

R 35/36-01D 4819 Dorset Avenue  
(Somerset Historic District)

PRELIMINARY CONSULTATION

#35/36-01D 4819 Dorset Avenue  
(Somerset HD)

Bardon Rubenstein

APP-25-02 04:07 PM ANCL

2025377503

P.02

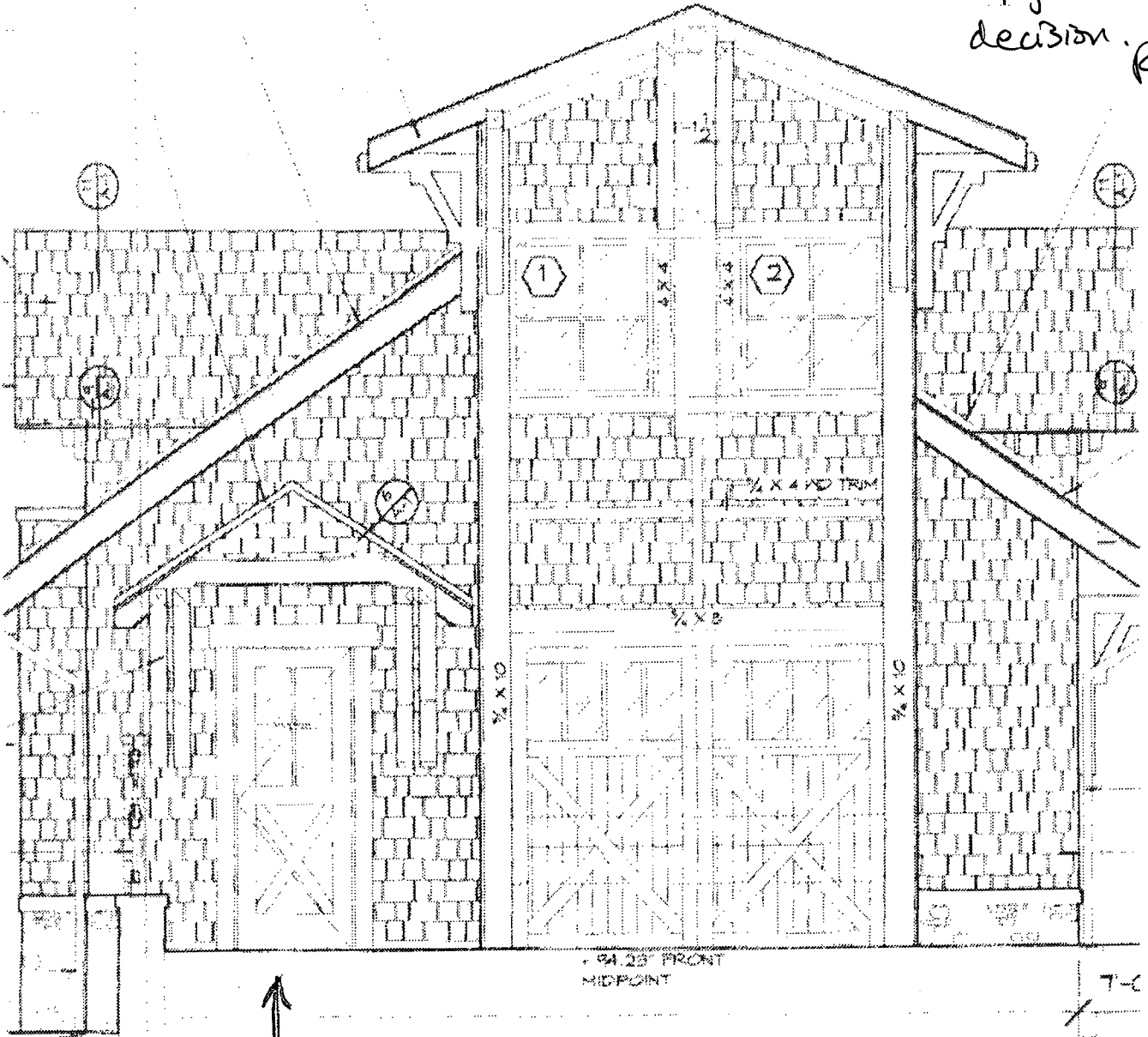
Somerset H.O.  
Cumberland Ave.

This dwg. revised to show 1 door with 1/2" door is 3'0" wide swing door

APPROVED  
Montgomery County  
Historic Preservation Commission

~~RDZ~~  
RDZ  
4/30/02

Revised drawing of single door + overhead door in keeping with HPC decision. RDZ.



Robins: this is the proposed door (actually with a 3x3 divided lights). It is proposed to be 3'x8' instead of the original 3'10"x8'. Also, to right is proposed overhead door (same size, design slightly altered) - Bardon Rubenstein

FROM : LAURENCE COFFRITZ BUILDERS

PHONE NO. : 301 657 5514

Rev. 29 2002 05:02PM PJ

#15 BLDG. PAPER

NO BRACKET  
SEE 2/A-1

1/2" EXT. PLYWOOD  
SHEATHING

30# BLDG. PAPER

NO. SHINGLES TO MATCH  
EXIST. # HOUSE

TOP OF WALL  
ELEV. 45.0'

FIN. FL. ELEV.  
EL. 44.25'

FIN. GRADE

2'-6" MIN.  
BELOW GRADE

2 X 8 @ 16" O.C.

R-19 BATT. INSULATION

1/2" GYP BD

SILL SEAL

VSG 200B CASING BEAD

CONC. TOPPING W/ RADIANT HEATING

5" CONC. SLAB

WAF

GRAVEL BASE

5" CONC. SLAB

VAPOR BARRIER

2" THICK RIGID  
INSULATION

STONE BACK FILL

*Robin: The proposed change would use a 1 1/2"-2" flagstone instead of the fieldstone specified here. This wall does not face Dorset Ave.*  
*- Brent Ruben*

# 1 WALL SECTION

3/4" = 1'-0"

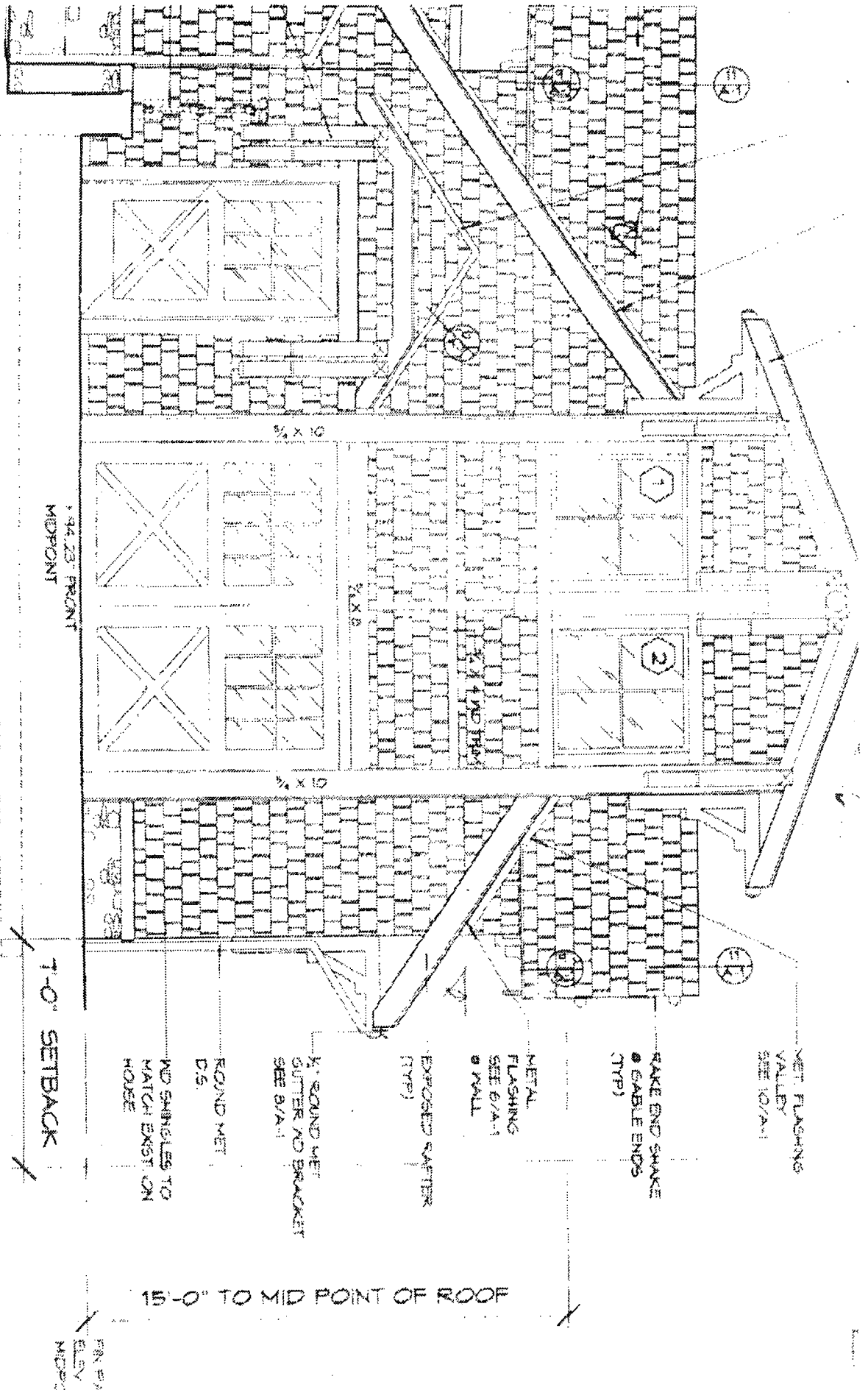
\* Page A-7

To: Robin Zeck From: Barton Rubenstein (3 pages)

APR-25-02 04:09 PM ANCL 2023877597 P.03

# 2 S. STUDIO EXTERIOR ELEV.

1/4" = 1'-0"



Robin: This is the originally submitted design, faxed to you so that you can compare with other submitted. *Correct*

\*This elevation faces Sweet Alley, but is excluded by the historic garage. *Bar-Rubenstein*

*Done as approved by*

*Signature of a HPL*

(2)

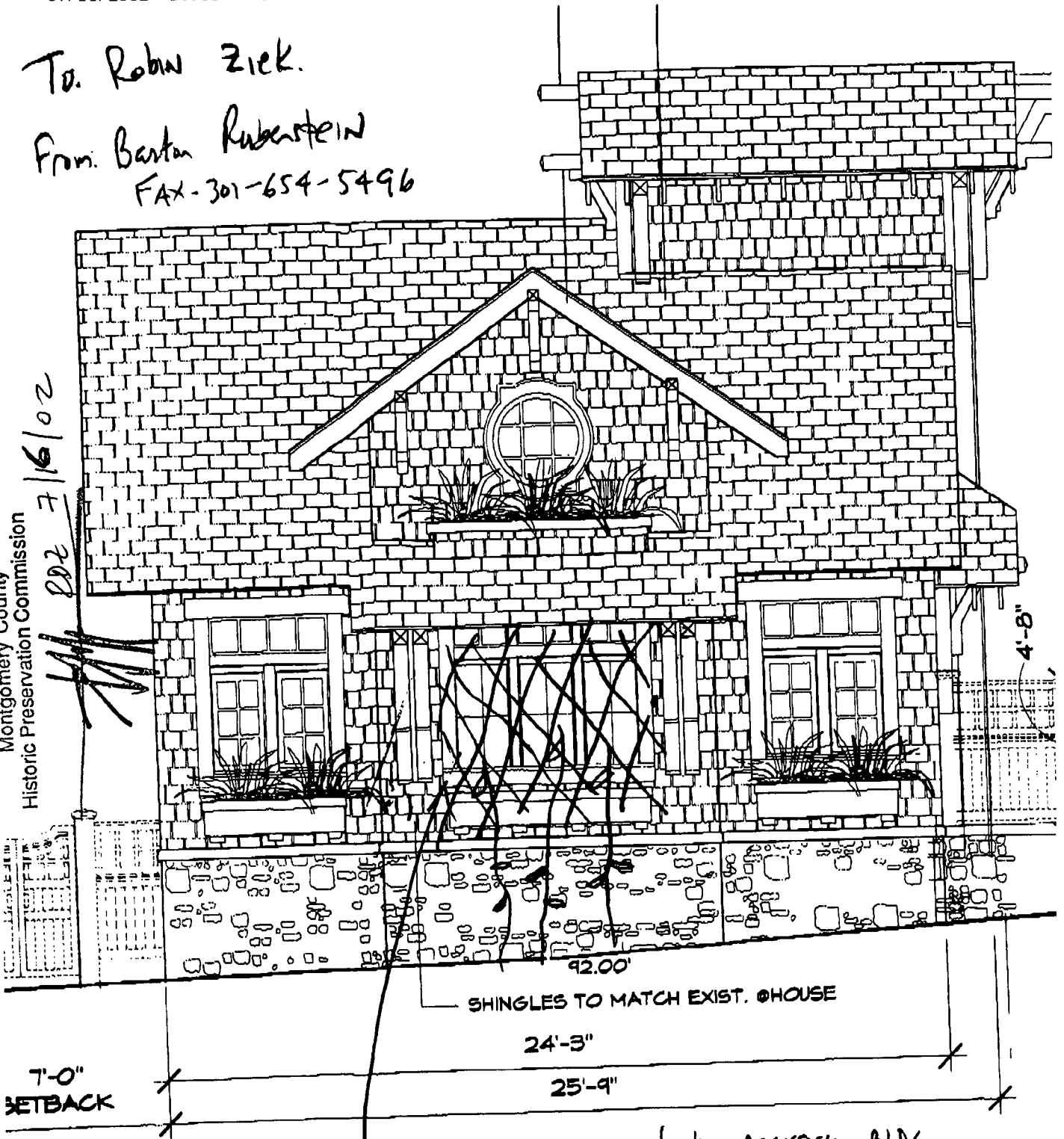
To. Robin Ziek.

From. Barton Rubenstein

FAX-301-654-5496

APPROVED  
Montgomery County  
Historic Preservation Commission

DD2 7/16/02



SHINGLES TO MATCH EXIST. HOUSE

24'-3"

25'-9"

7'-0"  
SETBACK

Robin, this side of the Accessory Bldg  
 Does not face Dorset Ave, it faces the side yard, I am wondering  
 if it is ok to remove the window and let plants grow here, eg wisteria.  
 Hope all is well,  
 Barton Rubenstein

### 3 W. ACCESSORY BLDG. EXT. ELEV.

1/4" = 1'-0"

tel. 301-654-5406  
 FAX 301-654-5496

4819 DORSET AVE. SOMERSET

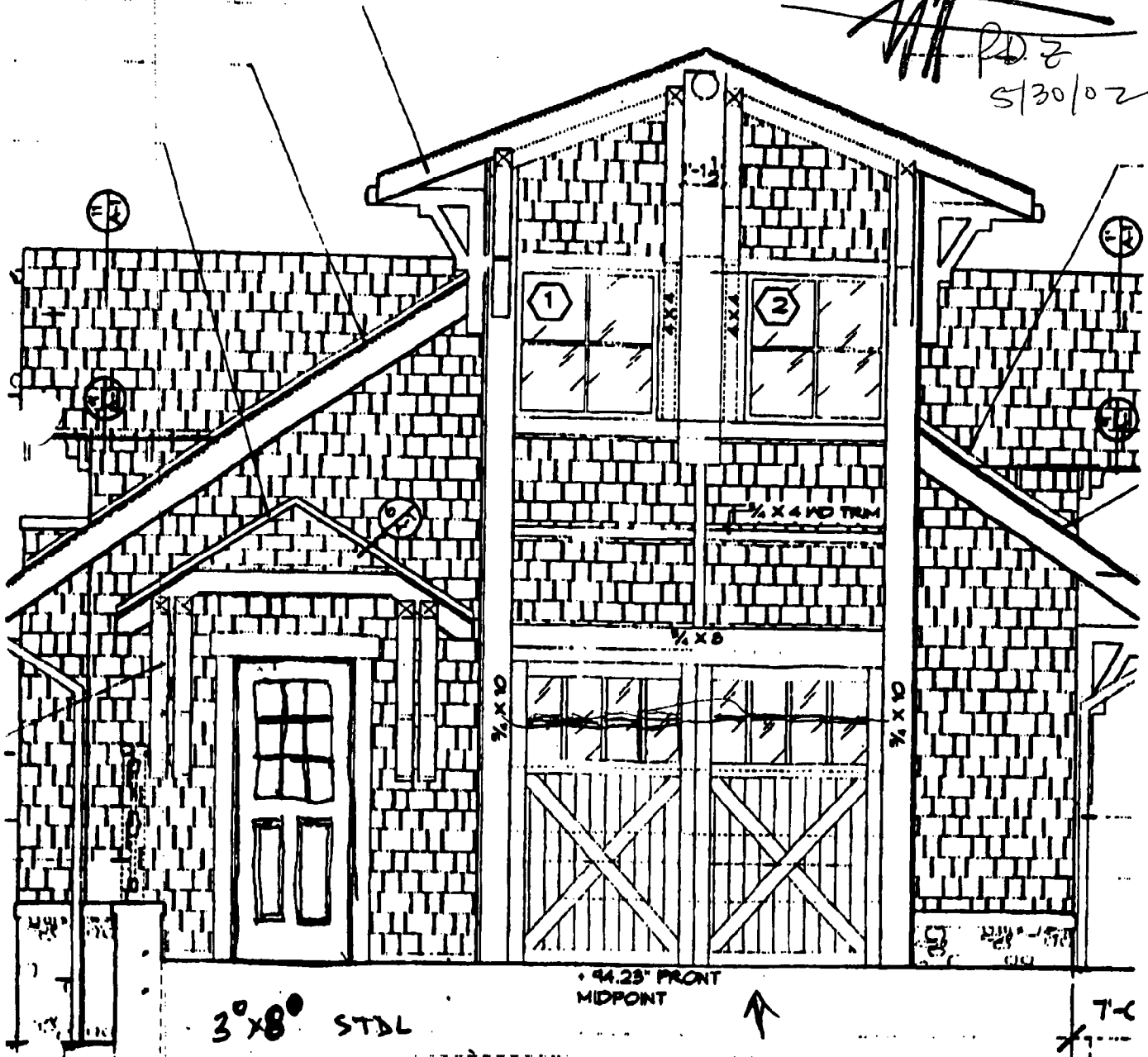
To: Robin Beck  
Fax: 301-563-3412

From Barton Rubenstein  
4819 Dorset Ave. (C, MD)  
301-654-5406

This drawing revised to  
show new cattle g.H.  
door in stall with swing  
door

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*  
5/30/02



- South side of studio  
facing Dorset Ave.  
(occluded by historic garage)

APPROVES STYLE DATE  
ON DOOR 4-26-02  
LC (1)

# RUBENSTEIN RESIDENCE

New Accessory Building  
 4819 Dorset Avenue, Somerset Heights  
 Montgomery County, Maryland

## SITE NOTES

1. PROTECT ALL ADJOINING PROPERTIES DURING CONSTRUCTION. RESTORE ALL DAMAGED AREAS TO ORIGINAL CONDITION.
2. PROTECT ALL TREES & SHRUBBERY. REPLACE ANY DAMAGED BY CONSTRUCTION.
3. SEED LAWN AREAS DAMAGED BY CONSTRUCTION.

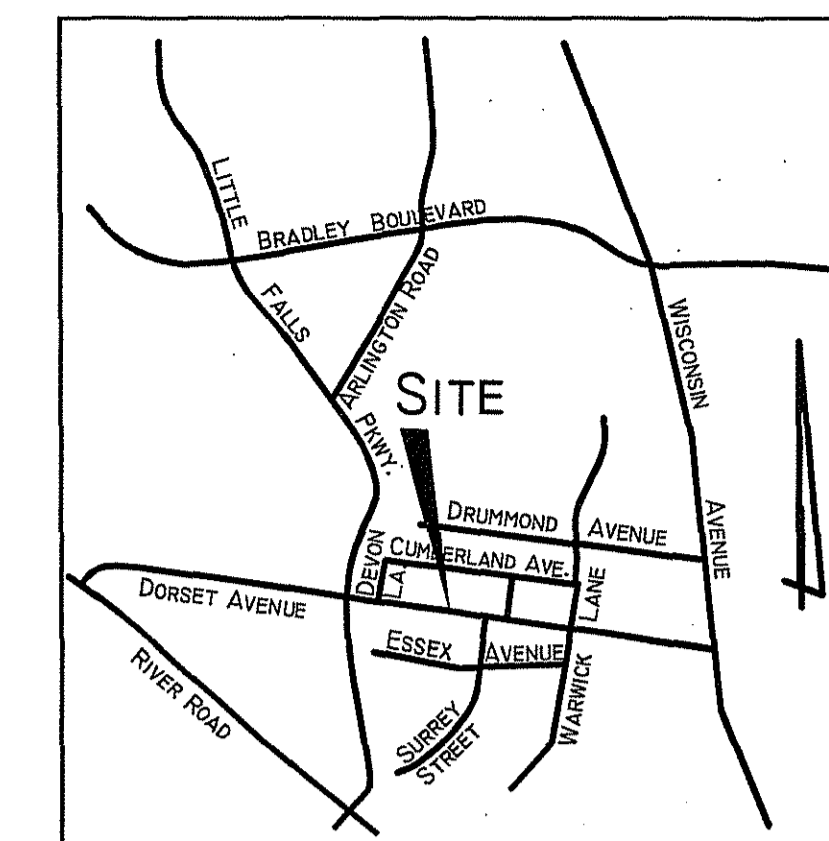
## SITE INFORMATION

1. LOCATION: 4819 DORSET AVENUE  
 TOWN OF SOMERSET  
 MONTGOMERY COUNTY, M.D.

SOMERSET HEIGHTS.

LOT: 18  
 BLOCK: 2  
 P.B.L. P.No. 30  
 ZONE: R-60

2. EXISTING SITE INFORMATION  
 TAKEN FROM SURVEY  
 PREPARED BY R.C. KELLY & ASSOCIATES, Inc.  
 DATED MARCH, 2001.

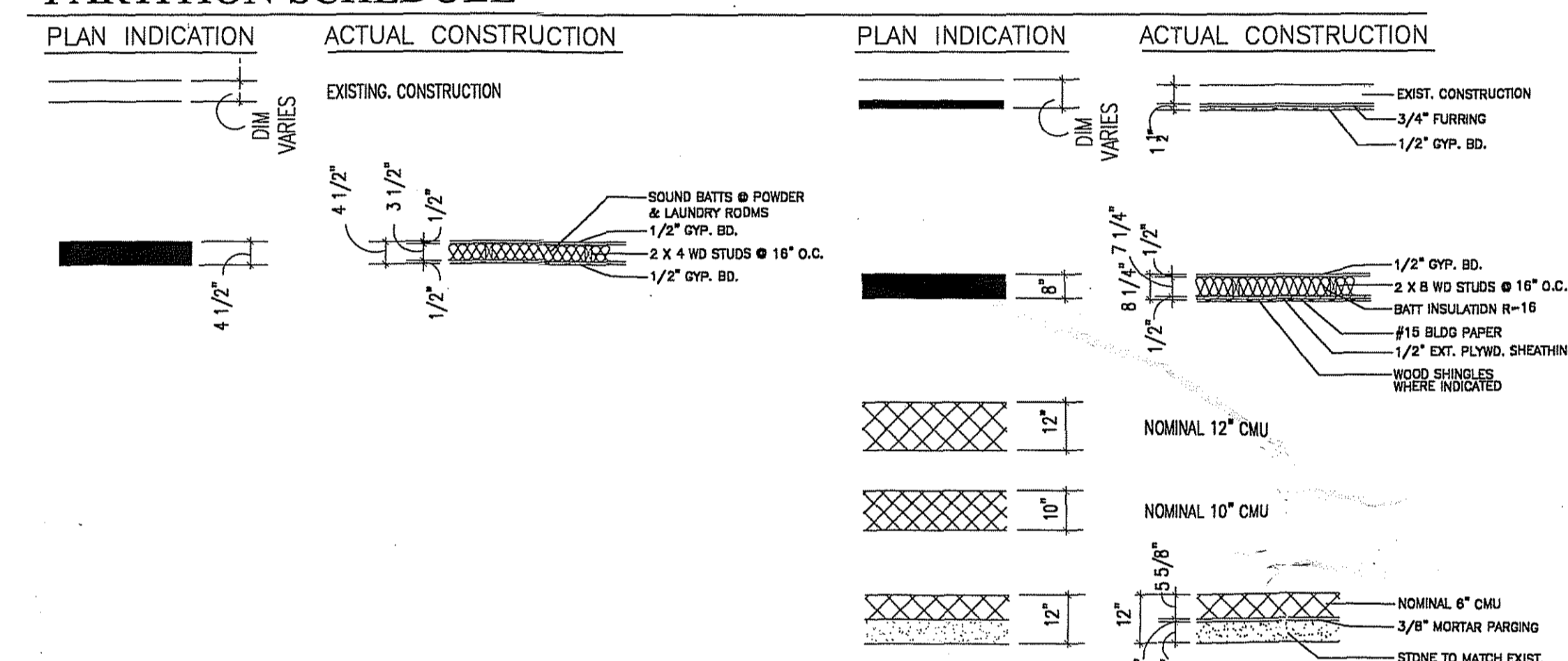


1 SITE LOCATION

N.T.S.

	PERMITTED/REQ'D	EXIST.
LOT SIZE:	6,000 SF	19,712.5 SF
%LOT COVERAGE	(35%) 6,900 SF	(17%) 3,316 SF
EXIST. BUILDINGS AREA		
EXIST. ADDITION TO BE REMOVED	(250 SF)	
NEW ACCESSORY BLDG. AREA	674 SF	
TOTAL NEW + EXIST. AREA	(19%) 3,740 SF	

## PARTITION SCHEDULE



## GENERAL NOTES

1. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, STATUTES, ORDINANCES, REGULATIONS & LAWS INCLUDING BUT NOT LIMITED TO THE STATE OF MARYLAND, MONTGOMERY COUNTY AND TOWN OF SOMERSET.
2. G.C. TO FIELD VERIFY ALL DIMENSIONS & CONDITIONS. NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
3. G.C. TO COORDINATE ALL TRADES TO AVOID CONFLICTS.
4. ALL MECHANICAL ENGINEERING FOR HOUSE REMODELING TO BE PROVIDED AS REQUIRED BY CONTRACTOR.

## CODE INFORMATION

USE GROUP: R-60  
 APPLICABLE CODES: 1995 CABO

THIS PERMIT DOES NOT INCLUDE APPROVAL FOR ANY ELECTRICAL WORK. YOU MUST HAVE A SEPARATE ELECTRICAL PERMIT TO DO ANY ELECTRICAL WORK.

## SYMBOLS

	CONCRETE		ROOM DESIGNATION
	GRAVEL		DOOR DESIGNATION
	EARTH		WINDOW DESIGNATION
	CMU		SPOT ELEVATION
	BRICK		DIRECTION OF CUT
	BATT INSULATION		3 DETAIL NUMBER A-2 SHEET ON WHICH DETAIL IS FOUND
	RIGID INSULATION		3 DETAIL NUMBER A-4 SHEET ON WHICH DETAIL IS FOUND
	DIMENSION LUMBER		
	WOOD BLOCKING		
	FINISHED WOOD		

CHANGES OR MODIFICATIONS TO THESE PLANS MAY REQUIRE RESUBMITTAL WITH ADDITIONAL PERMIT FEES. NO CHANGES CAN BE MADE TO THE APPROVED DRAWINGS.

MONTGOMERY COUNTY  
 Department of Permitting Services  
 Approved *Stan Thomas*  
 Date 8-28-01

## DRAWING LIST

T-1	TITLE SHEET		
SP-1	ARCHITECTURAL SITE PLAN		
ARCHITECTURAL		STRUCTURAL	
A-1	FLOOR PLAN	A-4	BUILDING SECTIONS
A-2	EXTERIOR ELEVATIONS	A-5	SCHEDULES
A-3	EXTERIOR ELEVATIONS	S-1	STRUCTURAL PLANS

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*  
 9/12/01

Architect:

The Office of Alexia N.C. Levite  
 3299 K Street, N.W., Suite 600  
 Washington, D.C. 20007  
 (202) 337-3987

Structural Engineer:

James M. Gross, P.E.  
 26 Putnam Court  
 Harpers Ferry, WV 25425  
 (304) 535-1920

ALP #  
 255903

Return To:

Laura King  
 DPS

THE OFFICE OF  
 ALEXIA N. C. LEVITE  
 ARCHITECT

3299 K STREET, N.W., SUITE 600  
 WASHINGTON, D.C. 20007  
 (202) 337-3987

PROJECT

THE RUBENSTEIN RESIDENCE  
 NEW ACCESSORY BUILDING  
 4819 DORSET AVENUE,  
 SOMERSET HEIGHTS, MD.

OWNER

MR. & MS. RUBENSTEIN  
 4003 UNDERWOOD STREET  
 CHEVY CHASE, MD 20815.

ISSUE PURPOSE ©

PROGRESS/ PERMIT	8/10/01

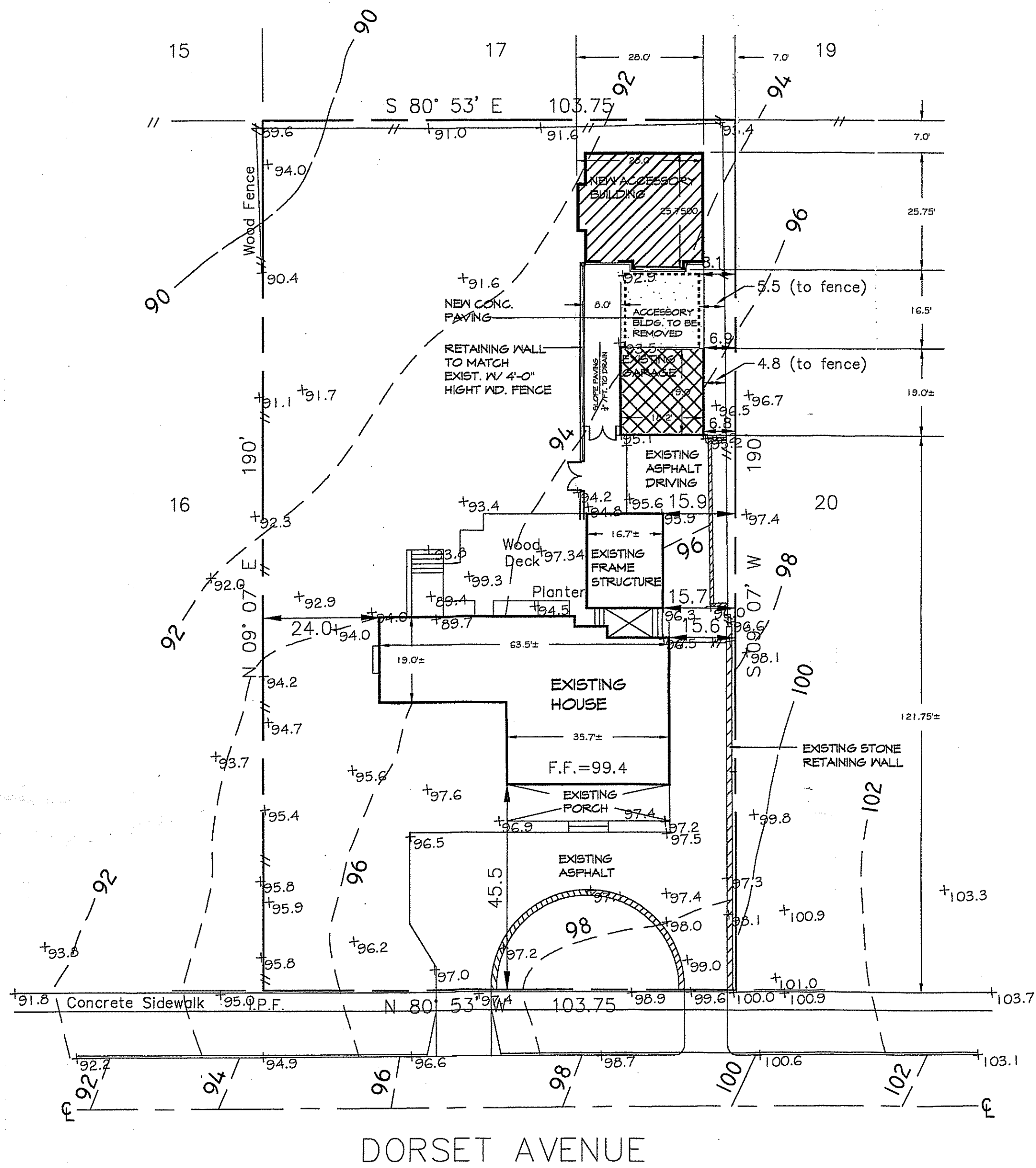
PROJECT NO. 2045

DRAWN HP	CHECKED

SHEET NAME	SHEET NUMBER
TITLE SHEET	T-1

THE OFFICE OF  
ALEXIA N. C. LEVITE  
ARCHITECT

3299 K STREET, N.W., SUITE 600  
WASHINGTON, D.C. 20007  
(202) 337-3987



**SYMBOLS**

- EXIST. BLDG.
- NEW ACCESSORY BLDG.
- EXIST. GARAGE TO BE REMODELED

MONTGOMERY COUNTY  
DEPARTMENT OF PERMITTING SERVICES  
APPROVED *[Signature]* DATE 8-10-2011  
ZONING CLASS A-60 PAGE 20/20  
BOARD OF APPEALS CASE *ACCESSORY STRUCTURE*

**1 ARCHITECTURAL SITE PLAN**  
1" = 20'-0"

**PROJECT**

RUBENSTEIN RESIDENCE  
NEW ACCESSORY BUILDING  
4819 DORSET AVENUE  
SOMERSET HEIGHTS, MD

**OWNER**

BARTON & SHEREEN  
RUBENSTEIN  
4003 UNDERWOOD STREET  
CHEVY CHASE, MD 20815.

