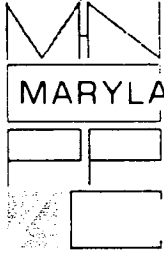


254 Park Avenue HPC#37/03-0300
Takoma Park Historic District

Plans are
stamped +
in copy
room
b/n



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 10-29-03

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

AF

*DPS # 320040
HAWP # 37/03-03 QQ*

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

Approved

Approved with Conditions: _____

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Edina Morze

Address: 254 Park Avenue, Takoma Park, MD

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
250 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

320040

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: JAMES SHELTON
Daytime Phone No.: 240-355-8007

Tax Account No.: _____
Name of Property Owner: EDINA MOUSE Daytime Phone No. (301) 792-6111
Address: 254-PARK AVE TAKOMA PARK 20912
Street Number City Street Zip Code
Contractor: OWNER Phone No. (301) 792-6111
Contractor Registration No.: N/A
Agent for Owner: JAMES SHELTON Daytime Phone No.: 240-355-8007

LOCATION OF BUILDING/PREMISE

House Number: 254-PARK AVENUE Street: PARK AVENUE
Town/City: TAKOMA PARK Nearest Cross Street: PHILADELPHIA AVENUE
Lot: 30 Block: 1 Subdivision: HILL-CREST
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$ 18,000.00
1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

James Shelton Signature of owner or authorized agent 9/30/03 Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: Jason E. Velazquez Date: 10-29-03

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

BUILD NEW DECK AT REAR OF HOUSE AND
INSTALL FRENCH DOORS TO DECK FROM FIRST FL. (1ST FL)
REAR AND ENCLOSE EXIST. SIDE PORCH AS PER
PLANS AND PLAT

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

THE OWNER (EDINA MCHUSE) PROPOSES TO BUILD A NEW
DECK AT REAR OF EXISTING HOUSE AT 1ST FL. LEVEL TO
ENJOY PRIVACY OF REAR YARD AND CONVENIENCY OF
NEWLY REMODELED INTERIOR AND ENLARGED LIVING
SPACE BY ENCLOSING SIDE PORCH.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way end of the adjoining properties. All labels should be placed on the front of photographs.

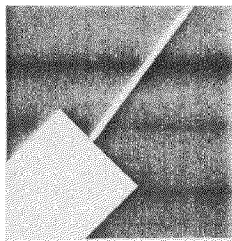
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL
PARK AND PLANNING COMMISSION

8787 Georgia Avenue
Silver Spring, Maryland 20910-3760

254 Park Avenue
Takoma Park, MD 20912

October 29, 2003

Dear Ms. Morse:

I met on October 27, 2003 with your contractor, Mr. Lamy, and your architect, Mr. Shelton, at your house at 254 Park Avenue in the Takoma Park Historic District. This letter is to summarize that discussion so we are all clear on what work requires a Historic Area Work Permit (HAWP) and what does not.

Your September 30, 2003 HAWP application for the alterations to the rear of the house has been approved by the Historic Preservation Commission and I am attaching the letter that has been mailed to the Department of Permitting Services.

The changes that were approved are:

- Rear porch enclosure with materials and dimensions as described in application
- Installation of new door to access new enclosed porch room with materials and dimensions as described in application
- Rear deck construction with materials and dimensions as described in application with wood picket banister (not described in application but as determined with contractor)
- Installation of new French doors at rear of house to new deck with materials and dimensions as described in application
- A slight extension of the rear first floor back wall to line up with the second floor. This was not described in application but has been clarified with contractor. There will be no other extensions to the house (sides or rear) and no other changes to any other windows including second story windows.

On-site we also discussed other changes to the house that will or will not need an additional Historic Area Work Permit.

The following repairs do not need a HAWP:

- Replace the front porch roof in-kind (with same asphalt shingles)
- Replace the porch ceiling in-kind (with same wood tongue-and-groove boards)
- Replace the porch steps in-kind (with pine boards)
- Replace the front walk/concrete pad in-kind (with concrete)

However, when you make any change in materials, you will need to apply for a Historic Area Work Permit.

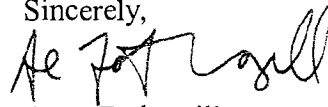
It appears the following repairs will need a HAWP:

- Replace existing front porch plywood floor with tongue-and-groove
- Replace existing front door with new front door (door specifications to be determined)
- Replace existing porch railing with inset wood picket banister

Additionally, as you proceed with this workscope, should you determine any future changes to the exterior of the house, please call our office at 301-563-3400 to determine if that work requires a HAWP. I would recommend that you submit one HAWP in the future for all the remaining changes. The HPC will review the remaining items as soon as possible.

Thank you for your attention to this matter.

Sincerely,



Anne Fothergill

Historic Preservation Planner

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 254 Park Avenue, Takoma Park **Meeting Date:** 10/22/03
Applicant: Edina Morse **Report Date:** 10/15/03
Resource: Contributing Resource **Public Notice:** 10/08/03
Takoma Park Historic District
Review: HAWP **Tax Credit:** None
Case Number: 37/03-03QQ **Staff:** Anne Fothergill

PROPOSAL: Deck installation and porch enclosure

RECOMMEND: Approval

PROJECT DESCRIPTION

SIGNIFICANCE: Contributing Resource in the Takoma Park Historic District
STYLE: Craftsman
DATE: c. 1920

This two-story Craftsman style single family home was built circa 1920 and is located on Park Avenue and faces Philadelphia Avenue in the Takoma Park Historic District.

PROPOSAL

The applicant proposes to install a new 11'8" x 11'5" wood deck and wood steps at the rear of the house. The applicant will install Anderson vinyl-clad French doors from the house to the deck. The applicant also proposes the enclosure of a rear porch which measures 8' 4" x 4' 4". This new enclosed porch room will have wood siding and the roof will have shingles to match the existing roof. The existing rear side door will be replaced with a wood 6-light 'full view' door to maximize sunlight exposure. The existing steps from the porch will remain. See Circles 8-12 for plans and Circles 13-17 for photos of house.

STAFF DISCUSSION

According to the *Takoma Park* Guidelines, Contributing Resources in the Takoma Park Historic District are subject to a more lenient level of design review as "they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural

character, rather than for their particular architectural features.” The Guidelines also state that “alterations to features that are not at all visible from the public-right-of-way should be allowed as a matter of course.”

The new deck and steps and enclosed porch would not be visible from a public right-of-way and would not impact the character of the district and the streetscape. The proposed materials are compatible with the house and the new deck and steps would not adversely affect the house or the streetscape and staff recommends approval of these alterations and additions.

In terms of the vinyl-clad French doors and the wood 6-light door, the Guidelines state that “some non-original building materials may be acceptable on a case-by-case basis.” Because the rear side wood door (which appears in the drawings to be a paneled door but is in fact, according to the Agent, a ‘full view’ glass door so the applicants can have maximum light) would not be visible and the materials are compatible, Staff finds this change approvable. Although staff generally recommends wood doors, the vinyl-clad French doors would be at the rear of the house and would not be visible from a public right-of-way and staff finds them approvable.

