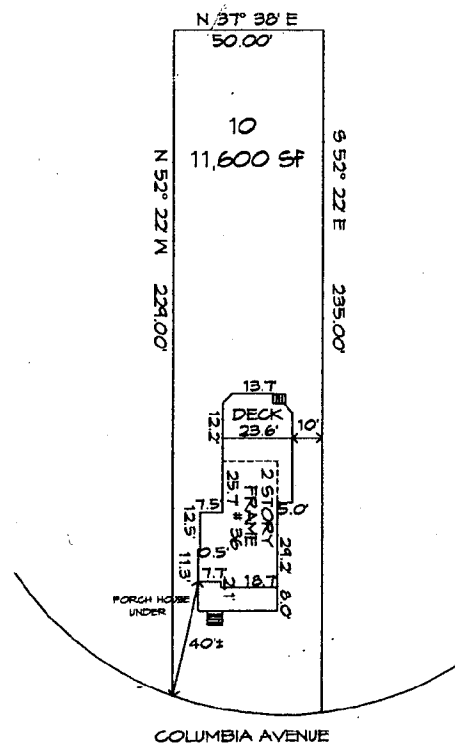


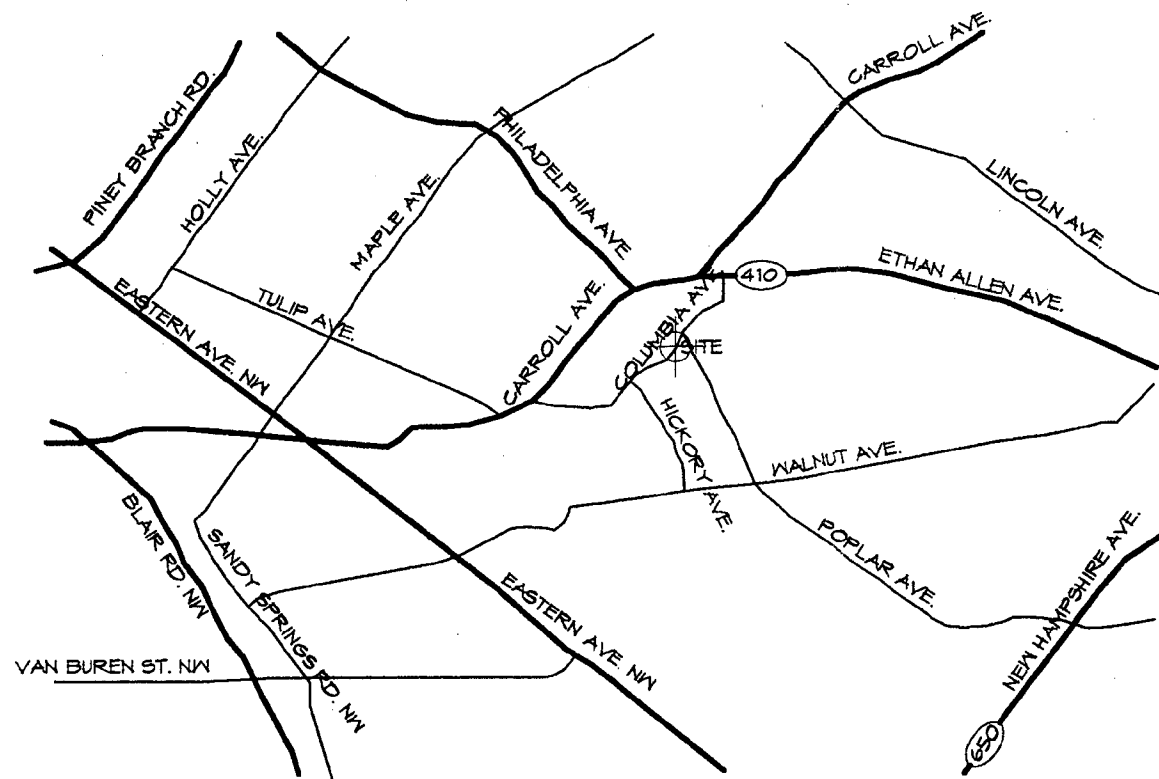
36 Columbia Avenue, Takoma Park
(HPC Case No. 37103-08T)
Takoma Park Historic District

SITE PLAN

1/64" = 1' - 0"



36 COLUMBIA AVENUE
TAKOMA PARK, MD 20912



VICINITY MAP



DRAWING INDEX

- C-1 Site Plan, General Notes, Abbreviations
Vicinity Map Scope of Work, Code
Information & Drawing Index
- D-1 Kitchen - Family Room Existing
& Demo Plan
- A-1 Kitchen - Family Room Floor Plan
- A-2 2nd Floor Bathroom - Extg w/ Demo
Notes - New Floor Plan
- A-3 Rear Elevation
- A-4 Left & Right Side Elevations
- S-1 Kitchen & Family Room - Framing
Plan & Wall Section (Typ)
- S-2 Basement Floor Plan
Existing & Proposed
- MP-1 Kitchen & Family Room Mechanical-
Electrical-Plumbing Floor Plan

SCOPE OF WORK

Renovation of Existing Bathroom
Renovation of Existing Kitchen & Family Room
Replace & Rebuild Existing Foundation

CODE INFORMATION

-IRC (International Residential Code) 2003

Total Existing: Basement (1) Footing
1st Floor 521Sf
2nd Floor 96 Sf

Total Renovation: Basement (1) Footing
1st Floor: 521 Sf
2nd Floor: 96 Sf

GENERAL STRUCTURAL NOTES

LIVE LOADS:
ROOF - 30 PSF
SNOW -
GROUND SNOW LOAD - 30 PSF
SNOW EXPOSURE FACTOR - 0.7
SNOW LOAD IMPORTANCE FACTOR - 1.0

2ND FLOOR - 30 PSF
1ST FLOOR - 40 PSF
DECKS - 60 PSF

LATERAL LOADS:

WIND -
BASIC WIND SPEED - 90 MPH
WIND LOAD IMPORTANCE FACTOR - 1.0
EXPOSURE C

ABBREVIATIONS

& @ AFF AP BLDG BSMT CJ CAB CL CLG CLR CMU COND CONT D DH DIA DIM DN DR DS DTL DW DWG EIFS EL ELEC EX	AND AT ABOVE FINISHED FLOOR APARTMENT BUILDING BASEMENT CONTROL JOINT CABINET CENTER LINE CEILING CLEAR CONCRETE MASONRY UNIT CONDITION CONCRETE CONTINUOUS DRYER DOUBLE HUNG DIAMETER DOWN DOOR DOWNSPOUT DETAIL DISHWASHER DRAWING EXTERIOR INSULATION DINISH SYSTEM ELEVATION ELECTRICAL EXPANSION	EQ ETR EXTG FF FIN FLR GA GWB HB HC HT HDWR JB LB LBW LVL MARB MATL MAX MDO MIN MANU MTL MECH NIC NTS OC OH OSB PLAM	EQUAL EXISTING TO REMAIN EXISTING FINISH FLOOR FINISH FLOOR GAUGE GYPSUM WALL BOARD HOSE BID HOLLOW CORE HEIGHT HARDWARE JUNCTION BOX POUND LOAD BEARING WALL LAMINATED VENEER LUMBER MARBLE MATERIAL MAXIMUM MEDIUM DENSITY OVERLAY MINIMUM MANUFACTURER METAL MECHANICAL NOT IN CONTRACT NOT TO SCALE ON CENTER OPPOSITE HAND ORIENTED STRAND BOARD PLASTIC LAMINATE	PLWD PT PTD PR R REF RO RQD RM SC SHT SHWR SIM SKYLT SPEC SPRK STL TBD T&G TOS TYP UNO VIF W W/ WC WD WO WWM	PLYWOOD PRESSURE TREATED PAINTED PAIR RISER REFRIGERATOR ROUGH OPENING REQUIRED ROOM SOLID CORE SHEET SHWR SIMILAR SKYLIGHT SPECIFICATION SPRINKLER STEEL TO BE DETERMINED TONGUE & GROOVE TOP OF SLAB TYPICAL UNLESS NOTED OTHERWISE VERIFY IN FIELD WASHER WITH TOILET/WATER CLOSET WOOD WITHOUT WELDED WIRE MESH
--	---	---	---	--	--

GENERAL NOTES

1. All work shall be performed in a professional manner and in accordance with IRC 2003 and local codes currently in force.
2. Refer any discrepancies between the drawings and the existing conditions to the Project Manager before proceeding with the work.
3. All dimensions noted on the drawings are between finished surfaces, (I.E. drywall to drywall) (unless otherwise noted I.E. framing to framing).
4. Do not scale dimensions from the drawings. Verify in the field all necessary rough, finish and and installation dimensions for fixtures, equipment and other similar items.
5. The General Contractor will maintain a clean job site and shall leave the site free and clean of construction materials and equipment upon job completion.
6. All structures and materials scheduled for demolition shall be removed from the site in their entirety, unless otherwise noted. The General Contractor, shall be responsible for temporary bracing of existing structures where structural elements are schedule to be replaced.
7. The General Contractor shall be responsible for safety and security precautions throughout the duration of the project.
8. All pressure treated lumber to be Non-arsenic.
9. Upgrade insulation at exterior envelope wherever possible in addition to areas specifically shown on drawings.
10. The General Contractor shall be responsible for providing solid wood blocking for fixtures, millwork, accessories, etc., provided locations are chosen by owner in a timely manner.
11. The Job Superintendent shall review final installation locations for accessories with the Project Manager.

HLOCKNER

Design - Build
6480 Sligo Mill Road, Takoma Park, MD 20912
301-270-3033 / 301-270-1441 fax

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

WEST - HONE
RESIDENCE
RENOVATION

APPROVED
Montgomery County
Historic Preservation Commission
John L. Silver 4/29/08

STEVE WEST & LISA HONE

36 COLUMBIA AVENUE
TAKOMA PARK, MD 20912

No	Issued for:	Date:
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

DRAWN BY: Luis Ligorria

DATE: March 2008

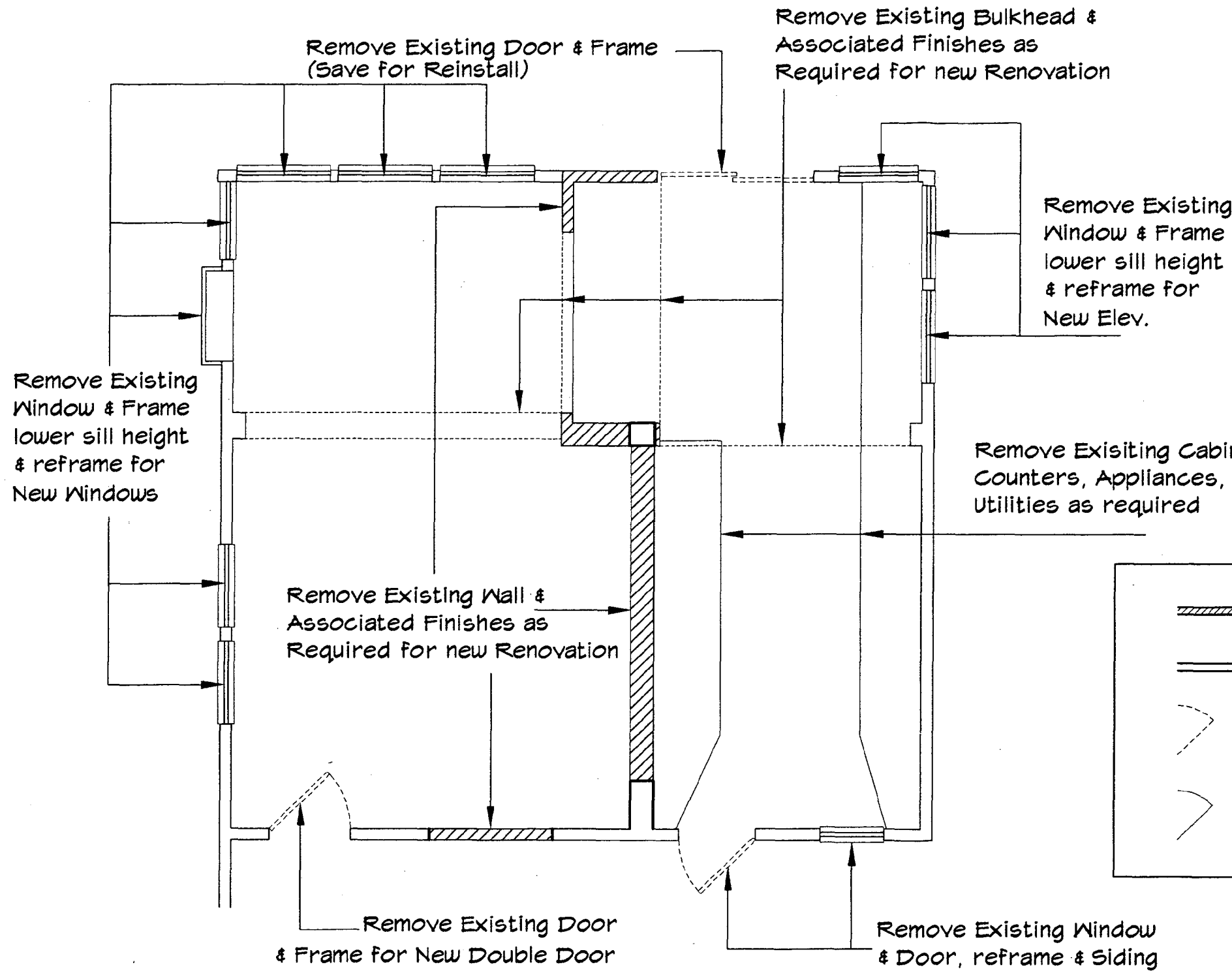
SCALE: AS SHOWN

Cover Sheet

Sheet Title

C-1

Sheet Number 01 OF 04



This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

APPROVED
 Montgomery County
 Historic Preservation Commission
John D. Silver 4/24/08

	Existing Wall / Partition to be Removed
	Existing Wall / Partition to Remain
	Existing Building Element to be Removed
	Existing Building Element to Remain

HYLOCKNER
 Design - Build
 6480 Sligo Mill Road, Takoma Park, MD 20912
 301-270-3033 / 301-270-1441 fax

NEST - HONE
 RESIDENCE
 RENOVATION

STEVE NEST & LISA HONE
 36 COLUMBIA AVENUE
 TAKOMA PARK, MD 20912

No.	Issued for:	Date:
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

DRAWN BY: Luis Ligorria

DATE: March 2008

SCALE: AS SHOWN

Kitchen - Family Room
 Extg & Demo Plan

Sheet Title

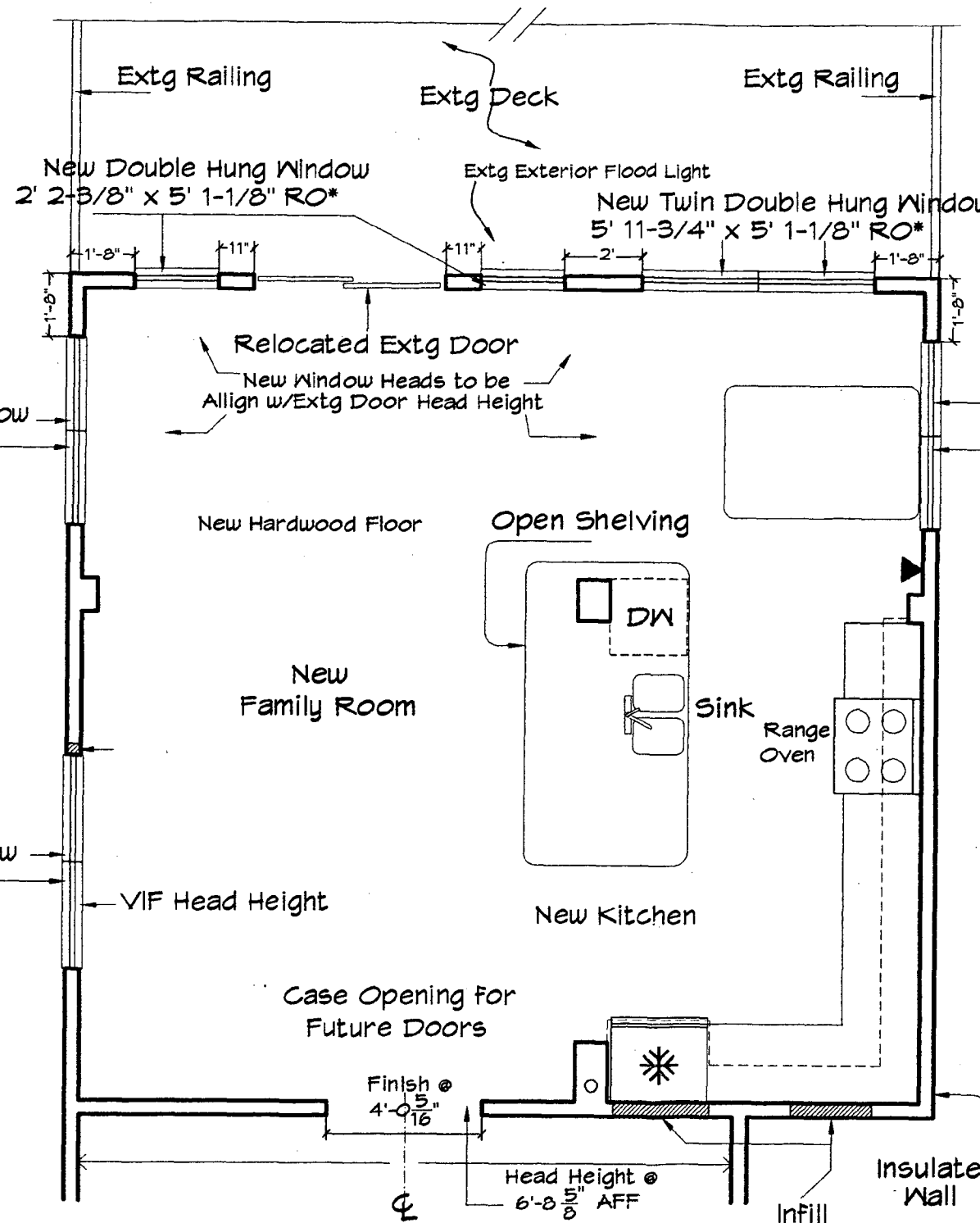
D-1

Sheet Number 02 OF 04

Kitchen - Family Room Existing & Demolition Plan

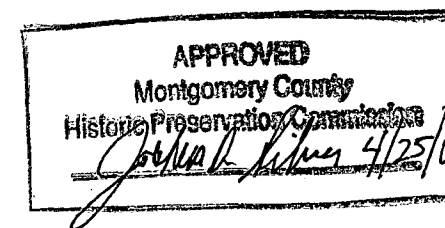
Scale 1/4" = 1' - 0"

Building Line Unchanged



Kitchen - Family Room Floor Plan

Scale 1/4" = 1' - 0"



This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

KLOCKNER

Design - Build
6480 Sligo Mill Road, Takoma Park, MD 20912
301-270-3033 / 301-270-1441 fax

