

37/3-98KK 27 Pine Avenue  
(Takoma Park Historic District)

NOTES:

GENERAL CONDITIONS

AIA Document A201 "General Conditions of the Contract for Construction" applies to the work under this contract.

EXTENT OF WORK

The Contractor is responsible for all work herein specified or shown on the accompanying drawings. The Contractor, under this agreement, shall provide all materials, labor and equipment and pay for all freight, taxes, handling of materials required for the full performance of the work. Additional work not shown on drawings required to accomplish construction of all complete systems to be Contractor's responsibility.

LAYING OUT THE WORK

The Contractor shall lay out the work, the location of which shall be reviewed by the Architect prior to proceeding with the work. Check critical dimensions (indicated on drawings) entirely before work commences. Minor adjustments of the dimensions from the dimensions indicated on the drawings may be necessary.

GRADING

The Contractor shall regard all work as indicated in the drawings as necessary to create adequate water run-off away from affected buildings. Contractor to rough and fine grade all disturbed areas. Confirm final grading with owner at site. Backfill and fill all excavations as promptly as work permits. Remove excess fill/sub-soil from site. Place acceptable soil material in layers to required elevations. Use compatible soil material free of clay, rock or gravel larger than 2" in any dimension, debris, vegetable matter, and waste. Provide topsoil upon final grading.

TERMITE TREATMENT

The Contractor to treat soil and foundation walls with termite treatment prior to backfill. Provide certificate of treatment. Place approved termite shield around pipes, wiring and all other foundation wall penetrations.

TREE PROTECTION

Do not disturb trees or roots of trees. At piers hand dig and inspect all holes. Owner's arborist to cut any ragged root cuts clean and provide treatment for large oak near house. Protect root zone from compaction; grade disruption; solid contamination (i.e. solvents, concrete washout, wallboard washout) and machine traffic. Notify owner at least a week in advance of digging work so owner can schedule arborist. Build a platform for the traffic - layers of 4.5 oz. filter fabric (15" rolls) on grade with 3/4" plywood on 2x4 sleepers on 2 foot centers. Fence trunk and outer root zone not under plywood. Do not change grade around trees.

NOTES:

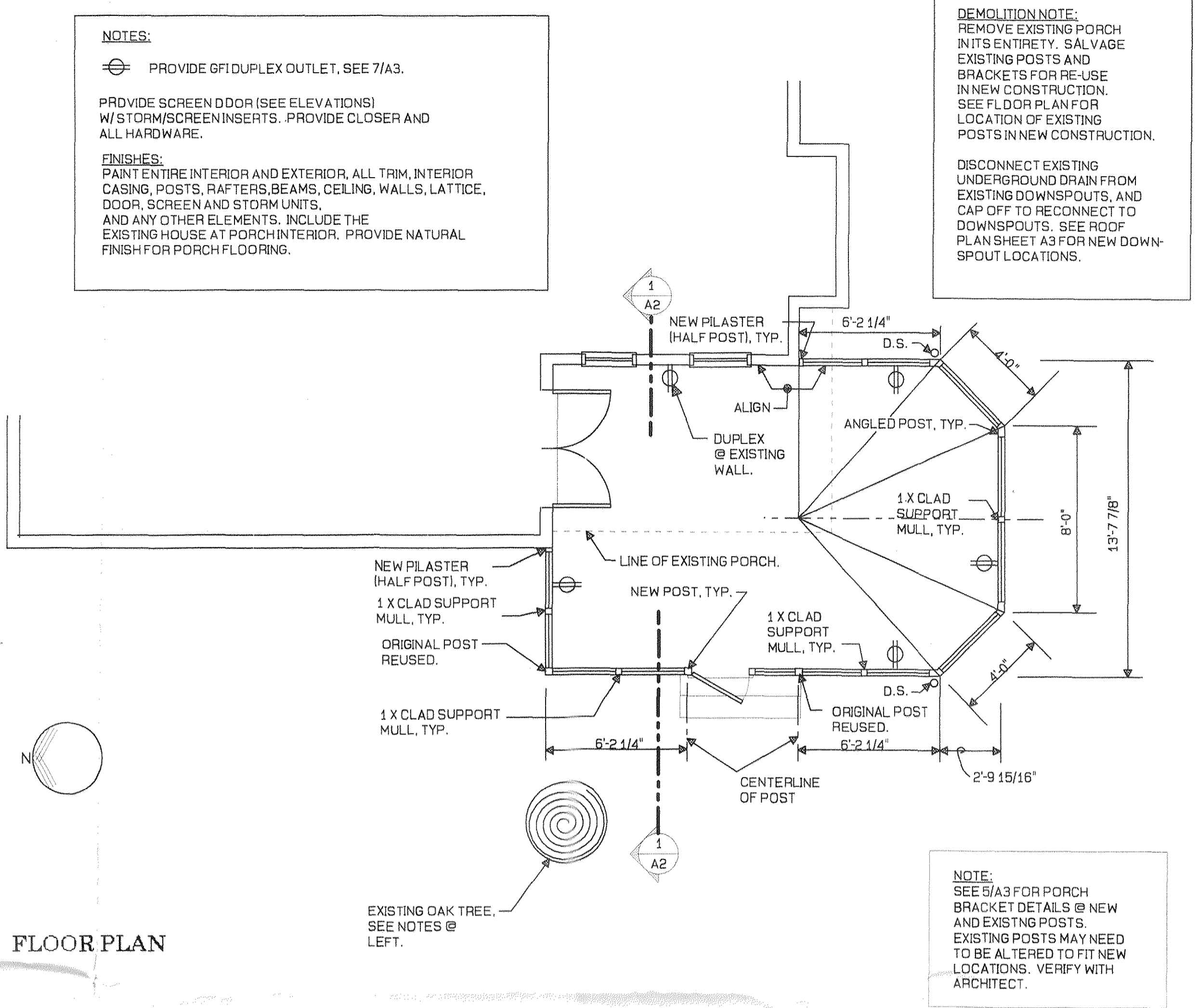
⊕ PROVIDE 6FIDUPLEX OUTLET, SEE 7/A3.

PROVIDE SCREEN DOOR (SEE ELEVATIONS) W/STORM/SCREEN INSERTS. PROVIDE CLOSER AND ALL HARDWARE.

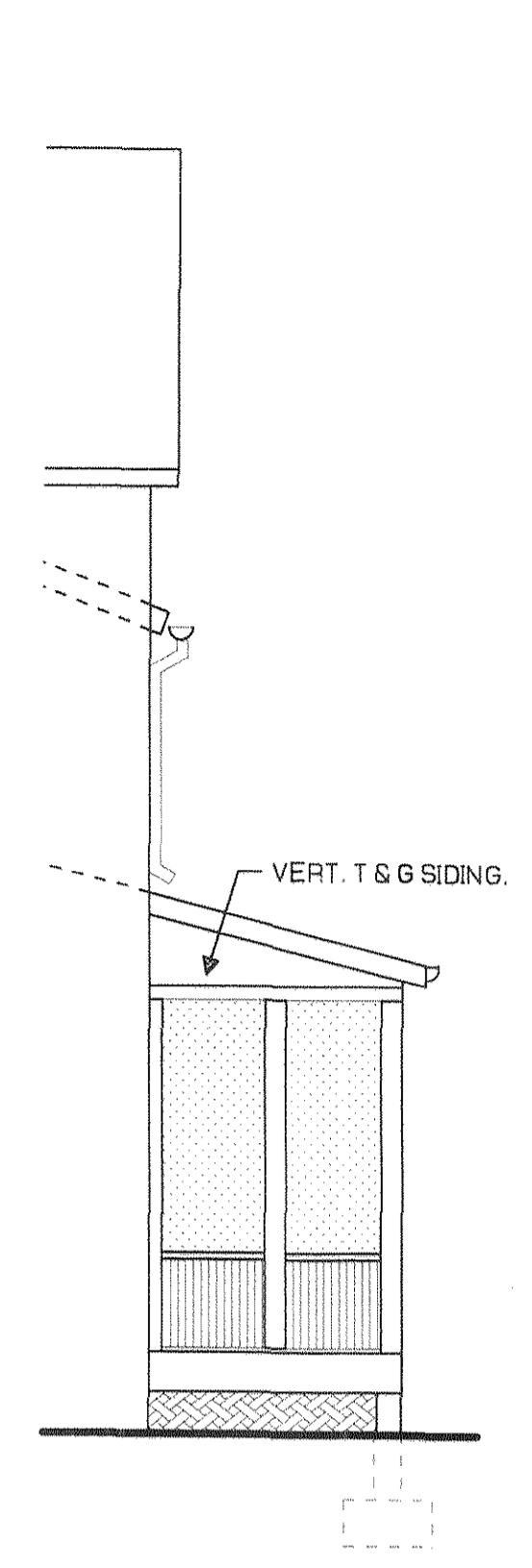
FINISHES: PAINT ENTIRE INTERIOR AND EXTERIOR, ALL TRIM, INTERIOR CASING, POSTS, RAFTERS, BEAMS, CEILING, WALLS, LATTICE, DOOR, SCREEN AND STORM UNITS, AND ANY OTHER ELEMENTS. INCLUDE THE EXISTING HOUSE AT PORCH INTERIOR. PROVIDE NATURAL FINISH FOR PORCH FLOORING.

DEMOLITION NOTE: REMOVE EXISTING PORCH IN ITS ENTIRETY. SALVAGE EXISTING POSTS AND BRACKETS FOR RE-USE IN NEW CONSTRUCTION. SEE FLOOR PLAN FOR LOCATION OF EXISTING POSTS IN NEW CONSTRUCTION.

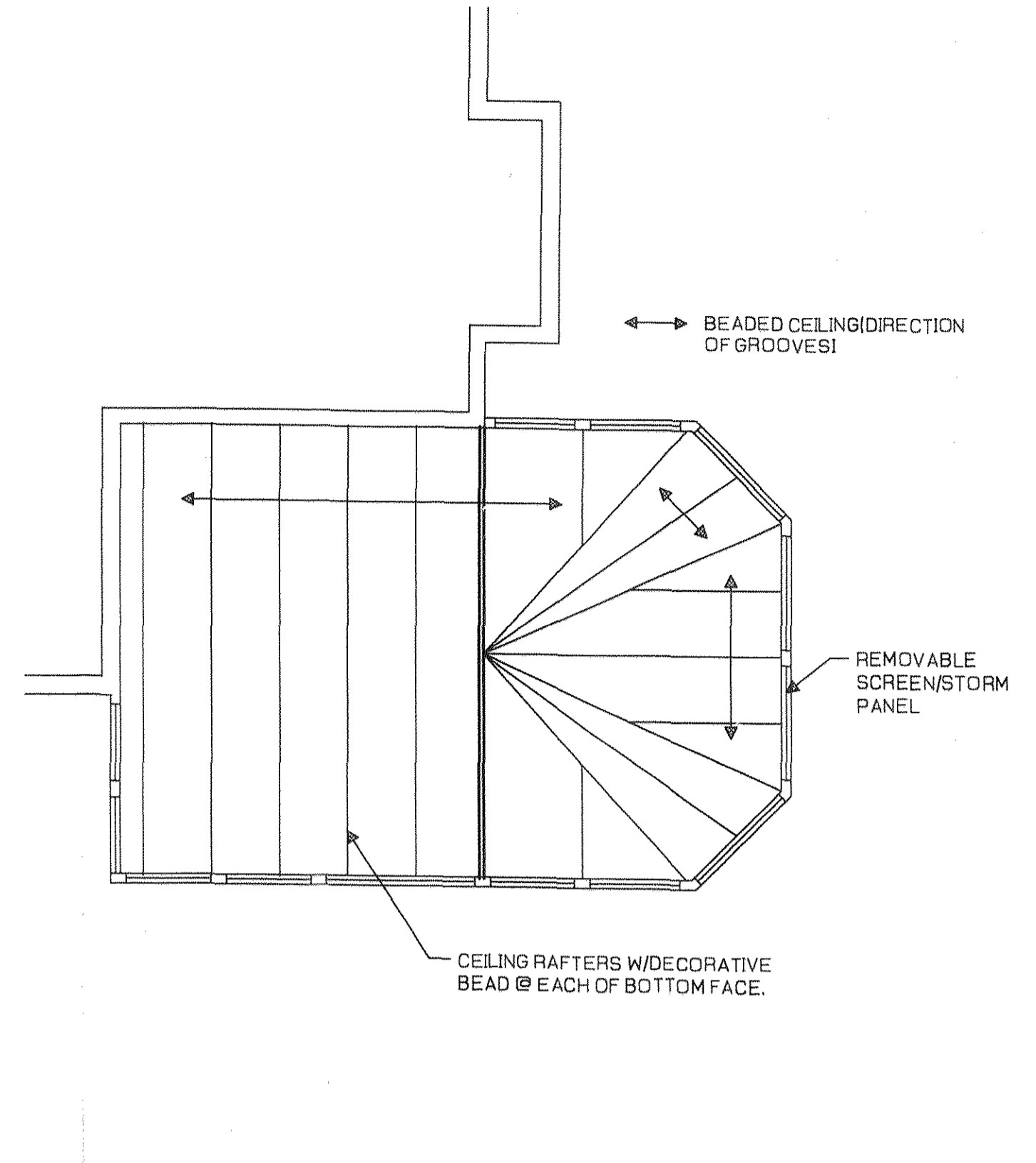
DISCONNECT EXISTING UNDERGROUND DRAIN FROM EXISTING DOWNSPOUTS, AND CAP OFF TO RECONNECT TO DOWNSPOUTS. SEE ROOF PLANSHEET A3 FOR NEW DOWNSPOUT LOCATIONS.



