

6 EAST IRVING ST. 35/13-07F



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	6 East Irving St, Chevy Chase	Meeting Date:	3/28/2007
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	3/21/2007
Applicant:	Steven Cohen (Trevor Draper, Architect)	Public Notice:	3/14/2007
Review:	HAWP	Tax Credit:	Partial, repairs to existing house
Case Number:	35/13-07F	Staff:	Michele Oaks

PROPOSAL: Alterations to Existing Additions

RECOMMENDATION: Approve with Conditions

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application with the following conditions:

- All windows to be installed will be painted wood. The proposed, wood aluminum-clad windows are not approved.
- Stucco utilized on the project will be a true, three (3) coat, Portand cement stucco finish.
- The wood lattice panels to be installed underneath the front porch, will be constructed with wood frames, and installed as separate panels. The detail will be included in the permit sets of drawings submitted to staff at the time of stamping.
- The screen porch enclosure will be constructed of wood. The proposed vinyl screen porch enclosure is not approved.
- The HPC requires that the applicant contact the Village Manager and Arborist to review the final design, prior to HAWP submittal, to ensure that the proposal is consistent with their local ordinances.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: 1908

The subject house is a three bay, 2-1/2-story, hip roof, Colonial Revival dwelling. The exterior of the house has a stucco finish and is set upon a brick foundation. An exterior end brick chimney details the west façade. The windows are 5/1 and flanked with operable, two, paneled louvered shutters. The main central entry is detailed with a flat roof portico supported by Doric columns and detailed with a roof top balustrade. The hip roof is punctuated with flat and hip roof dormers.

The current lot also contains a contributing garage structure, which is located in the southeast corner of the rear yard. The garage is accessed by a driveway, which runs along the east side of the house. The property contains several mature trees.

HISTORIC CONTEXT

Chevy Chase Village was Montgomery County's first and most influential streetcar suburb planned and developed between 1892 and 1930. It was the most visionary investment in Montgomery County real estate in the late nineteenth and early twentieth century - representing the Chevy Chase Land Company's prototype for a planned suburb and setting the tone for early twentieth century neighborhoods throughout northwest Washington and southern Montgomery County. Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.

PROPOSAL:

The applicant is proposing alter the existing house by:

Left Side Elevation (All changes are to the non-contributing one-story addition)

- Demolish existing non-contributing one-story addition.
- Construct a new, one-story hip roof addition in the same footprint as the existing addition, with an added 6' extension into the rear yard. A new, side entry will be the detail visible from the front façade. Proposed materials for the new addition include a full, brick foundation, stucco walls, standing-seam copper roof and wood, simulated divided light windows with exterior aluminum cladding.
- No proposed changes to historic fabric or the original massing of the house.

Right Side Elevation

- Demolish the first bay of the existing screen porch. This will expose an original, lattice window.
- Enclose the remaining screen porch addition with a brick foundation, stucco walls and new lattice windows to match the original.
- Extend the one-story addition into the rear yard to join the new, rear screen porch.
- No proposed changes to historic fabric or the original massing of the house.

Rear Elevation

- Construct a rear, one-story addition onto the subject house with a new, wood screen porch. The proposed material selections include stucco, solid brick and pier foundations, standing-seam copper roof, a vinyl porch screen enclosure, and a synthetic wood fiber porch floor.
- No proposed changes to existing historic fabric or the original massing of the house.

CALCULATIONS:

Existing Footprint: 1914 sq. ft.
Lot Coverage: 20%

Proposed Footprint: 2463 sq. ft.
Lot Coverage: 25.7%

APPLICABLE GUIDELINES:

When reviewing alterations within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

Chevy Chase Village Historic District Master Plan

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“**Lenient Scrutiny**” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“**Moderate Scrutiny**” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“**Strict Scrutiny**” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

- Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- Alterations to the portion of a property that are not visible from the public right-of-way should

be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

- Major additions should, where feasible, be placed at the rear of the existing structure so that they are less visible from the public right-of-way. Major additions, which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited.
- Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if not.
- Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The Commission's main objectives when reviewing additions and alterations to contributing resources within the Chevy Chase Village Historic District is to ensure that the addition or alteration will not have a negative impact on the original features of the house. Additionally, it is important to analyze its potential impact with the other historic resources in the district and the surrounding streetscape in terms of setbacks, massing, scale, proportion, height and materials.

The proposed alterations and additions are to be attached onto architectural fabric, which has already been altered, or onto existing non-contributing massings. The main concern regarding the proposed plans is the applicant's choice of materials for the rear addition. The Commission supports a policy of utilizing materials on its additions, which are compatible with the original massing. The majority of the proposed material selections and details achieve this goal. However, the proposed utilization of aluminum and vinyl products on the house (aluminum-clad wood simulated divided light windows/vinyl, screen porch enclosure) are discouraged by the Commission's policies. The recommended compatible replacement materials are painted wood, simulated divided light windows, and a wood frame porch enclosure. The applicant is also proposing a synthetic wood fiber tongue and groove decking material on the interior of the screen porch enclosure, however, spaces within screen porch enclosures have been identified as an interior application, and the Commission would not review this material selection.

The HPC requires that the applicant contact the Village Manager and Arborist to review the final design, prior to HAWP submittal, to ensure that the proposal is consistent with their local ordinances.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: TREVOR DEAPER

Daytime Phone No.: 301.718.2021

Tax Account No.: _____

Name of Property Owner: STEVEN COHEN / NISSON PITTER Daytime Phone No.: _____

Address: 6 EAST IRVING ST CHEVY CHASE 20815
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: FOY ARCHITECTS, TREVOR DEAPER Daytime Phone No.: 301.718.2021

LOCATION OF BUILDING/PREMISE

House Number: 6 Street: EAST IRVING ST

Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE RD

Lot: P4 Block: 26 Subdivision: CHEVY CHASE VILLAGE

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|---|----------------------------------|--|--|---|---|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> A/C | <input type="checkbox"/> Stab | <input checked="" type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input checked="" type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 275,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Trevor M. Deaper
Signature of owner or authorized agent
TREVOR M. DEAPER

2/28/07
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 446341 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

Written Description of the Project:

#6 East Irving Street
Chevy Chase Village, Maryland

Description of existing structure and environmental setting, including their historical features and significance.

Six East Irving Street is a two and one half story traditional colonial home originally constructed in 1908. The exterior of the home has a stucco finish with a brick base. There is an existing brick chimney on the west side of the home. The home has a non-historic addition to the rear and side of the historic home. The windows on the historic portion have shutters and a small, detailed window casing. The non-historic addition has no shutters and wider, flat window casing. The addition sits on piers (some brick, some wood) as opposed to a foundation wall. The roofline of the addition does not line up with the historic house, nor does it relate to the home in dimension or detailing. The home has a front stoop, which appears to have been added at the same time as the rear addition. This stoop is more detailed than the original house but adds considerable interest to the front of the home.

This house is situated within one block of Connecticut Avenue and also one block from Western Avenue (making it a short walk to Chevy Chase Circle). The neighborhood is a quiet, established area of homes with spacious yards and beautiful landscaping.

General description of project and its effect on the historic resource, the environmental setting, and, where applicable, the historic district.

This project removes a majority of the existing non-historic addition to the home. Our new single story addition will have a full brick foundation wall and the exterior walls will be stucco-ed to tie in with the historic home. The proposed addition will be sympathetic to the historic home in the detailing of the window casings and the eaves.

The existing second floor portion of the non-historic addition will remain. The proposed new addition will be constructed below and will support the existing second floor addition. This project will also include a new screened porch towards the rear yard.

This project has very little effect to the historic portion of the home. This project will clean up some of the discrepancies between the existing addition and the historic home at any point where new work is proposed. The existing state of the historic house and the non-historic addition will be improved. The proposed project will better unify the entire composition.

FULTON, KATHRYN &
ROBERT D KYLE
4 E IRVING ST
CHEVY CHASE MD 20815-4221
Lot 3, Block 26

BEYER, WAYNE
C/O DANA BEYER
8 E IRVING ST
CHEVY CHASE MD 20815-4221
LOT 5 CHEVY CHASE SEC 2 (Lot P4, Block 26)

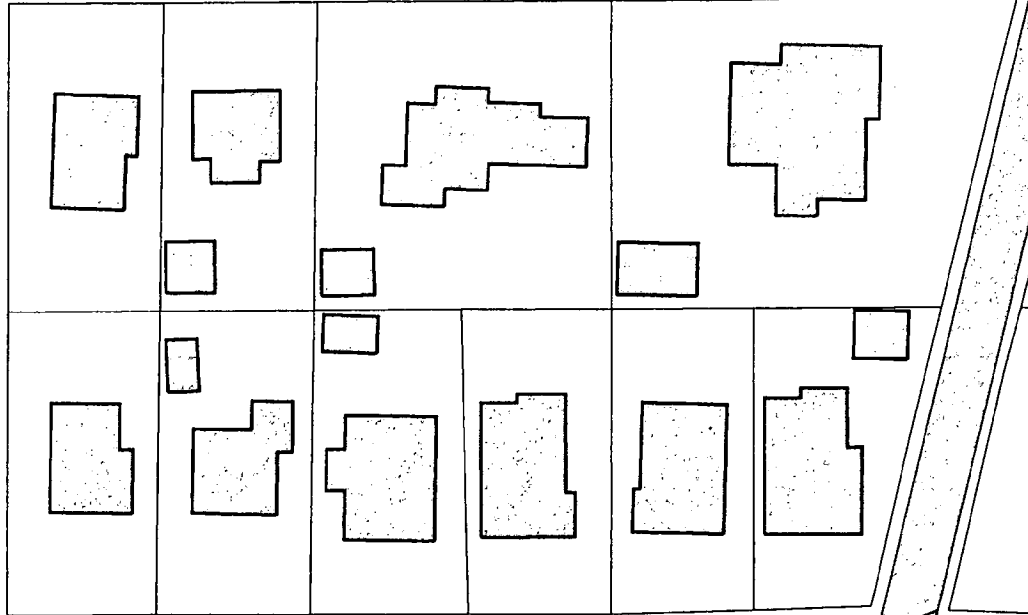
HOFFMAN, MARGARET V ET AL
C/O ROBERT F COMSTOCK
5225 WISCONSIN AVE NW
WASHINGTON DC 20015-2014
Lot 4, Block 34
Premises Address: 7 E Irving St

DORTON, PATRICK & ERIN
5 E IRVING ST
CHEVY CHASE MD 20815-4220
Lot 5, Block 34

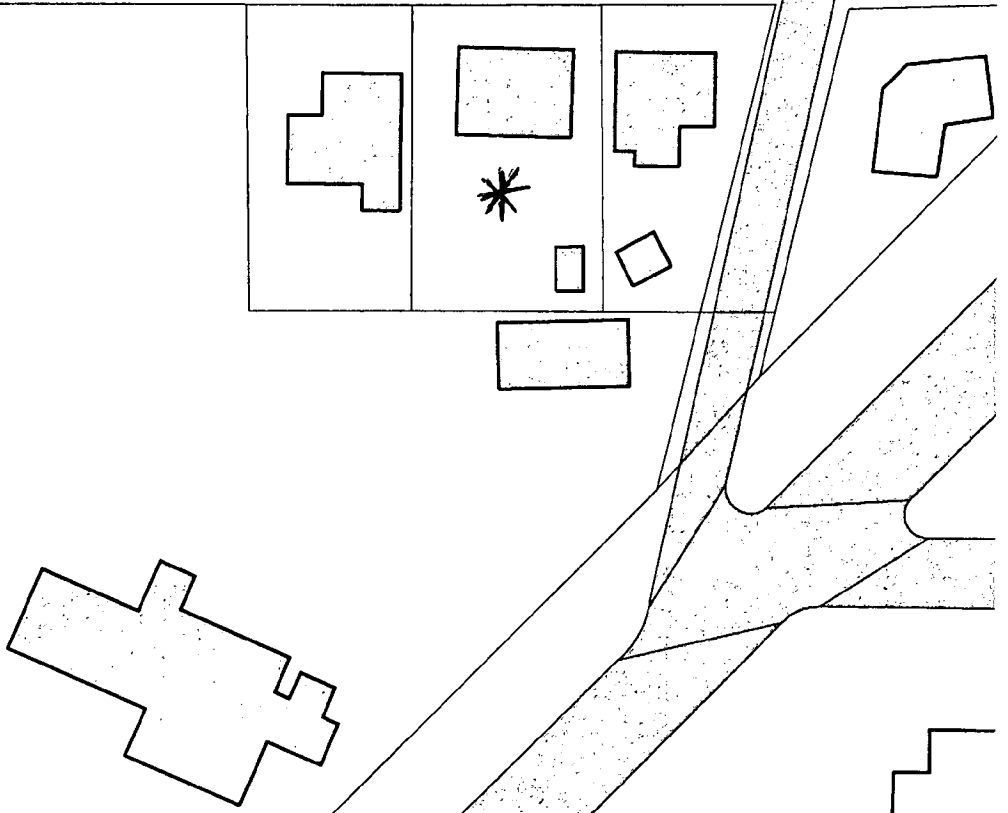
GERSON, STUART M
PAMELA E SOMERS
3 E IRVING STREET
CHEVY CHASE MD 20815
Lot 6, Block 34

CAFARO, J J
C/O WARNER MGMT COMPANY
PO BOX 422
FLORHAM PARK NJ 07932-0422
Lot 1, Block 26
Premises Address: 9 CHEVY CHASE CIR
CHEVY CHASE 20815

EAST KIRKE

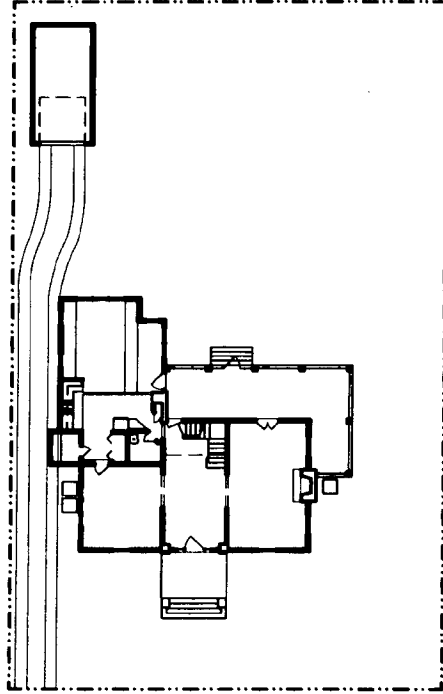


EAST IRVING

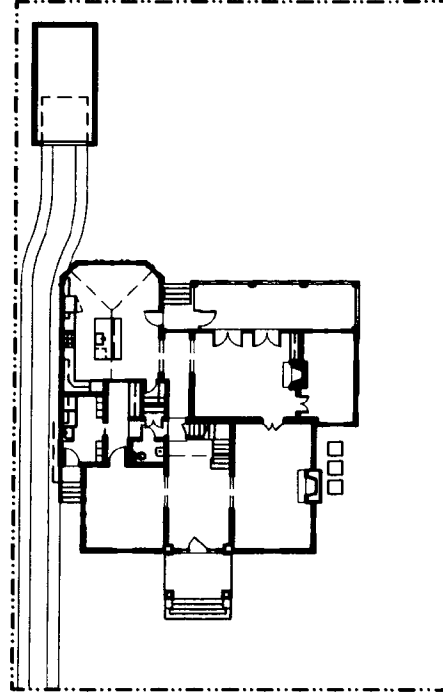


CONNECTICUT

DATE	DESCRIPTION
2/20/07	AS-BUILT'S
2/28/07	IFB'S REVIEW



① Existing Site Layout
1" = 10'-0"



② Proposed Site Layout
1" = 10'-0"

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO. 0701

Architectural
Site Plans

SCALE: AS NOTED

A002

DATE	ISSUE
2.20.07	ISSUE
2.20.07	ISSUE
2.20.07	ISSUE

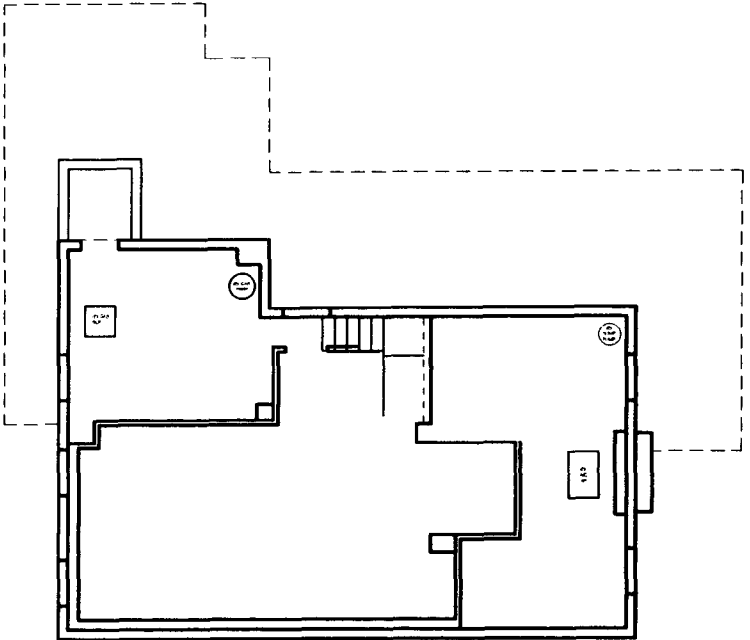
Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chew Chase, Maryland 20815

PROJECT NO. 0701

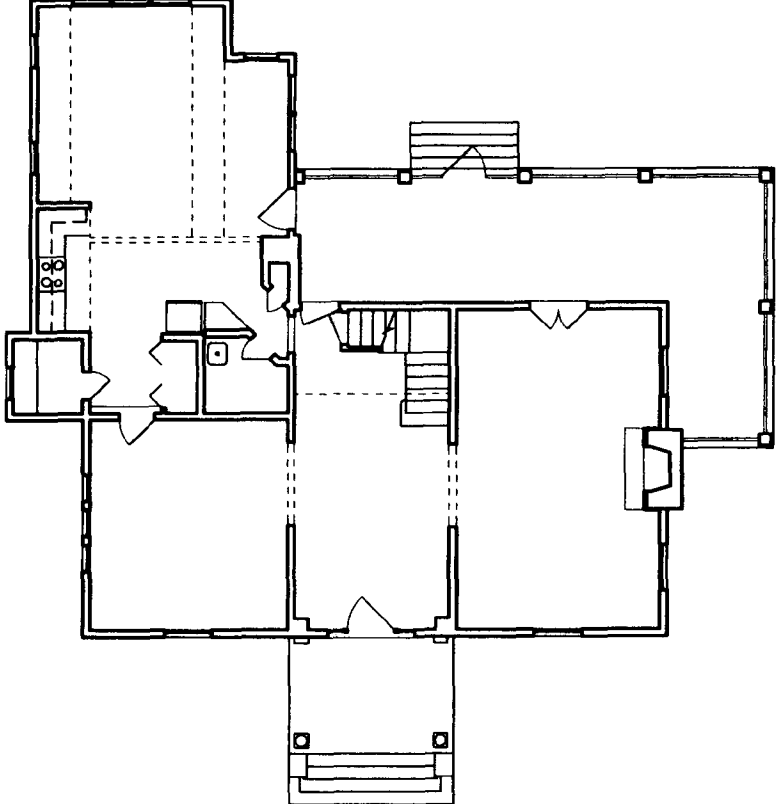
Existing
Floor Plans

SCALE AS NOTED

A100



① **Basement Floor Plan**
1/4" = 1'-0"



② **First Floor Plan**
1/4" = 1'-0"

DATE	SCALE
2.20.07	AS NOTED
2.20.07	HPB REVIEW

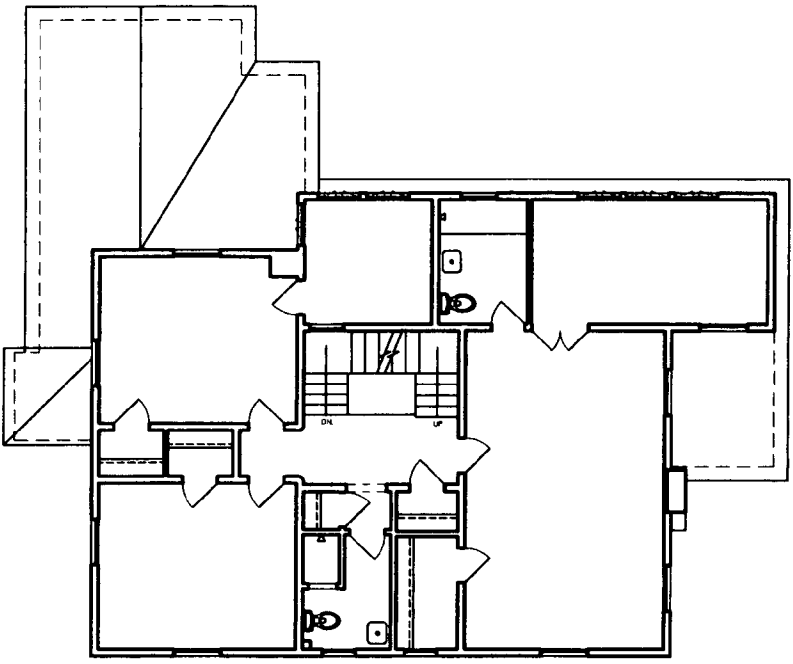
Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO. 0701

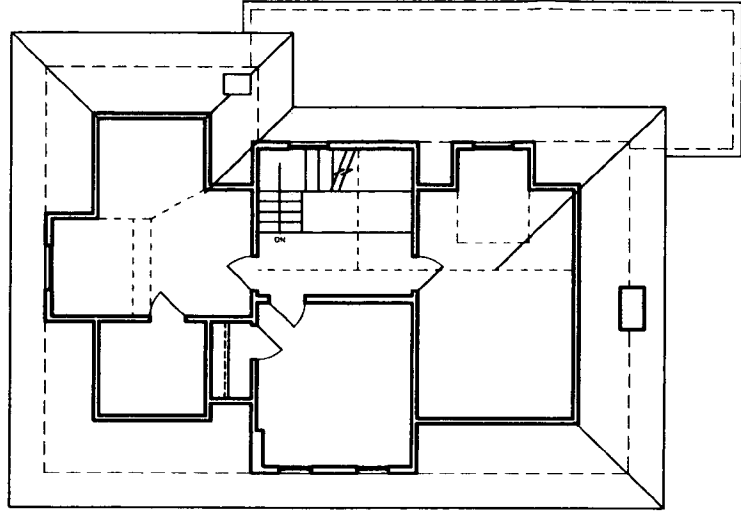
Existing
Floor Plans

SCALE AS NOTED

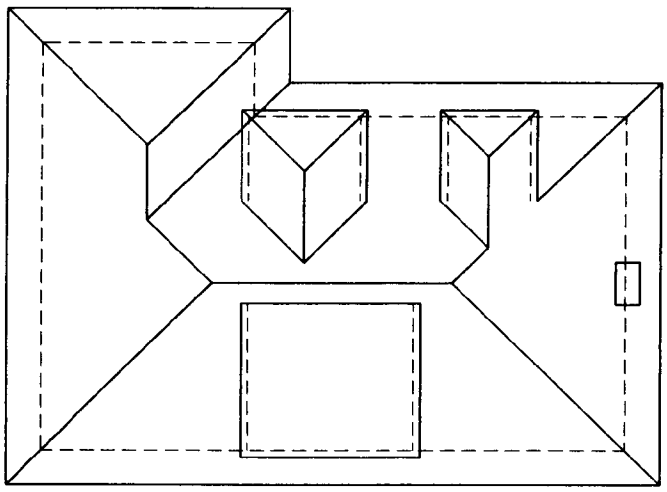
A101



① **Second Floor Plan**
1/4" = 1'-0"

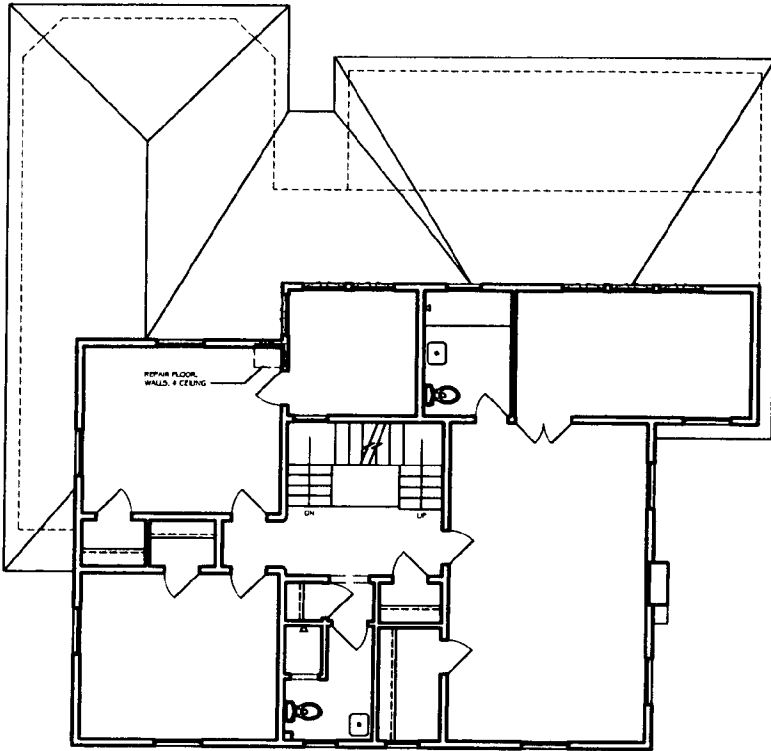


② **Attic Floor Plan**
1/4" = 1'-0"

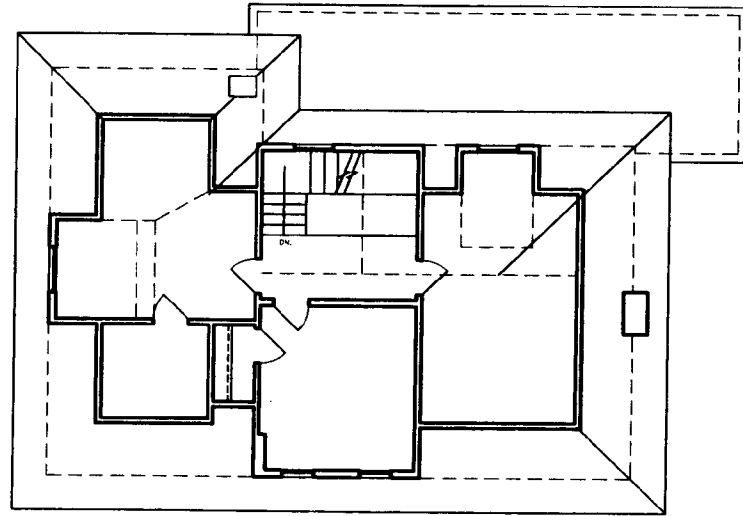


③ **Roof Plan**
1/4" = 1'-0"

DATE	ISSUE
2.20.07	AS-BUILT'S
7.20.07	FINAL REVIEW



① Second Floor/Lower Roof Plan
1/4" = 1'-0"



② Attic Floor Plan
1/4" = 1'-0"

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO. DVD

**New Work
Floor Plans**

SCALE AS NOTED

A201

DATE	DESCRIPTION
2.29.07	AS BUILT
2.29.07	WPB REVIEW



① Front Elevation
1/4" = 1'-0"



② Side Elevation
1/4" = 1'-0"



③ Rear Elevation
1/4" = 1'-0"



④ Side Elevation
1/4" = 1'-0"

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO. 0707

Existing Elevations

SCALE AS NOTED

A102

DATE	DESCRIPTION
2.20.07	AS-BUILT'S
2.28.07	WEB REVIEW

Exterior Finish Material Legend	
MARK	DESCRIPTION
1	EXTERIOR ACRYLIC LATEX PAINT, (1) COAT PRIMER, (2) COATS FINISH; FLAT, COLOR WHITE. END TO INCLUDE MIM. (3) COLORS
2	3-COAT STUCCO FINISH TO MATCH EXISTING AS CLOSELY AS POSSIBLE
3	STANDING SEAM COPPER ROOF WITH CROWN FINISH
4	BRICK VENEER TO MATCH EXISTING MAIN FLOOR AS CLOSELY AS POSSIBLE
5	PRIMED WOOD TRIM FINISH WITH ITEM #1 ABOVE
6	PRE-FINISHED 'S' STYLE ALUMINUM GUTTERS & DOWNSPOUTS TO MATCH EXISTING
7	EXISTING STUCCO FINISH REPAIR & PAINT
8	SCREEN-HIGH SCREEN SYSTEM



1 Front Elevation
1/4" = 1'-0"



2 Side Elevation
1/4" = 1'-0"

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO. 0701

Exterior Elevations

SCALE: AS NOTED

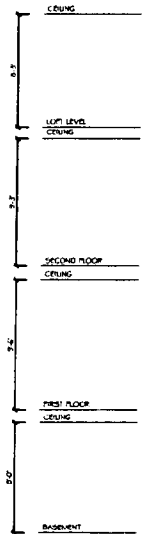
A400

DATE	ISSUE
2 20 07	AS-BUILT
2 28 07	PPD REVIEW

Exterior Finish Material Legend	
MARK	DESCRIPTION
1	EXTERIOR ACRYLIC LATE PAINT: (1) COAT PRIMER, (2) COATS FINISH. FLAT. COLOR WHITE. BID TO INCLUDE MAX. (3) COLORS
2	3 COAT STUCCO FINISH TO MATCH EXISTING AS CLOSELY AS POSSIBLE
3	STANDING SEAM COPPER ROOF W/SHAW FENCE
4	BRICK VENEER TO MATCH EXISTING BAWN HOLEDS AS CLOSELY AS POSSIBLE
5	PRIMED WOOD FRAM. FINISH WITH ITEM #1 ABOVE
6	REFINISHED 1" WIDE ALUMINUM GUTTERS & DOWNSPOUTS TO MATCH EXISTING
7	EXISTING STUCCO FINISH. REPAIR & PAINT.
8	SCREEN-TIGHT SCREEN SYSTEM



① Rear Elevation
1/4" = 1'-0"



② Side Elevation
1/4" = 1'-0"

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

Exterior Elevations

SCALE: AS NOTED

A401

Renovation & Addition To:
 Cohen Residence
 6 East Irving Street
 Chevy Chase, Maryland 20815

PROJECT NO. 0701

Schedule & Details

SCALE AS NOTED

A700

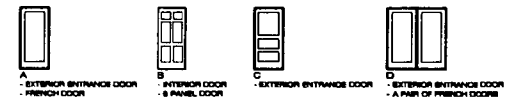
Door Schedule

UNLESS NOTED OTHERWISE, ALL DOORS WILL BE 2 1/2" THICK, 1 1/2" CLEARANCE AT TOP, 1/2" CLEARANCE AT BOTTOM, 1 1/2" CLEARANCE AT SIDES, AND 1 1/2" CLEARANCE AT JAMB. ALL DOORS WILL BE 1 1/2" CLEARANCE AT TOP, 1/2" CLEARANCE AT BOTTOM, 1 1/2" CLEARANCE AT SIDES, AND 1 1/2" CLEARANCE AT JAMB. ALL DOORS WILL BE 1 1/2" CLEARANCE AT TOP, 1/2" CLEARANCE AT BOTTOM, 1 1/2" CLEARANCE AT SIDES, AND 1 1/2" CLEARANCE AT JAMB. ALL DOORS WILL BE 1 1/2" CLEARANCE AT TOP, 1/2" CLEARANCE AT BOTTOM, 1 1/2" CLEARANCE AT SIDES, AND 1 1/2" CLEARANCE AT JAMB.

