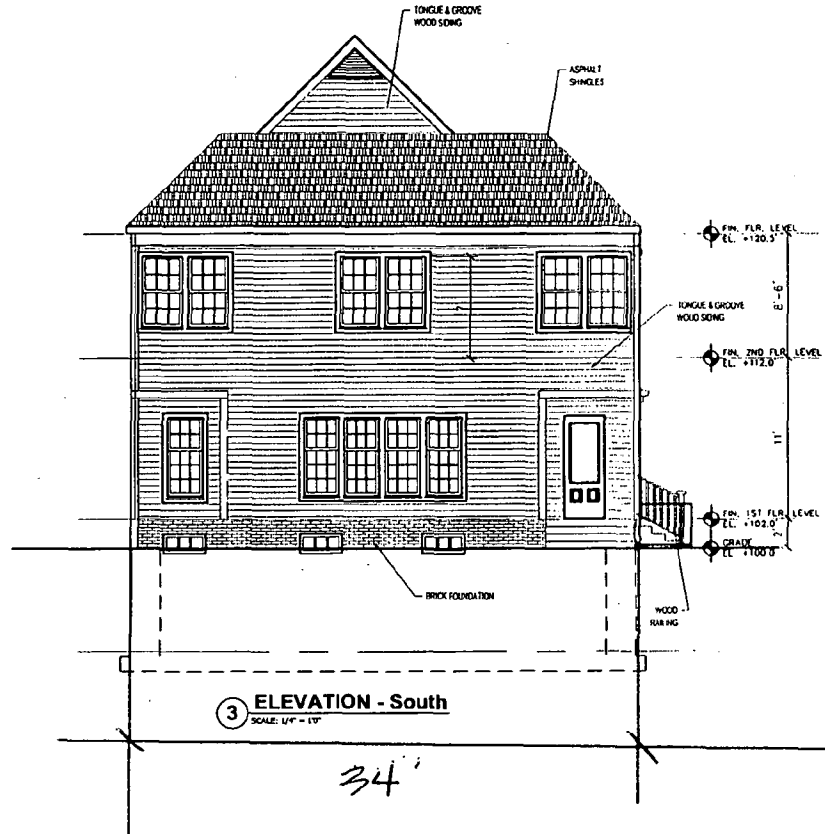
THE JAFFE GROUP

BETHESDA COMMUNITY STORE RESIDENCE

FRONT ELEVATION
5/5/03

3

P:\13108 - Beth Comm. House\13-CD\13-ref\3\elevations.dwg, 08/20/2003 11:58:20 AM, Carlos Mateos, Larson & Assoc. Architects, 1:1



3 ELEVATION - South
SCALE: 1/4" = 1'-0"



LAWSON & ASSOCIATES, ARCHITECTS

8520 Connecticut Avenue, Suite 240
Chevy Chase, Maryland 20815
(301) 654 1600 (301) 654 1601

THE JAFFE GROUP
BETHESDA COMMUNITY STORE RESIDENCE

FRONT ELEVATION
5/5/03
1/8" = 1'-0"

(7)

DOOR & WINDOW SCHEDULE

ROOM NAME	NUMBER	TYPE	JAMB OPENING		DETAILS			DOOR		REMARKS
			WIDTH	HEIGHT	HEAD	JAMB	SILL	HDW.	FINISH	
WINDOW SCHEDULE										
GARAGE	E	DHU2941	2'-5"	3'-5"					PT	PELLA PRODUCTS
BASEMENT ROOM	D	AW3517	3'-1"	1'-5"					PT	PELLA PRODUCTS
FIRST FLOOR:										
LIVING ROOM	A	DHU2965	2'-5"	5'-5"					PT	PELLA PRODUCTS
DINING ROOM	A	DHU2965	2'-5"	5'-5"					PT	PELLA PRODUCTS
FAMILY ROOM/BREAKFAST	A	OHU2965	2'-5"	5'-5"					PT	PELLA PRODUCTS
FAMILY ROOM/BREAKFAST	B	OHU2959	1'-9"	2'-1"					PT	PELLA PRODUCTS
POWDER ROOM	A	OHU2965	2'-5"	5'-5"					PT	PELLA PRODUCTS
HALL	A	OHU2965	2'-5"	5'-5"					PT	PELLA PRODUCTS
SECOND FLOOR										
BEDROOM #1	C	DHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
BEDROOM #2	C	DHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
BATH #1	C	DHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
BEDROOM	C	DHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
BATH #2	C	DHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
BEDROOM #3	C	DHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
MASTER BEDROOM	C	DHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
BATH #3	C	OHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
DOOR SCHEDULE										
GARAGE	B01	D	8'-0"	7'-5"					PT	WOOD DOORS
BASEMENT	B01	A	3'-0"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
FIRST FLOOR										
HALL	100	A	3'-0"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
DINING ROOM	101	A	2'-8"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
KITCHEN	102	A	3'-0"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
PANTRY	103	B	3'-0"	7'-0"					PT	WOOD - POCKET DOOR
POWDER ROOM	104	A	2'-4"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
FAMILY ROOM	105	A	2'-8"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
SECOND FLOOR										
BEDROOM #1	200	A	2'-6"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
BATH #1	201	A	2'-4"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
BEDROOM #2	202	A	2'-6"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
MASTER BEDROOM	203	C	(2)2'-0"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
MASTER BATHROOM	204	A	2'-4"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
WALK IN CLOSET	205	A	2'-4"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
BATHROOM #2	206	A	2'-6"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
BEDROOM #3	207	A	2'-6"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS



Bethesda Community Store, 8804 Old Georgetown Road, Bethesda, Maryland: After renovation, view from East.



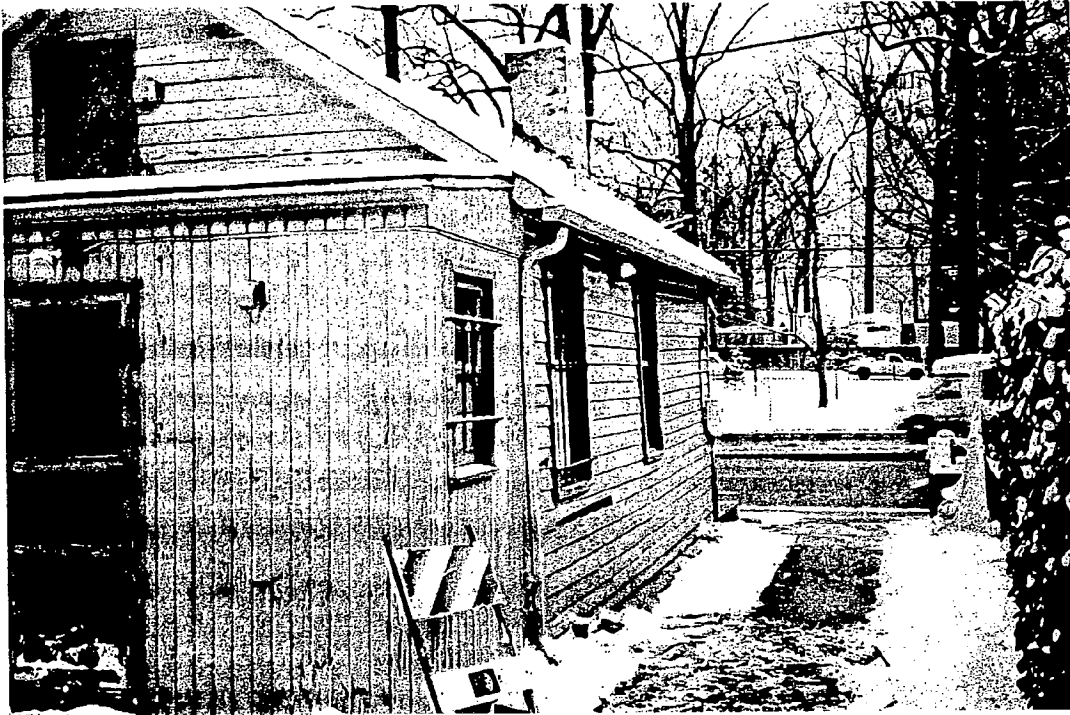
After renovation, view from the Northeast.



Bethesda Community Store, 8804 Old Georgetown Road, Bethesda, Maryland: Before renovation, view from East.



Before renovation, view from the West.



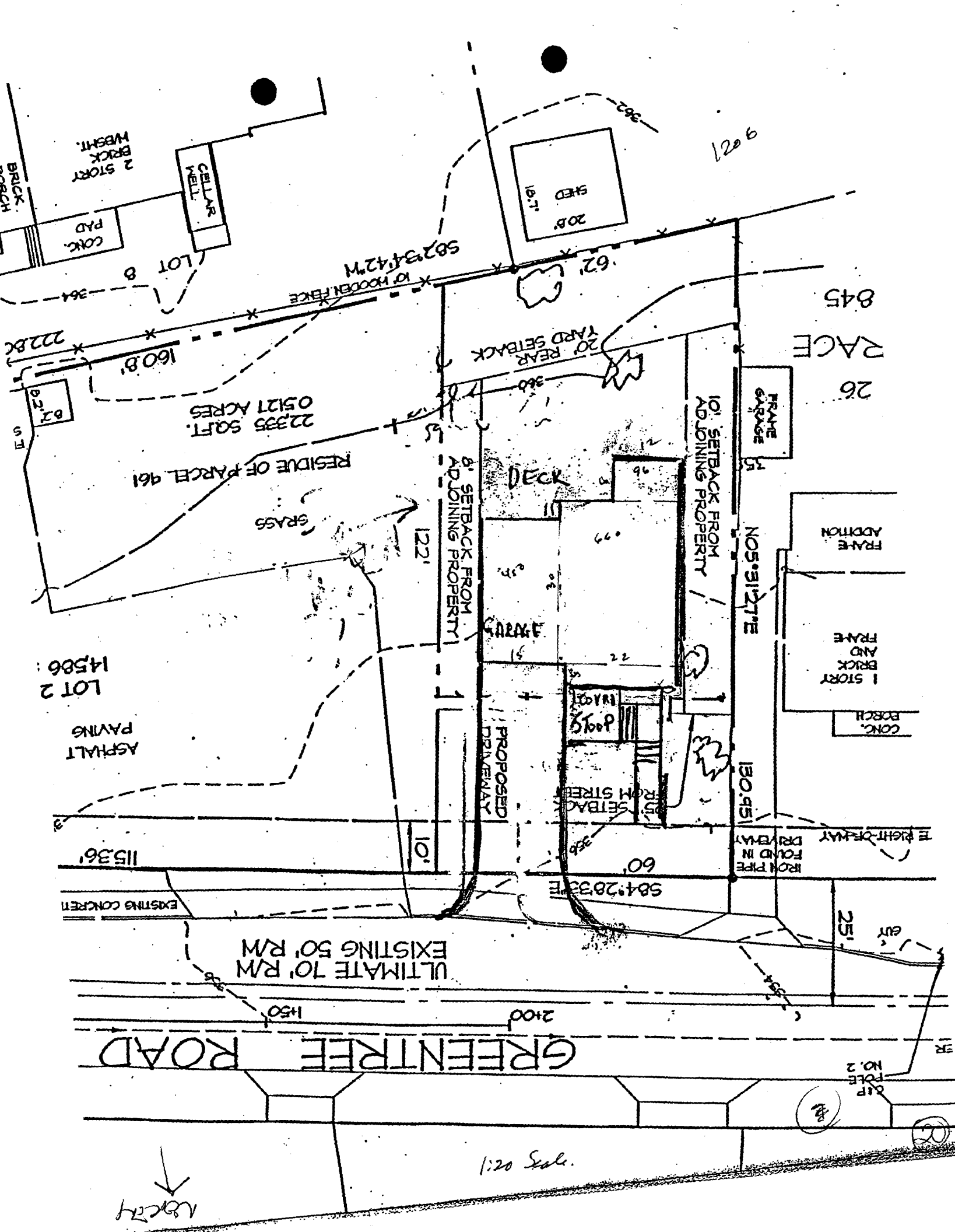
Bethesda Community Store, 8804 Old Georgetown Road, Bethesda, Maryland: Before renovation, view from Southwest.



View of Bethesda Community Store parking lot before renovation, from Northeast.



Site is grassy area beyond parking lot in front of houses. View from the Northeast.



North ↓

120 Sale.

CIP
POLE
NO. 2

1 STORY
BRICK
AND
FRAME
CONC.
PORCH

FRAME
ADDITION

NOS. 31, 27, E

130, 451

10' SETBACK FROM
ADJOINING PROPERTY

FRAME
GARAGE

26
RACE
845

120.6

19.7'
20.8'
SHED

8' SETBACK FROM
ADJOINING PROPERTY

FRAME
GARAGE

PROPOSED
DRIVEWAY

DECK

RESIDUE OF PARCEL 961

GRASS

22,335 SQ. FT.
0.5171 ACRES

160.8'

S82°34'42"W
10' WOODEN FENCE

2 STORY
BRICK
WBSHIT.

CELLAR
WELL

CONC.
PAD

LOT 8

BRICK
PORCH

LOT 2
14,586

ASPHALT
PAVING

115.36'

EXISTING CONCRETE

ULTIMATE 70' RM
EXISTING 50' RM

GREEN TREE ROAD

2100

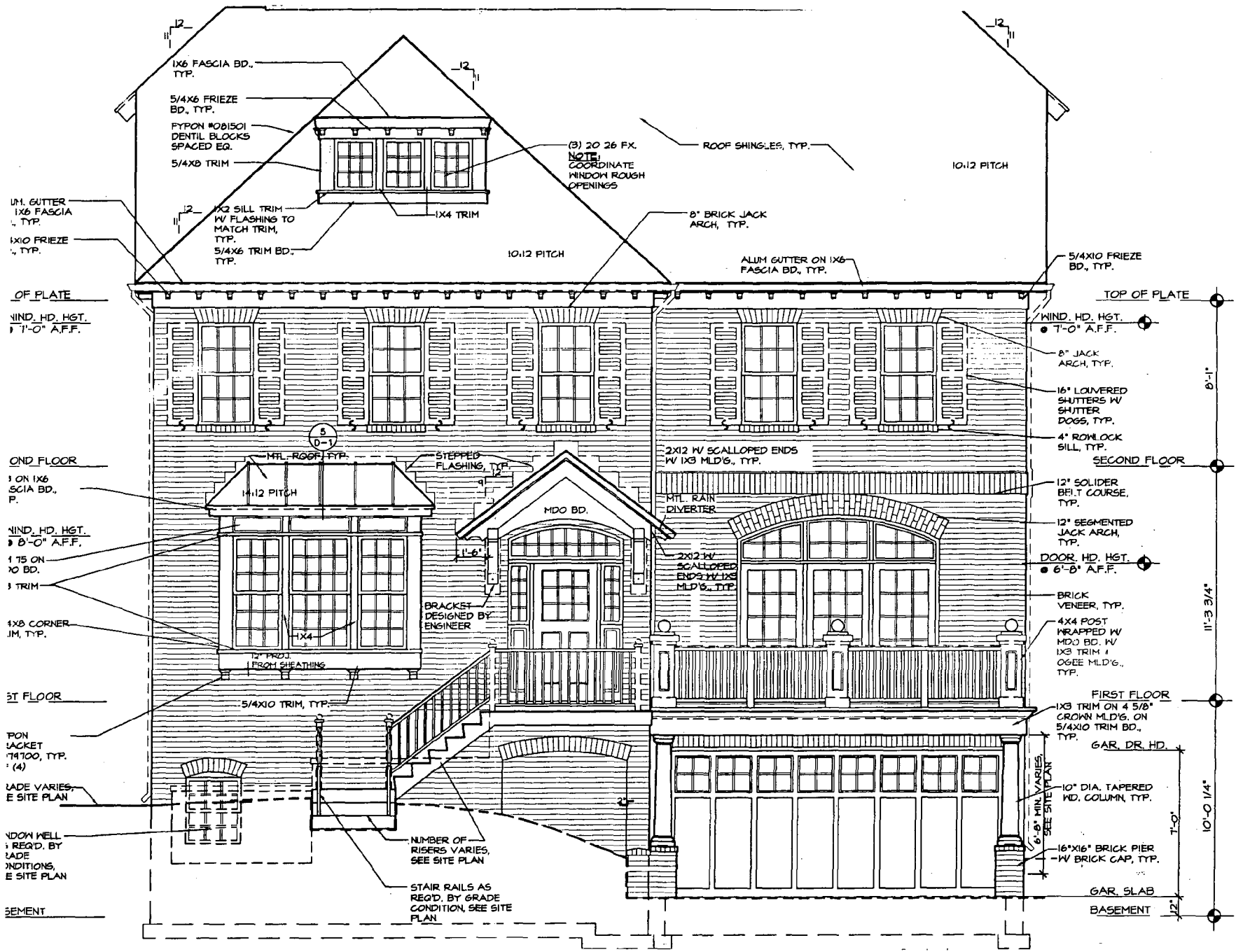
150

25'

25'

20

20



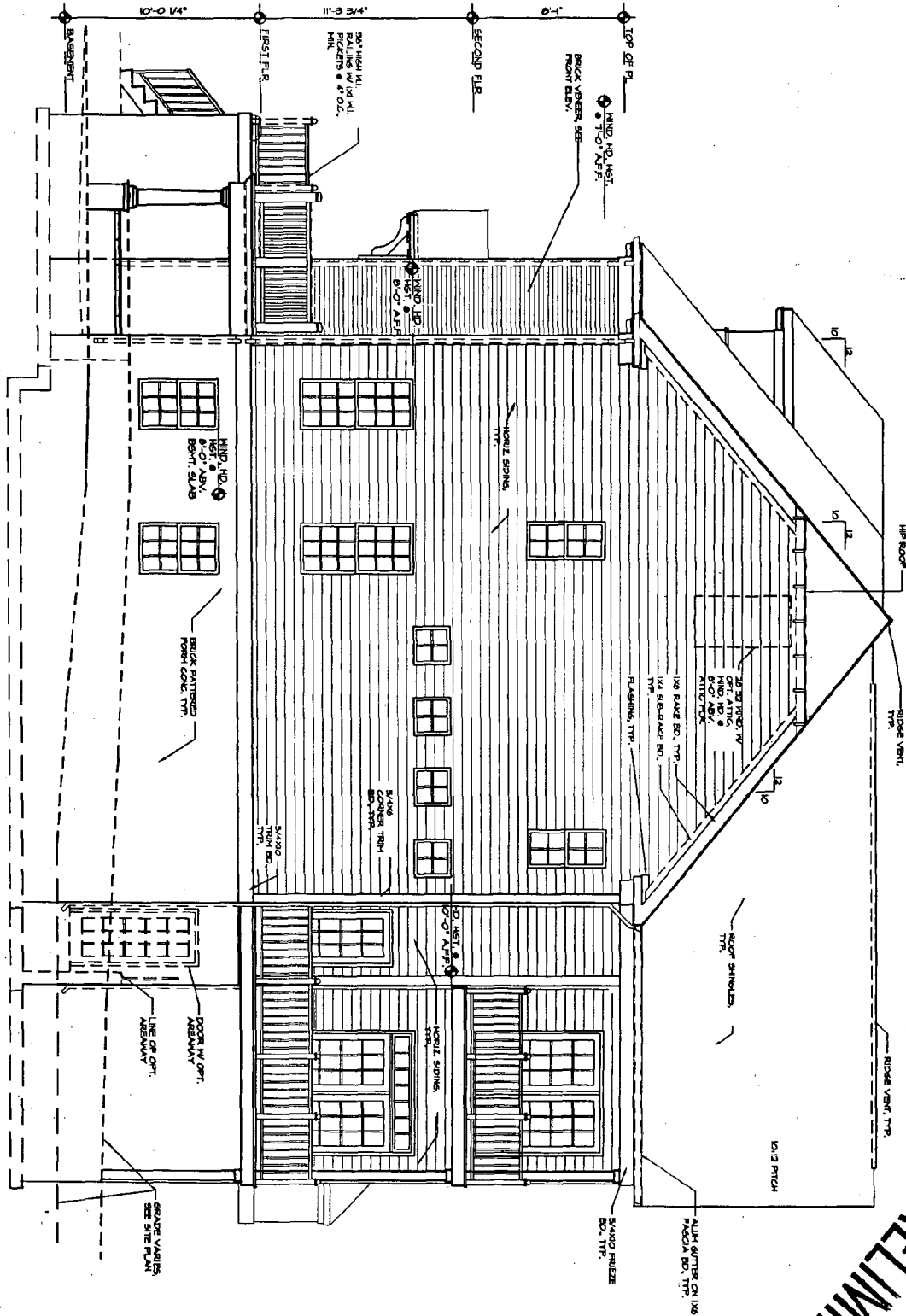
FRONT ELEVATION

1/4" = 1'-0" Scale

22

RIGHT SIDE ELEVATION
ELEVATION 'A'

3/16"=1'-0"



PRELIMINARY

DESIGN-TECH

OLDERS • DEVELOPERS

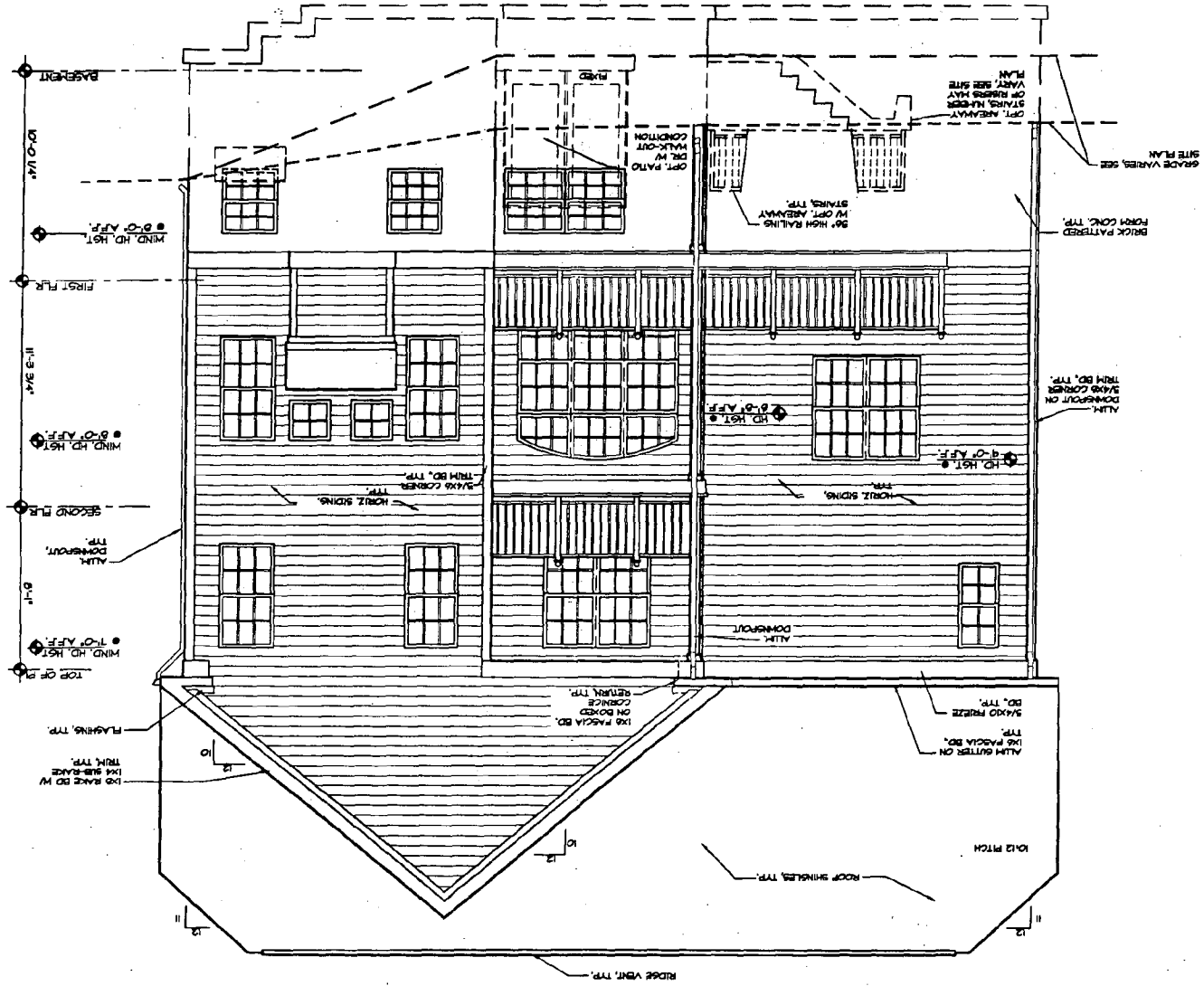
1e Avenue Suite 301 Silver Spring, Maryland 20910-4450

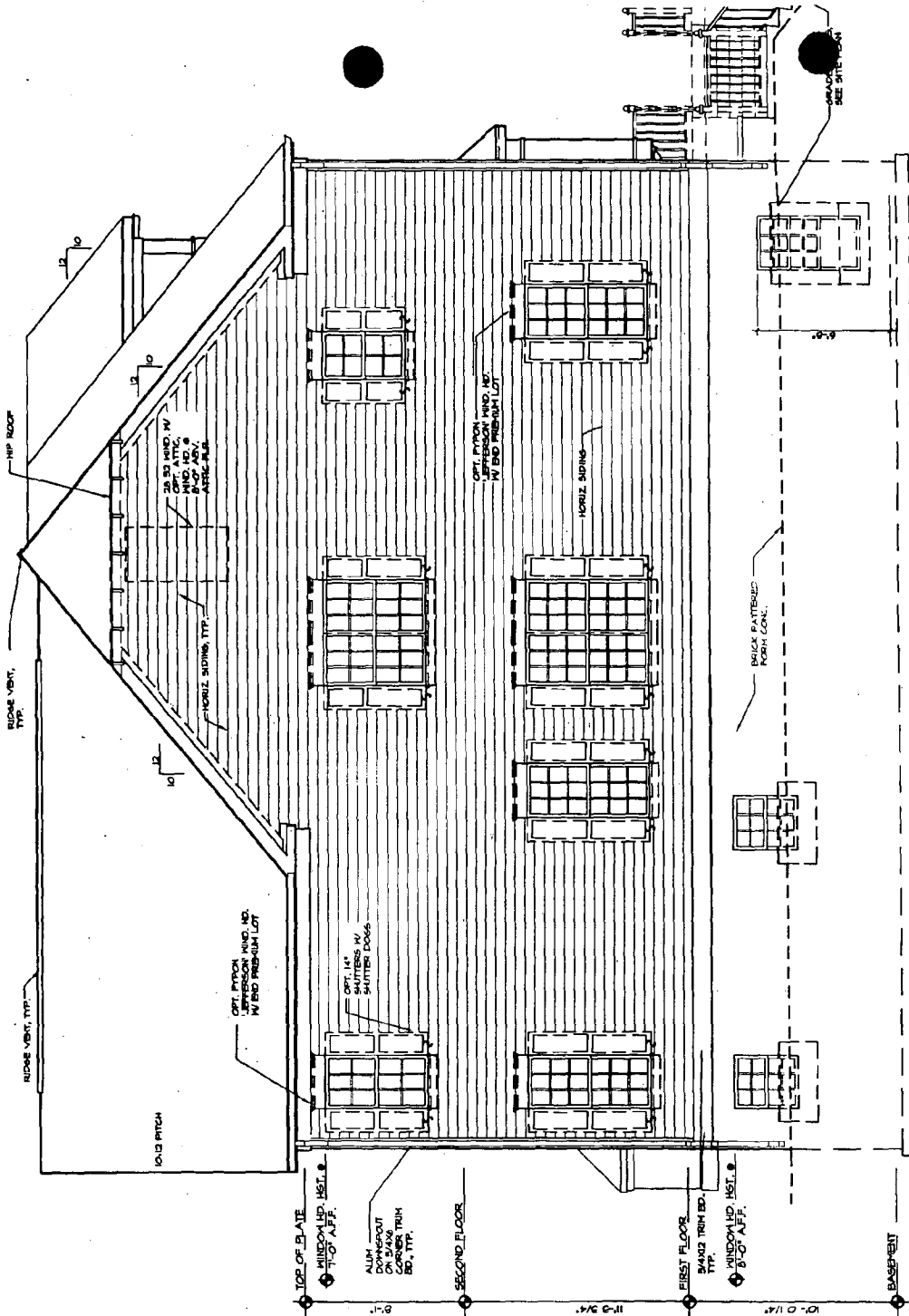
REASER / BRIEN
ARCHITECTS PC

6 MONTGOMERY VILLAGE AVE. SUITE 001948-8380

104
28

REAR ELEVATION
ELEVATION A' 3/16"=1'-0"





LEFT SIDE ELEVATION
 ELEVATION 'A' 5/16"=1'-0"

1 (Discussion off the record.)