Staff feels the applicant’s proposal does not compromise the integrity of this resource and that the design and materials are appropriate for the house and the district. Staff finds that the proposal is compatible with the District’s guidelines and the Secretary of Interior’s *Standards for Rehabilitation* and will not adversely impact the house, streetscape, landscape or historic district. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter

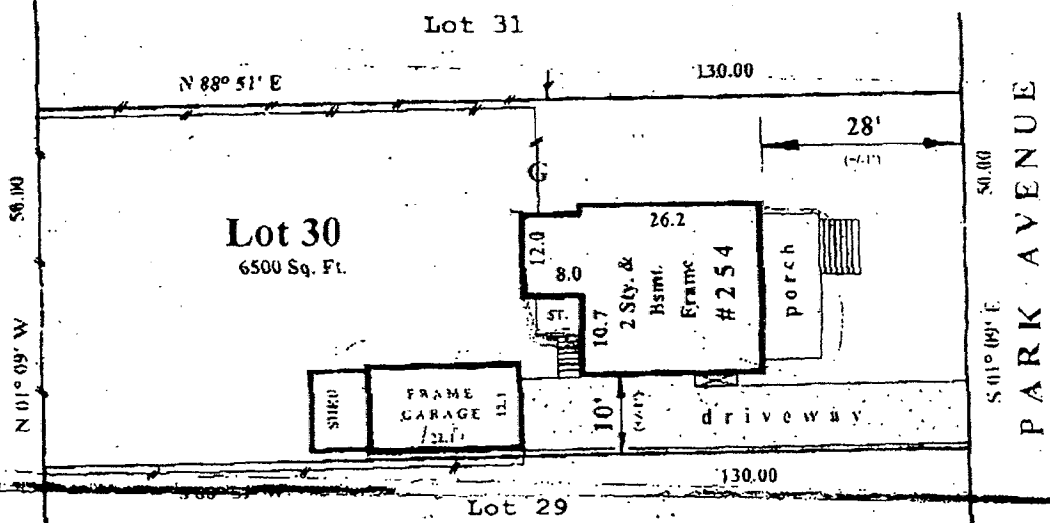
and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 252 - PARK AVENUE	Owner's Agent's mailing address 256 - PARK AVENUE
Adjacent and confronting Property Owners mailing addresses	

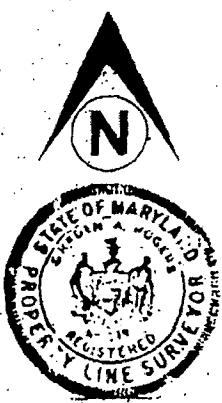
LANDTECH ASSOCIATES, INC. 240-310
 7307 Baltimore Avenue Suite 214 777-6240
 College Park, MD 20740
 301-277-8878
 35%

1



Note: This property lies in Flood Zone "C" an area of minimal flooding as delineated on the maps of the National Flood Insurance Program.

Location Drawing of:	LOT: 30	BLOCK: 1
#254 Park Avenue	PLAT BK: 2	PLAT#: 140
HILL-CREST Takoma Park HOLT TRACT Montgomery Co., MD	DATE: 4-17-03	SCALE: 1"=20'
	CASE NUMBER:	0311120-MP
	FILE NUMBER:	MPP-203044



NO TITLE REPORT FURNISHED

- NOTES:
1. The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
 2. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
 3. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.

CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

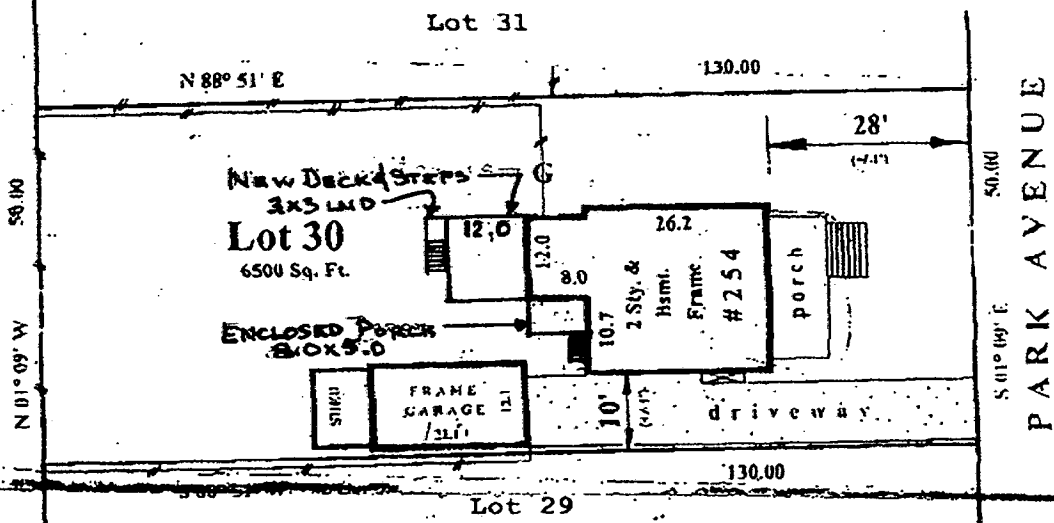
Graden A. Rogers
 GRADEN A. ROGERS---Prop.L.S. LIC. NO. 119

6

LANDTECH ASSOCIATES, INC.

7307 Baltimore Avenue Suite 214
College Park, MD 20740
301-277-8878

1



Note: This property lies in Flood Zone "C"—an area of minimal flooding as delineated on the maps of the National Flood Insurance Program.



Location Drawing of:	LOT: 30	BLOCK: 1
#254 Park Avenue	PLAT BK: 2	PLAT#: 140
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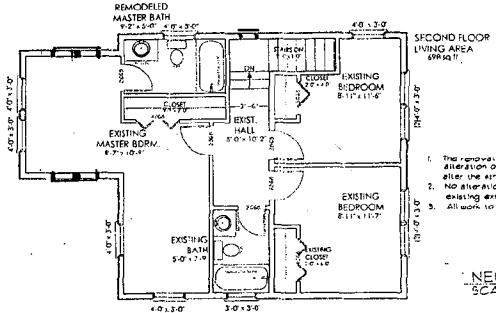
NO TITLE REPORT
FURNISHED

CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

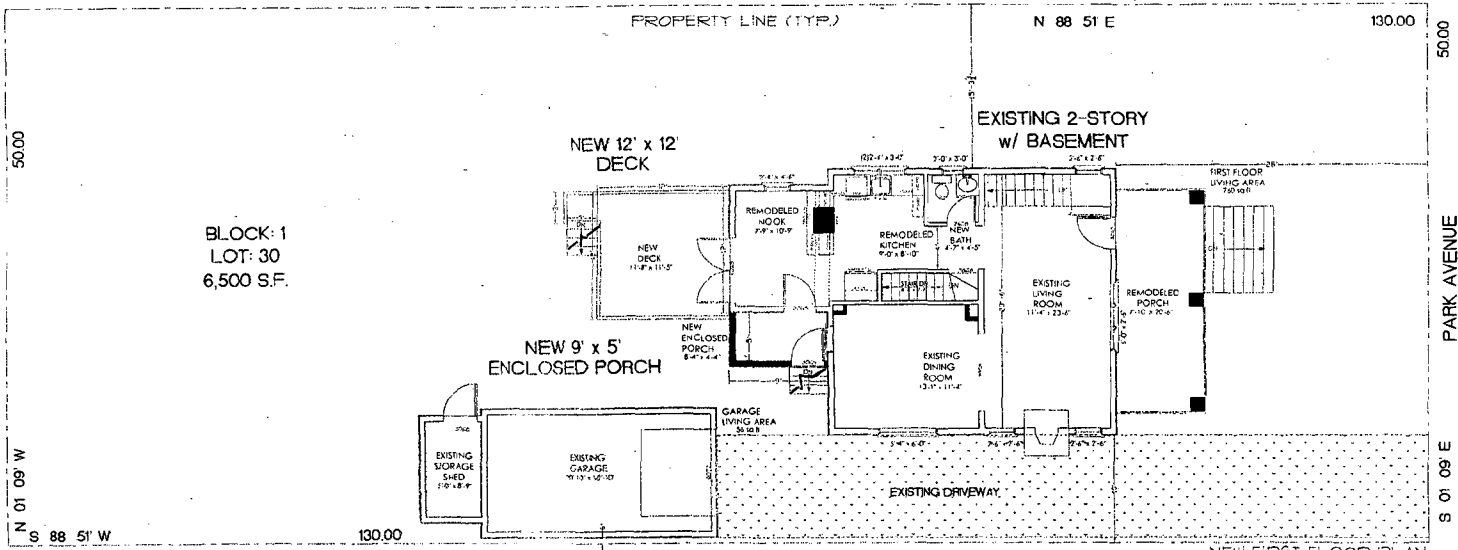
Graden A. Rogers
GRADEN A. ROGERS--Prop.L.S. LIC. NO. 119

- SYMBOLS LIST**
- REFERS TO DRAWING NOTES
 - OR LIGHT FIXTURE - (RECESSED)
 - THERMOSTAT
 - CEILING MTD. SMOKE DETECTOR
 - WALL MTD. SMOKE DETECTOR
 - RECEPTACLE
 - GROUND FAULT INTERRUPTER
 - REGISTER (MECHANICAL)
 - DUCTWORK - EXISTING SHOWN DASHED
 - VENT & EXHAUST DUCTWORK - EXIST. SHOWN DASHED
 - NEW TO EXISTING CONNECTION
 - NEW TELEPHONE JACK
 - NEW COFIBER CABLE TV/AT&S NETWORK JACK
 - EXISTING WALL TO REMAIN
 - NEW WALL - (TYPE DESCRIBED)
 - EXISTING WALL TO BE REMOVED
 - DOOR SIZE - SEE SCHEDULE
 - (E) EXISTING (TYPICAL)
 - (R) EXISTING TO RELOCATE (TYPICAL)
 - (RR) EXISTING TO REMOVE AND RELOCATE (TYPICAL)
 - (N) NEW (TYPICAL)
 - △ FIRE EXTINGUISHER
 - △ HEAT DETECTOR
 - △ CLOTHES DRYER RECEPTACLE
 - △ CLOTHES WASHER RECEPTACLE

- ZONE / CODE ANALYSIS**
- 1. BUILDING USE GROUP: RESIDENTIAL
 - 2. BUILDING CONSTRUCTION TYPE: 1B
 - 3. HT/NO. OF STORIES: 2-STORY BASEMENT
 - 4. HIGH RISE: NO
 - 5. COVERED MALL: NO
 - 6. FULLY SUPPRESSED: NO
 - 7. BUILDING AREA: 2,226 SQ.FT.
 - 8. EXTERIOR FIRE SEPARATION WALL: 2-1/2 HRS.
 - 9. TENANT SEPARATION WALL: 1-HR.
 - 10. INTERIOR BEARING PARTITION: 1-HR.
 - 11. STRUCTURAL MEMBERS SUPPORTING WALL: 2-1/2 HRS.
 - 12. ROOF CONSTRUCTION BEAMS, TRUSSES, RAFTERS, AND ROOF DECK: 0-HRS.
 - 13. MAX. EXIST. LENGTH: 30 FT.
 - 14. NUMBER OF EXITS: 4
 - 15. LOT: 30
 - 16. BLOCK: 1
 - 17. LOT AREA: 6,500 SQ.FT.

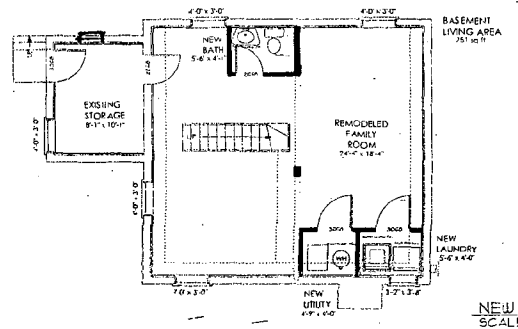


- STRUCTURAL NOTES**
- The renovation work shall, under no circumstance involve the alteration or modification of any structural members that can alter the structural integrity of the building.
 - No alterations are to be done to the existing foundation or the existing exterior masonry walls.
 - All work to be done in strict compliance with Building codes.



FINISH SCHEDULE

ROOM	FLOOR	WALLS	BASE	CEILING	CLG. HEIGHT	REMARKS
FAMILY ROOM	1ST	CARPET	CARPET	PLASTER	8'-0"	
LAUNDRY ROOM	1ST	CARPET	CARPET	PLASTER	8'-0"	
UTILITY ROOM	1ST	CARPET	CARPET	PLASTER	8'-0"	
BATHROOM #1	1ST	CARPET	CARPET	PLASTER	8'-0"	
STORAGE ROOM	1ST	CARPET	CARPET	PLASTER	8'-0"	
LIVING ROOM	1ST	CARPET	CARPET	PLASTER	8'-0"	
DINING ROOM	1ST	CARPET	CARPET	PLASTER	8'-0"	
BATHROOM #2	1ST	CARPET	CARPET	PLASTER	8'-0"	
KITCHEN	1ST	CARPET	CARPET	PLASTER	8'-0"	
ENCLOSED REAR PORCH	1ST	CARPET	CARPET	PLASTER	8'-0"	
HALL	1ST	CARPET	CARPET	PLASTER	8'-0"	
BEDROOM #1	2ND	CARPET	CARPET	PLASTER	8'-0"	
BEDROOM #2	2ND	CARPET	CARPET	PLASTER	8'-0"	
BATHROOM #3	2ND	CARPET	CARPET	PLASTER	8'-0"	