MARK ROOM	NOMINAL SIZE		TYPE	CORE	MANUFAC.	MODEL #	FINISH		HARD WARE	DOOR FRAME		REMARKS
	WIDTH	HEIGHT					INT.	EXT.		TYPE	FINISH	
1	2'-0"	6'-0"	C		LOGWEN		PREFINISHED EXT MATCH WINDOWS	G	CLAD	P-3 INTERIOR	TERRACE ENTRY DOOR SEE ELEVATIONS FOR PANEL SCHEME TO MATCH EXISTING PAINT	
2	2'-0"	6'-0"	A		LOGWEN	TD1-0900R	PREFINISHED EXT MATCH WINDOWS	G	CLAD	P-3 INTERIOR	TERRACE ENTRY DOOR	
3	5'-17"	8'-0"	D		LOGWEN	FD2-1248RA	PREFINISHED EXT MATCH WINDOWS	B	CLAD	P-3 INTERIOR	A PAIR OF FRENCH DOORS	

DOOR SCHEDULE NOTES:

- ALL UNITS SET IN MASONRY MUST HAVE CLAD BRICK MOUNTING. ROUGH OPENING DOES NOT INCLUDE 2" CLAD BRICK MOUNTING.
- SEE ELEVATIONS & DETAILS FOR MULLING & TRIM DETAILS.
- ALL FRENCH DOORS TO BE TYPED.
- DOORS WITH TRANSOMS TO BE MILLED AS SINGLE UNIT.
- DOOR FINISHES TO MATCH HARDWARE OF SAME UNIT.
- PROVIDE SCREENS AT ALL SLIDING & SWING DOORS. COLOR TO MATCH CLADDING.
- SEE PLANS & ELEVATIONS FOR HINGING INFORMATION.



Window Schedule

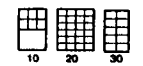
UNLESS NOTED OTHERWISE, ALL WINDOWS WILL BE 1/4" CLEARANCE AT TOP, 1/4" CLEARANCE AT BOTTOM, 1/4" CLEARANCE AT SIDES, AND 1/4" CLEARANCE AT JAMB. ALL WINDOWS WILL BE 1/4" CLEARANCE AT TOP, 1/4" CLEARANCE AT BOTTOM, 1/4" CLEARANCE AT SIDES, AND 1/4" CLEARANCE AT JAMB. ALL WINDOWS WILL BE 1/4" CLEARANCE AT TOP, 1/4" CLEARANCE AT BOTTOM, 1/4" CLEARANCE AT SIDES, AND 1/4" CLEARANCE AT JAMB.

MARK ROOM	ROUGH OPENING DIMS		TYPE	MODEL NO	MUNTLN LAYOUT	NOTES
	WIDTH	HEIGHT				
A	30'-10"	52'-10 1/2"	3	DP1-2422	10	DOUBLE HUNG
B	42'-10"	62"	3	DP1-2420	10	DOUBLE HUNG; MATCH 2ND FLOOR UNIT WIDTH
C	46'-10"	66'-7 1/2"		CUSTOM	30	FIXED PICTURE
D	40"	71'-5 1/2"	2	PCA-0610L	30	FRENCH CASSEMENT
E						EXISTING; EXISTING TO REMAIN
E1	V.I.F.	V.I.F.	2			EXISTING FRENCH CASSEMENT TO BE REPLACED
E2	V.I.F.	V.I.F.	5	V.I.F.	10	EXISTING DOUBLE HUNG TO BE REPLACED
F	24'-3 1/2"	71'-5 1/2"	4	PCA-210L/PCA-17-0R	30	SINGLE CASSEMENT
G	40'-10"	25'-5 1/2"	1	AW1-100TA	CUSTOM	AWING; SEE ELEVATIONS FOR GRILLE PATTERN
H	16'-1 1/2"	40'-10"	4	CA-04-0L/CA-04-0R		SINGLE CASSEMENT
I	24'-3 1/2"	59'-10 1/2"	4	CA-06-0R		SINGLE CASSEMENT

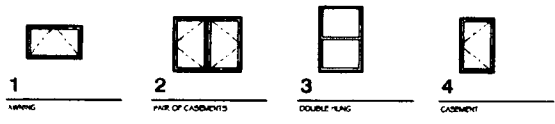
WINDOW SCHEDULE NOTES:

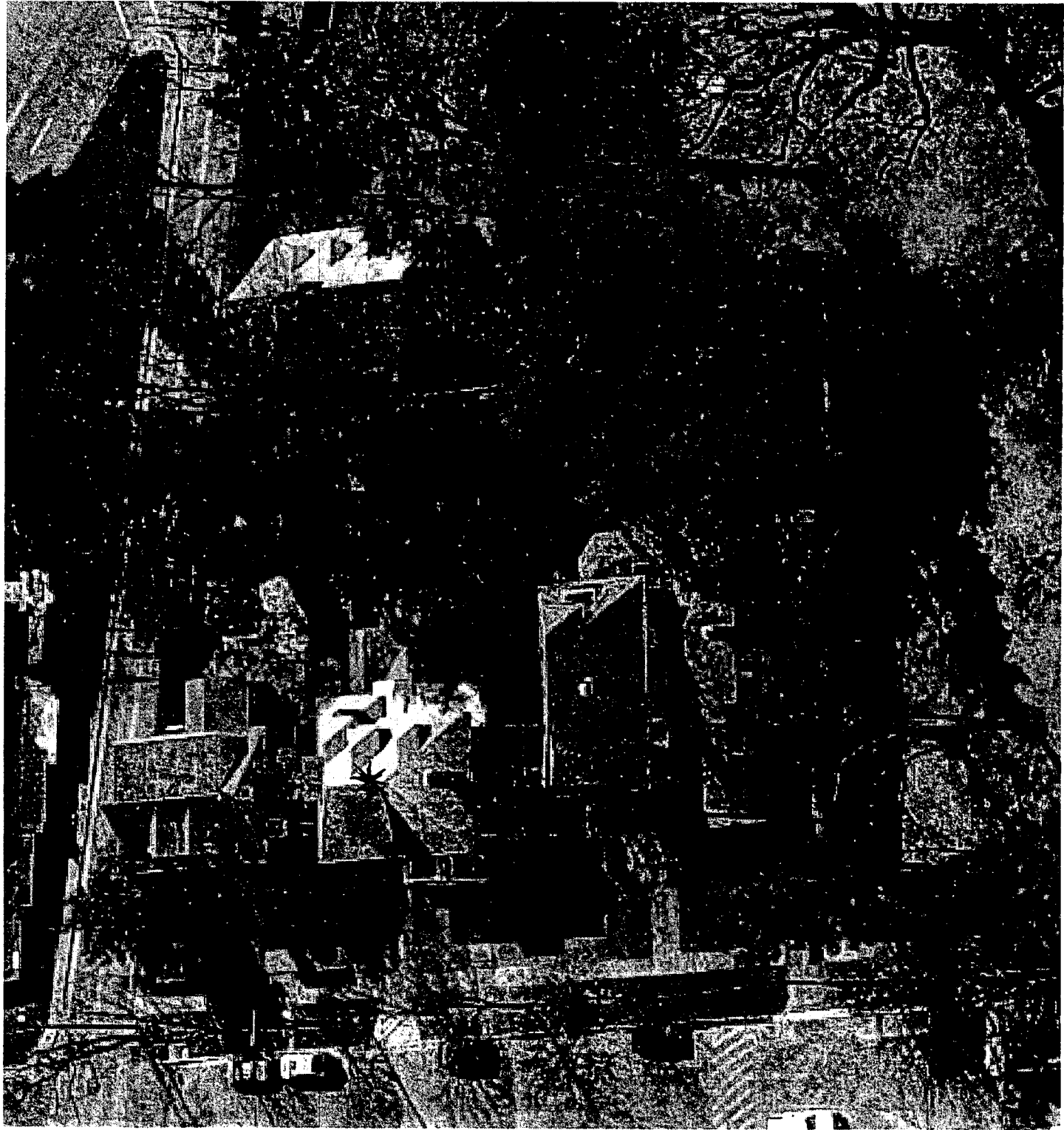
- ALL UNITS SET IN MASONRY MUST HAVE CLAD BRICK MOUNTING. ROUGH OPENING DOES NOT INCLUDE 2" CLAD BRICK MOUNTING.
- ROUGH OPENING DIMENSIONS FOR UNITS SET IN MASONRY DO NOT INCLUDE MASONRY ALLOWANCES.
- SEE ELEVATIONS FOR AWING INDICATION.
- SEE PLANS/ELEVATIONS FOR MULLION DIMENSIONS.
- FACTORY MULLING: 1/4" O.D. MILD MULLING AT THE G.C.'S DISCRETION, WITH ARCHITECT'S APPROVAL.

Muntin Patterns



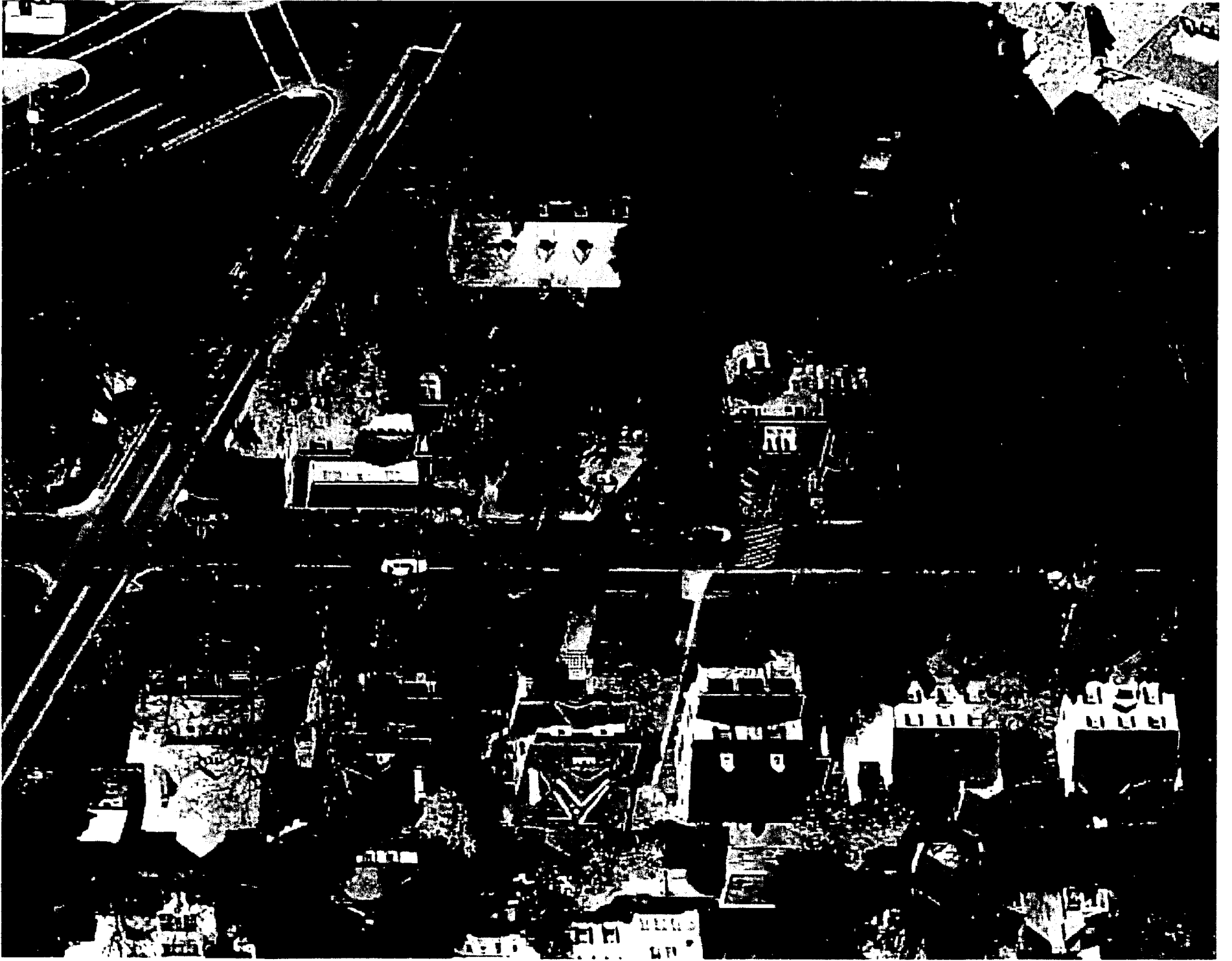
Window Types

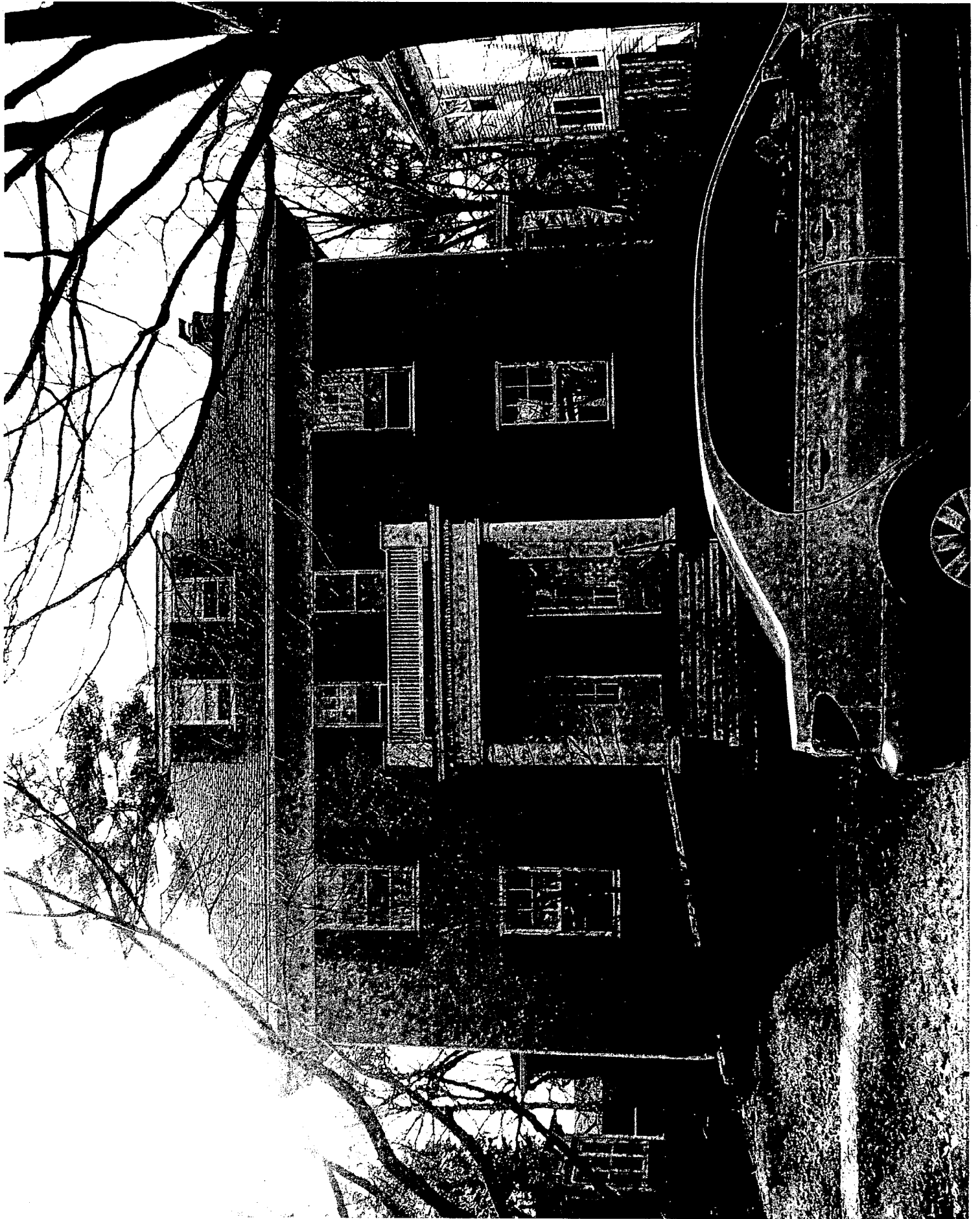


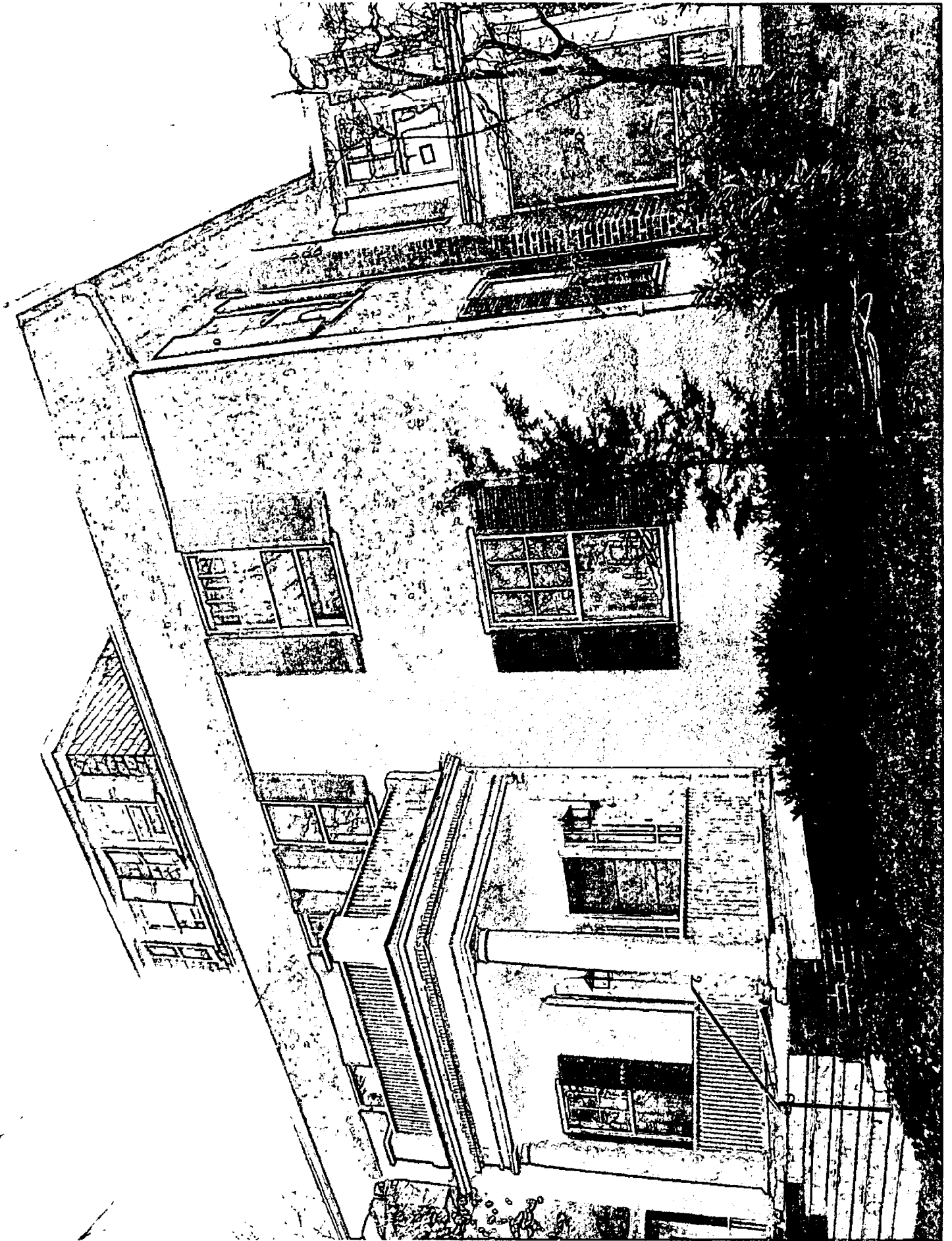




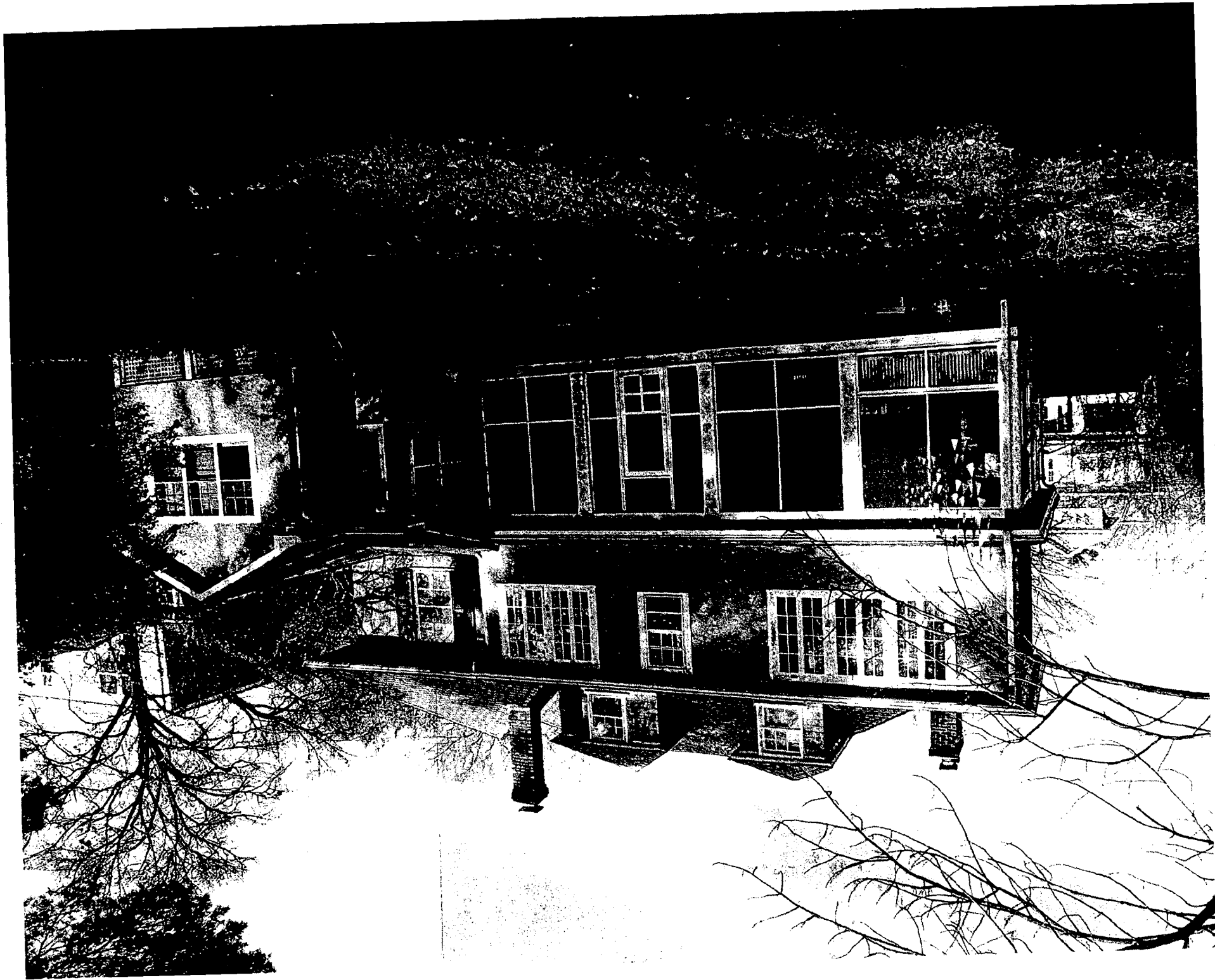
















THE COHEN RESIDENCE

6 East Irving Street, Chevy Chase, Maryland 20815

HPRB Review Set

February 28, 2007

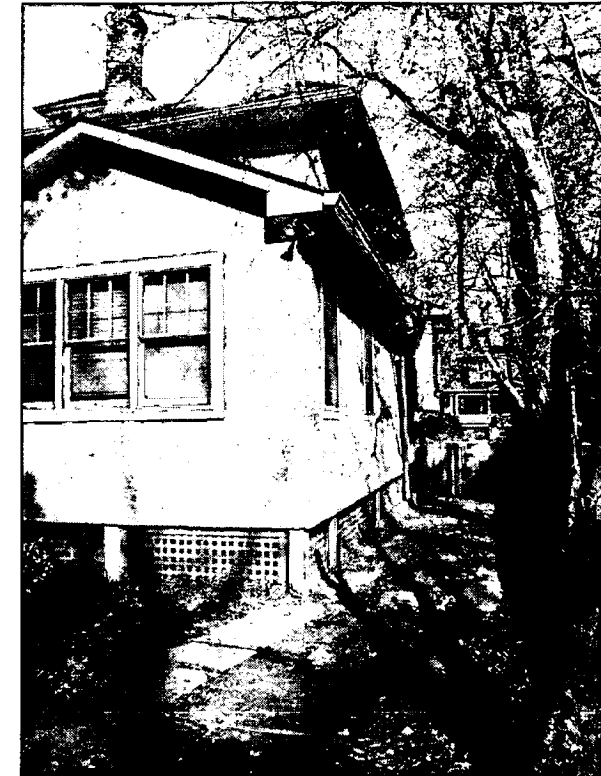
FOX
ARCHITECTS



① Front - Full View
No Scale



② Front - Driveway Corner
No Scale



③ Rear - Driveway Corner
No Scale



④ Rear - Full View w/Porch
No Scale



⑤ Side- Porch View
No Scale



⑥ Front - Porch Corner
No Scale

FOX
ARCHITECTS

7805 OLD GEORGETOWN ROAD
SUITE 204
BETHESDA, MARYLAND 20814
301 - 718 - 2021

DATE	ISSUE
2.20.07	AS-BUILTS
2.28.07	HPRB REVIEW

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

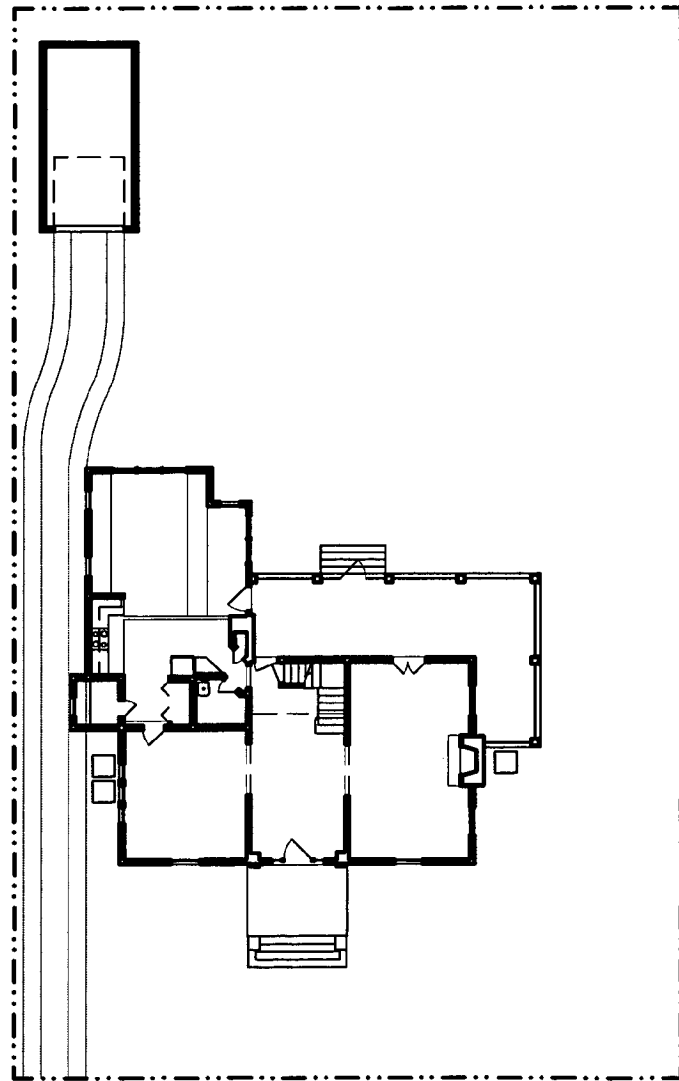
PROJECT NO.: 0701

Existing Photo
Documentation

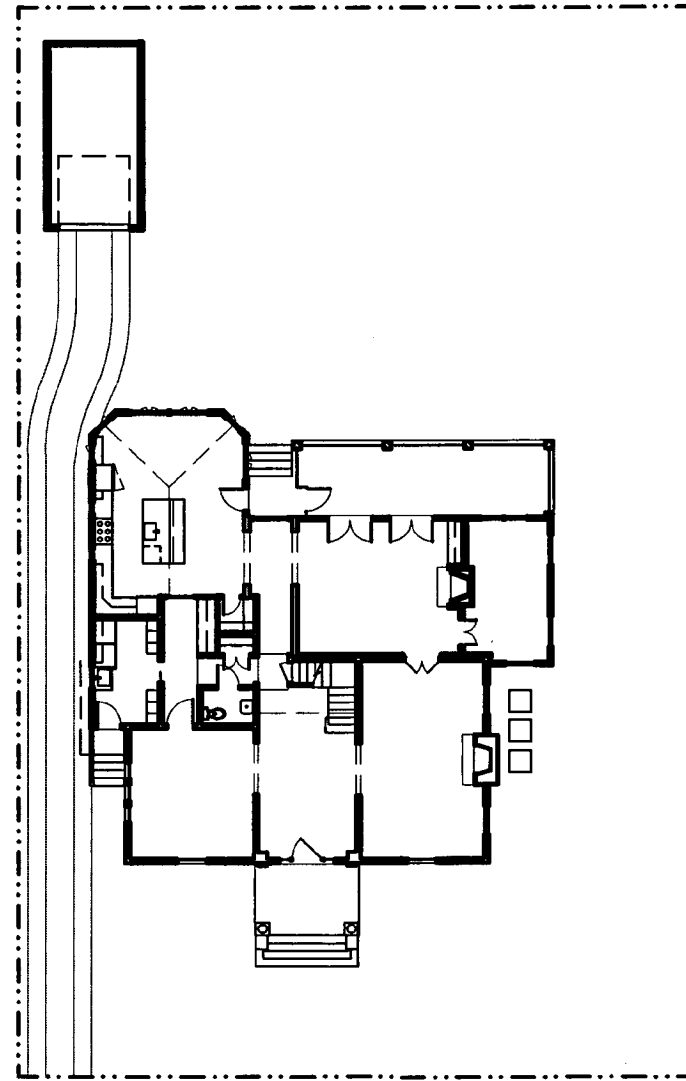
SCALE: AS NOTED

A001

DATE	ISSUE
2.20.07	AS-BUILTS
2.28.07	HPRB REVIEW



① Existing Site Layout
1" = 10'-0"



