



37/03-05A 14 Hickory Ave  
~~TAKOMA~~ Historic District

STAFF ITEM


TO: MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

FROM: Heritage Building and Renovation, Inc.  
7334 Carroll Ave. Takoma Park  
TEL. 301 270 4799  
FAX 301 270 0166

RE: NORKIN RESIDENCE 14 HICKORY AVENUE TAKOMA PARK

Please review the attached drawings to see the modification proposed for the rear stair landing. Feel free to call our office for any clarifications,

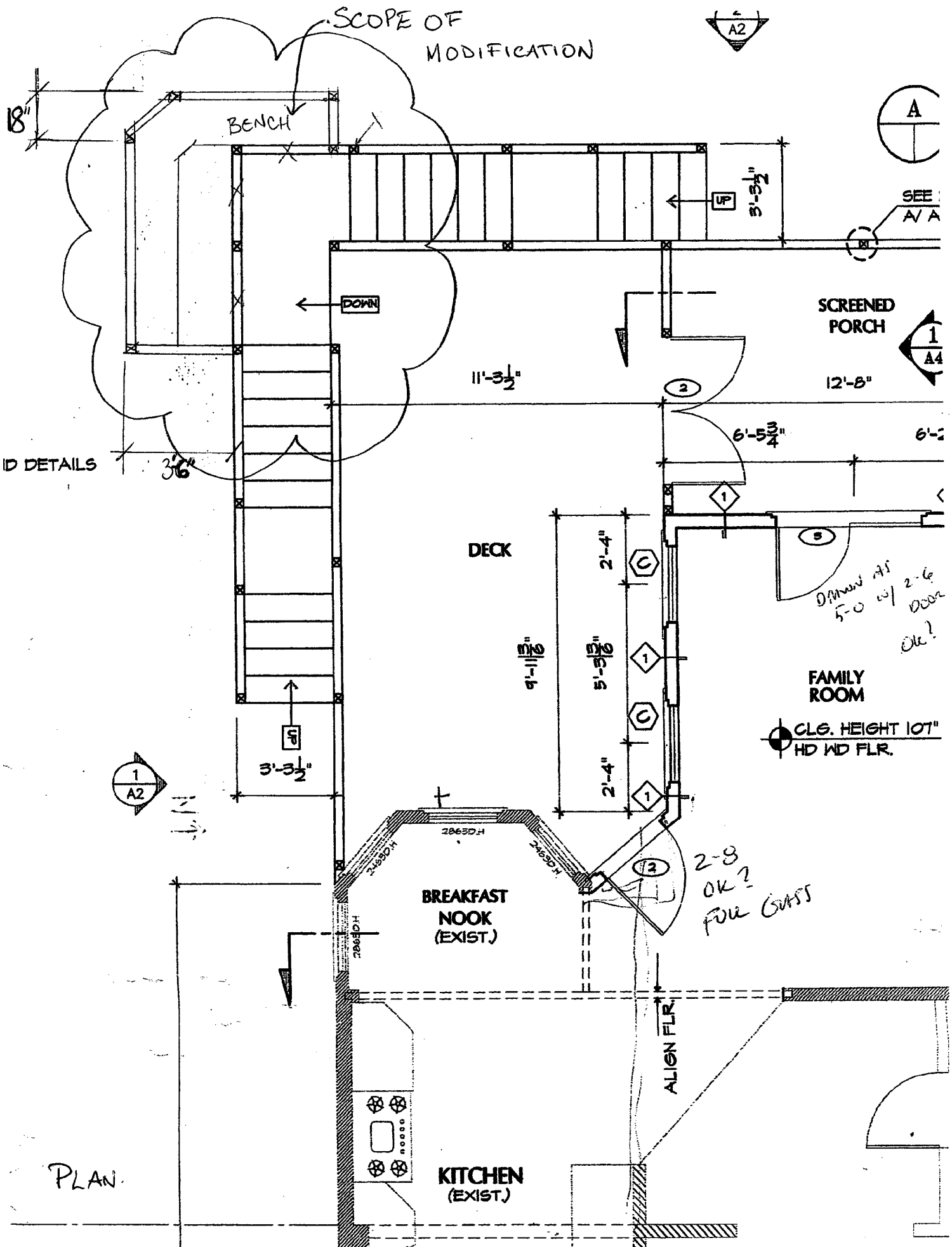
Respectfully,



Rick Leonard

9-12-05

HPC  
approved  
@  
9/14/05  
W. W. Sessions



SCOPE OF MODIFICATION



SEE A/A

SCREENED PORCH



18"

BENCH

3'-5 1/2"

DOWN

11'-3 1/2"

12'-8"

6'-5 3/4"

ID DETAILS

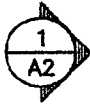
3'-6"

DECK

DRAWN AT 5'-0" w/ 2'-6" DOOR OK?

FAMILY ROOM

CLG. HEIGHT 107" HD WD FLR.



3'-3 1/2"

9'-11 1/2"

5'-5 3/8"

2'-4"

2'-4"

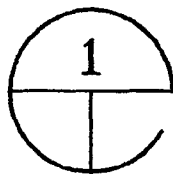
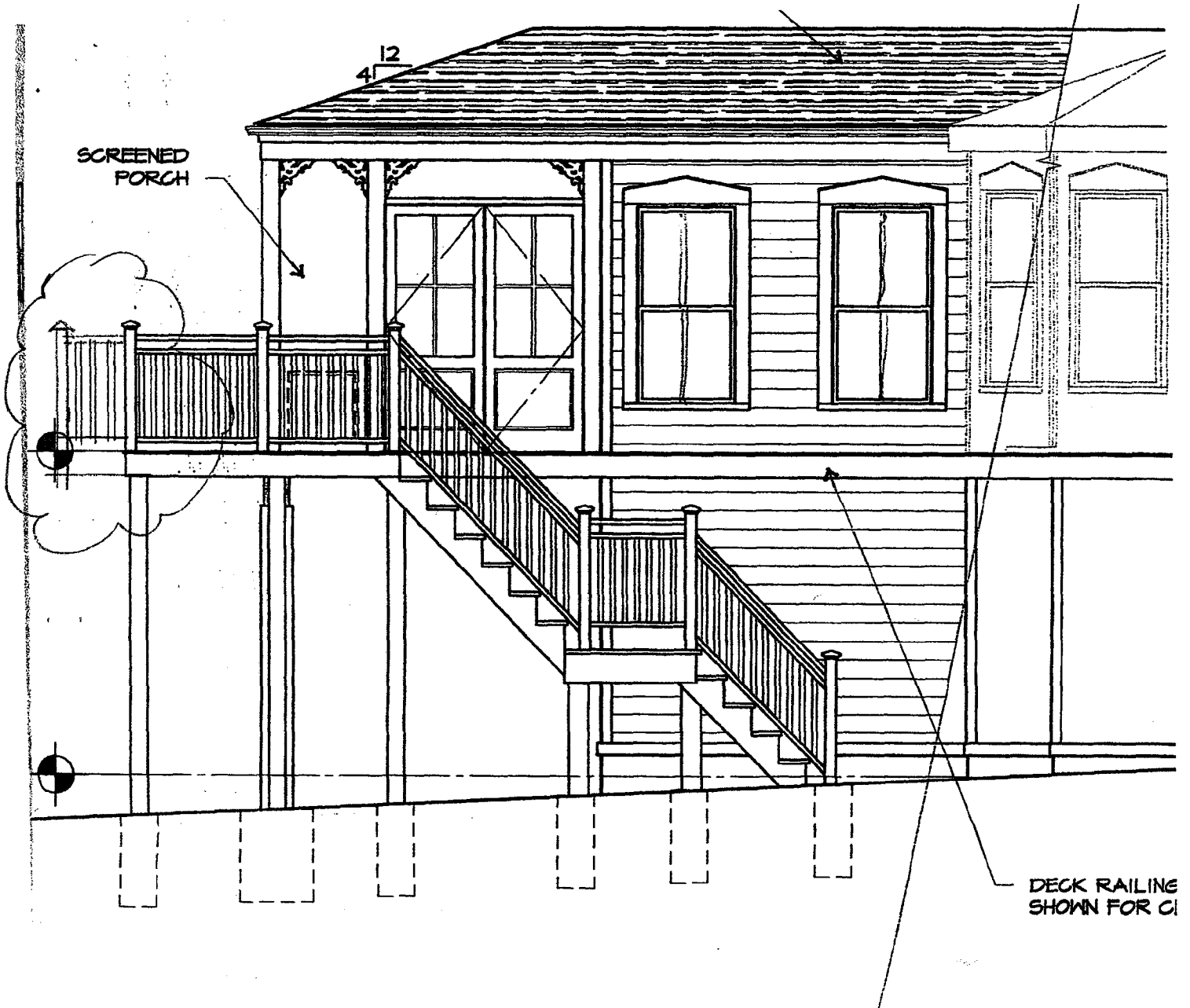
BREAKFAST NOOK (EXIST.)

2'-8" OK? FOR CRAFT

ALIGN FLR.

KITCHEN (EXIST.)

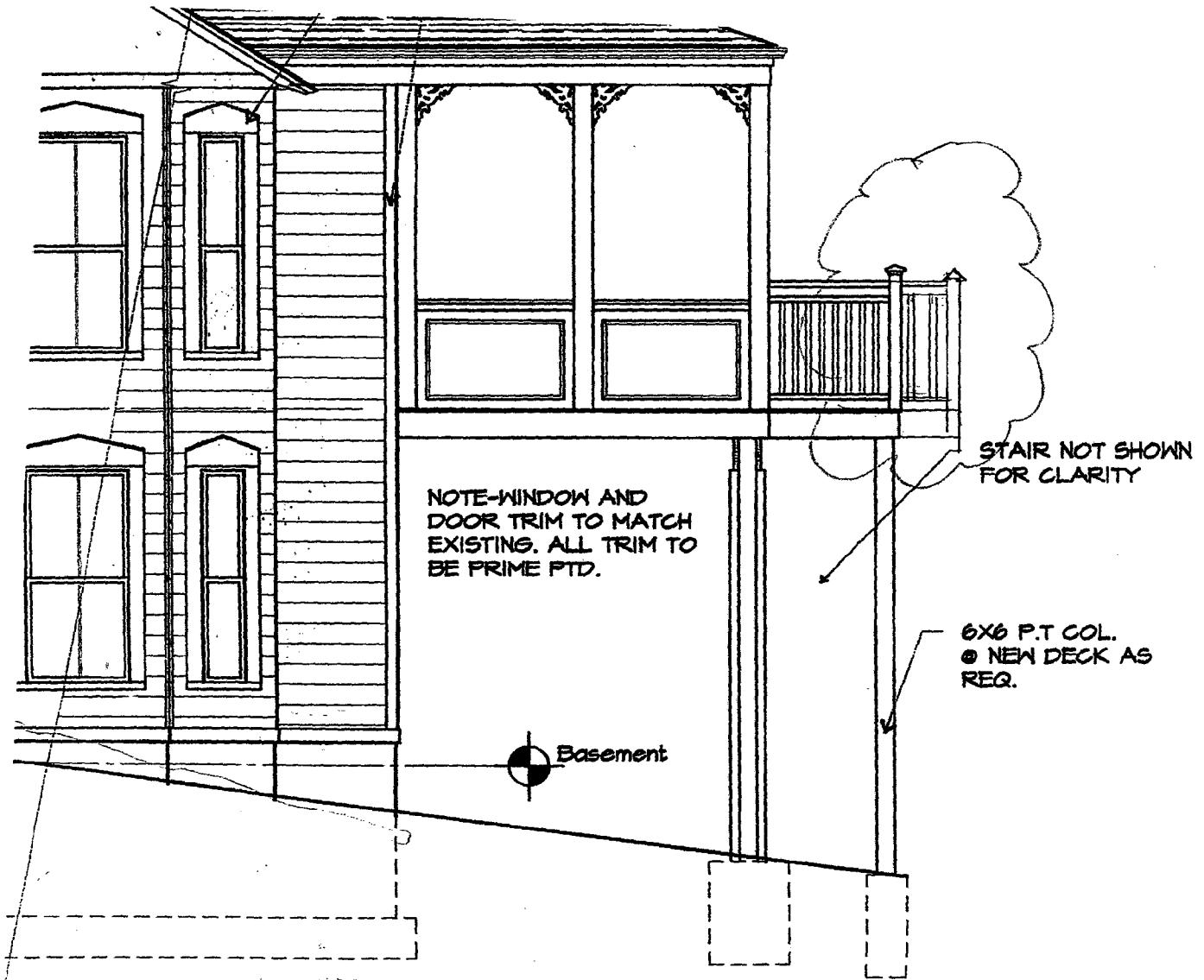
PLAN.



**1 NORTH ELEV.**

1/4" = 1'-0"

NOTE-WINDOW AND  
DOOR TRIM TO MATCH  
EXISTING. ALL TRIM TO  
BE PRIME PTD.



NOTE-WINDOW AND  
DOOR TRIM TO MATCH  
EXISTING. ALL TRIM TO  
BE PRIME PTD.

STAIR NOT SHOWN  
FOR CLARITY

6x6 P.T. COL.  
● NEW DECK AS  
REQ.

Basement

SOUTH ELEV.

