

37/3-071 7 COLUMBIA AVE

Takoma Park Historic District



HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

Julia O'Malley  
Chairperson

Date: March 06, 2007

MEMORANDUM

TO: Joshua Lamel & Meredith Persiy  
7 Columbia Ave, Takoma Park

FROM: Anne Fothergill, Senior Planner *(AF)*  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit Application #443888

Your Historic Area Work Permit (HAWP) application for screened porch and deck was Approved with Conditions by the Historic Preservation Commission at its February 28, 2007 meeting.

The conditions of approval were:

- 1. The applicant will need to submit accurate plans and elevations for stamping.

Before applying for a building permit from the Montgomery County Department of Permitting Services (DPS), you must schedule a meeting with your assigned staff person to bring your three (3) final permit sets of drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although the Historic Preservation Commission has approved your work, it may also need to be approved by DPS or another local government office before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings, the official approval letter, and the signed HAWP Application. These forms will be issued when the drawings are stamped by your assigned staff person and are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, you must contact the Historic Preservation Commission staff at 301-563-3400. After your project is completed, please send photos of the finished work to HPC staff.

Thank you very much for your patience and good luck with your project!



# COLUMBIA AVENUE

S. 32°40'33"E. - 51.66 (COMP)

(8)

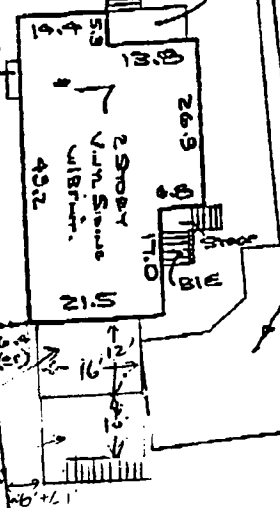
S. 07°15'E. - 196' (PART) - 198' (MEASURE)

LOT 16

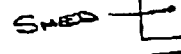
7.07°15'W.

LOT 14

12'x16' SWEET PORCH  
10'x16' DECK



LOT 15  
10175



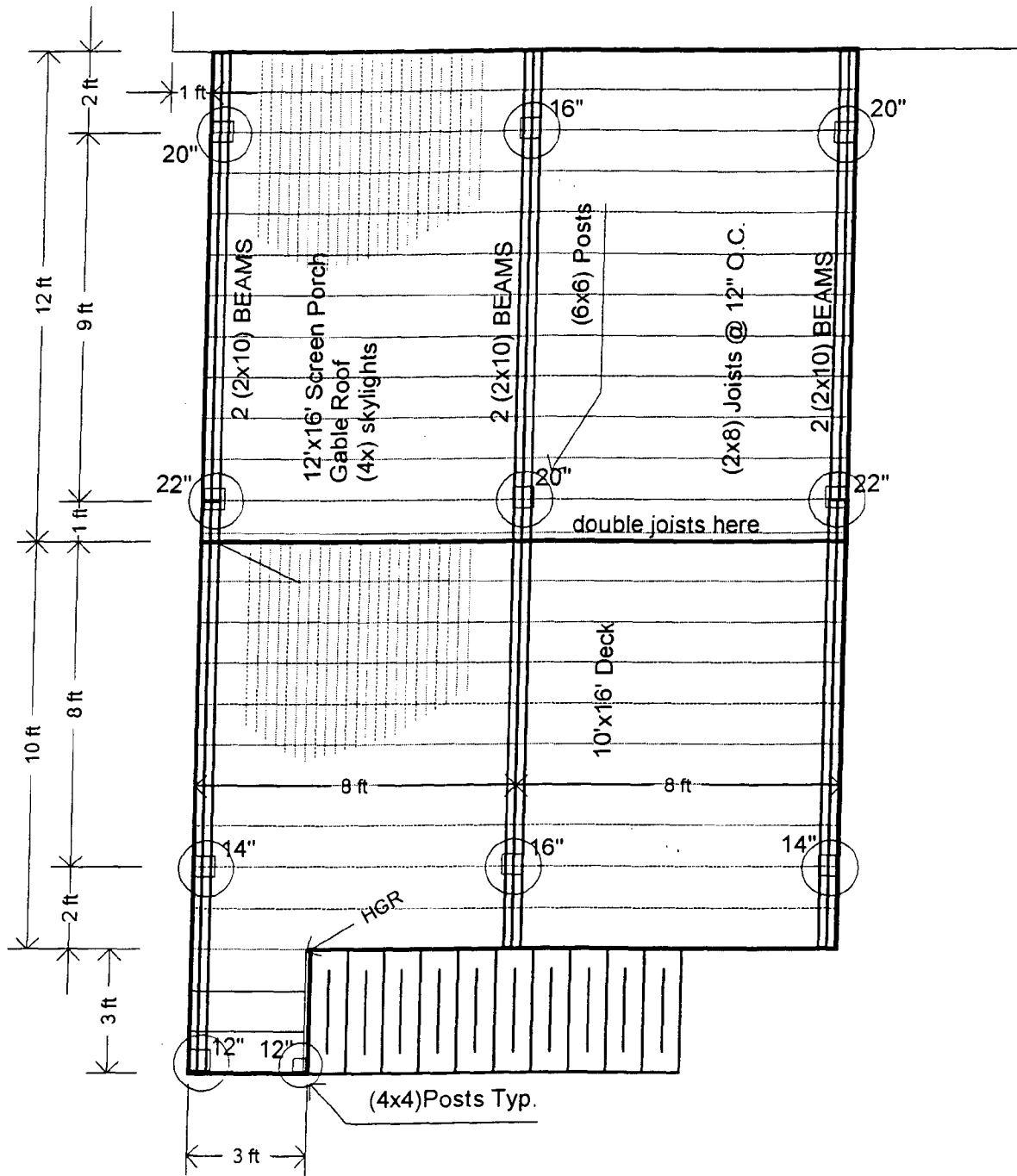
S. 82°25'W. - 50'  
0.95' (ft) 0.45' (ft)

LOT 4

LOT 5

LOT 3

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Julia O'Malley*  
9-207

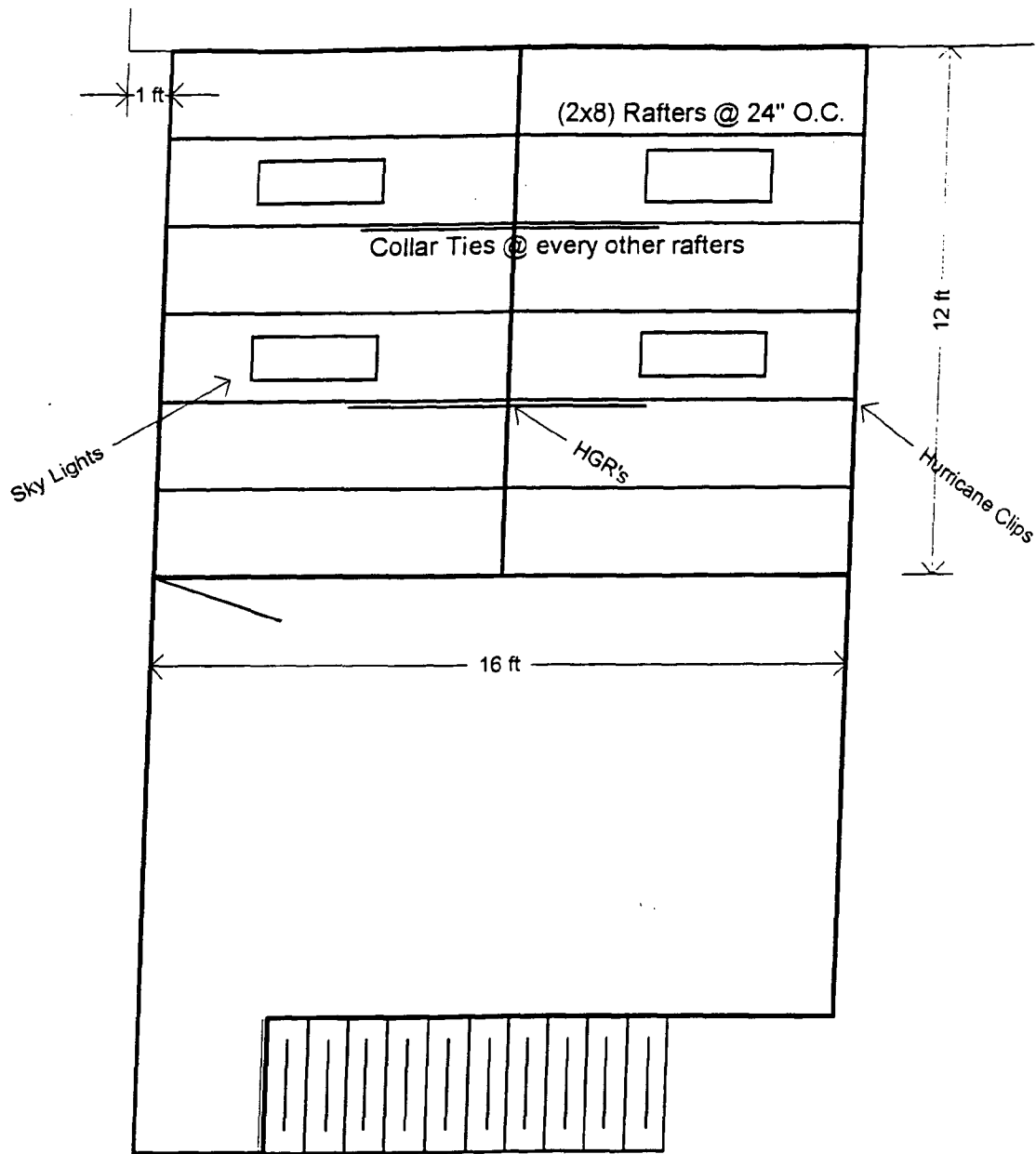


- ELEVATION: 7 to 8 Feet
- RAIL TYPE: Sweeper
- RAIL CAP: Evergrain Cap on wood rail
- DECKING: Evergrain (Cedar Color)
- PATTERN: Straight
- STEPS: (approx. 10x) 3' wide steps  
3'x3' top landing
- LIGHTS: (4x) low voltage, black dome lights
- OTHER: (4x) skylights for the 12'x16' screen porch