② Proposed Site Layout
1" = 10'-0"

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

Architectural
Site Plans

SCALE: AS NOTED

A002

DATE	ISSUE
2.20.07	AS-BUILTS
2.28.07	HPRD REVIEW

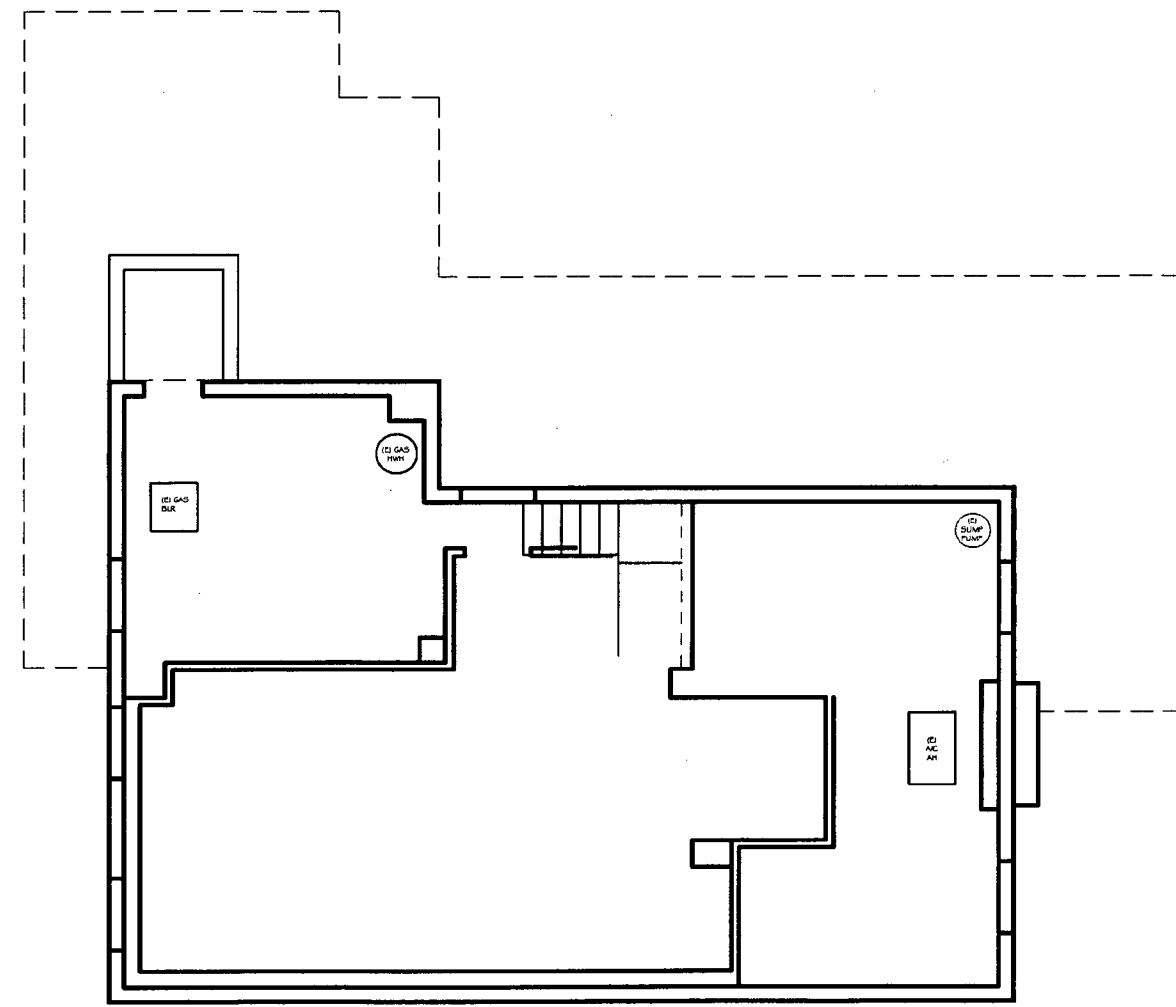
Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

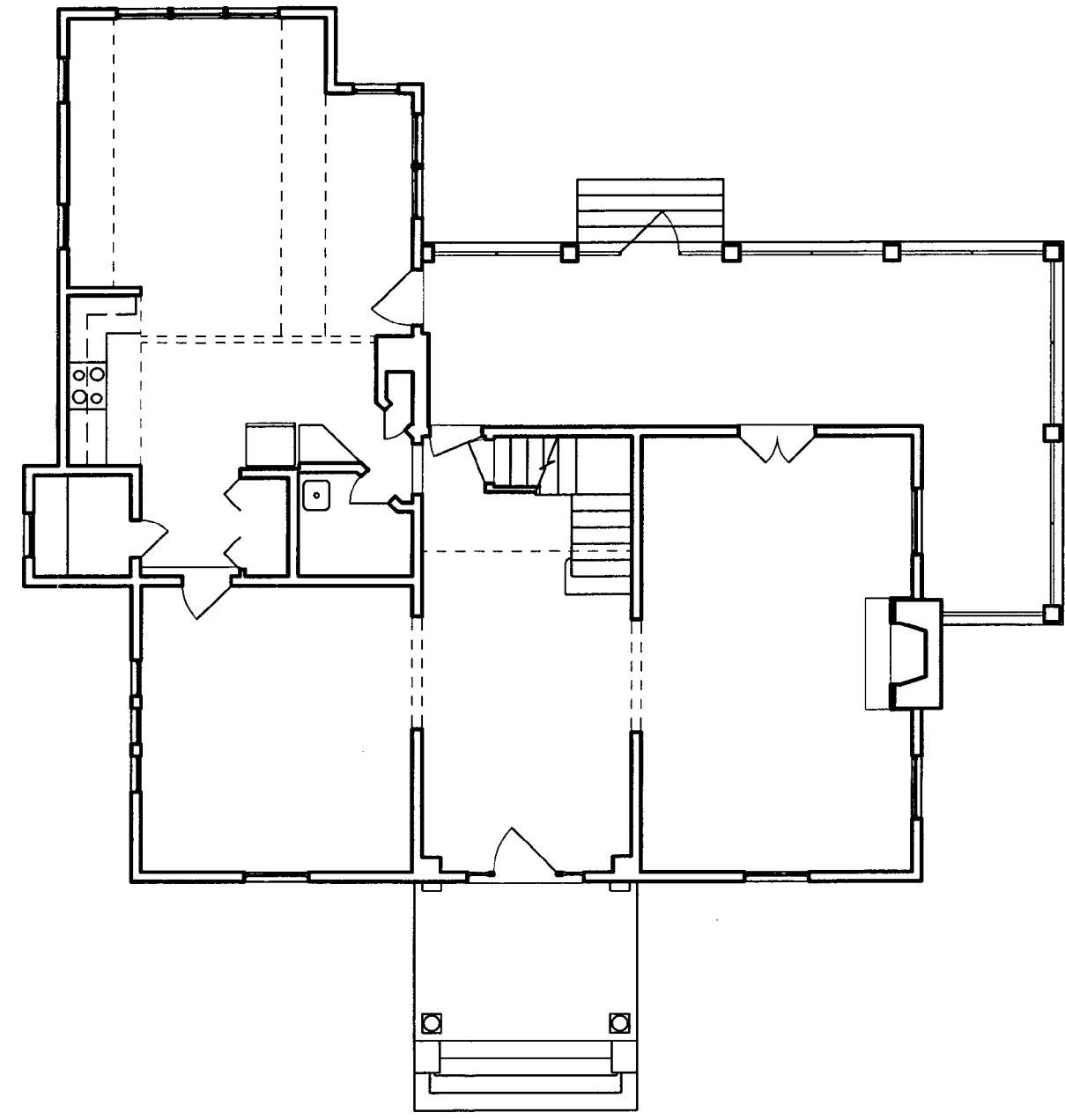
Existing
Floor Plans

SCALE: AS NOTED

A100



① **Basement Floor Plan**
1/4" = 1'-0"



② **First Floor Plan**
1/4" = 1'-0"

DATE	ISSUE
2.20.07	AS-BUILTS
2.28.07	HFRB REVIEW

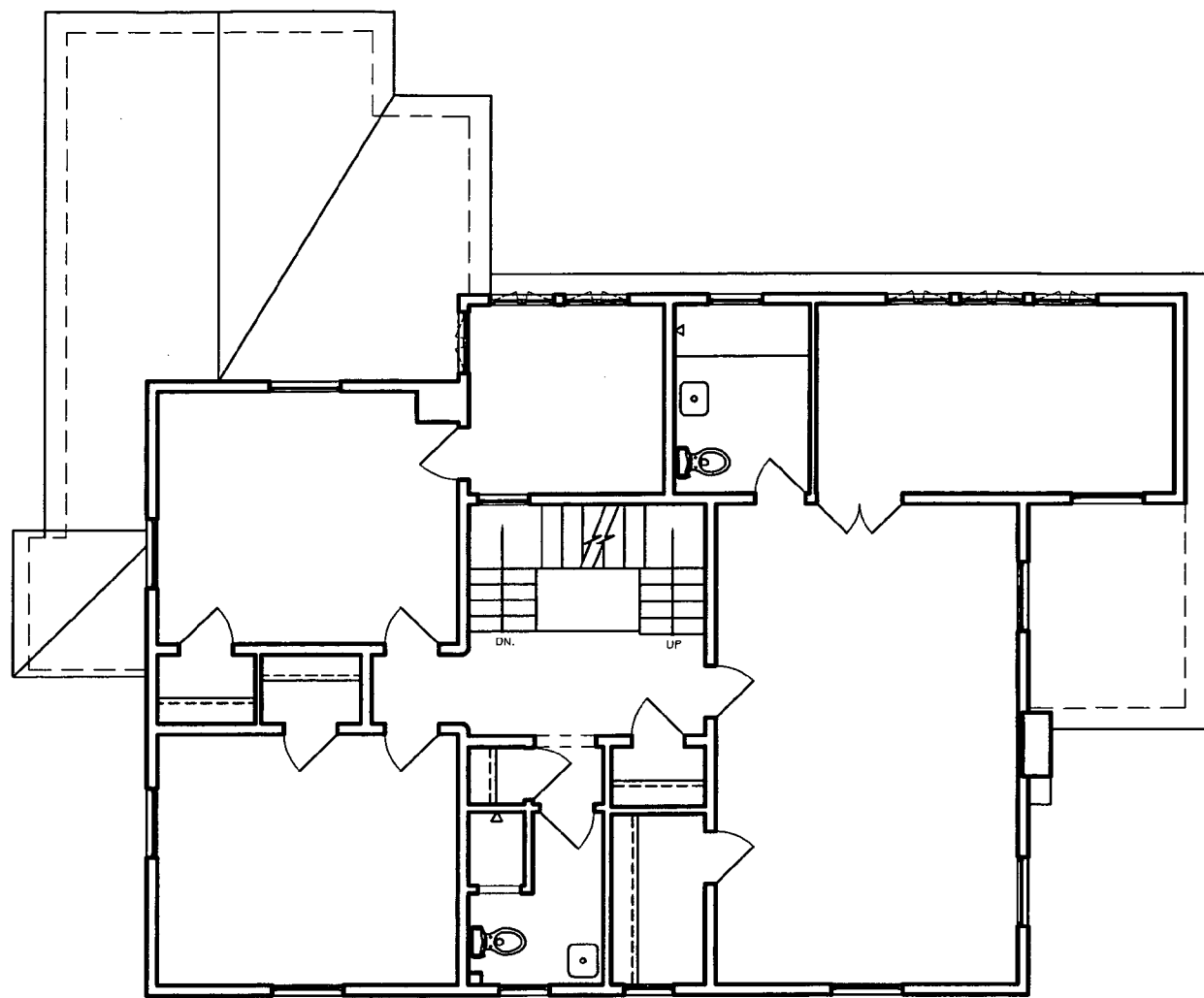
Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 07D1

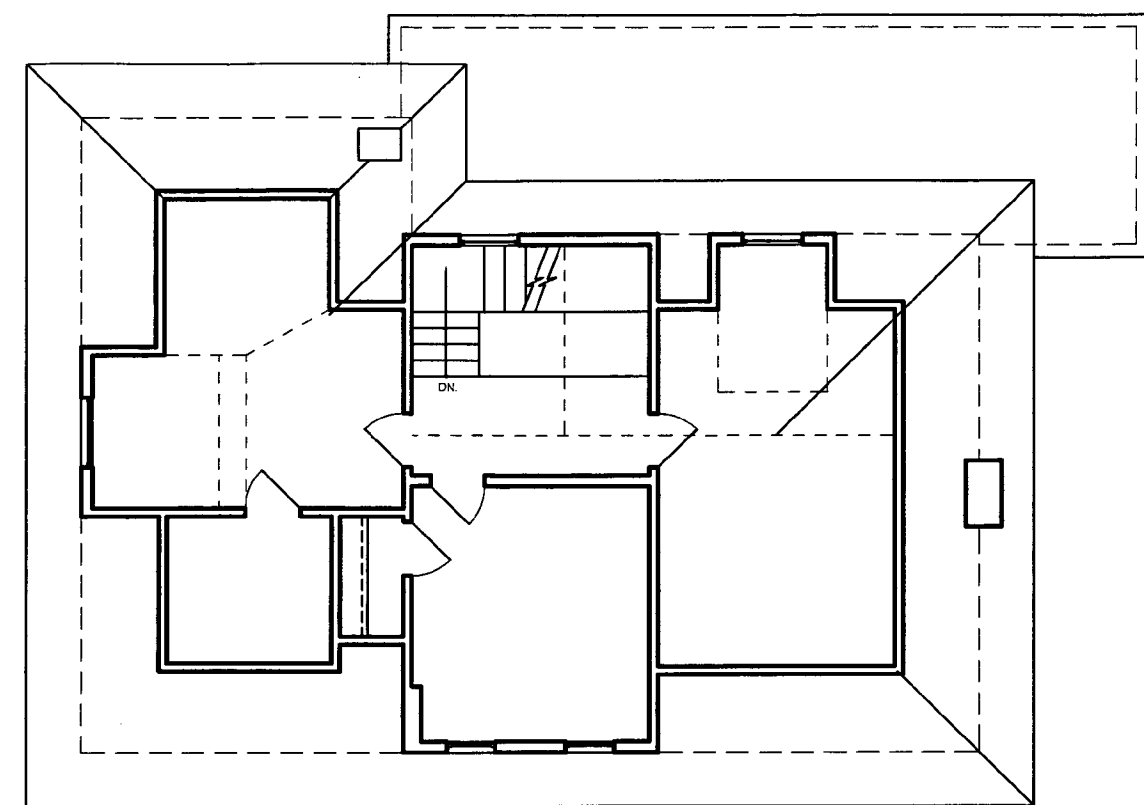
Existing
Floor Plans

SCALE: AS NOTED

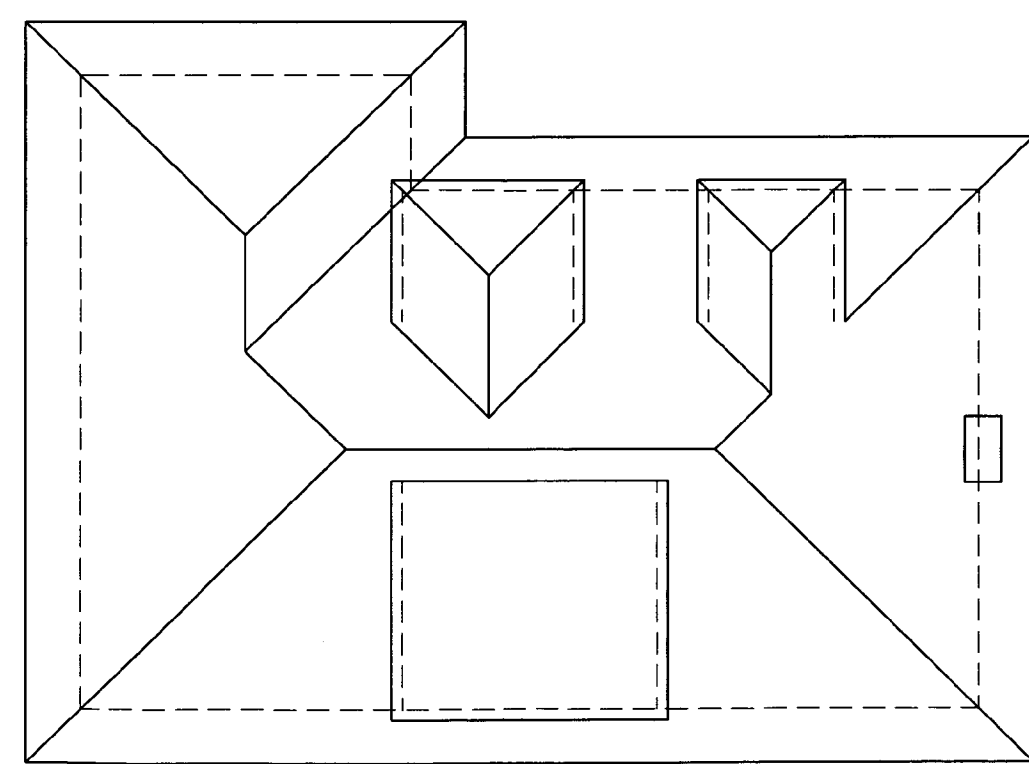
A101



① Second Floor Plan
1/4" = 1'-0"



② Attic Floor Plan
1/4" = 1'-0"



③ Roof Plan
1/4" = 1'-0"

DATE	ISSUE
2.20.07	AS-BUILTS
2.28.07	HPRD REVIEW



① Front Elevation
1/4" = 1'-0"



② Side Elevation
1/4" = 1'-0"



③ Rear Elevation
1/4" = 1'-0"



④ Side Elevation
1/4" = 1'-0"

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

Existing
Elevations

SCALE: AS NOTED

A102

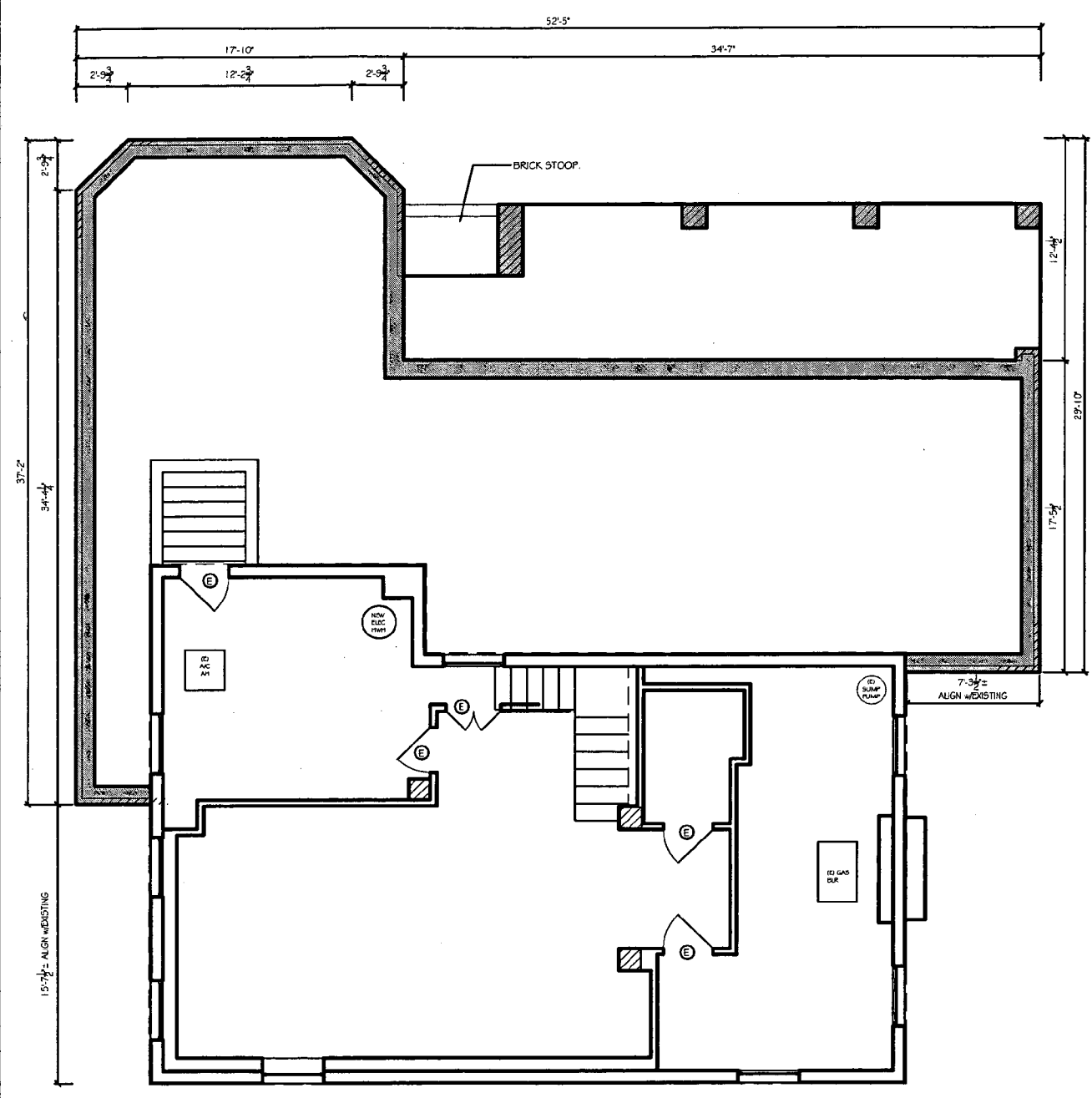
DATE	ISSUE
2.20.07	AS-BUILTS
2.28.07	HPRB REVIEW