FLOOR PLAN



NORTH ELEVATION



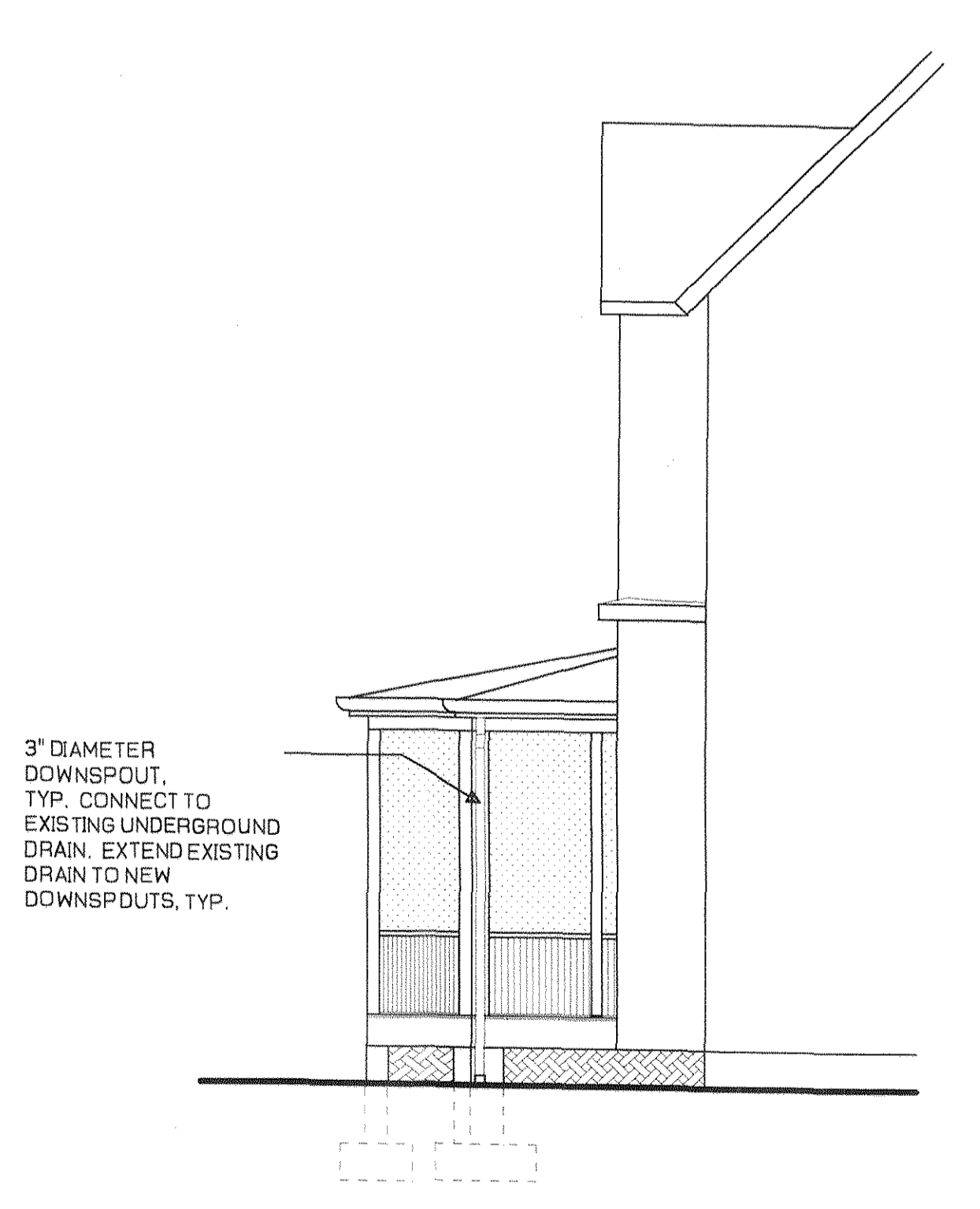
REFLECTED CEILING PLAN



REAR ELEVATION



SOUTH ELEVATION



STREET ELEVATION--FRONT

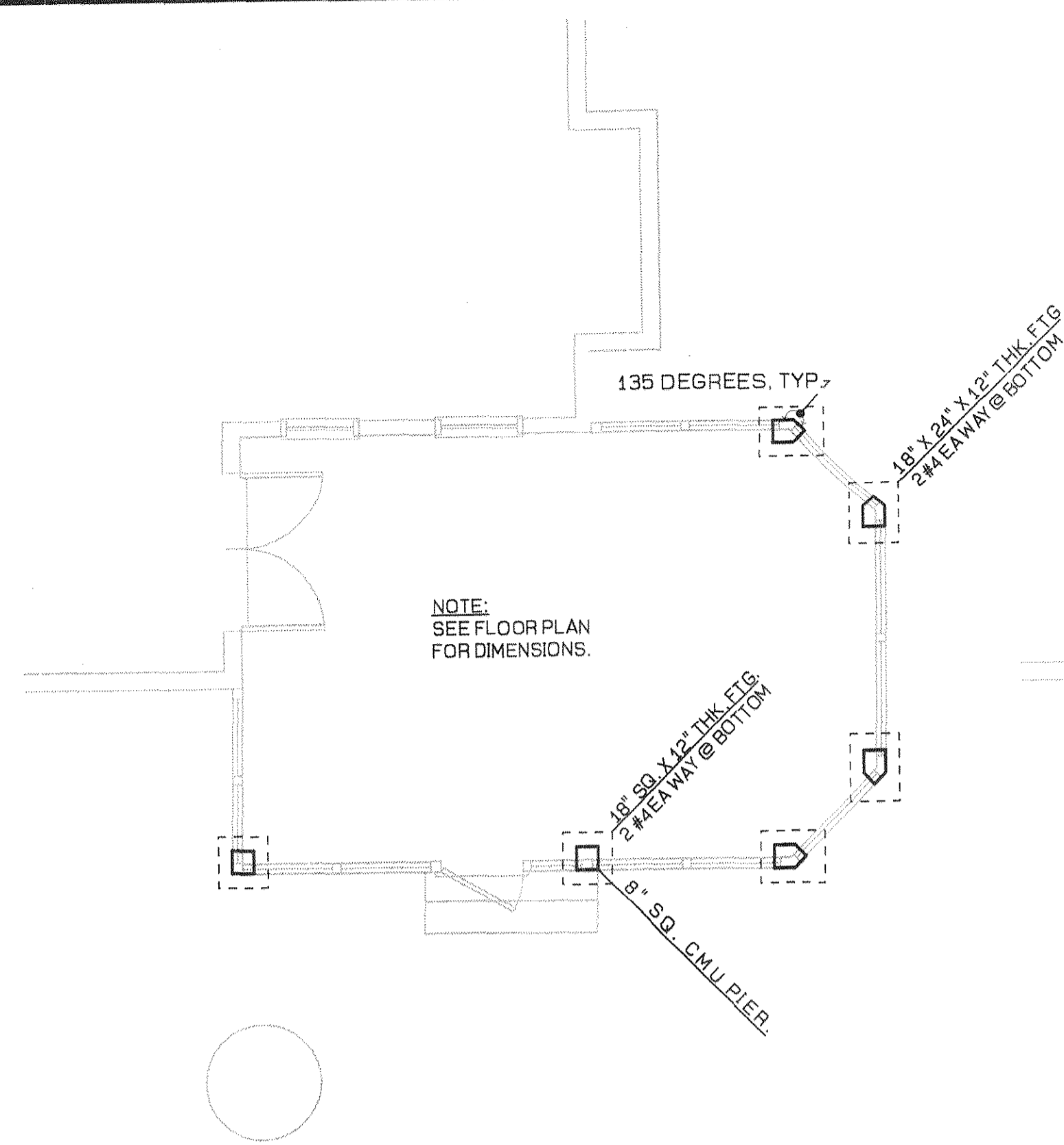
**STUDIO PARTNERSHIP ARCHITECTS**  
25 PINE AVE., TAKOMA PARK, MD. 20912 301 270-0990 301 270-0092 FAX

**ANGIER/WEISS ADDITION**  
27 PINE AVENUE, TAKOMA PARK, MARYLAND 20912

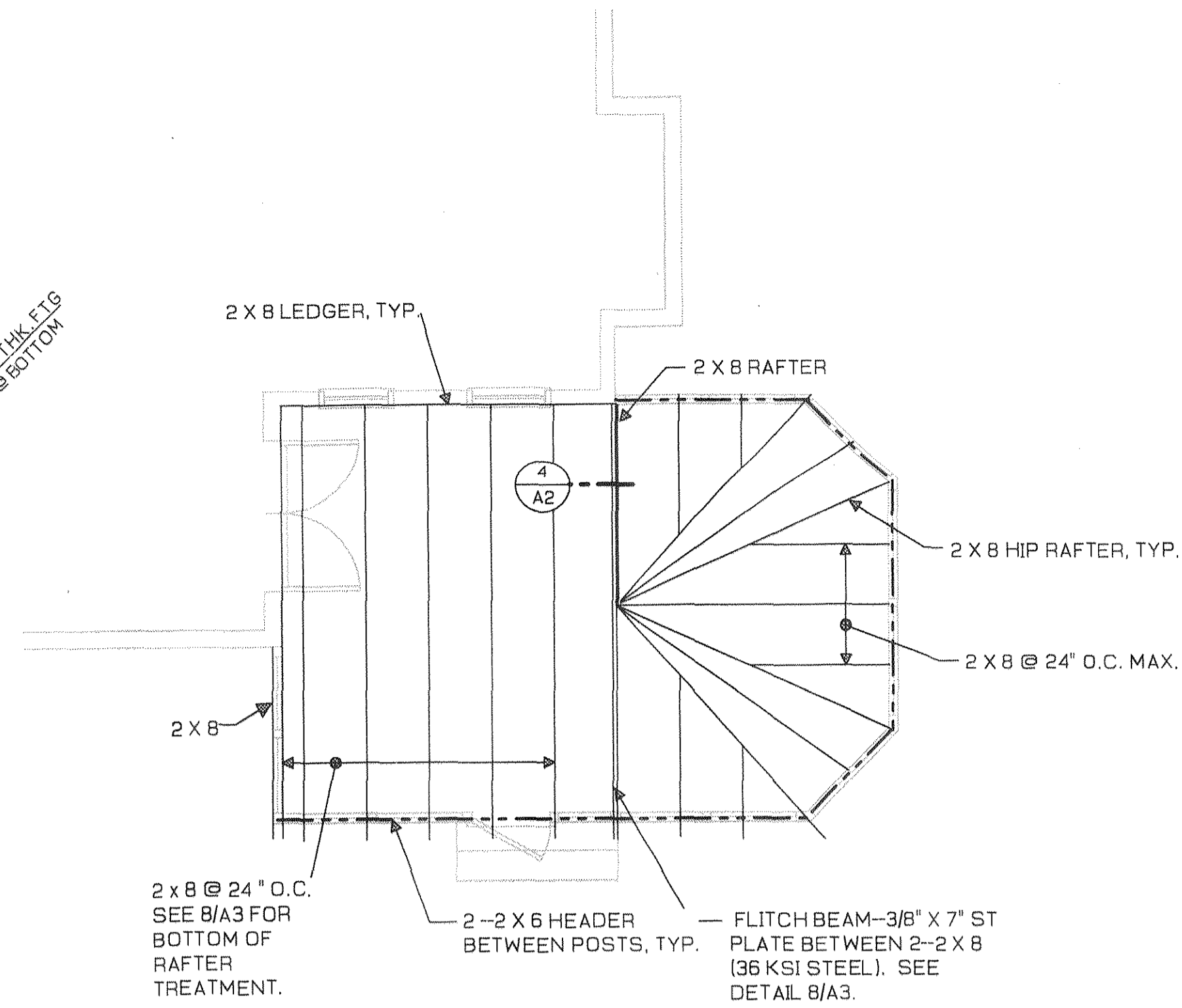
PLANS/ELEVATIONS  
SCALE 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
RDZ  
12/14/01