WEST - HONE
RESIDENCE
RENOVATION

STEVE WEST & LISA HONE

36 COLUMBIA AVENUE
TAKOMA PARK, MD 20912

No.	Issued for:	Date:
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

DRAWN BY: Luis Ligorría

DATE: March 2008

SCALE: AS SHOWN

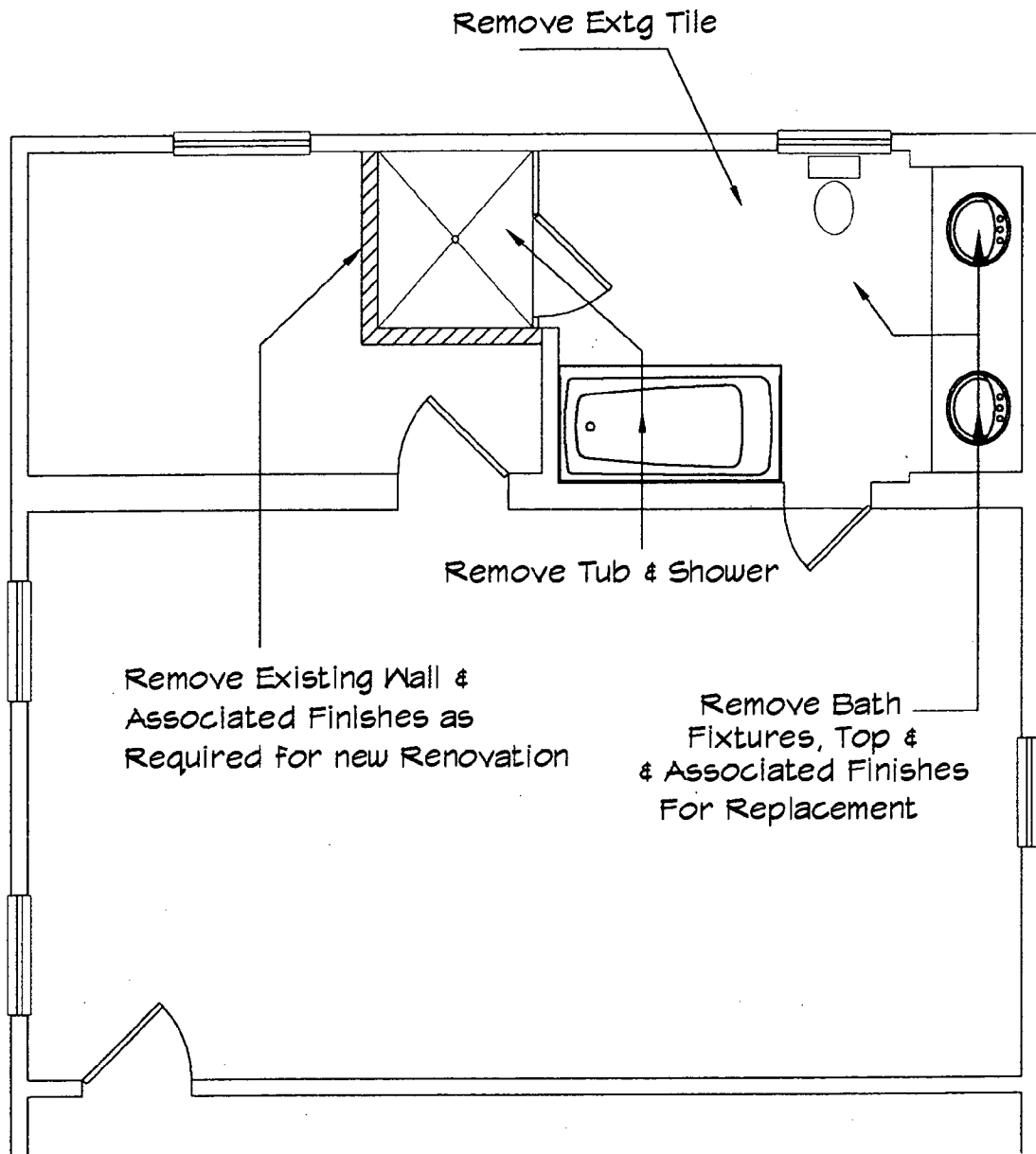
Kitchen - Family Room
Floor Plan

Sheet Title

A-1

Sheet Number

03 OF 04



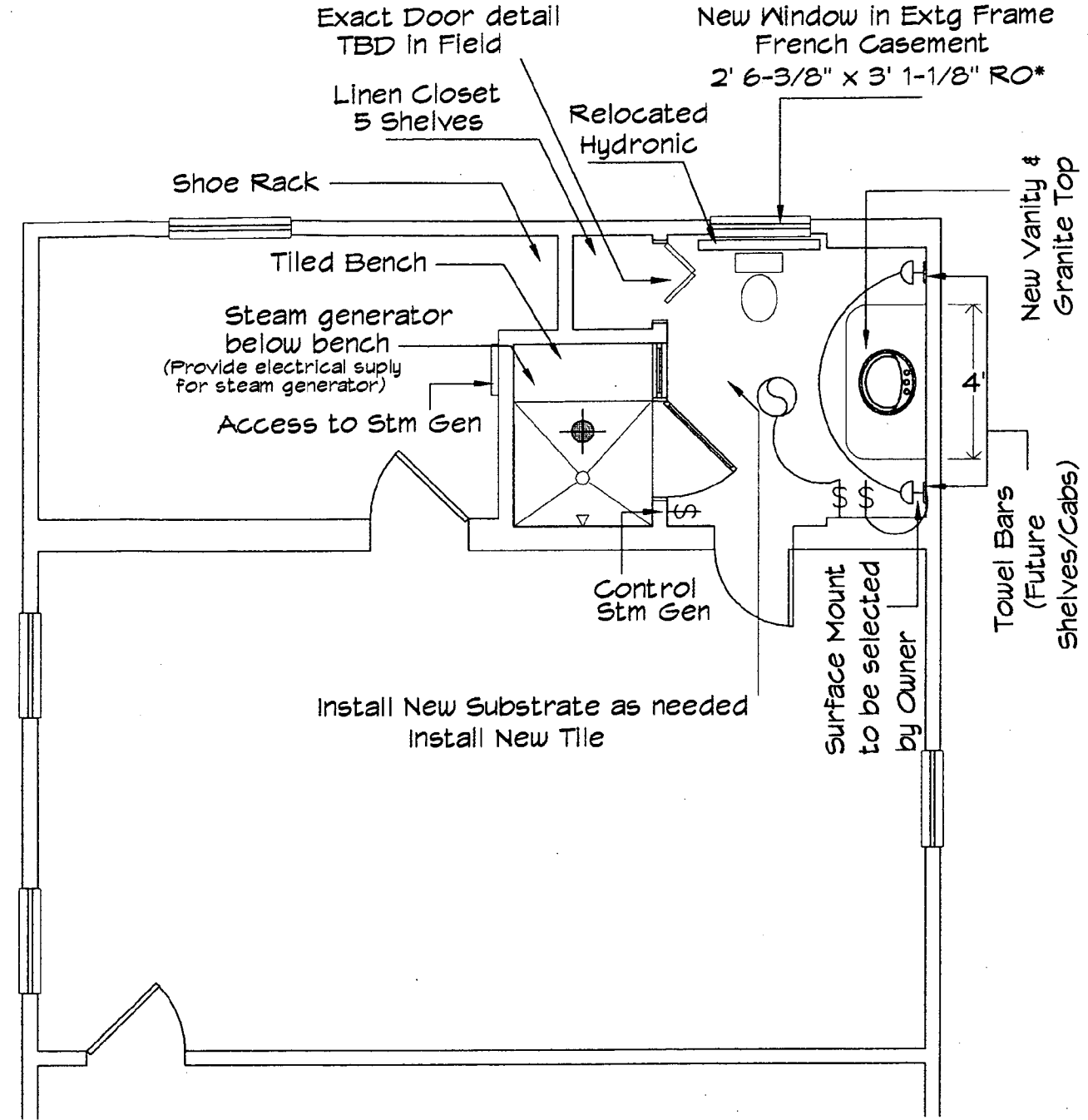
2nd Floor Bathroom - Extg w/Demo Notes

Scale 1/4" = 1' - 0"

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia L. Silver 4/24/08

(*) Marvin Windows

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



2nd Floor Bathroom - New & Floor Plan

Scale 1/4" = 1' - 0"

See General Electrical Notes & Electric Symbols @ MEP-1

See Demolition Notes @ D-1

KLOCKNER
 Design - Build
 6480 Sligo Mill Road, Takoma Park, MD 20912
 301-270-3033 / 301-270-1441 fax

WEST - HONE
 RESIDENCE
 RENOVATION

STEVE WEST & LISA HONE
 36 COLUMBIA AVENUE
 TAKOMA PARK, MD 20912

No.	Issued for:	Date:
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

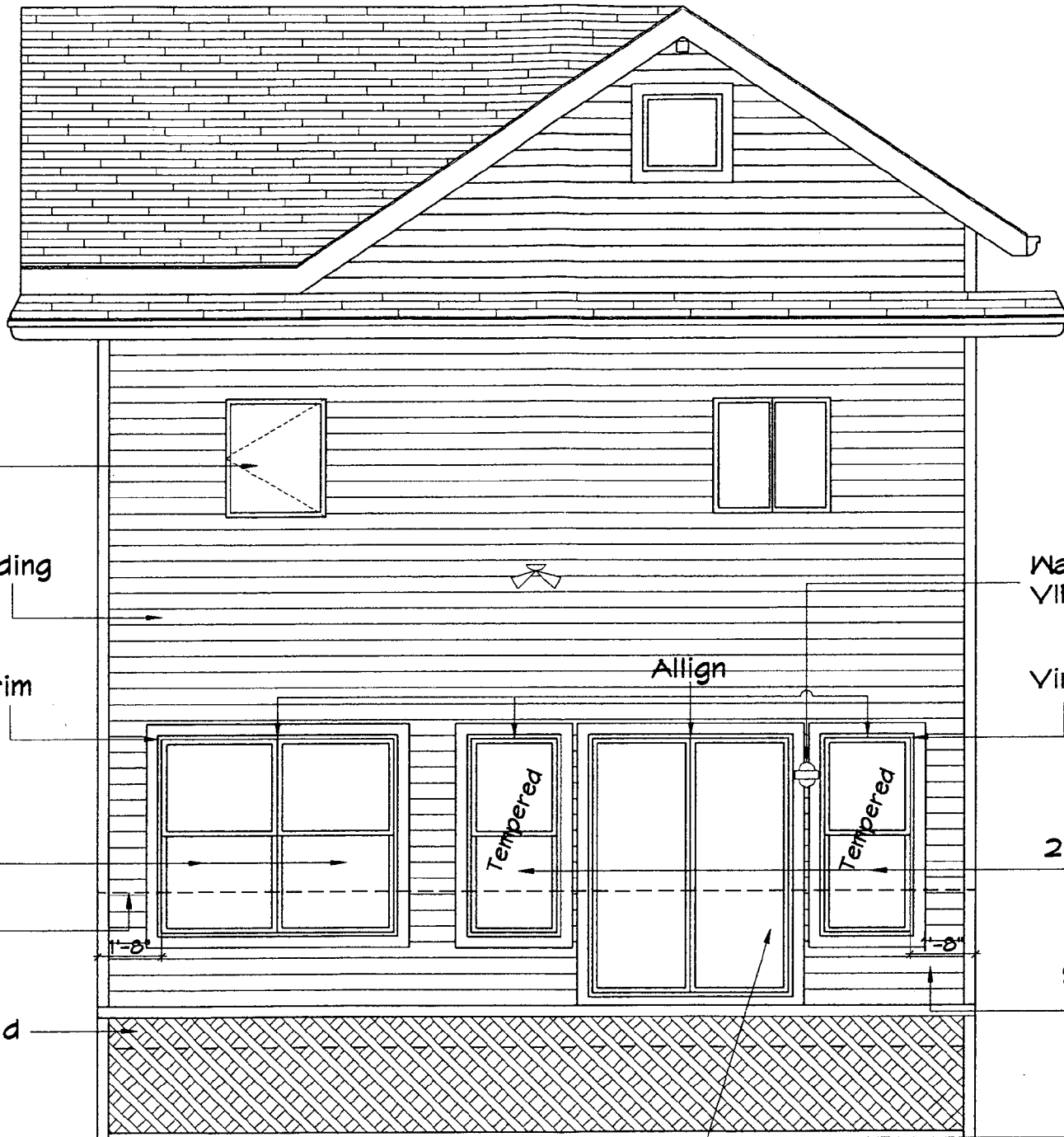
DRAWN BY: Luis Ligorría
 DATE: March 2008

SCALE: AS SHOWN

2nd Floor Bathroom
 Extg w/Demo Notes
 New Floor Plan

Sheet Title

A-2



Marvin
New Window in Extg Frame
Single Casement
2' 5" x 2' 11 - 7/8" RO

Extg Vinyl Siding

Vinyl J-Channel Trim

Marvin
New Twin Double Hung Window
5' 11-3/4" x 5' 1-1/8" RO

Extg Deck Railing
(See A-4)

Extg Deck Band

Wall Sconce
VIF Height

Vinyl J-Channel Trim

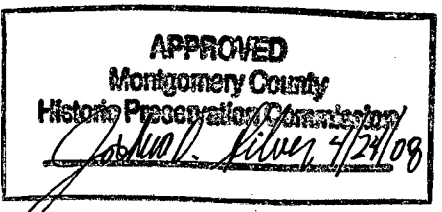
Marvin
Double Hung Window
2' 2-3/8" x 5' 1-1/8" RO*

See enclosed document
for wind Shear Detail

Relocated Extg Door

Rear Elevation
Scale 1/4" = 1' - 0"

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



HLOCKNER

Design - Build
6480 Silgo Mill Road, Takoma Park, MD 20912
301-270-3033 / 301-270-1441 fax

**WEST - HONE
RESIDENCE
RENOVATION**

STEVE WEST & LISA HONE

36 COLUMBIA AVENUE
TAKOMA PARK, MD 20912

No.	Issued for:	Date:
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

DRAWN BY: Luis Ligorria

DATE: March 2008

SCALE: AS SHOWN

Rear Elevation

Sheet Title

A-3

Sheet Number

05 OF 09

APPROVED
 Montgomery County
 Historic Preservation Commission
Charles D. Silver 4/24/08

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

YLOCKYNER

Design - Build
 6480 Sligo Mill Road, Takoma Park, MD 20912
 301-270-3033 / 301-270-1441 fax

**WEST - HONE
 RESIDENCE
 RENOVATION**

STEVE WEST & LISA HONE
 36 COLUMBIA AVENUE
 TAKOMA PARK, MD 20912

No.	Issued for:	Date:
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

DRAWN BY: Luis Ligorria

DATE: March 2008

SCALE: AS SHOWN

**Left & Right
 Side Elevations**

Sheet Title

A-4

Sheet Number

06 OF 09



Left Side Elevation
 Scale 1/8" = 1' - 0"



Right Side Elevation
 Scale 1/8" = 1' - 0"

"See enclosed document
for wind Shear Detail"

CONTINUOUS
(2) 2" X 12" HEADERS

Extg 2" x 10"
@ 16" O.C.

(3) 1-3/4" X 9-1/2" LVL'S
NEW FLUSH BEAM

Extg 2" x 4" Frame

Extg Insulation

Extg Bandboard
(2) 2" x 10"

Extg 1/2"
Drywall Ceiling

New Cont. Header
(2) 2" x 12"

Siding

1/2" Plywood Sheathing

1/2" Drywall (Typ)

Window

Wall frame 2" x 4" @
16" OC (Typ)
w/ Insulation

New Hardwood Floor on
3/4" T & G Plywood
Subfloor

Extg Framing
(2) 2" x 10"

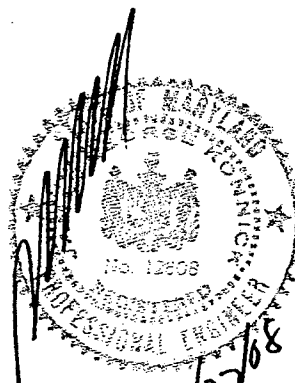
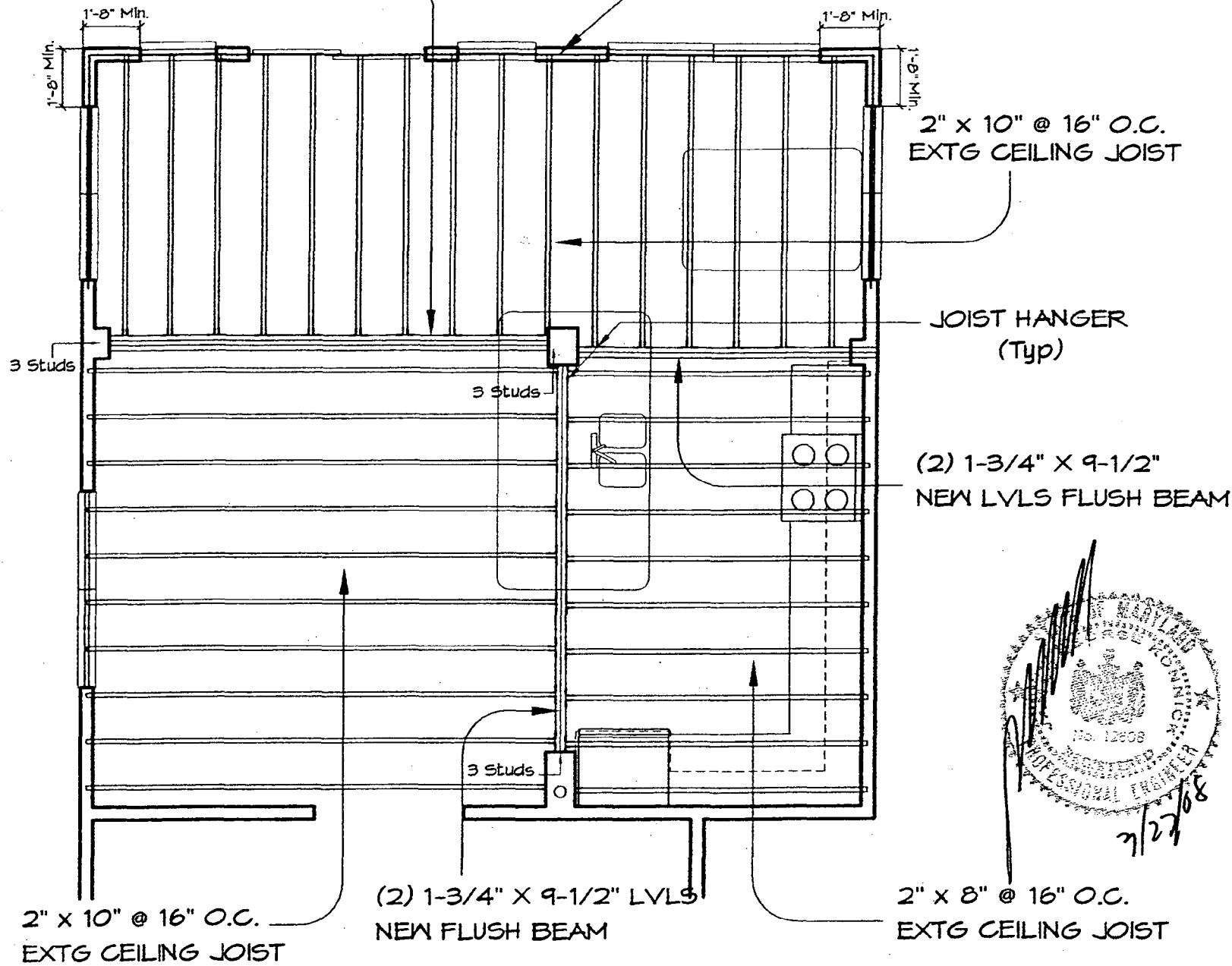
Extg Deck

Extg 2" x 10"
@ 16" O.C.