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

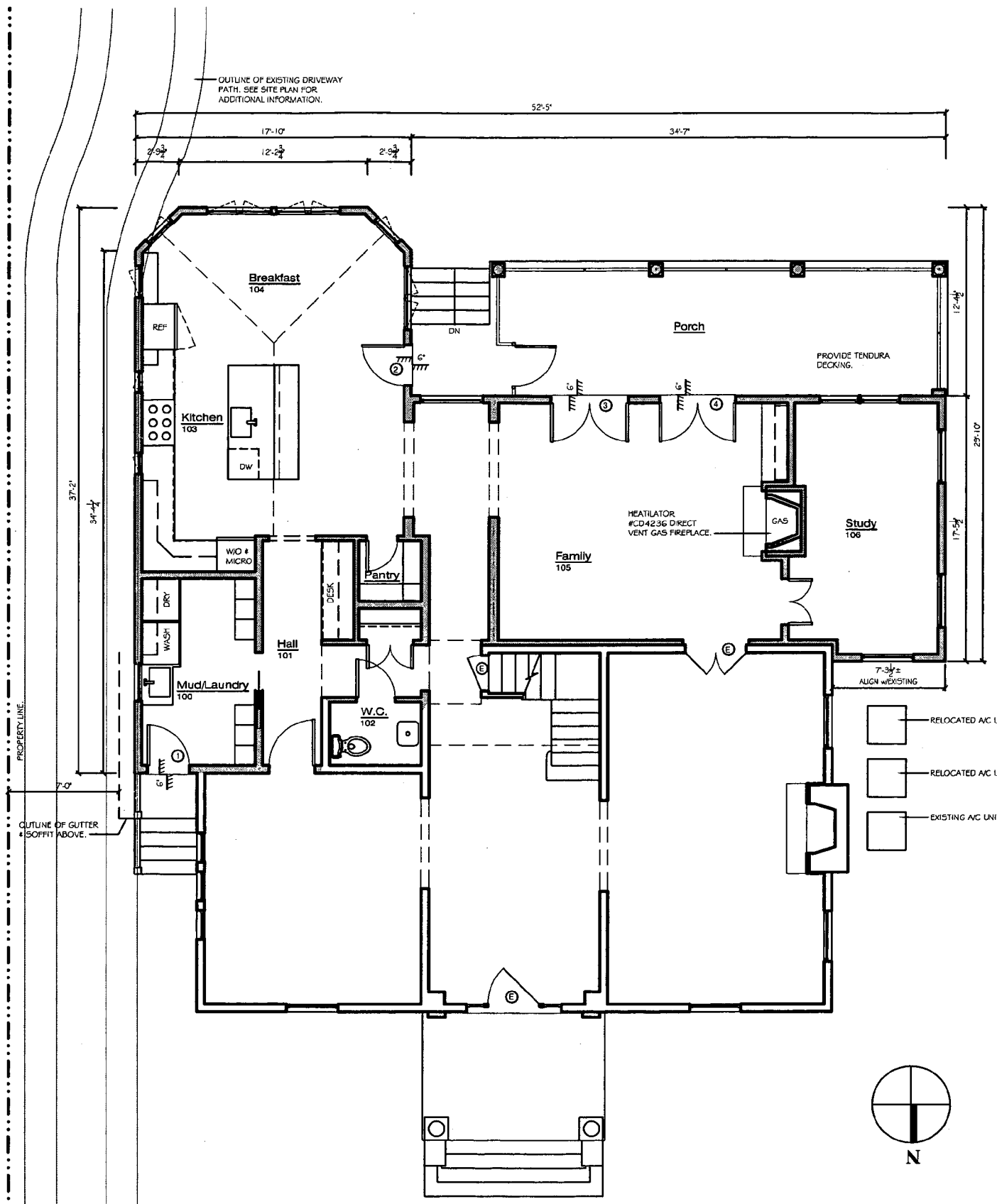
PROJECT NO.: 070

**New Work
Floor Plans**

SCALE: AS NOTED



1 Basement Floor Plan
1/4" = 1'-0"



2 First Floor Plan
1/4" = 1'-0"

DATE	ISSUE
2.20.07	AS-BUILTS
2.28.07	HPRB REVIEW

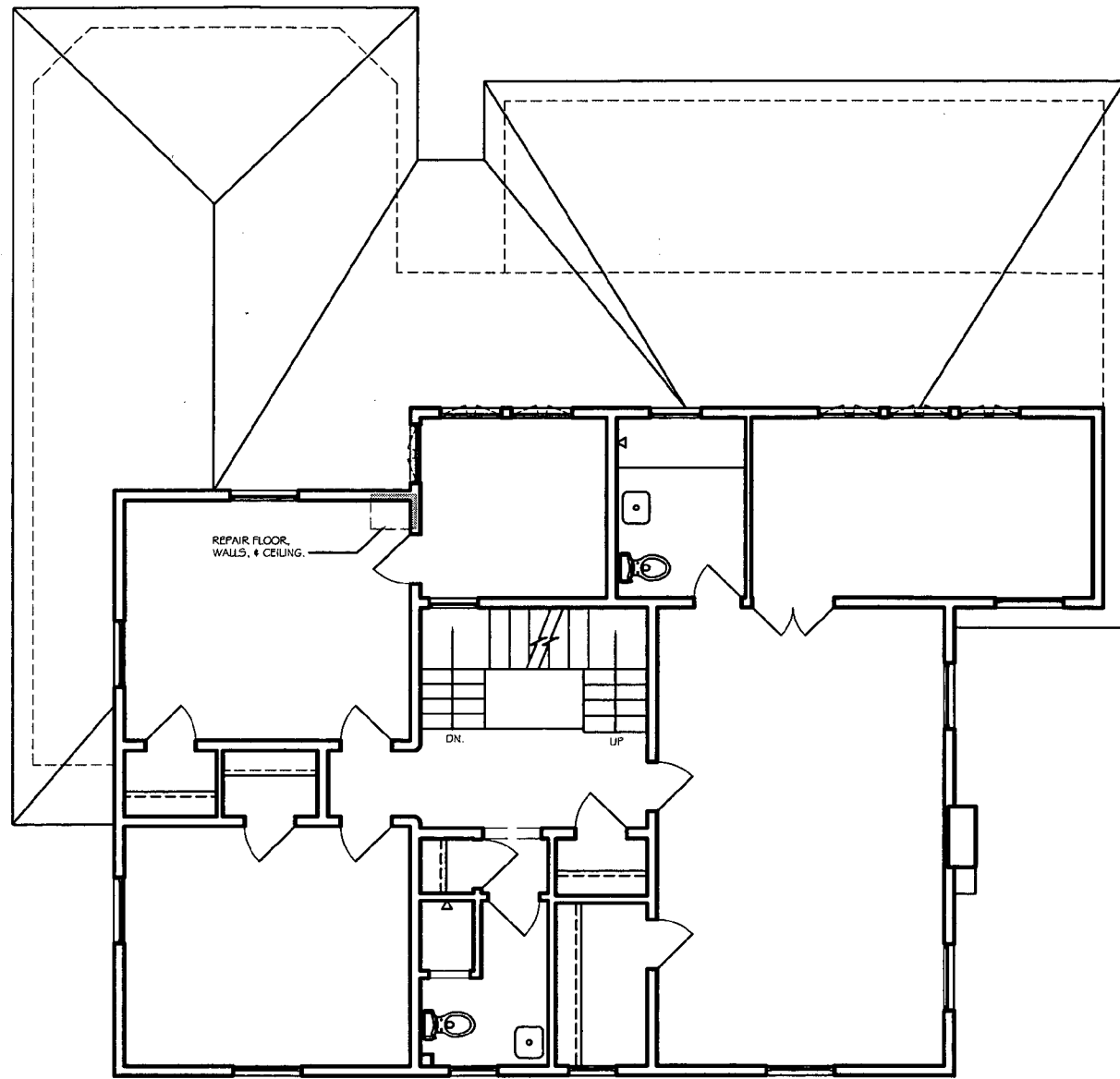
Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

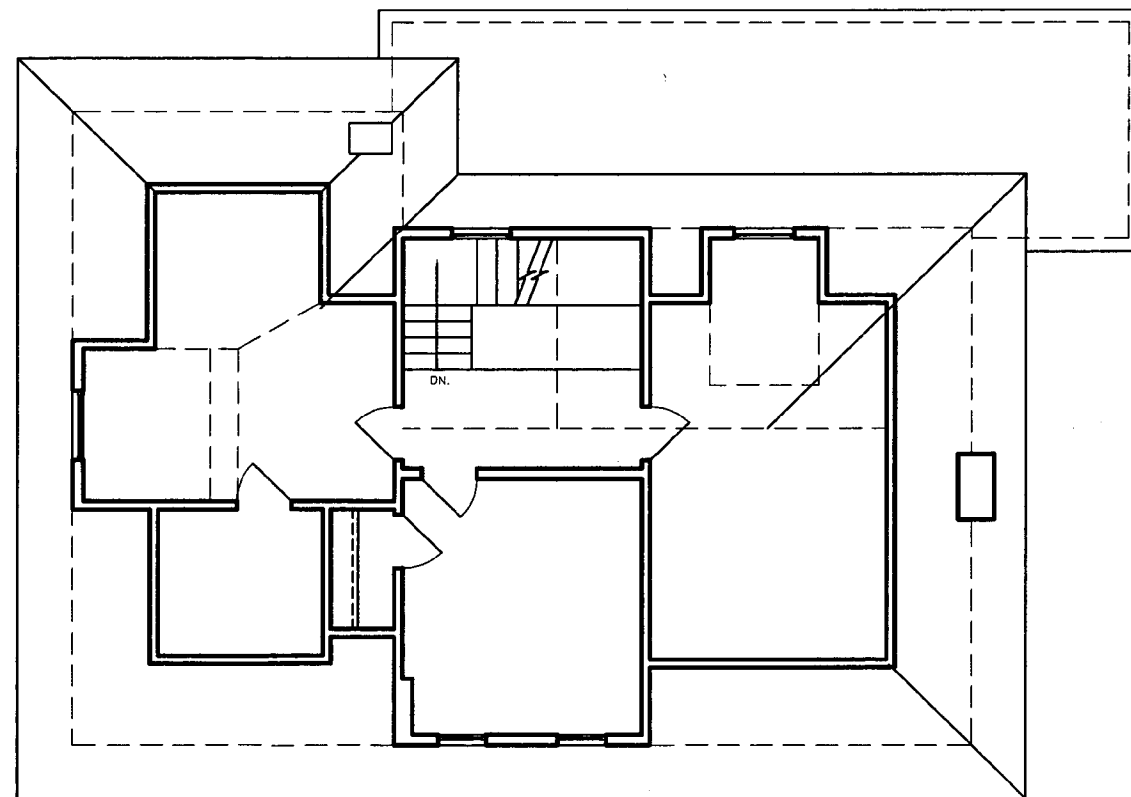
**New Work
Floor Plans**

SCALE: AS NOTED

A201



① **Second Floor/Lower Roof Plan**
1/4" = 1'-0"



② **Attic Floor Plan**
1/4" = 1'-0"

DATE	ISSUE
2.20.07	AS-BUILTS
2.20.07	HPRB REVIEW

Exterior Finish Material Legend	
MARK	DESCRIPTION
1	EXTERIOR ACRYLIC LATEX PAINT: (1) COAT PRIMER, (2) COATS FINISH; FLAT; COLOR WHITE, BID TO INCLUDE MAX. (3) COLORS.
2	3-COAT STUCCO FINISH TO MATCH EXISTING AS CLOSELY AS POSSIBLE.
3	STANDING SEAM COPPER ROOF w/SNOW FENCE.
4	BRICK VENEER TO MATCH EXISTING (MAIN HOUSE) AS CLOSELY AS POSSIBLE.
5	PRIMED WOOD TRIM. FINISH WITH ITEM #1 ABOVE.
6	PRE-FINISHED "K" STYLE ALUMINUM GUTTERS & DOWNSPOUTS TO MATCH EXISTING.
7	EXISTING STUCCO FINISH. REPAIR & PAINT.
8	SCREEN-TIGHT SCREEN SYSTEM.



1 Front Elevation
1/4" = 1'-0"



2 Side Elevation
1/4" = 1'-0"

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chew Chase, Maryland 20815

PROJECT NO.: 0701

Exterior
Elevations

SCALE: AS NOTED

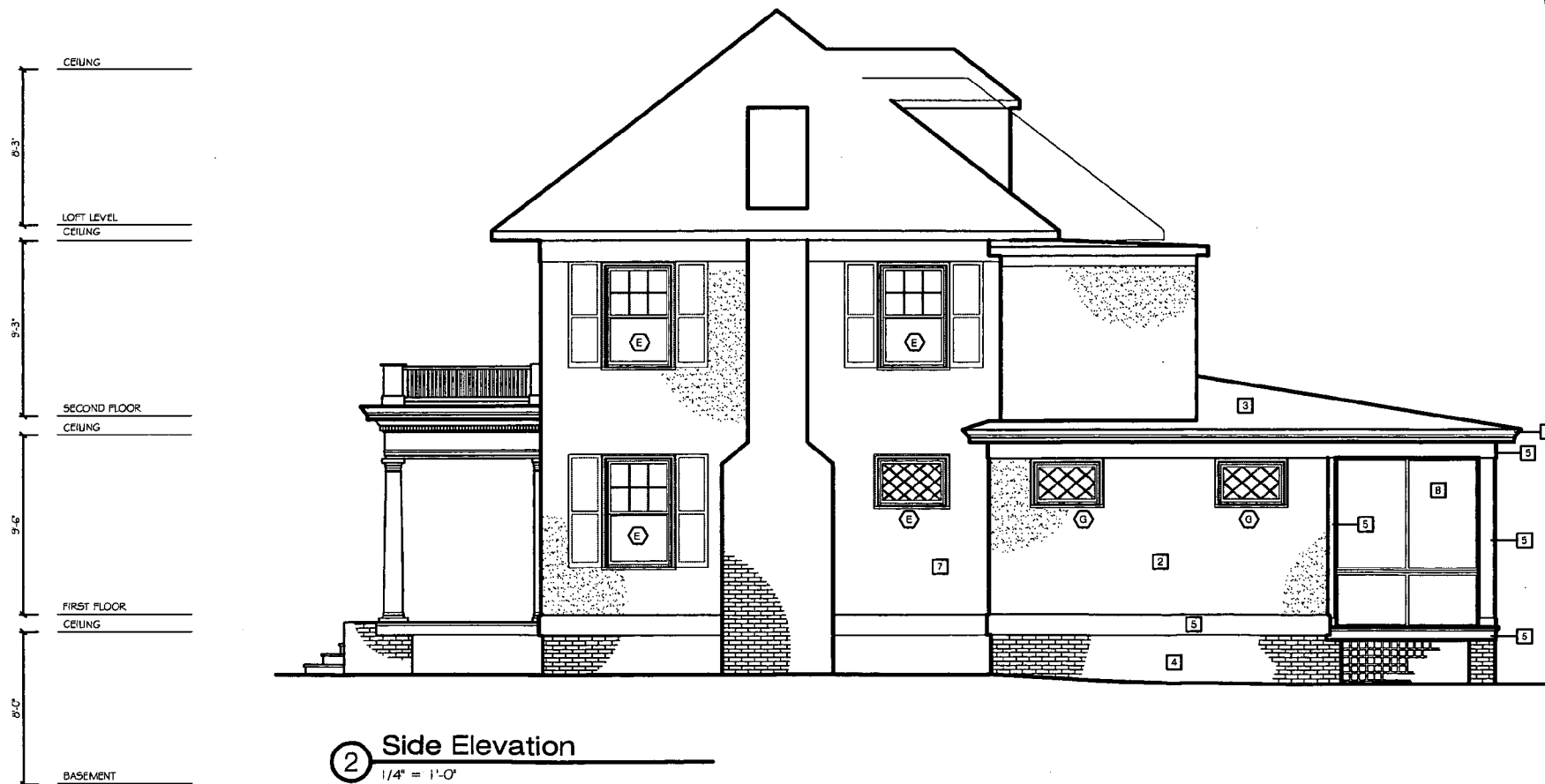
A400

DATE	ISSUE
2.20.07	AS-BUILT'S
2.26.07	HPRB REVIEW

Exterior Finish Material Legend	
MARK	DESCRIPTION
1	EXTERIOR ACRYLIC LATEX PAINT: (1) COAT PRIMER, (2) COATS FINISH; FLAT; COLOR WHITE. BID TO INCLUDE MAX. (3) COLORS.
2	3-COAT STUCCO FINISH TO MATCH EXISTING AS CLOSELY AS POSSIBLE.
3	STANDING SEAM COPPER ROOF w/SNOW FENCE.
4	BRICK VENEER TO MATCH EXISTING (MAIN HOUSE) AS CLOSELY AS POSSIBLE.
5	PRIMED WOOD TRIM. FINISH WITH ITEM #1 ABOVE.
6	PRE-FINISHED "K" STYLE ALUMINUM GUTTERS + DOWNSPOUTS TO MATCH EXISTING.
7	EXISTING STUCCO FINISH. REPAIR + PAINT.
8	SCREEN-TIGHT SCREEN SYSTEM.



① Rear Elevation
1/4" = 1'-0"



② Side Elevation
1/4" = 1'-0"

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

Exterior
Elevations

SCALE: AS NOTED

A401

DATE	ISSUE
2.20.07	AS-BUILTS
2.28.07	HPRB REVIEW

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

Schedule & Details

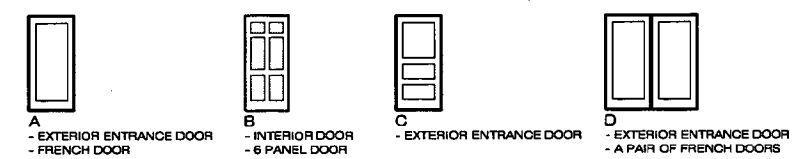
SCALE: AS NOTED

A700

MARK/ ROOM	NOMINAL SIZE		TYPE	CORE	MANUFAC.	MODEL #	FINISH		HARD WARE	DOOR FRAME		REMARKS
	WIDTH	HEIGHT					INT.	EXT.		TYPE	FINISH	
	1	2'-8"					6'-8"	C		-	LOEWEN	
2	2'-8"	8'-0"	A	-	LOEWEN	TD1 0820R	PREFINISHED EXT. MATCH WINDOWS	6	CLAD	P-3 INTERIOR	TERRACE ENTRY DOOR	
3	5'-0"	8'-0"	D	-	LOEWEN	FD2 1524RA	PREFINISHED EXT. MATCH WINDOWS	8	CLAD	P-3 INTERIOR	A PAIR OF FRENCH DOORS	

DOOR SCHEDULE NOTES: ***** GC SHALL PROVIDE DOOR MANUFACTURERS' SUBMITTALS FOR ARCHITECTS' REVIEW PRIOR TO FINALIZING ORDER. *****

- 1) ALL UNITS SET IN MASONRY MUST HAVE CLAD BRICK MOULDING. ROUGH OPENING DOES NOT INCLUDE 2" CLAD BRICK MOULD.
- 2) SEE ELEVATIONS & DETAILS FOR MILLING & TRIM DETAILS.
- 3) ALL FRENCH DOORS TO BE TEMPERED.
- 4) DOORS WITH TRANSOMS TO BE MILLED AS SINGLE UNIT.
- 5) DOOR HINGES TO MATCH HARDWARE OF SAME UNIT.
- 6) PROVIDE SCREENS AT IN-SWING & SLIDING DOORS. COLOR TO MATCH CLADDING.
- 7) SEE PLANS & ELEVATIONS FOR HINGING INFORMATION.



Hardware Schedule		HARDWARE PROVIDED BY OWNER, INSTALLED BY G.C.
GROUP NUMBER	REMARKS (Provide hinges to match hardware)	
GROUP #1. PRIVACY BEDROOM	Push button interior lock function; T.B.D. finish, both sides.	
GROUP #2. PRIVACY BATHROOM	Push button interior lock function; T.B.D. finish interior, T.B.D. exterior.	
GROUP #3. PASSAGE SET	Operable handle grp. both sides. No lock function. T.B.D. finish, both sides.	
GROUP #4. DUMMY	Full-size wheader roller catches. T.B.D. finish, both sides.	
GROUP #5. POCKET SLIDING	Johnson Hardware 200PD series pocket door hardware w/loop pull. 800-837-5664. T.B.D. finish.	
GROUP #6. ENTRY HDWR.	Keyed mortise lock interior & exterior w/keyed handle grp at exterior. T.B.D. finish.	
GROUP #7. MANUFACTURER	Manufacturer's standard.	
GROUP #8. ENTRY HDWR. - FRENCH DOOR	Active leaf w/passage set & deadbolt. Inactive leaf w/dummy & flushbolt.	
GROUP #9. SHOWER	Patch hinges & pulls for frameless glass door.	

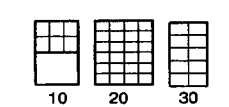
NOTE: PROVIDE KEYED DEADBOLT EXTERIOR w/FINGER-TWIST INTERIOR FOR GROUP #6 AT EGRESS.

MARK	ROUGH OPENING (UNO)		TYPE	MODEL NO.	MUNTIN LAYOUT	NOTES
	W	H				
	A	30'-11/8"				
B	42'-11/8"	69"	3	DH1 3630	10	DOUBLE HUNG; MATCH 2nd FLOOR UNIT WIDTH
C	46'-11/8"	88'-7/8"	-	CUSTOM	20	FIXED PICTURE
D	48"	71'-5/8"	2	FCA DG18LR	30	FRENCH CASEMENT
E	-	-	-	-	EXISTING	EXISTING TO REMAIN.
E1	V.I.F.	V.I.F.	2	-	-	EXISTING FRENCH CASEMENT TO BE REPLACED
E2	V.I.F.	V.I.F.	3	V.I.F.	10	EXISTING DOUBLE HUNG TO BE REPLACED
F	24'-3/8"	71'-5/8"	4	FCA 1218L / FCA 1218R	30	SINGLE CASEMENT
G	40'-11/8"	28'-5/16"	1	AW1 1007A	CUSTOM	AWNING. SEE ELEVATIONS FOR GRILLE PATTERN
H	16'-11/2"	40'-11/8"	4	CA 0410L / CA 0410R	-	SINGLE CASEMENT
J	24'-3/8"	59'-13/16"	4	CA1 0615R	-	SINGLE CASEMENT

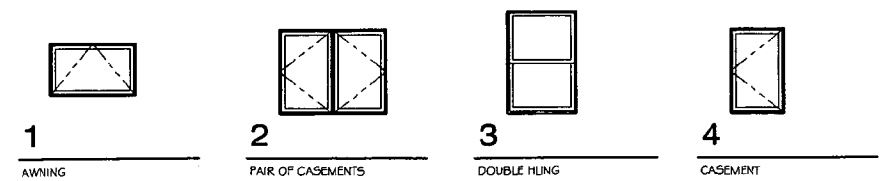
WINDOW SCHEDULE NOTES: ***** GC SHALL PROVIDE WINDOW MANUFACTURERS' SUBMITTALS FOR ARCHITECTS' REVIEW PRIOR TO FINALIZING ORDER. *****

1. ALL UNITS SET IN MASONRY MUST HAVE FACTORY APPLIED EXTRUDED ALUMINUM BRICK MOULDING.
2. ROUGH OPENING DIMENSIONS FOR UNITS SET IN MASONRY DO NOT INCLUDE MASONRY ALLOWANCES.
3. SEE ELEVATIONS FOR SWING INDICATION.
4. SEE PLAN/ELEVATIONS FOR MULLION DIMENSIONS.
5. FACTORY MILLING, U.N.O. FIELD MILLING AT THE G.C.'S DISCRETION, WITH ARCHITECT'S APPROVAL.

Muntin Patterns



Window Types



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	6 East Irving St, Chevy Chase	Meeting Date:	3/28/2007
Resource:	Contributing Resource Chevy Chase Village Historic District	Report Date:	3/21/2007
Applicant:	Steven Cohen (Trevor Draper, Architect)	Public Notice:	3/14/2007
Review:	HAWP	Tax Credit:	Partial, repairs to existing house
Case Number:	35/13-07F	Staff:	Michele Oaks

PROPOSAL: Alterations to Existing Additions

RECOMMENDATION: Approve with Conditions

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application with the following conditions:

- All windows to be installed will be painted wood. The proposed, wood aluminum-clad windows are not approved.
- Stucco utilized on the project will be a true, three (3) coat, Portand cement stucco finish.
- The wood lattice panels to be installed underneath the front porch, will be constructed with wood frames, and installed as separate panels. The detail will be included in the permit sets of drawings submitted to staff at the time of stamping.
- The screen porch enclosure will be constructed of wood. The proposed vinyl screen porch enclosure is not approved.
- The HPC requires that the applicant contact the Village Manager and Arborist to review the final design, prior to HAWP submittal, to ensure that the proposal is consistent with their local ordinances.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Chevy Chase Village Historic District
STYLE: Colonial Revival
DATE: 1908

The subject house is a three bay, 2-1/2-story, hip roof, Colonial Revival dwelling. The exterior of the house has a stucco finish and is set upon a brick foundation. An exterior end brick chimney details the west façade. The windows are 5/1 and flanked with operable, two, paneled louvered shutters. The main central entry is detailed with a flat roof portico supported by Doric columns and detailed with a roof top balustrade. The hip roof is punctuated with flat and hip roof dormers.

The current lot also contains a contributing garage structure, which is located in the southeast corner of the rear yard. The garage is accessed by a driveway, which runs along the east side of the house. The property contains several mature trees.

HISTORIC CONTEXT

Chevy Chase Village was Montgomery County's first and most influential streetcar suburb planned and developed between 1892 and 1930. It was the most visionary investment in Montgomery County real estate in the late nineteenth and early twentieth century - representing the Chevy Chase Land Company's prototype for a planned suburb and setting the tone for early twentieth century neighborhoods throughout northwest Washington and southern Montgomery County. Architecturally, Chevy Chase Village contains the county's highest concentration of outstanding architect-designed and builder vernacular suburban houses rendered in post-Victorian styles of the period 1890-1930. Together, the surviving plan and architecture of Chevy Chase Village represents one of the most intact and important examples of suburban planning and architectural expression built in the region before World War II.

PROPOSAL:

The applicant is proposing alter the existing house by:

Left Side Elevation (All changes are to the non-contributing one-story addition)

- Demolish existing non-contributing one-story addition.
- Construct a new, one-story hip roof addition in the same footprint as the existing addition, with an added 6' extension into the rear yard. A new, side entry will be the detail visible from the front façade. Proposed materials for the new addition include a full, brick foundation, stucco walls, standing-seam copper roof and wood, simulated divided light windows with exterior aluminum cladding.
- No proposed changes to historic fabric or the original massing of the house.

Right Side Elevation

- Demolish the first bay of the existing screen porch. This will expose an original, lattice window.
- Enclose the remaining screen porch addition with a brick foundation, stucco walls and new lattice windows to match the original.
- Extend the one-story addition into the rear yard to join the new, rear screen porch.
- No proposed changes to historic fabric or the original massing of the house.

Rear Elevation

- Construct a rear, one-story addition onto the subject house with a new, wood screen porch. The proposed material selections include stucco, solid brick and pier foundations, standing-seam copper roof, a vinyl porch screen enclosure, and a synthetic wood fiber porch floor.
- No proposed changes to existing historic fabric or the original massing of the house.

CALCULATIONS:

Existing Footprint: 1914 sq. ft.
Lot Coverage: 20%

Proposed Footprint: 2463 sq. ft.
Lot Coverage: 25.7%

APPLICABLE GUIDELINES:

When reviewing alterations within the Chevy Chase Village Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Chevy Chase Village Historic District Master Plan – Expansion*, approved and adopted in August 1997, *Montgomery County Code Chapter 24A (Chapter 24A)* and the *Secretary of the Interior’s Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined as follows:

Chevy Chase Village Historic District Master Plan

The *Guidelines* break down specific projects into three levels of review - Lenient, Moderate and Strict Scrutiny.

“Lenient Scrutiny” means that the emphasis of the review should be on issues of general massing and scale, and compatibility with the surrounding streetscape, and should allow for a very liberal interpretation of preservation rules. Most changes should be permitted unless there are major problems with massing, scale or compatibility.

“Moderate Scrutiny” involves a higher standard of review than “lenient scrutiny.” Besides issues of massing, scale and compatibility, preserving the integrity of the resource is taken into account. Alterations should be designed so that the altered structure still contributes to the district. Use of compatible new materials, rather than the original building materials, should be permitted. Planned changes should be compatible with the structure’s existing design, but should not be required to replicate its architectural style.

“Strict Scrutiny” means that the planned changes should be reviewed to insure that the integrity of the significant exterior architectural or landscaping features and details is not compromised. However, strict scrutiny should not be “strict in theory but fatal in fact” i.e. it does not mean that there can be no changes but simply that the proposed changes should be reviewed with extra care.

The *Guidelines* state three basic policies that should be adhered to, including:

Preserving the integrity of the contributing structures in the district. Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.

Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.

Alterations to the portion of a property that are not visible from the public right-of-way should be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

The *Guidelines* that pertain to this project are as follows:

- Alterations to contributing structures should be designed in such a way that the altered structure still contributes to the district.
- Design review emphasis should be restricted to changes that will be visible from the front or side public right-of-way, or that would be visible in the absence of vegetation or landscaping.
- Alterations to the portion of a property that are not visible from the public right-of-way should

be subject to very lenient review. Most changes to rear of the properties should be approved as a matter of course.

- Major additions should, where feasible, be placed at the rear of the existing structure so that they are less visible from the public right-of-way. Major additions, which substantially alter or obscure the front of the structure should be discouraged but not automatically prohibited.
- Exterior trim (such as moldings on doors and windows) on contributing resources should be subject to moderate scrutiny if it is visible from the public right-of-way, lenient scrutiny if not.
- Porches should be subject to moderate scrutiny if they are visible from the public right-of-way, lenient scrutiny if they are not. Enclosures of existing side and rear porches have occurred throughout the Village with little or no adverse impact on its character, and they should be permitted where compatibly designed.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The Commission's main objectives when reviewing additions and alterations to contributing resources within the Chevy Chase Village Historic District is to ensure that the addition or alteration will not have a negative impact on the original features of the house. Additionally, it is important to analyze its potential impact with the other historic resources in the district and the surrounding streetscape in terms of setbacks, massing, scale, proportion, height and materials.

The proposed alterations and additions are to be attached onto architectural fabric, which has already been altered, or onto existing non-contributing massings. The main concern regarding the proposed plans is the applicant's choice of materials for the rear addition. The Commission supports a policy of utilizing materials on its additions, which are compatible with the original massing. The majority of the proposed material selections and details achieve this goal. However, the proposed utilization of aluminum and vinyl products on the house (aluminum-clad wood simulated divided light windows/vinyl, screen porch enclosure) are discouraged by the Commission's policies. The recommended compatible replacement materials are painted wood, simulated divided light windows, and a wood frame porch enclosure. The applicant is also proposing a synthetic wood fiber tongue and groove decking material on the interior of the screen porch enclosure, however, spaces within screen porch enclosures have been identified as an interior application, and the Commission would not review this material selection.

The HPC requires that the applicant contact the Village Manager and Arborist to review the final design, prior to HAWP submittal, to ensure that the proposal is consistent with their local ordinances.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MDCR 20
246-777-5271

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: TREVOR DRAPER

Daytime Phone No.: 301.718.2021

Tax Account No.: _____

Name of Property Owner: STEVEN COHEN / NISSEN RITTER Daytime Phone No.: _____

Address: 6 EAST IRVING ST CHEVY CHASE 20815
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: FOY ARCHITECTS, TREVOR DRAPER Daytime Phone No.: 301.718.2021

LOCATION OF BUILDING/PREMISE

House Number: 6 Street: EAST IRVING ST

Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE RD

Lot: P4 Block: 26 Subdivision: CHEVY CHASE VILLAGE

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 275,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Trevor M. Draper
Signature of owner or authorized agent
TREVOR M. DRAPER
Date: 2/28/07

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 446341 Date Filed: _____ Date Issued: _____

Written Description of the Project:
#6 East Irving Street
Chevy Chase Village, Maryland

Description of existing structure and environmental setting, including their historical features and significance.

Six East Irving Street is a two and one half story traditional colonial home originally constructed in 1908. The exterior of the home has a stucco finish with a brick base. There is an existing brick chimney on the west side of the home. The home has a non-historic addition to the rear and side of the historic home. The windows on the historic portion have shutters and a small, detailed window casing. The non-historic addition has no shutters and wider, flat window casing. The addition sits on piers (some brick, some wood) as opposed to a foundation wall. The roofline of the addition does not line up with the historic house, nor does it relate to the home in dimension or detailing. The home has a front stoop, which appears to have been added at the same time as the rear addition. This stoop is more detailed than the original house but adds considerable interest to the front of the home.

