

35/65-02C 4808 Cumberland Ave. R
(Somerset Historic District)

II H Robin

CUNNINGHAM + QUILL ARCHITECTS PLLC

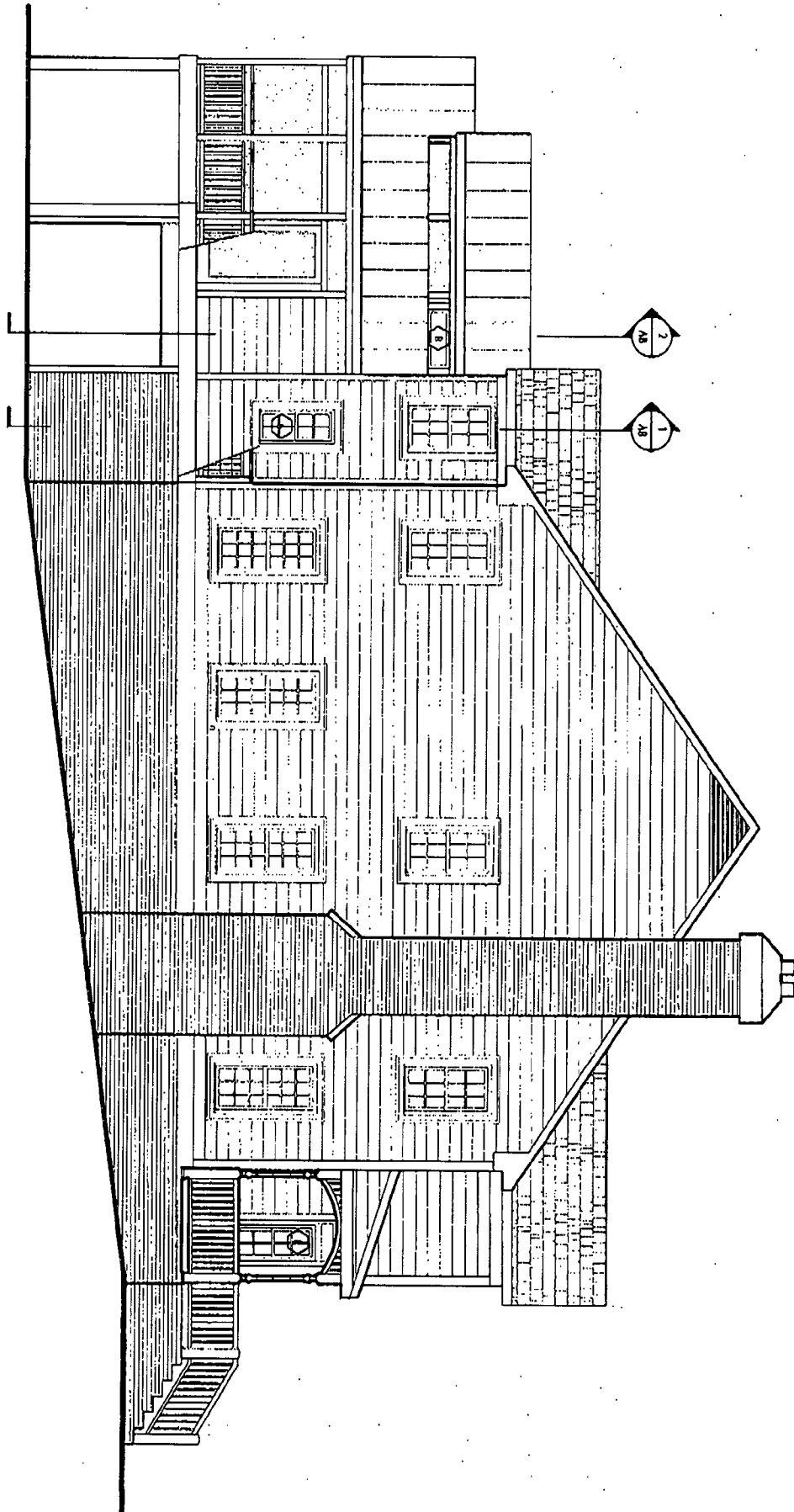
Fax Memorandum

To: Historic Preservation Fax No.: 301-563-3412
From: Margaret Stanton Date: 3/20/03
Project: Knight Residence Time: 5pm
Subject: porch revision Project No.: 20201
Pages transmitted, including this page: 5 Hard Copy to Follow

Attached please find a proposed revision to 4808 Cumberland Avenue in Chevy Chase. We received the Historic Area Work Permit on September 11, 2002. Our client would like to make the attached modification to the roof of the porch and has had an informal review by the Town of Somerset who has no objection. Please let me know if there is an approvals process I need to go-through before we build the roof as proposed. I can be reached at (202) 337-0090. Thank you for your consideration.

3/24/03 - Spoke with Margaret Stanton and approved of this alteration on a staff level because the house is new, and a non-contributing resource to the Somerset District. This is a small alteration to the porch which will protrude out 1'6" on the front. The alteration is a closed pediment gable over the front steps of the porch (see stamped drawings)

4808 CUMBERLAND AVE
CHERRY CHASE, MD

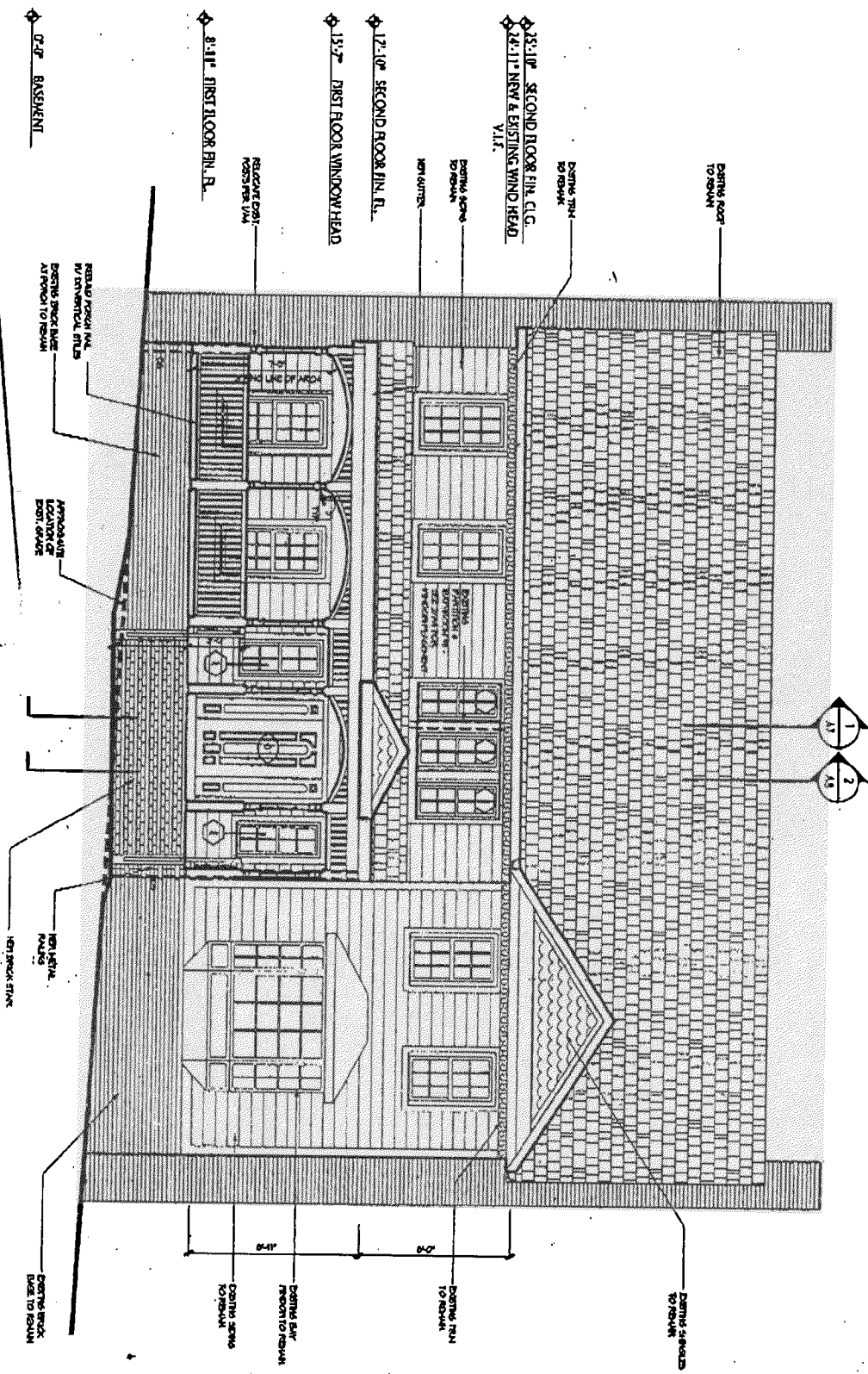


3/20/03

APPROVED SIDE ELEVATION
1/8" = 1'-0"

4808 CUMBERLAND AVE
CHEVY CHASE, MD

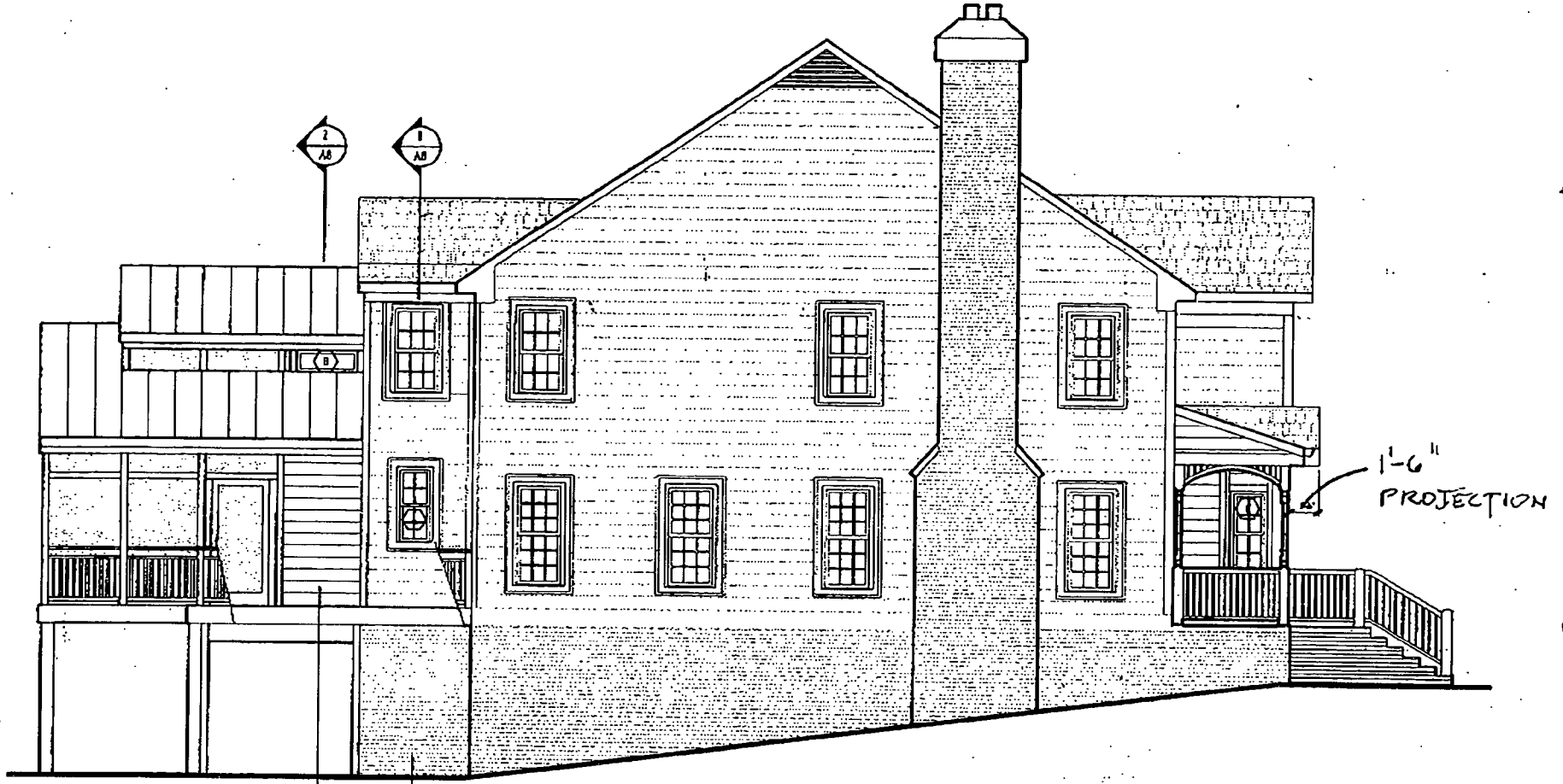
3/20/03



APPROVED
Montgomery County
Historic Preservation Commission
2/24/03

PROPOSED FRONT ELEVATION
1/8" = 1'-0"

4808 CUMBERLAND AVE.
CHEVY CHASE, MD



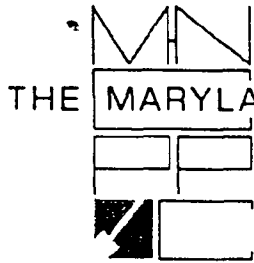
1'-6"
PROJECTION

APPROVED
 Montgomery County
 Historic Preservation Commission
 3/24/03

3/20/03

PROPOSED SIDE ELEVATION

1/8" = 1'-0"



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: Sept. 11, 2002

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

285863

FROM: DDZ Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

35/65-02c

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

X Approved

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Gayley Knight

Address: 4808 Cumberland Avenue, Chevy Chase

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-8370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Margaret Stanton
Daytime Phone No.: 202-337-0090

Tax Account No.: 537347

Name of Property Owner: Gayley Knight Daytime Phone No.: 301-656-7388

Address: 4808 Cumberland Ave. Chevy Chase, MD 20815
Street Number City Street Zip Code

Contractor: Not Yet Selected Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Margaret Stanton Daytime Phone No.: 202-337-0090

Address: 1054 31st St. NW Suite 315 Washington DC 20007

LOCATION OF BUILDING/PREMISE

House Number: 4808 Street: Cumberland Avenue

Town/City: Chevy Chase Nearest Cross Street: Warwick Place

Lot: 31 Block: 2 Subdivision: Somerset Heights

Liber: 5891 Folio: 877 Parcel: District 7 Subdivision 44

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- Construct
 - Extend
 - Alter/Renovate
 - Move
 - Install
 - Wreck/Raze
 - Revision
 - Repair
 - Revocable
- CHECK ALL APPLICABLE:
- A/C
 - Slab
 - Room Addition
 - Porch
 - Deck
 - Shed
 - Solar
 - Fireplace
 - Woodburning Stove
 - Single Family
 - Fence/Wall (complete Section 4)
 - Other: _____

1B. Construction cost estimate: \$ 100,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line
 - Entirely on land of owner
 - On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Margaret Stanton Signature of owner or authorized agent 8/21/02 Date

Approved: X _____
 Disapproved: _____ Signature: _____ Date: 9/11/02
 Application/Permit No.: 285863 Date Filed: 8/21/02 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Two story single family residence on 7800 sq ft lot in
Town of Somerset. House constructed in 1983.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Extension of kitchen at back of house within confines of
existing covered porch; addition of vestibule in front under
roof of existing covered porch; new exterior stair and
landing in front; new two story bay window. Reconstruction
of front porch in place. Master Bath renovation.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

| | | | |
|---------------------|---|-----------------------|---------------|
| Address: | 4808 Cumberland Avenue | Date: | 09/11/02 |
| Applicant: | Gayley Knight (Margaret Stanton, Agent) | Report Date: | 09/4/02 |
| Resource: | Somerset Historic District | Public Notice: | 08/25/02 |
| Review: | HAWP 35/36-02c | Tax Credit: | Yes |
| Site Number: | 55/65-02C | Staff: | Robin D. Ziek |
| PROPOSAL: | Rear addition, front vestibule, front 2-story bay | | |
| RECOMMEND: | Approve | | |

The Somerset LAP has reviewed this project and has no objections.

PROJECT DESCRIPTION

SIGNIFICANCE: Non-contributing
STYLE: Victorian Revival
DATE: ca. 1980

The existing 2-story frame house has a narrow front porch extending across the front of the house to a low 2-story projecting gable ell on the right side. There is a modern bay window on the first floor of the ell. The house sits on the south side of Cumberland Avenue, at a lower grade than the street, and the site is well landscaped.

PROPOSAL

The applicant proposes to make some alterations to this new house. This would include removing the existing bay window to the right of the front door, and constructing a two-story bay with heavy "Victorian" details. In addition, the applicant would remove the existing porch columns and decorative trim at the ceiling edge, and replace it with columns and details to match the new 2-story bay.

In order to get a vestibule at the front entrance, the applicant would extend the front door entrance approximately 5'. The new door and vestibule entry would still be under the porch roof. The front steps would be widened to the width of the vestibule, although the porch columns would still bracket the front door (see Circle 8, 12).

Other alterations at the front include replacing the single window above the front door at the 2nd floor level with three narrow windows. At the rear, the applicant would expand the kitchen into the area of the existing rear porch, and make some modifications to the master bath on the 2nd floor (see Circle 8,10).

STAFF DISCUSSION

The alterations at the rear will have no effect on the district. The alterations at the front would not be approved on a Contributing Resource, and staff is concerned that this be clearly understood if the HPC approves this proposal. As a Non-Contributing Resource, alterations are reviewed in terms of the overall district. The proposed design of the new 2-story bay and front porch is more elaborate and ornate than is seen in this district. The applicant did research on Victorian homes all over the country, as far away as San Francisco, to achieve a design of some authenticity. Staff acknowledges this, while noting that in the Somerset Historic District, the original Victorian homes do not have such heavy details.

The alterations to the front door with the addition of a vestibule is also problematic, because such a feature is not found in this district. There is an example of a late Victorian/early 20th century vestibule in the Kensington Historic District. The interesting feature at that house is that the vestibule is treated like a storm window, to be installed in the winter, and removed during the summer.

As the house is at a lower elevation than the street, and set back from it, the property is not that prominent. In addition, the house has numerous elements which clearly identify it as a new structure. This includes the massing, with the large rectangular block, and the attached ell with its shallow pitched roof which engages the main roof far down from the ridge line. The trim at the eaves doesn't "read" as a Victorian element. The foundation brick is obviously new. The narrow width of the front porch is atypical, especially given the level of elaborate detail that currently exists and the even more elaborate detail which is being proposed.

There are numerous non-contributing elements in the Somerset Historic District, such as this one, which strive to blend in with the earlier homes. Staff feels that the scale, massing and details of the historic buildings are strongly distinctive from the Non-Contributing resources. As long as it is clearly established that this proposal, for work at a Non-Contributing resource, is not precedence for similar proposals at the district's historic resources, staff feels this application could be approved.

STAFF RECOMMENDATION

Staff recommends that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an

historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's *Standards for Rehabilitation* #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that **the applicant shall present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits (1 set for HPC files)** and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



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25 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/777-4370

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Margaret Stanton
Signature of owner or authorized agent

8/21/02
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 285863 Date filed: 8/21/02 Date issued: _____

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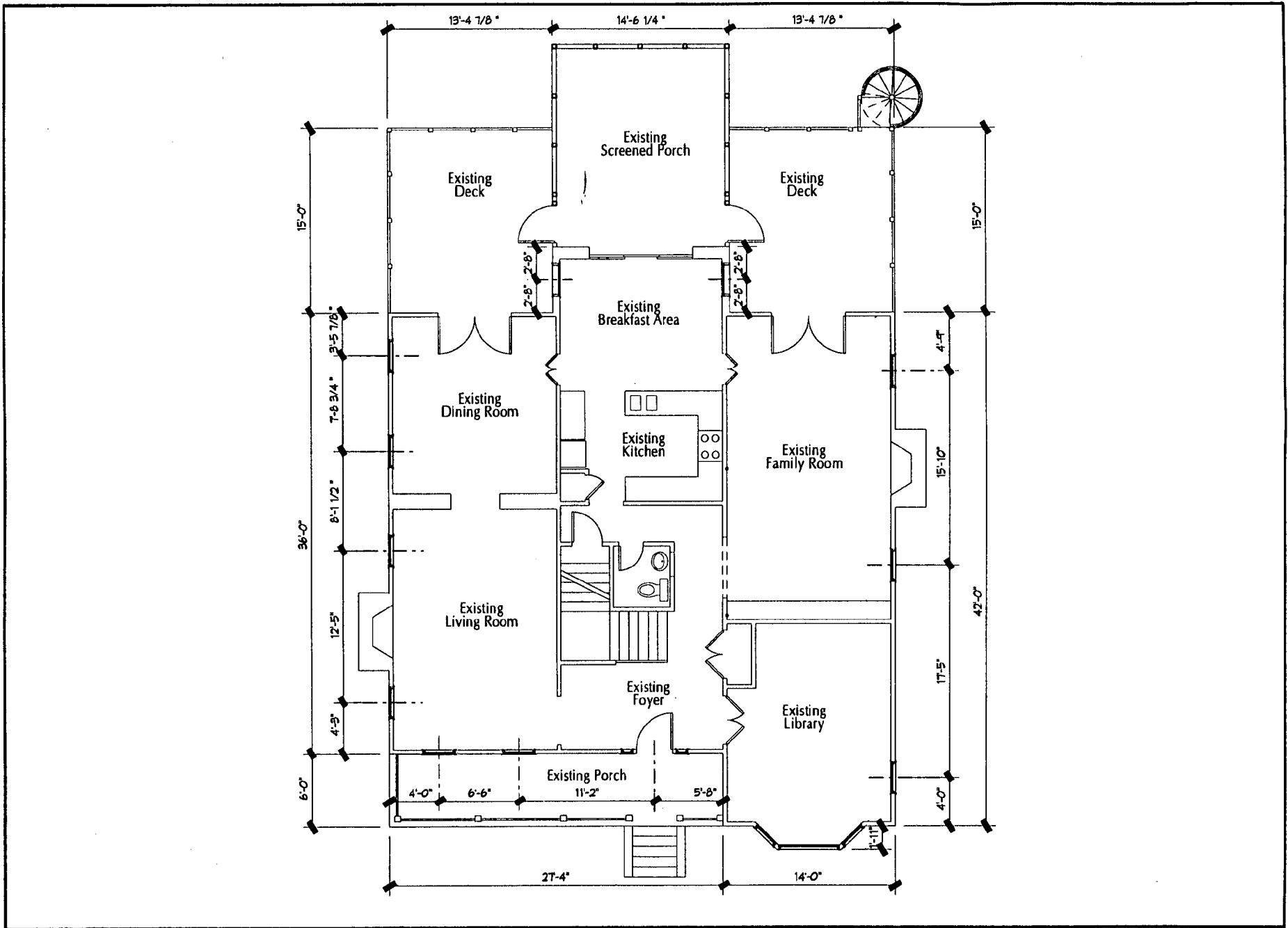
5

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

| | |
|--|---|
| <p>Owner's mailing address</p> <p>Gayley Knight</p> <p>4808 Cumberland Avenue</p> <p>Chevy Chase, MD 20815</p> | <p>Owner's Agent's mailing address</p> <p>Cunningham + Quill Architects,</p> <p style="text-align: right;">PLLC</p> <p>1054 31st Street, NW Suite 315</p> <p>Washington, DC 20007</p> |
| <p>Adjacent and confronting Property Owners mailing addresses</p> | |
| <p>Ornstein Residence</p> <p>5818 Surrey St.</p> <p>Chevy Chase, MD 20815</p> | <p>Spitzer Residence</p> <p>4807 Cumberland Avenue</p> <p>Chevy Chase, MD 20815</p> |
| <p>Goold Residence</p> <p>5812 Surrey St.</p> <p>Chevy Chase, MD 20815</p> | <p>Yap Residence</p> <p>4805 Cumberland Avenue</p> <p>Chevy Chase, MD 20815</p> |
| <p>Weil Residence</p> <p>4817 Dorset Avenue</p> <p>Chevy Chase, MD 20815</p> | <p>London/Fitzgerald Residence</p> <p>4801 Cumberland Avenue</p> <p>Chevy Chase, MD 20815</p> |
| <p>Haley Residence</p> <p>4810 Cumberland Avenue</p> <p>Chevy Chase, MD 20815</p> | <p>Robinson Residence</p> <p>5820 Surrey St.</p> <p>Chevy Chase, MD 20815</p> |

g addresses noticing table

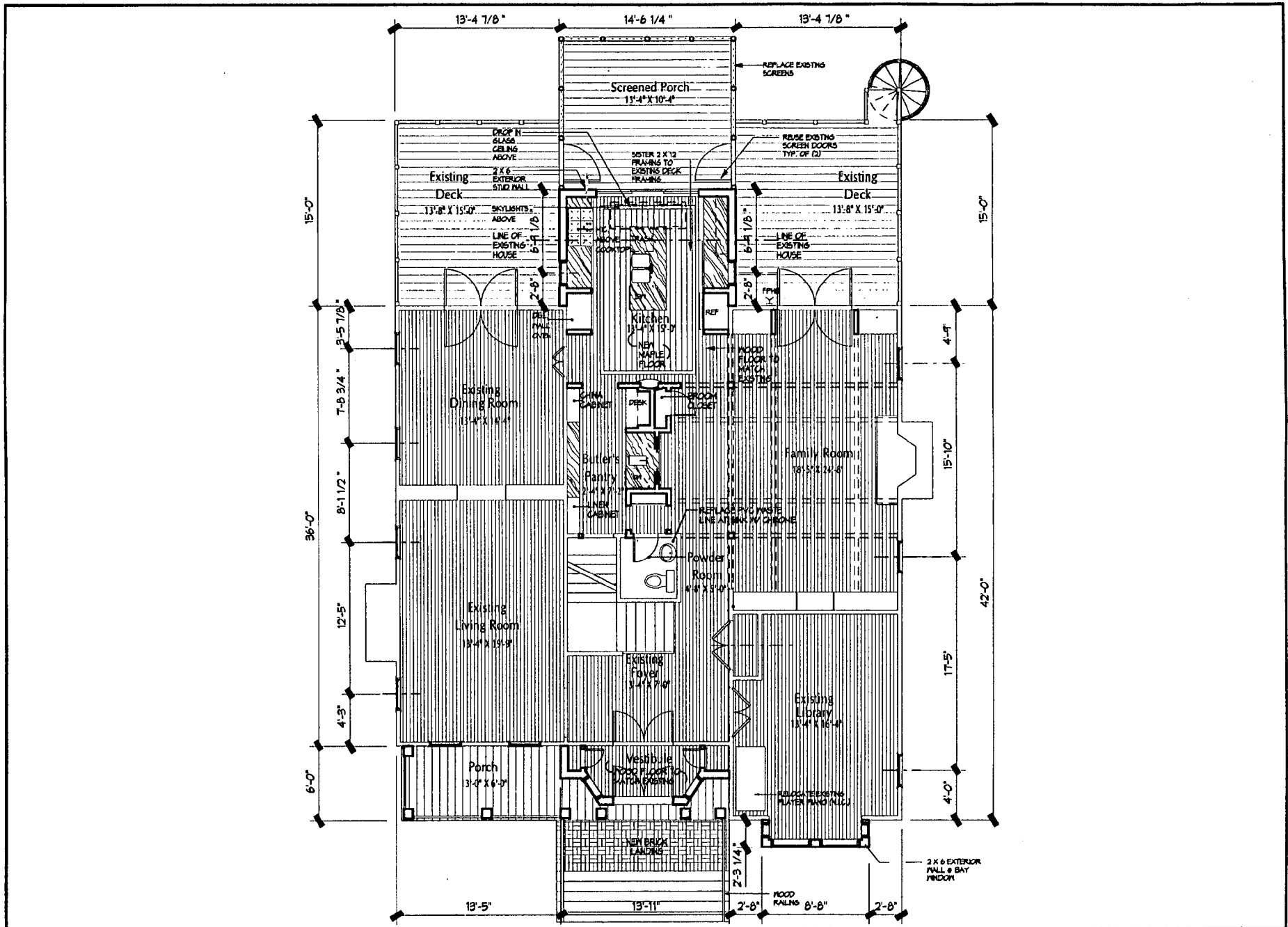


2
Knight Residence
 4808 Cumberland Avenue
 Chevy Chase, Maryland 20815

Existing First Floor Plan

1/8" = 1'-0"

