

1 Columbia Avenue, Takoma Park
(HPC Case No # 37/03-08X)
Takoma Park Historic District

 **Pendaflex**
 **Esselte**

4350 1/3 RED

10%



P4

E-mail: maralinestrager@hotmail.com

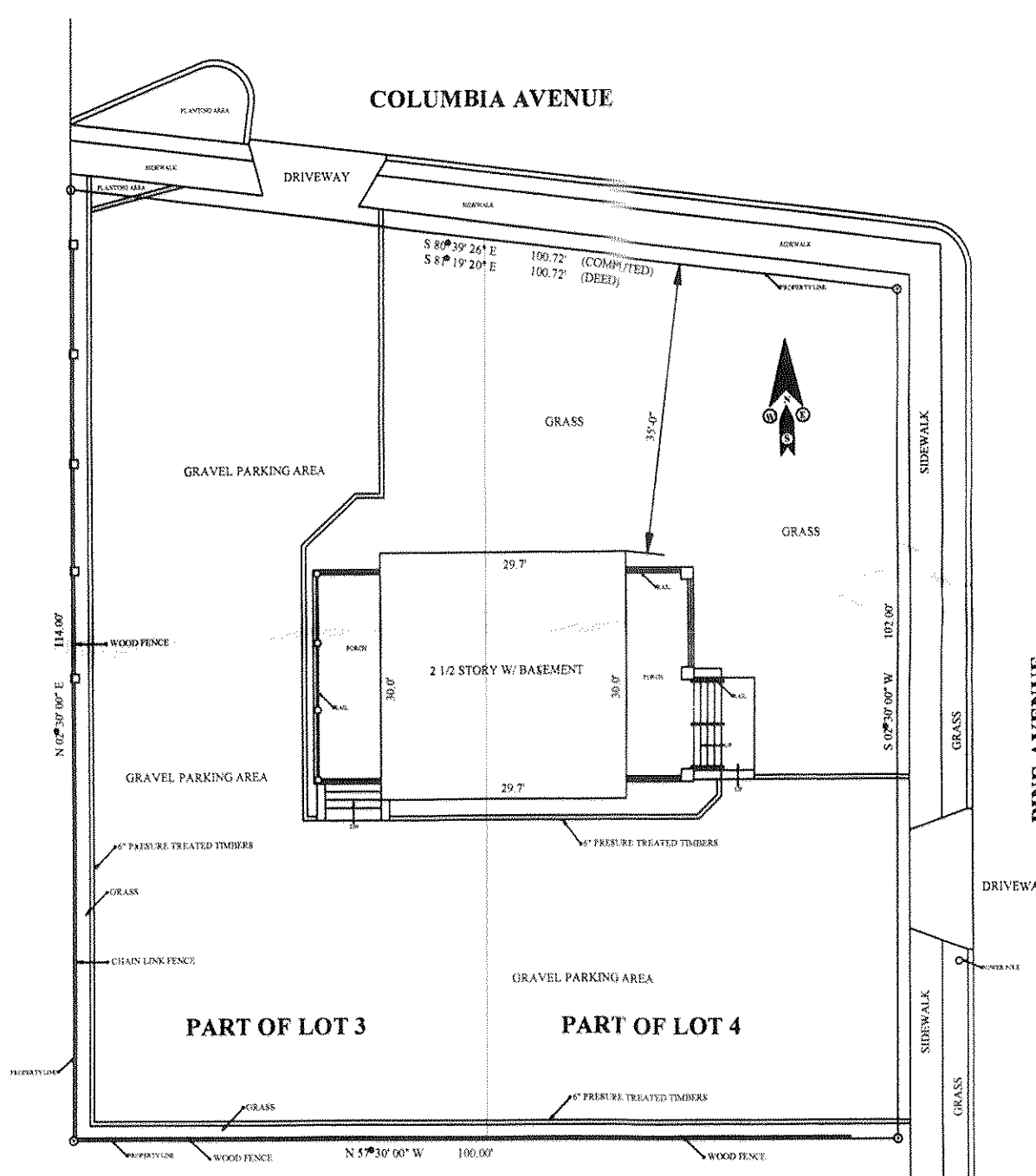
H: 301.229.2010

C: 301.613.6133

RETAIL-OFFICE STRUCTURE

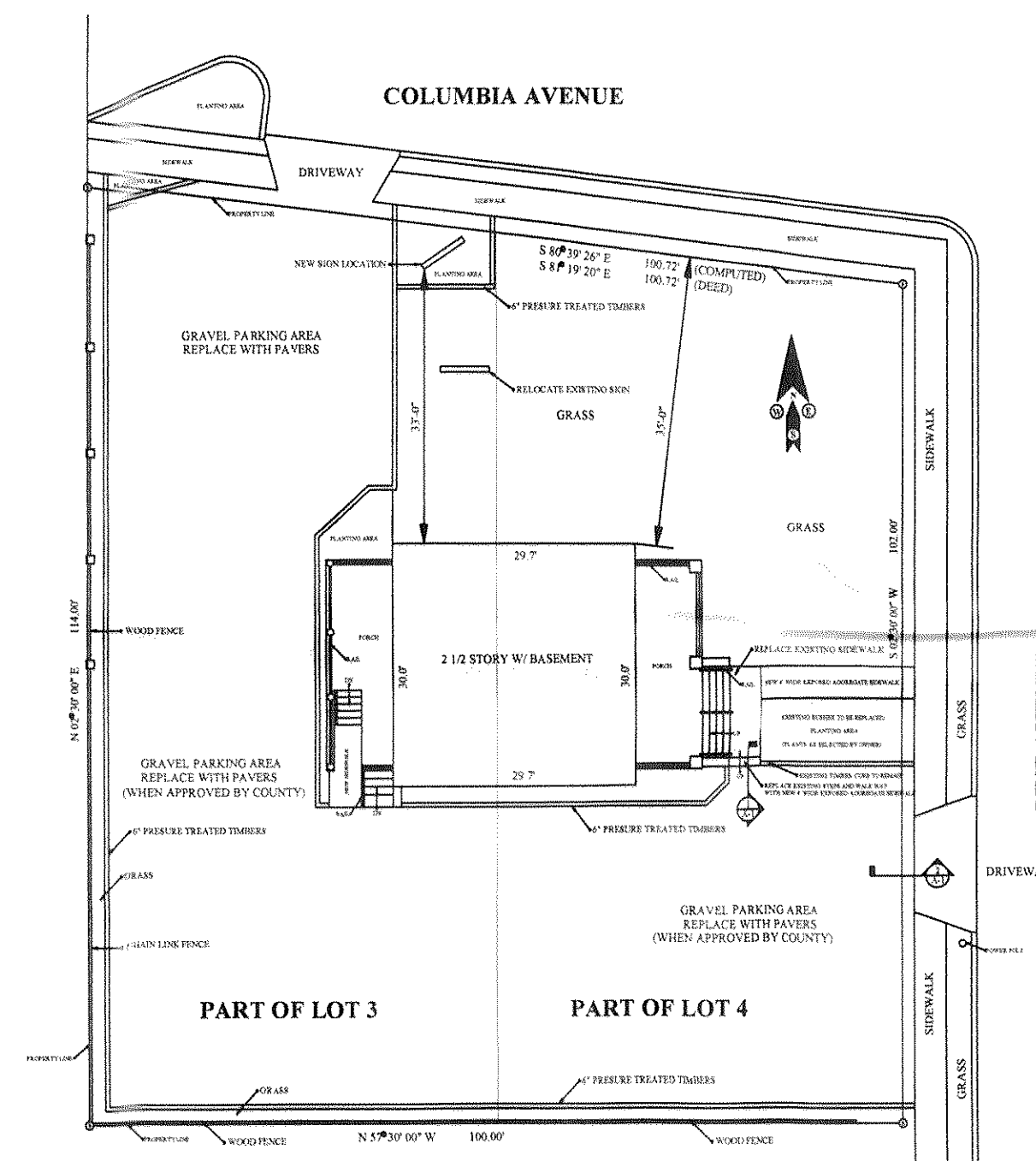
1 COLUMBIA AVENUE
TACOMA PARK, MD 20912

COVER PAGE



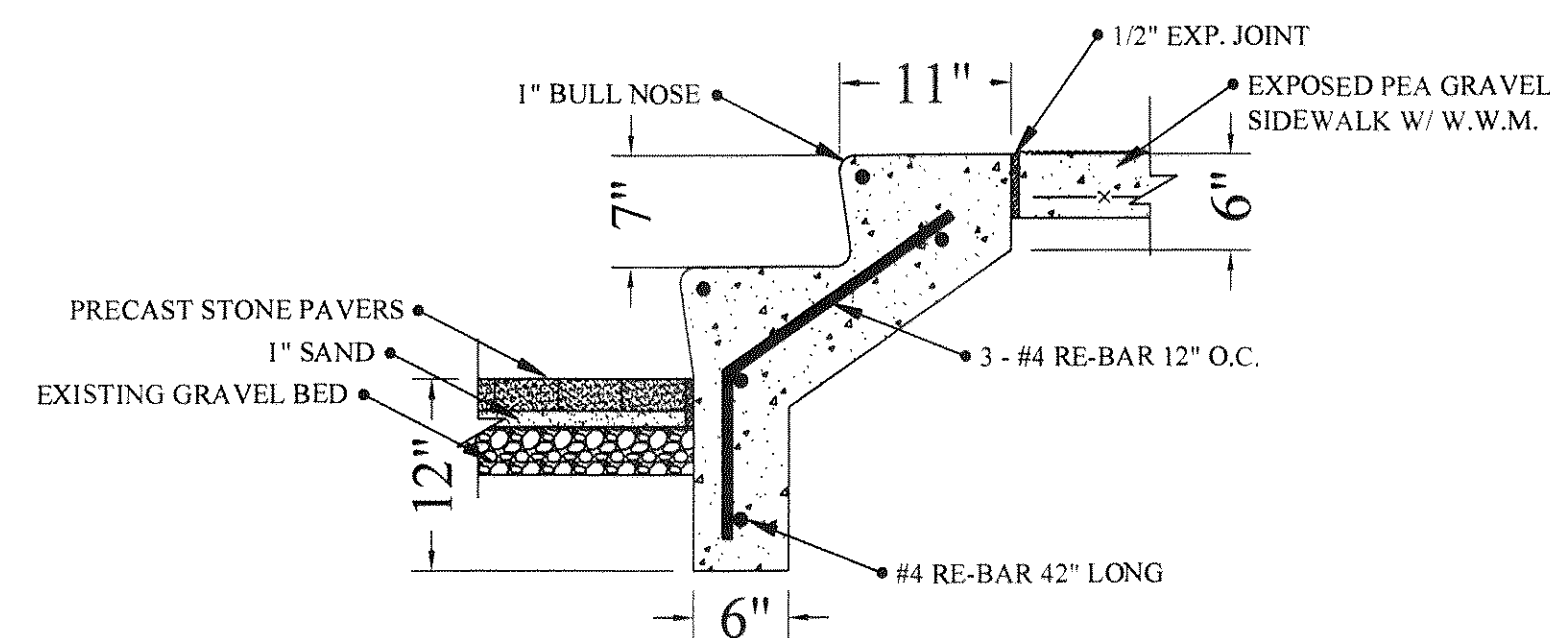
EXISTING SITE PLAN

SCALE: 1"=20'-0"



PROPOSED SITE PLAN

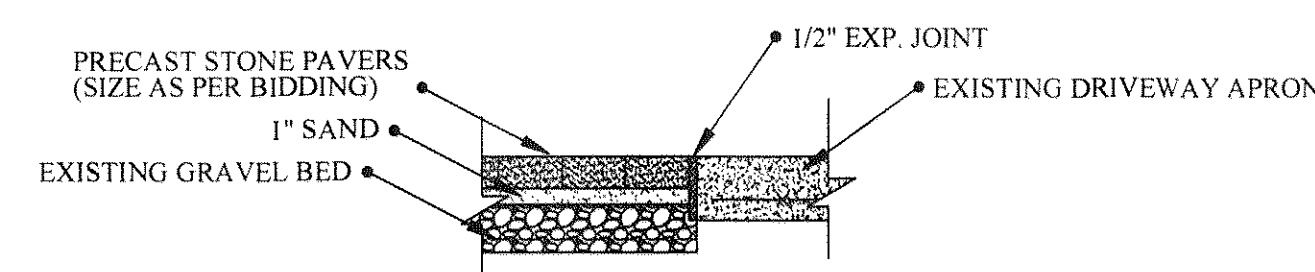
SCALE: 1"=20'



STEP DETAIL NO:1

SCALE: 1"=1"

NOTE: PRECAST STONE PAVERS OPTIONAL PER PERMIT APPROVAL. IF NOT APPROVED ELEVATE GRAVEL BED ELEVATION FOR STEPS.



DRAIVE WAY DETAIL NO:2

SCALE: 1"=1"

NOTE: PRECAST STONE PAVERS OPTIONAL PER PERMIT APPROVAL. IF NOT APPROVED ELEVATE GRAVEL BED ELEVATION FOR STEPS.

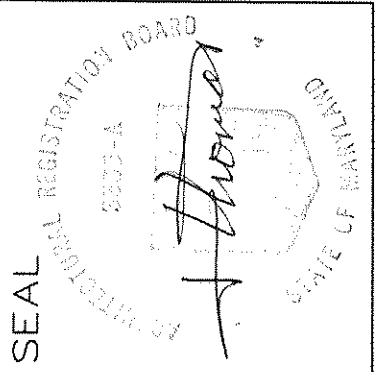
GENERAL NOTES:

- Codes, ordinances and regulations of the local building authorities, shall be considered as minimum requirements and shall take precedence over contract documents which inadvertently may be prepared at variance with such codes, ordinances and regulations. Requirements of contract documents, which exceed codes, ordinances, and regulations, shall take precedence there over. Structure shall be built in accordance with International Building Code 2006.
- All labor shall be especially skilled for each kind of work, thorough and first class in all respects, and under the direction of a competent foreman. All trash shall be placed in a dumpster or removed from the job site at the end of the day and all work areas broom swept. All construction and non-construction areas shall be protected from the rain and finished areas will be protected from the construction dust.
- Materials, except where specified or specifically stated otherwise, shall be new and the best of their class or kind.
- The dimensions shown on the construction drawings are based on field measurements of finished spaces where framing could not be seen and / or by plans provided by the building owner and may vary depending on where the measurements are taken. Builder must field check all dimensions prior to placing orders or doing his work.
- All stud walls and bracing to be as shown on the plans. Where not identified, the studs shall be 2x4 and spaced at 16" on center with two top 2x4 wood plates and one bottom 2x4 wood plate. All headers will be 2x10 with one 1/2" cut to fit plywood nailed in between unless shown otherwise. Each header will be supported by double stud at each end or as shown on the plans. All exterior walls to have a minimum 1/2" exterior sheathing, 2 layers of 15 lb building paper with r-19 insulation before placement of siding, trim, or masonry veneer.
- All exterior projections shall receive cap flashing or through wall flashing if no details are or as shown on the drawings. If any details are used in the construction that vary from that shown on the drawings, the architect shall be informed. (Architect: 301-593-1980) All details shown on the plans show the minimum flashing required and none may be omitted. All framing to receive hurricane anchors as required by code and shall receive metal supports and anchors as shown on the drawings.
- All sheetrock to be 1/2" minimum thickness and screwed to the wood studs with 1 1/4" drywall screws at not less than 12" spacing.
- All electrical shall be as local code requires, with placement of electrical outlets and switches as directed by the owner.
- All plumbing and mechanical shall be as local code requires, with placement as per plans or as per the owner's direction.
- All joist, beams, and trusses shall be certified by the manufacturer to meet all structural requirements of the building code.
- All interior and exteriors shall receive finishes as directed by the owner. Owner shall select all interior cabinets, appliances, light fixtures, plumbing fixtures, and finishes.
- Comply with all required inspection requirements of the local building authorities.
- Any questions as to the interpretation of these documents or questions that may arise in the field shall be answered by the architect, Mr. John Thomas at (301) 593-1980 at his office.

14. Loads: First Floor: Live Load 40
Dead Load 10
Total 50
Footer design: 2,000psf
Wind design: 90mph
- Second Floor: Live Load 30
Dead Load 10
Total 40
- Roof: Live Load 30
Dead Load 10
Total 40

SCOPE OF WORK:

- General:
 - Obtain all required permits and approvals before starting construction.
 - Grade parking area to receive stone pavers and place same. *THE PROPOSED PARKING AREA MODIFICATION IS NOT APPROVED. SEE ATTACHED HPC MEMO [JTS 7/1/2008]*
 - Place new sidewalks as per plans.
 - Place rear stairs as shown on plans.
 - Replace existing sign with ne sign as shown on plans.
 - Complete all interior finishes and remove all trash and building materials from site.
 - Obtain all final inspections along with occupancy permits.

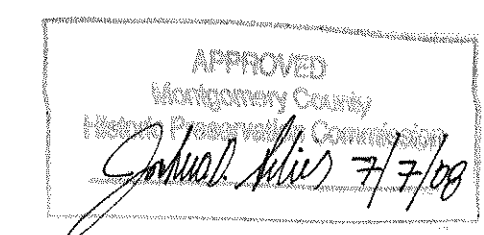


Architect: John F. Thomas
Architectural Development Company
10828 Childs Street
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MARYLAND, 20901
PHONE (301) 593-1980
aptdco@tdco.com
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PROJECT NAME
Ms. Marlene Trager
1 Columbia Ave.
Takoma Park, MD 20912

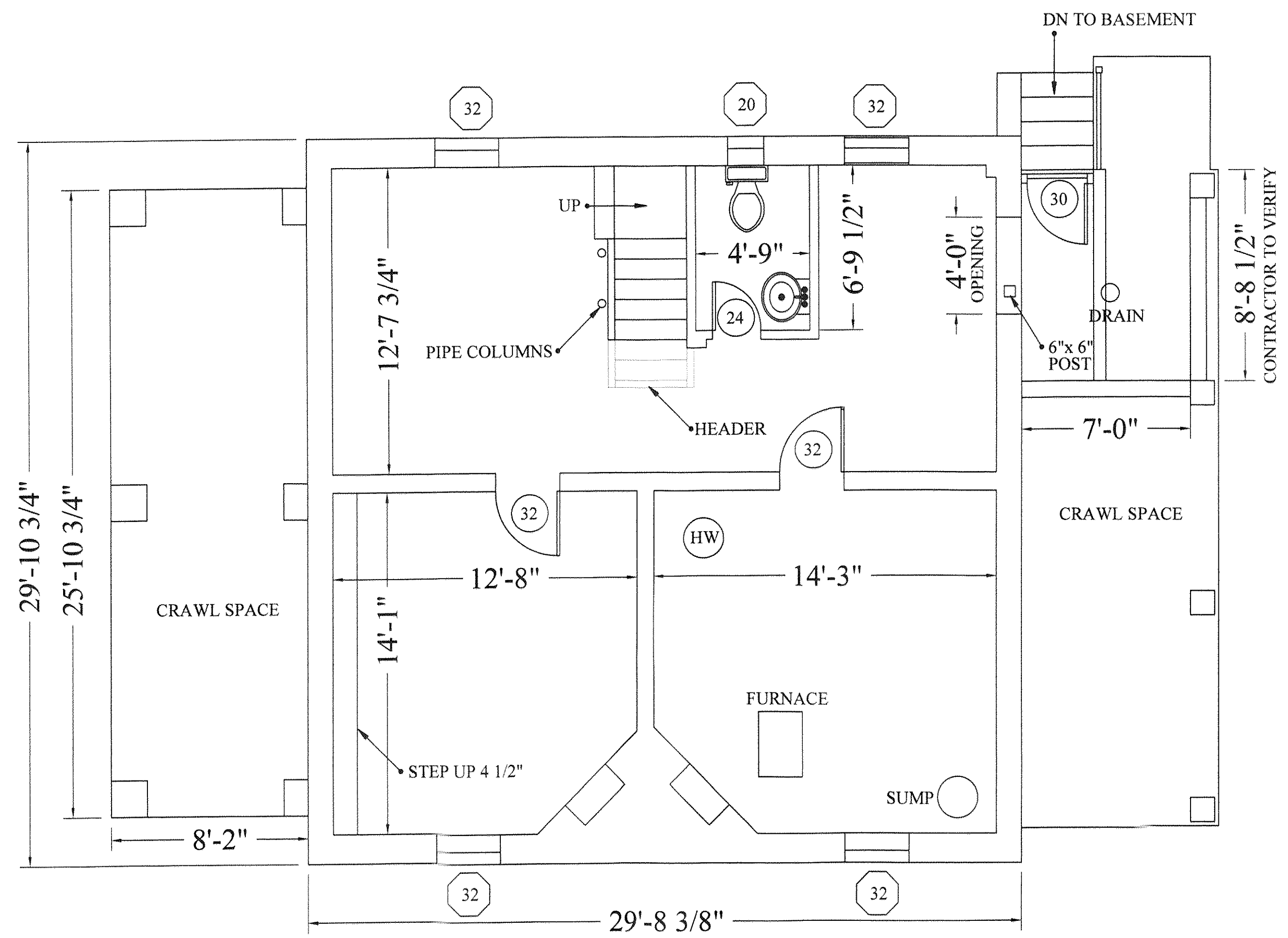
DRAWING TITLE
COVER PAGE
Commercial Building

REVISIONS	PROJECT NO.	DATE	DRAWN BY	CHECKED BY	SCALE
	689-08	06-25-08	JFT	JFT	AS NOTED



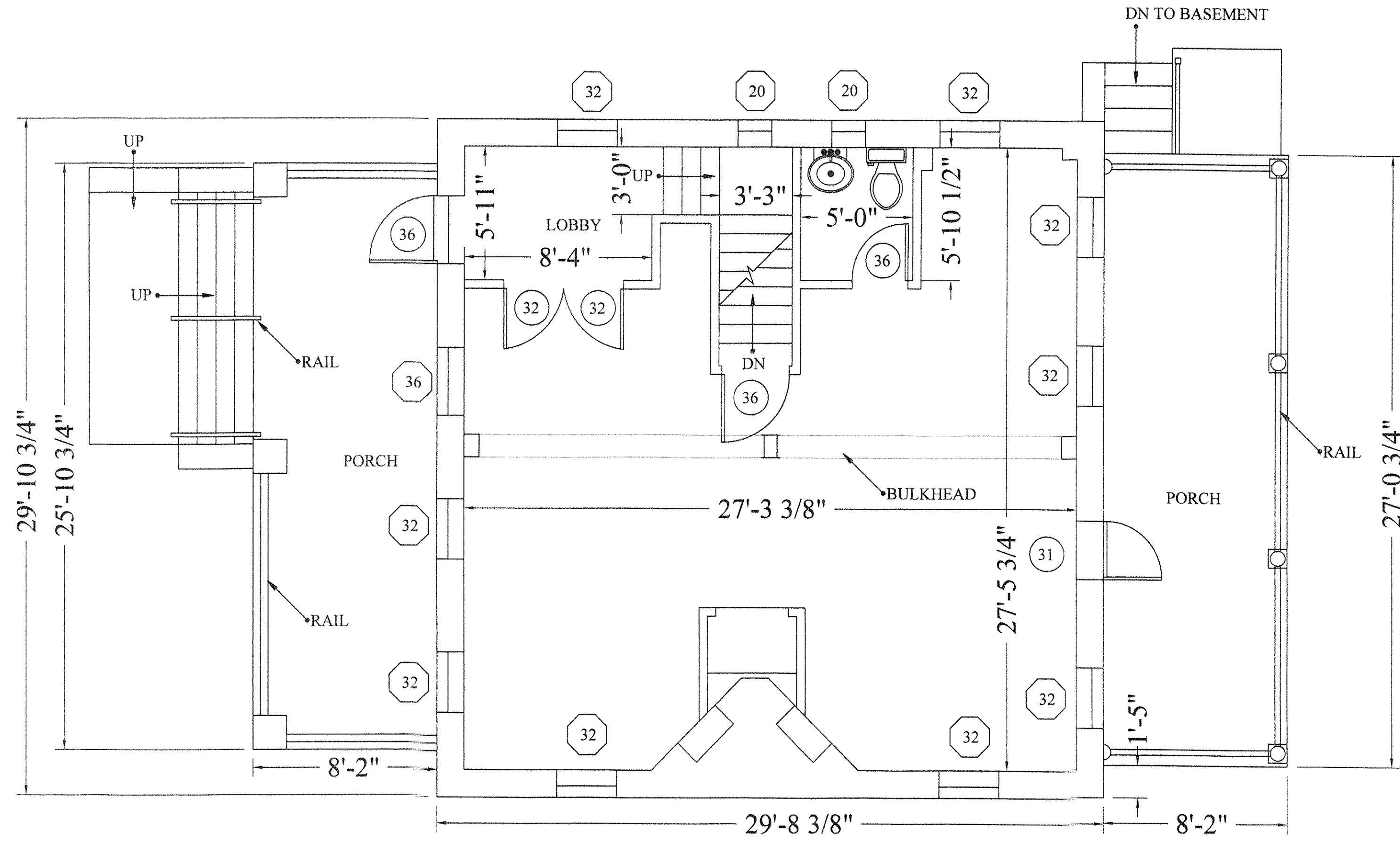
This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