This house is situated within one block of Connecticut Avenue and also one block from Western Avenue (making it a short walk to Chevy Chase Circle). The neighborhood is a quiet, established area of homes with spacious yards and beautiful landscaping.

General description of project and its effect on the historic resource, the environmental setting, and, where applicable, the historic district.

This project removes a majority of the existing non-historic addition to the home. Our new single story addition will have a full brick foundation wall and the exterior walls will be stucco-ed to tie in with the historic home. The proposed addition will be sympathetic to the historic home in the detailing of the window casings and the eaves.

The existing second floor portion of the non-historic addition will remain. The proposed new addition will be constructed below and will support the existing second floor addition. This project will also include a new screened porch towards the rear yard.

This project has very little effect to the historic portion of the home. This project will clean up some of the discrepancies between the existing addition and the historic home at any point where new work is proposed. The existing state of the historic house and the non-historic addition will be improved. The proposed project will better unify the entire composition.

FULTON, KATHRYN &
ROBERT D KYLE
4 E IRVING ST
CHEVY CHASE MD 20815-4221
Lot 3, Block 26

BEYER, WAYNE
C/O DANA BEYER
8 E IRVING ST
CHEVY CHASE MD 20815-4221
LOT 5 CHEVY CHASE SEC 2 (Lot P4, Block 26)

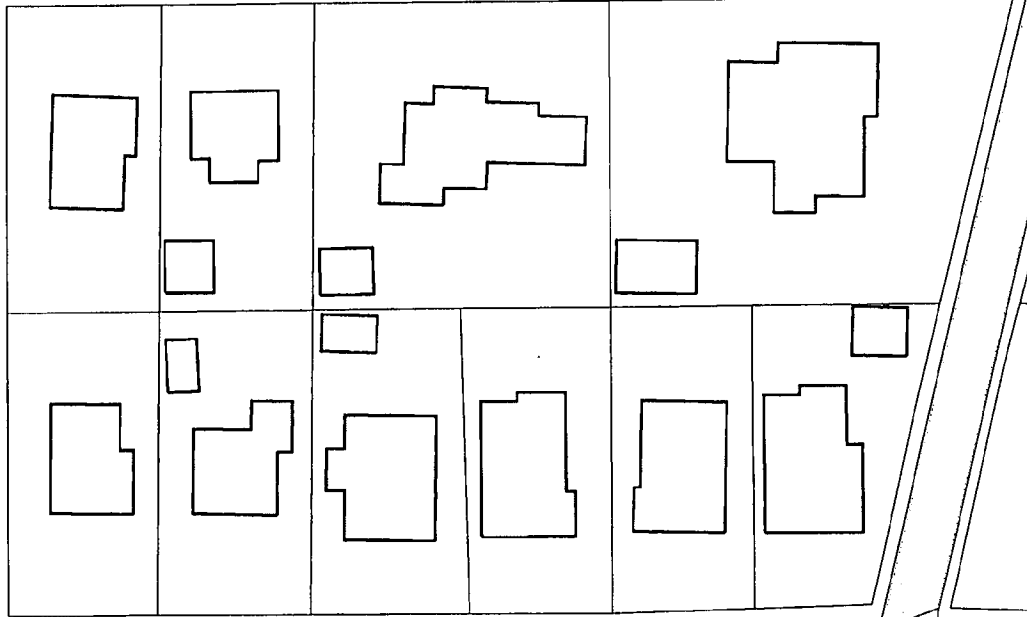
HOFFMAN, MARGARET V ET AL
C/O ROBERT F COMSTOCK
5225 WISCONSIN AVE NW
WASHINGTON DC 20015-2014
Lot 4, Block 34
Premises Address: 7 E Irving St

DORTON, PATRICK & ERIN
5 E IRVING ST
CHEVY CHASE MD 20815-4220
Lot 5, Block 34

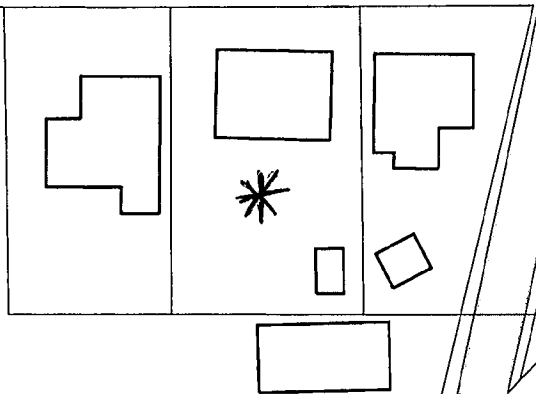
GERSON, STUART M
PAMELA E SOMERS
3 E IRVING STREET
CHEVY CHASE MD 20815
Lot 6, Block 34

CAFARO, J J
C/O WARNER MGMT COMPANY
PO BOX 422
FLORHAM PARK NJ 07932-0422
Lot 1, Block 26
Premises Address: 9 CHEVY CHASE CIR
CHEVY CHASE 20815

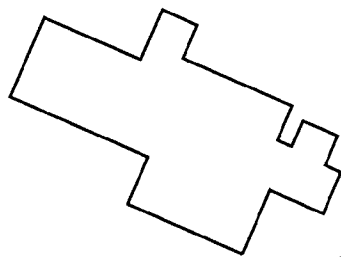
EAST KIRKE



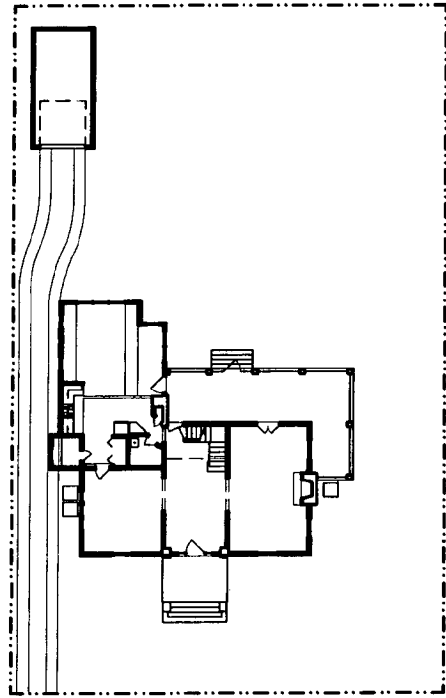
EAST IRVING



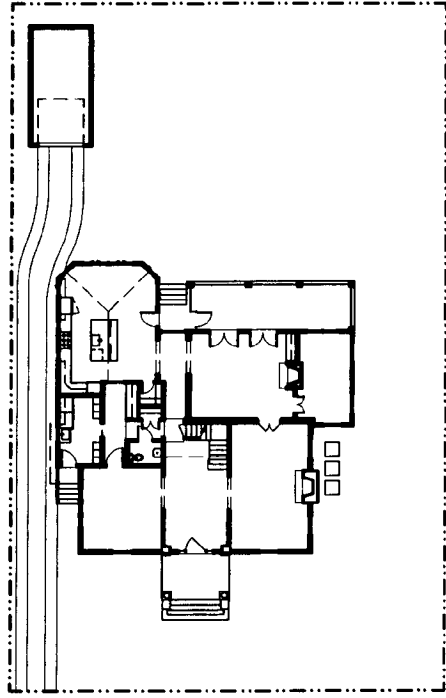
CONNECTICUT



DATE	DESCRIPTION
9.20.07	AS-BUILTS
2.20.07	PPS REVIEW



① Existing Site Layout
1" = 10'-0"



② Proposed Site Layout
1" = 10'-0"

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO. 0701

Architectural
Site Plans

SCALE: AS NOTED

A002

DATE	ISSUE
2.20.07	AS-BUILT
2.20.07	FINAL REVIEW

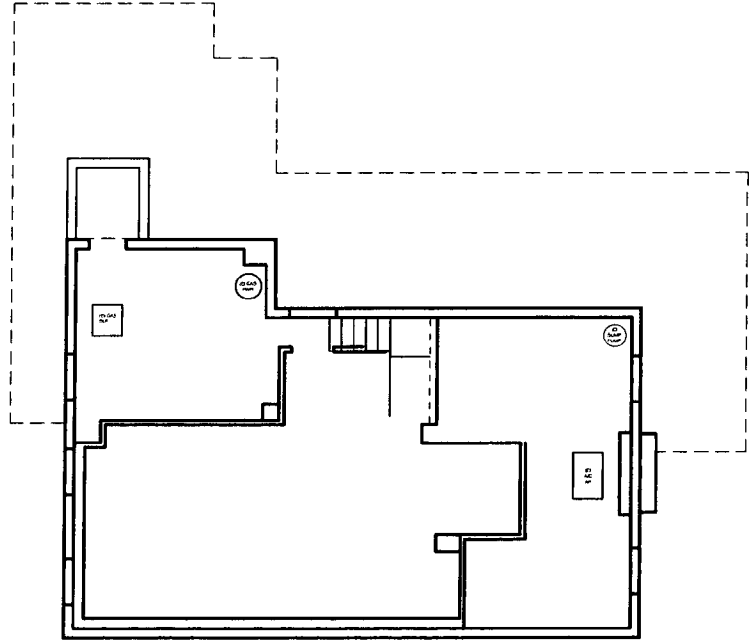
Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO. 0201

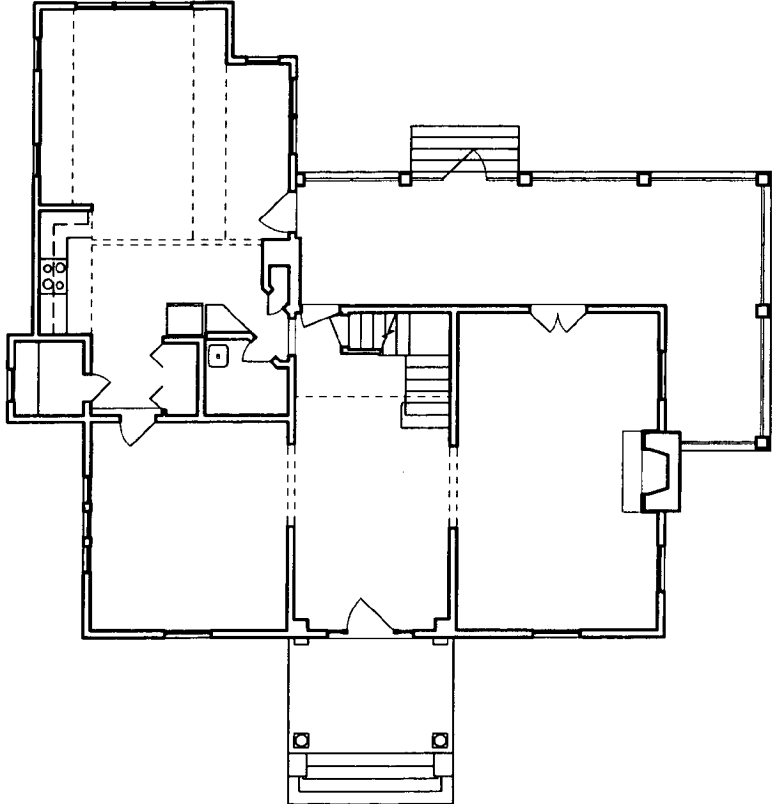
Existing
Floor Plans

SCALE: AS NOTED

A100



① Basement Floor Plan
1/4" = 1'-0"



② First Floor Plan
1/4" = 1'-0"

DATE	LOGS
2.20.07	AS-BUILT
2.20.07	IFRS REVIEW

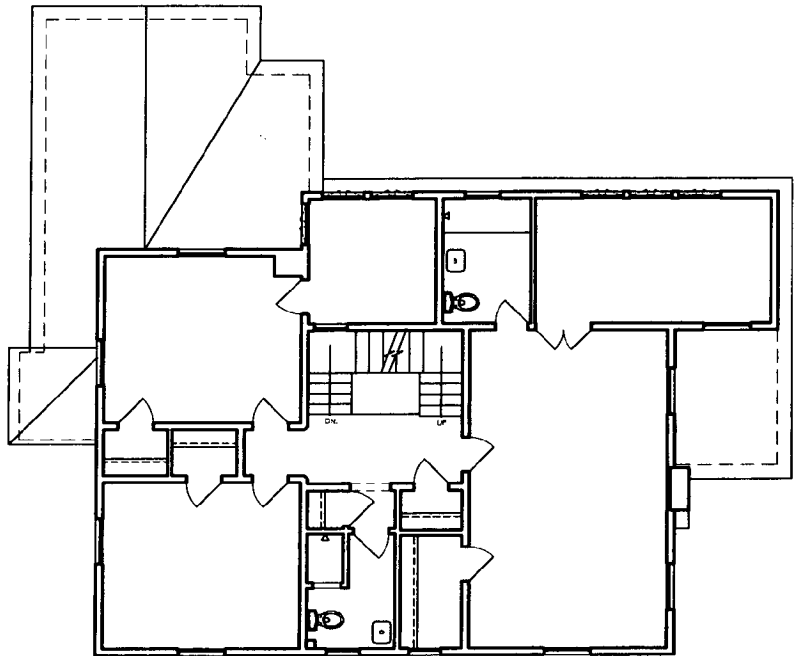
Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO. 0701

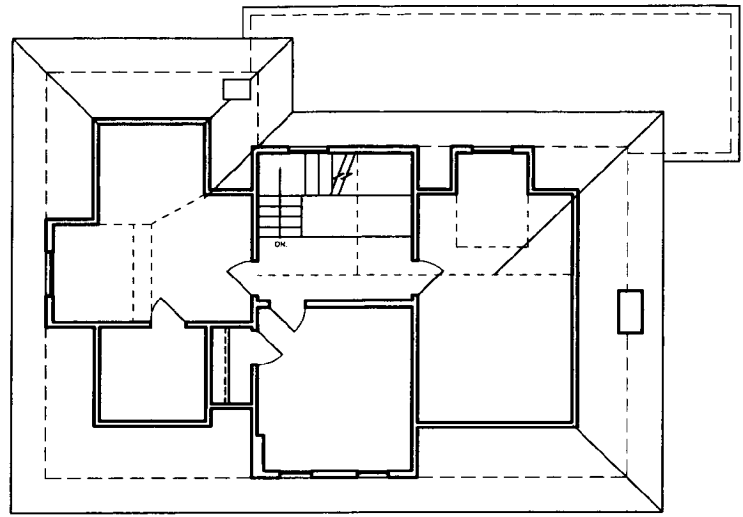
Existing
Floor Plans

SCALE: AS NOTED

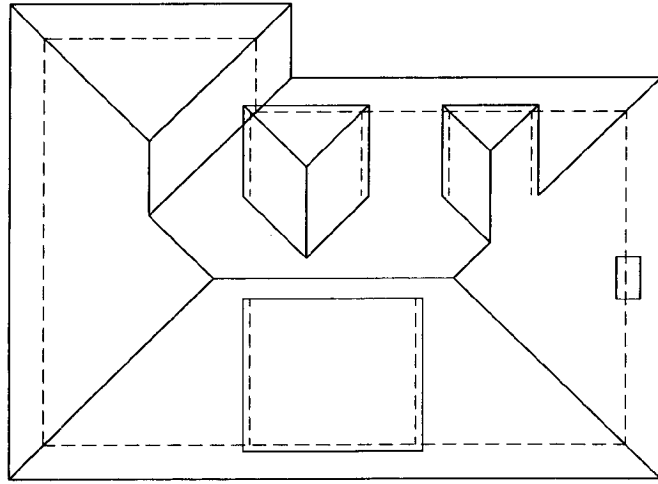
A101



① **Second Floor Plan**
1/4" = 1'-0"



② **Attic Floor Plan**
1/4" = 1'-0"



③ **Roof Plan**
1/4" = 1'-0"

DATE	ISSUE
2.20.07	AS-BUILTS
2.28.07	FINAL REVIEW

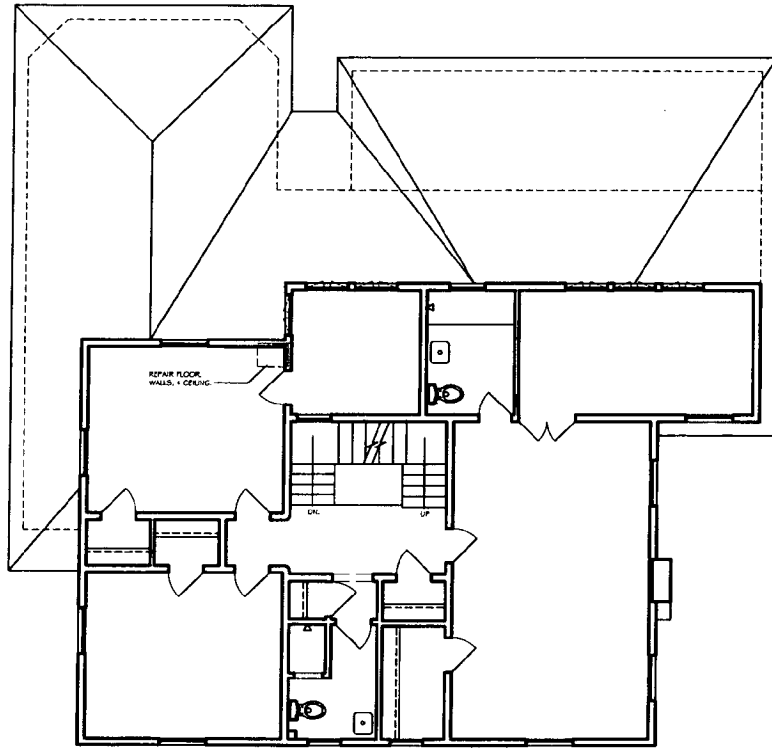
Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO. 0701

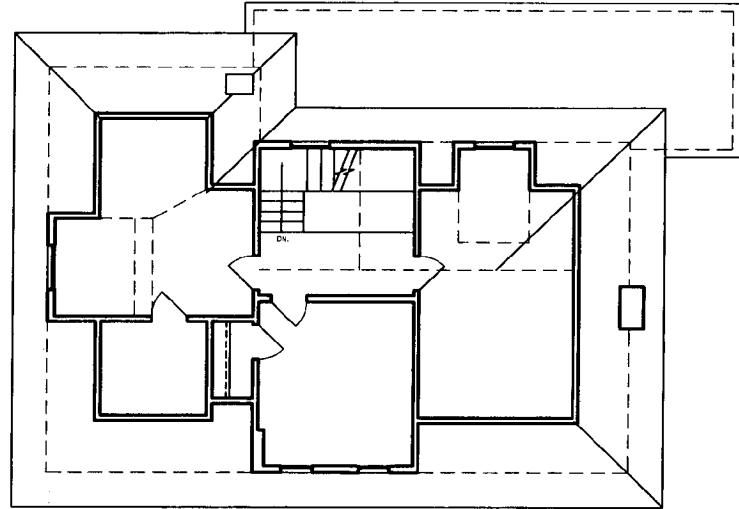
**New Work
Floor Plans**

SCALE: AS NOTED

A201



① **Second Floor/Lower Roof Plan**
1/4" = 1'-0"



② **Attic Floor Plan**
1/4" = 1'-0"



① Front Elevation
1/4" = 1'-0"



② Side Elevation
1/4" = 1'-0"



③ Rear Elevation
1/4" = 1'-0"



④ Side Elevation
1/4" = 1'-0"

FOX
ARCHITECTS

7805 OLD GEORGETOWN ROAD
SUITE 504
BETHESDA, MARYLAND 20814
301.718.2021

DATE	ISSUE
2.20.07	AS-BUILT
2.20.07	FINAL REVIEW

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO. 0701

Existing
Elevations

SCALE: AS NOTED

A102

DATE	ISSUE
2.20.07	AS-BUILT
2.20.07	PP&S REVIEW

Exterior Finish Material Legend	
MARK	DESCRIPTION
1	EXTERIOR ACRYLIC LATE PAINT: (1) COAT PRIMER, (2) COAT'S FINISH: FLAT, COLOR WHITE. BID TO INCLUDE MAX. (3) COLORS.
2	3-COAT STUCCO FINISH TO MATCH EXISTING AS CLOSELY AS POSSIBLE.
3	STANDING SEAM COPPER ROOF W/SHOWN FINISH.
4	BRICK VENEER TO MATCH EXISTING BANK HOUSE AS CLOSELY AS POSSIBLE.
5	PRIMEO WOOD TRIM, FINISH WITH ITEM #1 ABOVE.
6	PRE-FINISHED 1" STYLE ALUMINUM GUTTERS & DOWNSPOUTS TO MATCH EXISTING.
7	EXISTING STUCCO FINISH REPAIR & PAINT.
8	SCREEN-TIGHT SCREEN SYSTEM.



① Front Elevation
1/4" = 1'-0"



② Side Elevation
1/4" = 1'-0"

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 070

Exterior
Elevations

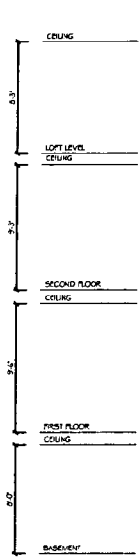
SCALE: AS NOTED

A400

Exterior Finish Material Legend	
MARK	DESCRIPTION
1	EXTERIOR ACRYLIC LATEX PAINT: (1) COAT PRIMER, (2) COATS FINISH, FLAT, COLOR WHITE, SD TO INCLUDE MAX. (3) COLORS.
2	3-COAT STUCCO FINISH TO MATCH EXISTING AS CLOSELY AS POSSIBLE.
3	STANDING SEAM COPPER ROOF - SHOW FENCE.
4	BRICK VENEER TO MATCH EXISTING BAWN HOUSE AS CLOSELY AS POSSIBLE.
5	PRIMED WOOD TRIM, FINISH WITH ITEM #1 ABOVE.
6	PRE-FINISHED 1" STYLE ALUMINUM GUTTERS & DOWNSPOUTS TO MATCH EXISTING.
7	EXISTING SILKCO FINISH, REPAIR & PAINT.
8	SCREEN-TIGHT SCREEN SYSTEM.



① Rear Elevation
1/4" = 1'-0"



② Side Elevation
1/4" = 1'-0"