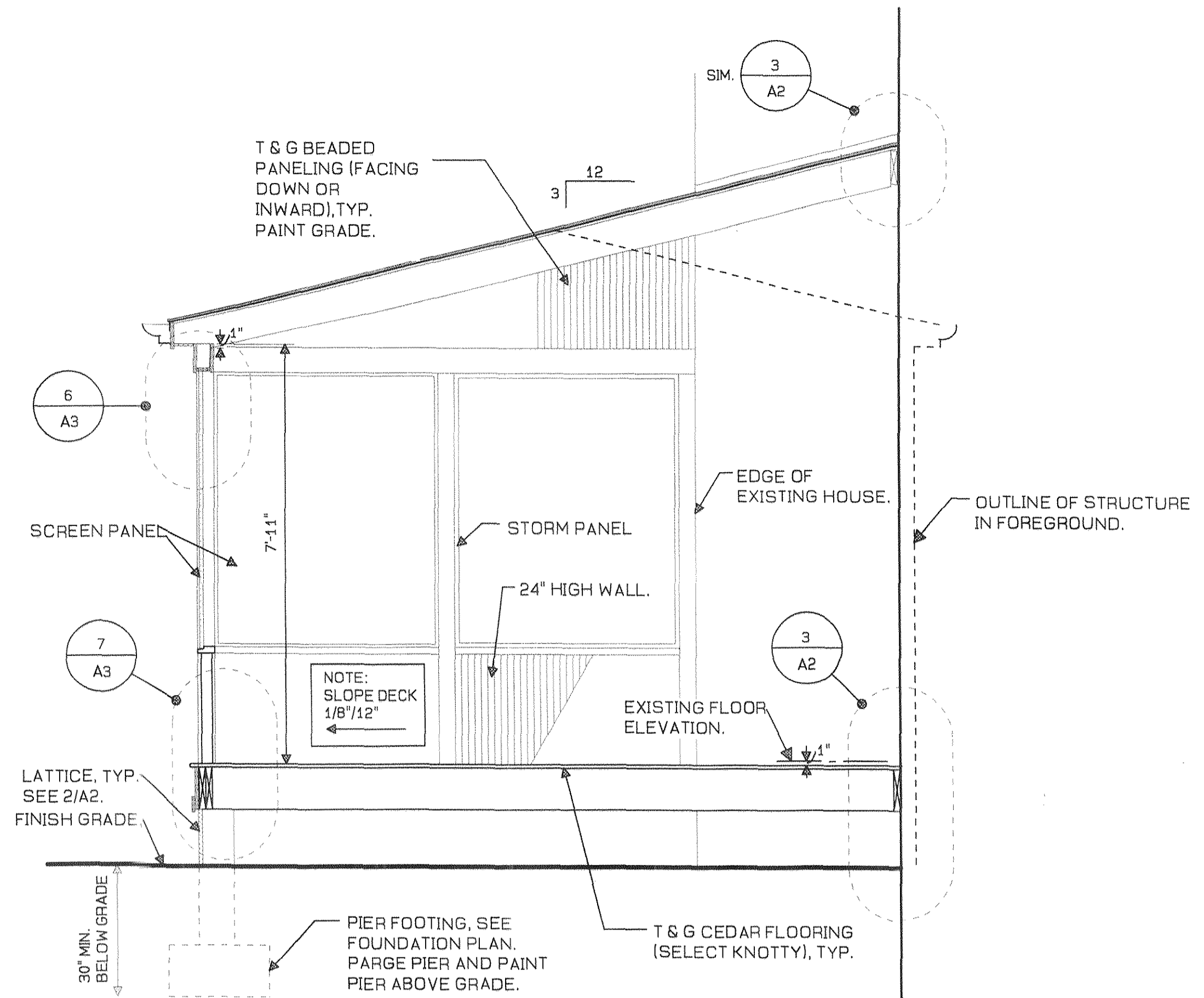
**A1**  
MARCH 1, 1999



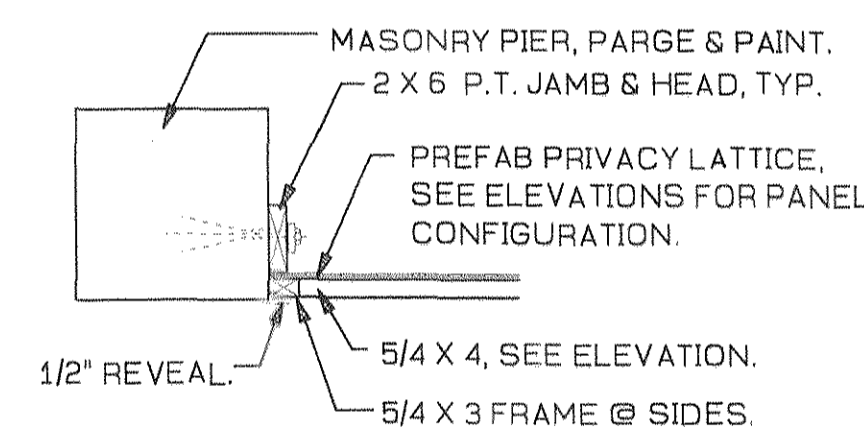
FOUNDATION PLAN



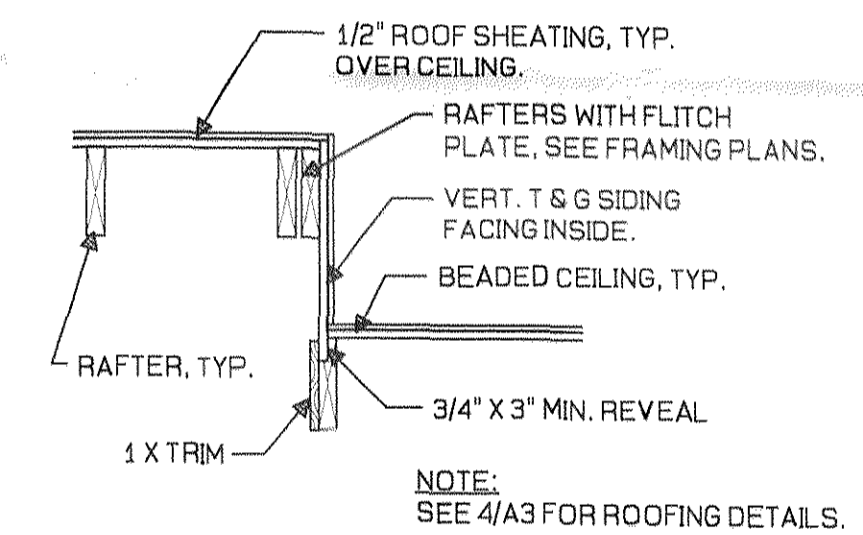
ROOF FRAMING PLAN



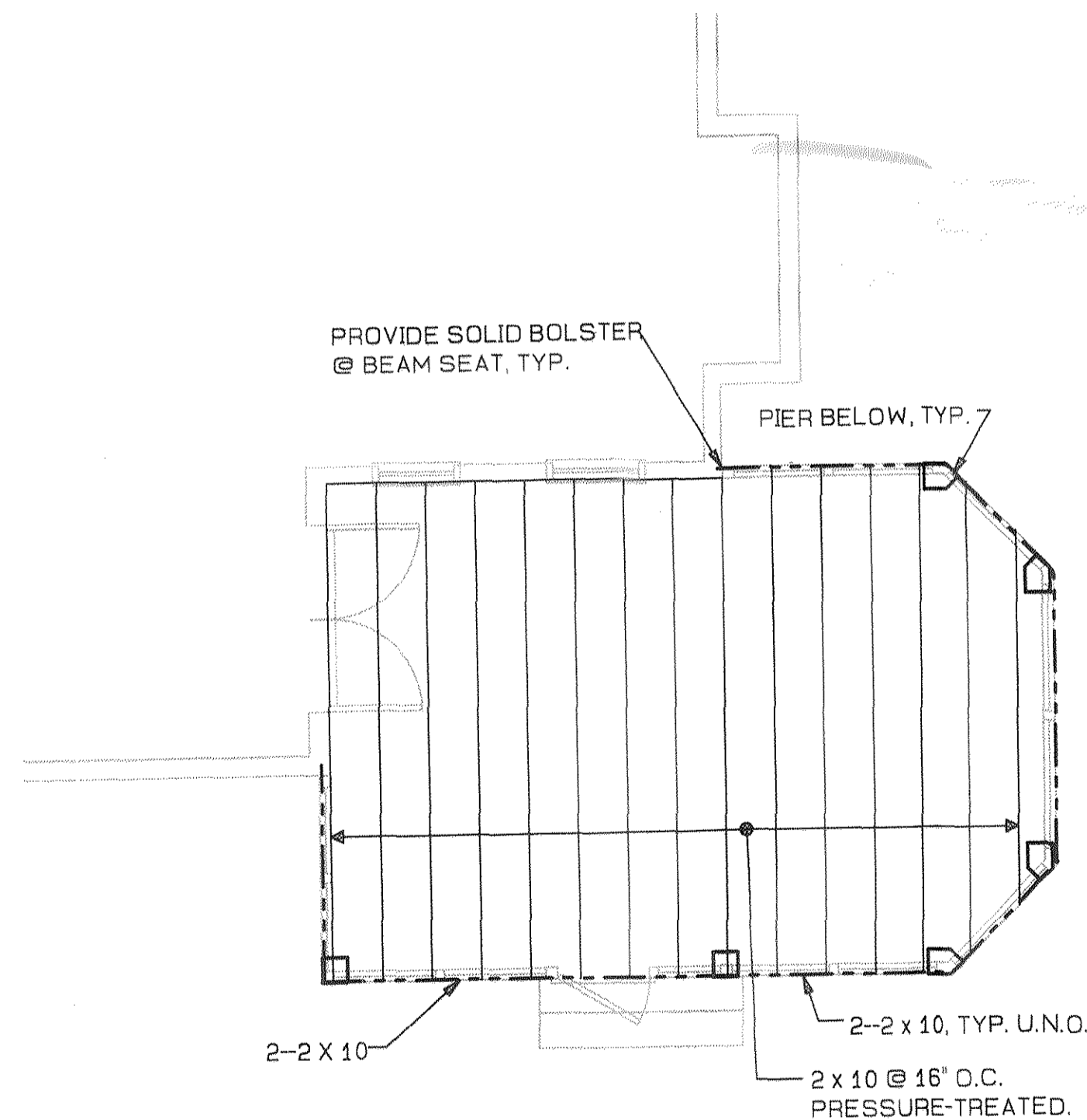
1 SECTION  
SCALE: 1/2" = 1'-0"



2 LATTICE DETAIL, TYPICAL  
SCALE: 3/4" = 1'-0"



4 ROOF SUBSTRATE DETAIL  
SCALE: 3/4" = 1'-0"



FIRST FLOOR FRAMING PLAN

GENERAL NOTES:

ALL FRAMING LUMBER SHALL HAVE AN  $F_b = 1200$  OR GREATER, AND  $E = 1.5$

ALL FOOTINGS ARE BASED ON 2 KSF ALLOWABLE SOIL BEARING CAPACITY. PROVIDE SOLID BEARING AT ALL MASONRY BENEATH POSTS.

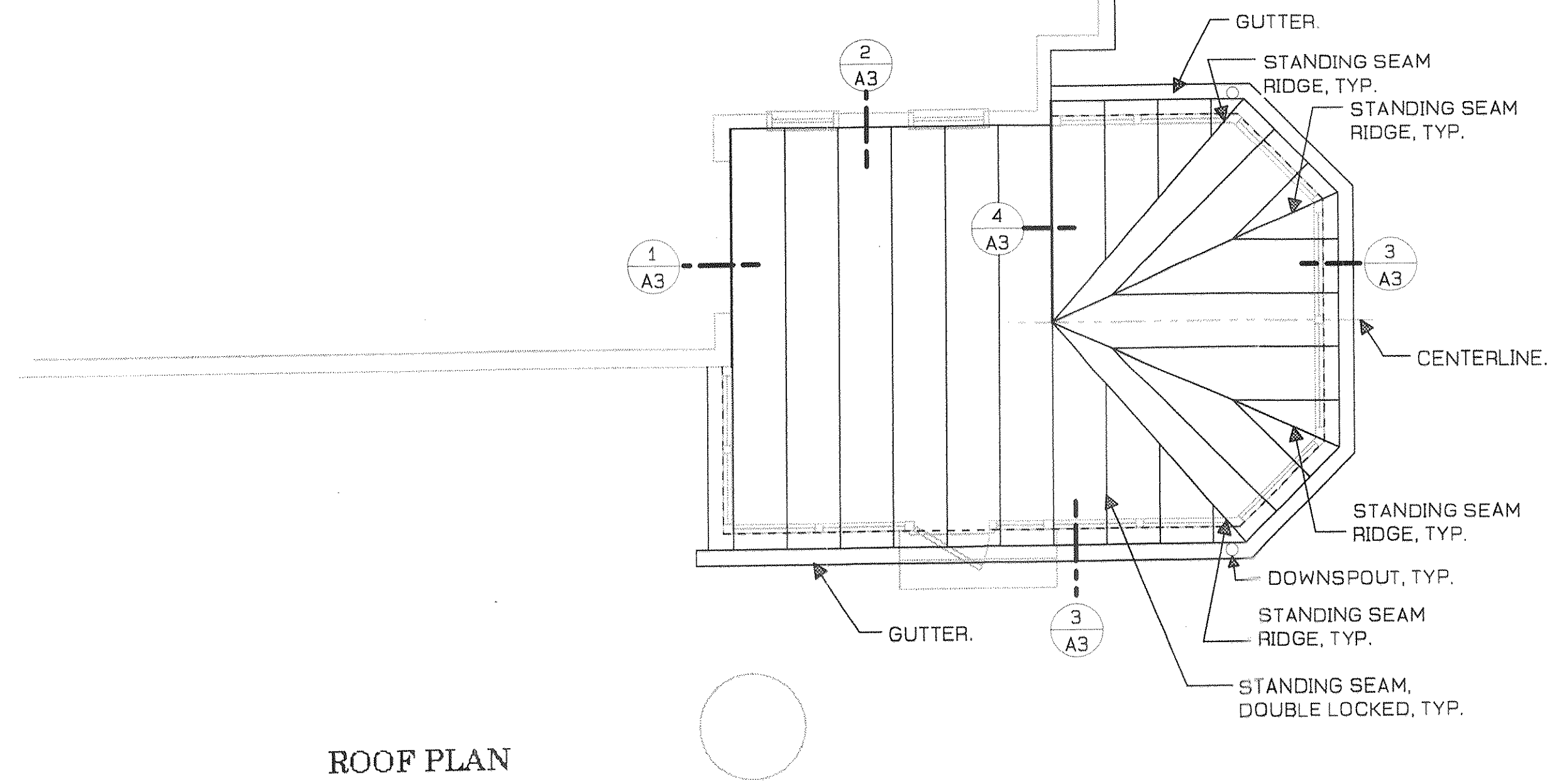
PROVIDE BRIDGING AT MIDSPAN, TYP.

PROVIDE WOOD PLATE AT ALL PIER TOPS, W/ANCHOR BOLTS SET IN SOLID GROUT.

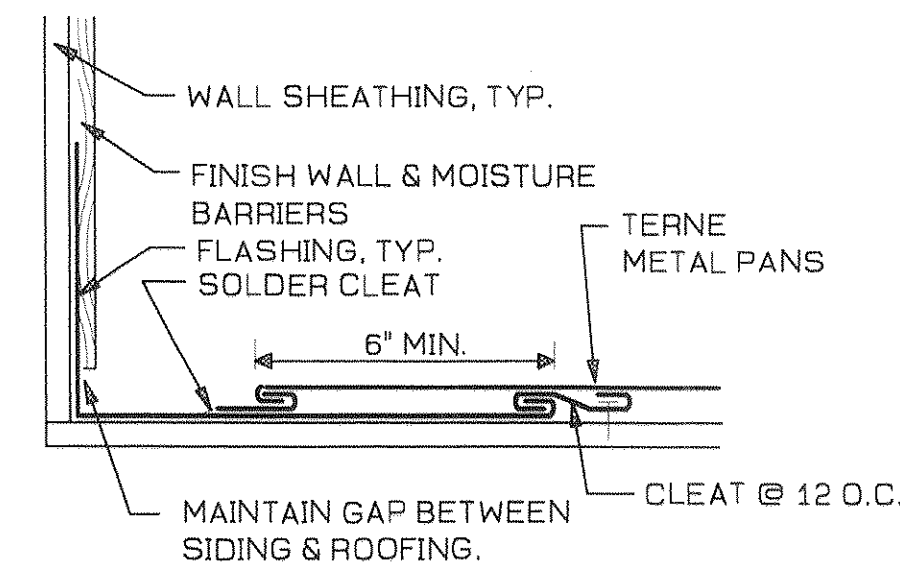
3 CONNECTION TO EXIST. HOUSE, TYPICAL  
SCALE: 3/4" = 1'-0"