SHEET NO.
A-1



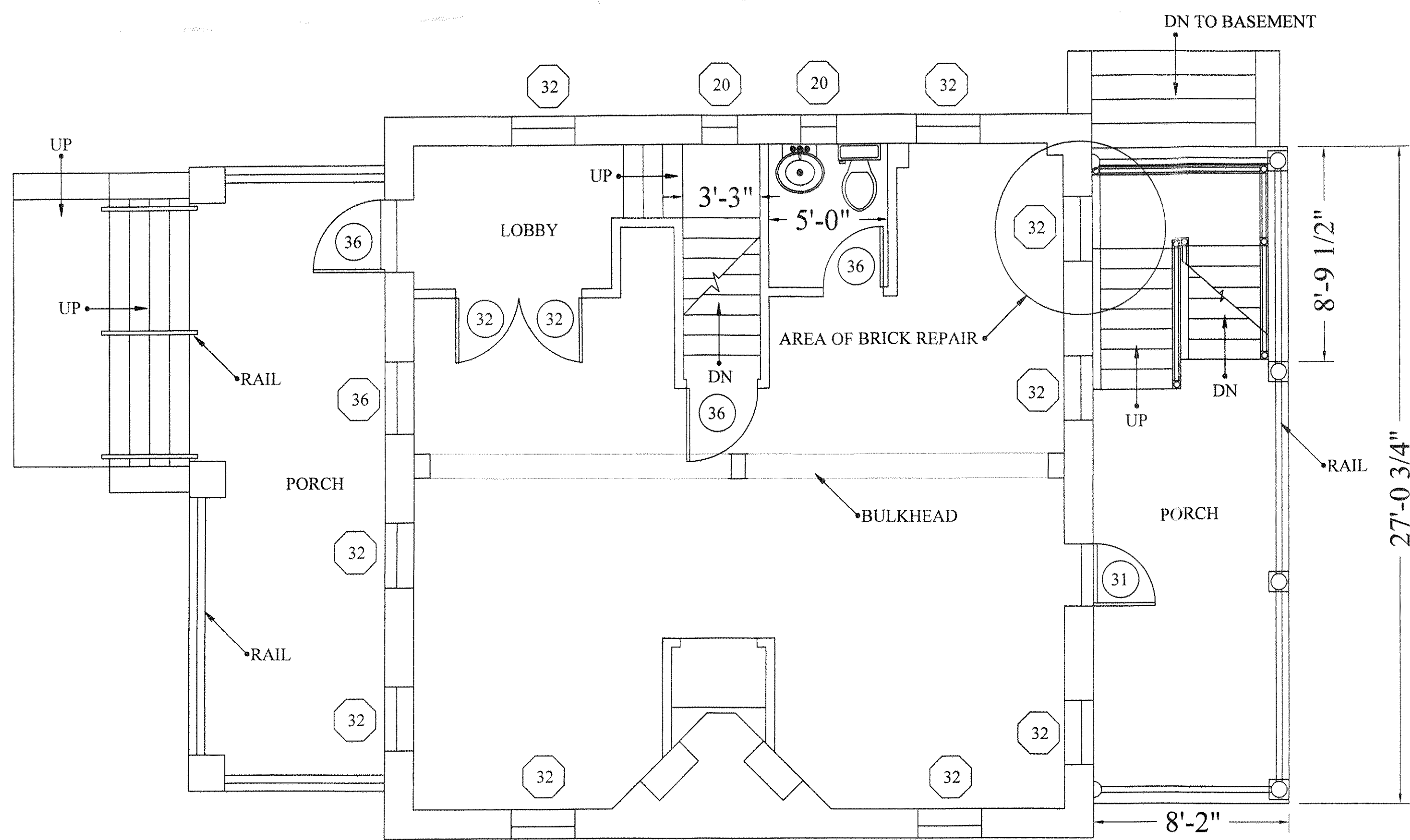
BASEMENT FLOOR PLAN

NOTE: BASEMENT CEILING HEIGHT VARIES FROM 6'-4" TO 7'-0"
SCALE: 1/4" = 1'-0"



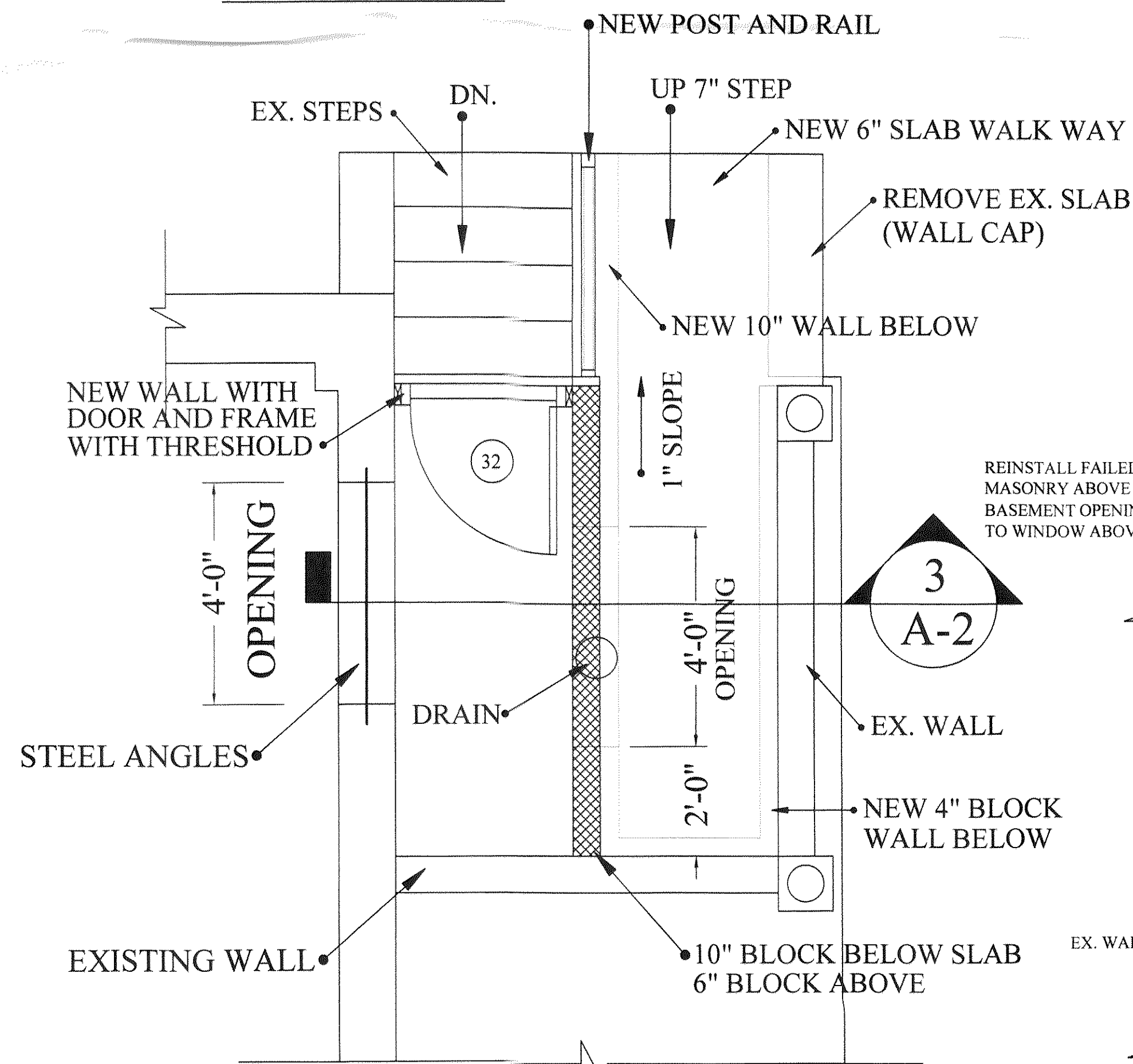
EX. FIRST FLOOR PLAN

NOTE: FIRST FLOOR CEILING HEIGHT IS 9'-9"
SCALE: 1/4" = 1'-0"



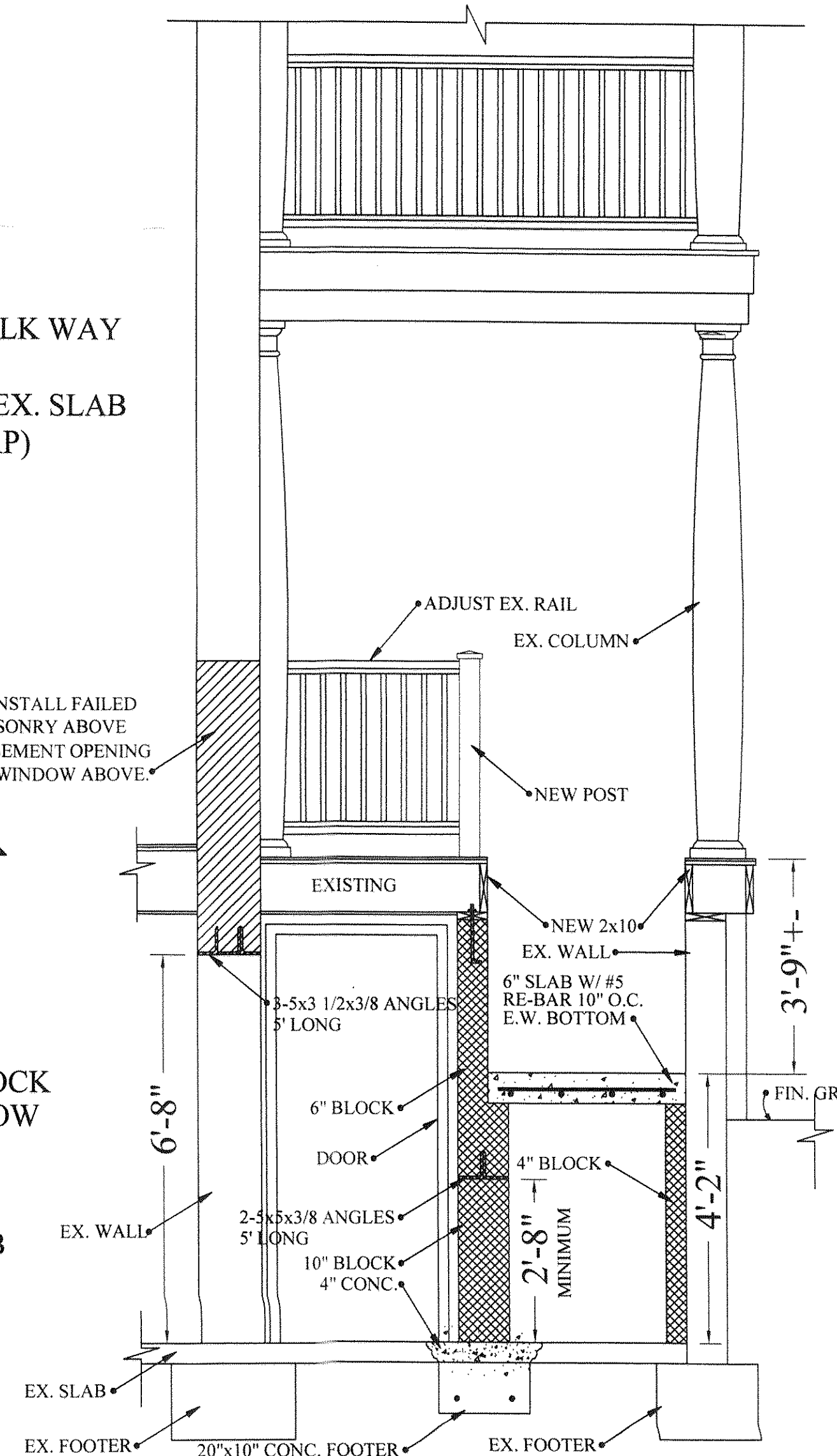
EXISTING FIRST FLOOR PLAN WITH PROPOSED STAIR

NOTE: SECOND FLOOR PLAN REMAINS UNCHANGED EXCEPT FOR EXIT STAIRS ADDED TO REAR PORCH.
SCALE: 1/4" = 1'-0"



PROPOSED BASEMENT ENTRANCE PLAN

SCALE: 1/2" = 1'-0"



FOUNDATION SECTION NO: 3

SCALE: 1/2" = 1'-0"

SEAL
REGISTERED PROFESSIONAL ENGINEER
STATE OF MARYLAND
No. 20033-A
American Room Additions

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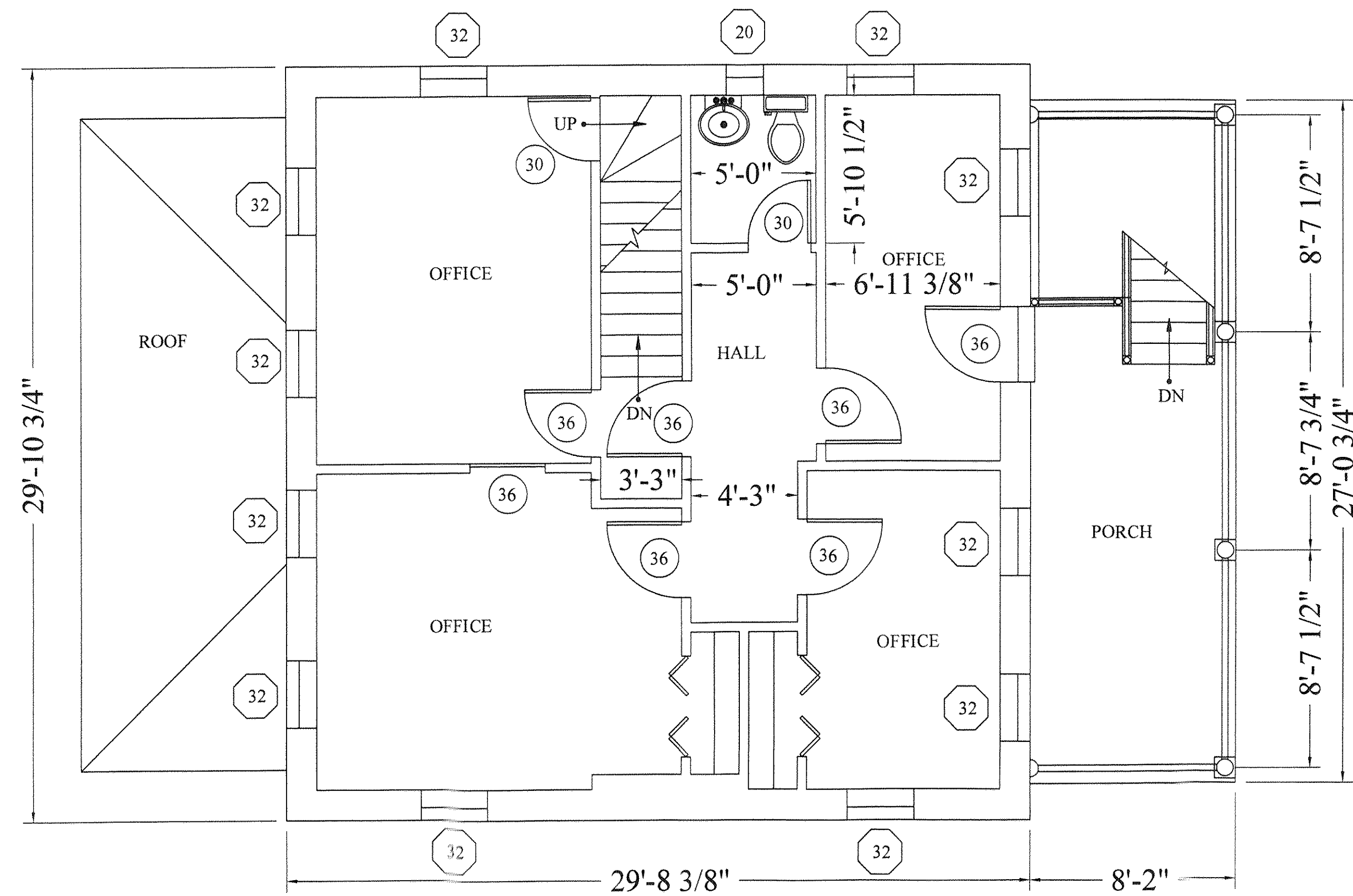
PROJECT NAME
Ms. Maraline Trager
1 Columbia Ave.
Takoma Park, MD 20912

DRAWING TITLE
FLOOR PLANS
Commercial Building

PROJECT NO.	DATE	DRAWN BY	CHECKED BY	SCALE
689-08	06-25-08	JFT	JFT	AS NOTED

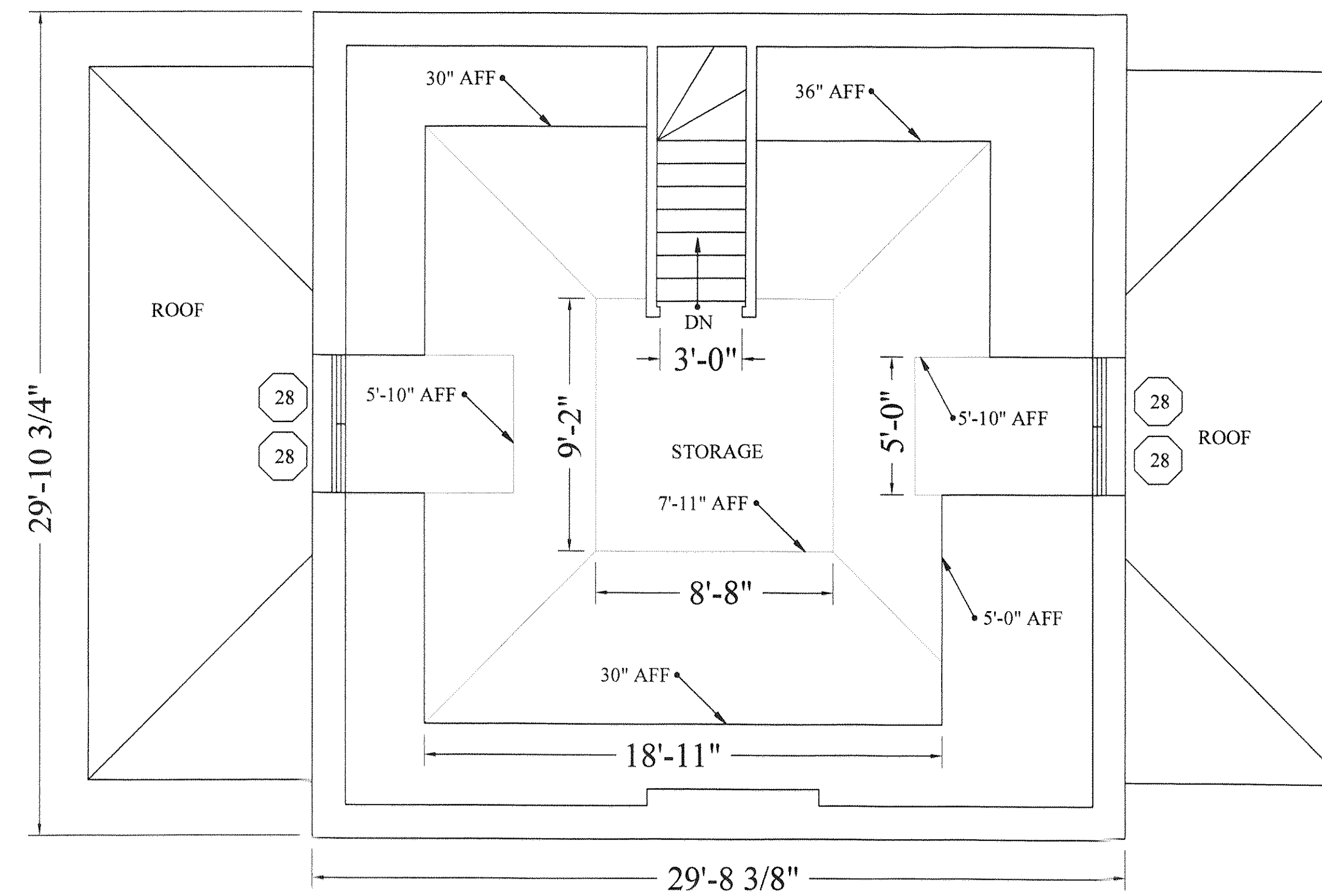
SHEET NO.
A-2

APPROVED
Montgomery County
Historic Preservation Commission
John W. Miller 7/7/08



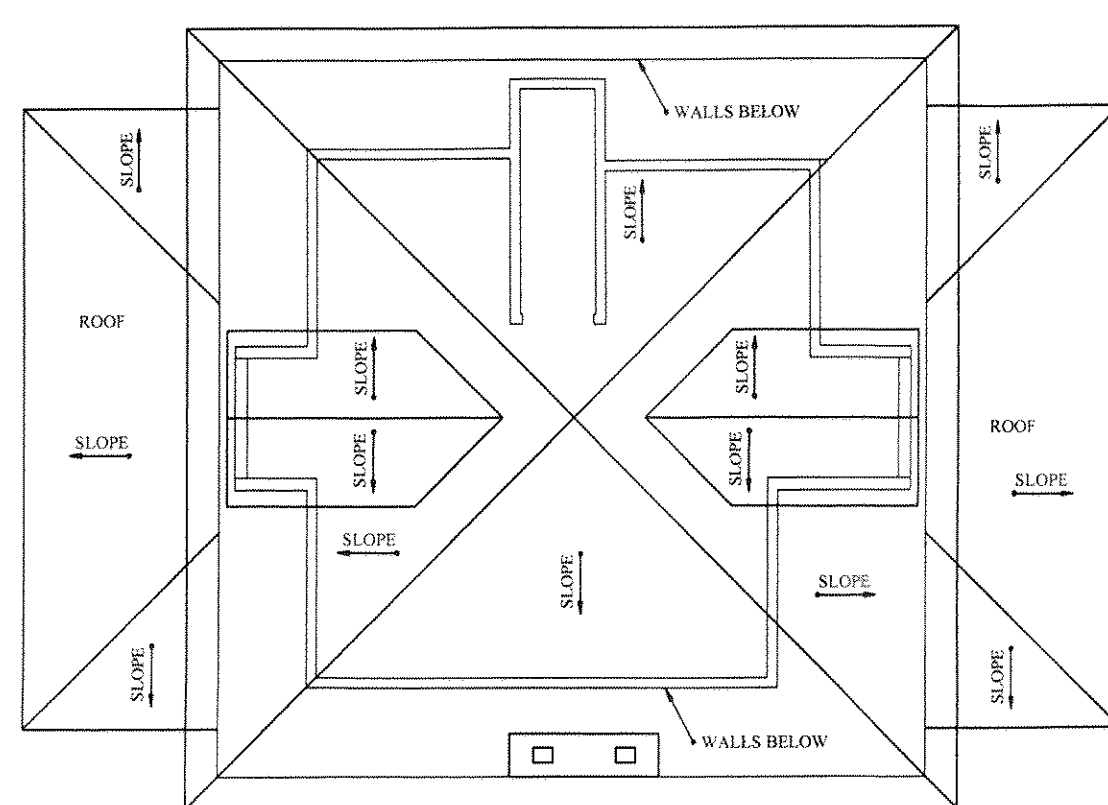
EXISTING SECOND FLOOR PLAN WITH PROPOSED STAIR

NOTE: SECOND FLOOR PLAN REMAINS UNCHANGED EXCEPT FOR EXIT STAIRS ADDED TO REAR PORCH.
SCALE: 1/4" = 1'-0"



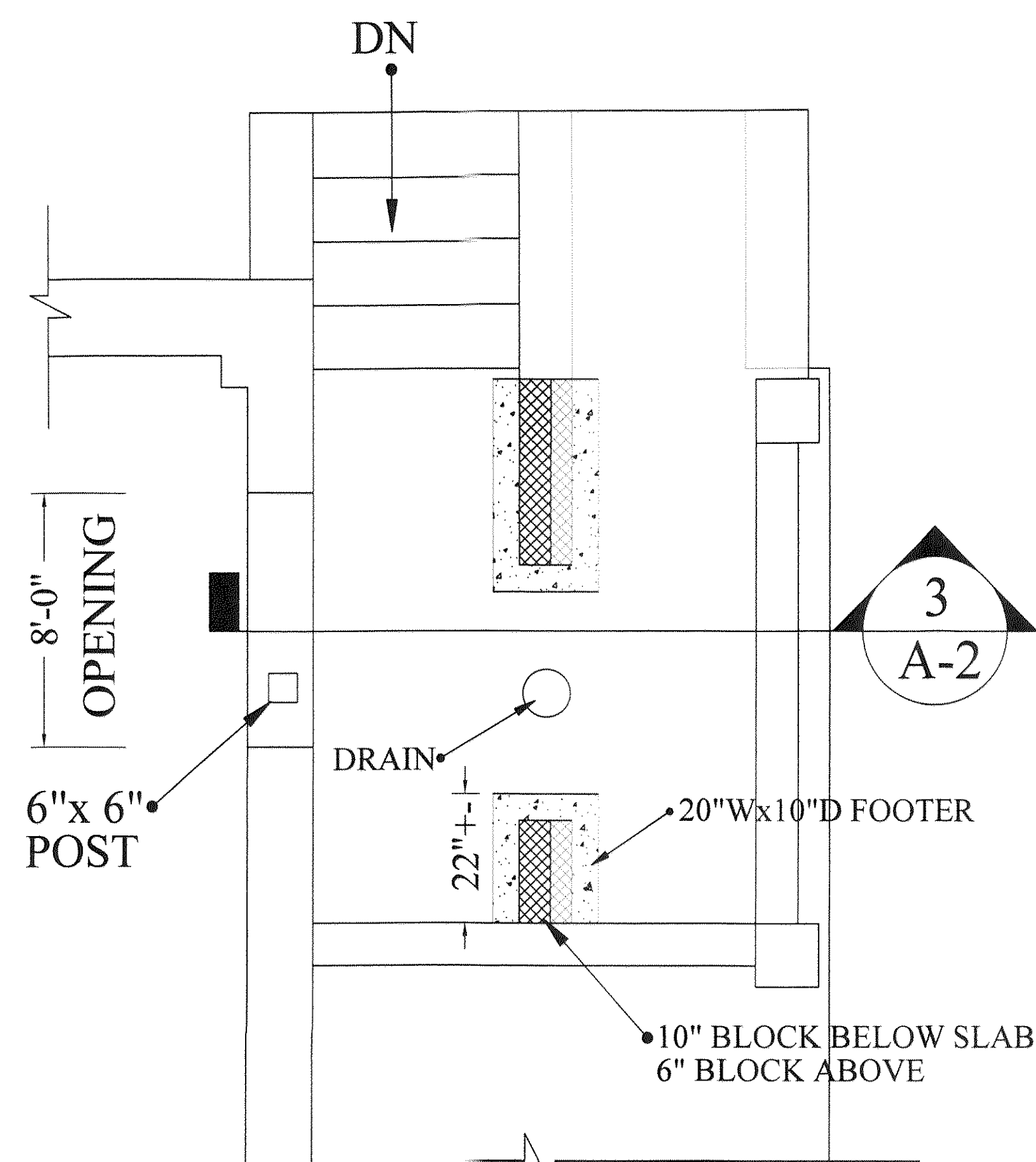
EXISTING ATTIC PLAN

NOTE: BASEMENT FLOOR CEILING HEIGHT VARIES FROM 6'-4" TO 6'-10"
SCALE: 1/4" = 1'-0"