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

Exterior Elevations

SCALE: AS NOTED

A401

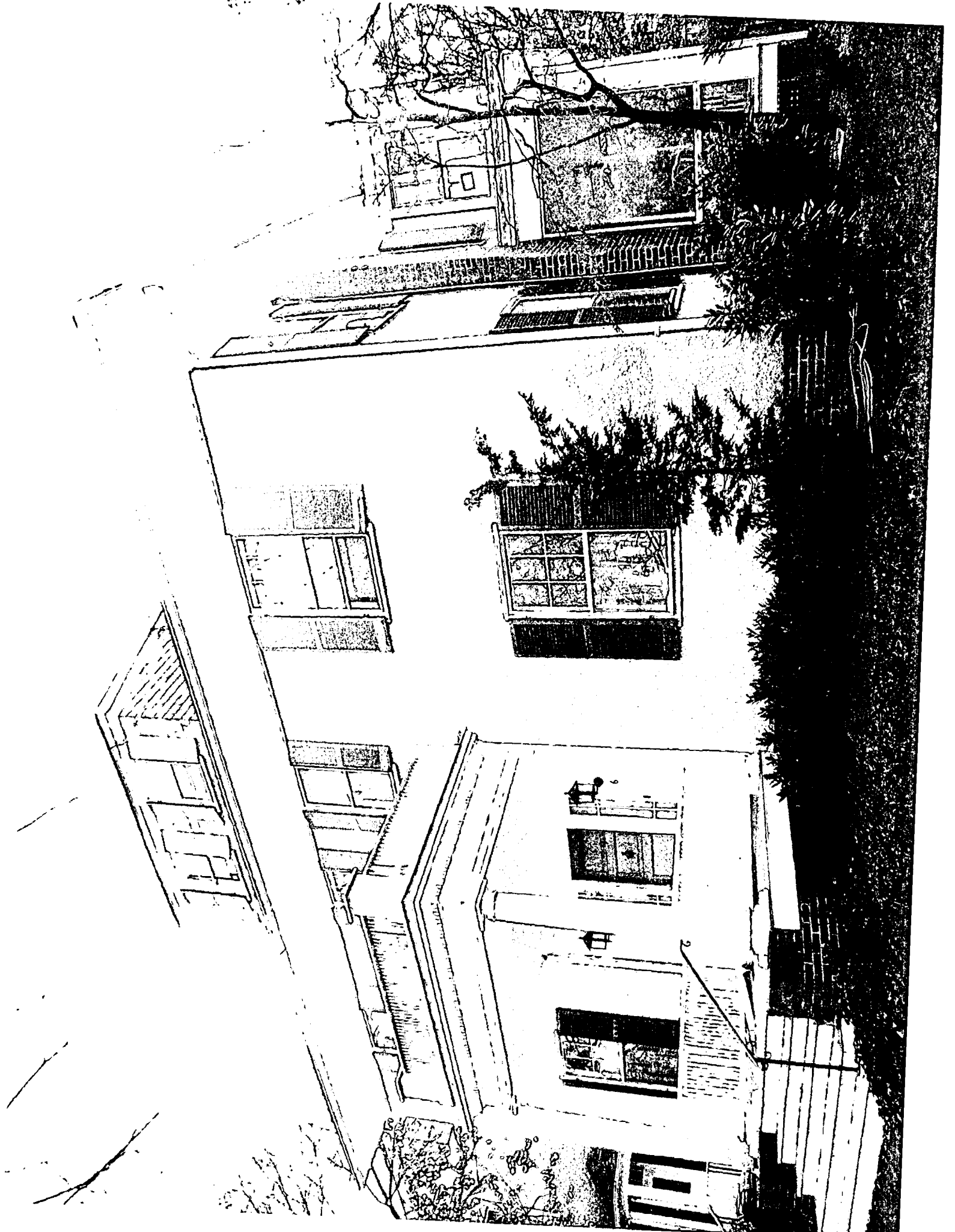


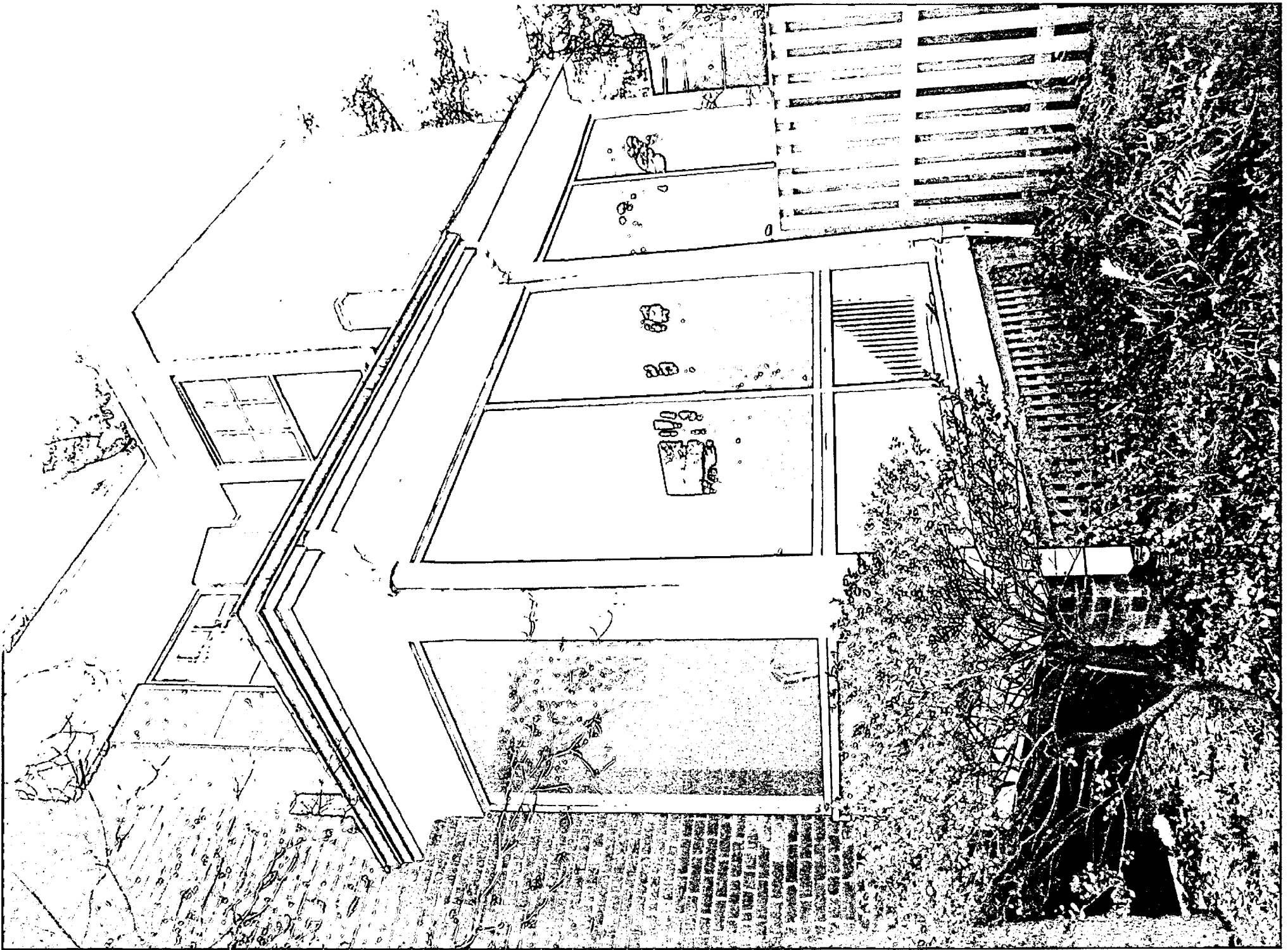




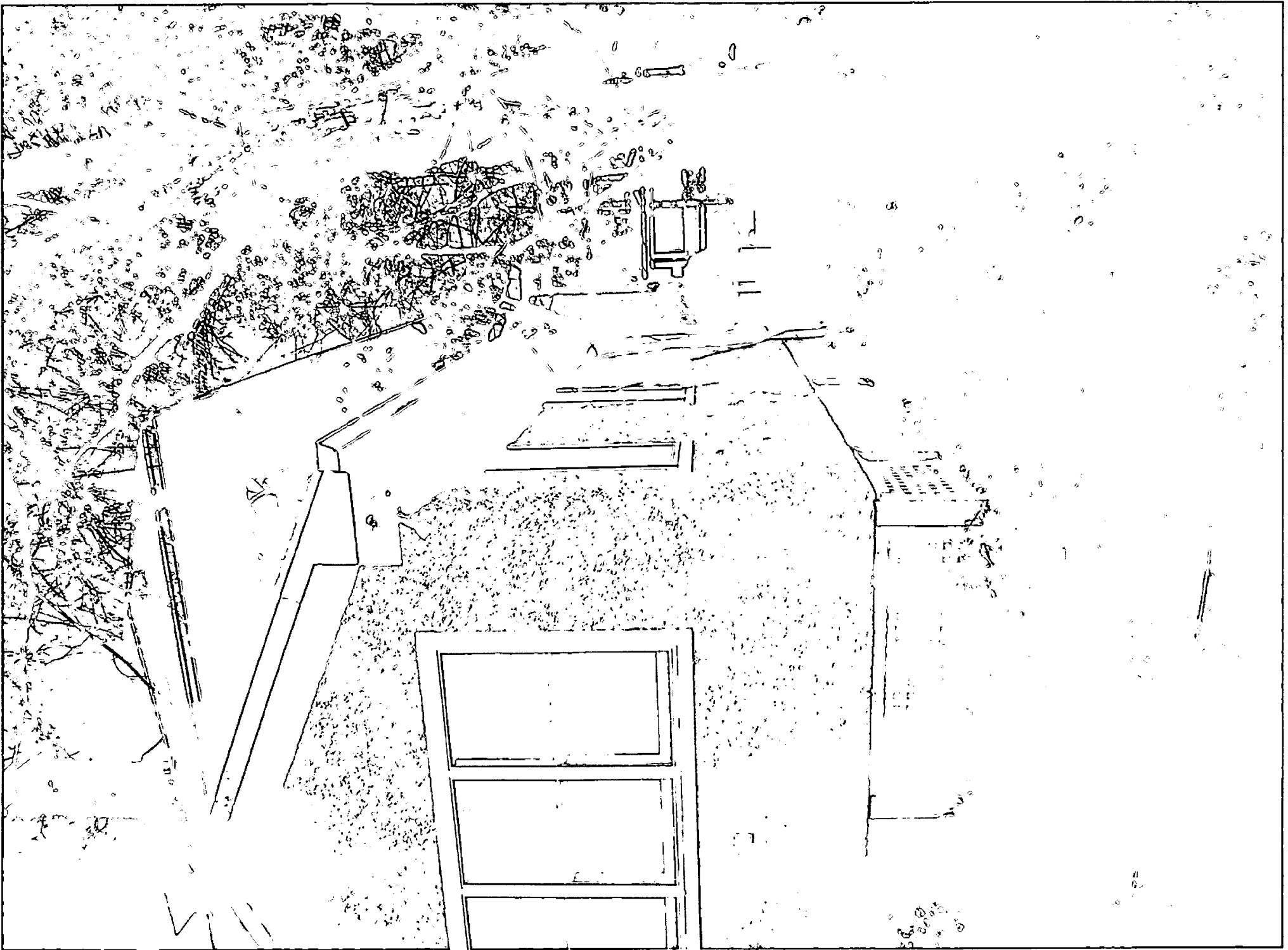














7/11/07
THE COHEN'S
SOLD THIS PROPERTY
THE HAWP COULD
TRANSFER TO NEW
OWNER ~ NO PERMIT
DRAWINGS HAVE BEEN
STAMPED OR
HAWP APPLICATION OR
MEMO BEEN ISSUED.
-M

II-B

March 26, 2007

MEMORANDUM

TO: Historic Preservation Commissioners

**FROM: Michele Oaks, Senior Planner
Montgomery County Planning Department**

**SUBJECT: Amendment to Staff recommendations for 6 East Irving Street,
Chevy Chase Village Historic District**

Staff is recommending that the HPC approve this HAWP application with the following revised conditions:

- All windows to be installed will be painted wood. The proposed, wood aluminum-clad windows are not approved.
- Stucco utilized on the project will be a true, three (3) coat, Portand cement stucco finish.
- The wood lattice panels to be installed underneath the front porch, will be constructed with wood frames, and installed as separate panels. The detail will be included in the permit sets of drawings submitted to staff at the time of stamping.
- The screen porch enclosure will be constructed of wood. The proposed vinyl screen porch enclosure is not approved.
- **The applicant will work with the Chevy Chase Village arborist to identify if a tree protection plan is needed for the proposed work. If required, the plan will be implemented prior to any work beginning on the property.**



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: TREVOR DRAPER

Daytime Phone No.: 301.718.2021

Tax Account No.: _____

Name of Property Owner: STEVEN COHEN / NISSEN RITTER Daytime Phone No.: _____

Address: 6 EAST IRVING ST CHEVY CHASE 20815
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: FOY ARCHITECTS, TREVOR DRAPER Daytime Phone No.: 301.718.2021

LOCATION OF BUILDING/PREMISE

House Number: 6 Street: EAST IRVING ST

Town/City: CHEVY CHASE Nearest Cross Street: BROOKVILLE RD

Lot: P4 Block: 26 Subdivision: CHEVY CHASE VILLAGE

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|---|----------------------------------|--|---|---|---|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input checked="" type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input checked="" type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Trevor M. Draper Signature of owner or authorized agent
TREVOR M. DRAPER
2/28/07 Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 446341 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

~~You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.~~

- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

**PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.**

Written Description of the Project:

#6 East Irving Street
Chevy Chase Village, Maryland

Description of existing structure and environmental setting, including their historical features and significance.

Six East Irving Street is a two and one half story traditional colonial home originally constructed in 1908. The exterior of the home has a stucco finish with a brick base. There is an existing brick chimney on the west side of the home. The home has a non-historic addition to the rear and side of the historic home. The windows on the historic portion have shutters and a small, detailed window casing. The non-historic addition has no shutters and wider, flat window casing. The addition sits on piers (some brick, some wood) as opposed to a foundation wall. The roofline of the addition does not line up with the historic house, nor does it relate to the home in dimension or detailing. The home has a front stoop, which appears to have been added at the same time as the rear addition. This stoop is more detailed than the original house but adds considerable interest to the front of the home.

This house is situated within one block of Connecticut Avenue and also one block from Western Avenue (making it a short walk to Chevy Chase Circle). The neighborhood is a quiet, established area of homes with spacious yards and beautiful landscaping.

General description of project and its effect on the historic resource, the environmental setting, and, where applicable, the historic district.

This project removes a majority of the existing non-historic addition to the home. Our new single story addition will have a full brick foundation wall and the exterior walls will be stucco-ed to tie in with the historic home. The proposed addition will be sympathetic to the historic home in the detailing of the window casings and the eaves.

The existing second floor portion of the non-historic addition will remain. The proposed new addition will be constructed below and will support the existing second floor addition. This project will also include a new screened porch towards the rear yard.

This project has very little effect to the historic portion of the home. This project will clean up some of the discrepancies between the existing addition and the historic home at any point where new work is proposed. The existing state of the historic house and the non-historic addition will be improved. The proposed project will better unify the entire composition.

FULTON, KATHRYN &
ROBERT D KYLE
4 E IRVING ST
CHEVY CHASE MD 20815-4221
Lot 3, Block 26

BEYER, WAYNE
C/O DANA BEYER
8 E IRVING ST
CHEVY CHASE MD 20815-4221
LOT 5 CHEVY CHASE SEC 2 (Lot P4, Block 26)

HOFFMAN, MARGARET V ET AL
C/O ROBERT F COMSTOCK
5225 WISCONSIN AVE NW
WASHINGTON DC 20015-2014
Lot 4, Block 34
Premises Address: 7 E Irving St

DORTON, PATRICK & ERIN
5 E IRVING ST
CHEVY CHASE MD 20815-4220
Lot 5, Block 34

GERSON, STUART M
PAMELA E SOMERS
3 E IRVING STREET
CHEVY CHASE MD 20815
Lot 6, Block 34

CAFARO, J J
C/O WARNER MGMT COMPANY
PO BOX 422
FLORHAM PARK NJ 07932-0422
Lot 1, Block 26
Premises Address: 9 CHEVY CHASE CIR
CHEVY CHASE 20815

THE COHEN RESIDENCE

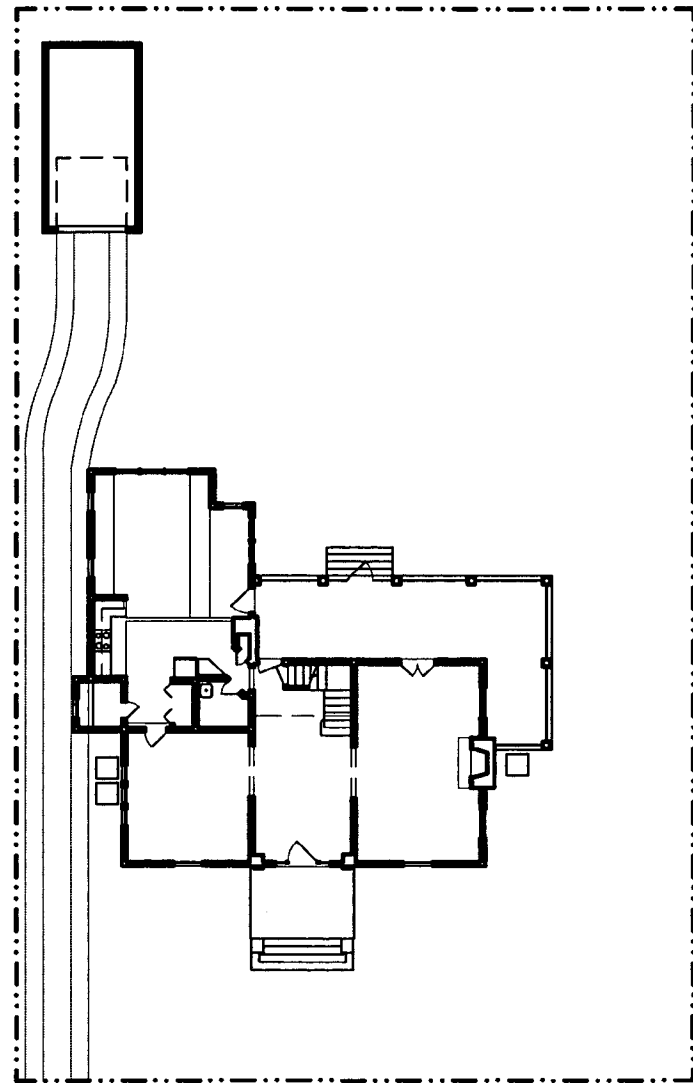
6 East Irving Street, Chevy Chase, Maryland 20815

HPRB Review Set

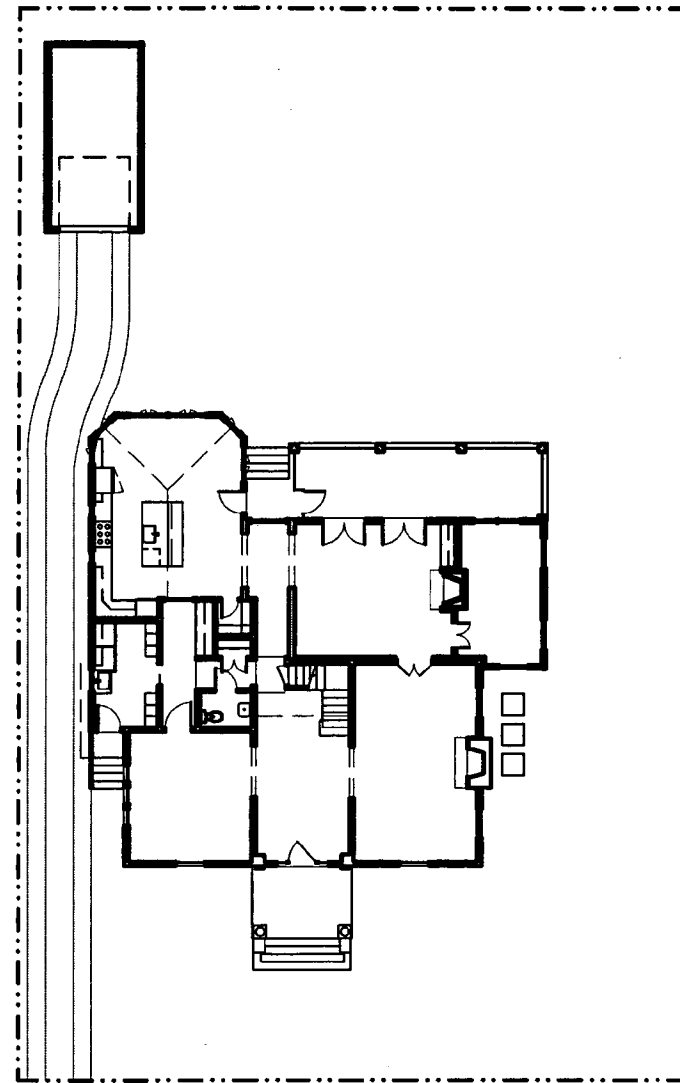
February 28, 2007

FOX
ARCHITECTS

DATE	ISSUE
2.20.07	AS-BUILTS
2.28.07	HFRB REVIEW



① Existing Site Layout
1" = 10'-0"



② Proposed Site Layout
1" = 10'-0"

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

Architectural
Site Plans

SCALE: AS NOTED

A002

DATE	ISSUE
2.20.07	AS-BUILTS
2.26.07	HPKB REVIEW



① Front - Full View
No Scale



② Front - Driveway Corner
No Scale



③ Rear - Driveway Corner
No Scale



④ Rear - Full View w/Porch
No Scale



⑤ Side- Porch View
No Scale



⑥ Front - Porch Corner
No Scale

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

Existing Photo
Documentation

SCALE: AS NOTED

A001

DATE	ISSUE
2.20.07	AS-BUILTS
2.28.07	HPRB REVIEW

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

Existing
Elevations

SCALE: AS NOTED

A102



① Front Elevation
1/4" = 1'-0"



② Side Elevation
1/4" = 1'-0"



③ Rear Elevation
1/4" = 1'-0"



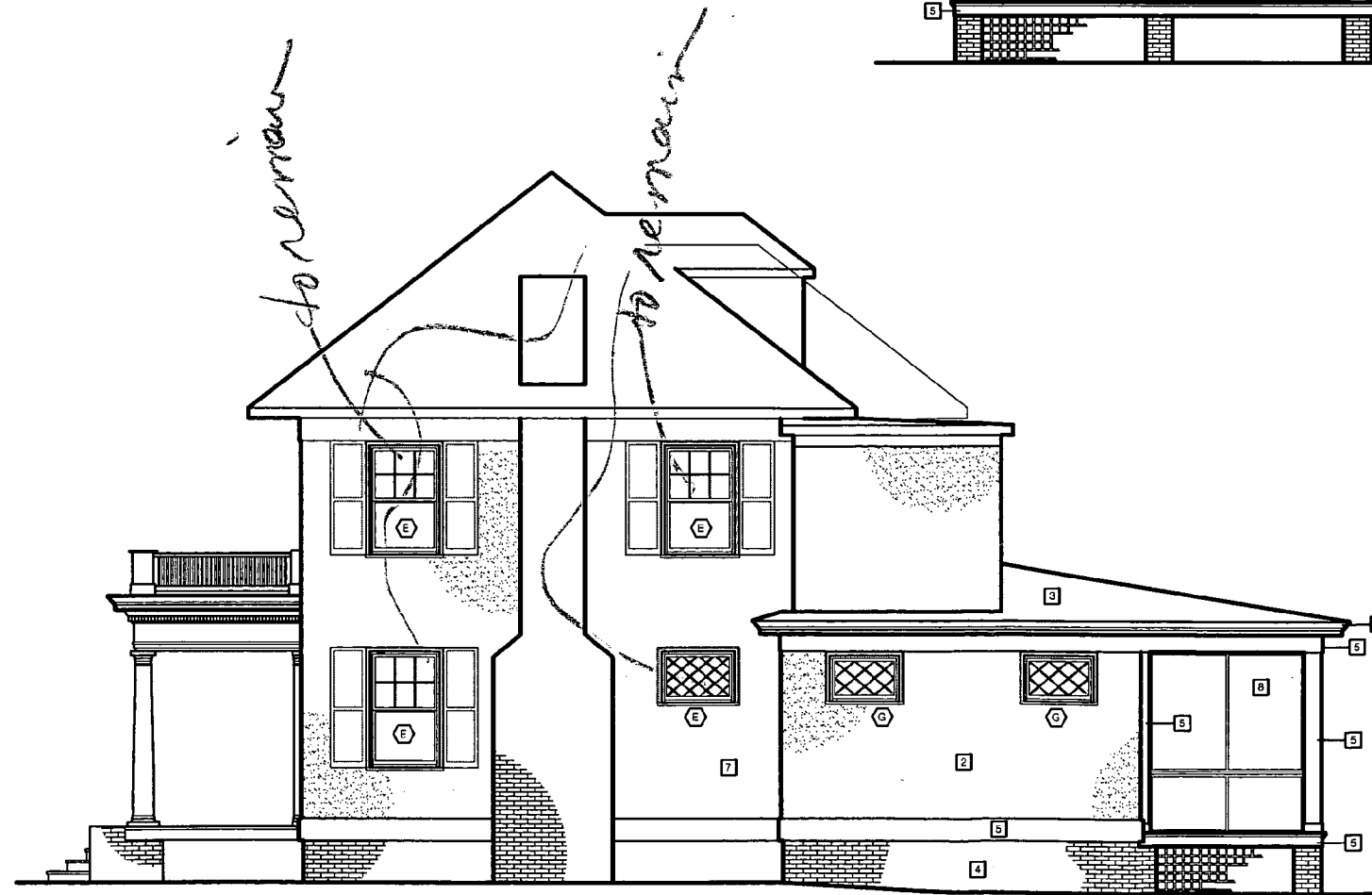
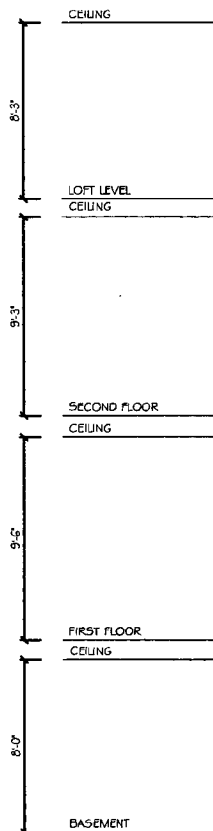
④ Side Elevation
1/4" = 1'-0"

DATE	ISSUE
2.23.07	AS-BUILT
2.28.07	HPRB REVIEW

Exterior Finish Material Legend	
MARK	DESCRIPTION
1	EXTERIOR ACRYLIC LATEX PAINT: (1) COAT PRIMER, (2) COATS FINISH; FLAT; COLOR WHITE. BID TO INCLUDE MAX. (3) COLORS.
2	3-COAT STUCCO FINISH TO MATCH EXISTING AS CLOSELY AS POSSIBLE.
3	STANDING SEAM COPPER ROOF w/SNOW FENCE.
4	BRICK VENEER TO MATCH EXISTING (MAIN HOUSE) AS CLOSELY AS POSSIBLE.
5	PRIMED WOOD TRIM. FINISH WITH ITEM #1 ABOVE.
6	PRE-FINISHED 'K' STYLE ALUMINUM GUTTERS & DOWNSPOUTS TO MATCH EXISTING.
7	EXISTING STUCCO FINISH. REPAIR & PAINT.
8	SCREEN-TIGHT SCREEN SYSTEM.



① Rear Elevation
1/4" = 1'-0"



② Side Elevation
1/4" = 1'-0"

synthetic flooring
synthetic porch framing
existing lot coverage
windows
stucco - true

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

Exterior Elevations

SCALE: AS NOTED

A401

DATE	ISSUE
2.20.07	AS-BUILTS
2.28.07	HPRB REVIEW

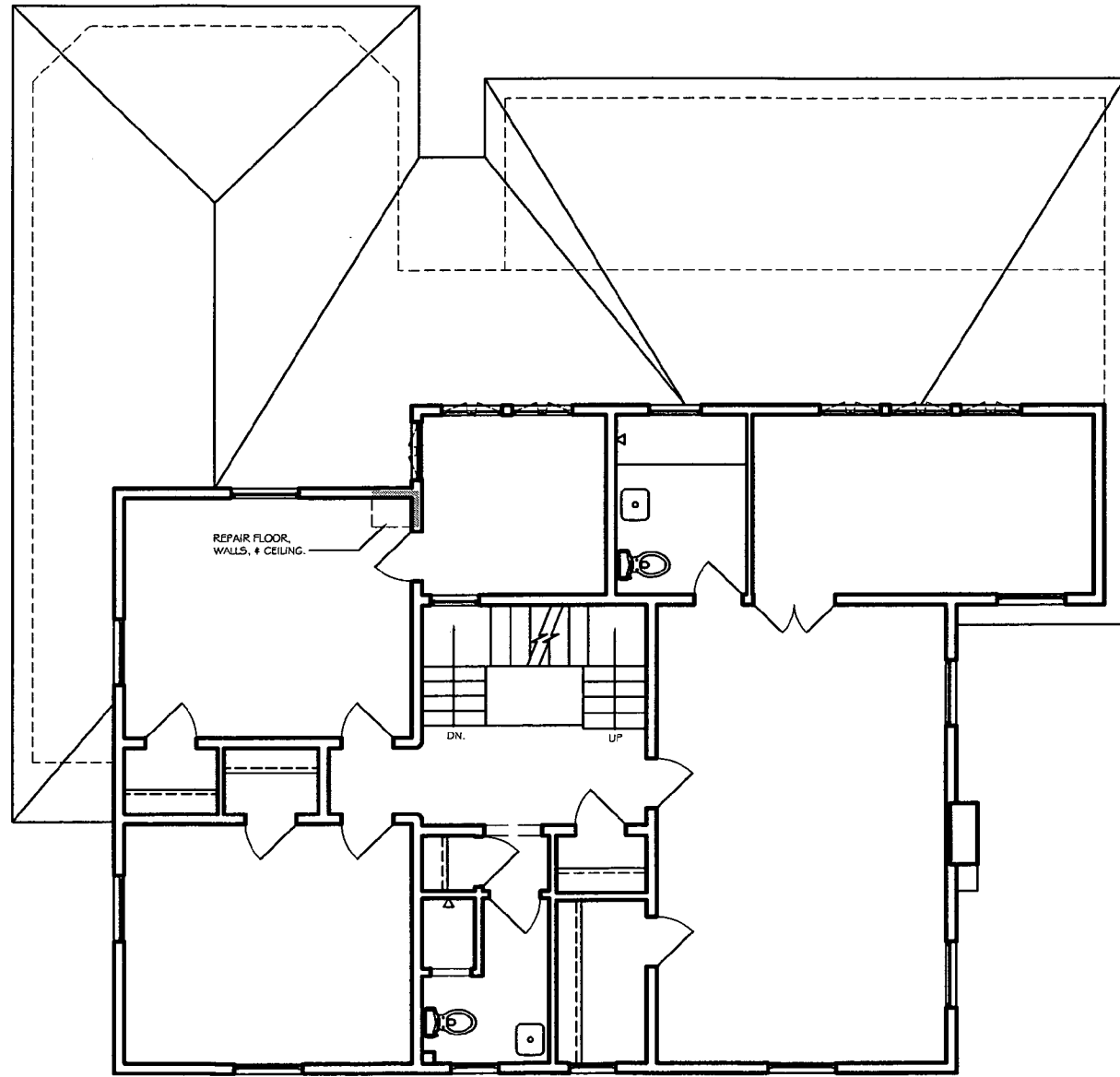
Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: D7D1

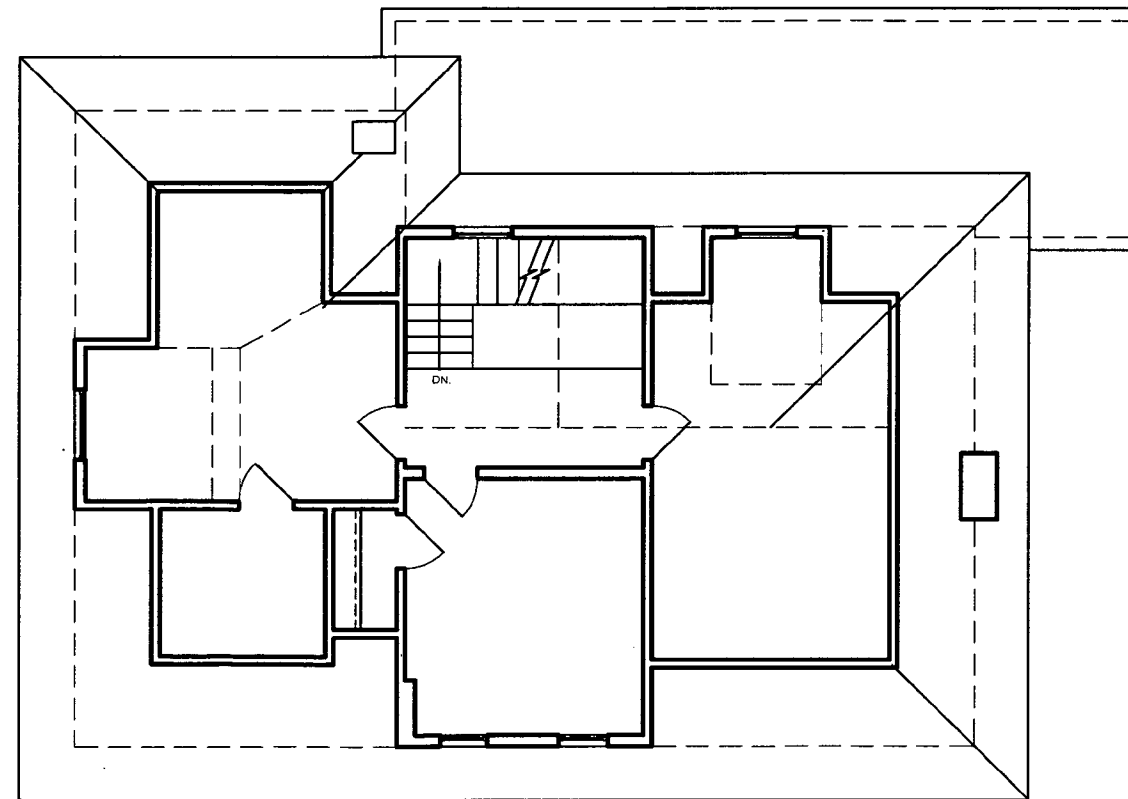
**New Work
Floor Plans**

SCALE: AS NOTED

A201



① **Second Floor/Lower Roof Plan**
1/4" = 1'-0"



② **Attic Floor Plan**
1/4" = 1'-0"

March 28th

M



1 Front Elevation
1/4" = 1'-0"



2 Side Elevation
1/4" = 1'-0"



3 Rear Elevation
1/4" = 1'-0"



4 Side Elevation
1/4" = 1'-0"

FOX
ARCHITECTS

7805 OLD GEORGETOWN ROAD
SUITE 304
BETHESDA, MARYLAND 20814
301.718.2021

DATE: 2.20.07 ISSUE: AS-BUILT'S

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

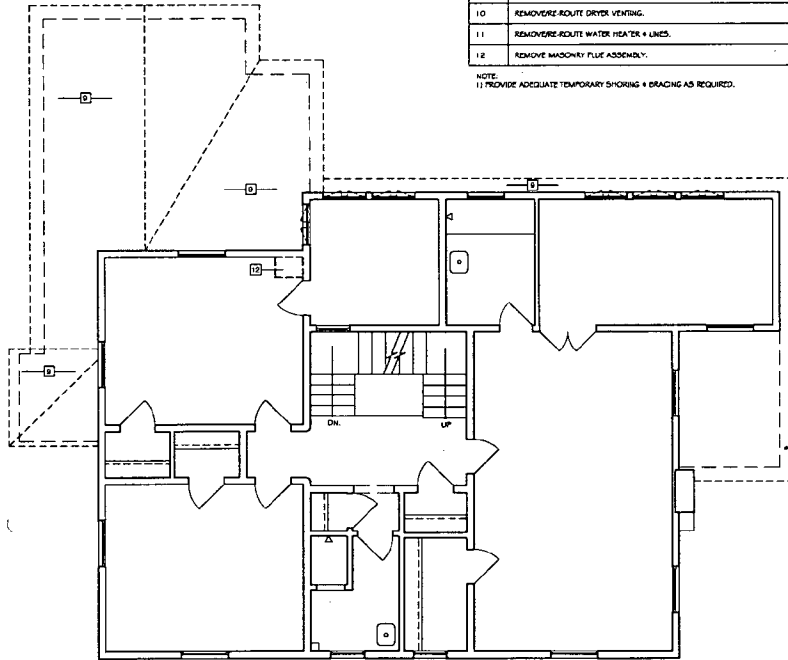
Existing Elevations

SCALE: AS NOTED

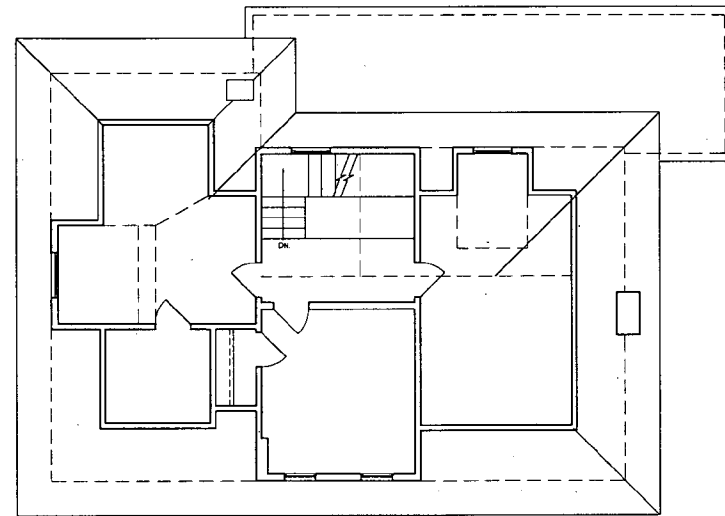
A3

Demolition Schedule	
MARK	DESCRIPTION
1	REMOVE KITCHEN COUNTERTOPS AND APPLIANCES. SAVE ITEMS FOR RE-USE AS DIRECTED BY OWNER.
2	REMOVE REAR PORCH AND STOOFF.
3	REMOVE EXTERIOR WINDOW & FRAME.
4	REMOVE EXTERIOR WALL, V.I.F., WHETHER OF BEARING OR NON-BEARING CAPACITY.
5	REMOVE EXTERIOR DOOR & FRAME.
6	REMOVE INTERIOR DOOR & FRAME.
7	REMOVE INTERIOR WALL, V.I.F., WHETHER OF BEARING OR NON-BEARING CAPACITY.
8	REMOVE BATH & PLUMBING FIXTURES. SAVE ITEMS FOR RE-USE AS DIRECTED BY OWNER.
9	REMOVE ROOF COVERING & FRAMING.
10	REMOVE/RE-ROUTE DRYER VENTING.
11	REMOVE/RE-ROUTE WATER HEATER & LINES.
12	REMOVE MASONRY FLUE ASSEMBLY.