ISSUE PURPOSE ©	
PERMIT/PROGRESS	8/10/01

PROJECT NO. 9845	
DRAWN HP	CHECKED -
SHEET NAME	SHEET NUMBER
ARCHITECTURAL SITE PLAN	SP-1

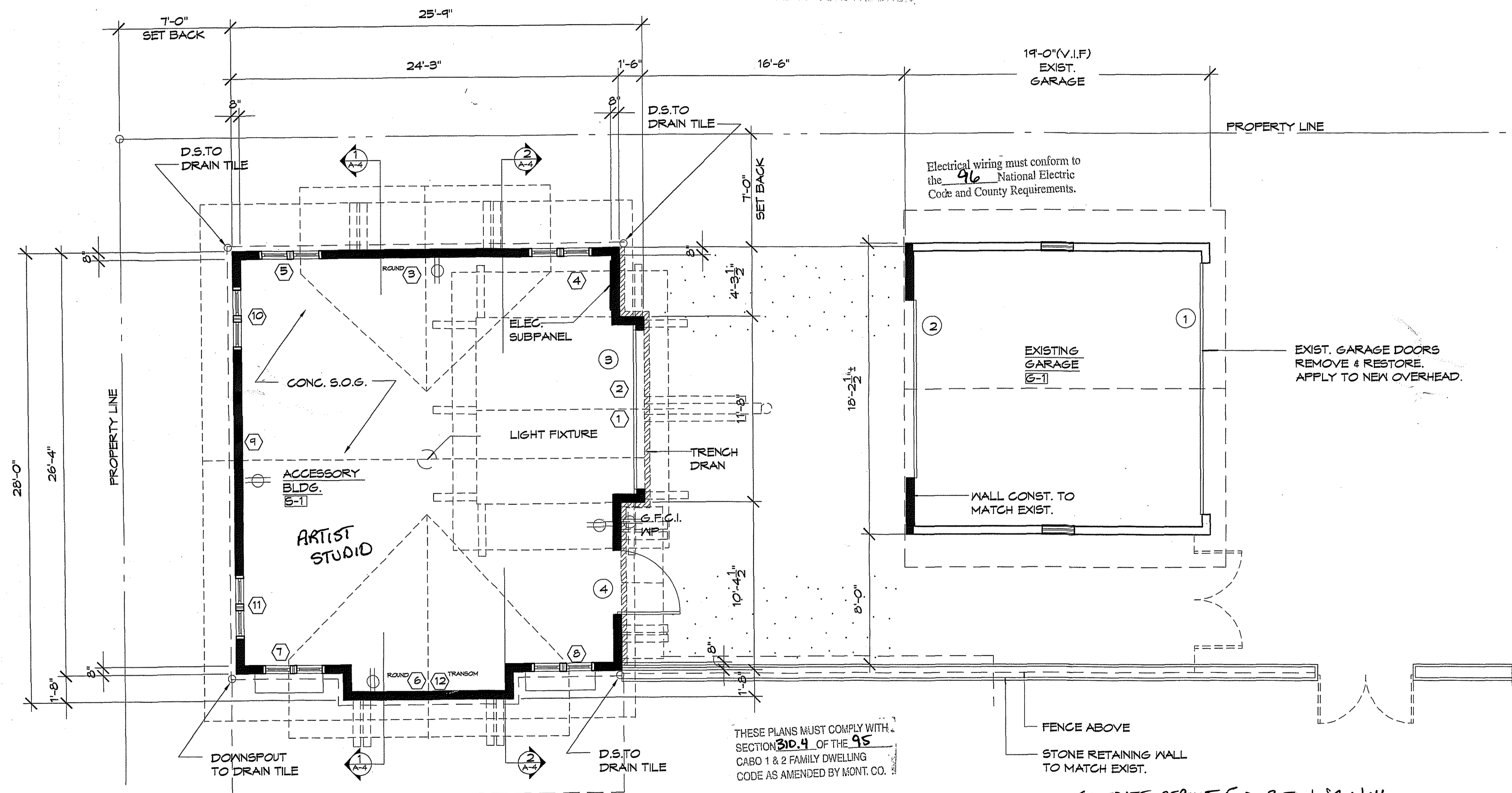
APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
9/12/01



### GENERAL NOTES

1. THE ELECTRICAL PLANS ARE DIAGRAMMATIC ONLY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ELECTRICAL ENGINEERING & CORRECTLY PHASING THE CIRCUITS IN THE PANEL. ON COMPLETION OF BLD'G, CONTR. SHALL BALANCE PANEL LOAD UNDER NORMAL OPERATING CONDITIONS.
3. CONTR. SHALL VERIFY ALL DOOR SWINGS BEFORE INSTALLING LIGHT SWITCHES.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES.
5. No Heat/AC

GENERAL STRUCTURAL ARRANGEMENT APPROVED SUBJECT TO FURTHER APPROVAL OF CONSTRUCTION



THESE PLANS MUST COMPLY WITH SECTION 308.4 OF THE 95 CABO 1 & 2 FAMILY DWELLING CODE AS AMENDED BY MONT. CO.

THESE PLANS MUST COMPLY WITH SECTION 308.4 OF THE 95 CABO 1 & 2 FAMILY DWELLING CODE AS AMENDED BY MONT. CO.

THESE PLANS MUST COMPLY WITH SECTION 322.1 OF THE 95 CABO 1 & 2 FAMILY DWELLING CODE AS AMENDED BY MONT. CO.

FENCE ABOVE  
STONE RETAINING WALL TO MATCH EXIST.

SEPERATE PERMIT FOR RETAINING WALL PER ARCHITECT

**1 FLOOR PLAN**  
1/4" = 1'-0"

PROJECT  
THE RUBENSTEIN RESIDENCE  
NEW ACCESSORY BUILDING  
4819 DORSET AVENUE  
SOMERSET HEIGHTS, MD.

OWNER  
MR. & MS. RUBENSTEIN  
4083 UNDERWOOD ST.  
CHEVY CHASE, MD 20815

ISSUE PURPOSE ©	
PROGRESS/ PERMIT	8/10/01

PROJECT NO. 2045	
DRAWN HP	CHECKED
SHEET NAME	SHEET NUMBER

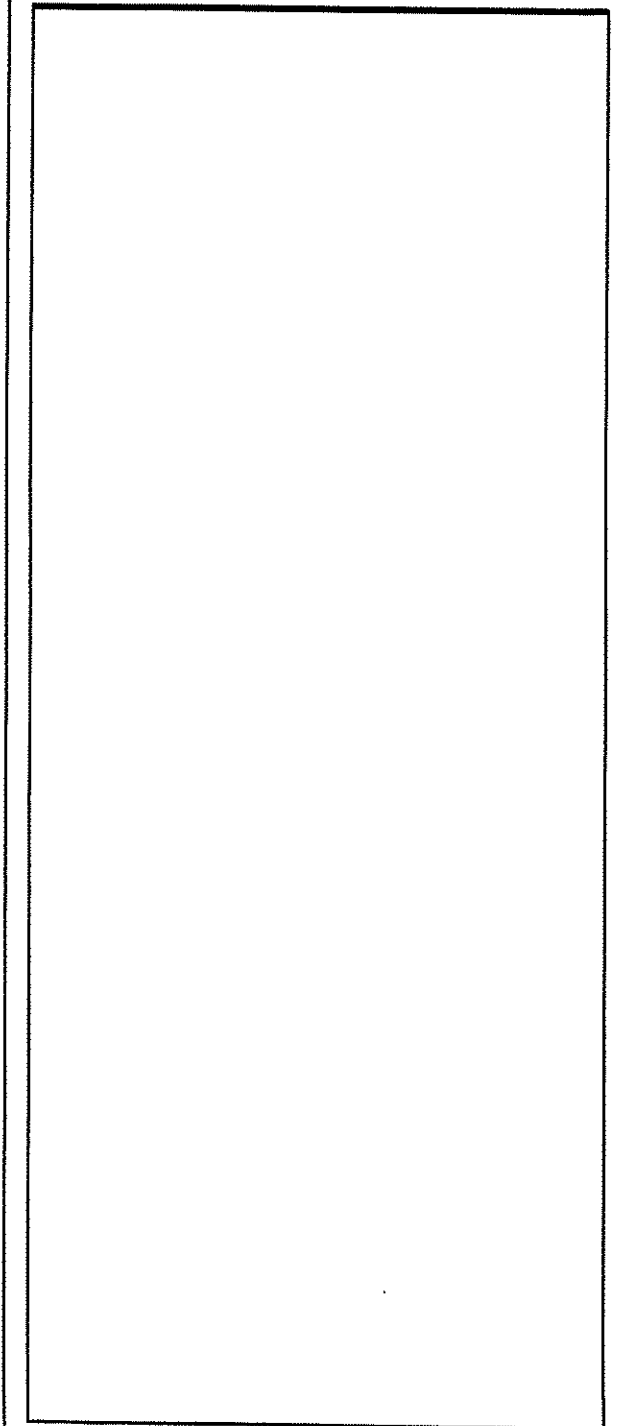
FLOOR PLAN  
**A-1**

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
9/2/01



THE OFFICE OF  
ALEXIA N. C. LEVITE  
ARCHITECT

3299 K STREET, N.W., SUITE 600  
WASHINGTON, D.C. 20007  
(202) 337-3087



PROJECT

RUBENSTEIN RESIDENCE  
NEW ACCESSORY BUILDING  
4819 DORSET AVENUE  
SOMERSET HEIGHTS, MD

OWNER

BARTON & SHEREEN  
RUBENSTEIN  
4003 UNDERWOOD STREET  
CHEVY CHASE, MD 20815

ISSUE PURPOSE ©

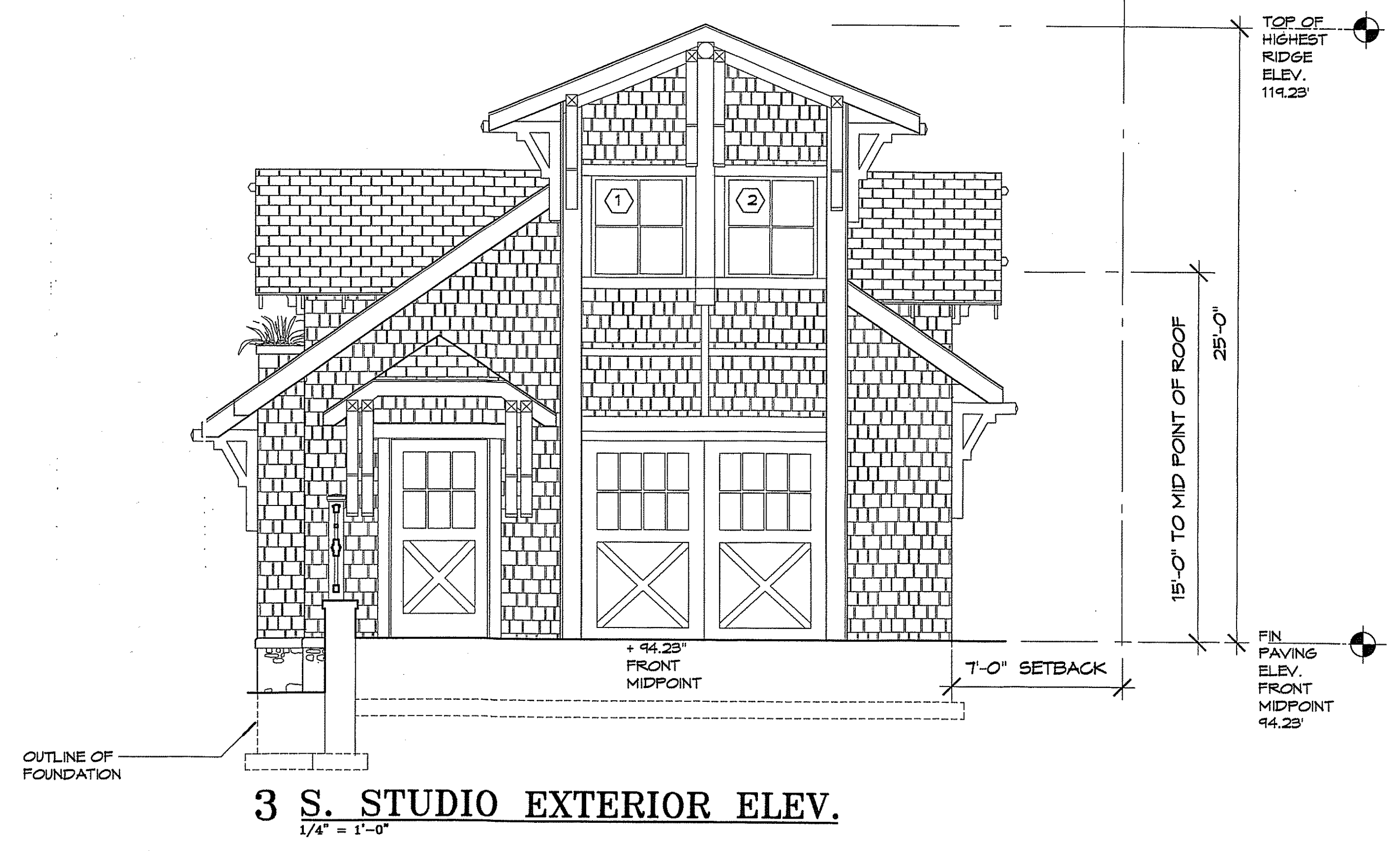
PROGRESS/ PERMIT	8/10/01

PROJECT NO. 9945

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SHEET NAME	SHEET NUMBER

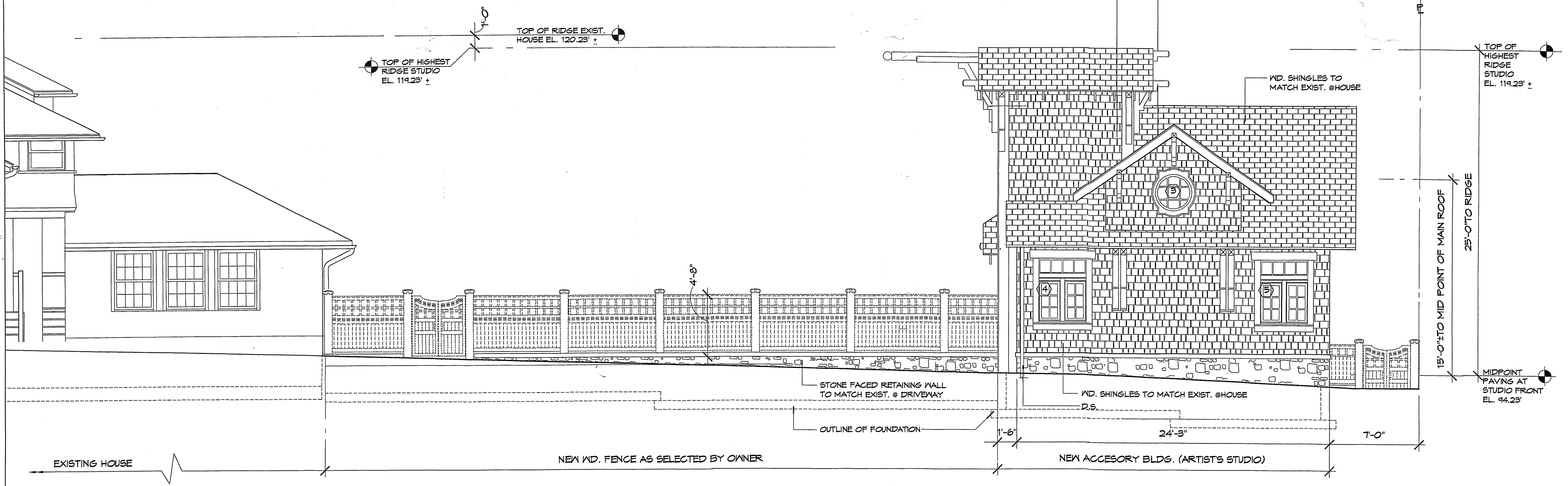
EXTERIOR  
ELEVATIONS

**A-3**



**3 S. STUDIO EXTERIOR ELEV.**  
1/4" = 1'-0"

GENERAL STRUCTURAL  
ARRANGEMENT APPROVED  
SUBJECT TO FURTHER  
APPROVAL OF CONSTRUCTION



**1 E. STUDIO EXTERIOR ELEV.**  
1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*  
9/12/01

THE OFFICE OF  
ALEXIA N. C. LEVITE  
ARCHITECT

3299 K STREET, N.W., SUITE 600  
WASHINGTON, D.C. 20007  
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PROJECT

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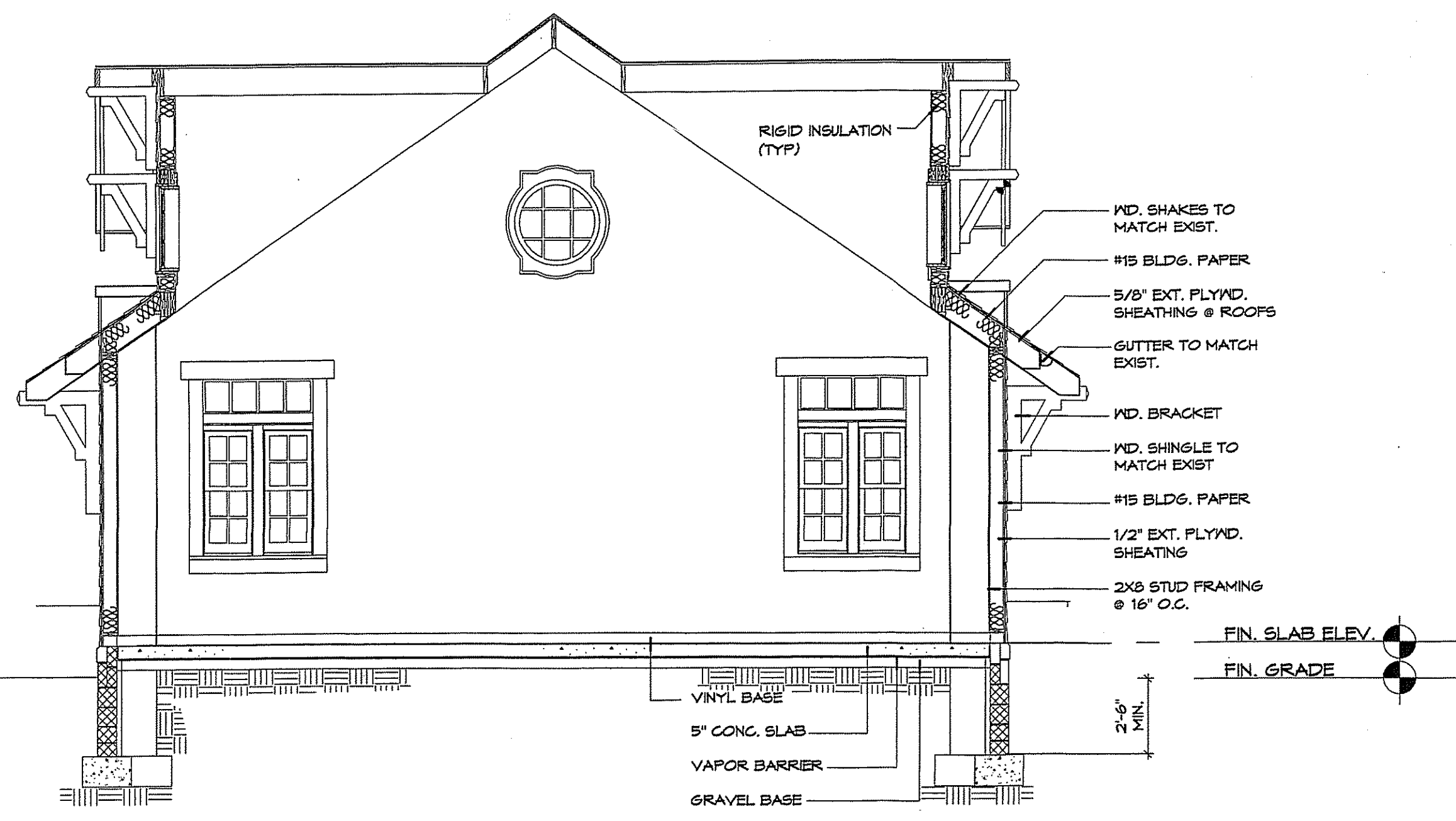
ISSUE PURPOSE ©

PROGRESS/ PERMIT	8/10/01

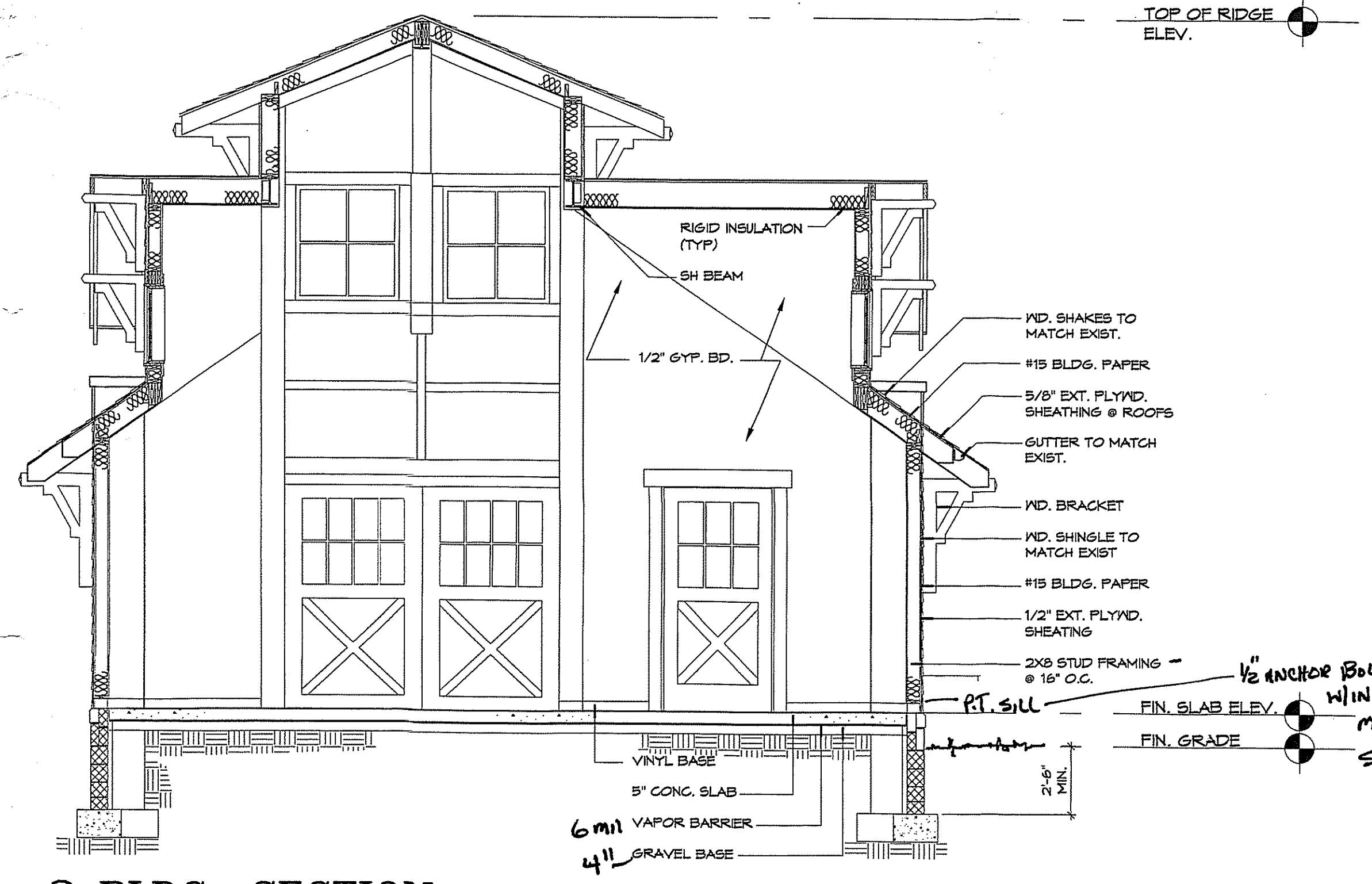
PROJECT NO. 2045

DRAWN HP	CHECKED
SHEET NAME	SHEET NUMBER
BUILDING SECTIONS	A-4

GENERAL STRUCTURAL  
ARRANGEMENT APPROVED  
SUBJECT TO FURTHER  
APPROVAL OF CONSTRUCTION



**1 BLDG. SECTION**  
1/4" = 1'-0"



**2 BLDG. SECTION**  
1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*  
DDZ  
9/12/01



# STRUCTURAL NOTES

## 1. GENERAL

### A. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:

ROOF	30 PSF
LIVING AREAS	40 PSF
EXTERIOR DECK	60 PSF

A MINIMUM OF 10 PSF DEAD LOAD WAS ADDED IN THE DESIGN.

B. ANY EQUIPMENT NOT SHOWN ON STRUCTURAL DRAWINGS AND HAVING A WEIGHT IN EXCESS OF 400 POUNDS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

C. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS & ROOF ACTING TOGETHER. CONTRACTOR TO PROVIDE ALL GUYS, BRACES, STRUTS, ETC. AS REQUIRED TO ACCOMMODATE ALL LIVE, DEAD AND WIND LOADS UNTIL ALL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE.

## 2. DEMOLITION

A. PROVIDE ADEQUATE SHORING, BRACING AND OTHER TEMPORARY SUPPORT DURING DEMOLITION. IF NECESSARY, RETAIN THE SERVICES OF A QUALIFIED PROFESSIONAL ENGINEER TO DESIGN AND MONITOR THE TEMPORARY SUPPORT.

B. UNTIL PROPERLY SHORED, DO NOT CUT EXISTING STRUCTURAL MEMBER IN A MANNER RESULTING IN A REDUCTION OF LOAD-CARRYING CAPACITY. DO NOT EXCEED THE CAPACITY OF THE EXISTING STRUCTURE WITH SUPERIMPOSED LOADS.

C. IN GENERAL, SELECTIVE STRUCTURAL DEMOLITION IS TO BE PERFORMED WITH PHYSICAL CUTTING ACTION (I.E. SAWING AND GRINDING INSTEAD OF HAMMERING AND CHIPPING). DO NOT USE JACKHAMMERS ON STRUCTURALLY SUPPORTED MEMBERS.

D. CONTRACTOR SHALL VERIFY THAT EXISTING CONSTRUCTION CORRESPONDS TO THAT SHOWN ON THE DRAWINGS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

## 3. EARTHWORK

A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 2000 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.

B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.

C. COMPACTED BACKFILL BELOW BUILDING SLABS - ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. MATERIAL TO BE FREE FROM ORGANIC MATERIAL, TRASH, MUCK, CONCRETE, ASPHALT OR OTHER DELTERIOUS SUBSTANCES. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR ORGANIC MATERIALS. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO MIN. 95% OF THE DRY MAX. DENSITY AS DETERMINED BY ASTM D698.

POF ASSUMING A FREE DRAINING MATERIAL OR DRAINING BOARD BEHIND WALL WITH A PERIMETER DRAINAGE SYSTEM. NOTIFY ENGINEER IF SOIL CONDITIONS DIFFER.

## 4. CONCRETE

A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH ( $f'_c$ ) = 3000 PSI IN 28 DAYS. EXTERIOR SLABS AND GARAGE SLABS SHALL HAVE A MINIMUM STRENGTH OF 3500 PSI. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATION. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINED.

AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES". FURNISH SUPPORT BARS AND ALL REQUIRED ACCESSORIES IN ACCORDANCE WITH C.R.S.I. STANDARDS. ALL REINFORCING TO BE

SPliced A MINIMUM OF 30 BAR DIAMETERS.

### C. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:

- BEAMS 2" EXPOSED TO WEATHER
- FOOTINGS 3" (BOTTOM)
- WALLS 1-1/2"

## 5. MASONRY

A. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM C90 FOR LOADBEARING MASONRY. ALL MASONRY TO HAVE JOINT REINFORCING AT 16" O.C. HORIZONTALLY. MORTAR TO BE ASTM C270, TYPE S.

B. LINTELS FOR MASONRY WALLS SHALL BE AS FOLLOWS: PROVIDE 1 ANGLE FOR EACH 4" OF WALL THICKNESS AS FOLLOWS:

- OPENINGS TO 3'-0": 3-1/2" X 3-1/2" X 1/4"
- 3'-1" TO 5'-0": 4" X 3-1/2" X 5/16" - LLV
- 5'-1" TO 6'-6": 5" X 3-1/2" X 5/16" - LLV (LLV - LONG LEG VERTICAL)

C. ALL VERTICAL REINFORCING SHALL BE GROUDED IN PLACE WITH MORTAR OR PEA GRAVEL CONCRETE.

D. ALL EXPANSION BOLTS OR SLEEVE ANCHORS IN MASONRY WALLS SHALL BE PLACED IN GROUDED SOLID MASONRY.

## 6. STEEL

A. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. PIPE TO BE A53, TUBE TO BE A500 OR A501. DETAILING TO BE IN ACCORDANCE WITH AISC STRUCTURAL STEEL DETAILING MANUAL. BOLTED FIELD CONNECTIONS SHALL BE 3/4" DIAMETER HIGH STRENGTH BOLTS MEETING ASTM SPEC. A-325.

B. ALL WELDERS SHALL BE CERTIFIED IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY. ALL WELDING ELECTRODES, MACHINES, ETC. SHALL BE COMPATIBLE WITH STEEL BEING WELDED.

## 7. WOOD

A. ALL FRAMING LUMBER SHALL BE HEM-FIR, GRADE #2, OR SPRUCE-PINE-FIR, GRADE #2, OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:

- BENDING STRESS  $f_b$  = 850 PSI FOR SINGLE MEMBER USE
- HORIZONTAL SHEAR  $f_v$  = 70 PSI
- COMPRESSION PERPENDICULAR TO GRAIN  $f_c$  = 405 PSI
- COMPRESSION PARALLEL TO GRAIN  $f_{c11}$  = 1,100 PSI
- MODULUS OF ELASTICITY  $E$  = 1,300,000 PSI

NOTE: SPRUCE-PINE-FIR (SOUTH) IS NOT ACCEPTABLE. SPRUCE-PINE-FIR MUST BE GRADED BY N.L.G.A.

B. ALL EXTERIOR FRAMING LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE 2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2X12 LUMBER):

- BENDING STRESS  $f_b$  = 975 PSI FOR SINGLE MEMBER USE
- HORIZONTAL SHEAR  $f_v$  = 90 PSI
- COMPRESSION PERPENDICULAR TO GRAIN  $f_c$  = 565 PSI
- COMPRESSION PARALLEL TO GRAIN  $f_{c11}$  = 1,450 PSI
- MODULUS OF ELASTICITY  $E$  = 1,800,000 PSI

C. PROVIDE BLOCKING BETWEEN ALL JOISTS 2X12 OR GREATER IN DEPTH AT INTERVALS NOT TO EXCEED 8 FEET.

D. PROVIDE SOLID BLOCKING AT 4 FEET ON CENTER BETWEEN BAND JOIST AND FIRST INTERIOR PARALLEL JOIST.

E. PREFAB JOIST AND BEAM HANGERS SHALL BE SIZED AND ATTACHED PER MANUFACTURERS RECOMMENDATION.

G. ALL WALL STUDS SHALL BE SPF STUD GRADE OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:

- COMPRESSION PARALLEL TO GRAIN  $f_{c11}$  = 625 PSI
- BENDING STRESS  $f_b$  = 675 PSI FOR SINGLE USE MEMBERS
- MODULUS OF ELASTICITY  $E$  = 1,200,000 PSI

H. SEE PLANS FOR WALL STUD SIZE AND SPACING.

I. ALL FREESTANDING POSTS SHALL HAVE PREFAB POSTCAP AND BASE. POSTS WITHIN WALL SHALL HAVE PREFAB CAP ATTACHED TO BEAM. POSTS BEARING ON MASONRY OR CONCRETE SHALL HAVE PREFAB BASE.

J. ROOF JOISTS SHALL ALIGN DIRECTLY OVER STUDS WITH AN OFFSET OF NO MORE THAN THREE INCHES. INSTALL ADDITIONAL STUDS AS REQUIRED.

K. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED 1/3 OF STUD WIDTH.

L. ALL STUD BEARING WALLS TO BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND 1 CONTINUOUS BOTTOM PLATE WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRACING AT MID HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF FOUR FEET.

M. ALL ROOF RAFTERS AND TRUSSES SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR. EACH ANCHOR SHALL BE 18 GAGE MINIMUM THICK AND SHALL BE ATTACHED TO HAVE A CAPACITY TO RESIST A 450# UPLIFT LOADING UNLESS SHOWN OTHERWISE ON DRAWINGS.

## 8. SHEATHING

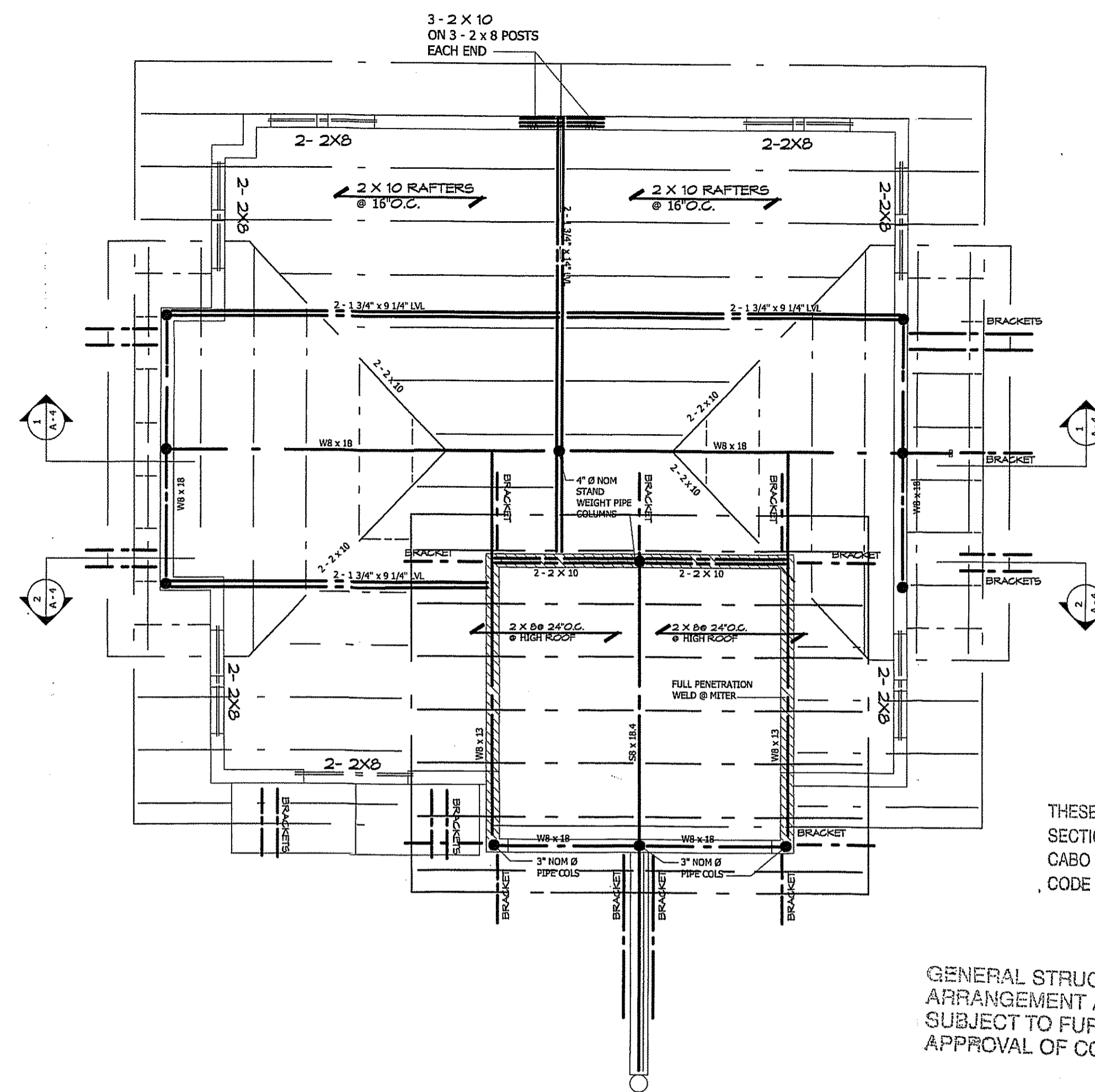
A. EXTERIOR WALL SHEATHING SHALL BE 19/32 (5/8) INCH THICK APA RATED WOOD STRUCTURAL PANELS. FASTEN PANELS TO STUDS WITH 8d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOCKED.