Extg Insulation

CMU Pier

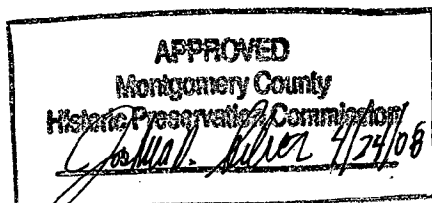
Crawl Space



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 12608, Expiration Date: 9/4/09"

Framing Plan - 2nd Floor
(above Kitchen/Family Room)

Scale 1/4" = 1' - 0"



This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission

1 Typical Wall Section

Scale 1/2" = 1' - 0"



WEST - HONE
RESIDENCE
RENOVATION

STEVE WEST & LISA HONE

36 COLUMBIA AVENUE
TAKOMA PARK, MD 20912

No.	Issued for:	Date:
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

DRAWN BY: Luis Ligorria

DATE: March 2008

SCALE: AS SHOWN

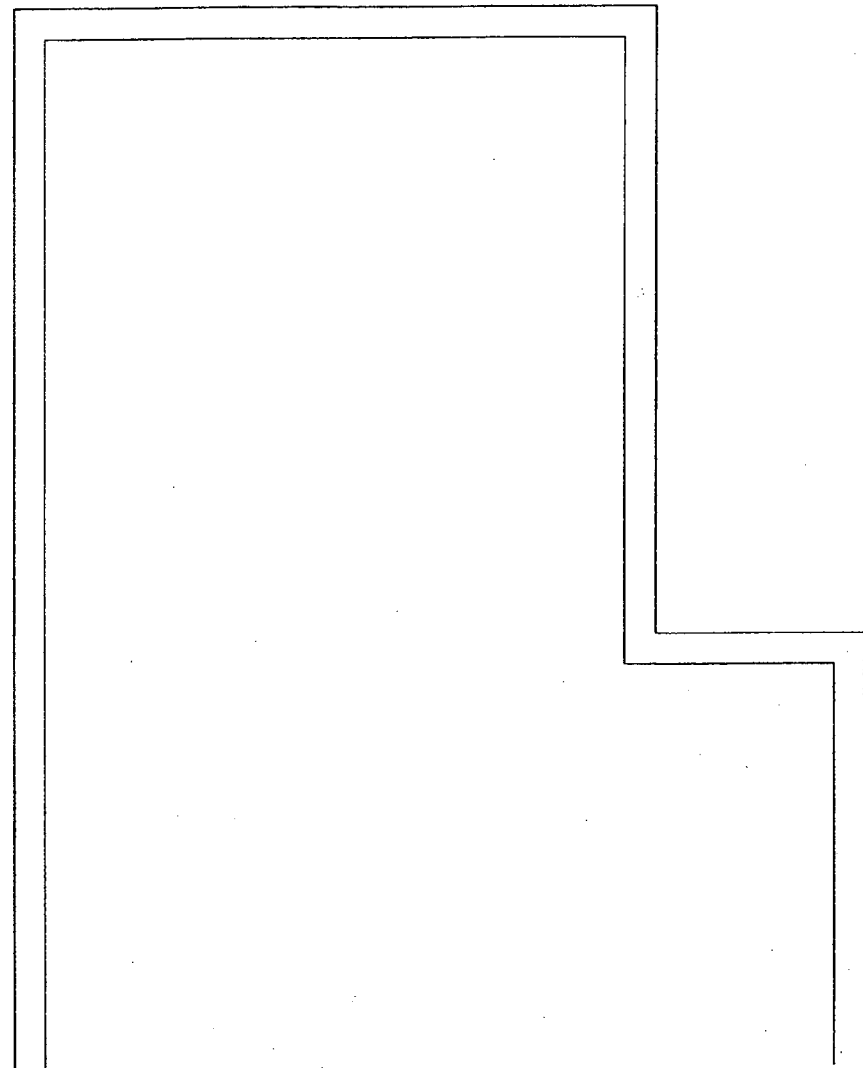
Kitchen - Family Room
Framing Plan &
Wall Section (Typ)

Sheet Title

S-1

Sheet Number

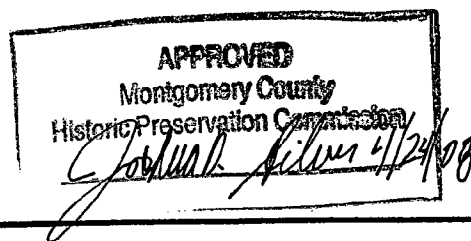
07 OF 09



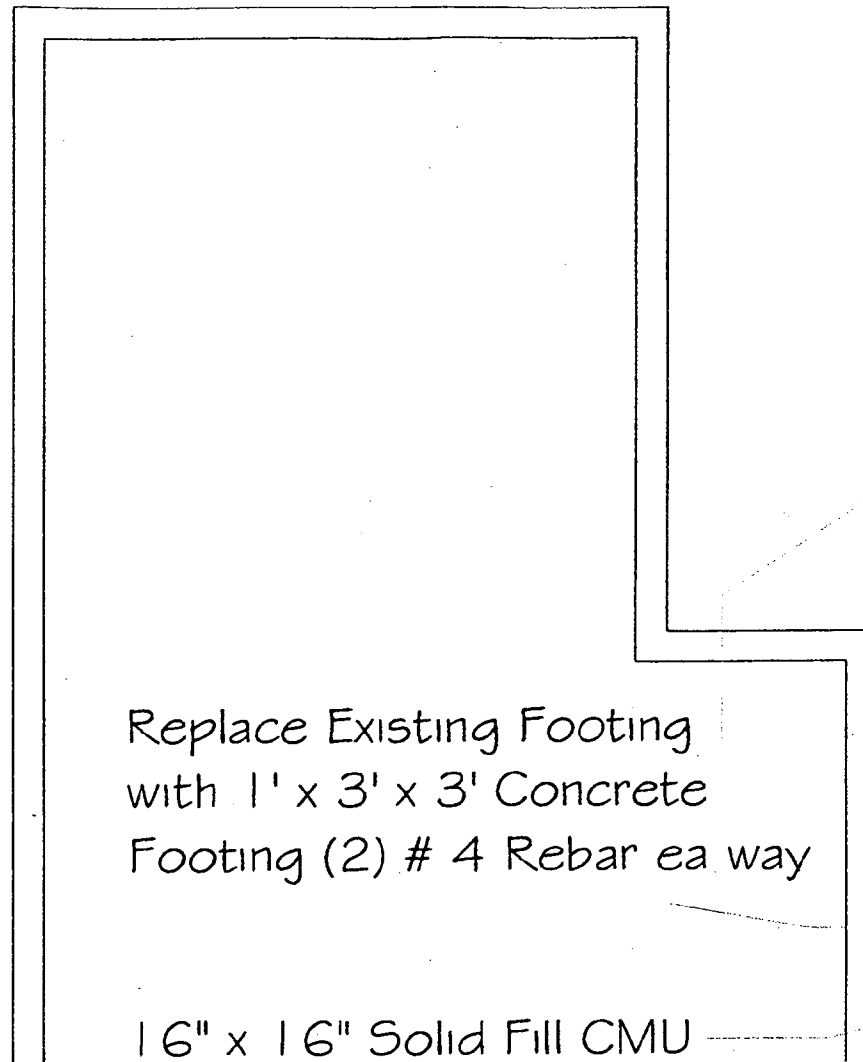
This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

Basement Existing Condition

Scale 1/4" = 1' - 0"

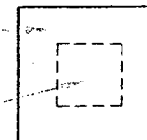
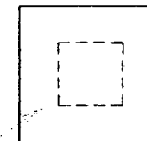
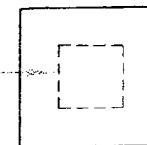


Use Extg
Parge to Match New



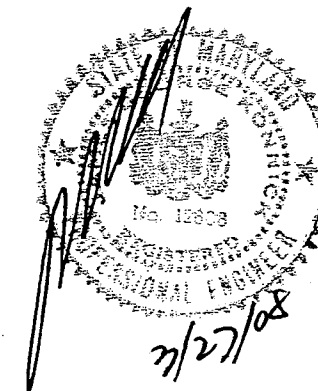
Replace Existing Footing
with 1' x 3' x 3' Concrete
Footing (2) # 4 Rebar ea way

16" x 16" Solid Fill CMU



Basement Proposed Condition

Scale 1/4" = 1' - 0"



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 12608, Expiration Date: 9/4/09"



6480 Sligo Mill Road, Takoma Park, MD 20912
301-270-3033 / 301-270-1441 fax

WEST - HONE
RESIDENCE
RENOVATION

STEVE WEST & LISA HONE

36 COLUMBIA AVENUE
TAKOMA PARK, MD 20912

No.	Issued for.	Date
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

DRAWN BY: Luis Ligorria

DATE: March 2008

SCALE: AS SHOWN

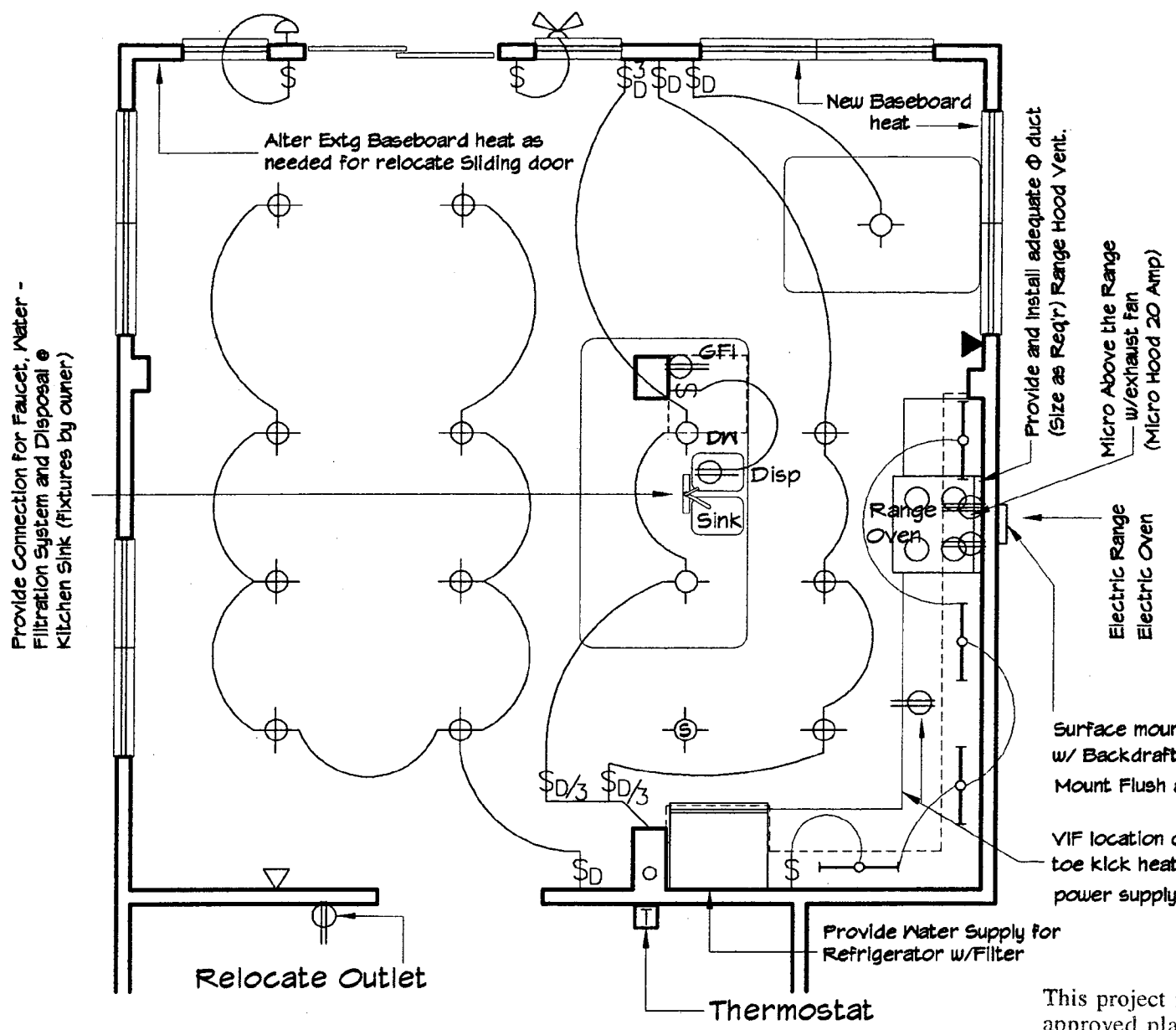
Basement Floor Plan
Existing & Proposed

Sheet Title

S-2

Sheet Number

08 OF 08



GENERAL ELECTRICAL NOTES

- E1. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL ELECTRICAL CODES UNDER THE AUSPICES OF A LICENSED MASTER ELECTRICIAN.
- E2. THE ELECTRICAL SUB CONTRACTOR SHALL BE RESPONSIBLE FOR ELECTRICAL PERMIT AND ALL INSPECTIONS.
- E3. THE ELECTRICAL SUB CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL DRAWINGS FOR MOUNTING LOCATIONS. THIS SHALL INCLUDE A SITE WALK-THRU TO VERIFY LOCATIONS BEFORE ROUGH-IN.
- E4. ALL SWITCHES, RECEPTACLES AND FACE PLATES SHALL BE WHITE DECORA STYLE.
- E5. ALL SWITCHES SHALL BE MOUNTED 48" A.F.F. - U.N.O. GANG SWITCHES UNDER ONE PLATE WHEREVER MORE THAN ONE IS SHOWN TOGETHER.
- E6. DIMMER SWITCHES SHALL BE 'LUTRON' SKYLARK PRE-SET SLIDER, WATTAGE AS REQUIRED. ON - OFF SWITCHES SHALL BE ROCKER TYPE TO MATCH SKYLARK DIMMERS. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING ELECTRONIC OR MAGNETIC DIMMER FOR LOW VOLTAGE FIXTURES AS REQUIRED BY MANUFACTURER. BID AS WHITE, EXTG MATCH, EXTG ROUGH
- E7. THE ELECTRICAL SUB CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT TO ACOMODATE FIXTURES.
- E8. THE ELECTRICAL SUB CONTRACTOR SHALL INSPECT EXISTING ELECTRICAL SERVICE AND PROVIDE A BROKEN OUT PRICE FOR ANY UPGRADE REQUIRED FOR THE NEW WORK.
- E9. ALL KITCHEN COUNTER WIRING SHALL BE 'G.F.I.' CIRCUITS TO CODE.
- E10. PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE.
- E11. PROVIDE OUTLETS THROUGHOUT AS REQUIRED BY CODE.
- E12. COORDINATE ELECTRIC BOX DEPTH WITH MILLWORK INSTALLATION.
- E13. EXISTING SURFACE MOUNTED OUTLETS TO BE UPGRADED TO WALL OUTLETS.
- E14. DEDICATED CIRCUITS IN THE KITCHEN AS REQUIRED BY CODE.
- E15. LIGHT FIXTURES, RECEPTACLES, SWITCHES AND SOME OUTLET EXACT LOCATIONS TBD

ELECTRIC SYMBOLS

- ⊕ DOWNLIGHT (RECESSED)
- ⊙ PENDANT LIGHT FIXTURE/OWNER SUPPL.
- \$D LIGHT SWITCH (DIMMER)
- \$3 THREE WAY SWITCH
- ⊕ SMOKE DETECTOR TO CODE
- ▲ TEL. OUTLET (Verify Location)
- △ CABLE / OR CAT 5 (Verify Location)
- NET LOCATION RECESSED
- ⊖ OUTLET 120 VOLTS
- ⊖ OUTLET 240 VOLTS
- ⚡ EXTG FLOOD LIGHT
- ⊖ WALL SCONCE
- ⊖ EXHAUST FAN

**Kitchen - Family Room
Mechanica-Electrical-Plumbing Floor Plan**
Scale 1/4" = 1' - 0"

GENERAL PLUMBING NOTES

- 1. All Plumbing and Gas Fitting work shall be installed in accordance with local Plumbing Codes and regulations, under the auspices of a Licensed Plumber/ Gas-Fitter
- 2. The Plumbing Sub-Contractor shall be responsible for all necessary rough-in, close-in, final inspection and testing in accordance with the Local Regulatory Agency Plumbing Inspection Division, as well as for obtaining the necessary Plumbing Permit.
- 3. The Plumbing Sub-Contractor shall provide labor, equipment, fixtures, plumbing-brass, hardware and the like to complete the work described in the drawings, unless otherwise noted.

GENERAL MECHANICAL NOTES

- 1. All Mechanical work shall be installed in accordance with local Mechanical Codes and Regulations.
- 2. Mechanical subcontractor shall make on-site inspection to determine fully the existing conditions and the extent of the new work. All ductwork shall match existing conditions. Any discrepancies shall be brought to the attention of the General Contractor.

APPROVED
Montgomery County
Historic Preservation Commission
John A. Hill 4/24/08

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

HYLOCKNER

Design - Build
6480 Sligo Mill Road, Takoma Park, MD 20912
301-270-3033 / 301-270-1441 fax

**WEST - HONE
RESIDENCE
RENOVATION**

STEVE WEST & LISA HONE

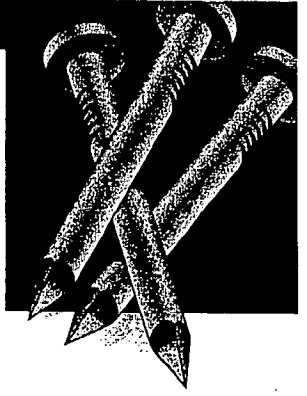
36 COLUMBIA AVENUE
TAKOMA PARK, MD 20912

No.	Issued for:	Date:
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

DRAWN BY: Luis Ligorria
DATE: March 2008

SCALE: AS SHOWN
Kitchen - Family Room
Mechanical - Electrical
Plumbing Floor Plan
Sheet Title