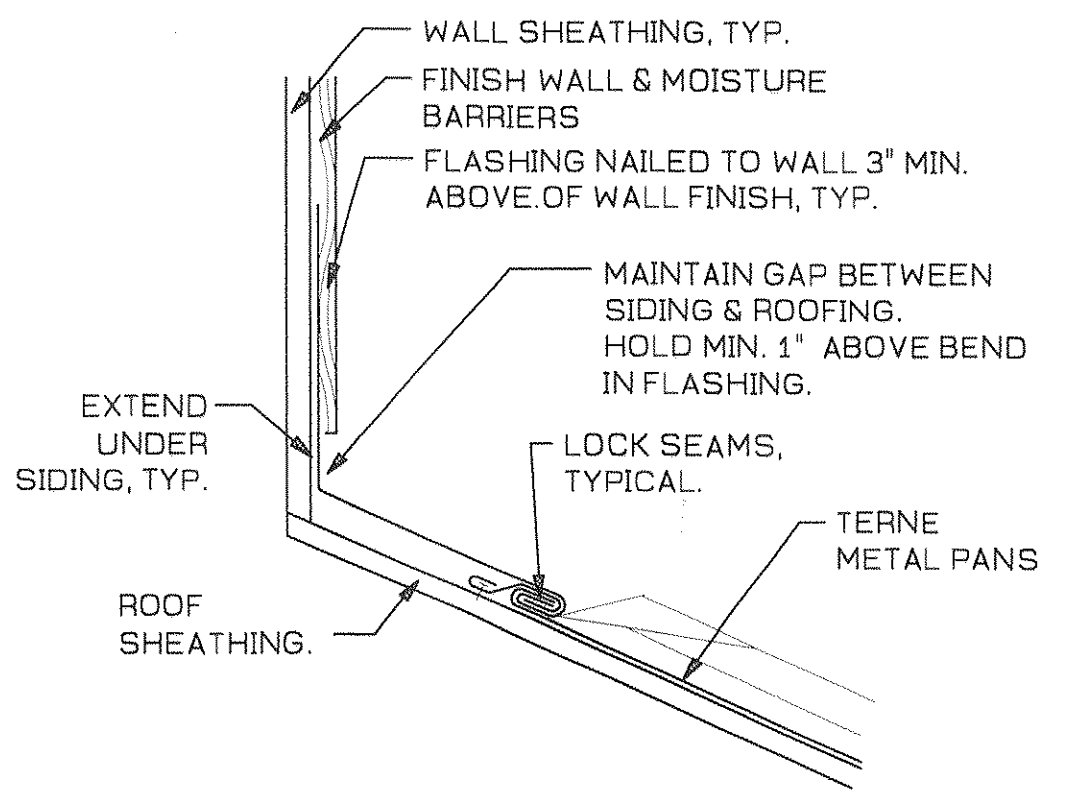
NOTE:  
 RECONNECT NEW DOWNSPOUTS TO  
 EXISTING UNDERGROUND DRAIN.  
 PROVIDE ALL FITTINGS, TEE'S, ELBOWS,  
 DRAINPIPE, COUPLERS, IN ORDER TO  
 PROVIDE A COMPLETE WORKING  
 SYSTEM.  
 OWNER TO APPROVE SYSTEM DESIGN  
 PRIOR TO CONSTRUCTION.



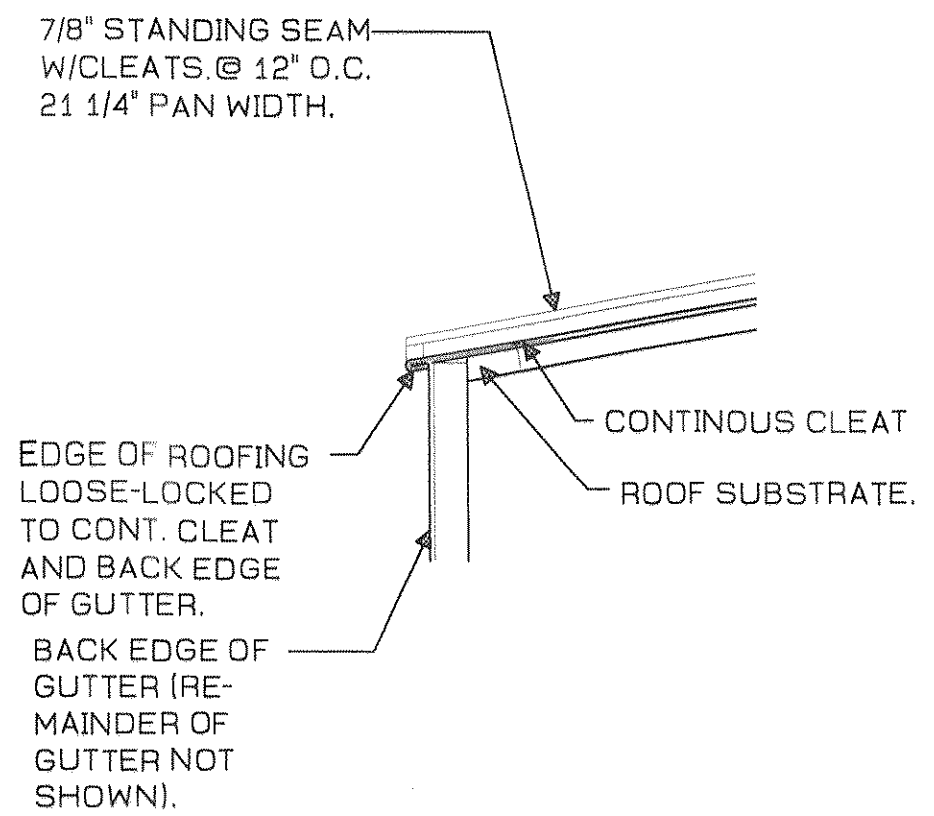
ROOF PLAN



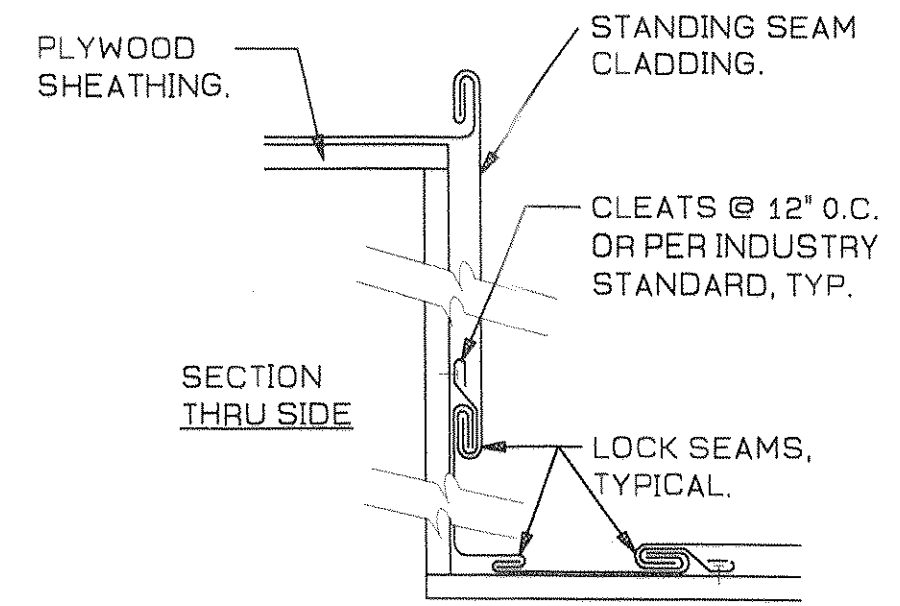
1  
A3  
SIDEWALL FLASHING, TYP.  
SCALE: 3" = 1'-0"



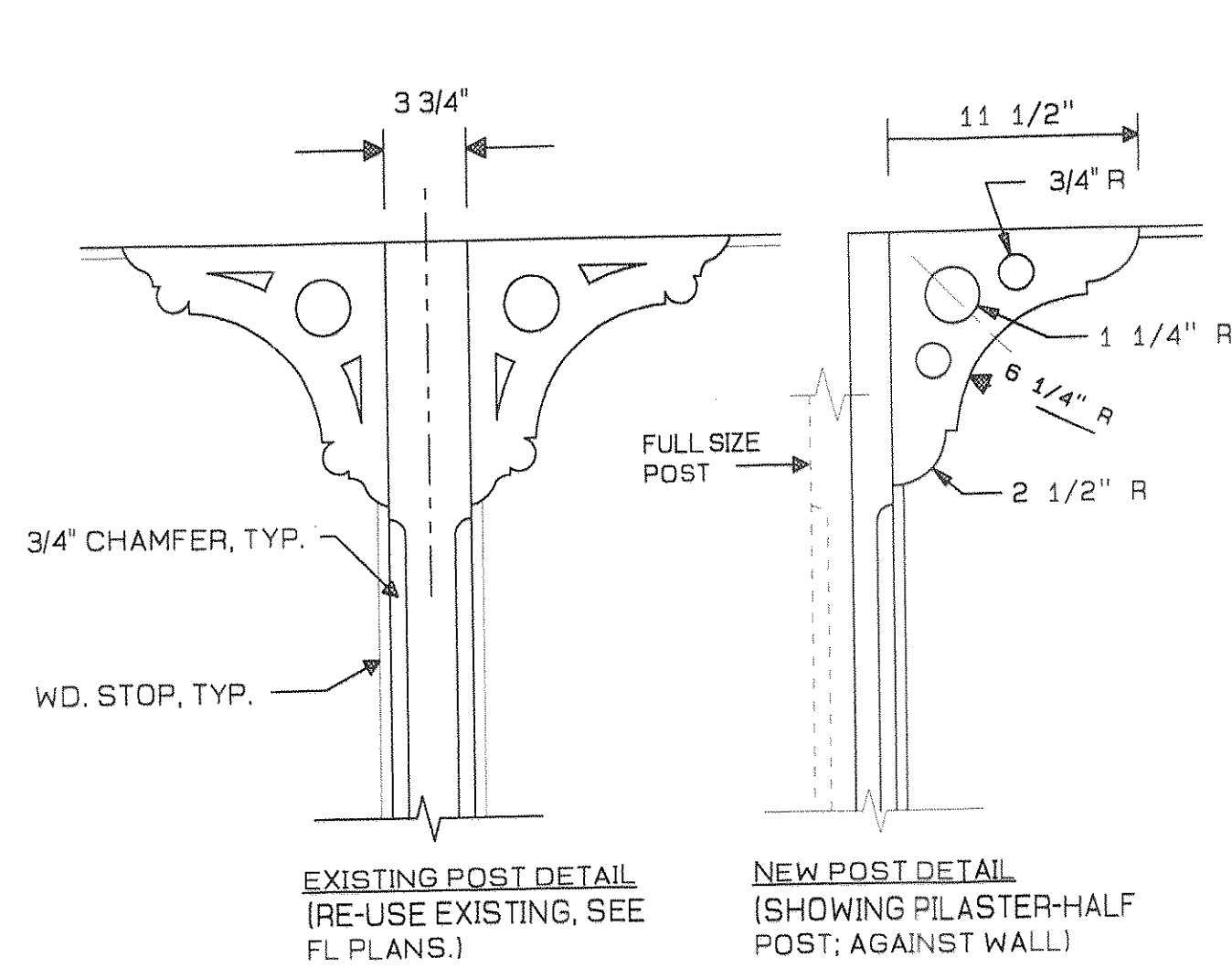
2  
A3  
LEVEL WALL FLASHING, TYP.  
SCALE: 3" = 1'-0"



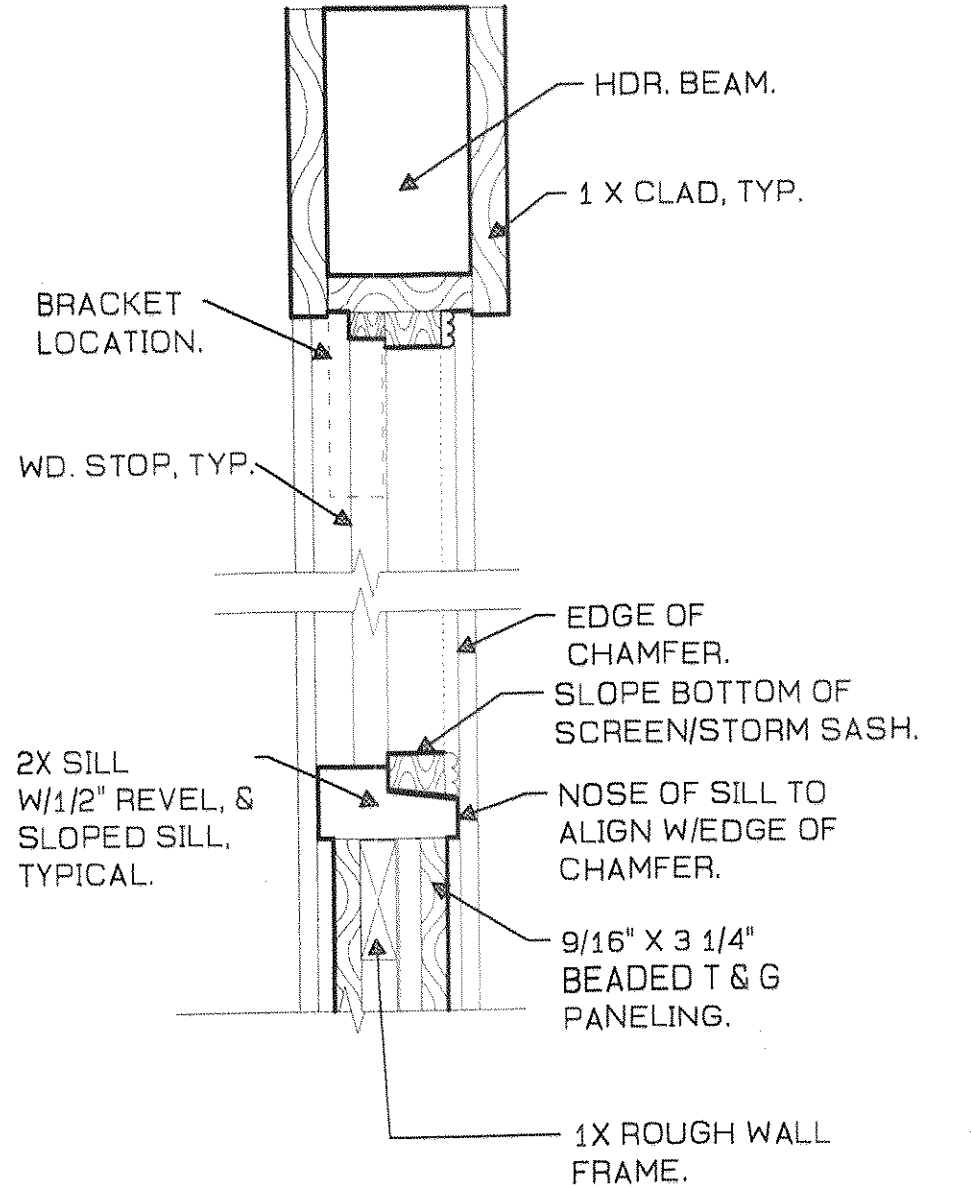
3  
A3  
ROOF EDGE, TYP.  
SCALE: 3" = 1'-0"