NEW  
MATERIAL  
AS F

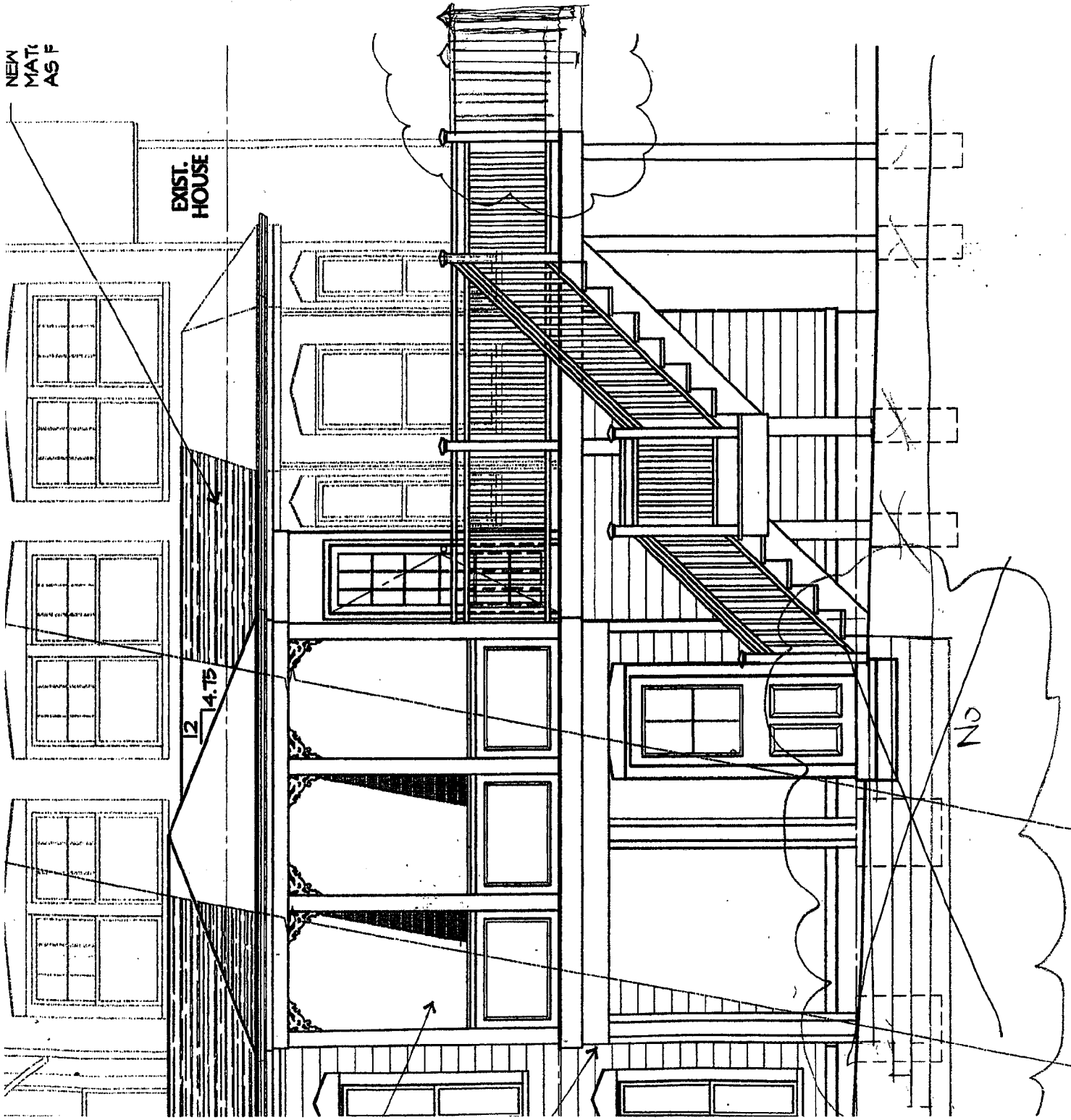
EXIST.  
HOUSE

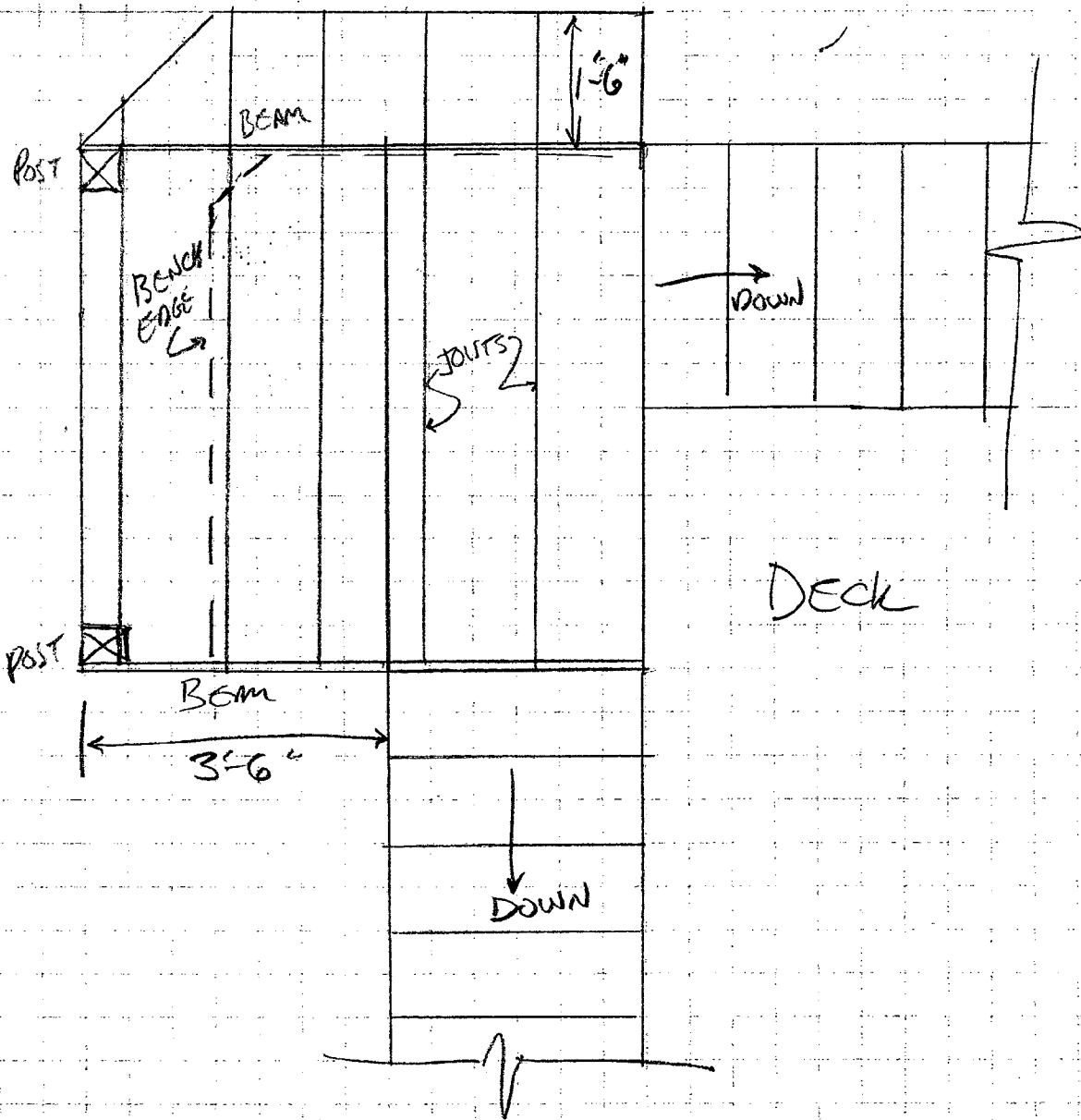
12  
4.75

ON

EV.

EAST ELEV.





SCALE  $\frac{1}{2}'' = 1'-0''$

NORKIN

LANDING PLAN



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: January 13, 2005

MEMORANDUM

TO: Ken & Linda Norkin (Rick Leonard, Agent)  
14 Hickory Avenue, Takoma Park, **Takoma Park Historic District**

FROM: Tania Georgiou Tully, Senior Planner  
Historic Preservation Section

SUBJECT: Historic Area Work Permit Application # 368808

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Your Historic Area Work Permit application for a rear addition was **approved with conditions** by the Historic Preservation Commission at its January 12, 2005 meeting.

Prior to applying for a county building permit from the Department of Permitting Services, you must **schedule a meeting** with your assigned staff person to bring your final construction drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings and an official approval letter (given at the time of drawing stamping). These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online at <http://permits.emontgomery.org> of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!



Feb 2005

14 ~~B~~ Hickory Ave  
Brett Linkletter  
Comments

2 fences to delineate a good space  
20-30' away from tree  
to keep construction equipment  
off of critical root zone

plan had tree heights, not diam  
advised applicants to put up  
the above

He says they are good to go.

161



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: January 13, 2005

**MEMORANDUM**

TO: Robert Hubbard, Director

FROM: Tania Georgiou Tully, Senior Planner  
Historic Preservation Section

SUBJECT: Historic Area Work Permit # 368808

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED with CONDITIONS.**

1. The applicants will have a Tree Protection Plan approved by the Takoma Park Arborist.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Ken & Linda Norkin (Rick Leonard, Agent)

Address: 14 Hickory Avenue, Takoma Park

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work



242-777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Rick LEONARD  
Daytime Phone No.: 301 270 4799

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: KEN + LINDA Norkin Daytime Phone No.: 301-270-4524  
Address: 14 Hickory Ave.  
Street Number City State Zip Code  
Contractor: Rick Leonard (Heritage Bldg. & Renovation) Phone No.: 301 270 4799  
Contractor Registration No.: MWIC 32422  
Agent for Owner: Rick LEONARD Daytime Phone No.: 301 270 4799

**LOCATION OF BUILDING/PREMISE**

House Number: 14 Street: Hickory Ave  
Town/City: Takoma Park Nearest Cross Street: Columbia Ave.  
Lot: 10 + 11 Block: 20 Subdivision: B-E, GILBERTS ADDITION TO TAKOMA  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 205,000.00  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

12-21-04  
Date

Approved: with condition For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: Julia O'Malley Date: 1/12/05  
Application/Permit No.: 368808 Date Filed: 12/22/04 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1887 QUEEN ANNE - CATEGORY I  
PREVIOUS ADDITIONS ON REAR - MOST  
RECENT IN 1980'S - ROOM BAY AND LARGE  
DECK SOME REAR AND SIDE WINDOWS PREVIOUSLY  
REPLACED.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

ONE STORY WITH FINISHED BASEMENT ON REAR  
IN AREA CURRENTLY OCCUPIED BY DECK AND  
EXTENDING BEYOND. DESIGN COMPATIBLE WITH EXISTING.  
MINIMAL IMPACT ON STREET VIEW. ORIGINAL STRUCTURE  
UNCHANGED. ONLY CHANGES ARE TO PREVIOUSLY REMODELED PART.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the profile of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

II-D



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

January 11, 2005

**MEMORANDUM**

TO: Julia O'Malley, Chair  
Historic Preservation Commission

FROM: Tania Tully, Senior Planner *TGT*  
Historic Preservation Section

SUBJECT: HPC Case No. 37/03-05A, 14 Hickory Avenue, Takoma Park

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Brett Linkletter the City Arborist for Takoma Park informed staff that the work proposed at 14 Hickory Avenue will require a tree protection plan from the City. With that in mind, staff is altering its recommendation from **Approve** to **Approve with Condition**. The condition should be that the applicants file an approved tree protection plan with the City of Takoma Park. Staff spoke with the applicants who are aware of and understand the condition.

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	14 Hickory Avenue, Takoma Park	<b>Meeting Date:</b>	01/12/05
<b>Applicant:</b>	Ken & Linda Norkin Rick Leonard, Agent	<b>Report Date:</b>	01/04/05
<b>Resource:</b>	Outstanding Resource <b>Takoma Park Historic District</b>	<b>Public Notice:</b>	12/29/04
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	37/03-05A	<b>Staff:</b>	Tania Tully

**PROPOSAL:** Rear Addition**RECOMMENDATION:** Approve?**STAFF RECOMMENDATION:**

Staff is recommending approval with the following condition:

- The concrete parking pad is either stamped and stained or a smaller scale material such as brick or stone pavers is used.

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Outstanding Resource within the Takoma Park Historic District  
**STYLE:** Queen Anne  
**DATE:** c.1887

This frame 2½ story frame Victorian sits near the front of a large sloping parcel consisting of two lots. The main block of the house has a hipped roof with a couple of bays and projections. There is a one-story hip roofed open front porch and an existing 1980s rear addition and large deck. The windows have wide trim topped with a simple pediment.

**PROPOSAL:**

The applicants propose the following:

- Remove existing deck (Circle 14)
- Enclose area below existing house & deck (Circles 9-11)
- Construct 1-story plus basement rear addition (Circles 9-11)
  - Hardi Plank siding
  - Window trim and corner boards to match existing
- Construct a screened porch as part of the addition (Circles 9-11)
- Add a new deck (Circle 13)

**APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

***Takoma Park Historic District***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Outstanding Resources have the highest level of architectural and/or historical significance. While they will receive the most detailed level of design review, it is permissible to make sympathetic alterations, changes and additions. The guiding principles to be utilized by the Historic Preservation Commission are the *Secretary of the Interior's Standards for Rehabilitation*

Specifically, some of the factors to be considered in reviewing HAWPs on Outstanding Resources:

Plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setback, and materials

Emphasize placement of major additions to the rear of existing structures so that they are less visible from the public right-of-way

While additions should be compatible, they are not required to be replicative of earlier architectural styles

Preservation of original and distinctive architectural features, such as porches, dormers, decorative details, shutters, etc. is encouraged

Preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged

Preservation of original building materials and use of appropriate, compatible new materials is encourages

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space

**Montgomery County Code; Chapter 24A**

- A HAWP permit should be issued if the Commission finds that:
  1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
  2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

***Secretary of the Interior's Standards for Rehabilitation:***

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

Because this house sits at the front center of two lots and is minimally treed, any addition is likely to be visible. However, the fact that the lot slopes to the rear allows the addition to be significantly lower than the main house and still be 2 stories in height. The existing 1980s bay addition on the rear of the house and what was possibly an enclosed porch will remain. This "porch" was enclosed to ground level, but is currently open. Included with the addition is the proposal to enclose the lower section and incorporate it into the interior of the house.