2 MR. SPURLOCK: Why don't you go ahead.

3 MS. ZIEK: The next preliminary consultation is at
4 the property of the Bethesda Community Store, Master Plan
5 site #35/43. The Bethesda Community Store and the
6 environmental setting is .5 acres of property. The small
7 store is, of course, in the corner of that property and
8 there had been a shopkeepers house on this lot, which had
9 been demolished quite a while ago. And the store that we
10 have now was built in 1924 on the site of an earlier store
11 and it's significant as one of the few surviving early 20th
12 century commercial structures in Montgomery County which is
13 still in operation as a store.

14 The subdivision review was seen by the Commission
15 with a proposal for two houses a while ago, and the
16 Commission recommended against that subdivision. The
17 Planning Board recently approved a different subdivision of
18 this property into two separate lots, but only with one
19 residential component -- one residential lot, and that's Lot
20 27. The lot measures 60 feet wide, road frontage about 122
21 feet deep, and the rest of the property, which is Lot 28, is
22 14 -- over 14,000 square feet. It is the property to be
23 associated with the Bethesda Community and the parking.

24 The environmental setting is not reduced. The
25 task is to basically review the design and size, massing,

1 location, materials of a new house proposal on Lot 27 that
2 will be compatible with the neighborhood, compatible with
3 the historic site. The -- part of the significance of the
4 Bethesda Community Store is the early development of
5 Bethesda as a residential suburb of Washington and with the
6 early shops moving out along the major roads, but to serve
7 the residential community and to serve also, of course,
8 people along the major road, which this store continues to
9 do. And we do hear from the Huntington Terrace Civic
10 Association, but I don't see anybody here tonight. They
11 have been notified. They're certainly concerned. They want
12 to see the store serve both the local community and as well
13 as sort of the broader Montgomery County community.

14 The proposal that we see for Lot 27 -- I have some
15 slides I could just run through -- I'd like to run through
16 very quickly about the community and just to put this into
17 context.

18 This is a slide from Old Georgetown Road of the
19 store, and the parking is all behind and to the right of the
20 store. Here's another view of the shop and a side. It's a
21 very small structure. This is from Greentree Road and
22 that's basically the commercial area. The rest is parking.
23 There's a temporary structure which the Commission has
24 approved, which will go sort of parallel to that hedge. And
25 this is the grassy area which has been approved -- this is

20

1 basically the area of the subdivision.

2 It's never really been used. It's not been ever
3 used as parking. It has been used for the most part as a
4 buffer between the residential community and the parking and
5 commercial operation here on the store. I know that is an
6 issue for the community. We can see the trees -- existing
7 tree line. That serves as a buffer, and the open grass
8 mostly served to distance.

9 This was taken from looking at what will be the
10 new building lot, towards Georgetown -- towards Old
11 Georgetown Road.

12 This is the neighboring house, and it's just to
13 give you a sense of the scale of the neighborhood. Mid-20th
14 century neighborhood with really small low-scale buildings,
15 one-and-a-half story here on the adjacent properties and the
16 houses are all, as I say, small scale.

17 I think one of the issues that I brought up in the
18 staff report is the relationship of the house to the grade,
19 and you can see that historically, these houses fit in their
20 environment in a sense that they're part of the street, they
21 address the street, you walk up from the sidewalk, you go up
22 one step, maybe two steps and you're at the front door. The
23 houses are nestled in the trees, which, you know, obviously
24 had grown up after the houses were built. They're not that
25 old, but there is a sense of the houses being not obtrusive

1 and sort of nestled in the general environment -- a
2 streetscape in a community environment that is moderately
3 homogeneous.

4 This is a new house that was built across the
5 street from the Bethesda Community Store and the parking,
6 and I think the biggest thing is that it's an example of --
7 in my mind, it's an example of what is not a compatible --
8 resource compatible with the existing environment -- the
9 existing neighborhood. It's obviously much taller, bigger,
10 and really stands out in terms of its presence.

11 And this, again, is just a shot of where the new
12 house will go, and there is this hedge and existing trees
13 and shrubs which, I think, there will be -- need to be an
14 effort to preserve and protect; to maintain. There is also
15 a proposal from the applicant to take 20 feet of the Lot 28
16 and put that essentially in a -- sort of a conservation
17 buffer. Twenty feet that would be heavily screened and
18 planted and, again -- a sense to some degree that what they
19 come forward with that would be help -- we'll use that to
20 address the existing hedgerow and if we're able to get the
21 house of a sense of a size, scale, massing, and design so it
22 really fits into the existing neighborhood. That buffer may
23 not need to be so much of a screening and maybe what is on
24 the new Lot 27 there can be some thinning because the buffer
25 will essentially be moved over to the left side of this

1 image to screen the commercial operations from the
2 residential community.

3 The applicant is proposing a house that has a
4 brick veneer on the front elevation and the note says
5 horizontal siding. I did not speak to the applicant to find
6 out exactly what the -- siding was, but an unified treatment
7 for the exterior siding.

8 The massing is, in Staff's opinion, incompatible
9 with the existing neighborhood and with a modest scale of
10 the historic resource. The building is essentially four
11 stories high with the basement exposed and the attic of a
12 very high pitch and an odd form. And the first floor is
13 raised for the full story above the street approximately.
14 So, you don't have the same relationship that you see in the
15 existing neighborhood.

16 There are a lot of things about this house. It's
17 moderately incoherent. It's -- it's not a -- its
18 relationship to the street is -- is -- it will loom over the
19 street. It isn't designed to relate to the street or to the
20 existing neighborhood. It's not really -- it's not designed
21 as a -- as one of a group of many; it's designed as a stand-
22 alone new thing that has no relationship to its environment.

23 I made some suggestions; thing that we might want
24 to look for in a compatible house for this site, and that
25 would include a basement that is below grade, a garage that

1 would be freestanding at the rear of the property. A front
2 door that was approximately two, three steps above the level
3 of the street -- approximately the front -- you know, the
4 sidewalk. The siding should be unified. The building
5 height -- Staff would actually recommend that the applicant
6 consider one-and-a-half stories, because we have seen many
7 successful examples where the floor space is -- provides a
8 lot of living space under one-and-a-half story with
9 essentially a full second story, but under the roof so that
10 the house appearance from the road looks modest and more
11 moderate. Use of dormers can help with the floor space up
12 at the second floor.

13 And we would need much more information about the
14 landscape buffer that they are proposing, and that would be
15 considered an integral part of the application so we'd have
16 to see many more details about that.

17 And so Staff is basically suggesting that the
18 Commission reject this design and the provide some general
19 guidance to the applicant and to what could be built here.
20 And I think that would be useful and helpful to the
21 applicant. I would be happy to answer any questions if you
22 have any.

23 MR. SPURLOCK: Questions of Staff? Okay, would
24 the applicant like to step forward please. Please state
25 your name for the record.

1 MR. WEISS: My name is Dave Weiss from Design-Tech
2 builders. Thank you very much for giving me an opportunity
3 to come and listen to your thoughts. I have a different
4 view obviously than your Staff. I'm here to listen to your
5 view also and then make decisions as to how to go.

6 The house that I have submitted for Staff's
7 comment, as I told Gwen, I gave her a rough -- I gave her
8 some blueprints and a rough outline because the actual house
9 exists about a three-minute walk from where we sit now.
10 There are a dozen of them. They're located at the
11 intersection of Colesville Road and Woodside Parkway. It's
12 a job that we did and had tremendous community support. We
13 had only testimony in support of our subdivision.

14 Now, there -- just so if you were to drive home
15 down -- north on Colesville Road towards the Beltway, there
16 are three homes that we're building; one of which exists;
17 two of which are just coming out of the ground, which are on
18 Colesville Road, and that's not the model that you see here.
19 You had to make a turn onto Woodside Parkway from Colesville
20 Road -- a right turn, and there are a dozen houses that are
21 complete there that are exactly the model that you're
22 seeing.

23 Now, Staff is absolutely correct. The house is
24 significantly taller than one-and-a-half stories. It also
25 -- Woodside Parkway has the same type of houses across the

1 street as are along the road here. I, perhaps, have an
2 incorrect view of what's going to happen here and the future
3 of where we're going than you do and than the Staff does,
4 and I'll try to be brief with my view.

5 The -- we're at the intersection of Greentree and
6 Old Georgetown. This is a busy road. Across the street is
7 NIH. We're a hop, skip, and a jump from Suburban Hospital
8 and its parking garage. The single-family small one-and-a-
9 half story homes that are on the same side of the street
10 that we're trying to preserve are eventually going to be
11 redeveloped. The home that you saw the picture of; that
12 homeowner contacted the owner -- I'm not the owner; I'm a
13 contract purchaser -- of the property and said, "Look, if
14 you do a home there, will you buy my lot, too?"

15 Whether you approve my plans or not or someone
16 else's, it's a matter of time before those homes along that
17 street are redeveloped in the spirit and in the size of the
18 picture that's there shown you that they said they don't
19 like. And that may be right; it shouldn't happen, and I
20 can't tell you that it won't. There are market forces at
21 work that we have to consider.

22 My presentation to Staff and to you tonight was to
23 say -- and I will admit to you that perhaps you may say I'm
24 crazy and I'm wrong -- but I'm trying to be a realist here,
25 and I'm saying that to protect a historic resource we

1 shouldn't try to do it in constructing a home that really
2 has a very limited useful future in a majority of the
3 market's opinion; a one-and-a-half story home in Bethesda in
4 walking distance to the hospital and NIH.

5 What we should try to do is do the best -- do a
6 superb job of buffering the historic resource and then
7 providing a home that will be on its own in the theme of
8 what's going to happen on that street in the next five years
9 anyway.

10 Thank you. And I'm ready to listen to where
11 you're going to guide me.

12 MR. BRESLIN: One quick comment I have is the
13 adjacent lots, I believe, are 40 feet wide and yours is 60
14 feet wide. So, I think -- while I think you're right, there
15 is going to be the pressure to redevelop, the redevelopment
16 of a 40-foot lot -- have a less house than on a 60-foot lot
17 and I would think that this house probably couldn't even fit
18 on a 40-foot lot.

19 MR. WEISS: It could not.

20 MR. BRESLIN: Right. So, when that development
21 occurs, should it occur, the houses will be by necessity
22 smaller than this one.

23 Just a comment.

24 MR. WEISS: Yeah, I didn't --

25 MR. BRESLIN: For you and for the Commission. And

1 that being said, I think folks are going to be commenting on
2 the size of the house, and in addition to the size of the
3 house, you're going to have a lot of regrading. It looks
4 like you're between the garage and where the stoop is you
5 must have five or six feet or grading change. See, you're
6 taking a flat lot and you are -- one way or the other --
7 regrading it -- five or six feet and I don't know if that's
8 been thought through. When you look at your elevation, you
9 know, I see five or six feet of elevation change from there
10 to there, which will involve retaining walls and all kinds
11 of other things, which don't appear to be shown. It's the
12 only instance of that on the street, which offhand seems
13 like a novelty for what's going on there.

14 MR. WEISS: The house is set into the -- the house
15 is set into the grade. It's not necessarily a grade change.
16 The -- there's a small incline from the street into the
17 driveway. You will have some grading. A lot of it's done
18 in steps. I'm not sure that it's five or six feet, but it's
19 clearly -- you are correct, it's clearly, you know, maybe
20 three feet.

21 MR. BRESLIN: So, it's not only the impact of the
22 house; it's the impact of some substantial grading and the
23 associated retaining walls and other things you'd have to
24 do.

25 MS. WILLIAMS: I think you're probably right as

1 well; that this is going to be a very developed
2 intersection. But I guess my take on it is slightly
3 different. Rather than just sort of throw it out as a lost
4 cause and let's just throw up any house because it's big and
5 that's what people want, I sort of see this as an
6 opportunity. We've got a very important historic resource,
7 a very big important intersection that's waiting to be
8 developed. We can create a model house here that future
9 developers can follow -- future builders. And not
10 necessarily follow it to a T, like you've taken your houses
11 in Woodside Parkway and plant it here, but to follow in
12 terms of overall general feel and scale and size.

13 I think we need to cut this in half at least and
14 we need to see it relate a little bit more to the landscape.
15 Excavate more. If you really need -- if you need that
16 square footage -- if that's what sells, you need the
17 basement, the playroom in the attic and everything else, put
18 two floors below grade, you know, but let it read as a
19 smaller house. It needs to really relate to its site and I
20 think this is a very important site in light of the fact
21 that it is the first of what's the come. So, I think we
22 definitely -- I'd like to reconfirm my feeling that the
23 staff report sort of hit it on the nose and I think you all
24 need to address all of the comments made in the staff report
25 before you come back to us.

(55)

1 MS. VELASQUEZ: Again, to echo everything that has
2 just previously been said, and with one addition that houses
3 in Bethesda within walking distance to NIH and the Metro and
4 restaurants and shops, even a small house is going to sell
5 for a considerable price, which would probably bring quite a
6 nice reward to whoever sold it. So, I don't think that we
7 have to have a huge mansion on this lot by this little tiny
8 precious store.

9 I think that I would rather see a completely
10 different design. I would like to see this house read as
11 maybe a one-and-a-half story house, expand it some other way
12 as Commissioner Williams said, but this is just going to be
13 an 800-pound canary sitting in the middle of this -- the
14 small houses here and this little tiny store here. And
15 frankly, I'm concerned about the little tiny store and what
16 is around it and what impacts it. This house is going to be
17 like an apartment building overwhelming that resource and
18 that really does distress me.

19 I think we can go back and rethink and you can
20 have something that's very saleable and very charming there
21 without having to have this huge four-story structure.

22 MR. HARBIT: I'm not sure what else I can add. I
23 would agree with all my Commissioners -- colleagues. The
24 basic purpose of historic preservation is to preserve
25 historic resources and the environmental setting in which

1 they sit, and that house you're proposing is basically
2 within that environmental setting. So, it has to be
3 respectful to the historic resource we're trying to protect.

4 I totally understand where you're coming from;
5 that if market forces were to have their way, there would be
6 huge houses there and if market forces were to totally have
7 their way, the store would be gone. But it's public policy
8 in this county not to have that happen and to restore, to
9 preserve the environmental setting of historic resources
10 wherever possible. So we need a house -- we need you to
11 design a house that will be respectful of that.

12 MS. O'MALLEY: I think that would be my main
13 concern as well. I used to live in the white house across
14 the street from this property, so I'm very familiar with the
15 neighborhood and there are -- back through that neighborhood
16 there are an incredible number of different styles of homes
17 and they are very livable and very expensive and have
18 unusual features about them. They're not just like the next
19 house or just like the latest house that was built, and I
20 think you have to look to some of those ideas as you're
21 designing this one so it will blend in and help protect the
22 store.

23 MS. WATKINS: I really don't have anything to add.
24 I think they've covered the major points that need to be
25 discussed.

d
1 MR. SPURLOCK: It sounds like you have a pretty --
2 you have a pretty good reading of where we're coming from?

3 MR. WEISS: Oh, yes, and I want to thank the
4 Commission for allowing me to come and get that impact. I'm
5 not sure that I'm the one to do the project that you
6 describe, but you have every right to describe it and I was
7 here at least to get a handle on what the parameters of a
8 project in this location would be and I think you've given
9 me that. My decision is to -- whether I can meet those
10 needs in my budget with my economics and if not, someone
11 else will have a go, but at least we know which direction
12 you would like us to move in, and for that I thank you for
13 your time.

14 MR. SPURLOCK: Thank you. Okay, the next item on
15 the agenda are the minutes.

16 MS. VELASQUEZ: Move approval.

17 MS. O'MALLEY: Second.

18 MR. SPURLOCK: The minutes are approved. Other
19 business. Commission items. Tomorrow evening is our annual
20 meeting with the County Executive. I hope some people can
21 come.

22 MS. VELASQUEZ: Seven-thirty at the County Office
23 Building, second floor, and I will be there. Am I going to
24 be alone?

25 MR. SPURLOCK: No, I'll be there.

(246)

MATERIAL SPECIFICATIONS

Roofing	Asphalt shingles
Siding	5" Wood
Trim	wood board & bracket trim
Windows	Pella simulated divided lights Glued muntins interior & exterior
Doors	Solid wood doors Wood trim
Porch Details	wood details
Porch Flooring	tongue & groove wood
Railings	wood
Foundation	brick foundation
Garage Doors	wood garage doors
Drive	gravel drive
Walk	brick paved walk

ZONING

Zoning	R-60
Lot Coverage	House & Garage 20% Driveway & Walk adds 15%
Tree Coverage	No existing trees on site to be removed.
Grading	Existing grade is flat.
Building Height	House under 35 feet Garage under 15 feet

PLAT BOOK 15 PLAT 98

SONOMA
PLAT BOOK 2
BLOCK 1
PLAT 157

HUNTINGTON TERRACE

PLAT BOOK 2 PLAT 157

17

16

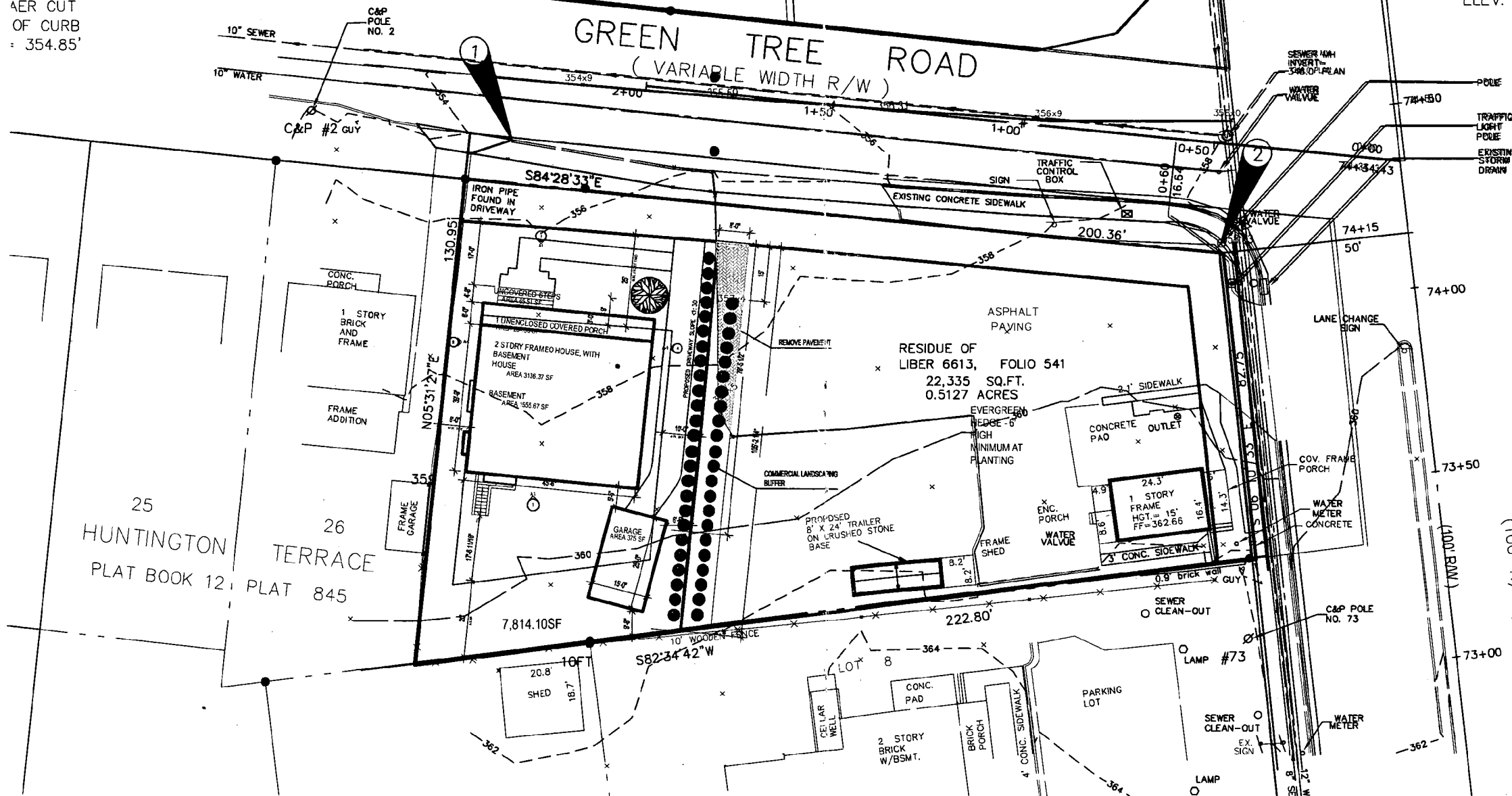
P/O 9

8

ARK No. 1
AER CUT
OF CURB
= 354.85'

BENCH MARK No. 2
NAIL SET IN POLE
C&P NO. 475
ELEV. = 359.48'

GREEN TREE ROAD
(VARIABLE WIDTH R/W)



OLD GEORGETOWN ROAD
SRC R/W PLAT NO. 14445 & 14446
MD. (100' R/W) RTE. 187

WSSC MERIDIAN

This site plan was approved by a revision to approved ARWP

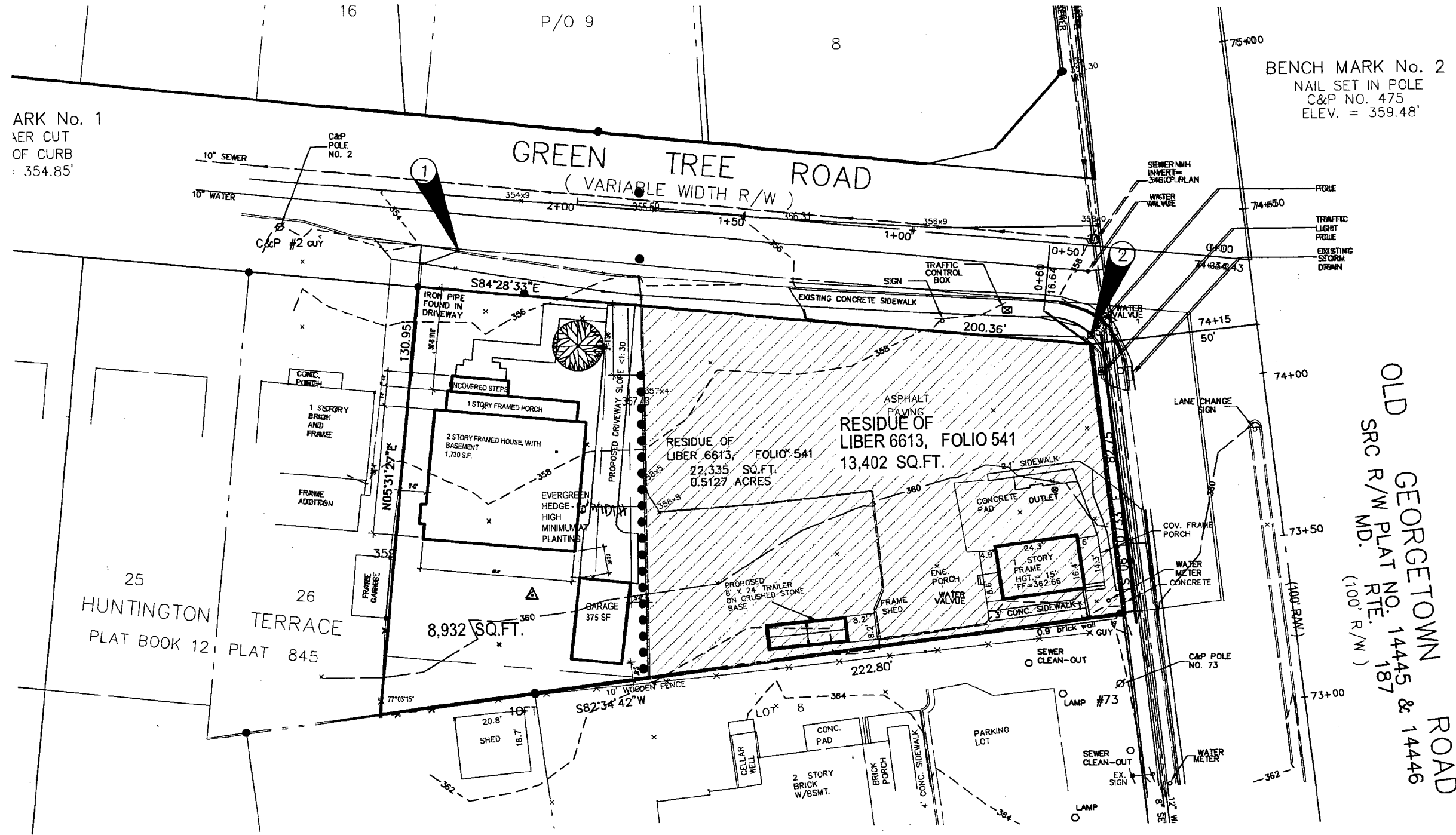
ARK No. 1
 VER CUT
 OF CURB
 : 354.85'

16

P/O 9

8

BENCH MARK No. 2
 NAIL SET IN POLE
 C&P NO. 475
 ELEV. = 359.48'



25 HUNTINGTON
 PLAT BOOK 12

26 TERRACE
 PLAT 845

OLD GEORGETOWN ROAD
 SRC R/W PLAT NO. 14445 & 14446
 MD. (100' R/W)
 RTE. 187



LAWSON & ASSOCIATES, ARCHITECTS

8520 Connecticut Avenue, Suite 240
 Chevy Chase, Maryland 20815
 t 301 654 1600 f 301 654 1601

THE JAFFE GROUP
BETHESDA COMMUNITY STORE

*Revised plans
 which were given
 to HPC @ mtg by
 architect*

*These are the plans
 that are approved!*

SITE PLAN
 12/3/03
 SCALE 1:250



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FRONT ELEVATION (Greentree)
 12/3/03
 1/8" = 1'-0"