NOTE:
1) PROVIDE ADEQUATE TEMPORARY SHORING & BRACING AS REQUIRED.



① Second Floor Plan
1/4" = 1'-0"



② Attic Floor Plan
1/4" = 1'-0"

FOX
ARCHITECTS

7800 OLD GEORGETOWN ROAD
SUITE 204
BETHESDA, MARYLAND 20814
301.718.2021

DATE
2.20.07

ISSUE
AS-BUILTS

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

Exterior
Elevations

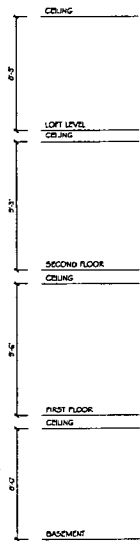
SCALE: AS NOTED

A401



① Rear Elevation
1/4" = 1'-0"

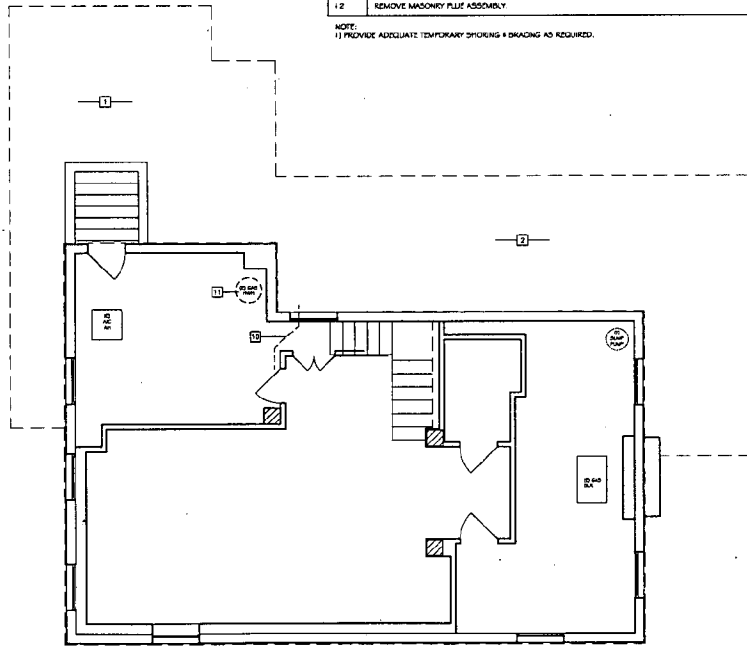
Buck/Stuco.



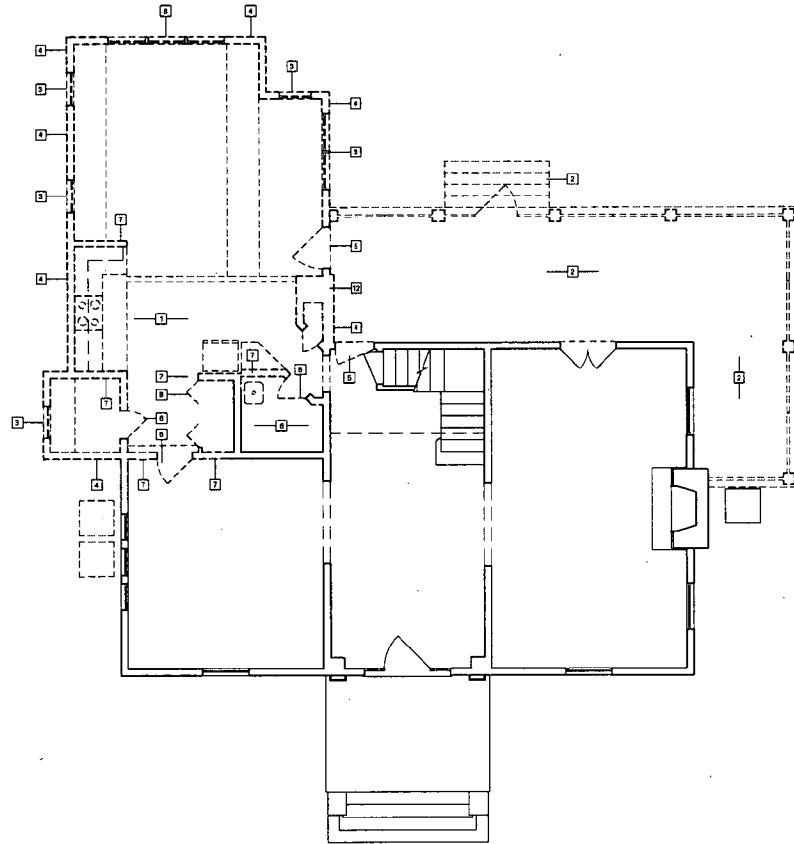
② Side Elevation
1/4" = 1'-0"

Demolition Schedule	
MARK	DESCRIPTION
1	REMOVE KITCHEN COUNTERTOP AND APPLIANCES. SAVE ITEMS FOR RE-USE AS DIRECTED BY OWNER.
2	REMOVE AREA: PORCH AND STOOP.
3	REMOVE EXTERIOR WINDOW & FRAME.
4	REMOVE EXTERIOR WALL, V.I.P. WHETHER OF BEARING OR NON-BEARING CAPACITY.
5	REMOVE EXTERIOR DOOR & FRAME.
6	REMOVE INTERIOR DOOR & FRAME.
7	REMOVE INTERIOR WALL, V.I.P. WHETHER OF BEARING OR NON-BEARING CAPACITY.
8	REMOVE BATH & PLUMBING FIXTURES. SAVE ITEMS FOR RE-USE AS DIRECTED BY OWNER.
9	REMOVE ROOF COVERING & FRAMING.
10	REMOVE/RE-ROUTE DRYER VENTING.
11	REMOVE/RE-ROUTE WATER HEATER & LINES.
12	REMOVE MASONRY FLUE ASSEMBLY.

NOTE:
1) PROVIDE ADEQUATE TEMPORARY SHORING & BRACING AS REQUIRED.



① Basement Floor Plan
1/4" = 1'-0"



② First Floor Plan
1/4" = 1'-0"

FOX
ARCHITECTS

780 OLD GEORGETOWN ROAD
SUITE 204
BETHESDA, MARYLAND 20814
301.718.2021

DATE	ISSUE
2.20.07	A5-BUILTS

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0791

Demo Floor
Plans

SCALE: AS NOTED

A100

FOX
ARCHITECTS

7805 OLD GEORGETOWN ROAD
SUITE 204
BETHESDA, MARYLAND 20814
301.718.2021

DATE	ISSUE
2.20.07	AS-BUILTS

Renovation & Addition To:

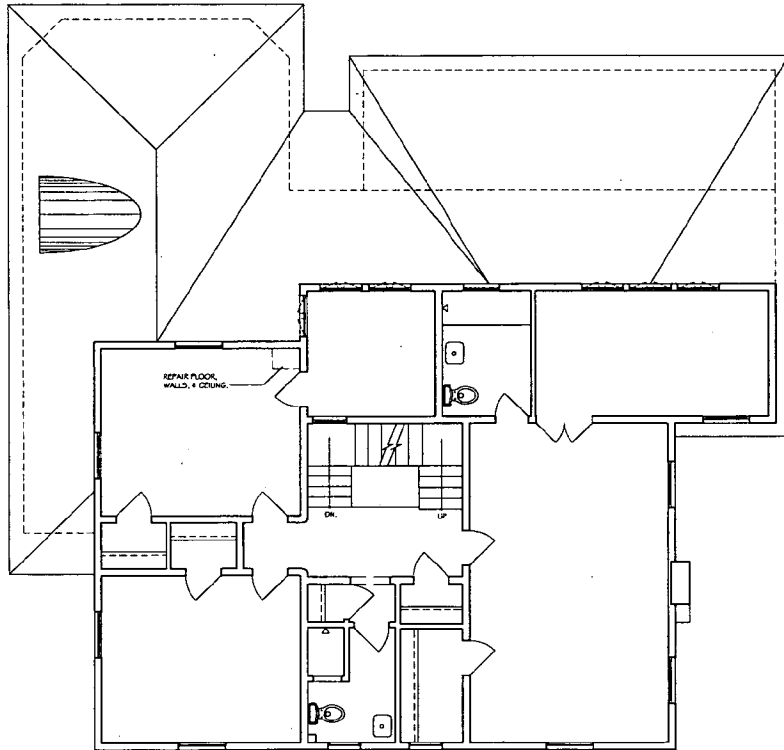
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

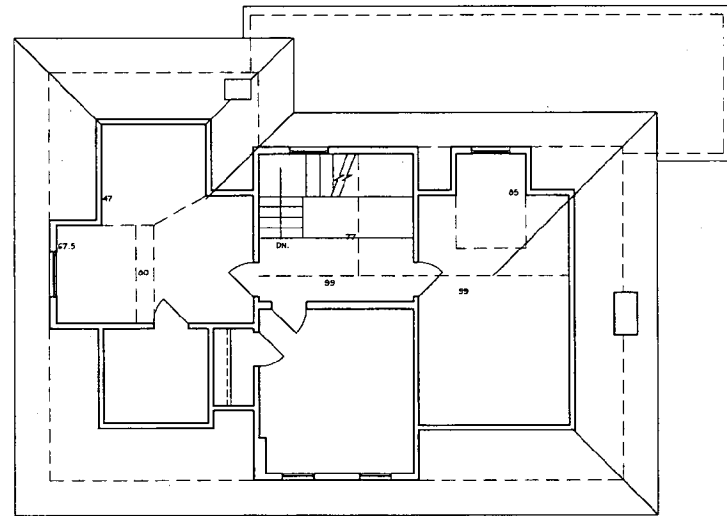
**New Work
Floor Plans**

SCALE: AS NOTED

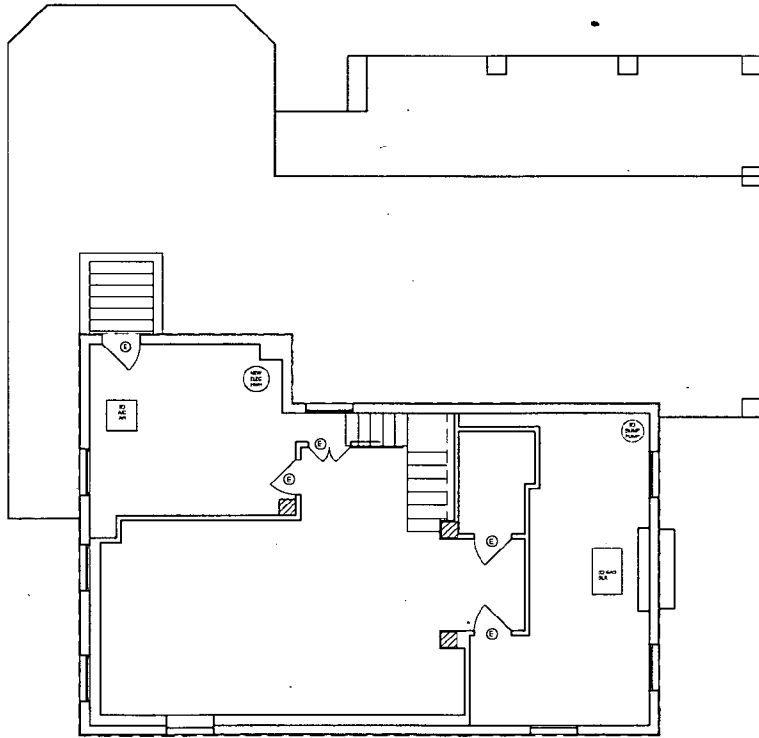
A201



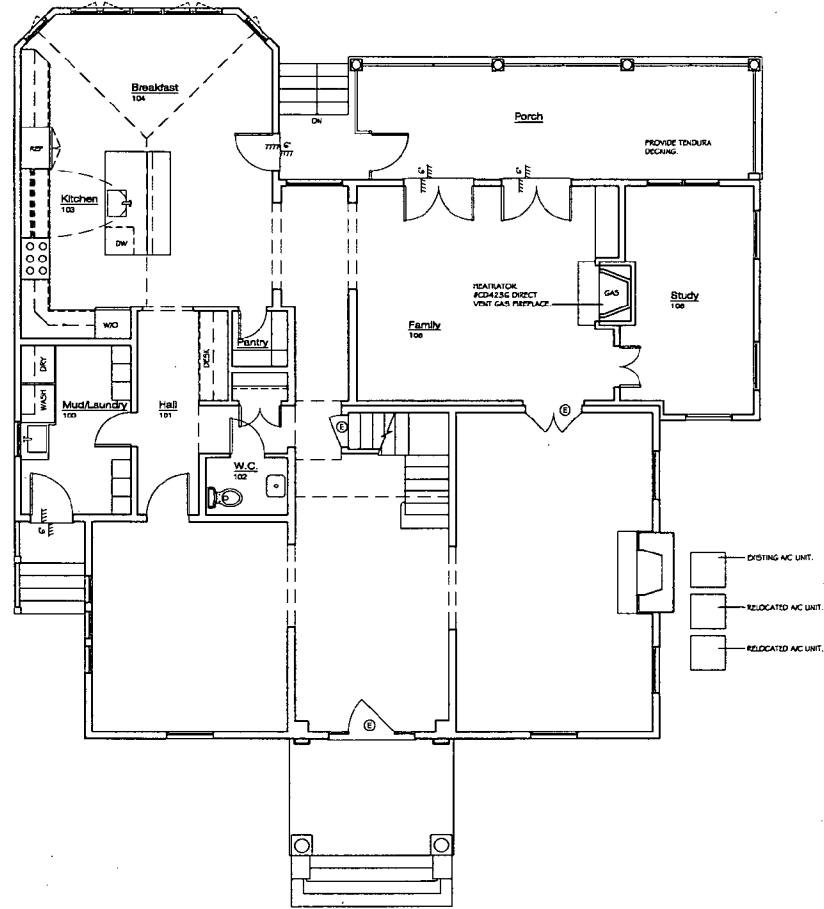
① **Second Floor/Lower Roof Plan**
1/4" = 1'-0"



② **Attic Floor Plan**
1/4" = 1'-0"



① **Basement Floor Plan**
1/4" = 1'-0"



② **First Floor Plan**
1/4" = 1'-0"

FOX
ARCHITECTS

7805 OLD GEORGETOWN ROAD
SUITE 204
BETHESDA, MARYLAND 20814
301.718.2021

DATE	ISSUE
2.20.07	A0-BUILTS

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

Exterior
Elevations

SCALE: AS NOTED

A400



① Front Elevation
1/4" = 1'-0"



② Side Elevation
1/4" = 1'-0"

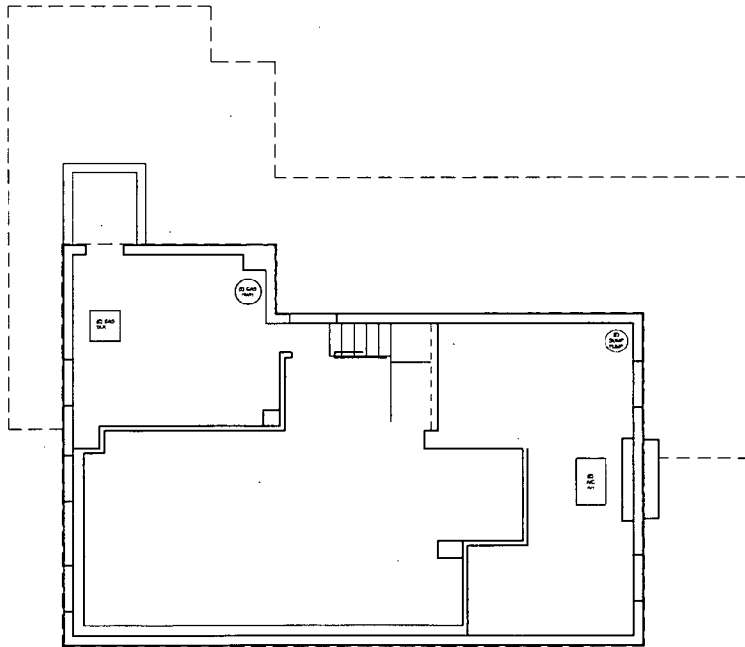
Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO. 0701

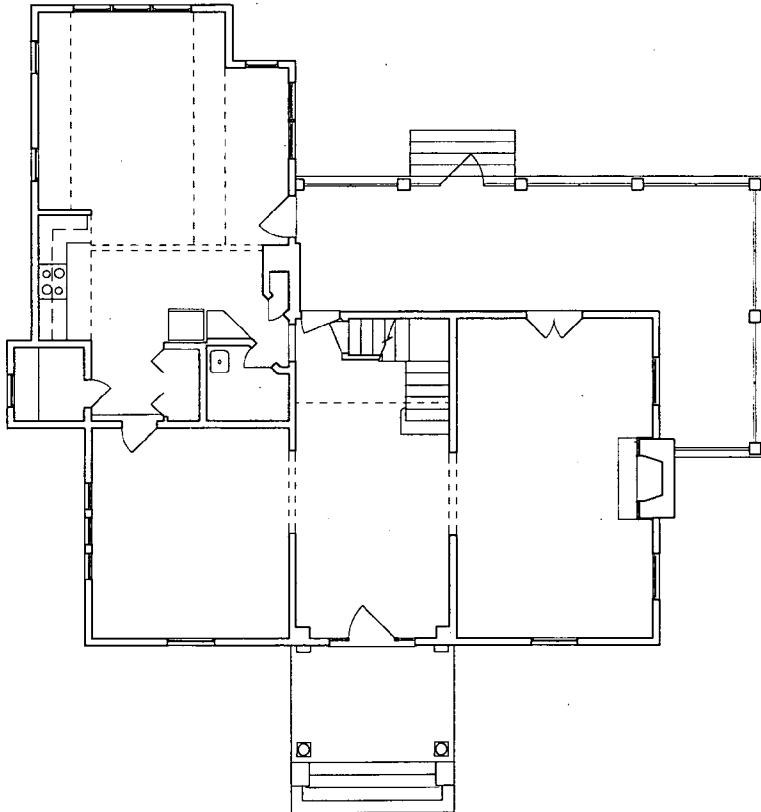
Existing
Floor Plans

SCALE: AS NOTED

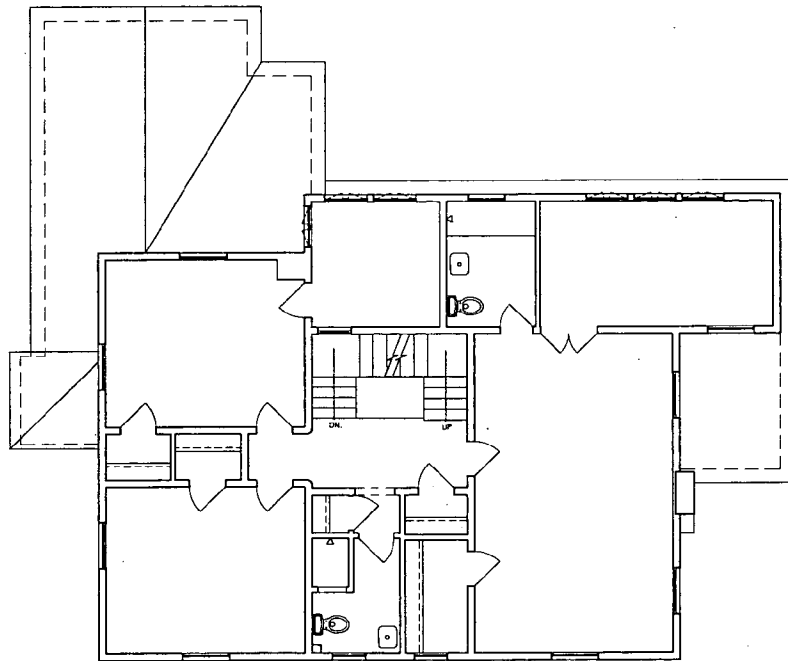
A1



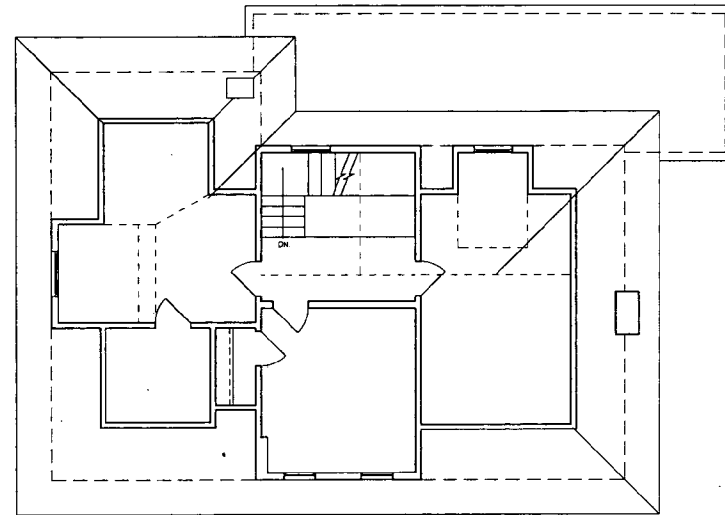
① **Basement Floor Plan**
1/4" = 1'-0"



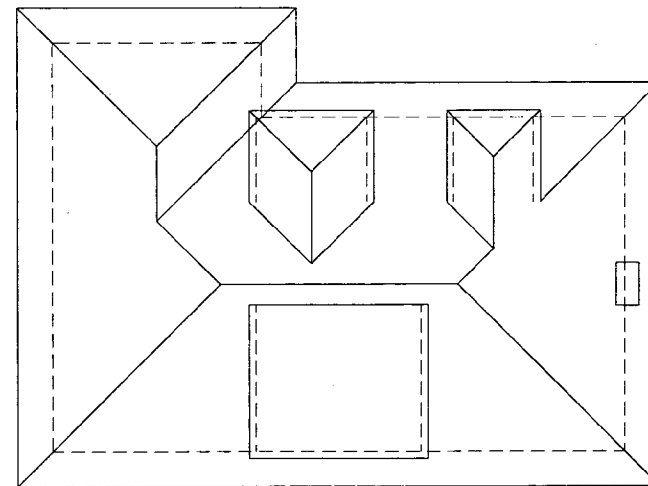
② **First Floor Plan**
1/4" = 1'-0"



① Second Floor Plan
1/4" = 1'-0"



② Attic Floor Plan
1/4" = 1'-0"



③ Roof Plan
1/4" = 1'-0"

FOX
ARCHITECTS

7805 OLD GEORGETOWN ROAD
SUITE 204
BETHESDA, MARYLAND 20814
301.719.2021

DATE	ISSUE
2.20.07	AS-BUILTS

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

Existing
Floor Plans

SCALE: AS NOTED

A2

DATE	ISSUE
2.20.07	AS-BUILTS
2.28.07	HPRB REVIEW

Exterior Finish Material Legend	
MARK	DESCRIPTION
1	EXTERIOR ACRYLIC LATEX PAINT: (1) COAT PRIMER, (2) COATS FINISH; FLAT; COLOR WHITE. BID TO INCLUDE MAX. (3) COLORS.
2	3-COAT STUCCO FINISH TO MATCH EXISTING AS CLOSELY AS POSSIBLE.
3	STANDING SEAM COPPER ROOF w/SNOW FENCE.
4	BRICK VENEER TO MATCH EXISTING (MAIN HOUSE) AS CLOSELY AS POSSIBLE.
5	PRIMED WOOD TRIM. FINISH WITH ITEM #1 ABOVE.
6	PRE-FINISHED "K" STYLE ALUMINUM GUTTERS & DOWNSPOUTS TO MATCH EXISTING.
7	EXISTING STUCCO FINISH. REPAIR & PAINT.
8	SCREEN-TIGHT SCREEN SYSTEM.