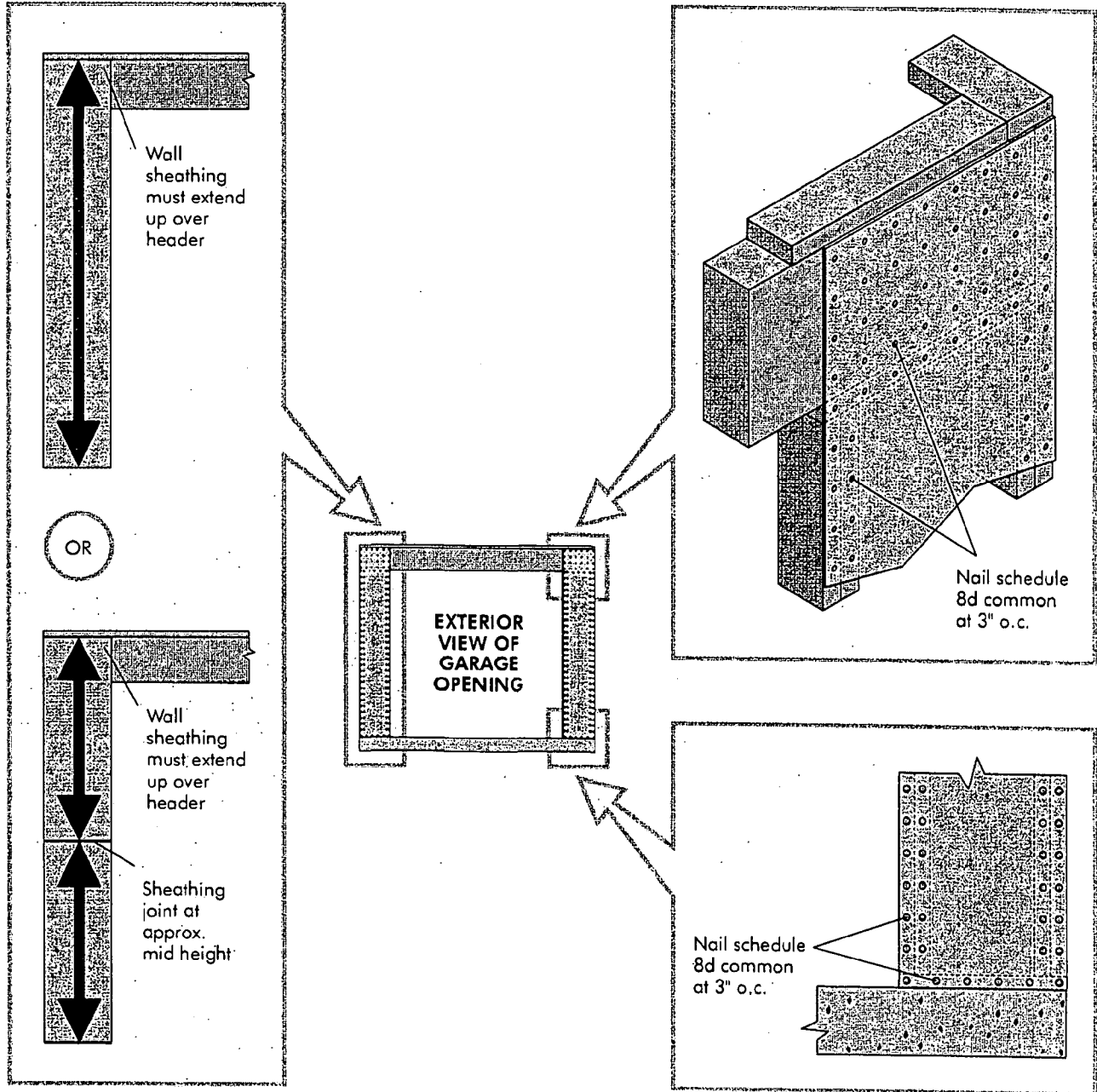
MEP-1

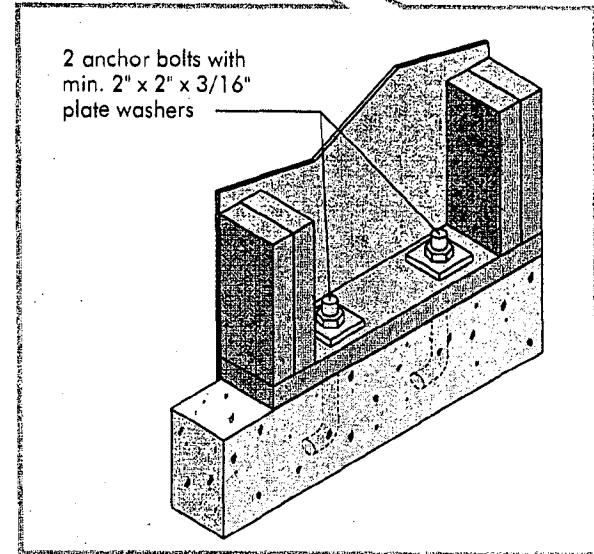
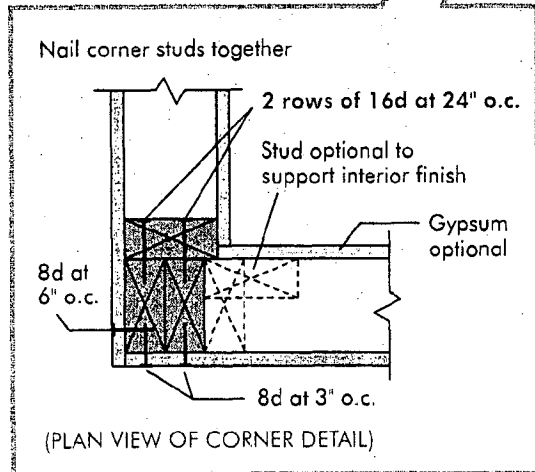
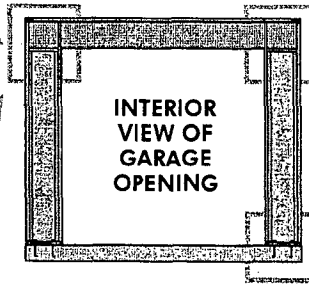
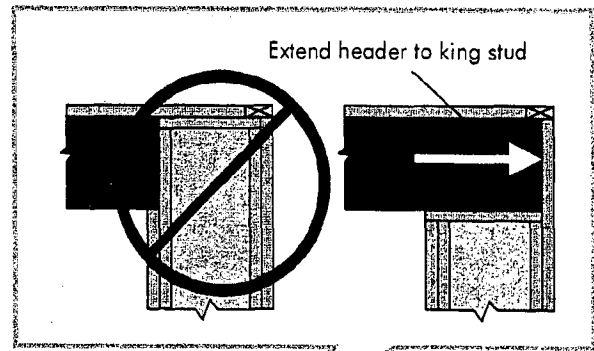
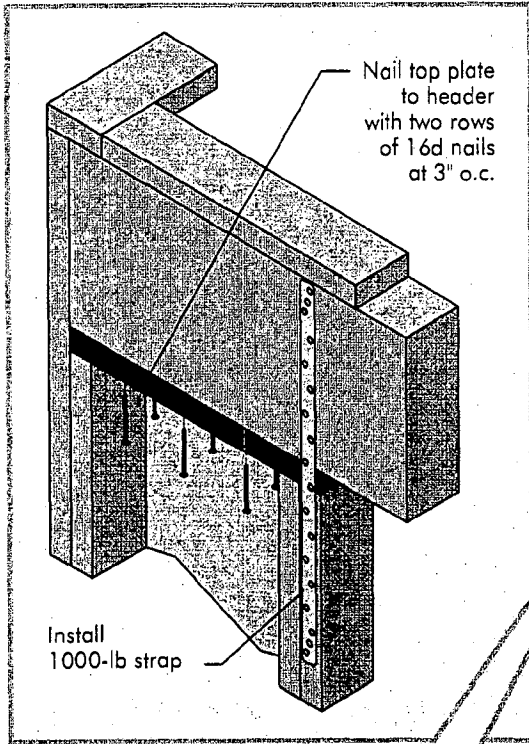


APA NARROW WALL BRACING METHOD FRAMING TIPS

The APA Narrow Wall Bracing Method is a simple, site-built solution that allows builders to construct segments as narrow as 16 inches next to window and door openings. Be sure to check for these essential details when constructing the APA Narrow Wall Bracing Method around garage openings.

For complete information on the APA Narrow Wall Bracing method and its applications in locations other than the garage, please see APA publication *Narrow Walls That Work*, Form D420.





We have field representatives in many major U.S. cities and in Canada who can help answer questions involving APA trademarked products. For additional assistance in specifying engineered wood products, contact us:

APA - THE ENGINEERED WOOD ASSOCIATION HEADQUARTERS
 7011 So. 19th St. • Tacoma, Washington 98466
 (253) 565-6600 • Fax: (253) 565-7265

www.apawood.org

PRODUCT SUPPORT HELP DESK
 (253) 620-7400 • E-mail Address: help@apcwood.org

Form No. F435
 Issued January 2006/0010

DISCLAIMER

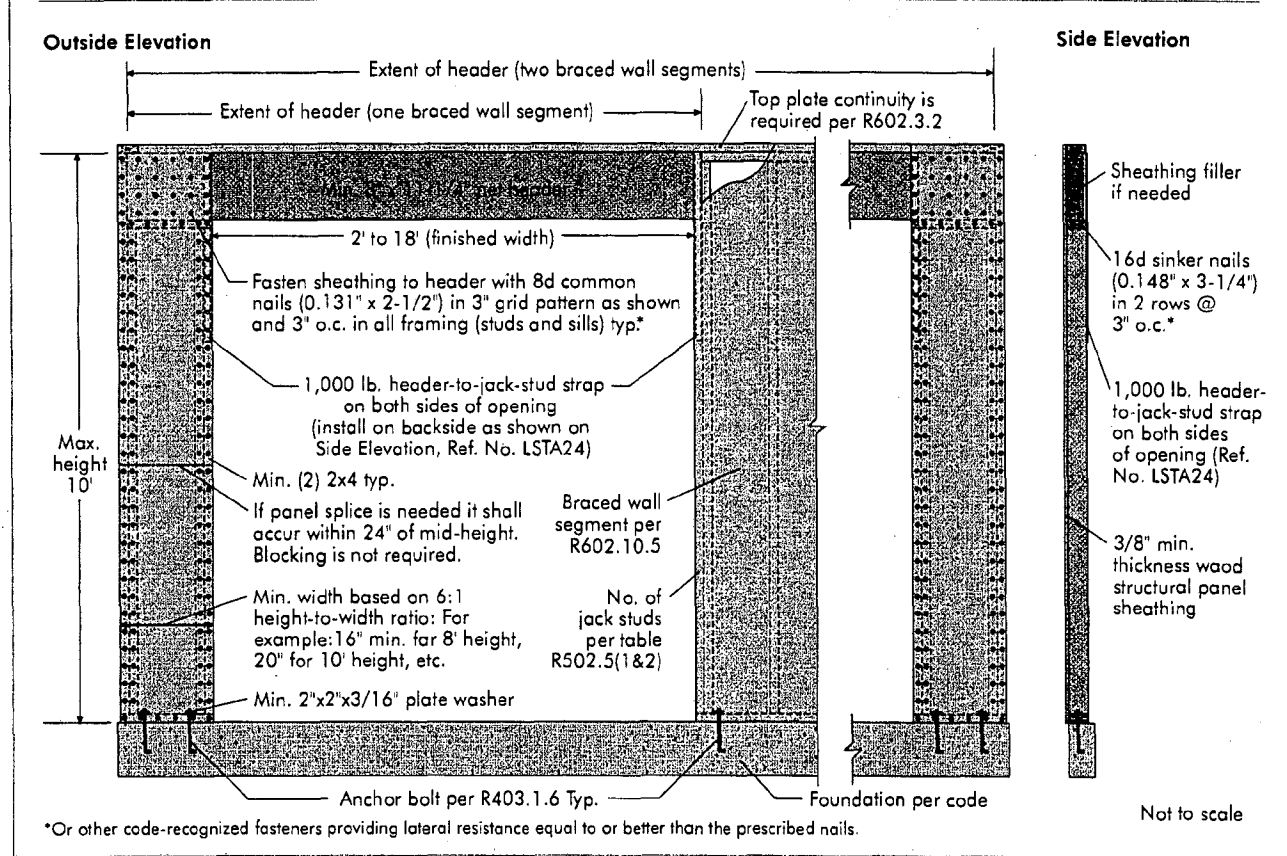
The information contained herein is based on APA - The Engineered Wood Association's continuing programs of laboratory testing, product research, and comprehensive field experience. Neither APA, nor its members make any warranty, expressed or implied, or assume any legal liability or responsibility for the use, application of, and/or reference to opinions, findings, conclusions, or recommendations included in this publication. Consult your local jurisdiction or design professional to assure compliance with code, construction, and performance requirements. Because APA has no control over quality of workmanship or the conditions under which engineered wood products are used, it cannot accept responsibility for product performance or designs as actually constructed.



CONSTRUCTION DETAILS FOR THE APA NARROW WALL BRACING METHOD

FIGURE 1

NARROW WALL OVER CONCRETE OR MASONRY BLOCK FOUNDATION

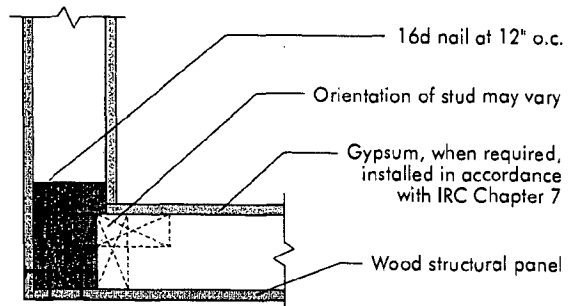


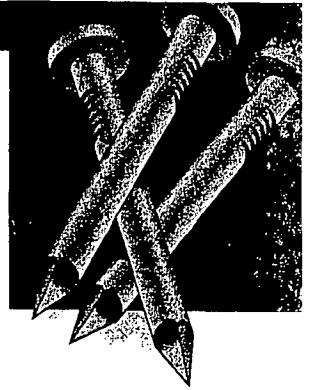
Note: This narrow wall bracing segment meets the minimum requirements for wall bracing (racking loads in the plane of the wall). The building designer should determine what specific details are necessary to provide a complete load path for using this bracing in the structure.

FIGURE 2

EXAMPLE OF REQUIRED OUTSIDE CORNER DETAIL (IRC R602.10.5)

At corners, connect the two walls together as outlined in this detail to provide overturning restraint.





APA NARROW WALL BRACING METHOD FRAMING TIPS

The APA Narrow Wall Bracing Method is a simple, site-built solution that allows builders to construct segments as narrow as 16 inches next to window and door openings. Be sure to check for these essential details when constructing the APA Narrow Wall Bracing Method around garage openings.

For complete information on the APA Narrow Wall Bracing method and its applications in locations other than the garage, please see APA publication *Narrow Walls That Work*, Form D420.

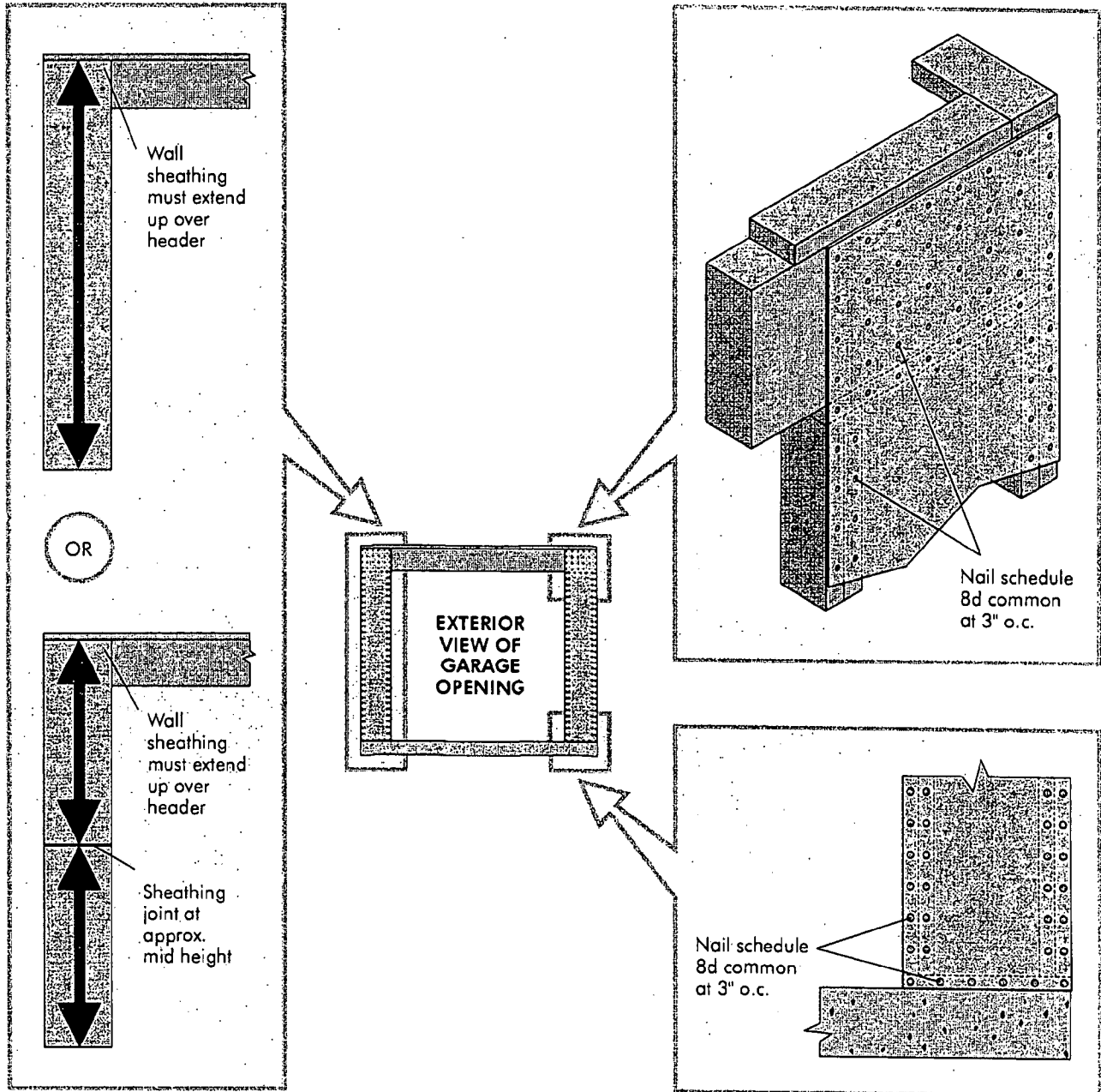
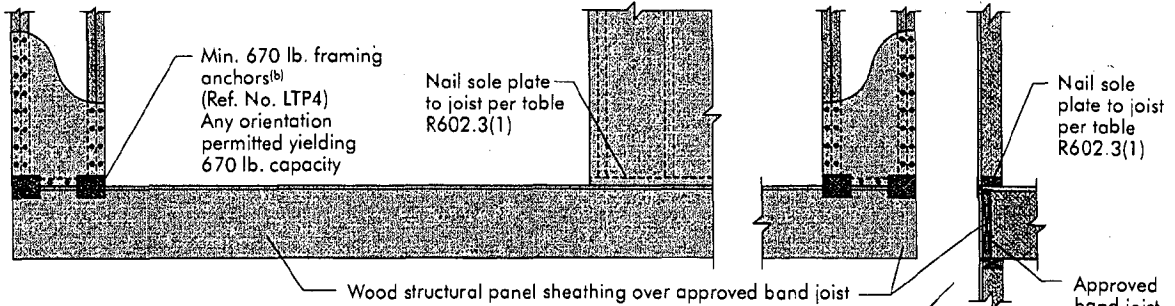


FIGURE 3

NARROW WALL OVER RAISED WOOD FLOOR OR SECOND FLOOR – FRAMING ANCHOR OPTION^(a)

Outside Elevation

Side Elevation



Framing anchors installed per the anchor manufacturer's recommendation.

Use engineered wood Rim Board®, I-joist or DRY lumber rim joist to minimize potential for buckling over band joist.

Notes:

(a) See Figure 1 for complete framing detail.

(b) Capacity based on stress increase (1.60).

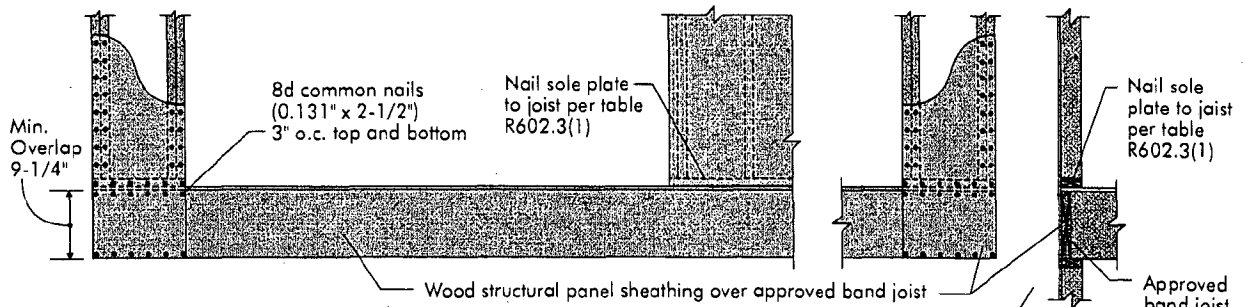
Not to scale

FIGURE 4

NARROW WALL OVER RAISED WOOD FLOOR OR SECOND FLOOR – WOOD STRUCTURAL PANEL OVERLAP OPTION^(a)

Outside Elevation

Side Elevation



Use engineered wood Rim Board®, I-joist or DRY lumber rim joist to minimize potential for buckling over band joist.

Note:

(a) See Figure 1 for complete framing detail.

Not to scale



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: April 24, 2008

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner *JDS*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #481231, window replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the April 23, 2008 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Steve West & Lisa Hone

Address: 36 Columbia Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Larry Neal
Daytime Phone No.: 301.270.3033

Tax Account No.: # 01070634

Name of Property Owner: Steve West & Lisa Howe Daytime Phone No.: 301.270.2978

Address: 36 Takoma Park Columbia 20912
Street Number City Street Zip Code

Contractor: Jos. Klockner & Co. Phone No.: 301.270.3033

Contractor Registration No.: 32483

Agent for Owner: Joseph Klockner Daytime Phone No.: 301.270.3033

LOCATION OF BUILDING/PREMISE

House Number: 36 Street: Columbia Avenue

Town/City: Takoma Park MD Nearest Cross Street: Polcar

Lot: 10 Block: 19 Subdivision: B.F. Gilbert's Addition

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: interior renovation

1B. Construction cost estimate: \$ 167,683.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature] Signature of owner or authorized agent
3/28/08 Date

Approved: 481231 For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 4/24/08

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1920's FRAMES BUNGALOW W/ADDITIONS &
ADDED VINYL SIDING/EXISTING VINYL WINDOWS

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

N/A

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (*facades*), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	36 Columbia Avenue, Takoma Park	Meeting Date:	4/23/2008
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	4/16/2008
Applicant:	Steve West & Lisa Hone (Joseph Klockner & Larry Neal, Agents)	Public Notice:	4/9/2008
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-08T	Staff:	Josh Silver
PROPOSAL:	Window replacement		

STAFF RECOMMENDATION:

Staff is recommending that the HPC **approve** this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource Within The Takoma Park Historic District
STYLE: Victorian Revival
DATE: c1908- (extensively remodeled c1970s)

The subject house is a three bay, 2 -story, gabled roof, Victorian Revival dwelling. The house is clad in vinyl siding, and contains 1/1 double-hung vinyl windows and casement windows, and sheathed with an asphalt roof. The Takoma Park Historic District Guidelines note the house may have been totally remodeled.

HISTORIC CONTEXT

Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the one of the earliest railroad suburbs of Washington. The community was given new lifeblood in the early-20th century with the opening of streetcar lines, which led to the development of new subdivisions in Takoma Park.

Before 1883, the area that became Takoma Park was used for farming and vacation homes for Washingtonians. A few houses from this period still exist.

Benjamin Franklin Gilbert was the developer of Takoma Park, which he promoted for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma", meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment.

Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. The substantial houses had spacious settings, with deep, narrow lots of 50 feet by 200-300 feet, with 40-foot setback requirements. Extensive numbers of these houses (built from 1883 to 1900) remain, particularly concentrated along Maple, Cedar, and Holly Avenues. The earliest houses were built on Cedar Avenue (originally known as Oak Avenue).

Gilbert was more than just the developer of the community - he was a resident and civic leader. He built one of the first houses in the new community for himself and later became the town's first mayor. By 1886, Takoma Park had a post office and a new railroad station. Fifteen trains a day ran between Washington and Takoma Park and the population had reached 100.

By 1893, the town's population quadrupled. Four subdivisions had expanded the town, which was incorporated in 1890. Takoma Avenue, Pine Avenue, and Holly Avenue were among the streets to develop during this period.

The first multi-family buildings in Montgomery County were built in Takoma Park. The earliest documented multi-family dwelling is the *Ford House* at 7137-39 Maple Avenue. Brothers Byron and Seth Ford built this large, elaborate, frame double-house in 1885 for their families. The next multi-family dwellings to be built in the county were not constructed until 1907.