B. ROOF SHEATHING SHALL BE 15/32 (1/2) INCH APA RATED WOOD PANELS WITH SPAN RATING OF 24/0 OR BETTER. FASTEN PANELS TO FRAMING WITH 8d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. ORIENT LONG DIMENSION OF PANELS ACROSS THREE OR MORE SUPPORTS. EDGES NEED NOT BE BLOCKED, UNLESS OTHERWISE NOTED.

## 9. MISCELLANEOUS

A. ALL WOOD BLOCKING, NAILERS, ETC. SHALL BE ATTACHED TO STEEL OR CONCRETE FRAMING WITH POWER ACTUATED FASTENERS OR 3/8" DIAMETER BOLTS UNLESS NOTED OTHERWISE. FASTENERS SHALL BE SPACED AT 32" MAXIMUM O/C AND SHALL BE STAGGERED. FASTENERS SHALL HAVE A MINIMUM CAPACITY OF 100 POUNDS IN SHEAR AND PULLOUT UNLESS NOTED OTHERWISE.

WARNING: THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS OR ARE SUPERVISED BY THE STRUCTURAL ENGINEERS DURING CONSTRUCTION.



THESE PLANS MUST COMPLY WITH SECTION 802 OF THE 95 CABO 1 & 2 FAMILY DWELLING CODE AS AMENDED BY MONT. CO.

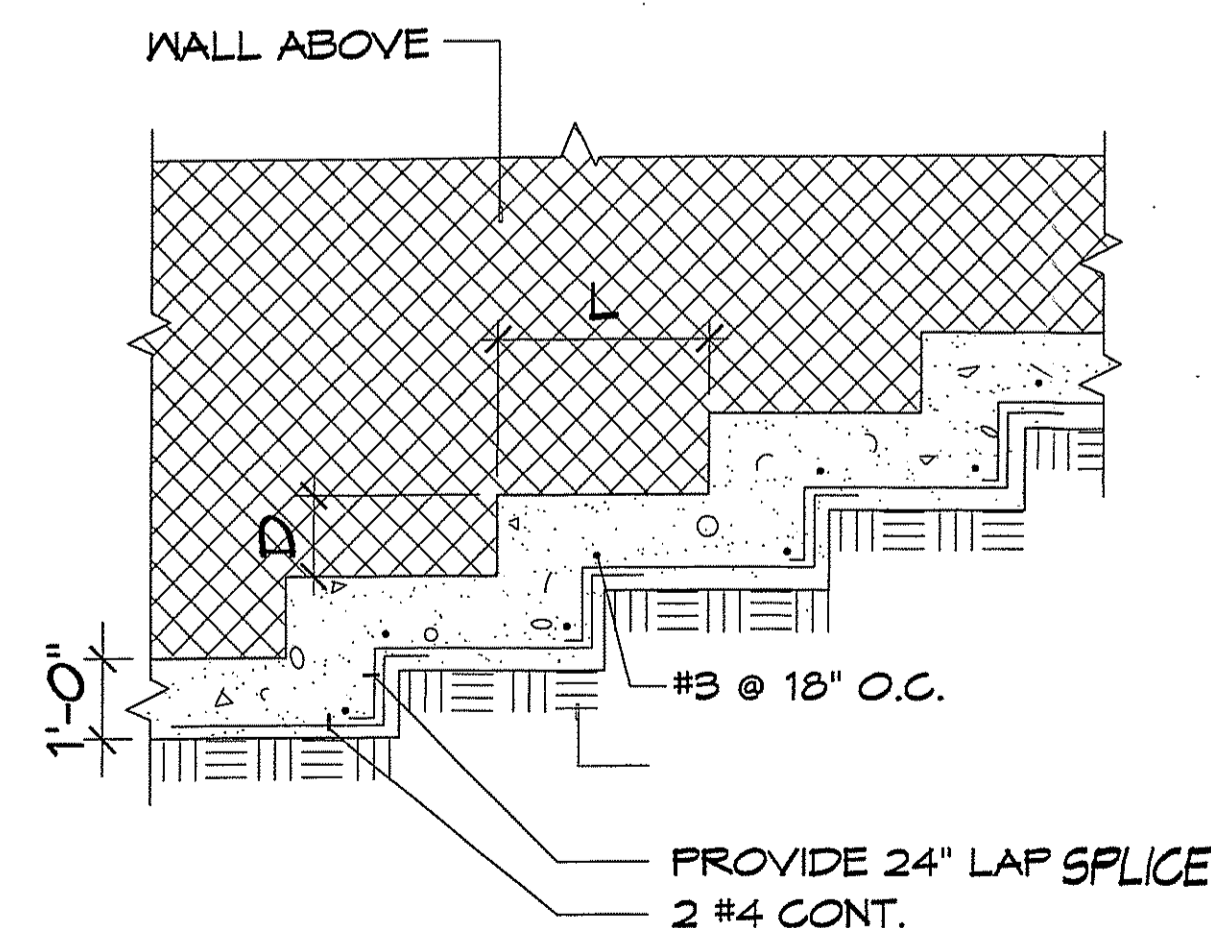
GENERAL STRUCTURAL ARRANGEMENT APPROVED SUBJECT TO FURTHER APPROVAL OF CONSTRUCTION

## 2 ROOF FRAMING PLAN

1/4" = 1'-0"

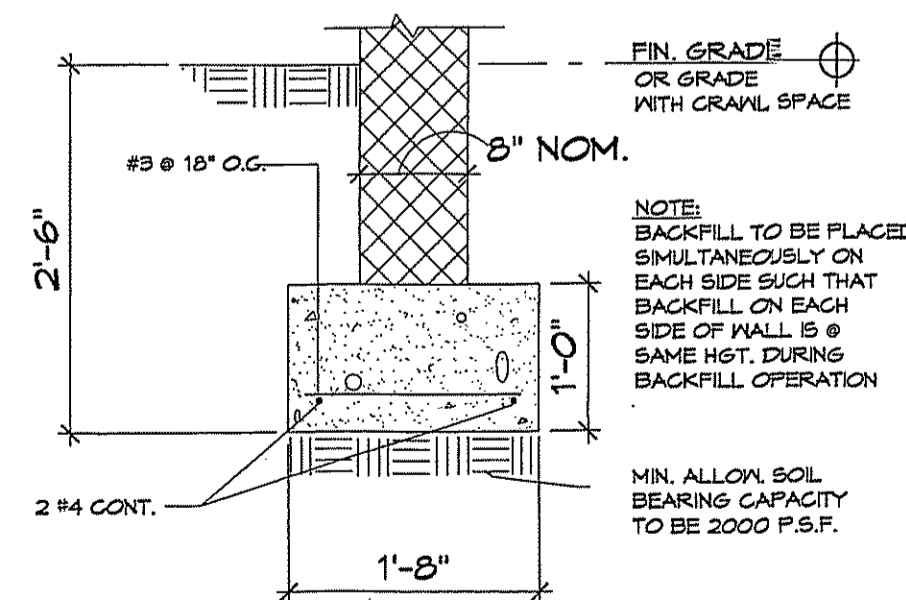
THESE PLANS MUST COMPLY WITH SECTION 802 OF THE 95 CABO 1 & 2 FAMILY DWELLING CODE AS AMENDED BY MONT. CO.

"D" TO BE MAX. 1'-4"  
"L" TO BE MAX. 2X "D"



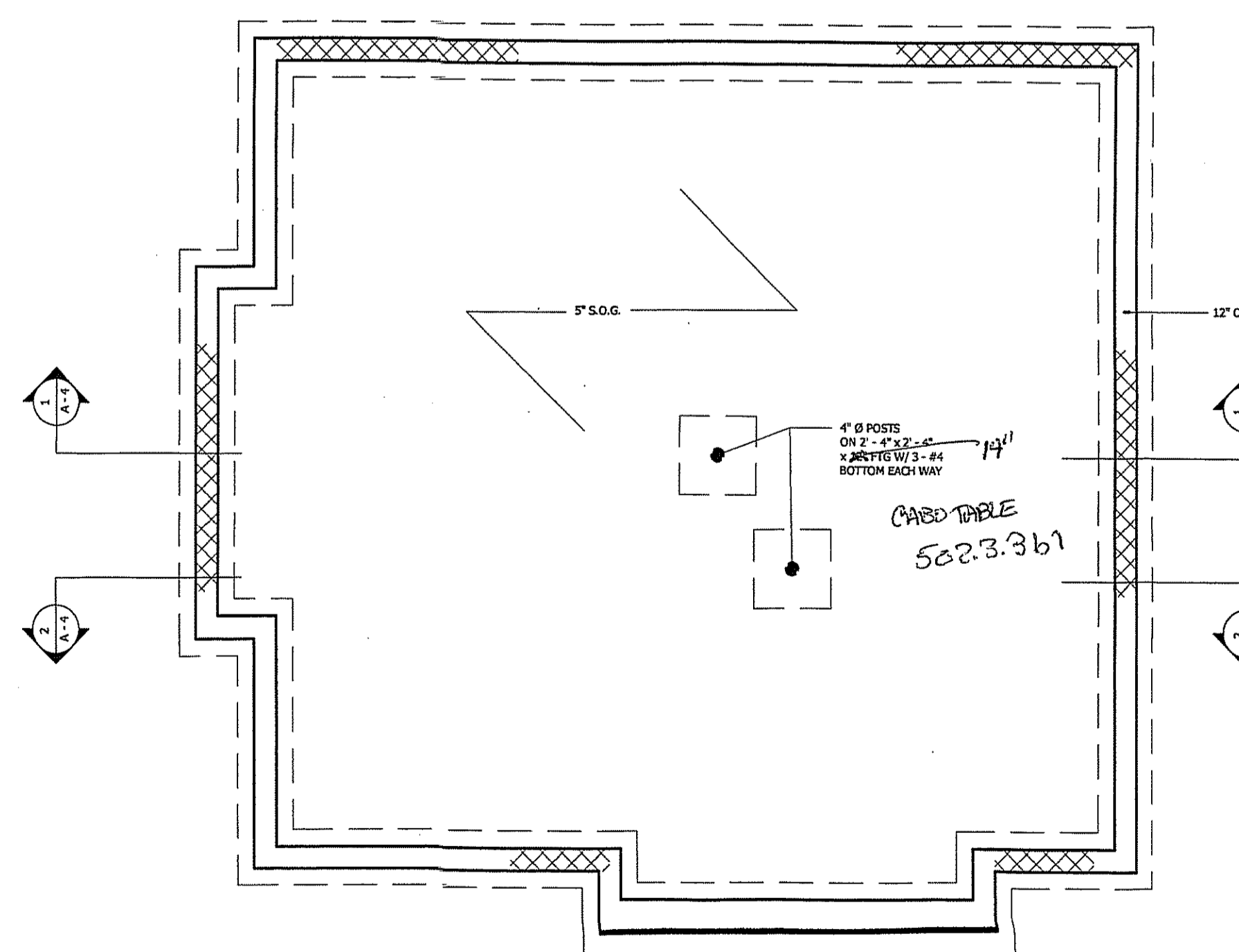
## 3 DETAIL

N.T.S.



## 4 TYP. FTG. DETAIL

N.T.S.



## 1 FOUNDATION PLAN

1/4" = 1'-0"

THESE PLANS MUST COMPLY WITH SECTION 802 OF THE 95 CABO 1 & 2 FAMILY DWELLING CODE AS AMENDED BY MONT. CO.

THE OFFICE OF  
ALEXIA N. C. LEVITE  
ARCHITECT

3299 K STREET, N.W., SUITE 600  
WASHINGTON, D.C. 20007  
(202) 337-3987

## PROJECT

THE RUBENSTEIN RESIDENCE  
NEW ACCESSORY BUILDING  
4819 DORSET AVENUE  
SOMERSET HEIGHTS, MD.

## OWNER

MR. & MS. RUBENSTEIN  
4003 UNDERWOOD ST.  
CHEVY CHASE, MD 20815

## ISSUE PURPOSE

PROGRESS/PERMIT 8/10/01

## PROJECT NO. 2045

DRAWN HP CHECKED

SHEET NAME SHEET NUMBER

STRUCTURAL PLANS, NOTES & DETAILS

S-1

Rubenstein Studios  
4003 Underwood Street  
Chevy Chase, MD 20815







"Fallopia"

Barton Rubenstein © 1995

Bronze • 50" x 32" x 21"

Water drops out of two chutes, down through gullies, into an elliptical pond, and finally over the edge into basin. Pump in basin returns water to sculpture. A special mica-embedded dust is used on the blue/green patina to create a shimmering effect.

Rubenstein Studios  
4003 Underwood Street Chevy Chase, Maryland 20815  
tel. (301) 654-5406 fax (301) 654-5496



"Diamond Dance"  
Baron Rubenstein © 1997  
Stainless Steel (water) • 80" x 51" x 45"  
Streaming down the face of the large central diamond,  
water temporarily rests on a series of water tables. Wave  
patterns created on these tables reflect upwards and  
cause the entire piece to undulate and "dance."

Rubenstein Studios  
4003 Underwood Street • Chevy Chase, Maryland 20815  
tel. (301) 654-5406 fax (301) 654-5496



"Dash" & "Refusal"

Barton Rubenstein © 1996

Bronze and Limestone • 31" x 30" x 5"

Mounted on limestone are seven bronze components with water streaming down the stone's face.

Negative spaces created between the components create a profile of a human figure running. Bronze framing is equipped with lower main basin and pumps that push water to top basin, where water overflows.

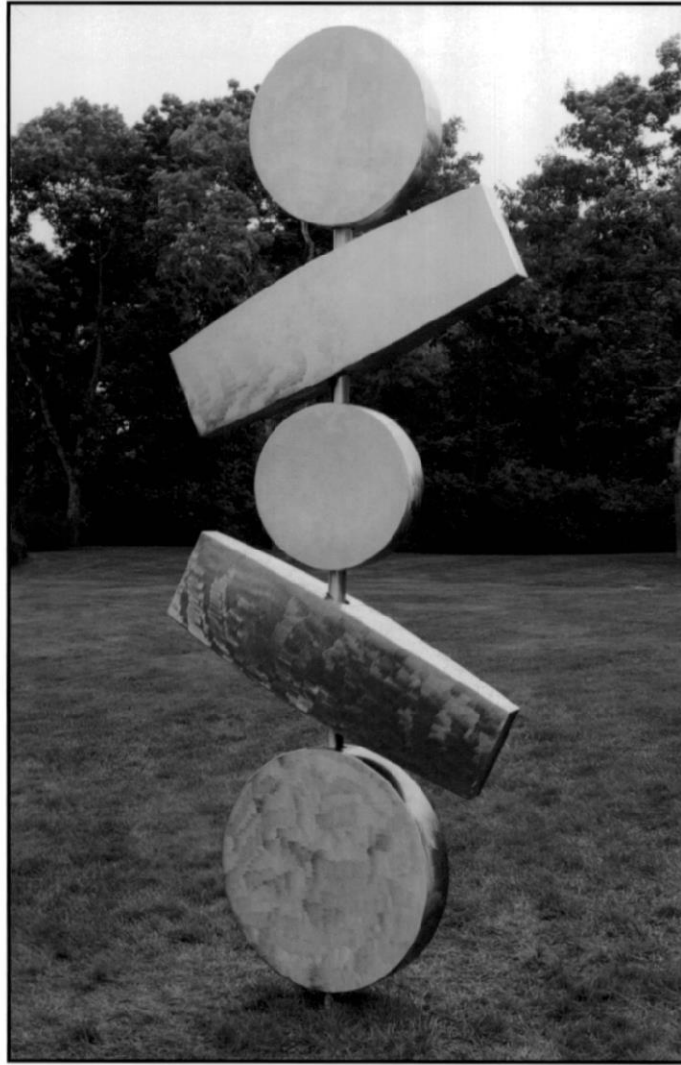
Rubenstein Studios

4003 Underwood Street Chevy Chase, Maryland 20815

tel. (301) 654-5406 fax (301) 654-5496

(19 spaces between top and bottom with 4 lines of Description )

---



"Circle Up"

Barfon Rubenstein © 1999

Stainless Steel (kinetic) • 120" x 48" x 48"

Five shapes rotate around a vertical column. Each shape is supported by a unique internal cable system, designed by the sculptor, which allows moving components to wind up in one direction, and then recoil in the other. Unlike continuously spinning objects, this engineering design creates a "dance" effect, creating motion that is both smooth and rhythmic, and thus emulating human movement and attributes.

Rubenstein Studios

4003 Underwood Street • Chevy Chase, Maryland 20815

tel. (301) 654-5406 fax (301) 654-5496

Email: [Barfsher@aol.com](mailto:Barfsher@aol.com) Website: [www.RubensteinStudios.com](http://www.RubensteinStudios.com)





"Tower"

Barton Rubenstein © 1995

Stainless Steel • 78" x 26" x 26"

Water rains down through hundred of holes inside and outside a series of triangular belts. This sculpture necessitates a six foot square water shed area (or pond). An 18" high basin resides underground which collects water and then returns it to top of sculpture.

Rubenstein Studios

4003 Underwood Street Chevy Chase, Maryland 20815

tel. (301) 654-5406 fax (301) 654-5496



"Familia"

Barton Rubenstein © 1998

Stainless Steel (kinetic) \* 78"H x 121"W x 30"D

Five diamond-shaped objects rotate independently around a vertical axis, as if floating in air. Objects rotate by the force of the wind and are positioned so as to nearly touch each other when not moving. Symbolic references are of two parents (large diamonds) with three children (smaller diamonds).

Rubenstein Studios

4003 Underwood Street \* Chevy Chase, Maryland 20815

tel. (301) 654-5406 fax (301) 654-5496



"Tower"

Barton Rubenstein © 1995

Stainless Steel • 78" x 26" x 26"

Water rains down through hundred of holes inside and outside a series of triangular belts. This sculpture necessitates a six foot square water shed area (or pond). An 18" high basin resides underground which collects water and then returns it to top of sculpture.

Rubenstein Studios

4003 Underwood Street Chevy Chase, Maryland 20815

tel. (301) 654-5406 fax (301) 654-5496



"L'Dor V'Dor"

Baron Rubenstein © 1996

Bronze (water / kinetic) • 84" x 24" x 24"

Water is introduced at three points above the six-pointed star shapes. This causes the shapes to slowly rotate. Each shape has cusps which temporarily hold water and then passes it on to the next below. Translated into English, "From Generation to Generation" symbolizes the life source (water) for each generation (star shapes) and how this energy is passed down through the generations.

Rubenstein Studios

4003 Underwood Street • Chevy Chase, Maryland 20815

tel. (301) 654-5406 fax (301) 654-5496





"Screen"

Barton Rubenstein © 1996

Stainless Steel • 78" x 70" x 30"

Sheets of rain (created with little holes) fall between columns. An 18" high basin resides underground which collects water and then returns it to top of sculpture.

Rubenstein Studios

4003 Underwood Street Chevy Chase, Maryland 20815

tel. (301) 654-5406 fax (301) 654-5496



"Legs"

Barton Rubenstein © 1996

Stainless Steel • 60" x 96" x 30"

Water glides down two trapezoidal faces, with the flow tapering because of water tension properties.

Two 18" high basins reside underground which collect water and then return it to top of sculpture.

Rubenstein Studios

4003 Underwood Street Chevy Chase, Maryland 20815

tel. (301) 654-5406 fax (301) 654-5496



"River Twist"

Barton Rubenstein © 1996

Bronze (water) • 90" x 80" x 90"

Inspired by the beauty of waterfalls cascading into a raging river, this sculpture shows how the delicate flow of numerous water sources can quickly become a formidable force.

Rubenstein Studios

4003 Underwood Street • Chevy Chase, Maryland 20815

tel. (301) 654-5406 fax (301) 654-5496



"Crossroads"

Barton Rubenstein © 2000

Stainless Steel (water) • 72" x 120" x 60"

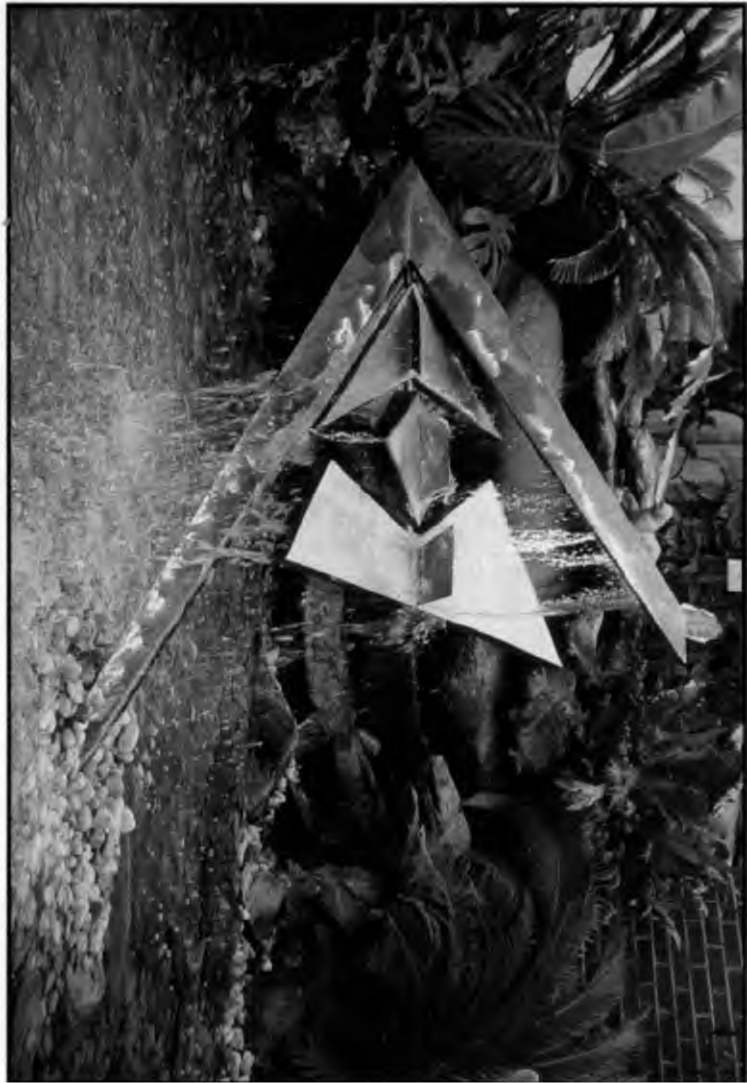
The sculpture is comprised of five elements, which are bulbous shapes that stand erect in a bed of black smooth stones. The recycling water is pumped to the top of each element, whereupon the water slides down the outside surfaces. All surfaces are slightly twisted so as to create a constantly changing reflective environment.

Rubenstein Studios

4003 Underwood Street • Chevy Chase, Maryland 20815

tel. (301) 654-5406 fax (301) 654-5496

Email: [Bartsher@aol.com](mailto:Bartsher@aol.com) Website: [www.RubensteinStudios.com](http://www.RubensteinStudios.com)





"Stealth Wing"

Barton Rubenstein © 1995

Stainless Steel • 45" x 53" x 10"

A water curtain drops from top armature (equipped with internal baffling to ensure smooth curtain-like flow) and rotates three different geometric shapes at varying rates. This sculpture is designed for placement in a pool or on a (eight foot square) stony ground area.

Rubenstein Studios

4003 Underwood Street Chevy Chase, Maryland 20815

tel. (301) 654-5406 fax (301) 654-5496



"Morse Code"

Barton Rubenstein © 1998

Stainless Steel (water) • 104" x 72" x 23"

Bulbous rectangular boxes with water slits allow water to pass from one level to the next. Water slits are protected from debris, water turbulence, and splashout with carefully engineered screens. Water slits are also designed to prevent water from traveling under the boxes, thus allowing outside of boxes to remain dry.

Rubenstein Studios

4003 Underwood Street • Chevy Chase, Maryland 20815

tel. (301) 654-5406 fax (301) 654-5496

Email: [Bartsher@aol.com](mailto:Bartsher@aol.com) Website: [www.RubensteinStudios.com](http://www.RubensteinStudios.com)

**THE OFFICE OF ALEXIA N.C. LEVITE**

3299 K Street, N.W., Suite 600  
WASHINGTON, DC 20007

**LETTER OF TRANSMITTAL**

(202) 337-3987

DATE	10/11/01	JOB NO.	2045
ATTENTION	Ms. Robin Ziek		
RE:	Rubenstein Residence 4819 Dorset Avenue		

TO Montgomery Co. Dept. Park & Planning  
Historic Division  
1109 Spring Street Suite 801  
Silver Spring, MD 20910-3766

WE ARE SENDING YOU  Attached  Under separate cover via mail the following items:

Shop drawings  Prints  Plans  Samples  Specifications

Copy of letter  Change order  \_\_\_\_\_

COPIES	DATE	NO.	DESCRIPTION
1	10/04/01	2	Letter to Mr. Rubenstein from Keith Pitchford

THESE ARE TRANSMITTED as checked below:

For approval  Approved as submitted  Resubmit \_\_\_\_\_ copies for approval

For your use  Approved as noted  Submit \_\_\_\_\_ copies for distribution

As requested  Returned for corrections  Return \_\_\_\_\_ corrected prints

For review and comment  \_\_\_\_\_

FOR BIDS DUE \_\_\_\_\_  PRINTS RETURNED AFTER LOAN TO US

REMARKS Ms. Ziek:

Enclosed is the report requested by HPC from a certified arborist. Mr. Pitchford met with Mr. Rubenstein to look at the rear neighbors trees and impact of the accessory building construction on those trees. Call Alexia if you have any comments or wish to review the report.

COPY TO Barton & Shereen Rubenstein

SIGNED: [Signature]

*If enclosures are not as noted, kindly notify us at once.*

**PITCHFORD AND ASSOCIATES**  
**Arboriculture • Environmental Consultants**

---

**Keith C. Pitchford**  
**President**  
**ISA Certified Arborist**

---

2213 40th Place, N.W., Ste. 1 Washington, D.C. 20007  
(202) 333-3851 (phone) / (202) 333-3859 (FAX)

# PITCHFORD AND ASSOCIATES

Environmental Consultants

---

2213 40th Place, N.W., # 1, Washington, D.C. 20007  
(202) 333-3851 (phone) • (202) 333-3859 (fax) • kpenvironment@mindspring.com

October 4, 2001

Mr. Barton Rubenstein  
4003 Underwood St.  
Chevy Chase, MD 20815

Dear Mr. Rubenstein:

This report is based upon a survey of the proposed construction site at #4819 Dorset Avenue, Chevy Chase, Maryland. In particular, the purpose was to assess the impacts to surrounding trees from the construction of an artist studio at the right rear corner of this lot.

We met on site, Tuesday, October 2<sup>nd</sup>, to discuss the siting of this structure and the impacts to two large tulip poplars (*Liriodendron tulipifera*) found in the back yard of your neighbor's property. The trees in question are located directly behind your property.

The two trees in question are a double-stemmed poplar, with stems that average 22"-24" of diameter at breast height (dbh), and immediately behind this tree is a larger poplar that is approximately 30" dbh. Both of these trees appear to be in good to excellent condition. Exact measurements and comprehensive surveys of the trees were not made because of the lack of access to the trees. I have made assumptions of their health based upon visual inspection from across the fence. In fact, in the area of the proposed structure, the wooden fence is falling over which provided for better visual inspection.

Again, based upon visual inspection, and not field measurements, I approximate the distance from the base of these trees to be 25' from the edge of your construction zone, or limit of disturbance (LOD). Based upon these estimations, this would provide for roughly 25' of root zone protection for both trees on the side toward your property. There are several reasons why I believe that this is plenty of root zone protection to insure a high level of protection.

The first is that the property on which these trees are located has a very large backyard that is providing tremendous amounts of root growth area for these trees. Therefore, there is every reason to believe that the roots from these trees are widespread in this lawn area. And, there are no physical barriers on your neighbor's property that would act to direct more roots toward your property. Secondly, the larger poplar is on the opposite side of the twin-stemmed tree that is, in effect, deflecting the roots of this tree away from your construction site.

Mr. Barton Rubenstein  
October 4, 2001  
Page 2

The root zone protection area of approximately 25' on your side of the double-stemmed tree will be sufficient. My only recommendations relate to a pre-construction treatments and on-going protection monitoring during the construction process.

The first step is to root prune (to a depth of 24"-30") the length of the LOD line along the backside of the new concrete pad. In fact, it is prudent to prune just outside of the LOD line by perhaps one foot (1'). The purpose of the root pruning is to sever the roots from the poplar in such a way that the tree will sprout new root hairs at the ends of the severed roots. This process is performed with either a pneumatic air gun (called an "airspade") or a trencher to expose the roots. The exposed roots are then cut cleanly with larger loppers or pruning shears. Once cut, the roots are immediately backfilled so that they do not dry.

The second step is to erect root zone protection fencing, along the entire LOD line. This will restrict contractors from stockpiling materials or encroaching into this area with vehicles. I do not feel that the bright orange plastic fencing is adequate unless you can insure that the site will be monitored daily. Wire mesh fencing set in concrete blocks is a much better deterrent. It may cost a bit more, but it will be infinitely better at preventing encroachment. I also feel that these trees need to be fertilized, and with an added root growth stimulant, in the area on your side of the fence. However, I do not feel that wood chips, or any other type of mulch is needed, in the root zone protection area.

Although tulip poplar can be quite sensitive to construction impacts, these are healthy trees with plenty of root space and are sufficiently far from the construction activities to be considered threatened. However, it is still crucial to undertake the root pruning treatment prior to initiating construction, and also to establish and *maintain* the root zone protection fencing.

I hope that these observations and recommendations are helpful. Please feel free to call if you require clarification of any item discussed.

Sincerely,



Keith C. Pitchford  
ISA Certified Arborist, MA-0178

Rubenstein Studios  
4003 Underwood Street Chevy Chase, MD 20815  
tel. (301) 654-5406 fax (301) 654-5496  
Email: barthsher@aol.com Website: www.RubensteinStudios.com

Water and Kinetic Sculpture  
Bronze • Stainless Steel • Glass • Stone  
Indoor and Outdoor

February 20, 2001

Robin Ziek  
Historic Preservation Planner  
Montgomery County  
Department of Park and Planning  
8787 Georgia Ave.  
Silver Spring, MD 20910-3760  
Main: 301-563-3400  
Fax 301-563-3412

Dear Robin,

This letter is to record the recent conversations we had concerning the property and home at 4819 Dorset Ave., Chevy Chase, MD.

*Substantial alteration*

1. The garage structure <sup>appears to be</sup> historic (circa 1910) and therefore ~~any~~ demolition + modification of the structure is discouraged.
2. The addition behind the above mentioned garage is more recent.
3. Removing this addition and replacing it with a larger addition (approx. 24' x 35'), extending behind the existing garage ~~is~~ *appears possible.*
4. Modification to walls inside the house is ~~allowed.~~ *not reviewed by the HPC.*

As you suggested, I am faxing this letter to you for your signature. After signing this, please fax this letter back to me (fax # 301-654-5496).

Thank you for your time Robin.

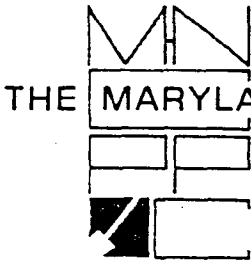
Sincerely yours,

Barton Rubenstein

Signature/Date:

*Robin Ziek* 2/20/01  
Robin Ziek





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: Sept 12, 2001

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: *PDZ* Gwen Wright, Coordinator  
Historic Preservation

35136-01D

SUBJECT: Historic Area Work Permit # 251621

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

           Approved

X Approved with Conditions: 1) The front garage doors will be retained.

Modifications of them, as overhead doors, will be worked out with staff.

2) The neighbor's trees at the rear of the property will be evaluated by a  
Certified arborist, tree save measures will be undertaken as recommended. ~~Arborist's~~

Arborist's Report will be provided to staff.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Barton + Shereen Rubenstein (Alexia Lavite, agent)

Address: 4819 Dorset Avenue, Chevy Chase 20815

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.

cc: Suzette H.D.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

JUN 20 2001

Contact Person: Alexia Levite

Daytime Phone No.: (202) 337-3987

Tax Account No.: 00538570

Name of Property Owner: Barton and Shereen Rubenstein Daytime Phone No.: (301) 654-3838

Address: 4003 Underwood Street Chevy Chase, MD 20815
Street Number City State Zip Code

Contractor: Lawrence Cafritz Builders Phone No.: (301) 657-3900

Contractor Registration No.: 49375

Agent for Owner: The Office of Alexia N. C. Levite Daytime Phone No.: (202) 337-3987

LOCATION OF BUILDING/PREMISE

House Number: 4819 Street: Dorset Avenue

Town/City: Somerset Heights Nearest Cross Street: Little Falls Parkway

Lot: 18 Block: 2 Subdivision:

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
Construct, Extend, Alter/Renovate, A/C, Slab, Room Addition, Porch, Deck, Shed, Move, Install, Wreck/Raze, Solar, Fireplace, Woodburning Stove, Single Family, Revision, Repair, Revocable, Fence/Wall, Other.