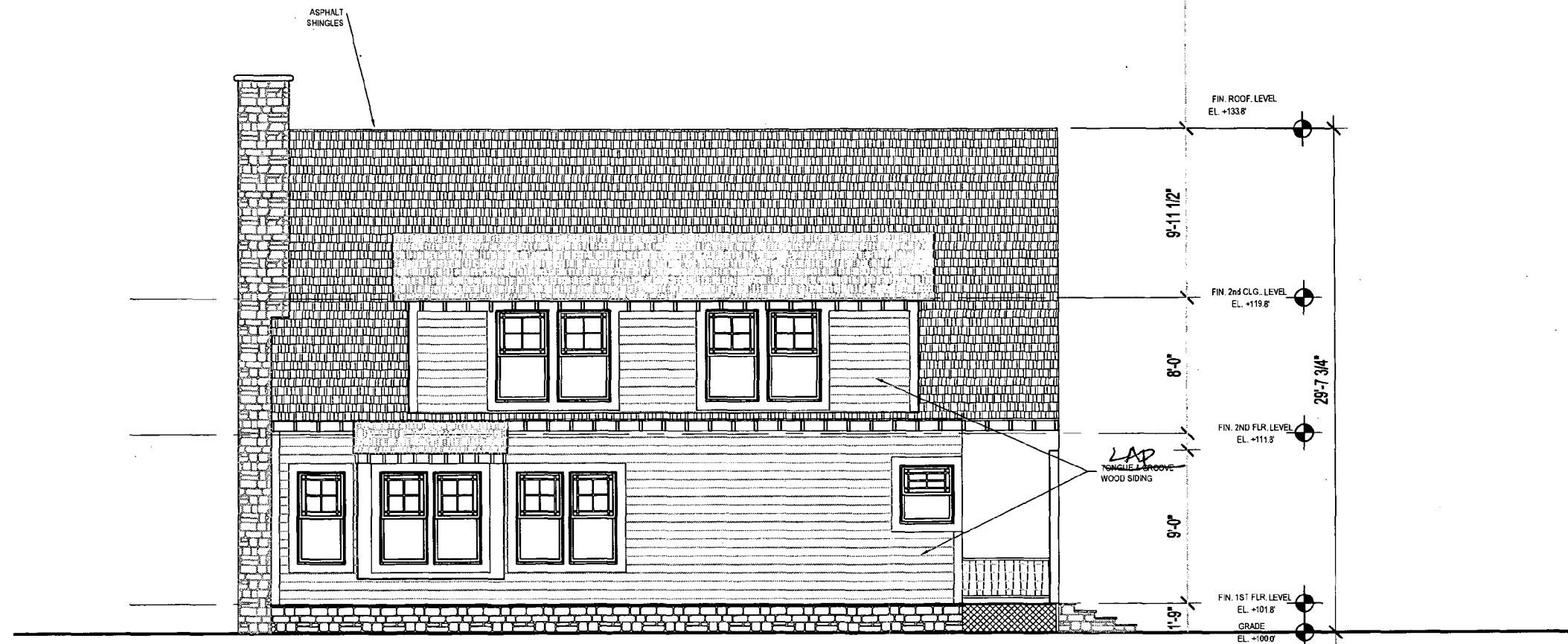


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SIDE ELEVATION (Old Georgetown Rd.)
 12/3/03
 1/8" = 1'-0"



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BETHESDA COMMUNITY STORE

BACK ELEVATION
 12/3/03
 1/8" = 1'-0"

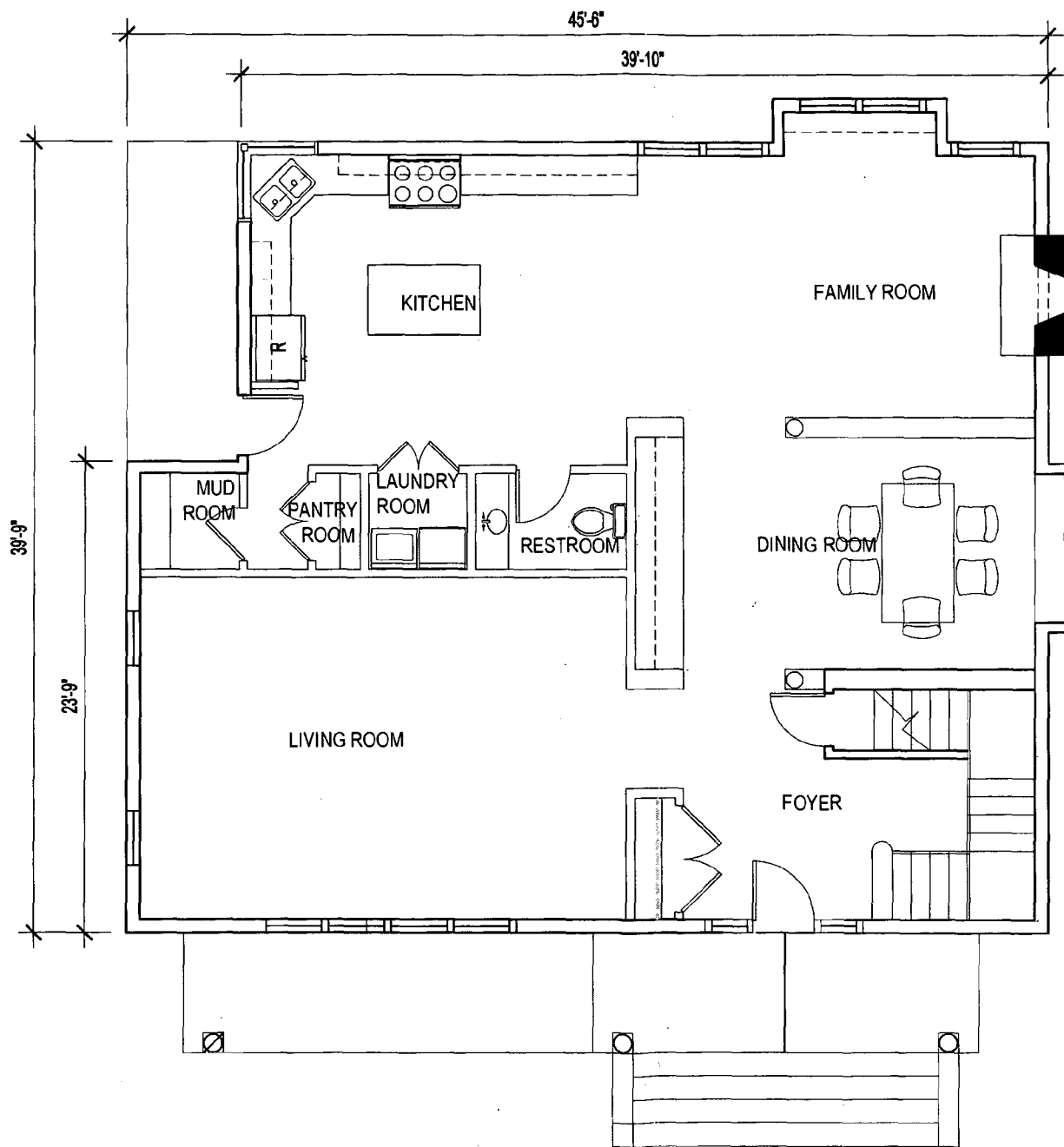


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BETHESDA COMMUNITY STORE

SIDE ELEVATION
11/12/03
1/8" = 1'-0"

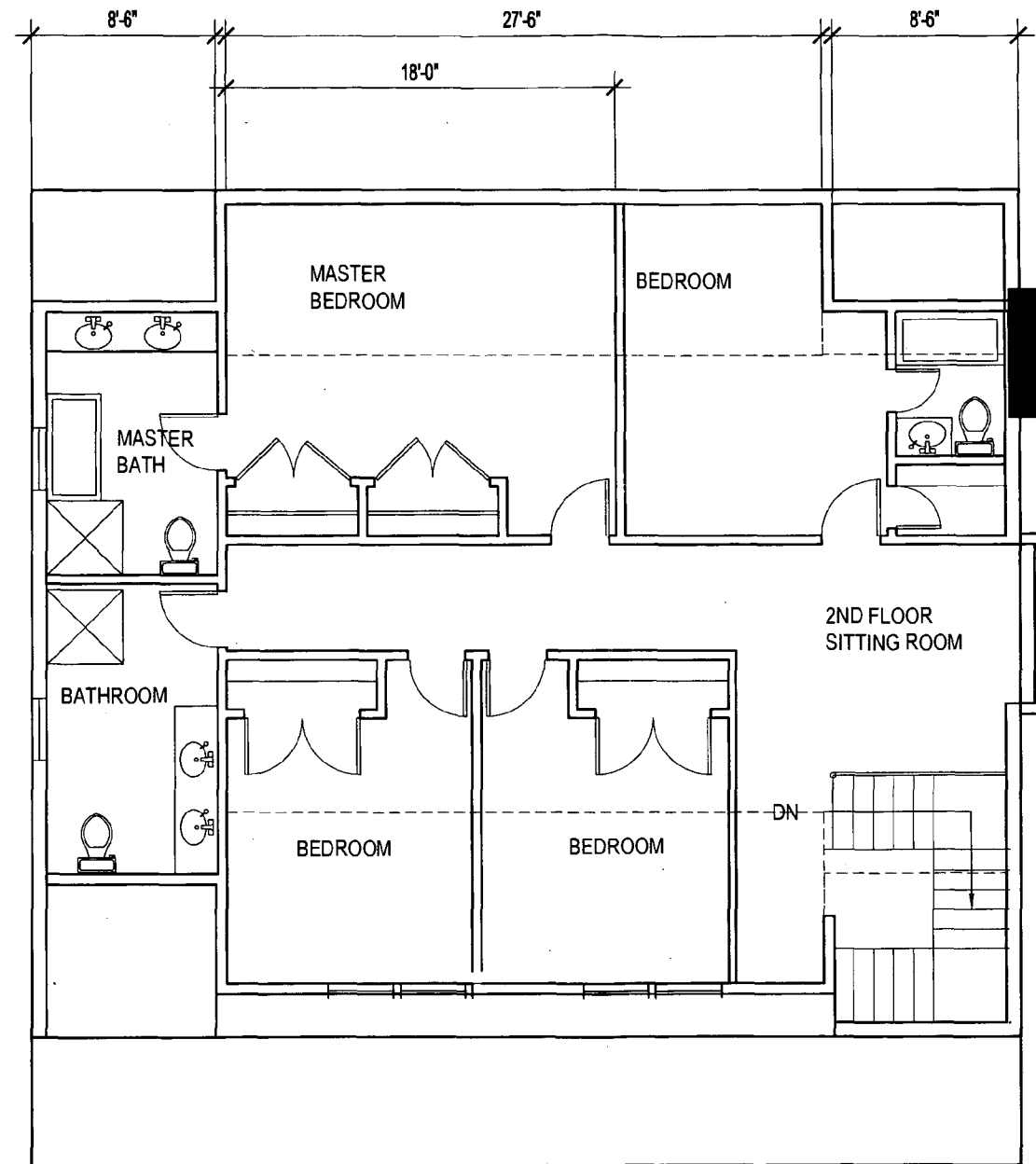



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THE JAFFE GROUP
BETHESDA COMMUNITY STORE

FIRST FLOOR PLAN
 12/3/03
 1/8" = 1'-0"




LAWSON & ASSOCIATES, ARCHITECTS
 8520 Connecticut Avenue, Suite 240
 Chevy Chase, Maryland 20815
 t 301 654 1600 f 301 654 1601

THE JAFFE GROUP
BETHESDA COMMUNITY STORE

SECOND FLOOR PLAN
 12/3/03
 1/8" = 1'-0"

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 5504 Greentree Road, Bethesda (Lot 27)	Meeting Date: 09/10/03
Resource: <i>Master Plan Site # 35/43</i> Bethesda Community Store	Report Date: 09/03/03
Review: HAWP	Public Notice: 08/27/03
Case Number: 35/43-03A	Tax Credit: None
Applicant: Greentree Associates LLC (Holly Bernard, Agent)	Staff: Michele Naru
PROPOSAL: Construct a new house on Lot 27	RECOMMEND: Denial

BACKGROUND INFORMATION

The Planning Board on September 19, 2002 approved the subdivision of this .5 acre parcel of land into two separate lots. Lot 27 is a residential lot measuring 60' x 122' (7,320sf). Lot 28 is the remainder of the lot (14,586 sf) and includes the Bethesda Community Store and associated parking. Both of these lots still remain within the environmental setting of the aforementioned Master Plan site. Therefore, the Historic Preservation Commission (HPC) has review and approval authority over the size, design, massing, materials, and style of what is to be built on both lots.

The HPC, at its November 13, 2002 meeting, was presented with a preliminary consultation, which outlined a proposed design for new house construction on Lot 27 (See proposal on Circles 20 - 24). The HPC did not support the proposed design due to its massiveness in scale, massing and height, the lack of a unified treatment for the exterior surfacing, and the proposal's use of an exposed basement with attached, two-car garage. The HPC encouraged the applicant to develop a design for the new construction that would be compatible to the existing site. The suggestions included a below-grade basement, a freestanding garage to be located at the rear of the property, a front door height of approximately two or three steps above the street and a 1-1/2 story building height restriction.

DESCRIPTION

SIGNIFICANCE: Lot is within the Environmental Setting of a *Master Plan* site
(Bethesda Community Store #35/43)
STYLE: 20th Century Vernacular Commercial
DATE: 1924

The Bethesda Community Store sits in the southwest corner of .5 acres of property. The

store is a small one-story building (24.3'L x 14.5'W). A shopkeeper's residence was also built on the same lot. This building was demolished prior to the Store's designation on the *Master Plan*. The Bethesda Community Store was built in 1924 on the site of an earlier store, and is one of the few surviving 20th century commercial structures in Montgomery County still in operation.

PROPOSAL:

The applicant is proposing to build a new house on Lot 27. The proposal is a 2-1/2 story, front gabled dwelling with a wrap around porch and significant, two-story rear "extension" (front elevation measuring 31' wide, front width of the rear extension measuring 35' wide and side elevation measuring 58' long. The total proposed height is 35') The proposed one-car garage is 15'W x 25'L.

The material specifications for this project include wood, simulated, divided-light, double hung windows, 5" painted, wood siding, asphalt roofing shingles, solid wood doors and trim, wood porch construction with tongue and groove wood flooring, and a gravel drive with paved brick walkway.

STAFF DISCUSSION

New construction within the environmental setting of *Master Plan* individually designated historic resources is reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

The proposed material specifications for this new construction are compatible with the site and the adjacent neighborhood. The applicant has an understanding of the importance of these "natural" materials in preserving the existing historic character and integrity of the existing environmental setting of this historic resource.

The applicant is also proposing a detached, one-car garage, which is generally supported by the Commission. The use of a detached garage helps to reduce the massing of the proposed new construction.

Staff's concerns are mainly focused on the proposed size, scale and massing of the proposed dwelling for the site. The proposed new house is 2-1/2 stories in height, which is significantly higher than the Commission's recommendation at the preliminary consultation of a 1-1/2 story building on the site. The scale and massing of this house should be compatible with the existing historic resource, the one-story, community store. The building should be designed specifically for this site, taking into account the flat grade of the property. Additionally, staff is concerned with the large "extension" that is being proposed for the building. This additional massing creates a very substantial side elevation, the elevation that will be visible from the store and Old Georgetown Road.

Staff suggests a redesign of this building utilizing the following guidelines: The building should be 1-1/2 stories in height, with a simple roof form. The use of dormers (shed or gable) and a full, below-grade basement might provide additional needed square footage for the house. The house should be built low to the ground, with no more than 3 steps up to the front door. The driveway should be 8' wide. Additionally, a landscape buffer proposal between the two lots should be developed for HPC consideration and should be installed during the house construction.

STAFF RECOMMENDATION

Staff recommends that the Commission **deny** the HAWP application as it is **not** consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines #2, #9 and #10:

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

III J

HISTORIC PRESERVATION COMMISSION

301/563-3400

316322

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: HOLLY BERNARD

Daytime Phone No.: 301.654.1600

Tax Account No.: 07-00512757

Name of Property Owner: GREENTREE ASSOCIATES LLC Daytime Phone No.:

Address: 3804 OLD GEORGETOWN RD, BETHESDA MD 20814

Contractor: TBD Phone No.:

Contractor Registration No.:

Agent for Owner: HOLLY BERNARD, LAWSON & ASSOCIATES ARCHITECTS LLC Daytime Phone No.: 301.654.1600 240.876.6952(CELL)

LOCATION OF BUILDING/PREMISE

House Number: [5504] PROPOSED CURRENTLY PART OF 3904 OLD GEORGETOWN RD Street: GREENTREE

Town/City: BETHESDA Nearest Cross Street: RTE 187

Lot: 19615 Block: 2 Subdivision: HUNTINGTON TERRACE

Liber: 19615/Folio: 25 Parcel: P961 - west part of this parcel being subdivided.

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct [checked] Extend [] Alter/Renovate [] Move [] Install [] Wreck/Raze [] Revision [] Repair [] Revocable []

CHECK ALL APPLICABLE:

- A/C [] Slab [] Room Addition [] Porch [] Deck [] Shed [] Solar [] Fireplace [] Woodburning Stove [] Single Family [checked] Fence/Wall (complete Section 4) [] Other: []

1B. Construction cost estimate: \$ 150,000.

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/O/ADDITIONS

2A. Type of sewage disposal: 01 [checked] WSSC 02 [] Septic 03 [] Other:

2B. Type of water supply: 01 [checked] WSSC 02 [] Well 03 [] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line [] Entirely on land of owner [] On public right of way/easement []

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Holly Bernard Signature of owner or authorized agent

7/23/03 Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

4

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

VACANT PROPERTY BEING SUBDIVIDED FROM BETHESDA COMMUNITY
HISTORIC PROPERTY. COMMUNITY STORE WAS RECENTLY RENOVATED
UNDER SEPARATE APPLICATION.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SUBDIVISION OF PROPERTY ~~AND~~ LEAVES INADEQUATE PARKING AREA &
TREES FOR HISTORIC SITE. NEW HOUSE IS IN SCALE & IN CHARACTER
WITH SURROUNDING HOUSES. THERE ARE NO SUBSTANTIAL TREES > 6" DIA.
ON SUBDIVIDED HOUSE LOT.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the drieline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

(5)

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Holly Bernard
Lawson & Associates, Architects LLC
8520 Connecticut Avenue #240
Chevy Chase, MD 20815

Adjacent and confronting Property Owners mailing addresses

PREMISE ADDRESS

MAILING ADDRESS

Adjoining to East

Bethesda Community Store
P961
8804 Old Georgetown Rd

Greentree Associates LLC
8804 Old Georgetown Road
Bethesda MD 20814-1426

Confronting to Northeast

Block1 Lot 19
8900 Old Georgetown Road

Chao H. & Chen Qing Zheng
8900 Old Georgetown Road
Bethesda MD 20814-1426

Confronting to North

Block1 Lot P9
5507 Greentree Road

Sandra L Raciti et al.
5507 Greentree Road
Bethesda, MD 20817-3547

Confronting to Northwest

Block1 Lot 16
5509 Greentree Road

Teresa M. Nalecz-Mrozowski
5509 Greentree Road
Bethesda, MD 20817

Adjoining to West

Block 2, Lot 26
5506 Greentree Road

Peter C. Hsueh
13140 River Road
Potomac, MD 20854

2nd Adjoining to West

Block 2, Lot 25
5508 Greentree Road

Joel Plotkin
5508 Greentree Road
Bethesda, MD 20817

Adjoining to Southeast

Block 2, Lot 8
5501 Southwick Road

Suburban Hospital Assoc. Inc.
8600 Old Georgetown Road
Bethesda, MD 20814

Adjoining to South

Block 2, Lot 7
5507 Southwick Road

Accounting Department:
Suburban Hospital Assoc. Inc.
8600 Old Georgetown Road
Bethesda, MD 20814

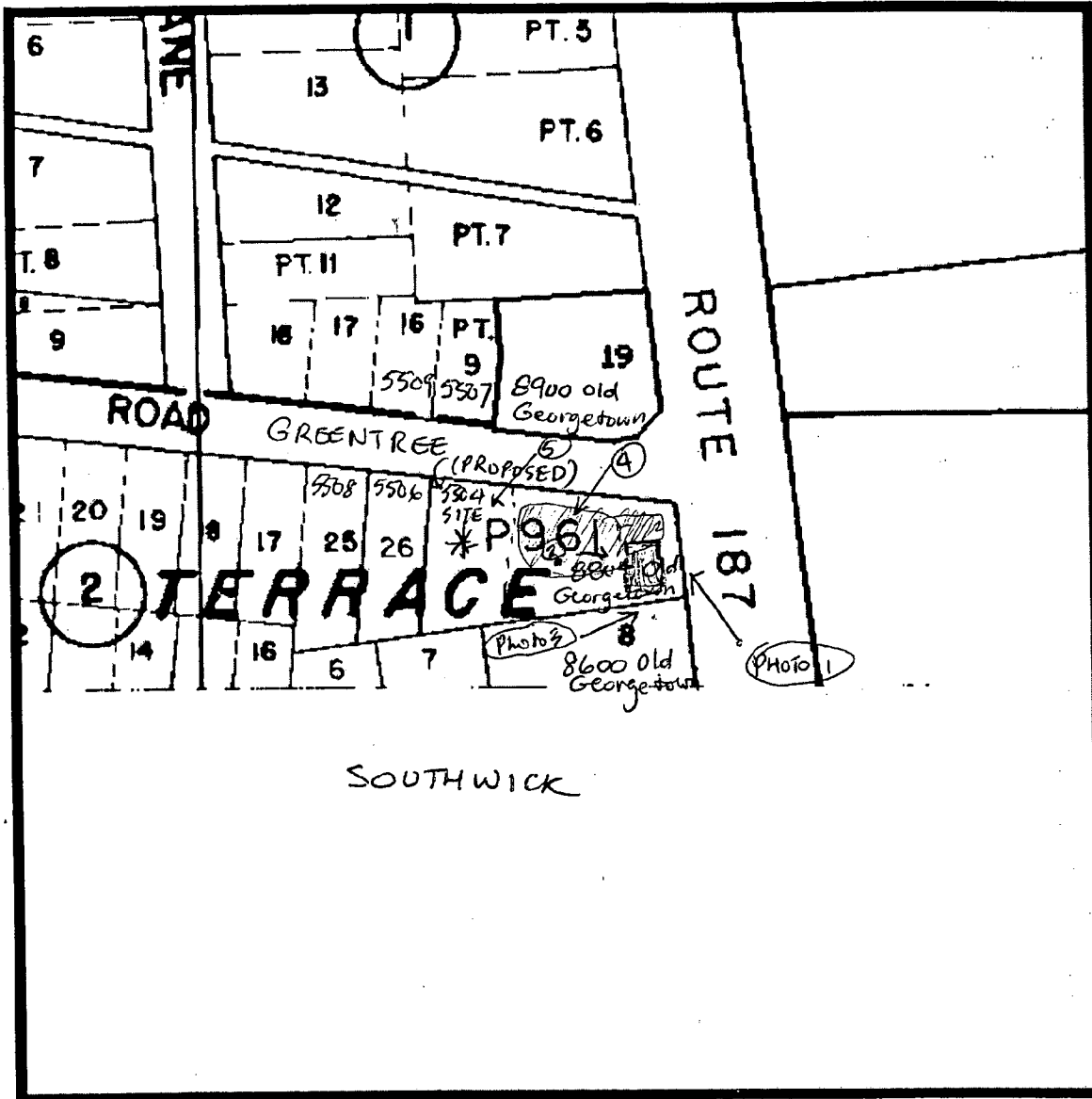
Adjoining to Southwest

Block 2, Lot 6
5511 Southwick Road

Michael Wohl
5511 Southwick Road
Bethesda, MD 20817



District - 07 Account Number - 00512757



Property maps provided courtesy of the Maryland Department of Planning ©2001.
 For more information on electronic mapping applications, visit the Maryland Department of Planning
 web site at www.mdp.state.md.us/webcom/index.html

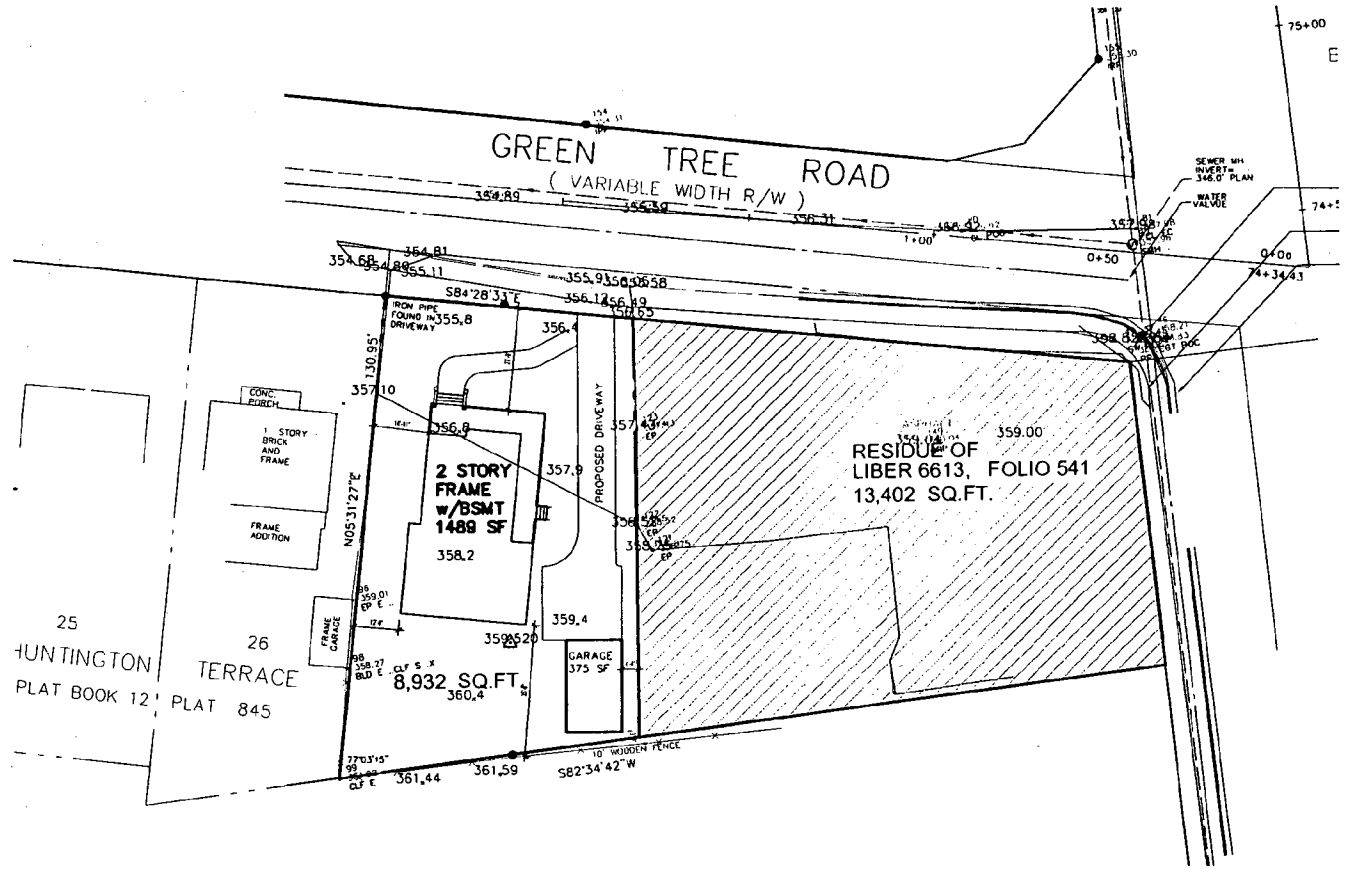
MATERIAL SPECIFICATIONS

Roofing	Asphalt shingles
Siding	5" Wood
Trim	wood board & bracket trim
Windows	Pella simulated divided lights Glued muntins interior & exterior
Doors	Solid wood doors Wood trim
Porch Details	wood details
Porch Flooring	tongue & groove wood
Railings	wood
Foundation	brick foundation
Garage Doors	wood garage doors
Drive	gravel drive
Walk	brick paved walk

ZONING

Zoning	R-60
Lot Coverage	House & Garage 20% Driveway & Walk adds 15%
Tree Coverage	No existing trees on site to be removed.
Grading	Existing grade is flat.
Building Height	House under 35 feet Garage under 15 feet

P:\2208 - Beth Comm. House\3-CO\Plot Files\2208 A-1.dwg, 06/20/2003 12:06:16 PM, Carlos Medina, Lawson & Assoc. Architects, 1:1