PO Box 817, College Park, MD 20741

TITLE 7 Columbia Avenue Takoma Park, MD 20912 (MC) 30-270-4363 202-246-1400	SIZE	Customer Name	REV
	A	Lamel, Joshua and Meredith	
SCALE	1/4"=1'	Date	10/20/06
		SHEET	1 of 2



# ROOFING DIAGRAM

12'x16' SCREENPORCH  
 ROOF: Asphalt Shingles (Black)  
 ROOF STYLE: Gable Roof  
 SCREEN: Yes  
 OTHER: (4x) sky lights  
 FLOORING: Evergrain floor same as deck



PO Box 817, College Park, MD 20741

TITLE 7 Columbia Avenue Takoma Park, MD 20912 (MC) 30-270-4363 202-246-1400	SIZE	Customer Name	REV
	A	Lamel, Joshua and Meredith	
SCALE 1/4"=1'		Date 10/20/06	SHEET 2 of 2



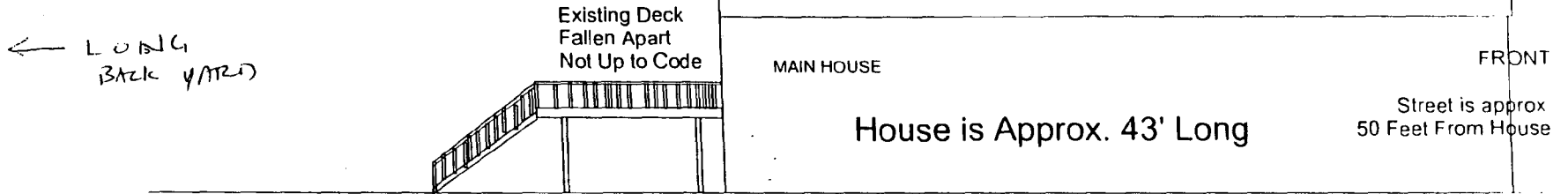
7 Columbia Avenue  
Takoma Park, MD 20912

SIZE	Customer Name	REV
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SCALE	Date	SHEET
1/4"=1'	2/15/07	1 of 2

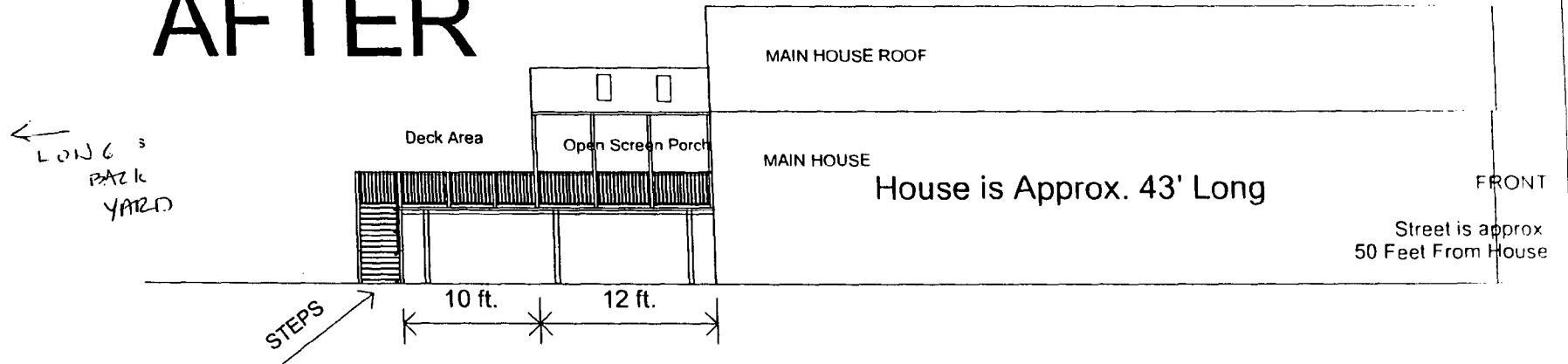
5110 Roanoke Place, College Park, MD 20740