1B. Construction cost estimate: \$ 200,000.00 +/-

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [X] WSSC 02 [ ] Septic 03 [ ] Other:

2B. Type of water supply: 01 [X] WSSC 02 [ ] Well 03 [ ] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height varies feet inches \* 8" - 2' - 6" above grade

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[ ] On party line/property line [X] Entirely on land of owner [ ] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 6/20/01

Approved: [Signature] For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date: 9/12/01
Application/Permit No.: 251621 Date Filed: 6/22/01 Date Issued:

35/36-01D



**RETURN TO:** DEPARTMENT OF PERMITTING SERVICES  
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
 240/777-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR**  
**HISTORIC AREA WORK PERMIT**

JUN 20 2001

Contact Person: Alexia Levite

Daytime Phone No.: (202) 337-3987

Tax Account No.: 00538570

Name of Property Owner: Barton and Sheren Rubenstein Daytime Phone No.: (301) 654-3838

Address: 4003 Underwood Street Chevy Chase, MD 20915  
Street Number City State Zip Code

Contractor: Lawrence Cafritz Builders Phone No.: (301) 657-3900

Contractor Registration No.: 49375

Agent for Owner: The Office of Alexia M. C. Levite Daytime Phone No.: (202) 337-3987

**LOCATION OF BUILDING/PREMISE**

House Number: 4819 Street: Dorset Avenue

Town/City: Somerset Heights Nearest Cross Street: Little Falls Parkway

Lot: 18 Block: 2 Subdivision: \_\_\_\_\_

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- |                                    |   |  |  |  |  |  |                               |                               |
|------------------------------------|---|--|--|--|--|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input type="checkbox"/> Extend             | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input checked="" type="checkbox"/> Slab | <input type="checkbox"/> Room Addition     | <input type="checkbox"/> Porch         | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move      | <input checked="" type="checkbox"/> Install | <input checked="" type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace       | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family |                               |                               |
| <input type="checkbox"/> Revision  | <input checked="" type="checkbox"/> Repair  | <input type="checkbox"/> Revocable                 | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: _____    |  |  |                               |                               |
- 1B. Construction cost estimate: \$ 200,000.00 +/-
- 1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

- 2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_
- 2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

- 3A. Height varies \* feet \_\_\_\_\_ inches \* 8" - 3' - 6" above grade
- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

*Alexia Levite* Signature of owner of authorized agent 6/20/01 Date

Approved: X w/ conditions for Chairperson, Historic Preservation Commission  
 Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 9/12/01  
 Application/Permit No.: 251639 Date Filed: 6/22/01 Date Issued: \_\_\_\_\_

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

Address:	4819 Dorset Avenue	Meeting Date:	9/12/01
Applicant:	Barton & Shereen Rubenstein (Agent, Alexia Levitt, AIA)	Report Date:	9/5/01
Resource:	Somerset Historic District	Public Notice:	8/29/01
Review:	HAWP	Tax Credit:	Partial
Case Number:	#35/36-01D	Staff:	Robin D. Ziek

**PROPOSAL:** Add studio building in rear yard, with fencing; alterations to garage.

**RECOMMEND:** Approval with Conditions:

- 1) The front doors of the original garage will be repaired, used as sliding doors or modified as overhead doors, with details to be worked out with staff.
- 2) Construction effects on the neighboring trees will be evaluated by a certified arborist to preserve the trees. A copy of this report will be supplied to HPC staff, and all recommended tree save measures will be followed.

---

**The Town of Somerset reviewed and approved this project on September 4, 2001. This approval also reflects the LAP support for the project.**

**The HPC reviewed this project in a Preliminary Consultation on 8/15/01. The in-depth discussion covered siting and design issues. The overall sense of the commission was favorable.**

**RESOURCE:** Contributing Resource in the Somerset Historic District  
**STYLE:** Bungalow  
**DATE:** Early 20<sup>th</sup> c.; prior to 1916

This bungalow sits on a wide lot (103'), and the house is set 45' back from the public right-of-way. A small frame garage sits at the end of the driveway in the back yard. Some time in the recent past, a large side and rear addition was added to the house, but in such a way that the original structure retains its prominence, feel and character. At the same time, a work room addition was added to the rear of the existing garage, but not visible from the road. Other alterations on the site include a small office addition off of the corner of the house, between the house and the garage.

(1)

## PROPOSAL

The applicant proposes to remove the existing addition from the back of the garage to free up yard space for the construction of a new studio. A free-standing artist's studio is proposed for the rear NE corner of the property (see Circle ). The original garage building would be retained and repaired. The original back wall of the garage was previously removed when the work room addition was built and this will be modified with an overhead garage door to facilitate moving materials from the street into the studio and the back yard. The applicant proposes to replace the original hinged garage doors with an overhead door designed to match the appearance of the original doors.

The new studio building (measuring 27'-9" x 30') would be built in the north east corner of the lot (see Circle ). The east wall of the new building will line up with the east wall of the existing garage (19' x 16') so that the greater width of the new studio is actually hidden behind the house and will not be apparent from the street.

The new studio has been designed as a small cottage in the back yard of this bungalow, but has been designed to meet the specific needs of the owner, who is a metal sculptor. The tower and the two-story interior space is necessary to accommodate the design and fabrication of his work (see Circle ). The height of the tower was held to 1' lower than the ridgeline of the house. It will be approximately 11' higher than the existing garage and 16' behind the garage. The materials were selected to match the house and the garage. Wood shingles, stone foundation and wood windows are all proposed for the new building.

Some new fencing 4' high, interior to the lot, is also proposed in the back yard. It will have solid board for the lower portion and lattice above (see Circle ), and is designed to separate the driveway and associated work/storage buildings, from the back yard area. The existing lot coverage is approximately 17% and the new construction will diminish that to 19%.

## STAFF DISCUSSION

There have been numerous alterations at this site to date, but, in each case, the work has been at the rear of the property, with minimal effect on the historic district. This proposal, too, is at the rear of the property and will have minimal visibility from the public right-of-way. There are mature trees on the adjacent property (4818 Cumberland Street) and staff is concerned that the new construction may have an adverse impact on these trees.

The small studio has been designed as a compatible element on the site, using materials and scale of the original house as a starting point. The placement of the studio behind the garage will also minimize the impact of the new studio on the district and it will be 157' away from the front property line (see Circle ). While elements of the

studio will be visible from the street (see Circle                   ; elevation from the street, including the house, garage and studio), perspective will limit the impact.

Staff feels that the new studio proposal is compatible new construction. Staff has concerns, however, with the proposal to remove the original garage doors and replicate them with new overhead doors. The existing doors do need some repair work, but staff feels there are other options which still need to be explored, such as repairing the existing doors so they operate smoothly, or modifying the doors to function as overhead doors.

### **STAFF RECOMMENDATION**

Staff recommends, with the following **CONDITIONS**, that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

### **CONDITION:**

- 1) The front doors of the original garage will be repaired, used as sliding doors or modified as overhead doors, with details to be worked out with staff.
- 2) Construction effects on the neighboring trees will be evaluated by a certified arborist to preserve the trees. A copy of this report will be supplied to HPC staff, and all recommended tree save measures will be followed.

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



RETU DEPARTMENT OF PERMITTING SERVICES 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850 240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Alexia Levite
Daytime Phone No.: (202) 337-3987
Tax Account No.: 00538570
Name of Property Owner: Barton and Shereen Rubenstein
Address: 4003 Underwood Street, Chevy Chase, MD 20815
Contractor: Lawrence Cafritz Builders
Agent for Owner: The Office of Alexia N. C. Levite

LOCATION OF BUILDING/PREMISE

House Number: 4819 Street: Dorset Avenue
Town/City: Somerset Heights Nearest Cross Street: Little Falls Parkway
Lot: 18 Block: 2 Subdivision:
Parcel: 1

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
[X] Construct [ ] Extend [X] Alter/Renovate [X] A/C [X] Slab [ ] Room Addition [ ] Porch [ ] Deck [ ] Shed
[ ] Move [X] Install [X] Wreck/Raze [ ] Solar [ ] Fireplace [ ] Woodburning Stove [ ] Single Family
[ ] Revision [X] Repair [ ] Revocable [ ] Fence/Wall (complete Section 4) [ ] Other:
1B. Construction cost estimate: \$ 200,000.00 +/-
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [X] WSSC 02 [ ] Septic 03 [ ] Other:
2B. Type of water supply: 01 [X] WSSC 02 [ ] Well 03 [ ] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height varies \*feet \_\_\_\_\_ inches \* 8" - 2' - 6" above grade
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[ ] On party line/property line [X] Entirely on land of owner [ ] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Alexia Levite Date: 6/20/01

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_
Application/Permit No.: 251621 Date Filed: 6/20/01 Date Issued: \_\_\_\_\_

35/36-01D

4

THE OFFICE OF  
ALEXIA N. C. LEVITE  
ARCHITECT

4819 DORSET AVENUE  
SOMERSET HEIGHTS, MONTGOMERY COUNTY, MD

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

1. Larry and B. R. Hoover  
4822 Cumberland Street  
Chevy Chase, MD 20815

2. Everett Johnson and Judith Brocies  
4820 Cumberland Street  
Chevy Chase, MD 20815

3. Frances Row  
(4818 Cumberland Street)  
(Chevy Chase, MD 20815)

mail to: Frederick M. Row 787 Stage Coach  
Santa Fe, N.M. 87501 Circle  
(505) 983-4319 Phone & FAX

4. Rod and J. B. Macklin  
4817 Dorset Avenue  
Chevy Chase, MD 20815

5. Herbert and J. K. Beller  
4816 Dorset Avenue  
Chevy Chase, MD 20815

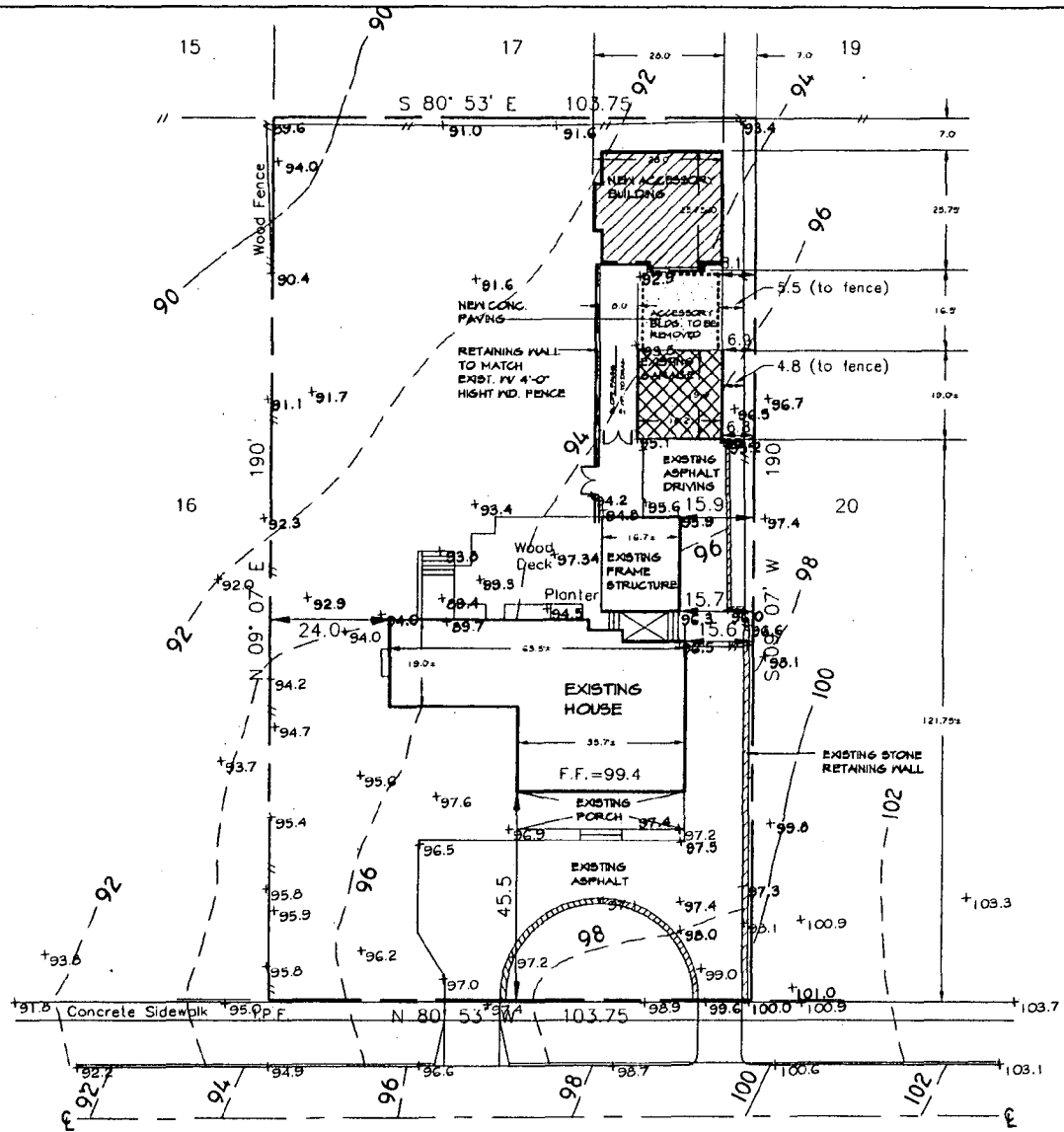
6. Paul and Selma Chodoff  
4820 Dorset Avenue  
Chevy Chase, MD 20815

7. David and G. Schwartz  
4822 Dorset Avenue  
Chevy Chase, MD 20815

8. John Stewart and Sharon Stoliaroff  
4823 Dorset Avenue  
Chevy Chase, MD 20815







SYMBOLS	
	EXIST. BLDG.
	NEW ACESORY BLDG.
	EXIST. GARAGE TO BE REMODELED

DORSET AVENUE

**1 ARCHITECTURAL SITE PLAN**

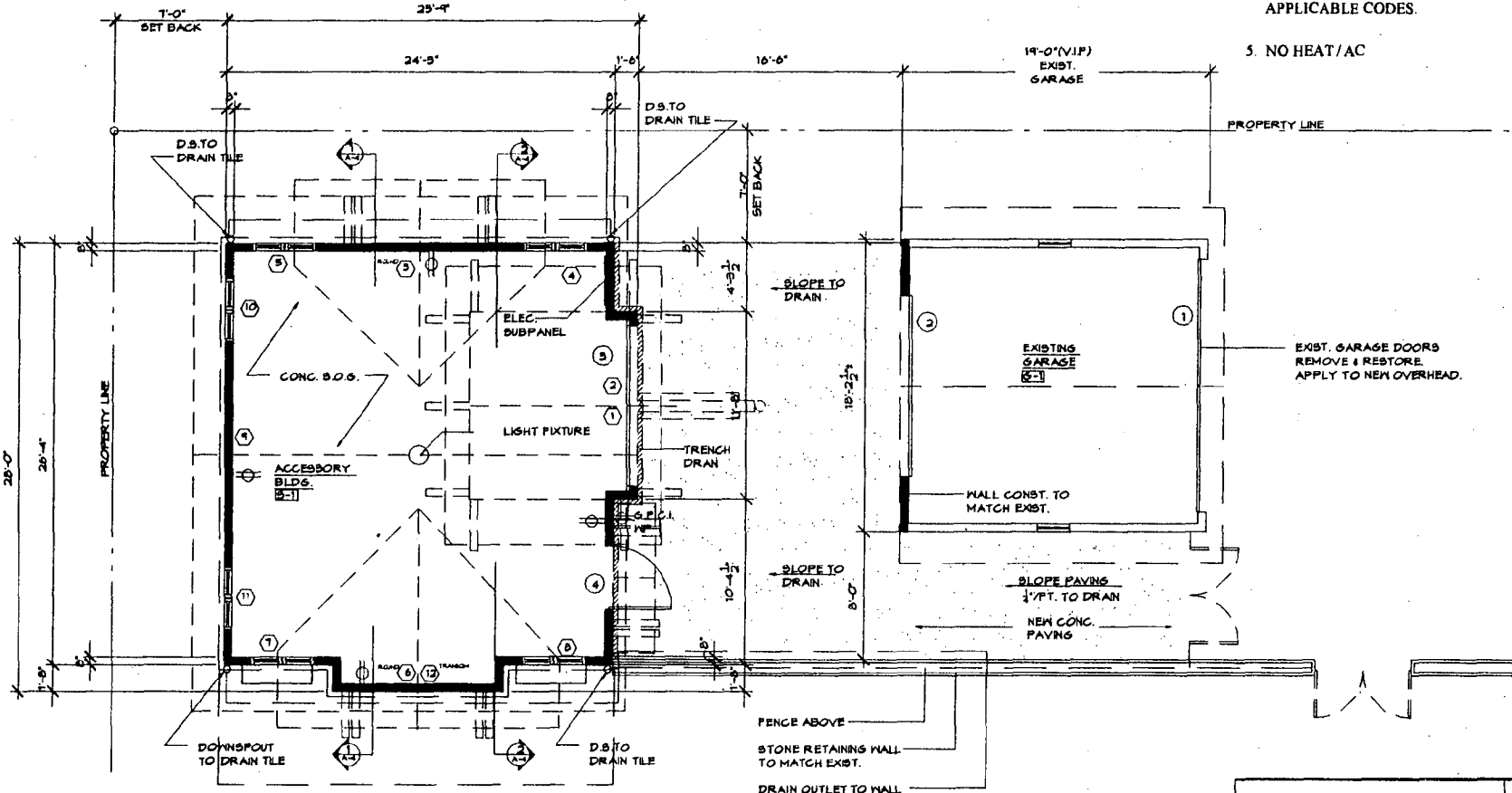
1" = 40'-0"

<b>PROJECT</b>  RUBENSTEIN RESIDENCE HOUSE REMODELING & STUDIO ADDITION GARAGE	THE OFFICE OF <b>ALEXIA N. C. LEVITE</b> ARCHITECT
<b>SP-1</b>	HAMP APPROVAL 8/28/01
3289 K STREET, N.W., SUITE 800 WASHINGTON, D.C. 20007 (202) 337-3887	

7

# GENERAL NOTES

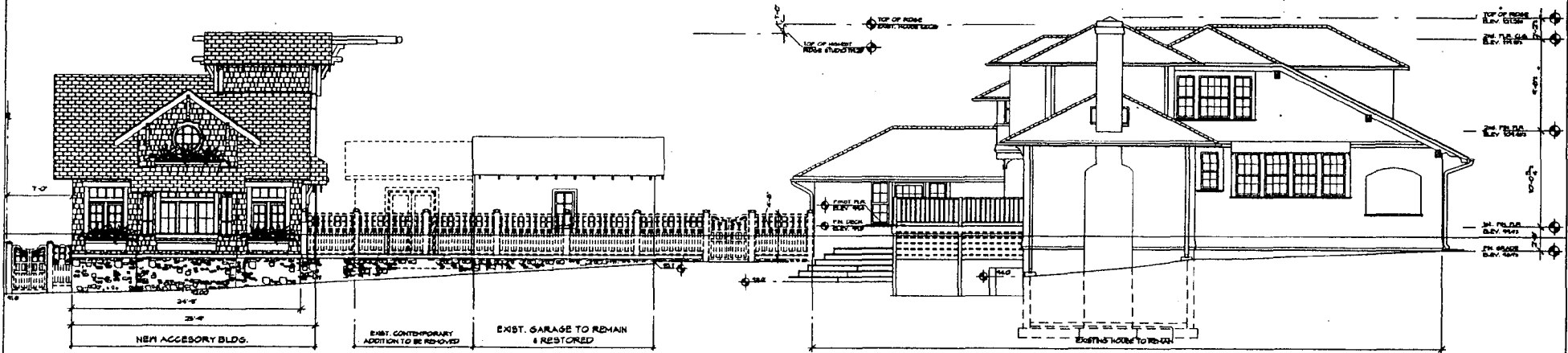
1. THE ELECTRICAL PLANS ARE DIAGRAMMATIC ONLY.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR ELECTRICAL ENGINEERING & CORRECTLY PHASING THE CIRCUITS IN THE PANEL. ON COMPLETION OF BLD'G, CONTR. SHALL BALANCE PANEL LOAD UNDER NORMAL OPERATING CONDITIONS.
3. CONTR. SHALL VERIFY ALL DOOR SWINGS BEFORE INSTALLING LIGHT SWITCHES.
4. ALL WORK TO BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES.
5. NO HEAT/AC



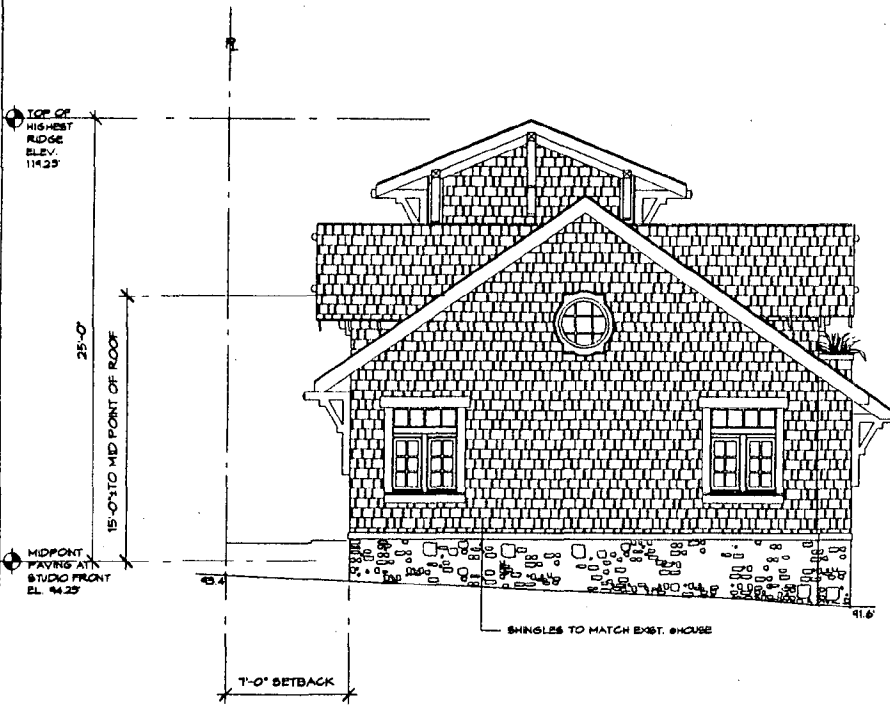
**1 FLOOR PLAN**  
 $3/32" = 1'-0"$

PROJECT	THE OFFICE OF ALEXIA N. C. LEVITE ARCHITECT
RUBENSTEIN RESIDENCE HOUSE REMODELING & STUDIO ADDITION GARAGE	3299 K STREET, N.W., SUITE 600 WASHINGTON, D.C. 20007 (202) 337-3987
A-1	HAWP APPROVAL 8/22/01

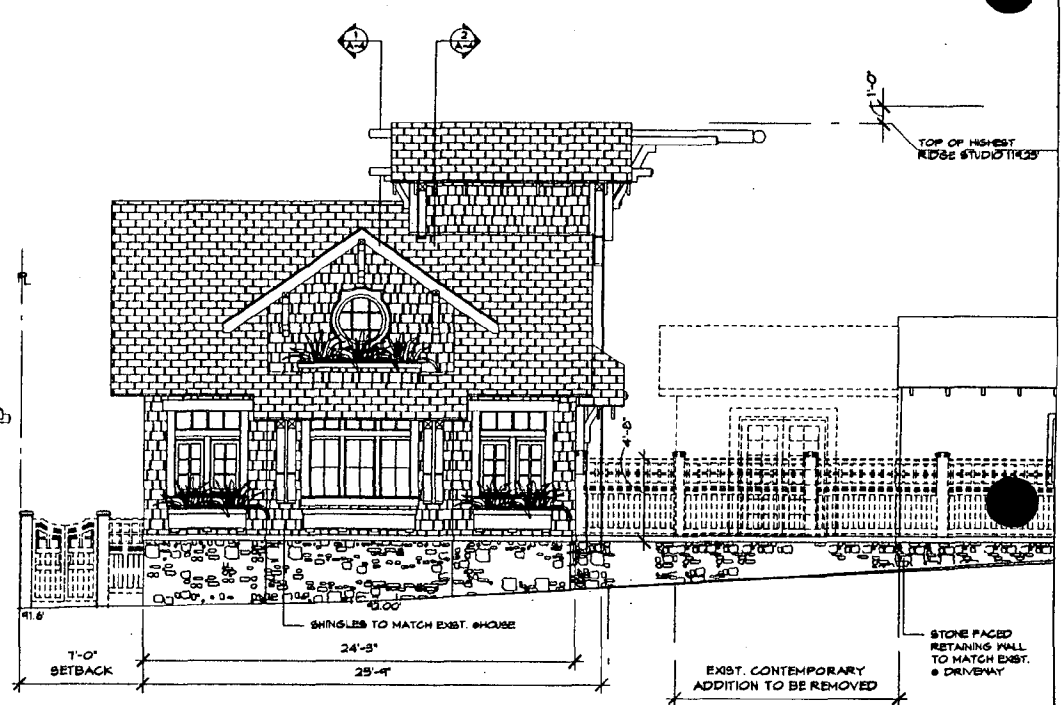
8



**1 WEST EXTERIOR SITE ELEV.**  
 $1/16" = 1'-0"$



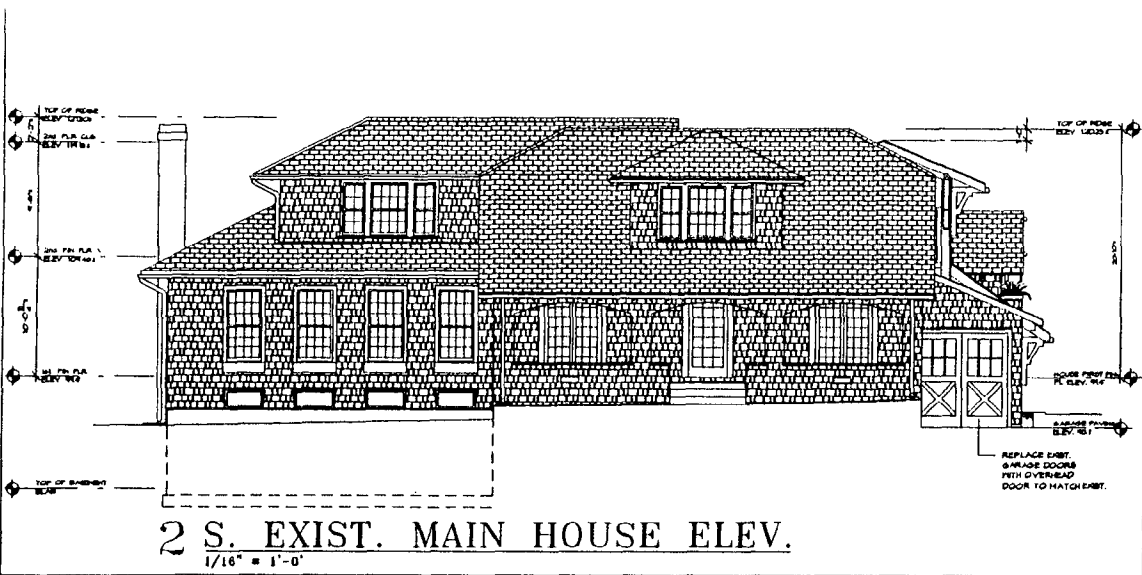
**2 N. ACCESSORY BLDG.  
 EXT. ELEV.**  
 $3/32" = 1'-0"$



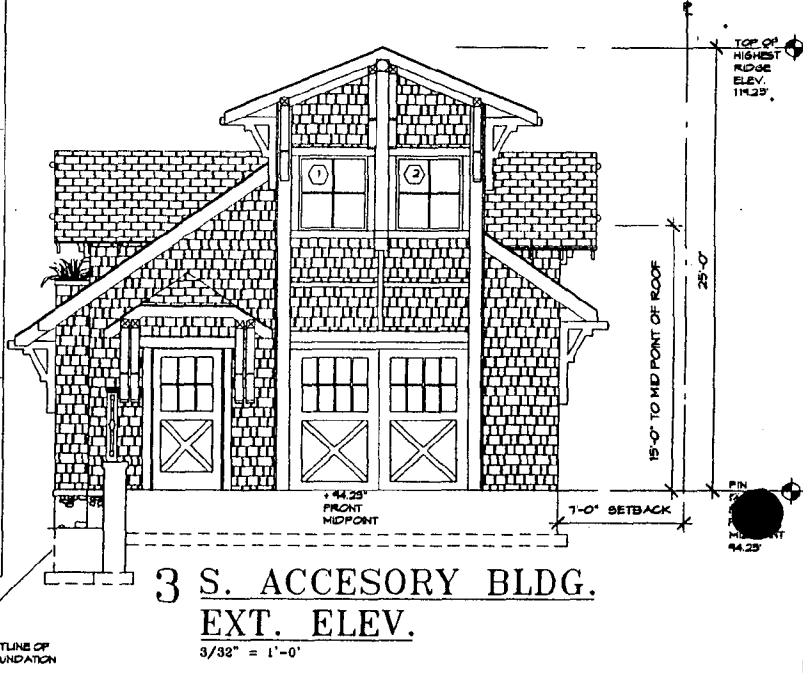
**3 W. ACCESSORY BLDG.  
 EXT. ELEV.**  
 $3/32" = 1'-0"$

PROJECT		THE OFFICE OF ALEXIA N. C. LEVITE ARCHITECT	
RUBENSTEIN RESIDENCE HOUSE REMODELING & STUDIO ADDITION GARAGE		3299 K STREET, N.W., SUITE 600 WASHINGTON, D.C. 20007 (202) 337-3967	
A-2	HAWP APPROVAL 8/22/01		

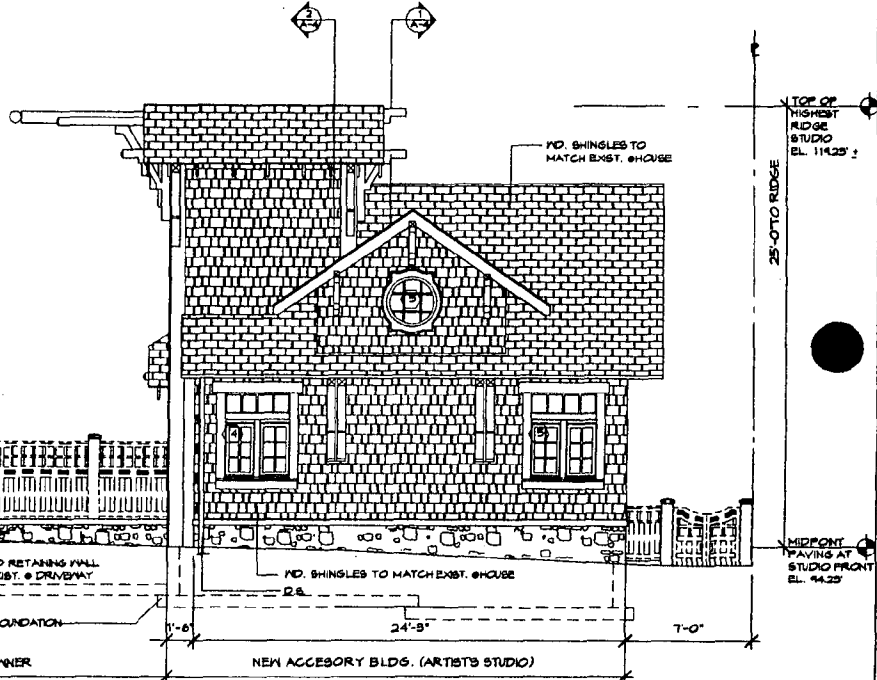
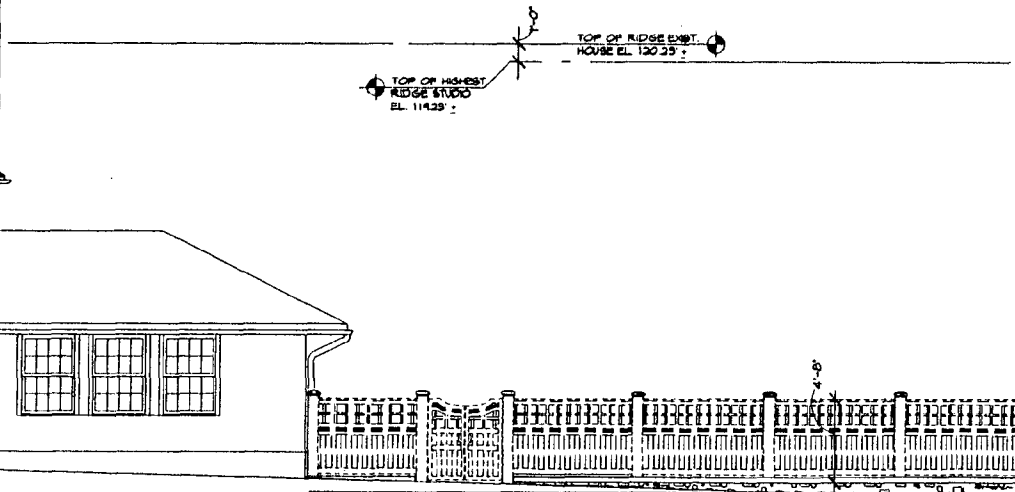
6



**2 S. EXIST. MAIN HOUSE ELEV.**  
 1/16" = 1'-0"



**3 S. ACCESORY BLDG. EXT. ELEV.**  
 3/32" = 1'-0"

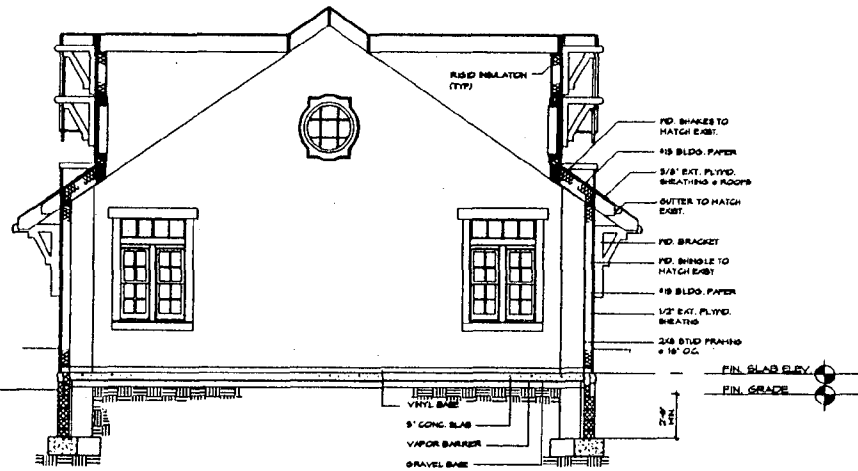


**1 E. ACCESORY BLDG. EXT. ELEV.**  
 3/32" = 1'-0"

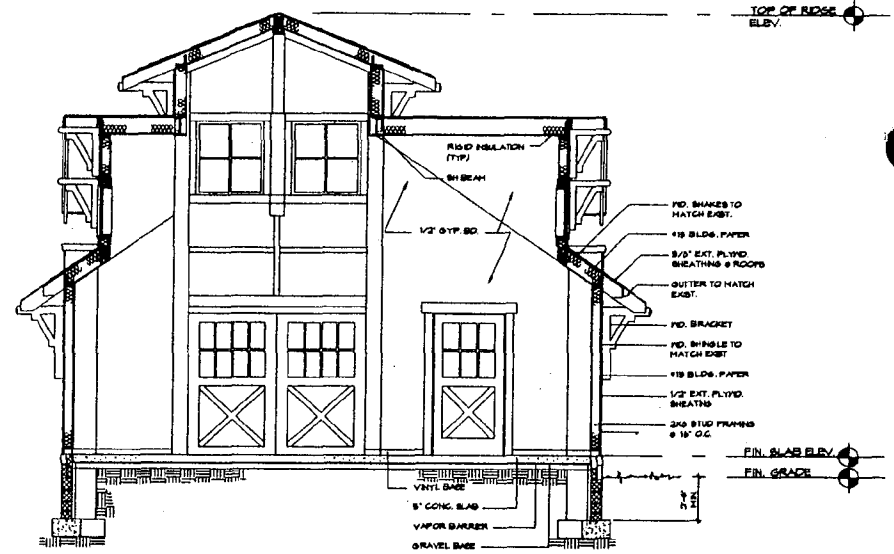
PROJECT	THE OFFICE OF ALEXIA N. C. LEVITE ARCHITECT
RUBENSTEIN RESIDENCE HOUSE REMODELING & STUDIO ADDITION GARAGE	3299 K STREET, N.W., SUITE 600 WASHINGTON, D.C. 20007 (202) 337-3987
A-3   HAWP APPROVAL 8/22/01	