① Front Elevation
1/4" = 1'-0"



② Side Elevation
1/4" = 1'-0"

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

Exterior
Elevations

SCALE: AS NOTED

A400

DATE	ISSUE
2.20.07	AS-BUILTS
2.28.07	HFRD REVIEW

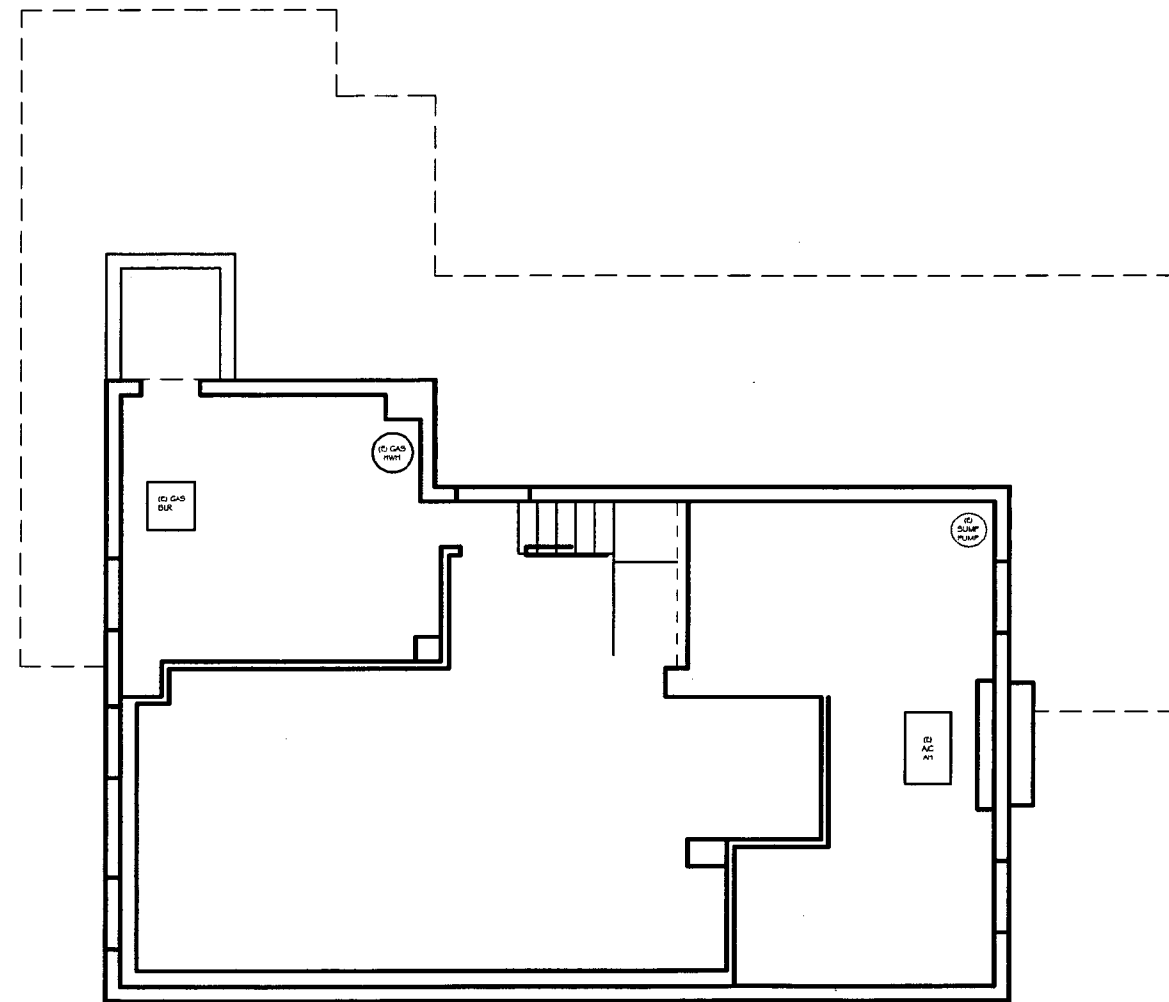
Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

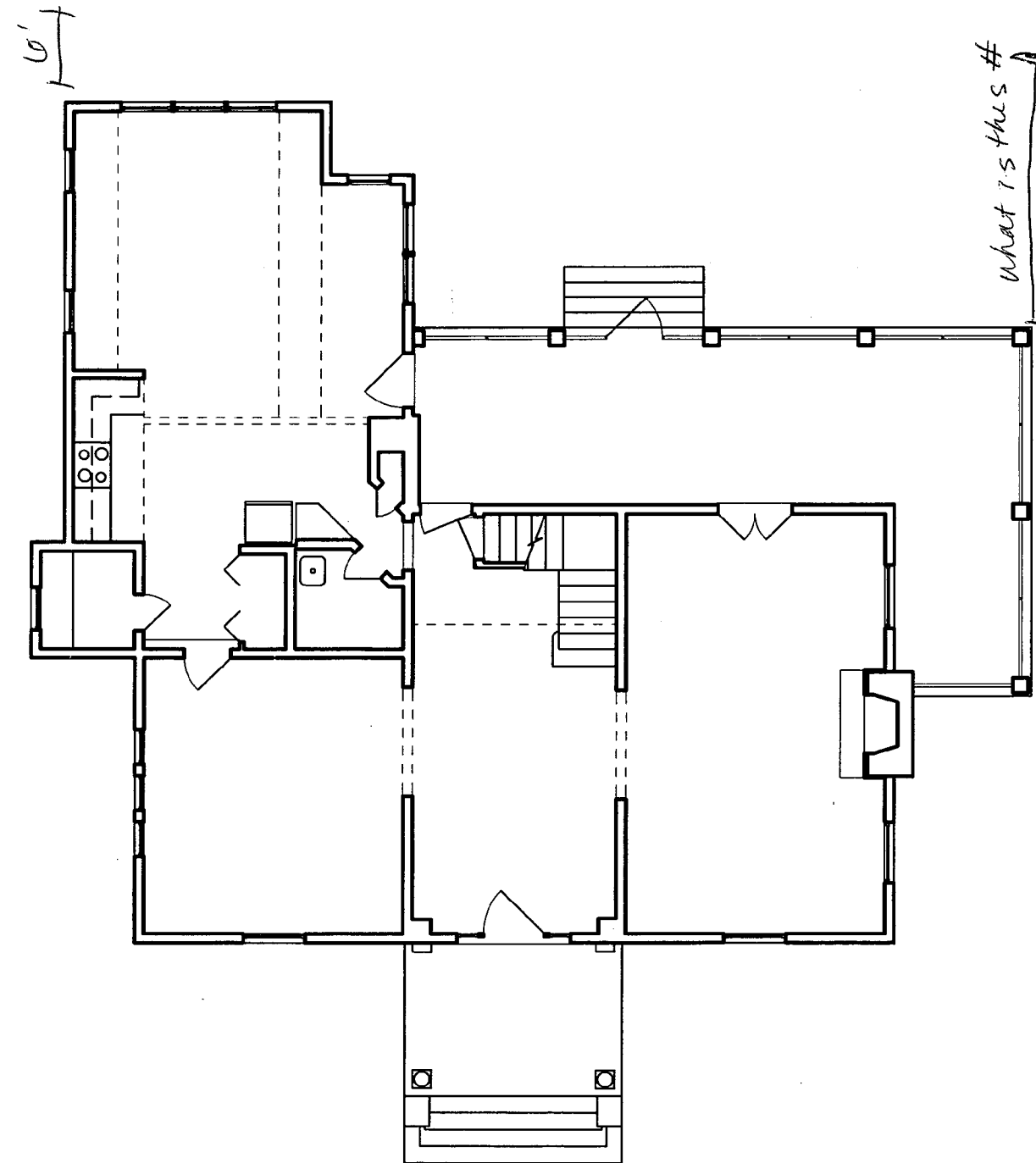
Existing
Floor Plans

SCALE: AS NOTED

A100



① **Basement Floor Plan**
1/4" = 1'-0"



② **First Floor Plan**
1/4" = 1'-0"

DATE	ISSUE
2.20.07	AS-BUILTS
2.20.07	HFRD REVIEW

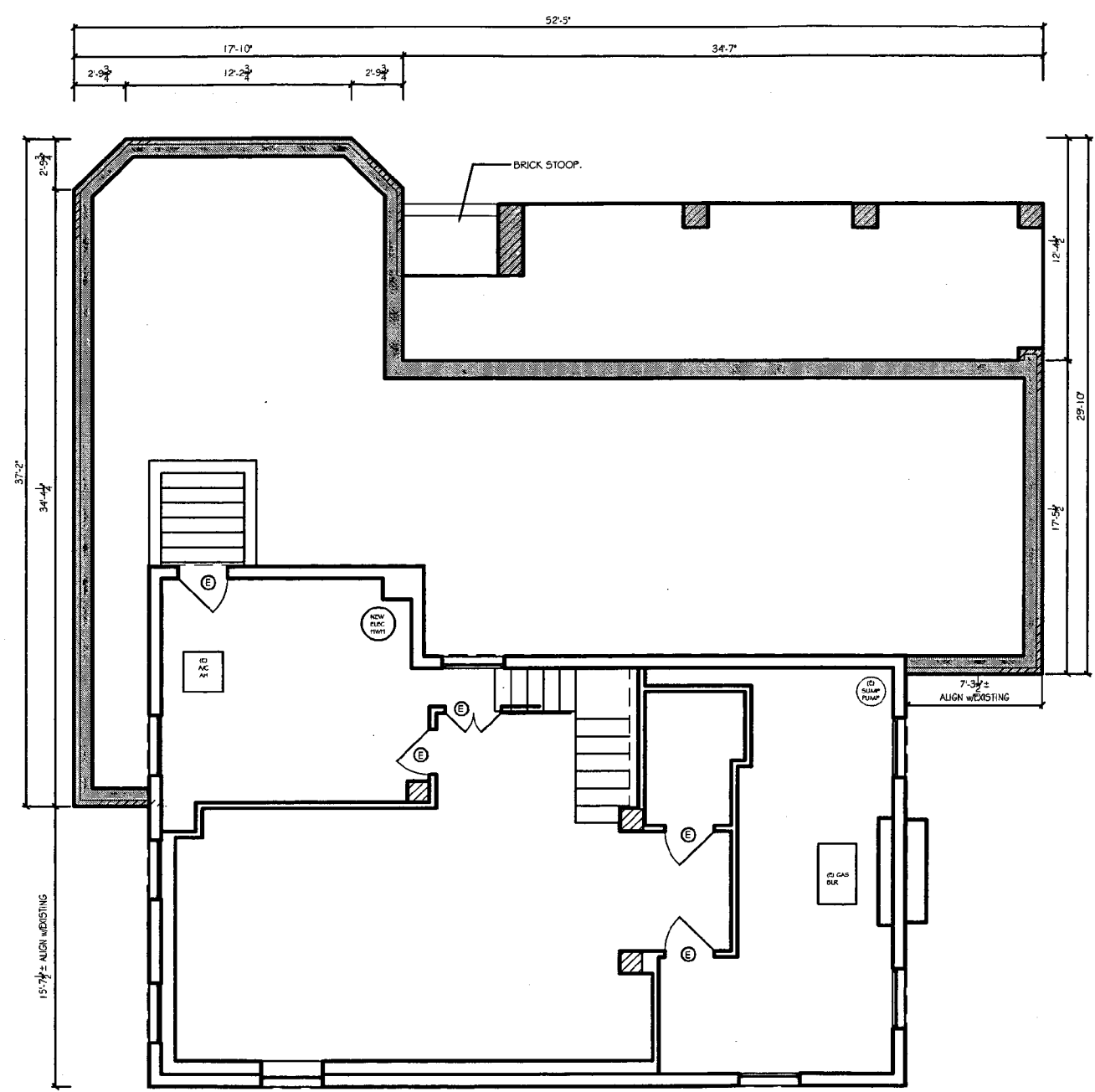
Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

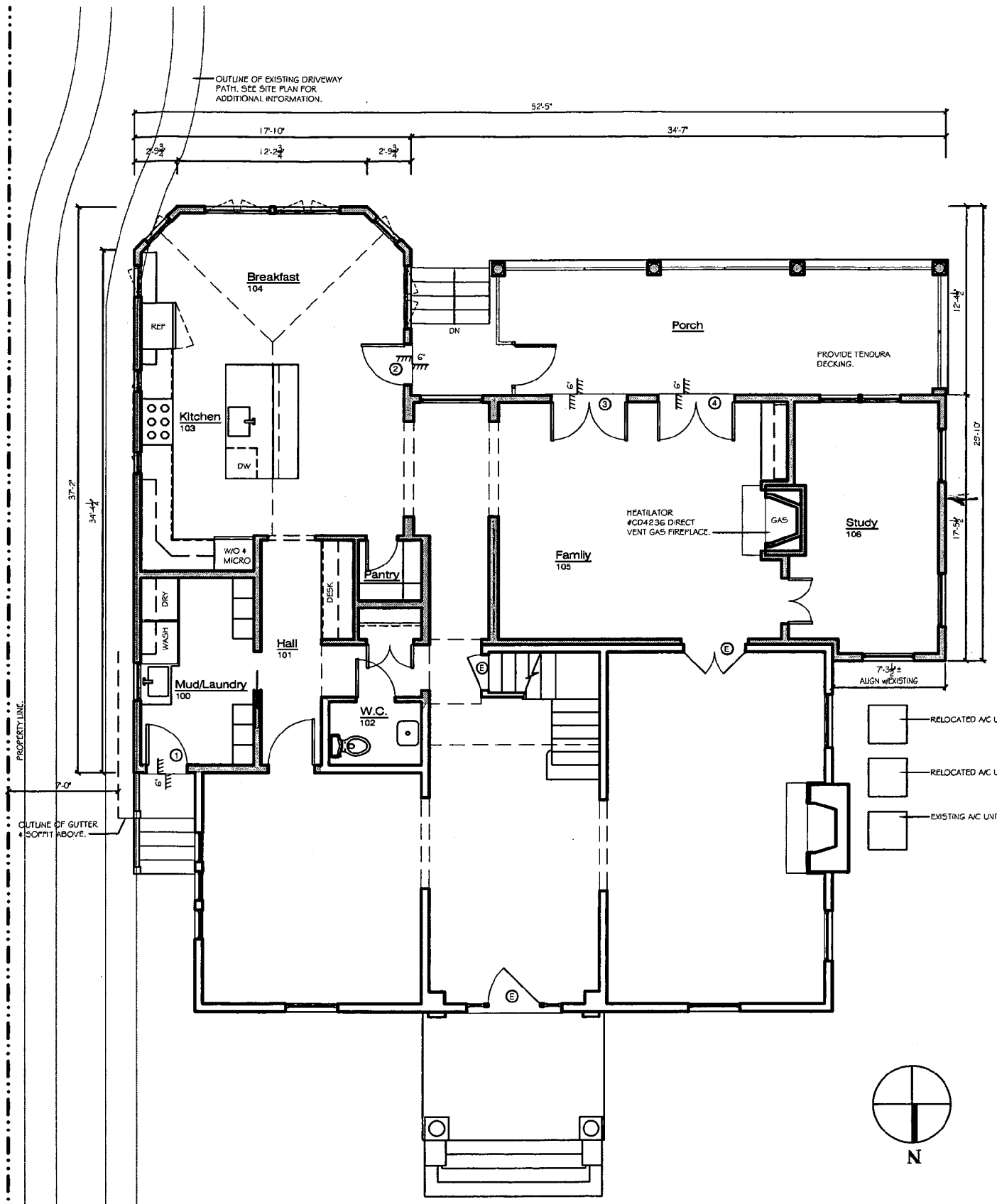
**New Work
Floor Plans**

SCALE: AS NOTED

A200



1 Basement Floor Plan
1/4" = 1'-0"



2 First Floor Plan
1/4" = 1'-0"

DATE	ISSUE
2.20.07	AS-BUILTS
2.28.07	HPRB REVIEW

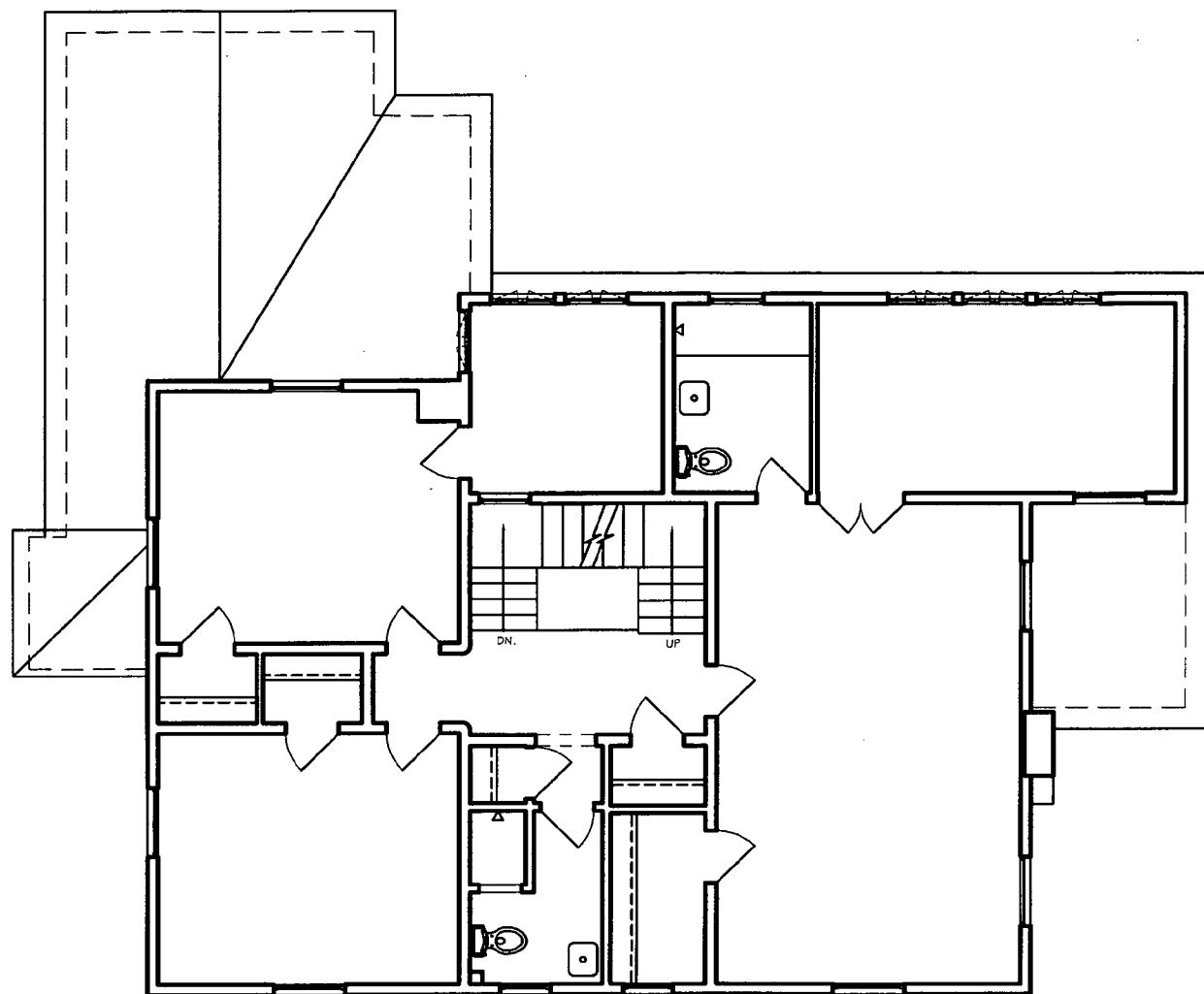
Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO. - 0701

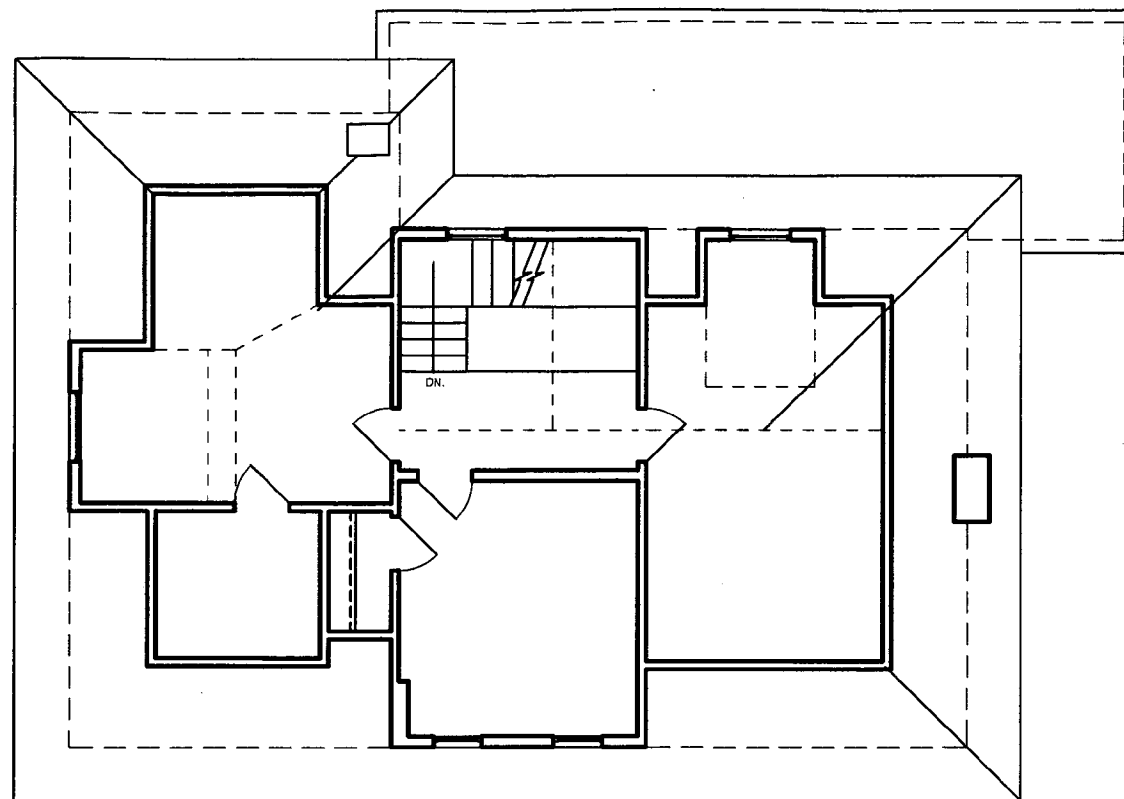
Existing
Floor Plans

SCALE: AS NOTED

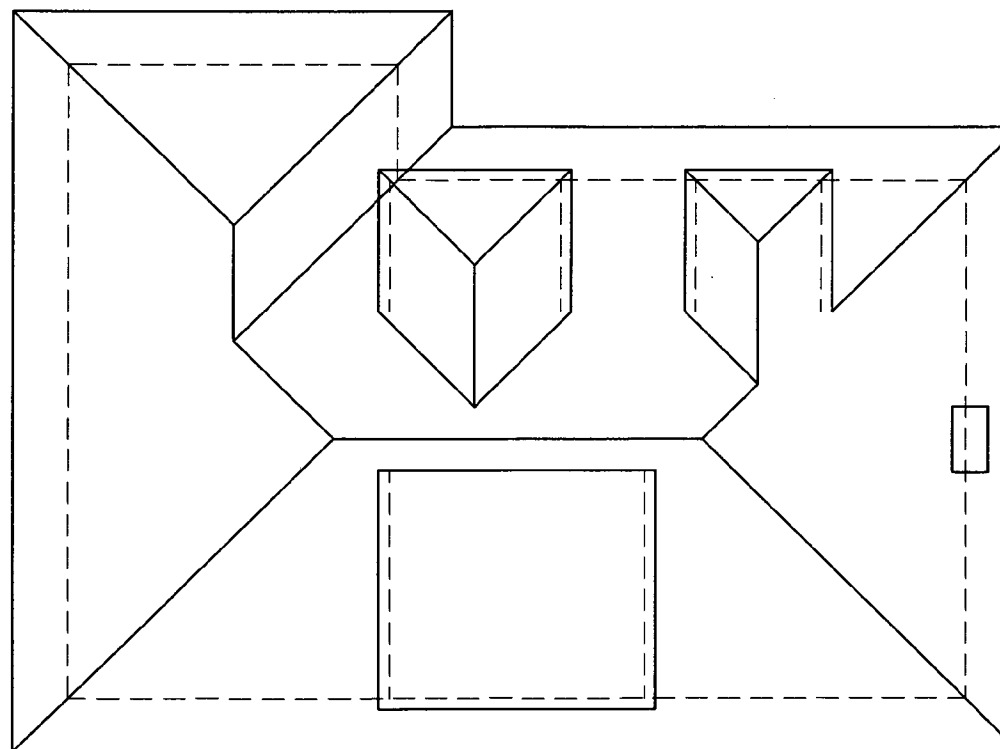
A101



① Second Floor Plan
1/4" = 1'-0"



② Attic Floor Plan
1/4" = 1'-0"



③ Roof Plan
1/4" = 1'-0"

DATE	ISSUE
2.20.07	AS-BUILT'S
2.28.07	HPRB REVIEW

Renovation & Addition To:
Cohen Residence
6 East Irving Street
Chevy Chase, Maryland 20815

PROJECT NO.: 0701

Schedule & Details

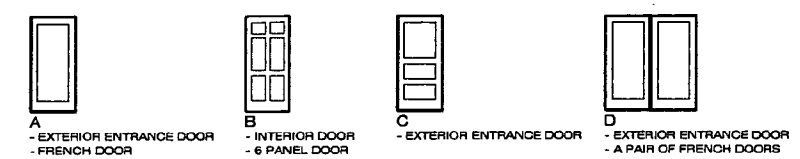
SCALE: AS NOTED

A700

MARK/ ROOM	NOMINAL SIZE		TYPE	CORE	MANUFAC.	MODEL #	FINISH		HARD WARE	DOOR FRAME		REMARKS
	WIDTH	HEIGHT					INT.	EXT.		TYPE	FINISH	
	1	2'-8"					6'-6"	C		-	LOEWEN	
2	2'-8"	6'-0"	A	-	LOEWEN	TD1 0820R	PREFINISHED EXT. MATCH WINDOWS	6	CLAD	P-3 INTERIOR	TERRACE ENTRY DOOR	
3	5'-0"	6'-0"	D	-	LOEWEN	FD2 15241RA	PREFINISHED EXT. MATCH WINDOWS	0	CLAD	P-3 INTERIOR	A PAIR OF FRENCH DOORS	

DOOR SCHEDULE NOTES: ***** GC SHALL PROVIDE DOOR MANUFACTURERS' SUBMITTALS FOR ARCHITECTS REVIEW PRIOR TO FINALIZING ORDER. *****

- 1) ALL UNITS SET IN MASONRY MUST HAVE CLAD BRICK MOULDING. ROUGH OPENING DOES NOT INCLUDE 2" CLAD BRICK MOULD.
- 2) SEE ELEVATIONS & DETAILS FOR MILLING & TRIM DETAILS.
- 3) ALL FRENCH DOORS TO BE TEMPERED.
- 4) DOORS WITH TRANSOMS TO BE MULLED AS SINGLE UNIT.
- 5) DOOR HINGES TO MATCH HARDWARE OF SAME UNIT.
- 6) PROVIDE SCREENS AT IN-SWING & SLIDING DOORS. COLOR TO MATCH CLADDING.
- 7) SEE PLANS & ELEVATIONS FOR HINGING INFORMATION.



Hardware Schedule		HARDWARE PROVIDED BY OWNER, INSTALLED BY G.C.
GROUP NUMBER	REMARKS (Provide hinges to match hardware)	
GROUP #1. PRIVACY BEDROOM	Push button interior lock function: T.B.D. finish, both sides.	
GROUP #2. PRIVACY BATHROOM	Push button interior lock function: T.B.D. finish interior, T.B.D. exterior.	
GROUP #3. PASSAGE SET	Operable handle gnp, both sides. No lock function. T.B.D. finish, both sides.	
GROUP #4. DUMMY	Full-size w/header roller catches. T.B.D. finish, both sides.	
GROUP #5. POCKET SLIDING	Johnson Hardware 200PD series pocket door hardware w/cup pull. 800-937-5664. T.B.D. finish.	
GROUP #6. ENTRY HDWR.	Keyed mortise lock interior & exterior w/keyed handle gnp at exterior. T.B.D. finish.	
GROUP #7. MANUFACTURER	Manufacturer's standard.	
GROUP #8. ENTRY HDWR. - FRENCH DOOR	Active leaf w/passage set & deadbolt. Inactive leaf w/dummy & flushbolt.	
GROUP #9. SHOWER	Patch hinges & pulls for frameless glass door.	

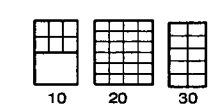
NOTE: PROVIDE KEYS FOR ENTRY HDWR. FOR GROUP #6 AT EGRESS.

MARK	ROUGH OPENING (UNO)		TYPE	MODEL NO.	MUNTIN LAYOUT	NOTES
	W	H				
A	30'-1/8"	52'-15/16"	3	DH1 2422	10	DOUBLE HUNG
B	42'-1/8"	69"	3	DH1 3630	10	DOUBLE HUNG; MATCH 2nd FLOOR UNIT WIDTH
C	46'-1/8"	88'-7/8"	-	CUSTOM	20	FIXED PICTURE
D	48"	71'-5/8"	2	FCA DG18LR	30	FRENCH CASEMENT
E	-	-	-	-	EXISTING	EXISTING TO REMAIN.
E1	V.I.F.	V.I.F.	2	-	-	EXISTING FRENCH CASEMENT TO BE REPLACED
E2	V.I.F.	V.I.F.	3	V.I.F.	10	EXISTING DOUBLE HUNG TO BE REPLACED
F	24'-3/8"	71'-5/8"	4	FCA 1218L / FCA 1218R	30	SINGLE CASEMENT
G	40'-1/8"	28'-5/16"	1	AW1 1007A	CUSTOM	AWNING; SEE ELEVATIONS FOR GRILLE PATTERN
H	16'-1/2"	40'-1/8"	4	CA 041DL / CA 041DR	-	SINGLE CASEMENT
J	24'-3/8"	59'-13/16"	4	CA1 0615R	-	SINGLE CASEMENT

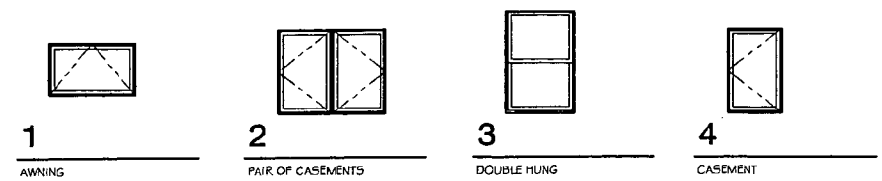
WINDOW SCHEDULE NOTES: ***** GC SHALL PROVIDE WINDOW MANUFACTURERS' SUBMITTALS FOR ARCHITECTS REVIEW PRIOR TO FINALIZING ORDER. *****

1. ALL UNITS SET IN MASONRY MUST HAVE FACTORY APPLIED EXTRUDED ALUMINUM BRICK MOULDING.
2. ROUGH OPENING DIMENSIONS FOR UNITS SET IN MASONRY DO NOT INCLUDE MASONRY ALLOWANCES.
3. SEE ELEVATIONS FOR SWING INDICATION.
4. SEE TRANS/ELEVATIONS FOR MULLION DIMENSIONS.
5. FACTORY MULLING, U.N.O. FIELD MULLING AT THE G.C.'S DISCRETION, WITH ARCHITECT'S APPROVAL.

Muntin Patterns



Window Types



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).