LAWSON & ASSOCIATES, ARCHITECTS

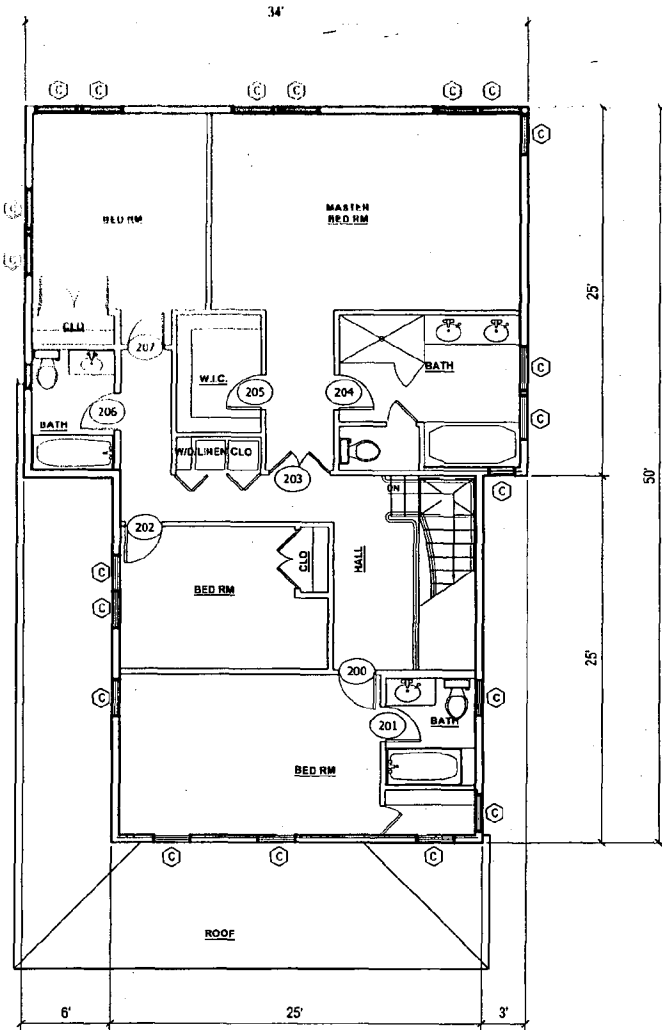
8520 Connecticut Avenue, Suite 240
 Chevy Chase, Maryland 20815
 1.301.654.1600 1.301.654.1601

THE JAFFE GROUP
BETHESDA COMMUNITY STORE RESIDENCE

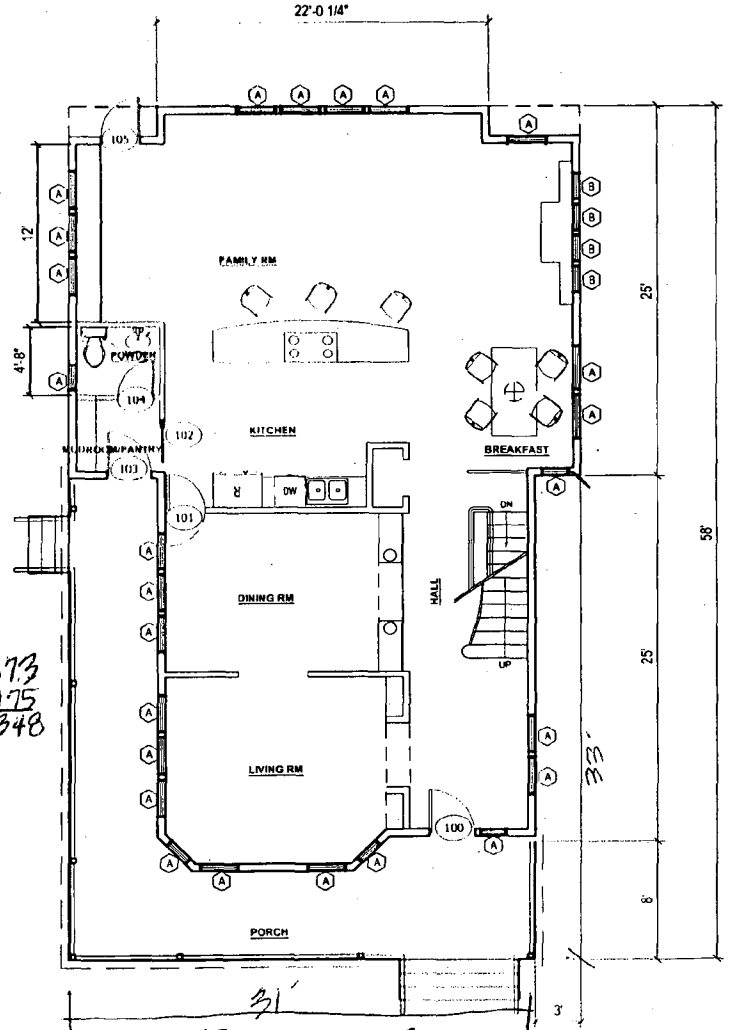
SITE PLAN
 5/5/03
 1/32" = 1'-0"

16

P:\1208 - Beth Comm. House\3-CD\Plot Files\2308 A-2.dwg, 08/20/2003 12:33:12 PM, Carlos Madro, Lawson & Assoc. Architects, 1:1



SECOND FLOOR
1,475 SF



FIRST FLOOR
1,873 SF

AREAS:
1st FLOOR: ~~1,412 sq ft~~ *1,873*
2nd FLOOR: ~~1,000 sq ft~~ *1,475*
TOTAL: ~~2,402 sq ft~~ *3,348*



LAWSON & ASSOCIATES, ARCHITECTS

8520 Connecticut Avenue, Suite 240
Chevy Chase, Maryland 20815
t 301 654 1600 f 301 654 1601

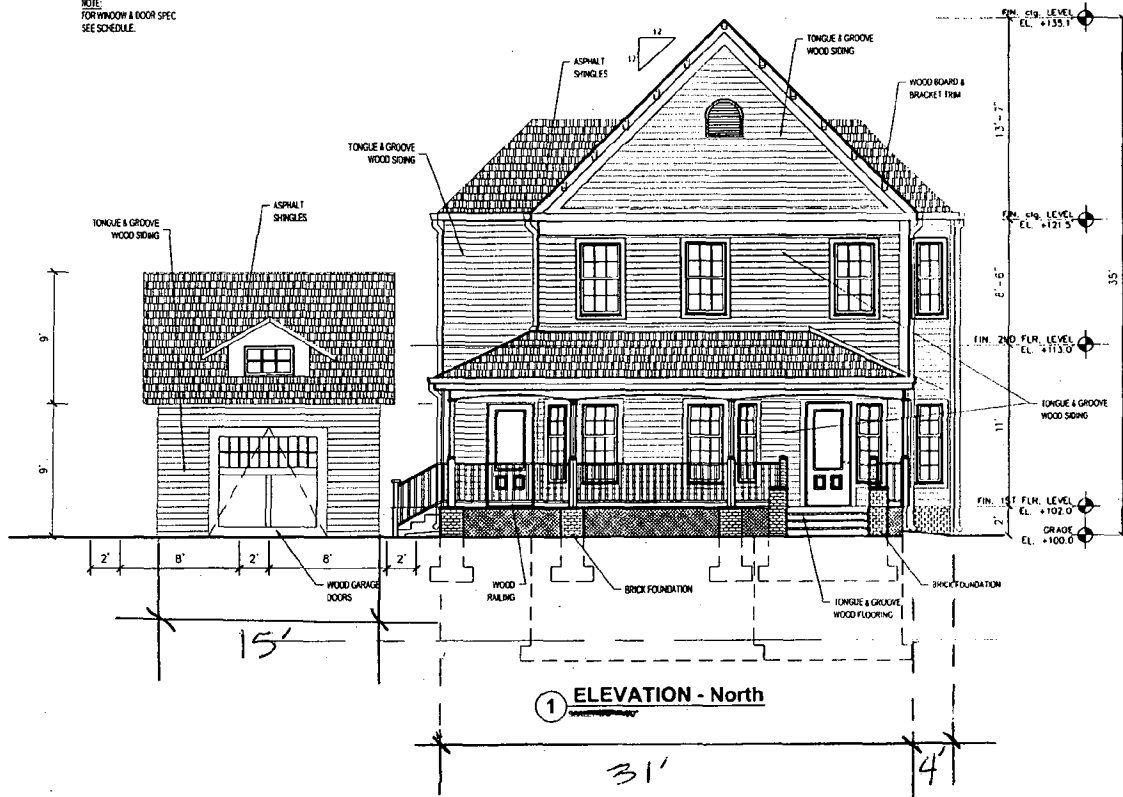
THE JAFFE GROUP
BETHESDA COMMUNITY STORE RESIDENCE

FLOOR PLANS
5/5/03
1/8" = 1'-0"



P:\2378 - Beth Comm. House\3-CD\3\ref\1\01elevation.dwg 08/20/2003 02:27:55 PM Carlos Madro, Lawson & Assoc. Architects, 1:1

NOTE:
FOR WINDOW & DOOR SPEC
SEE SCHEDULE.



LAWSON & ASSOCIATES, ARCHITECTS

8520 Connecticut Avenue, Suite 240
Chevy Chase, Maryland 20815
1.301.654.1600 1.301.654.1601

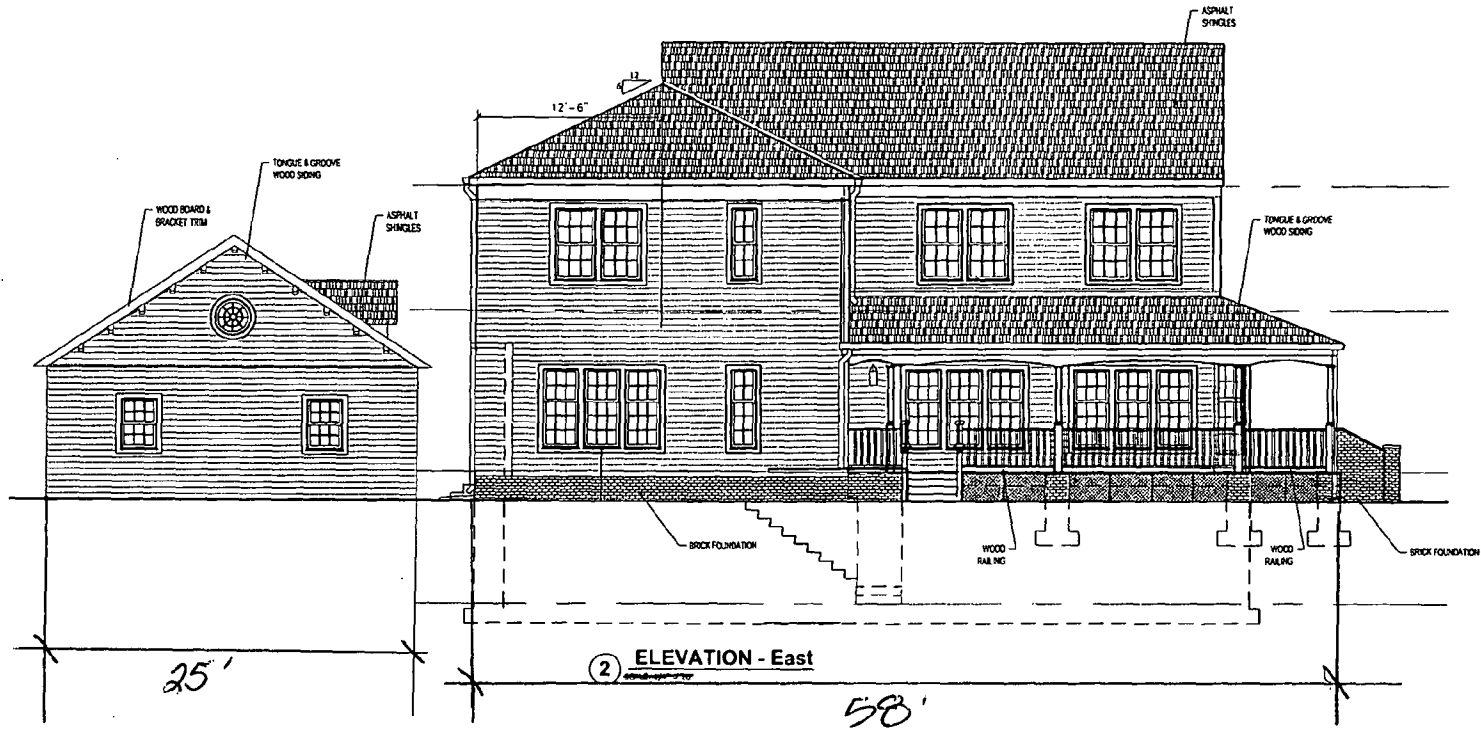
THE JAFFE GROUP

BETHSDA COMMUNITY STORE RESIDENCE

FRONT ELEVATION
5/5/03
-1/8"=1'-0"

11

P:\1216 - Beth Comm. House\1-CD\1-1\1-elevation.dwg, 08/20/2003 11:56:54 AM, Carlos Masiano, Lawson & Assoc. Architects, 13



LAWSON & ASSOCIATES, ARCHITECTS

8520 Connecticut Avenue, Suite 240
Chevy Chase, Maryland 20815
1 301 654 1800 1 301 654 1601

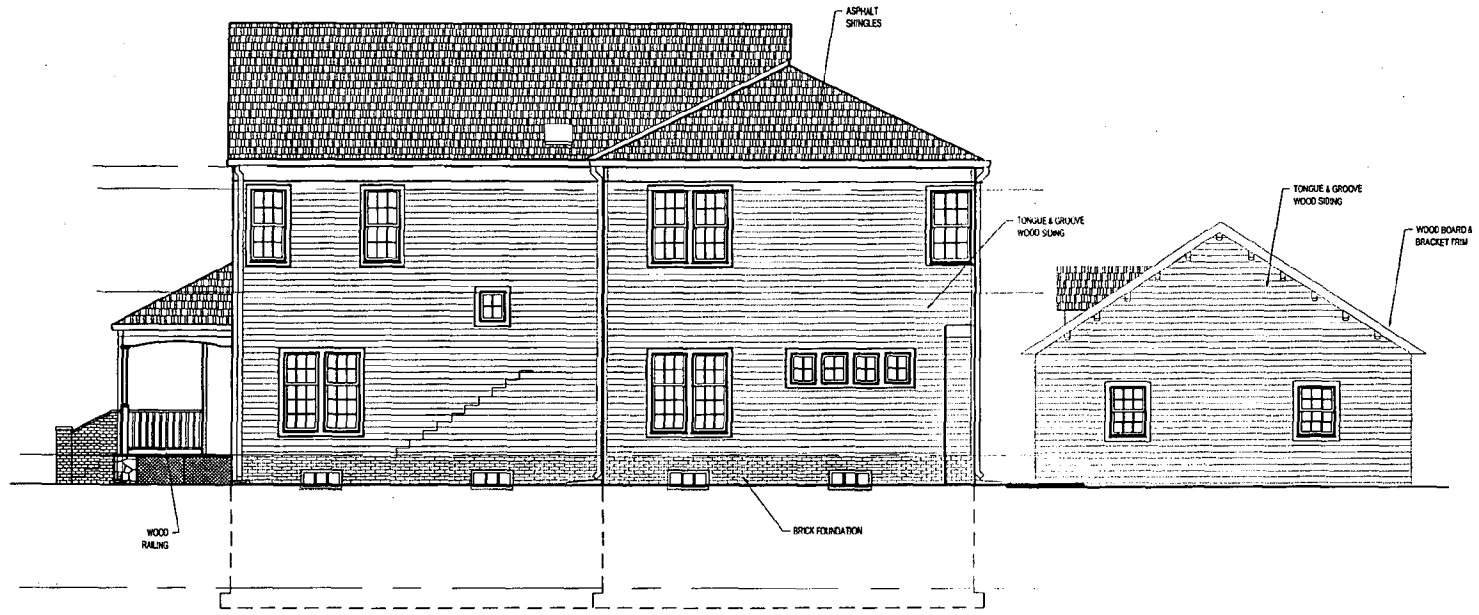
THE JAFFE GROUP
BETHESDA COMMUNITY STORE RESIDENCE

(ELEVATION TO BE SEEN FROM
STORE + OLD GEORGETOWN RD)

FRONT ELEVATION
8/5/03
148

12

P:\2008 - Beth Comm. House\3-CD\3-ref\3-elevation.dwg, 08/20/2003 11:57:12 AM, Carlos Madro, Lawson & Assoc. Architects, 1:1



④ ELEVATION - West



LAWSON & ASSOCIATES, ARCHITECTS

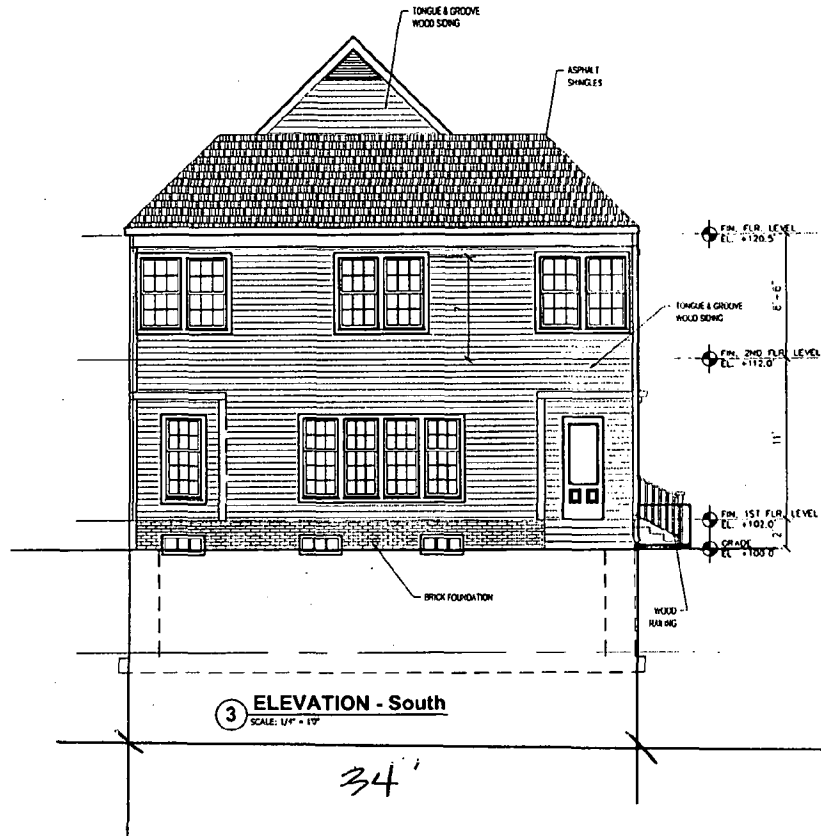
8520 Connecticut Avenue, Suite 240
Chevy Chase, Maryland 20815
1 301 654 1600 1 301 654 1601

THE JAFFE GROUP
BETHESDA COMMUNITY STORE RESIDENCE

FRONT ELEVATION
5/5/03

⑤

P:\13288 - Beth Comm. Home\13-CD\13-REF\13-elevation.dwg, 08/20/2003 11:58:20 AM, Carlos Medina, Lawson & Assoc. Architects, 1:1



3 ELEVATION - South

SCALE: 1/4" = 1'-0"

34'



LAWSON & ASSOCIATES, ARCHITECTS

8520 Connecticut Avenue, Suite 240
Chevy Chase, Maryland 20815
1 301 654 1600 1 301 654 1601

THE JAFFE GROUP

BETHESDA COMMUNITY STORE RESIDENCE

FRONT ELEVATION
5/5/03
1/8" = 1'-0"

(7)

DOOR & WINDOW SCHEDULE

ROOM NAME	NUMBER	TYPE	JAMB OPENING		DETAILS			DOOR		REMARKS
			WIDTH	HEIGHT	HEAD	JAMB	SILL	HDW	FINISH	
WINDOW SCHEDULE										
GARAGE	E	DHU2941	2'-5"	3'-5"					PT	PELLA PRODUCTS
BASEMENT ROOM	D	AW3517	3'-1"	1'-5"					PT	PELLA PRODUCTS
FIRST FLOOR:										
LIVING ROOM	A	DHU2965	2'-5"	5'-5"					PT	PELLA PRODUCTS
DINING ROOM	A	DHU2965	2'-5"	5'-5"					PT	PELLA PRODUCTS
FAMILY ROOM/BREAKFAST	A	DHU2965	2'-5"	5'-5"					PT	PELLA PRODUCTS
FAMILY ROOM/BREAKFAST	B	DHU2959	1'-9"	2'-1"					PT	PELLA PRODUCTS
POWDER ROOM	A	DHU2965	2'-5"	5'-5"					PT	PELLA PRODUCTS
HALL	A	DHU2965	2'-5"	5'-5"					PT	PELLA PRODUCTS
SECOND FLOOR										
BEDROOM #1	C	DHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
BEDROOM #2	C	DHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
BATH #1	C	DHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
BEDROOM	C	DHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
BATH #2	C	DHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
BEDROOM #3	C	DHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
MASTER BEDROOM	C	DHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
BATH #3	C	DHU2959	2'-5"	4'-11"					PT	PELLA PRODUCTS
DOOR SCHEDULE										
GARAGE	B01	D	8'-0"	7'-5"					PT	WOOD DOORS
BASEMENT	B01	A	3'-0"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
FIRST FLOOR										
HALL	100	A	3'-0"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
DINING ROOM	101	A	2'-8"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
KITCHEN	102	A	3'-0"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
PANTRY	103	B	3'-0"	7'-0"					PT	WOOD - POCKET DOOR
POWDER ROOM	104	A	2'-4"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
FAMILY ROOM	105	A	2'-8"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
SECOND FLOOR										
BEDROOM #1	200	A	2'-6"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
BATH #1	201	A	2'-4"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
BEDROOM #2	202	A	2'-6"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
MASTER BEDROOM	203	C	(2)2'-0"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
MASTER BATHROOM	204	A	2'-4"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
WALK IN CLOSET	205	A	2'-4"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
BATHROOM #2	206	A	2'-6"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS
BEDROOM #3	207	A	2'-6"	7'-0"					PT	SOLID WOOD DOORS - PELLA PRODUCTS



Bethesda Community Store, 8804 Old Georgetown Road, Bethesda, Maryland: After renovation, view from East.



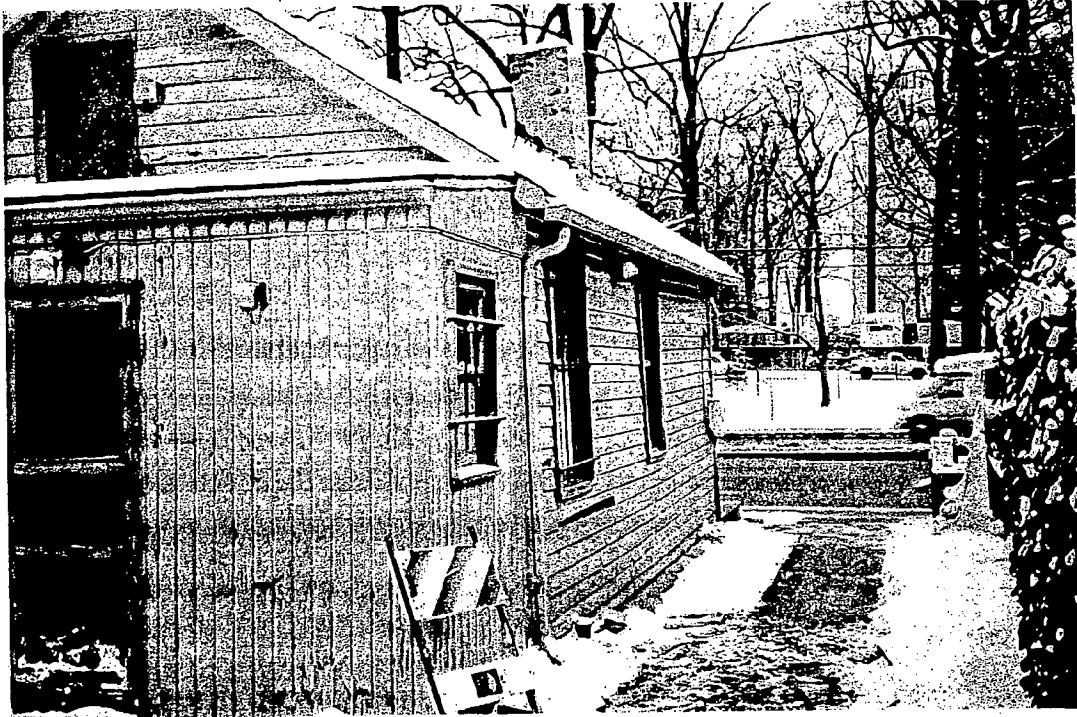
After renovation, view from the Northeast.



Bethesda Community Store, 8804 Old Georgetown Road, Bethesda, Maryland: Before renovation, view from East.



Before renovation, view from the West.



Bethesda Community Store, 8804 Old Georgetown Road, Bethesda, Maryland: Before renovation, view from Southwest.

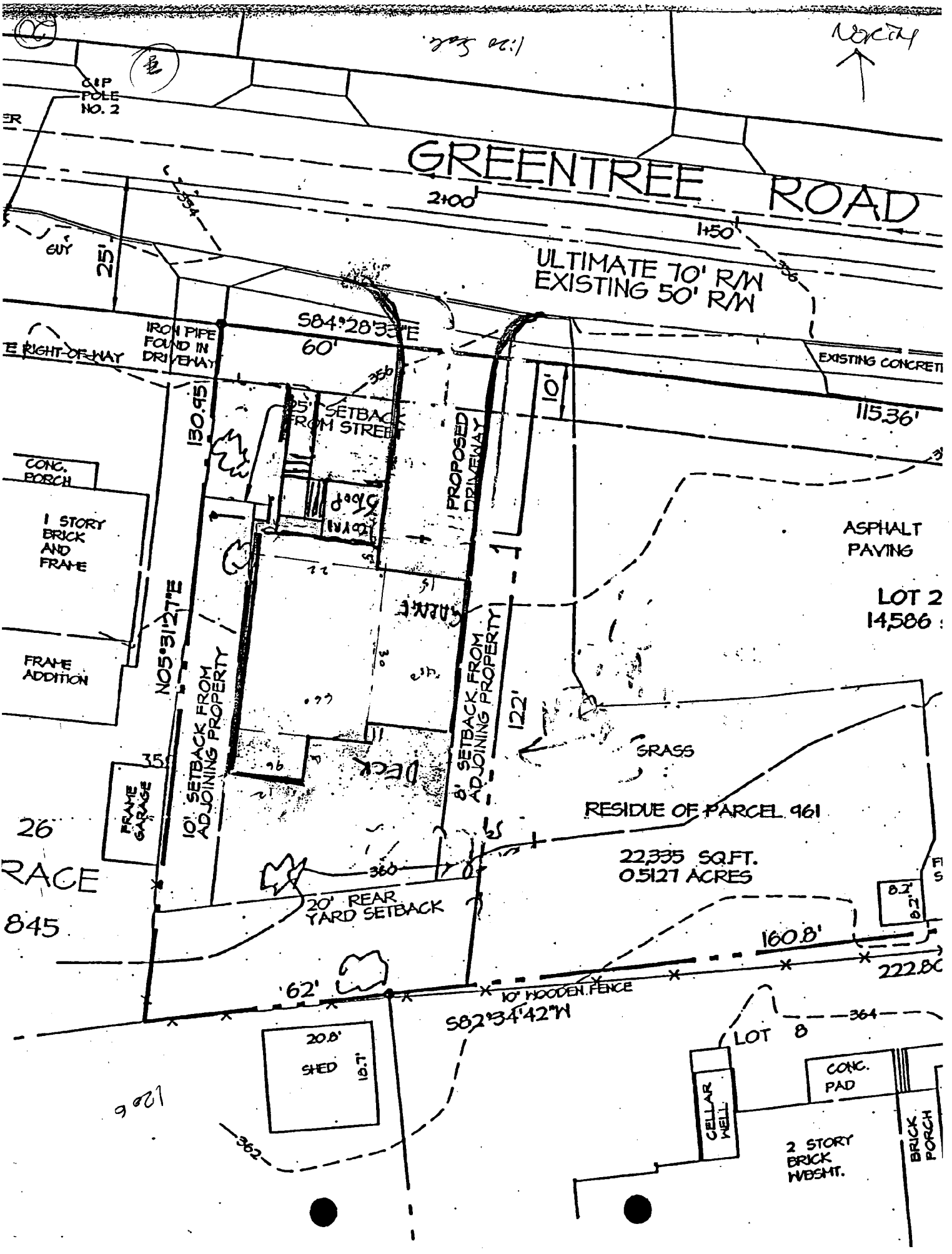
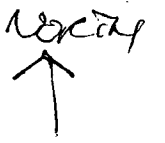


View of Bethesda Community Store parking lot before renovation, from Northeast.