STONE FACED RETAINING WALL TO MATCH EXIST. @ DRIVEWAY  
 OUTLINE OF FOUNDATION  
 NEW MD. FENCE AS SELECTED BY OWNER

10



**1 BLDG. SECTION**  
3/32" = 1'-0"



**2 BLDG. SECTION**  
3/32" = 1'-0"

PROJECT	THE OFFICE OF ALEXIA N. C. LEVITE ARCHITECT
RUBENSTEIN RESIDENCE HOUSE REMODELING & STUDIO ADDITION GARAGE	3209 K STREET, N.W., SUITE 800 WASHINGTON, D.C. 20007 (202) 337-3987
A-4	HAWP APPROVAL 8/22/01

11





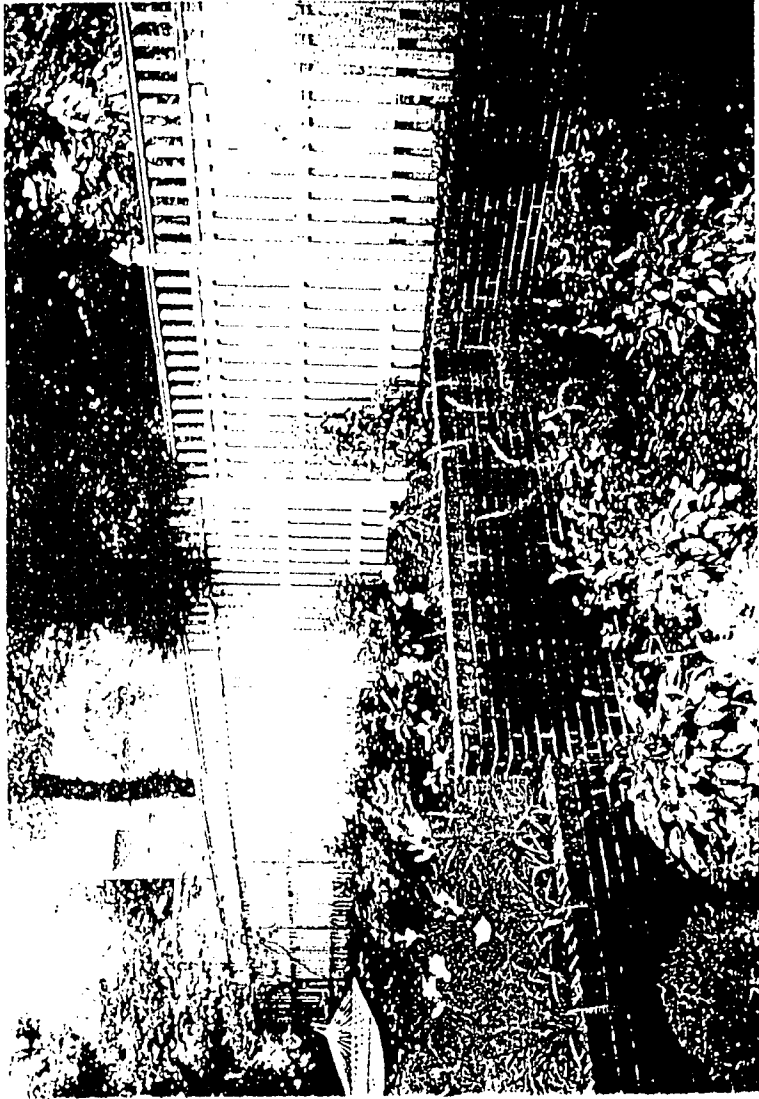


4819 Dover Ave



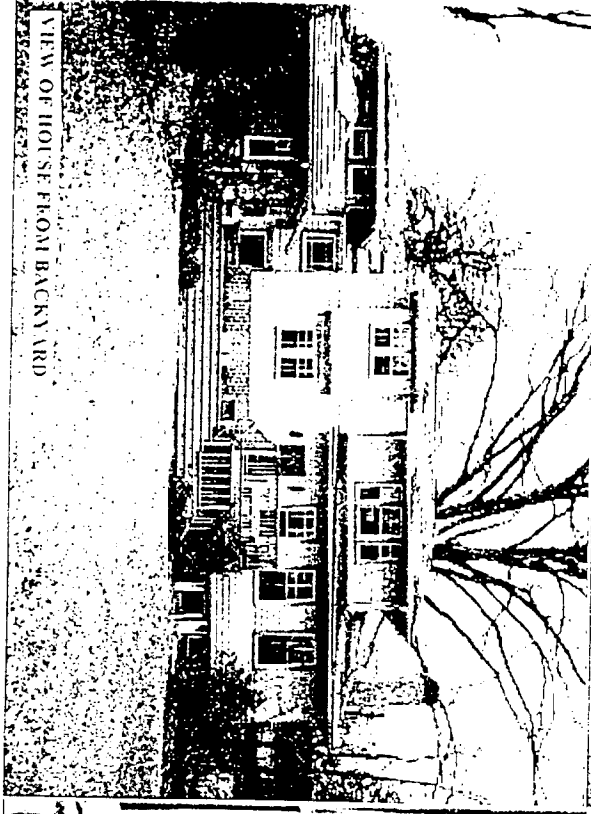
No Tunnel!  
Center

← This  
Fence  
(3' high)

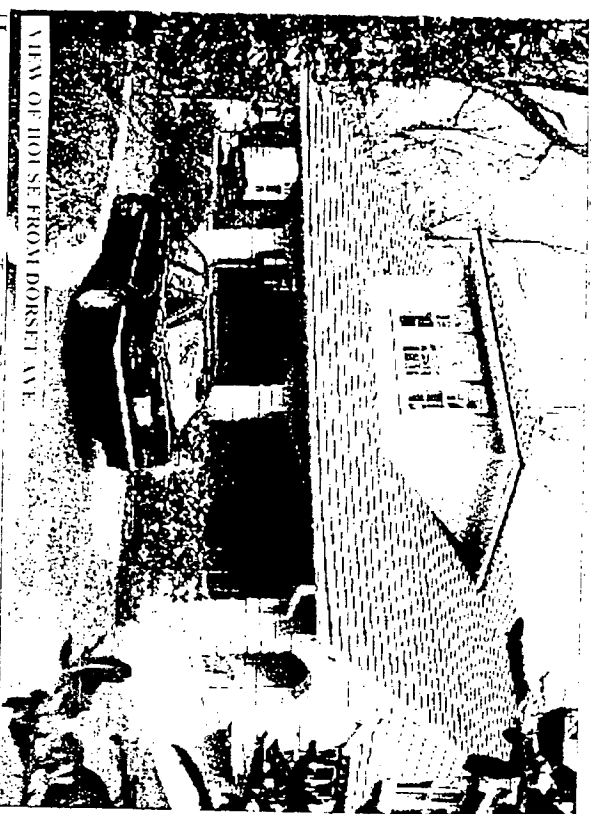


3 with top  
(1' high)  
5' spacing  
+ tight spacing

=  
total of  
4' high



VIEW OF HOUSE FROM BACKYARD



VIEW OF HOUSE FROM DORSET AVE.



VIEW OF GARAGE



VIEW OF GARAGE

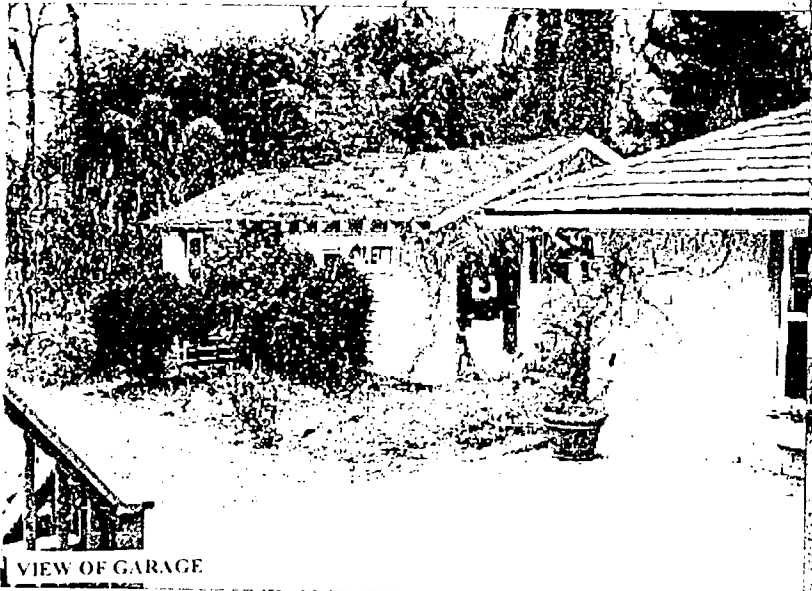
<p>THE OFFICE OF ALBERTA, N. C. LITTLE ARCHITECTS</p>		<p>1000 - 14th Street, N.W., N.W. Washington, D.C. 20004 Telephone: 202-331-1111</p>	
<p>PROJECT NO. PH-1</p>		<p>DATE: 10/15/54</p>	
<p>BY: [Signature]</p>		<p>SCALE: 1/4" = 1'-0"</p>	
<p>APPROVED: [Signature]</p>		<p>DATE: 10/15/54</p>	



VIEW OF ADDITION TO BE REMOVED AND GARAGE



AGE



VIEW OF GARAGE



VIEW OF BACKYARD FROM HOUSE

THE OFFICE OF  
ALEXIA N. C. LEVINE  
ARCHITECT

1000 K STREET, N.W., SUITE 1000  
WASHINGTON, D.C. 20004  
(202) 462-1000

PROJECT

ALBANY ASSURANCE  
WALKER CORP.

OWNER

ALBANY ASSURANCE  
WALKER CORP.  
1000 K STREET, N.W., SUITE 1000  
WASHINGTON, D.C. 20004

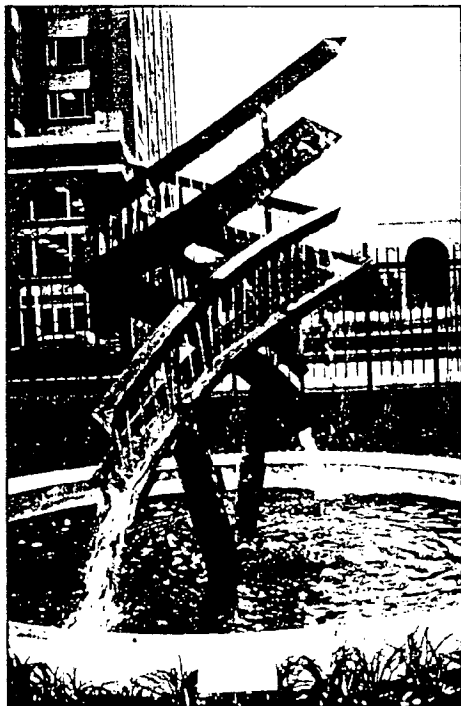
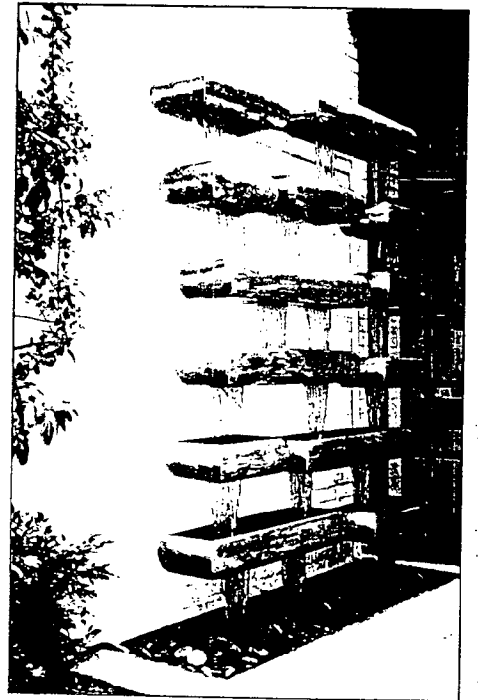
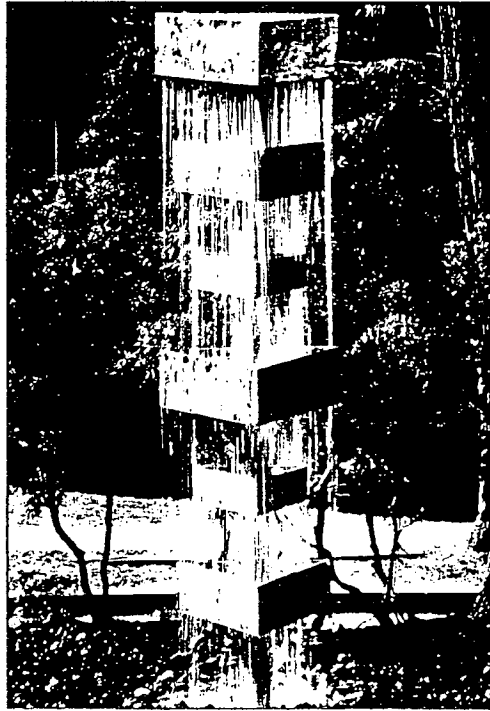
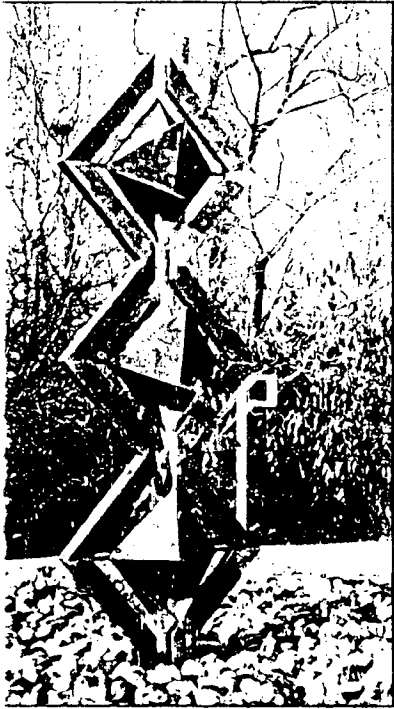
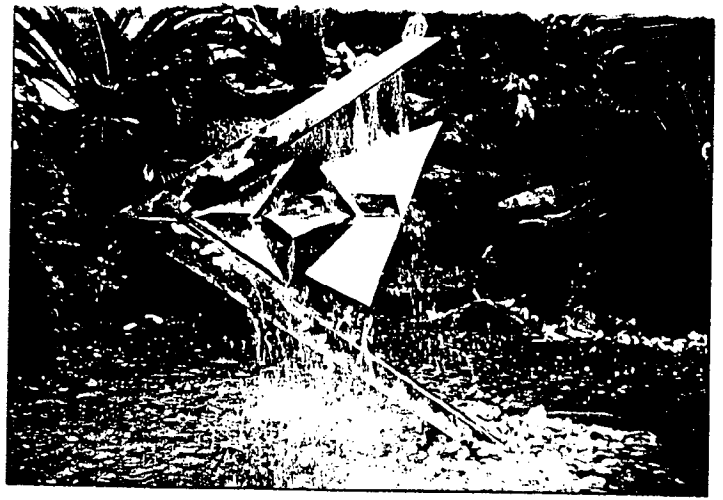
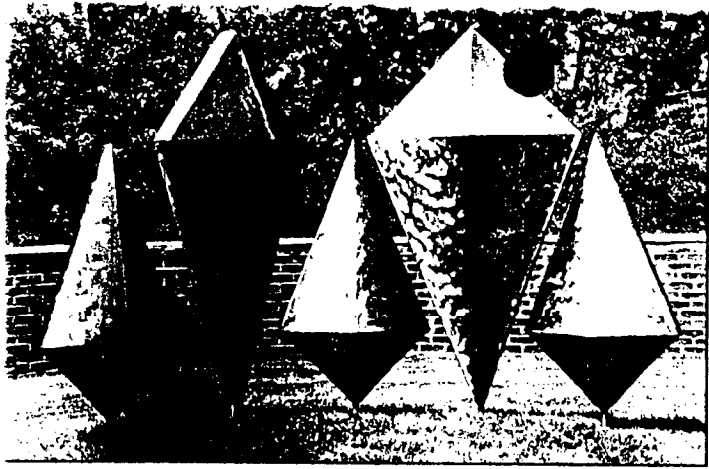
DATE PREPARED

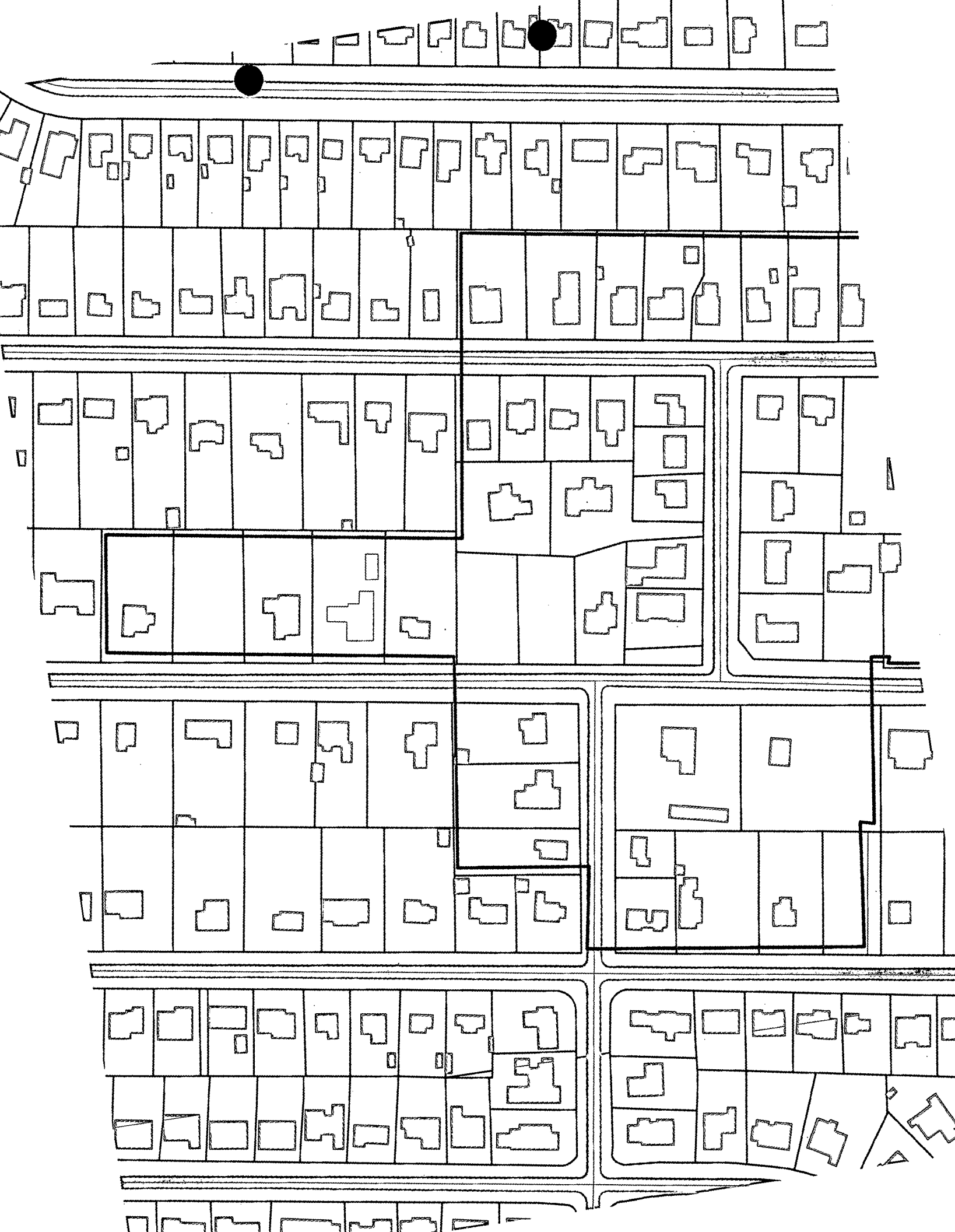
NO.	DATE	REVISION

PROJECT NO. 1000

DATE	OWNER

PH-2





NOTE :

Poplar trees on  
adjacent property

Very close to  
property line.

NOTE:

Garage doors are  
sliding. 2-doors  
per sliding panel.

---

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	4819 Dorset Avenue	Meeting Date:	8/15/01
Applicant:	Barton & Shereen Rubenstein (Agent, Alexia Levitt, AIA)	Report Date:	8/8/01
Resource:	Somerset Historic District	Public Notice:	8/1/01
Review:	PRELIMINARY CONSULTATION	Tax Credit:	Partial
Case Number:	#35/36	Staff:	Robin D. Ziek

**PROPOSAL:** Add studio building in rear yard, with fencing; alterations to garage.

**RECOMMEND:** Proceed to HAWP with revisions:

- 1) The front doors of the original garage will be repaired, and used as <sup>sliding</sup> leaf doors or they may be modified as overhead doors, with details to be worked out with staff.

---

The Town of Somerset is currently reviewing a Variance request from the applicant concerning recently revised setbacks for the Town. In their discussions, they have looked at many options including demolition of the garage. At this point, the applicant and the Town are interested in HPC input in terms of the historic preservation issues. The LAP for the Town of Somerset is the Town Council, and they will not be able to provide comments to the HPC for this Preliminary Consultation. They will take up their review of the Variance in September, and the applicants could return to the HPC for a HAWP after that. The LAP will provide comments for that application.

**RESOURCE:** Contributing Resource in the Somerset Historic District  
**STYLE:** Bungalow  
**DATE:** Early 20<sup>th</sup> c.; prior to 1916

This bungalow sits on a wide lot (103'), and the house is set 45' back from the public right-of-way. A small frame garage sits at the end of the driveway in the back yard. Some time in the recent past, a large side and rear addition was added to the house, but in such a way that the original structure retains its prominence, feel and character. At the same time, a work room addition was added to the rear of the existing garage, but not visible from the road. Other alterations on the site include a small office addition off of the corner of the house, between the house and the garage.



The front of the house has mature landscaping, and the rear yard is framed with mature trees along the west property line. Alterations at the property to the east (at 4817 Dorset Avenue) were reviewed by the HPC within the last 6 months.

### PROPOSAL

The applicant proposes to remove the existing work room from the back of the garage, to free up yard space for the construction of a new studio. A free-standing artist's studio would be built in the rear NE corner of the property (see Circle 10 ). The original garage building would be retained and repaired. The back wall, which was removed to accommodate the work room addition, will be modified with an overhead garage door to facilitate moving materials from the street into the studio and the back yard. The applicant proposes to replace the original hinged garage doors with an overhead door designed to match the appearance of the original doors.

The new studio building (measuring 27'-9" x 30') would be built in the north east corner of the lot (see Circle 12-15 ). The east wall of the new building will line up with the east wall of the existing garage (19' x 16') so that the greater width of the new studio is actually hidden behind the house and will not be apparent from the street.

The new studio has been designed as a small cottage in the back yard of this bungalow, but has been designed to meet the specific needs of the owner, who is a metal sculptor. The tower and the two-story interior space is necessary to accommodate the design and fabrication of his work (see Circle 19 ). The height of the tower was held to 1' lower than the ridgeline of the house. It will be approximately 11' higher than the existing garage and 16' behind the garage. The materials were selected to match the house and the garage. Wood shingles, stone foundation and wood windows are all proposed for the new building.

Some new fencing 4' high, interior to the lot, is also proposed in the back yard. It will have solid board for the lower portion and lattice above (see Circle 15, 16 ), and is designed to separate the driveway and associated work/storage buildings, from the back yard area. The existing lot coverage is approximately 17% and the new construction will diminish that to 19%.

### STAFF DISCUSSION

This site has seen a number of alterations already. But in each case, the work has been at the rear of the property, minimizing its effect on the overall district. This proposal, too, is at the rear of the property and will have minimal visibility from the public right-of-way. The small studio has been designed as a compatible element on the site, using materials and scale of the original house as a starting point. The placement of the studio behind the garage will also minimize the impact of the new studio on the district and it will be 157' away from the front property line (see Circle 10 ). While elements of the studio will be visible from the street (see Circle 15 ; elevation from the street, including the house, garage and studio), perspective will limit the impact.

Staff feels that the new studio proposal is compatible new construction. Staff has concerns, however, with the proposal to remove the original garage doors and replicate them with new overhead doors. The existing doors do need some repair work, but staff had discussed another option with the applicant's agent where the original doors might be retained and modified to function as overhead doors. Staff feels that this would be the preferred option since the doors exist. In this case, the applicant would not be doing something compatible, but would be saving original material.

### **STAFF RECOMMENDATION**

The applicant should proceed to the HAWP after issues concerning setback and variances are resolved with the Town. This HAWP application should also reflect some revisions, including the following:

- 1) The front doors of the original garage will be repaired, and used as <sup>sliding</sup> leaf doors or to be modified as overhead doors, with details to be worked out with staff.

THE OFFICE OF  
ALEXIA N. C. LEVITE  
ARCHITECT

July 24, 2001

Ms. Robin Ziek  
Historic Preservation Planner  
Montgomery County Department  
of Preservation & Planning  
8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

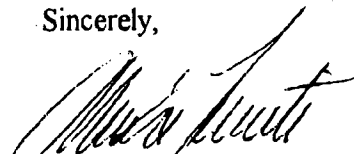
Re: Rubenstein Residence 4819 Dorset Avenue

Dear Ms. Ziek:

Please place the referenced project on the docket for the Historic Preservation Commission meeting to be held on August 15, 2001 as a request for preliminary consultation.

Please feel free to contact me if you would like to discuss any aspect of the project.

Sincerely,

  
Alexia N. C. Levite

cc: Mr. & Mrs. Barton Rubenstein  
Ms. Patricia A. Harris



DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 2  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Alexia Levite

Daytime Phone No.: (202) 337-3987

Tax Account No.: 00538570

Name of Property Owner: Barton and Shereen Rubenstein Daytime Phone No.: (301) 654-3838

Address: 4003 Underwood Street Chevy Chase, MD 20815  
Street Number City Street Zip Code

Contractor: Lawrence Cafritz Builders Phone No.: (301) 657-3900

Contractor Registration No.: 49375

Agent for Owner: The Office of Alexia N. C. Levite Daytime Phone No.: (202) 337-3987

**LOCATION OF BUILDING/PREMISE**

House Number: 4819 Street: Dorset Avenue

Town/City: Somerset Heights Nearest Cross Street: Little Falls Parkway

Lot: 18 Block: 2 Subdivision: \_\_\_\_\_

Liber.: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed
- Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family
- Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 200,000.00 +/-

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height varies \*feet \_\_\_\_\_ inches \* 8" - 2' - 6" above grade

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Alexia Levite  
Signature of owner or authorized agent

6/20/01  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Application/Permit No.: 251621 Date Filed: 6/22/01 Date Issued: \_\_\_\_\_

4819 DORSET AVENUE  
SOMERSET HEIGHTS, MONTGOMERY COUNTY, MD

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

1. Larry and B. R. Hoover  
4822 Cumberland Street  
Chevy Chase, MD 20815
2. Everett Johnson and Judith Brocies  
4820 Cumberland Street  
Chevy Chase, MD 20815
3. Frances Row  
(4818 Cumberland Street)  
(Chevy Chase, MD 20815)
4. Rod and J. B. Macklin  
4817 Dorset Avenue  
Chevy Chase, MD 20815
5. Herbert and J. K. Beller  
4816 Dorset Avenue  
Chevy Chase, MD 20815
6. Paul and Selma Chodoff  
4820 Dorset Avenue  
Chevy Chase, MD 20815
7. David and G. Schwartz  
4822 Dorset Avenue  
Chevy Chase, MD 20815
8. John Stewart and Sharon Stolaroff  
4823 Dorset Avenue  
Chevy Chase, MD 20815

mail to : Frederick M. Row 787 Stage Coach  
Santa Fe, N.H. 87501 Circle  
(505) 983-4319 Phone & FAX

4819 DORSET AVENUE  
SOMERSET HEIGHTS, MONTGOMERY COUNTY, MD

1. DESCRIPTION OF PROJECT

a. **Description of existing structures and environmental setting, including their historical features and significance:**

The property located at 4819 Dorset Avenue currently includes an existing house constructed prior to 1916, which possesses characteristics typical of a shingle style house such as shingle covered columns at the front porch, wall and roof cladding of continuous wood shingles, and shingled walls without interruption at the corners. The roof configuration of the house, side-gabled roof, is consistent as one of the principal subtypes of a shingle style house. This house can also be classified as a bungalow style house due to its long low pitched side gabled two-story roof with its centered dormer, and full width front porch. In addition, the roof possesses exposed rafters and craftsman style brackets at the roof eaves.

Also located on the property is a garage which has been modified from its original condition by a contemporary addition. The garage roof is presently asphalt shingled and also has exposed rafters.

The property is approximately 19,712 SF in area, with a large open backyard and planting beds around the perimeter.

b. **General description of project and its affect on the historical resources, the environmental setting, and the historic district:**

- **House:** The existing house will remain as is without modification (no work planned to exterior).
- **Garage:** The previously constructed contemporary addition to the existing garage is planned to be demolished. The existing garage doors facing the street would be replaced with an overhead garage door, the appearance of which will match the existing. On the north side of the garage, where the addition is to be removed, the exterior garage wall will be restored with wood shingles to match the existing, and an overhead garage door will be installed that will match the appearance of the existing garage doors which presently face the street.
- **New Accessory Building:** A new accessory building to house an artist's studio is planned in the north east corner of the site. The south face of the building exterior wall will be located approximately 157.3 feet back from the front property line making it barely visible from the street. This new building will align with the

4819 Dorset Avenue  
Description of Project  
Page Two

existing garage on the east side and be built up to the edge of the existing planting bed on the west side. The design of the building is compatible with the other buildings on the site, incorporating the building volume under long sloping roofs, and will be clad with materials to match those buildings.

The distances established for the new accessory building from the rear and side lot lines are in accordance with the zoning code regulations with the measuring points taken to the midpoints of the sloping roofs as established by the front elevation of the building facing the street, the tallest ridge not exceeding 25 feet in height.

- **Lot Coverage:** The zoning code permits the building footprints to cover 35% of the lot area or 6900 SF. Currently, the existing buildings cover 3,316 SF or 17% of the lot area. With the demolition of the existing addition to the garage (approximately 250 SF) and the construction of the newly planned accessory building (700 SF), the proposed buildings (new and existing) will cover 3,760 SF or 19% of the lot area. The proposed building coverage of the lot will remain substantially lower than that permitted by the zoning code, and barely increased from what presently exists on the lot.
- **Effect on Environmental Setting:** There will be very little effect on the environmental setting. The view of the property from Dorset Avenue will remain virtually unchanged with the exception being the ridge of the studio roof may be visible in the distance of 157.3' back from the front property line. The existing grassed open area of the back yard will remain as is, the construction will not encroach on this area. All trees of 6 inches in diameter or greater which presently exist on the site will remain.

4819 DORSET AVEANUE  
SOMERSET HEIGHTS  
MONTGOMERY COUNTY, MD

4. **MATERIALS SPECIFICATIONS**

**NEW ACCESSORY BUILDING**

- Exterior Siding: Wood shingles to match house.
- Roofing: Wood shingles to match house
- Windows: Double hung, wood with divided lites.
- Downspouts and gutters: Prefinished aluminum to match existing on house.

**EXISTING GARAGE**

- Replace existing doors with overhead door, wood, to match existing door appearance.
- Existing wood shingles to remain. Siding on north wall of garage to be wood to match existing siding on garage.

**EXISTING HOUSE:** No change, existing to remain as is.

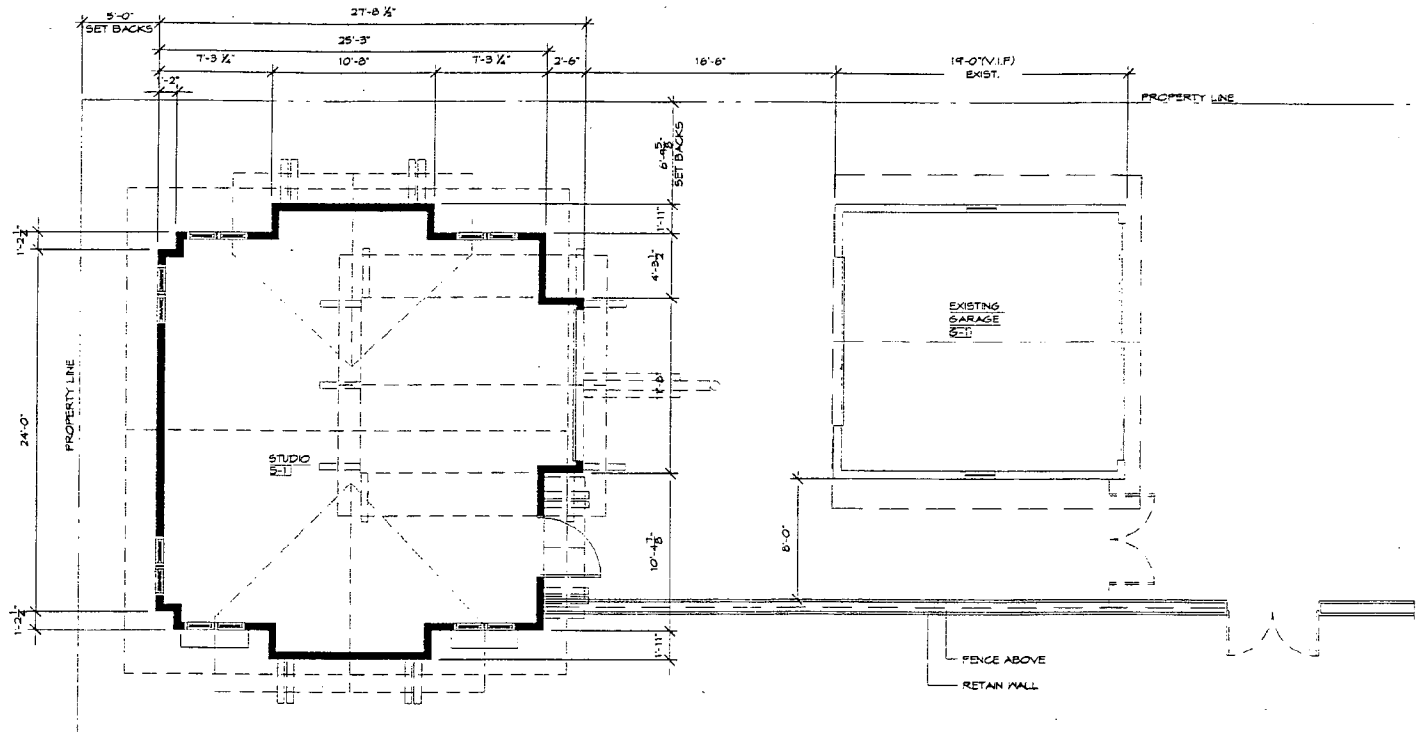
**RETAINING WALL WITH FENCE:**

- Stone faced retaining wall to match existing along driveway.
- Wood fence - see attached.