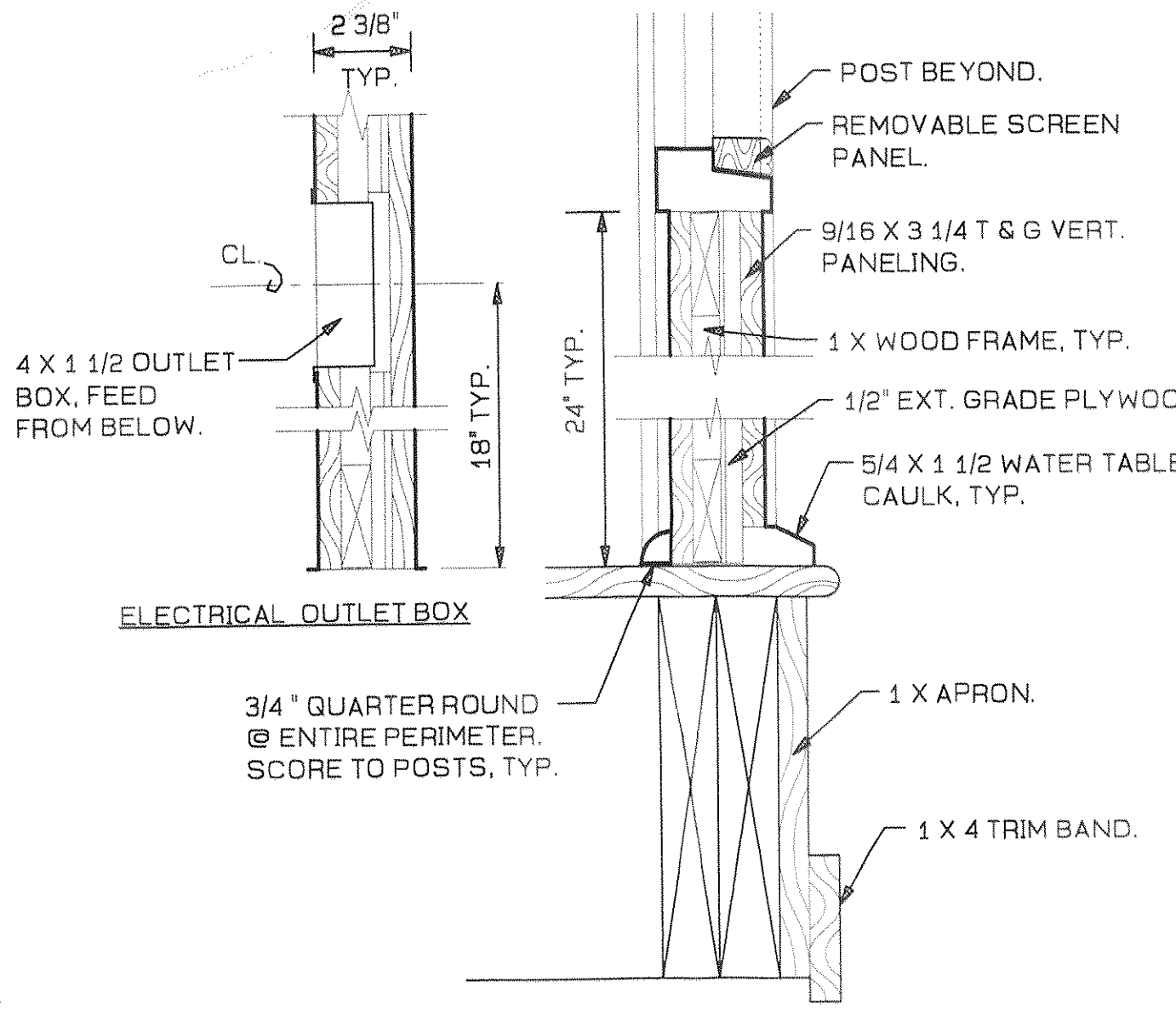
4  
A3  
FLASHING FOR SIDE  
SCALE: 3" = 1'-0"



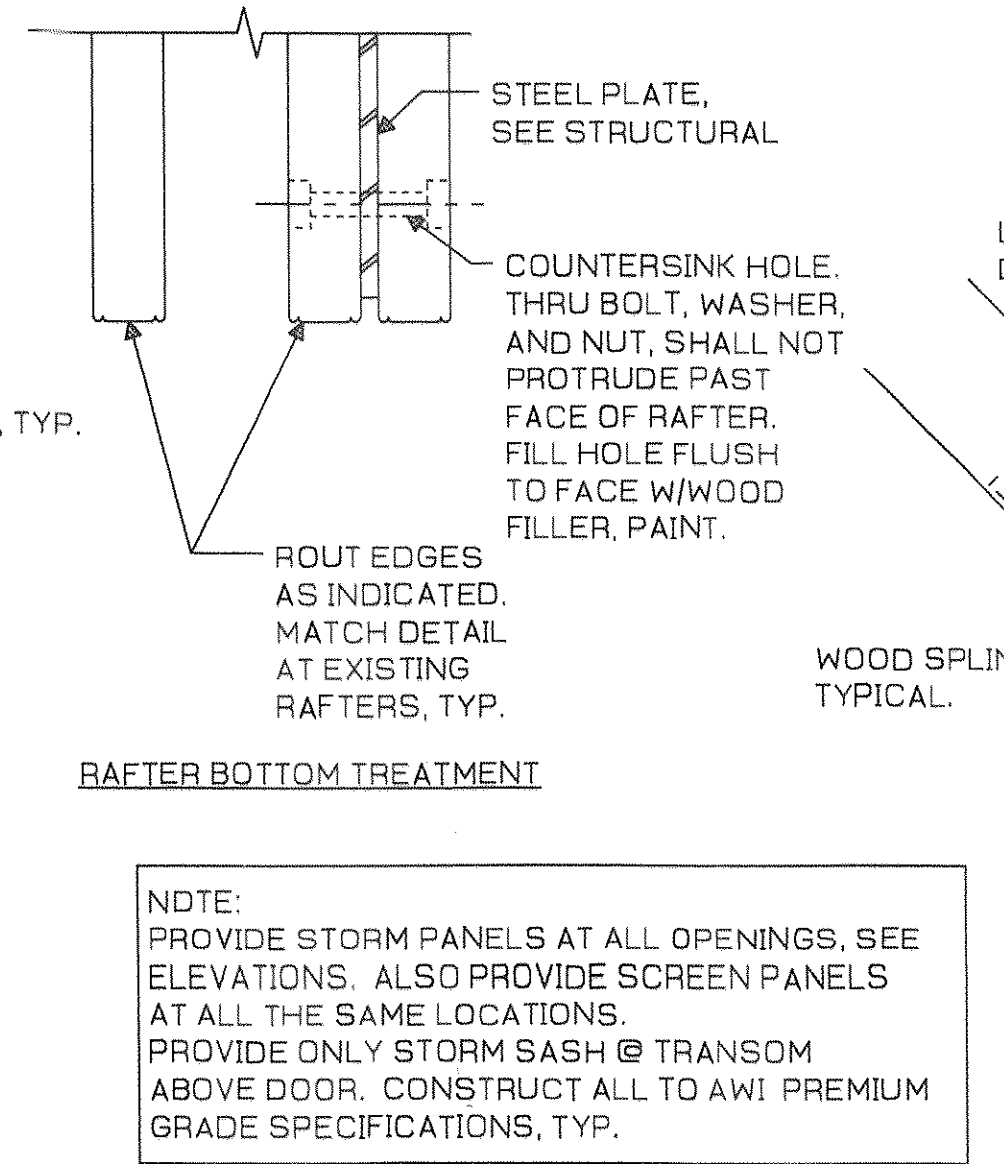
5  
A3  
PORCH BRACKET DETAIL  
SCALE: 1 1/2" = 1'-0"



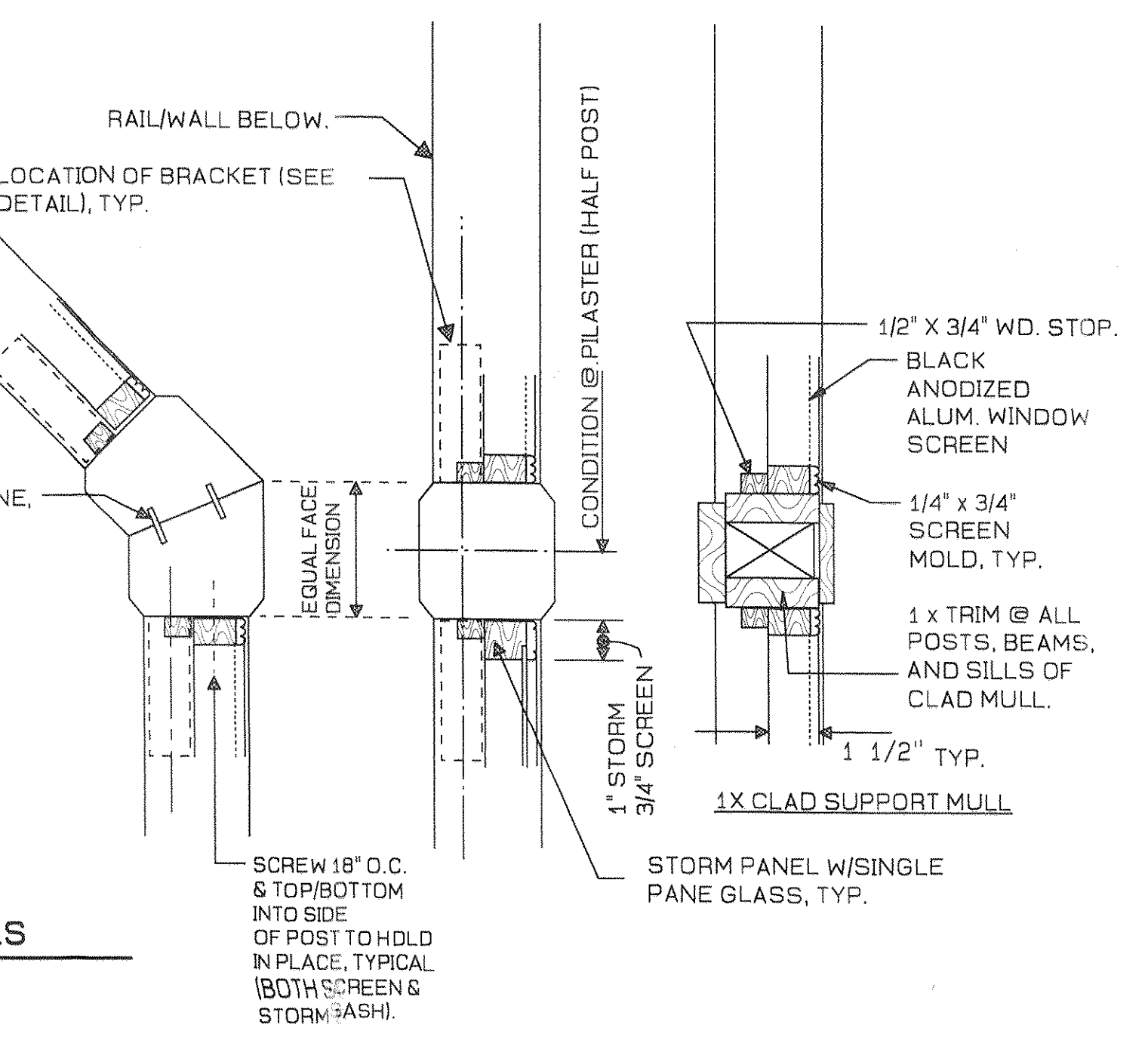
6  
A3  
SCREEN/LOW WALL SILL/HEAD DETAIL  
SCALE: 3" = 1'-0"



7  
A3  
LOW WALL PORCH EDGE DETAIL  
SCALE: 3" = 1'-0"



8  
A3  
SCREEN PORCH POST PLAN DETAILS  
SCALE: 3" = 1'-0"



M-NCPPC



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING

THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 9-9-98

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator *GW*  
Historic Preservation

SUBJECT: Historic Area Work Permit

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

           Approved            Denied

X Approved with Conditions: \_\_\_\_\_

(1) HPC staff to work w/ applicant on porch details to incorporate the existing porch supports = brackets into the new porch; and with the design of the new porch supports.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Natalie Angler, Kick Weiss

Address: 27 Pine Avenue, Takoma Park MD 20912

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301)217-6240 prior to commencement of work and not more than two weeks following completion of work.



RN TO: DEPARTMENT OF PERMITTING SERVICES  
250 HUNGERFORD DRIVE, ROCKVILLE, MARYLAND 20850  
301/217-6370

DPS - #8

Robin Zick

HISTORIC PRESERVATION COMMISSION  
301/495-4570

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Rick Weiss

Daytime Phone No.: 202 334-5514

Tax Account No.: 13-1067157 301 270 0062

Name of Property Owner: Rick Weiss / Natalie Angier Daytime Phone No.: 202 334-5514

Address: 27 Pine Avenue Takoma Park MD 20912  
Street Number City State Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 27 Street: Pine Avenue

Town/City: Takoma Park Nearest Cross Street: Elm

Lot: pt. 12, 13, 14 Block: 16 Subdivision: B.S. Gilbert - Addition to Takoma Park

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

- 1A. CHECK ALL APPLICABLE:
- |   |                                  |   |  |                                       |  |   |                               |                               |
|---|----------------------------------|---|--|---------------------------------------|--|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend  | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C                             | <input type="checkbox"/> Slab         | <input type="checkbox"/> Room Addition     | <input checked="" type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move                 | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze     | <input type="checkbox"/> Solar                           | <input type="checkbox"/> Fireplace    | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family    |                               |                               |
| <input type="checkbox"/> Revision             | <input type="checkbox"/> Repair  | <input type="checkbox"/> Revocable      | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: _____ |  |   |                               |                               |

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Rick Weiss \_\_\_\_\_ Date: August 14 98  
Signature of owner or authorized agent Date

Approved: X w/conditions For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 9-9-98

Application/Permit No.: 9808180080 Date Filed: 8/18/98 Date Issued: \_\_\_\_\_

**SEE REVERSE SIDE FOR INSTRUCTIONS**

37/3-98K1K



**MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING**

THE MARYLAND-NATIONAL CAPITAL  
PARK AND PLANNING COMMISSION

8787 Georgia Avenue  
Silver Spring, Maryland 20910-3760

Date: 9-9-98

**MEMORANDUM**

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator *GW*  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of  
Other Required Permits

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Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 250 Hungerford Drive, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 301-217-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 301-217-6240 of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 27 Pine Avenue

Meeting Date: 9/9/98

Resource: Takoma Park Historic District

Review: HAWP

Case Number: 37/3-98KK

Tax Credit: No

Public Notice: 8/26/98

Report Date: 9/2/98

Applicant: Rick Weiss/Natalie Angier

Staff: Robin D. Ziek

PROPOSAL: Rear porch

RECOMMENDATIONS: APPROVAL  
w/CONDITIONS

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**PROJECT DESCRIPTION**

RESOURCE: Outstanding Resource in the Takoma Park Historic District

STYLE: Queen Anne

DATE: c1890s

The resource is a 2-1/2 story wood frame house with a twin cross-gable roof to the street. There is an existing screened porch at the rear of the house (see Circle 6, 8) which was probably open at some point; the porch supports have chamfered corners.