Submission to Historic Preservation Commission
 Cunningham + Quill Architects, PLLC
 August 21, 2002

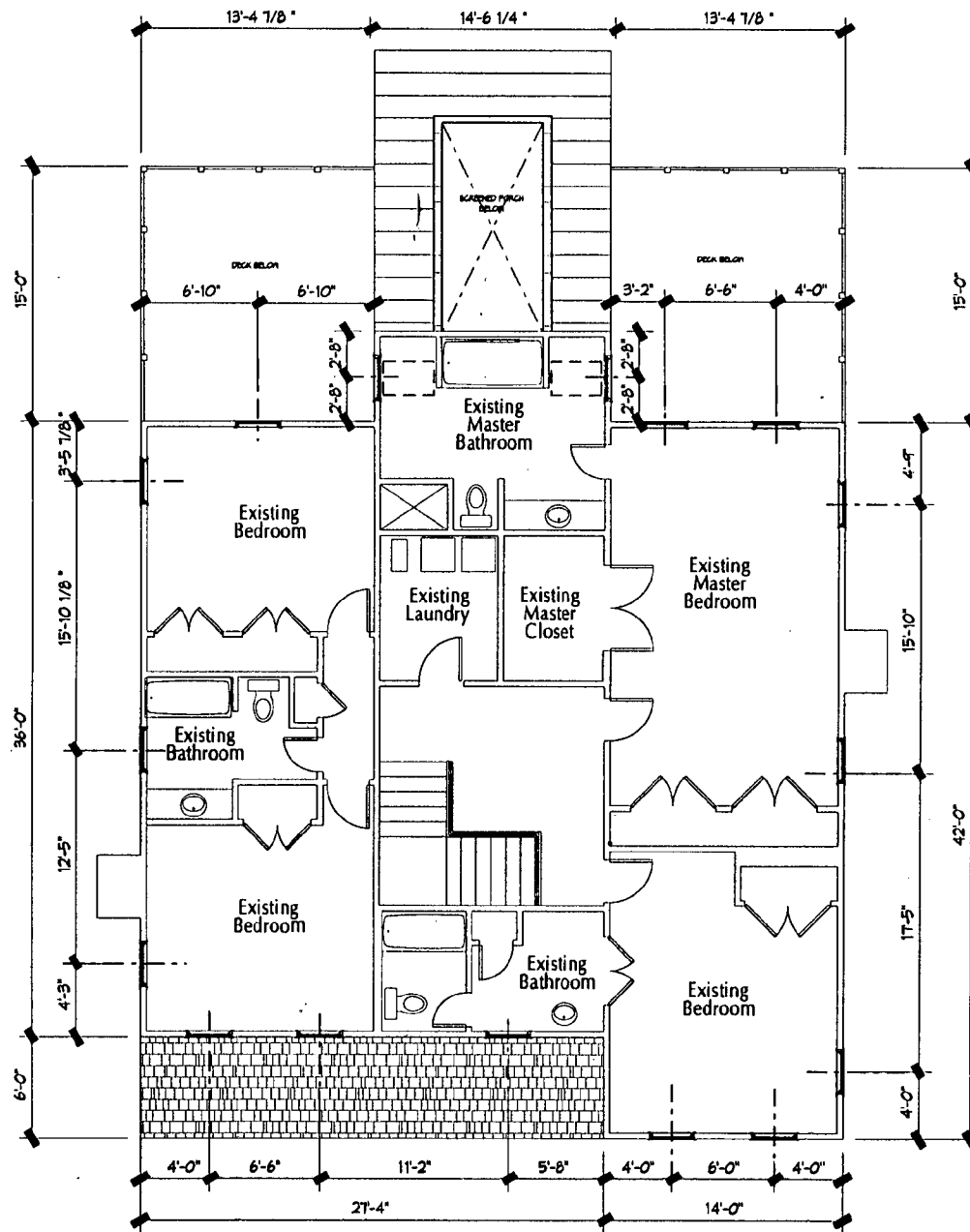


Knight Residence
 4808 Cumberland Avenue
 Chevy Chase, Maryland 20815

Proposed First Floor Plan

1/8" = 1'-0"

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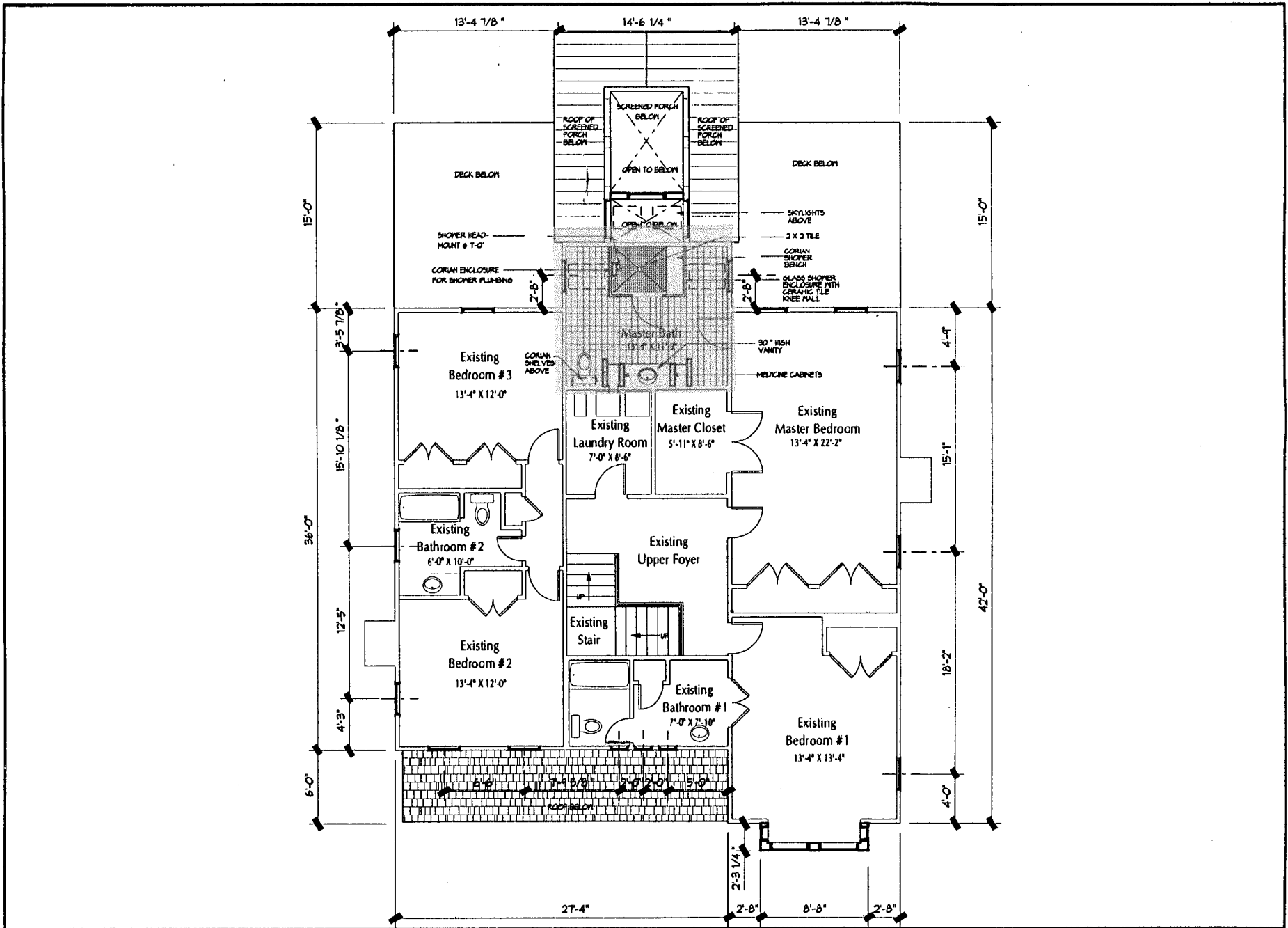
Knight Residence
 4808 Cumberland Avenue
 Chevy Chase, Maryland 20815

Existing Second Floor Plan

1/8" = 1'-0"

Submission to Historic Preservation Commission
 Cunningham + Quill Architects, PLLC
 August 21, 2002

6



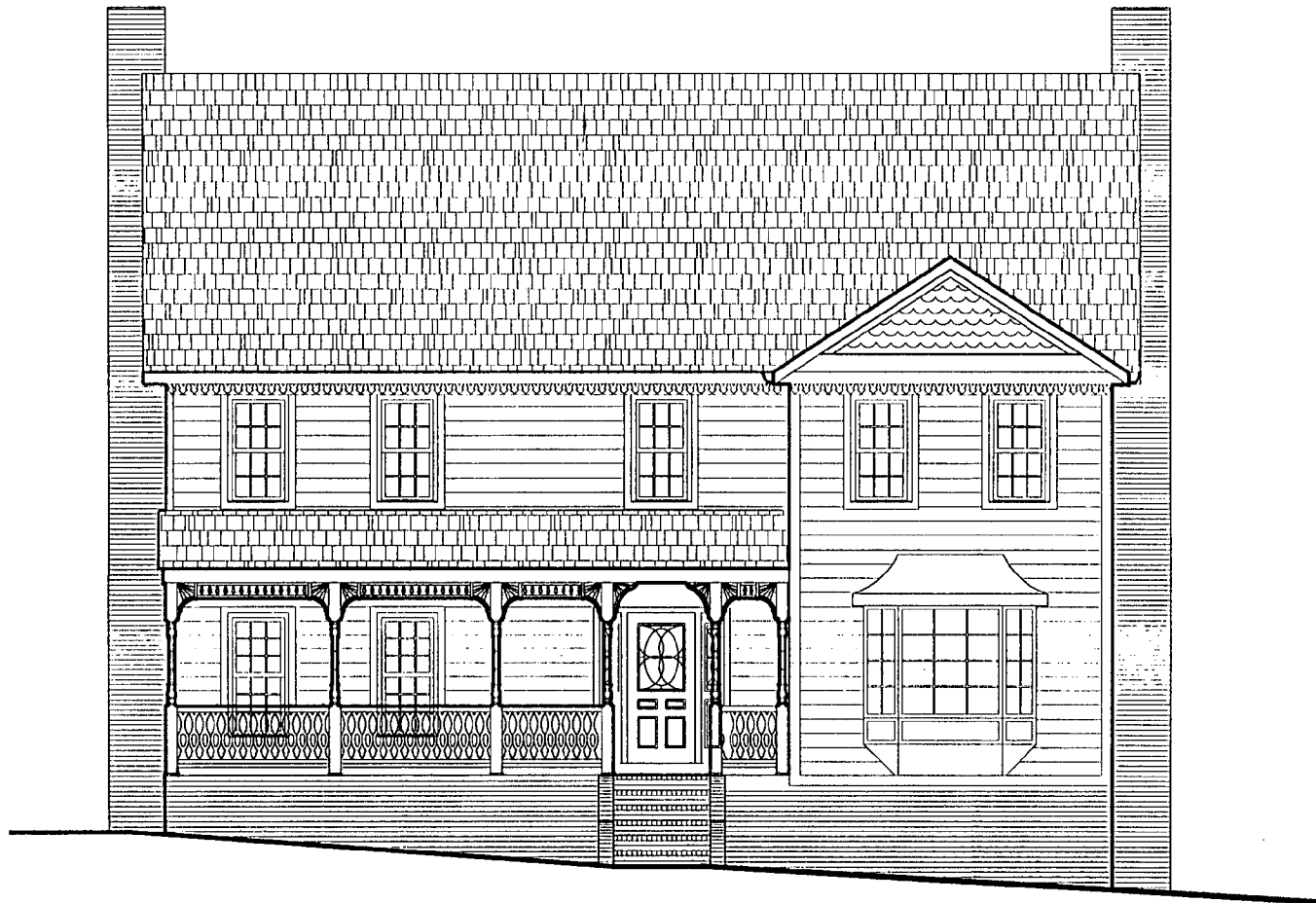
Knight Residence
 4808 Cumberland Avenue
 Chevy Chase, Maryland 20815

Proposed Second Floor Plan

1/8" = 1'-0"

Submission to Historic Preservation Commission
 Cunningham + Quill Architects, PLLC
 August 21, 2002

10

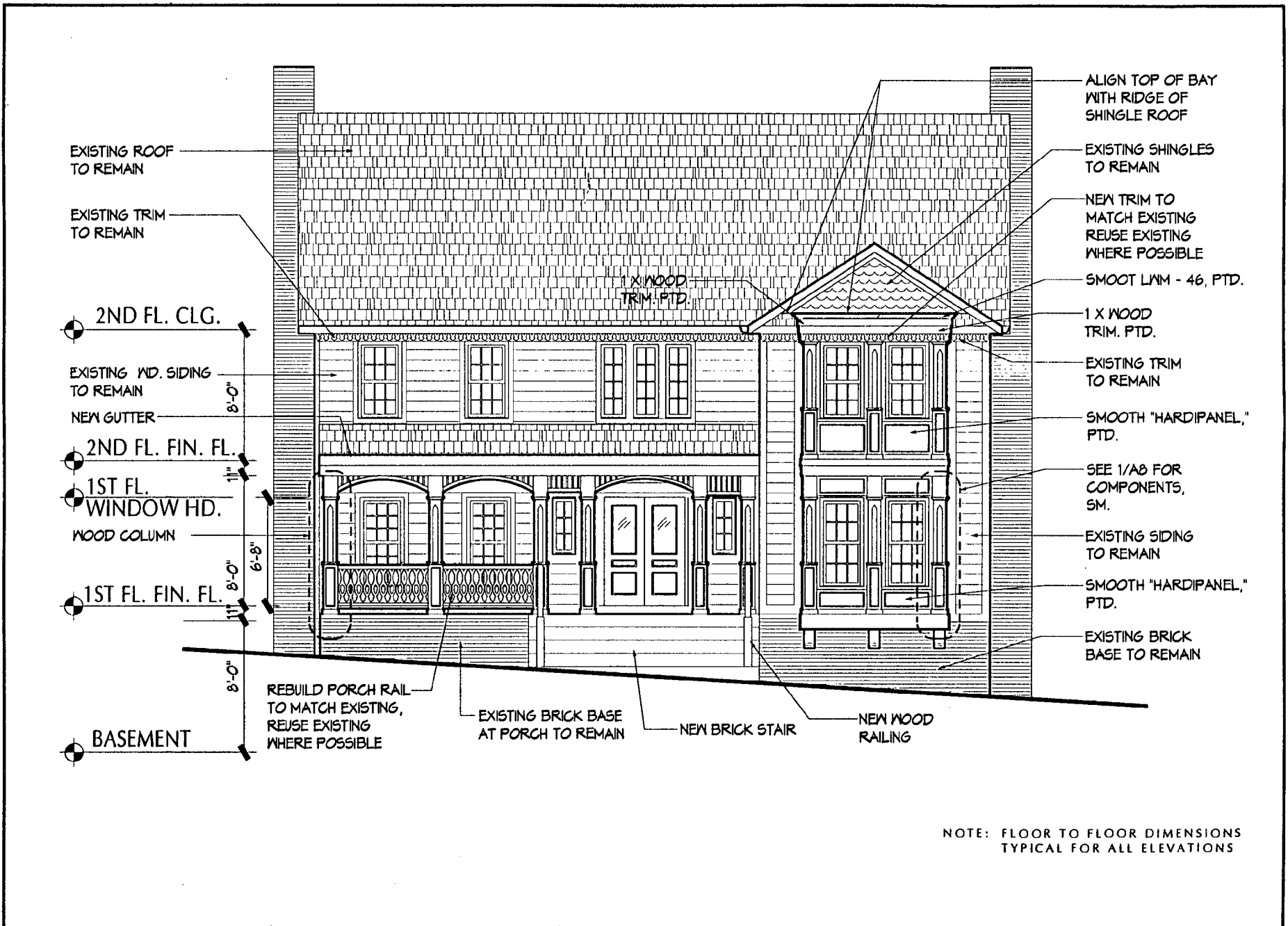


11
Knight Residence
4808 Cumberland Avenue
Chevy Chase, Maryland 20815

Existing North Elevation

1/8" = 1'-0"

Submission to Historic Preservation Commission
Cunningham + Quill Architects, PLLC
August 21, 2002



NOTE: FLOOR TO FLOOR DIMENSIONS TYPICAL FOR ALL ELEVATIONS

Knight Residence
 4808 Cumberland Avenue
 Chevy Chase, Maryland 20815

Proposed North Elevation

1/8" = 1'-0"

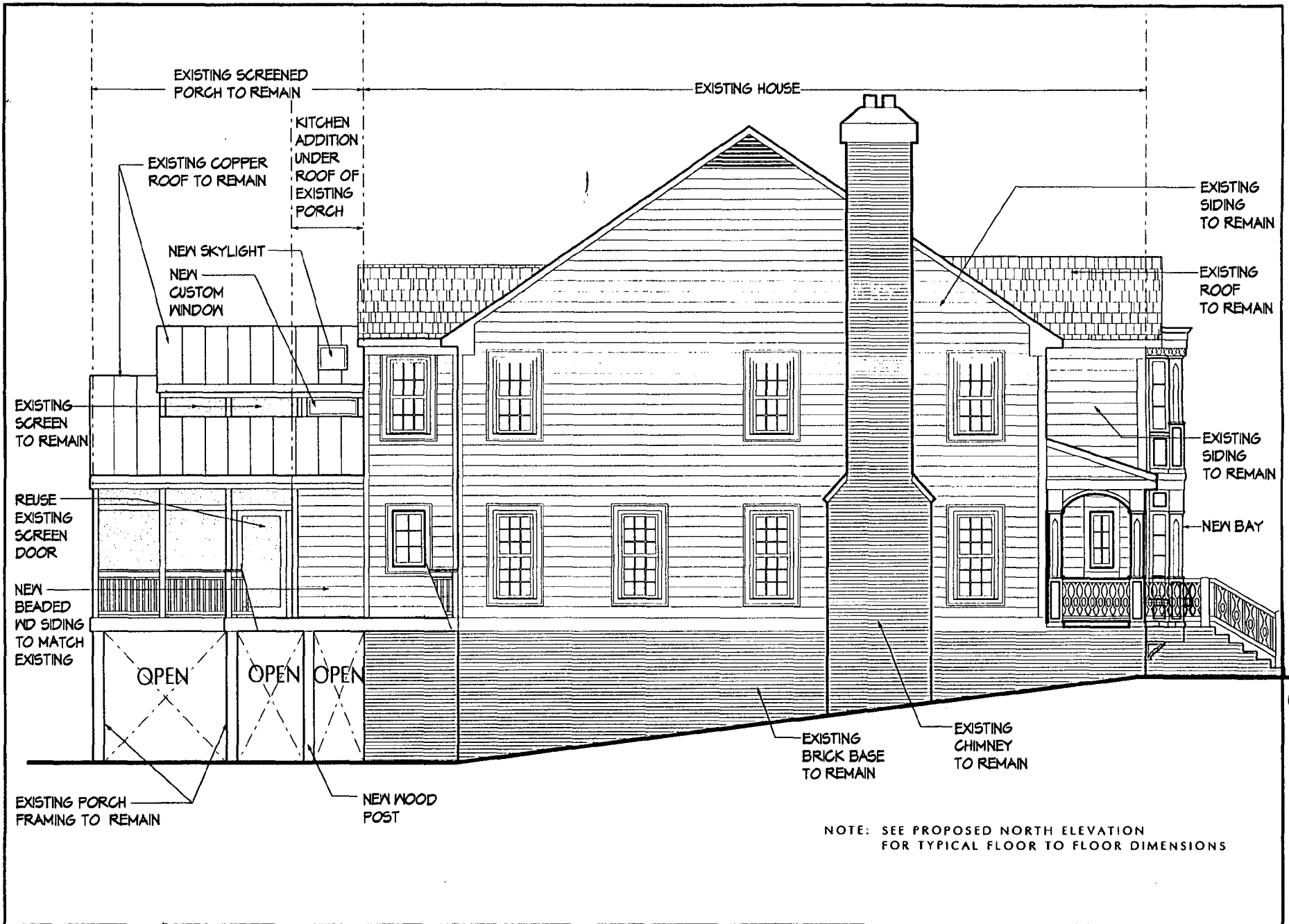
Submission to Historic Preservation Commission
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13
Knight Residence
4808 Cumberland Avenue
Chevy Chase, Maryland 20815

Existing East Elevation
1/8" = 1'-0"

Submission to Historic Preservation Commission
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August 21, 2002



71
Knight Residence
 4808 Cumberland Avenue
 Chevy Chase, Maryland 20815

Proposed East Elevation

1/8" = 1'-0"

Submission to Historic Preservation Commission
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 August 21, 2002

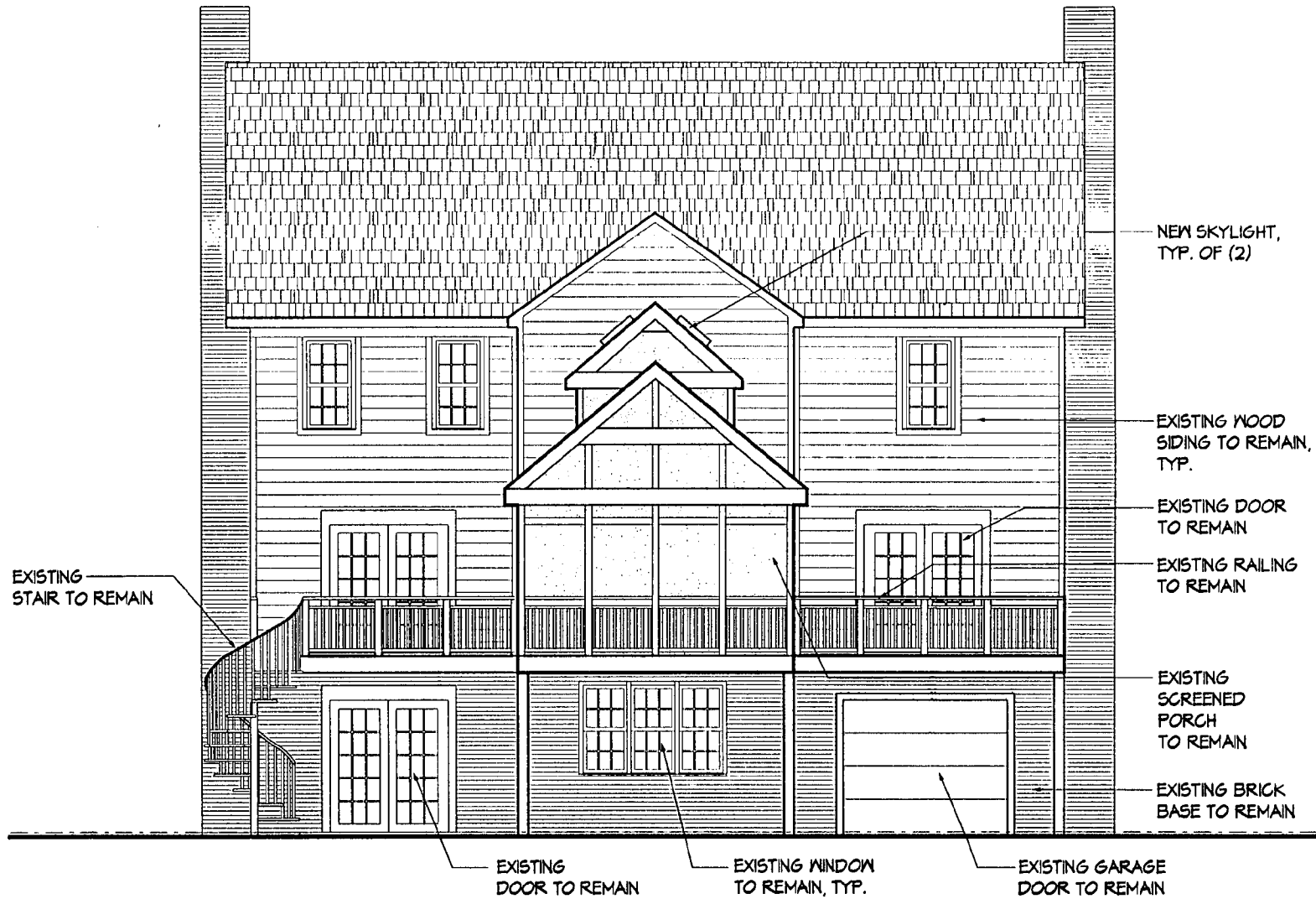


15
Knight Residence
4808 Cumberland Avenue
Chevy Chase, Maryland 20815

Existing South Elevation

1/8" = 1'-0"

Submission to Historic Preservation Commission
Cunningham + Quill Architects, PLLC
August 21, 2002



NOTE: SEE PROPOSED NORTH ELEVATION
FOR TYPICAL FLOOR TO FLOOR DIMENSIONS

9/10
Knight Residence
4808 Cumberland Avenue
Chevy Chase, Maryland 20815

Proposed South Elevation

1/8" = 1'-0"

Submission to Historic Preservation Commission
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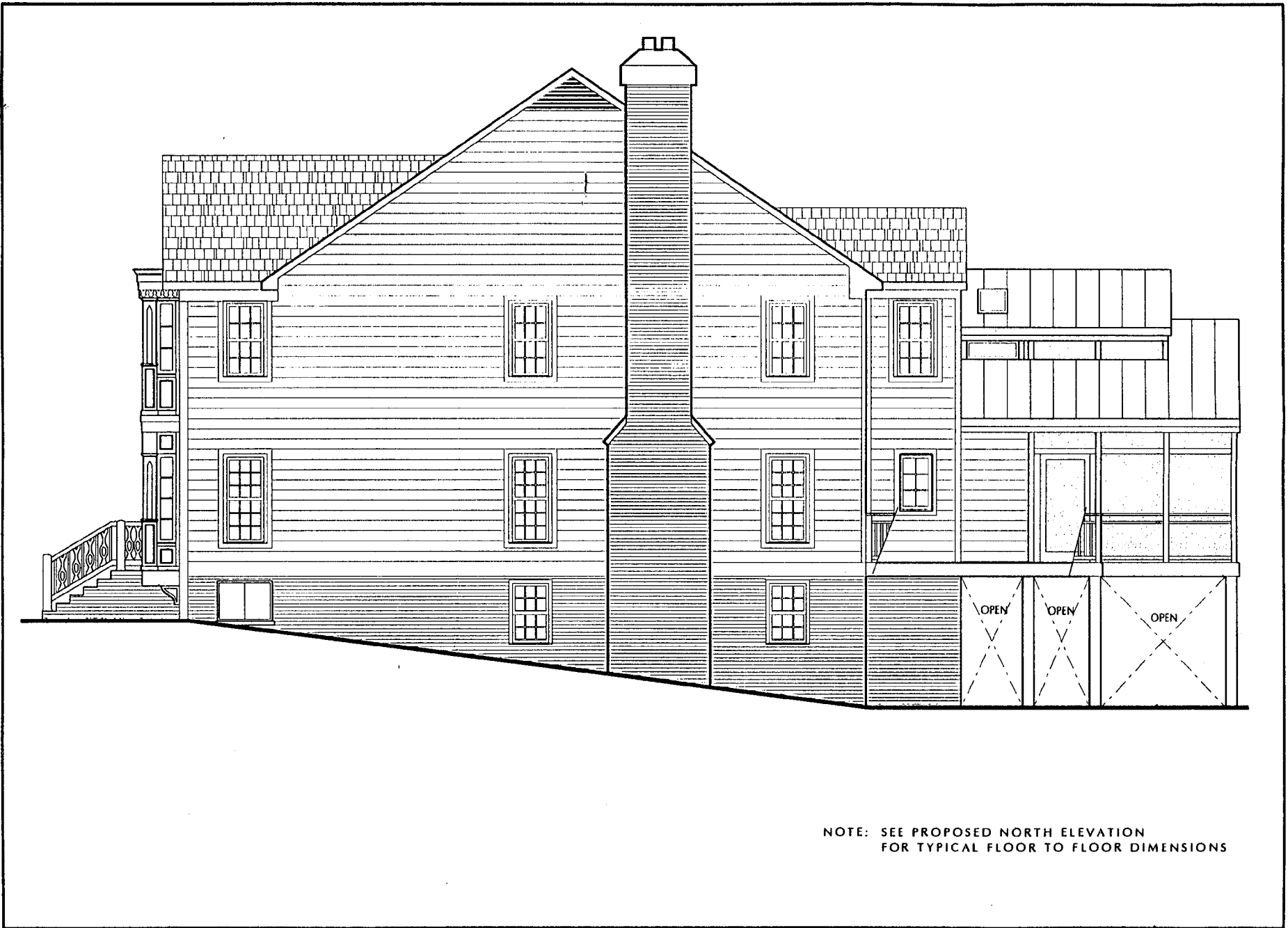
17