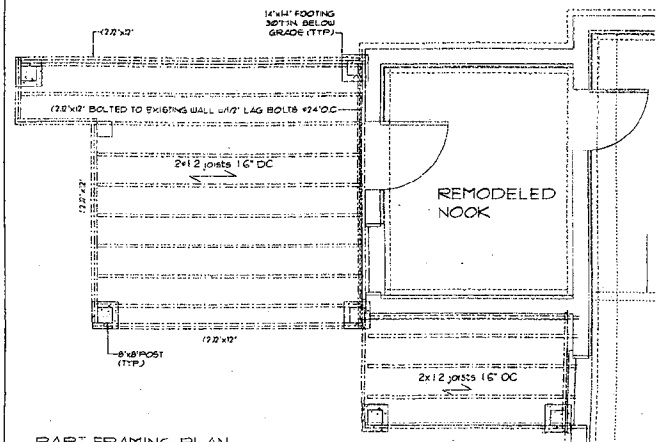
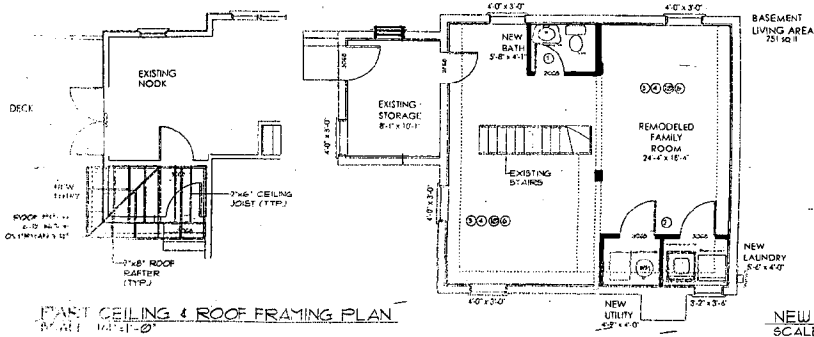
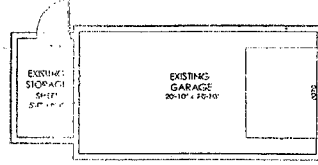
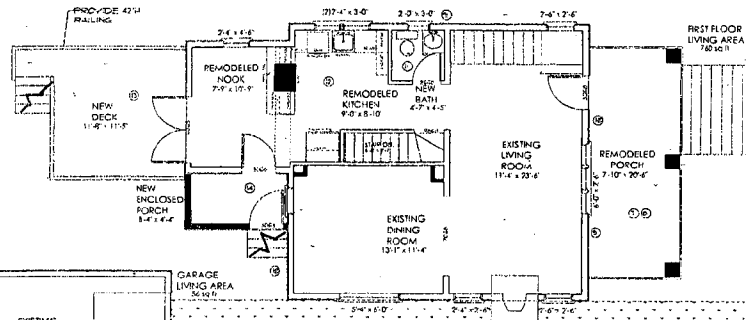
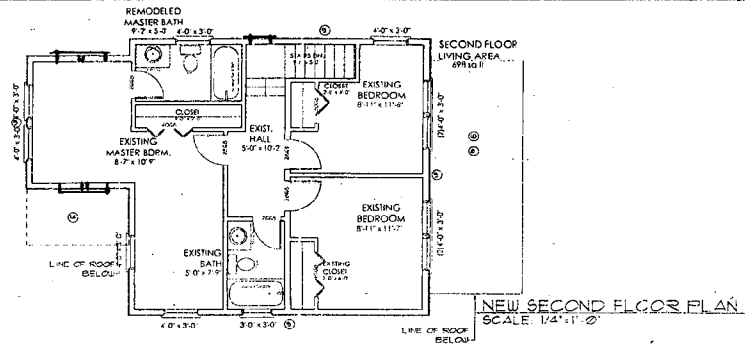
254 PARK AVENUE
PARK AVENUE
S 01 09 E
N 88 51 E

IMACE DESIGN



DRAWING NOTES

- 1 - PROVIDE NEW BATHROOM IN BASEMENT.
- 2 - PROVIDE NEW LAUNDRY + UTILITY ROOM IN BASEMENT.
- 3 - ALL EXTERIOR WALL IN THIS AREA TO BE RURRED OUT USING 1-1/2" METAL STUDS AND 1/2" GREEN BOARD (TYPICAL).
- 4 - PROVIDE VINYL COMPOSITE TILE FLOOR IN THIS AREA. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFO.
- 5 - PROVIDE CERAMIC TILE FLOOR IN THIS AREA. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFO.
- 6 - PROVIDE 1/2" GYPSUM BOARD IN THE AREA. REFER TO FINISH SCHEDULE FOR ADDITIONAL INFO.
- 7 - REPAIR EXISTING PORCH AND STAIRS.
- 8 - REPLACE EXISTING ROOF ABOVE PORCH. ROOF TO MATCH EXISTING IN TYPE.
- 9 - EXISTING EXTERIOR SIDING TO BE PAINTED. COLOR TO BE SELECTED BY OWNER.
- 10 - ALL EXTERIOR TRIM, GUTTERS AND DOWNSPOUTS TO BE PAINTED.
- 11 - PROVIDE NEW BATHROOM ON FIRST FLOOR. REFER TO PLAN FOR ADDITIONAL INFO.
- 12 - EXISTING KITCHEN TO BE REMODELED AS PER PLANS.
- 13 - PROVIDE NEW PRESSURE TREATED WOOD DECK AS PER PLANS. REFER TO DETAIL FOR ADDITIONAL INFO.
- 14 - PROVIDE NEW REAR PORCH AS PER PLANS. REFER TO DETAILS FOR ADDITIONAL INFO.
- 15 - REFER TO ELECTRICAL PLANS FOR DETAILED ELECTRICAL DETAILS AND LAYOUTS.
- 16 - REFER TO MECHANICAL PLANS FOR DETAILED MECHANICAL + PLUMBING DETAILS AND LAYOUTS.
- 17 - THE RENOVATION SHALL UNDER NO CIRCUMSTANCE INVOLVE THE ALTERATION OR MODIFICATION OF ANY EXISTING STRUCTURAL INTEGRITY OF THE BUILDING.
- 18 - NO ALTERATIONS ARE TO BE DONE TO THE EXISTING FOUNDATION OR THE EXISTING MASONRY WALLS.
- 19 - ALL WORK TO BE DONE IN STRICT COMPLIANCE WITH THE GOVERNING BUILDING CODES.
- 20 - PROVIDE TYPE R-13 INSULATION THROUGHOUT.