Site is grassy area beyond parking lot in front of houses. View from the Northeast.

GREENTREE ROAD



IR
C&P
POLE
NO. 2

E RIGHT-OF-WAY
IRON PIPE
FOUND IN
DRIVEWAY

CONG.
PORCH
1 STORY
BRICK
AND
FRAME
FRAME
ADDITION

26
RACE
845

1206

2100'

1450'

ULTIMATE 70' RW
EXISTING 50' RW

584°28'33"E
60'

EXISTING CONCRETE

115.36'

130.95'
N05°31'27"E
10' SETBACK FROM
ADJOINING PROPERTY

SETBACK
FROM STREET

PROPOSED
DRIVEWAY

8' SETBACK FROM
ADJOINING PROPERTY

ASPHALT
PAVING

LOT 2
14,586

RESIDUE OF PARCEL 961

22,335 SQ.FT.
0.5127 ACRES

20' REAR
YARD SETBACK

160.8'

222.80'

10' WOODEN FENCE
582°34'42"W

20.8'
SHED
18.7'

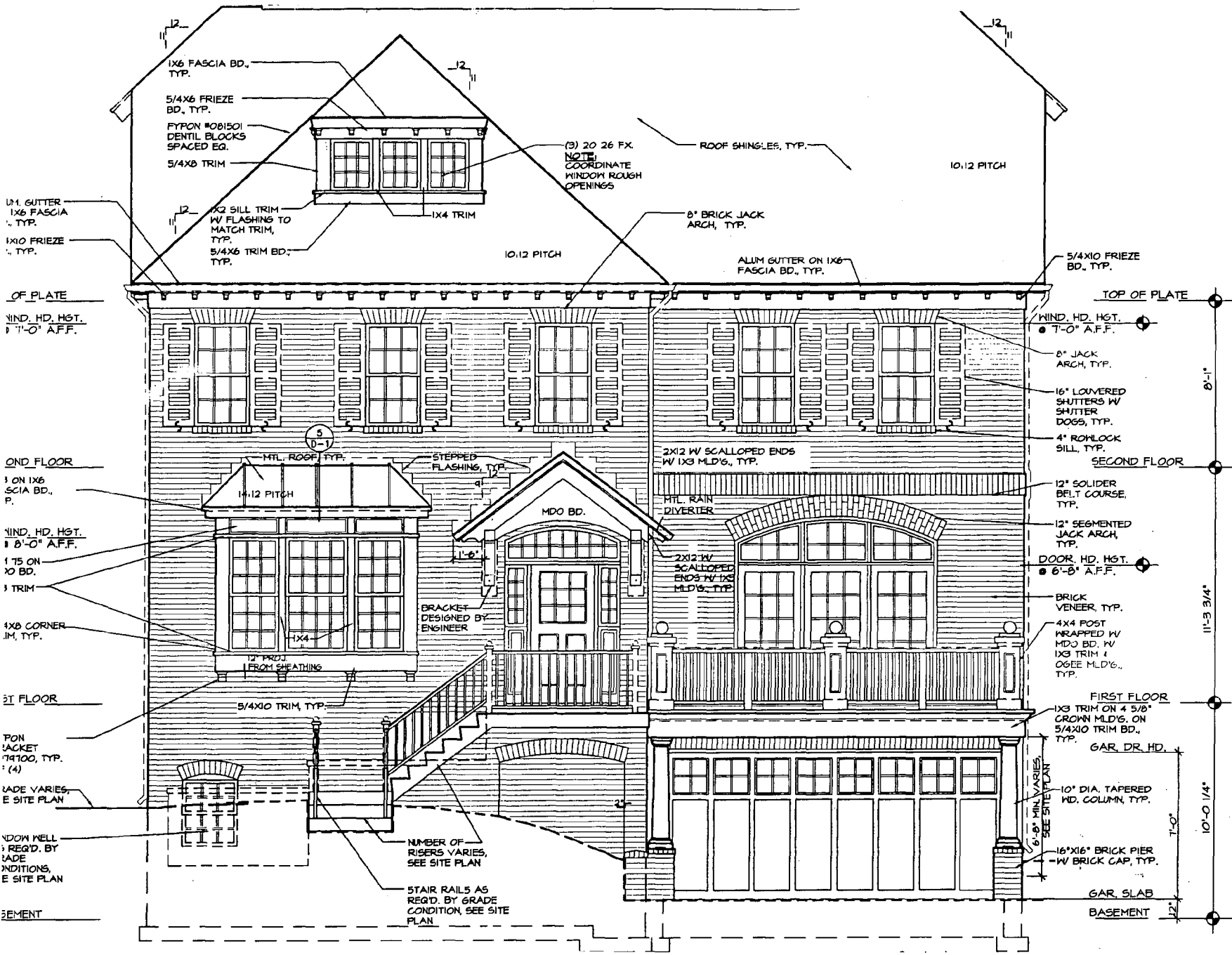
LOT 8

CELLAR
WELL

CONG.
PAD

2 STORY
BRICK
WBENT.

BRICK
PORCH



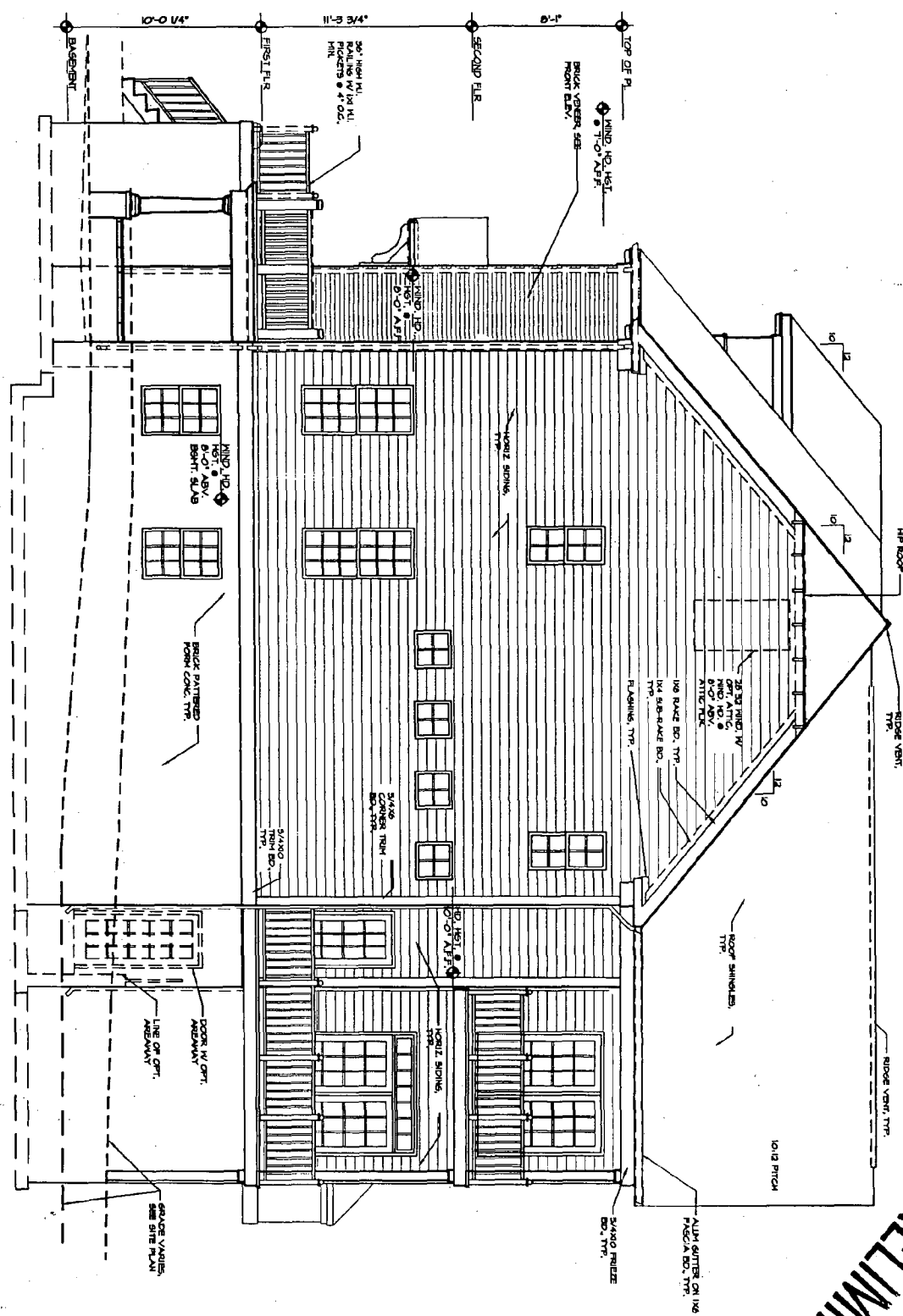
FRONT ELEVATION

1/4" = 1'-0" Scale

22

RIGHT SIDE ELEVATION
ELEVATION 'A'

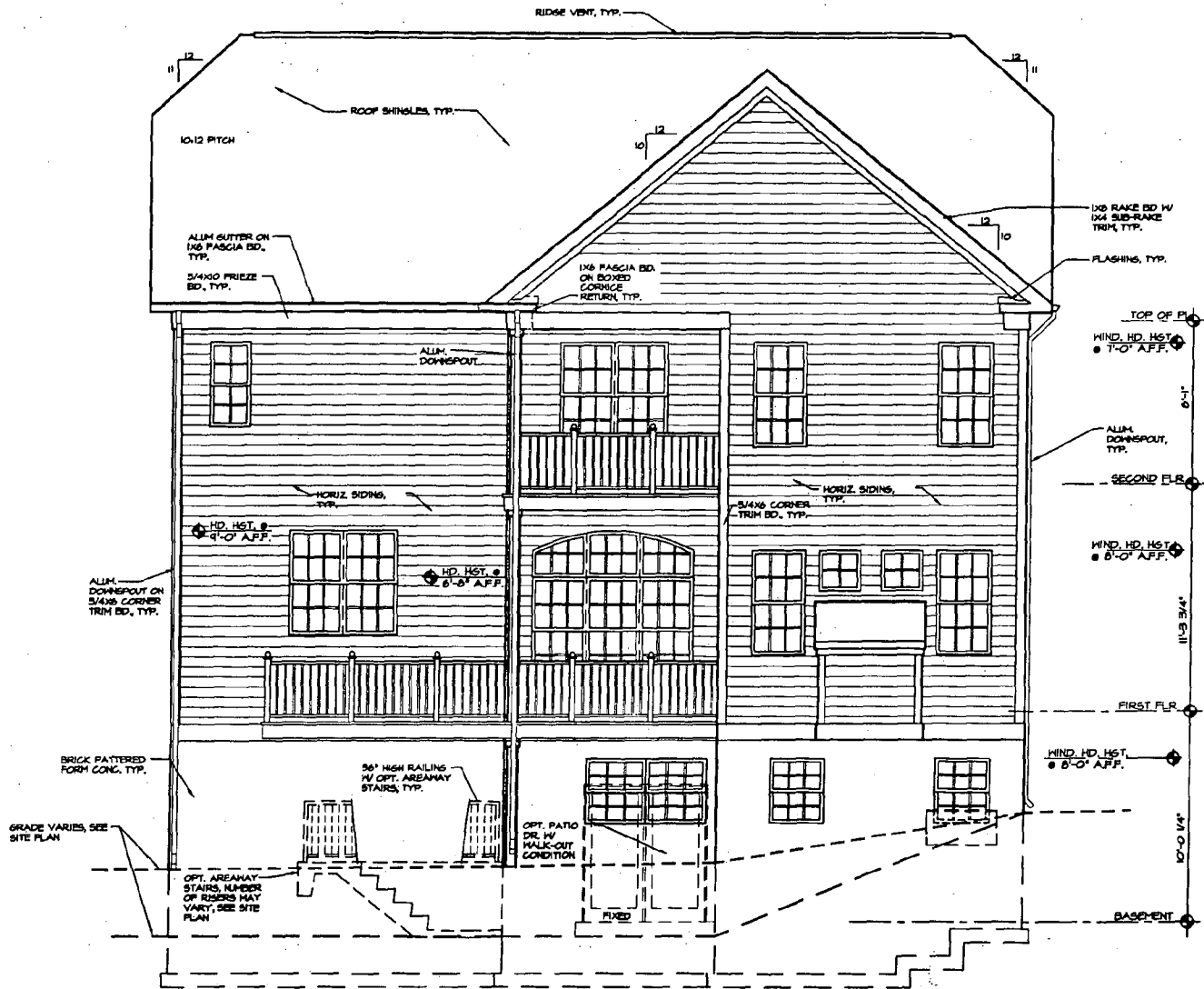
5/16" = 1'-0"



PRELIMINARY

DESIGN-TECH
UILDERS • DEVELOPERS
10000 Silver Spring Avenue Suite 301 Silver Spring, Maryland 20910-4450

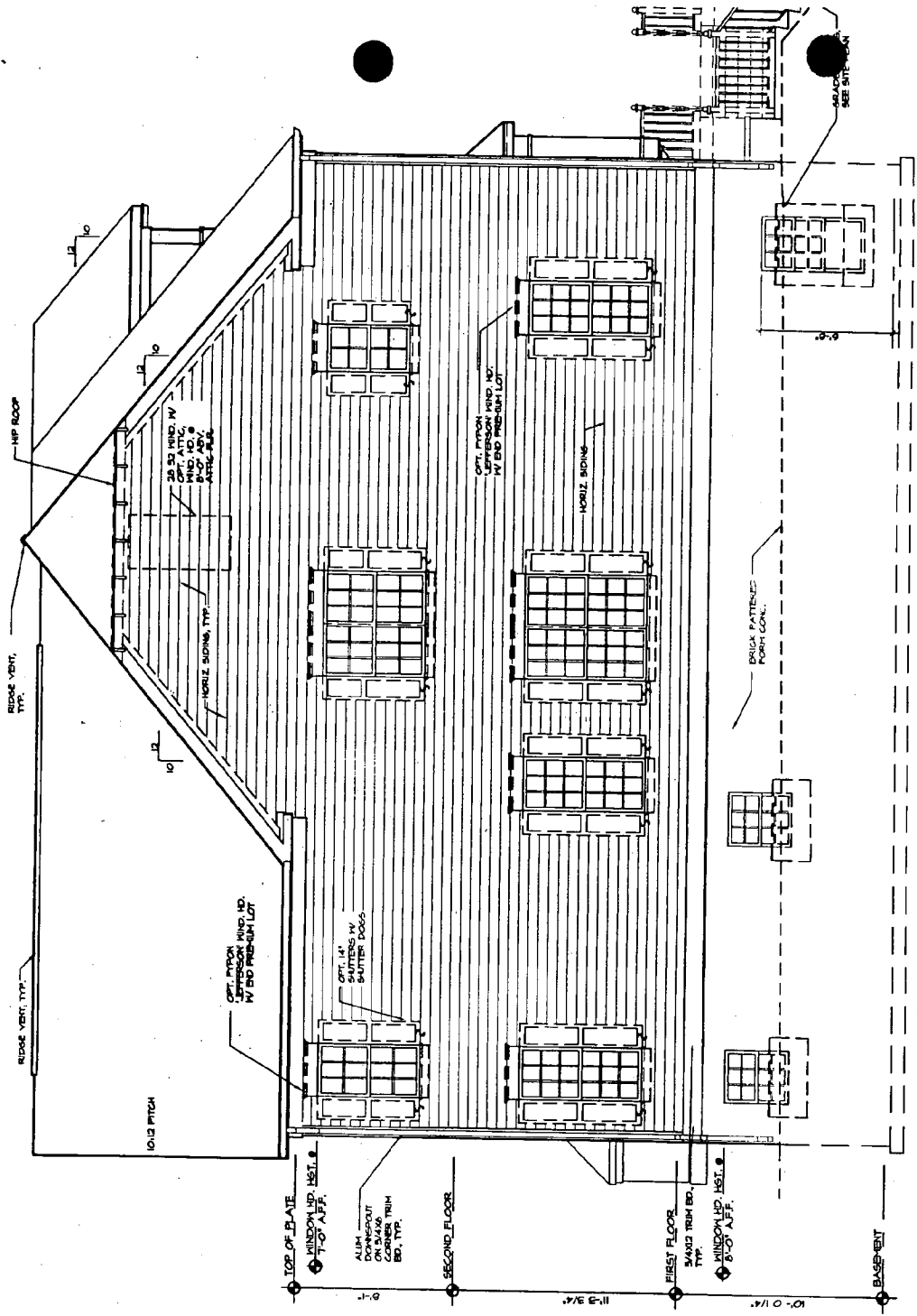
REASER / BRIEN
ARCHITECTS PC
6 MONTGOMERY VILLAGE AVE. SUITE 300 1948-8380



REAR ELEVATION

ELEVATION 'A' 3/16" = 1'-0"

100
103



LEFT SIDE ELEVATION
 ELEVATION 'A' 9/16"=1'-0"

1 (Discussion off the record.)

2 MR. SPURLOCK: Why don't you go ahead.

3 MS. ZIEK: The next preliminary consultation is at
4 the property of the Bethesda Community Store, Master Plan
5 site #35/43. The Bethesda Community Store and the
6 environmental setting is .5 acres of property. The small
7 store is, of course, in the corner of that property and
8 there had been a shopkeepers house on this lot, which had
9 been demolished quite a while ago. And the store that we
10 have now was built in 1924 on the site of an earlier store
11 and it's significant as one of the few surviving early 20th
12 century commercial structures in Montgomery County which is
13 still in operation as a store.

14 The subdivision review was seen by the Commission
15 with a proposal for two houses a while ago, and the
16 Commission recommended against that subdivision. The
17 Planning Board recently approved a different subdivision of
18 this property into two separate lots, but only with one
19 residential component -- one residential lot, and that's Lot
20 27. The lot measures 60 feet wide, road frontage about 122
21 feet deep, and the rest of the property, which is Lot 28, is
22 14 -- over 14,000 square feet. It is the property to be
23 associated with the Bethesda Community and the parking.

24 The environmental setting is not reduced. The
25 task is to basically review the design and size, massing,

1 location, materials of a new house proposal on Lot 27 that
2 will be compatible with the neighborhood, compatible with
3 the historic site. The -- part of the significance of the
4 Bethesda Community Store is the early development of
5 Bethesda as a residential suburb of Washington and with the
6 early shops moving out along the major roads, but to serve
7 the residential community and to serve also, of course,
8 people along the major road, which this store continues to
9 do. And we do hear from the Huntington Terrace Civic
10 Association, but I don't see anybody here tonight. They
11 have been notified. They're certainly concerned. They want
12 to see the store serve both the local community and as well
13 as sort of the broader Montgomery County community.

14 The proposal that we see for Lot 27 -- I have some
15 slides I could just run through -- I'd like to run through
16 very quickly about the community and just to put this into
17 context.

18 This is a slide from Old Georgetown Road of the
19 store, and the parking is all behind and to the right of the
20 store. Here's another view of the shop and a side. It's a
21 very small structure. This is from Greentree Road and
22 that's basically the commercial area. The rest is parking.
23 There's a temporary structure which the Commission has
24 approved, which will go sort of parallel to that hedge. And
25 this is the grassy area which has been approved -- this is

1 basically the area of the subdivision.

2 It's never really been used. It's not been ever
3 used as parking. It has been used for the most part as a
4 buffer between the residential community and the parking and
5 commercial operation here on the store. I know that is an
6 issue for the community. We can see the trees -- existing
7 tree line. That serves as a buffer, and the open grass
8 mostly served to distance.

9 This was taken from looking at what will be the
10 new building lot, towards Georgetown -- towards Old
11 Georgetown Road.

12 This is the neighboring house, and it's just to
13 give you a sense of the scale of the neighborhood. Mid-20th
14 century neighborhood with really small low-scale buildings,
15 one-and-a-half story here on the adjacent properties and the
16 houses are all, as I say, small scale.

17 I think one of the issues that I brought up in the
18 staff report is the relationship of the house to the grade,
19 and you can see that historically, these houses fit in their
20 environment in a sense that they're part of the street, they
21 address the street, you walk up from the sidewalk, you go up
22 one step, maybe two steps and you're at the front door. The
23 houses are nestled in the trees, which, you know, obviously
24 had grown up after the houses were built. They're not that
25 old, but there is a sense of the houses being not obtrusive

1 and sort of nestled in the general environment -- a
2 streetscape in a community environment that is moderately
3 homogeneous.

4 This is a new house that was built across the
5 street from the Bethesda Community Store and the parking,
6 and I think the biggest thing is that it's an example of --
7 in my mind, it's an example of what is not a compatible --
8 resource compatible with the existing environment -- the
9 existing neighborhood. It's obviously much taller, bigger,
10 and really stands out in terms of its presence.

11 And this, again, is just a shot of where the new
12 house will go, and there is this hedge and existing trees
13 and shrubs which, I think, there will be -- need to be an
14 effort to preserve and protect; to maintain. There is also
15 a proposal from the applicant to take 20 feet of the Lot 28
16 and put that essentially in a -- sort of a conservation
17 buffer. Twenty feet that would be heavily screened and
18 planted and, again -- a sense to some degree that what they
19 come forward with that would be help -- we'll use that to
20 address the existing hedgerow and if we're able to get the
21 house of a sense of a size, scale, massing, and design so it
22 really fits into the existing neighborhood. That buffer may
23 not need to be so much of a screening and maybe what is on
24 the new Lot 27 there can be some thinning because the buffer
25 will essentially be moved over to the left side of this

1 image to screen the commercial operations from the
2 residential community.

3 The applicant is proposing a house that has a
4 brick veneer on the front elevation and the note says
5 horizontal siding. I did not speak to the applicant to find
6 out exactly what the -- siding was, but an unified treatment
7 for the exterior siding.

8 The massing is, in Staff's opinion, incompatible
9 with the existing neighborhood and with a modest scale of
10 the historic resource. The building is essentially four
11 stories high with the basement exposed and the attic of a
12 very high pitch and an odd form. And the first floor is
13 raised for the full story above the street approximately.
14 So, you don't have the same relationship that you see in the
15 existing neighborhood.

16 There are a lot of things about this house. It's
17 moderately incoherent. It's -- it's not a -- its
18 relationship to the street is -- is -- it will loom over the
19 street. It isn't designed to relate to the street or to the
20 existing neighborhood. It's not really -- it's not designed
21 as a -- as one of a group of many; it's designed as a stand-
22 alone new thing that has no relationship to its environment.

23 I made some suggestions; thing that we might want
24 to look for in a compatible house for this site, and that
25 would include a basement that is below grade, a garage that

1 would be freestanding at the rear of the property. A front
2 door that was approximately two, three steps above the level
3 of the street -- approximately the front -- you know, the
4 sidewalk. The siding should be unified. The building
5 height -- Staff would actually recommend that the applicant
6 consider one-and-a-half stories, because we have seen many
7 successful examples where the floor space is -- provides a
8 lot of living space under one-and-a-half story with
9 essentially a full second story, but under the roof so that
10 the house appearance from the road looks modest and more
11 moderate. Use of dormers can help with the floor space up
12 at the second floor.

13 And we would need much more information about the
14 landscape buffer that they are proposing, and that would be
15 considered an integral part of the application so we'd have
16 to see many more details about that.

17 And so Staff is basically suggesting that the
18 Commission reject this design and the provide some general
19 guidance to the applicant and to what could be built here.
20 And I think that would be useful and helpful to the
21 applicant. I would be happy to answer any questions if you
22 have any.

23 MR. SPURLOCK: Questions of Staff? Okay, would
24 the applicant like to step forward please. Please state
25 your name for the record.

1 MR. WEISS: My name is Dave Weiss from Design-Tech
2 builders. Thank you very much for giving me an opportunity
3 to come and listen to your thoughts. I have a different
4 view obviously than your Staff. I'm here to listen to your
5 view also and then make decisions as to how to go.

6 The house that I have submitted for Staff's
7 comment, as I told Gwen, I gave her a rough -- I gave her
8 some blueprints and a rough outline because the actual house
9 exists about a three-minute walk from where we sit now.
10 There are a dozen of them. They're located at the
11 intersection of Colesville Road and Woodside Parkway. It's
12 a job that we did and had tremendous community support. We
13 had only testimony in support of our subdivision.

14 Now, there -- just so if you were to drive home
15 down -- north on Colesville Road towards the Beltway, there
16 are three homes that we're building; one of which exists;
17 two of which are just coming out of the ground, which are on
18 Colesville Road, and that's not the model that you see here.
19 You had to make a turn onto Woodside Parkway from Colesville
20 Road -- a right turn, and there are a dozen houses that are
21 complete there that are exactly the model that you're
22 seeing.

23 Now, Staff is absolutely correct. The house is
24 significantly taller than one-and-a-half stories. It also
25 -- Woodside Parkway has the same type of houses across the

1 street as are along the road here. I, perhaps, have an
2 incorrect view of what's going to happen here and the future
3 of where we're going than you do and than the Staff does,
4 and I'll try to be brief with my view.

5 The -- we're at the intersection of Greentree and
6 Old Georgetown. This is a busy road. Across the street is
7 NIH. We're a hop, skip, and a jump from Suburban Hospital
8 and its parking garage. The single-family small one-and-a-
9 half story homes that are on the same side of the street
10 that we're trying to preserve are eventually going to be
11 redeveloped. The home that you saw the picture of; that
12 homeowner contacted the owner -- I'm not the owner; I'm a
13 contract purchaser -- of the property and said, "Look, if
14 you do a home there, will you buy my lot, too?"

15 Whether you approve my plans or not or someone
16 else's, it's a matter of time before those homes along that
17 street are redeveloped in the spirit and in the size of the
18 picture that's there shown you that they said they don't
19 like. And that may be right; it shouldn't happen, and I
20 can't tell you that it won't. There are market forces at
21 work that we have to consider.

22 My presentation to Staff and to you tonight was to
23 say -- and I will admit to you that perhaps you may say I'm
24 crazy and I'm wrong -- but I'm trying to be a realist here,
25 and I'm saying that to protect a historic resource we

1 shouldn't try to do it in constructing a home that really
2 has a very limited useful future in a majority of the
3 market's opinion; a one-and-a-half story home in Bethesda in
4 walking distance to the hospital and NIH.

5 What we should try to do is do the best -- do a
6 superb job of buffering the historic resource and then
7 providing a home that will be on its own in the theme of
8 what's going to happen on that street in the next five years
9 anyway.

10 Thank you. And I'm ready to listen to where
11 you're going to guide me.

12 MR. BRESLIN: One quick comment I have is the
13 adjacent lots, I believe, are 40 feet wide and yours is 60
14 feet wide. So, I think -- while I think you're right, there
15 is going to be the pressure to redevelop, the redevelopment
16 of a 40-foot lot -- have a less house than on a 60-foot lot
17 and I would think that this house probably couldn't even fit
18 on a 40-foot lot.

19 MR. WEISS: It could not.

20 MR. BRESLIN: Right. So, when that development
21 occurs, should it occur, the houses will be by necessity
22 smaller than this one.

23 Just a comment.

24 MR. WEISS: Yeah, I didn't --

25 MR. BRESLIN: For you and for the Commission. And

1 that being said, I think folks are going to be commenting on
2 the size of the house, and in addition to the size of the
3 house, you're going to have a lot of regrading. It looks
4 like you're between the garage and where the stoop is you
5 must have five or six feet or grading change. See, you're
6 taking a flat lot and you are -- one way or the other --
7 regrading it -- five or six feet and I don't know if that's
8 been thought through. When you look at your elevation, you
9 know, I see five or six feet of elevation change from there
10 to there, which will involve retaining walls and all kinds
11 of other things, which don't appear to be shown. It's the
12 only instance of that on the street, which offhand seems
13 like a novelty for what's going on there.