Knight Residence
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Existing West Elevation

1/8" = 1'-0"

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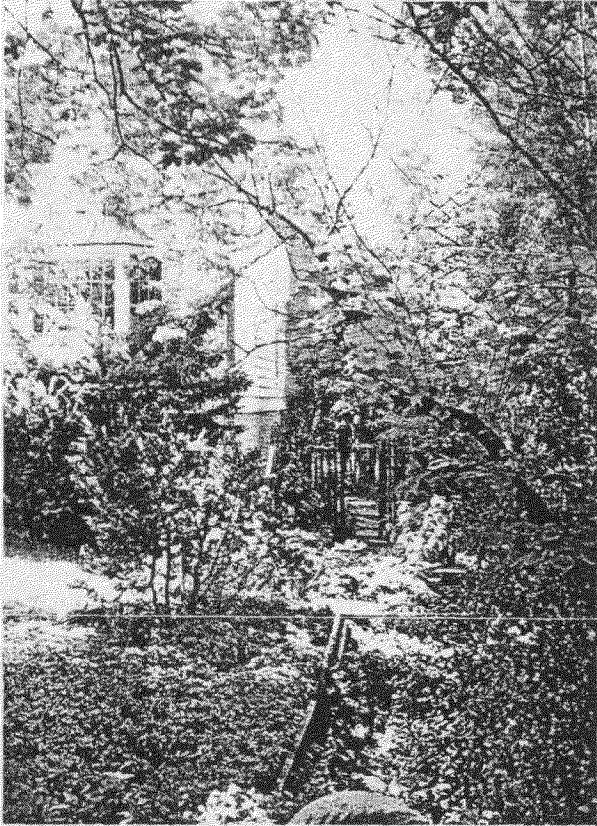
18
Knight Residence
4808 Cumberland Avenue
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Proposed West Elevation
1/8" = 1'-0"

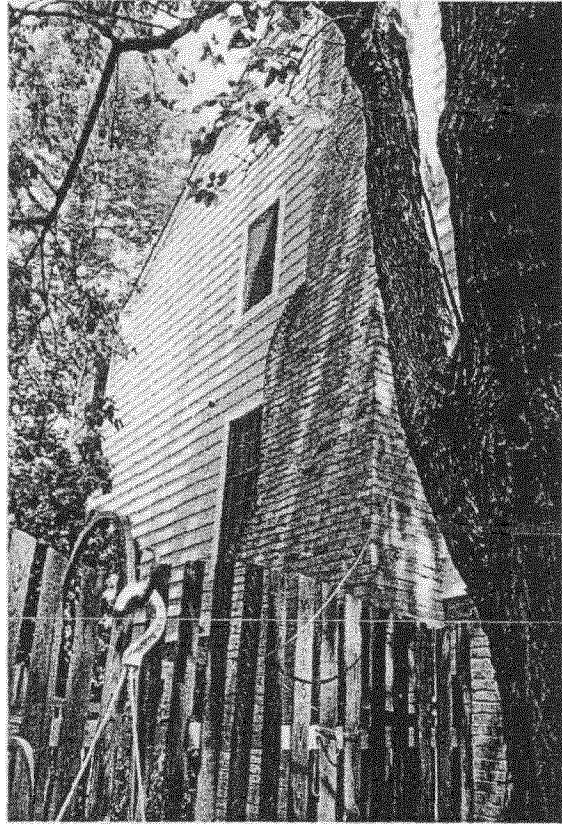
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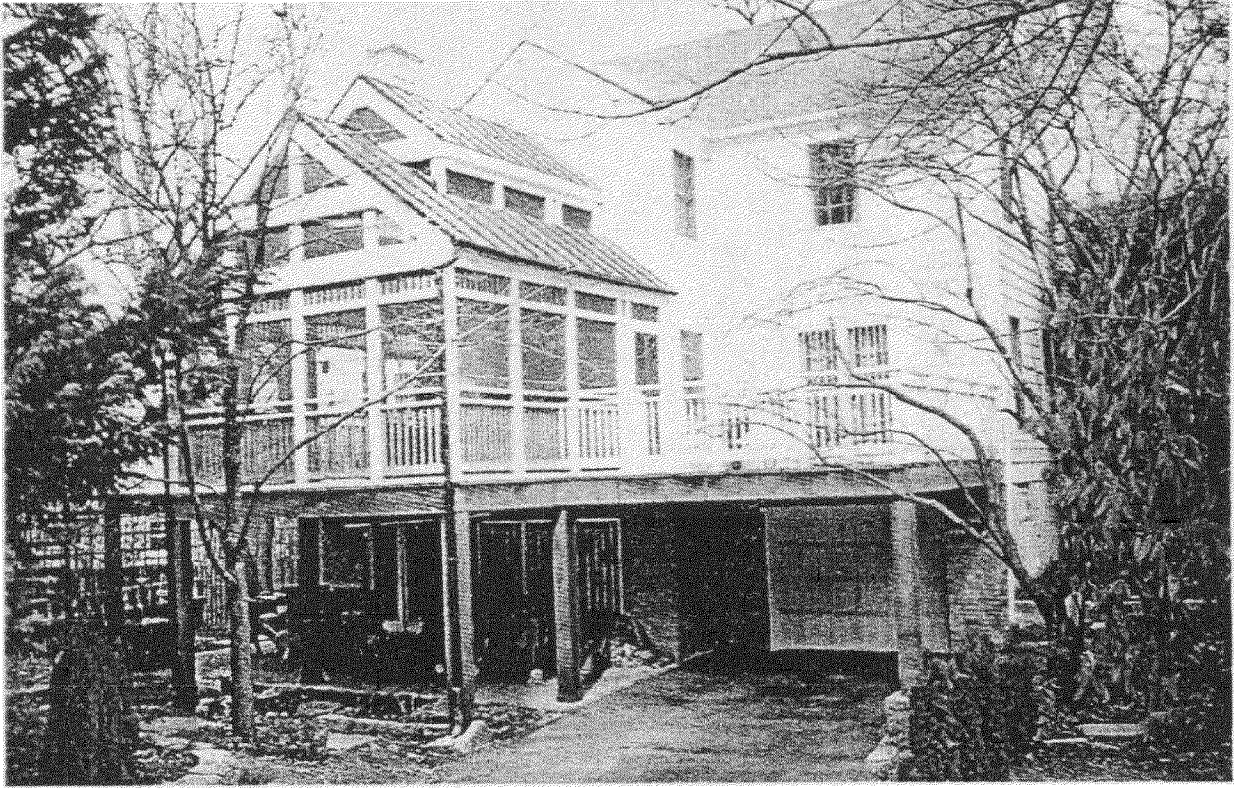
View of Front of House from Cumberland Avenue



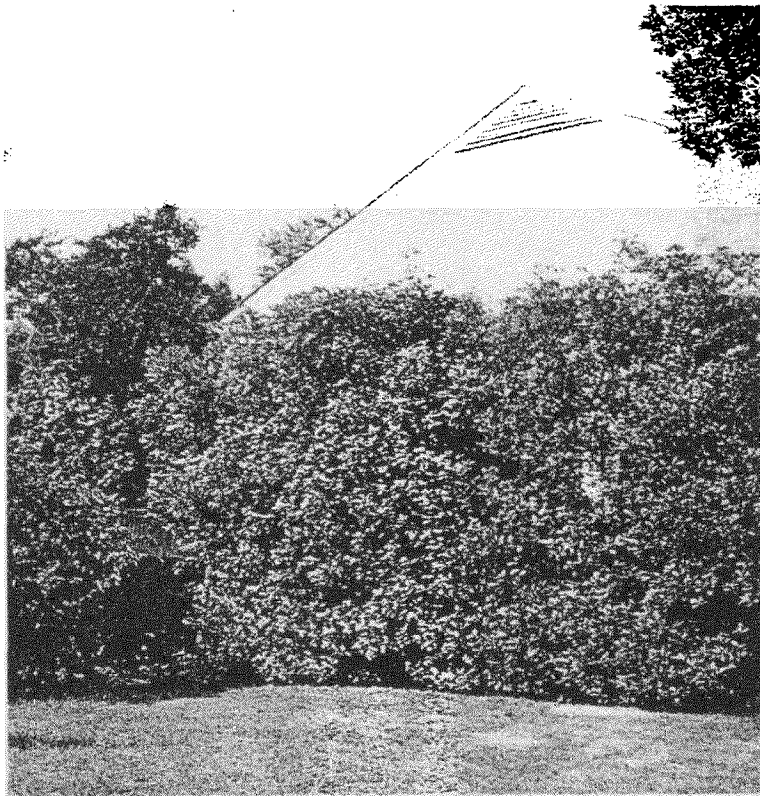
View of West Side from Street



View of West Side from Back Patio



View of Back of House from Driveway



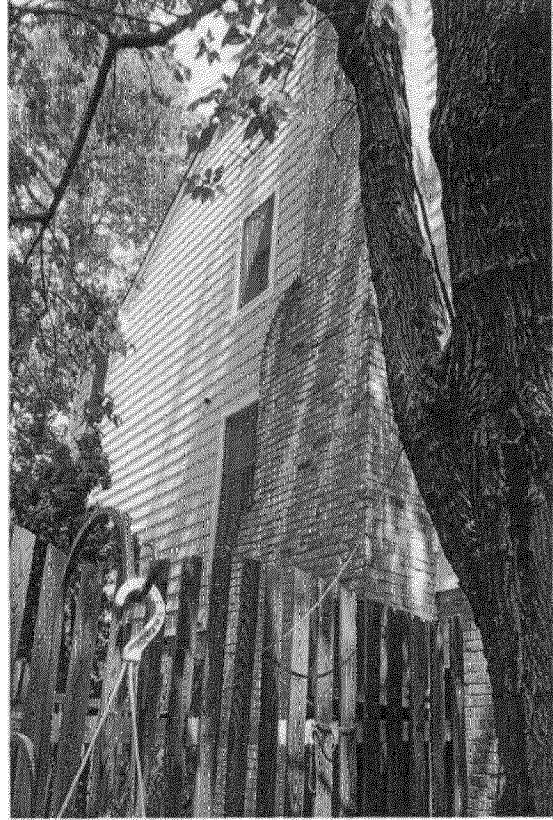
View of East Side from Neighboring Property



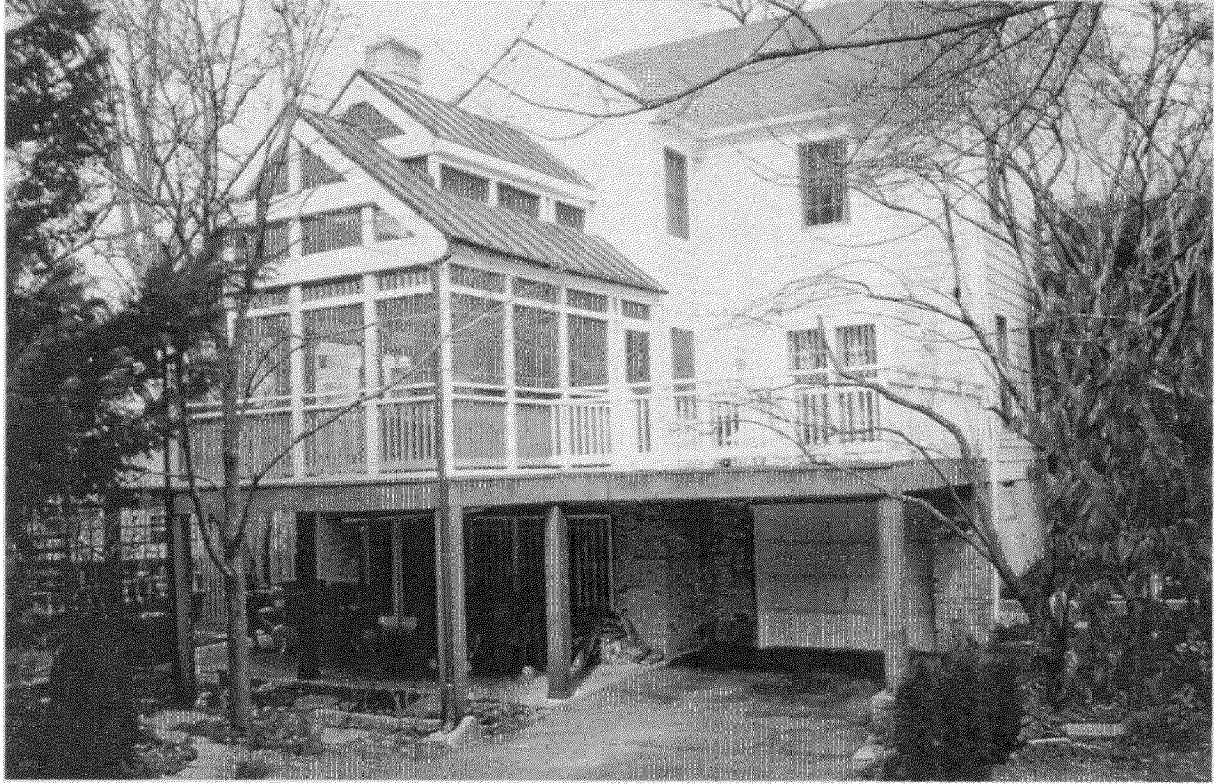
View of Front of House from Cumberland Avenue



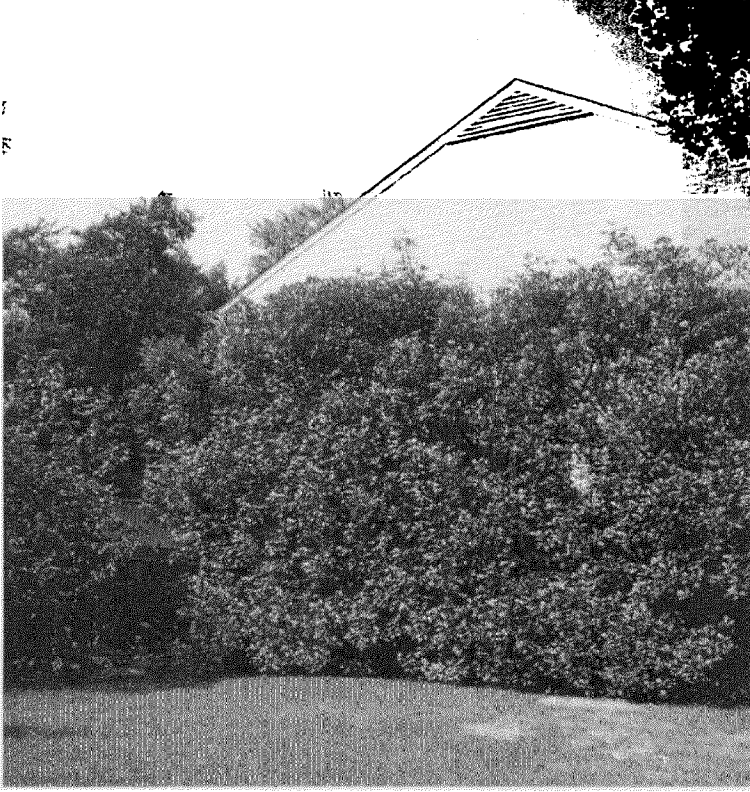
View of West Side from Street



View of West Side from Back Patio



View of Back of House from Driveway



View of East Side from Neighboring Property

Letter of Transmittal

| | |
|---|--|
| To: Montgomery County Department of Park & Planning 1109 Spring Street, Suite 301 Silver Spring, MD 20910 Attn: Gwen Wright | Date: 11/26/02 Project: Knight Project No.: 20201 Re: Permit Submission |
|---|--|

We are sending you attached the following items :

- | | | | |
|--|---|--|--|
| <input type="checkbox"/> Addendum/Change Order | <input type="checkbox"/> Copy of letter | <input type="checkbox"/> Plans | <input checked="" type="checkbox"/> Prints |
| <input type="checkbox"/> Samples | <input type="checkbox"/> Shop drawings | <input checked="" type="checkbox"/> Specifications | <input type="checkbox"/> Other: |

If enclosures not as indicated, kindly notify us at once.

| Copies | Date | No. | Description |
|--------|----------|-----|---------------------------------------|
| 1 | 11/22/02 | | (1) Permit Set A1-A9, S-1, S-2, MEP-1 |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |

These are transmitted as checked below:

- | | | |
|--|---|---|
| <input type="checkbox"/> For approval | <input type="checkbox"/> Accepted as submitted | <input type="checkbox"/> Resubmit copies for review |
| <input checked="" type="checkbox"/> For your use | <input type="checkbox"/> Accepted as noted | <input type="checkbox"/> Submit copies for distribution |
| <input type="checkbox"/> As requested | <input type="checkbox"/> Returned for revisions | <input type="checkbox"/> Return revised prints |
| <input type="checkbox"/> For review and comment | <input type="checkbox"/> For bid due | <input type="checkbox"/> Prints returned after loan to us |
| <input type="checkbox"/> Other: for information | | |

Remarks:

Dear Ms. Wright,

Attached please find a set of drawings for the Knight Residence in the Town of Somerset. I attended a hearing on September 11, 2002 and received approval for our addition and renovation. Shortly after the hearing, I spoke with Robin Ziek about the project and informed her that we reduced the scope of work, as you will see in the drawings. (I understand Robin is no longer at this location.) When I submitted the drawings to Montgomery County for permit, I was told I need to have a sticker on the drawings from Historic Preservation. The drawings are now being held by the building department pending your approval. Could you please advise me how to proceed? If I need to retrieve the drawings from Montgomery County and have them reviewed by your office I will do so. However, if we can take care of this by phone it would help things go more quickly. I appreciate your assistance. Thank you.

Signed: 
 Margaret Stanton

copies to: Chron File Project file Other:

s:\projects\20201- knight\transmittals\20201-mncppc(gw)-021125-trans-permit.doc

HISTORIC PRESERVATION COMMISSION STAFF REPORT

| | | | |
|---------------------|---|-----------------------|---------------|
| Address: | 4808 Cumberland Avenue | Date: | 09/11/02 |
| Applicant: | Gayley Knight (Margaret Stanton, Agent) | Report Date: | 09/4/02 |
| Resource: | Somerset Historic District | Public Notice: | 08/25/02 |
| Review: | HAWP | Tax Credit: | Yes |
| Site Number: | 35/65-02C | Staff: | Robin D. Ziek |
| PROPOSAL: | Rear addition, front vestibule, front 2-story bay | | |
| RECOMMEND: | Approve | | |

The Somerset LAP has reviewed this project and has no objections.

PROJECT DESCRIPTION

SIGNIFICANCE: Non-contributing
STYLE: Victorian Revival
DATE: ca. 1980

The existing 2-story frame house has a narrow front porch extending across the front of the house to a low 2-story projecting gable ell on the right side. There is a modern bay window on the first floor of the ell. The house sits on the south side of Cumberland Avenue, at a lower grade than the street, and the site is well landscaped.

PROPOSAL

The applicant proposes to make some alterations to this new house. This would include removing the existing bay window to the right of the front door, and constructing a two-story bay with heavy "Victorian" details. In addition, the applicant would remove the existing porch columns and decorative trim at the ceiling edge, and replace it with columns and details to match the new 2-story bay.

In order to get a vestibule at the front entrance, the applicant would extend the front door entrance approximately 5'. The new door and vestibule entry would still be under the porch roof. The front steps would be widened to the width of the vestibule, although the porch columns would still bracket the front door (see Circle 8, 12).

Other alterations at the front include replacing the single window above the front door at the 2nd floor level with three narrow windows. At the rear, the applicant would expand the kitchen into the area of the existing rear porch, and make some modifications to the master bath on the 2nd floor (see Circle 8, 12).

STAFF DISCUSSION

The alterations at the rear will have no effect on the district. The alterations at the front would not be approved on a Contributing Resource, and staff is concerned that this be clearly understood if the HPC approves this proposal. As a Non-Contributing Resource, alterations are reviewed in terms of the overall district. The proposed design of the new 2-story bay and front porch is more elaborate and ornate than is seen in this district. The applicant did research on Victorian homes all over the country, as far away as San Francisco, to achieve a design of some authenticity. Staff acknowledges this, while noting that in the Somerset Historic District, the original Victorian homes do not have such heavy details.

The alterations to the front door with the addition of a vestibule is also problematic, because such a feature is not found in this district. There is an example of a late Victorian/early 20th century vestibule in the Kensington Historic District. The interesting feature at that house is that the vestibule is treated like a storm window, to be installed in the winter, and removed during the summer.

As the house is at a lower elevation than the street, and set back from it, the property is not that prominent. In addition, the house has numerous elements which clearly identify it as a new structure. This includes the massing, with the large rectangular block, and the attached ell with its shallow pitched roof which engages the main roof far down from the ridge line. The trim at the eaves doesn't "read" as a Victorian element. The foundation brick is obviously new. The narrow width of the front porch is atypical, especially given the level of elaborate detail that currently exists and the even more elaborate detail which is being proposed.

There are numerous non-contributing elements in the Somerset Historic District, such as this one, which strive to blend in with the earlier homes. Staff feels that the scale, massing and details of the historic buildings are strongly distinctive from the Non-Contributing resources. As long as it is clearly established that this proposal, for work at a Non-Contributing resource, is not precedence for similar proposals at the district's historic resources, staff feels this application could be approved.

STAFF RECOMMENDATION

Staff recommends that the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an

historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's *Standards for Rehabilitation* #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and subject to the general condition that **the applicant shall present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for building permits (1 set for HPC files)** and that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-8370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Margaret Stanton
Daytime Phone No.: 202-337-0090

Tax Account No.: 537347

Name of Property Owner: Gayley Knight Daytime Phone No.: 301-656-7388

Address: 4808 Cumberland Ave. Chevy Chase, MD 20815

Street Number City Street Zip Code
Not Yet Selected

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: Margaret Stanton Daytime Phone No.: 202-337-0090

Address: 1054 31st St. NW Suite 315 Washington DC 20007

LOCATION OF BUILDING/PREMISE

House Number: 4808 Street Cumberland Avenue

Town/City: Chevy Chase Nearest Cross Street: Warwick Place

Lot: 31 Block: 2 Subdivision: Somerset Heights

Liber: 5891 Folio: 877 Parcel: District 7 Subdivision 44

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|---|---|--|--|------------------------------------|---|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input checked="" type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 100,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/AUCTIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Margaret Stanton
Signature of owner or authorized agent

8/21/02
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 285863 Date Filed: 8/21/02 Date issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Two story single family residence on 7800 sq ft lot in
Town of Somerset. House constructed in 1983.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

Extension of kitchen at back of house within confines of
existing covered porch; addition of vestibule in front under
roof of existing covered porch; new exterior stair and
landing in front; new two story bay window. Reconstruction
of front porch in place. Master Bath renovation.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

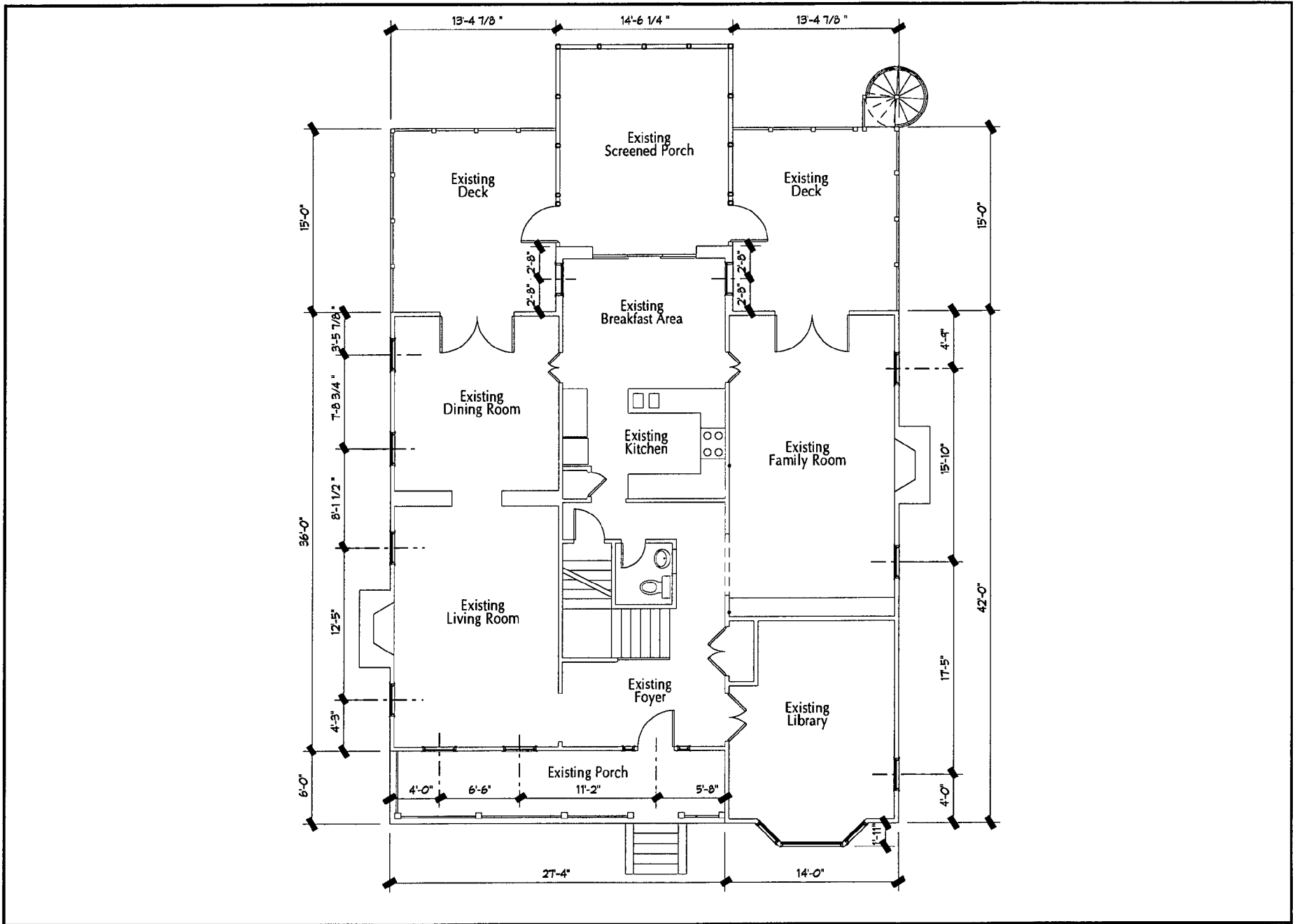
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