### SIDE ELEVATION VIEW OF STRUCTURE

# BEFORE

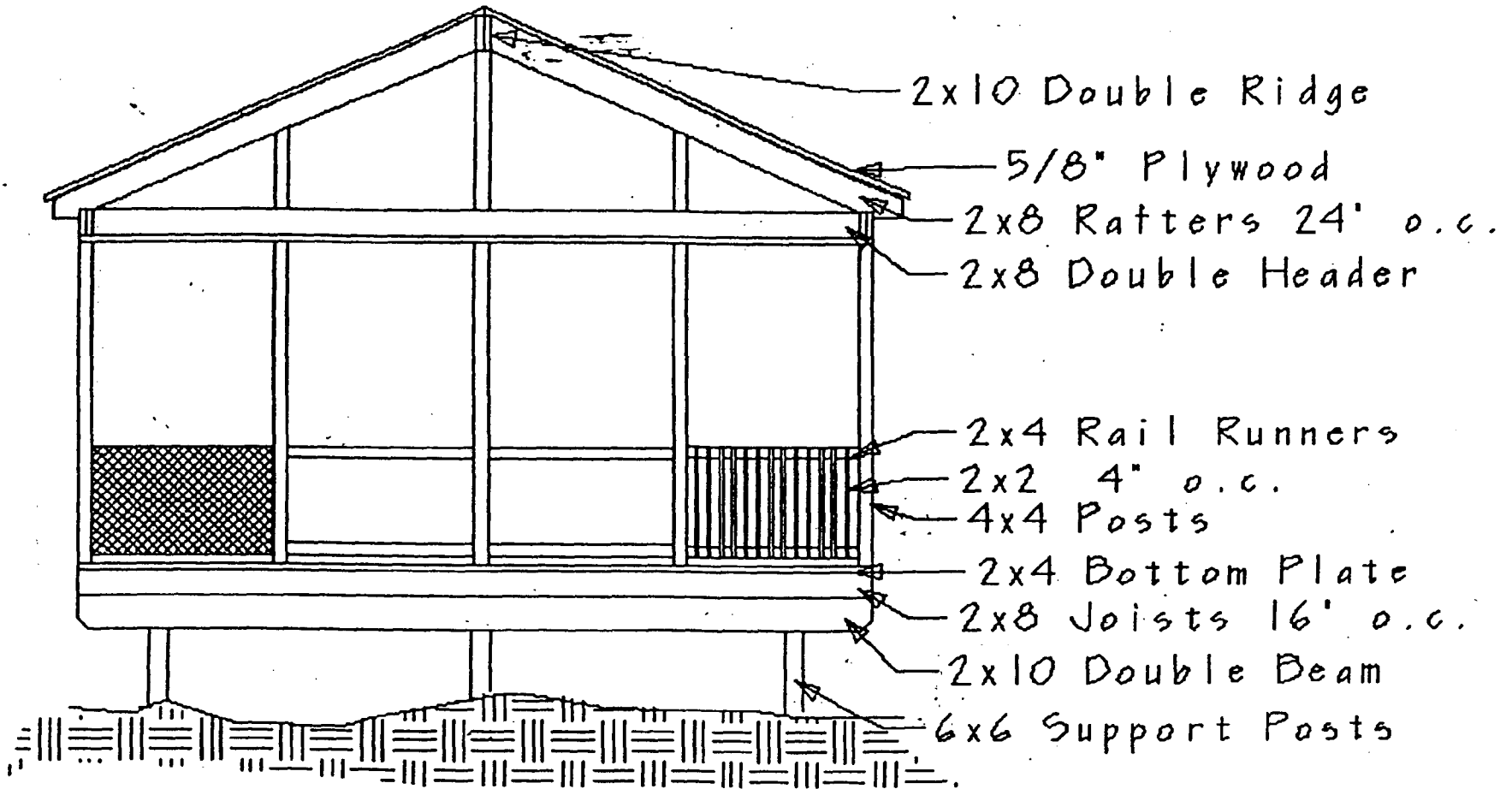


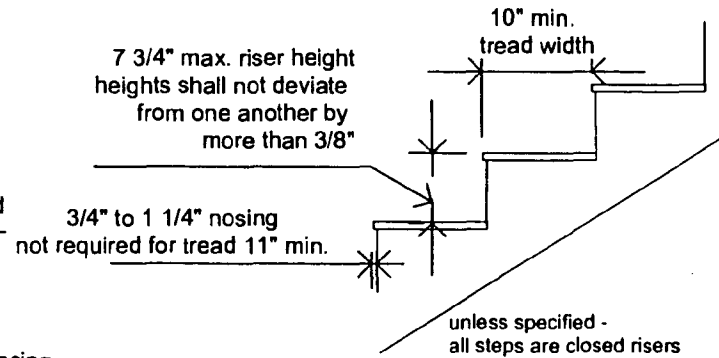
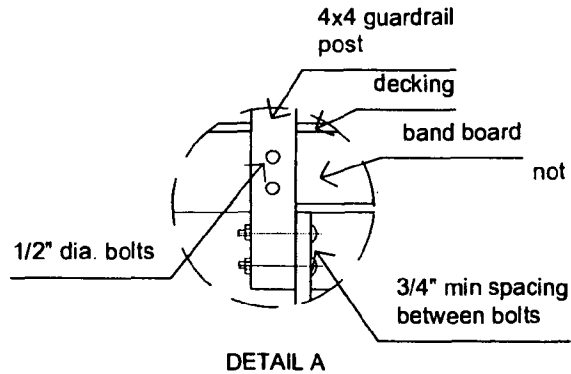
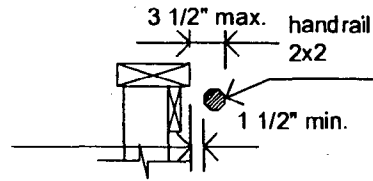
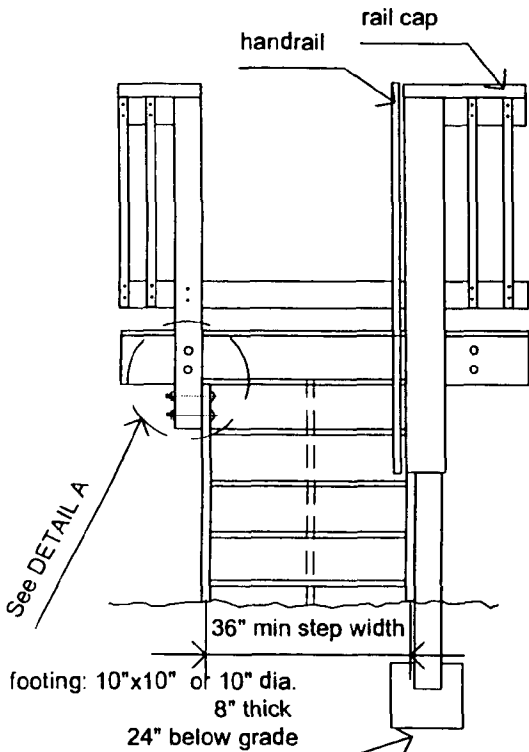
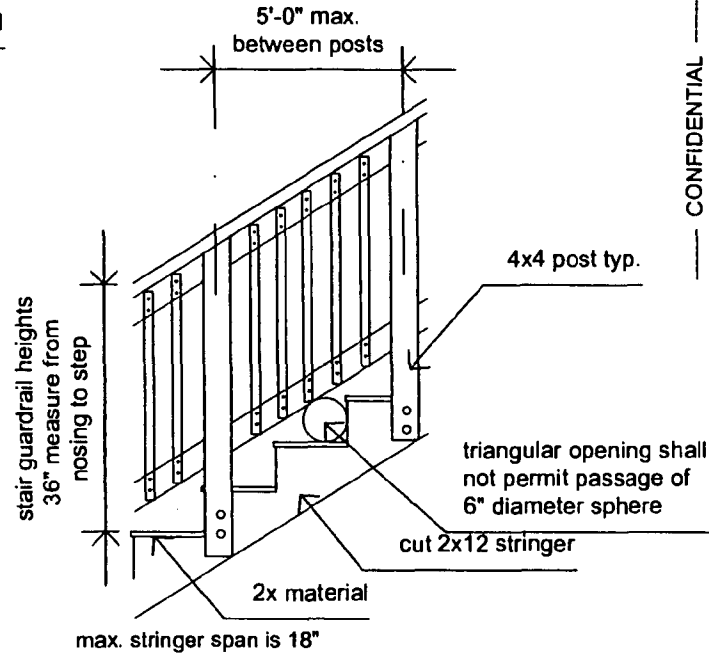
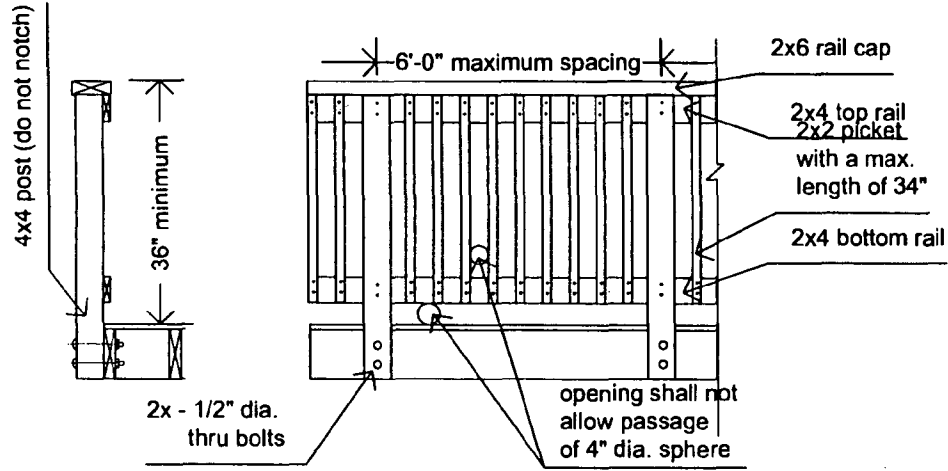
# AFTER



# SCREENED PORCH DETAIL

## GABLE ROOF





CONFIDENTIAL  
 For use by PROBUILT DECK & FENCE, LLC only  
 All other use or mis-use is prohibited

PO Box 817, College Park, MD 20741



6/20/06

General Details 2: Rails and Steps

Date: 6/30/06

Title



----- CONFIDENTIAL -----  
 For use by PROBUILT DECK & FENCE, LLC only  
 All other use or mis-use is prohibited

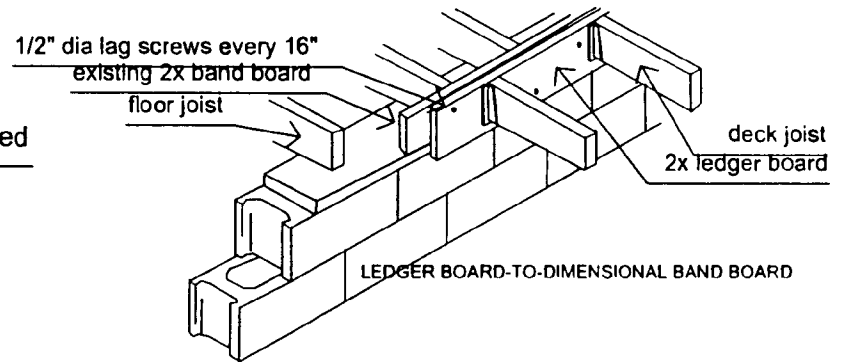
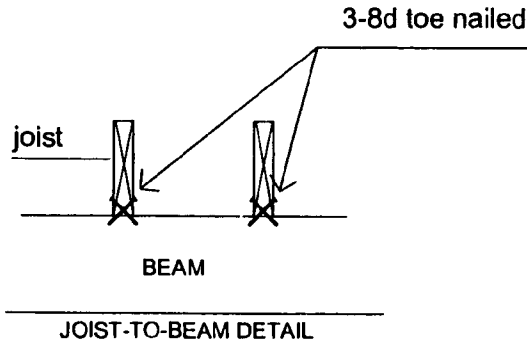
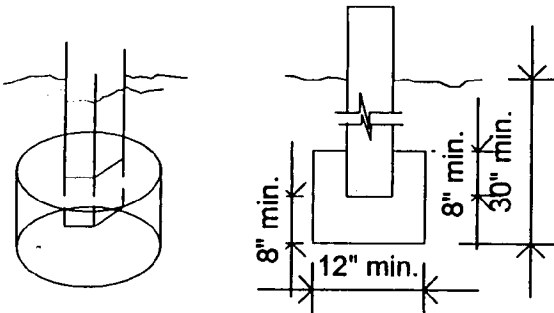
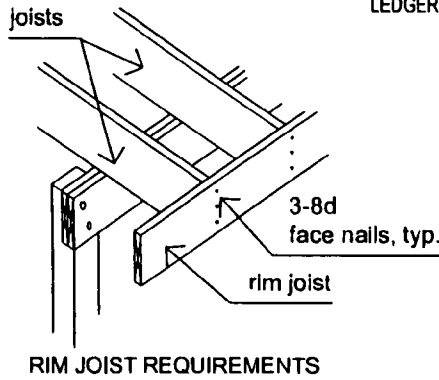
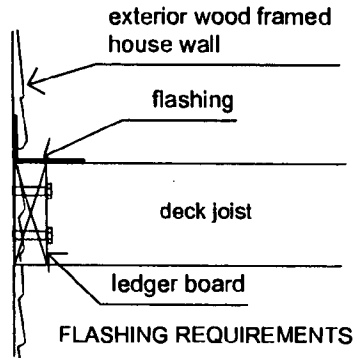
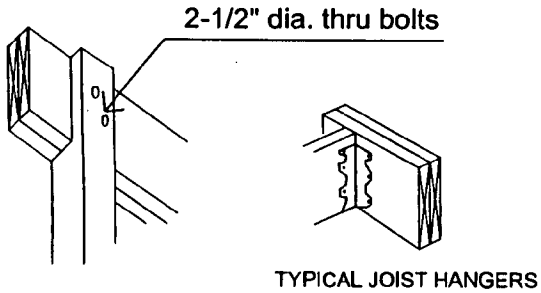
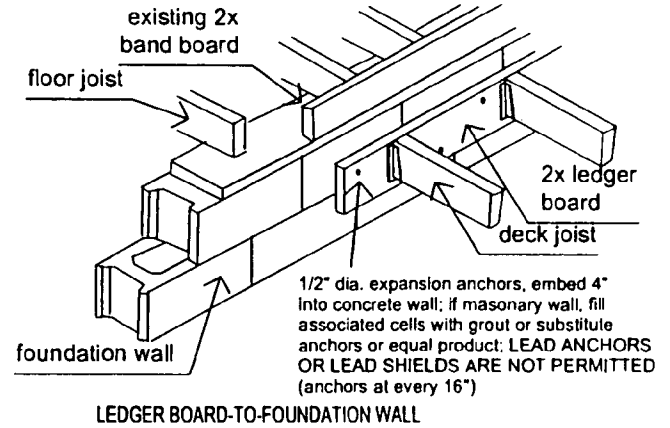
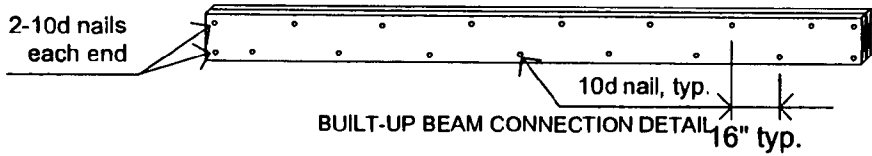
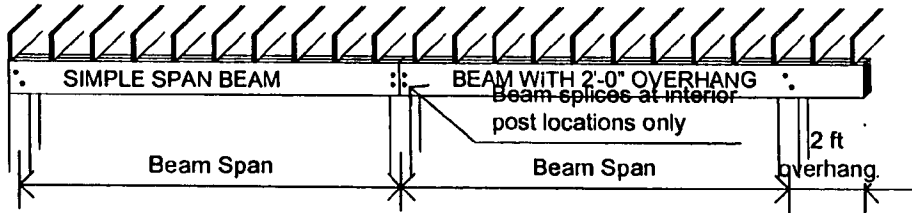