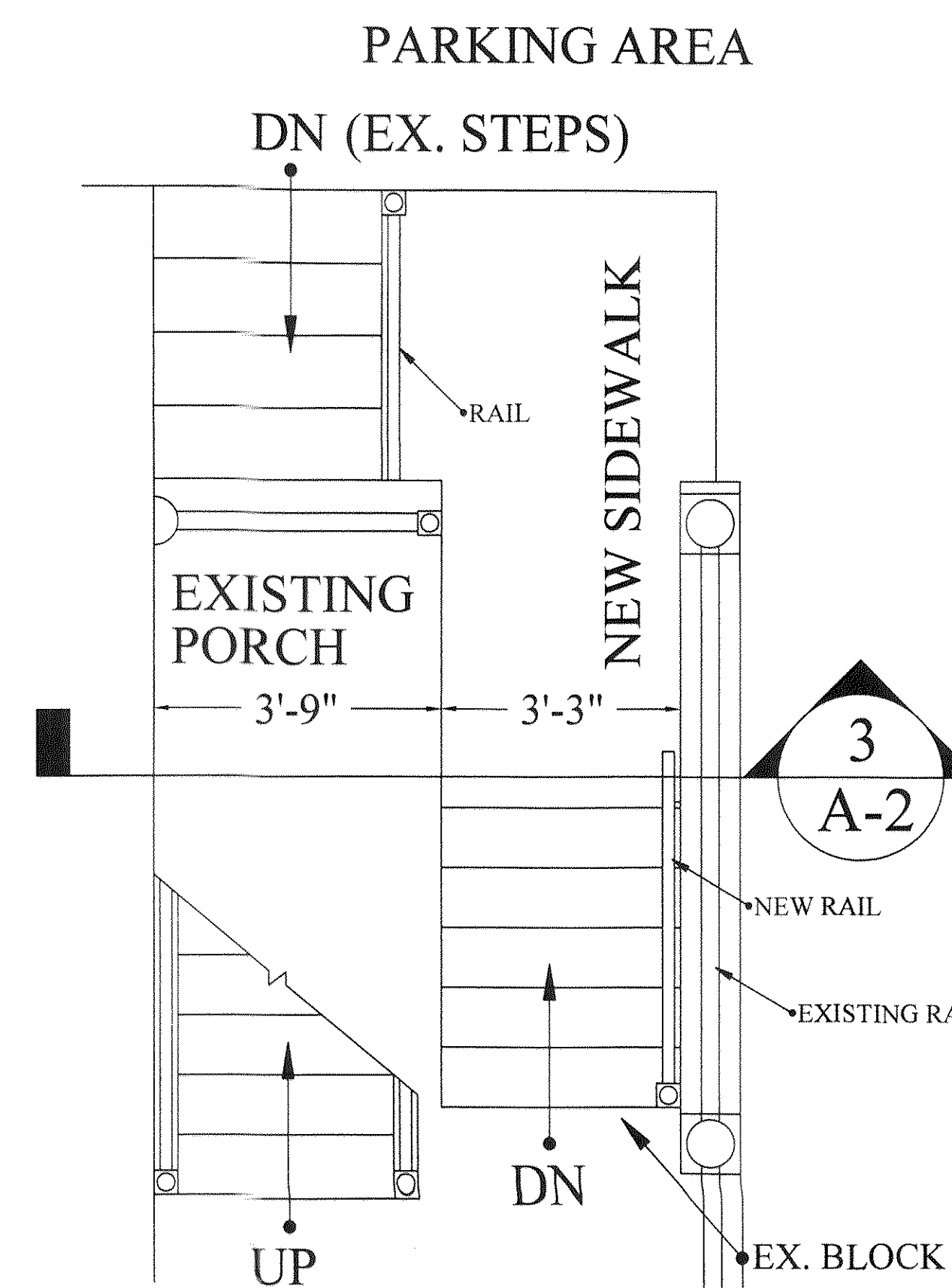
EX. ROOF PLAN

SCALE: 1/8" = 1'-0"



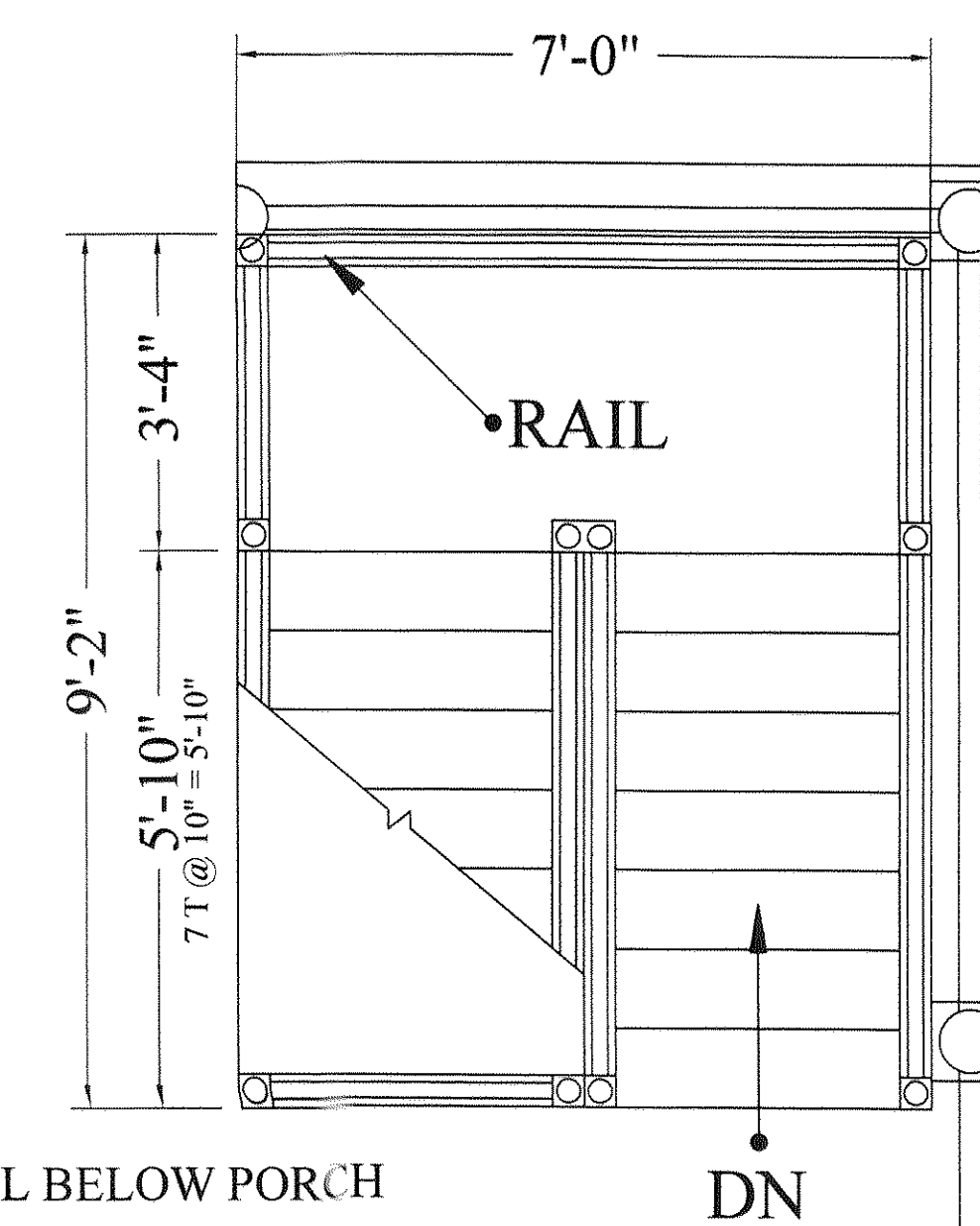
STAIR FOUNDATION PLAN

SCALE: 1/2" = 1'-0"



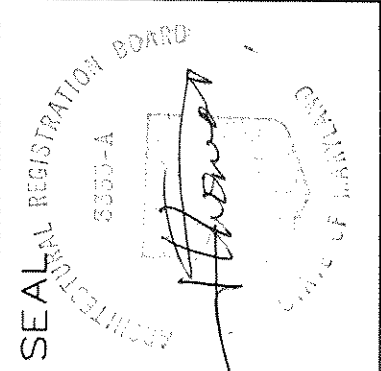
STAIR PLAN AT 1st FLOOR

SCALE: 1/2" = 1'-0"



STAIR PLAN AT 2nd FLOOR

SCALE: 1/2" = 1'-0"



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DRAWING TITLE
ROOF PLAN
 Commercial Building

PROJECT NO.	DATE	DRAWN BY	CHECKED BY	SCALE
689-08	06-25-08	JFT	JFT	AS NOTED

SHEET NO.
A-3

APPROVED
 Montgomery County
 Historic Preservation Commission
Samuel R. King 7/7/08



EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"



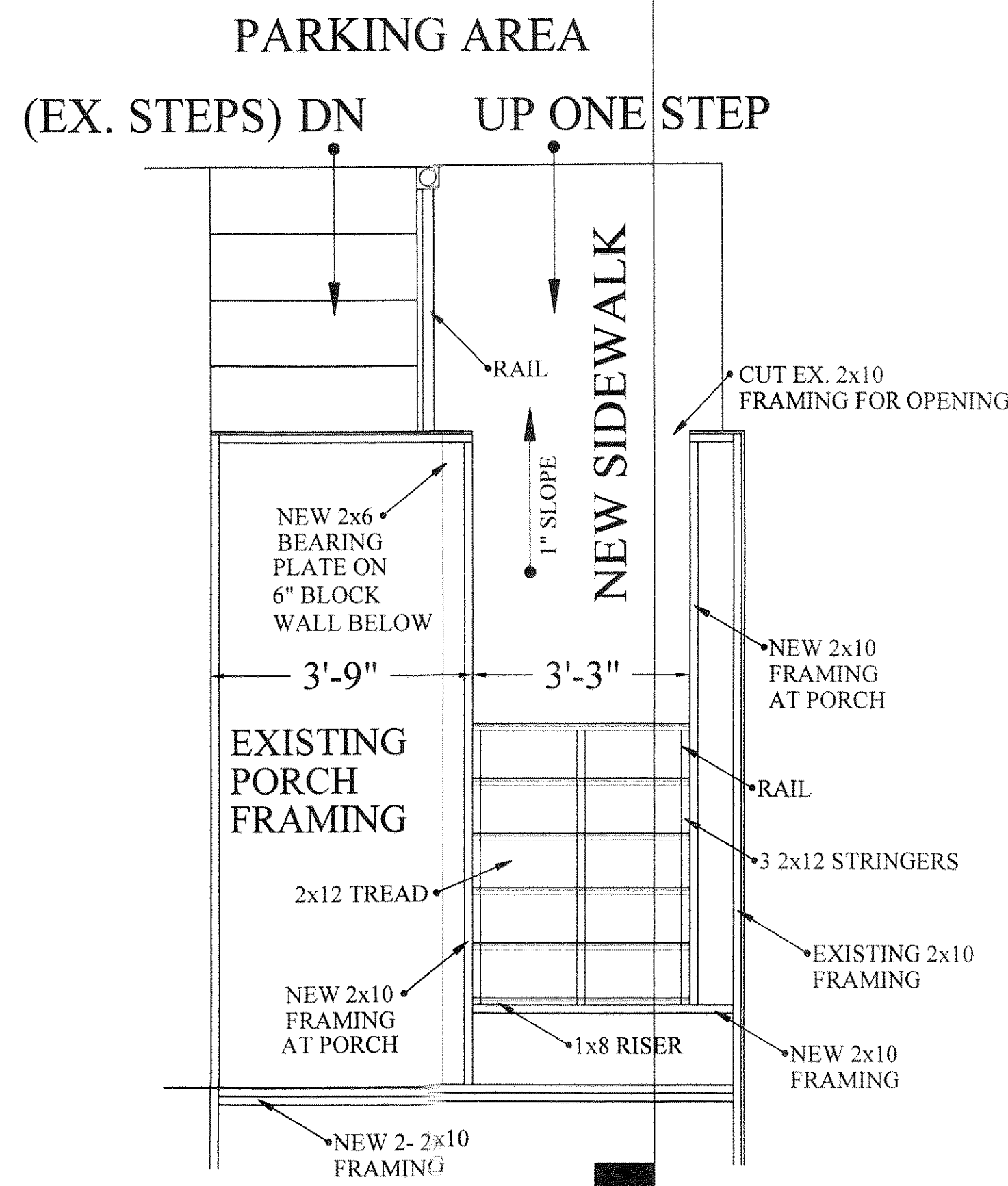
EXISTING RIGHT SIDE ELEVATION WITH PROPOSED STAIR

SCALE: 1/4" = 1'-0"



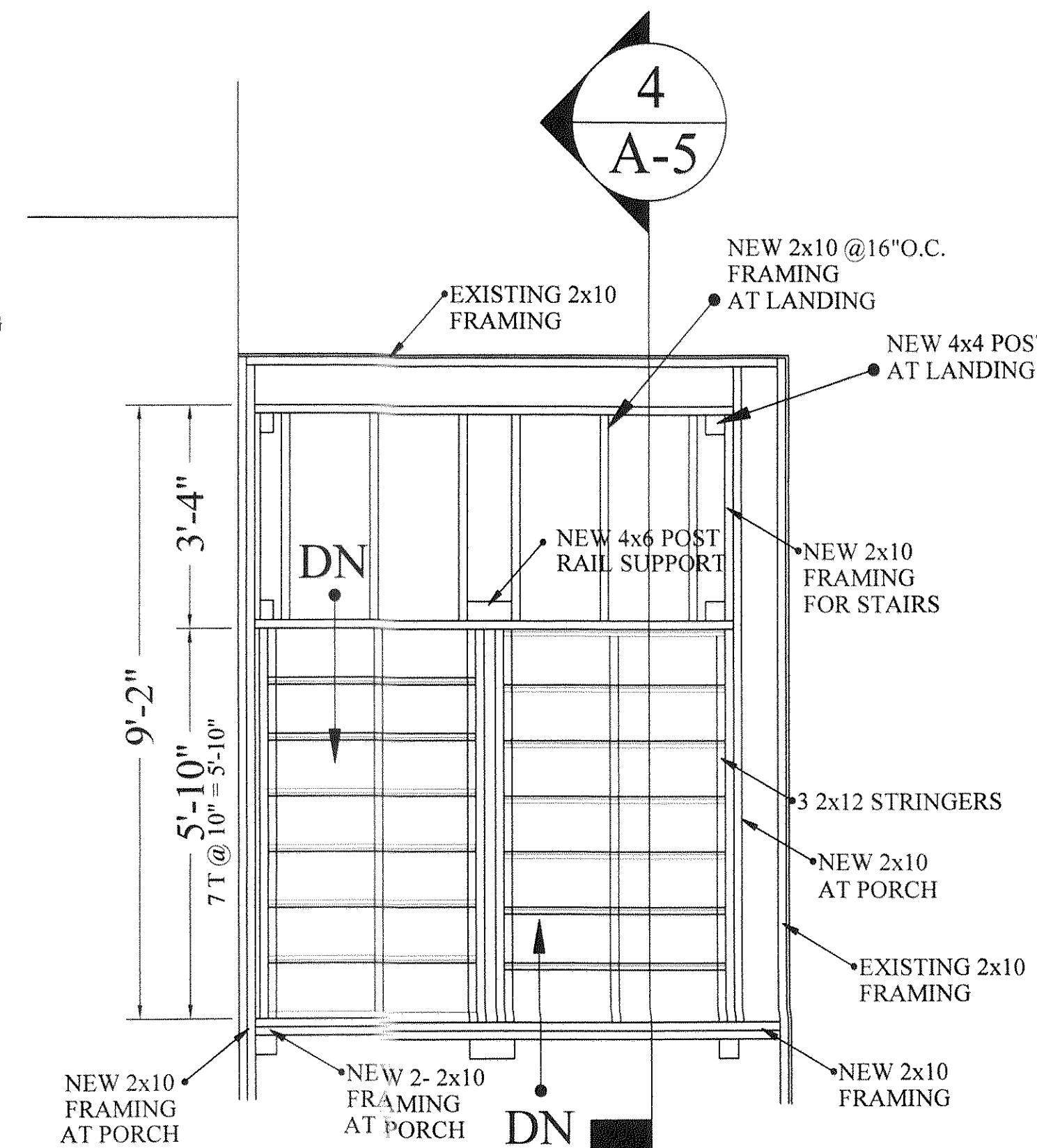
EXISTING RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



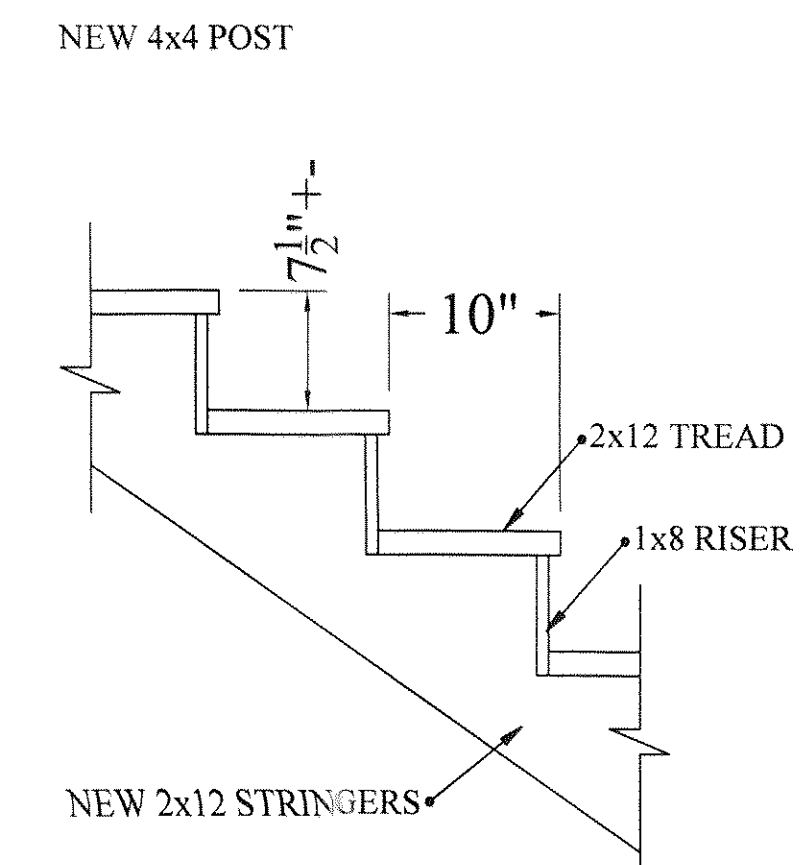
FRAMING PLAN AT 1st FLOOR

SCALE: 1/2" = 1'-0"



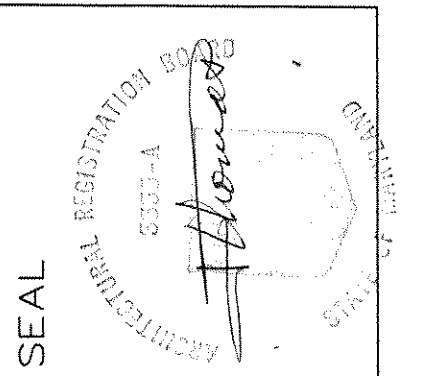
FRAMING PLAN AT 2nd FLOOR

SCALE: 1/2" = 1'-0"



TYPICAL STAIR TREAD/RISER DETAIL

SCALE: 1" = 1'-0"



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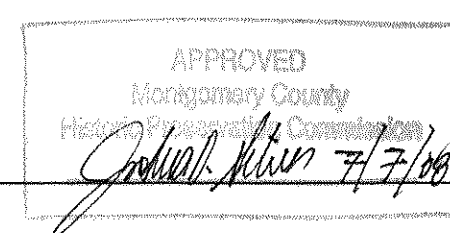
PROJECT NAME
Ms. Maraline Trager
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DRAWING TITLE
ELEVATIONS
Commercial Building

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SHEET NO.

A-4





REAR ELEVATION W/ STAIR

SCALE: 1/4" = 1'-0"



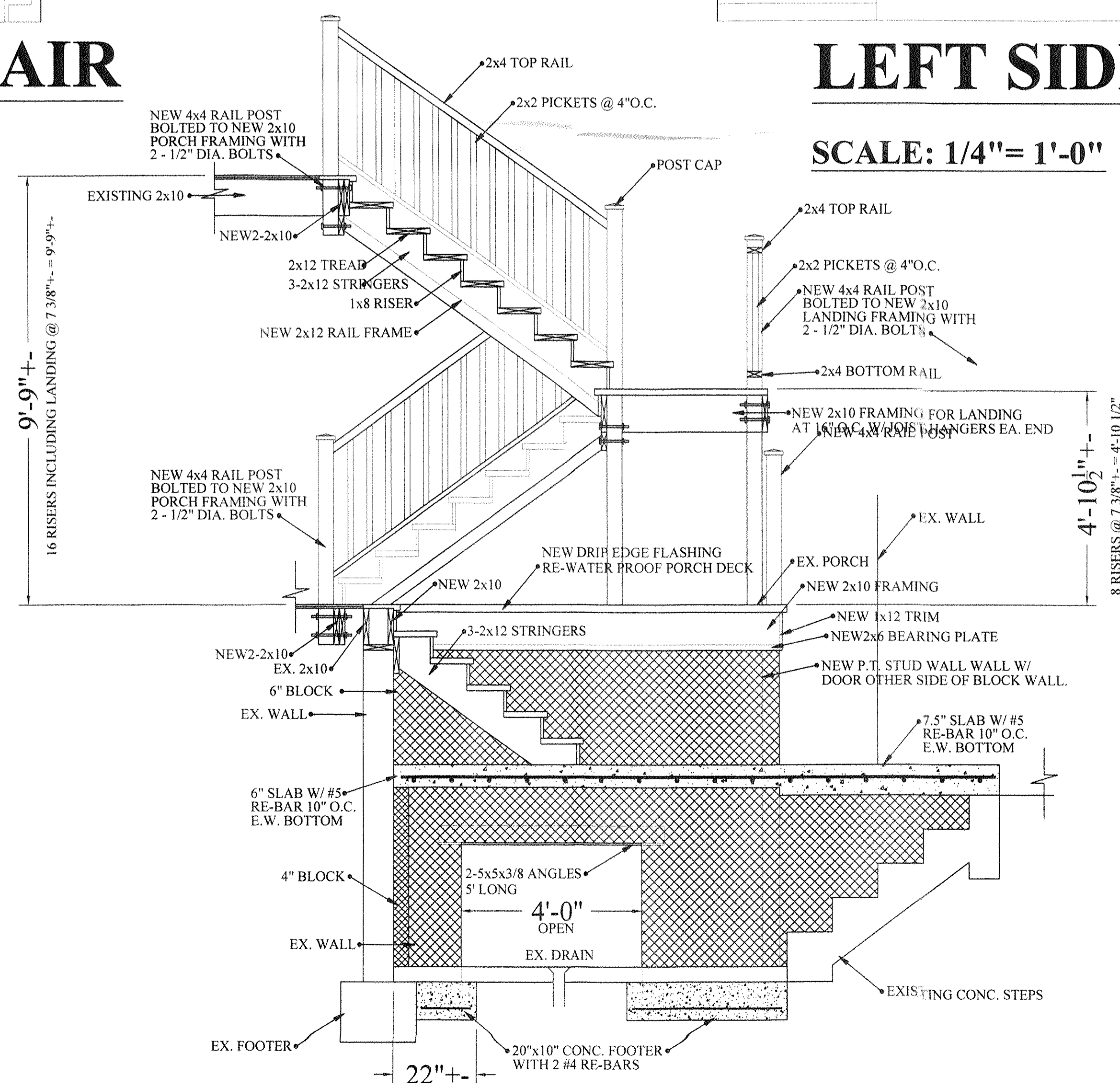
LEFT SIDE ELEVATION W/ STAIR

SCALE: 1/4" = 1'-0"



EXISTING REAR ELEVATION

SCALE: 1/8" = 1'-0"



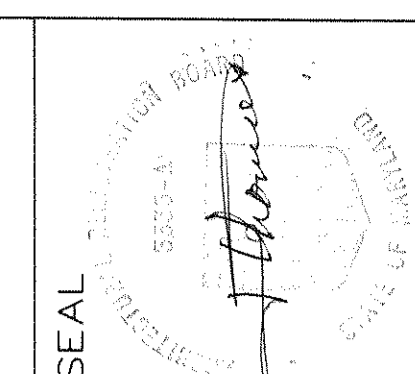
FOUNDATION SECTION NO: 4

SCALE: 1/2" = 1'-0"



EXISTING LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



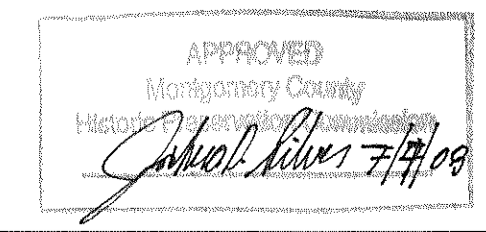
SEAL
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PROJECT NAME
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DRAWING TITLE
 ELEVATIONS
 Commercial Building

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689-08	06-25-08	JFT	JFT	AS NOTED