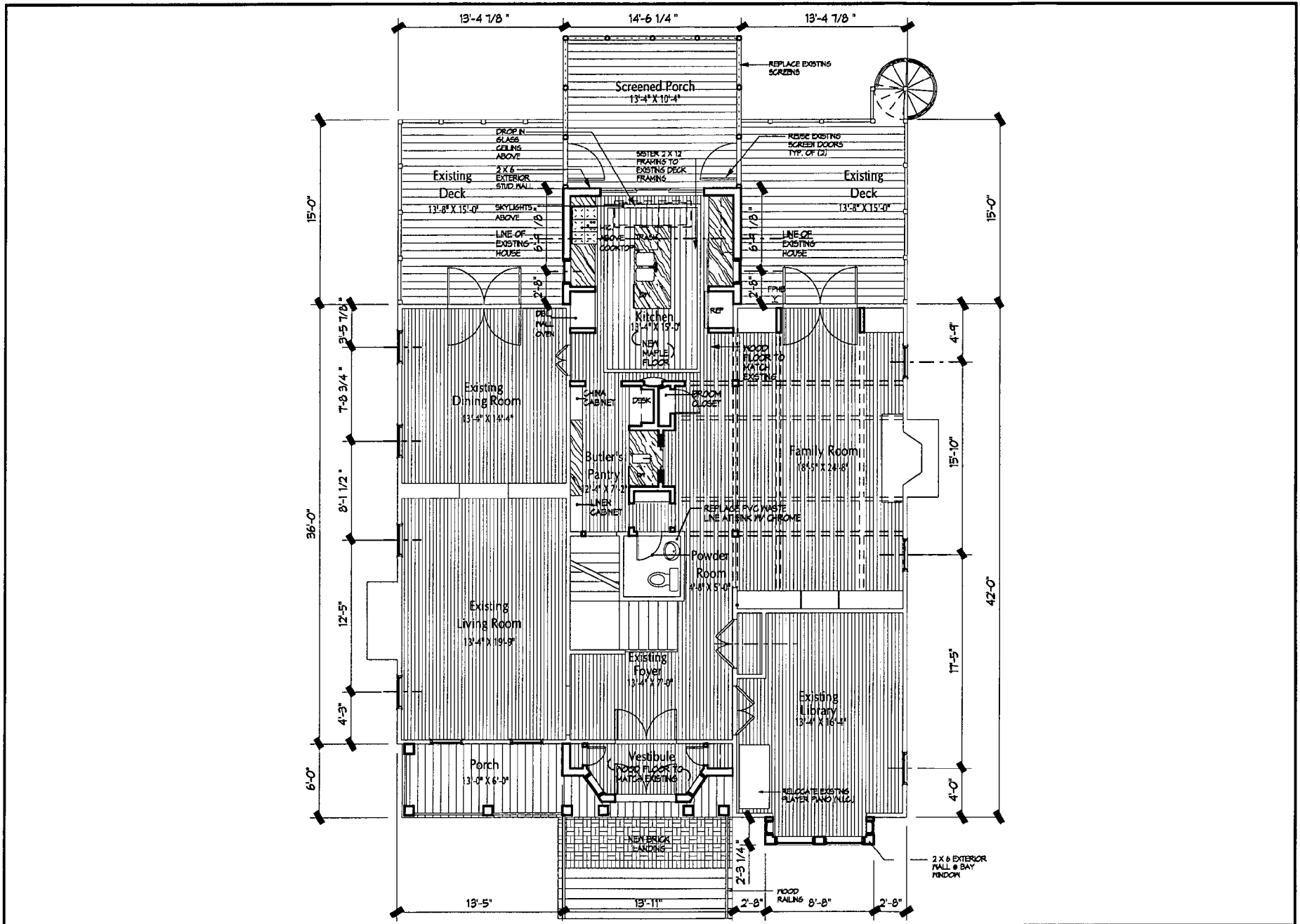
Knight Residence
 4808 Cumberland Avenue
 Chevy Chase, Maryland 20815

Existing First Floor Plan

1/8" = 1'-0"

Submission to Historic Preservation Commission
 Cunningham + Quill Architects, PLLC
 August 21, 2002





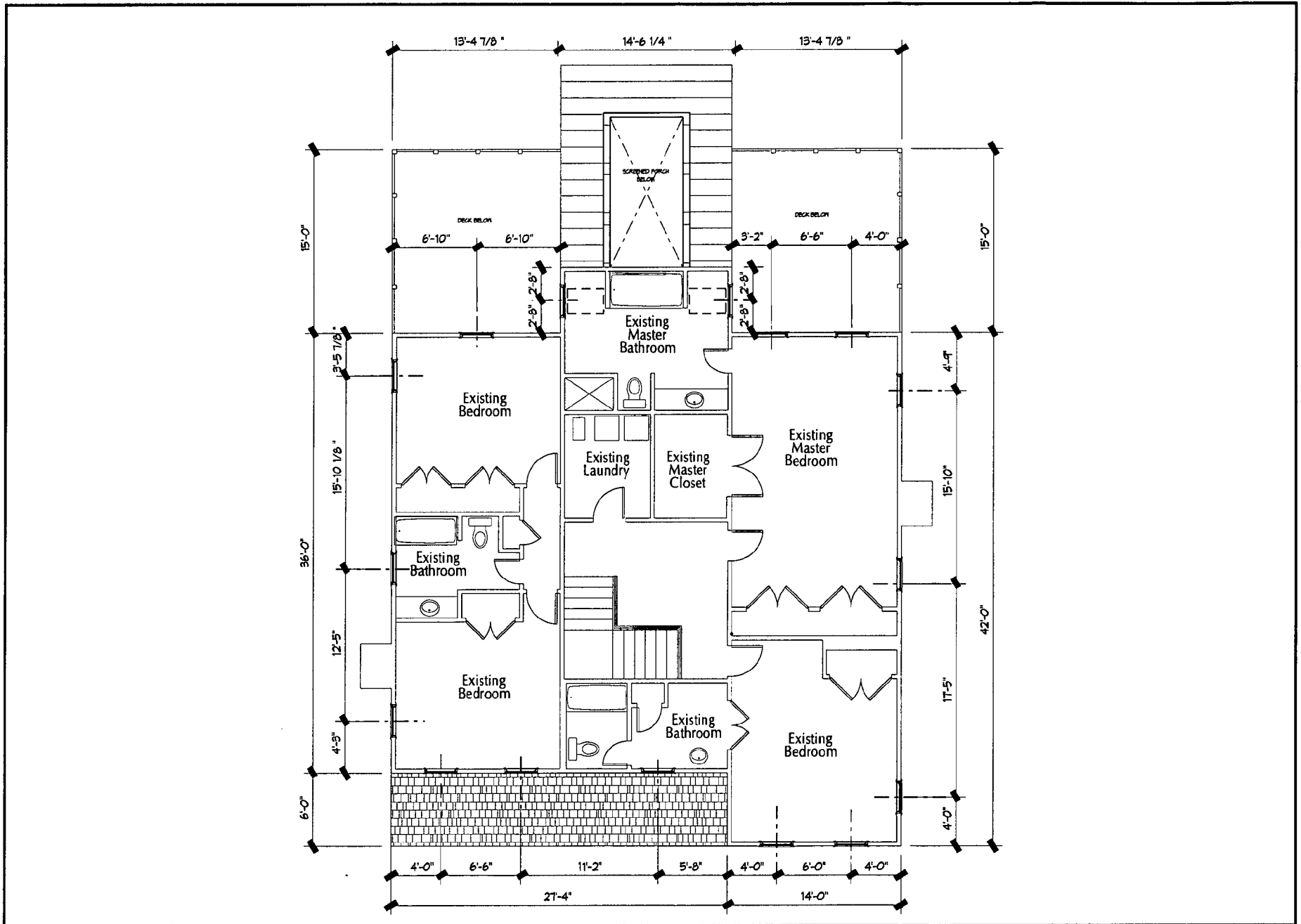
Knight Residence
 4808 Cumberland Avenue
 Chevy Chase, Maryland 20815

Proposed First Floor Plan

1/8" = 1'-0"

Submission to Historic Preservation Commission
 Cunningham + Quill Architects, PLLC
 August 21, 2002

9



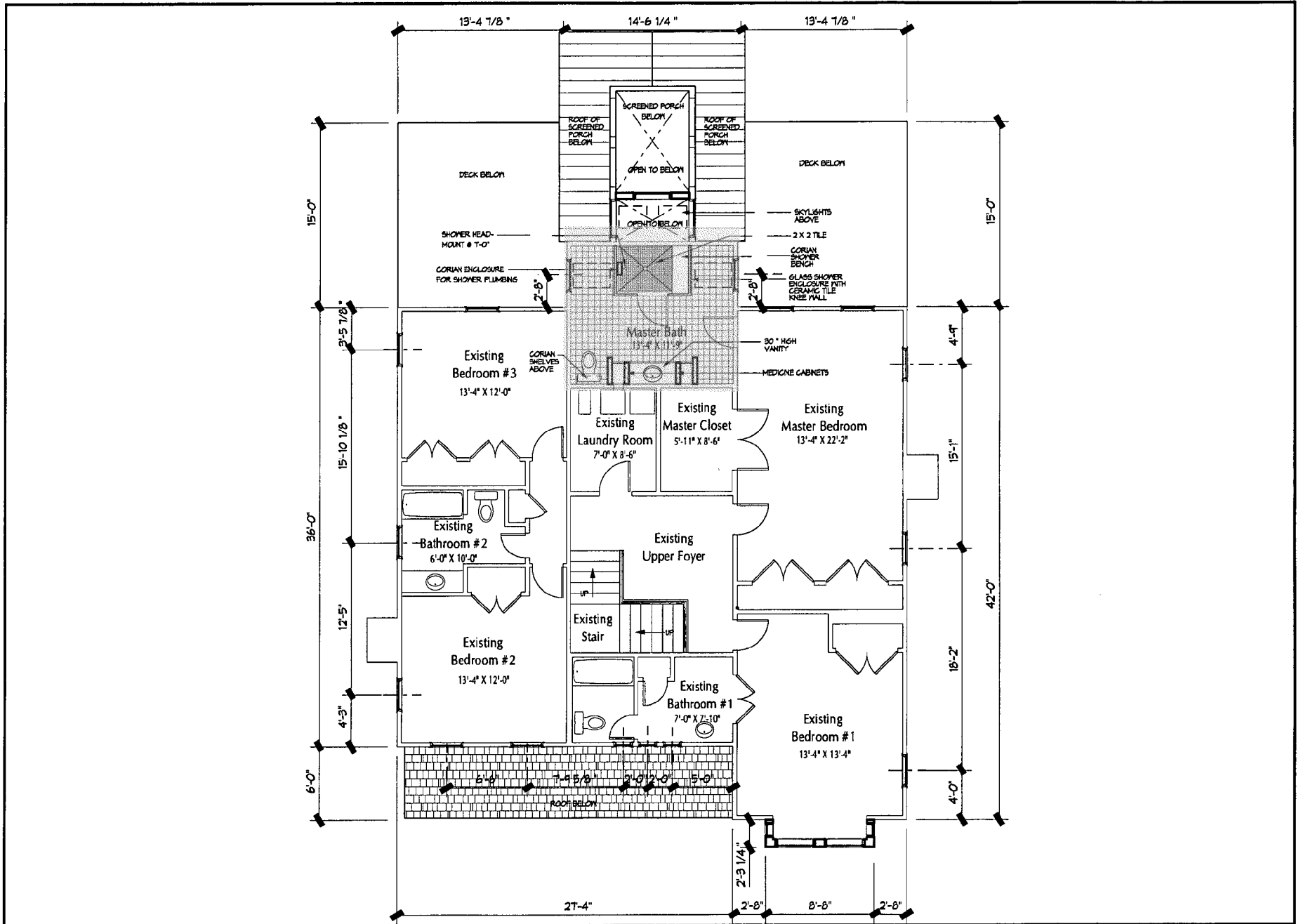
Knight Residence
 4808 Cumberland Avenue
 Chevy Chase, Maryland 20815

Existing Second Floor Plan

1/8" = 1'-0"

Submission to Historic Preservation Commission
 Cunningham + Quill Architects, PLLC
 August 21, 2002

6



Knight Residence
 4808 Cumberland Avenue
 Chevy Chase, Maryland 20815

Proposed Second Floor Plan

1/8" = 1'-0"

Submission to Historic Preservation Commission
 Cunningham + Quill Architects, PLLC
 August 21, 2002



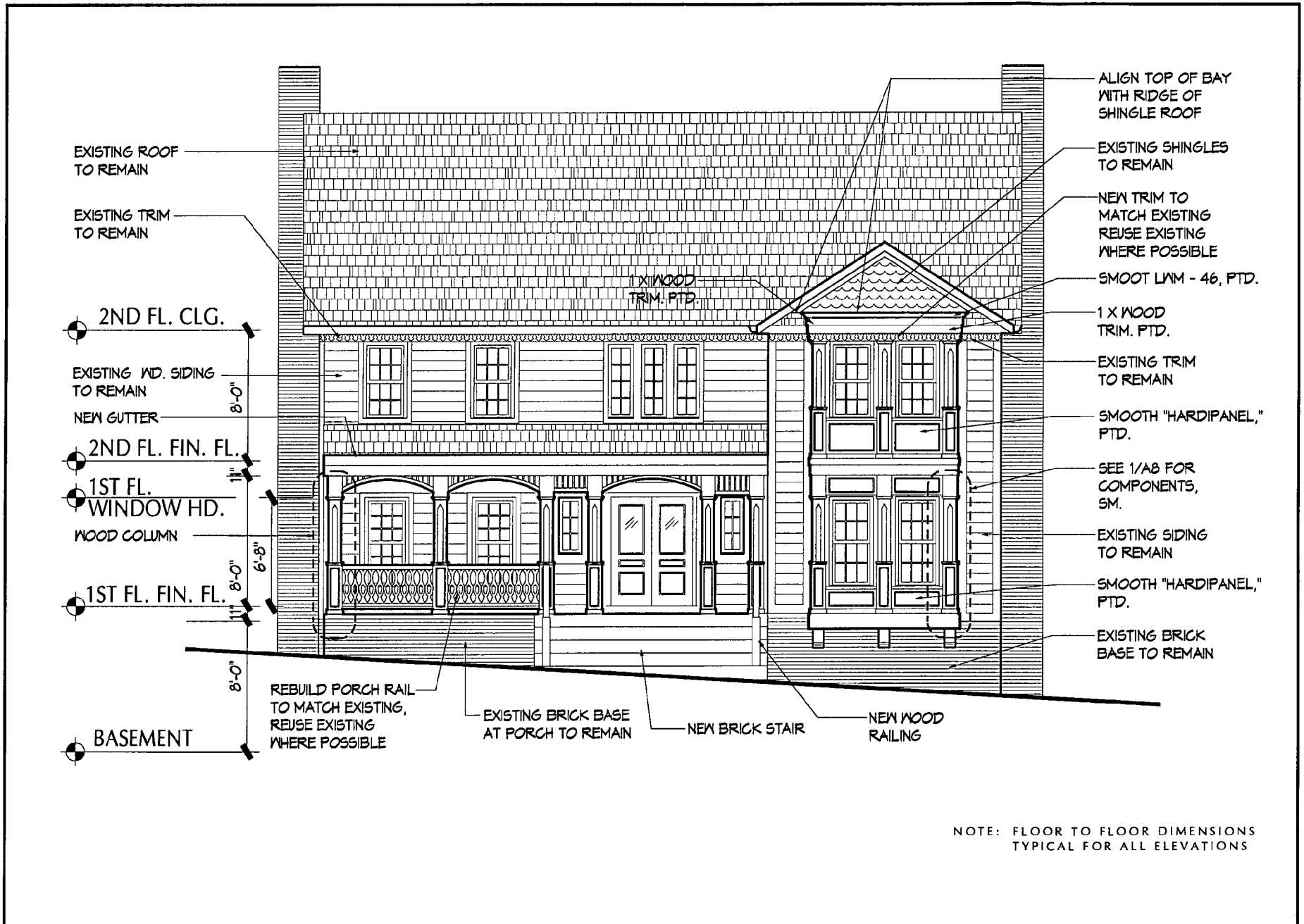
Knight Residence
4808 Cumberland Avenue
Chevy Chase, Maryland 20815

Existing North Elevation

1/8" = 1'-0"

Submission to Historic Preservation Commission
Cunningham + Quill Architects, PLLC
August 21, 2002





Knight Residence
 4808 Cumberland Avenue
 Chevy Chase, Maryland 20815

Proposed North Elevation

1/8" = 1'-0"

Submission to Historic Preservation Commission
 Cunningham + Quill Architects, PLLC
 August 21, 2002

12

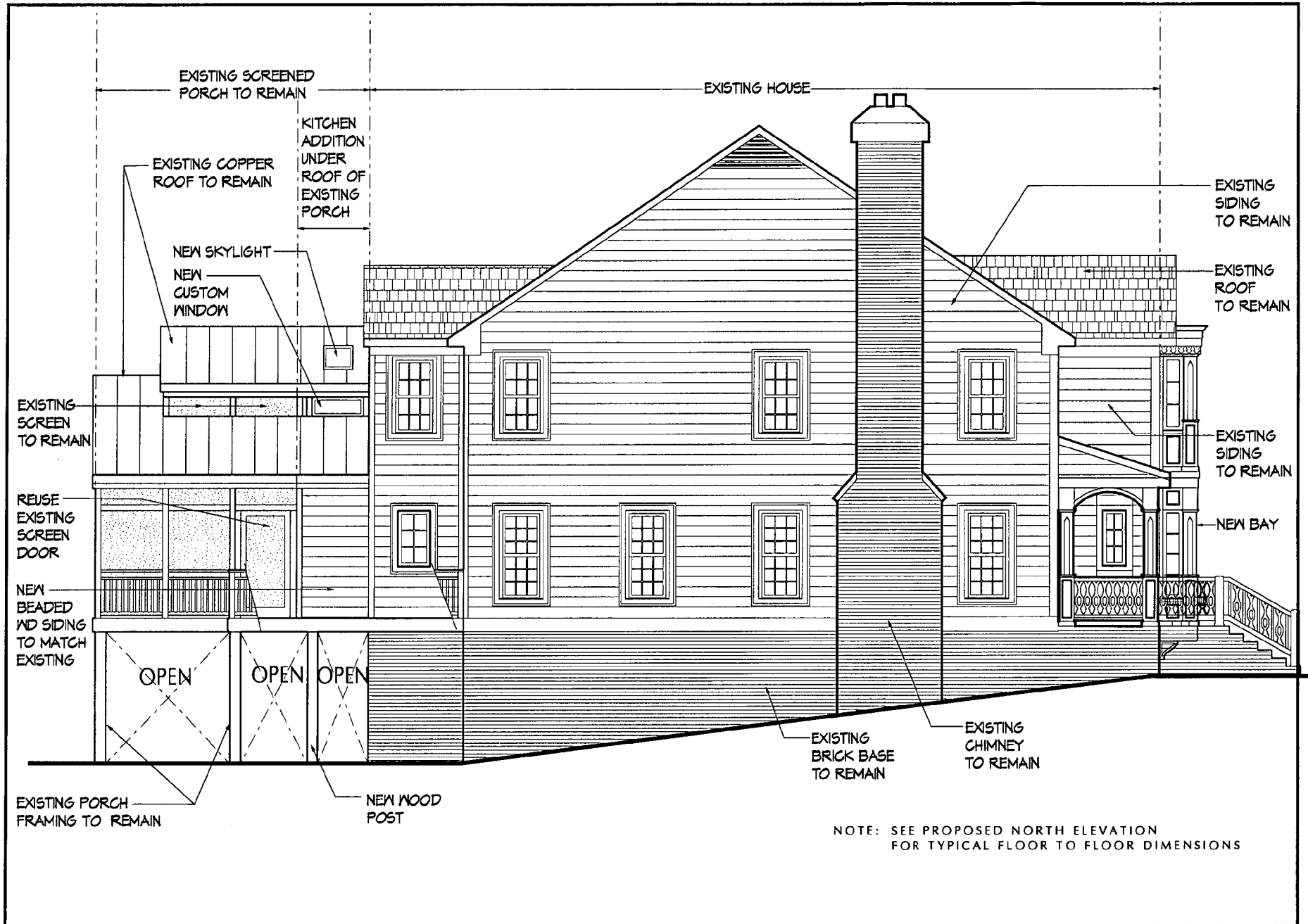


Knight Residence
4808 Cumberland Avenue
Chevy Chase, Maryland 20815

Existing East Elevation
1/8" = 1'-0"

Submission to Historic Preservation Commission
Cunningham + Quill Architects, PLLC
August 21, 2002

13



Knight Residence

4808 Cumberland Avenue
Chevy Chase, Maryland 20815

Proposed East Elevation

1/8" = 1'-0"

Submission to Historic Preservation Commission
Cunningham + Quill Architects, PLLC
August 21, 2002

②



Knight Residence
4808 Cumberland Avenue
Chevy Chase, Maryland 20815

Existing South Elevation
1/8" = 1'-0"

Submission to Historic Preservation Commission
Cunningham + Quill Architects, PLLC
August 21, 2002

15



NOTE: SEE PROPOSED NORTH ELEVATION
FOR TYPICAL FLOOR TO FLOOR DIMENSIONS

Knight Residence
4808 Cumberland Avenue
Chevy Chase, Maryland 20815

Proposed South Elevation

1/8" = 1'-0"

Submission to Historic Preservation Commission
Cunningham + Quill Architects, PLLC
August 21, 2002

16



Knight Residence
4808 Cumberland Avenue
Chevy Chase, Maryland 20815

Existing West Elevation
1/8" = 1'-0"

Submission to Historic Preservation Commission
Cunningham + Quill Architects, PLLC
August 21, 2002

(1)



Knight Residence
4808 Cumberland Avenue
Chevy Chase, Maryland 20815

Proposed West Elevation
1/8" = 1'-0"

Submission to Historic Preservation Commission
Cunningham + Quill Architects, PLLC
August 21, 2002

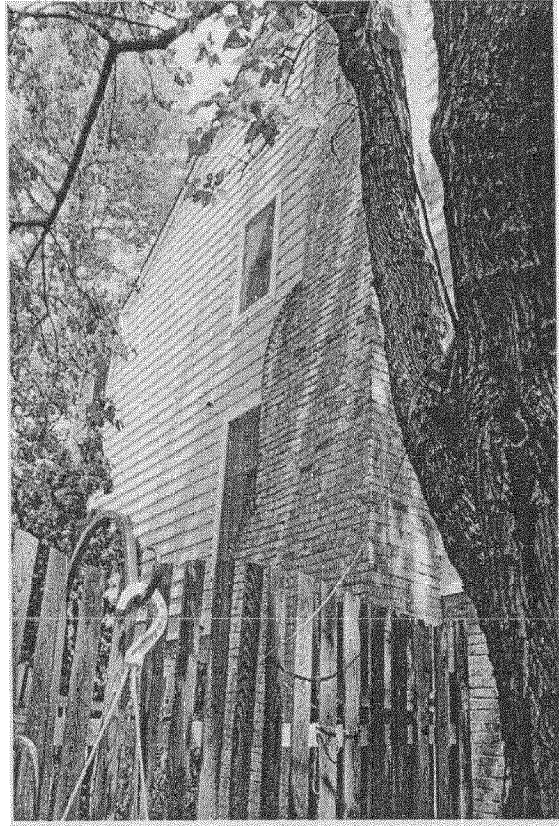
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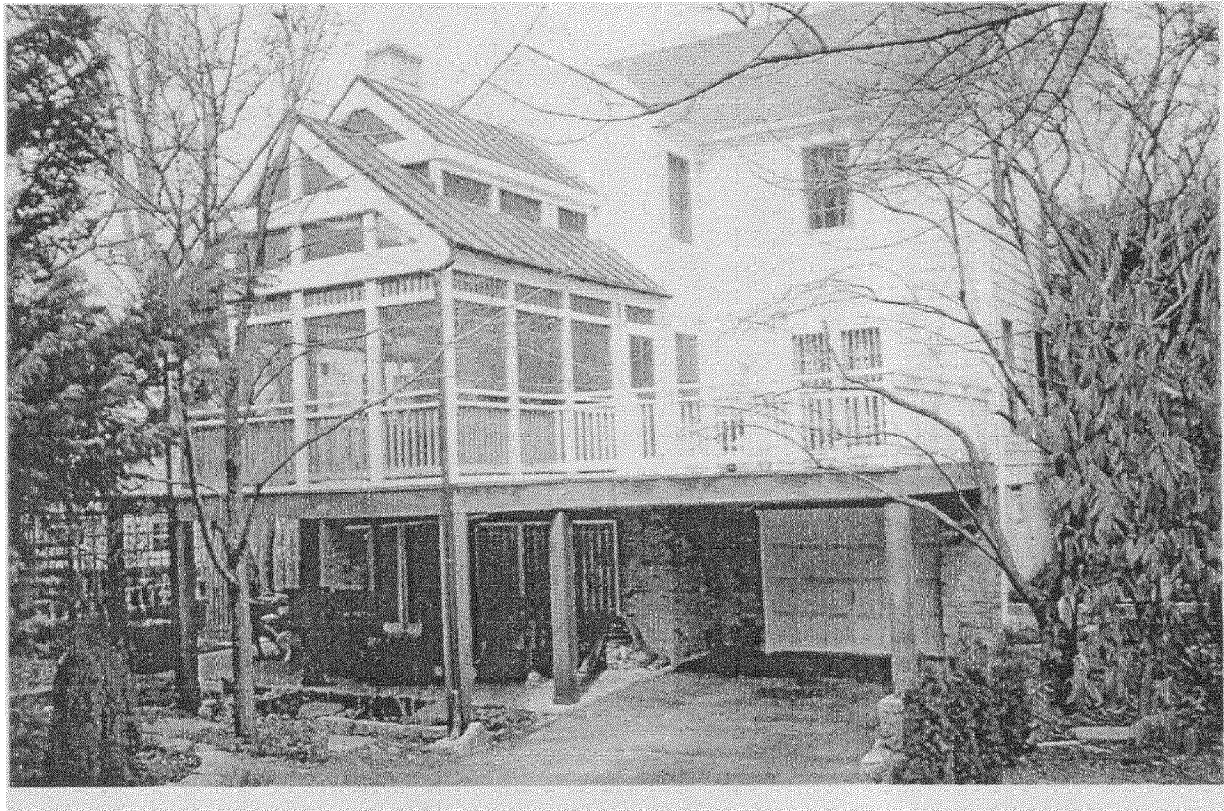
View of Front of House from Cumberland Avenue



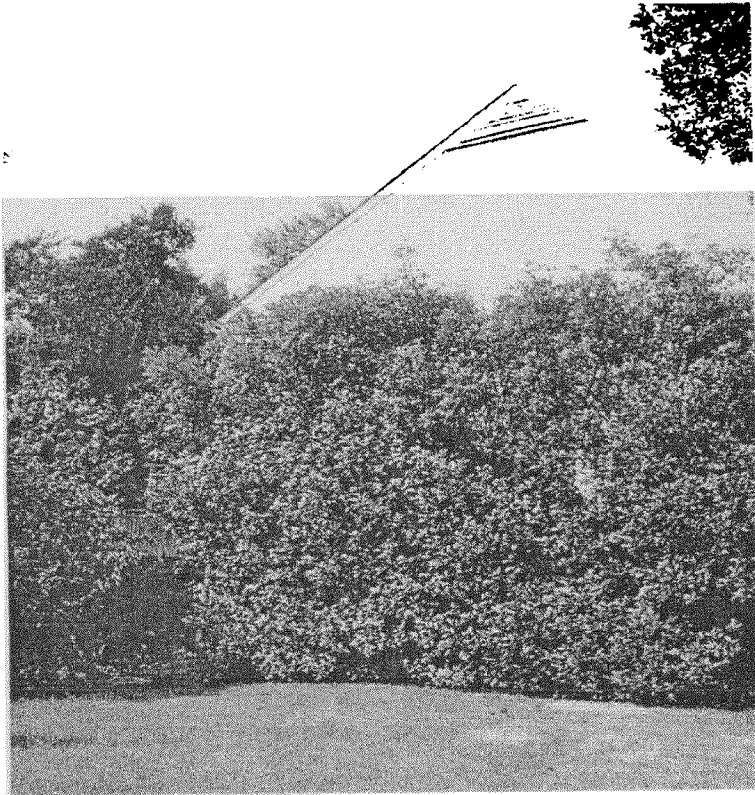
View of West Side from Street



View of West Side from Back Patio



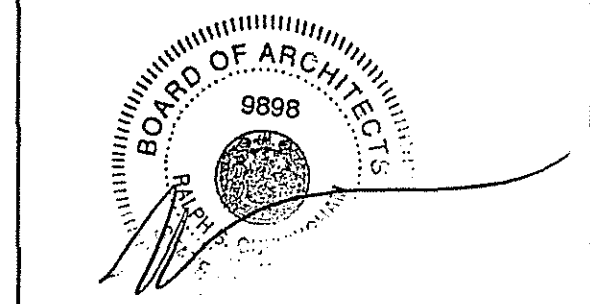
View of Back of House from Driveway



View of East Side from Neighboring Property

GENERAL DEMOLITION NOTES

- A. COORDINATE REMOVED ITEMS TO BE SALVAGED WITH THE OWNER.
- B. REMOVE EXISTING FLOORING, WALL COVERINGS, ETC. AS REQUIRED TO INSTALL NEW FINISHES WHERE INDICATED IN THE FINISH SCHEDULE. PREPARE SUBSTRATES AS REQUIRED TO RECEIVE NEW FINISHES.
- C. COORDINATE LOCATION AND SIZE OF EXISTING CONSTRUCTION TO BE DEMOLISHED WITH NEW WORK SHOWN IN FLOOR PLANS.
- D. WHERE EXISTING CONSTRUCTION IS SHOWN TO BE DEMOLISHED, ALL ASSOCIATED PLUMBING, HVAC AND ELECTRICAL DEVICES SHALL BE CAPPED, RELOCATED OR DEMOLISHED AS APPROPRIATE. WHERE LIGHT FIXTURES ARE TO BE DEMOLISHED, IDENTIFY AND DEMOLISH EXISTING SWITCHES.