14 MR. WEISS: The house is set into the -- the house
15 is set into the grade. It's not necessarily a grade change.
16 The -- there's a small incline from the street into the
17 driveway. You will have some grading. A lot of it's done
18 in steps. I'm not sure that it's five or six feet, but it's
19 clearly -- you are correct, it's clearly, you know, maybe
20 three feet.

21 MR. BRESLIN: So, it's not only the impact of the
22 house; it's the impact of some substantial grading and the
23 associated retaining walls and other things you'd have to
24 do.

25 MS. WILLIAMS: I think you're probably right as

1 well; that this is going to be a very developed
2 intersection. But I guess my take on it is slightly
3 different. Rather than just sort of throw it out as a lost
4 cause and let's just throw up any house because it's big and
5 that's what people want, I sort of see this as an
6 opportunity. We've got a very important historic resource,
7 a very big important intersection that's waiting to be
8 developed. We can create a model house here that future
9 developers can follow -- future builders. And not
10 necessarily follow it to a T, like you've taken your houses
11 in Woodside Parkway and plant it here, but to follow in
12 terms of overall general feel and scale and size.

13 I think we need to cut this in half at least and
14 we need to see it relate a little bit more to the landscape.
15 Excavate more. If you really need -- if you need that
16 square footage -- if that's what sells, you need the
17 basement, the playroom in the attic and everything else, put
18 two floors below grade, you know, but let it read as a
19 smaller house. It needs to really relate to its site and I
20 think this is a very important site in light of the fact
21 that it is the first of what's the come. So, I think we
22 definitely -- I'd like to reconfirm my feeling that the
23 staff report sort of hit it on the nose and I think you all
24 need to address all of the comments made in the staff report
25 before you come back to us.

1 MS. VELASQUEZ: Again, to echo everything that has
2 just previously been said, and with one addition that houses
3 in Bethesda within walking distance to NIH and the Metro and
4 restaurants and shops, even a small house is going to sell
5 for a considerable price, which would probably bring quite a
6 nice reward to whoever sold it. So, I don't think that we
7 have to have a huge mansion on this lot by this little tiny
8 precious store.

9 I think that I would rather see a completely
10 different design. I would like to see this house read as
11 maybe a one-and-a-half story house, expand it some other way
12 as Commissioner Williams said, but this is just going to be
13 an 800-pound canary sitting in the middle of this -- the
14 small houses here and this little tiny store here. And
15 frankly, I'm concerned about the little tiny store and what
16 is around it and what impacts it. This house is going to be
17 like an apartment building overwhelming that resource and
18 that really does distress me.

19 I think we can go back and rethink and you can
20 have something that's very saleable and very charming there
21 without having to have this huge four-story structure.

22 MR. HARBIT: I'm not sure what else I can add. I
23 would agree with all my Commissioners -- colleagues. The
24 basic purpose of historic preservation is to preserve
25 historic resources and the environmental setting in which

(36)

1 they sit, and that house you're proposing is basically
2 within that environmental setting. So, it has to be
3 respectful to the historic resource we're trying to protect.

4 I totally understand where you're coming from;
5 that if market forces were to have their way, there would be
6 huge houses there and if market forces were to totally have
7 their way, the store would be gone. But it's public policy
8 in this county not to have that happen and to restore, to
9 preserve the environmental setting of historic resources
10 wherever possible. So we need a house -- we need you to
11 design a house that will be respectful of that.

12 MS. O'MALLEY: I think that would be my main
13 concern as well. I used to live in the white house across
14 the street from this property, so I'm very familiar with the
15 neighborhood and there are -- back through that neighborhood
16 there are an incredible number of different styles of homes
17 and they are very livable and very expensive and have
18 unusual features about them. They're not just like the next
19 house or just like the latest house that was built, and I
20 think you have to look to some of those ideas as you're
21 designing this one so it will blend in and help protect the
22 store.

23 MS. WATKINS: I really don't have anything to add.
24 I think they've covered the major points that need to be
25 discussed.

d
1 MR. SPURLOCK: It sounds like you have a pretty --
2 you have a pretty good reading of where we're coming from?

3 MR. WEISS: Oh, yes, and I want to thank the
4 Commission for allowing me to come and get that impact. I'm
5 not sure that I'm the one to do the project that you
6 describe, but you have every right to describe it and I was
7 here at least to get a handle on what the parameters of a
8 project in this location would be and I think you've given
9 me that. My decision is to -- whether I can meet those
10 needs in my budget with my economics and if not, someone
11 else will have a go, but at least we know which direction
12 you would like us to move in, and for that I thank you for
13 your time.

14 MR. SPURLOCK: Thank you. Okay, the next item on
15 the agenda are the minutes.

16 MS. VELASQUEZ: Move approval.

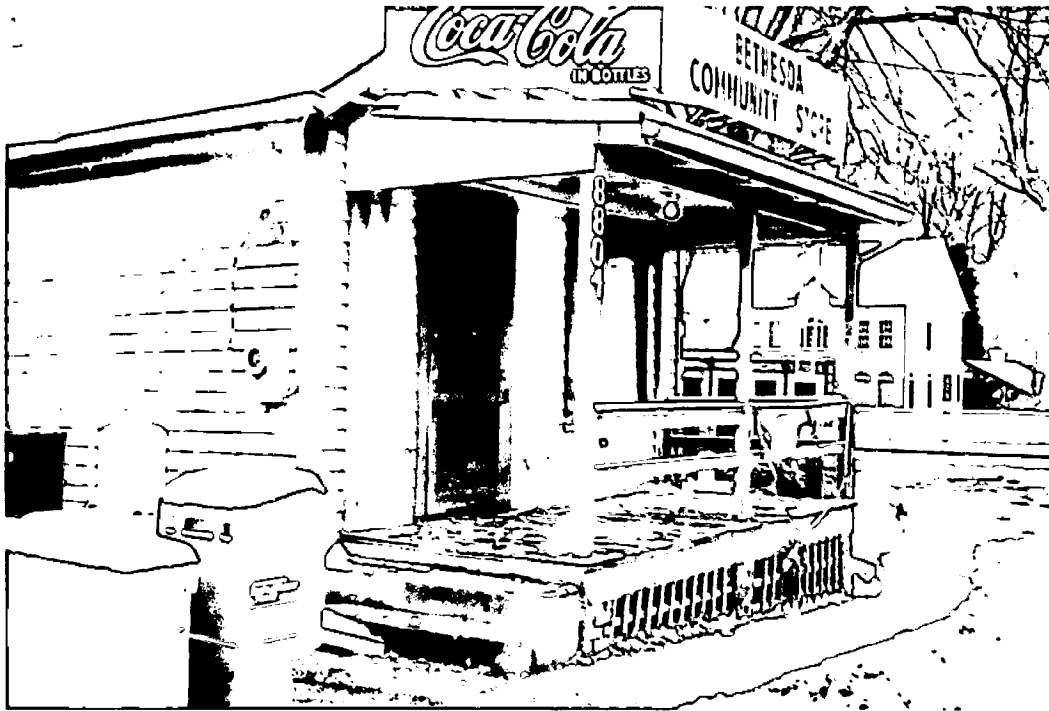
17 MS. O'MALLEY: Second.

18 MR. SPURLOCK: The minutes are approved. Other
19 business. Commission items. Tomorrow evening is our annual
20 meeting with the County Executive. I hope some people can
21 come.

22 MS. VELASQUEZ: Seven-thirty at the County Office
23 Building, second floor, and I will be there. Am I going to
24 be alone?

25 MR. SPURLOCK: No, I'll be there.

(246)



Bethesda Community Store, 8804 Old Georgetown Road, Bethesda, Maryland: Before renovation, view from East.



Before renovation, view from the West.



Bethesda Community Store, 8804 Old Georgetown Road, Bethesda, Maryland: After renovation, view from East.



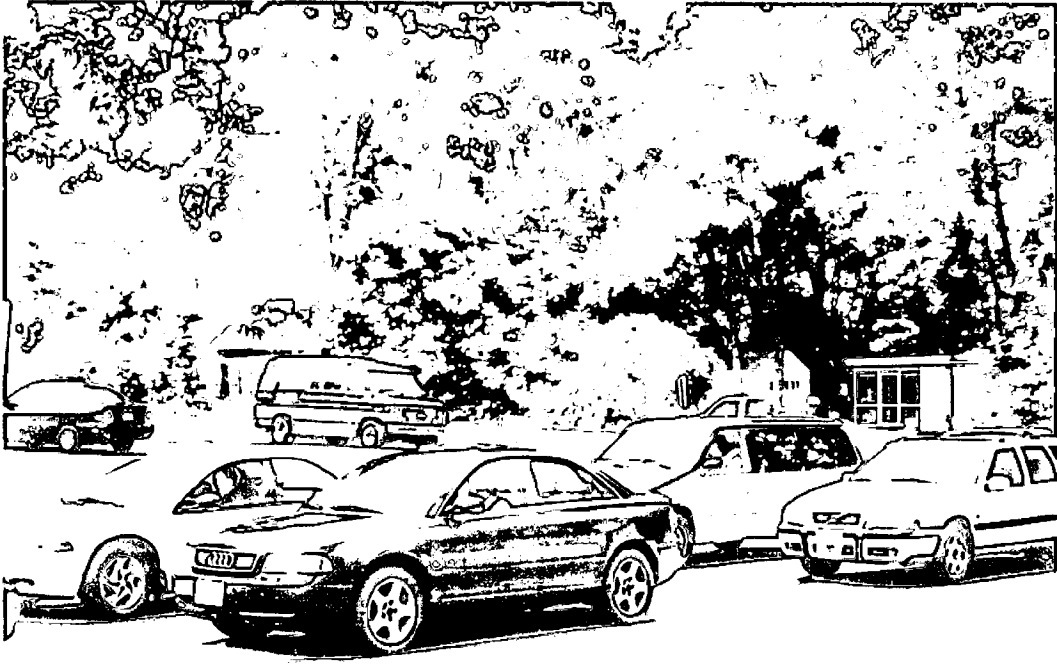
After renovation, view from the Northeast.



Bethesda Community Store, 8804 Old Georgetown Road, Bethesda, Maryland: Before renovation, view from Southwest.



View of Bethesda Community Store parking lot before renovation, from Northeast.



Site is grassy area beyond parking lot in front of houses. View from the Northeast.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	5504 Greentree Road, Bethesda (Lot 27)	Meeting Date:	12/03/03
Resource:	Master Plan Site # 35/43 Bethesda Community Store	Report Date:	11/26/03
Review:	HAWP	Public Notice:	11/19/03
Case Number:	18/08-03A	Tax Credit:	None
Applicant:	Greentree Associates LLC (Holly Bernard, Agent)	Staff:	Michele Naru

PROPOSAL: Construct a new house on Lot 27

RECOMMEND: ~~Continue~~

*approved w/ new docs submittal
& staff level approval of
landscaping plan. -6' min buffer.*

BACKGROUND INFORMATION

The Planning Board on September 19, 2002 approved the subdivision of this .5 acre parcel of land into two separate lots. Lot 27 is a residential lot measuring 60' x 122' (7,320sf). Lot 28 is the remainder of the original parcel (14,586 sf) and includes the Bethesda Community Store and associated parking lot. Both of these lots still remain within the environmental setting of the aforementioned Master Plan site. Therefore, the Historic Preservation Commission (HPC) has review and approval authority over the size, design, massing, materials, and style of buildings to be constructed on both lots.

The HPC, at its November 13, 2002 meeting, was presented with a preliminary consultation, which outlined a proposed design for new house construction on Lot 27 (See proposal on Circles *26-30*). The HPC did not support the proposed design due to its massiveness in scale, massing and height, the lack of a unified treatment for the exterior surfacing, and the proposal's use of an exposed basement with attached, two-car garage. The HPC encouraged the applicant to develop a design for the new construction that would be compatible to the existing site. The suggestions included a below-grade basement, a freestanding garage to be located at the rear of the property, a front door height of approximately two or three steps above the street and a 1-1/2 story building height restriction.

On September 10, 2003, the Commission reviewed a HAWP application, which illustrated a new design for the new house construction on Lot 27 (See Circles *20-25*). The HPC did not support this proposed design for the same reasons that were given at the preliminary consultation. The Commission again encouraged the applicant to develop a design for the house that

incorporated the suggestions, which were outlined at the preliminary consultation. The applicants continued the HAWP application in order to develop a new house design for the site.

DESCRIPTION

SIGNIFICANCE: Lot is within the Environmental Setting of a Master Plan site
(Bethesda Community Store #35/43)
STYLE: 20th Century Vernacular Commercial
DATE: 1924

The Bethesda Community Store sits in the southwest corner of .5 acres of property. The store is a small one-story building (24.3'L x 14.5'W). A shopkeeper's residence was also built on the same lot. This building was demolished prior to the Store's designation on the Master Plan. The Bethesda Community Store was built in 1924 on the site of an earlier store, and is one of the few surviving 20th century commercial structures in Montgomery-County still in operation.

PROPOSAL:

The applicant is proposing to build a new house on Lot 27. The current proposal is a 1-1/2 story, front gabled bungalow designed with craftsman details such as open eaves with exposed roof rafters, and battered columns. The house has a full-width front porch, and a two-bay shed roof dormer. The proposed one-car garage is 15'W x 25'L. The material specifications for this project include wood, simulated, divided-light, double hung windows, 5" painted, wood siding, asphalt roofing shingles, solid wood doors and trim, wood porch construction with tongue and groove wood flooring, wood garage doors and a gravel drive with paved brick walkway.

STAFF DISCUSSION

New construction within the environmental setting of Master Plan individually designated historic resources are reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values. The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

#2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

②

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Staff would like to acknowledge that the applicant has made great strides in the development of a compatible house for this lot. This current proposal reflects most of the Commission's comments from the previous hearing. The proposed house is a 1-1/2 story building with a simple roof form. The second floor of this house is being made useable through the use of two-bay shed dormers on the front and rear elevations, which helps to reduce the size of the massing – especially on the elevation that will face Old Georgetown Road and the Store.

Staff still has a concern with the footprint size and the height being proposed for this building. The height of the proposed building is 35' - the same height of the previous proposed 2-1/2 story house. This height is being dictated due to its large footprint (approx. 1820 sq. ft. – not including the porches). Staff would like to see the applicants reduce this footprint, to bring the height of the building to less than 30' – a true height of a typical 1-1/2 story house. This alteration will bring the scale and massing of this house in proportion with the existing historic resource, the one-story, community store. Staff recommends that Commission continue this HAWP application with the general support of this current design and with the clear direction to reduce the height of the building to less than 30'.

Staff also notes the applicants, responding to the Commissions concerns, have reduced the proposed driveway to 8' wide. Additionally, the final proposal needs to include a landscape plan to be installed during the house construction, which identifies a landscape buffer between the two lots.

The proposed material specifications for this new construction have not been altered since the previous application. The applicant continues to propose compatible materials for the new house construction, which maintains the existing historic character and integrity of the environmental setting of this historic resource.

The applicant has not altered the design of the proposed detached, one-car garage, which was supported by the Commission at the previous meeting. The use of a detached garage helps to reduce the massing of the proposed new construction.

STAFFRECOMMENDATION

Staff recommends that the Commission **continue** the HA WP application.

3



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

JTC

SQFT 2043
HOUSE + 375 GARAGE.
LOT COVER

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

UNDER PREVIOUS APPLICATION
316322

Contact Person: HOLLY BERNARD

Daytime Phone No.: 301.654.1600

Tax Account No.: 07-00512757

Name of Property Owner: GREENTREE ASSOCIATES LLC Daytime Phone No.: GARY JAFFE . 301.652.6366.

Address: 8804 OLD GEORGETOWN RD, BETHESDA MD 20814
Street Number City State Zip Code

Contractor: TBD Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: HOLLY BERNARD LAWSON & ASSOCIATES, ARCHITECTS Daytime Phone No.: 301.654.1600
240.876.6952 cell

LOCATION OF BUILDING/PREMISE 8804 OLD GEORGETOWN RD.

House Number: 5504 (PROPOSED) Street: GREENTREE

Town/City: BETHESDA Nearest Cross Street: ROUTE 187

Lot: 27 Block: B 2 Subdivision: HUNTINGTON TERRACE

Liber: 19615 Folio: 25 Parcel: P961 - subdivided now into lots 27 & 28.

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|---|--|------------------------------------|--|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 150 000

1C. If this is a revision of a previously approved active permit, see Permit # 316322

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height _____ feet _____ inches
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Holly Bernard _____ 11/12/03
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 324517 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

BETHESDA COMMUNITY STORE PROPERTY SUBDIVIDED
INTO LOTS 27 & 28 FOR NEW HOUSE
STORE RECENTLY RENOVATED UNDER SEPARATE APPLICATION

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

1 1/2 STORY NEW HOUSE WITH SEPARATE GARAGE (1 STORY)
& 8' WIDE GRAVEL DRIVE. SUBDIVISION OF PROPERTY LEAVES
ADEQUATE PARKING AREA & TREES FOR HISTORIC SITE.
NEW HOUSE IS IN SCALE & CHARACTER W/ SURROUNDING HOUSES.
NO TREES > 6" DIA. ON HOUSE LOT.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*; with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

5

PLAT No.:

7

OLD GEORGETOWN ROAD
SRC R/W PLAT NO. 14445 & 14446
MD. RTE. 181
(ULTIMATE 120' R/W)

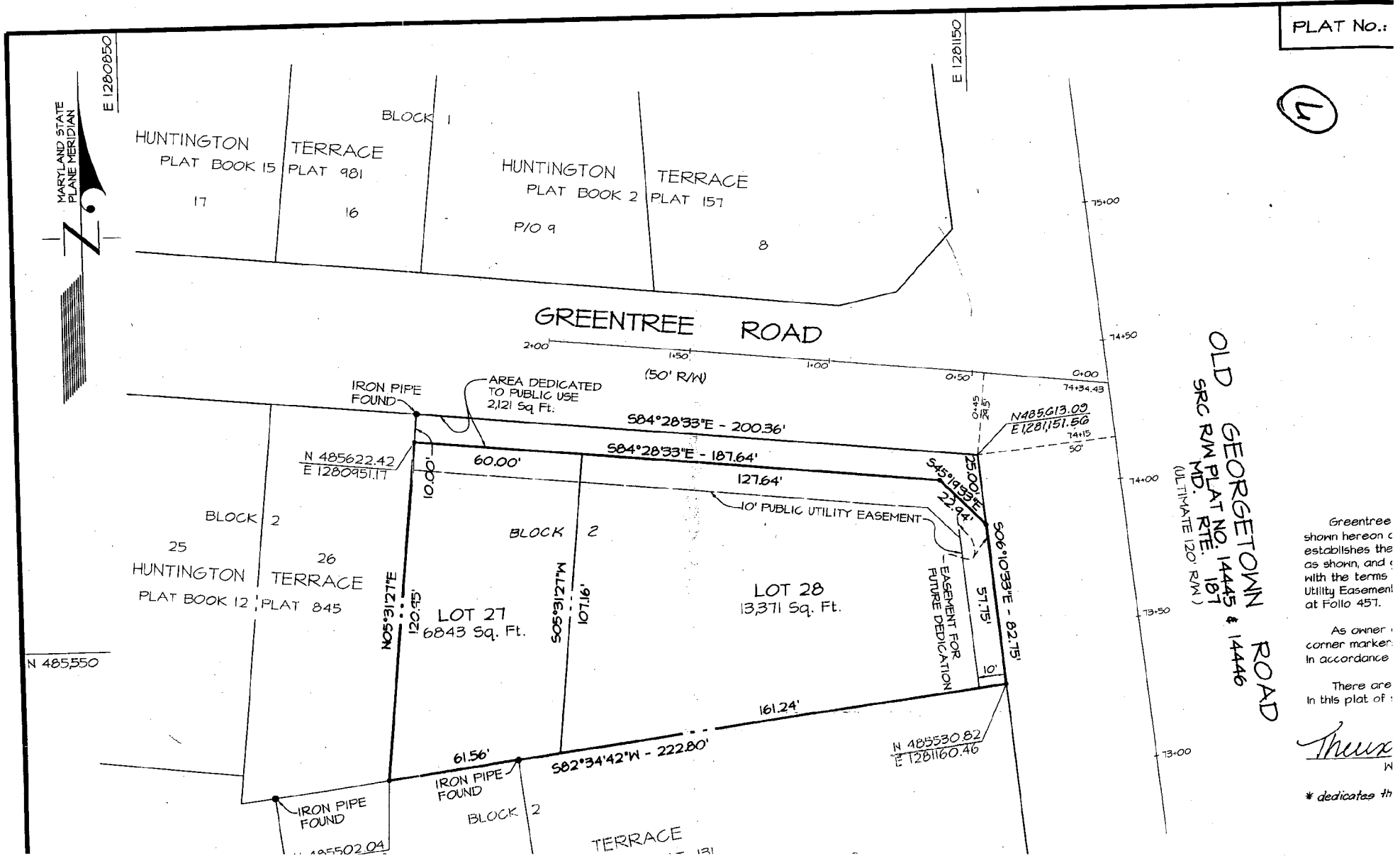
Greentree shown hereon establishes the as shown, and with the terms Utility Easement at Folio 451.

As owner corner marker in accordance

There are in this plat of:

Three

* dedicates th



MARYLAND STATE PLANE MERIDIAN

E 1280850

E 1281150

N 485550

N 485502.04

N 485530.82
E 1281160.46

N 485513.03
E 1281151.56

HUNTINGTON TERRACE
PLAT BOOK 15 PLAT 981

HUNTINGTON TERRACE
PLAT BOOK 2 PLAT 151

HUNTINGTON TERRACE
PLAT BOOK 12 PLAT 845

LOT 27
6843 Sq. Ft.

LOT 28
13,371 Sq. Ft.

TERRACE

GREENTREE ROAD

OLD GEORGETOWN ROAD

AREA DEDICATED TO PUBLIC USE
2,121 Sq. Ft.

10' PUBLIC UTILITY EASEMENT

EASEMENT FOR FUTURE DEDICATION

IRON PIPE FOUND

IRON PIPE FOUND

IRON PIPE FOUND

17

16

P/O 9

8

BLOCK 2

BLOCK 2

N 05°31'27"E
120.45'

N 42°16'50"S
91.01'

S 65°12'55"W
25.00'

S 06°10'33"E - 82.75'

584°28'33"E - 200.36'

584°28'33"E - 187.64'

582°34'42"W - 222.80'

61.56'

161.24'

60.00'

127.64'

75+00

74+50

74+34.43

74+00

73+50

73+00

2+00

(50' R/W)

1+00

0+50

74+15

50'

0+45

25'

22.94'

25.00'

57.75'

10'

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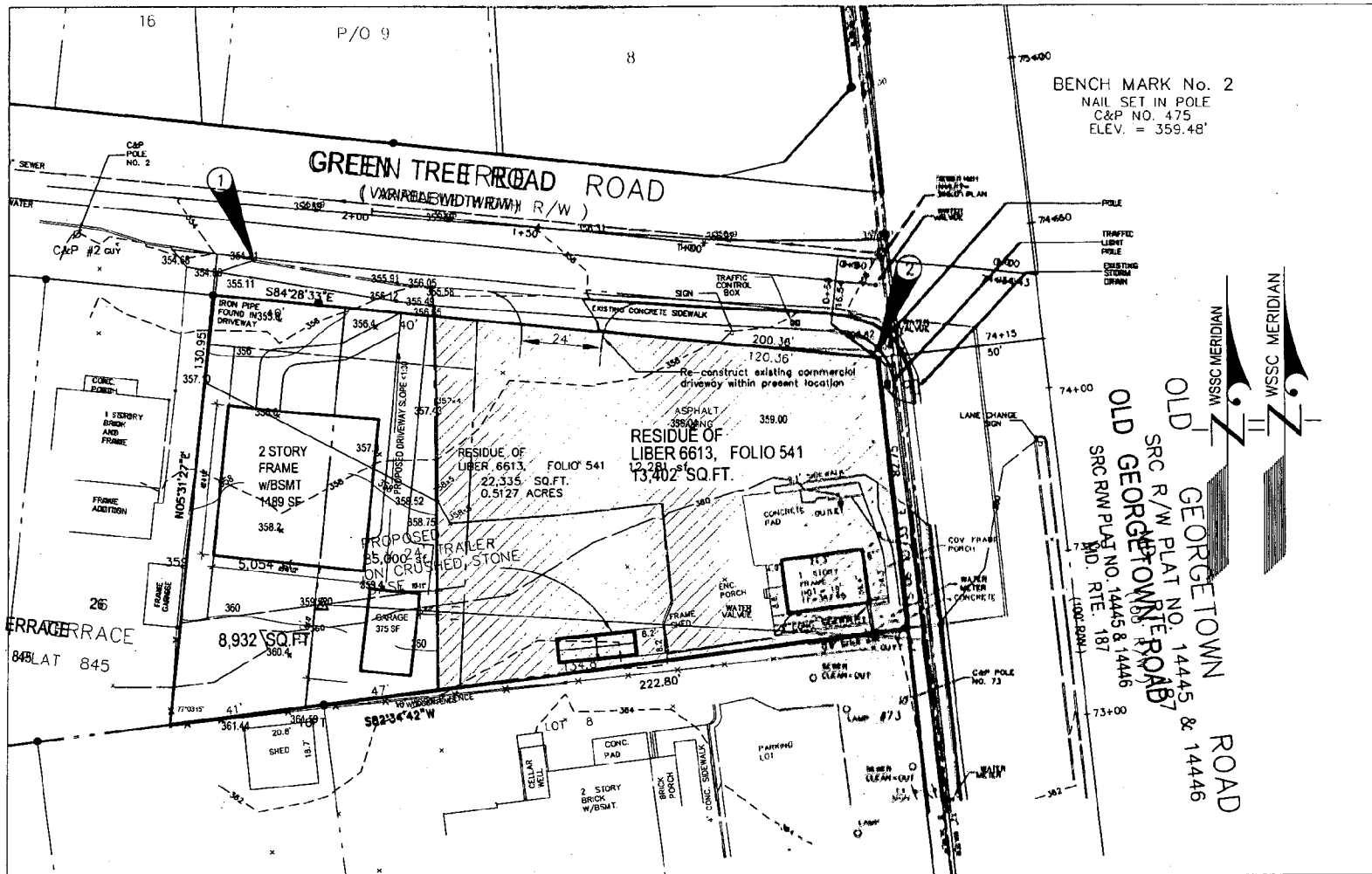
10'

57.75'

10'

57.75'

10'



LAWSON & ASSOCIATES, ARCHITECTS

8520 Connecticut Avenue, Suite 240
Chevy Chase, Maryland 20815
1 301 654 1800 1 301 654 1601

THE JAFFE GROUP
BETHESDA COMMUNITY STORE

SITE PLAN
11/1/03
NOT TO SCALE

8

MATERIAL SPECIFICATIONS

Roofing	Asphalt shingles
Siding	5" Wood
Trim	wood board & bracket trim
Windows	Pella simulated divided lights Glued muntins interior & exterior
Doors	Solid wood doors Wood trim
Porch Details	wood details
Porch Flooring	tongue & groove wood
Railings	wood
Foundation	brick foundation
Garage Doors	wood garage doors
Drive	8' wide gravel drive. Pad for turnaround.
Walk	brick paved walk

ZONING

Zoning	R-60
Lot Coverage	House & Garage 25%
Tree Coverage	No existing trees on site to be removed.
Grading	Existing grade is total 3 feet rise from street to rear lot line. Building floorline is raised 20" (5 four inch risers).
Building Height	House under 35 feet Garage under 15 feet



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THE JAFFE GROUP
BETHESDA COMMUNITY STORE

FRONT ELEVATION (Greentree)
 11/11/03
 1/8" = 1'-0"