**PROPOSAL**

Remove the existing screened porch (8' x 12') at the rear of the house and replace with a new screened porch of somewhat larger dimensions (13.5' x 17') (See Circle 7, 9). The proposed new porch is at the same location as the existing porch, at the rear SW corner of the house. The applicant proposes to use compatible materials, with trim and detailing similar to the existing structure (see Circle 5, 14, 15). They propose to reuse the existing porch supports and design new porch supports which are similar without being replicative.

**STAFF DISCUSSION**

The proposed retention of original materials in the redesign of the rear porch appears appropriate at this site. The existing house is a distinctive Victorian which is tall and is set relatively close to the street. At this location, with the house set on an inside curve of the street, the rear porch is a minor feature which is not readily apparent from the public right-of-way. The main impact of the resource is the twin gables on the facade, with the stacked porches on the front facade. The applicant still has some details to work out in terms of the placement of the existing columns in the new design; staff feels that the HPC could delegate this to staff to review as part of the process of stamping the permit set prior to applying for a building permit with DPS.

①



## **STAFF RECOMMENDATION**

Staff recommends that, **with the following conditions** the Commission find this proposal consistent with the purposes of Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter;

and with Secretary of the Interior's Standards for Rehabilitation #2:

The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.

and with the Takoma Park Guidelines:

"Plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setbacks, and materials."

"Preservation of original building materials and use of appropriate, compatible new materials is encouraged."

## **CONDITIONS:**

1. HPC staff will work with the applicant on the porch details to incorporate the existing porch supports and design additional porch supports.
2. The applicant will provide the permit set of drawings to HPC staff for review and stamping prior to applying for the building permit with DPS; and

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.

and subject to the general conditions:

**(1) The applicant will provide the permit set of drawings to HPC staff for review and stamping prior to applying for the building permit with DPS; and**

**(2) After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the DPS Field Services Office at (301) 217-6240 prior to commencement of work and not more than two weeks following completion of work.**

2

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Rick Weiss

Daytime Phone No.: 202 334-5514

Tax Account No.: 13-1067157 301 270 0062

Name of Property Owner: Rick Weiss / Nadie Angier Daytime Phone No.: 202 334-5514

Address: 27 Pine Avenue Takoma Park MD 20912  
Street Number City State Zip Code

Contractor: \_\_\_\_\_ Phone No.: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 27 Street: Pine Avenue

Town/City: Takoma Park Nearest Cross Street: Elm

Lot: pt. 12, 13, 14 Block: 16 Subdivision: B.F. Gilbert - Addition to Takoma Park

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ \_\_\_\_\_

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

*I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.*

Rick Weiss  
 Signature of owner or authorized agent

August 14 98 (3)  
 Date

Chas Poor and Joan Duncan  
25 Pine Avenue  
Takoma Park, MD 20912  
301.270.9221

60 Elm Avenue (rental property)  
Owner: Marty Kalin  
1920 N St. NW Ste. 750  
Washington DC 20036  
(202) 463-0904 ext. 134

28 Pine Avenue  
Takoma Park MD 20912  
Kert Smith and Abby Alcott  
301 270 1162

30 Pine Avenue  
Takoma Park MD 20912  
Timothy Brown and Margaret McCarthy  
(301) 405-7968 (wk)  
(301) 270-1940 (hm)

6907 Westmoreland Ave.  
Takoma Park MD 20912  
Bruce Moyer and  
JoAnn Bowman  
301.270-8297

To: Robin  
Fri: Rick Weiss  
Re: Historic Pres. Permit that you should

already have forwarded to  
you from Permit Office.

Call me if any questions:  
202 334-5514 Thanks

# STUDIO PARTNERSHIP ARCHITECTS

August 19, 1998

HAWP application for 27 Pine Ave., Takoma Park, Md. 20912

## WRITTEN DESCRIPTION OF THE PROJECT

### a. Description of existing structure and environmental setting.

The existing structure is a 2 1/2 story wood frame Queen Anne Victorian constructed c1890's. The house is designated as an outstanding resource in the Takoma Park Historic District. Pine Avenue and vicinity consists of various architectural styles from the late 19th century to present.

### b. General description of the project and its effect on the historic resources, environment setting, and where applicable, the historic district.

The proposal includes a removal of a early, but <sup>← Probably original or 1st 1/4 of 20<sup>th</sup> C. PDZ</sup> non-original one-story screened-in porch at the rear of the house and the addition of a larger, functional one-story porch at the same location.

From the (south) side and the front views (both visible from the public right-of-way), the porch will be small in scale with a faceted form which alludes to the bay at the front of the house. At the south elevation, the end of the present porch terminates into the prominent two-story bay. The proposed porch will instead be set back from the south bay (aligned with the rear wall), thus accentuating the prominent bay.

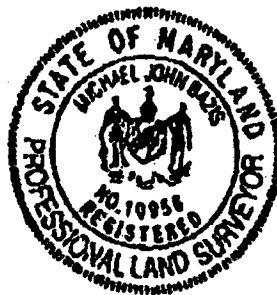
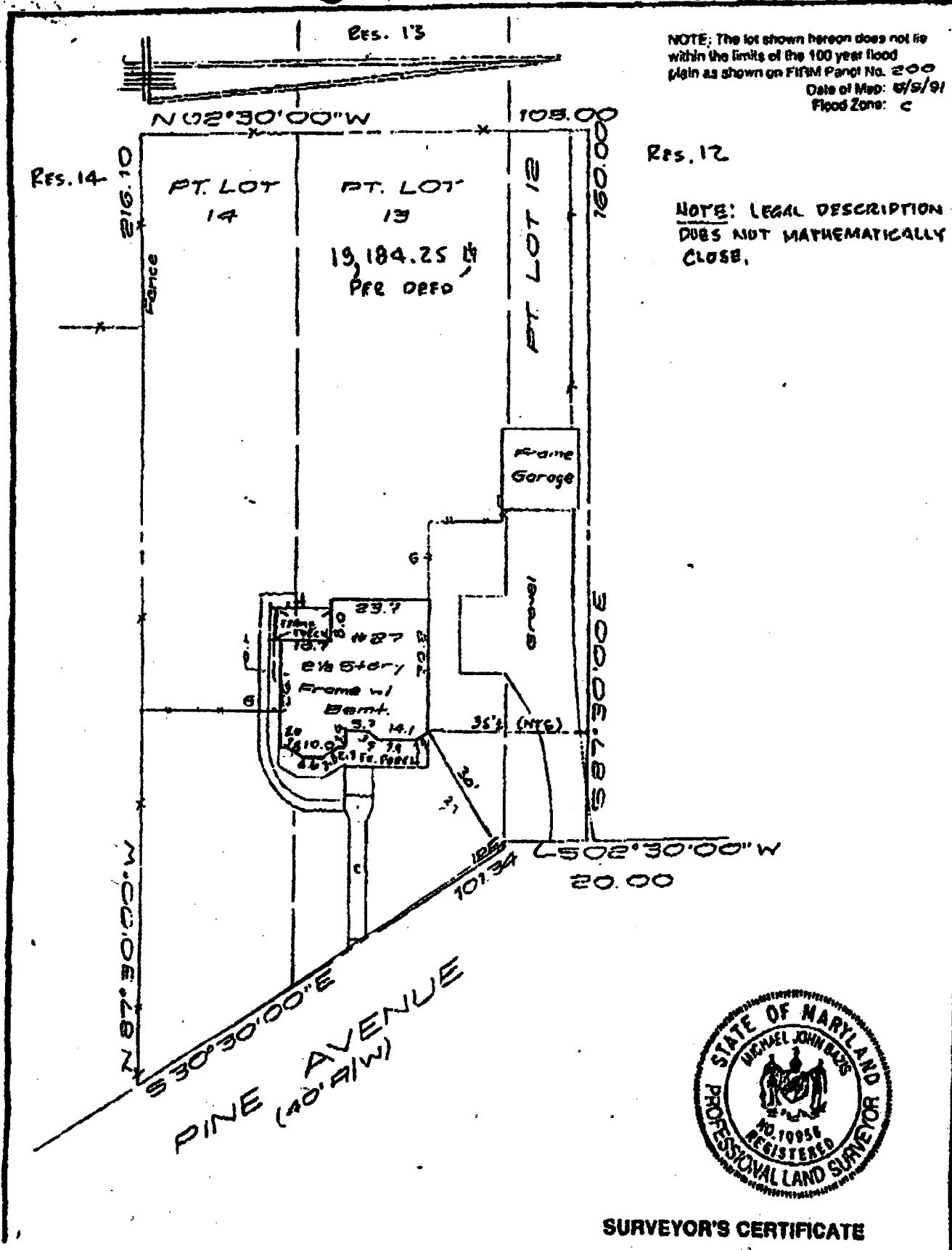
The porch addition will have a metal roof to match the existing roofs of the house, with trim and detailing similar to the existing porch. Screen and storm panels will be interchangeable. Parged masonry piers at the corners of the addition will support a beam spanning the width of the addition so as to minimize impact on the oak tree in the rear yard. Wood lattice work will infill between the piers.

★  
(Materials)

NOTE: The lot shown hereon does not lie within the limits of the 100 year flood plain as shown on FIRM Panel No. 200  
Date of Map: 6/5/91  
Flood Zone: C

Res. 12

NOTE: LEGAL DESCRIPTION DOES NOT MATHEMATICALLY CLOSE.

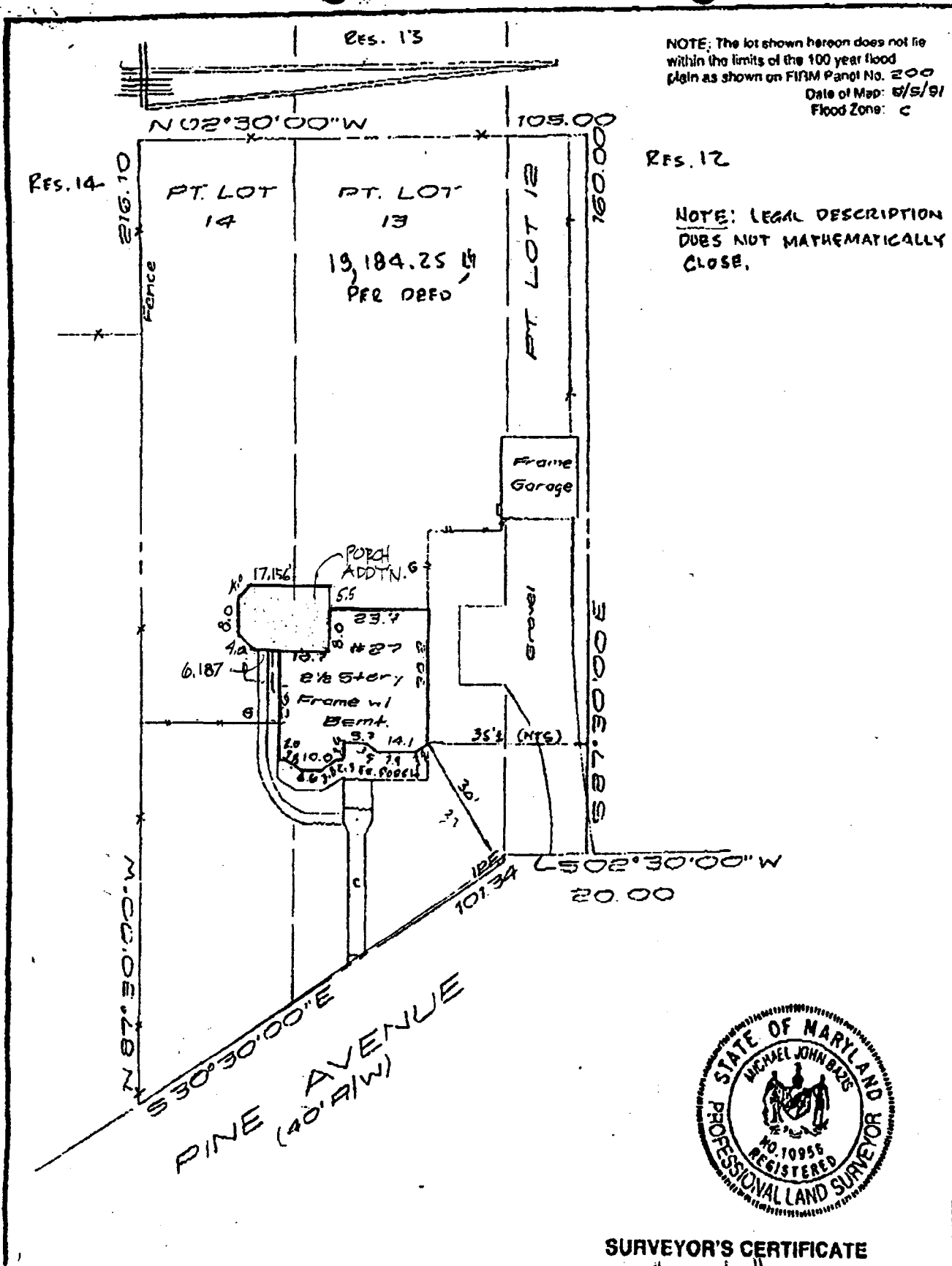


SURVEYOR'S CERTIFICATE

1" = 30' 0"

EXISTING PLAT

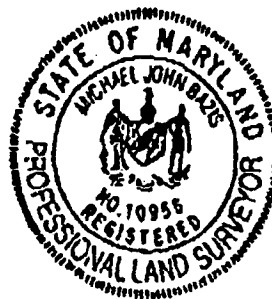
6



NOTE: The lot shown hereon does not lie within the limits of the 100 year flood plain as shown on FIRIM Panel No. 200  
 Date of Map: 8/5/91  
 Flood Zone: C

Res. 12

NOTE: LEGAL DESCRIPTION DOES NOT MATHEMATICALLY CLOSE.