11



2 STUDIO FLOOR PLAN

THE OWNER OF  
 ALEXIA N. C. LEVITZ  
 ARCHITECT

ONE E. BERRY, S.F., CALIF. 94102  
 ARCHITECTS, P.C. (S.F.)  
 (S.F.) 847-8877

PROJECT

ELMENTER RESIDENCE  
 HOUSE RENOVATION  
 &  
 STUDIO ADJUNCTION GARAGE

OWNER

BARTON & SHEREN  
 8 BENTLEY  
 401 LINEWOOD STREET  
 COLUCCI, CALIF. 94131

REVISIONS

NO.	DESCRIPTION	DATE

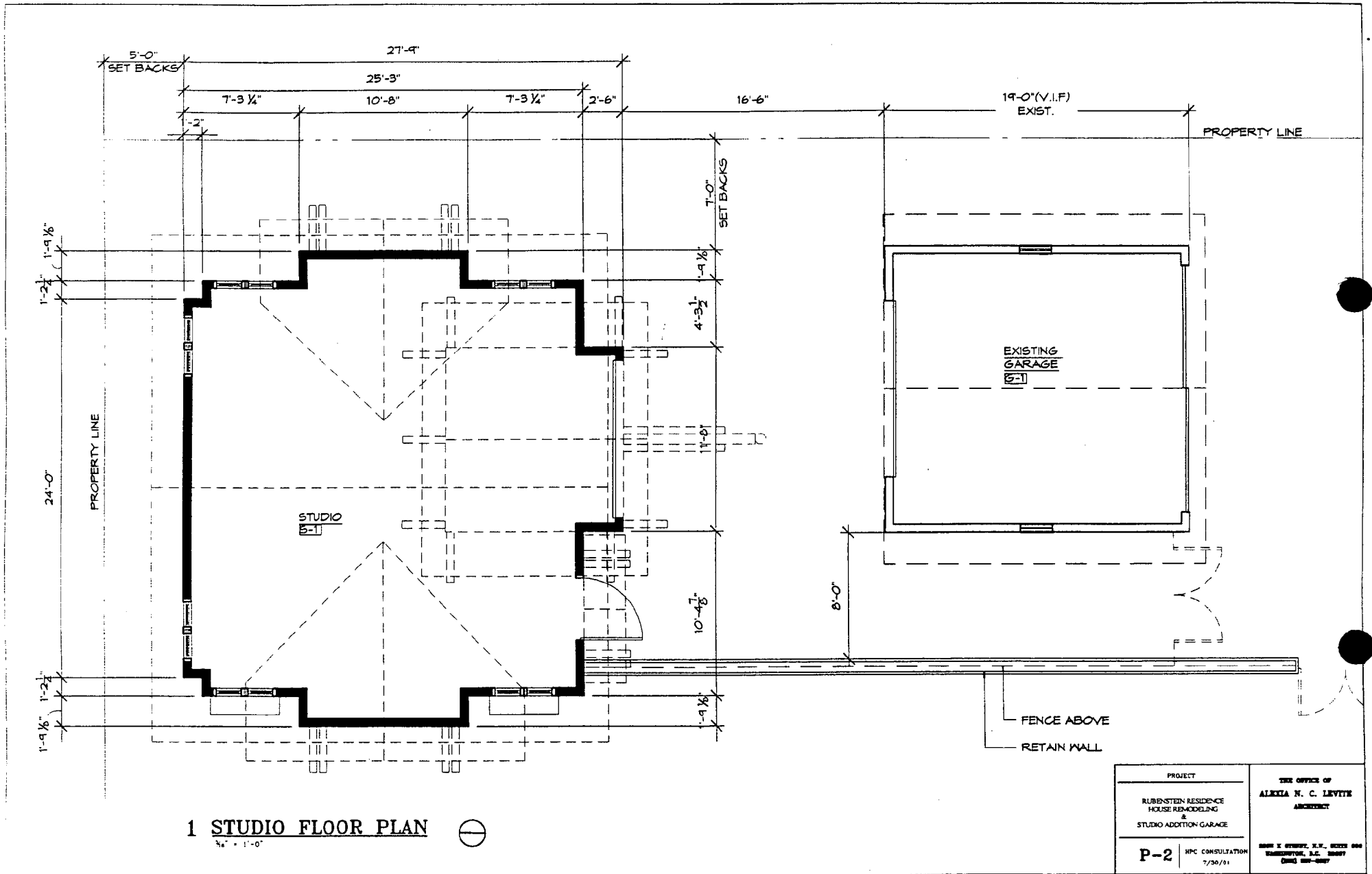
PROJECT NO. 8948

DATE	BY	CHECKED

STUDIO PLAN

P-2

Early



**1 STUDIO FLOOR PLAN**

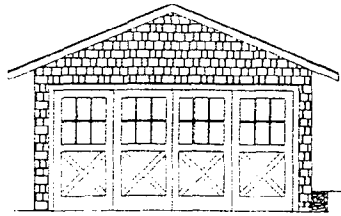
1/4" = 1'-0"



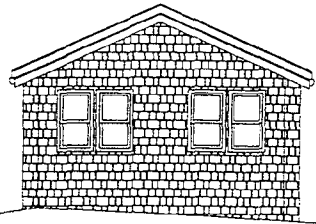
PROJECT		THE OFFICE OF	
RUBENSTEIN RESIDENCE HOUSE REMODELING & STUDIO ADDITION GARAGE		ALEXIA N. C. LEVITE ARCHITECT	
P-2	NPC CONSULTATION 7/30/01	BRIAN K. GIBSON, P.E., LICENSED ENGINEER TAMPA, FLORIDA (813) 989-0887	

12

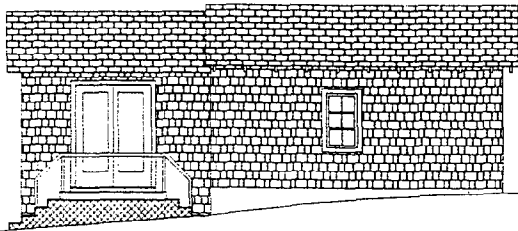
7/31/01



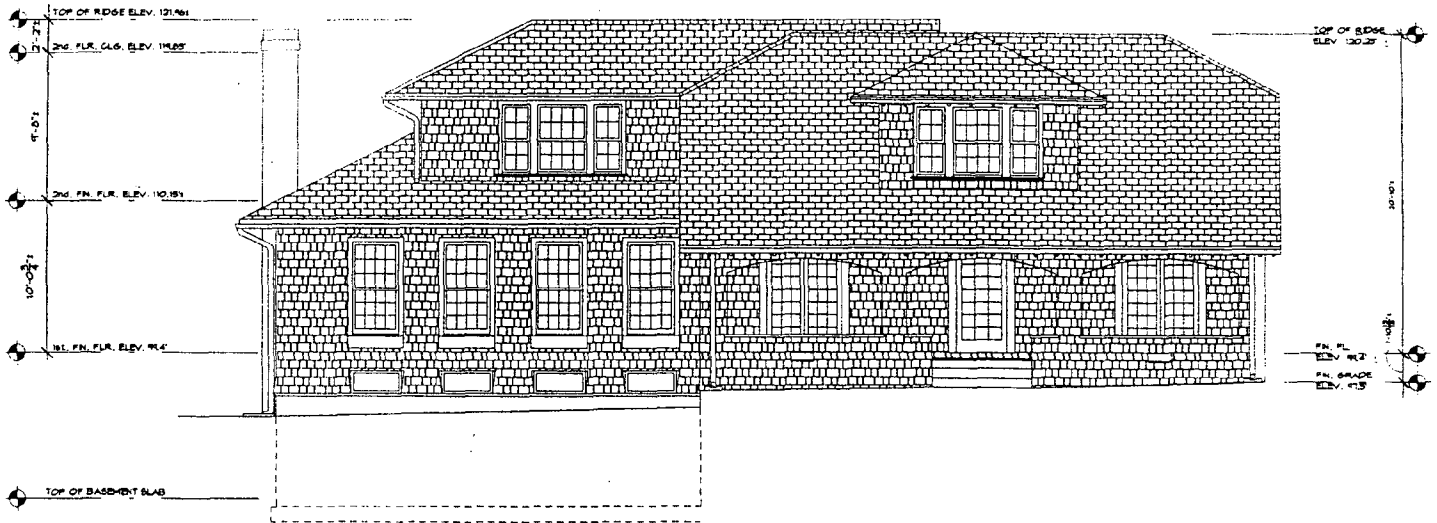
1 S. EXIST. GARAGE ELEV.  
N. GARAGE ELEV.  
1/8" = 1'-0"



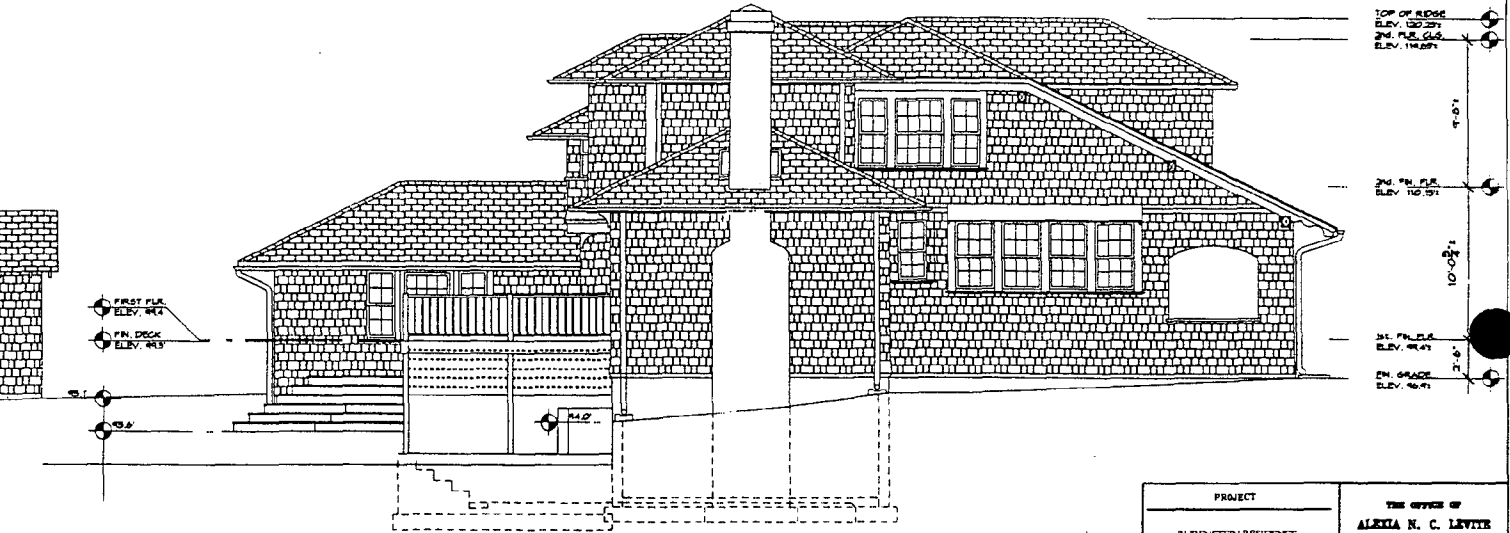
3 N. EXIST. ADDITION ELEV.  
1/8" = 1'-0"



4 W. EXIST. GARAGE ELEV.  
1/8" = 1'-0"



2 S. EXIST. MAIN HOUSE ELEV.  
1/8" = 1'-0"

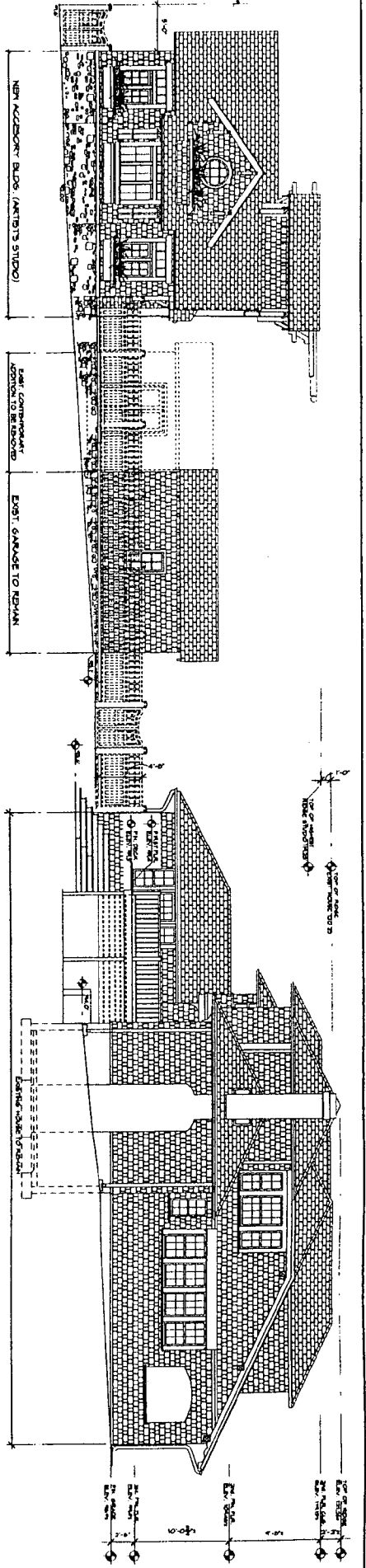


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1/8" = 1'-0"

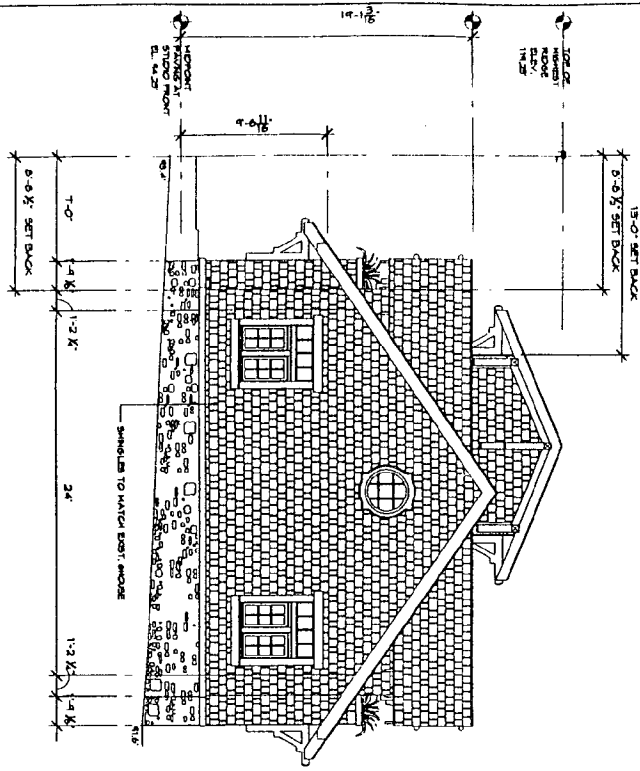
PROJECT		THE OFFICE OF	
RUBENSTEIN RESIDENCE HOUSE REMODELING & STUDIO ADDITION GARAGE		ALEXIA N. C. LEVITT ARCHITECT	
E-1	RPC CONSULTATION 7/26/01	BOB E. WENDEL, P.L.C., WITH NEW VIRGINIAVILLE, N.C. 28909 (800) 897-8987	

13

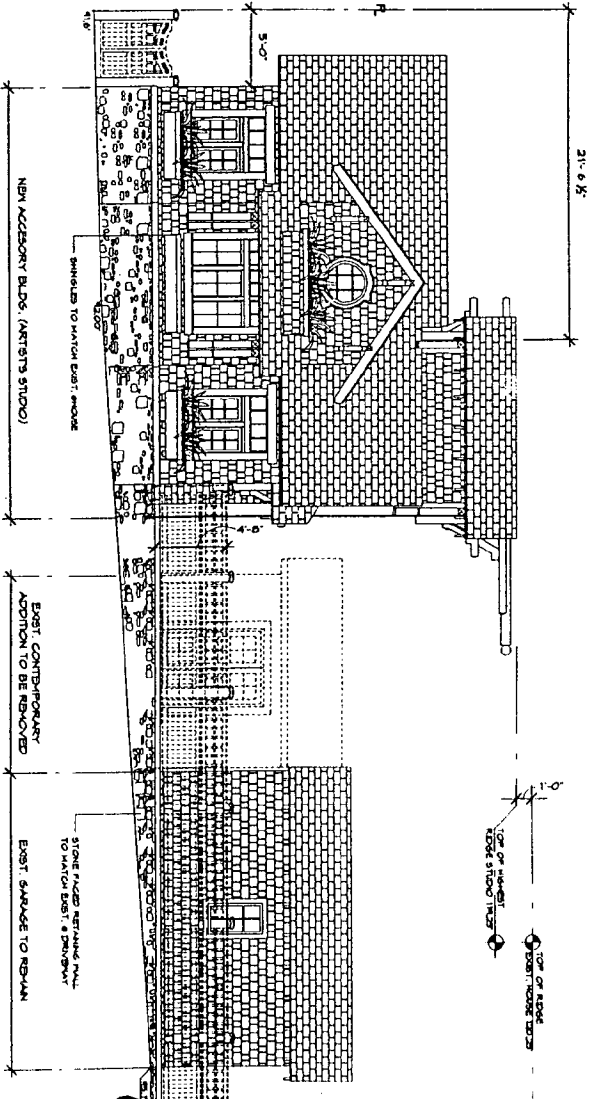
EXISTING



1 SITE - WEST EXTERIOR ELEVATION



2 N. STUDIO EXTERIOR ELEV.

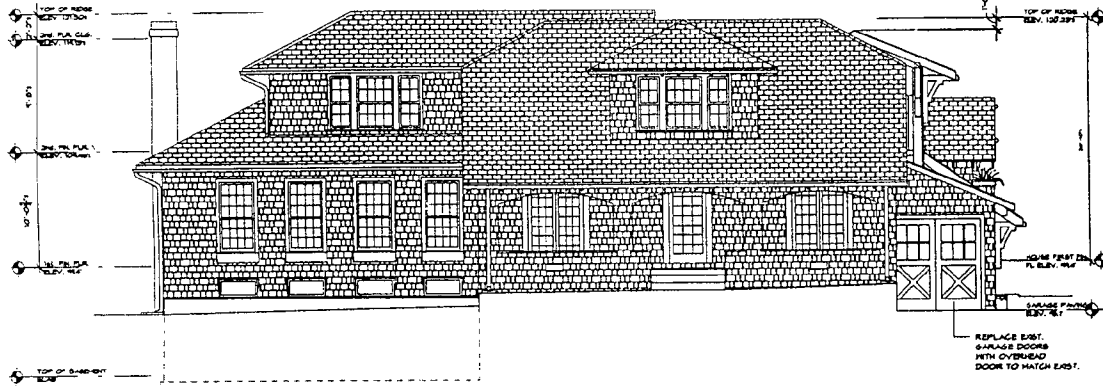


3 W. STUDIO EXTERIOR ELEV.

PROJECT	RESIDENTIAL RESIDENCE HOUSE REBACKSLAND STUDIO ADDITION/GARAGE
DESIGNER	ALBERTA N. C. LEVITT ARCHITECT
DATE	7/20/01

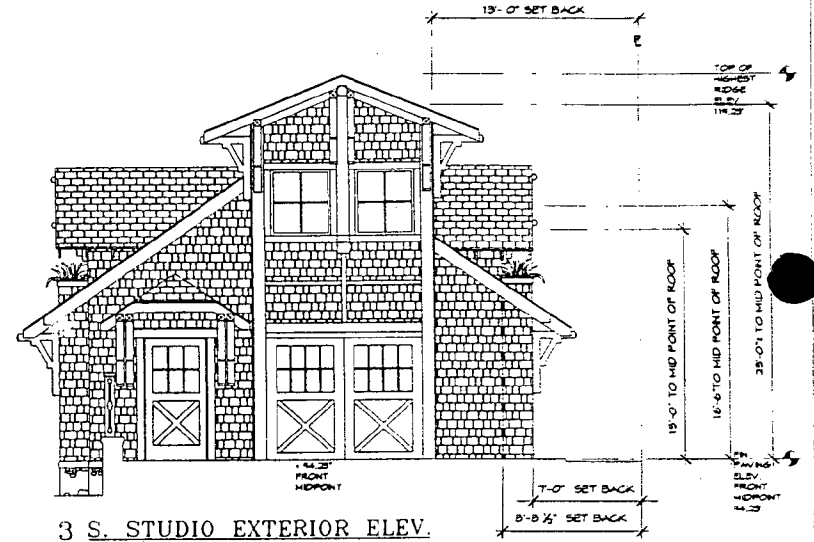
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Proposed

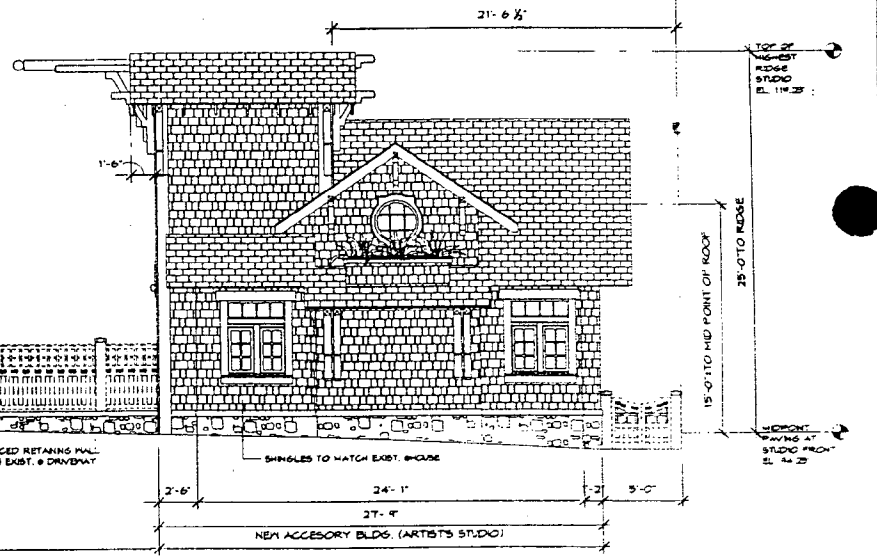
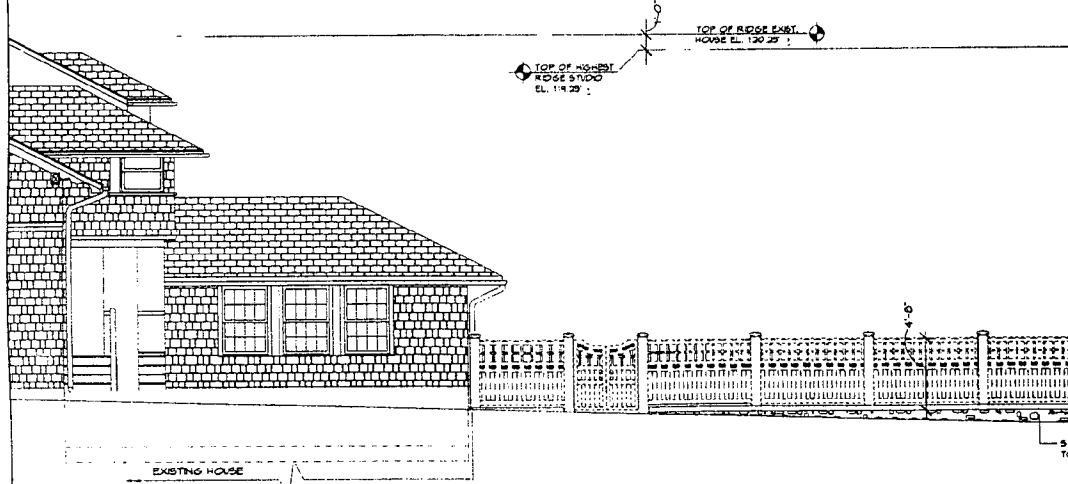


2 S. EXIST. MAIN HOUSE ELEV.

VIEW FROM STREET



3 S. STUDIO EXTERIOR ELEV.



1 E. STUDIO EXTERIOR ELEV.

PROJECT  
 ALDENSTEN RESIDENCE  
 HOUSE REMODELING  
 &  
 STUDIO ADDITION GARAGE

THE OFFICE OF  
 ALEXIA N. C. LEVITS  
 ARCHITECT

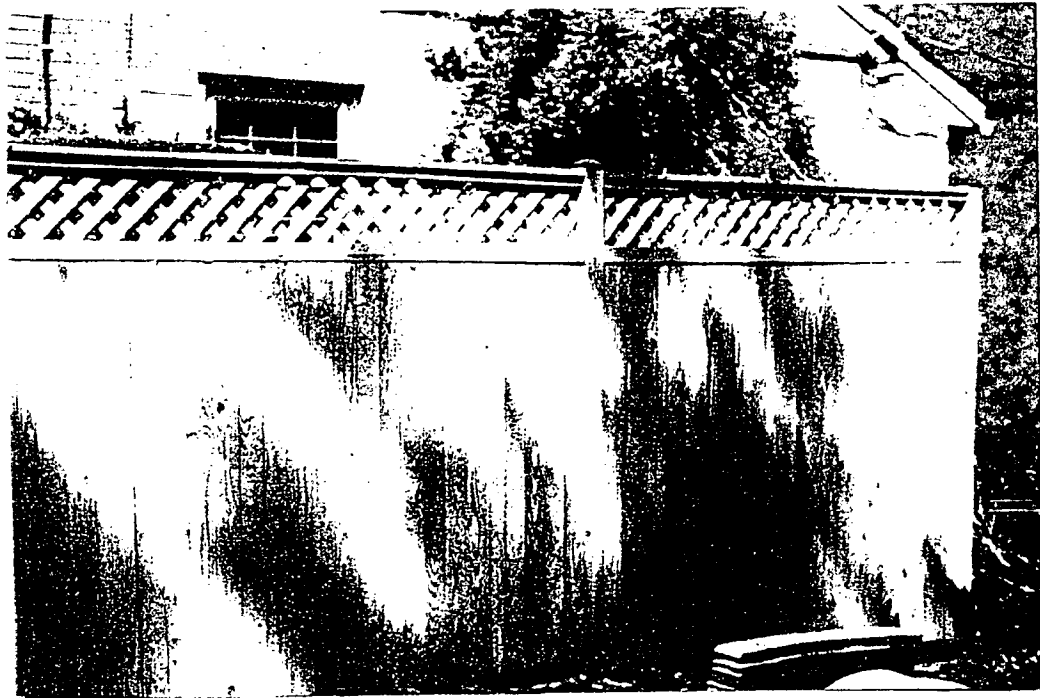
1100 E. VENTURE, S.W., SUITE 200  
 WASHINGTON, D.C. 20007  
 (800) 287-2887

P-4 RPC CONSULTATION  
 7/20/2011

PROPOSED

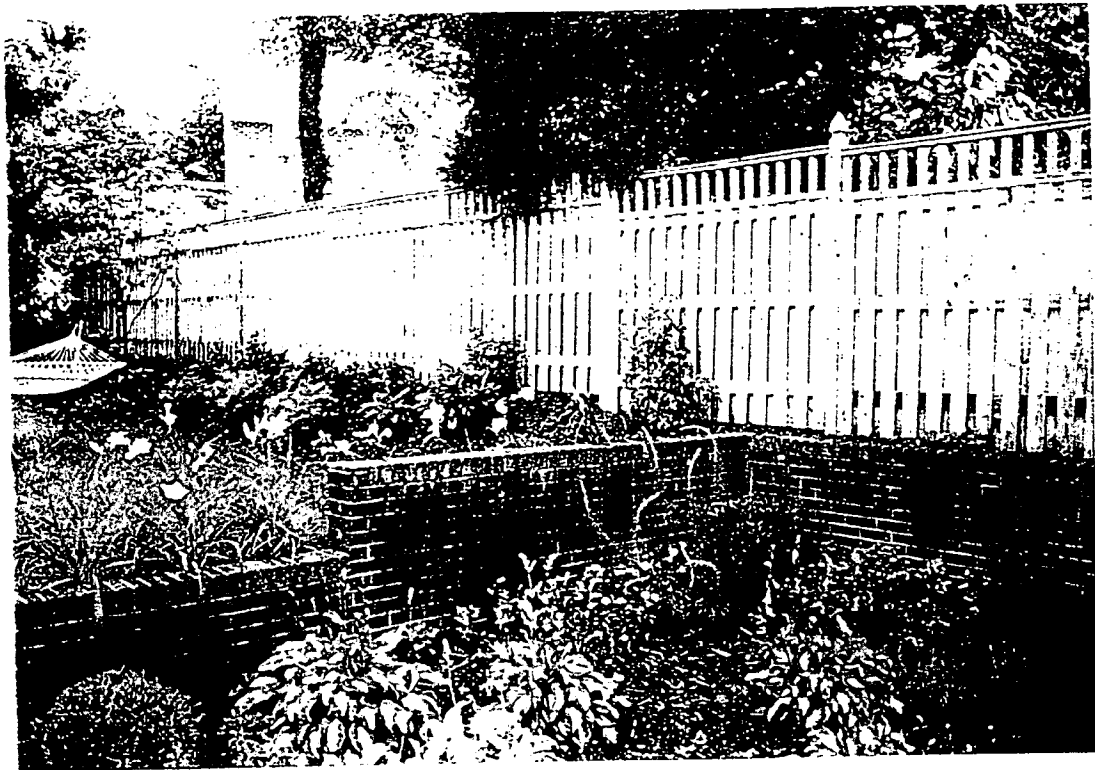
151

4819 Dorset Ave



Natural Cedar

← This Fence (3' high)

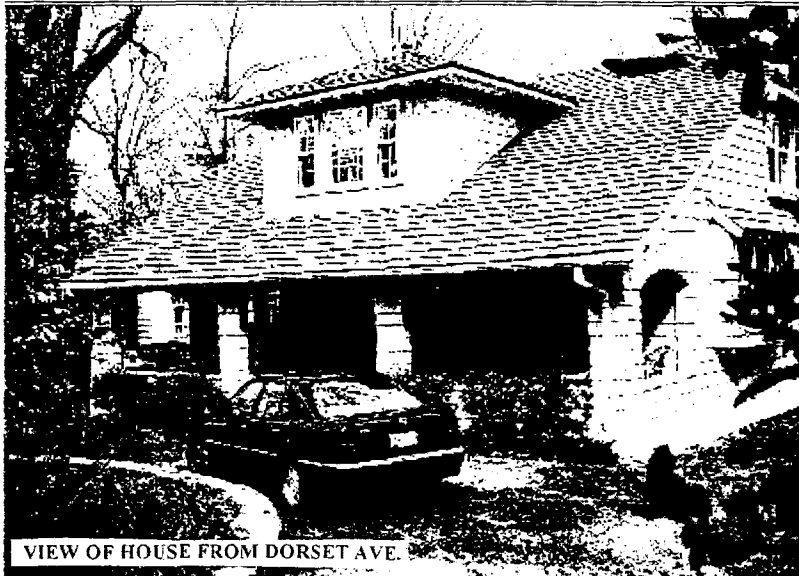


3 with cap top (1' high) 5 in a more tightly space

= total of 4' high

City Fence

37-523-1968



VIEW OF HOUSE FROM DORSET AVE.