The start of streetcar service along Carroll Avenue in 1897, operated by the Baltimore and Washington Transit Company, made the adjacent areas more attractive for residential development, leading to new subdivisions. This line, supplemented in 1910 by the Washington and Maryland line (1910-27), led to the creation of eight additional subdivisions extending out from the trolley lines. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. Among the streets, which developed during the 1910s and 1920s in response to the establishment of streetcar, lines are Willow, Park, Philadelphia, and Carroll Avenues.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building materials and structural elements for ornamentation. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established - detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Willow, Park, Philadelphia, and Westmoreland Avenues. Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era.

Takoma Park continues to thrive today, with a population of 20,000. Though the train no longer stops there, the town's close relationship with mass transportation continues. The Metro enables residents to continue the tradition, started with the railroad and extended with the streetcars, of living in the suburbs and commuting to the District using mass transit. Two sections of the Montgomery County portion of Takoma Park have been listed on the National Register of Historic Places as the Takoma Park Historic District since 1976.

PROPOSAL:

The applicants are proposing to remove a total of 10 windows from the subject property and install 1/1 double-hung wooden windows with aluminum cladding on the 1st story rear and side elevations, and a single casement window on the 2nd story rear elevation. The windows proposed for removal include vinyl (non-historic) sliding sash windows and one paired 1/1 double-hung vinyl window. All proposed work is located on the rear and side elevations of the house.

The proposed work also includes the removal and reinstallation of an existing non-historic door and frame at the rear of the house. The door will be reinstalled in a new location at the rear of the house to accommodate the new interior space program of the house.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 4A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

The *Guidelines* state, non-contributing resources in the Takoma Park Historic District are “either buildings that are of little or no architectural and historical significance to the historic district or are newer buildings that have been constructed outside of the district’s primary periods of historical importance. These types of resources should receive the most lenient level of design review.”

The *Guidelines* also state: “Most alterations and additions to non-contributing resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of non-contributing resources which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.”

Montgomery County Code; Chapter 24A

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

The Commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district; or
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic

resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter; or

Secretary of the Interior's Standards for Rehabilitation:

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Staff supports the proposed window replacement and door relocation projects at the subject property. The proposed work is in agreement with the *Guidelines* for alterations to a non-contributing resource within the Takoma Park Historic District. The removal of the sliding sash vinyl windows and replacement with 1/1 double-hung wood windows with aluminum cladding is more consistent the existing 1/1 window style of the house. The proposed work is contained to the rear and side yard of the property and will have no impact on the streetscape of the historic district. *Staff is recommending that the HPC approve this HAWP.*

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation;*

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Larry Neal
Daytime Phone No.: 301.270.3033

Tax Account No.: # 01070634
Name of Property Owner: Steve West & Lisa Howe
Address: 36 Takoma Park Columbia 20912
Contractor: Jos. Klockner & Co.
Contractor Registration No.: 32483
Agent for Owner: Joseph Klockner

LOCATION OF BUILDING/PREMISE

House Number: 36 Street: Columbia Avenue
Town/City: Takoma Park MD Nearest Cross Street: Polcar
Lot: 10 Block: 19 Subdivision: B.F. Gilbert's Addition

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
[] Construct [] Extend [x] Alter/Renovate [] AC [] Slab [] Room Addition [] Porch [] Deck [] Shed
[] Move [] Install [] Wreck/Raze [] Solar [] Fireplace [] Woodburning Stove [x] Single Family
[] Revision [x] Repair [] Revocable [] Fence/Wall (complete Section 4) [] Other: interior restoration
1B. Construction cost estimate: \$ 167,683.00
1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 [x] WSSC 02 [] Septic 03 [] Other:
2B. Type of water supply: 01 [x] WSSC 02 [] Well 03 [] Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
[] On party line/property line [] Entirely on land of owner [] On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: [Signature] Date: 3/28/08

Approved: 481231 For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1920's FRAMES BUNGALOW W/ADDITIONS &
ADDED VINYL SIDING/EXISTING VINYL WINDOWS

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district

N/A

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6

Adjacent property owners--right and left sides

David and Liesl Groberg
34 Columbia Avenue
Takoma Park, MD 20912

Bradley and Stephanie Dickey
38 Columbia Avenue
Takoma Park, MD 20912

Across the street:

David E. Pollock and Judy F Kirpich
7118 Poplar Avenue
Takoma Park, MD 20912

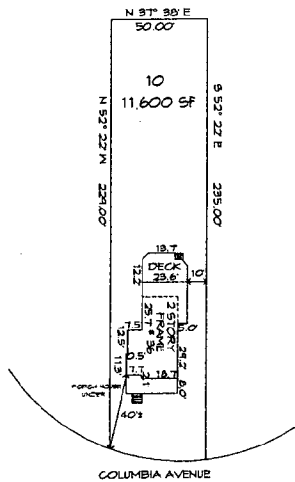
Inan Phillips
35 Columbia Avenue
Takoma Park, MD 20912

Behind us:

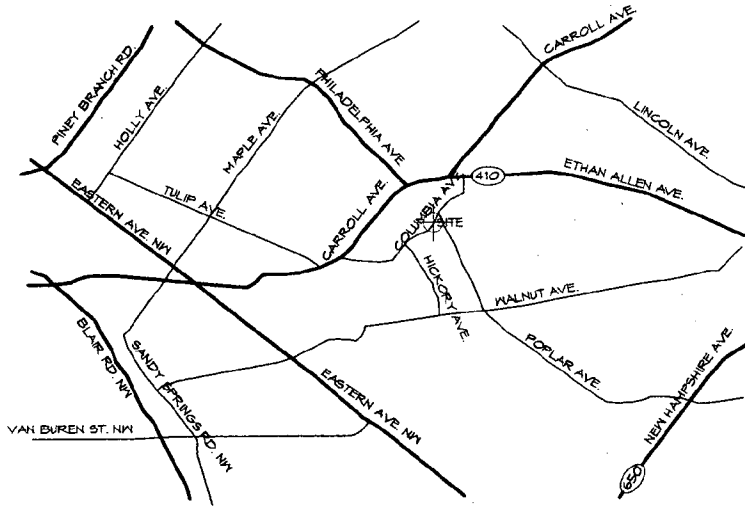
Denis J and S A McCarthy
7127 Carroll Avenue
Takoma Park, MD 20912

SITE PLAN

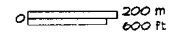
1/64" = 1' - 0"



36 COLUMBIA AVENUE
TAKOMA PARK, MD 20912



VICINITY MAP



DRAWING INDEX

- C-1 Site Plan, General Notes, Abbreviations
Vicinity Map Scope of Work, Code
Information & Drawing Index
- D-1 Kitchen - Family Room Existing
& Demo Plan
- A-1 Kitchen - Family Room Floor Plan
- A-2 2nd Floor Bathroom - Extg w/ Demo
Notes - New Floor Plan
- A-3 Rear Elevation
- A-4 Left & Right Side Elevations
- S-1 Kitchen & Family Room - Framing
Plan & Wall Section (Typ)
- S-2 Basement Floor Plan
Existing & Proposed
- MP-1 Kitchen & Family Room Mechanical-
Electrical-Plumbing Floor Plan

SCOPE OF WORK

Renovation of Existing Bathroom
Renovation of Existing Kitchen & Family Room
Replace & Rebuild Existing Foundation

CODE INFORMATION

-IRC (International Residential Code) 2003

Total Existing:	Basement	(1) Footing
	1st Floor	521 Sf
	2nd Floor	96 Sf
Total Renovation:	Basement	(1) Footing
	1st Floor	521 Sf
	2nd Floor:	96 Sf

GENERAL STRUCTURAL NOTES

LIVE LOADS:
ROOF - 30 PSF
SNOW:
GROUND SNOW LOAD - 30 PSF
SNOW EXPOSURE FACTOR - 0.7
SNOW LOAD IMPORTANCE FACTOR - 1.0

2ND FLOOR - 30 PSF
1ST FLOOR - 40 PSF
DECKS - 60 PSF

LATERAL LOADS:
WIND:
BASIC WIND SPEED - 90 MPH
WIND LOAD IMPORTANCE FACTOR - 1.0
EXPOSURE C

ABBREVIATIONS

A	AND	EQ	EQUAL	FLWD	PLYWOOD
AT	AT	ETR	EXISTING TO REMAIN	FT	PAINTED
ATF	ABOVE FINISHED FLOOR	EXTG	EXISTING	FR	PAIR
APT	APARTMENT	FF	FINISH FLOOR	R	RISER
BLDG	BUILDING	FLR	FLOOR	REF	REFRIGERATOR
BSMT	BASEMENT	GA	GAUGE	RO	ROUGH OPENING
CJ	CONTROL JOINT	GWB	GYPSUM WALL BOARD	ROD	REQUIRED
CAB	CABINET	HB	HOSE BID	RM	ROOM
CL	CENTER LINE	HC	HOLLOW CORE	SC	SHEET
CLG	CEILING	HT	HEIGHT	SHT	SHEET
CLR	CLEAR	HIDWR	HARDWARE	SHWR	SHOWER
CMU	CONCRETE MASONRY UNIT	JB	JUNCTION BOX	SM	SIMILAR
COND	CONDITION	LB	LOAD BEARING WALL	SKYLT	SKYLIGHT
CONT	CONTINUOUS	LVL	LAMINATED VENEER LUMBER	SPEC	SPECIFICATION
D	DRYER	MARB	MARBLE	SPRK	SPRINKLER
DH	DOUBLE HUNG	MATL	MATERIAL	STL	STEEL
DIA	DIAMETER	MAX	MAXIMUM	TBD	TO BE DETERMINED
DN	DOWN	MDO	MEDIUM DENSITY OVERLAY	T&G	TONGUE & GROOVE
DR	DOOR	MNI	MINIMUM	TDS	TOP OF SLAB
DS	DOWNSPOUT	MANU	MANUFACTURER	TYP	TYPICAL
DTL	DETAIL	MTL	METAL	UNO	UNLESS NOTED OTHERWISE
DW	DISHWASHER	MCH	MECHANICAL	VIF	VERIFY IN FIELD
DWG	DRAWING	NIC	NOT IN CONTRACT	W	WASHER
EIPS	EXTERIOR INSULATION	NTS	NOT TO SCALE	WC	WATER CLOSET
EL	ELEVATION	OC	ON CENTER	WD	WOOD
ELEC	ELECTRICAL	OH	OPPOSITE HAND	W/O	WITHOUT
EX	EXPANSION	OSB	ORIENTED STRAND BOARD	W/W	WELDED WIRE MESH
		PLAM	PLASTIC LAMINATE		

GENERAL NOTES

- All work shall be performed in a professional manner and in accordance with IRC 2003 and local codes currently in force.
- Refer any discrepancies between the drawings and the existing conditions to the Project Manager before proceeding with the work.
- All dimensions noted on the drawings are between finished surfaces. (I.E. dry-wall to dry-wall) (unless otherwise noted L.E. framing to framing).
- Do not scale dimensions from the drawings. Verify in the field all necessary rough, finish and and installation dimensions for fixtures, equipment and other similar items.
- The General Contractor will maintain a clean job site and shall leave the site free and clean of construction materials and equipment upon job completion.
- All structures and materials scheduled for demolition shall be removed from the site in their entirety, unless otherwise noted. The General Contractor, shall be responsible for temporary bracing of existing structures where structural elements are schedule to be replaced.
- The General Contractor shall be responsible for safety and security precautions throughout the duration of the project.
- All pressure treated lumber to be Non-arsenic.
- Upgrade insulation at exterior envelope wherever possible in addition to areas specifically shown on drawings.
- The General Contractor shall be responsible for providing solid wood blocking for fixtures, millwork, accessories, etc. provided locations are chosen by owner in a timely manner.
- The Job Superintendent shall review final installation locations for accessories with the Project Manager.

WEST - HONE
RESIDENCE
RENOVATION

STEVE WEST & LISA HONE

96 COLUMBIA AVENUE
TAKOMA PARK, MD 20912

No.	Issued for:	Date:
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

DRAWN BY: Luis Ligorria

DATE: March 2008

SCALE: AS SHOWN

Cover Sheet

Sheet Title

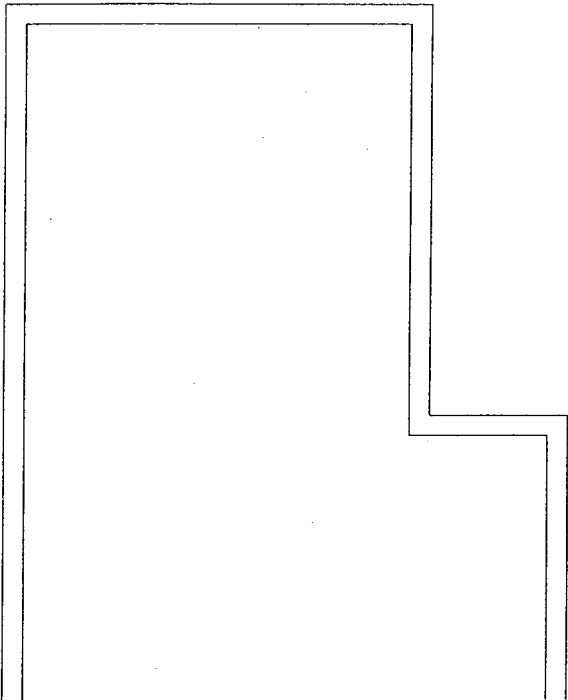
C-1

Sheet Number

C-01 of 01

8

HOCKNER
 Design - Build
 6480 Stego Mill Road Takoma Park, MD 20912
 301-270-3033 / 301-270-1441 fax

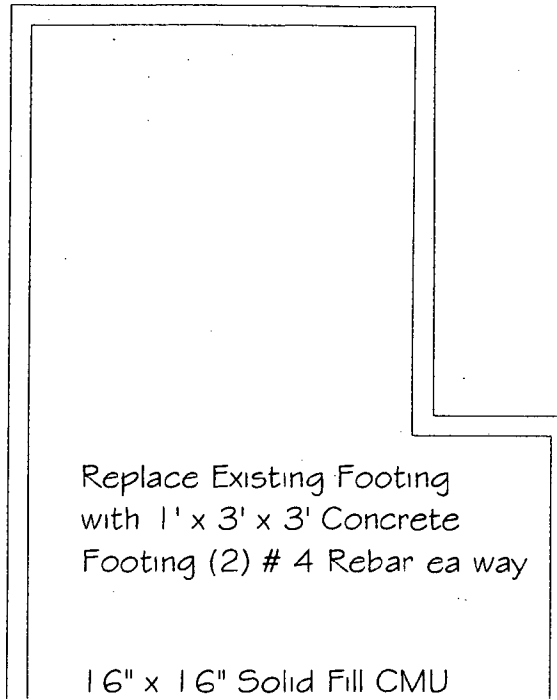


Basement Existing Condition

Scale 1/4" = 1' - 0"

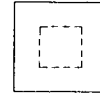
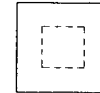
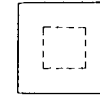


Use Extg
Parge to Match New



Replace Existing Footing
with 1' x 3' x 3' Concrete
Footing (2) # 4 Rebar ea way

16" x 16" Solid Fill CMU



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 12608, Expiration Date: 9/4/09



Design - Build
6480 Sligo Mill Road, Takoma Park, MD 20912
301-270-3033 / 301-270-1441 fax

**WEST - HONE
RESIDENCE
RENOVATION**

STEVE WEST & LISA HONE
36 COLUMBIA AVENUE
TAKOMA PARK, MD 20912

No.	Issued for:	Date:
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

DRAWN BY: Luis Ligorria

DATE: March 2008

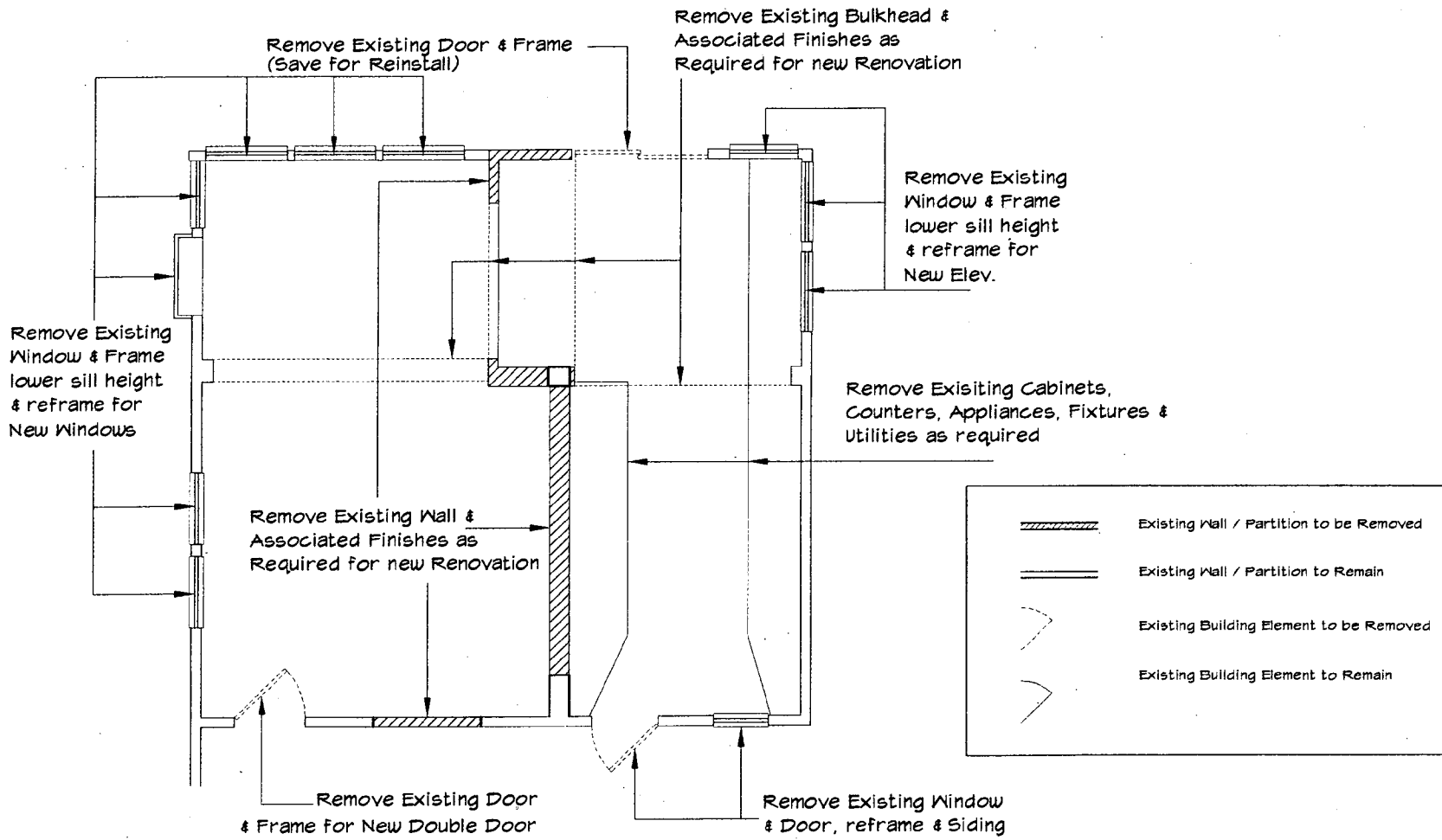
SCALE: AS SHOWN

Basement Floor Plan
Existing & Proposed

S-2

Sheet Number 08 of 03

6



Design - Build
 6486 Silgo Mill Road, Takoma Park, MD 20912
 301-270-3003 / 301-270-1441 fax

WEST - HONE
 RESIDENCE
 RENOVATION

STEVE WEST & LISA HONE
 36 COLUMBIA AVENUE
 TAKOMA PARK, MD 20912

No.	Issued for:	Date
1	Preliminary	03/01
2	Review	06/01
3	Review	07/01
4	Review	02/08

DRAWN BY: Luis Ligornia

DATE: March 2008

SCALE: AS SHOWN

Kitchen - Family Room
 Extg & Demo Plan

Sheet Title

D-1

Sheet Number 02 OF 04

Kitchen - Family Room Existing & Demolition Plan

Scale 1/4" = 1' - 0"

Building Line Unchanged

19



Design - Build
 6480 Silgo Mill Road Takoma Park, MD 20912
 301-270-3033 / 301-270-1441 fax