The walls filling in the lower level will be flush with existing walls above, but the new full height construction on the south elevation will be inset 3 ½ inches, the width of the corner board. This inset was created at staff's suggestion, but after subsequent review we believe that it is not necessary. The north side of the addition is inset the width of the bay. The addition will be clad in Hardi-Plank siding and will use wood double-hung windows with simulated divided lights where applicable.

The proposal also includes rebuilding the exterior deck and adding a screened gazebo like porch.

Staff finds this proposal meets the applicable *Standards & Guidelines* since it is set to the rear and is significantly lower than the original house. As can be seen by the proposed new bay on south elevation, the design is compatible through imitation of historic features and subtly differentiated through the use of modern materials. No historic fabric will be altered or removed. Staff recommends approval.



**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation* #s 9 and 10.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 prior to commencement of work and not more than two weeks following completion of work.



240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Rick LEONARD  
Daytime Phone No.: 301 270 4799

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: KEN + LINDA Norkin Daytime Phone No.: 301-270-4524  
Address: 14 Hickory Ave.  
Street Number City Street Zip Code  
Contractor: Rick Leonard (Heritage Bldg. & Renovation) Phone No.: 301 270 4799  
Contractor Registration No.: MWIC 32422  
Agent for Owner: Rick LEONARD Daytime Phone No.: 301 270 4799

**LOCATION OF BUILDING/PREMISE**

House Number: 14 Street: Hickory Ave  
Town/City: Takoma Park Nearest Cross Street: COLUMBIA AVE.  
Lot: 10 + 11 Block: 20 Subdivision: B-E, GILBERTS ADDITION TO TAKOMA  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

12-21-04  
Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 368808 Date Filed: 12/22/04 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

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RECENT IN 1980'S - REAR BAY AND LARGE  
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REPLACED.

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IN AREA CURRENTLY OCCUPIED BY DECK AND  
EXTENDING BEYOND. DESIGN COMPATIBLE WITH EXISTING,  
MINIMAL IMPACT ON STREET VIEW. ORIGINAL STRUCTURE  
UNCHANGED. ONLY CHANGES ARE TO PREVIOUSLY REMODELED AREAS.

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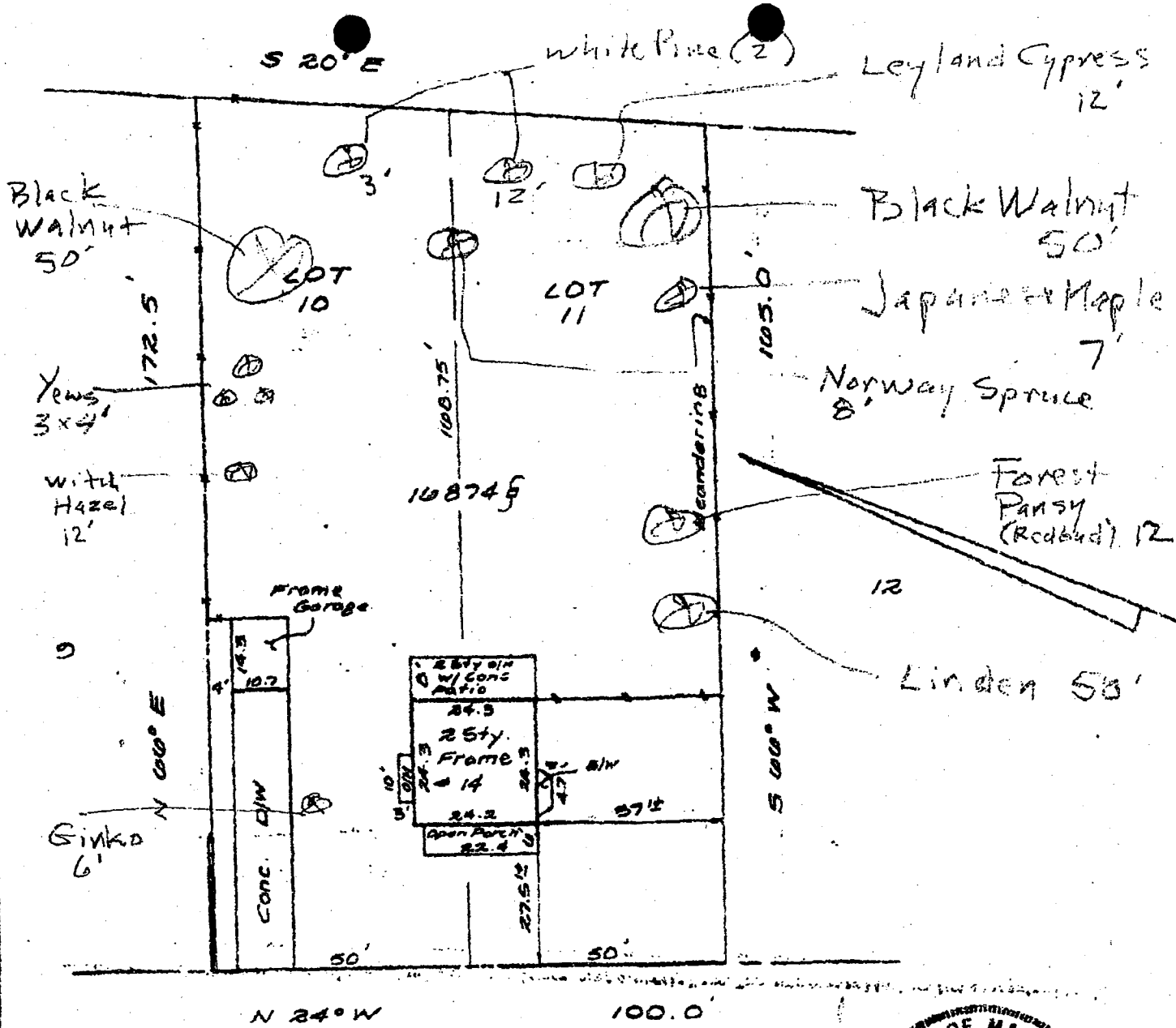
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PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



N 24° W 100.0'  
**HICKORY AVENUE**



Location of House  
 LOTS 10 & 11 BLOCK 20  
 B.F. GILBERT'S ADDITION TO  
 TAKOMA PARK  
 Montgomery County, Md.

SURVEYOR'S CERTIFICATE		REFERENCES		SNIDER, BLANCHARD, LAUGHLAND & TACIK, INC.	
I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TAPE SURVEY AND THAT UNLESS OTHERWISE SHOWN, THERE ARE NO ENCROACHMENTS.		PLAT BK.	A	19 EAST CHURCH ST FREDERICK, MD 21701 (301) 663-6500	
		PLAT NO.	2		
 REGISTERED LAND SURVEYOR MD. # 9164		LIBER		DATE OF SURVEYS	SCALE: 1" = 30'
		PGLO		WALL CHECK:	DRAWN BY: RB
				HEB. LOC.: 4-14-81	JOB NO.: 81-5748
				BOUNDARY:	

NORKIN RESIDENCE  
#14 HICKORY LANE  
TAKOMA PARK, MD. 20912

**GENERAL NOTES:**

ALL WORK SHALL COMPLY TO ALL APPLICABLE LOCAL CODES.

ALL CONSTRUCTION SHALL BE CLASSIFIED AS AND COMPLY TO EITHER OF THE FOLLOWING: USER GROUP R-4 UNDER THE 1993 LABC CODE OR 1 TWO FAMILY DWELLING CODE.

THESE PLANS ARE SUBJECT TO MODIFICATION AS NECESSARY TO MEET CODE REQUIREMENTS OR TO FACILITATE MECHANICAL/PLUMBING INSTALLATIONS OR TO INCORPORATE DESIGN IMPROVEMENTS.

THE OWNER SHALL OBTAIN NECESSARY AND SAVE HAZARDOUS ARCHITECTURAL DRAFTING SERVICES FROM AND ADJUST ALL SITE ACTIONS, LIABILITIES, LOSSES, AND/OR EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF ANY WORK BY OWNER OR ITS EMPLOYEES, SUBCONTRACTORS, AGENTS, OR REPRESENTATIVES CAUSED IN WHOLE OR IN PART BY ANY ACT OF OMISSION WHETHER DELIBERATE OR OTHERWISE, ON PART OF THE OWNER OR ITS EMPLOYEES, SUBCONTRACTORS, AGENTS, OR REPRESENTATIVES.

THE CONTRACTOR SHALL COMPARE AND CORROBORATE ALL DRAWINGS. WHEN A DISCREPANCY OR AN ERROR OR OMISSION EXISTS, HE SHALL COMPLY WITH THE CODE AND CONTACT THE OWNER IN WRITING FOR PROPER ADJUSTMENT.

THESE PLANS ARE NOT TO BE SCALED FOR CONSTRUCTION PURPOSES. WRITTEN DIMENSIONS AND NOTES SUPERSEDE ALL SCALE REFERENCES.

IN THE EVENT CERTAIN FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.

INTERNAL GARAGES IN DWELLING SHALL BE SEPARATED FROM ALL ADJACENT LIVING SPACE WITH FIRE SEPARATION AS REQUIRED BY CODE.

THESE DRAWINGS DO NOT INCLUDE STRUCTURAL DETAILS.

**STRUCTURAL GENERAL NOTES:**

ALL FOOTINGS TO BEAR AN UNDISTURBED SOIL. CONCRETE QUALITY 5000 PSI @ 28 DAYS. ASSUMED ALLOWABLE SOIL BEARING CAPACITY 3000 PSF.

REINFORCING STEEL WITH A818 BRACD

STRUCTURAL STEEL WITH A36

TUBULAR STEEL WITH A53

ROOF LIVE LOAD 30 PSF

2ND LEVEL FLOOR LIVE LOAD 40 PSF

SLEEPING ROOM LIVE LOAD 30 PSF

BASIC WIND SPEED TO WIND IS 105 MPH

**CONCRETE**

BOTTOM OF ALL FOOTINGS SHALL BE LOCATED A MINIMUM OF 2'-0" BELOW FINISHED GRADE, OR PER LOCAL CODE. STRENGTH OR DEPTH OF FOOTING/FOUNDATION MAY VARY ACCORDING TO LOCAL, SITE OR BEST PRACTICES.

ALL INTERIOR SLABS 50'-0" OR GREATER IN ANY DIRECTION SHALL HAVE 6" MINIMUM THICK CONCRETE USED IN EXPOSED AREAS IMPLICIT TO PREVENT AN "HAIRING" BOTH DURING CONSTRUCTION AND SERVICE LIFE. SLABS SHALL BE AIR-ENTRAINED IN ACCORDANCE WITH LOCAL CODE. EXTERIOR PLATWORK SHALL BE COATED WITH AN APPROVED CURING COMPOUND.

FOUNDATION WALLS OF HABITABLE SPACE LOCATED BELOW GRADE SHALL BE DAMPPROOFED OR WATERPROOFED USING MATERIALS & METHODS APPROVED BY LOCAL BUILDING JURISDICTION.

**WOOD**

HALL BRACING SHALL BE INSTALLED AS PER LOCAL CODE.

ALL ROOF TRUSSES AND FLOOR SYSTEMS SHALL BE ENGINEERED BY OTHERS.

ALL ROOF TRUSSES AND FLOOR SYSTEMS SHALL BE BRACED AND INSTALLED PER MANUFACTURERS SPECIFICATIONS AND AS PER LOCAL CODE.

FIRE STOPPING SHALL BE PROVIDED TO CUT OFF CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORES AS PER LOCAL CODE.

AT THE INTERSECTION OF KITCHEN BULKHEAD AND HALL:

AT THE TOP OF ALL HEAT CHASES AT BATH TUB TRAP OPENINGS.

2" FIRE STOPPING/BLOCKING AT EVERY FLOOR OR 6'-0" O.C. VERTICALLY.

ALL WALLS ARE 2x4 STUDS @ 16" O.C. SPP STD GRADE UNLESS OTHERWISE NOTED.

ALL WOOD LESS THAN 6" FROM GRADE SHALL BE PRESSURE TREATED. ALL GOLF PLATES ON SLABS SHALL BE PRESSURE TREATED.

PROVIDE BEARING AT ALL STRUCTURAL MEMBERS AS REQUIRED BY CODE.

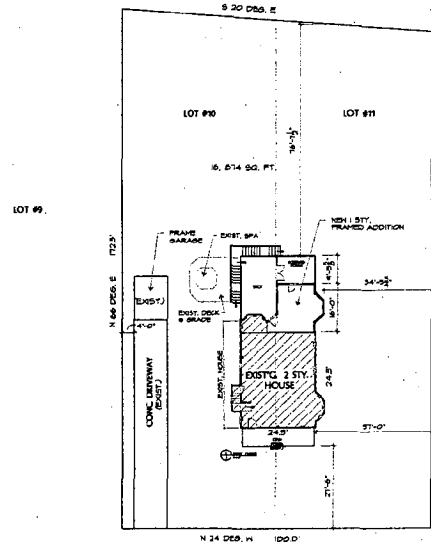
PROVIDE FLOOR AND HALL BLOCKING AS SHOWN ON FRAMING PLANS AS REQUIRED BY LOCAL CODE.

SEE DRAWINGS FOR TYPE OF FLOOR CONSTRUCTION.

ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS AND AS PER APPLICABLE LOCAL CODES.

**DRAWING LIST**

- C-1.0 SITE PLAN
- D-1.0 DEMOLITION PLAN
- A-1.0 BASEMENT FLOOR PLAN
- A-2.0 1ST FLOOR PLAN
- A-3.0 ELEVATIONS
- A-4.0 ELEVATIONS
- A-5.0 ELEVATIONS



**1 SITE PLAN**  
1"=240'

**GENERAL NOTES:**

LOCATION OF HOUSE - LOT 10 & 11  
BLOCK - 20  
PLAT BOOK - \*\* A  
PLAT NO. - 42  
16,874 SQ. FT.

D.P. SILBERTS ADDITION TO TAKOMA PARK  
MONTGOMERY CO., MD.

NEW 1 STORY FRAMED ADDITION - 280 SQ. FT.



**Heritage Building and Renovation**  
7334 Carroll Avenue  
Takoma Park, MD 20912  
Phone: (301) 271-4799  
Fax: (301) 271-0166

**NORKIN RESIDENCE**  
#14 HICKORY LANE  
TAKOMA PARK, MD 20912

12/21/04

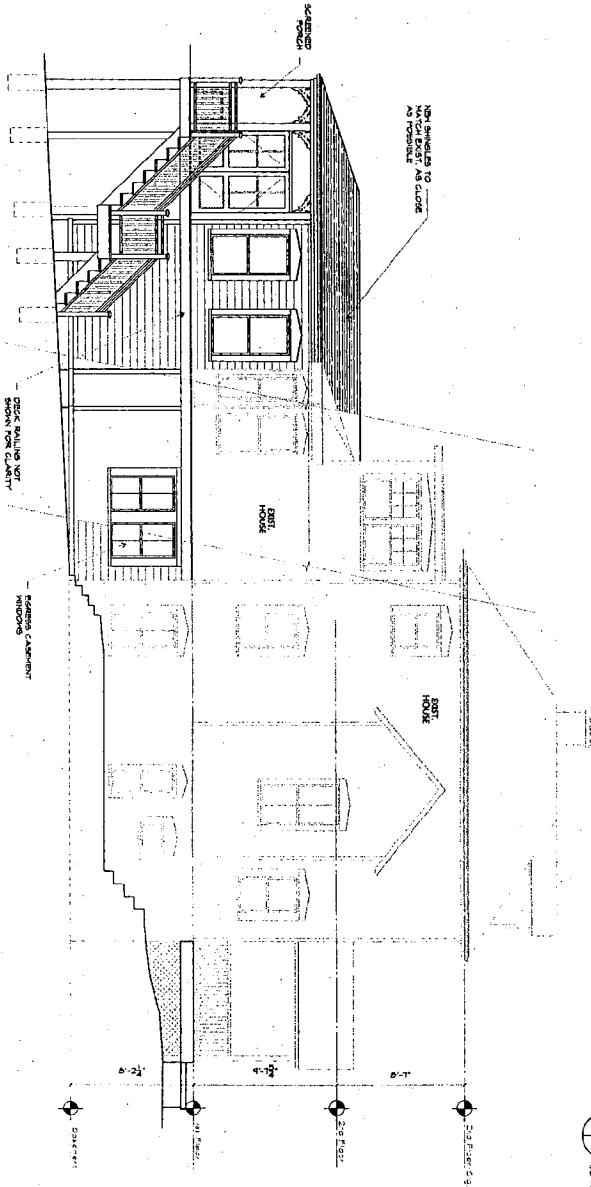
SHEET  
OF  
C  
P  
P

Site Plan  
1"=240'

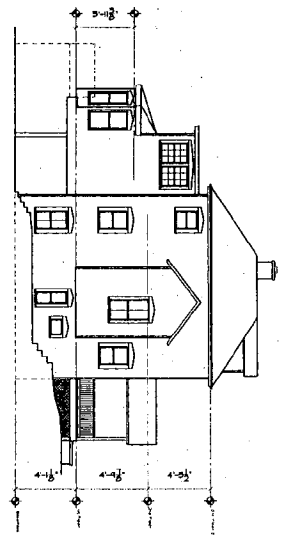
8

6

A NORTH ELEV.  
1/8"=1'-0"



A1 EXIST. NORTH ELEV.  
1/8"=1'-0"



DATE	12/21/08
SCALE	1/8"=1'-0"
ELEVATION	
A-3	

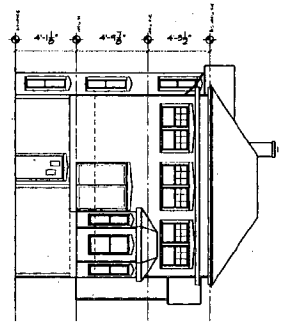
**Heritage**  
*Building and Renovation, Inc.*  
 7334 CARROLL AVE.  
 TAKOMA PARK, MD. 20612  
 PH. (301)897-1588 FAX (301) 270-0166

**NORKIN RESIDENCE**

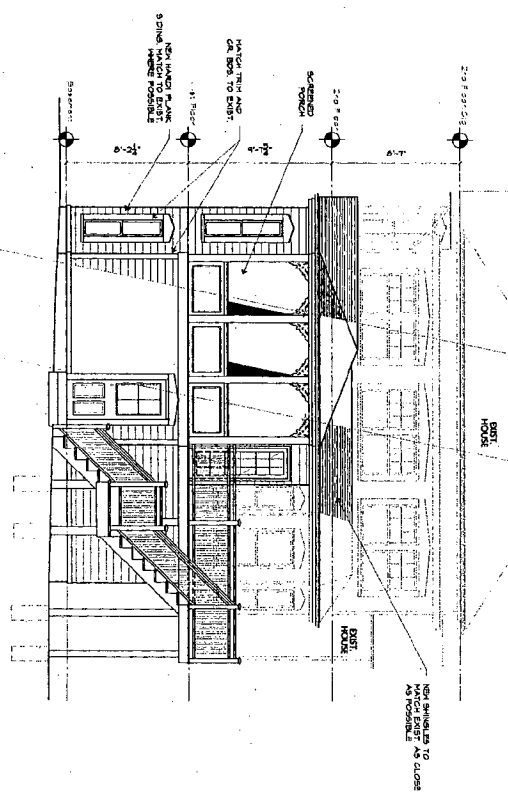
#14 HICKORY LA.  
TAKOMA PARK, MD.

01

B1 EXIST. EAST ELEV.



B EAST ELEV.



NOT DIMENSIONED TO CLOSE UP AS POSSIBLE

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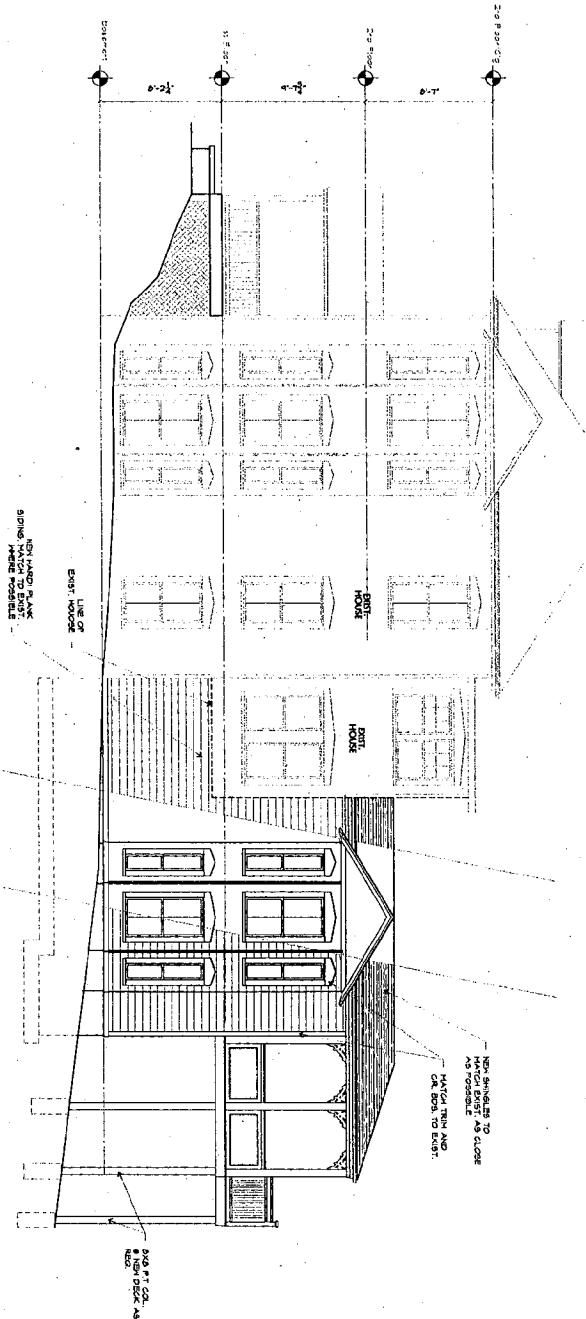
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 DRAWN: V.A.S.-D  
 ELEVATION

A-4

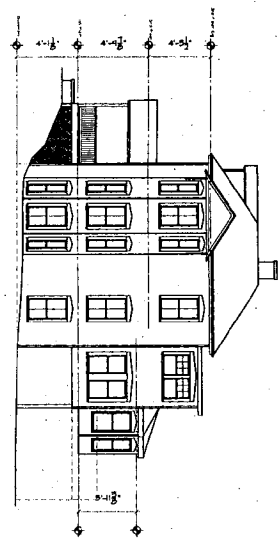
**NORKIN RESIDENCE**  
 #14 HICKORY LA.  
 TAKOMA PARK, MD.

11

C SOUTH ELEV.



C1 EXIST. SOUTH ELEV.

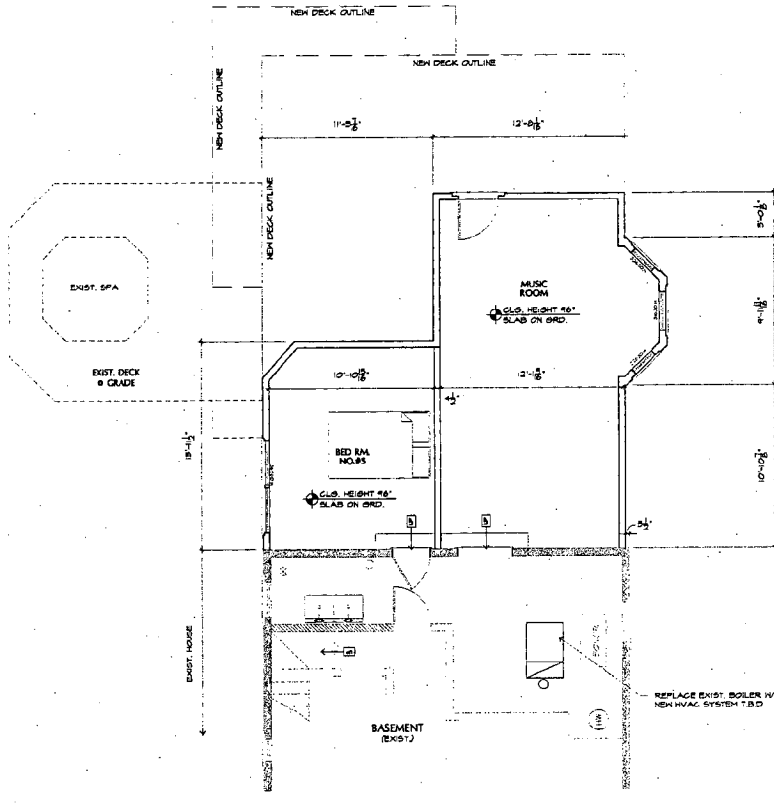


A-5	ELEVATION	DATE: 12/21/04	<p><b>Heritage</b>          Building and Renovation, Inc.          7334 CARROLL AVE.          TAKOMA PARK, MD. 20912          PH. (301)897-1588 FAX (301) 270-0166</p>
		SCALE: 1/8" = 1'-0"	

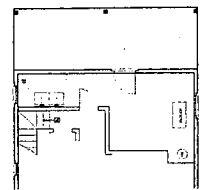
**NORKIN RESIDENCE**

#14 HICKORY LA.  
 TAKOMA PARK, MD.





2 BASEMENT  
1/4" = 1'-0"



1A EXIST. BASEMENT  
1/8" = 1'-0"

**WALL LEGEND**

EXISTING WALLS TO REMAIN  
 ////////////////

NEW EXTERIOR WALL WITH 2 1/2" GYPSUM - HARDPLANK SIDING  
 1/2" GYPSUM - HARDPLANK ON 2 1/2" HD STUDS @ 4' O.C. TYP.  
 INTERIOR OF FIB. GYPS. BO. TYP.

NEW 4 1/2" GYPS. BO. PARTITION WALL  
 1/2" GYPS. BO. BOTH SIDES OF 2 1/2" HD STUDS @ 4' O.C. TYP.