NOV 25 2002

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| Issues / Revisions | |
|--------------------|---|
| 1/1/02 | PROGRESS SET |
| 1/31/02 | PROGRESS SET |
| 2/1/02 | ISSUED FOR PRICING |
| 2/21/02 | HISTORIC PRESERVATION COMMISSION 4 TOWN OF SOMERSET SUBMISSION |
| 11/12/02 | PROGRESS SET |
| 11/22/02 | ISSUED FOR PERMITS |

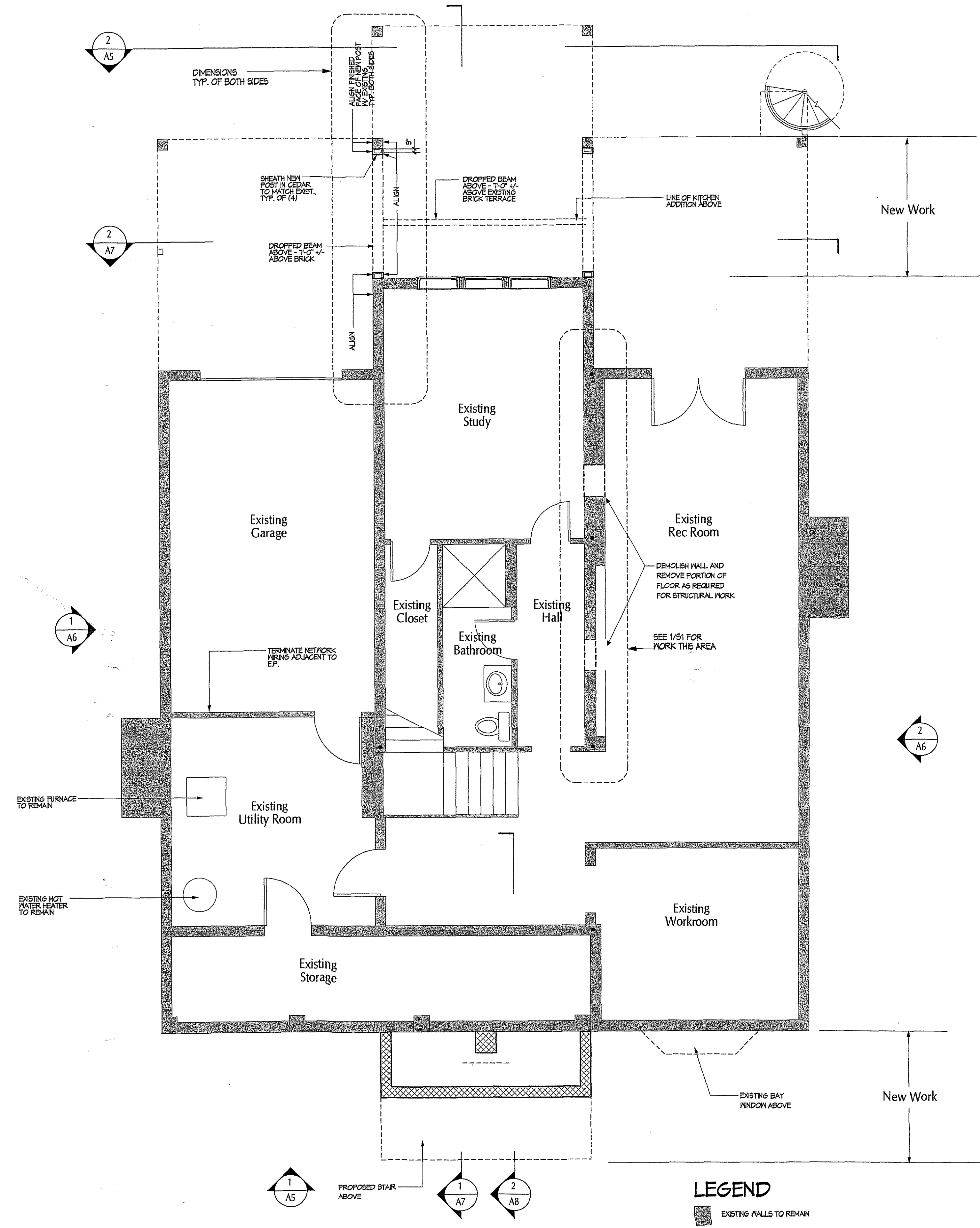
RENOVATION & ADDITION TO THE
KNIGHT RESIDENCE
4808 Cumberland Avenue
Chevy Chase, MD

CQA #20201

Drawing Title
**BASEMENT PLAN
& REMOVALS
PLAN**

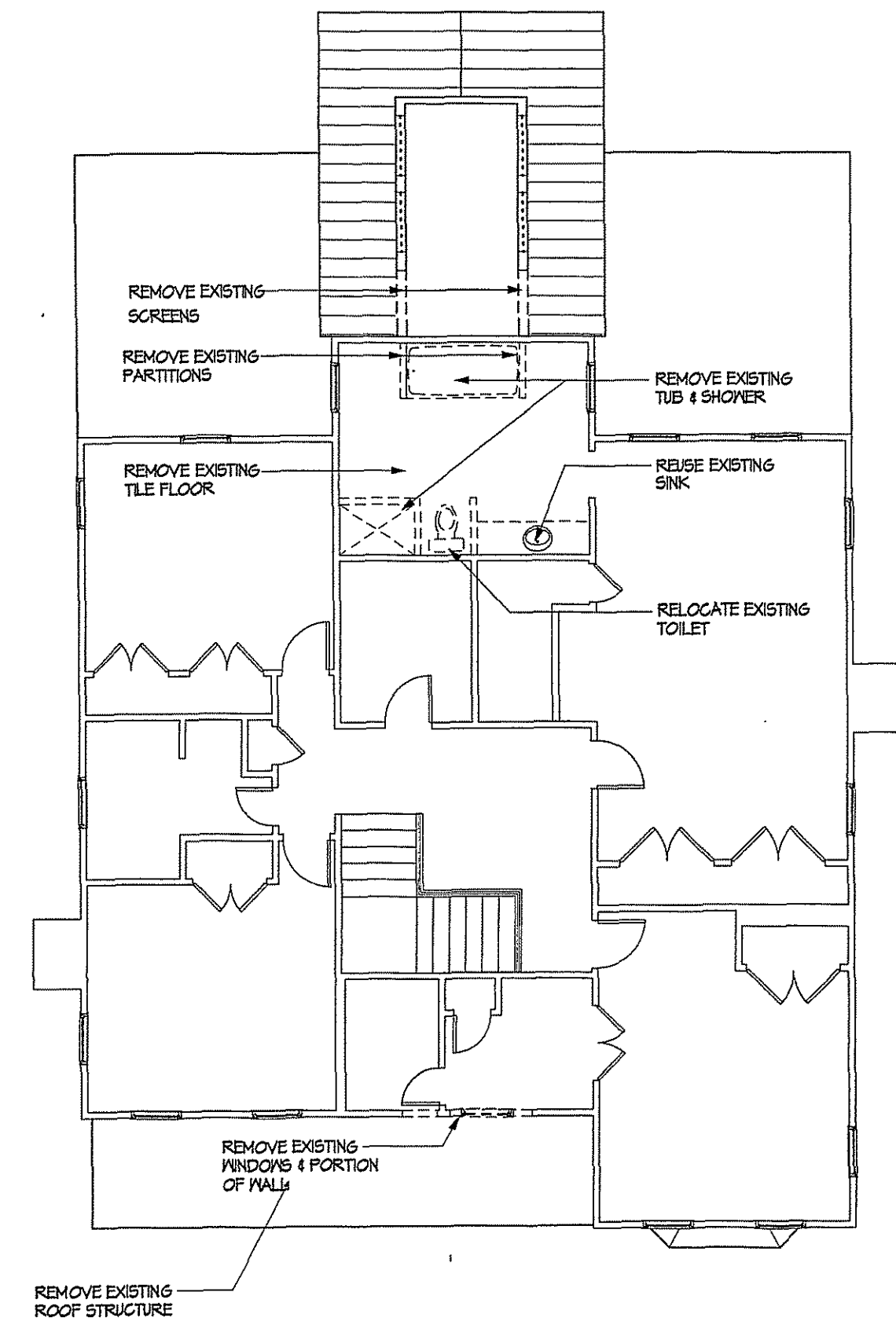
| | |
|-------------------|------------|
| Scale As Noted | Drawn By |
| Date 11/12/02 | Checked By |
| A5 | |

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
12/05/02

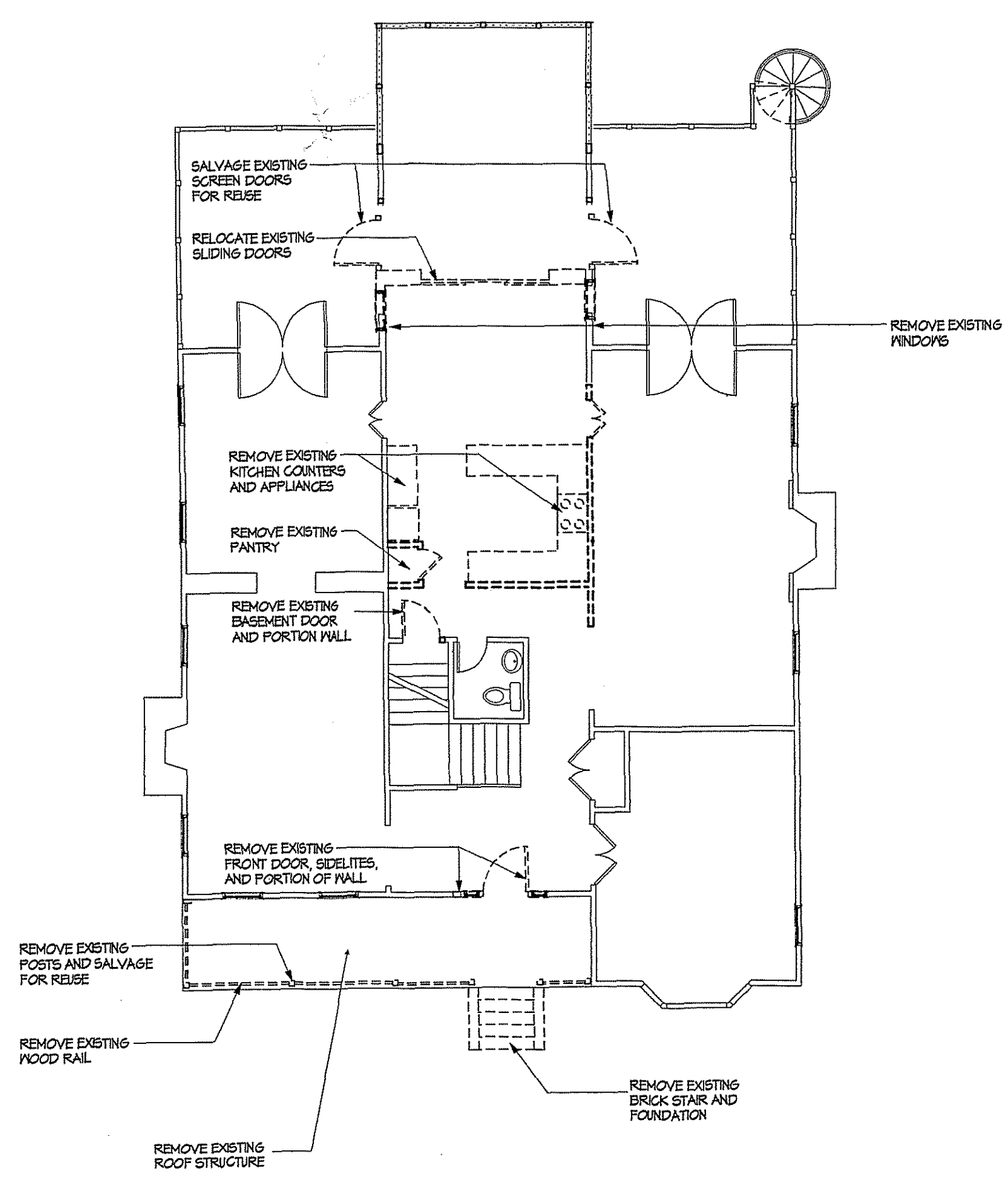


1 Basement Plan
SCALE: 1/4" = 1'-0"

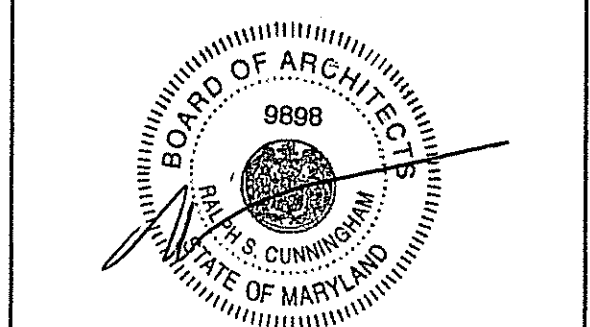
LEGEND
 EXISTING WALLS TO REMAIN
 NEW WALLS



3 Second Floor Removals Plan
SCALE: 1/8" = 1'-0"



2 First Floor Removals Plan
SCALE: 1/8" = 1'-0"



NOV 25 2002

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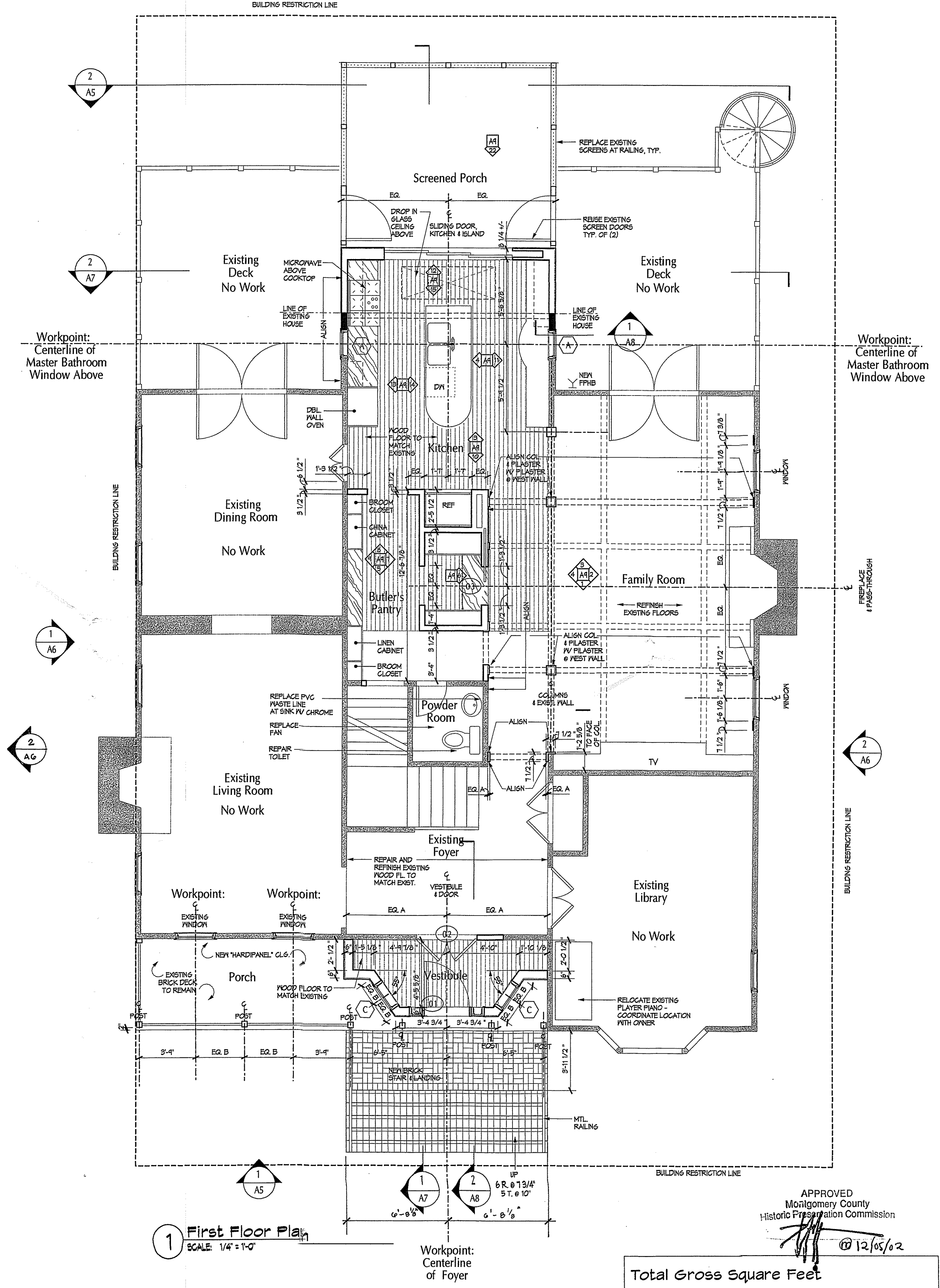
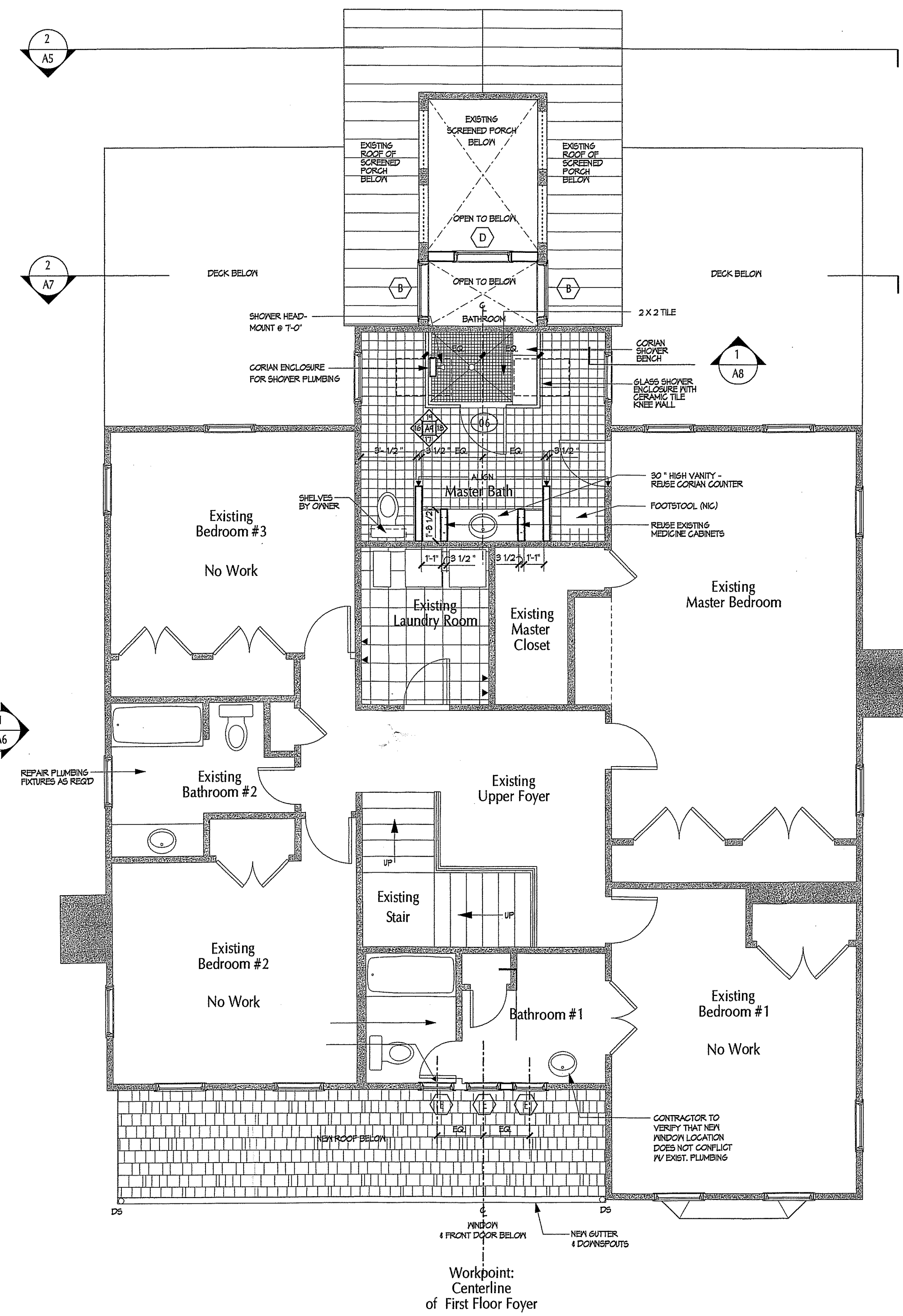
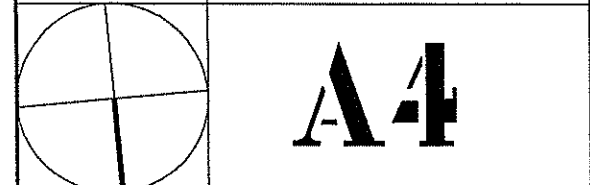
| Issues / Revisions | |
|--------------------|---|
| 7/9/02 | PROGRESS SET |
| 7/31/02 | PROGRESS SET |
| 8/17/02 | ISSUED FOR PRICING |
| 8/21/02 | HISTORIC PRESERVATION COMMISSION 1 TOWN OF BOWENSET SUBMISSION |
| 11/12/02 | PROGRESS SET |
| 11/22/02 | ISSUED FOR PERMITS |

RENOVATION & ADDITION TO THE
KNIGHT RESIDENCE
4808 Cumberland Avenue
Chevy Chase, MD

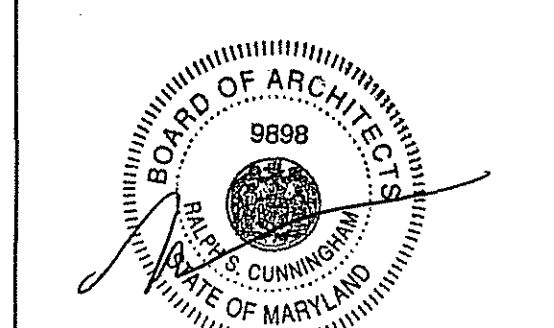
CQA # 20201

Drawing Title
FIRST & SECOND FLOOR PLANS

| | |
|--------------------|---------------------|
| Scale 1/4" = 1' | Drawn By JAP, MS |
| Date 11/12/02 | Checked By |



APPROVED
Montgomery County
Historic Preservation Commission
12/05/02
Total Gross Square Feet
of New Space: 150 sq. ft.



NOV 25 2002

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| Issues / Revisions | |
|--------------------|---|
| 1/1/02 | PROGRESS SET |
| 7/5/02 | PROGRESS SET |
| 8/1/02 | ISSUED FOR PRICING |
| 8/21/02 | HISTORIC PRESERVATION COMMISSION TOWN OF SOMERSET SUBMISSION |
| 11/12/02 | PROGRESS SET |
| 11/22/02 | ISSUED FOR PERMITS |

RENOVATION & ADDITION TO THE
KNIGHT RESIDENCE
4808 Cumberland Avenue
Chevy Chase, MD

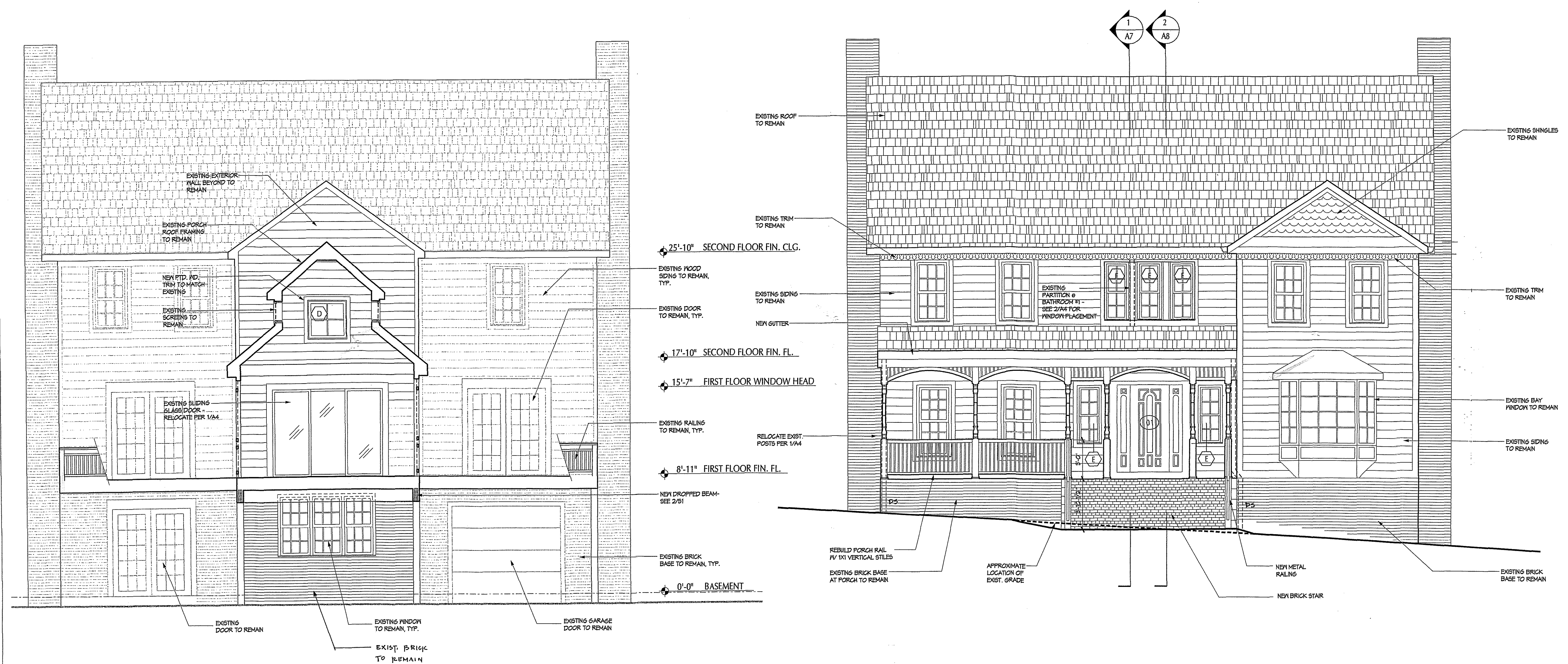
CQA # 20201

Drawing Title

ELEVATIONS

| | |
|-------------------|------------|
| Scale As Noted | Drawn By |
| Date 12/02/02 | Checked By |

A5

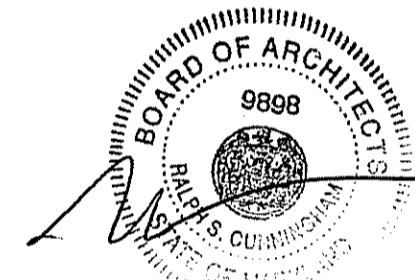


2 Section @ Screened Porch/
Elevation of New Kitchen Wall
SCALE: 1/4" = 1'-0"

1 North Elevation
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

[Signature] 12/05/02



NOV 25 2002

Copyright © 2002

Issues / Revisions

| Date | Description |
|----------|----------------------------------|
| 1/4/02 | PROGRESS SET |
| 1/31/02 | PROGRESS SET |
| 5/1/02 | ISSUED FOR PRICING |
| 8/21/02 | HISTORIC PRESERVATION COMMISSION |
| | 1 TOWN OF SOMERSET SUBMISSION |
| 11/12/02 | PROGRESS SET |
| 11/22/02 | ISSUED FOR PERMITS |