**WEST - HONE
 RESIDENCE
 RENOVATION**

STEVE WEST & LISA HONE
 36 COLUMBIA AVENUE
 TAKOMA PARK, MD 20912

No.	Issued for	Date
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

DRAWN BY: Luis Ligorria
 DATE: March 2008



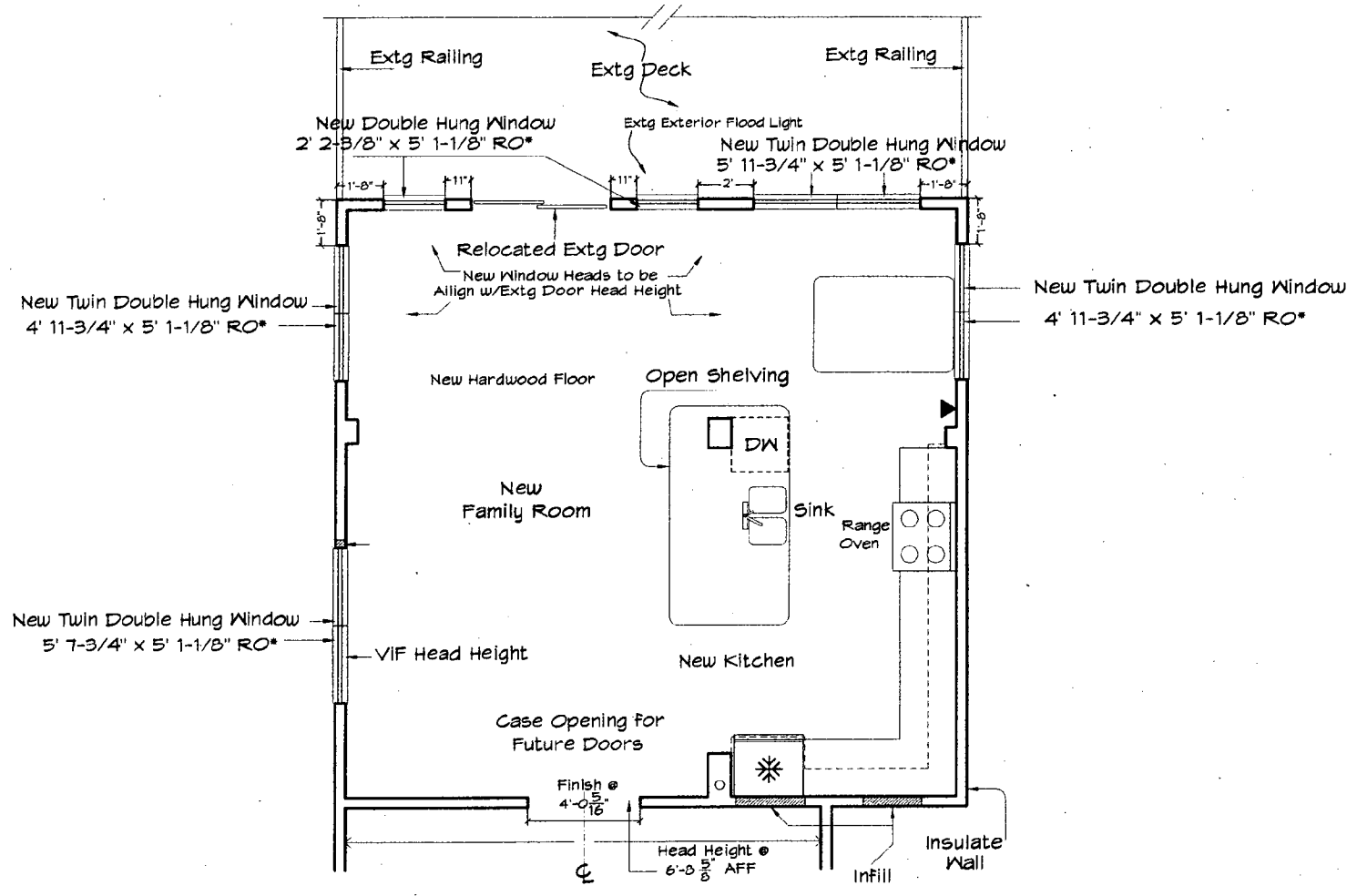
SCALE: AS SHOWN

Kitchen - Family Room
 Floor Plan

Sheet Title

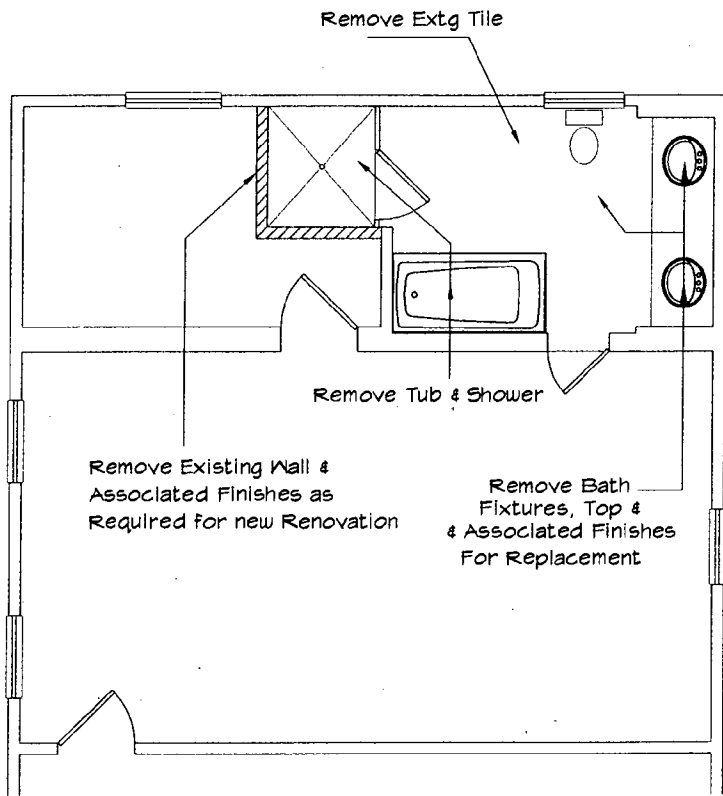
A-1

Sheet Number: 00 OF 04



Kitchen - Family Room Floor Plan
 scale 1/4" = 1' - 0"

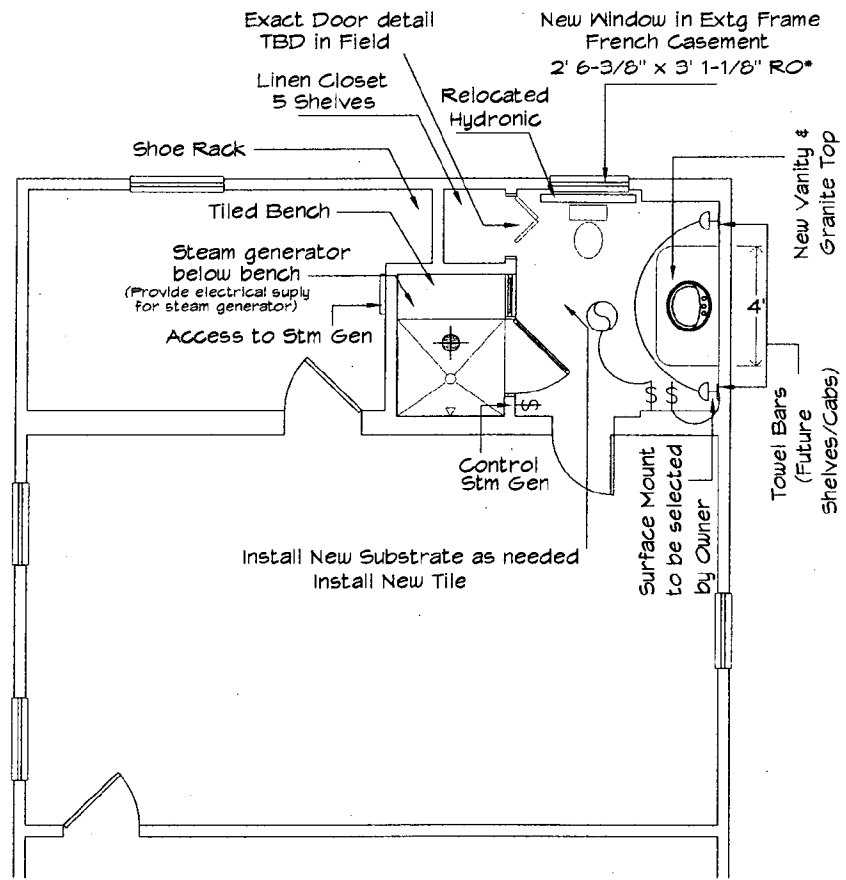




2nd Floor Bathroom - Extg w/Demo Notes

Scale 1/4" = 1' - 0"

(*) Marvin Windows



2nd Floor Bathroom - New & Floor Plan

Scale 1/4" = 1' - 0"

See General Electrical Notes & Electric Symbols @ MEP-1

See Demolition Notes @ D-1



Design - Build
6840 Silgo Mill Road, Takoma Park, MD 20912
301-270-3033 / 301-270-1441 fax

NEST - HONE RESIDENCE RENOVATION

STEVE NEST & LISA HONE

36 COLUMBIA AVENUE
TAKOMA PARK, MD 20912

No.	Issued for	Date
1	Preliminary	02/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

DRAWN BY: Luis Ligorris

DATE: March 2008

SCALE: AS SHOWN

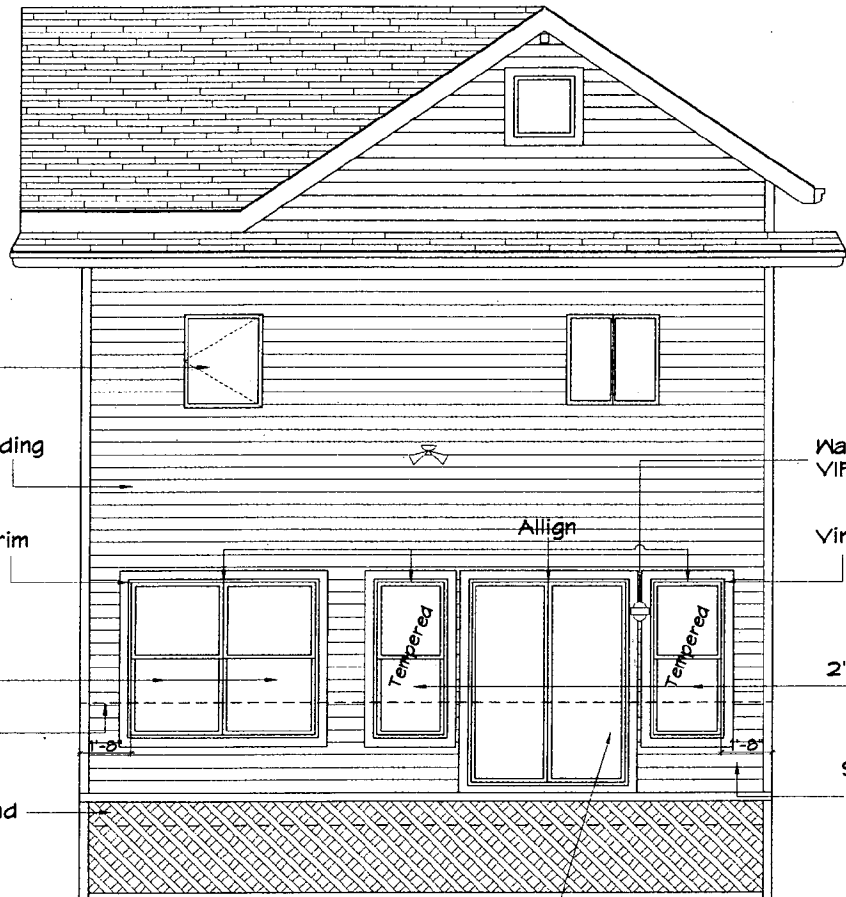
2nd Floor Bathroom
Extg w/Demo Notes
New Floor Plan

Sheet Title

A-2

Sheet Number 04 OF 04

12



Marvin
New Window in Extg Frame
Single Casement
2' 5" x 2' 11 - 7/8" RO

Extg Vinyl Siding

Vinyl J-Channel Trim

Marvin
New Twin Double Hung Window
5' 11-3/4" x 5' 1-1/8" RO

Extg Deck Railing
(See A-4)

Extg Deck Band

Wall Sconce
VIF Height

Vinyl J-Channel Trim

Marvin
Double Hung Window
2' 2-3/8" x 5' 1-1/8" RO*

See enclosed document
for wind Shear Detail

Relocated Extg Door

Rear Elevation

Scale 1/4" = 1' - 0"

Blockner

Design - Build
6480 Sigo Mill Road Takoma Park, MD 20912
301-270-3033 / 301-270-1444 fax

WEST - HONE
RESIDENCE
RENOVATION

STEVE WEST & LISA HONE

36 COLUMBIA AVENUE
TAKOMA PARK, MD 20912

No.	Issued for:	Date:
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

DRAWN BY: Luis Ligorris

DATE: March 2008

SCALE: AS SHOWN

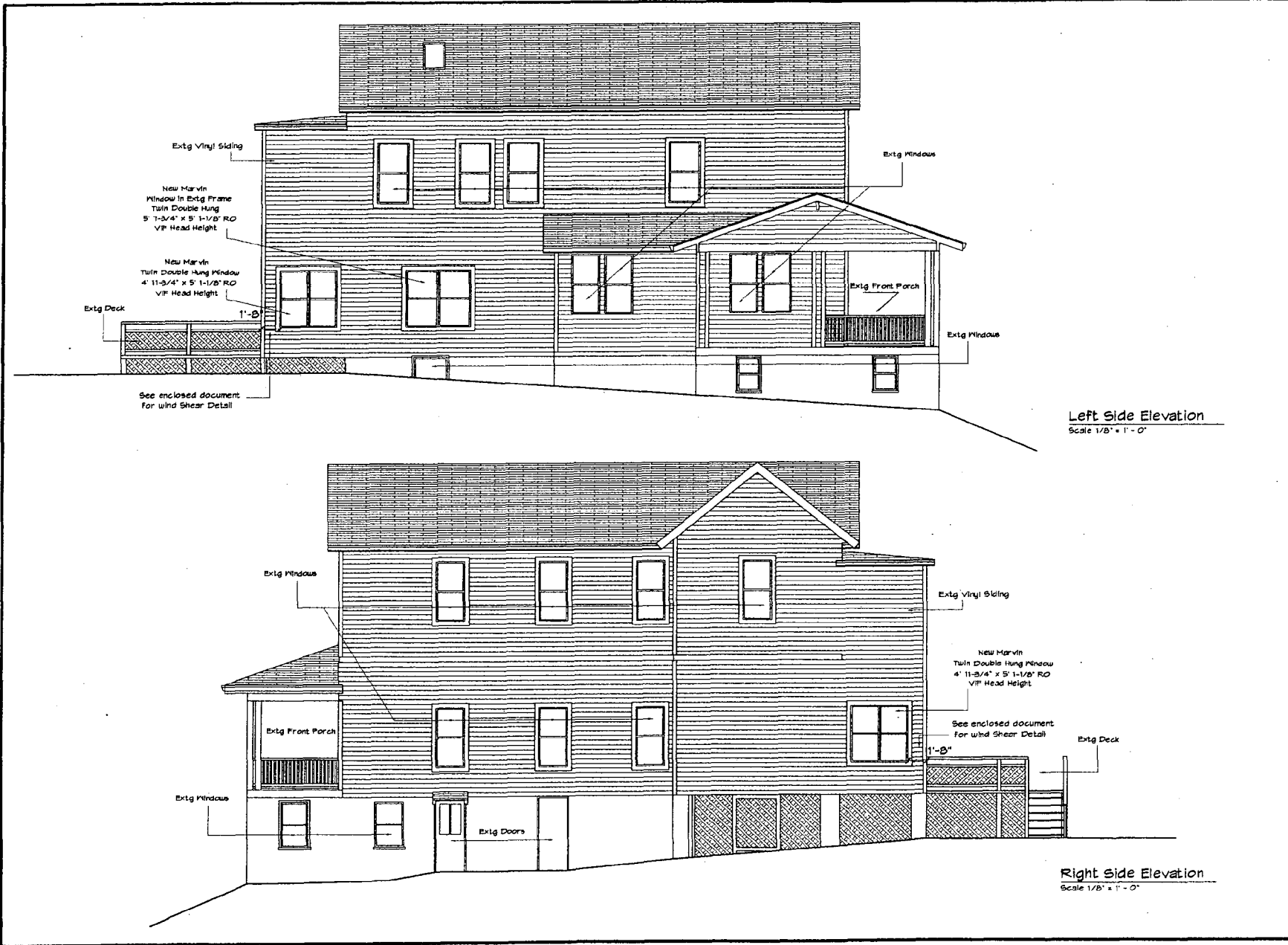
Rear Elevation

Sheet Title

A-3

Sheet Number 03 of 04

13



Left Side Elevation
Scale 1/8" = 1' - 0"

Right Side Elevation
Scale 1/8" = 1' - 0"



Design - Build
6480 Sigo Mill Road Takoma Park, MD 20912
301-270-3033 / 301-270-1441 fax

WEST - HONE
RESIDENCE
RENOVATION

STEVE WEST & LISA HONE
36 COLUMBIA AVENUE
TAKOMA PARK, MD 20912

No.	Issued for:	Date
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

DRAWN BY: Luis Ligorria

DATE: March 2008

SCALE: AS SHOWN

Left & Right
Side Elevations

Sheet Title

A-4

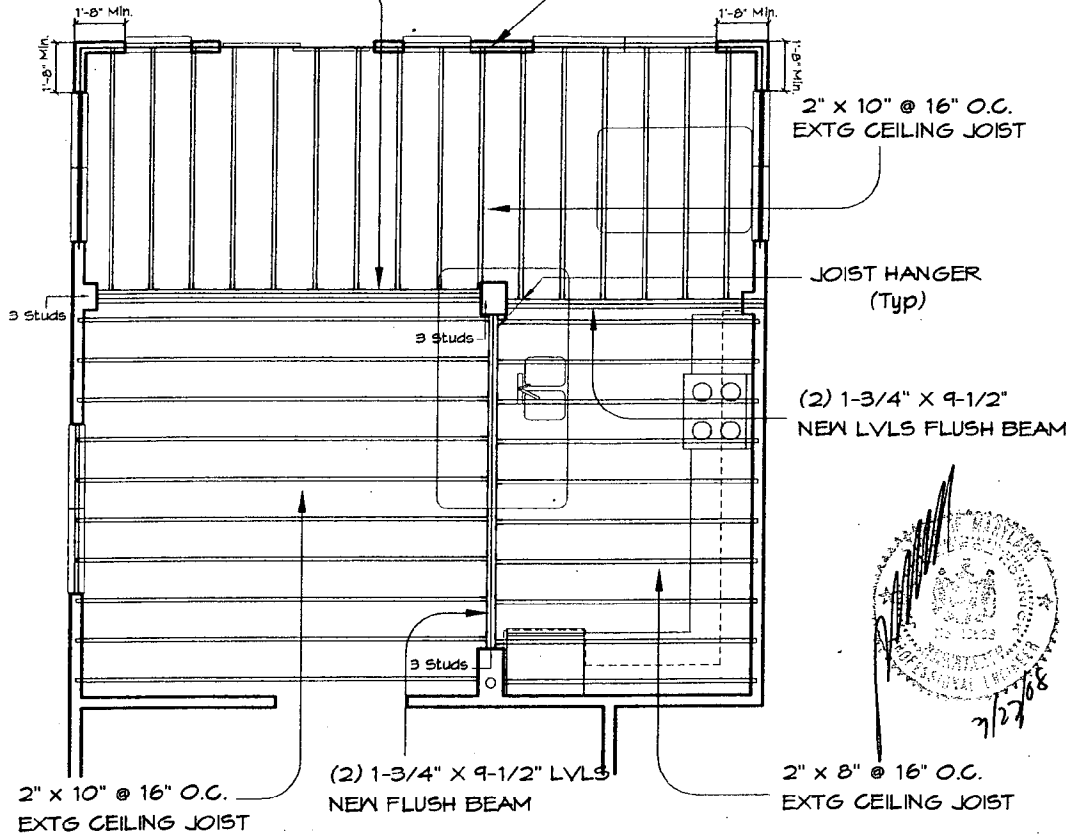
Sheet Number 06 OF 04

14

"See enclosed document
for wind Shear Detail"

CONTINUOUS
(2) 2" x 12" HEADERS

(3) 1-3/4" x 9-1/2" LVLs
NEW FLUSH BEAM



Extg 2" x 10"
@ 16" O.C.