PO Box 817, College Park, MD 20741

TITLE

# GENERAL DETAILS 1

6/20/2006



**ICC Evaluation Service, Inc.**  
www.icc-es.org

Business/Regional Office ■ 5360 Workman Mill Road, Whittier, California 90601 ■ (562) 699-0543  
Regional Office ■ 900 Montclair Road, Suite A, Birmingham, Alabama 35213 ■ (205) 599-9800  
Regional Office ■ 4051 West Flossmoor Road, Country Club Hills, Illinois 60478 ■ (708) 799-2305

**DIVISION: 06—WOOD AND PLASTICS**  
**Section: 06500—Structural Plastics**  
**Section: 06610—Plastic Railings and Guards**

**REPORT HOLDER:**

**EPOCH COMPOSITE PRODUCTS, INC.**  
**A TAMKO COMPANY**  
**223 SOUTH HIGHWAY KK**  
**LAMAR, MISSOURI 64759**  
**(417) 682-9560**  
[www.evergrain.com](http://www.evergrain.com)  
[info@evergrain.com](mailto:info@evergrain.com)

**EVALUATION SUBJECT:**

**EPOCH EVERGRAIN WOOD-THERMOPLASTIC  
COMPOSITE DECK BOARDS AND GUARDRAIL SYSTEMS**

**1.0 EVALUATION SCOPE**

Compliance with the following codes:

- 2003 *International Building Code*® (IBC)
- 2003 *International Residential Code*® (IRC)
- 1997 *Uniform Building Code*™ (UBC)

Properties evaluated:

- Structural properties
- Surface-burning characteristics
- Durability

**2.0 USES**

The EPOCH Evergrain Decking described in this report is recognized for exterior use for balconies, porches, decks, stair treads and other walking surfaces of combustible construction. The EPOCH Evergrain guardrail systems described in this report are recognized for exterior use for balconies, porches and decks, of Group R Occupancy buildings of Type V-B (IBC) and Type V-N (UBC) construction and structures constructed in accordance with the IRC.

**3.0 DESCRIPTION****3.1 General:**

EPOCH Evergrain Decking, Traditional Railing system components and the 2×4 Traditional Railing system components are manufactured by a compression molding process in accordance with the approved quality control manual. The Designer Railing system is manufactured by an extrusion process in accordance with the approved quality control manual. The EPOCH Evergrain Decking and guardrail systems consist of wood fibers, polyethylene, fillers and

colorants as described in the manufacturer's quality control manual.

**3.2 Deck Board:**

**3.2.1 General:** EPOCH Evergrain decking is manufactured in solid sections having the nominal sizes of 1-by-6 [actually 0.94 inch by 5.50 inches (23.9 by 140 mm)], 2-by-4 [actually 1.44 by 3.50 inches (37 by 89 mm)], and 2-by-6 [actually 1.44 by 5.50 inches (37 by 140 mm)]. The average installed weights of 1-by-6 and 2-by-6 EPOCH Evergrain decking are 5.3 psf and 8.2 psf (0.25 and 0.39 kN/m<sup>2</sup>), respectively.

**3.2.2 Durability:** When subjected to weathering, insect attack, and other decaying elements, material used to manufacture the EPOCH Evergrain decking is equivalent to preservative-treated or naturally durable lumber when used in locations described in Section 2.0 of this report. EPOCH Evergrain decking has been evaluated for a temperature range from -20°F (-29°C) to 130°F (54.4°C).

**3.2.3 Surface-burning Characteristics:** When tested in accordance with ASTM E 84, EPOCH Evergrain decking has a flame-spread index of no greater than 200.

**3.3 Guardrail System:**

**3.3.1 Traditional Railing:** The EPOCH Evergrain Traditional Railing system is manufactured to a height of 42 inches (1067 mm) and a rail length of 68 inches (1727 mm). The top cap rail is a combination of a nominally 2-by-6-inch [actually 1 inch by 5½ inches (25 by 140 mm)] solid cap rail and a nominally 2-by-4-inch [actually 1.44 by 3.50 inches (37 by 89 mm)] top side rail. The bottom side rail is a nominally 2-by-4-inch [actually 1.44 by 3.50 inches (37 by 89 mm)] solid board. The balusters are nominally 2-by-2-inch [actually 1.5 by 1.5 inches (37 by 37 mm)] solid components. See Figure 2 for typical component cross sections.

**3.3.2 2×4 Traditional Railing:** The EPOCH Evergrain 2×4 Traditional Railing System is manufactured to a height of 42 inches (1067 mm) and a rail length of 68 inches (1727 mm). The assembly is similar to the Traditional Railing system with the exception that the top rail terminates at a newel post (supplied by others). See Figure 2 for typical component cross sections.

**3.3.3 Designer Railing:** The EPOCH Evergrain Designer Railing system is manufactured to a height of 42 inches (1067 mm) and a rail length of 68 inches (1727 mm). The main component of the top and bottom rail is approximately 2½ inches by 2½ inches (64 by 64 mm). The bottom of the top rail component is provided with an approximately 1½-inch-wide (38 mm) channel into which the 1¼-by-1½-inch (32 by 38 mm) oval solid baluster is fitted. The top of the bottom rail component provides a 0.30-inch-high (7.6 mm) lip that supports the baluster. The top rail is provided with a finish component that slides onto the main rail component. See Figure 3 for typical component cross sections.

**ES REPORTS™** are not to be construed as representing aesthetics or any other attributes not specifically addressed, nor are they to be construed as an endorsement of the subject of the report or a recommendation for its use. There is no warranty by ICC Evaluation Service, Inc., express or implied, as to any finding or other matter in this report, or as to any product covered by the report.



**TABLE 1—ALLOWABLE DESIGN STRESS VALUES FOR EPOCH EVERGRAIN DECKING HAVING A MAXIMUM 2-INCH THICKNESS**

PROPERTY	ALLOWABLE DESIGN VALUE (psi)
Flexural stress ( $F_b$ )	245
Modulus of elasticity (MOE)	53,000
Tensile stress—parallel to longitudinal direction ( $F_t$ )	295
Compressive stress—parallel to longitudinal direction ( $F_c$ )	860
Compressive stress—perpendicular to longitudinal direction ( $F_{c\perp}$ )	400
Shear stress ( $F_v$ )	225

For SI: 1 psi = 6.9 kPa.

**TABLE 2—EPOCH EVERGRAIN DECKING SPAN CHART<sup>1,2</sup>**

MEMBER SIZE	ALLOWABLE MEMBER SPAN BETWEEN SUPPORTS WHEN SUPPORTING 100 psf UNIFORM LIVE LOADING <sup>3,4</sup> (Inches)
1-by-6	16
2-by-6	20

For SI: 1 inch = 25.4 mm, 1 psf = 0.0479 kN/m<sup>2</sup>.

<sup>1</sup>Tabulated span values are for members used as planking (flatwise bending). The values are permitted to be used in lieu of application-specific calculations.

<sup>2</sup>Members shall be supported by a minimum of three joists and must be fastened at each joist.

<sup>3</sup>Tabulated spans are based on a deflection limit of L/180.

**TABLE 3—MAXIMUM GUARDRAIL SPAN<sup>2,3</sup>**

PRODUCT NAME	APPLICABLE BUILDING CODE <sup>4</sup>			MAXIMUM SPAN (ft-in) <sup>1</sup>
	IBC	IRC	UBC	
EPOCH Evergrain Traditional Railing	Yes	Yes	Yes	5' - 8"
EPOCH Evergrain 2x4 Traditional Railing	Yes	Yes	Yes	5' - 8"
EPOCH Evergrain Designer Railing	Yes	Yes	Yes	5' - 8"

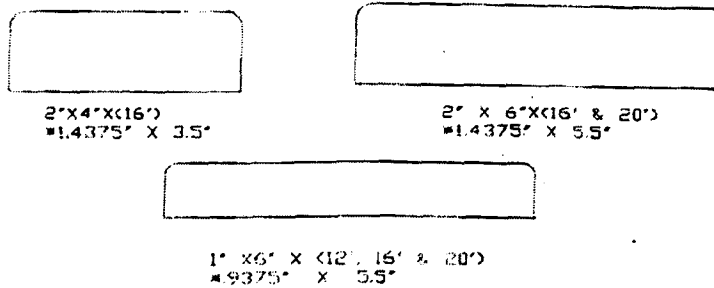
For SI: 1 inch = 25.4 mm, 1 ft = 305 mm.