SHEET NO.
A-5





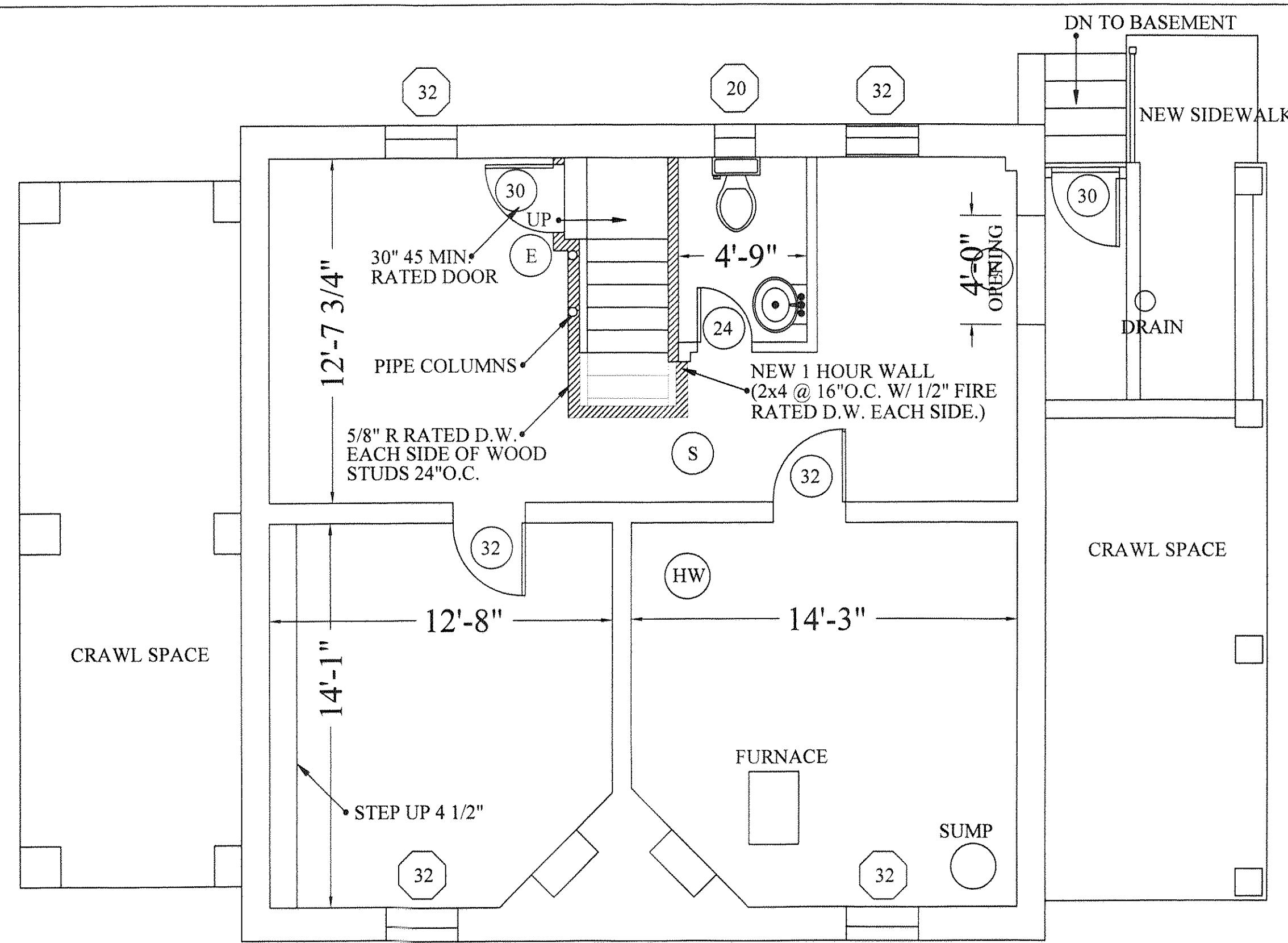
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PROJECT NAME
Ms. Marilene Trager
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 Takoma Park, MD 20912

DRAWING TITLE
FIRE EXIT PLAN
 Commercial Building

PROJECT NO.	DATE	DRAWN BY	CHECKED BY	SCALE
689-08	06-25-08	JFT	JFT	AS NOTED

SHEET NO.
A-6

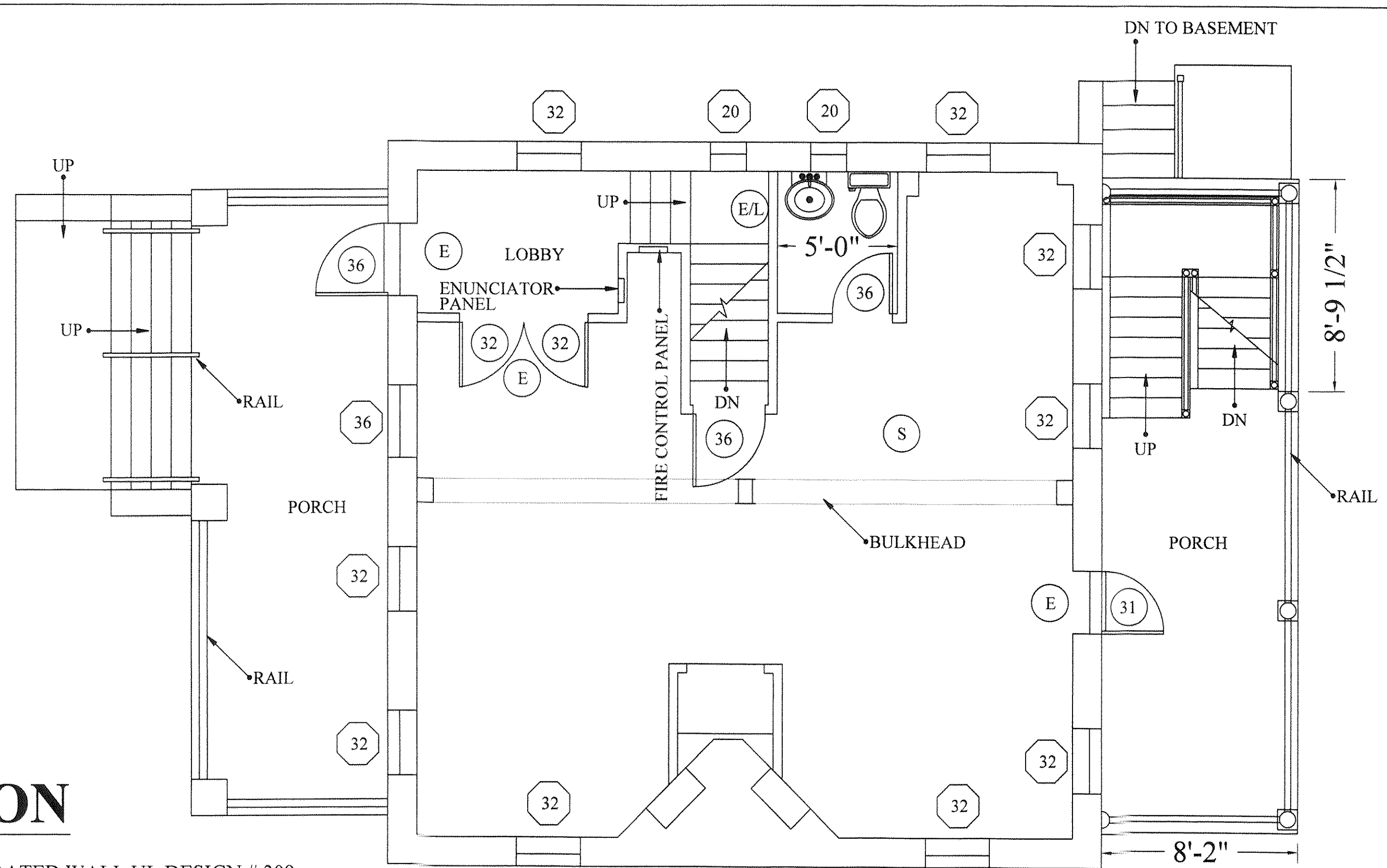


BASEMENT FIRE EXIT PLAN

NOTE: BASEMENT CEILING HEIGHT VARIES FROM 6'-4" TO 7'-0". PLACE 5/8" R RATED D.W. ON ALL OF BASEMENT CEILING.
SCALE: 1/4" = 1'-0"

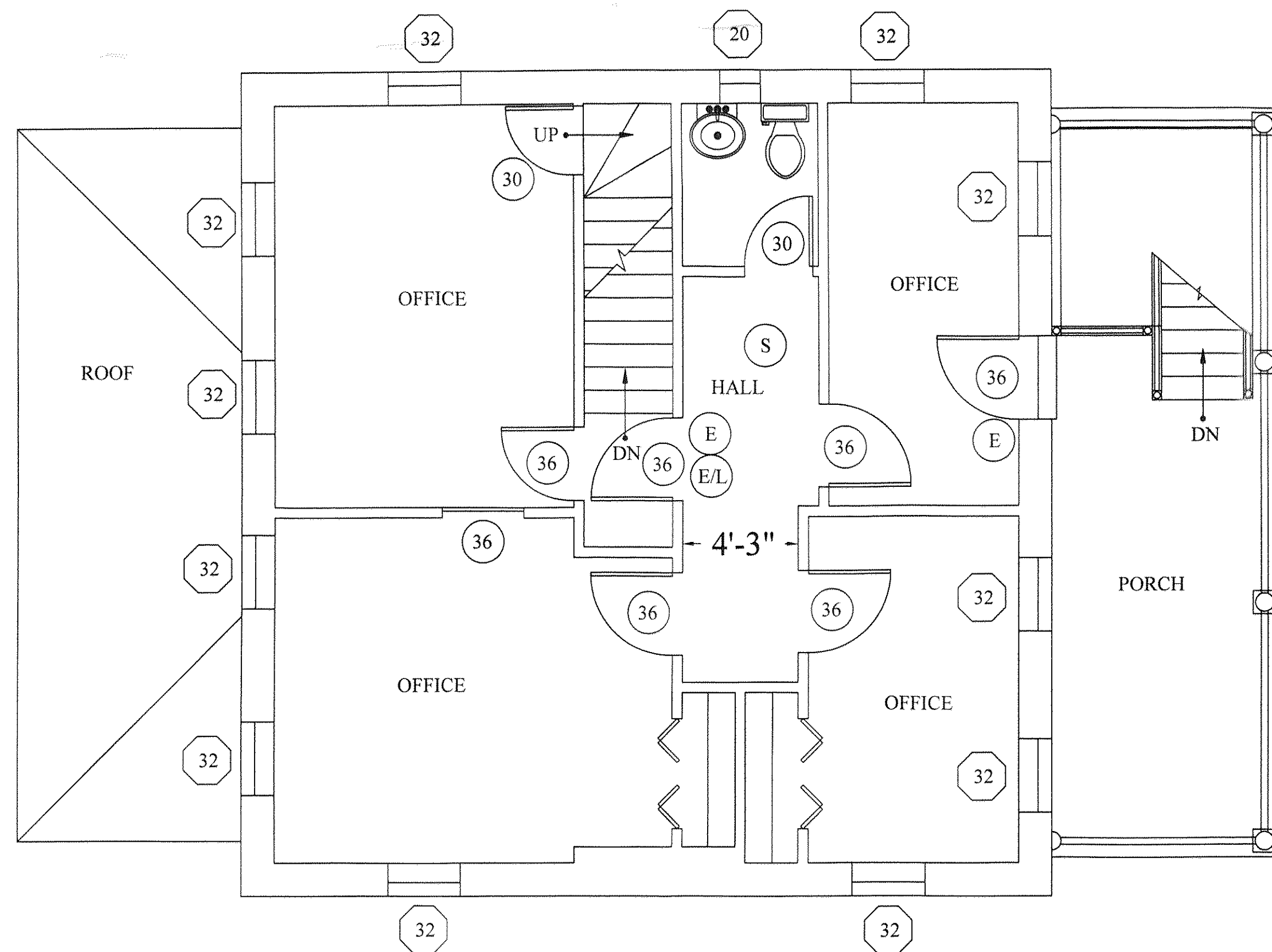
LEGION

- NEW 1 HOUR FIRE RATED WALL UL DESIGN # 309
- EXISTING WALLS
- 32" WIDE WINDOW
- 32" WIDE DOOR
- FIRE EXIT SIGN
- EMERGENCY LIGHTING
- SMOKE DETECTOR



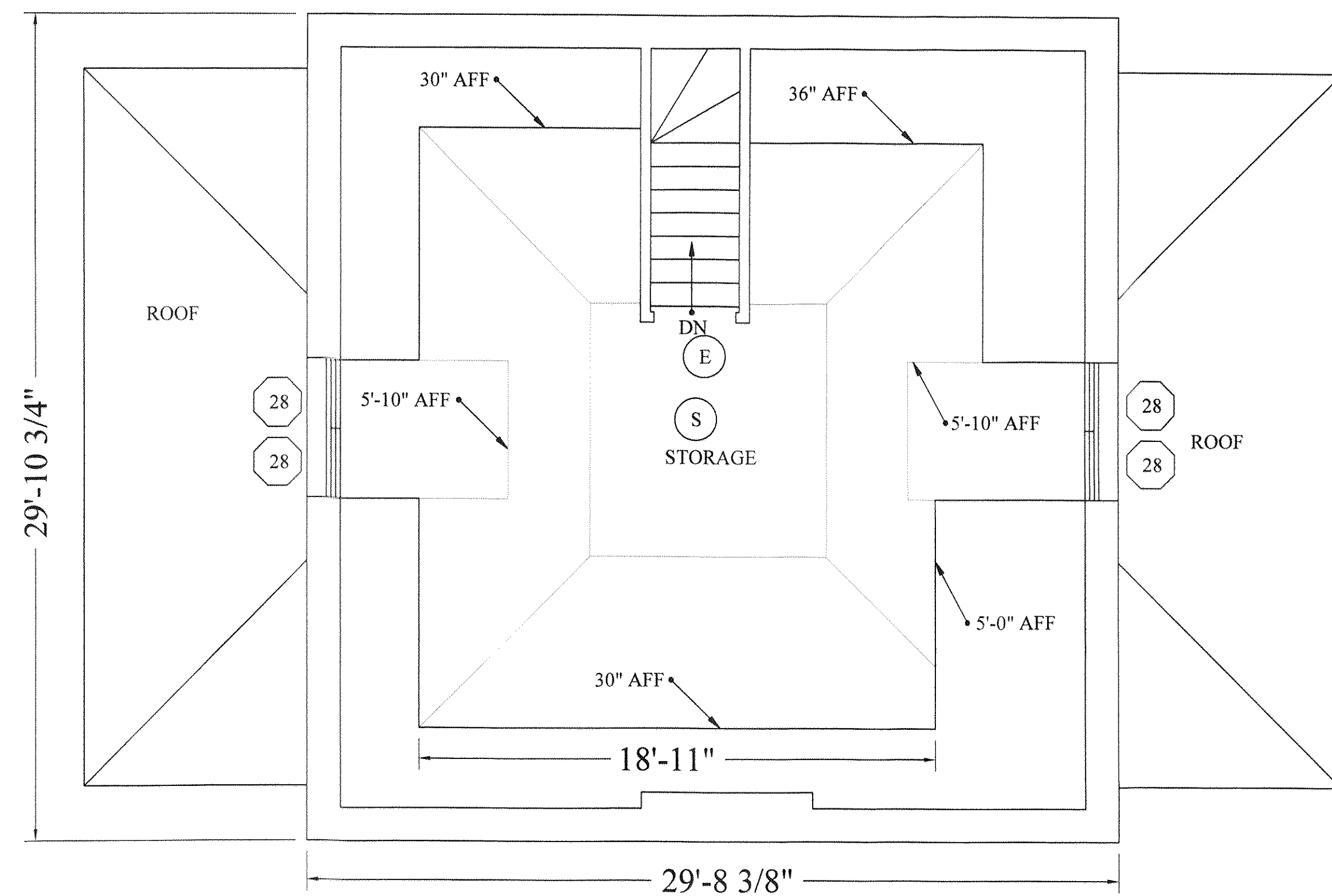
FIRST FLOOR FIRE EXIT PLAN

NOTE: SECOND FLOOR PLAN REMAINS UNCHANGED EXCEPT FOR EXIT STAIRS ADDED TO REAR PORCH. FIRE ALARM SYSTEM IS EXISTING.
SCALE: 1/4" = 1'-0"



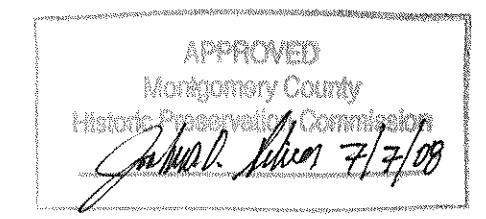
SECOND FLOOR FIRE EXIT PLAN

NOTE: SECOND FLOOR PLAN REMAINS UNCHANGED EXCEPT FOR EXIT STAIRS ADDED TO REAR PORCH.
SCALE: 1/4" = 1'-0"



ATTIC FIRE EXIT PLAN

NOTE: BASEMENT FLOOR CEILING HEIGHT VARIES FROM 6'-4" TO 6'-10"
SCALE: 1/4" = 1'-0"



CONSTRUCTION NOTES:

1. CONCRETE:

General:

- A. Description - including but not limited to the building wall footings.
 - B. Standards - ACI 301 and ACI 318.
 - C. Testing - Contractor to provide design mix and certification of delivered product in writing to the Architect. Contractor to verify slump by field test.
- 1) Slump ASTM C 143 - one per load at discharged point.
 - 2) Compressive strength of 3,000 psi at 28 days.

Products:

- A. Concrete - 3,000 psi plant mix: ASTM c94. Aggregate: ASTM 33. Cement - ASTM 150. Water: Potable. Slump 4" - 1".
- B. Reinforcing Bars - Deformed bars ASTM A 615, Grade 60.
- C. Welded Wire Fabric - ASTM A 185.
- D. Under slab insulation and vapor barrier - See Construction Notes #7.
- E. Anchor Bolts - 1/2" steel 16"x2" hook minimum embedment in concrete or grouted masonry.

Execution:

- A. Verify form dimensions, layout, configuration and location of all reinforcing steel and location of anchor bolts prior to commencing work. Plan the work so that even block courses occur from the foundations up to the walls, and coordinate sub-floor elevations so that all floors are even when their finishes are applied. Locate building as directed on the site plan by the Architect.
- B. Clean forms prior to concrete placement. Install anchor bolts, insulation, under slab plumbing and or conduits as required. Provide sleeves as required for subsequent installation of pipes or conduits. Do not reduce design cross section of footings or thickened slabs by inserting plumbing or conduits.
- C. Place concrete stiff. Do not add excess water to design mix. Use mechanical vibrator as required to properly consolidate concrete around reinforcing. Do not over vibrate or use vibrator to move concrete.
- D. Notify the Architect at least 48 hours prior to placing the concrete for footings or floor slabs. (If the Architect is providing inspection services for the project.)
- E. Maintain optimum curing conditions for all slabs for a minimum of four days following initial placement. Cover with PVC film and wet down full twice daily.
- F. Concrete slab tolerances: 1/8" in 10'-0" to a maximum of 1/4" from design finish floor elevations. Acceptable temperature range for initial four-day cur: 40 degrees F to 95 degrees F.
- G. Fill all hollow CMU cells at bertical reinforcing and or anchor bolts with 3,000 psi pea gravel concrete grout.

2. CONCRETE MASONRY UNITS:

GENERAL:

- A. Products:
 - 1) Concrete Masonry Units: ASTM C90, Type 1, Grade n-1, normal weight.
 - 2) Cap Block, sill and jam blocks, bond beam blocks, pre-cast lintels and lintel blocks split face.
 - 3) Mortar: ASTM-C 270, Type S.
 - 4) Horizontal Course Reinforcing: 3/16" ladder type galvanized wire. (Dur-o- wall or equal)
 - 5) Grout: ASTM-C 476, Type M or S 2,000 psi at 28 days.
 - 6) Concrete Fill (piers, pilasters, retaining walls): 3,000 psi pea gravel.
- B. All CMU walls and foundation walls will comply with National Concrete Masonry Association recommendations.
- C. Verify layout and dimensions of work prior to comencing. Coordinat masonry dimensions with plans and architectural details.
- D. Clean surface of footings before laying block or other masonry units.
- E. Cut joints flush and tool slightly concave. Align and plumb inside face of block or other masonry units. Grout all foundation wall cavities solid at anchor bolts, dowels, and vertical reinforcing. Grout all foundation wall cavities solid when called for on the drawings. Provide a minimum vertical reinforcing of all masonry foundations or basement walls over 30" in height with one vertical #5 rebar and one #5 footing dowel in a fully grouted cell at 16" on center. Fill cells every 24" in height as wall is being placed to ensure full fill penetration of each cell being filled. Where unbalanced fill exceeds 24", provide a fully reinforced masonry wall with grouted vertical bars and horizontal joint reinforcement in alternate courses. Use preformed corners in all cases. Install poured-in-place or concrete - filled bond beams with one #5 rebar continuous at the top of all CMU walls, and pre-cast concrete lintels over all openings in CMU walls. Sleeve and grout as required for drains, plumbing and conduits.
- F. Embed anchors from top and bottom wall plates and beam seats into bond beam or filled pier / pilaster if shown.
- G. Provide true and level edge to proper grade for slab form. Top of masonry must conform to specified floor slab tolerances or bearing plate tolerances.
- H. Any waterproof basement walls and walls at building exterior are to receive a waterproof system or a moisture protection system as required by the local governing jurisdiction from footing to final finish grade as specified in Note #7 of these General Notes. Install foundation / basement wall drainage system, waterproofing or moisture protection system, and backfill as per note #7 of these General Notes or as shown on the drawings and local governing jurisdiction.
- I. Finish all exposed exterior areas of CMU walls with "SureWall" parging, gray color and brush finish. Cement mortar plastering is not acceptable for visibly exposed areas.

3. FRAMING CONNECTORS:

GENERAL:

- A. Install International Residential Code accepted metal framing connectors and accessories as required to provide permanently stable connections of the individual members of the framing system in accordance with the intent of the drawings and the best practices of the trade. **All roof trusses and rafters to be anchored securely with approved hurricane ties at plates and column supports, and all rafters to be secured to ridge and valley rafters / beams with framing anchors.**

4. FRAMING:

GENERAL:

- A. Studs and plates not in contact with masonry or concrete shall be stud grade hem fir, spruce, or pine, K-3 15% moisture content.
- B. Lumber joist, rafters, rafter ties, beams, headers, ridge/hip/valley members shall meet a minimum fb: 1,350 single member 1,550 repetitive member, minimum E=1,700,000. (Hem fir: #2 medium grain normally complies) K-D 15% moisture content.
- C. Micro laminated beams, post and headers, ridge/hip valley members shall have a minimum fb: 2,800, Ft. 2400, Fc 2900, Fv 285, and E 2,000,000. Submit certification of values to the Owner for these beams.
- D. Exterior framing, posts and beams, window surround, blocking furring, sleepers, sill plates and all wood in contact with masonry or concrete to be pressure treated (AWPA 40 ground contact) Southern yellow pine to meet minimum stress grades as above for application.
- E. Sub-flooring to be 3/4" plywood sheathing nailed with 8d common nails at 12" O.C. at intermediate supports, 6" O.C. at edges. Exterior grade at wet areas and where noted on the plans.
- F. Underlayment such as soffits or crawl space areas to be 1/4" plywood nailed with 8d common nails at 12" O.C. staggered at joist.
- G. Roof sheathing to be 1/2" exterior grade plywood nailed with 8d common nails, 12" O.C. at intermediate supports, 6" O.C. at edges. Panel index 24/0.
- H. Install green board in all bathrooms where there is not tile applications.
- I. Install cement board around all wall tiles surfaces, which includes all bathtub enclosures to extent of tile height.
- J. Use metal corner beads for outside corners. Install tape joints or other accessories as required for a finished job.
- K. Tape and spackle one base coat, two finish coats, sanding as necessary for smoth surface suitable for paint or wallpaper. Apply texture finishes and all finishes as directed by the owner.
- L. Prime paint all gypsum surfaces, re-inspect and re-spackle and sand as necessary. Apply two finish coats of paint with color selected by the owner.

5. EXPOSED FRAMING:

GENERAL:

- A. Exposed framing members to be fabricated from pressure treated lumber with galvanized nails at exposed surfaces and constructed to the highest appearance standards. All cuts to be square and true, and assembled to be neat without obvious gaps or misalignments, suitable for transparent stain a natural finish.
- B. All wood trim, veneer, and wood not to be left exposed such as a wood deck or porch shall be painted. Paint selection shall be made by the owner.

6. HEADER'S:

GENERAL:

- A. All headers and framing shall comply with the local government jurisdictions. All headers not shown on the plans shall be a minimum of 2x10 with 1/2" plywood in the center nailed with #12 common nails at 6" O.C. staggered at top and bottom to a maximum span of 6'-6". Use 2x12 with 1/2" plywood in the center nailed with #12 common nails at 6" O.C. staggered at top and bottom to a maximum span of 9'-0". All spans greater than 9'-0" follow specific design shown on the plans. Follow all specific designs shown on the plans when identified for specific openings.
- B. All headers to be supported by a minimum of one jack stud on each side unless shown or called for on the plans.
- C. Double up joist, trusses, and rafters at openings in floor, roofs and under partitions. Support all partitions with solid blocking or framing at floor levels and the roof. Do not support any framing on plywood sub-floor or roof.

7. THERMAL AND MOISTURE CONTROL:

GENERAL:

- A. Paper-faced fiberglass thermal batt insulation:
 - 1) 2x4 exterior wall for house: R-19 insulation
 - 2) Attic and floor joist in crawl space: R-30 insulation
 - 3) Rafters: R-30 insulation
- B. Sill sealer: compressible foam.
- C. Extruded polystyrene rigid foam: Slab perimeter and inside face of foundation walls if and where shown on the plans.
- D. Under slab vapor barrier: Moisture stop 15 mil plastic or as required by the local government jurisdiction if and where called for on the drawings.
- E. Air filtration barrier: two ply 15 lbs. building paper.
- F. Rigid insulation (except foundations): Polyurethane foam board by R-19 or greater by Owens Corning or equal.
- G. Expanding foam filler: Polyurethane expanding foam by Insta-foam or equal.
- H. Waterproofing System: Two (2) 1/4" parge coats of Type M mortar from grade to 6" horizontally out onto footing. A coal tar coating is then applied as per code.



American Room Additions
 10828 Childs Street
 SILVER SPRING
 MARYLAND, 20901
 PHONE (301) 598-1980
 ariadd@aol.com
 © 2005

PROJECT NAME
Ms. Maraline Trayer
 1 Columbia Ave.
 Takoma Park, MD 20912

DRAWING TITLE
SPECIFICATIONS
 Commercial Building

PROJECT NO.	DATE	DRAWN BY	CHECKED BY	SCALE
689-08	06-25-08	JFT	JFT	AS NOTED

SHEET NO.
A-7





HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: June 3, 2008

MEMORANDUM

TO: Maraline Trager
1 Columbia Avenue, Takoma Park

FROM: Josh Silver, Senior Planner
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit Application #483107

Your Historic Area Work Permit (HAWP) application for porch stair installation, sign installation, and parking area modifications was **Approved with Conditions** by the Historic Preservation Commission at its May 14, 2008 meeting.

The conditions of approval were:

1. The specifications for the stairs, railings, and balustrades will be included in the permit sets of drawings submitted to staff at the time of stamping.
2. The proposed wooden sign must comply with all county code regulations for permanent sign installations.
3. The use of concrete is not approved for the 4' wide sidewalk at the front of the house. The applicant will utilize an exposed aggregate concrete treatment for the proposed 4' wide sidewalk at the front of the house.
4. The proposed parking area modification is not approved. The applicant will submit a new site plan and landscape plan to the HPC for review and approval.

Before applying for a building permit from the Montgomery County Department of Permitting Services (DPS), you must schedule a meeting with your assigned staff person to bring your three (3) final permit sets of drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although the Historic Preservation Commission has approved your work, it may also need to be approved by DPS or another local government office before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings, the official approval letter, and the signed HAWP Application. These forms will be issued when the drawings are stamped by your assigned staff person and are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.





HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, you must contact the Historic Preservation Commission staff at 301-563-3400. After your project is completed, please send photos of the finished work to HPC staff.