RENOVATION & ADDITION TO THE
KNIGHT RESIDENCE
4808 Cumberland Avenue
Chevy Chase, MD

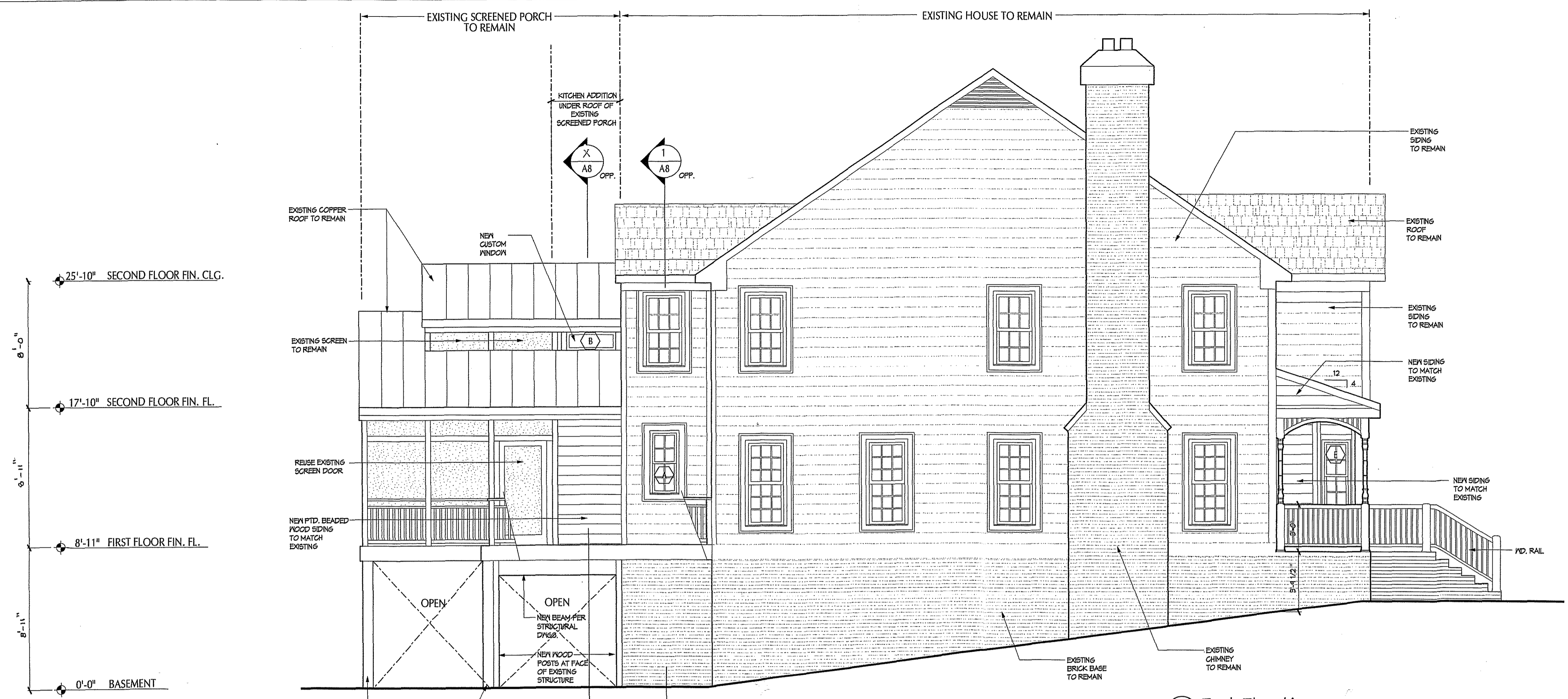
CQA #20201

Drawing Title

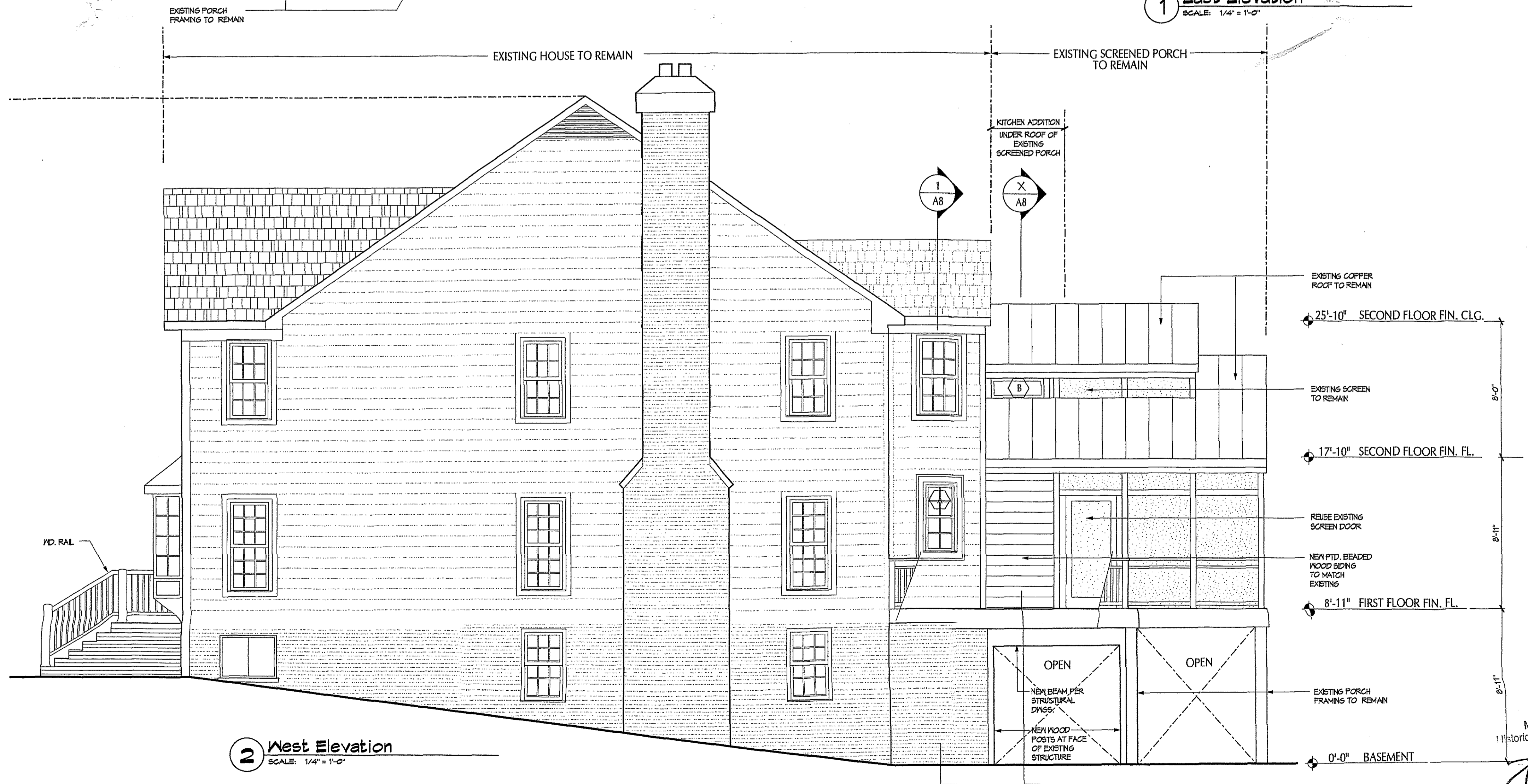
EAST & WEST ELEVATIONS

Scale 1/4" = 1'
Date 11/12/02
Drawn By JAP
Checked By

A6



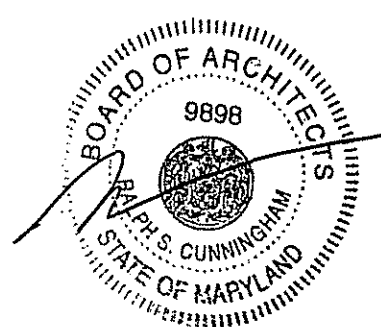
1 East Elevation
SCALE: 1/4" = 1'-0"



2 West Elevation
SCALE: 1/4" = 1'-0"

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Montgomery County
Historic Preservation Commission

11/12/02



NOV 25 2002

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| 1/9/02 | PROGRESS SET |
| 1/31/02 | PROGRESS SET |
| 8/7/02 | ISSUED FOR PRICING |
| 8/21/02 | HISTORIC PRESERVATION COMMISSION TOWN OF SOMERSET SUBMISSION |
| 11/12/02 | PROGRESS SET |
| 11/22/02 | ISSUED FOR PERMITS |

RENOVATION & ADDITION TO THE
KNIGHT RESIDENCE
4808 Cumberland Avenue
Chevy Chase, MD

CQA #20201

Drawing Title

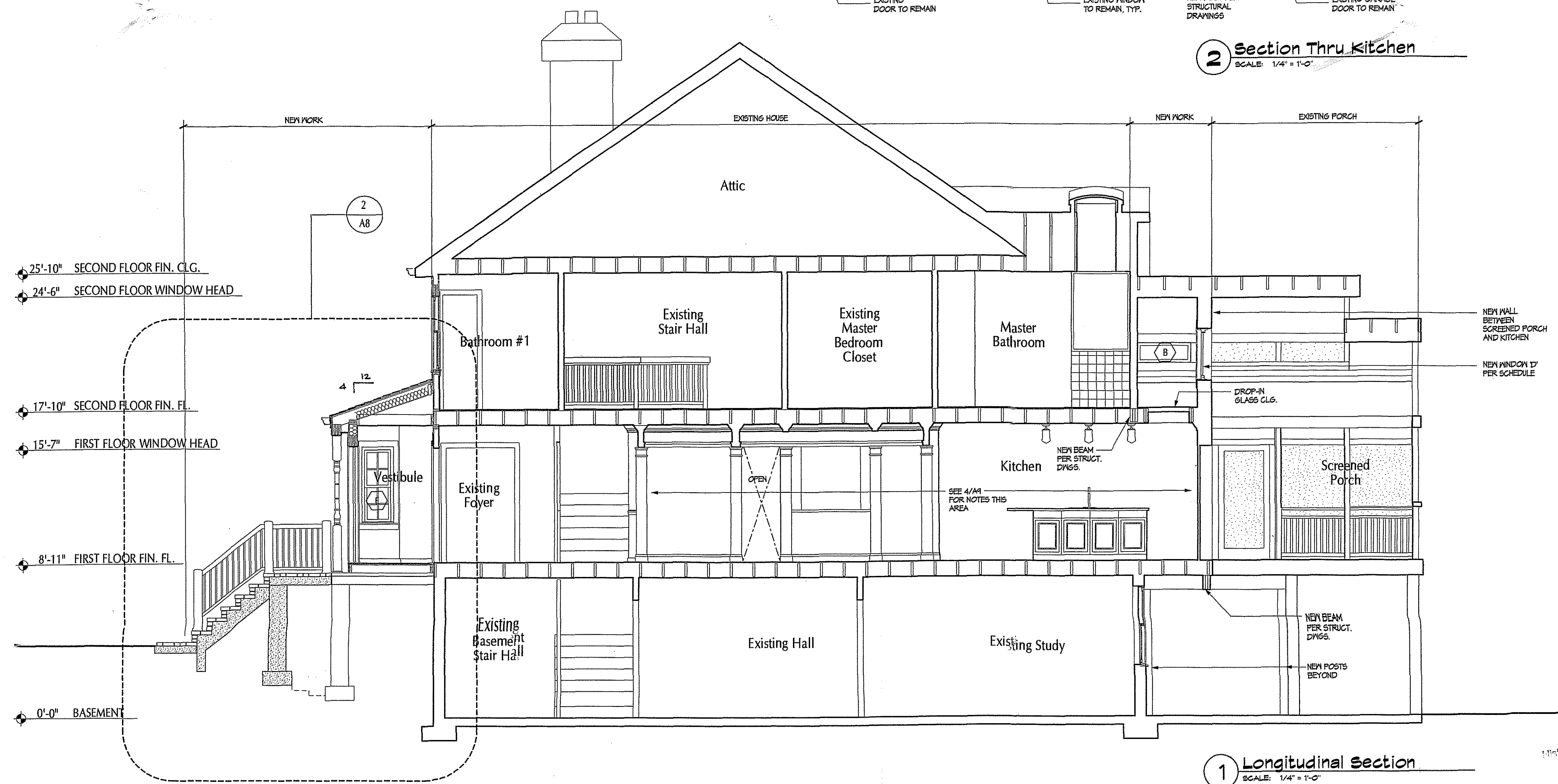
SECTIONS

| | |
|--------------------|-----------------|
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| Date 11/12/02 | Checked By |

A7

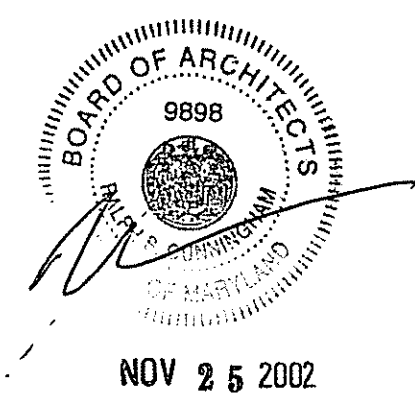


2 Section Thru Kitchen
SCALE: 1/4" = 1'-0"



1 Longitudinal Section
SCALE: 1/4" = 1'-0"

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Montgomery County
Historic Preservation Commission
[Signature] 12/09/02



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| Date | Description |
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| 1/1/02 | PROGRESS SET |
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| 8/21/02 | HISTORIC PRESERVATION COMMISSION 1 TOWN OF SOMERSET SUBMISSION |
| 11/12/02 | PROGRESS SET |
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RENOVATION & ADDITION TO THE
KNIGHT RESIDENCE

4808 Cumberland Avenue
Chevy Chase, MD

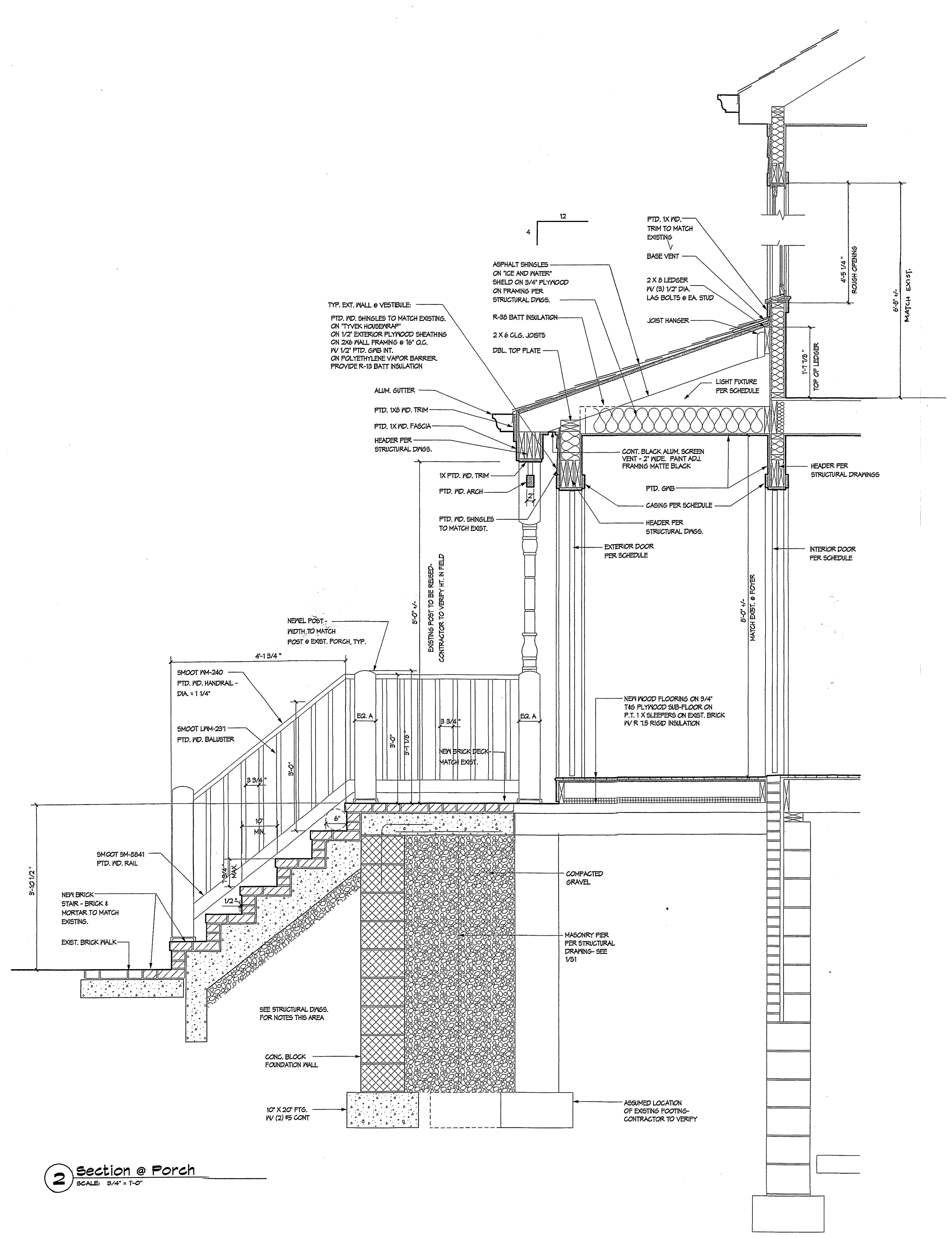
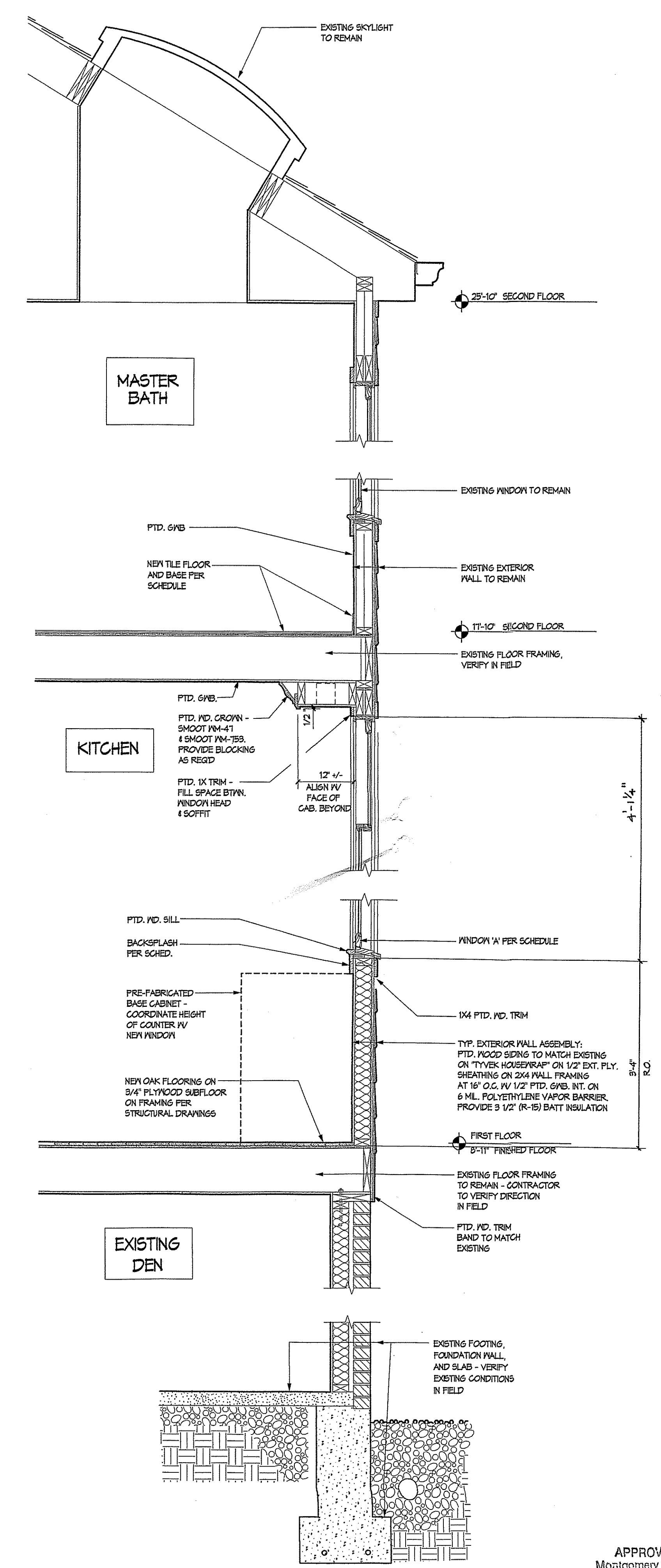
CQA # 20201

Drawing Title

WALL SECTIONS

| Scale | Drawn By |
|----------|------------|
| | MS |
| Date | Checked By |
| 11/12/02 | |

A8



2 Section @ Porch
SCALE: 3/4" = 1'-0"

1 Section @ Kitchen, M. Bath
SCALE: 1 1/2" = 1'-0"

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12/08/02



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| 11/12/02 | PROGRESS SET |
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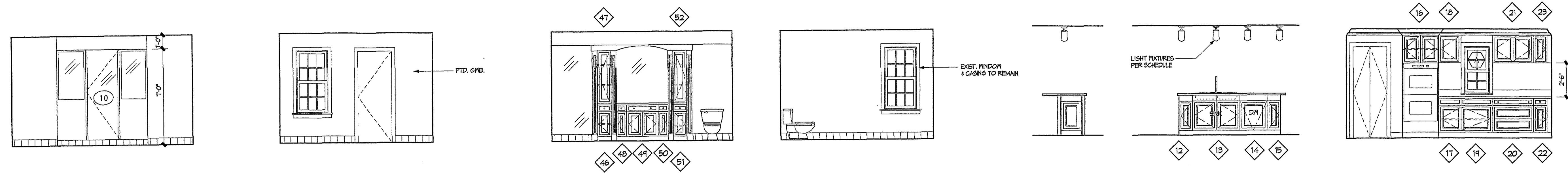
RENOVATION & ADDITION TO THE
KNIGHT RESIDENCE
4808 Cumberland Avenue
Chevy Chase, MD

CQA # 20201

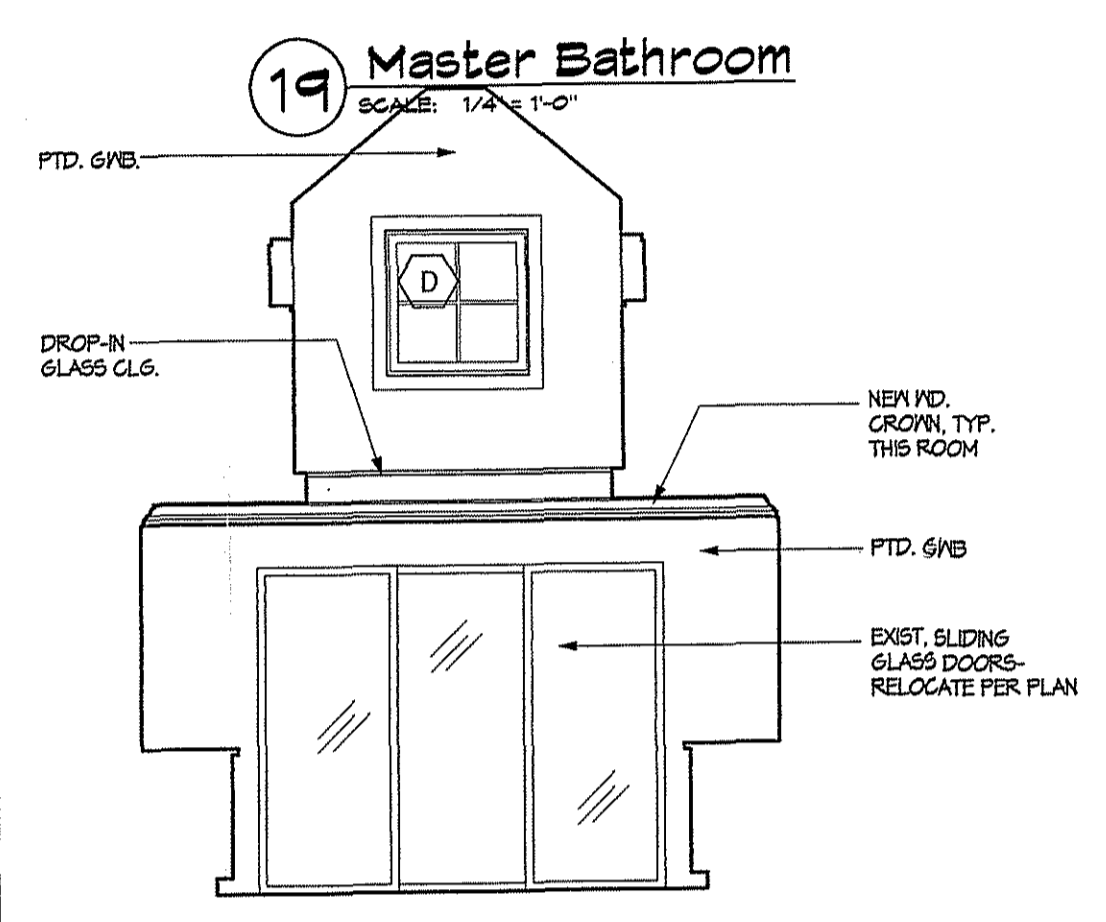
Drawing Title
INTERIOR ELEVATIONS

| | |
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| Date 11/12/02 | Checked By |

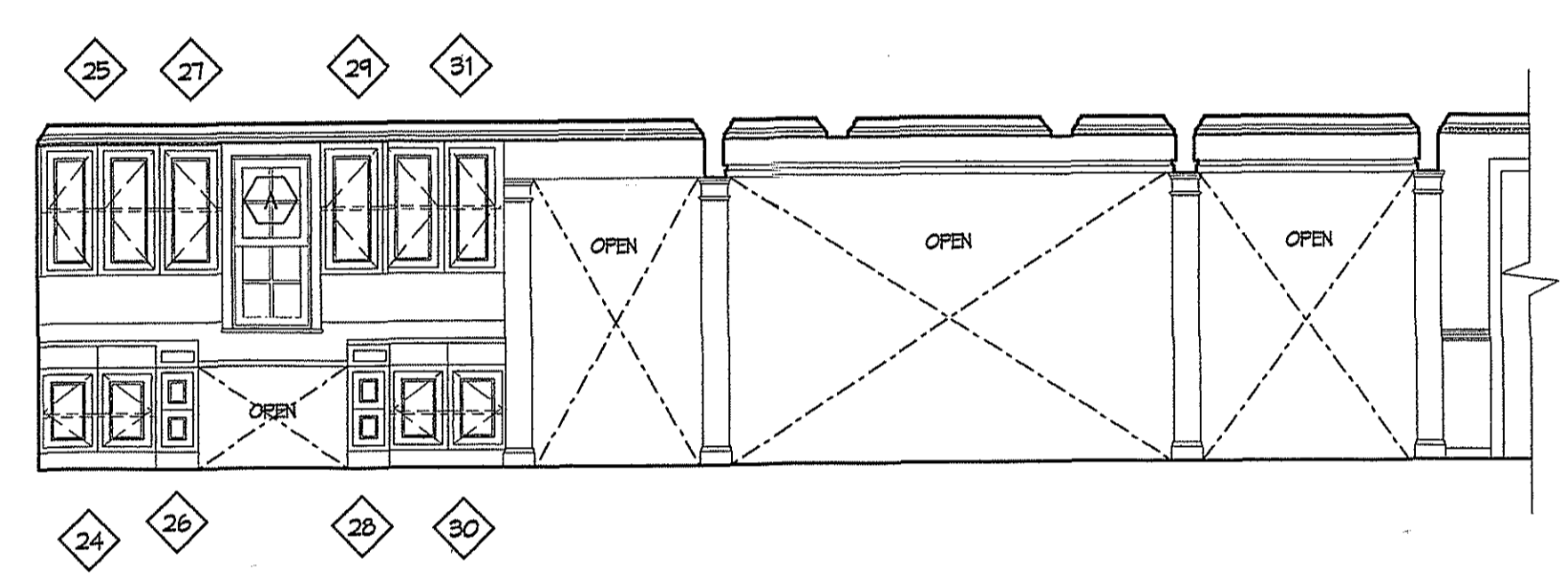
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[Signature] 12/09/02