VIEW OF GARAGE



VIEW OF HOUSE FROM BACKYARD



VIEW OF GARAGE

THE OFFICE OF  
ALEXIA N. C. LEVINE  
ARCHITECT

1000 N. HUNTER, S.W., WASHINGTON, D.C. 20003  
(202) 785-2000

PROJECT

RESIDENTS' REFERENCE  
HOUSE & GARAGE  
11200 N. DORSET GARAGE

BARTON & SMITH  
ARCHITECTS  
1001 UNDERWOOD STREET  
CHEVY CHASE, MD 20815

DATE PREPARED: 11/11/11

NO.	DATE	REVISION

PROJECT NO. 1111

DATE	BY	DATE	BY

PICTURES PH-1

17



THE OFFICE OF  
ALEXIA N. C. LEVINE  
ARCHITECT

300 S. HENRI, S.F., CALIF. 94107  
TELEPHONE: 415. 774. 1100  
(415) 774-5007

PERMIT

ALBANY RESIDENCE  
14200 ADDITION GARAGE

OWNER

BARBARA A. WHEAT  
ALBANY TENN  
4800 WILLOW STREET  
EVANSVILLE, IND 47711

DATE PREPARED BY

NO.	DATE	BY

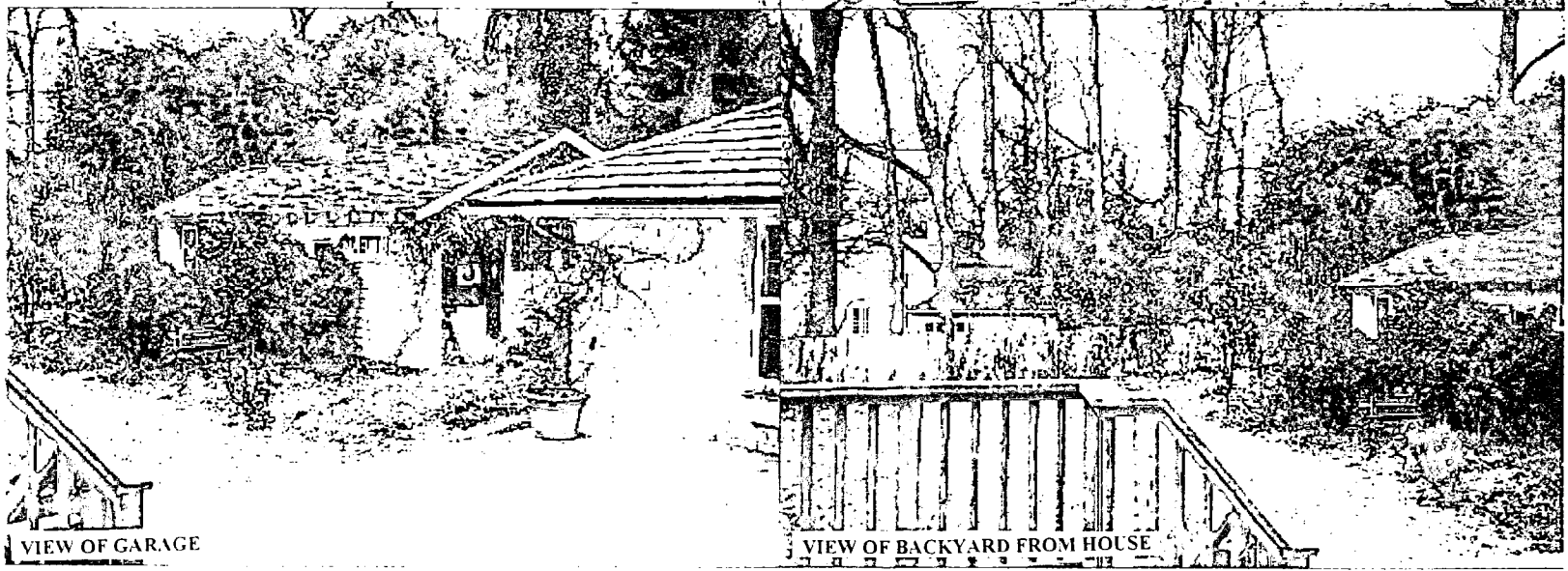
PERMIT NO. 0000

DATE	REVISION

PICTURES PH-2



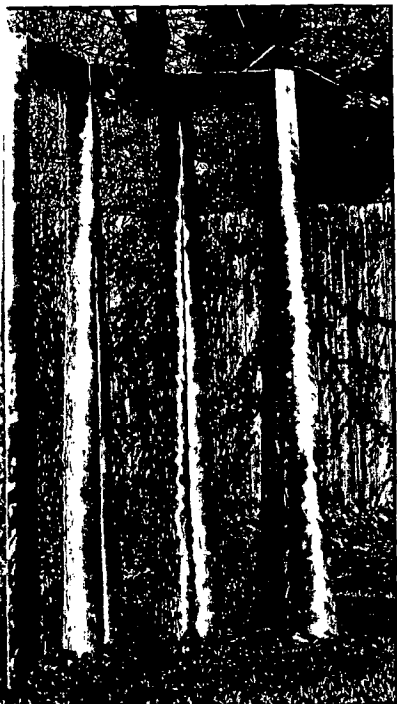
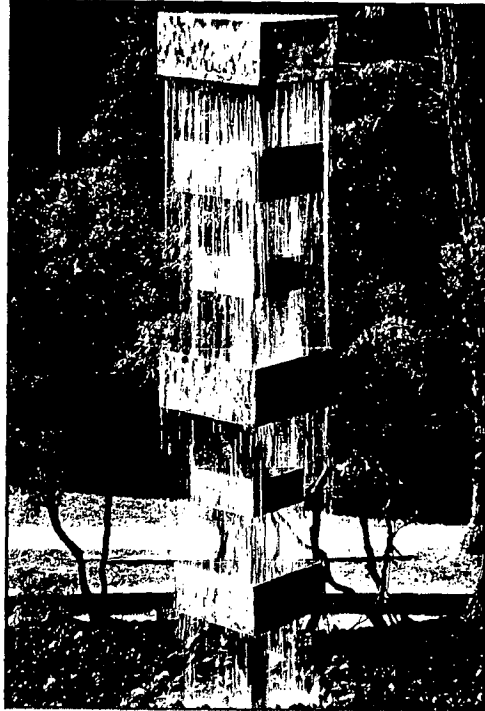
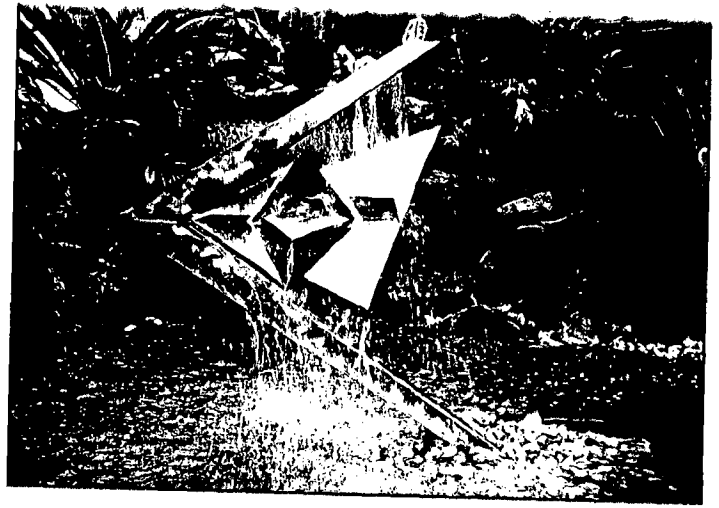
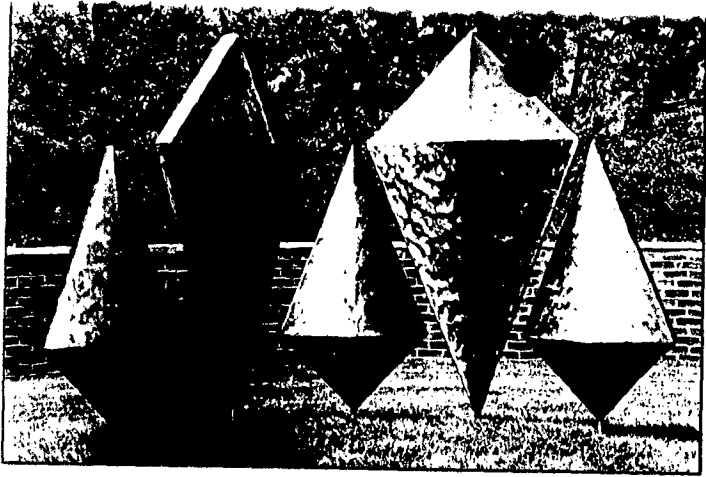
VIEW OF ADDITION TO BE REMOVED AND GARAGE



VIEW OF GARAGE

VIEW OF BACKYARD FROM HOUSE

15



Send ~~copy~~  
of the  
8115 transcripts

Aug. 15, 2001

4819 Dorset Ave  
Somerset H.D.

Trees may be 20' away from property line - but  
needs to be looked at closer -

Include arc view plan of adjacent b

HPC going building critique.

Kon likes it - height a little concern - she likes the  
string

Lynne thinks tower detailing fussy

worried about  
neighbors!

MC allows 25' height

Precedence: - look at lot coverage.

Steve - look at design of house relative to the new Studio -  
may give opportunities for design clarification -  
smaller scale.

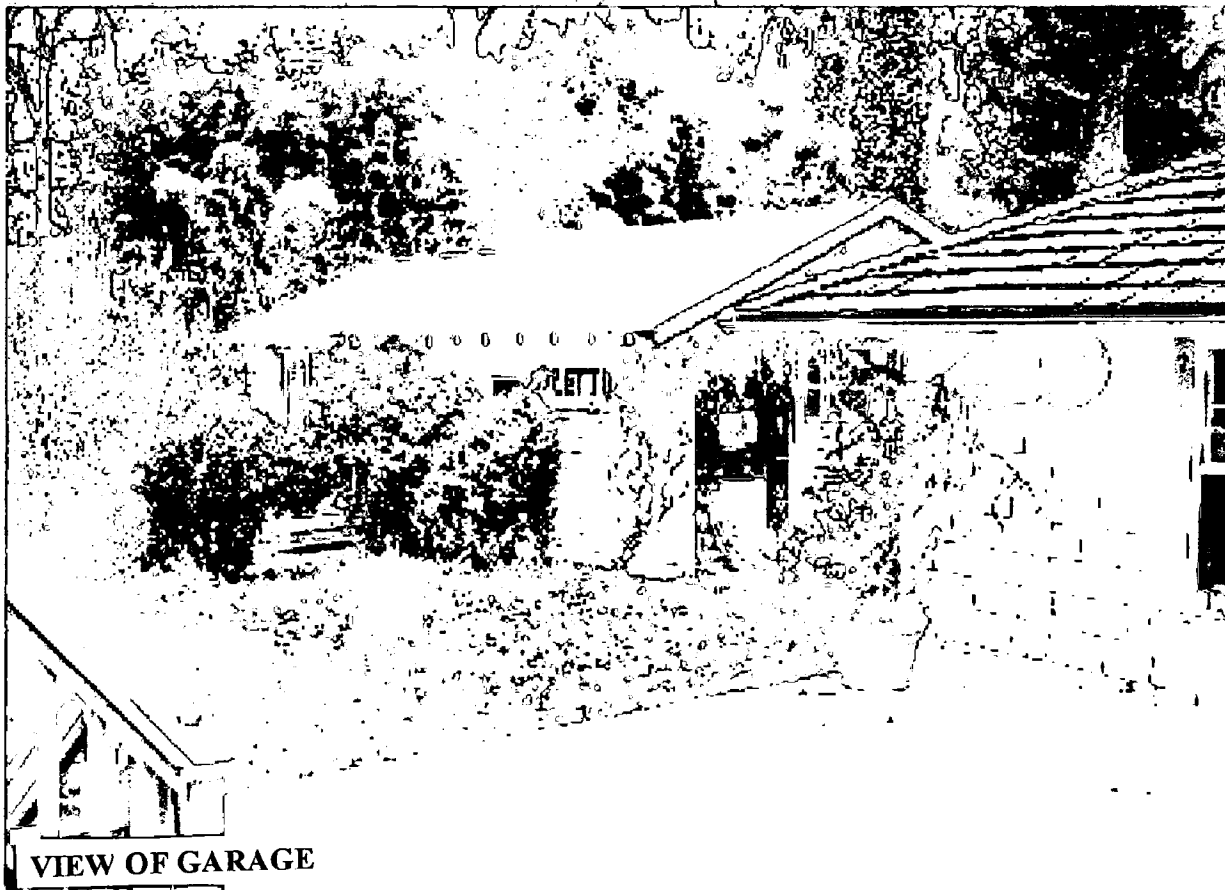
HPC would approve - but wants some tweaking.



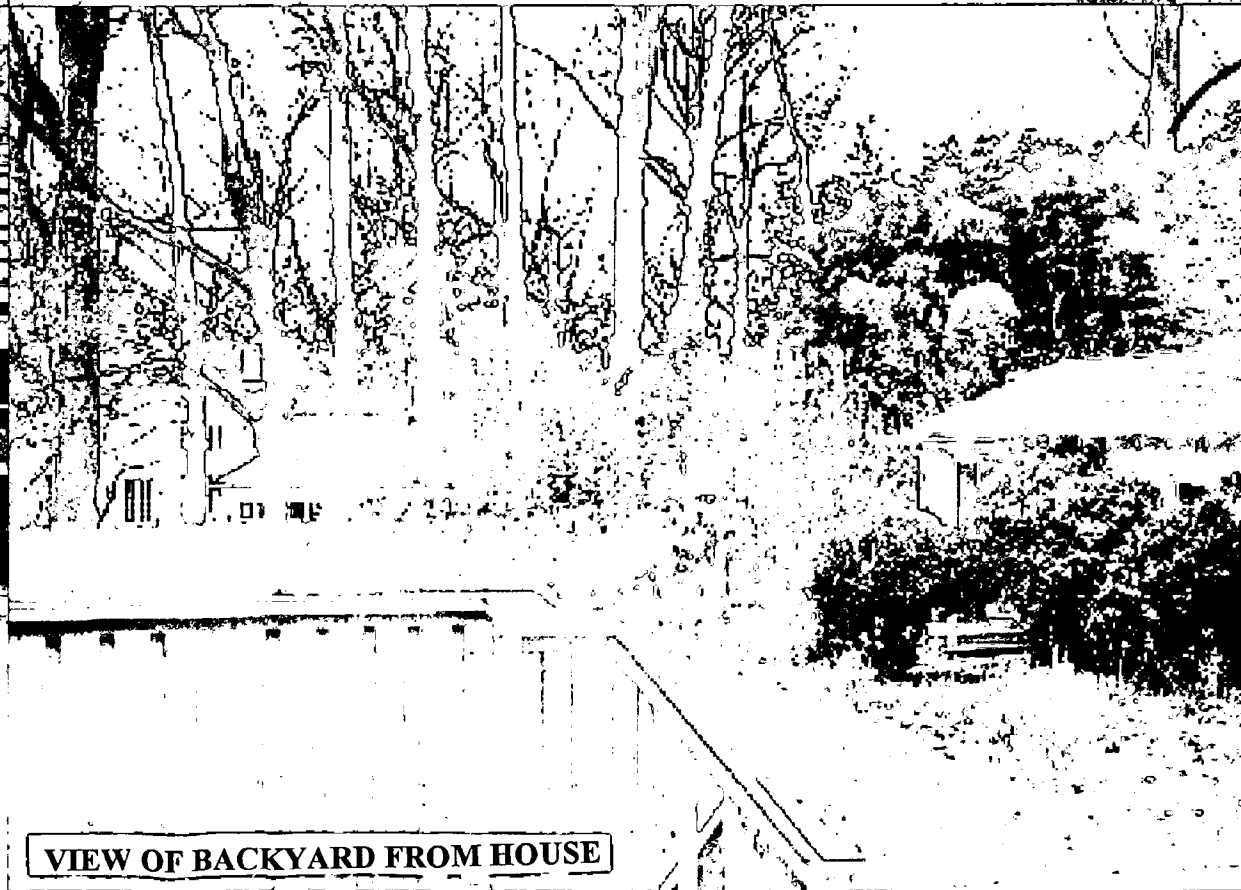
VIEW OF ADDITION TO BE REMOVED AND GARAGE



EXISTING GARAGE



VIEW OF GARAGE



VIEW OF BACKYARD FROM HOUSE

THE OFFICE OF  
ALEXIA N. C. LEVINE  
ARCHITECT

800 K STREET, N.W. SUITE 600  
WASHINGTON, D.C. 20007  
(202) 462-0807

PROJECT

RUBENSTEIN RESIDENCE  
HOUSE REMODELING  
&  
STUDIO ADDITION GARAGE

OWNER

BARTON & SHEREEN  
RUBENSTEIN  
4001 UNDERWOOD STREET  
CHEVY CHASE, MD 20815

DATE FORNOSH ©

REVISION AREA	DATE

PROJECT NO. 0048

DATE	REVISION

PICTURES PH-2

ALTHEA H. C. LEVINE  
ARCHITECT

1500 BROADWAY, NEW YORK, N.Y. 10014  
TELEPHONE: 212-675-1234

PROJECT

RUBENSTEIN RESIDENCE  
HOUSE REMODELING  
STUDIO ADDITION GARAGE

BARTON & GREEN  
RUBENSTEIN  
493 UNDERWOOD STREET  
CHEVY CHASE, MD 20811

DATE

SCALE

NO.

BY

CHECKED

DATE

DATE

SCALE

NO.

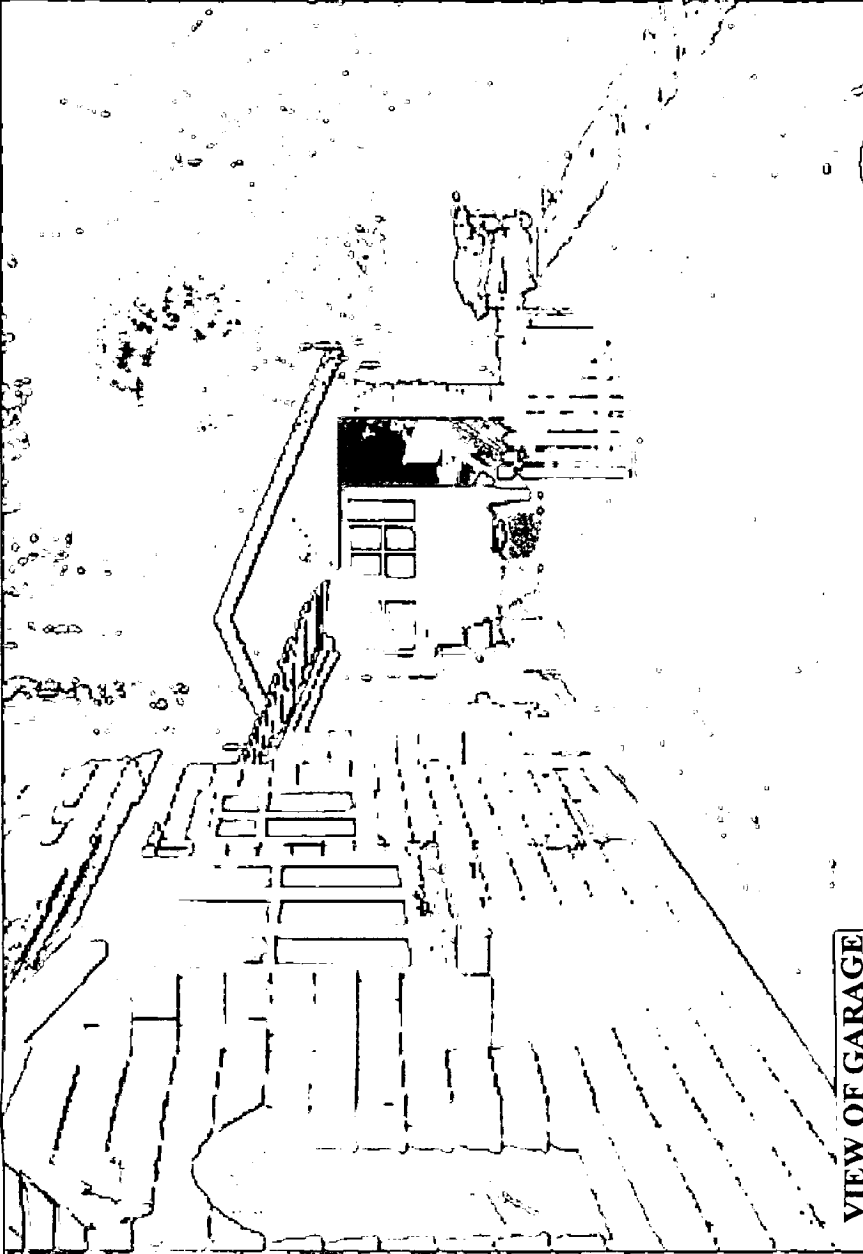
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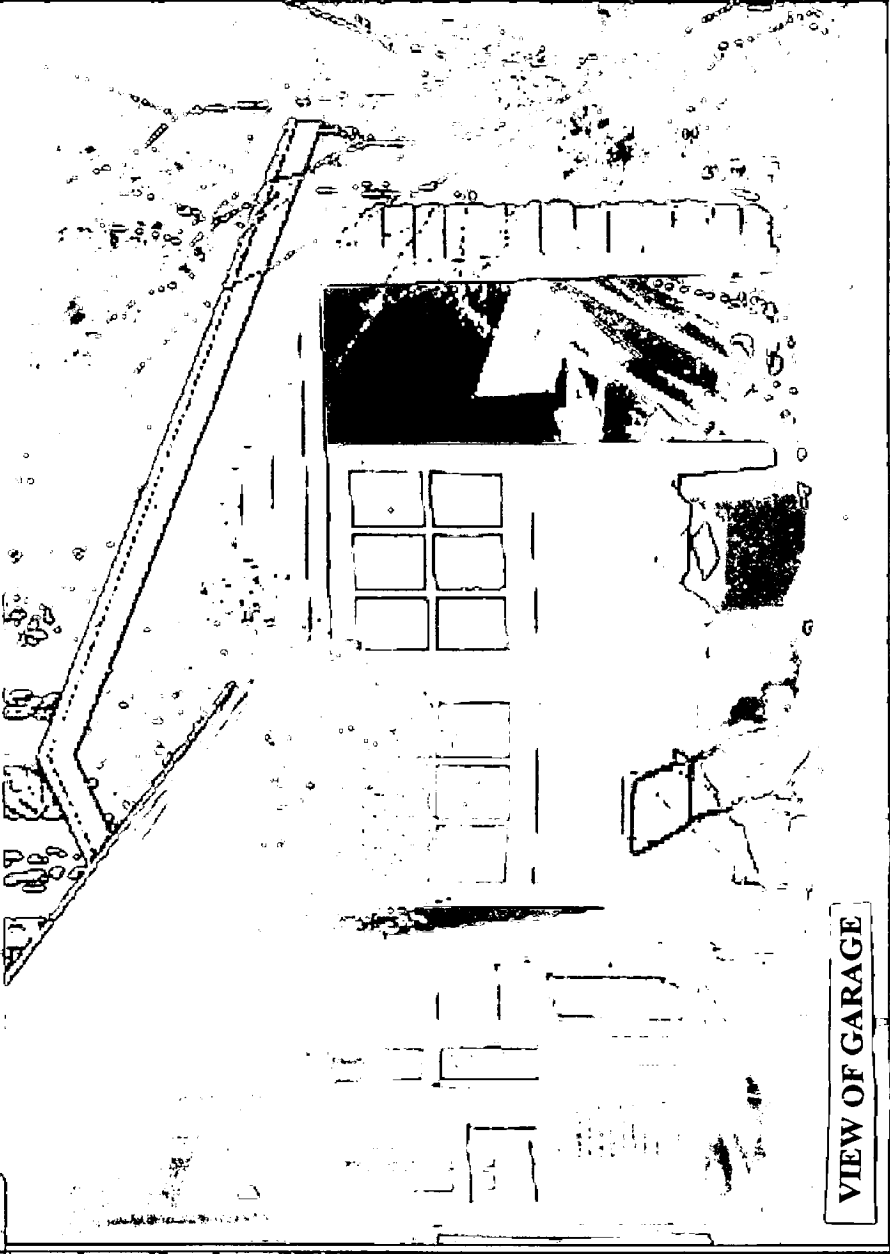
DATE

PICTURES

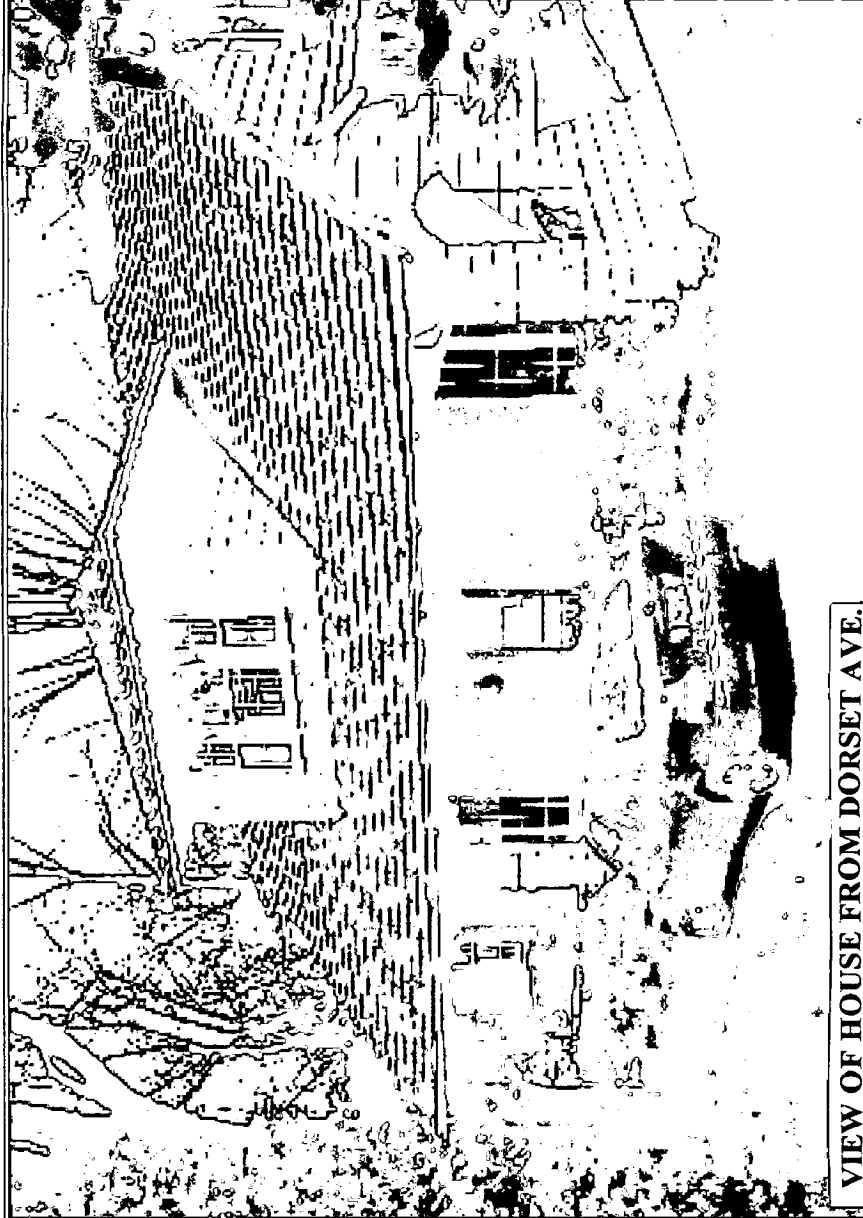
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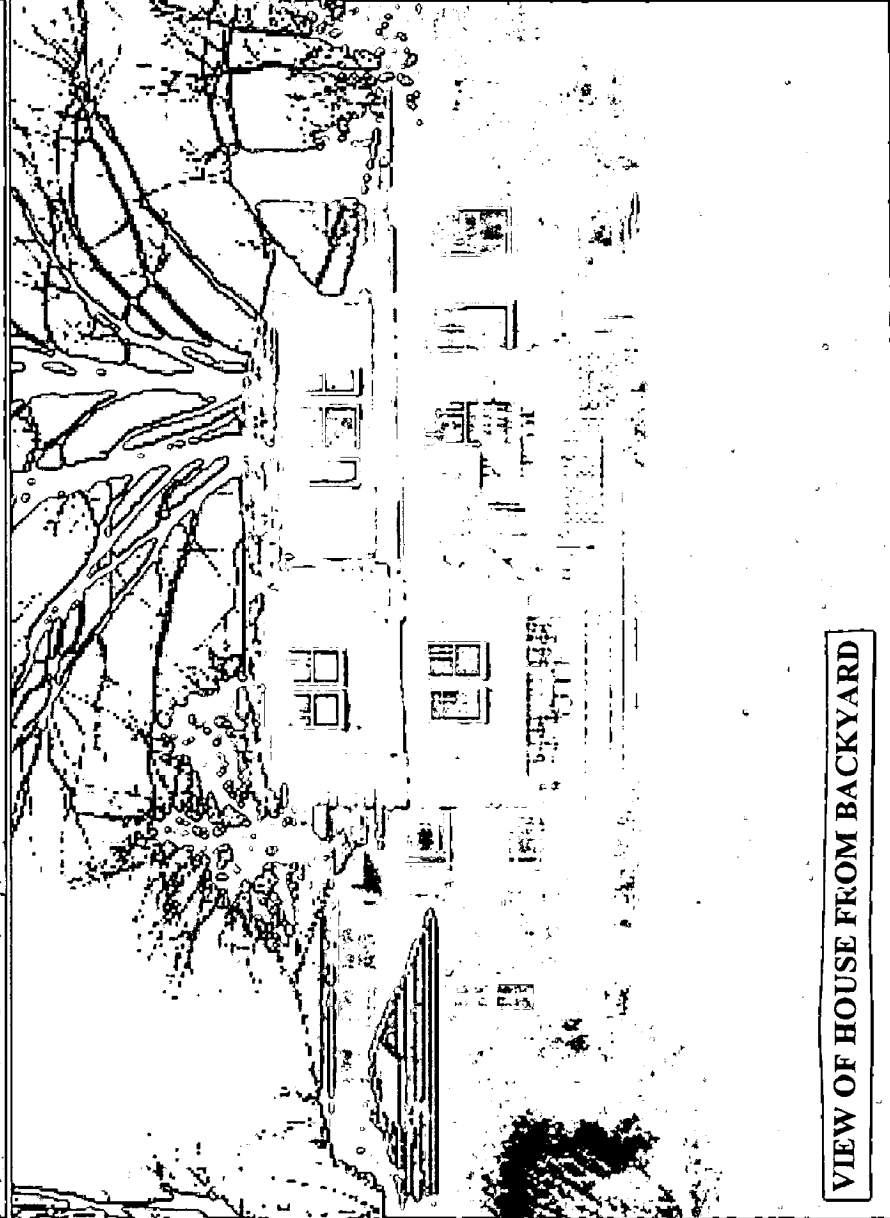
VIEW OF GARAGE



VIEW OF GARAGE

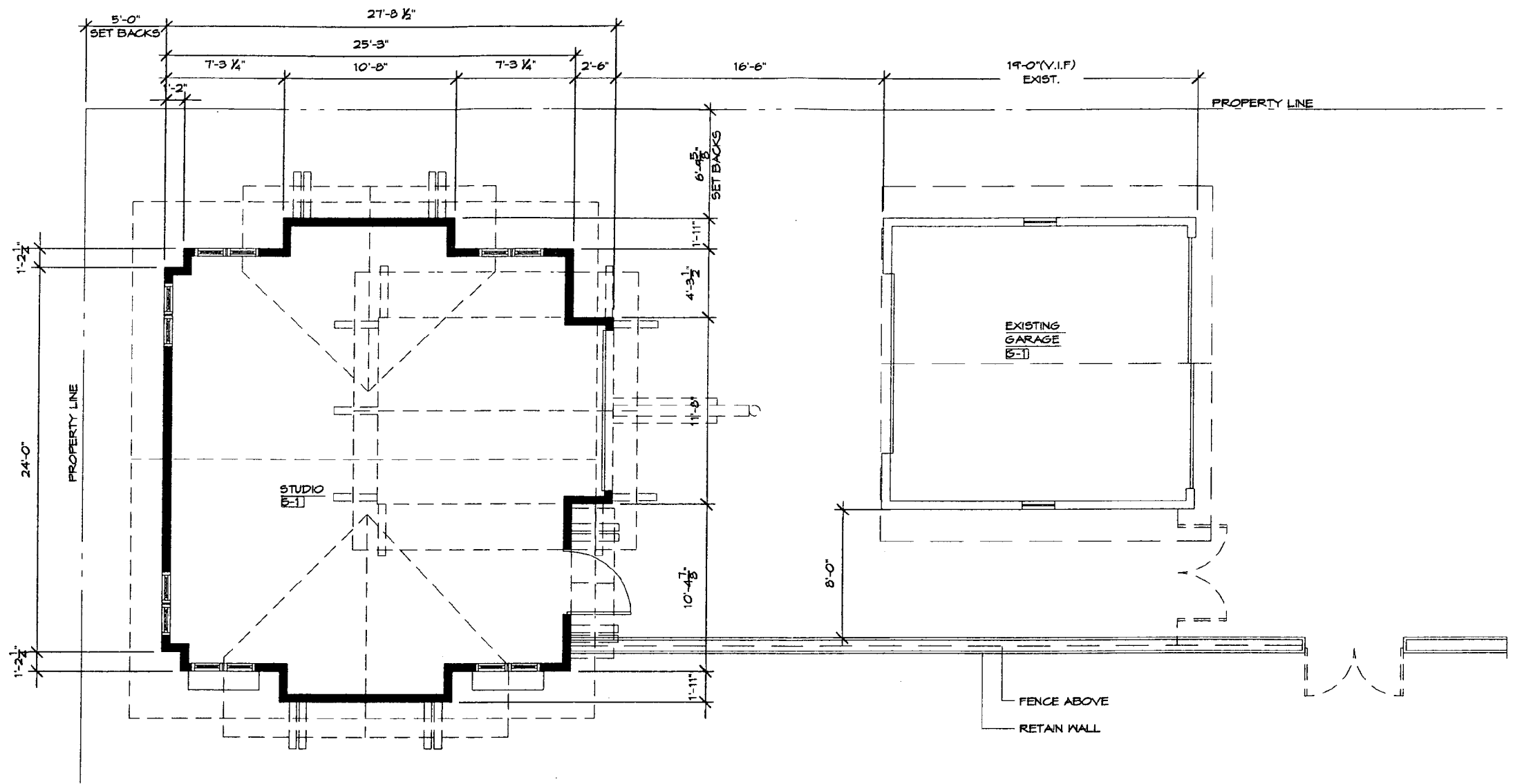


VIEW OF HOUSE FROM DORSET AVE.