Thank you very much for your patience and good luck with your project!





HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: May 15, 2008

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner *JDS*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #483107, porch stair installation, sign installation and parking area modifications

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions** at the May 14, 2008 meeting.

*Note: (This approval does not include the proposed parking area modifications).

1. *The specifications for the stairs, railings, and balustrades will be included in the permit sets of drawings submitted to staff at the time of stamping.*
2. *The proposed wooden sign must comply with all county code regulations for permanent sign installations.*
3. *The use of concrete is not approved for the 4' wide sidewalk at the front of the house. The applicant will utilize an exposed aggregate concrete treatment for the proposed 4' wide sidewalk at the front of the house.*
4. *The proposed parking area modification is not approved. The applicant will submit a new site plan and landscape plan to the HPC for review and approval.*

The HPC staff has reviewed and stamped the attached construction drawings.

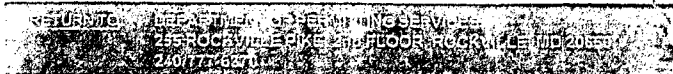
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Maraline Trager

Address: 1 Columbia Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Maraline Trager

Daytime Phone No.: 301-613-6133

Tax Account No.: 01079075

Name of Property Owner: Maraline Trager Daytime Phone No.: 301-613-6133

Address: 7113 Millwood Road, Bethesda, Maryland 20817
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDINGS/PREMISE

House Number: One Street: Columbia Avenue

Town/City: Takoma Park, Md. Nearest Cross Street: Carroll Avenue

Lot: Part of 3 & 4 Block: 16 Subdivision: B. F. Gilbert's Addition to Takoma Park

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|---|--|---|--|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC | <input checked="" type="checkbox"/> Stair | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input checked="" type="checkbox"/> Other: <u>Stairs</u> | | | |

1B. Construction cost estimate: \$ \$ 5,500.00

1C. If this is a revision of a previously approved active permit, see Permit # 468994

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Maraline Trager _____ 4/18/08
Signature of owner or authorized agent Date

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature _____ Date: 7/7/08

Application/Permit No.: 483107 Date Filed: 4/21/08 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing two story brick and wood frame structure with first floor front porch and first and second floor porches on rear of structure. Presently there is no access to rear porches from grade level.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

To add a staircase to the north side of the existing first floor ~~porch~~ rear porch. To provide access from grade to SECOND & first floor porches and existing rear doors. All material for stair and rail to match existing material used on rear porches. The work area is not within the drip line of any trees, but does require the removal of two Juniper bushes, that are located on the

2. SITE PLAN

corner of the porch. Environmentally it is safer to remove the bush so a burglar cannot hide behind them. FIRST FLOOR REAR DOOR TO BE RELOCATED TO WINDOW AT RIGHT & DOOR TO BECOME WINDOW.
Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

Original photographs were submitted with Permit # 468994

6. TREE SURVEY

N.A.

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355). 240-317-4510

See Permit # 468994

W/ revised plans
submitted to the HPC
before 5/14/08 mtg.

III-D

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address: 1 Columbia Avenue, Takoma Park **Meeting Date:** 5/14/2008
Resource: Contributing Resource **Report Date:** 5/7/2008
Takoma Park Historic District
Applicant: Maraline Trager **Public Notice:** 4/30/2008
Review: HAWP **Tax Credit:** None
Case Number: 37/03-08X **Staff:** Josh Silver
PROPOSAL: Porch stair installation, sign installation, and parking area modifications

STAFF RECOMMENDATION:

Staff is recommending that the HPC **approve** this HAWP application with the following conditions:

1. The specifications for the stairs, railings, and balustrades will be included in the permit sets of drawings submitted to staff at the time of stamping.
2. The proposed wooden sign must comply with all county code regulations for permanent sign installations.
3. The use of concrete is not approved for the 4' wide sidewalk at the front of the house. The applicant will utilize an exposed aggregate concrete treatment for the proposed 4' wide sidewalk at the front of the house.
4. The applicant will submit a new site plan and landscape plan to the HPC for review and approval.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing
STYLE: Four-Square/Colonial Revival
DATE: c.1910-20s

The subject resource is a two-and-a-half story four bay, double-pile dwelling with a hipped roof. A simple one story porch, accessed by a wide, front loaded staircase at the south end of the porch, spans the front (east) elevation. A plain two-story porch spans the rear (west) elevation. Both the rear porch's first and second stories communicate with the dwelling's interior, but there is currently no access to the rear porches from ground level. The rear porch is raised off the ground, with diagonal lattice covering the space between the ground and the first story. Four simple columns hold up each floor, and a flat roof covers the porch. A plain wood railing with rectangular balusters spans the front and side of each porch. A staircase located at the south end of the rear porch leads down to access to a basement door located under the porch.

The house occupies a corner lot at the intersections of Columbia, Carroll, and Pine avenues, and the front

(east), north side, and rear (west) elevations are clearly visible from the public right of way. Much of the rear and side (south) yards is dedicated to an "L" shaped gravel parking area, accessed by a driveway to Carroll Avenue and one to Pine Avenue. There is only a narrow green-scaped buffer between the rear porch and parking area and a slightly larger buffer between the dwelling's south elevation and the parking area.

HISTORIC CONTEXT

The following was excerpted from *Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland*.

"Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the second railroad suburb of Washington, platted ten years after Linden. The opening of streetcar lines led to the development of new subdivisions, expanding the Takoma Park community in the early 20th century."

"Takoma Park was platted in 1883. Developer Benjamin Franklin Gilbert promoted the property for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma", meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment.

Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. Some of the earliest architect-designed houses in the county are in Takoma Park. Leon Dessez, later the Chevy Chase Land Company architect, designed the Cady-Lee House (1887), 7315 Piney Branch Road. These first houses were substantial residences with spacious settings. The lots were deep, typically 50 feet by 200-300 feet and had 40-foot setback requirements. Extensive numbers of these first houses remain, constructed between 1883 and 1900."

"By 1893, the town's population quadrupled. Four subdivisions had expanded the town, which was incorporated in 1890. Takoma Avenue, Pine Avenue, and Holly Avenue were among the streets to develop during this period. "

"The start of streetcar service along Carroll Avenue in 1897, operated by the Baltimore and Washington Transit Company, made the adjacent areas more attractive for residential development, leading to new subdivisions. This line, supplemented in 1910 by the Washington and Maryland line (1910-27), led to the creation of eight additional subdivisions extending out from the trolley lines. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. Among the streets, which developed during the 1910s and 1920s in response to the establishment of streetcar, lines are Willow, Park, Philadelphia, and Carroll Avenues.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building

materials and structural elements for ornamentation. Similarly, they reflect a social trend towards a more informal, unpretentious style of living. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established – detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Willow, Park, Philadelphia, and Westmoreland Avenues.

Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era. Advertisements from 1914 for bungalows on Willow Avenue promoted their accessibility – just "three minutes to car line" – and individuality – "no two are alike in design." At least fifteen models of Sears kit houses have been identified in the proposed historic district, including the turreted 7303 Takoma Avenue."

"Takoma Park continues to thrive today, with a population of 20,000. Though the train no longer stops there, the town's close relationship with mass transportation continues. The Metro enables residents to continue the tradition, started with the railroad and extended with the streetcars, of living in the suburbs and commuting to the District using mass transit. Two sections of the Montgomery County portion of Takoma Park have been listed on the National Register of Historic Places as the Takoma Park Historic District since 1976."

PROPOSAL:

The applicant is proposing to:

1. Add an internal wooden staircase on the south end of the existing rear porch at the property to provide 1st and 2nd story egress to the rear of the house. The 1st story of the porch will be accessed by an inset staircase from the ground level. The proposed staircase will match the existing stairs and railings on the house
2. Install a new concrete landing at the rear of the house
3. Install a new 4' wide concrete sidewalk at the front of the house
4. Remove an existing metal sign from the right side (north) of property and replace it with a new wooden sign in a new location on the same side of the house
5. Install precast stone pavers within the limits of the existing gravel parking area at the rear and side of the house.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 4A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be

restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should *preserve the predominant architectural features of the resource*; exact replication of existing details and features, is, however, not required;
- Some non-original building materials may be acceptable on a case-by-case basis;
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Proposed stair installation

Staff recognizes the desirability of locating additions so as to reduce their visibility from the public right-of-way, and understands this is the applicant's intent by proposing to install an internal staircase unit rather than an external unit that would be clearly more visible from the public right-of-way. Staff supports the proposed installation of an internal staircase unit this property. The revised proposal locates the staircase on the south end of the porch which is the least visible from the public right-of-way.

Although the historical fenestration pattern of the rear elevation is unclear and it appears some alterations have occurred locating the staircase on the south end of the porch retains the existing (non-historic) 1st story door and window in the same location. The *Guidelines* state original size and shape of window and

door openings should be maintained, where feasible.

Proposed wooden sign installation

Staff supports the proposed wooden sign installation project at the property. Staff recommends the applicant contact the Department of Permitting Services to ensure the proposed sign complies with the Montgomery County Zoning Ordinance for permanent sign installations.

Proposed front sidewalk installation

Staff supports the installation of a 4' wide front sidewalk at this property. However, staff is recommending the applicant use an exposed aggregate concrete or similar treatment in this location, as it is more historically appropriate.

Proposed parking area modification

Although it is not uncommon for the HPC to approve the installation of pavers within the limits of an existing driveway, staff does not support the proposed installation of precast pavers at this property. The existing gravel driveway currently covers approximately 75% of the existing property. The installation of precast pavers in this location would have a major impact on the streetscape of the historic district and to a property that is already undergoing several noticeable modifications. Staff understands the applicant intends to use the property for commercial purposes, and that a more permanent driveway surface is desirable. Staff is not opposed to a more permanent driveway surface at the property. However, the introduction of a more permanent parking area surface should be reduced to mitigate any potential impact to the streetscape of the historic district.

Staff recommends the applicant submit a new site plan and landscape plan to the HPC for review and approval after the required number of parking spaces is determined for the proposed commercial use of the property. Any future parking at the property shall not exceed the minimum allowable standard for the size and use of the property. Staff also encourages the applicant to consider a parking program that is confined to the rear of the building and utilize landscaping to buffer the impact of the permanent parking area on the streetscape of the historic district and adjacent properties.

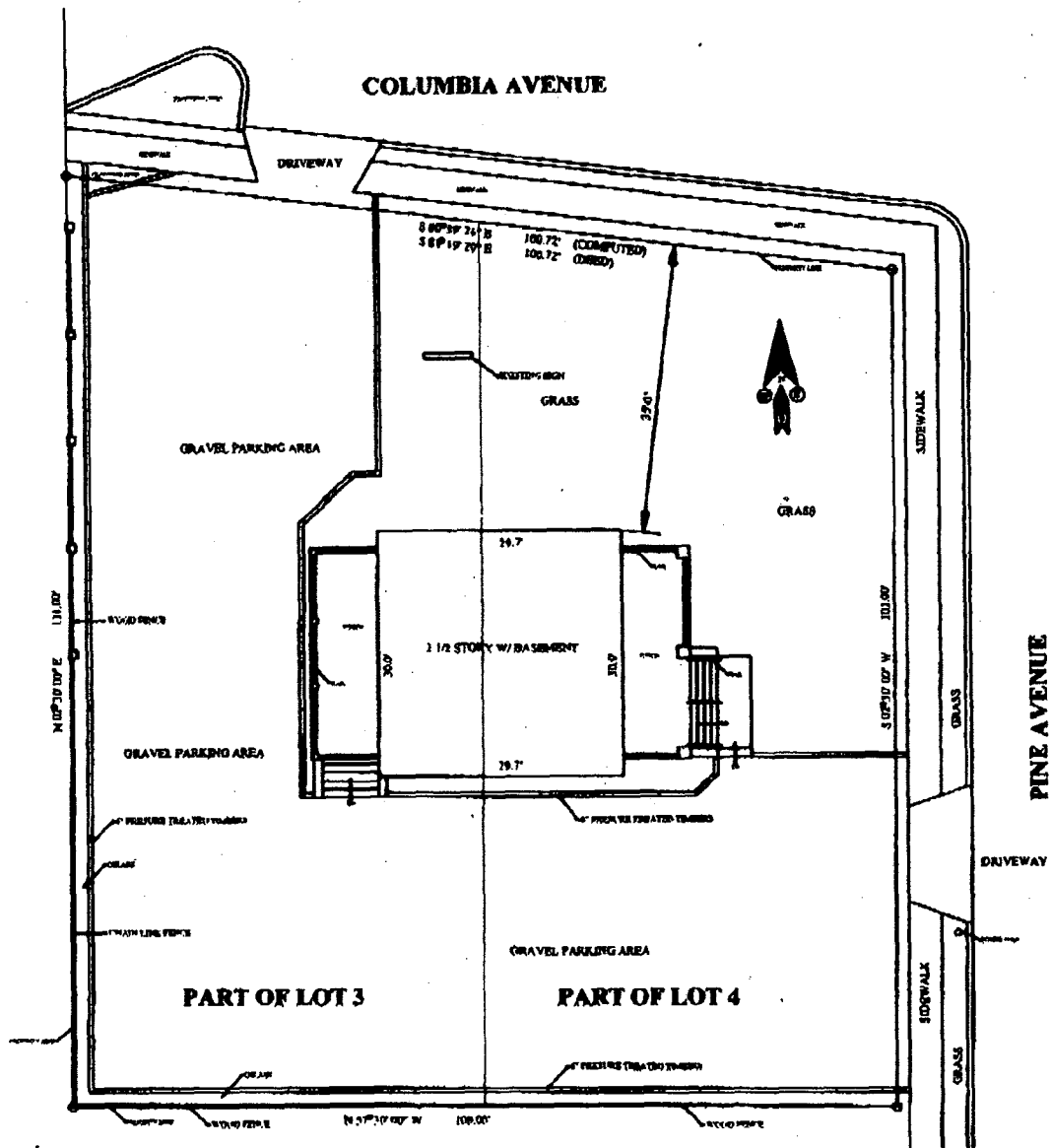
STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions** specified on **Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



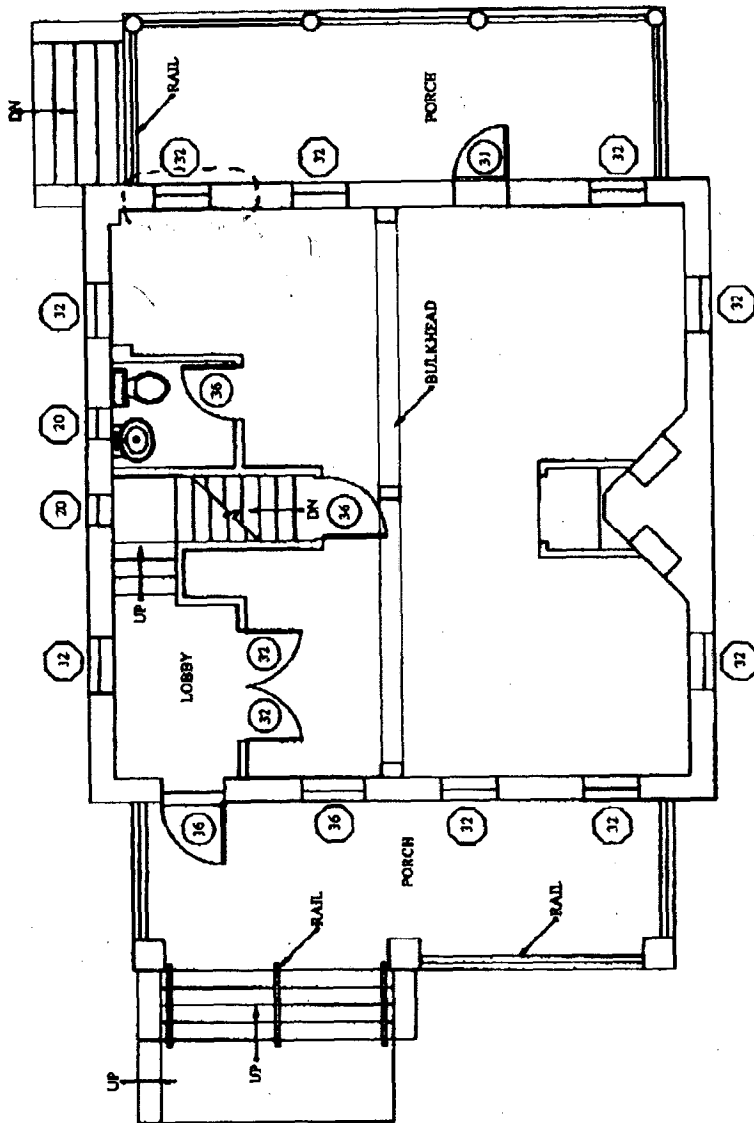
EXISTING SITE PLAN

SCALE: 1"=20'-0"

Ms. Maraline Trager

1 Columbia Ave.
Takoma Park, MD 20912

PAGE 1



EXISTING FIRST FLOOR PLAN

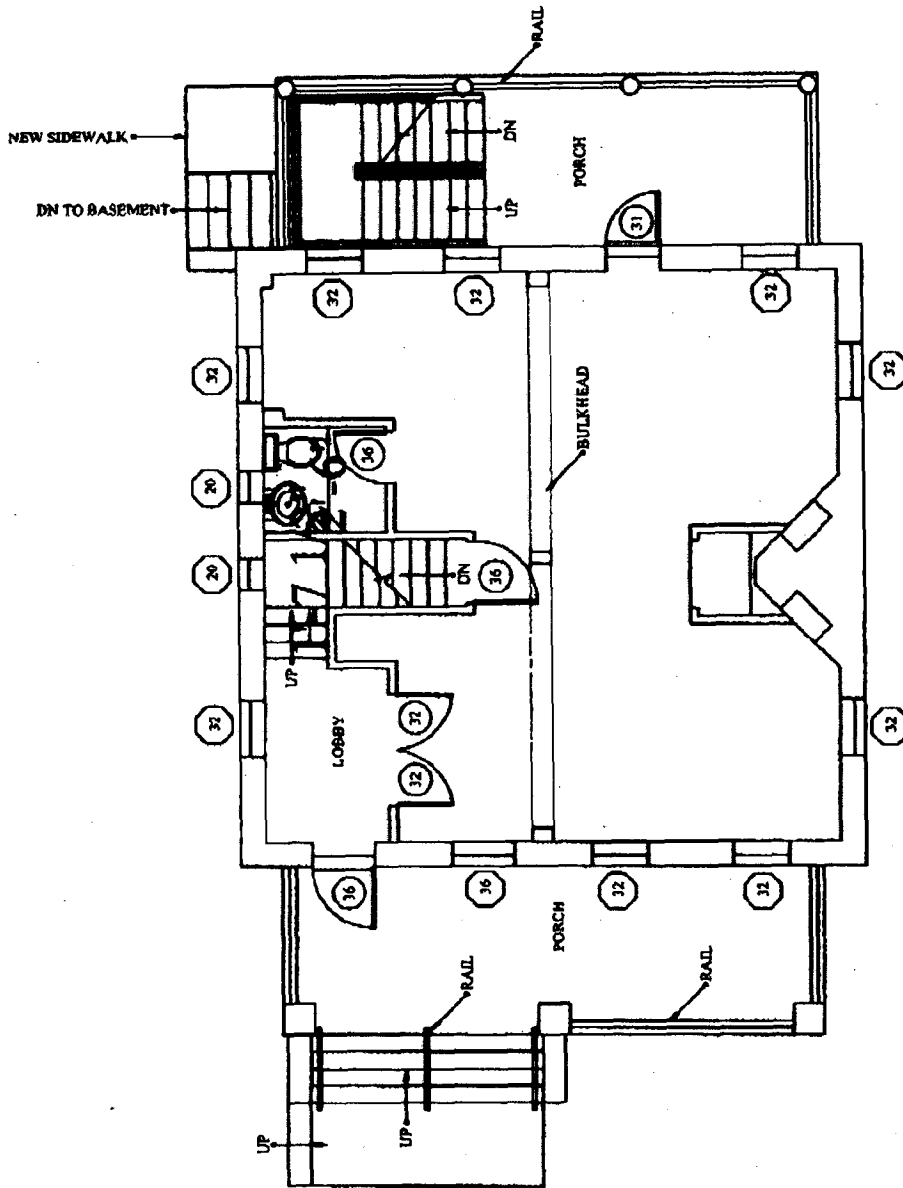
NOTE: FIRST FLOOR CEILING HEIGHT IS 9'-0"

SCALE: 1/8" = 1'-0"

Ms. Maraline Trager

*1 Columbia Ave.
Takoma Park, MD 20912*

PAGE 3



PROPOSED FIRST FLOOR PLAN

NOTE: FIRST FLOOR CEILING HEIGHT IS 9'-9"

SCALE: 1/8" = 1'-0"

Ms. Maraline Trager

*1 Columbia Ave.
Takoma Park, MD 20912*

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REVISED 5-8-08



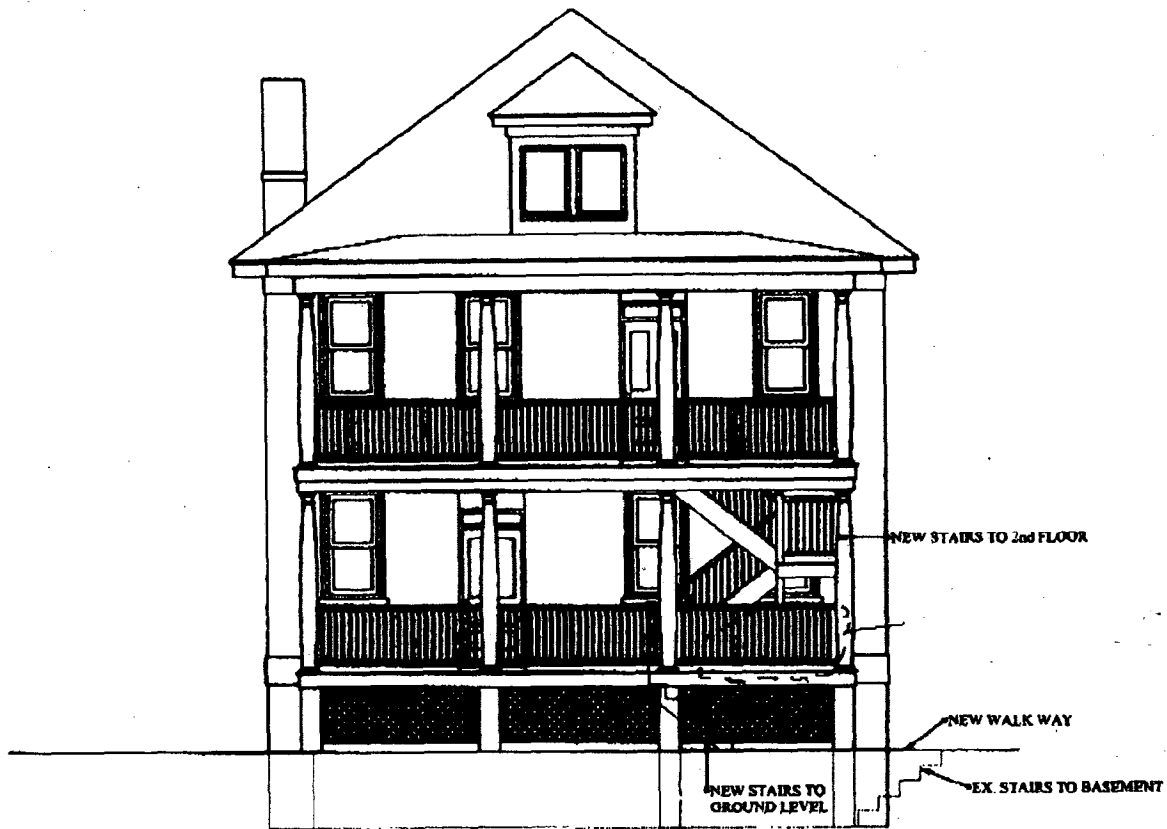
**EXISTING
FRONT ELEVATION**

SCALE: 1/8" = 1'-0"

Ms. Maraline Trager

*1 Columbia Ave.
Takoma Park, MD 20912*

PAGE 5



EXISTING REAR ELEVATION WITH PROPOSED STAIR

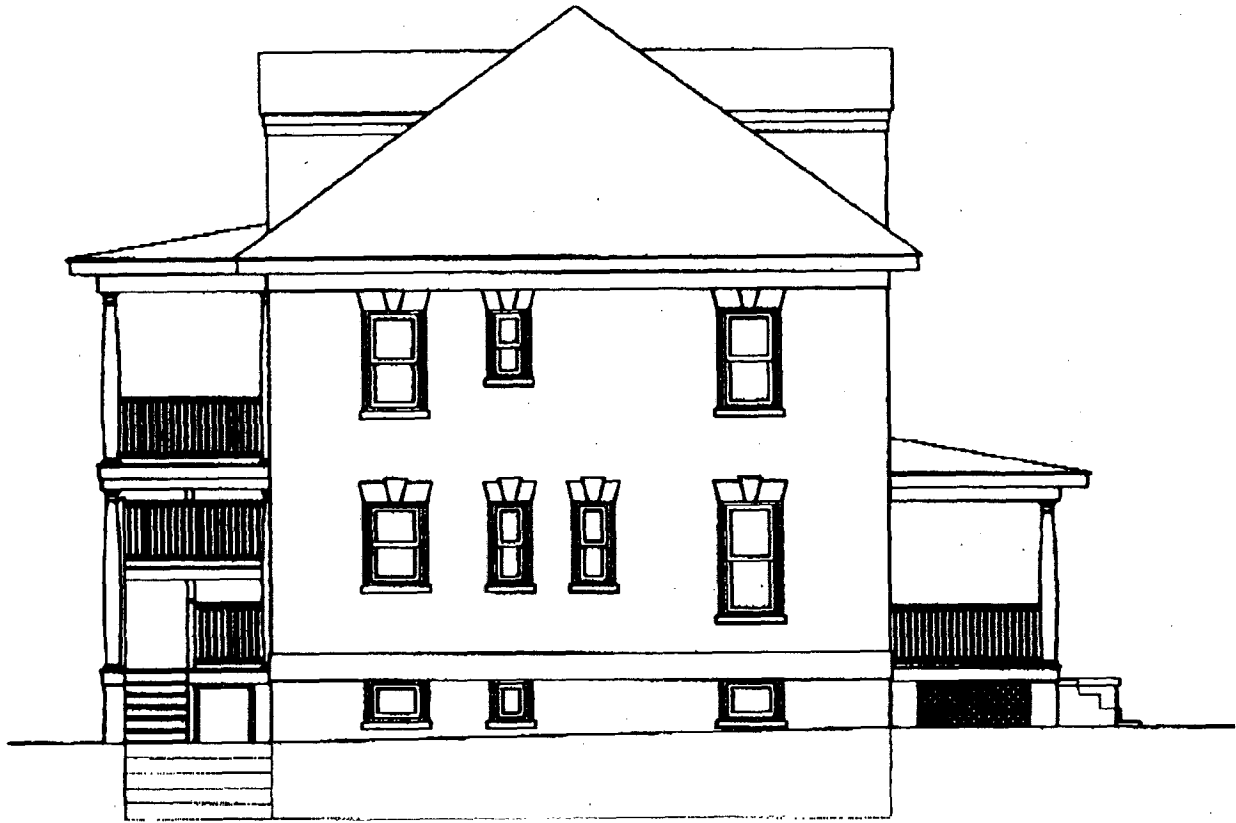
SCALE: 1/8" = 1'-0"

Ms. Maraline Trager

*1 Columbia Ave.
Takoma Park, MD 20912*

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REVISED 5-8-08





**EXISTING LEFT SIDE ELEVATION
WITH PROPOSED STAIR**

SCALE: 1/8" = 1'-0"

Ms. Maraline Trager

*1 Columbia Ave.
Takoma Park, MD 20912*

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REVISED 5-8-08



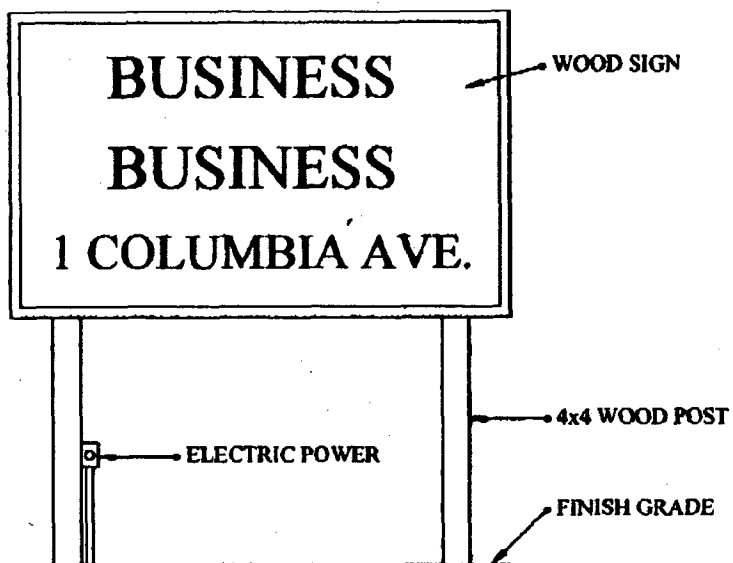
**EXISTING RIGHT SIDE ELEVATION
WITH PROPOSED STAIR**

SCALE: 1/8" = 1'-0"

Ms. Maraline Trager

***1 Columbia Ave.
Takoma Park, MD 20912***

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REVISED 5-8-08



SIZE AND HEIGHT OF SIGN TO COMPLY WITH LOCAL CODES.