PART FRAMING PLAN
SCALE: 1/2" = 1'-0"

PART CEILING & ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"

NEW BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLANS AND NOTES

254 PARK AVENUE
TAKOMA PARK, MARYLAND
ALTERATION & REPAIR

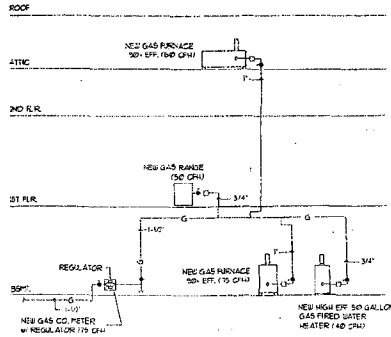
IMAGE DESIGN
WASHINGTON DC + LOS ANGELES CA
design + construction

revisions



CD SET
15 SEPTEMBER 2003

A-1



GAS RISER DIAGRAM NOT TO SCALE

PLUMBING / MECHANICAL NOTES

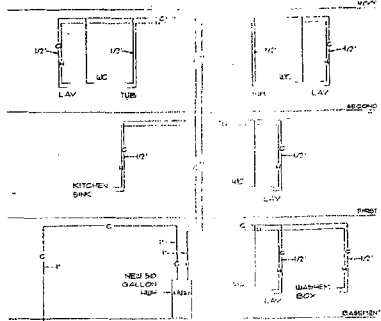
1. Provide properly sized gas supply line to new gas fired equipment after installation. See all requirements of all applicable codes.
2. Remove any abandoned gas service to equipment and cap off as necessary.
3. Remove abandoned boiler and plug existing openings in existing chimney if not to be reused.
4. Provide all necessary hot and cold water services to gas grey box for clothes washer.
5. Vent the clothes dryer to the exterior in a neat workman like manner, and provide a cover.
6. Coordinate as necessary with Gas Company for re-use of existing gas meter.
7. Secure and pay for all permits required to accomplish the plumbing work.
8. Have Rod-Rooter service to thoroughly clean all lines including the drain lines from main individual bathroom and kitchen. Clean-ups at the exterior of the building as per code.
9. Install shutoff valves on water supply lines to every fixture. After shut-off valves are installed cap any remaining water lines and test all water lines to meet PFG means.
10. Provide required connection and/or fittings in vent stack in kitchen for kitchen sink disposal.
11. Replace all sink and water closets in all bathrooms complete with new, including flanges ETC.
12. Install new toilets in all areas and overflow lines in all tubs. Replace any damaged flange, tubs are to be replaced as necessary only.
13. Finish and install all service and drain lines to new kitchen.
14. Remove any exposed, unused or abandoned pipe.
15. At conclusion leave all plumbing work in a satisfactory condition.
16. Gas piping based on 1/2" PFG Gas, 3" max P.D., 300 ft. equiv. length.

MECHANICAL EQUIPMENT

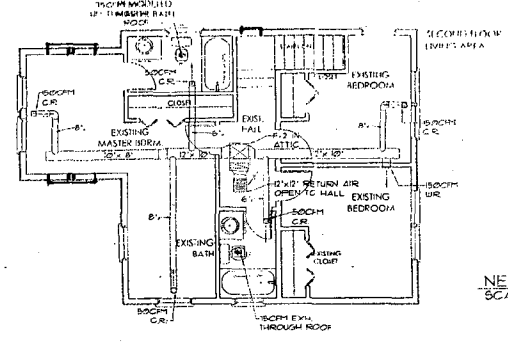
12. F-2-GAS FIRED 90 PLUS HIGH EFFICIENCY UPFLOW FURNACE #1 - INDOOR HEATING + COOLING UNIT
 - A. Gas fired upflow furnace (FURNACE Model BORA-2700-1000) GAS FIRED FURNACE or approved equal. Input BTUH 50,000 (50,000 BTUH Direct Drive motor - 1/2HP). All flow 1000 CFM @ 2.0 external static pressure (in. WC) @ HIGH SPEED 30% EFFICIENCY.
 - B. Direct expansion coil section (R410A) High-Efficiency INDOOR COIL SECTION or approved equal.
 - C. Provide ducted discharge plenum with flexible connection at unit) and extend up to connect to new supply ductwork. Provide volume dampers at all horizontal duct connections.
 - D. Provide and install heating/cooling thermostat, location as shown on plans.
- 2A. QW1 - HIGH EFFICIENCY CONDENSING UNIT, OUTDOOR UNIT
 - A. Condensing Unit (FURNACE Model R410-036A2) or approved equal. Total BTUH 70,000, sensible BTUH 15,000 units to be compatible with indoor coil section.
13. F-3-GAS FIRED 90 PLUS HIGH EFFICIENCY UPFLOW FURNACE #1 - INDOOR HEATING + COOLING UNIT
 - A. Gas fired upflow furnace (FURNACE Model BORA-2700-1000) GAS FIRED FURNACE or approved equal. Input BTUH 50,000 (50,000 BTUH Direct Drive motor - 1/2HP). All flow 1000 CFM @ 2.0 external static pressure (in. WC) @ HIGH SPEED 30% EFFICIENCY.
 - B. Direct expansion coil section (R410A) High-Efficiency INDOOR COIL SECTION or approved equal.
 - C. Provide ducted discharge plenum with flexible connection at unit) and extend up to connect to new supply ductwork. Provide volume dampers at all horizontal duct connections.
 - D. Provide and install heating/cooling thermostat, location as shown on plans.
23. QW1 - HIGH EFFICIENCY CONDENSING UNIT, OUTDOOR UNIT
 - A. Condensing Unit (FURNACE Model R410-036A2) or approved equal. Total BTUH 70,000, sensible BTUH 15,000 units to be compatible with indoor coil section.
3. Contractor shall be responsible for coordination of all heating/air conditioning components for compatibility of installation and operation.
 - a. Run and isolate refrigerant pipes as per manufacturer's recommendations. Coordinate location of piping with field conditions.
 - b. Contractor to size and run all lines as per code.
 - c. Inspect, relocate and replace as necessary all existing supply ductwork, and registers with similar sizes. Coordinate with owner, architect and construction manager.
4. Mechanical contractor shall be responsible for coordination with construction manager, all other trades as well as coordinating electrical, register and mechanical equipment.
 - a. It shall be the contractor's responsibility to verify existing conditions before commencing work and to notify owner/construction manager if a condition exists which prevents the contractor from accomplishing the intent of the drawings.
 - b. Mechanical contractor shall verify existing ductwork conditions at job site.
 - c. All work and materials shall be installed in accordance with all codes and authorities having jurisdiction.
 - d. The contractor shall make all arrangements and pay for all fees, charges and permits required, as well as for all heating, piping and components on drawings.
 - e. Upon completion of installation, the entire heating and air conditioning and venting systems and controls shall be fully operational and ready for use.
 - f. All work and equipment shall be thoroughly cleaned and ready for use or the owner before final inspection and approval by the owner or the architect.
 - g. Contractor shall be responsible and pay for any damages caused by or resulting from defects in the work.
 - h. Physical dimensions as well as mechanical and electrical capabilities of submitted units shall meet that of specific units. Mechanical contractor is responsible for all costs due to changes required for substituted units.
 - i. Contractor to provide and install all control wiring.