12

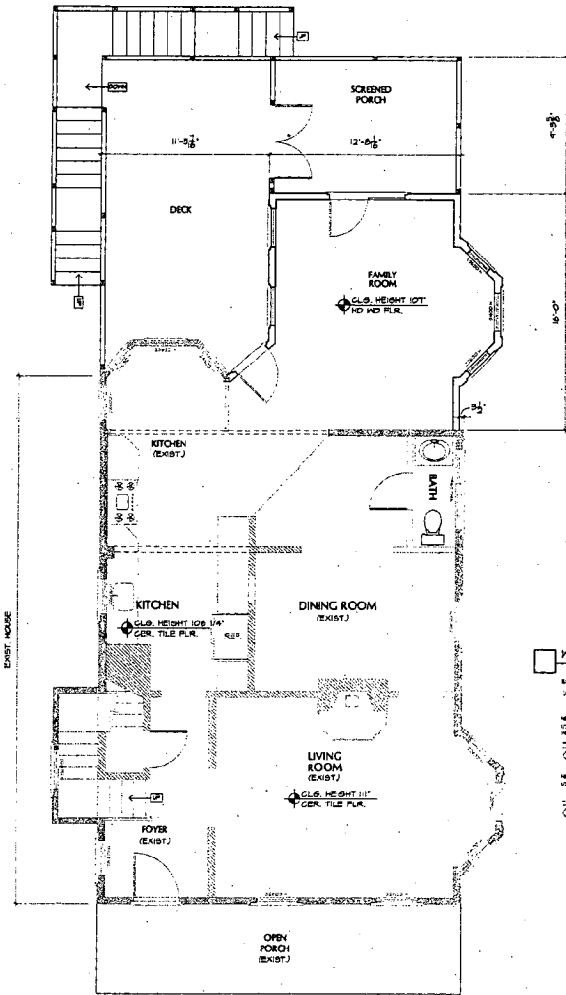
**NORKIN RESIDENCE**  
 #14 HICKORY LA.  
 TAKOMA PARK, MD.

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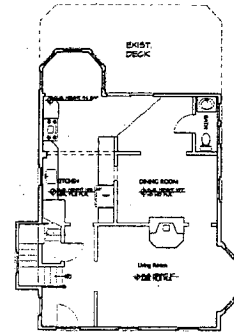
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 Building and Renovation, Inc.  
 7334 CARROLL AVE.  
 TAKOMA PARK, MD. 20912  
 PH. (301) 957-1598 FAX (301) 270-0166

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SCALE	1/4" = 1'-0"
DATE	12/21/0*
FLOOR PLAN	
SHEET	A-1



1 FIRST FLOOR  
1/8"=1'-0"



2A EXIST. FIRST FLOOR  
1/8"=1'-0"

WALL LEGEND

- EXISTING WALL TO REMAIN
- NEW EXTERIOR WALL WITH 8" X 12" BRICK INCL. SANDWICH INSULATION BENEATH 12" SOLID CONCRETE FOUNDATION ON 4" X 12" WOOD STUDS & 4" X 8" TYP. INTERIOR WALLS AND PART. WALLS
- NEW 4" X 12" BRICK PARTITION WALL 1/2" AIR SP. ON BOTH SIDES OF 2" X 4" WOOD STUDS @ 16" O.C. TYP.

13

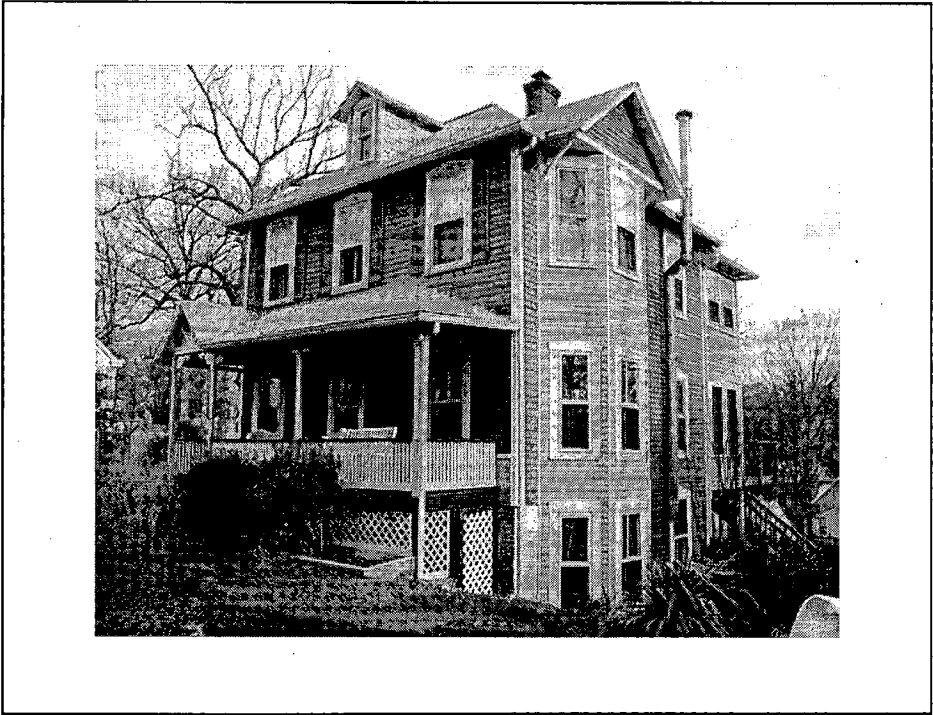
NORKIN RESIDENCE  
#14, HICKORY LA.  
TAKOMA PARK, MD.

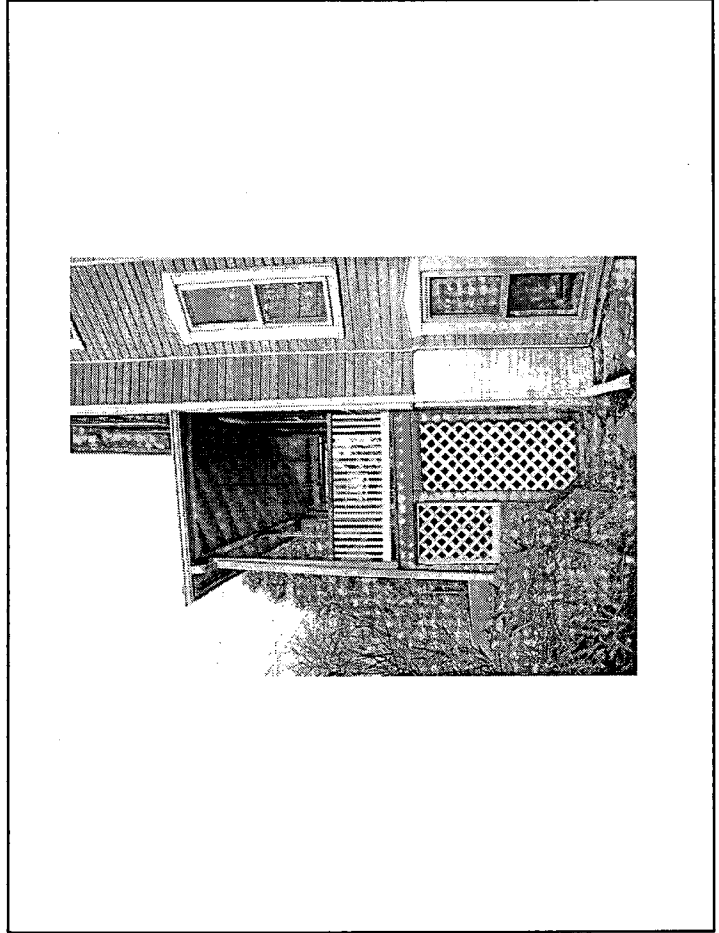
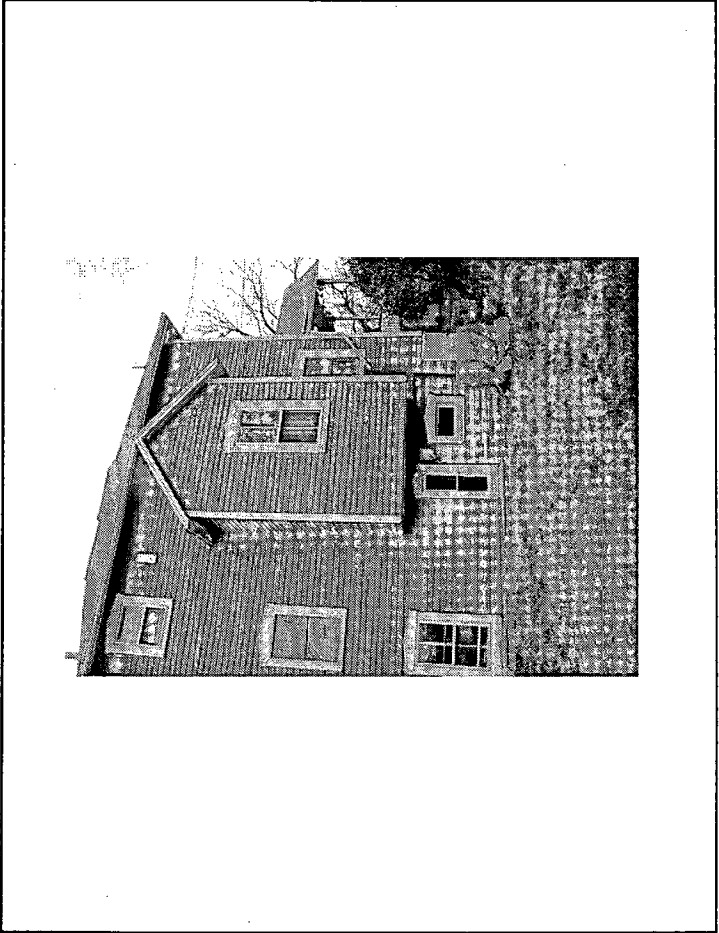
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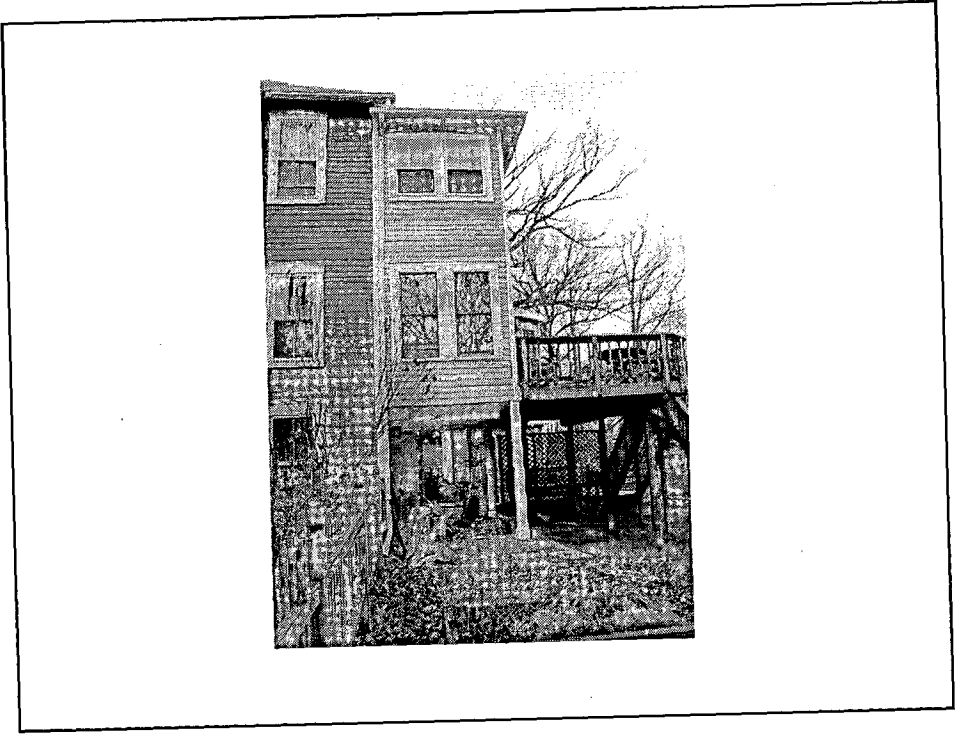
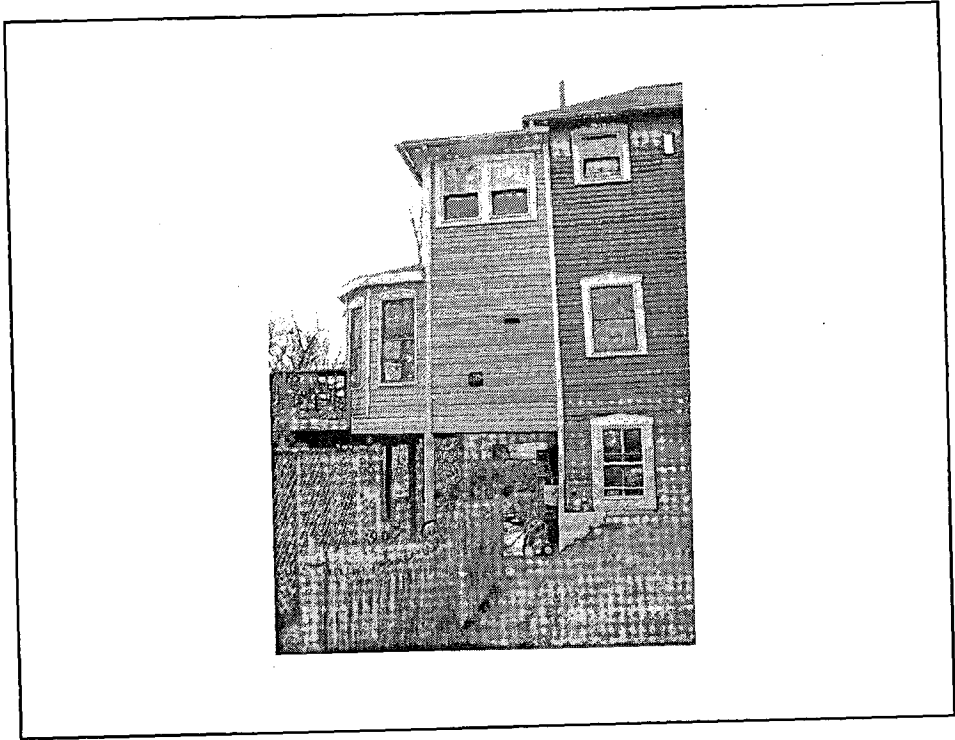
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DATE 12/21/04