SIGN DETAIL

SIGNS TO BE LIT WITH FLOOD LIGHTS.

SCALE: 1/2"=1'-0"

Ms. Maraline Trager

*1 Columbia Ave.
Takoma Park, MD 20912*

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REVISED 5-8-08

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	1 Columbia Avenue, Takoma Park	Meeting Date:	5/14/2008
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	5/7/2008
Applicant:	Maraline Trager	Public Notice:	4/30/2008
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-08X	Staff:	Josh Silver
PROPOSAL:	Porch stair installation, sign installation, window and door relocation and parking area modification		

STAFF RECOMMENDATION:

Staff is recommending that the HPC continue this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing
STYLE: Four-Square/Colonial Revival
DATE: c.1910-20s

The subject resource is a two-and-a-half story four bay, double-pile dwelling with a hipped roof. A simple one story porch, accessed by a wide, front loaded staircase at the south end of the porch, spans the front (east) elevation. A plain two-story porch spans the rear (west) elevation. Both the rear porch's first and second stories communicate with the dwelling's interior, but there is currently no access to the rear porches from ground level. The rear porch is raised off the ground, with diagonal lattice covering the space between the ground and the first story. Four simple columns hold up each floor, and a flat roof covers the porch. A plain wood railing with rectangular balusters spans the front and side of each porch. A staircase located at the south end of the rear porch leads down to access to a basement door located under the porch.

The house occupies a corner lot at the intersections of Columbia, Carroll, and Pine avenues, and the front (east), north side, and rear (west) elevations are clearly visible from the public right of way. Much of the rear and side (south) yards is dedicated to an "L" shaped gravel parking area, accessed by a driveway to Carroll Avenue and one to Pine Avenue. There is only a narrow green-scaped buffer between the rear porch and parking area and a slightly larger buffer between the dwelling's south elevation and the parking area.

HISTORIC CONTEXT

The following was excerpted from *Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland*.

“Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the second railroad suburb of Washington, platted ten years after Linden. The opening of streetcar lines led to the development of new subdivisions, expanding the Takoma Park community in the early 20th century.”

“Takoma Park was platted in 1883. Developer Benjamin Franklin Gilbert promoted the property for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert’s promotion of the natural setting is the use of the Native American "Takoma", meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment.

Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. Some of the earliest architect-designed houses in the county are in Takoma Park. Leon Dessez, later the Chevy Chase Land Company architect, designed the Cady-Lee House (1887), 7315 Piney Branch Road. These first houses were substantial residences with spacious settings. The lots were deep, typically 50 feet by 200-300 feet and had 40-foot setback requirements. Extensive numbers of these first houses remain, constructed between 1883 and 1900.”

“By 1893, the town's population quadrupled. Four subdivisions had expanded the town, which was incorporated in 1890. Takoma Avenue, Pine Avenue, and Holly Avenue were among the streets to develop during this period. “

“The start of streetcar service along Carroll Avenue in 1897, operated by the Baltimore and Washington Transit Company, made the adjacent areas more attractive for residential development, leading to new subdivisions. This line, supplemented in 1910 by the Washington and Maryland line (1910-27), led to the creation of eight additional subdivisions extending out from the trolley lines. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. Among the streets, which developed during the 1910s and 1920s in response to the establishment of streetcar, lines are Willow, Park, Philadelphia, and Carroll Avenues.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building materials and structural elements for ornamentation. Similarly, they reflect a social trend towards a more informal, unpretentious style of living. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established – detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Willow, Park, Philadelphia, and Westmoreland Avenues.

Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era. Advertisements from 1914 for bungalows on Willow Avenue promoted their accessibility – just “three minutes to car line” – and individuality – “no two are alike in design.” At least fifteen models of Sears kit houses have been identified in the proposed historic district, including the turreted 7303 Takoma Avenue.”

“Takoma Park continues to thrive today, with a population of 20,000. Though the train no longer stops there, the town's close relationship with mass transportation continues. The Metro enables residents to continue the tradition, started with the railroad and extended with the streetcars, of living in the suburbs and commuting to the District using mass transit. Two sections of the Montgomery County portion of Takoma Park have been listed on the National Register of Historic Places as the Takoma Park Historic District since 1976.”

PROPOSAL:

The applicant is proposing to:

1. Add an internal wooden staircase on the north end of the existing rear porch at the property to provide 1st and 2nd story egress to the rear of the house. The 1st story of the porch will be accessed by an inset staircase from the ground level. The proposed staircase will match the existing stairs and railings on the house.
2. Relocate an existing first floor rear door and window to accommodate the proposed staircase installation
3. Install a new 4' wide concrete sidewalk at the front of the house
4. Remove an existing sign from the right side (north) of property and replace it with a new 6'8" high metal sign in a new location on the same side of the house
5. Install precast stone pavers within the limits of the existing gravel parking area at the rear and side of the house.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 4A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should *preserve the predominant architectural features of the resource*; exact replication of existing details and features, is, however, not required;
- Some non-original building materials may be acceptable on a case-by-case basis;

- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

Secretary of the Interior's Standards for Rehabilitation

9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

Proposed stair installation

Staff recognizes the desirability of locating additions so as to reduce their visibility from the public right-of-way, and understands this is the applicant's intent by proposing to install an internal staircase unit rather than an external unit that would be clearly more visible from the public right-of-way. Staff is not opposed to an internal staircase unit at this property. However, the current proposal locates the staircase on the north end of the porch which is closest to the public right-of-way, making it the most visible, as this property is a corner lot.

Locating the staircase on the north end of the porch would require relocating an existing 1st story door and window on the rear porch. The *Guidelines* state original size and shape of window and door openings should be maintained, where feasible.

Staff discussed with the applicant the possibility of locating the staircase on the south end of porch to help mitigate the visual impact the staircase would have on the streetscape of the historic district. Staff supports locating the staircase on the south end of the porch as it avoids having to relocate the 1st story door and window of the porch. The applicant has agreed to locate the proposed staircase on the south end of the porch and will be submitting a revised proposal that includes this modification.

Proposed metal sign installation

Staff is concerned with the proposed installation of a metal sign at this property. Generally the HPC approves signs fabricated from all wood. Staff has discussed this with the applicant and they have agreed to use a sign fabricated from all wood. Staff also encourages the applicant to contact the Department of Permitting Services to ensure the proposed sign is in agreement with the Montgomery County Zoning Ordinance for permanent sign installations.

Proposed front sidewalk installation

Staff supports the installation of a 4' wide front sidewalk at this property. However, staff is recommending the applicant use an exposed aggregate concrete or similar treatment in this location, as it is more historically appropriate.

Proposed parking area modification

Although it is not uncommon for the HPC to approve the installation of pavers within the limits of an existing driveway, staff does not support the proposed installation of precast pavers at this property. The existing gravel driveway currently covers approximately 75% of the existing property. The installation of precast pavers in this location would have a major impact on the streetscape of the historic district and to a property that is already undergoing several noticeable modifications. Staff understands the applicant intends to use the property for commercial purposes, and that a more permanent driveway surface is desirable. Staff is not opposed to a more permanent driveway surface at the property. However, the introduction of a more permanent parking area surface should be reduced to mitigate any potential impact to the streetscape of the historic district.

Staff recommends the applicant continue to address the following concerns in order for staff to assess the appropriateness of the proposed modifications at the property:

1. Submit a revised proposal to HPC staff showing the proposed staircase on the south end of the porch and the door and window retained in the existing location
2. Submit a revised sign specifications sheet indicating an all wood sign will be utilized
3. Explore using an exposed aggregate concrete or similar application for the proposed front sidewalk
4. Explore the feasibility of reducing the size of proposed permanent parking area.

STAFF RECOMMENDATION:

Staff recommends that the Commission **continue** the HAWP application.

#483101

Sec 1

MT



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE MD 20850
240/777-8370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Maraline Trager

Daytime Phone No.: 301-613-6133

Tax Account No.: 01079075

Name of Property Owner: Maraline Trager Daytime Phone No.: 301-613-6133

Address: 7113 Millwood Road, Bethesda, Maryland 20817
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: One Street: Columbia Avenue

Town/City: Takoma Park, Md. Nearest Cross Street: Carroll Avenue

Lot: Part 4 of 5 Block: 16 Subdivider: B. F. Gilbert's Addition to Takoma Park

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE
- | | | | | | | | | |
|---|----------------------------------|---|--|--|--|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC | <input checked="" type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Reze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Reversible | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input checked="" type="checkbox"/> Other: <u>Stairs</u> | | | |

1B. Construction cost estimate: \$ \$ 5,500.00

1C. If this is a revision of a previously approved active permit, see Permit # 468994

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Maraline Trager
Signature of owner or authorized agent

4/18/08
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 483107 Date Filed: 4/21/08 Date Issued: _____
Emc

6

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Existing two story brick and wood frame structure with first floor front porch and first and second floor porches on rear of structure. Presently there is no access to rear porches from grade level.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

To add a staircase to the north side of the existing first floor porch and rear porch. To provide access from grade to SECOND floor porch and existing rear doors. All material for stair and rail to match existing material used on rear porches. The work area is not within the drip line of any trees, but does require the removal of two Juniper bushes, that are located on the

2. **SITE PLAN** corner of the porch. Environmentally it is safer to remove the bush so a burglar cannot hide behind them. FIRST FLOOR REAR DOOR TO BE RELOCATED TO WINDOW AT RIGHT & DOOR TO BECOME WINDOW.
Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
b. dimensions of all existing and proposed structures; and
c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the effected portions. All labels should be placed on the front of photographs.
b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

Original photographs were submitted with Permit # 468994

6. TREE SURVEY N.A.

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355. 240-314-4510

See Permit # 468994

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

7

5 Pine Avenue
Takoma Park, Maryland 20912

Owners: Anne Sergeant
Wayne Harvey

5 Columbia Avenue
Takoma Park, Md. 20912

Owners: Thos Branch
Po Branch

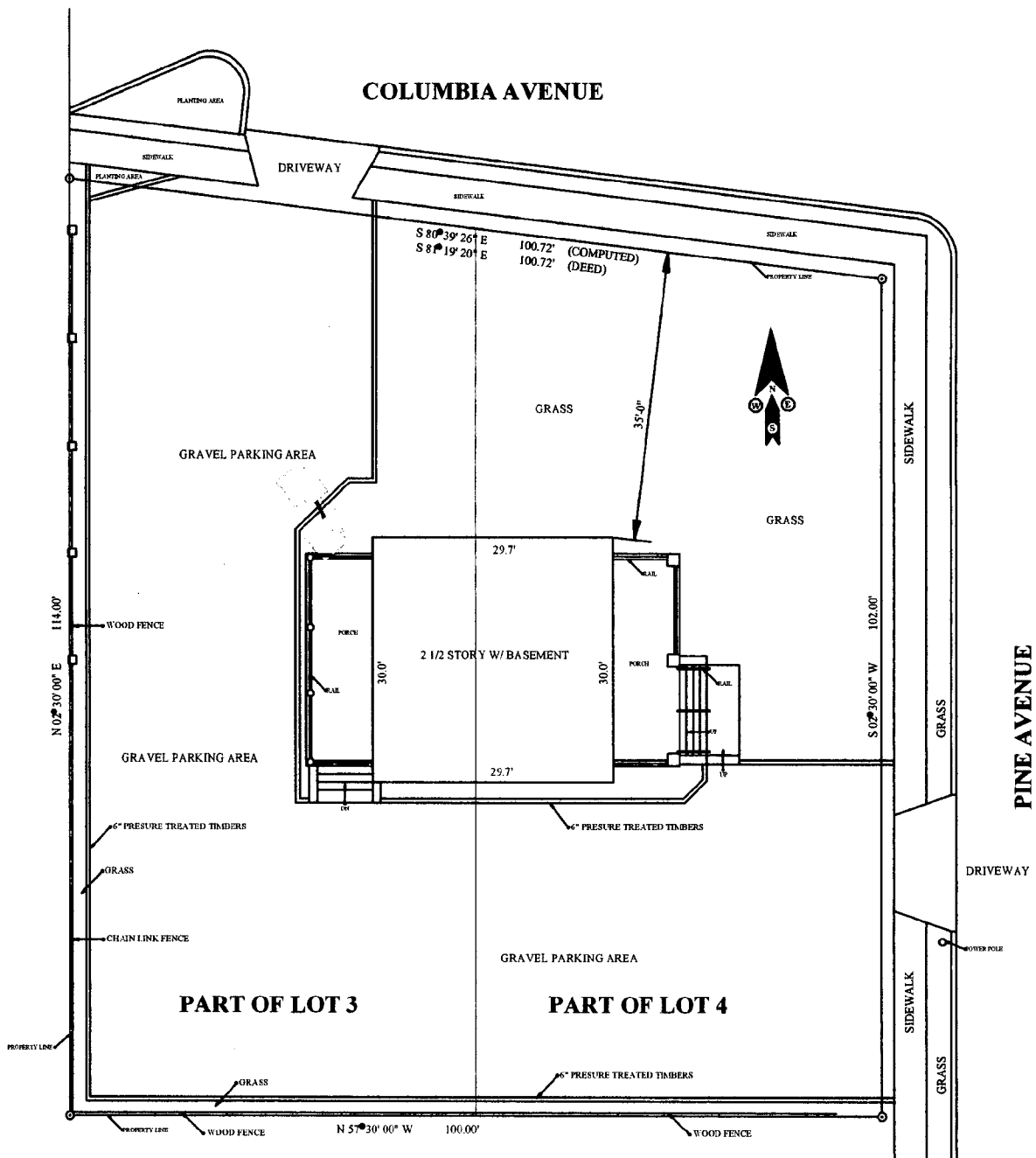
7105 Carroll Avenue
Takoma Park, Md. 20912

Owner: Mark D. Rockman

7071 Carroll Avenue
Takoma Park, Md. 20912

Owner: Gilberts Gift LLC
5301 Ijamsville Road
Ijamsville, Md. 21754-9716





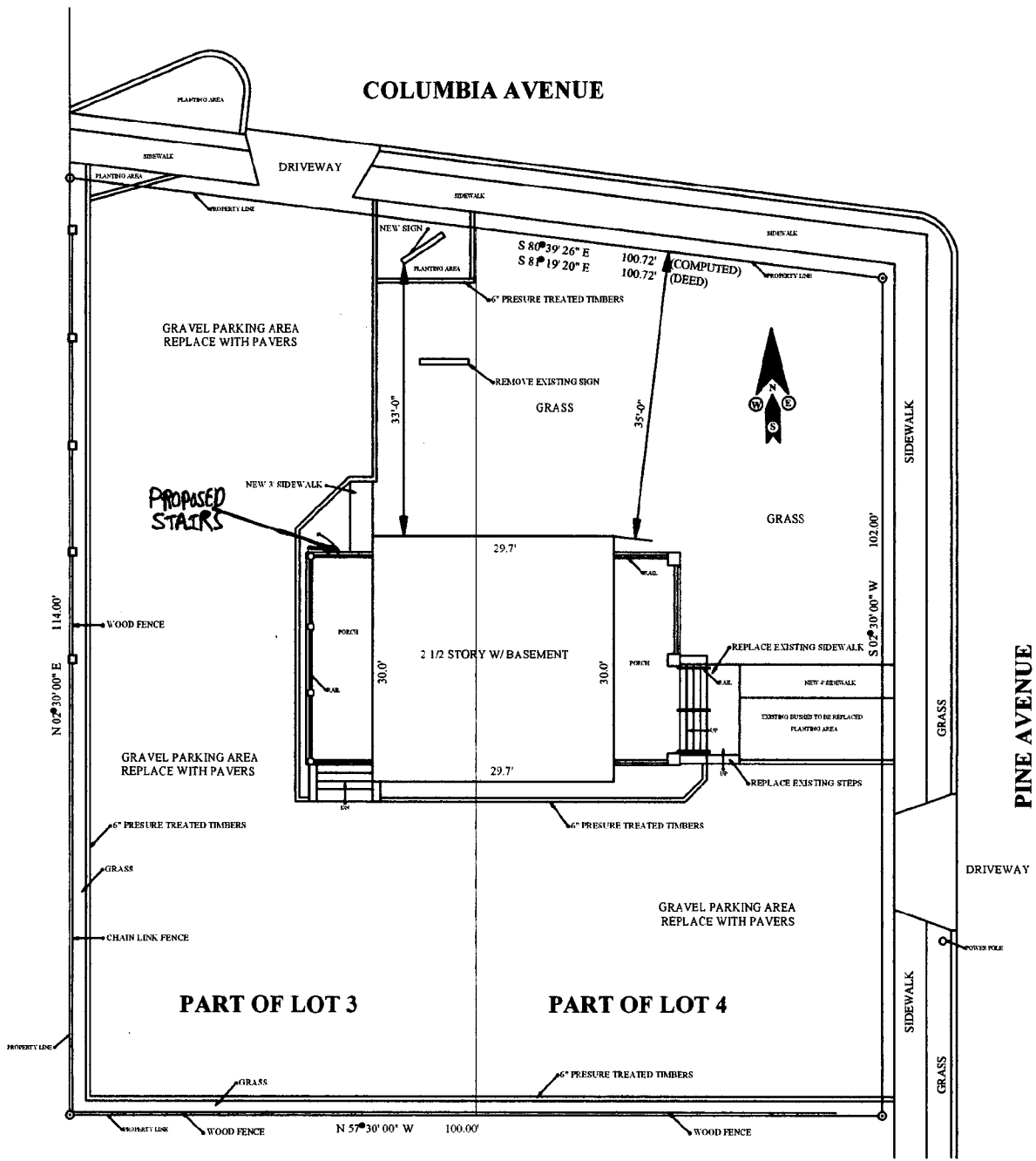
EXISTING SITE PLAN

SCALE: 1"=20'-0"

Ms. Maraline Trager

*1 Columbia Ave.
Takoma Park, MD 20912*

PAGE 1 (9)

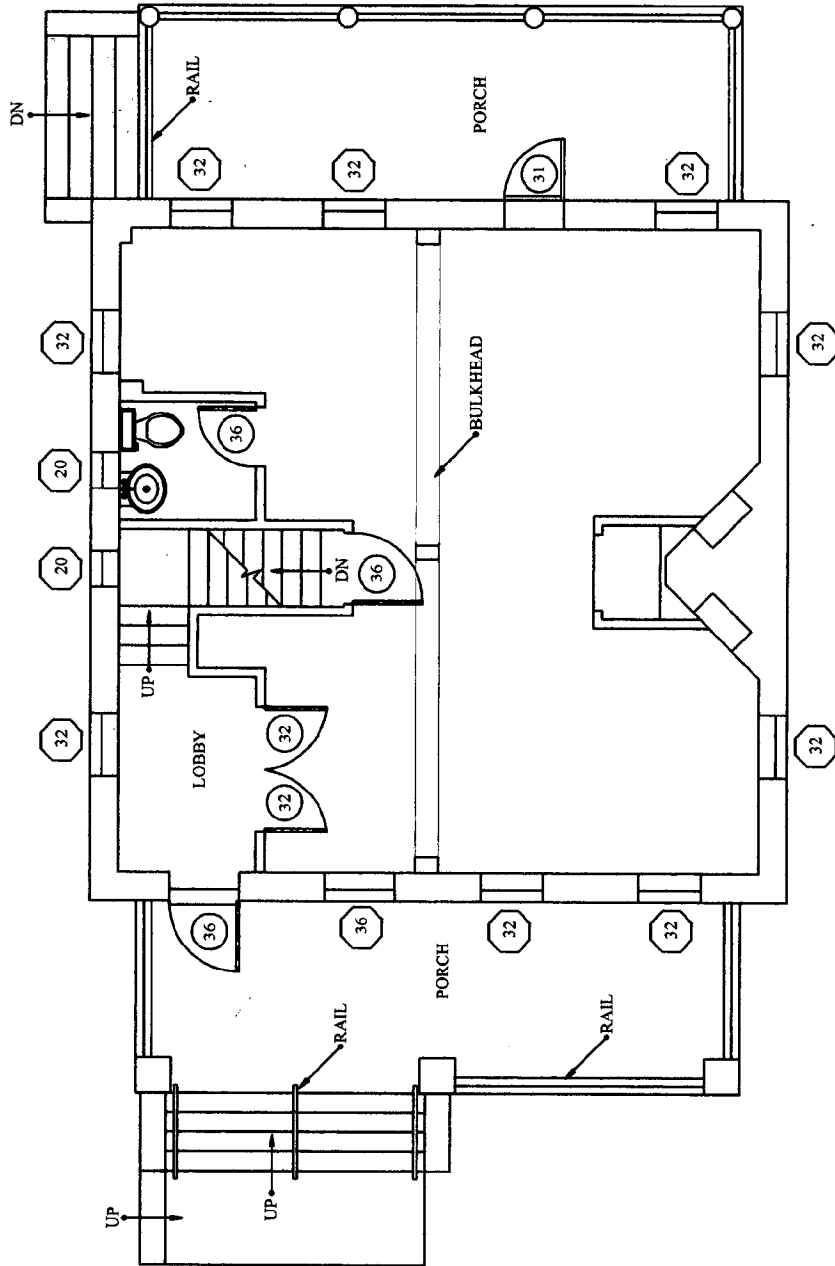


PROPOSED SITE PLAN

SCALE: 1"=20'

Ms. Maraline Trager

1 Columbia Ave.
Takoma Park, MD 20912



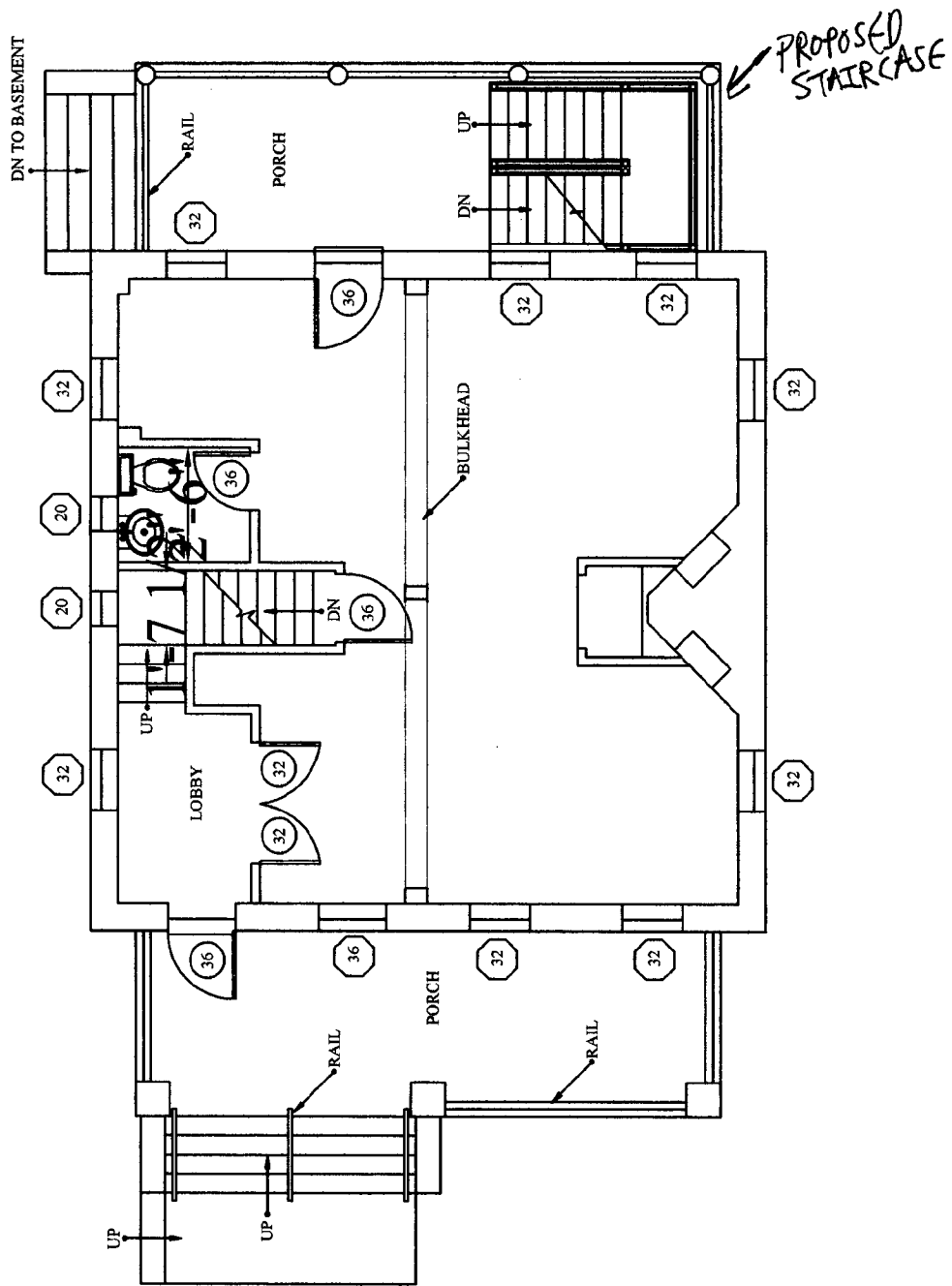
EXISTING FIRST FLOOR PLAN

NOTE: FIRST FLOOR CEILING HEIGHT IS 9'-9"