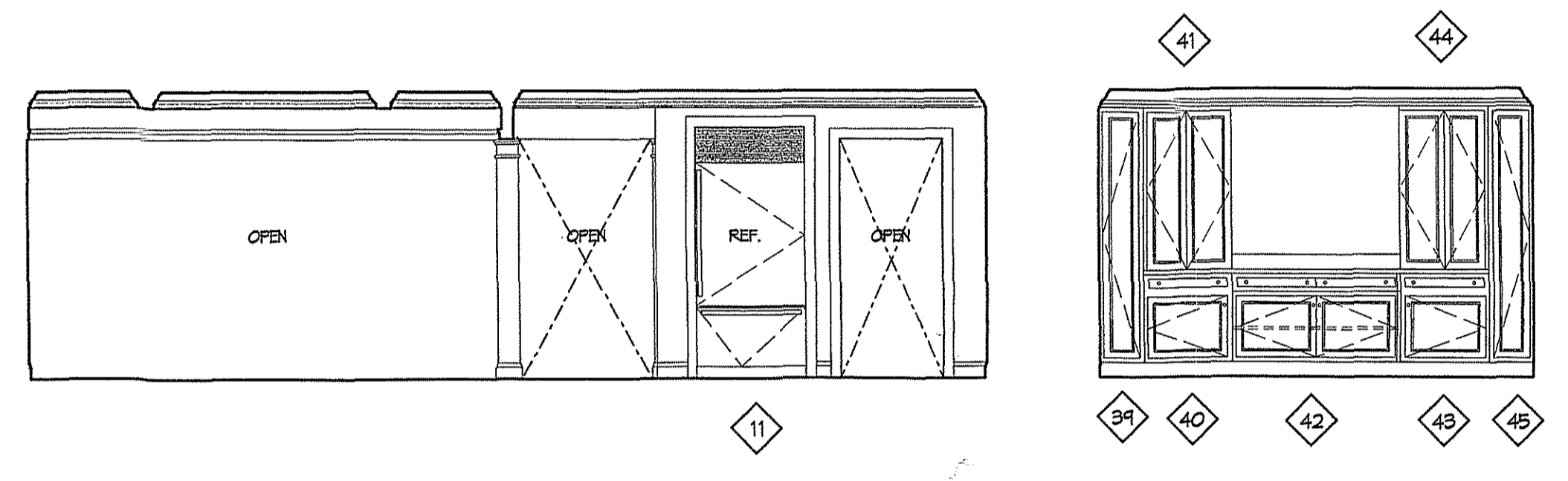
10 Master Bathroom SCALE: 1/4" = 1'-0"
16 Master Bathroom SCALE: 1/4" = 1'-0"
17 Master Bathroom SCALE: 1/4" = 1'-0"
18 Master Bathroom SCALE: 1/4" = 1'-0"
12 Island SCALE: 1/4" = 1'-0"
14 Island SCALE: 1/4" = 1'-0"
15 Island SCALE: 1/4" = 1'-0"
13 Kitchen SCALE: 1/4" = 1'-0"



19 Master Bathroom SCALE: 1/4" = 1'-0"

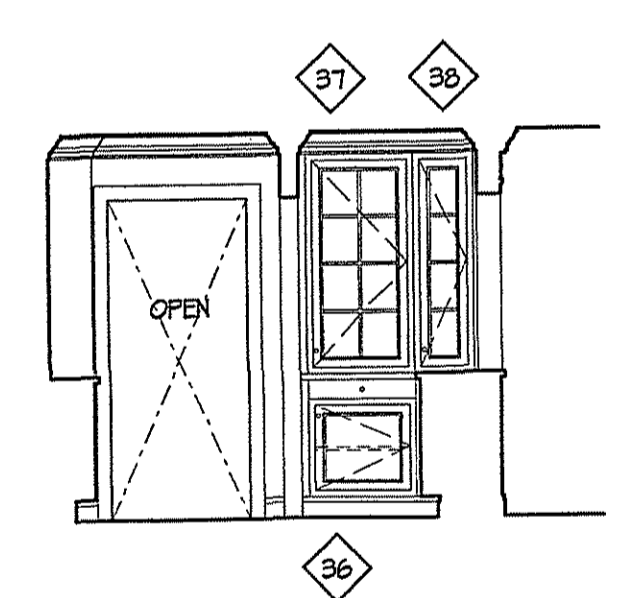


11 Kitchen SCALE: 1/4" = 1'-0"

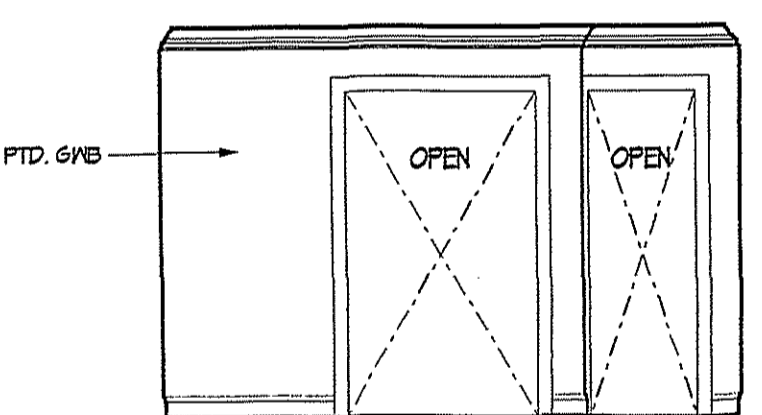


10 Living Rm. / Kitchen SCALE: 1/4" = 1'-0"
9 Butler's Pantry SCALE: 1/4" = 1'-0"

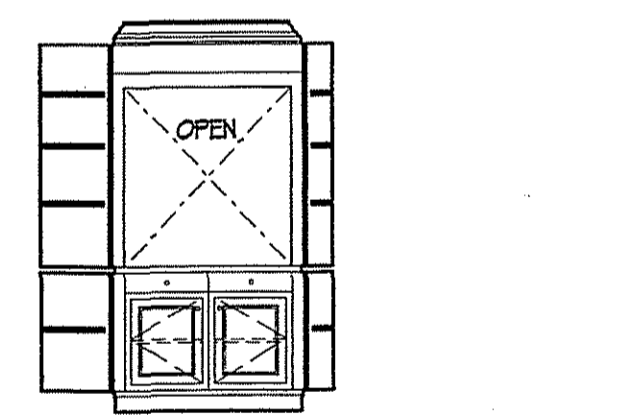
12 Kitchen SCALE: 1/4" = 1'-0"



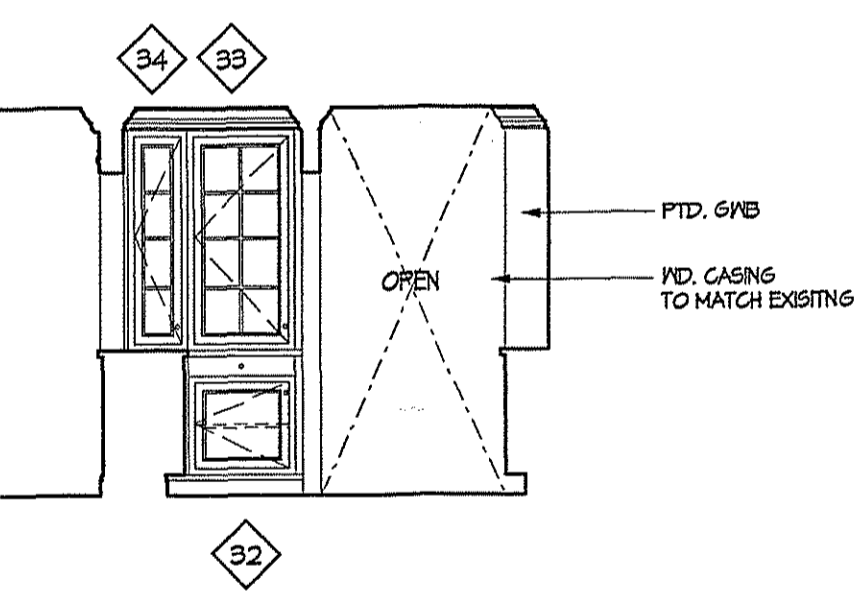
3 Butler's Pantry SCALE: 1/4" = 1'-0"



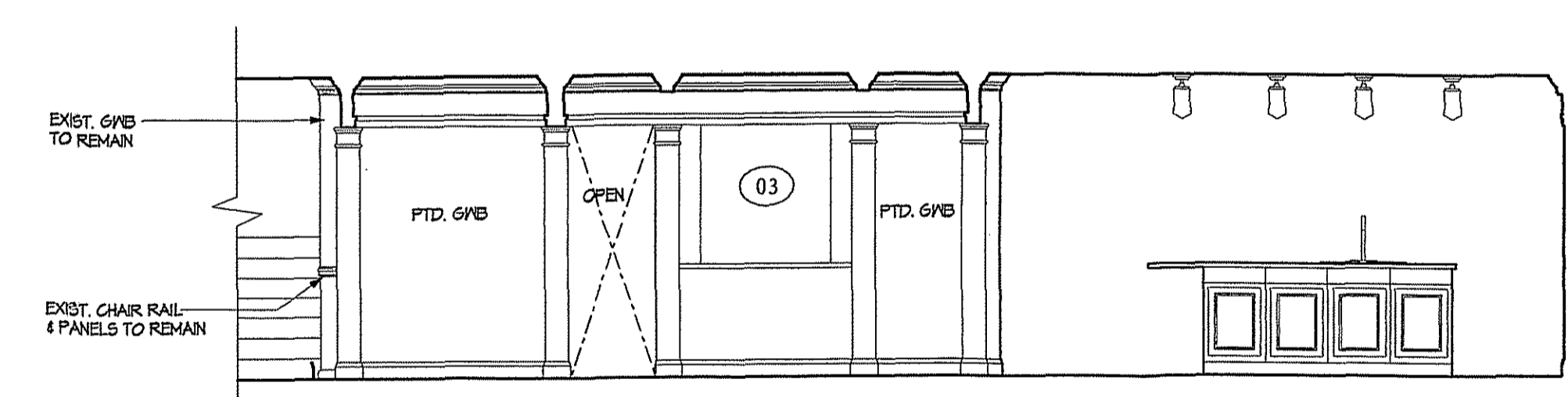
7 Butler's Pantry SCALE: 1/4" = 1'-0"



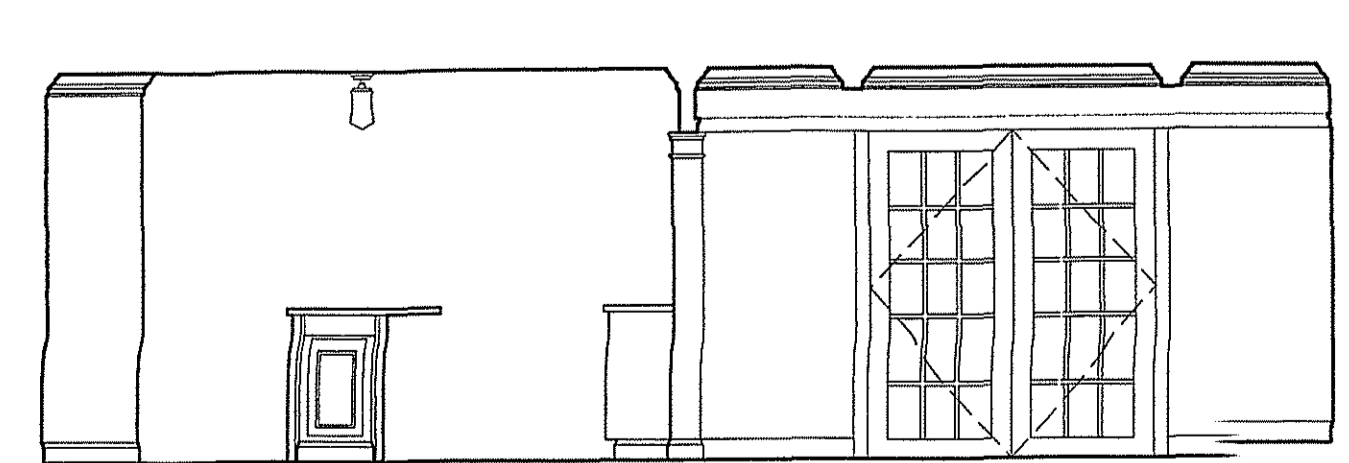
6 Butler's Pantry SCALE: 1/4" = 1'-0"



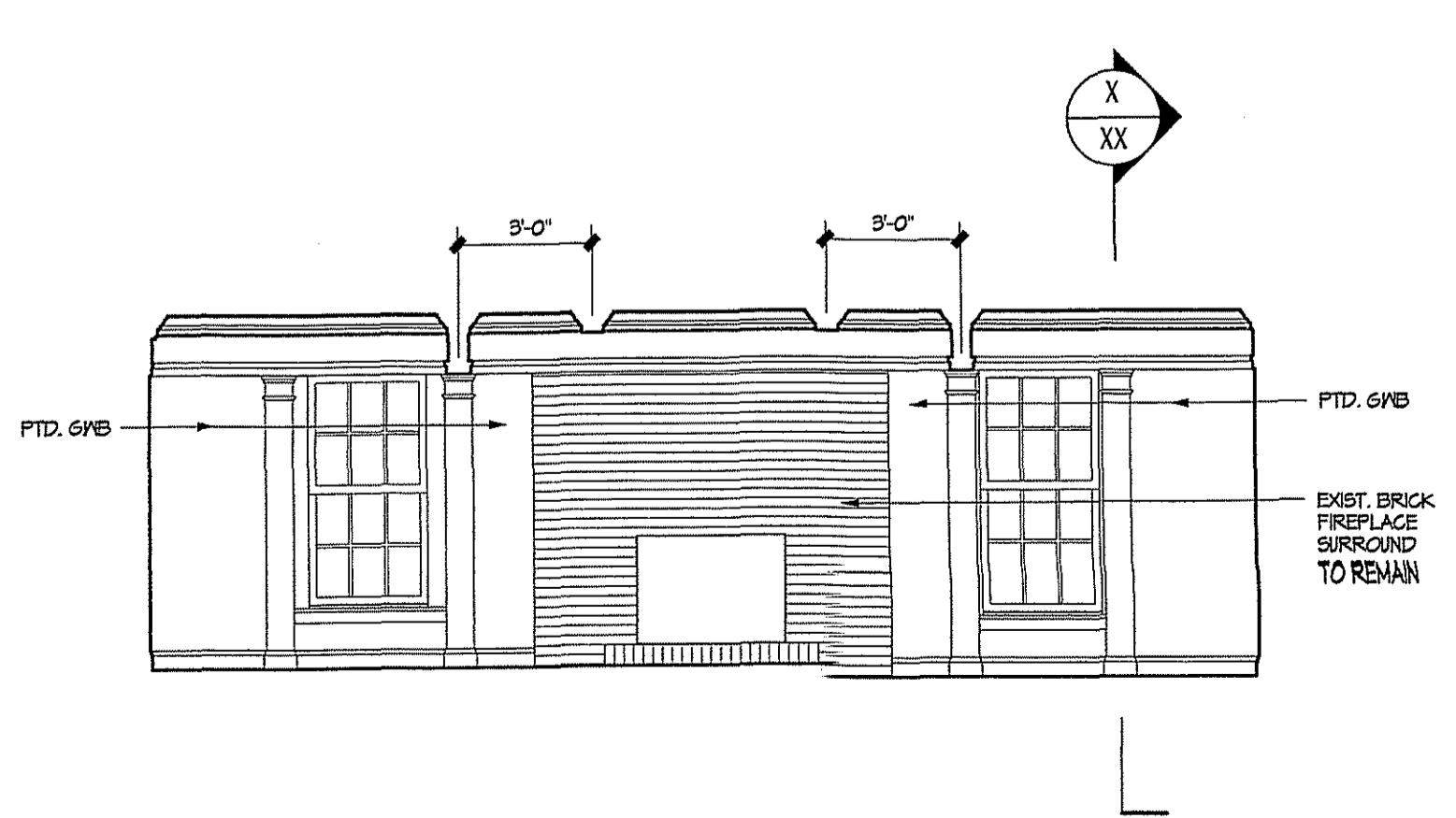
5 Butler's Pantry SCALE: 1/4" = 1'-0"



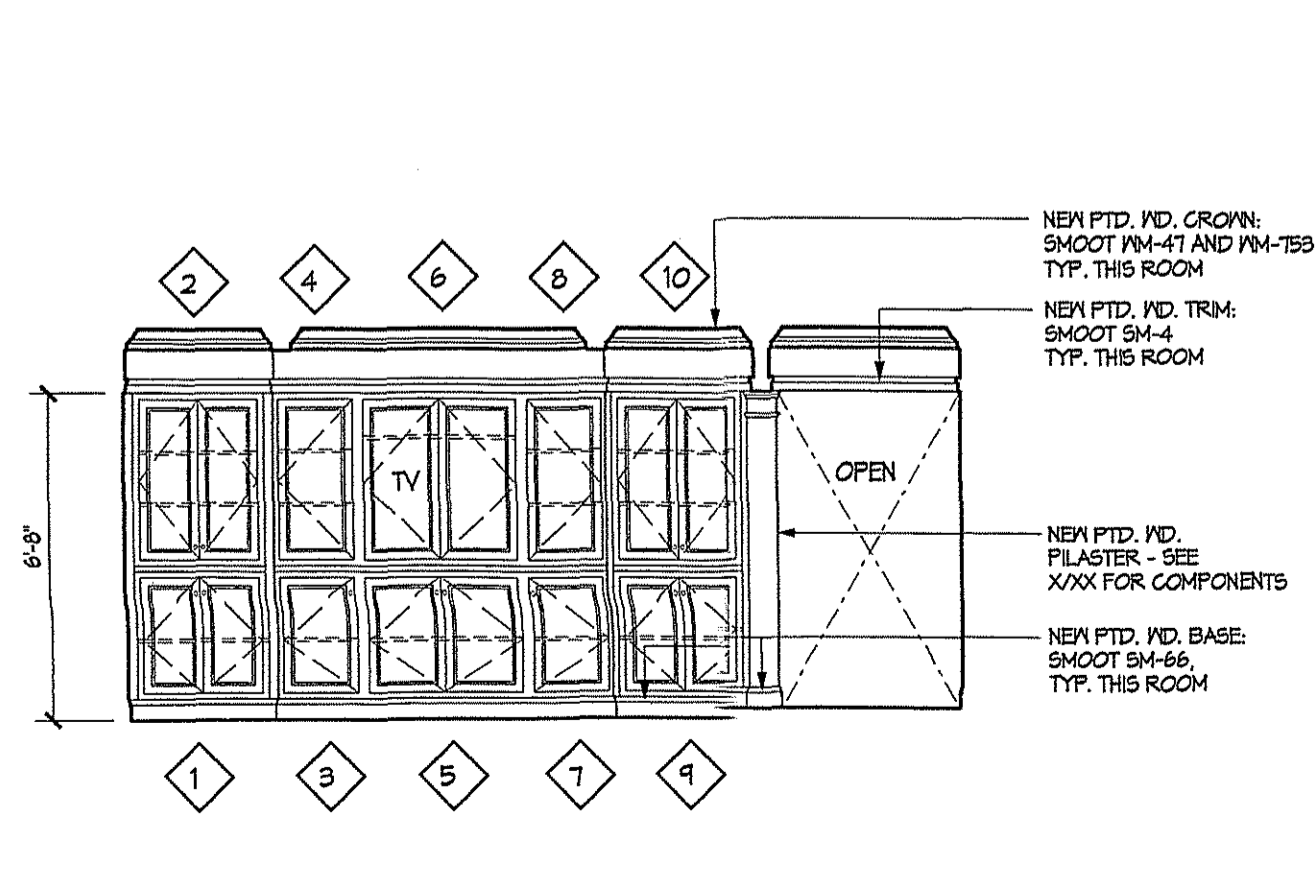
4 Family Room SCALE: 1/4" = 1'-0"



3 Family Room SCALE: 1/4" = 1'-0"



2 Family Room SCALE: 1/4" = 1'-0"



1 Family Room SCALE: 1/4" = 1'-0"

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Issues / Revisions

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RENOVATION & ADDITION TO THE
KNIGHT RESIDENCE
4808 Cumberland Avenue
Chevy Chase, MD

CQA #20201

Drawing Title

FOUNDATION PLAN
& FIRST FLOOR
FRAMING PLAN

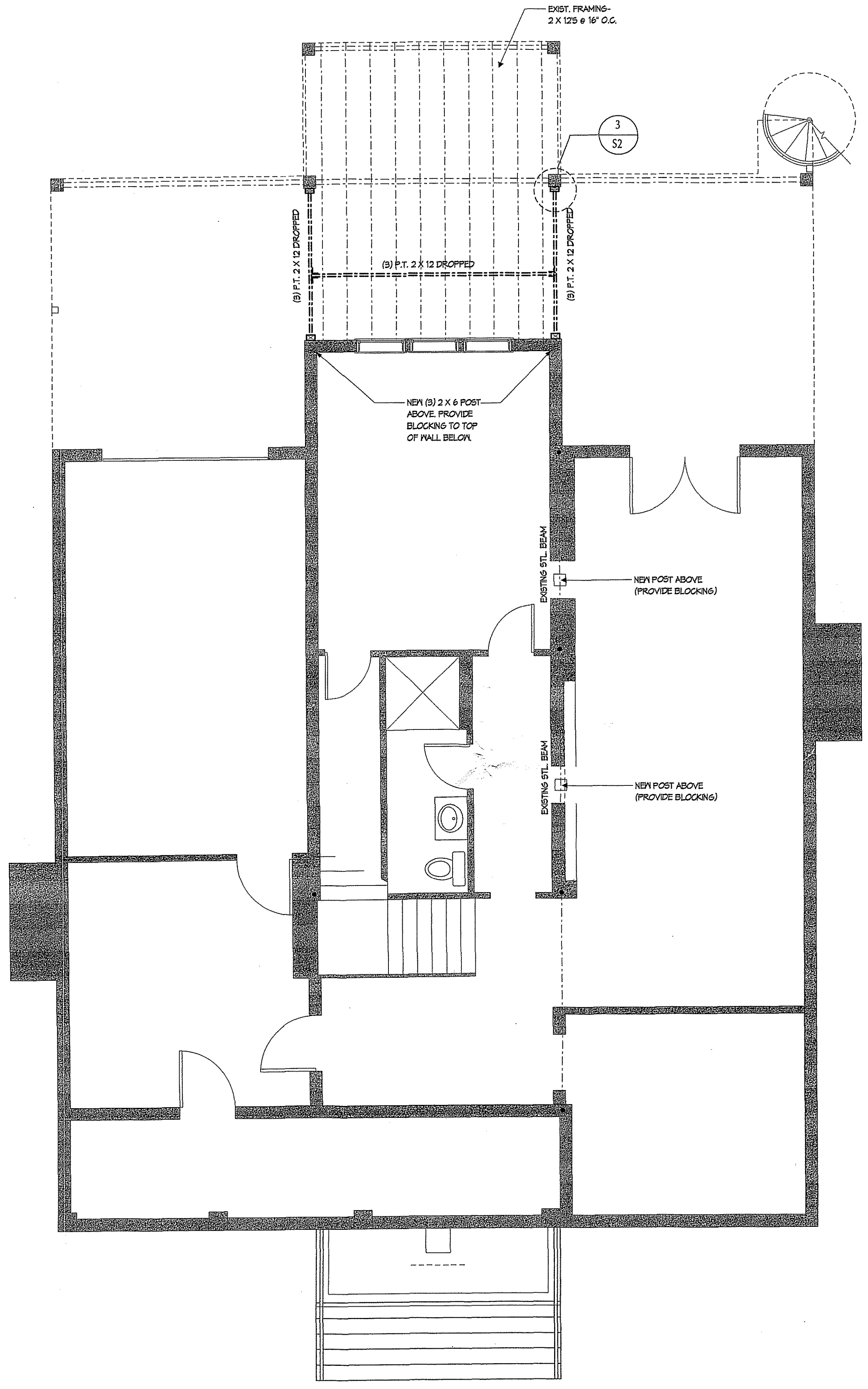
Scale
1/4" = 1'

Drawn By
MS

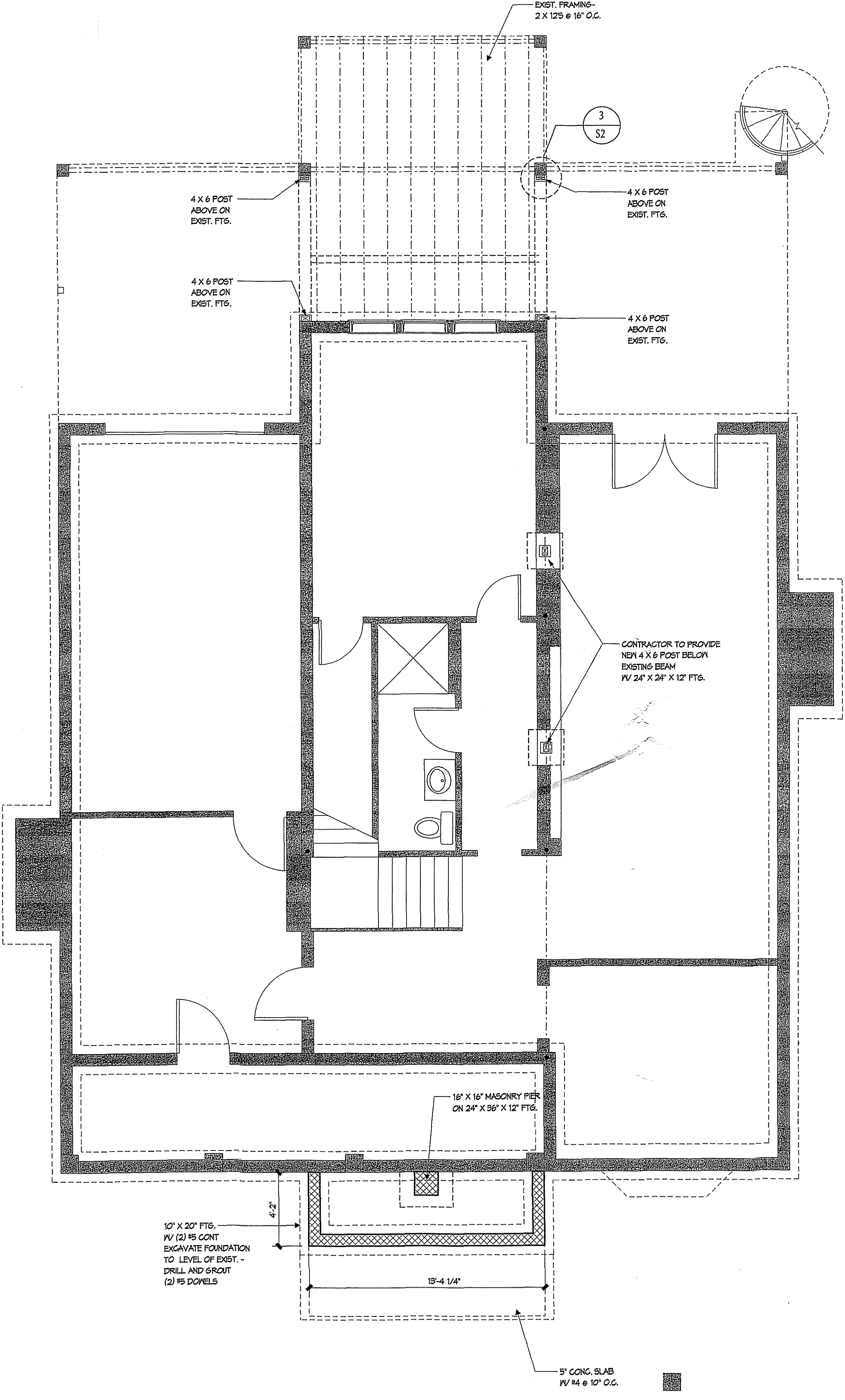
Date
11/12/02

Checked By

S1



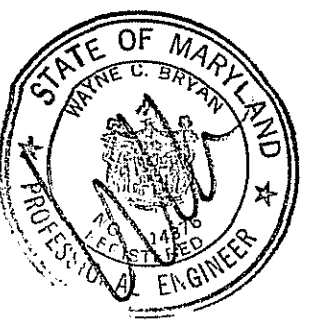
2 First Floor Framing Plan
SCALE: 1/4" = 1'-0"



1 Foundation Plan
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

12/05/02



STRUCTURAL NOTES

1 GENERAL

A. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:

ROOF 30 PSF
LIVING AREAS 40 PSF
BEDROOM AREAS 30 PSF

A MINIMUM OF 12 PSF DEAD LOAD WAS ADDED IN THE DESIGN.