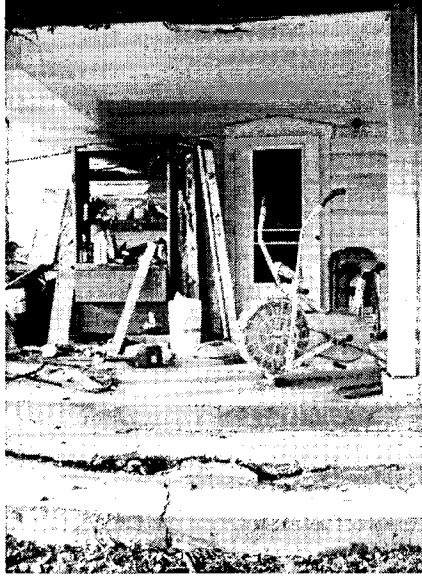
FLOOR  
PLAN

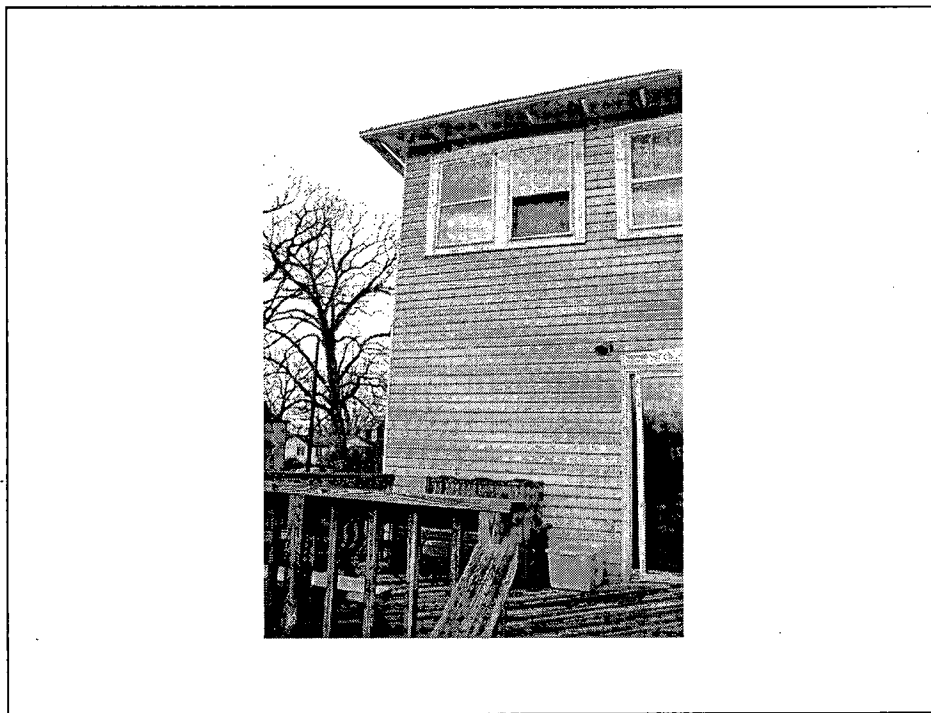
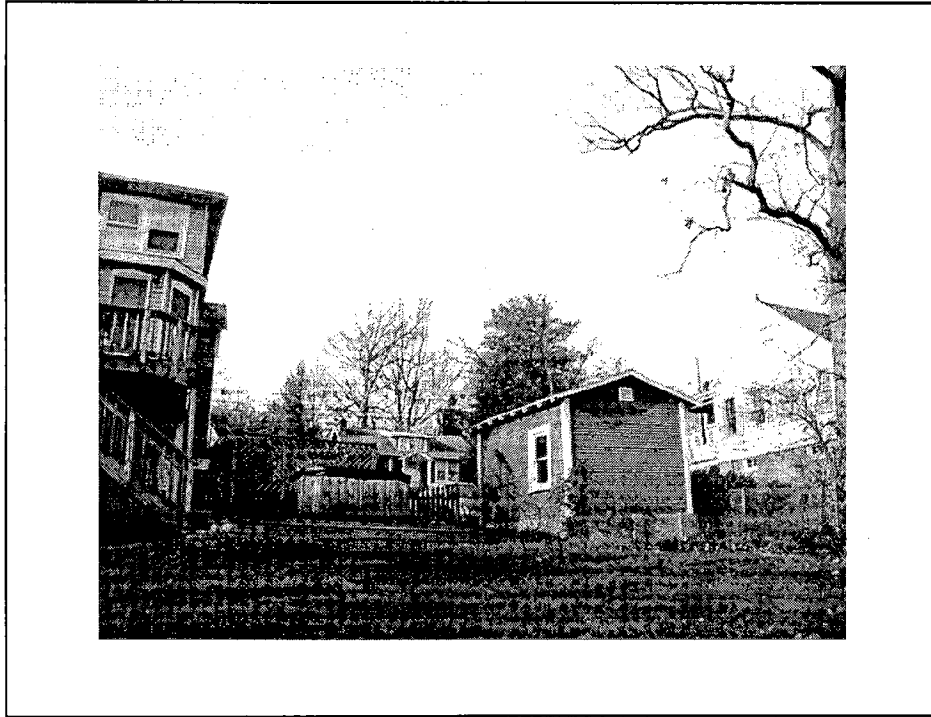
A-2

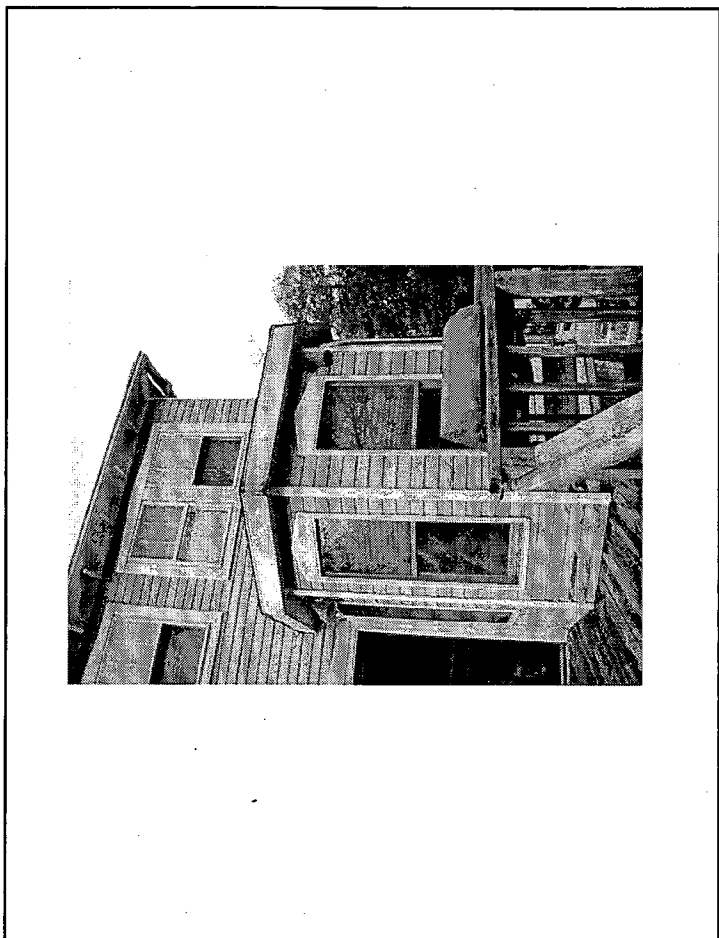




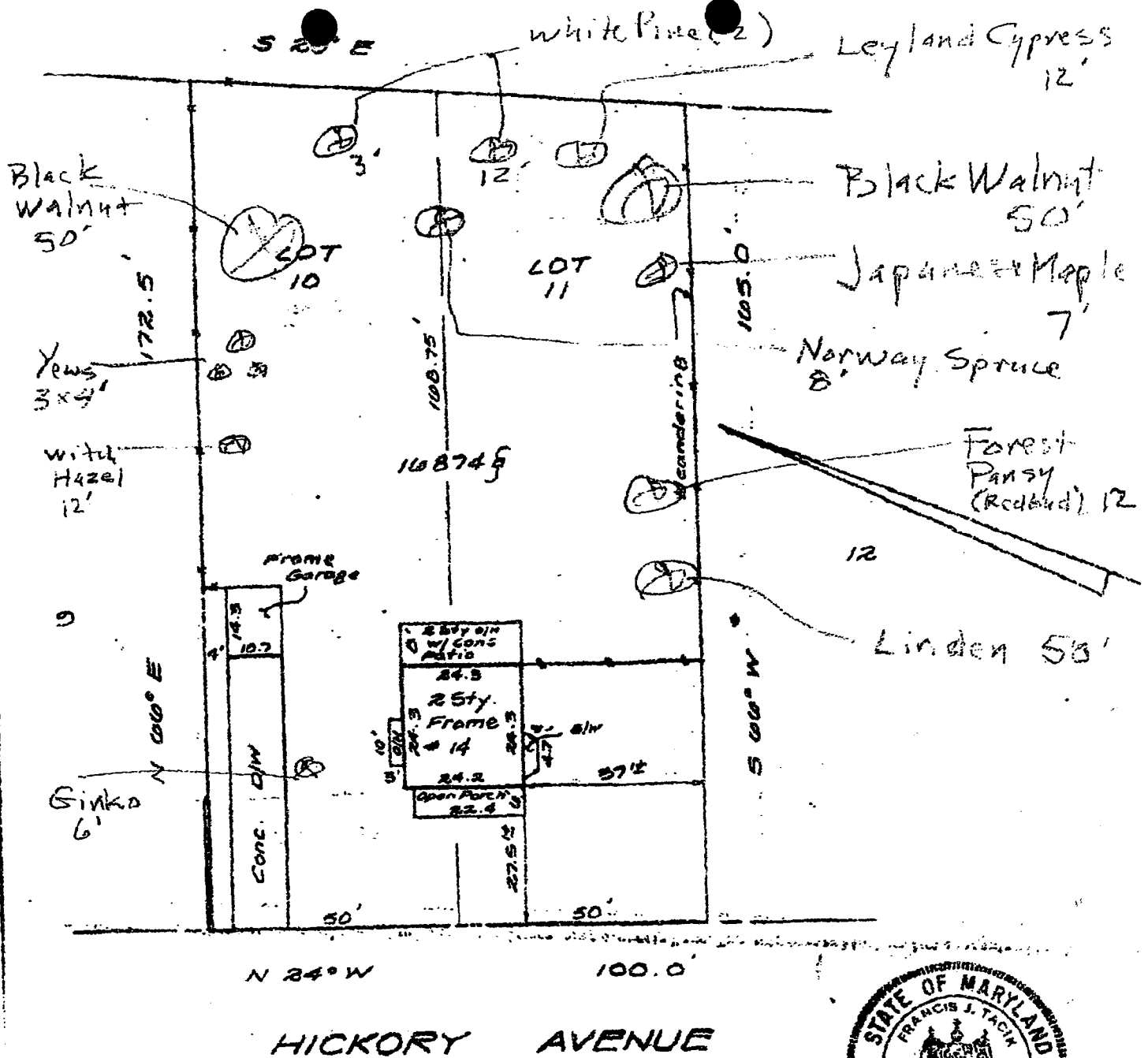




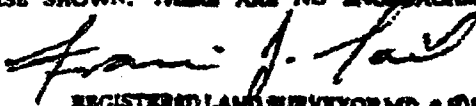








Location of House  
LOTS 10 & 11 BLOCK 20  
B.F. GILBERT'S ADDITION TO  
TAKOMA PARK  
Montgomery County, Md.

SURVEYOR'S CERTIFICATE		REFERENCES	SNIDER, BLANCHARD, LAUGHLAND & TACIK, INC.	
I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TAPE SURVEY AND THAT UNLESS OTHERWISE SHOWN, THERE ARE NO ENCROACHMENTS.		PLAT BK. A	SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 10 EASY CHURCH ST FREDERICK, MD 21701 (301) 862-4500	
		PLAT NO. 2		
 REGISTERED LAND SURVEYOR MD. # 9164		LIBER	DATE OF SURVEYS	SCALE: 1" = 30'
		PG 10	WALL CHECK:	DRAWN BY: RB
			REL. LOC.: 4-14-81	JOB NO.: 81.5748
			BOUNDARY:	

Note to file:

Thursday, December 09, 2004

Site Visit

14 Hickory Avenue

Met with the property owners and Rock Leonard of Heritage Building & Renovation

The only major comment I had was to inset the addition on the right side. The design is replicative of the original but will use Hardi-plank siding. It will also enclose the space beneath the older addition and newer deck.

I suggested they try to get on the Jan 12 agenda.

TGT

1927 (1953 updated) Sanborn Map shows the house having a 1-level frame rear porch.