<sup>1</sup>Maximum span shall be measured from edge-of-supporting-construction to edge-of-supporting-construction.

<sup>2</sup>Maximum allowable span has been adjusted for durability. No further increases are permitted.

<sup>3</sup>Evaluation of this guardrail does not include the post, post sleeve or post base attachment. The ability of the supporting construction to resist the reactionary loads shall be established as required by the code official.

<sup>4</sup>Indicates compliance with the respective building codes.



For SI: 1 inch = 25.4 mm.

**FIGURE 1—EPOCH EVERGRAIN DECKING CROSS SECTIONS**



## HISTORIC PRESERVATION COMMISSION


Isiah Leggett  
County Executive

Julia O'Malley  
Chairperson

Date: March 5, 2007

### MEMORANDUM

TO: Reggie Jetter, Acting Director  
Department of Permitting Services

FROM: Anne Fothergill, Senior Planner   
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #443888, screened porch and deck

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions** at the February 28, 2007 meeting. The condition of approval is:

1. The applicant will submit accurate plans and elevations for stamping.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Joshua Lamel & Meredith Persily

Address: 7 Columbia Ave, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE 2ND FLOOR ROCKVILLE, MD 20850  
240 777 6376

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: TAI LA  
~~JOSHUA LABEL~~

Daytime Phone No.: ~~202-246-1400~~  
240-375-1629

Tax Account No.: 13-02539006

Name of Property Owner: JOSHUA LABEL & MEREDITH PERKINS Daytime Phone No.: 202-246-1400

Address: 7 COLUMBIA AVE, TAKOMA PARK, MD 20912  
Street Number City State Zip Code

Contractor: PROBUILT DECK AND FENCE Phone No.: 301-474-3550

Contractor Registration No.: 48067 (MHIC)

Agent for Owner: TAI LA Daytime Phone No.: 240-375-0116

**LOCATION OF BUILDING/PREMISE**

House Number: 7 Street: COLUMBIA AVE.

Town/City: TAKOMA PARK Nearest Cross Street: CARROLL AVE.

Lot: 15 Block: 18 Subdivision: BFG.

Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 10,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

JAN 26 2007

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]  
Signature of owner or authorized agent

[Signature]  
Date: 10/31/06

Approved: with one condition For Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: [Signature] Date: 3-5-07

Application/Permit No.: 443888 Date Filed: 1/26/07 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

REMOVE EXISTING DECK FROM BACK OF HOUSE & REPLACE  
WITH NEW DECK & SCREEN PORCH  
SCREEN PORCH 12' X 16'  
DECK 10' X 16' WITH STEPS

- NO DRAINAGE WILL BE DISTURBED, NO TREES WILL BE CUT

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

LOCATION OF PROJECT IS ON BACK OF HOUSE AT SAME LOCATION  
AS EXISTING DECK

- SEE ATTACHED SITE PLAN (PLAT) AND STRUCTURAL DIAGRAM  
CONSISTING OF MATERIAL SPECIFICATIONS.

- WILL NOT AFFECT APPEARANCE OF HOUSE AT FRONT.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).



# **PROBUILT DECK & FENCE, LLC**

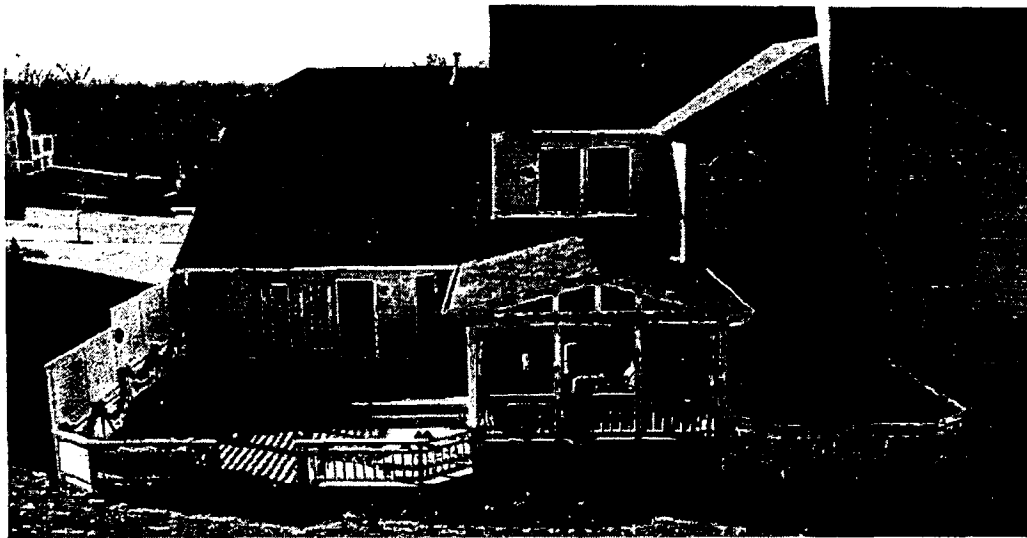
**“Nobody Builds A Better Deck For Less”**



*Premium Deck with Gazebo and Hot Tub on Concrete Patio*

## **EARLY BIRD SUPER SALE**

**Special Promotions Going On Now! See Representative For Detail!**



*Premium Deck with Premium Gable Roof Screen Porch*

**SALE ENDS SOON!**

**BEAT THE RUSH AND SAVE!!!**







# **PROBUILT DECK & FENCE, LLC**

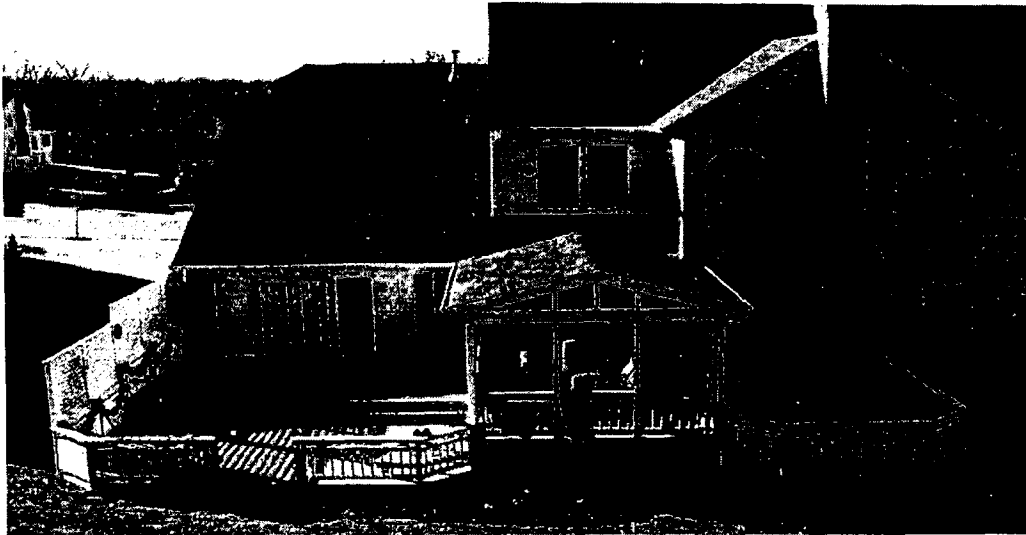
**"Nobody Builds A Better Deck For Less"**



*Premium Deck with Gazebo and Hot Tub on Concrete Patio*

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*Premium Deck with Premium Gable Roof Screen Porch*

**SALE ENDS SOON!**

**BEAT THE RUSH AND SAVE!!!**





UPMC00479

**ABF**

upack.com

# **PROBUILT DECK & FENCE, LLC**

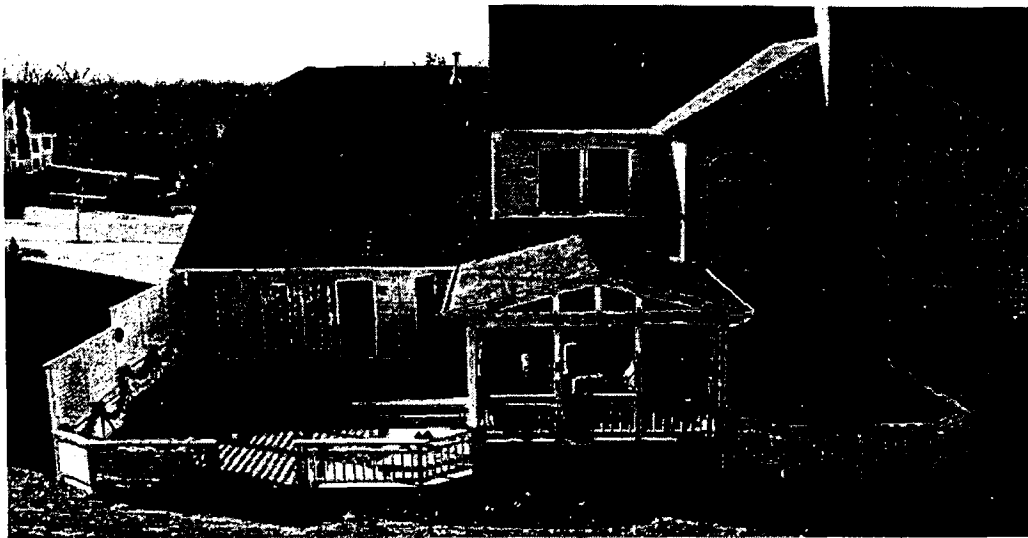
**"Nobody Builds A Better Deck For Less"**



*Premium Deck with Gazebo and Hot Tub on Concrete Patio*

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**Special Promotions Going On Now! See Representative For Detail!**



*Premium Deck with Premium Gable Roof Screen Porch*

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**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

**Address:** 7 Columbia Avenue, Takoma Park  
**Meeting Date:** 02/28/07  
**Applicant:** Joshua Lamel and Meredith Persily  
**Report Date:** 02/21/07  
**Resource:** Non-Contributing Resource  
Takoma Park Historic District  
**Public Notice:** 02/14/07  
**Review:** HAWP  
**Tax Credit:** None  
**Case Number:** 37/03-07I  
**Staff:** Anne Fothergill

**PROPOSAL:** Deck removal and screened porch and deck construction

**RECOMMEND:** Approval

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**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Non-Contributing Resource in the Takoma Park Historic District  
**STYLE:** Victorian Revival  
**DATE:** c. 1980s

**PROPOSAL**

The applicant proposes removal of the existing deck at the rear of the house and construction of a 12' x 16' screened porch with an asphalt shingle roof, wood trim, and skylights and a 10' x 16' wood deck with a wood railing and wood steps to grade. See photos and proposed plans in Circles \_\_\_\_\_.