10



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SIDE ELEVATION (Old Georgetown Rd.)
 11/11/03
 1/8" = 1'-0"

11



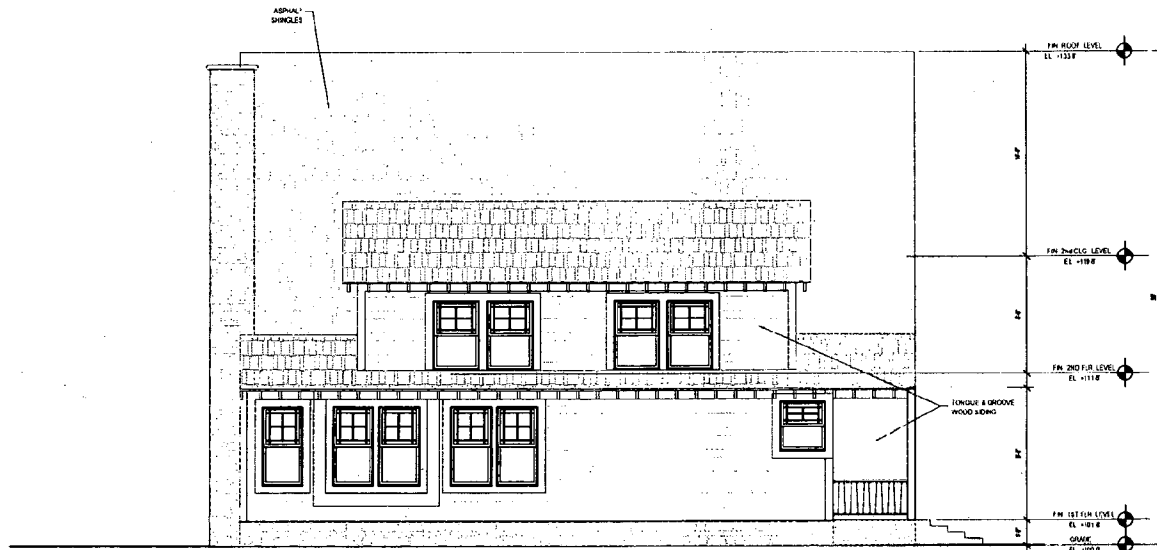
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THE JAFFE GROUP
BETHESDA COMMUNITY STORE

SIDE ELEVATION
 11/11/03
 1/8" = 1'-0"

12



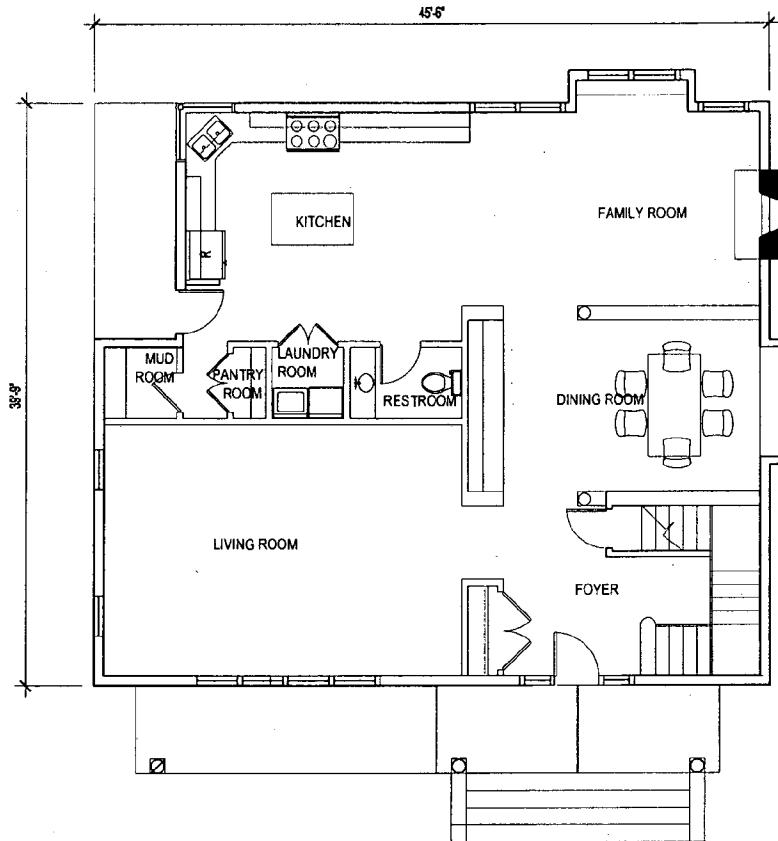
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BETHESDA COMMUNITY STORE

BACK ELEVATION
 11/11/03
 1/8" = 1'-0"

123



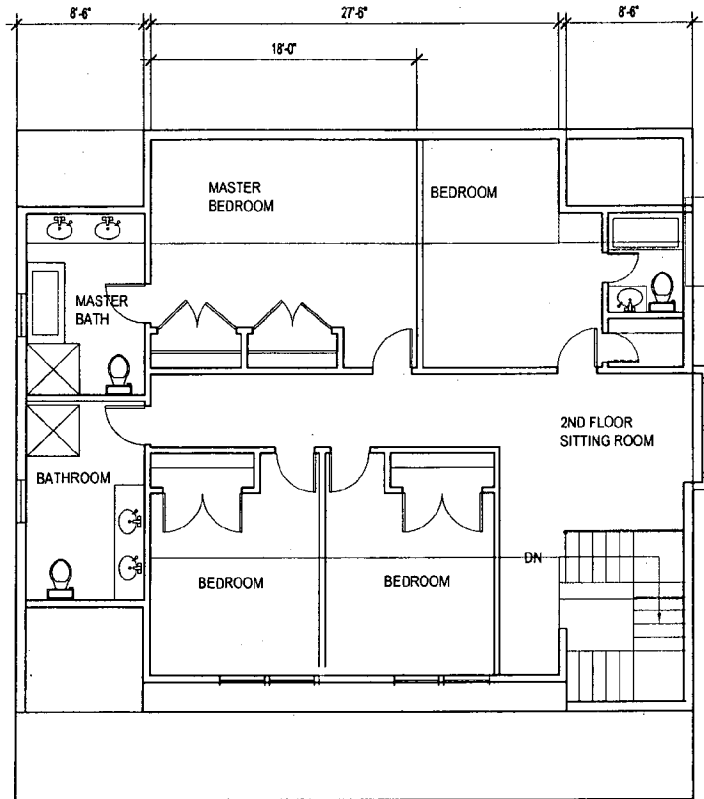
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FIRST FLOOR PLAN
 11/11/03
 1/8" = 1'-0"

14



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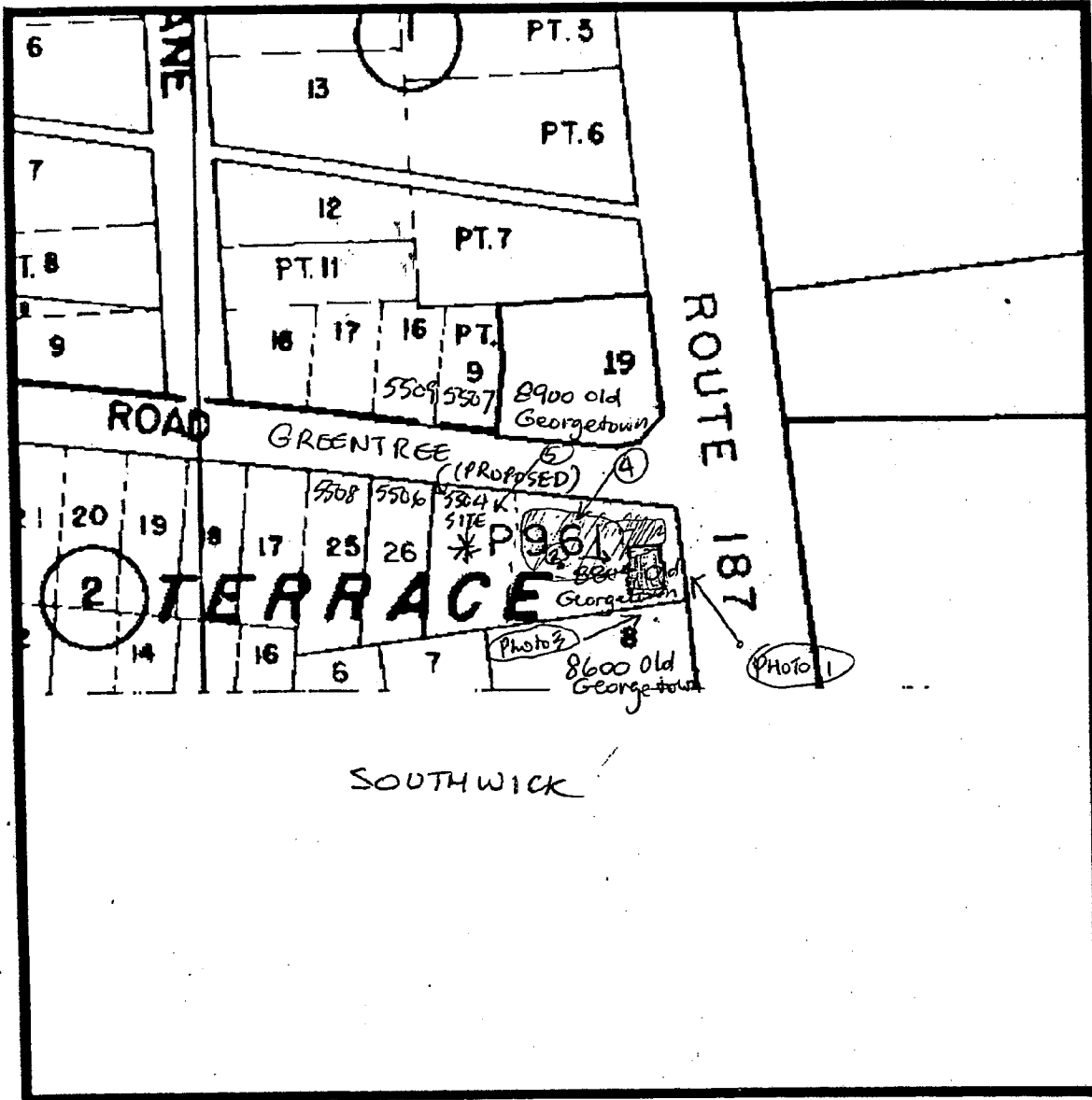
THE JAFFE GROUP
BETHESDA COMMUNITY STORE

SECOND FLOOR PLAN
 11/11/03
 1/8" = 1'-0"

15

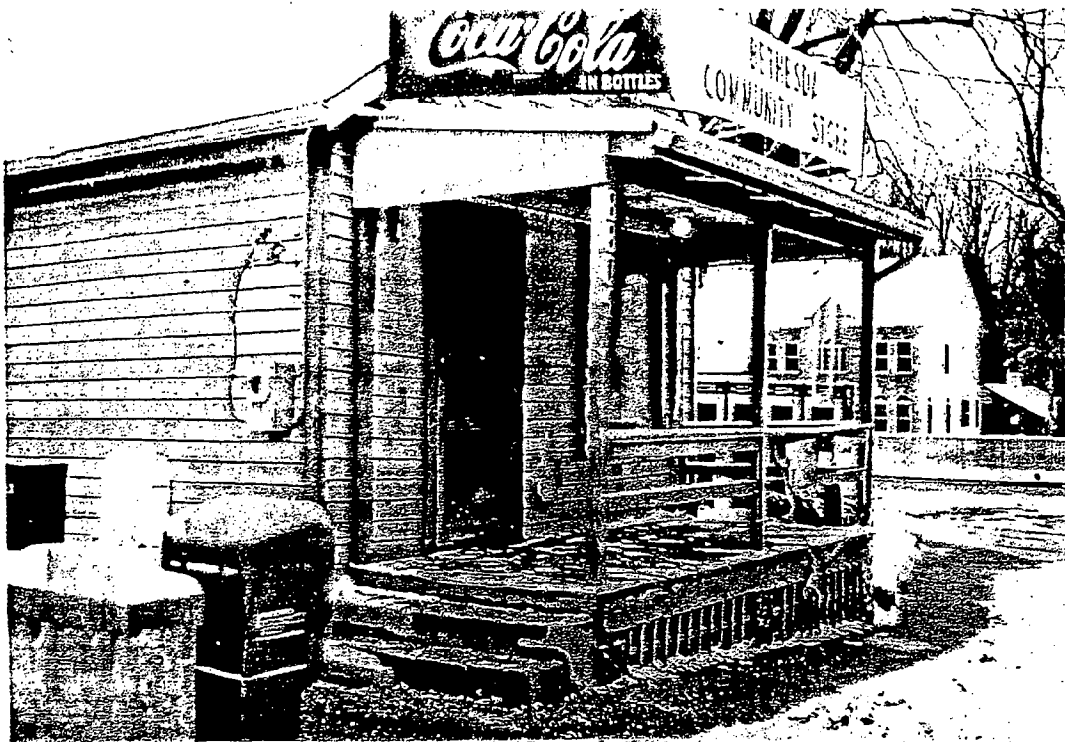


District - 07 Account Number - 00512757



Property maps provided courtesy of the Maryland Department of Planning ©2001.
 For more information on electronic mapping applications, visit the Maryland Department of Planning
 web site at www.mdp.state.md.us/webcom/index.html

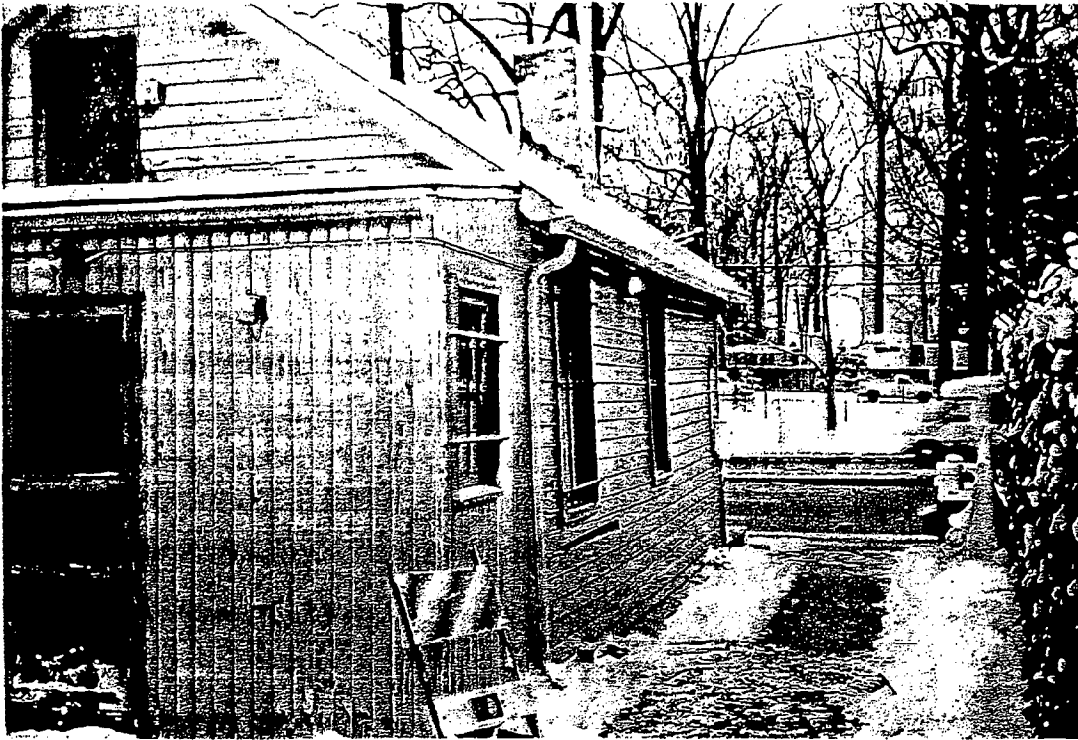




Bethesda Community Store, 8804 Old Georgetown Road, Bethesda, Maryland: Before renovation, view from East.



Before renovation, view from the West.



Bethesda Community Store, 8804 Old Georgetown Road, Bethesda, Maryland: Before renovation, view from Southwest.

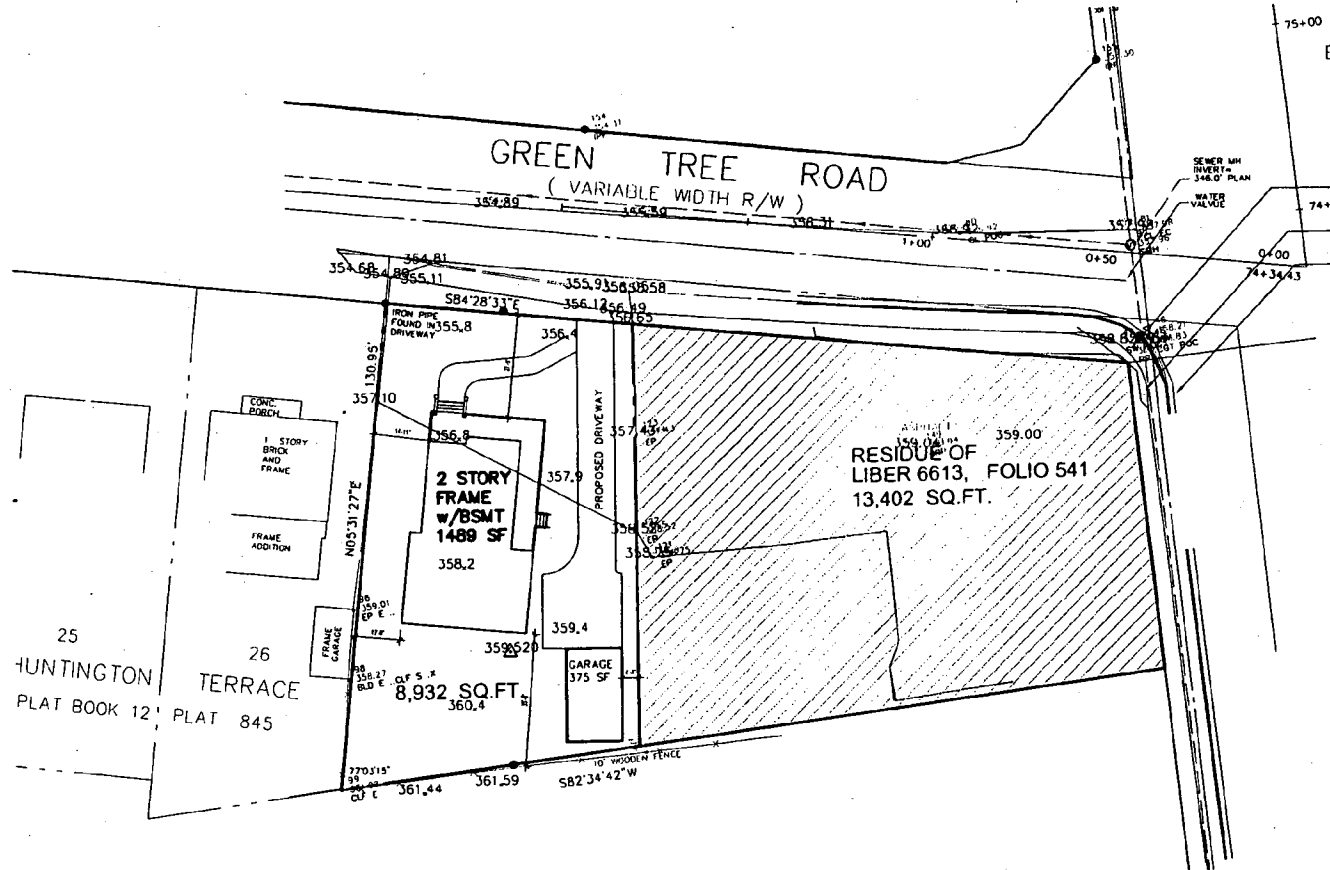


View of Bethesda Community Store parking lot before renovation, from Northeast.



Site is grassy area beyond parking lot in front of houses. View from the Northeast.

P:\1308 - Beth Comm - House\3-CD\3\Plot Files\308 A-1.dwg, 08/20/2003 12:05:46 PM, Carlos Madro, Lawson & Assoc. Architects, 1:1



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THE JAFFE GROUP
BETHESDA COMMUNITY STORE RESIDENCE

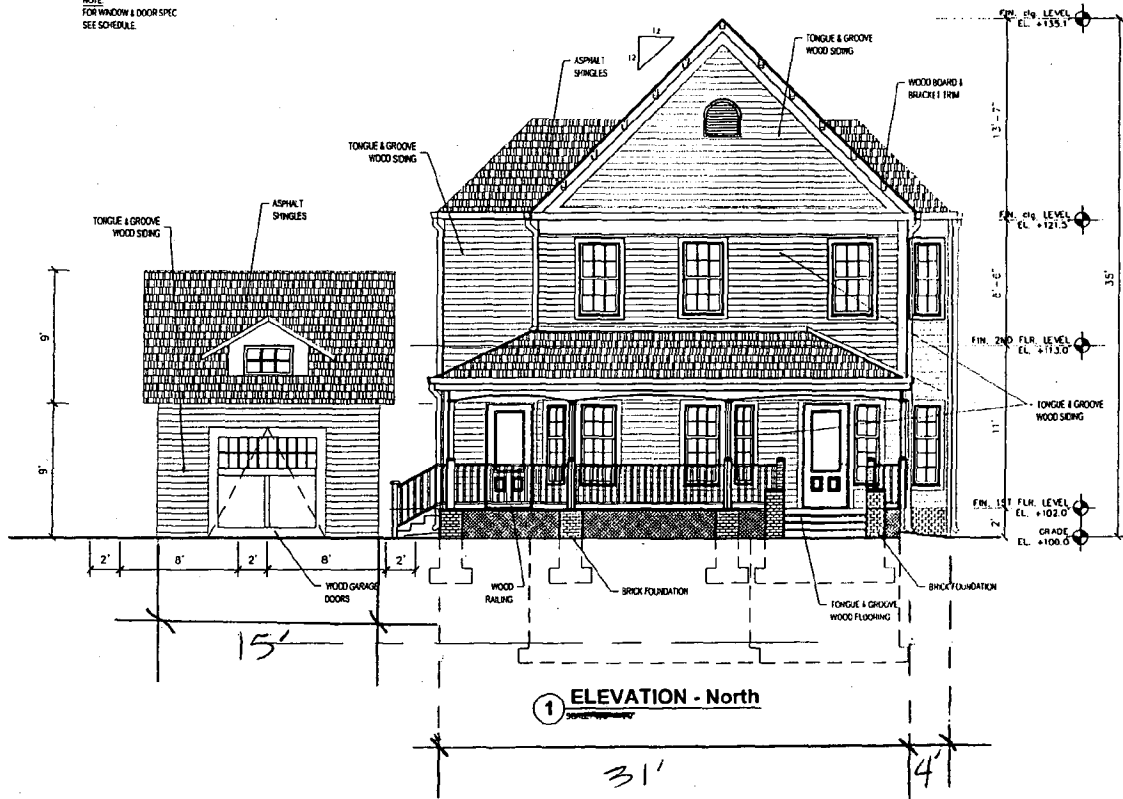
SITE PLAN
 5/5/03
 1/32" = 1'-0"

PREVIOUS HAWP - 9-10-03

20

P:\2308 - Beth Comm. House\13_CD\3\Xref\3\scatlevision.dwg, 08/20/2003 02:27:55 PM, Carlos Hudson, Lawson & Assoc. Architects, 1:1

NOTE:
FOR WINDOW & DOOR SPEC
SEE SCHEDULE



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1 301 654 1600 1 301 654 1601

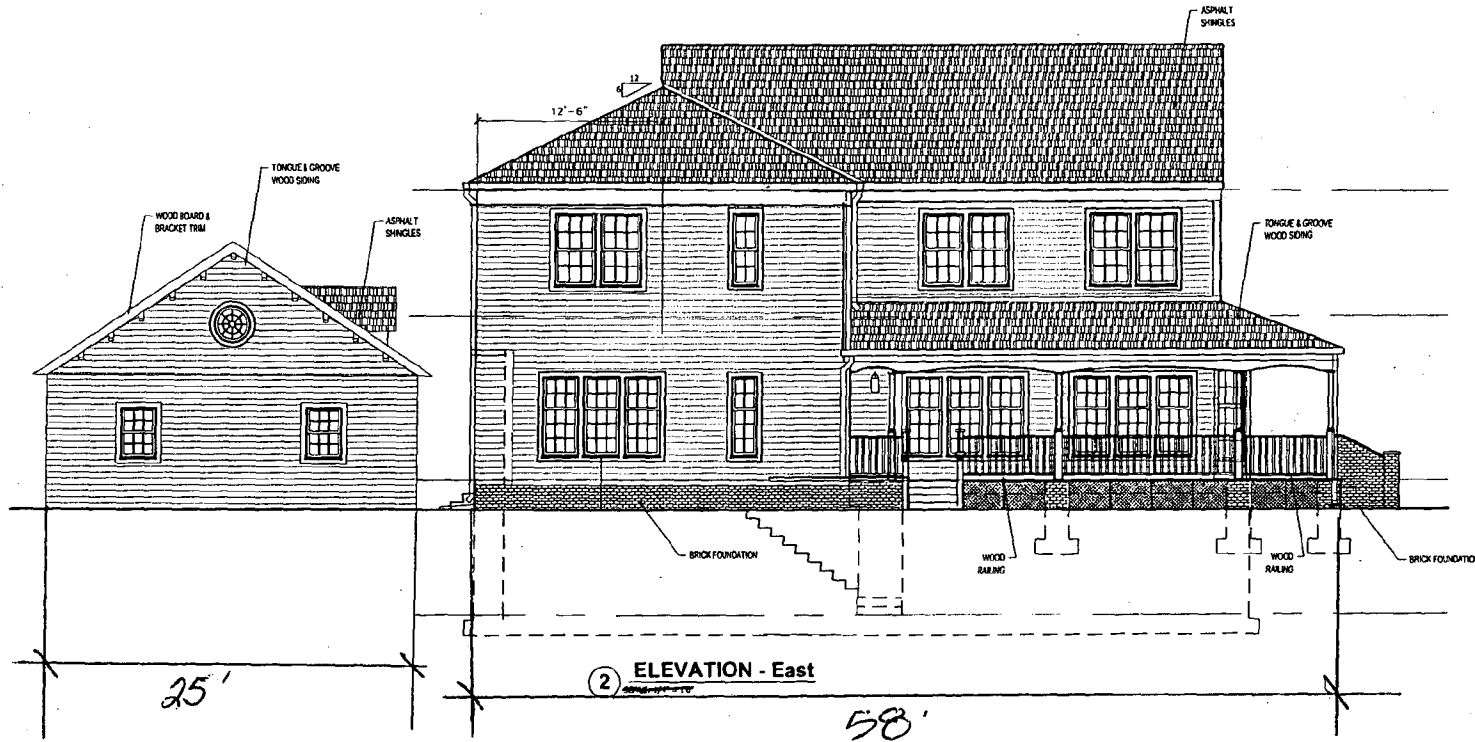
THE JAFFE GROUP
BETHESDA COMMUNITY STORE RESIDENCE

FRONT ELEVATION
5/5/03
-148-110-

PREVIOUS HAUP - 09-10-03

121

P:\12106 - Beth. Comm. House\3-CD\svr-ref\patelevation.dwg, 08/20/2003 11:56:54 AM, Carlos Madrazo, Lawson & Assoc. Architects, 1:1