SURVEYOR'S CERTIFICATE

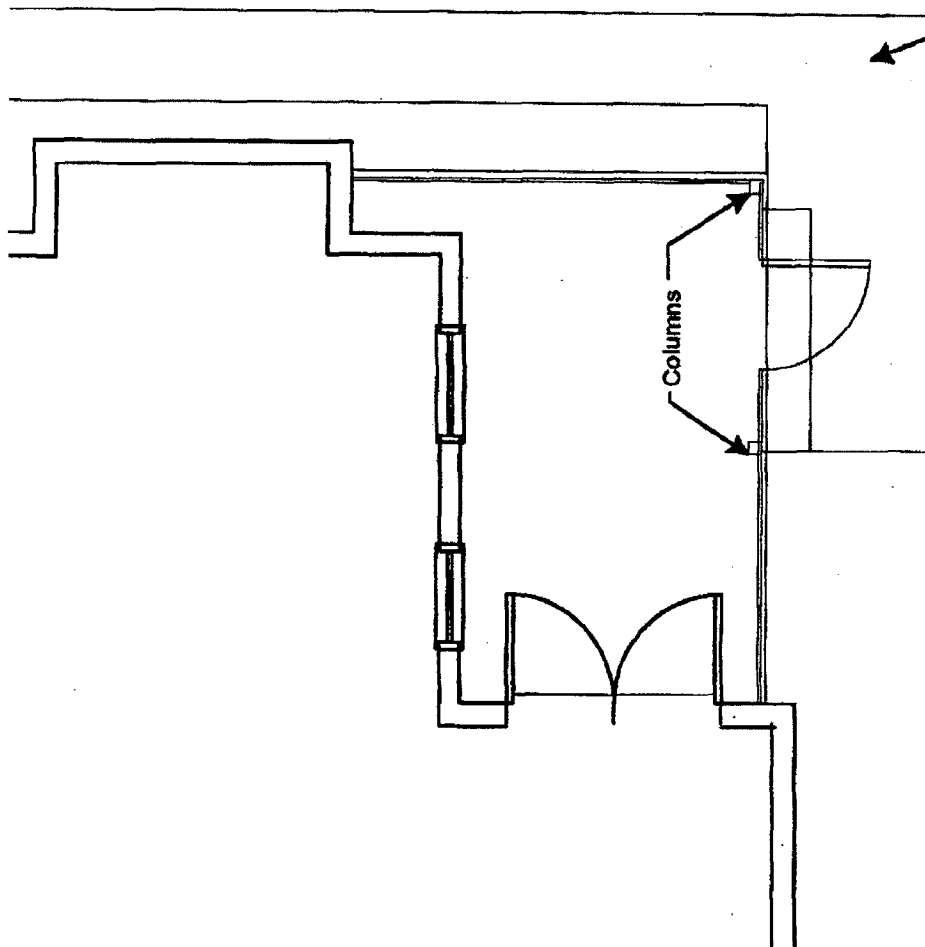
1" = 30.0'

7

Post-it® Fax Note	7671	Date	9.2.98	# of Pages	3
To	ROBINZIEK	From	CHAS POOR		
Co./Dept.	HPC	Co.	SPA		
Phone #		Phone #	301.270.0990		
Fax #	301.563.3412	Fax #	301.270.0092		

ROBIN -  
 THIS IS EXISTING REAR  
 PORCH CONFIGURATION @  
 1/4" SCALE. THERE ARE  
 ONLY 2 COLS. W/O ORNAMENT  
 (SEE PLAN) BRACKETS.  
 BRACKETS & COLS DO NOT  
 MATCH THOSE @ FRONT  
 PORCH.  
 CALL IF YOU HAVE  
 QUESTIONS.  
 CHAS POOR

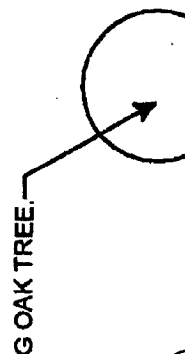
EXISTING WALK AND STEP.



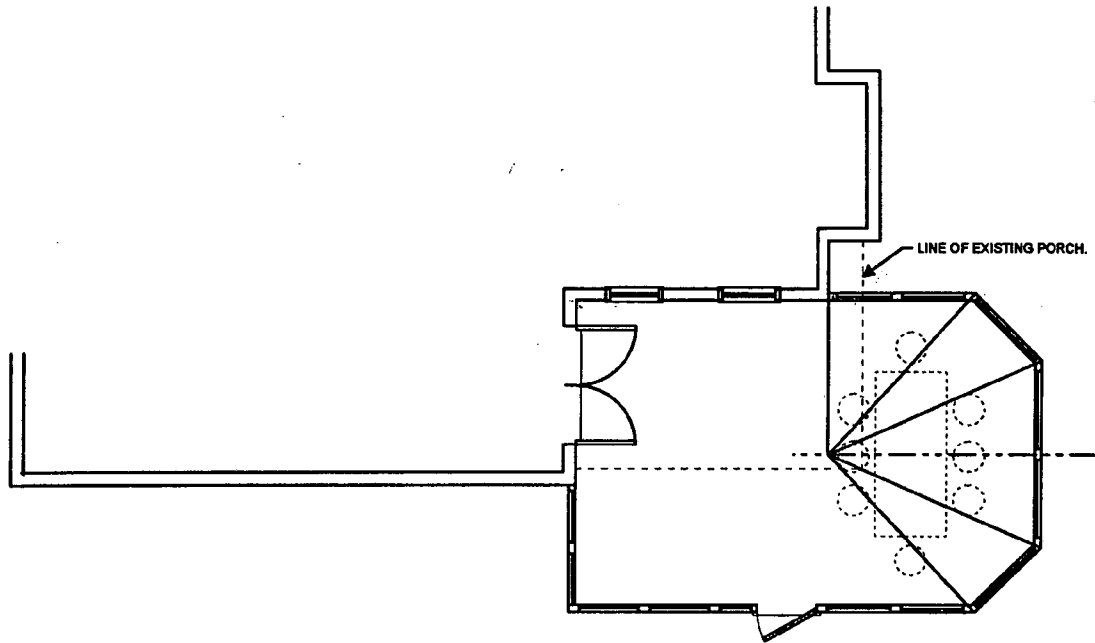
EXISTING PLAN

STUDIO PARTNERSHIP ARCHITECTS  
 25 PINE AVENUE  
 TAKOMA PARK, MARYLAND 20912  
 301.270.0990 301.270.0092 Fax

SEP 02 1998



(SP)



EXISTING OAK TREE

FLOOR PLAN-DESIGN

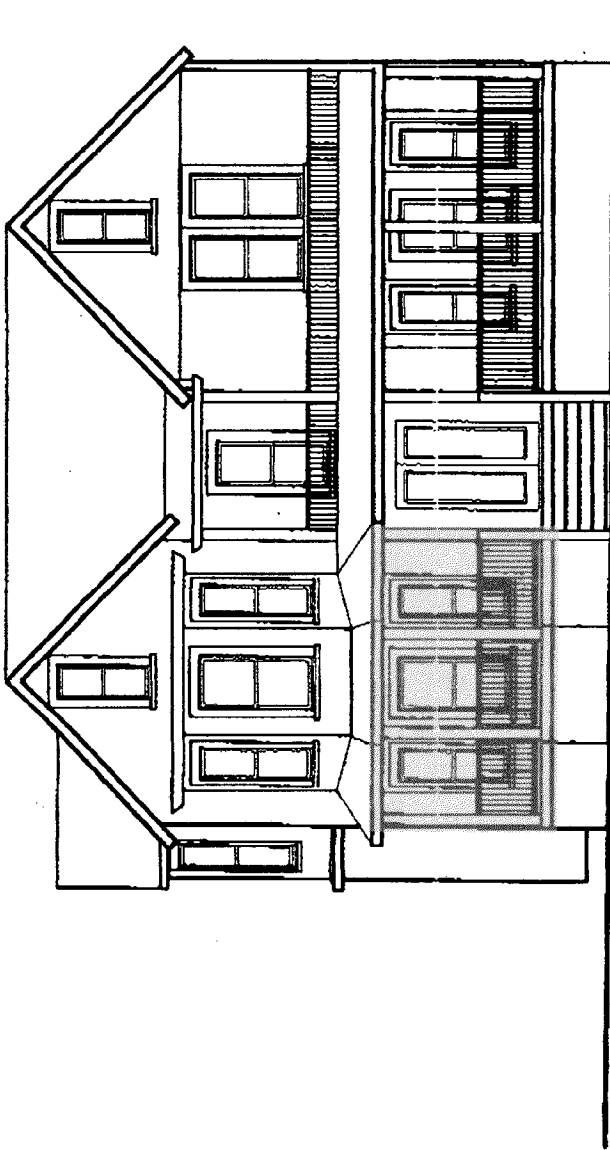
**STUDIO PARTNERSHIP ARCHITECTS**  
28 FINE AVE., TAKOMA PARK, MD. 20912 301 270-0690 301 270-0692 FAX

August 19, 1998

*Proposed plan*

9





FRONT ELEVATION-EXISTING 1/8" = 1'-0"

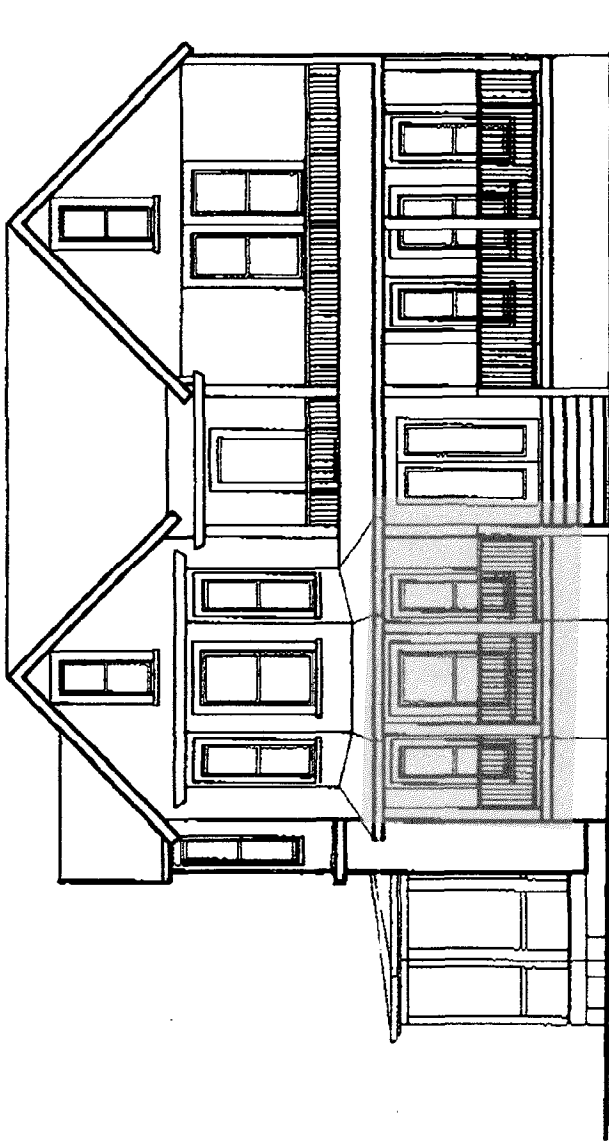
STUDIO PARTNERSHIP ARCHITECTS  
25 FIVE AVE, TAYLOR PARK MD 20812 301 270-0880 301 270-0882 FAX

AUGUST 18, 1998

For Robin  
Zeik  
Fm Angier/  
Weiss

EXISTING FRONT  
ELEVATION

10



FRONT ELEVATION-DESIGN 1/8" = 1'-0"

STUDIO PARTNERSHIP ARCHITECTS  
28 FIVE AVE., ZARONA PARK, MD 20912 301.270.8656 301.270.8652 FAX

August 19, 1998

PROPOSED FRONT  
ELEVATION

(1/2)



REAR ELEVATION-DESIGN 1/8" = 1'-0"

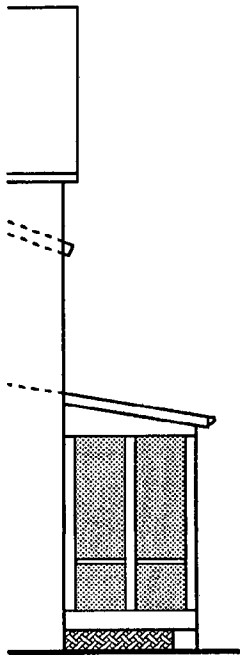
**STUDIO PARTNERSHIP ARCHITECTS**  
 26 PINE AVE., TAKOMA PARK, MD. 20912 301 270-0990 301 270-0992 FAX

August 19, 1998

(WEST)

PROPOSED  
 REAR ELEVATION

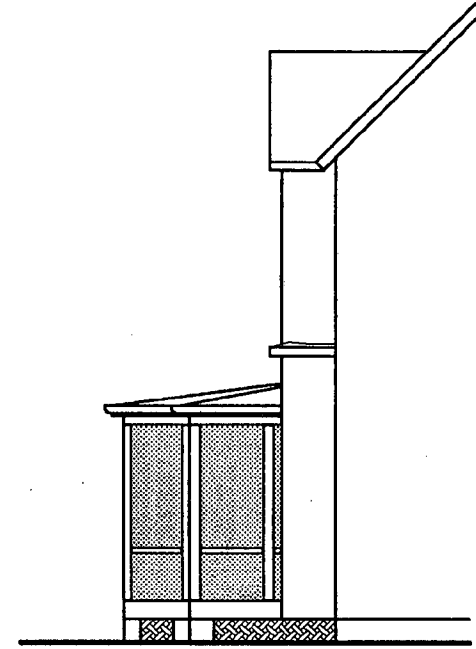
12



NORTH ELEVATION-DESIGN  
(SIDE of DRIVEWAY)