B. MECHANICAL UNITS AND ANY OTHER EQUIPMENT WITH WEIGHTS SHOWN IN PLAN AND SUPPORTED BY THE STRUCTURE WERE CONSIDERED IN THE DESIGN OF THE STRUCTURE. ANY ADDITIONAL EQUIPMENT NOT SHOWN ON STRUCTURAL DRAWINGS AND HAVING A WEIGHT IN EXCESS OF 400 POUNDS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

C. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS & ROOF ACTING TOGETHER. CONTRACTOR TO PROVIDE ALL GLYS, BRACES, STRUTS, ETC. AS REQUIRED TO ACCOMMODATE ALL LIVE, DEAD AND WIND LOADS UNTIL ALL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE.

2 EARTHWORK

A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 2000 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.

B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.

3 CONCRETE

A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (f'_{ci}) = 3000 PSI IN 28 DAYS. EXTERIOR SLABS AND GARAGE SLABS SHALL HAVE A MINIMUM STRENGTH OF 3500 PSI. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATION. CONCRETE EXPOSED TO WEATHER TO BE AIR ENTRAINMENT.

B. ALL REINFORCING STEEL TO MEET ASTM A-615 GRADE 60. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES". FURNISH SUPPORT BARS AND ALL REQUIRED ACCESSORIES IN ACCORDANCE WITH C.I.A.S.I. STANDARDS. ALL REINFORCING TO BE SPLICED A MINIMUM OF 30 BAR DIAMETERS.

C. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:
- BEAMS 2" EXPOSED TO WEATHER
- FOOTINGS 3" BOTTOM
- WALLS 1-1/2"

D. PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCING IN WALLS AND FOOTINGS. PROVIDE COWELS BETWEEN FOOTINGS AND WALLS TO MATCH SIZE AND SPACING OF VERTICAL REINFORCING.

4 MASONRY

A. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC C-90 FOR LOADBEARING MASONRY. ALL MASONRY TO HAVE JOINT REINFORCING @ 16" O.C. HORIZONTALLY. MORTAR TO BE ASTM C-270 TYPE S.

B. LINTELS FOR MASONRY WALLS SHALL BE AS FOLLOWS: PROVIDE 1 ANGLE FOR EACH 4" OF WALL THICKNESS AS FOLLOWS:
OPENINGS TO 3'-0": 3-1/2" X 3-1/2" X 1/4"
3'-1" TO 5'-0": 4" X 3-1/2" X 5/16" - LLV
5'-1" TO 6'-0": 5" X 3-1/2" X 5/16" - LLV
(LLV - LONG LEG VERTICAL)

C. ALL VERTICAL REINFORCING SHALL BE GROUTED IN PLACE WITH MORTAR OR PEA GRAVEL CONCRETE.

D. ALL EXPANSION BOLTS OR SLEEVE ANCHORS IN MASONRY WALLS SHALL BE PLACED IN GROUTED SOLID MASONRY.

5 STEEL

A. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A-36. PIPE TO BE ASS. PIPE TO BE A500 OR A501. DETAILING TO BE IN ACCORDANCE WITH AISC STRUCTURAL STEEL DETAILING MANUAL. BOLTED FIELD CONNECTION SHALL BE 3/4" DIAMETER HIGH STRENGTH BOLTS MEETING ASTM SPEC. A-325.

B. ALL WELDERS SHALL BE CERTIFIED IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY. ALL WELDING ELECTRODES, MACHINES, ETC. SHALL BE COMPATIBLE WITH STEEL BEING WELDED.

C. FLITCH BEAMS SHALL BE BOLTED WITH 1/2" INCH DIAMETER THROUGH BOLTS AT 16 INCHES ON CENTER TOP AND BOTTOM WITH THE FIRST SET OF BOLTS 6 INCHES FROM THE END.

6 WOOD

A. ALL FRAMING LUMBER SHALL BE HEM-FIR, GRADE #2, OR SPRUCE-PINE-FIR, GRADE #2, OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:
-BENDING STRESS " f_b " = 850 PSI FOR SINGLE MEMBER USE
-HORIZONTAL SHEAR " f_v " = 70 PSI
-COMPRESSION PERPENDICULAR TO GRAIN " f_c " = 405 PSI
-COMPRESSION PARALLEL TO GRAIN " f_{c11} " = 1,100 PSI
-MODULUS OF ELASTICITY " E " = 1,300,000 PSI

NOTE: SPRUCE-PINE-FIR (SOUTH) IS NOT ACCEPTABLE. SPRUCE-PINE-FIR MUST BE GRADED BY NLGA.

B. ALL EXTERIOR FRAMING LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE 2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2X12 LUMBER):
-BENDING STRESS " f_b " = 975 PSI FOR SINGLE MEMBER USE
-HORIZONTAL SHEAR " f_v " = 80 PSI
-COMPRESSION PERPENDICULAR TO GRAIN " f_c " = 565 PSI
-COMPRESSION PARALLEL TO GRAIN " f_{c11} " = 1,450 PSI
-MODULUS OF ELASTICITY " E " = 1,800,000 PSI

C. PLYWOOD LAMINATED VENEER LUMBER (LVL) BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES (MICROLAM OR EQUAL):
-BENDING STRESS " f_b " = 2400 PSI
-HORIZONTAL SHEAR " f_v " = 220 PSI
-MODULUS OF ELASTICITY " E " = 1,800,000 PSI

D. CUTTING AND NOTCHING OF FLOOR JOISTS SHALL CONFORM TO THE FOLLOWING:
-NOTCH DEPTH IN THE TOP OR BOTTOM OF THE JOISTS AND BEAMS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE MEMBERS AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN (INCLUDING BIRDS MOUTH CUTS)
-NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER.
-THE TENSION SIDE OF BEAMS, JOISTS AND RAFTERS SHALL NOT BE NOTCHED, EXCEPT AT ENDS OF MEMBERS.

-HOLES BORED OR CUT INTO JOISTS SHALL NOT BE CLOSER THAN TWO INCHES TO THE TOP OR BOTTOM OF THE JOISTS. THE DIAMETER OF THE HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOISTS.

E. PREFAB JOIST AND BEAM HANGERS SHALL BE SIZED AND ATTACHED PER MANUFACTURER'S RECOMMENDATION.

F. ALL WALL STUDS SHALL BE SPF STUD GRADE OR BETTER, HAVING THE FOLLOWING MINIMUM BASE DESIGN VALUES:
-COMPRESSION PARALLEL TO GRAIN " f_{c11} " = 625 PSI
-BENDING STRESS " f_b " = 675 PSI FOR SINGLE USE MEMBERS
-MODULUS OF ELASTICITY " E " = 1,200,000 PSI

G. ALL FREESTANDING POSTS SHALL HAVE PREFAB POST CAP AND BASE. POSTS WITHIN WALL SHALL HAVE PREFAB CAP ATTACHED TO BEAM. POSTS BEARING ON MASONRY OR CONCRETE SHALL HAVE PREFAB BASE.

H. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED 1/3 OF STUD WIDTH.

I. ALL STUD BEARING WALLS TO BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND 1 CONTINUOUS BOTTOM PLATE WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF FOUR FEET.

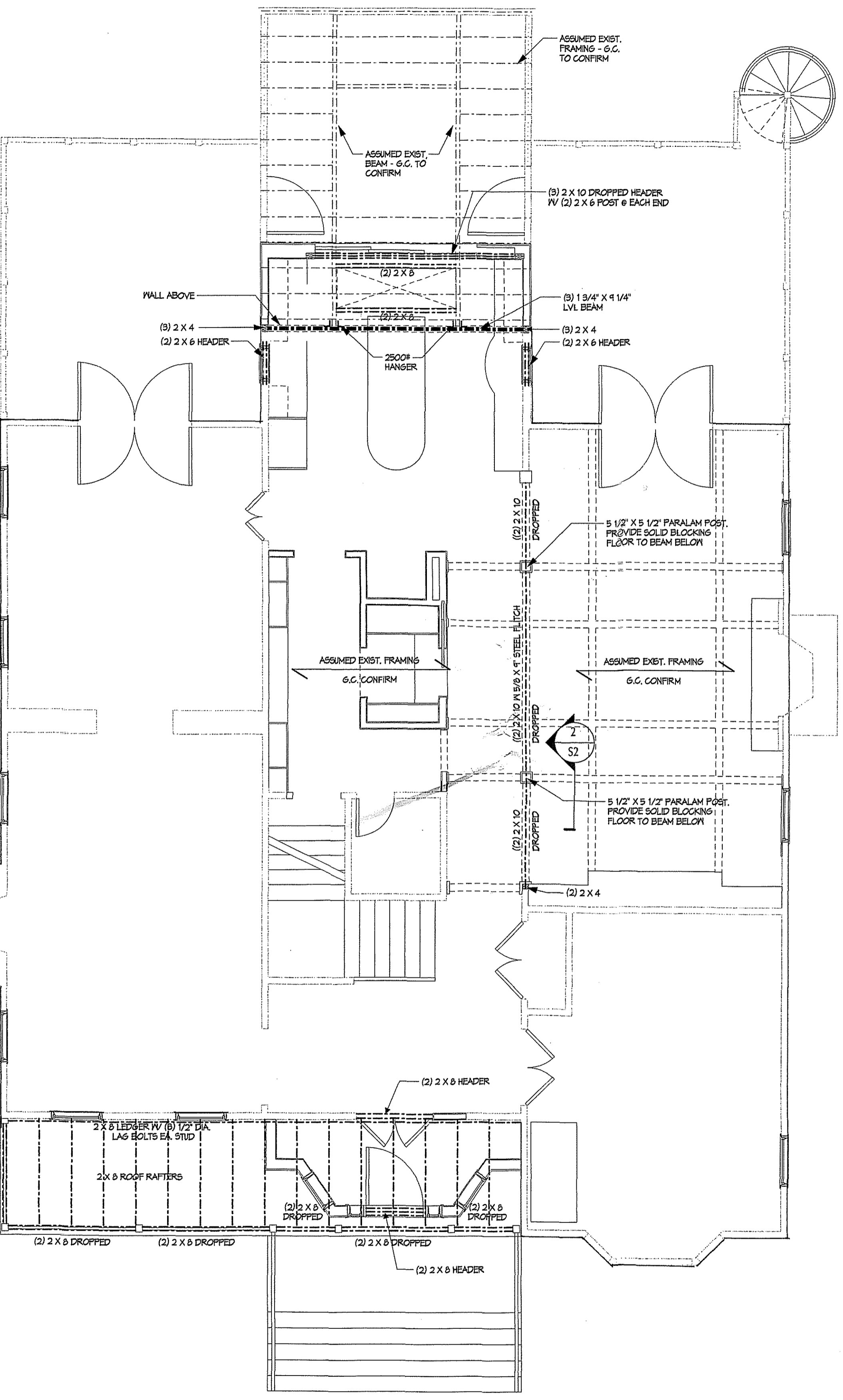
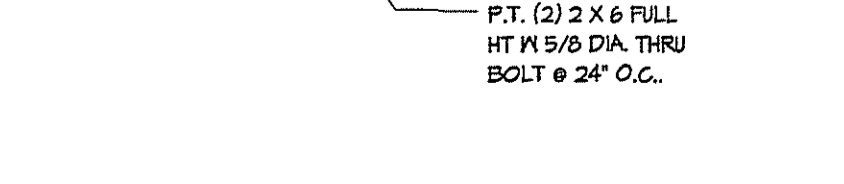
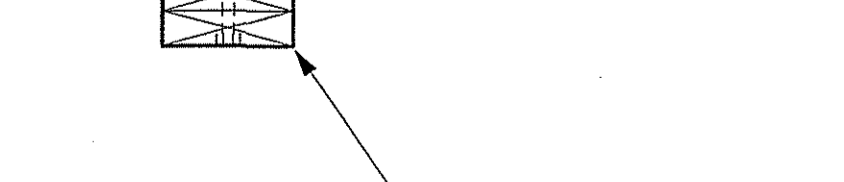
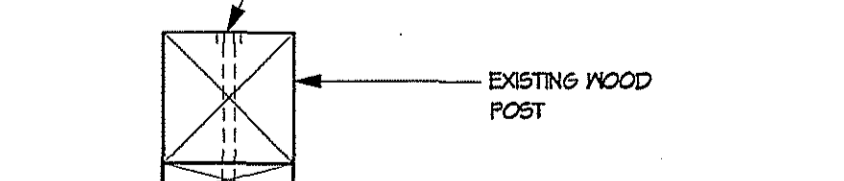
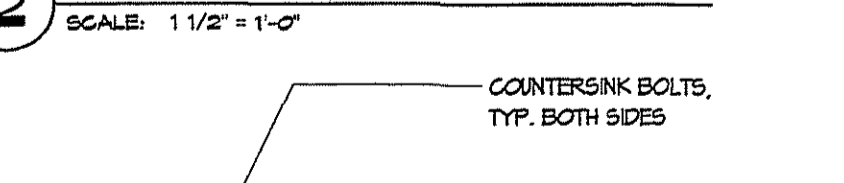
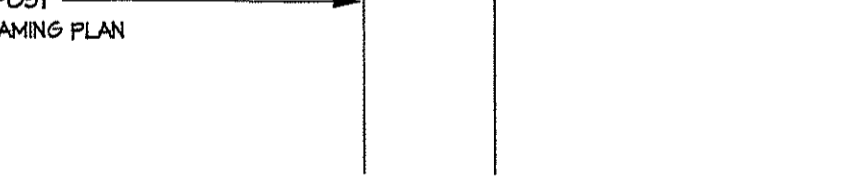
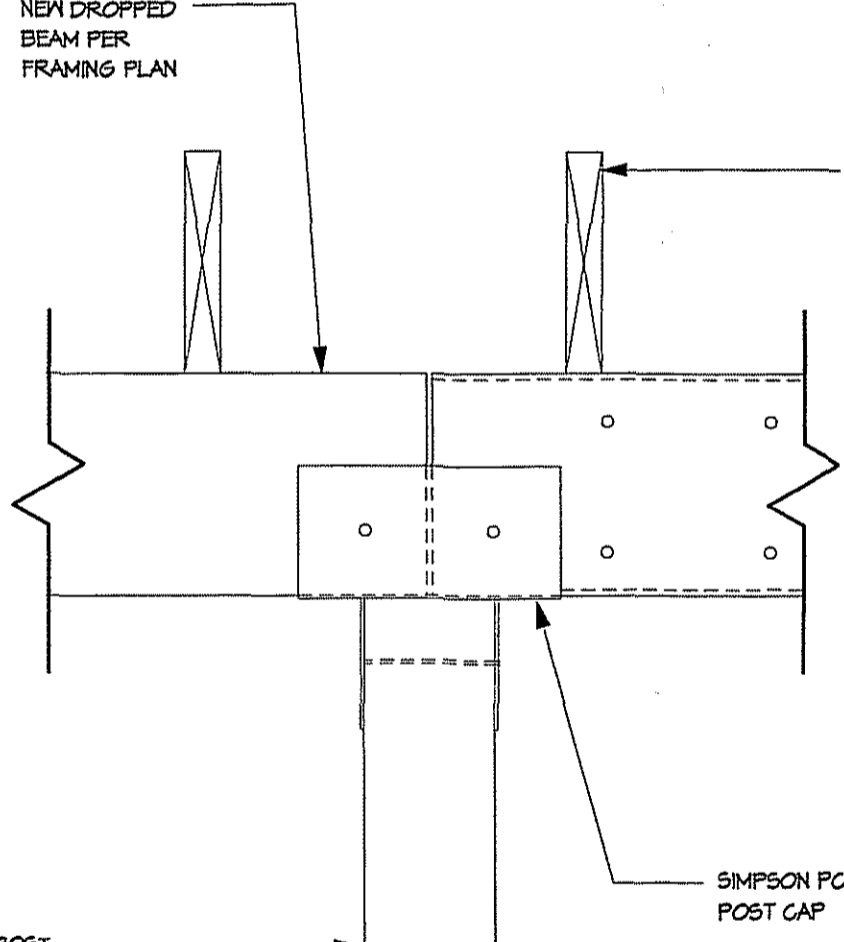
7 SHEATHING

A. FLOOR SHEATHING SHALL BE 23/32 (3/4) INCH APA RATED STURD-I-FLOOR, TONGUE AND GROOVE, PLYWOOD. PANELS SHALL HAVE LONG DIMENSION ORIENTED ACROSS THREE OR MORE JOISTS AND SHALL BE FASTENED WITH CONSTRUCTION ADHESIVE AND 10d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOCKED.

B. EXTERIOR WALL SHEATHING SHALL BE 7/16 (1/2) INCH THICK APA RATED WOOD STRUCTURAL PANELS. FASTEN PANELS TO STUDS WITH 8d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOCKED.

C. ROOF SHEATHING SHALL BE 15/32 (1/2) INCH APA RATED WOOD PANELS WITH SPAN RATING OF 240 OR BETTER. FASTEN PANELS TO FRAMING WITH 8d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. ORIENT LONG DIMENSION OF PANELS ACROSS THREE OR MORE SUPPORTS. EDGES NEED NOT BE BLOCKED, UNLESS OTHERWISE NOTED.

WARNING: THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS OR ARE SUPERVISED BY THE STRUCTURAL ENGINEERS DURING CONSTRUCTION.



2 Detail SCALE: 1/2" = 1'-0"

1 Second Floor Framing Plan & Porch Roof Framing Plan SCALE: 1/4" = 1'-0"

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| 11/12/02 | PROGRESS SET |
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RENOVATION & ADDITION TO THE KNIGHT RESIDENCE
4808 Cumberland Avenue
Chevy Chase, MD

CQA #20201

Second Floor Framing Plan
DETAILS, & NOTES

Scale As Noted Drawn By
Date 11/12/02 Checked By

S2

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Historic Preservation Commission



LEGEND

- SURFACE MOUNTED LIGHT FIXTURE
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊖ RECESSED DOWNLIGHT
- PENDANT FIXTURE
- ⊕ SWITCH
- ⊕ SWITCH - MULTIPLE POLES WHERE NOTED
- ⊕ DIMMER SWITCH - MULTIPLE POLES WHERE NOTED
- ⊕ DUPLEX OUTLET (220V WHERE NOTED)
- ⊕ 220
- ⊕ GFI
- ⊕ RECESSED CEILING EXHAUST FAN
- ⊕ DOOR BELL CHIME
- ⊕ TELEPHONE JACK
- ⊕ DATA JACK
- ⊕ CABLE TV JACK
- ⊕ SURFACE MOUNTED SMOKE DETECTOR
- ⊕ CEILING FAN
- ⊕ "GREY BOX" WASHER HOOKUP
- ⊕ ELECTRICAL PANEL
- ⊕ FROST PROOF HOSE BEEB.
- ⊕ DOOR BELL

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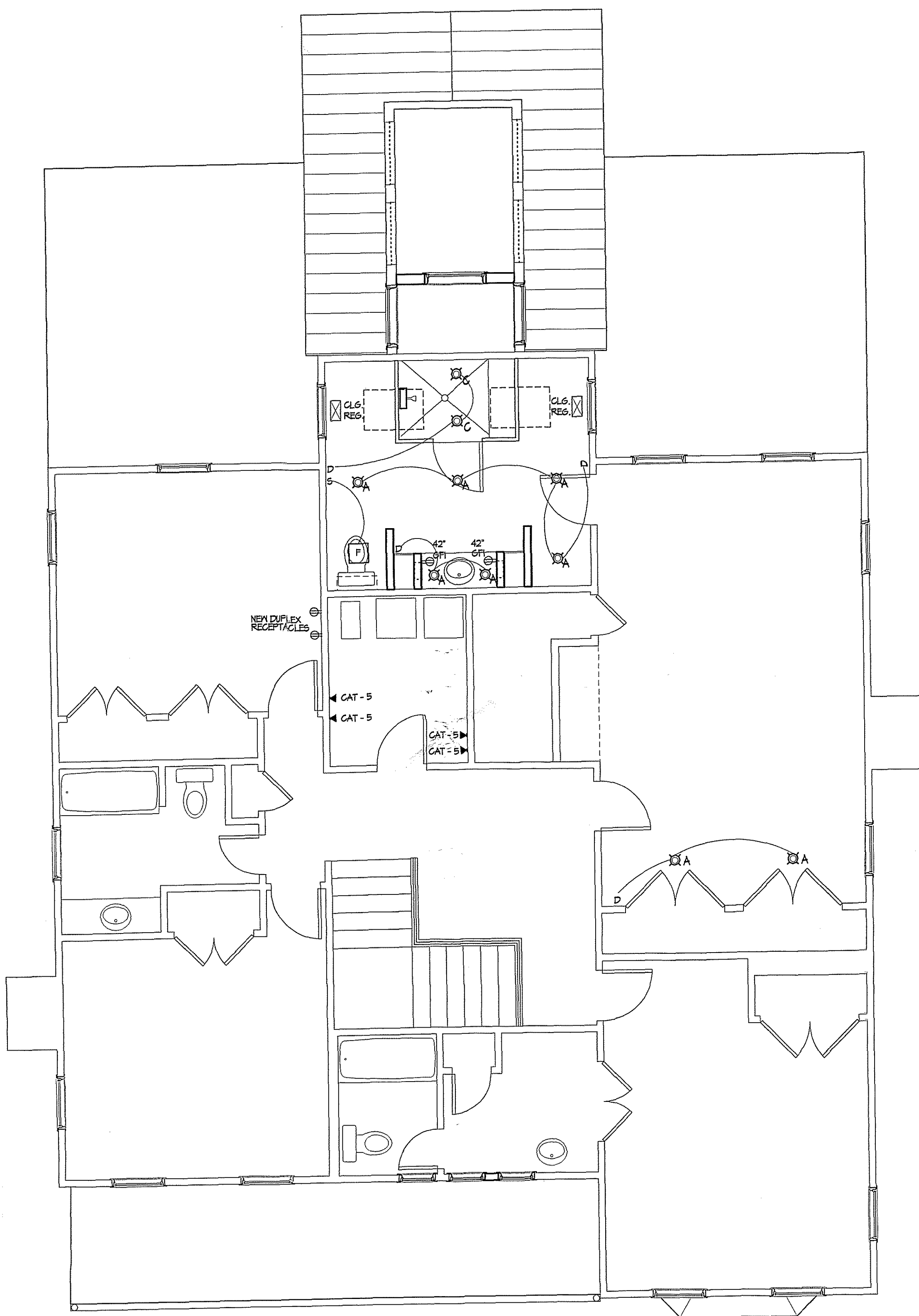
RENOVATION & ADDITION TO THE
KNIGHT RESIDENCE
4808 Cumberland Avenue
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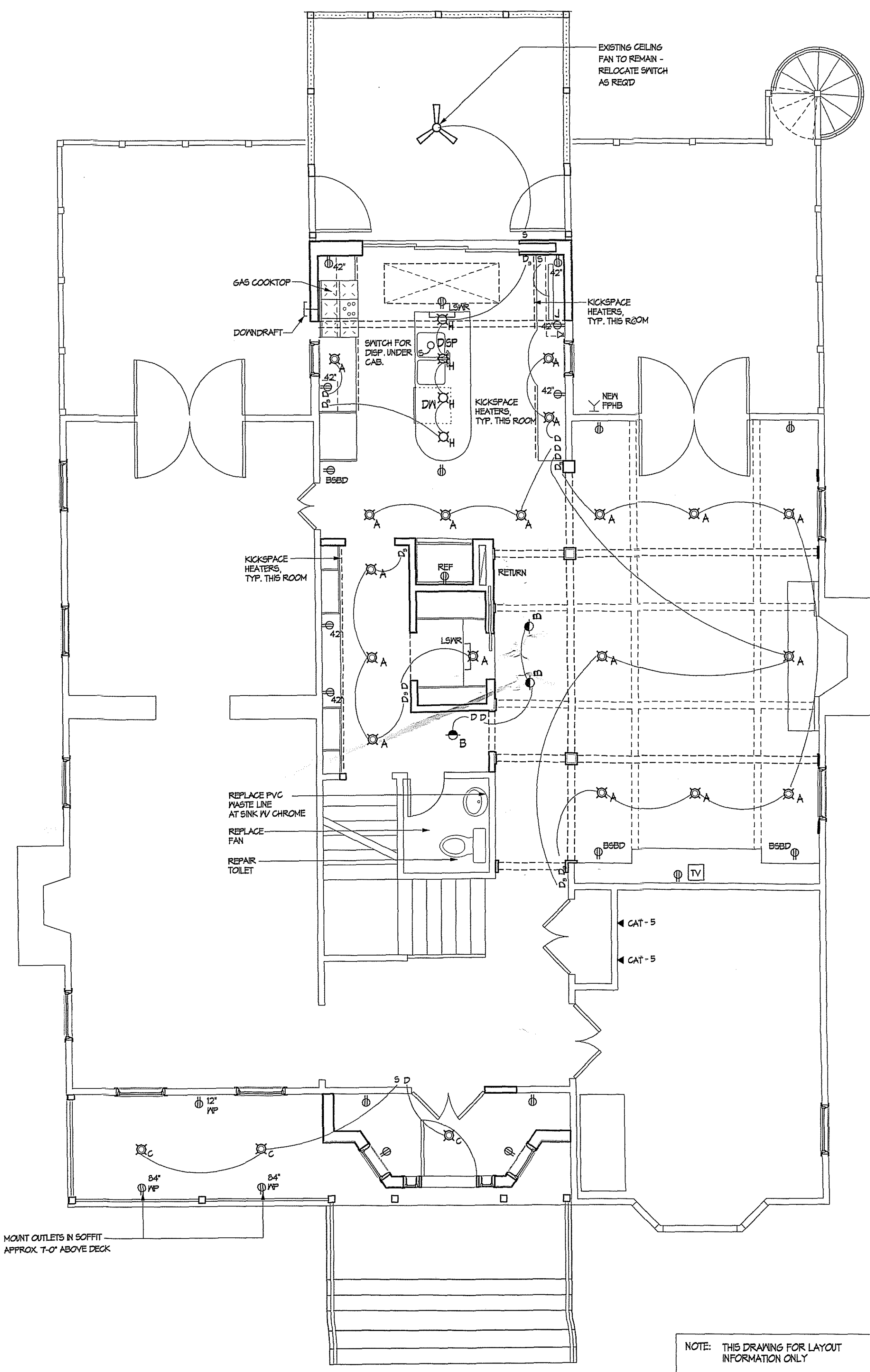
Drawing Title
**FIRST AND SECOND FLOOR
MEP PLANS**

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| Scale 1/4" = 1' | Drawn By MS |
| Date 11/12/02 | Checked By |

MEP-1



2 Second Floor MEP Plan
SCALE: 1/4" = 1'-0"



1 First Floor MEP Plan
SCALE: 1/4" = 1'-0"

NOTE: THIS DRAWING FOR LAYOUT INFORMATION ONLY
EXISTING HVAC SYSTEM TO REMAIN - MODIFICATION OF DUCTS & RELOCATION OF SUPPLY AND RETURN REGISTERS AS REQUIRED.
CONTRACTOR TO PROVIDE HEAT LOSS CALCS FOR ALL HVAC (FORCED AIR & HOT WATER) FINAL DUCT AND RADIATOR SIZING TO BE BY GC/SUBCONTRACTOR

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Historic Preservation Commission
12/05/02