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1301 654 1600 1301 654 1601

THE JAFFE GROUP
BETHESDA COMMUNITY STORE RESIDENCE

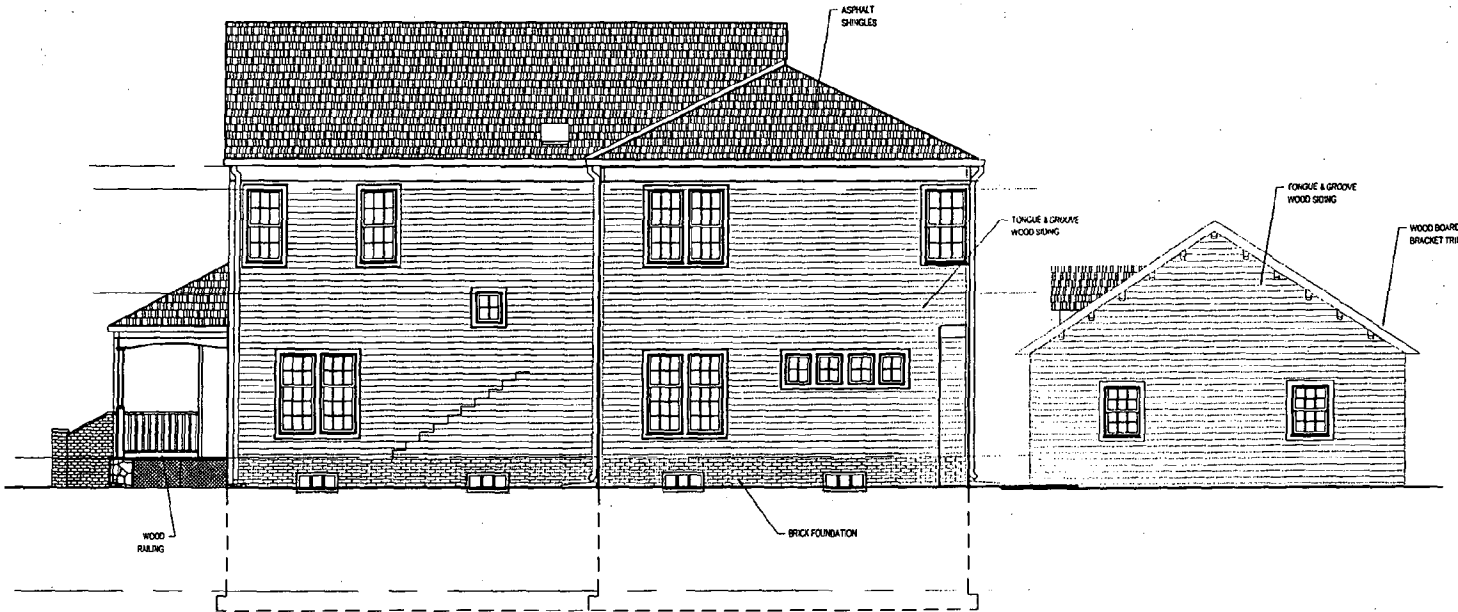
(ELEVATION TO BE SEEN FROM
 STORE + OLD GEORGETOWN RD)

PREVIOUS HAWP - 09-10-03

FRONT ELEVATION
 8/8/03
 148-4-44

22

P:\12188 - Beth Comm. House\3-CD\3X-ref\extelevation.dwg, 08/20/2003 11:57:12 AM, Carlos Madero, Lawson & Assoc. Architects, 1:1



4 ELEVATION - West

FRONT ELEVATION
5/5/03



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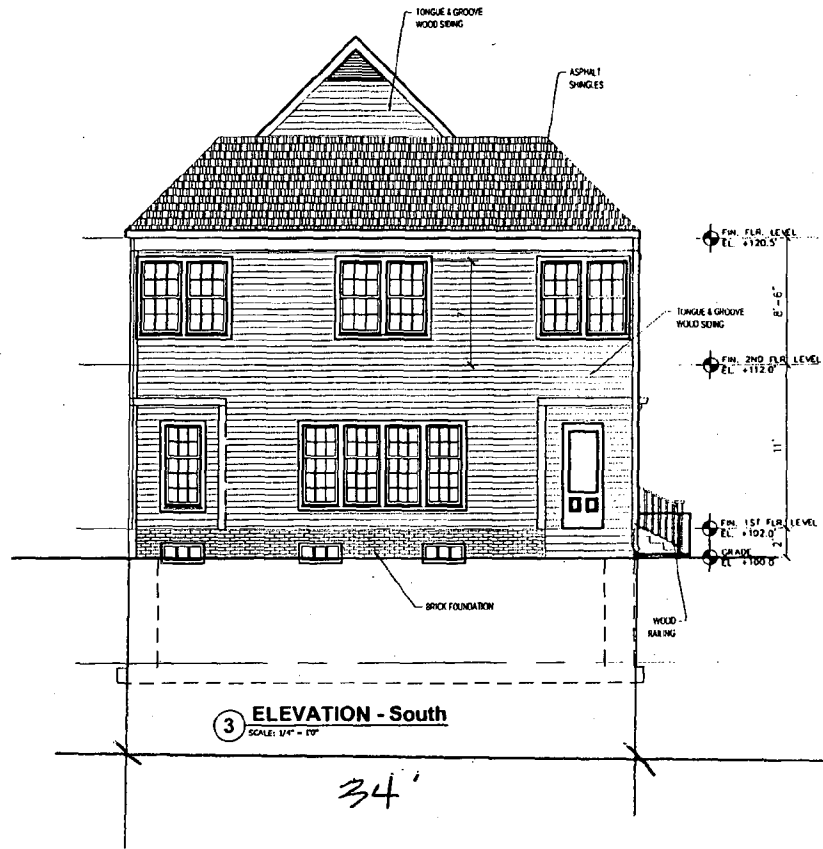
8520 Connecticut Avenue, Suite 240
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1301 654 1600 1301 654 1601

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BETHESDA COMMUNITY STORE RESIDENCE

PREVIOUS HAWP - 09-10-03

23

P:\3308 - Beth Comm. House\3-CD\3X-ref\3\extelevation.dwg, 08/20/2003 11:58:20 AM, Carlos Madro, Lawson & Assoc. Architects, 1:1



3 ELEVATION - South
SCALE: 1/4" = 1'-0"



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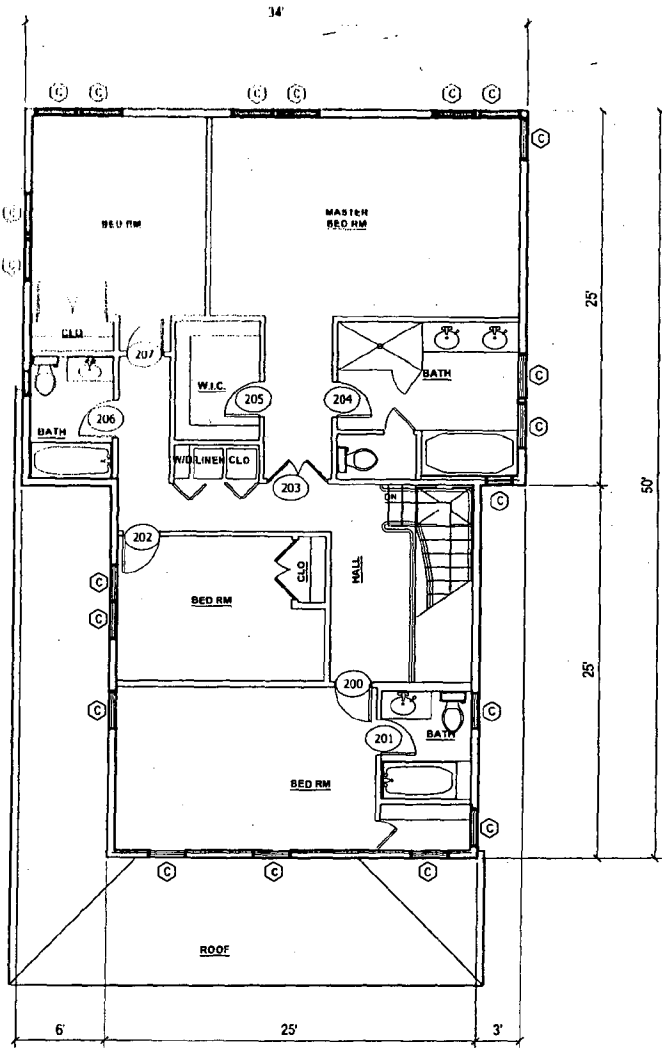
THE JAFFE GROUP
BETHESDA COMMUNITY STORE RESIDENCE

FRONT ELEVATION
5/5/03
1/8" = 1'-0"

PREVIOUS HAUP - 09-10-03

72

P:\12108 - Beth Comm. Home\3-CD\Plan Files\1308 4-2.dwg, 08/20/2003 12:33:12 PM, Carlos Madera, Lawson & Assoc. Architects, 1:



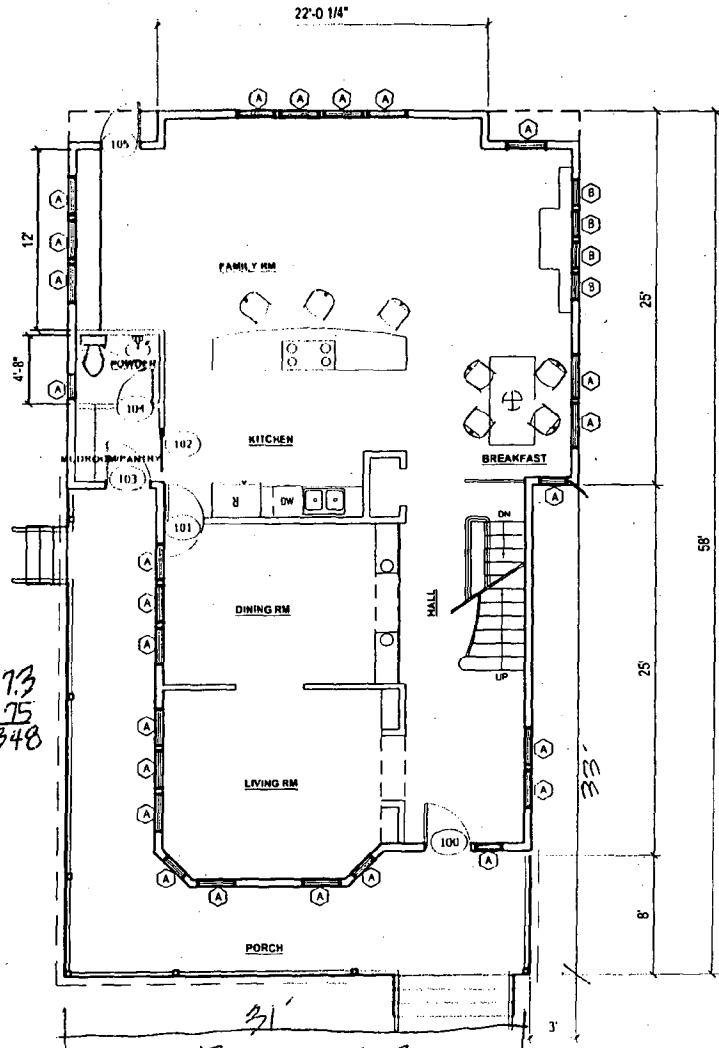
SECOND FLOOR

1475 SF



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FIRST FLOOR

1873 SF

AREAS:
1st FLOOR: 1,873
2nd FLOOR: 1,475
TOTAL: 3,348

THE JAFFE GROUP
BETHESDA COMMUNITY STORE RESIDENCE

PREVIOUS HAWP - 09-10-03

FLOOR PLANS
5/5/03
1/8" = 1'-0"

50

(210)

11-13-02

PRELIMINARY

1:20 Scale



GREENTREE ROAD

2100'

1150'

ULTIMATE 10' RW
EXISTING 50' RW

584°28'33"E
60'

EXISTING CONCRE

11536'

IRON PIPE FOUND IN DRIVEWAY
E RIGHT-OF-WAY

CONG. PORCH
1 STORY BRICK AND FRAME

FRAME ADDITION

130.95'

105°31'27"E

FRAME GARAGE

26
RACE
845

10' SETBACK FROM ADJOINING PROPERTY

25' SETBACK FROM STREET

PROPOSED DRIVEWAY

8' SETBACK FROM ADJOINING PROPERTY

DECK

20' REAR YARD SETBACK

ASPHALT PAVING

LOT :
14586

RESIDUE OF PARCEL 961

22,335 SQ.FT.
0.5121 ACRES

62'

10' WOODEN FENCE

582°34'42"N

160.8'

222.8

20.8'
SHED
18.7'

LOT 8

CELLAR WELL

CONG. PAD

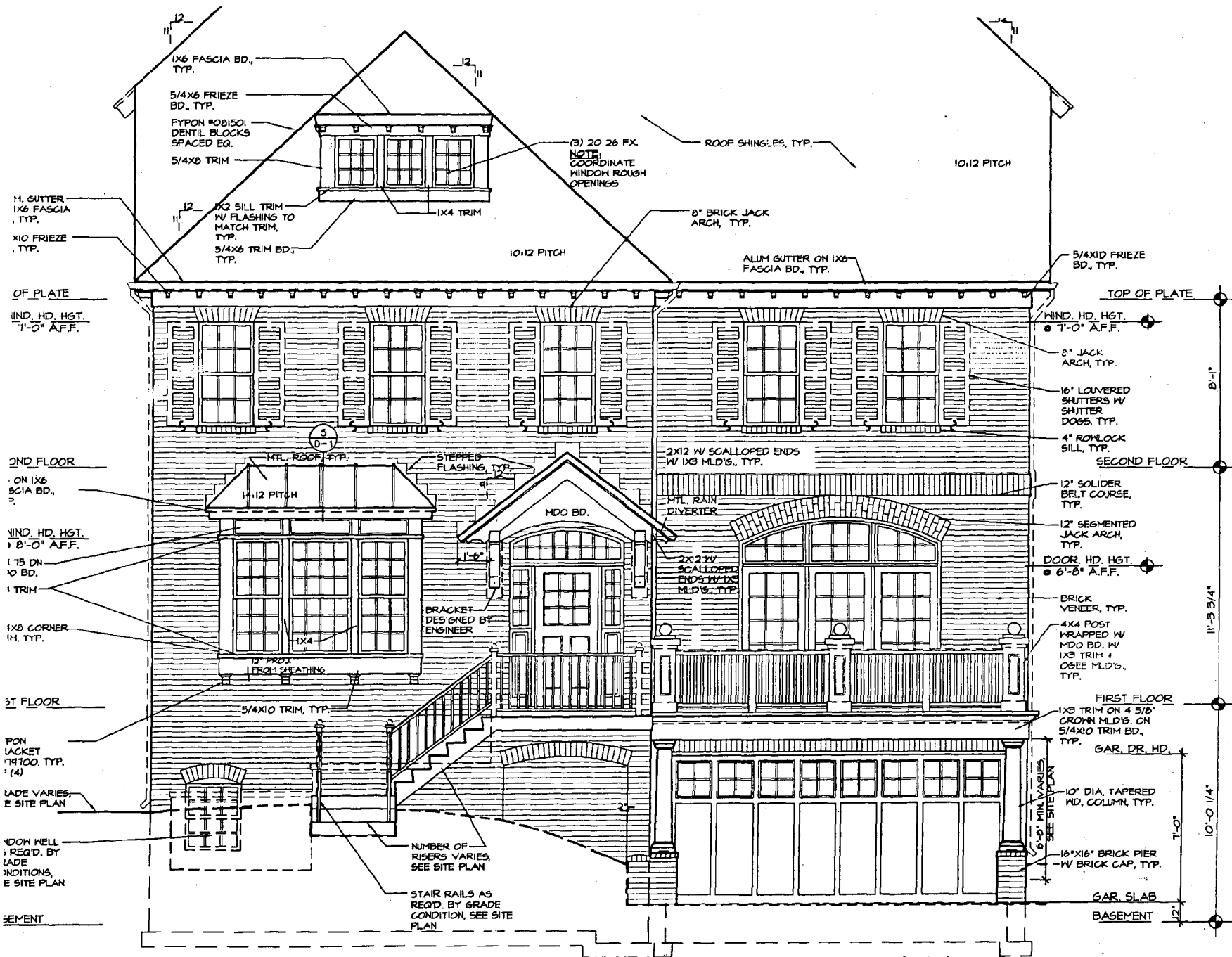
2 STORY BRICK WBSHT.

BRICK

120.6

362



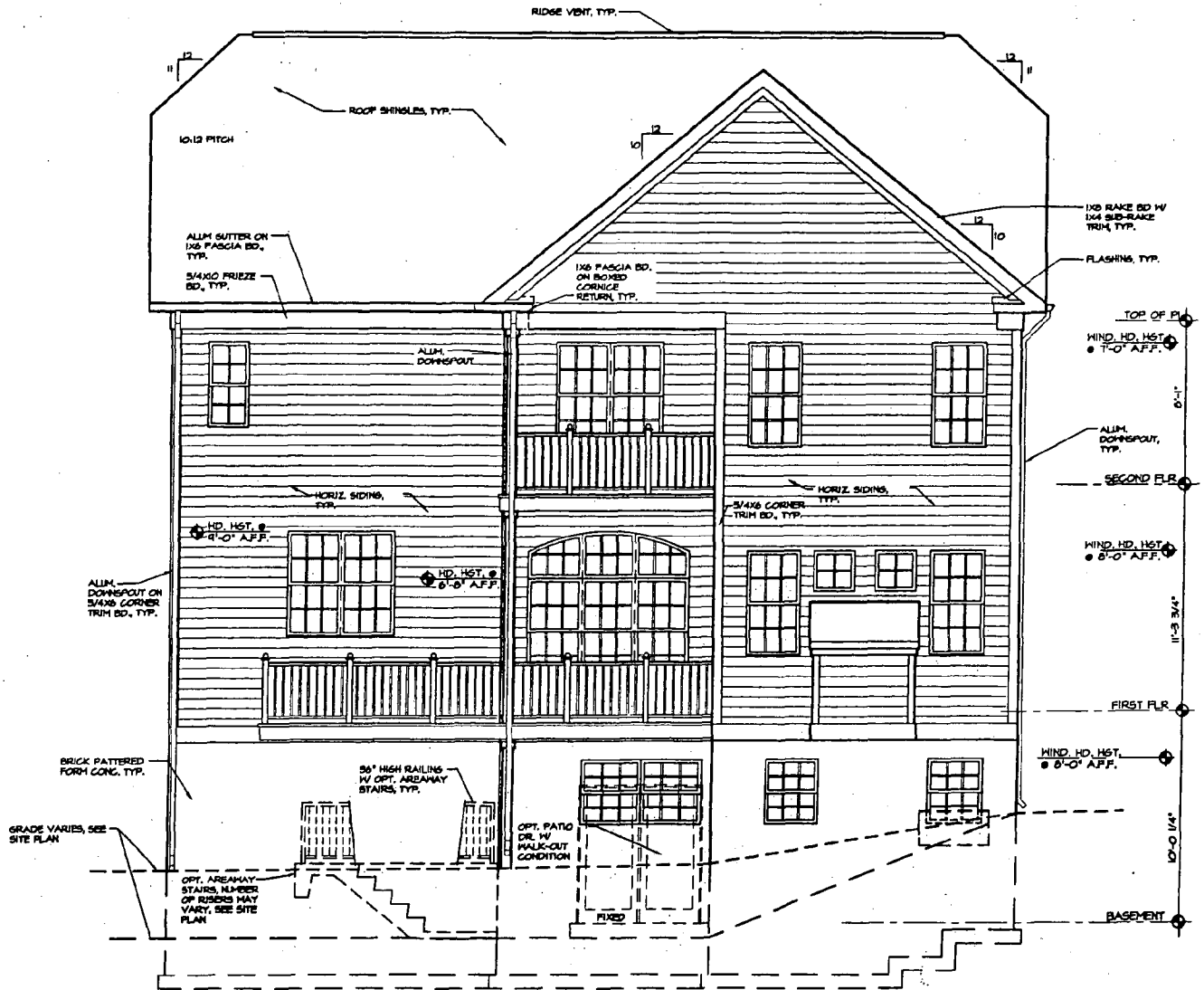


FRONT ELEVATION

1/4" = 1'-0" scale

PRELIMINARY 11-13-02

27

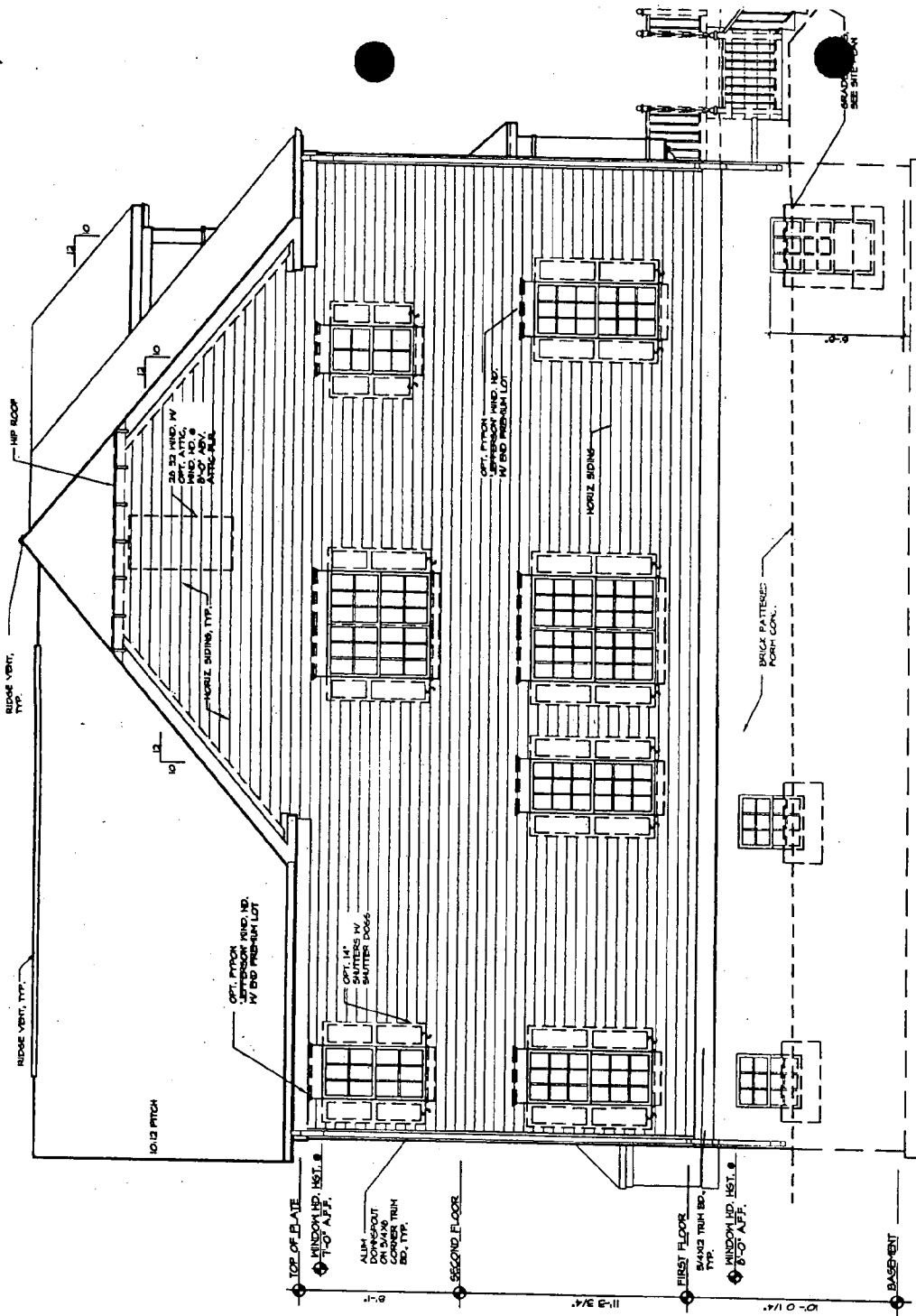


REAR ELEVATION

ELEVATION 'A' 3/16"=1'-0"

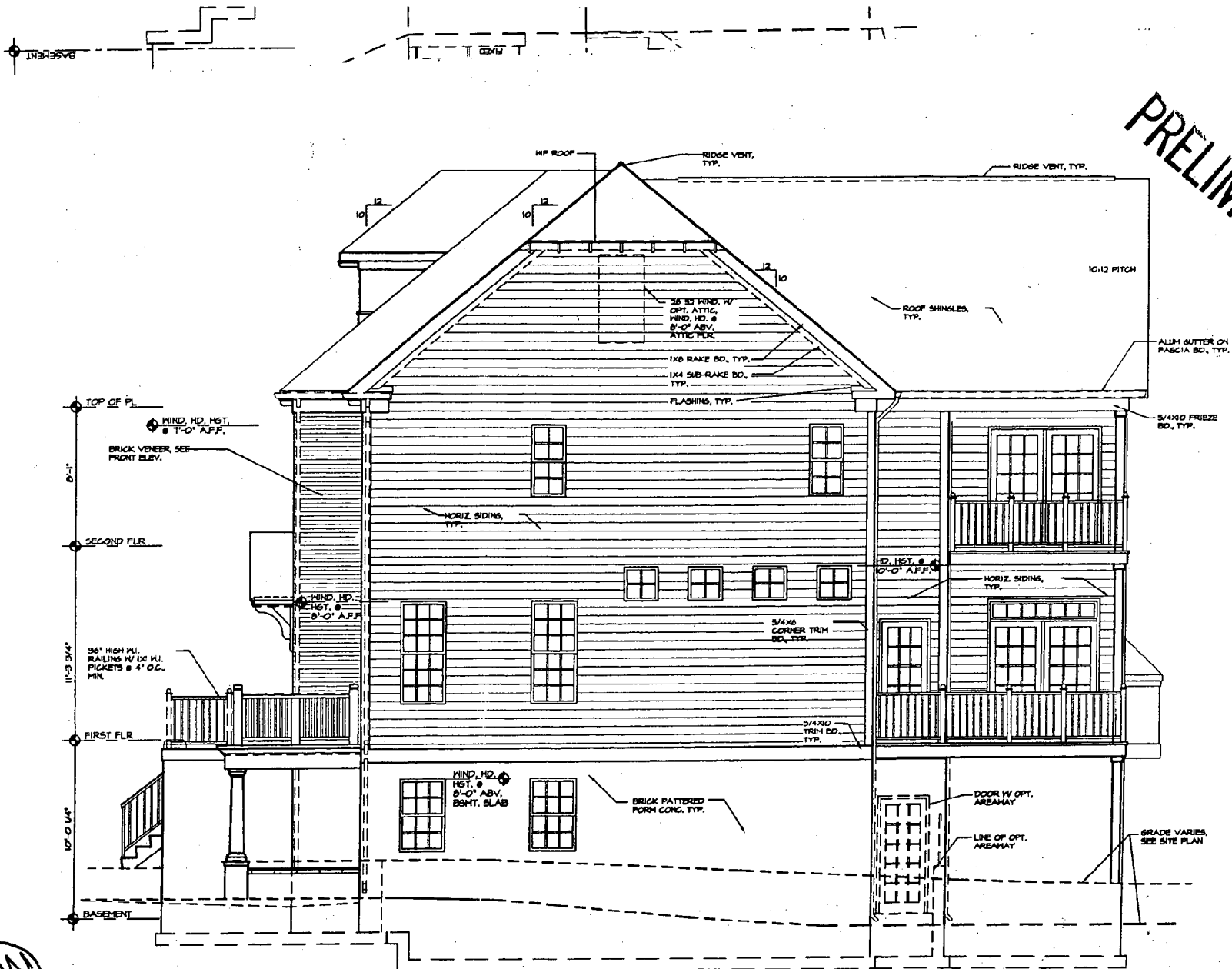
PRELIMINARY 11-13-02

88



LEFT SIDE ELEVATION
ELEVATION 'A' 5/16"=1'-0"

PRELIMINARY 11-13-02



PRELIMINARY

REASER / BRIEN ARCHITECTS PC

6 MONTGOMERY VILLAGE AVE. SUITE 300 301 948-8380

DESIGN-TECH

ILDERS • DEVELOPERS

1c Avenue Suite 301 Silver Spring, Maryland 20910-4450

RIGHT SIDE ELEVATION
ELEVATION 'A' 3/16"=1'-0"

PRELIMINARY 11-13-02

20