**STAFF DISCUSSION**

A Non-Contributing Resource in the Takoma Park Historic District receives the most lenient level of design review. The HPC considers alterations to Non-Contributing Resources in terms of their impact on the overall streetscape and environmental setting of the historic district. The *Takoma Park* Guidelines state "most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing...which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole."

All of these additions are located at the rear of the house and will not affect the streetscape. The proposed changes utilize compatible materials and an appropriate design for the setting. These additions to a Non-Contributing Resource will not adversely affect the character of the streetscape, landscape, or historic district. Staff recommends approval.

**STAFF RECOMMENDATION**

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter

24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

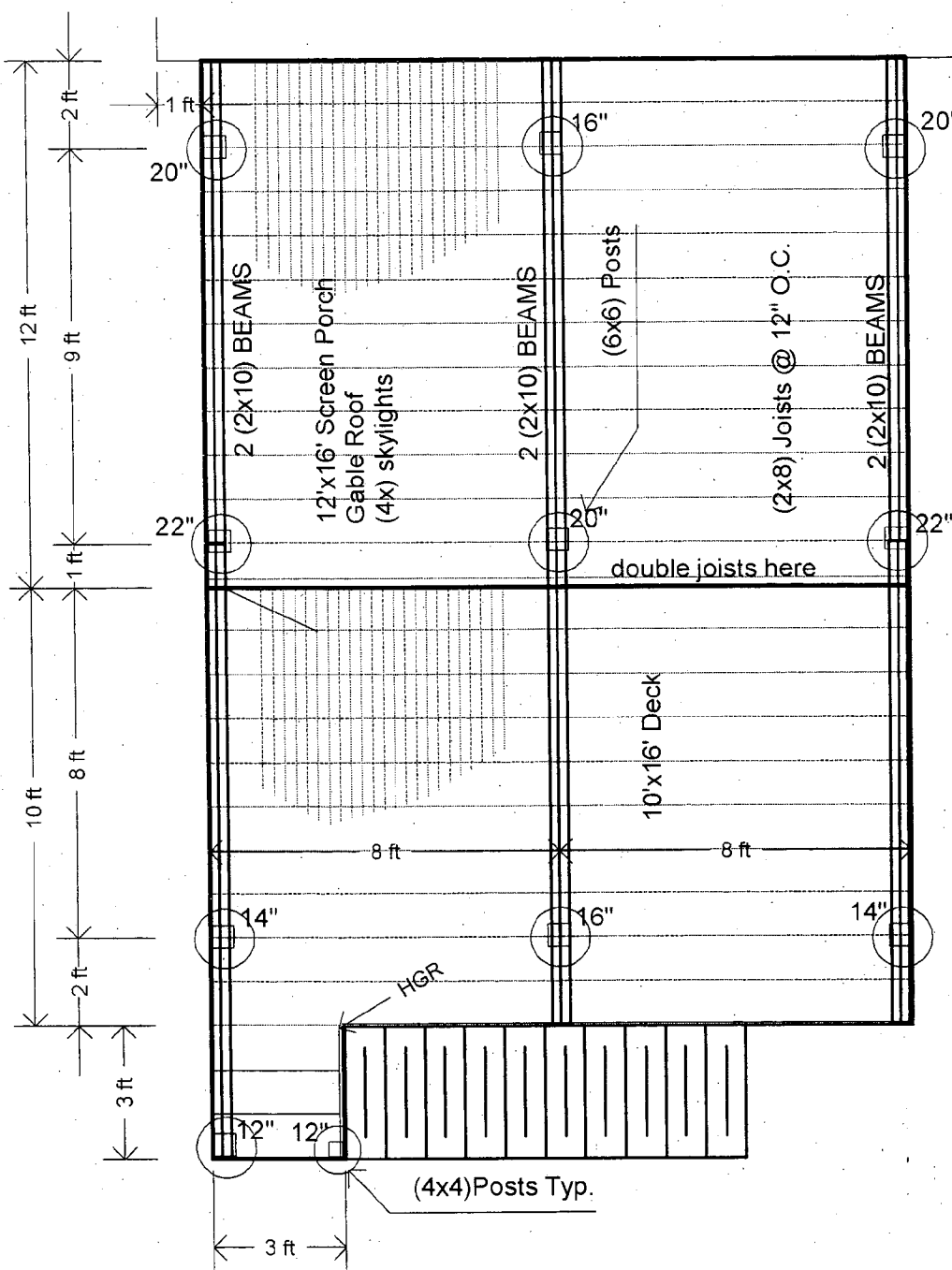
and with the Secretary of the Interior's *Standards for Rehabilitation* #9:

New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at [www.permits.emontgomery.org](http://www.permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.







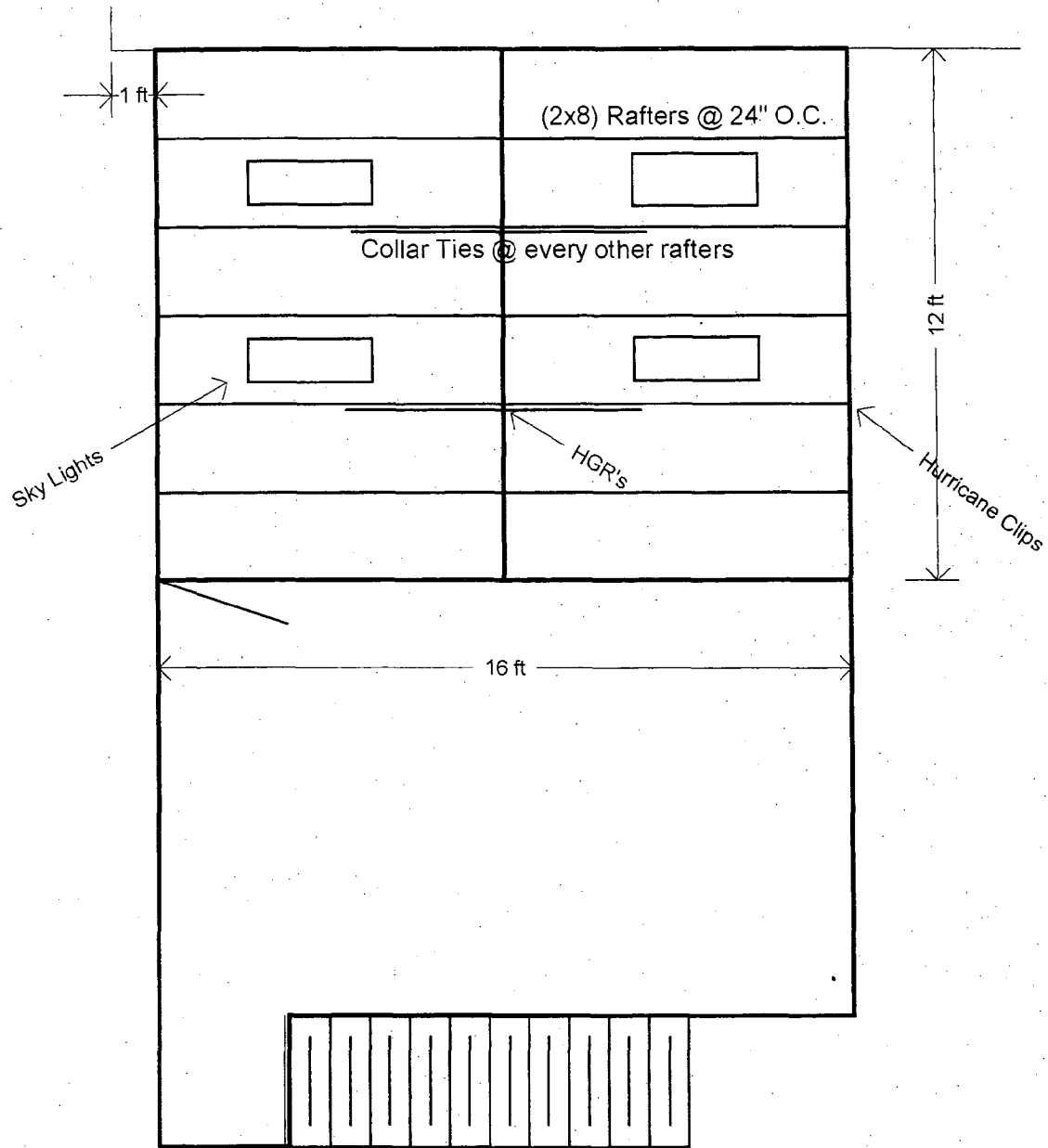
- ELEVATION: 7 to 8 Feet
- RAIL TYPE: Sweeper
- RAIL CAP: Evergrain Cap on wood rail
- DECKING: Evergrain (Cedar Color)
- PATTERN: Straight
- STEPS: (approx. 10x) 3' wide steps  
3'x3' top landing
- LIGHTS: (4x) low voltage, black dome lights
- OTHER: (4x) skylights for the 12'x16' screen porch