Extg 2" x 4" Frame

Extg Insulation

Extg Bandboard
(2) 2" x 10"

Extg 1/2"
Drywall Ceiling

New Cont. Header
(2) 2" x 12"

Siding

1/2" Plywood Sheathing

1/2" Drywall (Typ)

Window

Wall frame 2" x 4" @
16" OC (Typ)
w/ Insulation

New Hardwood Floor on
3/4" T & G Plywood
Subfloor

Extg Framing
(2) 2" x 10"

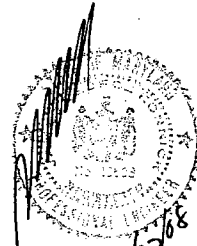
Extg Deck
Extg 2" x 10"
@ 16" O.C.

Extg Insulation

CMU Pier

Crawl Space

(2) 1-3/4" x 9-1/2"
NEW LVLs FLUSH BEAM



2" x 8" @ 16" O.C.
EXTG CEILING JOIST

(2) 1-3/4" x 9-1/2" LVLs
NEW FLUSH BEAM

2" x 10" @ 16" O.C.
EXTG CEILING JOIST

Framing Plan - 2nd Floor (above Kitchen/Family Room)

Scale 1/4" = 1' - 0"

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 12608, Expiration Date: 9/4/09"

1 Typical Wall Section

Scale 1/2" = 1' - 0"

KLOCKNER

Design : Build
6480 Sigbee Rd. Takoma Park, MD, 20912
301-270-3030 / 301-270-1441 fax

WEST - HONE
RESIDENCE
RENOVATION

STEVE WEST & LISA HONE

36 COLUMBIA AVENUE
TAKOMA PARK, MD 20912

No.	Issued for:	Date:
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

DRAWN BY: Luls Ligorta

DATE: March 2008

SCALE: AS SHOWN

Kitchen - Family Room
Framing Plan &
Wall Section (Typ)

Sheet Title

S-1

Sheet Number

DTGF 04

15

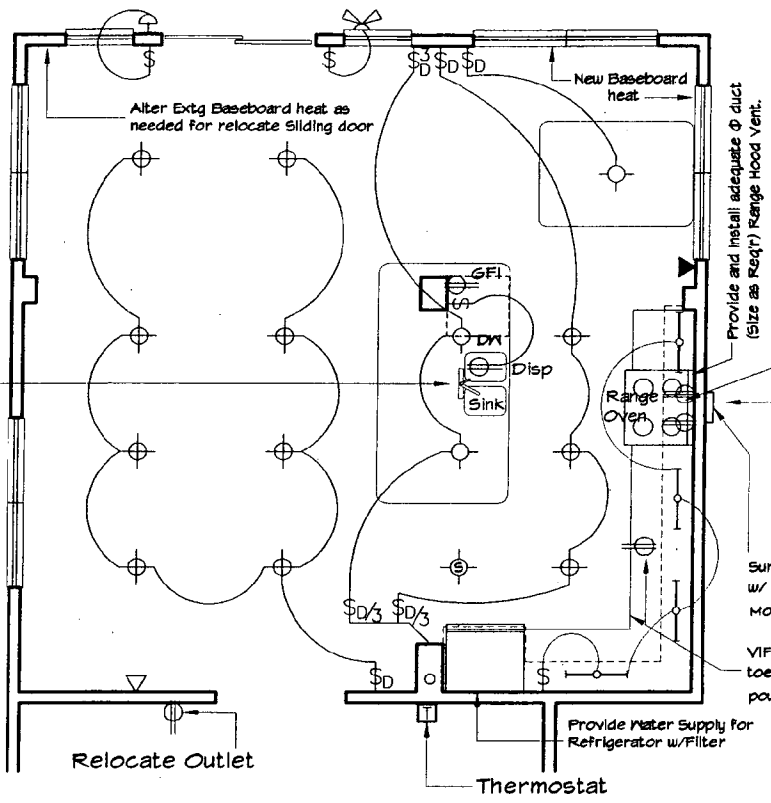
GENERAL ELECTRICAL NOTES

- E1. ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL ELECTRICAL CODES UNDER THE AUSPICES OF A LICENSED MASTER ELECTRICIAN.
- E2. THE ELECTRICAL SUB CONTRACTOR SHALL BE RESPONSIBLE FOR ELECTRICAL PERMIT AND ALL INSPECTIONS.
- E3. THE ELECTRICAL SUB CONTRACTOR SHALL COORDINATE WITH ARCHITECTURAL DRAWINGS FOR MOUNTING LOCATIONS. THIS SHALL INCLUDE A SITE WALK-THRU TO VERIFY LOCATIONS BEFORE ROUGH-IN.
- E4. ALL SWITCHES, RECEPTACLES AND FACE PLATES SHALL BE WHITE DECORA STYLE.
- E5. ALL SWITCHES SHALL BE MOUNTED 48" A.F.F. - U.N.O. GANG SWITCHES UNDER ONE PLATE WHEREVER MORE THAN ONE IS SHOWN TOGETHER.
- E6. DIMMER SWITCHES SHALL BE 'LUTRON' SKYLARK PRE-SET SLIDER, MATTAGE AS REQUIRED. ON - OFF SWITCHES SHALL BE ROCKER TYPE TO MATCH SKYLARK DIMMERS. ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING ELECTRONIC OR MAGNETIC DIMMER FOR LOW VOLTAGE FIXTURES AS REQUIRED BY MANUFACTURER. BID AS WHITE, EXTG MATCH, EXTG ROUGH.
- E7. THE ELECTRICAL SUB CONTRACTOR SHALL PROVIDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT TO ACCOMMODATE FIXTURES.
- E8. THE ELECTRICAL SUB CONTRACTOR SHALL INSPECT EXISTING ELECTRICAL SERVICE AND PROVIDE A BROKEN OUT PRICE FOR ANY UPGRADE REQUIRED FOR THE NEW WORK.
- E9. ALL KITCHEN COUNTER WIRING SHALL BE 'G.F.I.' CIRCUITS TO CODE.
- E10. PROVIDE SMOKE DETECTORS AS REQUIRED BY CODE.
- E11. PROVIDE OUTLETS THROUGHOUT AS REQUIRED BY CODE.
- E12. COORDINATE ELECTRIC BOX DEPTH WITH MILLWORK INSTALLATION.
- E13. EXISTING SURFACE MOUNTED OUTLETS TO BE UPGRADED TO WALL OUTLETS.
- E14. DEDICATED CIRCUITS IN THE KITCHEN AS REQUIRED BY CODE.
- E15. LIGHT FIXTURES, RECEPTACLES, SWITCHES AND SOME OUTLET EXACT LOCATIONS TBD

ELECTRIC SYMBOLS

- ⊕ DOWNLIGHT (RECESSED)
- ⊙ PENDANT LIGHT FIXTURE/OWNER SUPPL.
- ⊕ LIGHT SWITCH (DIMMER)
- ⊕ THREE WAY SWITCH
- ⊕ SMOKE DETECTOR TO CODE
- ▲ TEL. OUTLET (Verify Location)
- △ CABLE / OR CAT 5 (Verify Location)
- NET LOCATION RECESSED
- ⊖ OUTLET 120 VOLTS
- ⊖ OUTLET 240 VOLTS
- ⊖ EXTG FLOOD LIGHT
- ⊖ WALL SCONCE
- ⊖ EXHAUST FAN

Provide Connection for Faucet, Water - Filtration System and Disposal • Kitchen Sink (fixtures by owner)



**Kitchen - Family Room
Mechanica-Electrical-Plumbing Floor Plan**

Scale 1/4" = 1' - 0"

GENERAL PLUMBING NOTES

- 1. All Plumbing and Gas Fitting work shall be installed in accordance with local Plumbing Codes and regulations, under the auspices of a Licensed Plumber/ Gas-Fitter
- 2. The Plumbing Sub-Contractor shall be responsible for all necessary rough-in, close-in, final inspection and testing in accordance with the Local Regulatory Agency Plumbing Inspection Division, as well as for obtaining the necessary Plumbing Permit.
- 3. The Plumbing Sub-Contractor shall provide labor, equipment, fixtures, plumbing-brass, hardware and the like to complete the work described in the drawings, unless otherwise noted.

GENERAL MECHANICAL NOTES

- 1. All Mechanical work shall be installed in accordance with local Mechanical Codes and Regulations.
- 2. Mechanical subcontractor shall make on-site inspection to determine fully the existing conditions and the extent of the new work. All ductwork shall match existing conditions. Any discrepancies shall be brought to the attention of the General Contractor.



Design - Build
6480 Shigo Mill Road Takoma Park, MD 20912
301-270-3033 / 301-270-1441 Fax

**WEST - HONE
RESIDENCE
RENOVATION**

STEVE WEST & LISA HONE
36 COLUMBIA AVENUE
TAKOMA PARK, MD 20912

No.	Issued for:	Date:
1	Preliminary	03/07
2	Review	06/07
3	Review	07/07
4	Review	02/08

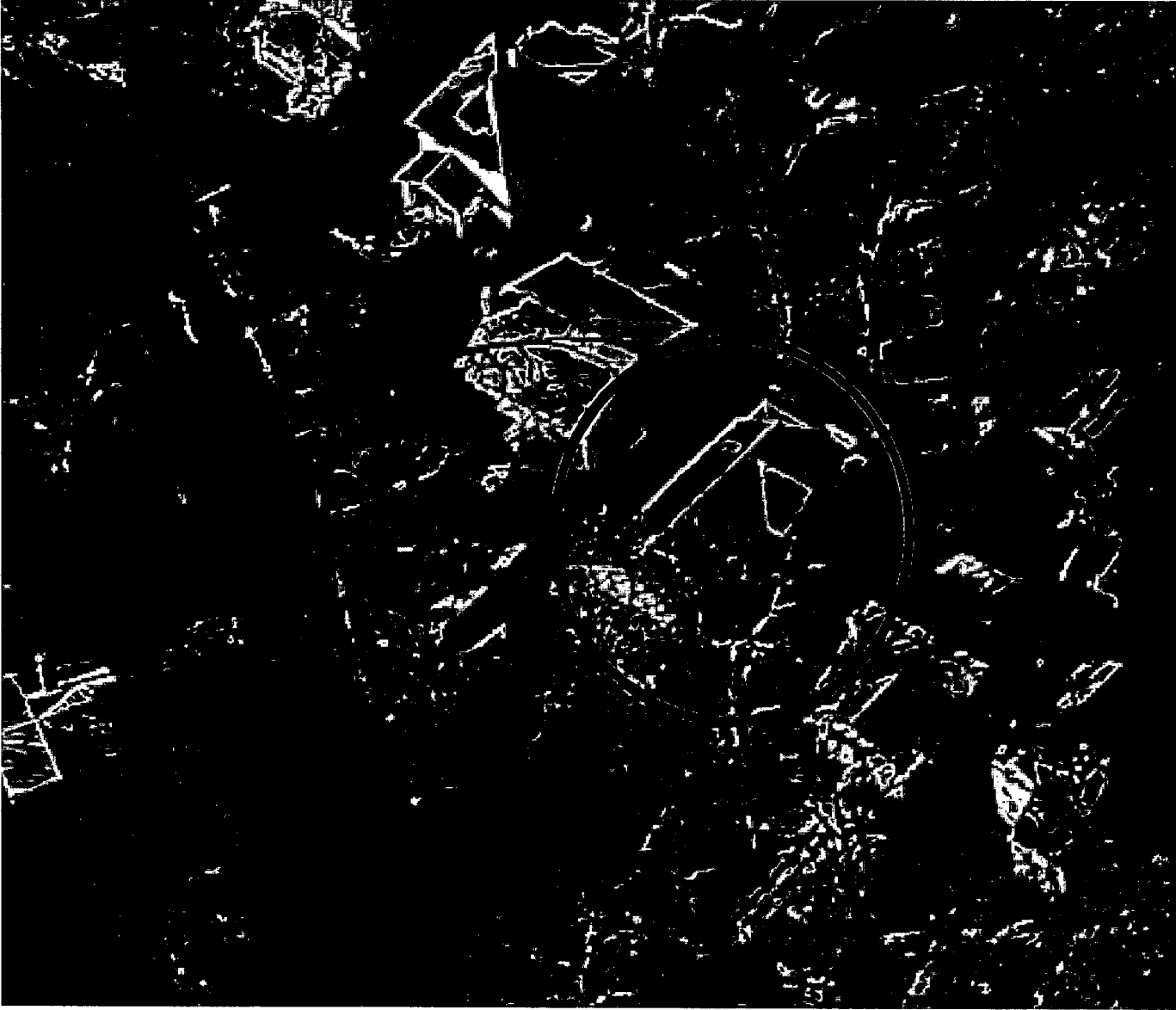
DRAWN BY Luis Ligorta
DATE March 2008

SCALE: AS SHOWN
Kitchen - Family Room
Mechanical - Electrical
Plumbing Floor Plan
Sheet 13x

MEP-1

Sheet Number 01 OF 01

36 Columbia Avenue, Takoma Park
Takoma Park Historic District

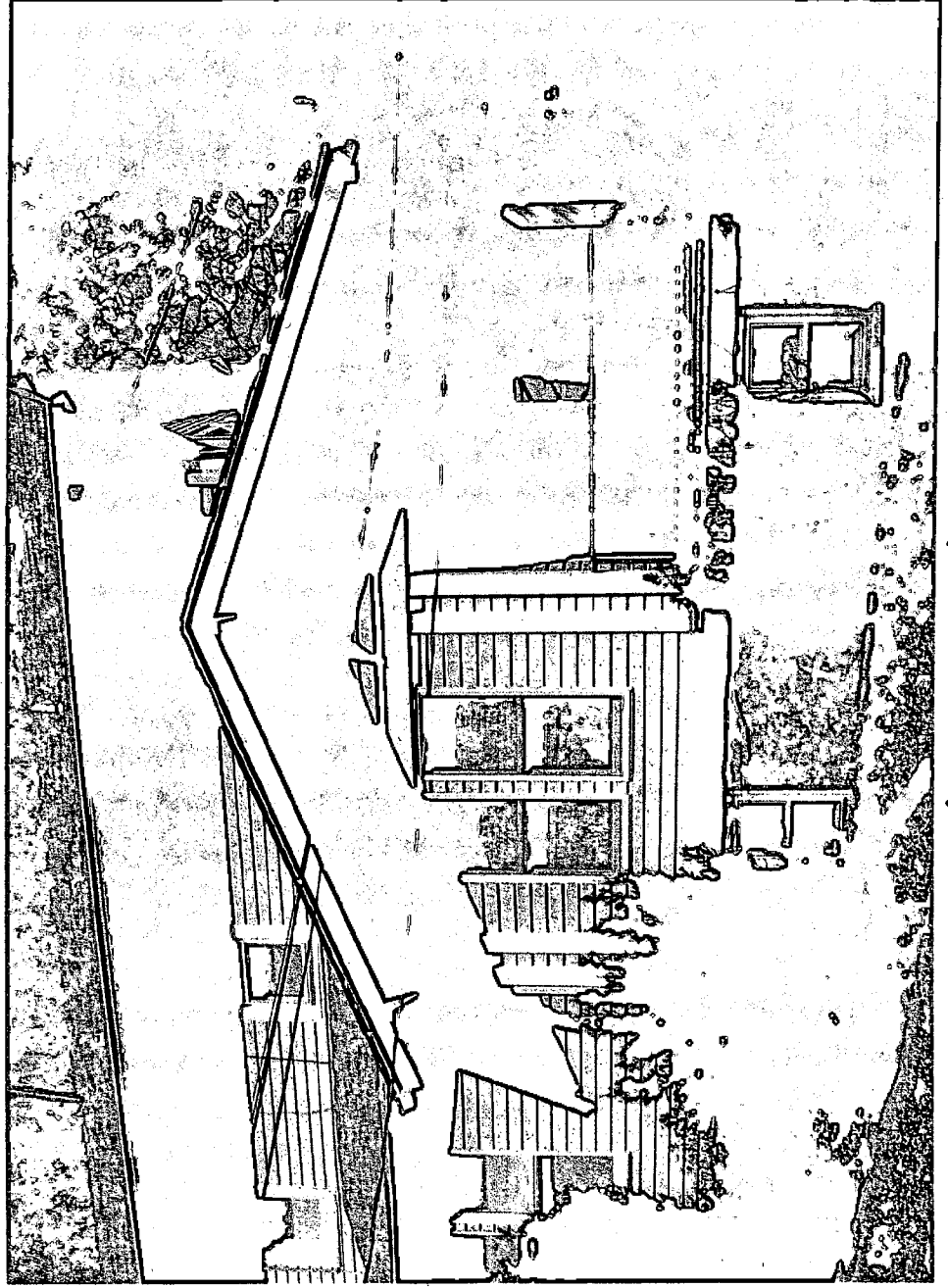
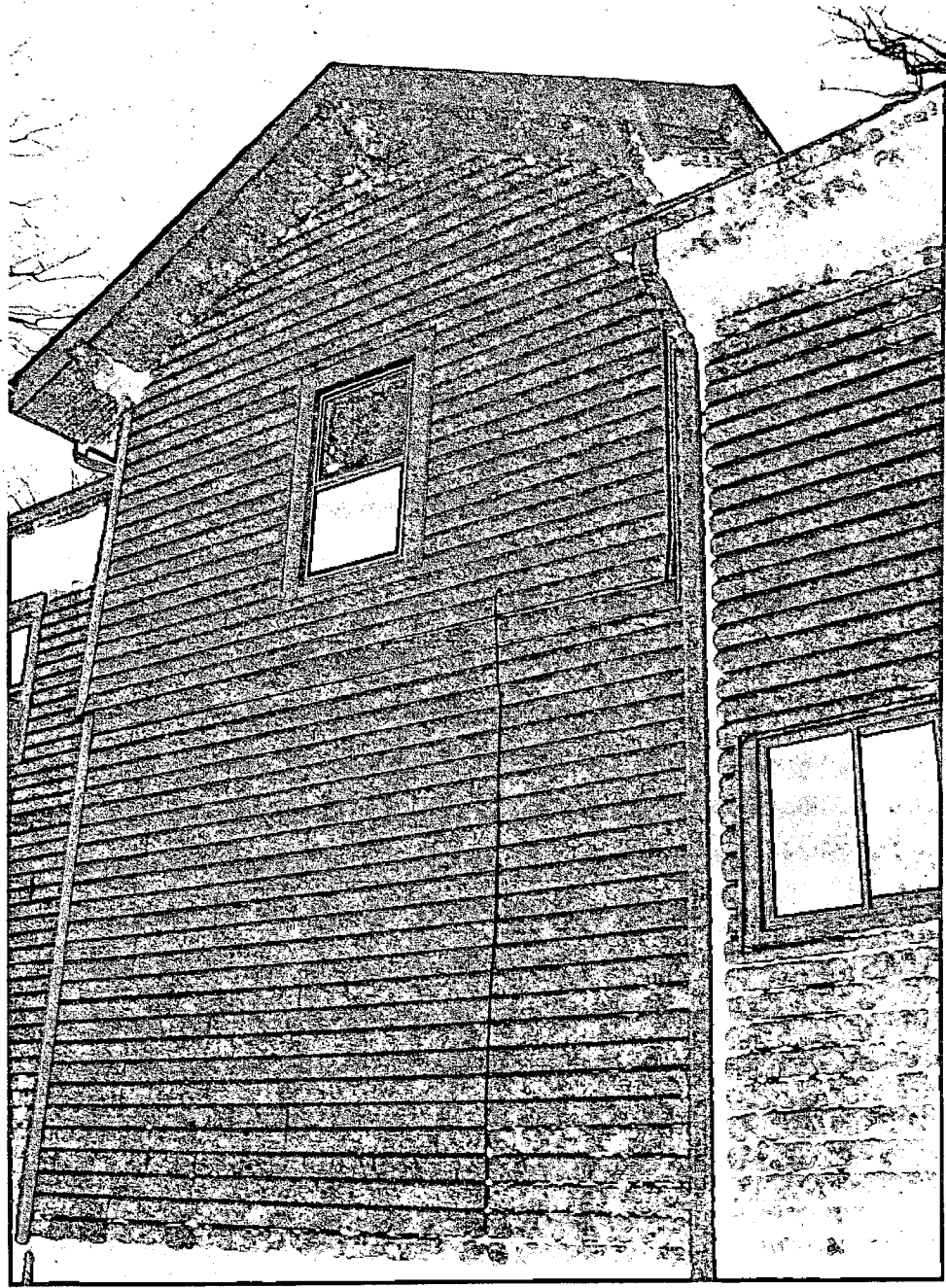