SOUTH ELEVATION-DESIGN  
(SIDE)



STREET ELEVATION (FRONT)-DESIGN  
(EAST)

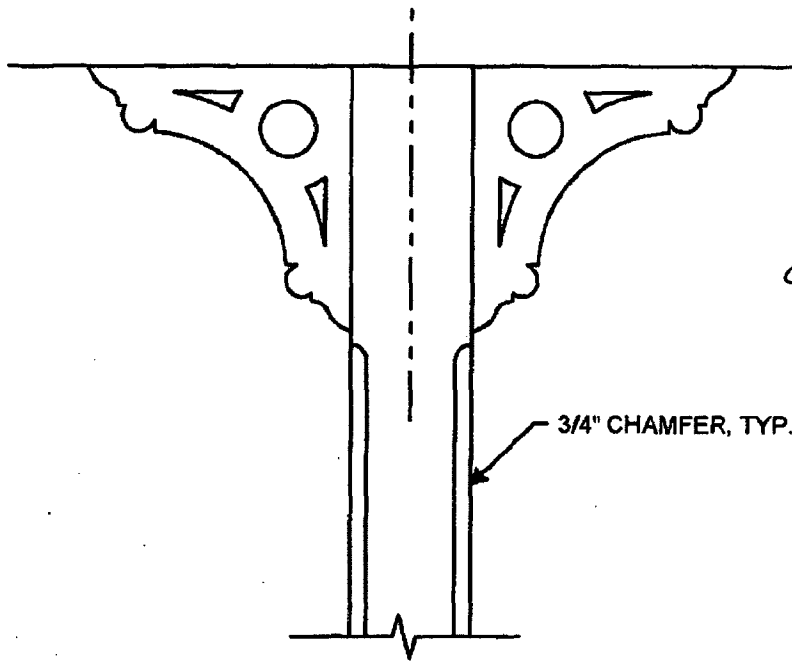
**STUDIO PARTNERSHIP ARCHITECTS**  
28 PINE AVE, TAKOMA PARK, MD. 20912 301 270-0990 301 270-0092 FAX

August 19, 1998

PARTIAL  
ELEVATIONS

13

SCALE: 1 1/2" = 1'-0"



← EXISTING  
PORCH  
SUPPORTS  
(DETAIL)

**PORCH BRACKET DETAIL**

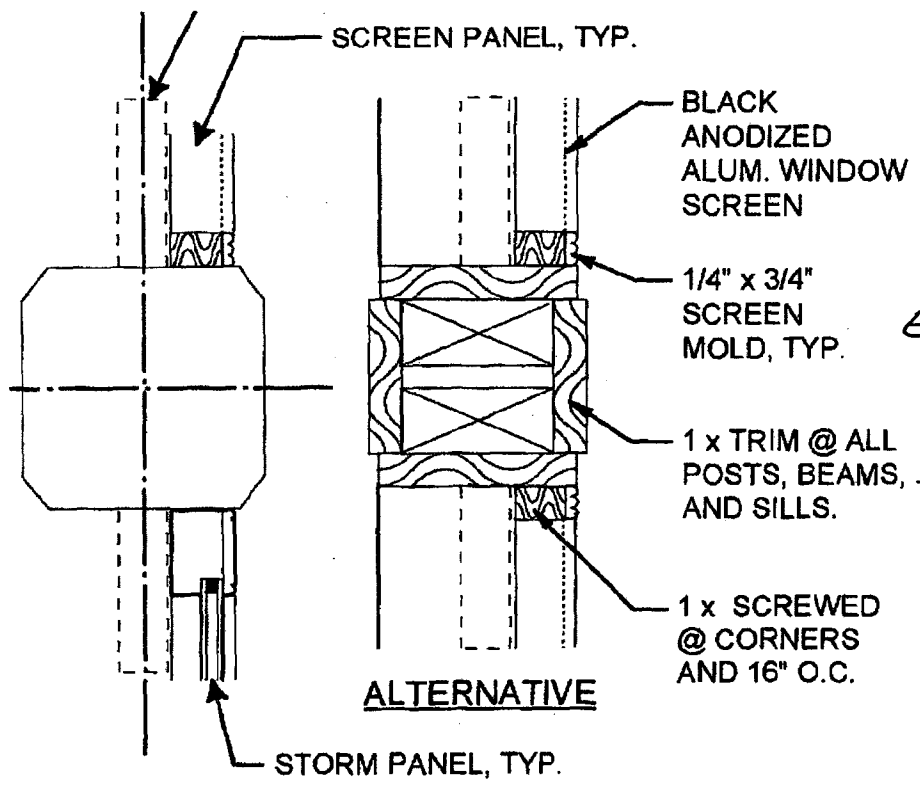
SCALE: 1 1/2" = 1'-0"

STUDIO PARTNERSHIP ARCHITECTS  
25 PINE AVENUE  
TAKOMA PARK, MARYLAND 20912  
801.270.0999 801.270.0002 Fax



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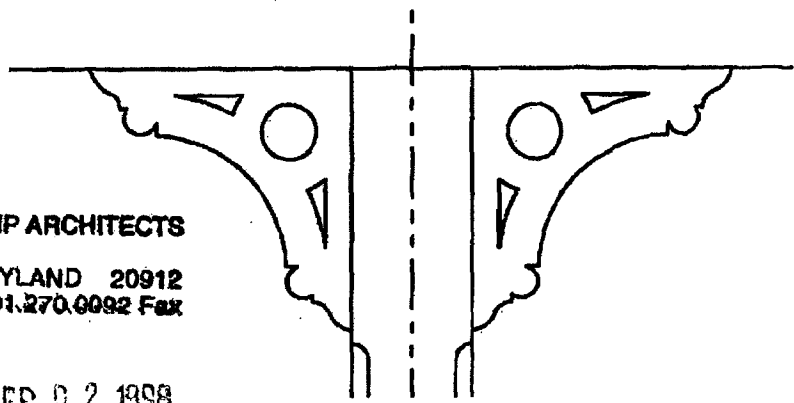
14



← PROPOSED  
 ALternate  
 porch  
 support  
 detail

**SCREEN PORCH DETAIL**

SCALE : 3" = 1'-0"



STUDIO PARTNERSHIP ARCHITECTS  
 25 PINE AVENUE  
 TAKOMA PARK, MARYLAND 20912  
 301.270.0990 301.270.0992 Fax

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15



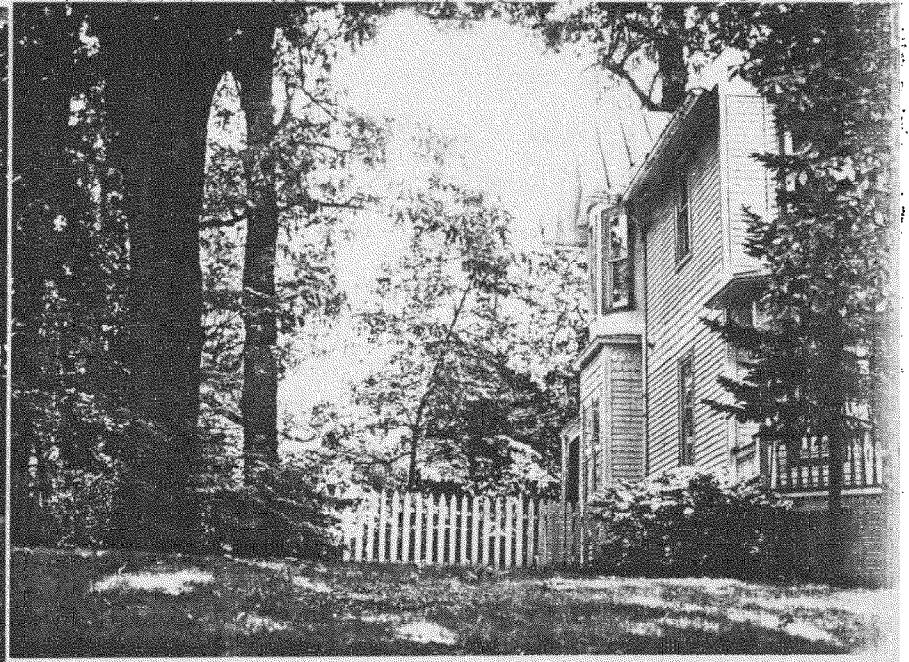
FRONT



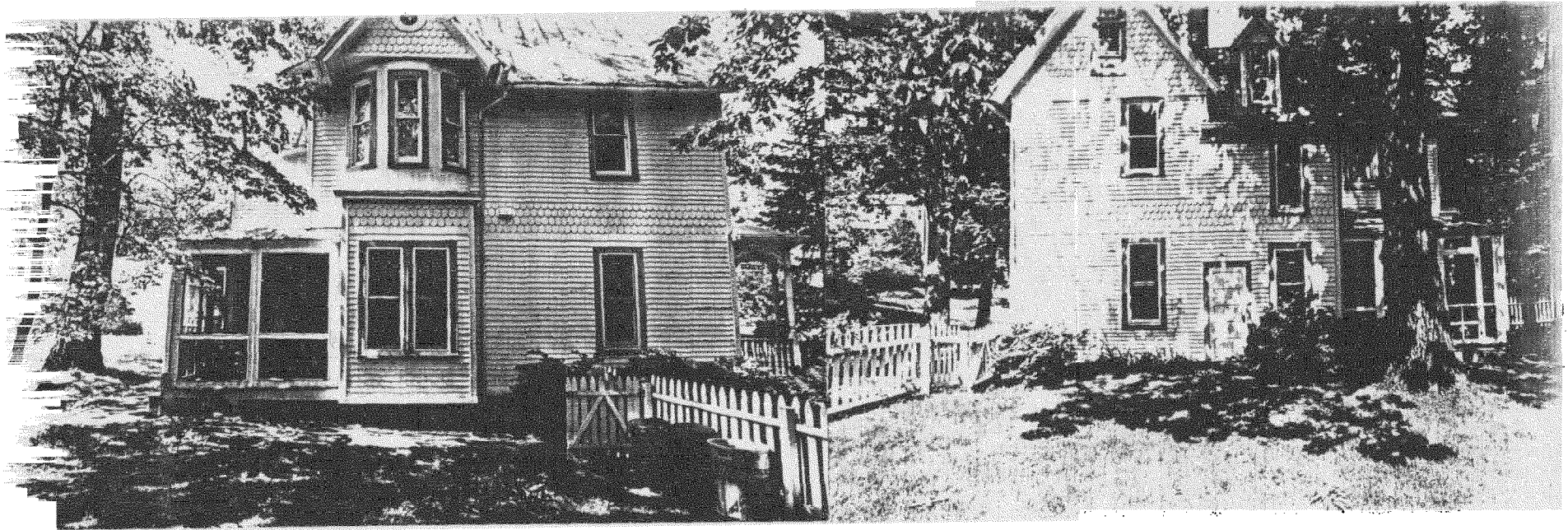
NORTH ELEVATION (DRIVEWAY)



(A) VIEW FROM STREET  
SIDE YARD



VIEW FROM STREET  
SIDE YARD

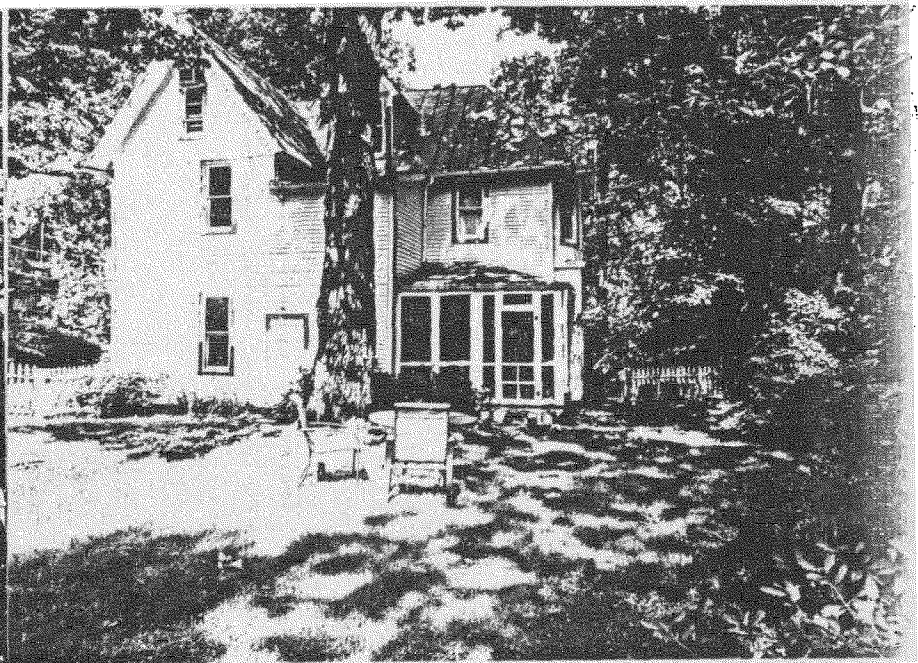


SOUTH ELEVATION

REAR ELEVATION



EXISTING PORCH



REAR ELEV. + EXISTING PORCH .



Chas Poor and Joan Duncan  
25 Pine Avenue  
Takoma Park, MD 20912  
301.270.9221

60 Elm Avenue (rental property)  
Owner: Marty Kalin  
1920 N St. NW Ste. 750  
Washington Dc 20036  
(202) 463-0904 ext. 134

28 Pine Avenue  
Takoma Park MD 20912  
Kert Smith and Abby Alcott  
301 270 1162

30 Pine Avenue  
Takoma Park MD 20912  
Timothy Brown and Margaret McCarthy  
(301) 405-7968 (wk)  
(301) 270-1940 (hm)

6907 Westmoreland Ave.  
Takoma Park MD 20912  
Bruce Moyer and  
JoAnn Bowman  
301.270-8297

To: Robin  
Fri: Rick Weiss  
Re: Historic Pres. Permit that you should

already have forwarded to  
you from Permit Office.

Call me if any questions:  
202 334-5514 Thanks