PO Box 817, College Park, MD 20741

TITLE 7 Columbia Avenue Takoma Park, MD 20912 (MC) 30-270-4363 202-246-1400	SIZE	Customer Name		REV
	A	Lamel, Joshua and Meredith		
	SCALE	Date	SHEET	
	1/4"=1'	10/20/06	1 of 2	





# ROOFING DIAGRAM

12'x16' SCREENPORCH  
 ROOF: Asphalt Shingles (Black)  
 ROOF STYLE: Gable Roof  
 SCREEN: Yes  
 OTHER: (4x) sky lights  
 FLOORING: Evergrain floor same as deck



PO Box 817, College Park, MD 20741

TITLE <b>7 Columbia Avenue          Takoma Park, MD 20912 (MC)          30-270-4363 202-246-1400</b>	SIZE <b>A</b>	Customer Name <b>Lamel, Joshua and Meredith</b>	REV
	SCALE <b>1/4"=1'</b>	Date <b>10/20/06</b>	SHEET <b>2 of 2</b>

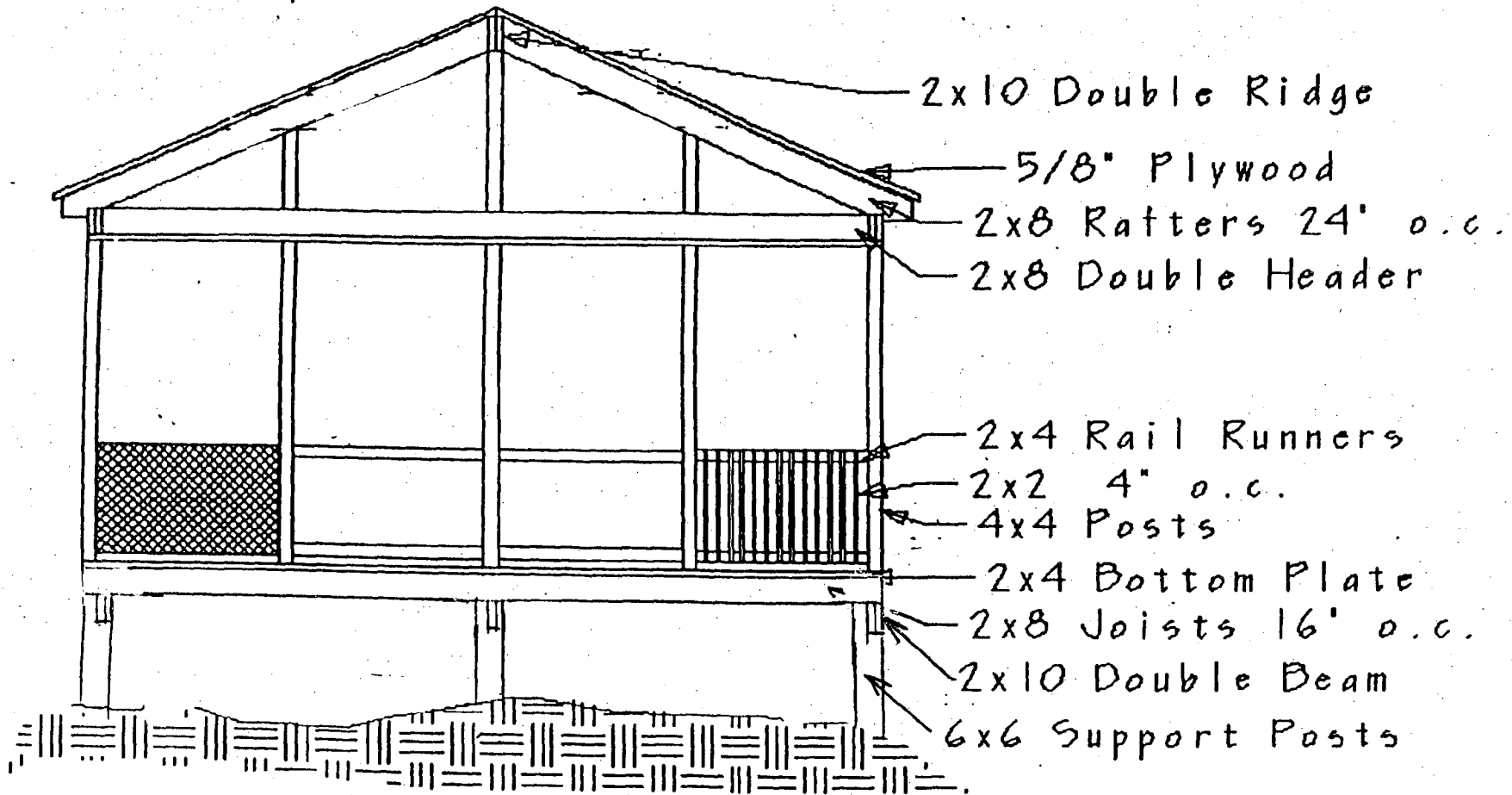


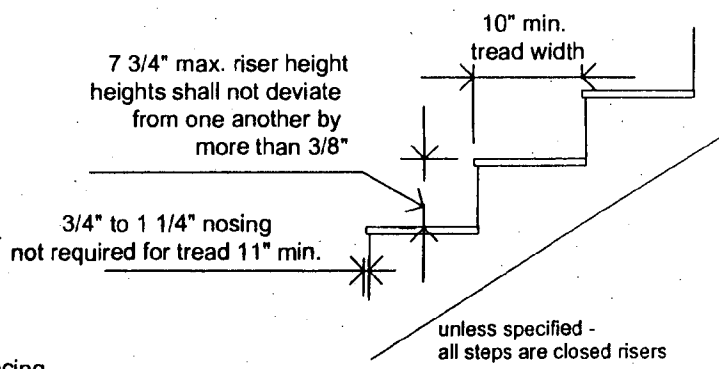
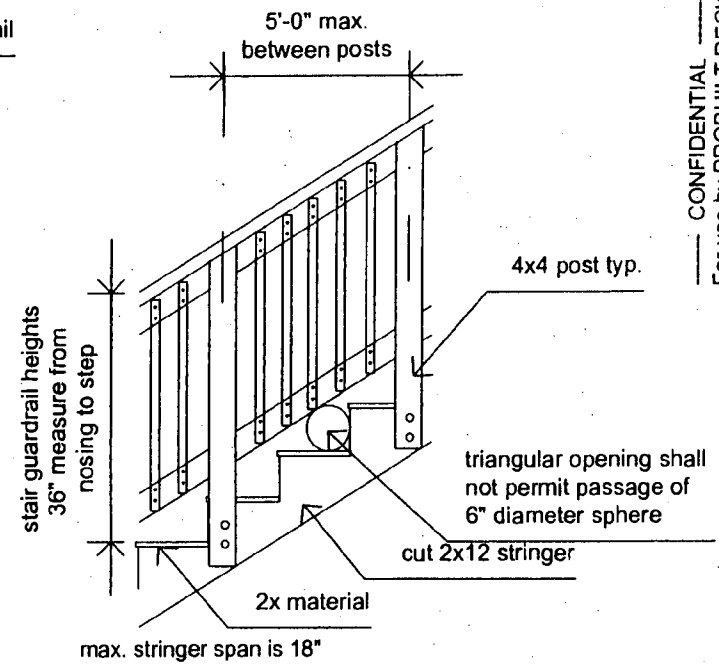
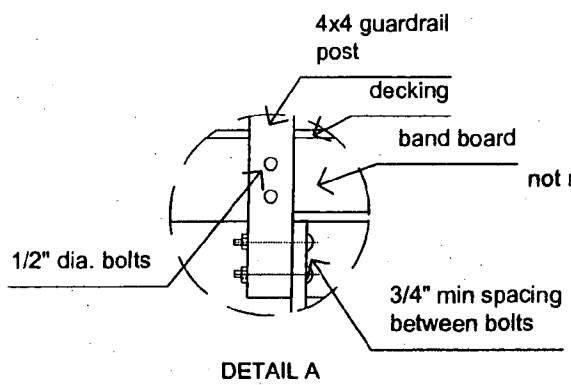
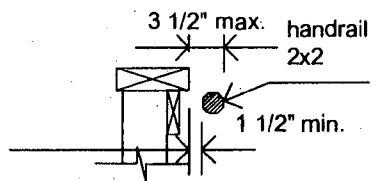
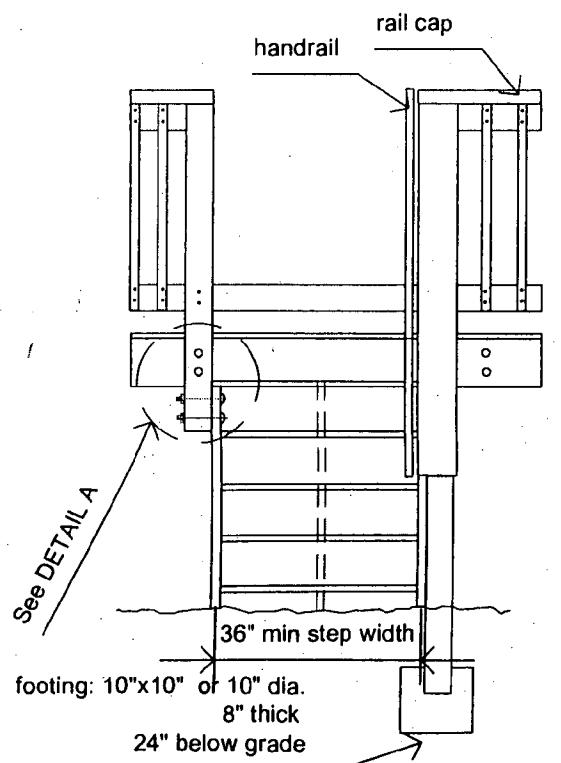
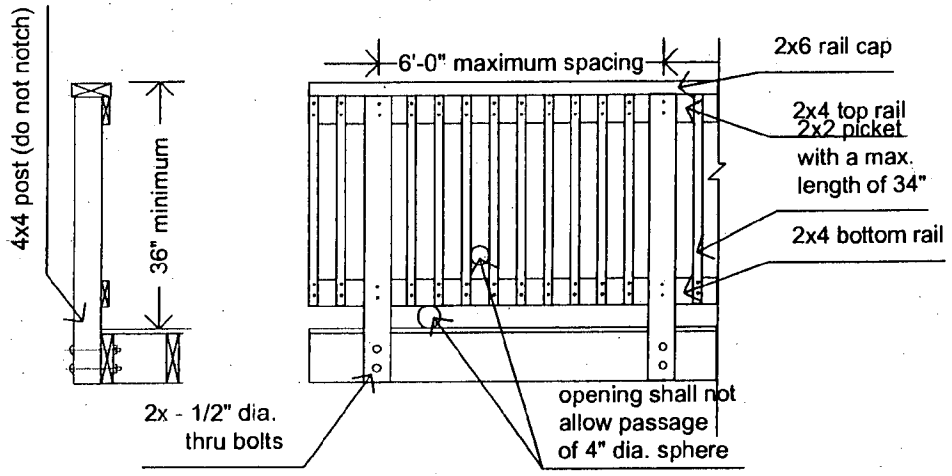
# SKELINED PORCH DETAIL