VIEW OF HOUSE FROM BACKYARD





2 STUDIO FLOOR PLAN  
1/24-01

THE OFFICE OF  
ALEXIA N. C. LEVITS  
ARCHITECT

8000 K STREET, N.W., SUITE 600  
WASHINGTON, D.C. 20045  
(202) 877-0207

PROJECT

RUBENSTEIN RESIDENCE  
HOUSE REMODELING  
&  
STUDIO ADDITION GARAGE

OWNER

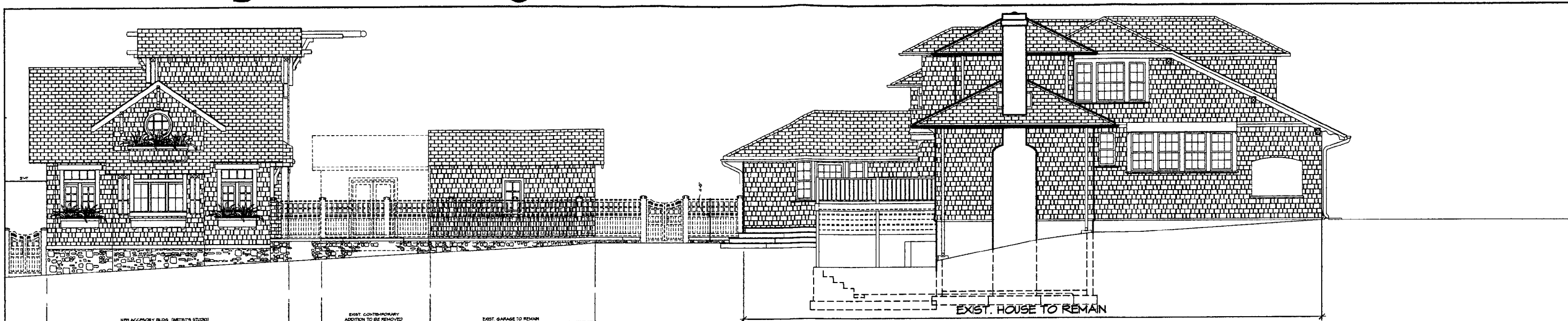
BARTON & SHEREEN  
RUBENSTEIN  
4003 UNDERWOOD STREET  
CHEVY CHASE, MD 20815

REVISION PURPOSE	
REVISION AREA	6/20/01
DATE	

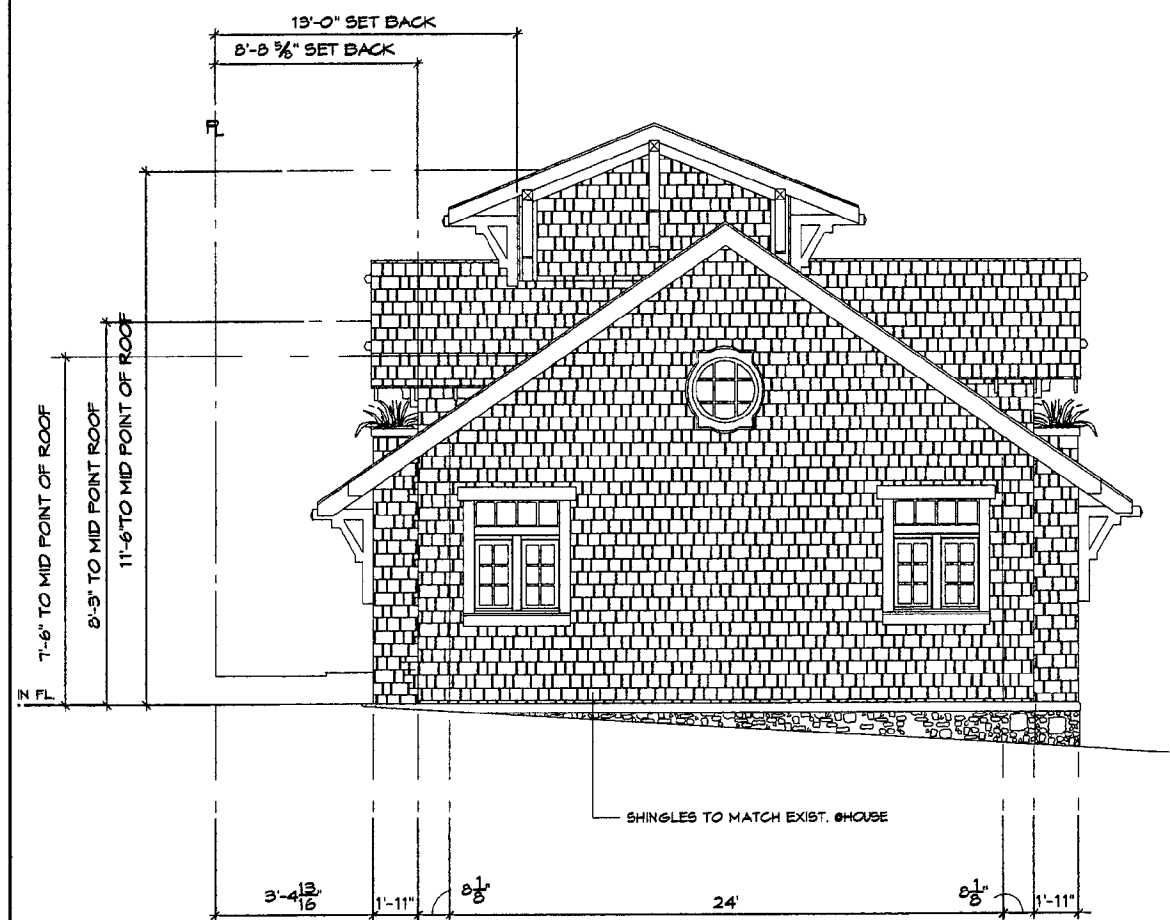
PROJECT NO. 0048	
DRAWN BY	CHECKED
DATE	
SCALE	

STUDIO PLAN	P-2
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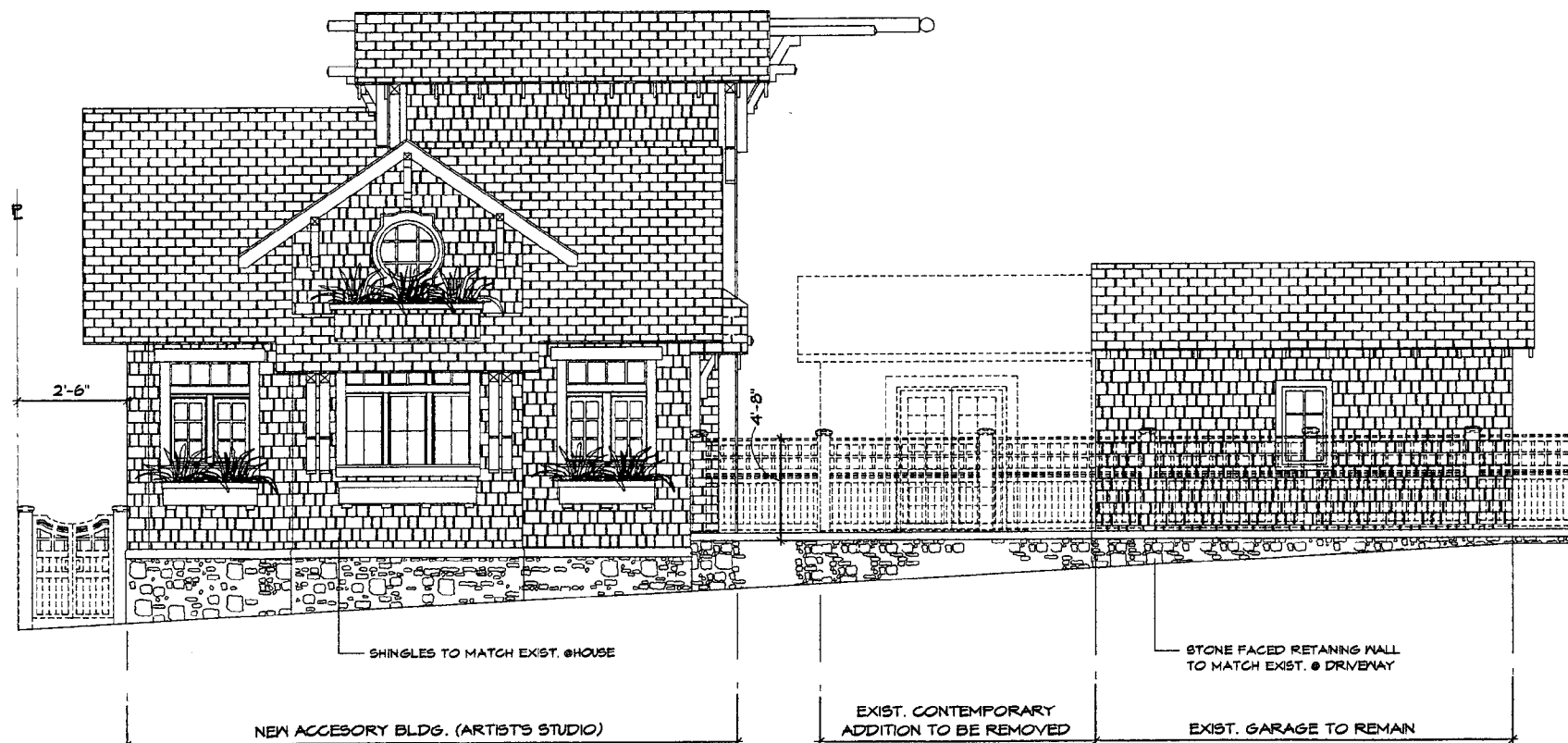




**1 SITE-WEST EXTERIOR ELEVATION**  
 $\frac{1}{4}'' = 1'-0''$



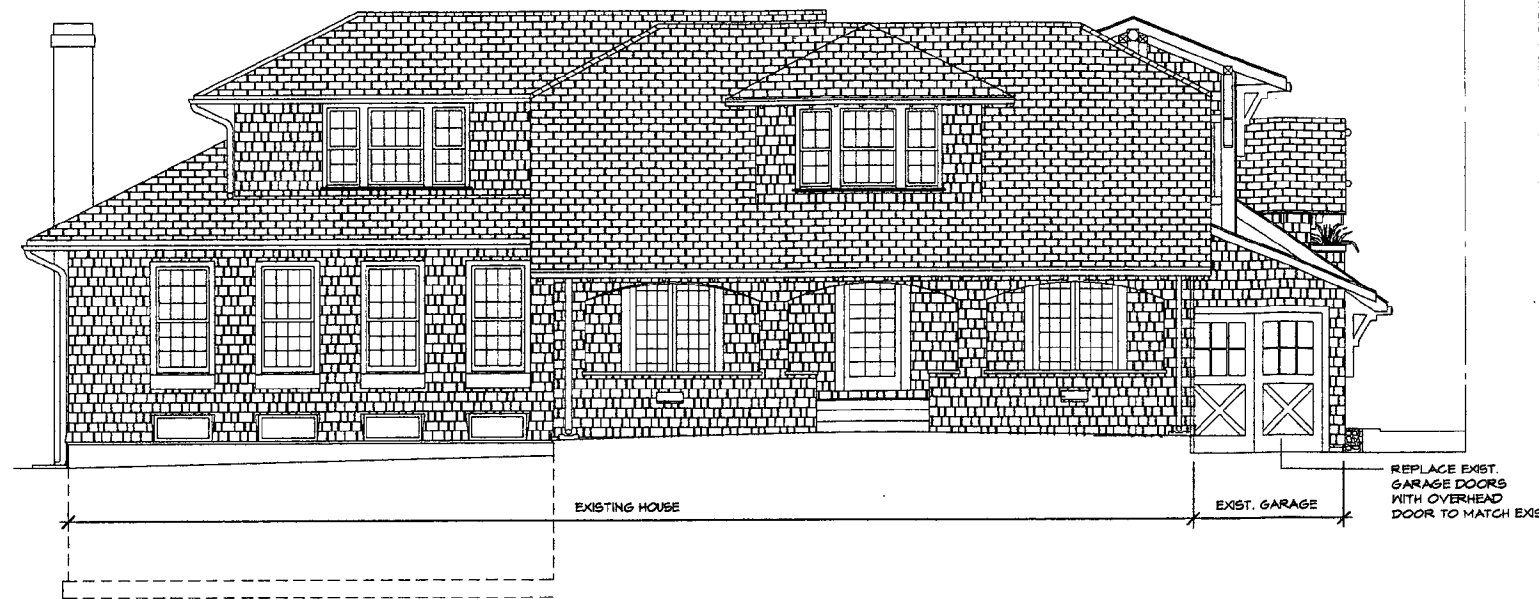
**2 N. STUDIO EXTERIOR ELEV.**  
 $\frac{1}{4}'' = 1'-0''$



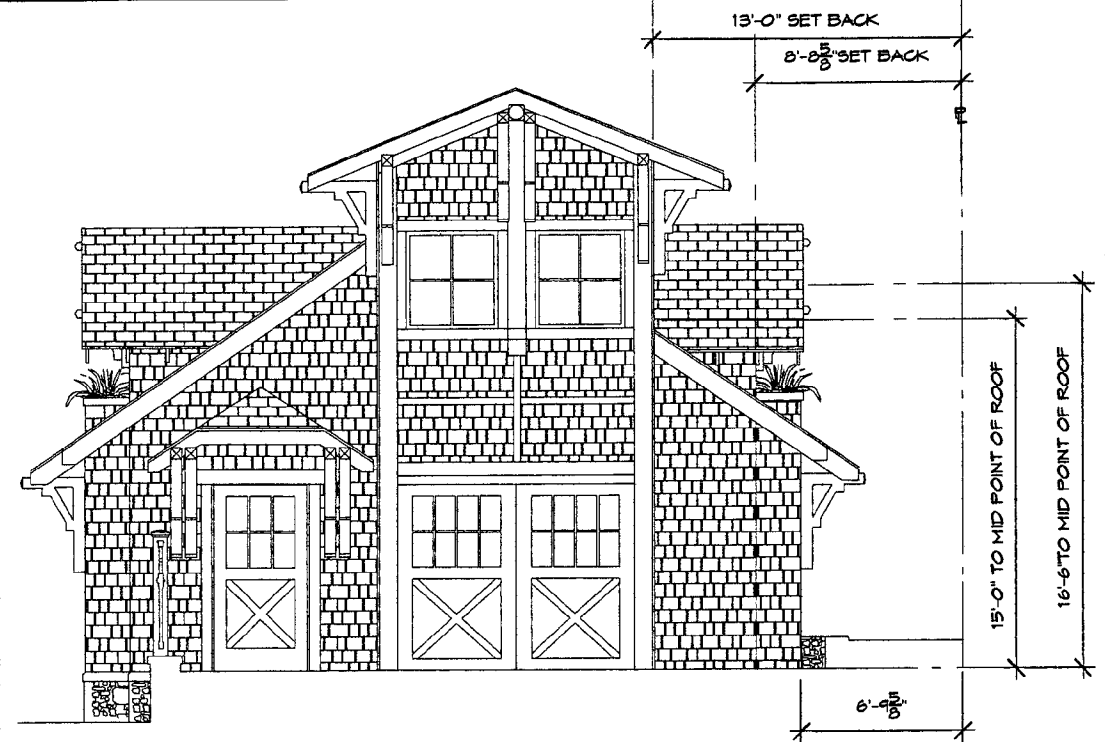
**3 W. STUDIO EXTERIOR ELEV.**  
 $\frac{1}{4}'' = 1'-0''$

PROJECT		THE OFFICE OF ALEXIA N. C. LEVITT ARCHITECT	
RUBENSTEIN RESIDENCE HOUSE REMODELING & STUDIO ADDITION GARAGE		6000 I STREET, N.W., SUITE 600 WASHINGTON, D.C. 20017 (202) 527-0807	
<b>P-3</b>	4/18/11		

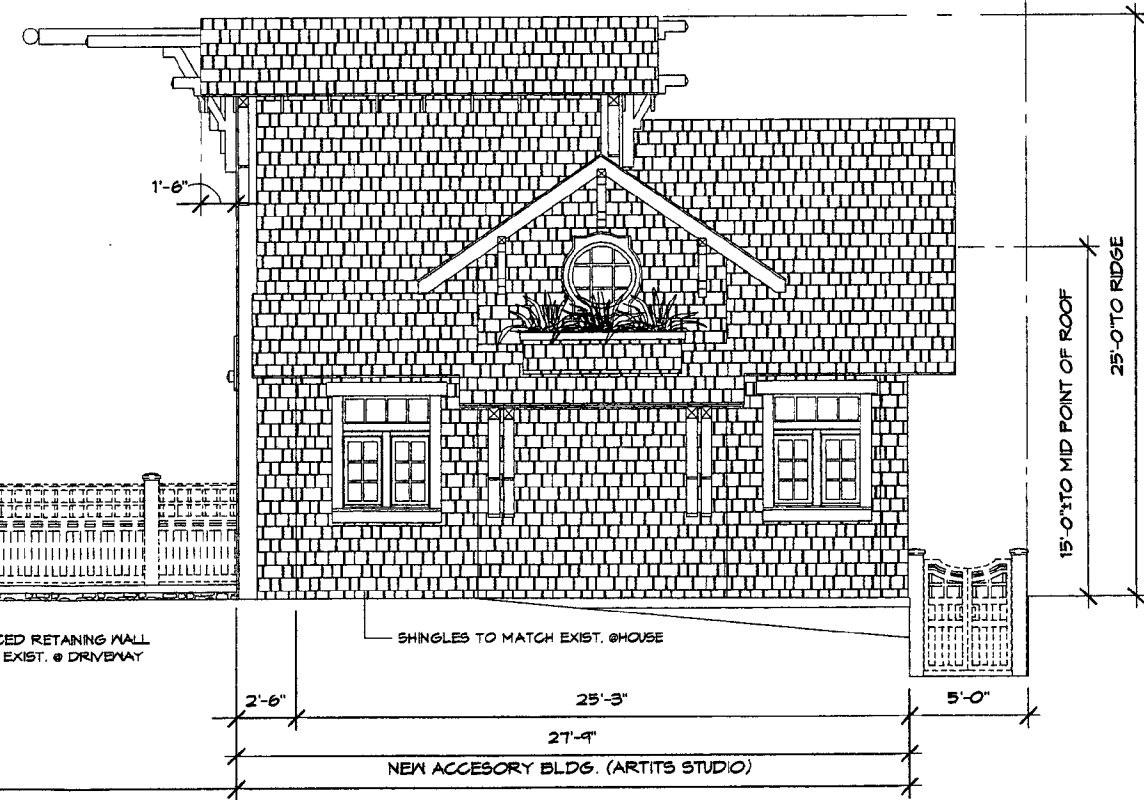
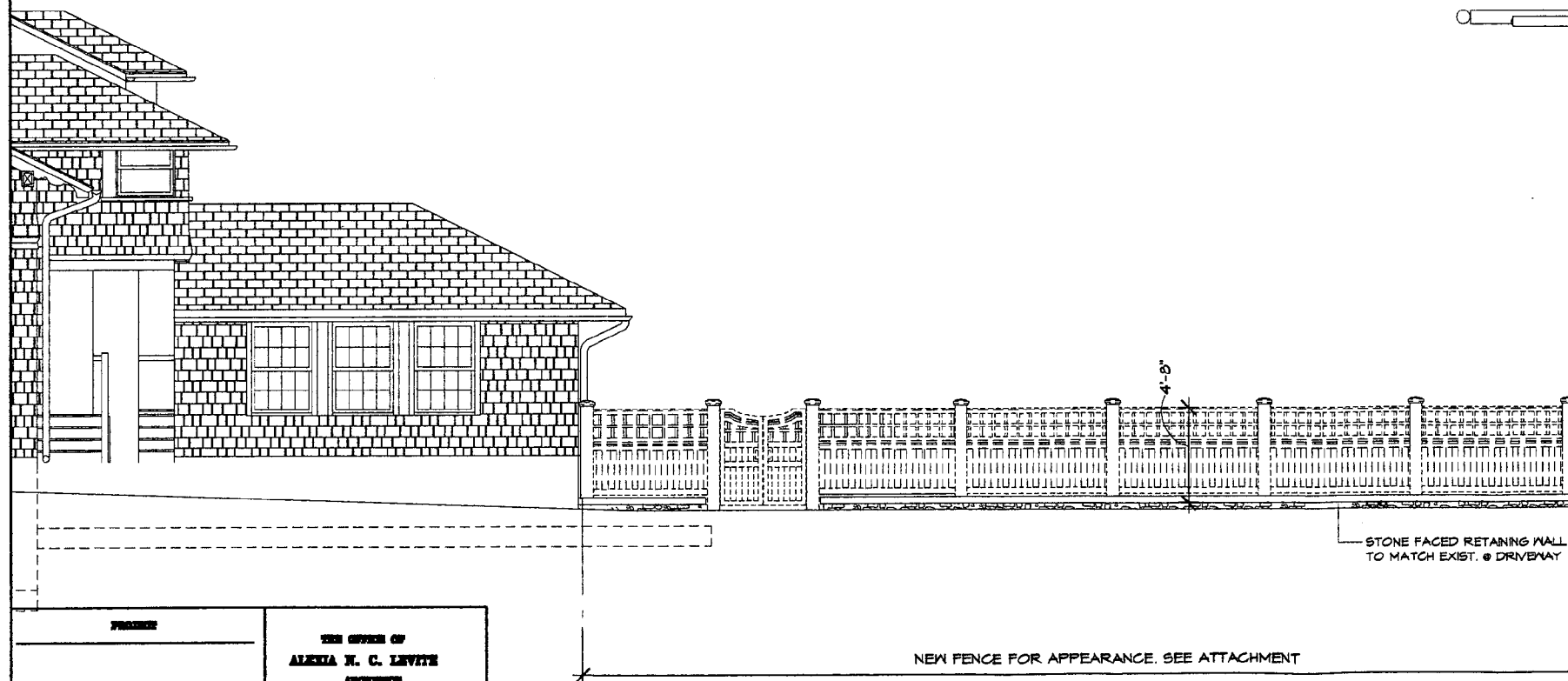
2nd FLOOR CEILING  
 2nd FINISH FLOOR  
 1st FINISH FLOOR  
 TOP BASEMENT SLAB



2 STREET EXTERIOR ELEV.-EXIST HOUSE  
 3/32" = 1'-0"

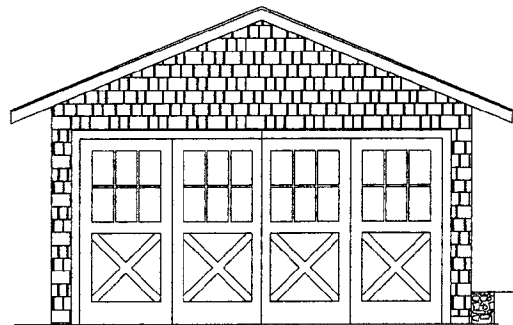


3 S. STUDIO EXTERIOR ELEV.  
 1/4" = 1'-0"

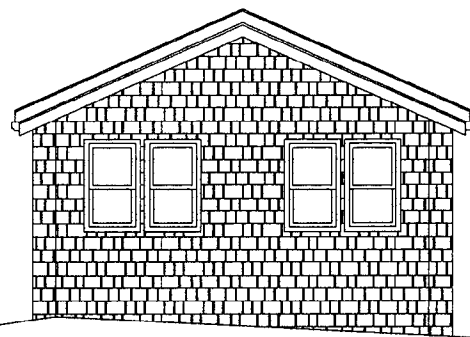


1 E. STUDIO EXTERIOR ELEV.  
 1/4" = 1'-0"

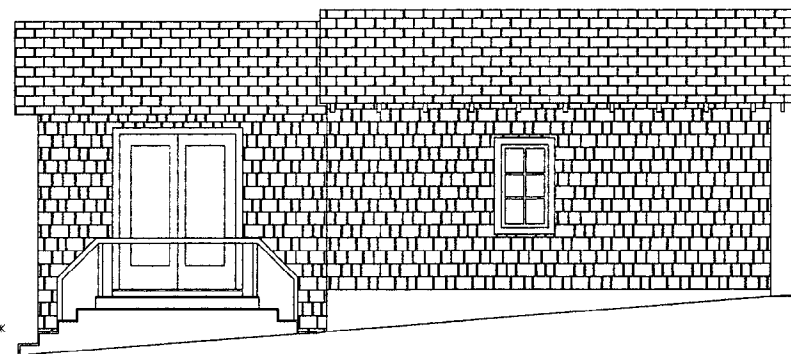
<p>PROJECT</p> <p>RUBENSTEIN RESIDENCE          HOUSE REMODELING          &amp;          STUDIO ADDITION GARAGE</p>	<p>THE OFFICE OF          ALEXIA W. C. LEVITE          ARCHITECT</p> <p>600 N. STREET, N.Y., NEW YORK          WASHINGTON, D.C. 20001          (202) 637-6267</p>
<p>P-4</p>	<p>4/22/11</p>



1 S. EXIST. GARAGE ELEV.  
N. GARAGE ELEV.  
1/4" = 1'-0"

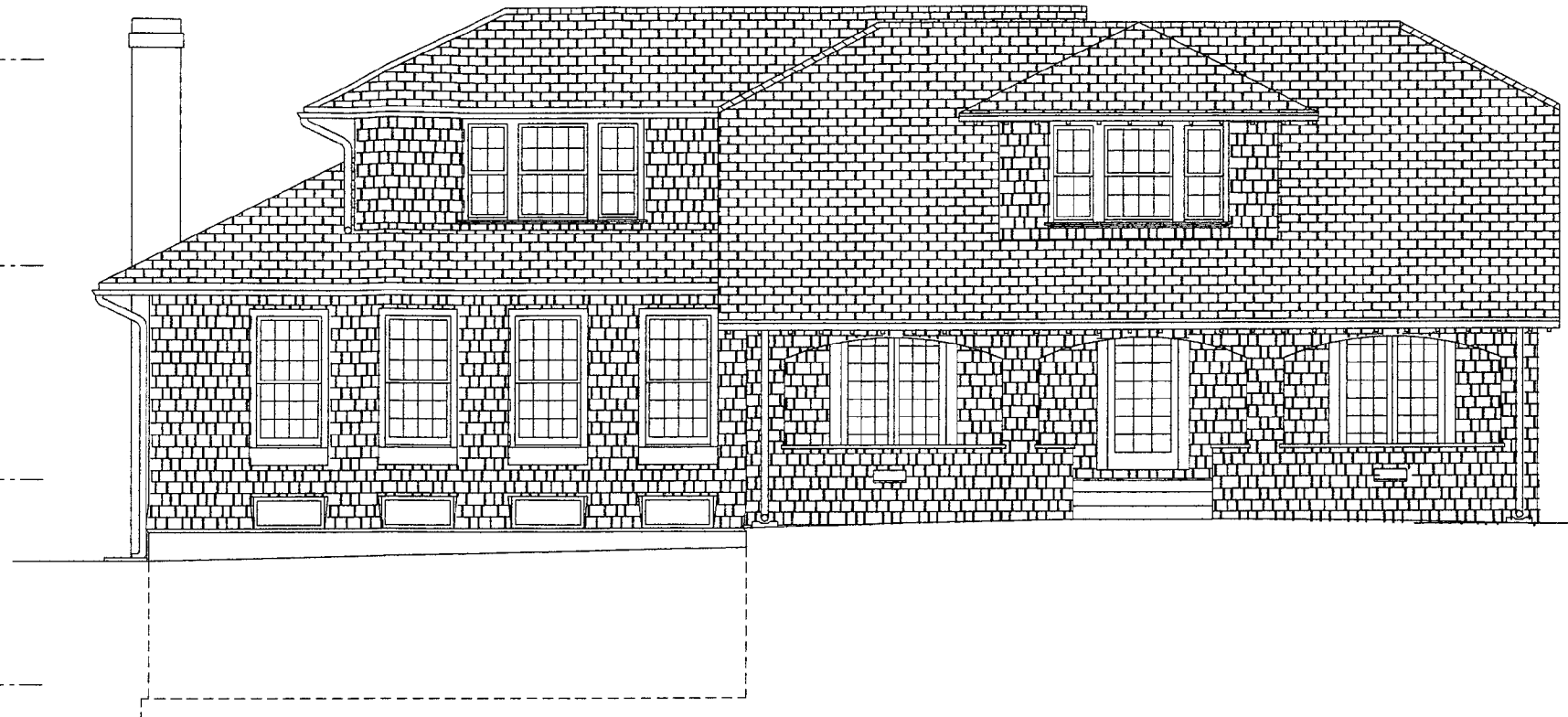


3 N. EXIST. ADDITION ELEV.  
1/4" = 1'-0"

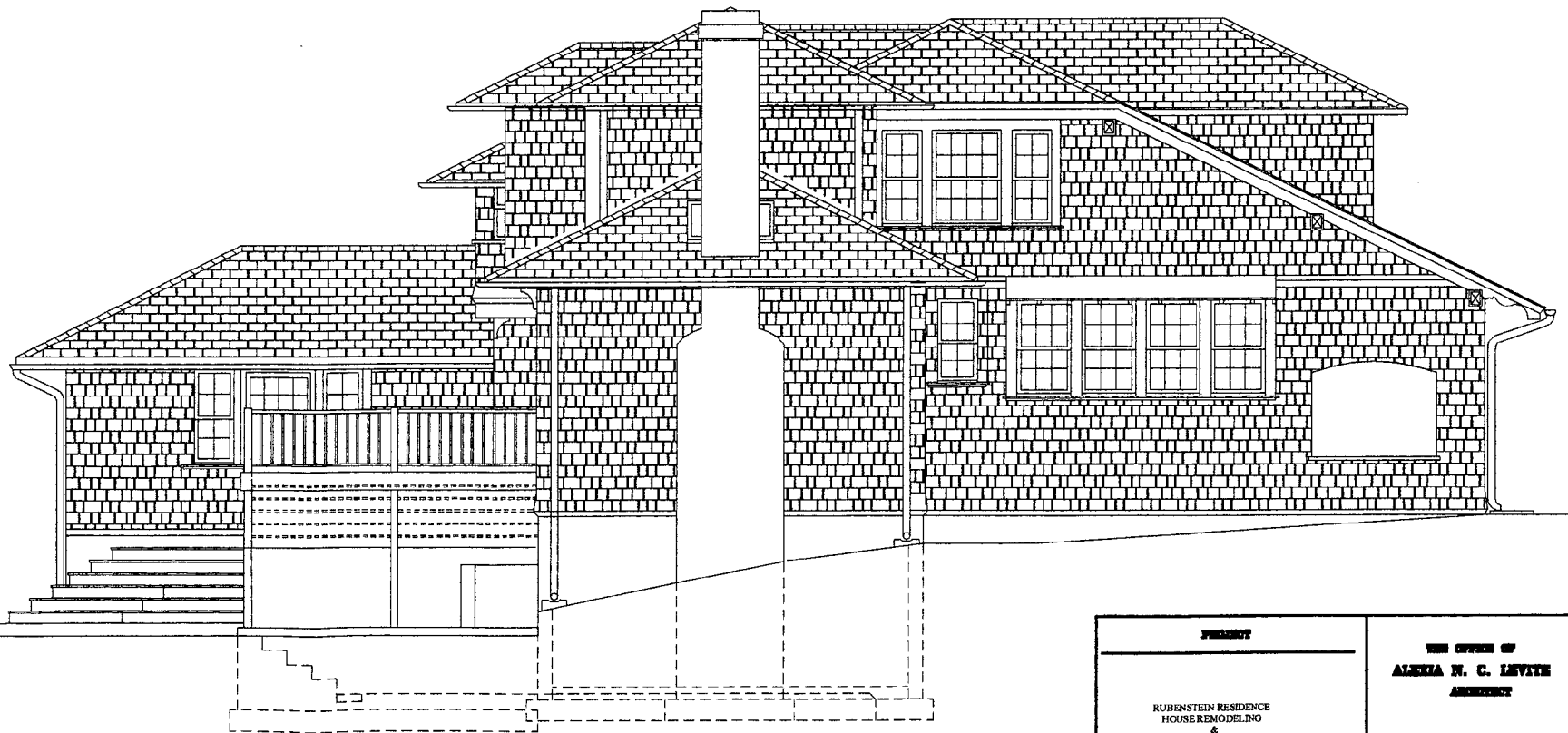


4 W. EXIST. GARAGE ELEV.  
1/4" = 1'-0"

2nd. FLOOR CEILING  
2nd. FINISH FLOOR  
1st. FINISH FLOOR  
TOP OF BASEMENT SLAB



2 S. EXIST. MAIN HOUSE ELEV.  
1/4" = 1'-0"



5 W. EXIST. MAIN HOUSE ELEV.  
1/4" = 1'-0"

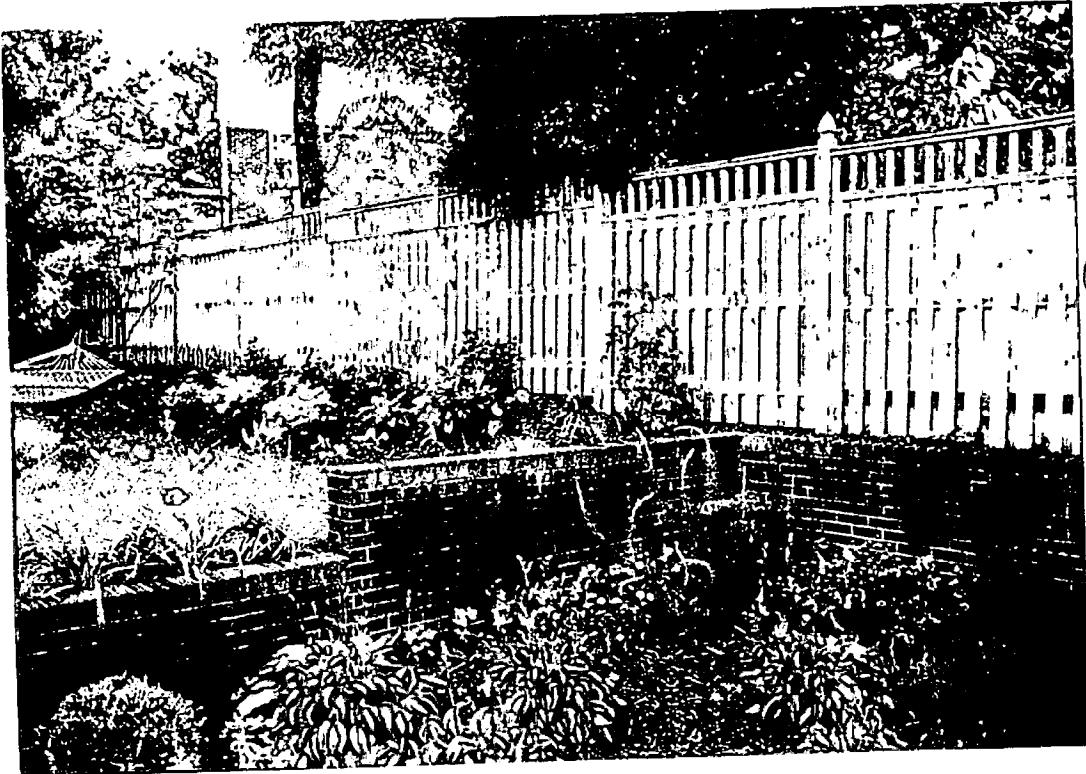
PROJECT		THE OFFICE OF ALEXIA W. C. LEVINE ARCHITECT	
RUBENSTEIN RESIDENCE HOUSE REMODELING & STUDIO ADDITION GARAGE		DAVID E. STUBBS, P.L.L.C., ARCHITECT AND WASHINGTON, D.C. 20007 (202) 897-8897	
E-1	4/24/11		

4819 Dorset Ave



Natural Cedar

← This Fence (3' high)



3 } with this top (1' high) (slightly more tightly spaced)

= total of 4' height

Clinton Fences

301-523-1369

**4819 DORSET AVENUE  
SOMERSET HEIGHTS, MONTGOMERY COUNTY, MD**

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

1. Larry and B. R. Hoover  
4822 Cumberland Street  
Chevy Chase, MD 20815
2. Everett Johnson and Judith Brocies  
4820 Cumberland Street  
Chevy Chase, MD 20815
3. Frances Row  
4818 Cumberland Street  
Chevy Chase, MD 20815
4. Rod and J. B. Macklin  
4817 Dorset Avenue  
Chevy Chase, MD 20815
5. Herbert and J. K. Beller  
4816 Dorset Avenue  
Chevy Chase, MD 20815
6. Paul and Selma Chodoff  
4820 Dorset Avenue  
Chevy Chase, MD 20815
7. David and G. Schwartz  
4822 Dorset Avenue  
Chevy Chase, MD 20815
8. John Stewart and Sharon Stolaroff  
4823 Dorset Avenue  
Chevy Chase, MD 20815