SCALE: 1/8" = 1'-0"

Ms. Maraline Trager

*1 Columbia Ave.
Takoma Park, MD 20912*



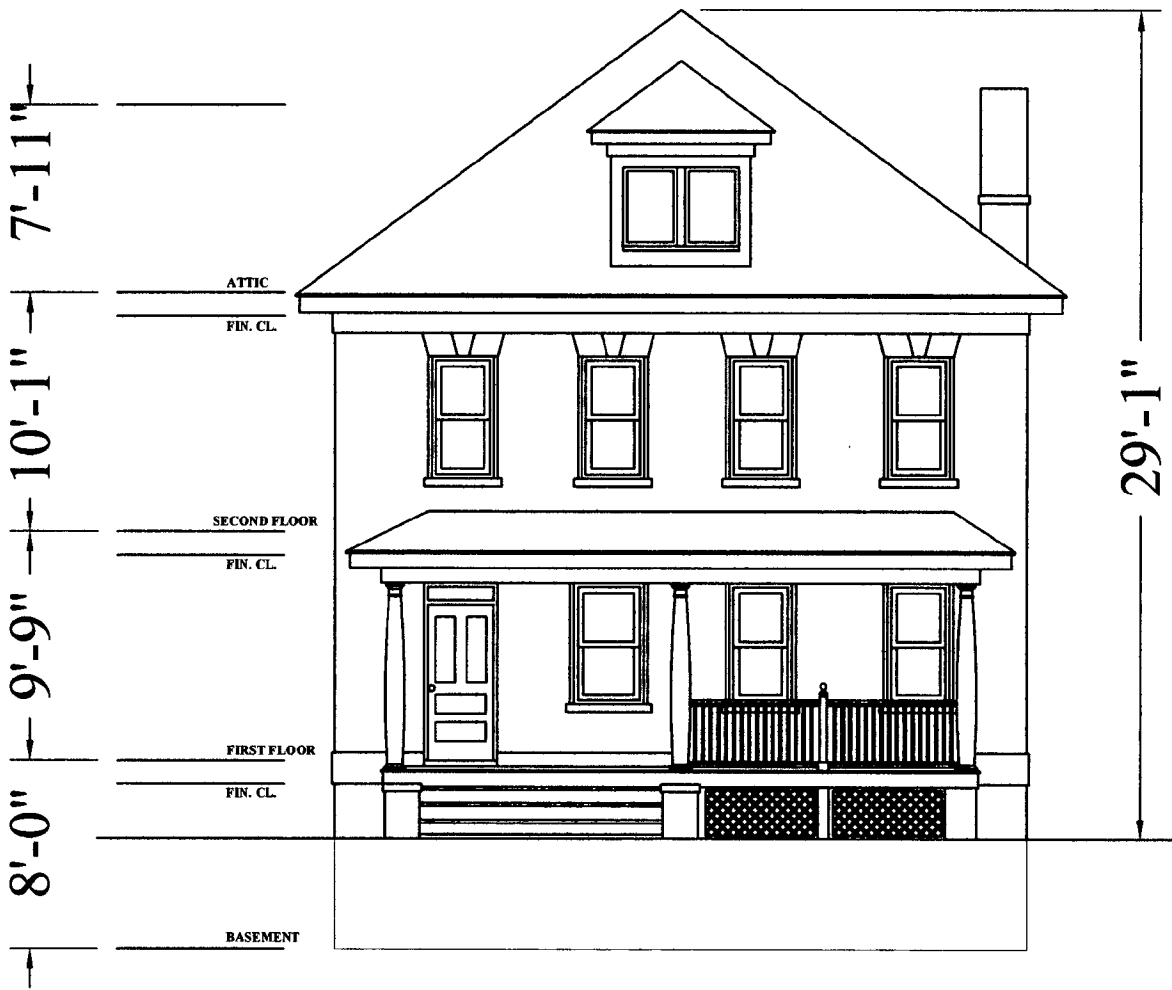
PROPOSED FIRST FLOOR PLAN

NOTE: FIRST FLOOR CEILING HEIGHT IS 9'-9"

SCALE: 1/8" = 1'-0"

Ms. Maraline Trager

1 Columbia Ave.
Takoma Park, MD 20912



EXISTING FRONT ELEVATION

SCALE: 1/8" = 1'-0"

Ms. Maraline Trager

1 Columbia Ave.
Takoma Park, MD 20912



EXISTING REAR ELEVATION WITH PROPOSED STAIR

SCALE: 1/8" = 1'-0"

Ms. Maraline Trager

*1 Columbia Ave.
Takoma Park, MD 20912*

PAGE 7 (14)



EXISTING LEFT SIDE ELEVATION WITH PROPOSED STAIR

SCALE: 1/8" = 1'-0"

Ms. Maraline Trager

*1 Columbia Ave.
Takoma Park, MD 20912*

PAGE 8 (15)

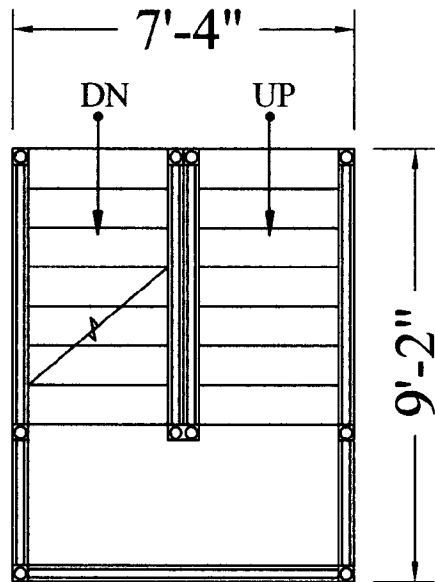


**EXISTING RIGHT SIDE ELEVATION
WITH PROPOSED STAIR**

SCALE: 1/8" = 1'-0"

Ms. Maraline Trager

*1 Columbia Ave.
Takoma Park, MD 20912*

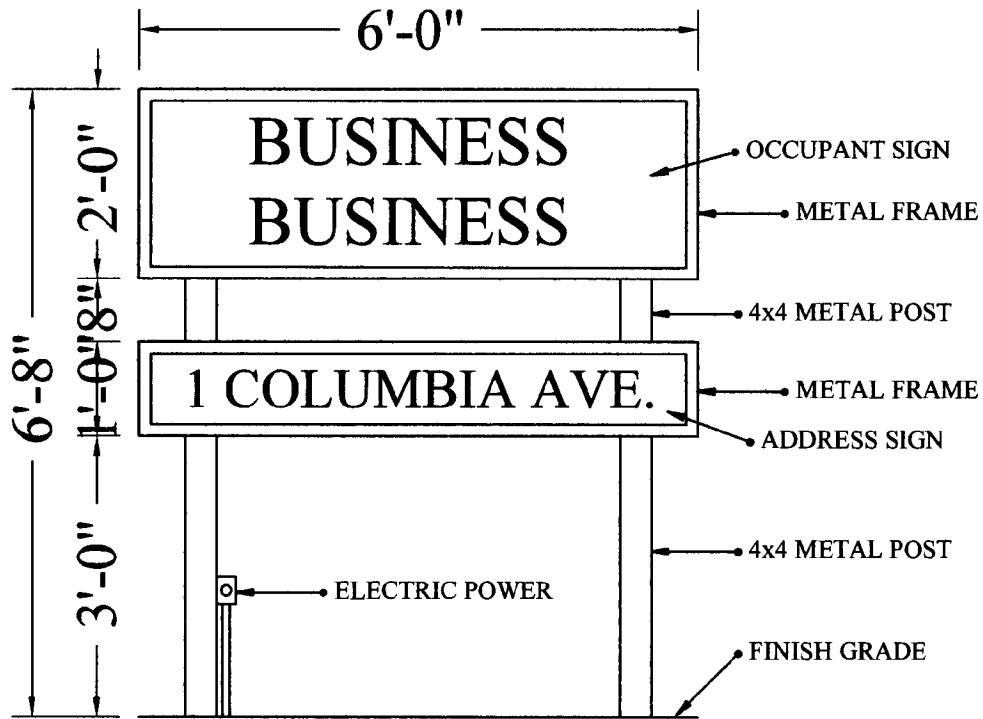


STAIR PLAN

SCALE: 1/4" = 1'-0"

Ms. Maraline Trager

1 Columbia Ave.
Takoma Park, MD 20912



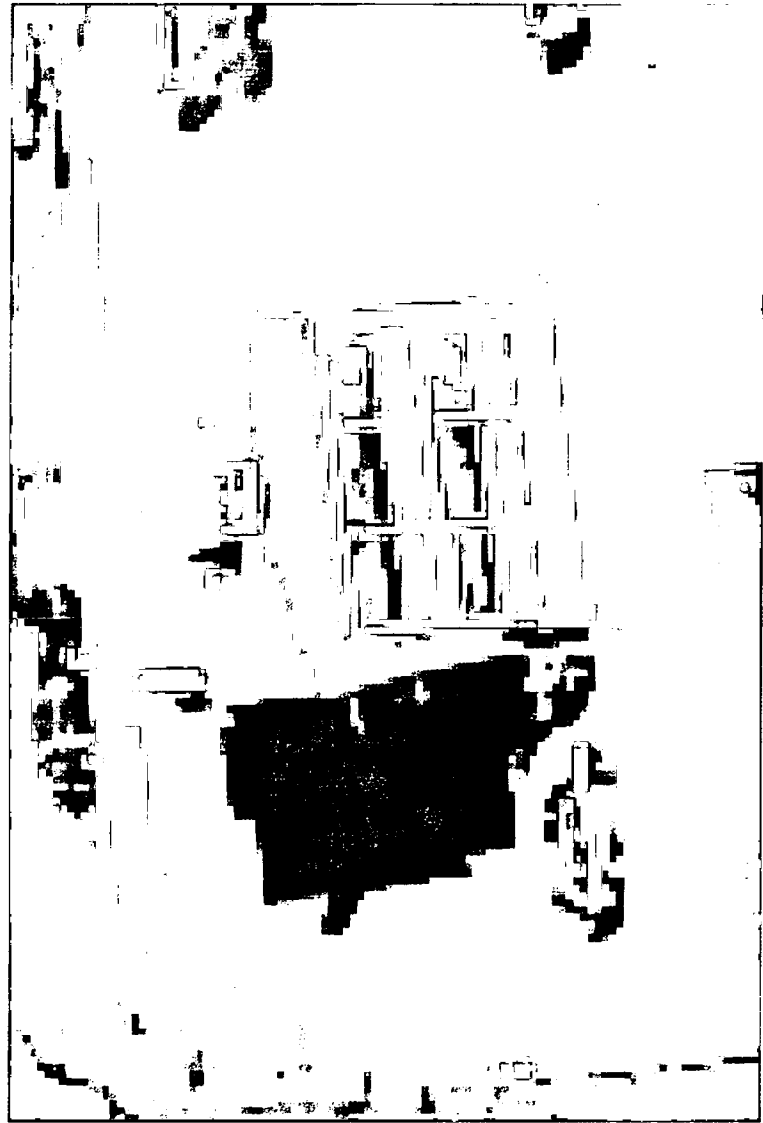
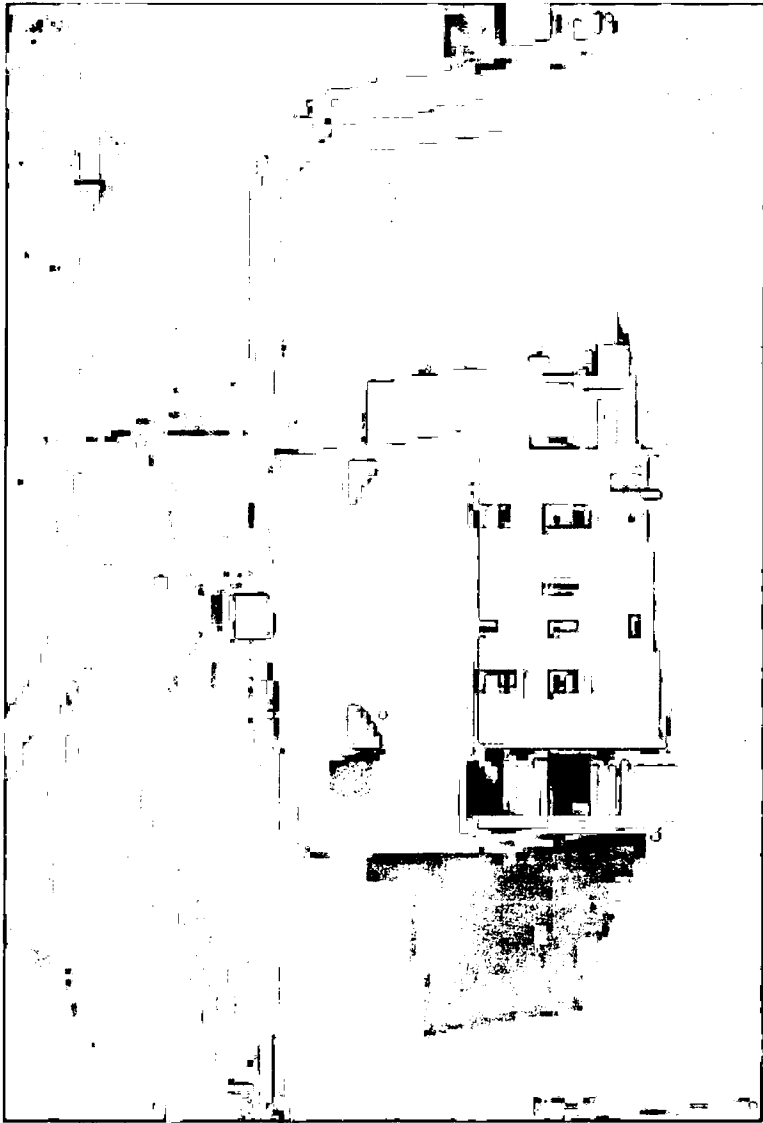
SIGN DETAIL

SIGNS TO BE LIT WITH FLUORESCENT LIGHTS.

SCALE: 1/2"=1'-0"

Ms. Maraline Trager

1 Columbia Ave.
Takoma Park, MD 20912



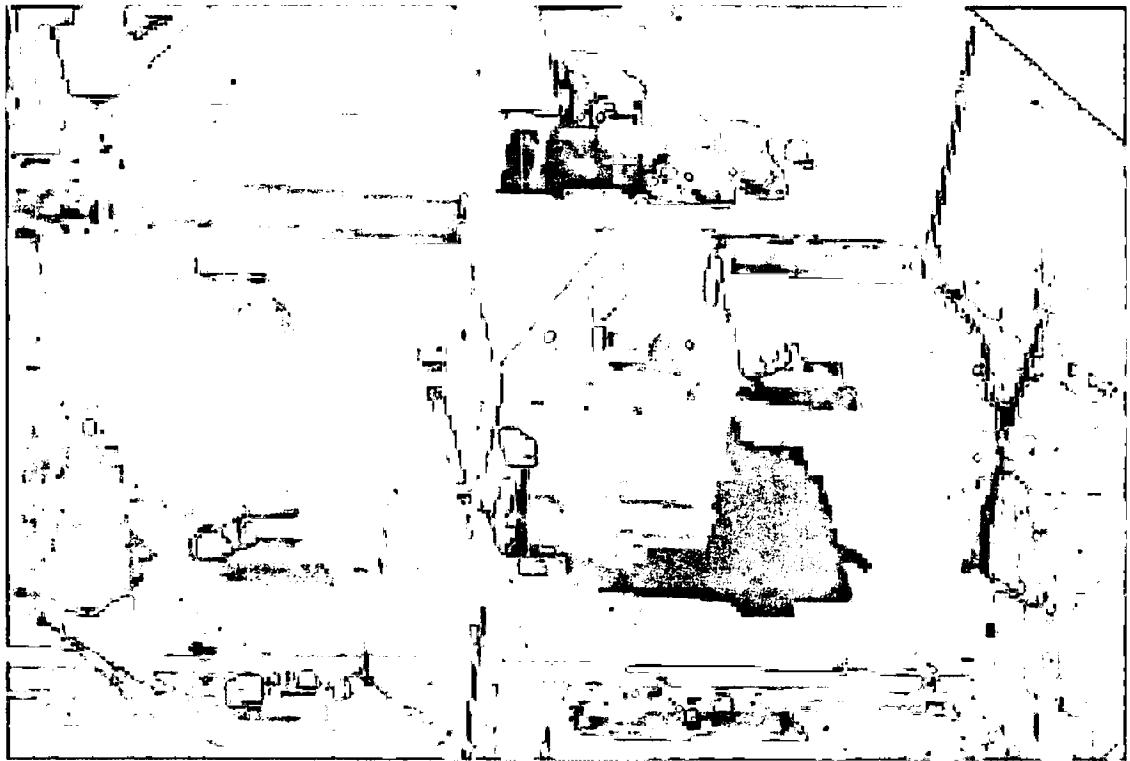
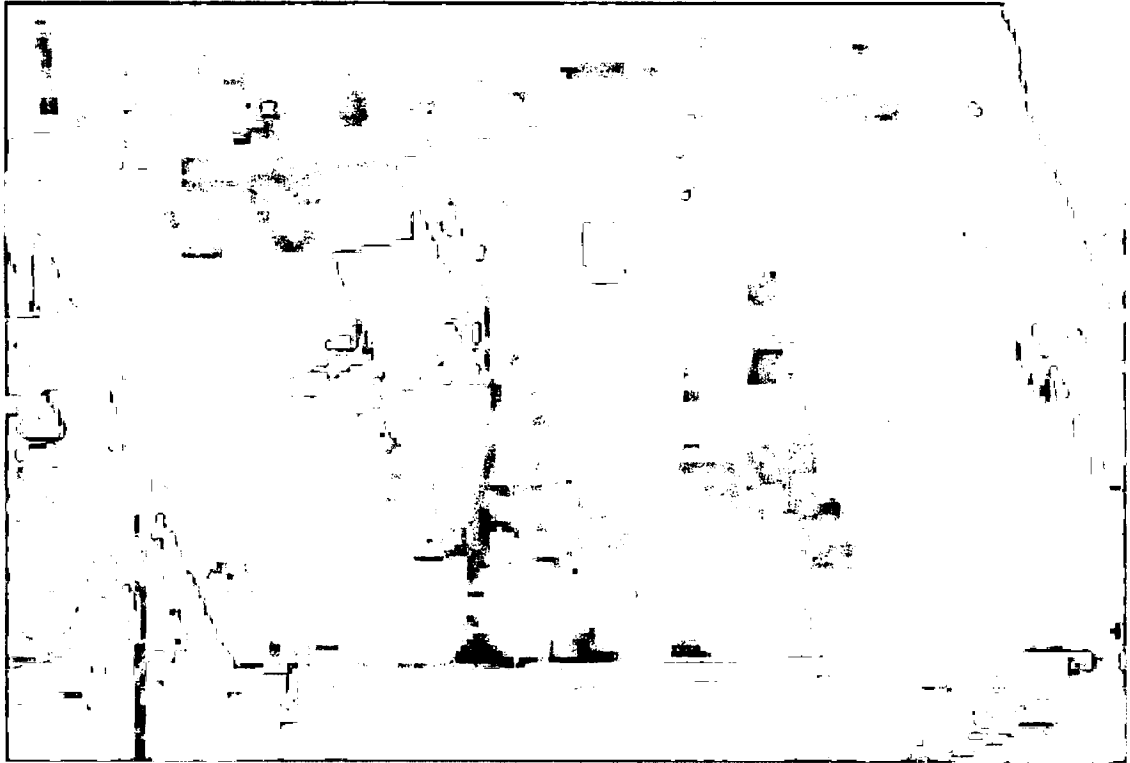




Photo No.1 The front elevation does not presently have an entrance sidewalk. It is proposed to replace the existing bushes in order to place a 4 foot wide sidewalk from the sidewalk at the street to the main entrance of the house as shown on the site plan (drawing page 2 of this application).



Photo No.2 The right side of the house as seen from Columbia Avenue remains unchanged except for the stairs in side the existing rear porch. The proposed rear porch stair would require the removal to the Juniper bush at the rear.

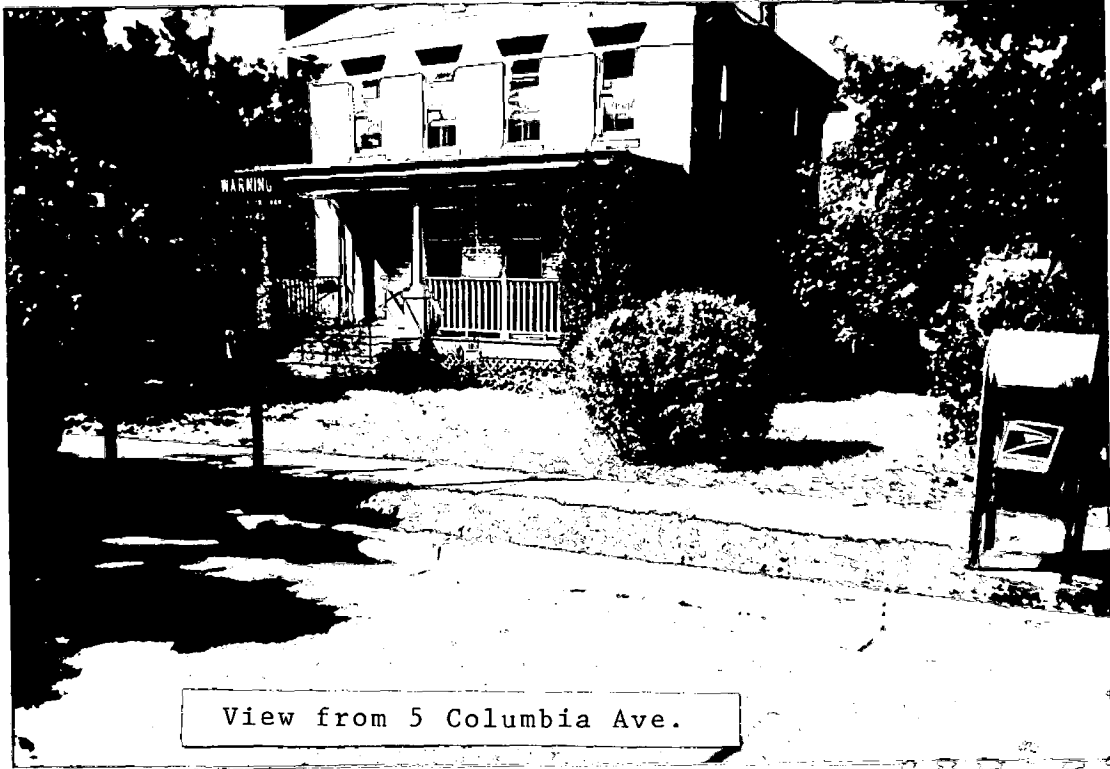


Photo No.3 It is impossible to get a direct picture of the rear of the house due to the limited space at the rear of the house. The only change to take place would be the addition of stairs inside the rear porch area that would run from the ground to the first floor porch and then from the first floor porch to the second floor porch.



Photo No.4 The left side of the house at the parking area would remain unchanged except for the proposed pavers for the parking area.