1/4"

## GABLE ROOF

N.T.S.





CONFIDENTIAL  
 For use by PROBUILT DECK & FENCE, LLC only  
 All other use or mis-use is prohibited

P.O. Box 817, College Park, MD 20741



General Details 2: Rails and Steps

6/20/06

date: 6/30/06

Title

----- CONFIDENTIAL -----  
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 All other use or mis-use is prohibited

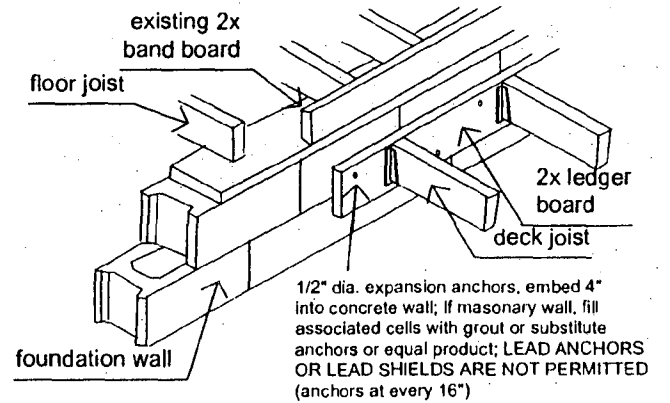
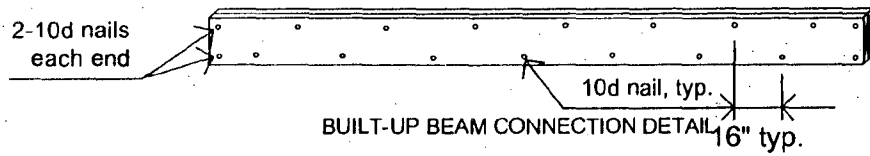
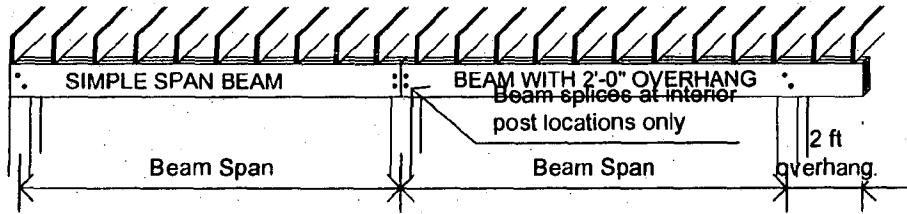


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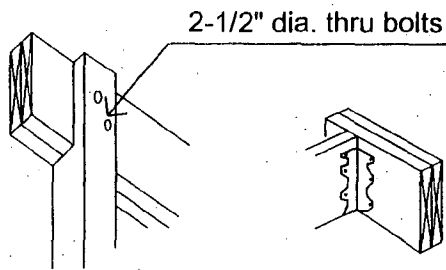
TITLE

# GENERAL DETAILS 1

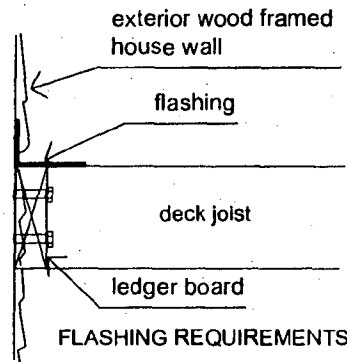
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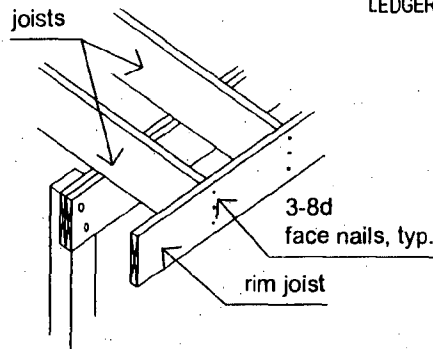
LEDGER BOARD-TO-FOUNDATION WALL



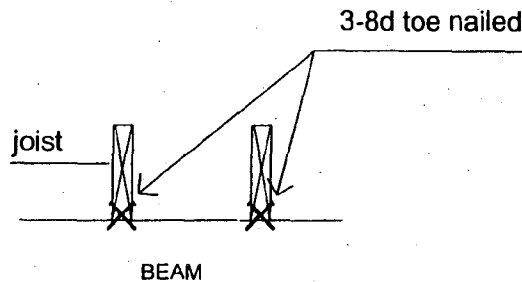
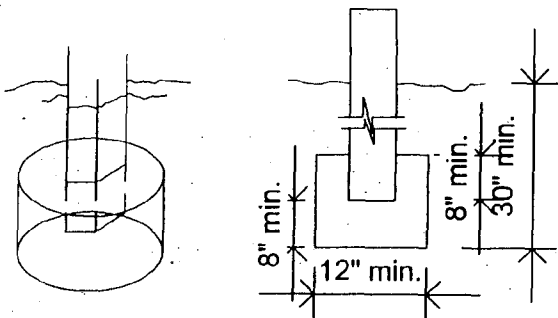
TYPICAL JOIST HANGERS



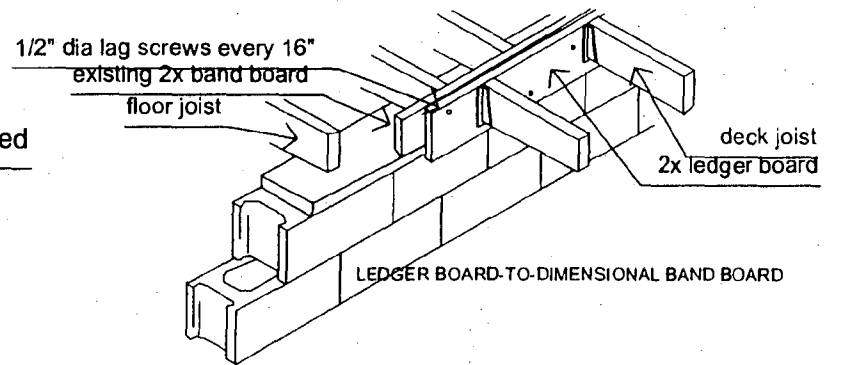
FLASHING REQUIREMENTS



RIM JOIST REQUIREMENTS



JOIST-TO-BEAM DETAIL



LEDGER BOARD-TO-DIMENSIONAL BAND BOARD

**PROBUILT DECK & FENCE, LLC**

Headquarter  
 5110 Roanoke Place, #106  
 College Park, MD 20740  
 Tel: 301-474-3550 Fax: 301-474-3551  
 www.probuiltdeck.com

**Fax**

<b>To:</b> Ms. Anne Foddergill(?) MC Historic Preservation Commission	<b>From:</b> Duke La (703-675-0116)
<b>Fax:</b> 301-563-3412	<b>Pages:</b> 3 (Including Cover)
<b>Phone:</b> 301-563-3400	<b>Date:</b> 2/15/07
<b>Re:</b> Elevation Drawing For 7 Columbia Ave., Takoma Park, MD 20912	

**Urgent**     **For Approval**     **Please Comment**     **Please Respond**     **Purchase Order**

• **Comments:**

Dear Anne,

Accompanying this fax cover sheet are the following:

- (1) Cover
- (2) Sheet 1 of 2 – Side Elevation Drawing
- (3) Sheet 2 of 2 – Rear Elevation Drawing

Reference – Permit application - Historical Preservation Commission

Requesting approval for replacement of existing deck with deck/screen in porch combination for rear of house for Joshua and Meredith Lamel residence at :

7 Columbia Ave.  
 Takoma Park, MD 20912

Please call me to confirm that you have received this fax and that you have everything you needed to push this permit application through. If you have any question, please call me immediately at my cell phone number of 703-675-0116. Please leave a thorough message along with a return number and I will call you back promptly. Thank you..