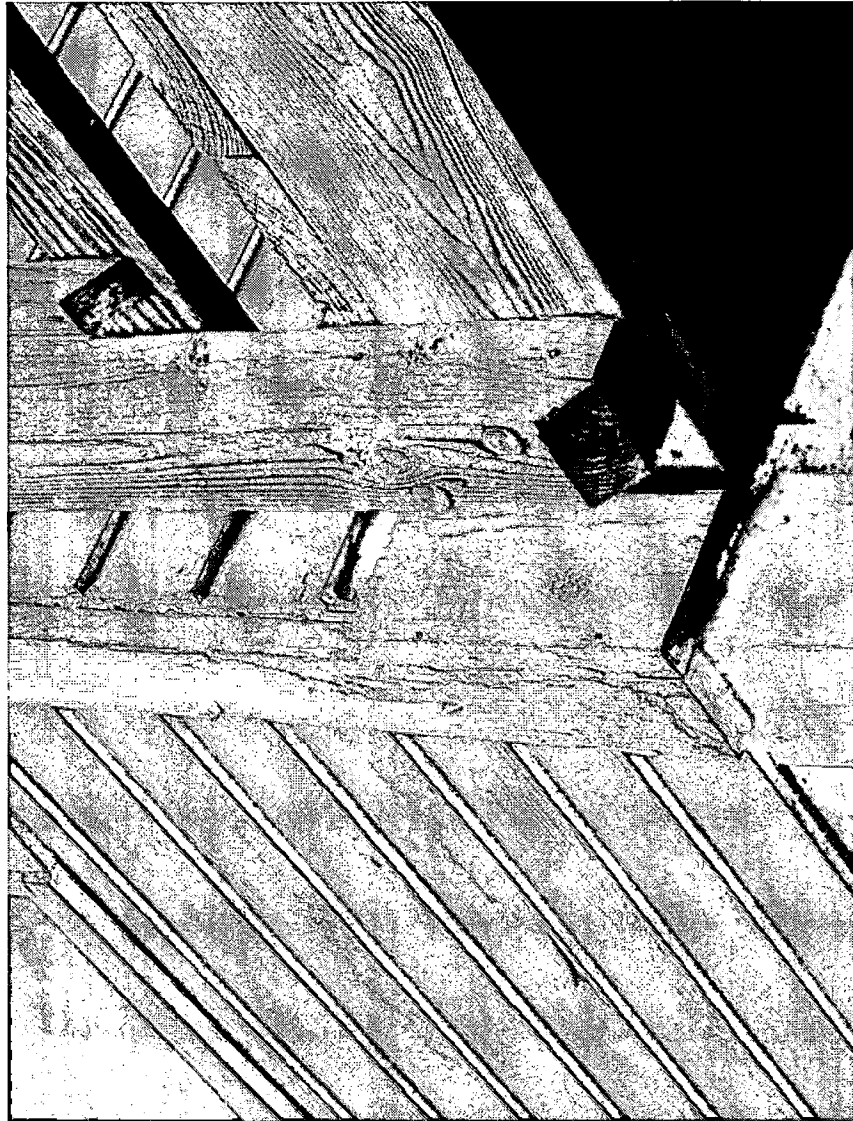






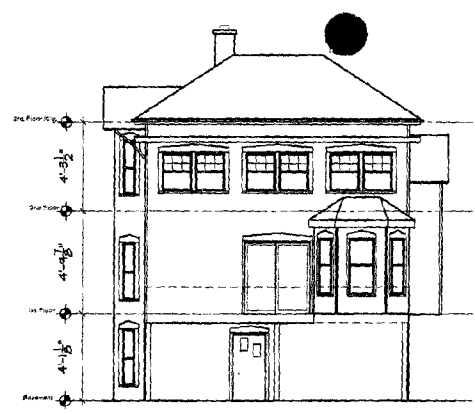




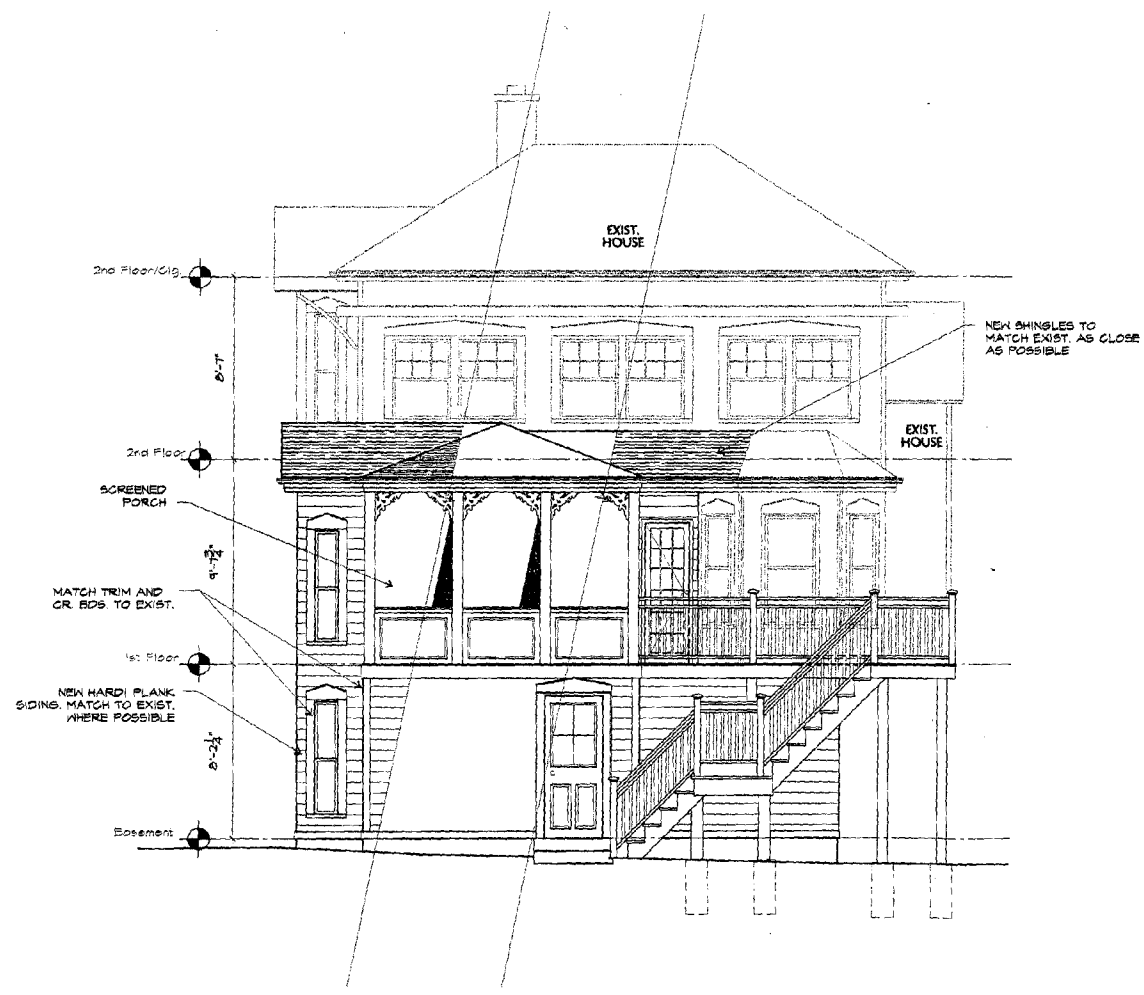








B1 EXIST. EAST ELEV.  
1/8"=1'-0"



B EAST ELEV.  
1/4"=1'-0"

NORKIN RESIDENCE  
#14 HICKORY LA.  
TAKOMA PARK, MD.

*Heritage*  
Building and Renovation, Inc.  
7334 CARROLL AVE.  
TAKOMA PARK, MD. 20912  
PH. (301)897-1598 FAX (301) 270-0166

SCALE 1/4"=1'-0"  
DATE 12/21/04

ELEVATION

A-4



C1 EXIST. SOUTH ELEV.  
1/8"=1'-0"



C SOUTH ELEV.  
1/4"=1'-0"

NORKIN RESIDENCE  
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SCALE 1/4"=1'-0"  
DATE 12/21/04

ELEVATION

A-5

# NORKIN RESIDENCE #14 HICKORY LANE TAKOMA PARK, MD. 20912

**GENERAL NOTES:**

ALL WORK SHALL COMPLY TO ALL APPLICABLE LOCAL CODES.

ALL CONSTRUCTION SHALL BE CLASSIFIED AS AND COMPLY TO EITHER OF THE FOLLOWING, USER GROUP R-4 UNDER THE 1989 CABO ONE & TWO FAMILY DWELLING CODE.

THESE PLANS ARE SUBJECT TO MODIFICATION AS NECESSARY TO MEET CODE REQUIREMENTS OR TO FACILITATE MECHANICAL/PLUMBING INSTALLATIONS OR TO INCORPORATE DESIGN IMPROVEMENTS.

THE OWNER SHALL DEFEND, INDEMNIFY AND SAVE HARMLESS ARCHITECTURAL DRAFTING SERVICES FROM AND AGAINST ALL SUITS, ACTIONS, LIABILITIES, LOSSES, AND/OR EXPENSES INCLUDING ATTORNEY'S FEES ARISING OUT OF OR RESULTING FROM THE PERFORMANCE OF ANY WORK BY OWNER OR ITS EMPLOYEES, SUBCONTRACTORS, AGENTS, OR REPRESENTATIVES, CAUSED IN WHOLE OR IN PART BY ANY ACT OF OMISSION, WHETHER NEGLIGENT OR OTHERWISE, ON PART OF THE OWNER OR ITS EMPLOYEES, SUBCONTRACTORS, AGENTS, OR REPRESENTATIVES.

THE CONTRACTOR SHALL COMPARE AND COORDINATE ALL DRAWINGS. WHEN A DISCREPANCY OR AN ERROR OR OMISSION EXISTS, HE SHALL COMPLY WITH THE CODE AND CONTACT THE OWNER IN WRITING FOR PROPER ADJUSTMENT.

THESE PLANS ARE NOT TO BE SCALED FOR CONSTRUCTION PURPOSES. WRITTEN DIMENSIONS AND NOTES SUPERSEDE ALL SCALE REFERENCES.

IN THE EVENT CERTAIN FEATURES OF CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS, THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.

INTEGRAL GARAGES IN DWELLING SHALL BE SEPARATED FROM ALL ADJACENT LIVING SPACE WITH FIRE SEPARATION AS REQUIRED BY CODE.

THESE DRAWINGS DO NOT INCLUDE STRUCTURAL DETAILS.

**STRUCTURAL GENERAL NOTES:**

ALL FOOTINGS TO BEAR AN UNDISTURBED SOIL. CONCRETE QUALITY 3000 PSI @ 28 DAYS.

ASSUMED ALLOWABLE SOIL BEARING CAPACITY 2000 PSI.

REINFORCING STEEL ASTM A615 @R60

STRUCTURAL STEEL ASTM A36

TUBULAR STEEL ASTM A501

ROOF LIVE LOAD 30 PSF

2ND LEVEL FLOOR LIVE LOAD 40 PSF

SLEEPING ROOM LIVE LOAD 30 PSF

BASIC WIND SPEED 75 MPH (15 PSF)

**CONCRETE:**

BOTTOM OF ALL FOOTINGS SHALL BE LOCATED A MINIMUM OF 2'-6" BELOW FINISHED GRADE OR PER LOCAL CODE. STEPS OR DEPTH OF FOOTINGS/FOUNDATION MAY VARY ACCORDING TO LOCAL SITE OR FROST CONDITIONS.

ALL INTERIOR SLABS 80'-0" OR GREATER IN ANY DIRECTION SHALL HAVE 6"x6"x10" W.U.M. CONCRETE USED IN EXPOSED AREAS IMPLICIT TO FREEZING AND THAWING (BOTH DURING CONSTRUCTION AND SERVICE LIFE) SHALL BE AIR-ENTRAINED IN ACCORDANCE WITH LOCAL CODE. EXTERIOR FLAT-WORK SHALL BE COATED WITH AN APPROVED CURING COMPOUND.

FOUNDATION WALLS OF HABITABLE SPACE LOCATED BELOW GRADE SHALL BE DAMPROOFED OR WATERPROOFED USING MATERIALS & METHODS APPROVED BY LOCAL BUILDING JURISDICTION.

**WOOD:**

HALL BRACING SHALL BE INSTALLED AS PER LOCAL CODE. ALL ROOF TRUSSES AND FLOOR SYSTEMS SHALL BE ENGINEERED BY OTHERS.

ALL ROOF TRUSSES AND FLOOR SYSTEMS SHALL BE BRACED AND INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND AS PER LOCAL CODE.

FIRE STOPPING SHALL BE PROVIDED TO CUT OFF CONCEALED DRAFT OPENINGS AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AS PER LOCAL CODE.

AT THE INTERSECTION OF KITCHEN BULKHEAD AND WALL.  
AT THE TOP OF ALL HEAT CHASES.  
AT BATH TUB TRAP OPENINGS.

2x FIRE STOPPING/BLOCKING AT EVERY FLOOR OR 8'-0" O.C. VERTICALLY.

ALL WALLS ARE 2x4 STUDS @ 16" O.C. SFF STUD GRADE UNLESS OTHERWISE NOTED.