PLUMBING NOTES

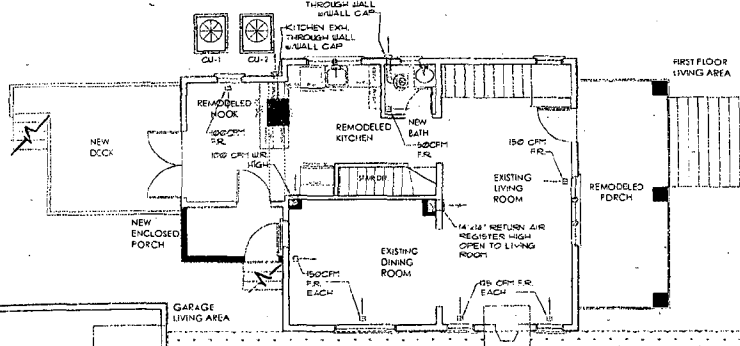
1. ALL 1/2" SANITARY PIPING AND LARGER SHALL BE SLOPED AT 1/8" PER FOOT. ALL 1" SANITARY AND SMALLER SHALL BE SLOPED AT 1/16" PER FOOT.
2. ALL WATER AND VENT PIPING SHALL BE INSTALLED ABOVE FLOOR SLAB, UNLESS OTHERWISE NOTED.
3. ALL VENT PIPING SHALL BE FITTED FOR DRAINAGE + 1/4" PER FEET MINIMUM.
4. ALL EQUIPMENT PHYSICAL DIMENSIONS SHOWN ON PLUMBING DRAWINGS ARE APPROXIMATE ONLY. CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL EQUIPMENT DIMENSIONS IN ACCORDANCE WITH MANUFACTURER'S SHOP DRAWINGS AND COORDINATION WITH OTHER TRADES.
5. THE CONTRACTOR SHALL COORDINATE WITH ALL TRADES PRIOR TO INSTALLATION OF PLUMBING WORK.
6. THE CONTRACTOR SHALL PROVIDE AND COORDINATE ALL PLUMBING CONNECTIONS BETWEEN DEVICES AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
7. ALL PIPING SHALL BE SUPPORTED IN SUCH MANNER AS TO ELIMINATE SAGS AND VIBRATION.
8. CONTRACTOR TO PROVIDE NEW CUMBER WATER SERVICE, COORDINATE WITH THE DISTRICT FOR AVAILABILITY.
9. CONTRACTOR TO PROVIDE NEW GAS CONNECTION TO ALL APPLIANCES AND EQUIPMENT. WORK TO BE AS PER GOVERNING CODES.
10. CONTRACTOR TO PROVIDE NEW 1" CLEAN OUT AT EXTERIOR OF BUILDING.



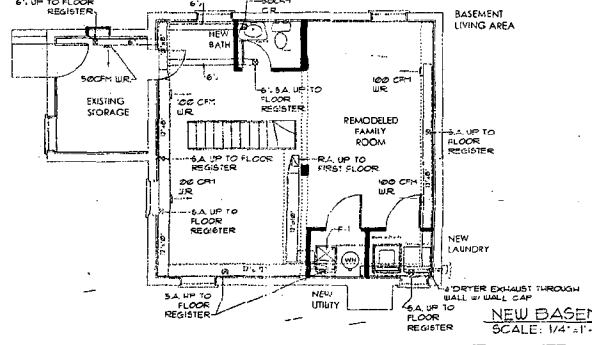
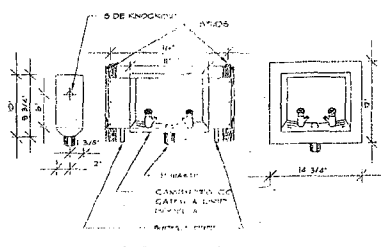
WASHER CONNECTION BOX NOT TO SCALE



NEW SECOND FLOOR PLAN SCALE: 1/4" = 1'-0"



NEW FIRST FLOOR PLAN SCALE: 1/4" = 1'-0"



NEW BASEMENT FLOOR PLAN SCALE: 1/4" = 1'-0"