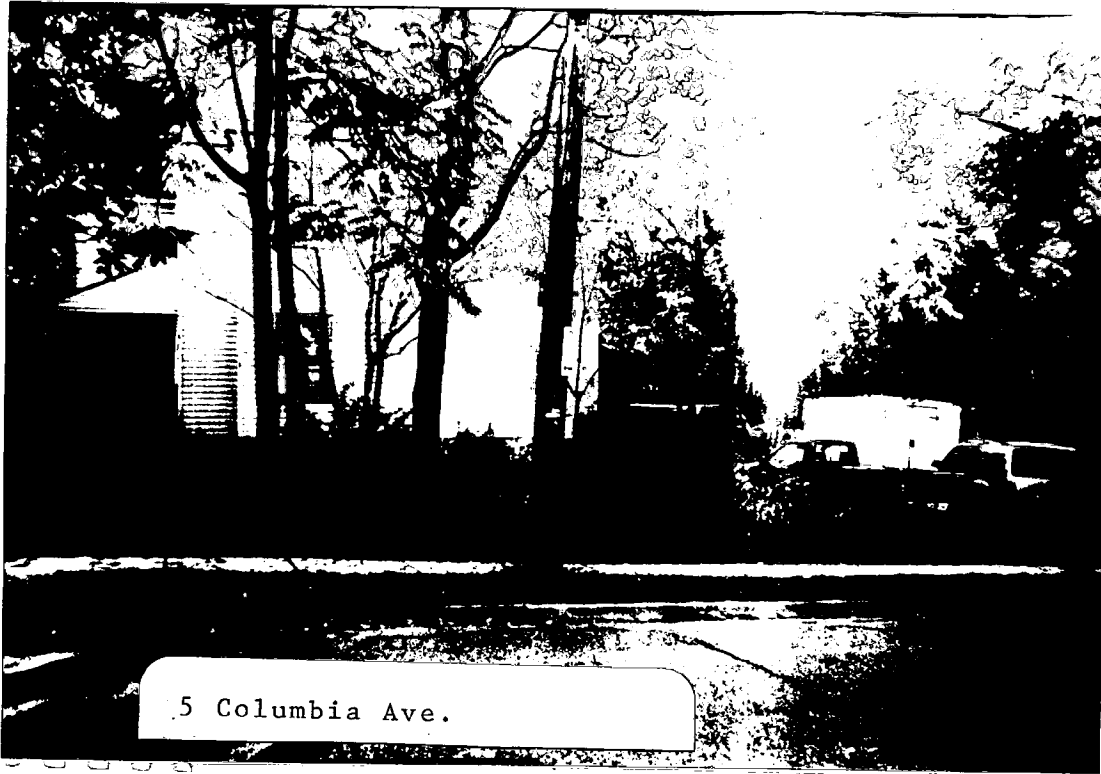
22



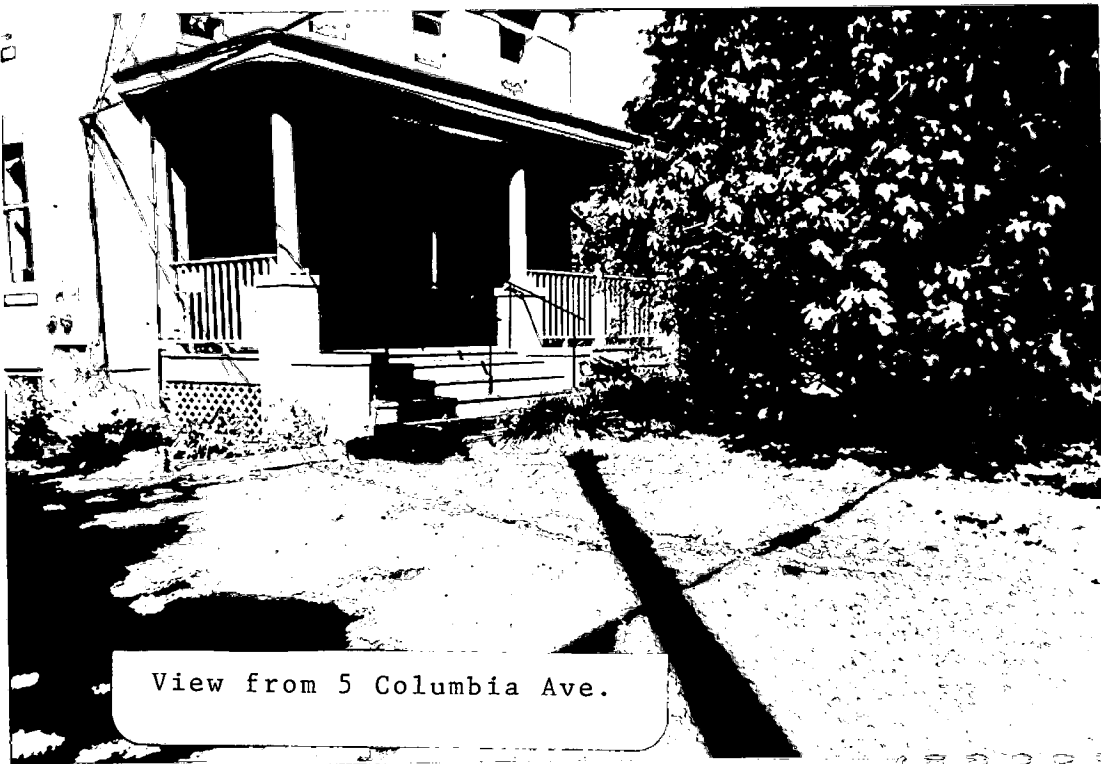
View from 5 Columbia Ave.



7071 Carroll Ave.



5 Columbia Ave.



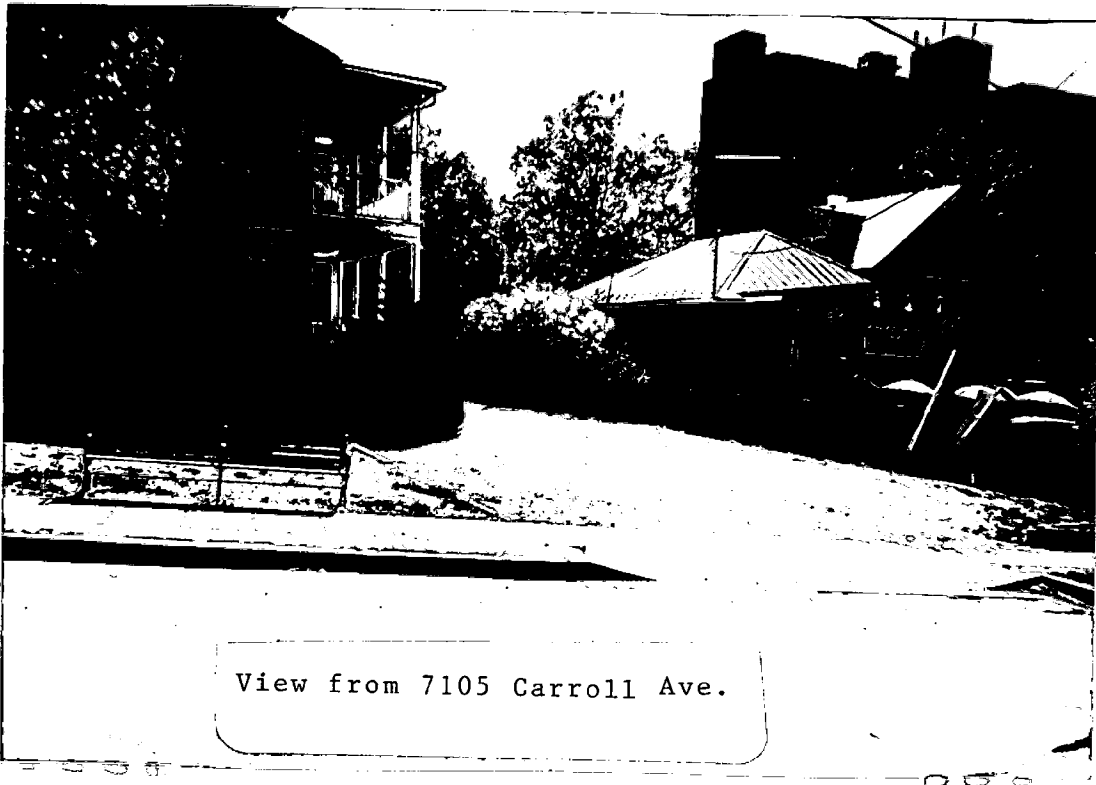
View from 5 Columbia Ave.



View from 5 Pine Ave.



View from 5 Pine Ave.



View from 7105 Carroll Ave.



View from 7105 Carroll Ave.

1 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
2 HISTORIC PRESERVATION COMMISSION

3 ----- X
4 HISTORIC AREA WORK PERMIT - : HPC Case No. 37/03-08V
5 7714 Takoma Avenue : Takoma Park
6 : Historic District
7 ----- X
8 HISTORIC AREA WORK PERMIT - : HPC Case No. 37/03-08X
9 1 Columbia Avenue : Takoma Park
10 : Historic District
11 ----- X
12 HISTORIC AREA WORK PERMIT - : HPC Case No. 31/06-08F
13 10401 Armory Avenue : Kensington
14 : Historic District
15 ----- X
16 HISTORIC AREA WORK PERMIT - : HPC Case No. 35/13-08M
17 21 East Melrose Street : Chevy Chase Village
18 : Historic District
19 ----- X
20 HISTORIC AREA WORK PERMIT - : HPC Case No. 35/129-08A
21 4103 Stanford Street : Master Plan Site #35/129
22 : Davidson House
23 ----- X
24 HISTORIC AREA WORK PERMIT - : HPC Case No. 10/59-08A
25 PRELIMINARY CONSULTATION : Hyattstown
26 25911 Frederick Road : Historic District
27 :
28 ----- X

19 A meeting in the above-entitled matter was held on
20 May 14, 2008, commencing at 7:34 p.m., in the MRO Auditorium
21 at 8787 Georgia Avenue, Silver Spring, Maryland 20910,
22 before:

24 COMMITTEE CHAIRMAN
25 Jef Fuller

Deposition Services, Inc.
6245 Executive Boulevard
Rockville, MD 20852
Tel: (301) 881-3344 Fax: (301) 881-3338
info@DepositionServices.com www.DepositionServices.com

COMMITTEE MEMBERS

Timothy Duffy
David Rotenstein
Leslie Miles
Caroline Alderson
Thomas Jester
Lee Burstyn

ALSO PRESENT:

Joshua Silver
Clare Kelly, Staff
Rachel Kennedy, Staff
Scott Whipple
Anne Fothergill, Staff

APPEARANCES

<u>STATEMENT OF:</u>	<u>PAGE</u>
Melvin Paul	5
Marcy Sickle	11
Wayne Goldstein	11
Lorraine Pearsall	14
George French	11
Mary Lou Shannon	23
Sandy Dembski	23
Wayne Goldstein	27
Chahnaz McRae	31
Maraline Trager	42
Tracy Furman	52
Susan Gallagher	58
Michael Williams	58
Anne Decker	63
Marina Krapiva	78
Donald Frost	91

1 MR. FULLER: Okay. And we have one member of the
2 Commission who has recused themselves because of their
3 association with Montgomery College. Is there any further
4 discussion? All in favor. All opposed? It passes
5 unanimously for those people that voted. Thank you.

6 Next on the agenda is case D, at 1 Columbia
7 Avenue, Takoma Park.

8 MR. SILVER: There is a staff report for 1
9 Columbia. 1 Columbia Avenue is a contributing resource
10 located in the Takoma Park Historic District. I wanted to
11 point out that the Commission received the staff report with
12 a recommendation of continuation.

13 And since the staff reports were submitted or sent
14 in the mail, revised plans have been submitted to staff and
15 given to the Commission at the work session upstairs. So
16 please make sure that you guys are looking at the correct
17 version, the one that was handed out today.

18 The applicant is proposing to add an internal
19 wooden staircase on the south end of the existing rear porch
20 of the property to provide first and second story egress to
21 the rear of the house.

22 The first story of the porch will be accessed by
23 an inset staircase from ground level. The proposed
24 staircase will match the existing stairs and railings on the
25 house. These stairs -- I wanted to point out, too, that
26 these stairs are being requested to accommodate the

1 conversion of this property. While it's presently used for
2 businesses, it is going to be put into a retail commercial
3 use. And perhaps the applicant can speak to that after the
4 staff report.

5 The second element of the proposal is to install a
6 new concrete landing at the rear of the house, install a new
7 four-foot wide concrete sidewalk at the front of the house,
8 and remove an existing metal sign from the right side, which
9 is the north of the property, and replace it with a new
10 wooden sign at a new location on the same side of the house,
11 and installation of pre-cast stone pavers within the limits
12 of the existing gravel parking area at the rear and side of
13 the house.

14 Staff recognizes the desirability of locating
15 additions so as to reduce their visibility from the public
16 right-of-way, and understands this is the applicant's intent
17 by proposing to install an internal staircase unit, rather
18 than an external staircase unit that would be clearly more
19 visible from the public right-of-way.

20 Staff supports the proposed installation of
21 internal staircase unit at this property. Revised proposal
22 locates the staircase on the south end of the porch, which
23 is the least visible from the public right-of-way, and this
24 is a corner lot.

25 Although the historic fenestration pattern of the
26 rear elevation is unclear, it appears some elevations have

1 occurred, locating the staircase on the south of the porch
2 retains the existing non-historic first story door and
3 window in the same location. And the Takoma Park guidelines
4 state that the original size and shape of windows and door
5 openings should be maintained where feasible.

6 Staff also supports the proposed wooden sign
7 installation project at the property. Staff recommends the
8 applicant contact the Department of Permitting Services to
9 ensure the proposed sign complies with the Montgomery County
10 zoning ordinance for permanent sign installations. And I
11 realize that they, or their agent, have already initiated
12 this process to ensure that it is consistent with the
13 ordinance.

14 Staff also supports the installation of the four-
15 foot wide sidewalk at the property. However, staff is
16 recommending the applicant use an exposed aggregate concrete
17 or similar treatment in this location as more historically
18 appropriate.

19 Staff's only concern with the proposal is with the
20 proposed parking area modification. Although it is not
21 uncommon for the HPC to approve the installation of pavers
22 within the limits of an existing driveway, staff does not
23 support the proposed installation of precast pavers at this
24 property.

25 The existing gravel driveway currently covers
26 approximately 75 percent of the existing lot. The

1 installation of the precast pavers in this location would
2 have a major impact on the streetscape of the historic
3 district and/or property that is already undergoing several
4 noticeable modifications.

5 Staff understands the applicant intends to use the
6 property for commercial purposes, and that a more permanent
7 driveway surface is desirable. Staff is not opposed to a
8 more permanent surface, driveway surface at this property;
9 however, the introduction of a more permanent parking area
10 surface should be reduced to mitigate any potential impact
11 to the streetscape of the historic district.

12 Staff recommends the applicant submit a new site
13 plan and landscape plan to the HPC for review and approval
14 after the required number of parking spaces is determined
15 for the proposed commercial use. Any future parking at the
16 property shall not exceed the minimal allowable standard for
17 the size and use of the property.

18 Staff also encourages the applicant to consider a
19 parking program that is confined to the rear of the
20 building, and utilize landscaping to buffer the impact of
21 the parking on the streetscape of the historic district and
22 adjacent properties.

23 I do have a few slides that I can share with you.
24 So this area right in here is the area that we are talking
25 about for the proposed internal staircase. So to start,
26 this is an existing area way down into the basement level

1 or below the first story porch into the basement. And these
2 are just some general streetscape shots. And those are all
3 the photos I have.

4 MS. MILES: I have a question, Josh. Is there any
5 reason that gravel would be inconsistent with accessibility
6 requirements?

7 MR. SILVER: Not to my knowledge. I don't think
8 so. I think the gravel could remain at the property.

9 MR. FULLER: Are there any other questions for
10 staff? If you would like to state your name for the record.
11 Welcome.

12 MS. TRAGER: Thank you. My name is Maraline
13 Trager, and I own the property at 1 Columbia Avenue.

14 MR. FULLER: Do you have any comments on the staff
15 report, or would you like to make a presentation, or are you
16 available for questions?

17 MS. TRAGER: I would like to make a comment in
18 reference to the parking area. I think the gravel is not
19 attractive. 75-100 years ago cobblestone streets were quite
20 common. I am suggesting that I be allowed to consider
21 putting precast stone pavers. I think they are consistent
22 with the period of the house, and I think they would be more
23 attractive than gravel. That's all. I'm open to questions.

24 MR. FULLER: Are there questions for the
25 applicant? Question, Josh. You made a comment about that
26 you want to see the parking kept to a minimum. This

1 property being in Takoma Park probably has several different
2 ways you could look at minimal parking. Are you saying you
3 want them to take advantage of all mixed use reductions and
4 reductions for being close to Metro? Or are you saying that
5 you want them to look at the basic parking by use and
6 straight out of the zoning ordinance?

7 MR. SILVER: The second, basic parking by use. I
8 mean, it's currently a C-1. It's zoned commercial 1 right
9 now. But as it stands right now, having gone out to the
10 property, you know, I like the fact that there are no
11 defined parking spaces there right now, but if the intended
12 use of this is a commercial or retail property, is that
13 correct, Ms. Trager?

14 MS. TRAGER: Correct. Yes.

15 MR. SILVER: Right. I mean, perhaps some
16 consideration needs to be given to parking, if the
17 Commission is willing to entertain the possibility of a more
18 permanent surface.

19 And my comment is just rather than as the proposal
20 indicates, as the proposal indicates that, you know, it
21 shows about almost 75 percent of that would be precast stone
22 pavers. And what staff would like is just maybe a more
23 reduced area or a combination of precast stone pavers with
24 some level of landscaping so we don't have an entirely paved
25 area back there.

26 MR. FULLER: I guess all I was getting to is,

1 within the County code you have basic parking requirements.
2 And in an urban area with a mixed use scenario, you can
3 almost reduce the parking required by almost 40 to 50
4 percent, depending on exactly the distance from Metro. And
5 if your objective is to really maximize the amount of green
6 area, you go that way. Obviously, most people want to have
7 as much parking as is possibly available for their tenants.
8 What's the objective?

9 MS. ALDERSON: I can also some comments. It's a
10 local property. This property has actually had either an
11 institutional or commercial function for many, many years.
12 It was the city hall for a little while in the fifties. And
13 it was a cache that I used to go to. And I think the
14 neighborhood is pretty well set on this being a commercial/
15 institutional property.

16 So I can speak in support of the community's
17 general acceptance that they don't expect it to look like a
18 residential property.

19 I think there is an opportunity here, though -- I
20 think one of the particular challenges at this one that may
21 be argued against completely eliminating the parking, and
22 that is that this particular location is a very challenging
23 traffic location. It's the one that the city is
24 considering. It's going round about.

25 And actually on the preservation perspective, we
26 are not real strong on that, because it will wipe out,

1 protection will wipe out some properties. But this location
2 near Carroll, close to Carroll can be difficult to get in
3 and out of. And so I think your parking plan right now
4 allows you more than one way to get in and out, is that
5 correct?

6 MS. TRAGER: Oh, definitely.

7 MS. ALDERSON: So I know that's probably going to
8 be a continuing concern is to make sure there is more than
9 one way to get in and out of the lot.

10 But what I do think, and what I would like to see
11 you take a moment to represent, and I'd like to encourage a
12 continuance, is that there is -- I would entertain a more
13 permanent surface than gravel, and knowing that it can be
14 hard to maintain attractively. It really can. But I would
15 like to encourage an earthen color, whether it's brick or
16 it's pavers.

17 We do have other historic properties that have
18 beautiful brick driveways, and some have, I'd say, the
19 quarry tile or earthen color pavers, something that gets
20 closer to brick, rather than gray. I think an earthen color
21 paver may look, actually, more natural and sympathetic than
22 the gravel does, which is actually pretty harsh right now.
23 It looks kind of harsh and kind of industrial.

24 And what I would like to do is see you take an
25 opportunity to think about where you can get a little green
26 in along the edge, because it would just terrifically

1 beautify it. Because right now, it's not really a rustic
2 look. It's a little more industrial look. And I think you
3 are taking the lead on finding a way to accept that it has
4 parking and beautify that, is a great idea.

5 MS. TRAGER: I would like to add one other
6 comment, and that is, unfortunately my lot tends to share
7 parking with the Savory Café. People who come to Savory and
8 don't want to drive all the way to the back of that building
9 pull right into my building and will park along there.

10 And so I need all the parking spaces I can get,
11 because I would say, this goes on on a daily basis, seven
12 days a week. And it is one of the, you know, there is
13 nothing you can do about it. It's one of the existing
14 situations with a commercial property. But because of that,
15 I really need all the existing parking that I can eke out of
16 that lot.

17 MS. ALDERSON: I can say, as someone that is very
18 familiar with the area, that is a reality of this area. The
19 Savory has activities that do spill over. And it's a
20 problem, actually, with all of these businesses right here,
21 because theoretically they are near Metro, but the way
22 people in the neighborhood use them is driving up and
23 parking. And so that's probably a reality we just need to
24 be aware of.

25 MS. TRAGER: Well, their parking is in the back,
26 and mine is so obviously in the front, and so it is very

1 easy to pull into mine and just walk around the fence and go
2 right into the neighboring. And I can't blame them.

3 MR. FULLER: Are there any additional questions
4 for the applicant or staff?

5 MS. MILES: I have a comment.

6 MR. FULLER: Then let's move into deliberations.
7 Thank you.

8 MS. MILES: I would just like to say, I would also
9 support changing the gravel out for a more easily maintained
10 and hopefully attractive surface. I agree with Commissioner
11 Alderson in terms of the color, but I would also suggest
12 that it be permeable and not be just a giant runoff area.

13 MS. ALDERSON: I agree.

14 MS. MILES: But I do think that in return for
15 that, I would expect there to be some landscaping. I mean,
16 this is a very stark looking site. I wouldn't want you to
17 lose your double ingress/egress. There is a way, though, to
18 keep other people from parking on your property, which is to
19 post signage saying that parking is limited to the use of
20 this business and others will be ticketed or towed.

21 MS. TRAGER: Not really.

22 MS. ALDERSON: Not in Takoma Park.

23 MS. MILES: Okay. that's fine. I will defer to
24 the Takoma Park residents. But I would really like to see
25 landscaping in return for that. This is a very, as you
26 said, Commissioner Alderson, a very industrial looking site,

1 this one. And I have no objections to any of the other
2 stairs or any of the other recommendations of staff.

3 MR. DUFFY: I have a comment. I do, I tend to
4 agree with both Commissioners who have already spoken. I
5 think there are opportunities for a little bit of green
6 space. For example, at the two curb cuts where the vehicles
7 enter the parking lot, I think on either side of the curb
8 cut you could have a few feet of planting that would be
9 enough in which to put some trees and shrubs.

10 And that alone, even if you didn't do any other
11 green space in the rest of the parking area, that would just
12 take a couple percentage of the parking area, and enough to
13 get a tree at the street on either side, and some shrubs at
14 the entry to the parking would screen that lot from the
15 public right-of-way. I think you can get a pretty big bang
16 for your buck without losing parking, or maybe losing two
17 spots.

18 So I would encourage you to look at that and plan
19 and try to work with staff to achieve that.

20 MR. FULLER: Is there, are there any other
21 comments? I would just echo the comments of the other
22 Commissioners. I tend to believe that I would accept a
23 paver type of an approach. And I also tend to believe that
24 if the parking lot is designed and it goes through DPS, the
25 permit or landscaping requirements, the internal parking lot
26 landscaping requirements, and if we do take the parking down

1 to even the County minimum parking, I think we're going to
2 see a lot more landscaping on the site than is currently
3 there right now. And I do encourage that.

4 At this point, I've heard words of continuance.
5 I've heard words of approval. And there is a slightly a
6 difference of opinion as to materials for the paving. But
7 could we hear a motion and see how it stacks up?

8 MS. ALDERSON: What I'd like to ask is if the
9 applicant is willing to continue it? That's an easier way
10 to pursue modifications than going through a vote.

11 MR. SILVER: Can the Commission consider approval
12 of everything less than the driveway, as the staff report
13 indicates? The condition is to submit a new site plan and
14 landscape plan to the HPC for review and approval?

15 MS. ALDERSON: Absolutely. I'm happy to move
16 that. I'll make a motion that we approve all of the
17 construction with the exception of the paving on which we
18 understand the applicant will seek a continuance to
19 integrate some landscaping with the paving plan, and chose a
20 product that will blend with the area.

21 MR. FULLER: Is there a second?

22 MS. MILES: Second.

23 MR. FULLER: Any further discussion? For the site
24 plan are we saying it comes back to staff or comes back to
25 the Commission?

26 MS. ALDERSON: For a continuance, so that we could

1 discuss it here, but with a continuance you are on a shorter
2 time frame.

3 MR. FULLER: All in favor? It passes unanimously.
4 Thank you very much.

5 MS. TRAGER: Thank you, too.

6 MR. FULLER: The next case this evening is case J
7 at 10401 Armory Avenue, Kensington. Is there a staff
8 report?

9 MR. SILVER: Yes, there is. I do have a very
10 brief staff report. 10401 Armory Avenue is a secondary
11 resource located within the Kensington historic district.

12 The applicant is proposing to remove 71 non-
13 historic metal windows from the subject property and install
14 new vinyl casement windows in the same openings. Staff
15 supports the proposed window replacement project.

16 The subject property is a secondary resource, and
17 it contains non-historic windows. The removal of these
18 windows and the installation of casement windows will have
19 no adverse impact on the structure or the streetscape of the
20 historic district.

21 Staff is recommending that the Commission approve
22 this historic area work permit application.

23 MR. FULLER: Are there questions for staff? Does
24 the applicant want to make a presentation?

25 MS. FURMAN: No thank you.

26 MR. FULLER: Okay. Are there questions or

Silver, Joshua

From: Fothergill, Anne
Sent: Wednesday, June 11, 2008 11:52 AM
To: Silver, Joshua
Subject: FW: Facade Advisory Board

Here is Ilona's email...

From: Ilona Blanchard [mailto:IlonaB@takomagov.org]
Sent: Wednesday, April 30, 2008 1:21 PM
To: Fothergill, Anne
Subject: RE: Facade Advisory Board

nope - sorry - I just saw this now - Our next FAB meeting is probably May 13th.

Ilona

>>> "Fothergill, Anne" <Anne.Fothergill@mncppc-mc.org> 4/25/2008 10:37 AM >>>

Does the FAB need to review proposed signage for 1 Columbia (retail space in house at corner of Pine behind Savory)?
If so, we have received a HAWP for this.

thanks,
Anne

-----Original Message-----

From: Ilona Blanchard [mailto:ilonab@takomagov.org]
Sent: Friday, April 25, 2008 10:00 AM
To: Fothergill, Anne
Subject: RE: Facade Advisory Board

yes - I can send you the recommendation on Tuesday - I think they were approved with whatever John decides, although with tons of discussion as the sign is misleading given that it is over Shampoos door.

Ilona

Ilona Blanchard
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>>> "Fothergill, Anne" <Anne.Fothergill@mncppc-mc.org> 04/24/08 2:22 PM

>>>

Hi Ilona,

Did the façade Advisory Board review additional signage at 7007-9 Carroll Avenue (John Urciolo)? It is for The Still Point and another sign on the front and side of the building.

thanks,

Anne

Anne Fothergill
Planner Coordinator
Montgomery County Planning Department
Countywide Planning--Historic Preservation Section
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Silver Spring, MD 20910
301-563-3400 phone
301-563-3412 fax
<http://www.mc-mncppc.org/historic/>



Photo No.1 The front elevation does not presently have an entrance sidewalk. It is proposed to replace the existing bushes in order to place a 4 foot wide sidewalk from the sidewalk at the street to the main entrance of the house as shown on the site plan (drawing page 2 of this application).



Photo No.2 The right side of the house as seen from Columbia Avenue remains unchanged except for the stairs in side the existing rear porch. The proposed rear porch stair would require the removal to the Juniper bush at the rear.



Photo No.3 It is impossible to get a direct picture of the rear of the house due to the limited space at the rear of the house. The only change to take place would be the addition of stairs inside the rear porch area that would run from the ground to the first floor porch and then from the first floor porch to the second floor porch.



Photo No.4 The left side of the house at the parking area would remain unchanged except for the proposed pavers for the parking area.