13



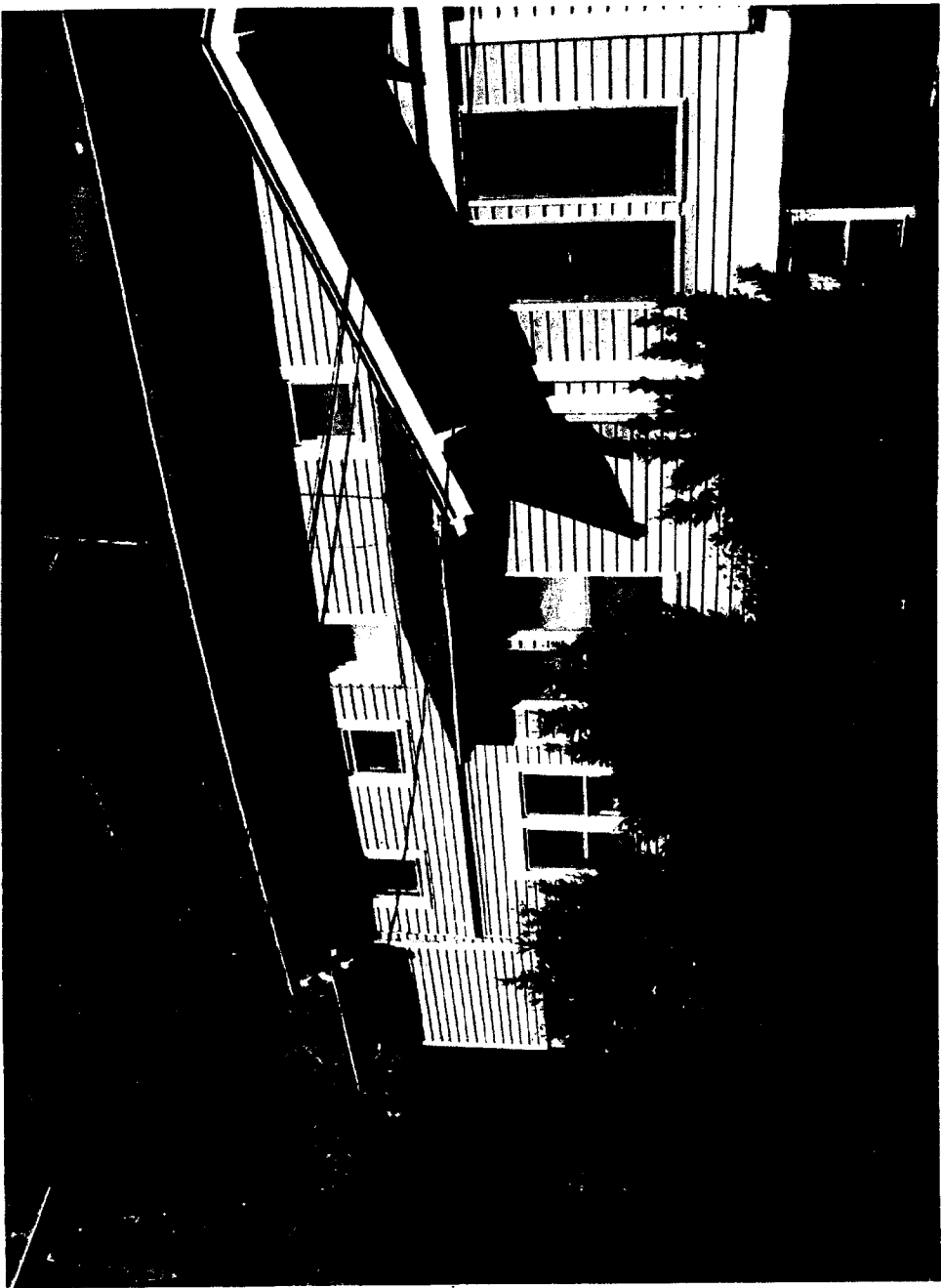
REAR VIEW



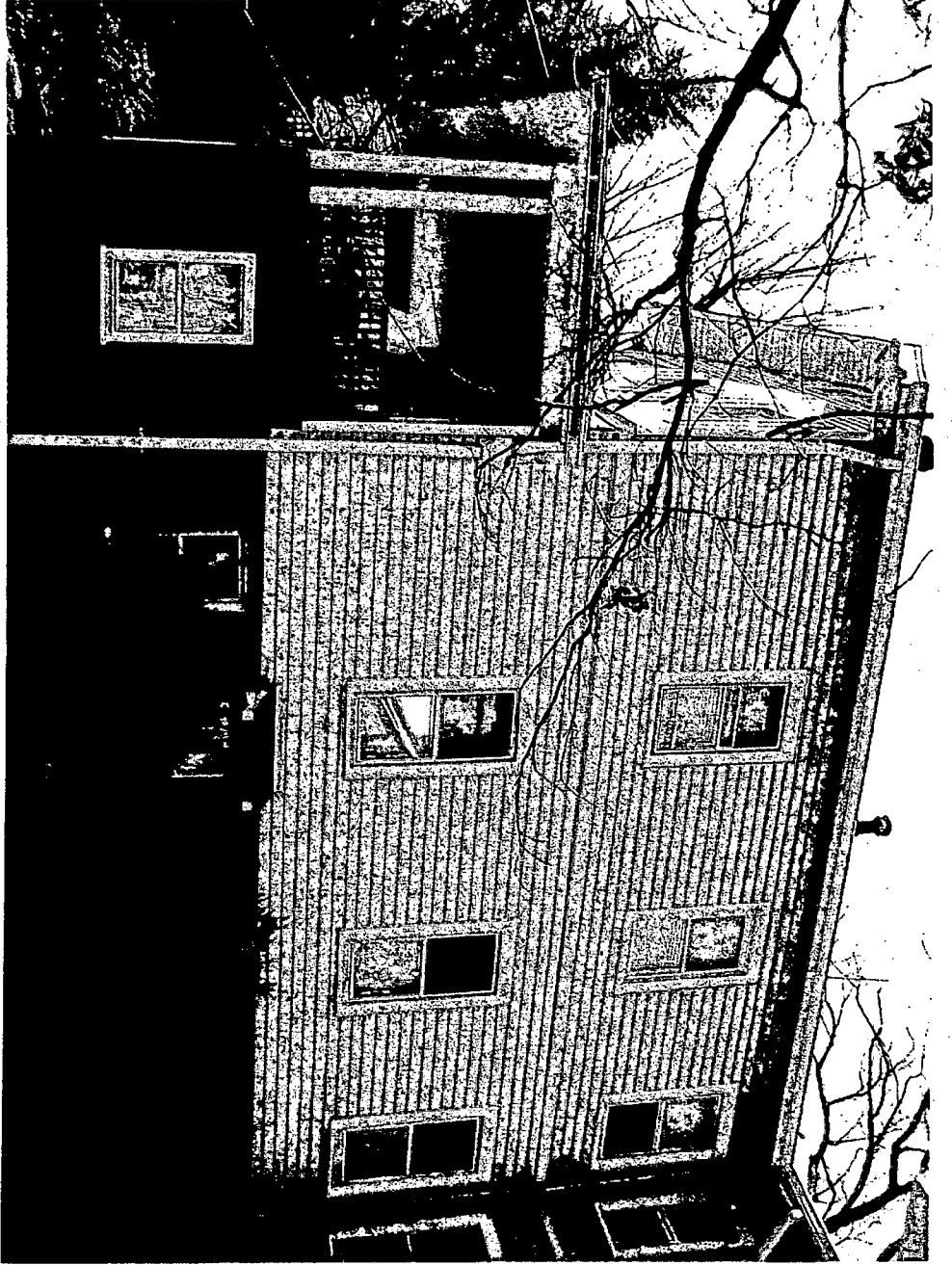
20

left side view

Left side view



RIGHT SIDE VISU



22

City of Takoma Park



**Housing & Community
Development**

Telephone: (301) 891-7119
Fax: (301) 270-4568

7501 Maple Avenue
Takoma Park, MD 20912

March 12, 2008

Department of Permitting Services
255 Rockville Pike, 2nd Floor
Rockville, Maryland 20850-4166

Property Owner Name: Steven West and Lisa Hone

Fax 301- 270-1441

Location of Requested Building Permit: 36 Columbia Avenue

Proposed Scope of Work: Reframe rear and side walls, replace two piers, interior remodeling, and replace windows.

Dear Department of Permitting Services:

The above property owner has notified the City of Takoma Park that they are planning to apply for permits for the above summarized construction project. They have been informed that the City of Takoma Park has regulations and permit requirements that may apply to their project and if they do not comply they may be cited or fined.

Yours sincerely,

Ilona Blanchard
Senior Planner

FRONT VIEW

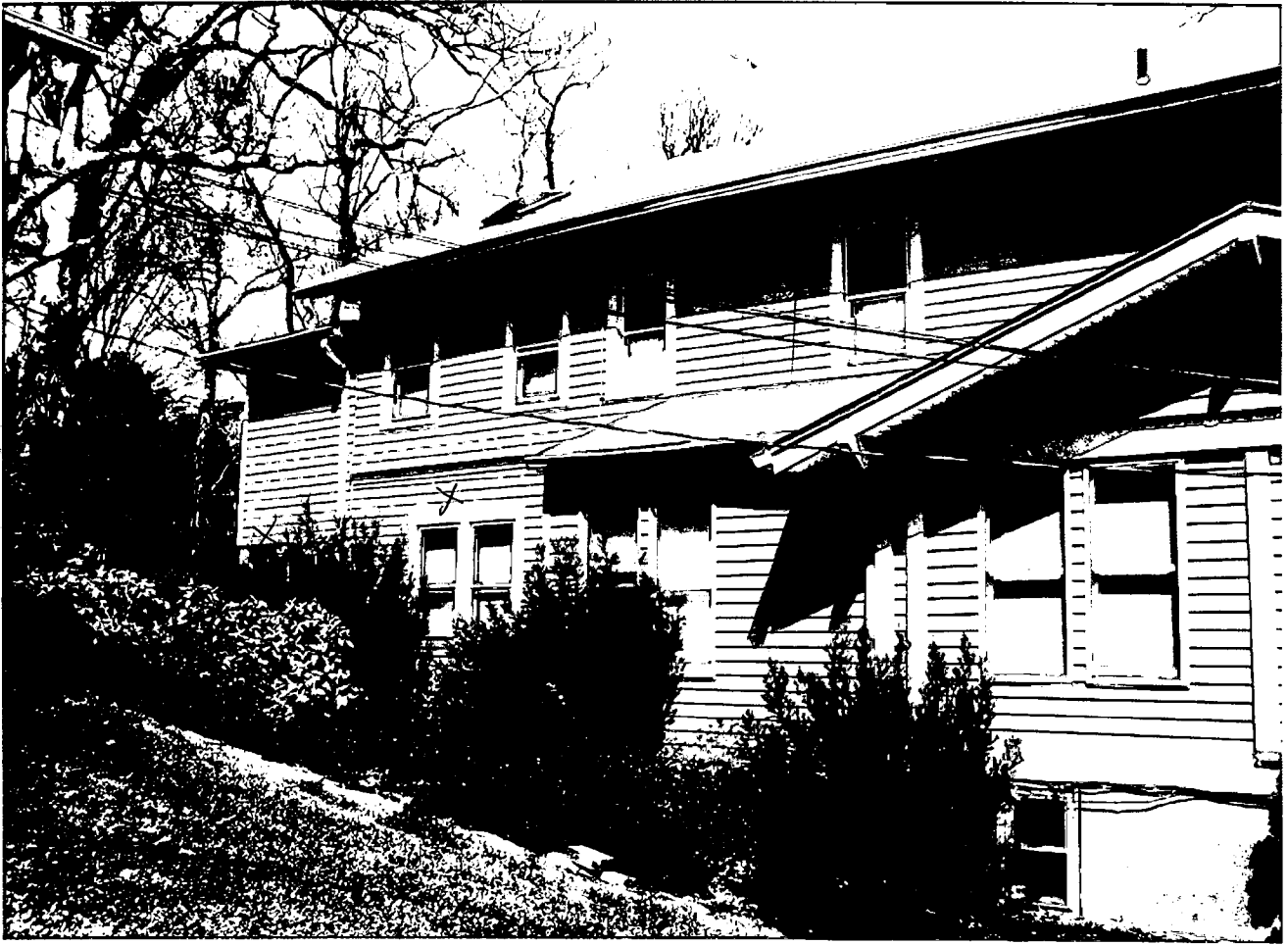


FRONT VIEW:

36 Columbia Ave.

Takoma Park, MD.

Left side view



Left Side View:
36 Columbia Avenue
Takoma Park, MD

1970 2012 1/11/12

RS

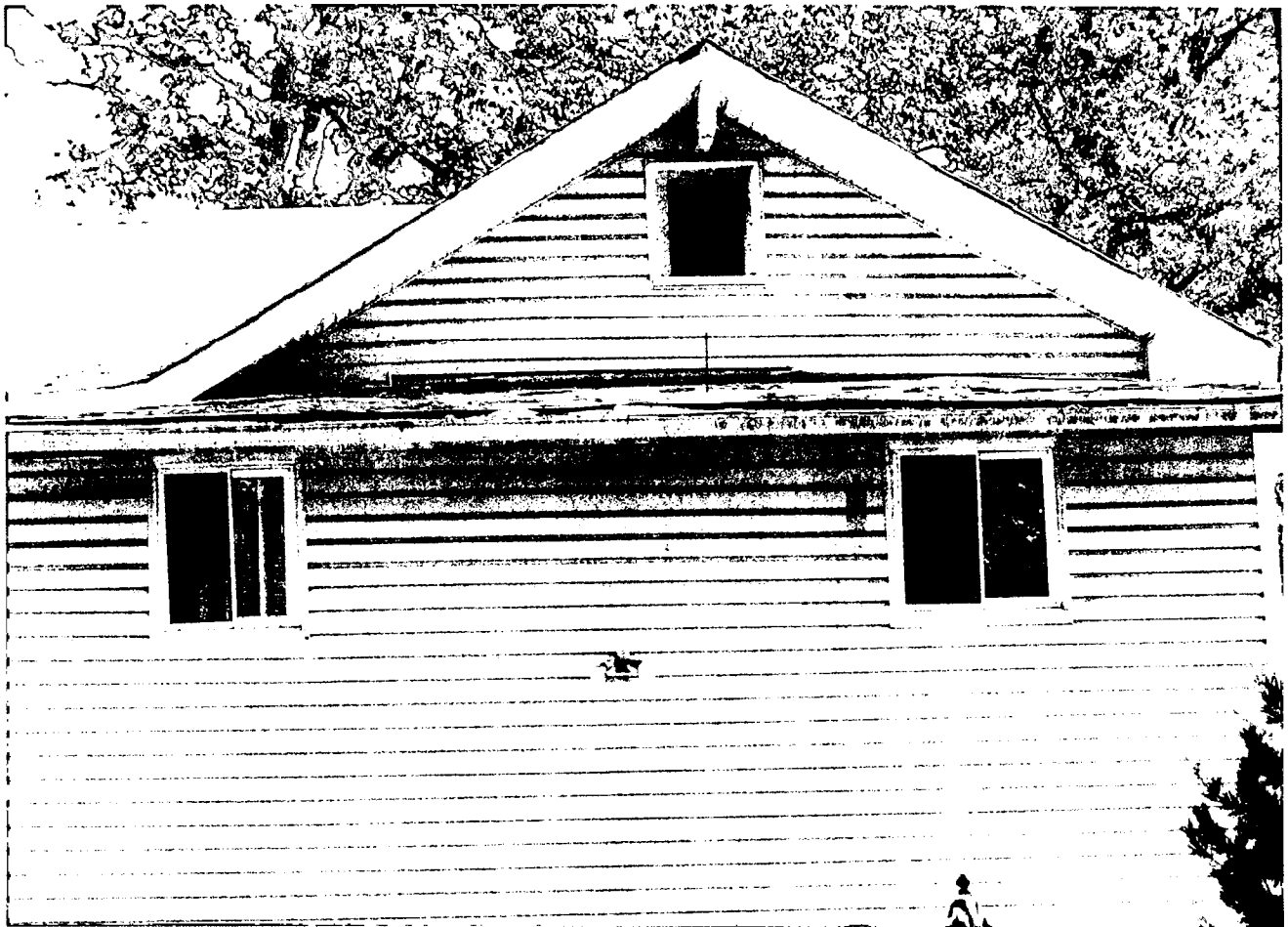


Left side views

Left Side:
View

36 Columbia Ave.
Takoma Park, MD.

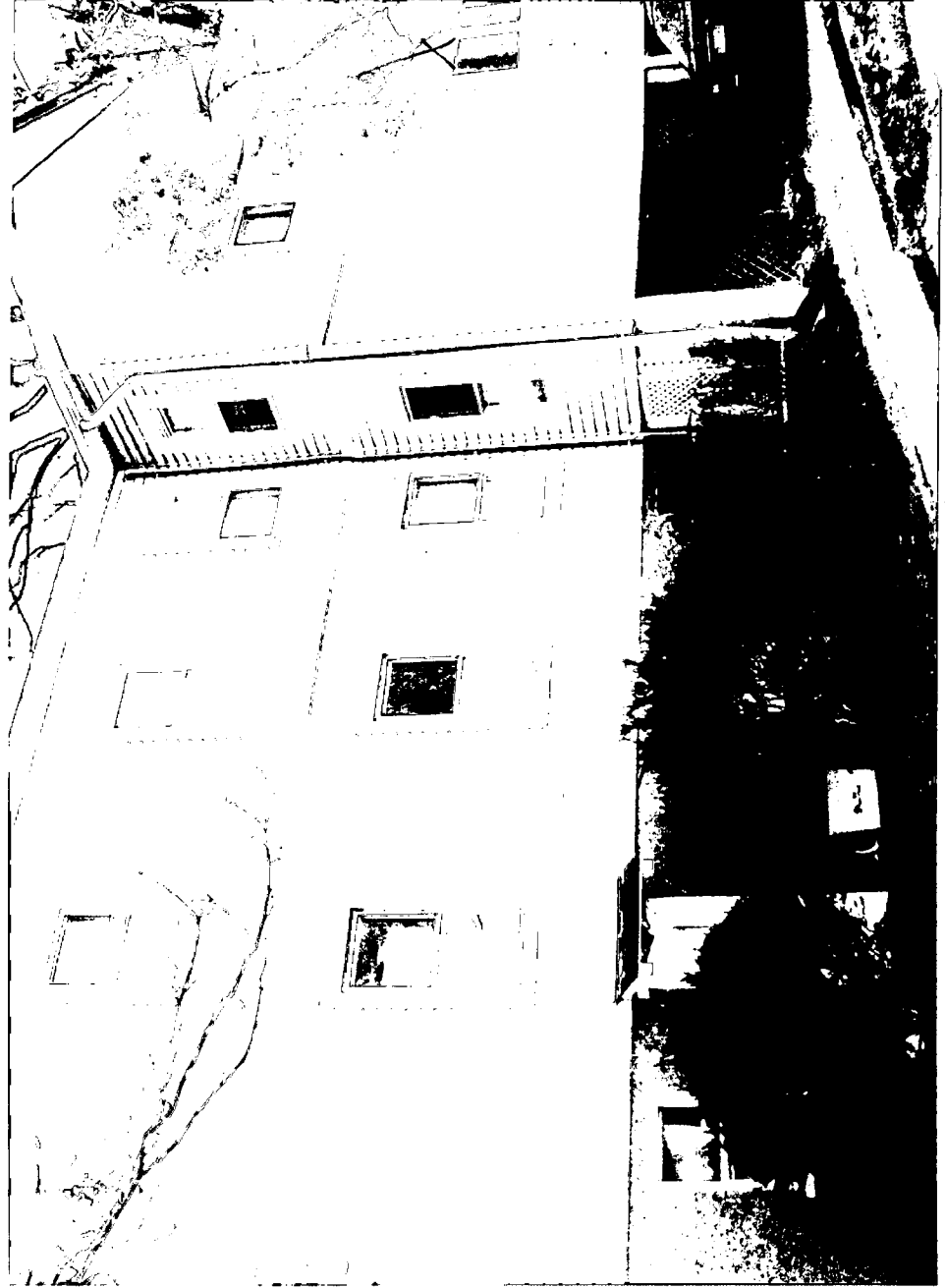
11-11-68



REAR VIEW

REAR VIEW:

36 Columbia Ave.
Takoma Park, MD.



RIGHT SIDE VIEW

Right Side View;
36 Columbia Avenue
Tikona Park, MD.

WAFV 5010 7/15/51