MECHANICAL FLOOR PLANS AND NOTES

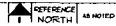
254 PARK AVENUE
TAKOMA PARK, VIRGINIA
ALTERATION & REPAIR

IMAGE DESIGN
WASHINGTON DC + LOS ANGELES CA
design & construction

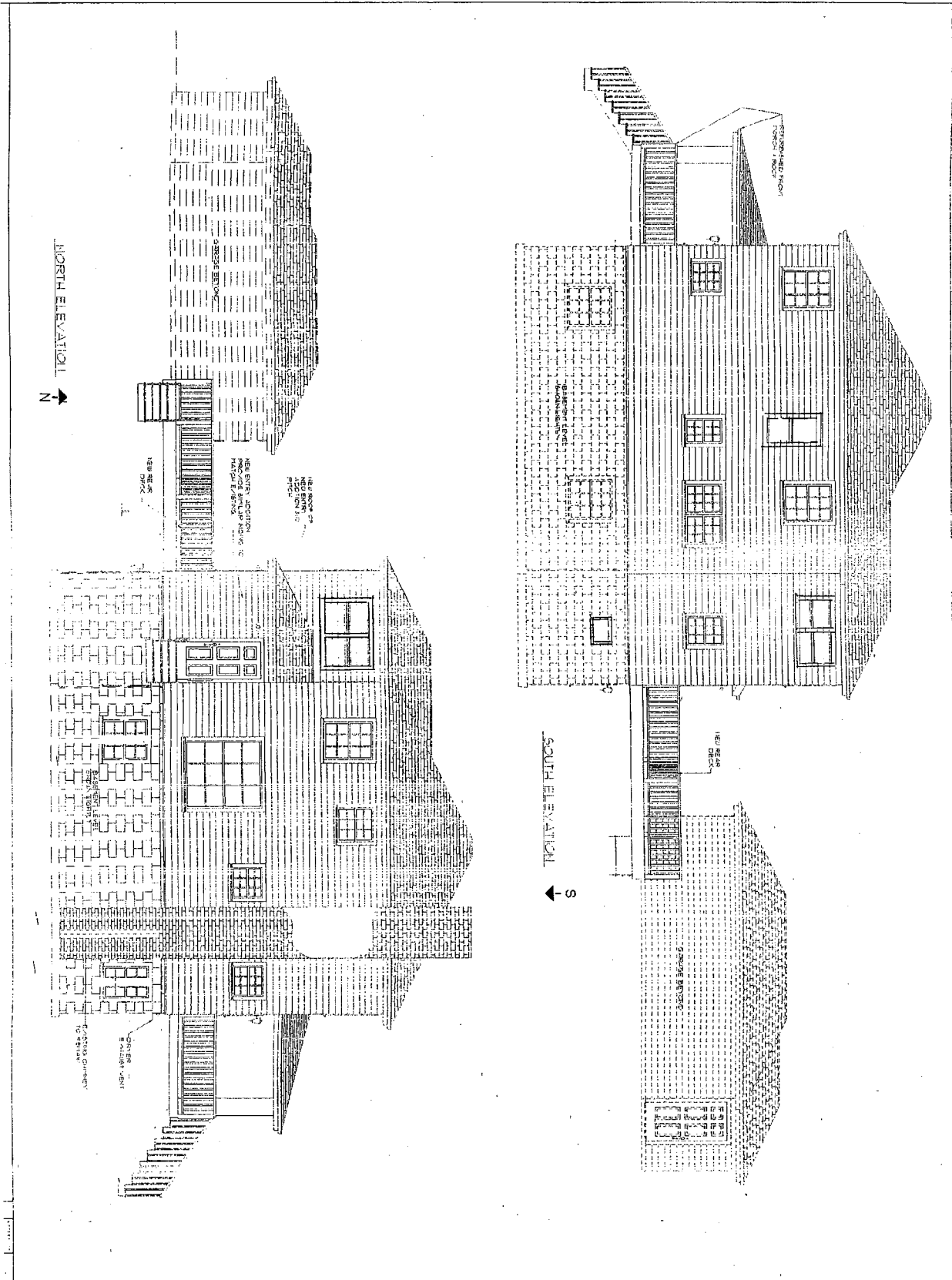
revisions

CD SET
19 DECEMBER 2003

A-4



DATE: 12/19/03



NORTH ELEVATION



SOUTH ELEVATION



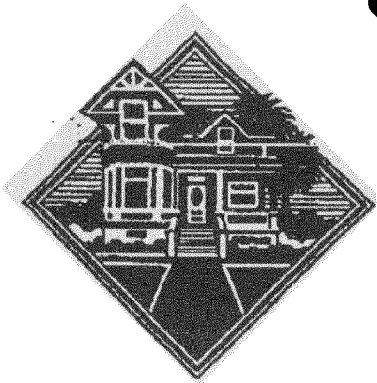
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DATE: 10/10/2000
SCALE: AS SHOWN

SUBJECT:

IMAGE DESIGN
WASHINGTON DC + LOS ANGELES CA
design & construction

254 PARK AVENUE
TAKOMA PARK, MARYLAND
ALTERATION & REPAIR -



LAMY ENTERPRISES

CENTRAL CONTRACTOR

9 KETTLE POND COURT
ROCKVILLE MD, 20854

2850

PHONE/FAX: (301) 424-~~5741~~

Fax

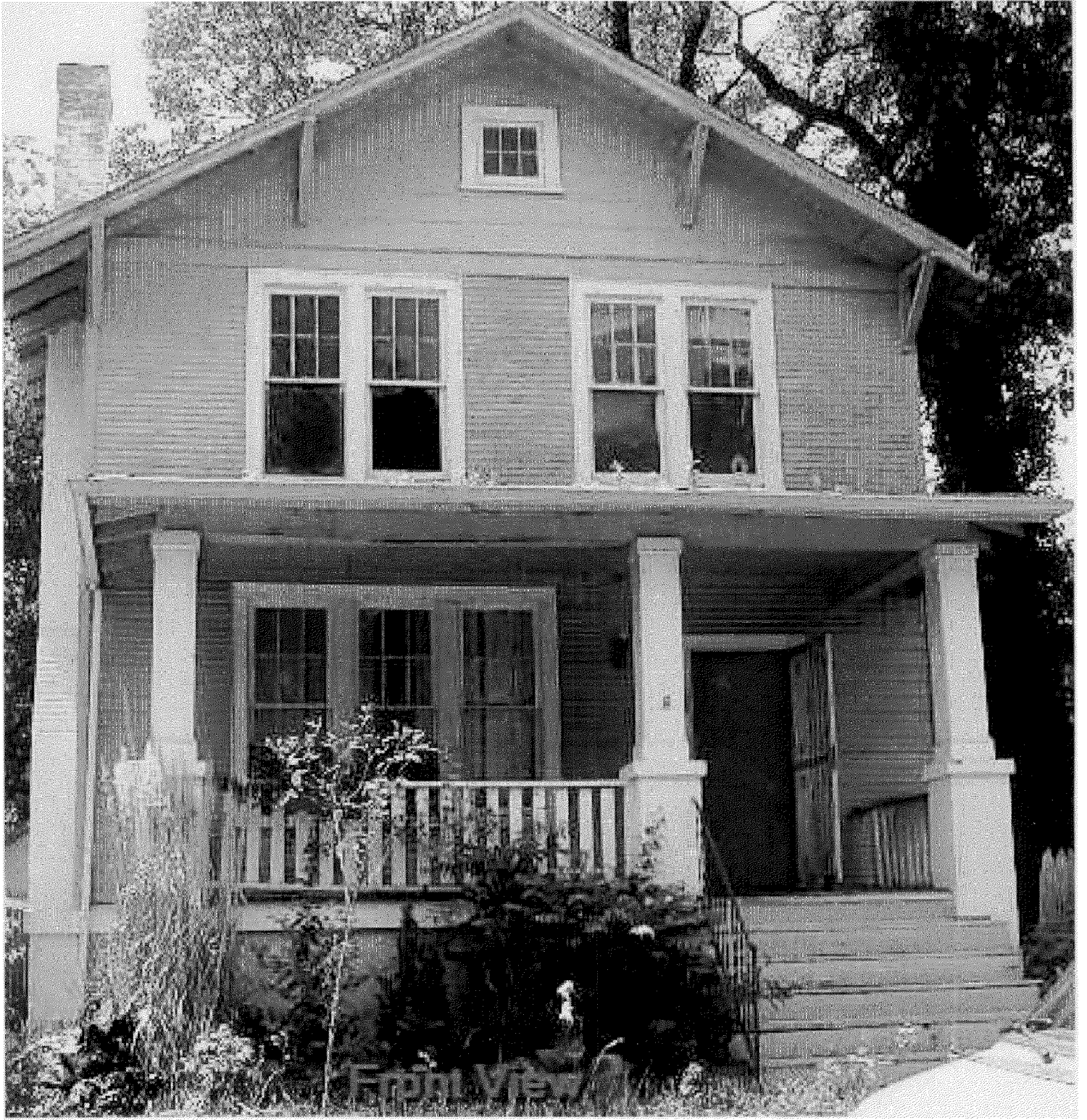
To: <u>Mr. Ann @</u>	From: ROBERTO LAMY
Fax: <u>301 563-3412</u>	Date: <u>10-14-03</u>
Phone: <u>563-3408</u>	Pages: <u>1</u>
Ref:	CC:

Urgent For Review Please Comment Please Reply Please Recycle

•Comments:

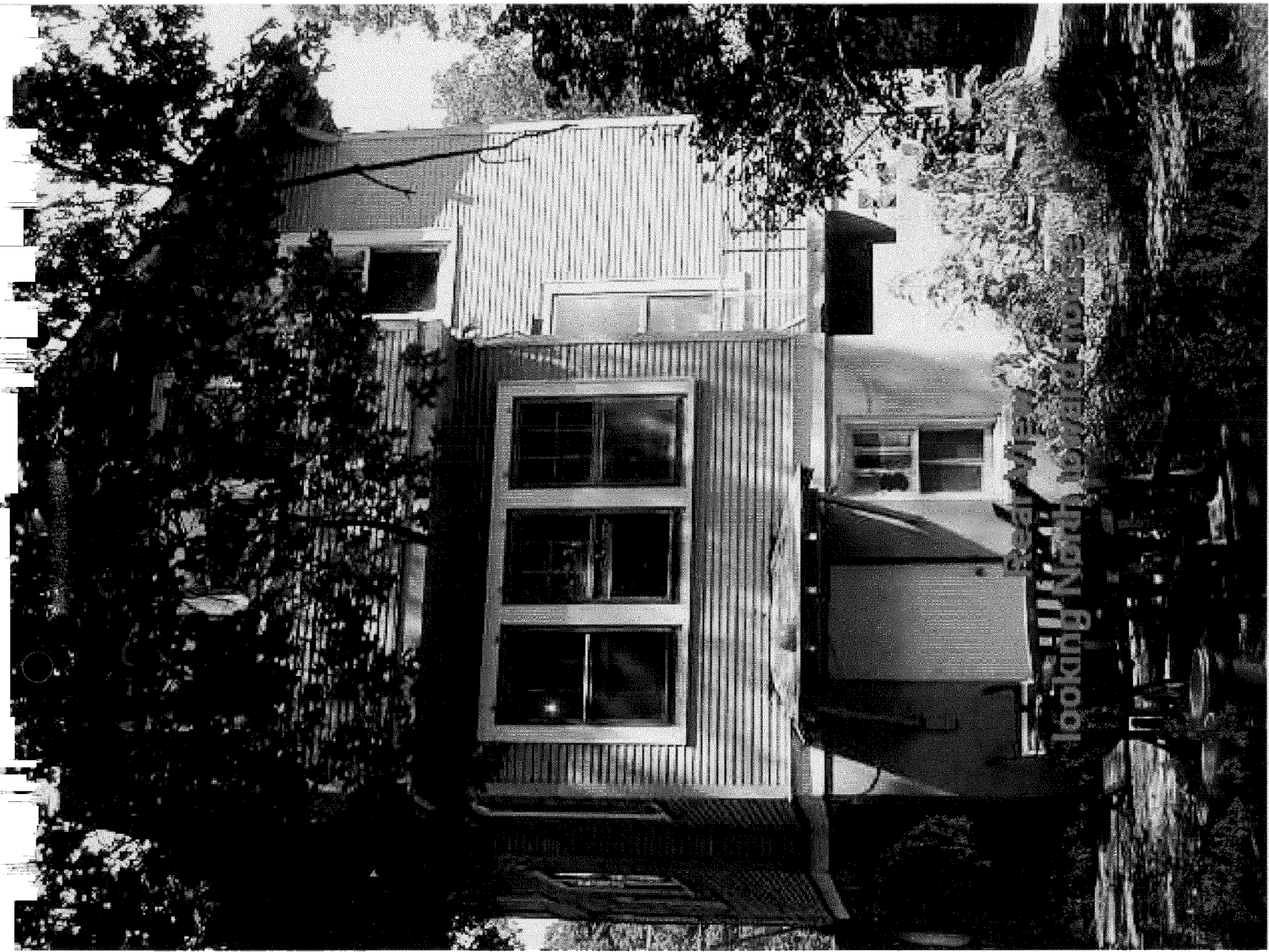
Owner: Edina Morse 254 Park Av.
 Takoma Park, MD 20912
 Tel: 301-270-1355

- ① Materials to be used for new deck and steps: Treated wood, No painted.
- ② Enclosed Porch Materials: wood siding and roof / shingles.
- ③ French door: French, Anderson doors, outside Finished Vinyl Clad.
- ④ Are existing steps from side porch to remain? Yes





PORCH TO BE ENCLOSED

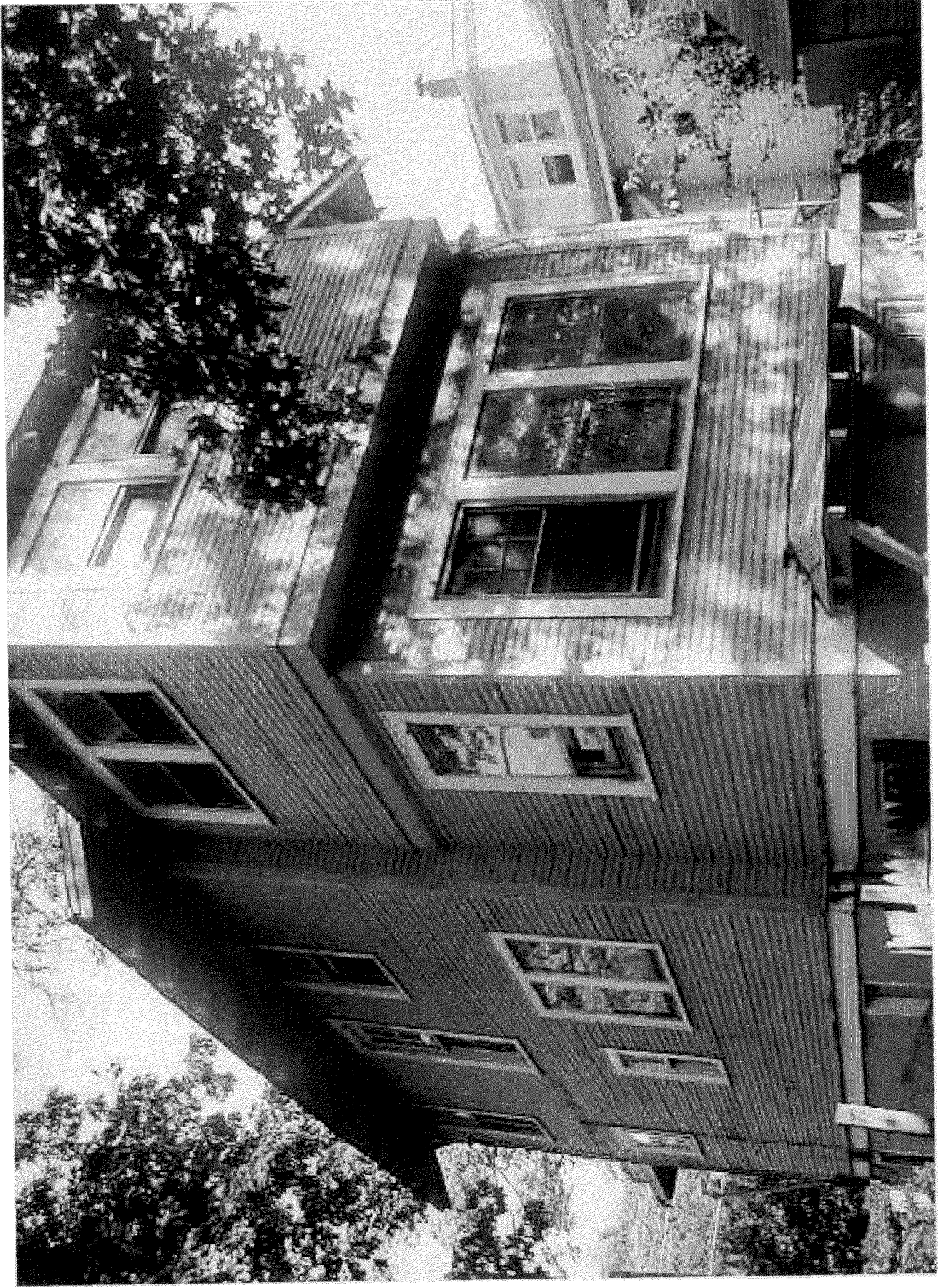


Looking North toward Pool



Northeast View
Looking South

September 30, 2003



VIEW OF WEST SIDE

September 30, 2003

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