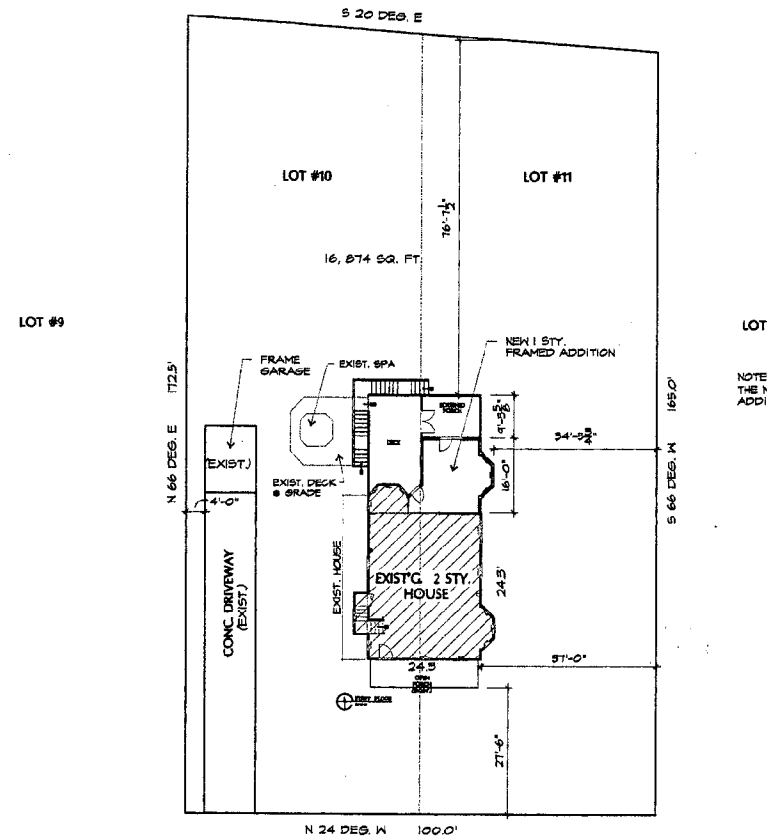
ALL WOOD LESS THAN 8' FROM GRADE SHALL BE PRESSURE TREATED. ALL SOLE PLATES ON SLABS SHALL BE PRESSURE TREATED. PROVIDE BEARINGS AT ALL STRUCTURAL MEMBERS AS REQUIRED BY CODE.

PROVIDE FLOOR AND WALL BLOCKING AS SHOWN ON FRAMING PLANS AS REQUIRED BY LOCAL CODE. SEE DRAWINGS FOR TYPE OF FLOOR CONSTRUCTION.

ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND AS PER APPLICABLE LOCAL CODES.

**DRAWING LIST**

- C-1.0 SITE PLAN
- D-1.0 DEMOLITION PLAN
- A-1.0 BASEMENT FLOOR PLAN
- A-2.0 1ST FLOOR PLAN
- A-3.0 ELEVATIONS
- A-4.0 ELEVATIONS
- A-5.0 ELEVATIONS



NOTE: NO TREES WILL BE EFFECTED OR REMOVED DUE TO THE NEW CONSTRUCTION OF THE PROPOSED (1) STORY ADDITION.

**1 SITE PLAN**  
1"=240'

**GENERAL NOTES:**

LOCATION OF HOUSE - LOT 10 & 11  
BLOCK - 20  
PLAT BOOK - \* A  
PLAT NO. - #2  
16,874 SQ. FT.

B.F. GILBERTS ADDITION TO TAKOMA PARK  
MONTGOMERY CO., MD.

NEW 1 STORY FRAMED ADDITION - 250 SQ. FT.

Site Plan

1" = 240'

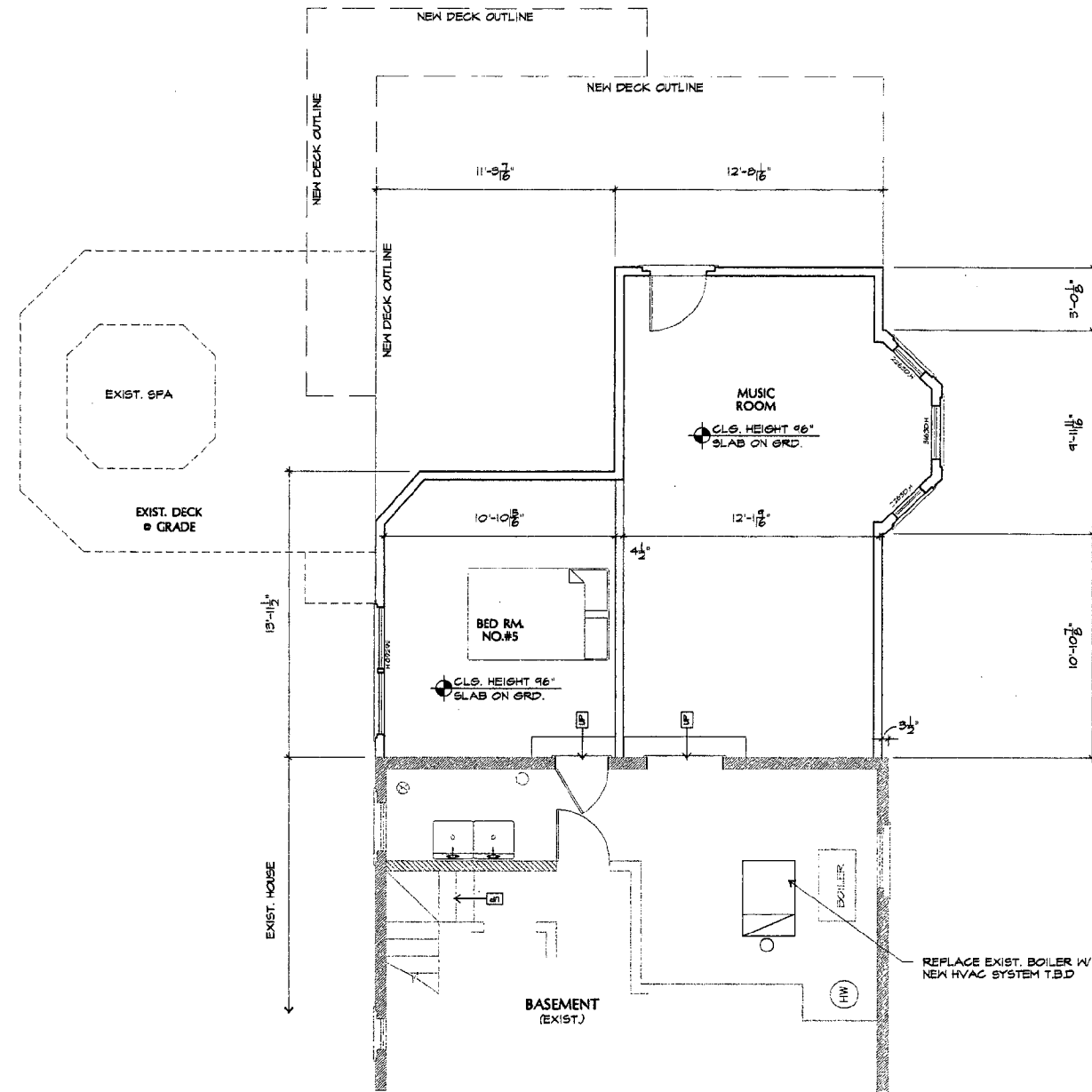
**Heritage Building and Renovation**  
7334 Carroll Avenue  
Takoma Park, MD 20912  
Phone: (301) 270-4799  
Fax: (301) 270-0166

**NORKIN  
RESIDENCE**  
#14 HICKORY LANE  
TAKOMA PARK, MD 20912

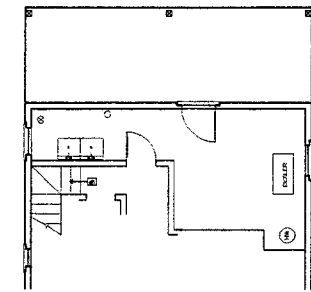
12/21/04

SHEET  
**C1**  
OF  
**1**





2 BASEMENT  
1/4"=1'-0"



1A EXIST. BASEMENT  
1/8"=1'-0"

WALL LEGEND

- EXISTING WALLS TO REMAIN
- NEW EXTERIOR WALL WITH 5/8" BATT INSUL. - HARD/PLANK SIDING  
1/2" CDX EXT. SHEATHING ON 3/4" HD. STUDS @ 16" O.C. TYP.  
INTERIOR 1/2" PTD. GYP. BD. TYP.
- NEW 4-1/2" GYP. BD. PARTITION WALL  
1/2" GYP. BD. BOTH SIDES OF 5-1/2" HD. STUDS @ 16" O.C. TYP.

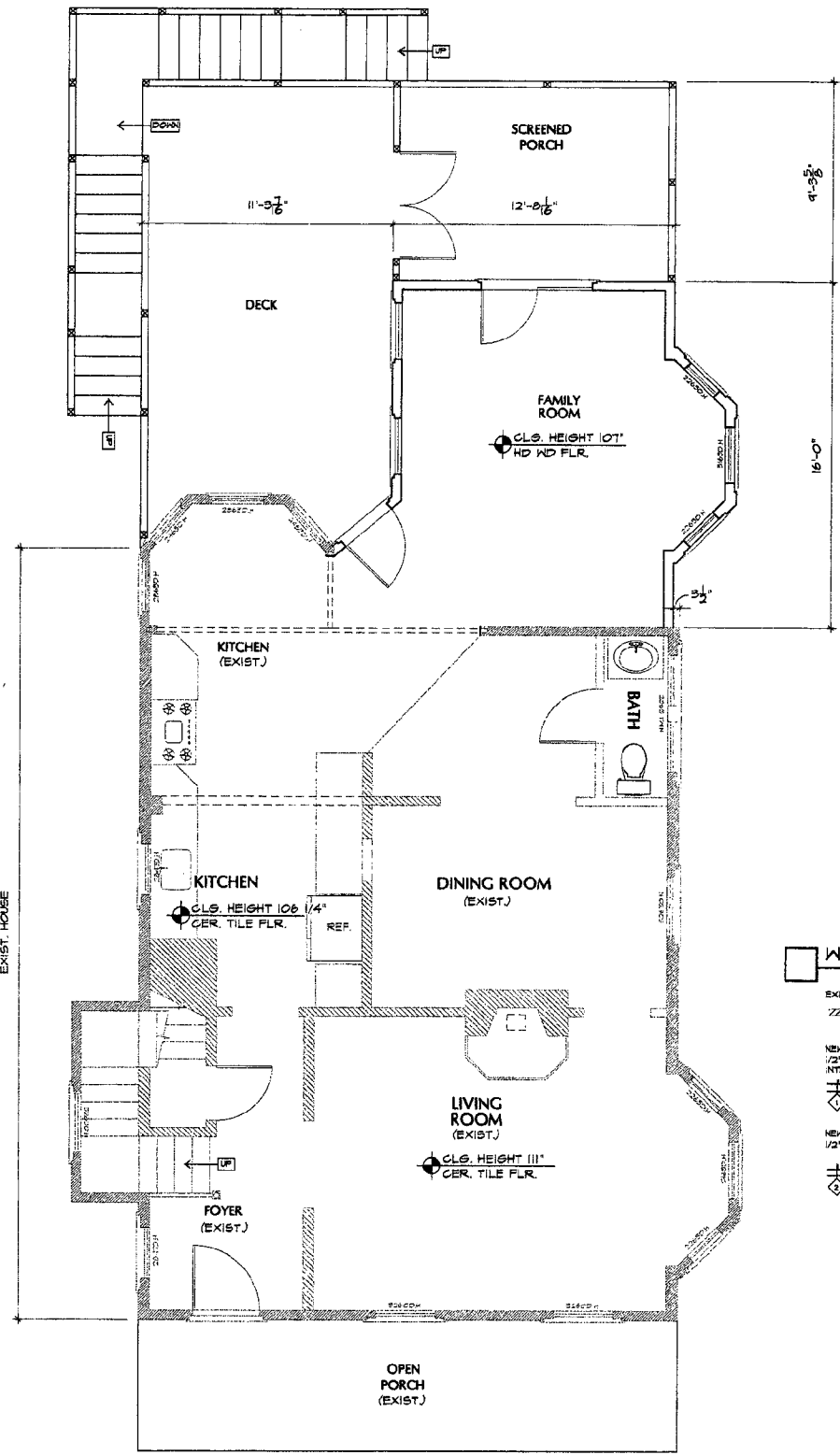
NORKIN RESIDENCE  
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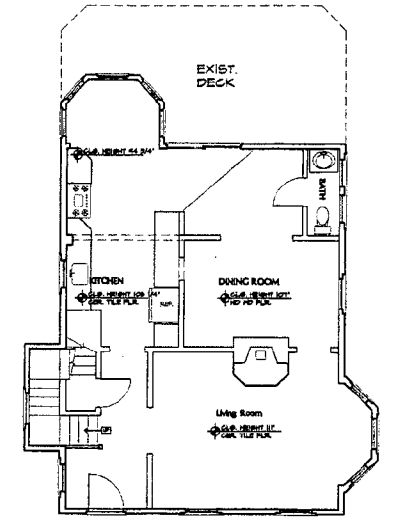
SCALE 1/4"=1'-0"  
DATE 12/21/04

FLOOR PLAN

A-1



**1** FIRST FLOOR  
1/4"=1'-0"



**2A** EXIST. FIRST FLOOR  
1/8"=1'-0"

**WALL LEGEND**

EXISTING WALLS TO REMAIN

NEW EXTERIOR WALL WITH 3/4" BATT INSUL. - HARD/PLANK SIDING  
1/2" GDX EXT. SHEATHING ON 2 1/2" NO. STUDS @ 16" O.C. TYP.  
INTERIOR 1/2" PTD. GYP. BD. TYP.

NEW 4-1/2" GYP. BD. PARTITION WALL  
1/2" GYP. BD. BOTH SIDES OF 2-1/2" NO. STUDS @ 16" O.C. TYP.

**NORKIN RESIDENCE**  
#14 HICKORY LA.  
TAKOMA PARK, MD.

*Heritage*  
**Building and Renovation, Inc.**  
7334 CARROLL AVE.  
TAKOMA PARK, MD. 20912  
PH. (301)897-1598 FAX (301) 270-0166

SCALE	1/4"=1'-0"
DATE	12/21/04
<b>FLOOR PLAN</b>	
<b>A-2</b>	



A1 EXIST. NORTH ELEV.  
1/8"=1'-0"



A NORTH ELEV.  
1/4"=1'-0"

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DATE 12/21/04

ELEVATION

A-3