

7300 Cedar ave.
Takoma Park

Preliminary
Consultation
HAUP 37/3-08DDJ

Fothergill, Anne

From: Fothergill, Anne
Sent: Friday, May 08, 2009 12:34 PM
To: 'Chris Simpson & John Lorenz'
Subject: RE: 7300 Cedar Ave -- Siding Issue

Hi Chris,

Thanks for sending the plans for our review. I am not sure if you have already talked to Scott about this because I know you and he talked when I was away. And I am not sure if you have consulted with MHT, which you would need to do if you are still pursuing tax credits. But, Scott and I met and determined that this would constitute a change to your approved HAWP and would require HPC review. However, we would recommend that before you submit for a revision you perhaps consult an expert in historic restorations and explore other alternatives to minimize impacts to the historic fabric. Insulation is a big issue in restorations and perhaps there is another solution. Also, we would recommend that if you do decide to propose the new sheathing/Tyvek, that you retain as much of the old siding as possible rather than holistically replacing it with new siding. You don't necessarily need to strip the lead paint and since you think that will be hard on the wood, maybe you would consider that.

We can discuss more next week but I wanted to be sure and get back to you as soon as possible. I hope you aren't having many other "in-the-field" issues. Good luck!

thanks,
Anne

From: Chris Simpson & John Lorenz [mailto:simpson.lorenz@verizon.net]
Sent: Wednesday, April 22, 2009 6:24 PM
To: Fothergill, Anne
Subject: 7300 Cedar Ave -- Siding Issue

Hi Anne,

An "in-the-field" issue has come up that relates to our HAWP:

The asbestos siding has been removed from our house, as planned, to reveal the original clapboard siding. In our HAWP, we stated our intention to restore/repair this original siding. However, we have now learned that the original siding is nailed directly over the framing studs; there is no sheathing, which we are told is an unorthodox building method. This makes it inadvisable to blow in insulation, because without some kind of sheathing, the insulation is more likely to trap moisture in the wall cavity.

Our builder is recommending that we remove the old siding and apply 1/2" plywood sheathing and Tyvek house wrap. The original wood siding would not survive removal and re-nailing, especially after being stripped of the old lead paint, so the builder would mill new wood siding that matches the profile of the original.

There are other long-term restorative benefits of adding plywood sheathing and new siding, both to the structural integrity of the house and to preventing air and water infiltration. In addition, new siding would be back-primed, which will help extend its life well beyond the expected lifespan of the original.

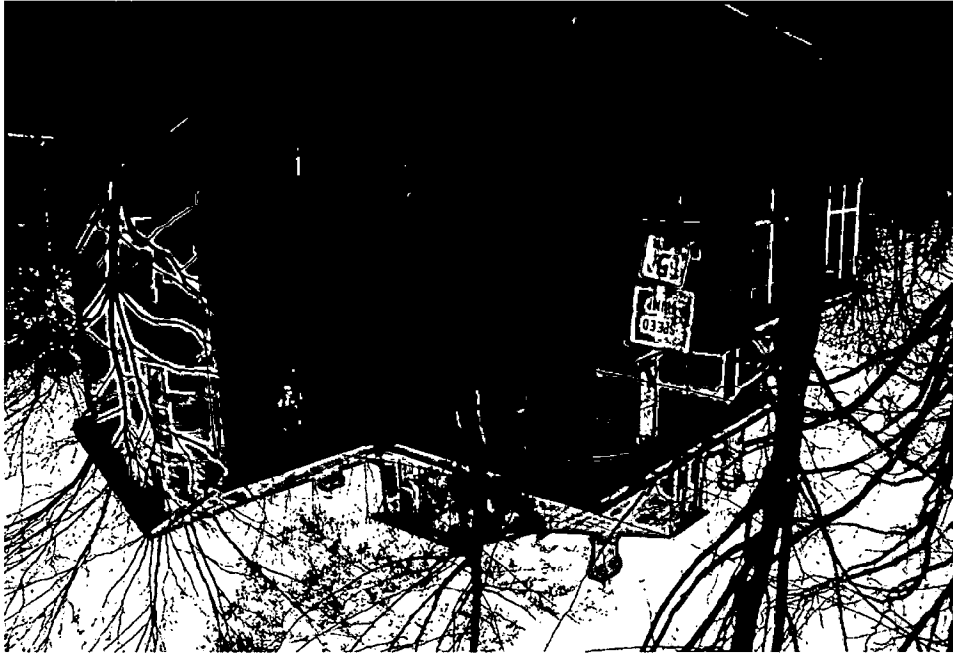
This change would push the skin of the house 1/2" outward, bringing it nearly flush with the original window framing. To address this condition, our architect is proposing that we mill a backband to surround the window trim. The backband would be L-shaped, with a corner profile matching the existing window trim profile. This would not affect the front elevation of the house, as we are not changing the shiplap siding that was added in 1939.

To sum up: We need to replace the siding in-kind and to add custom-milled trim to preserve the window profiles. Please let us know if this change is acceptable under the terms of our HAWP.

Thank you for your assistance.

Best regards,

Chris Simpson
John Lorenz
7300 Cedar Avenue
Takoma Park, MD 20912
301 589 8504



Fothergill, Anne

From: Fothergill, Anne
Sent: Friday, April 24, 2009 9:28 AM
To: 'Chris Simpson & John Lorenz'
Subject: RE: 7300 Cedar Ave -- Siding Issue

Thank you so much for sending this email, we always do need to know as a workscope changes and people sometimes forget that step.

I talked this over with Scott and he suggests two things:

- 1) Discuss this with MHT if you are still hoping to get tax credits.
- 2) Ask your architect or builder to provide us a section showing a profile of the existing siding and window trim and what is proposed. We will take it to the HPC as a staff item and see what they say.

thanks,
Anne

don't strip lead paint

Anne Fothergill
Planner Coordinator
Historic Preservation Section
Urban Design and Preservation Division
Montgomery County Planning Department
The Maryland-National Capital Park and Planning Commission
1109 Spring Street, Suite 801
Silver Spring, MD 20910
301-563-3400 phone
301-563-3412 fax
<http://www.montgomeryplanning.org/historic>

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Sent: Wednesday, April 22, 2009 6:24 PM
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John Lorenz
7300 Cedar Avenue
Takoma Park, MD 20912
301 589 8504



**WIEDEMANN
ARCHITECTS
LLC**

5272 RIVER ROAD SUITE 610
BETHESDA, MD 20816
Voice 301-652-4022
Fax 301-652-4094

www.wiedemannarchitects.com

PROJECT

**SIMPSON LORENZ
RESIDENCE**
7300 CEDAR AVENUE
TAKOMA PARK, 20912

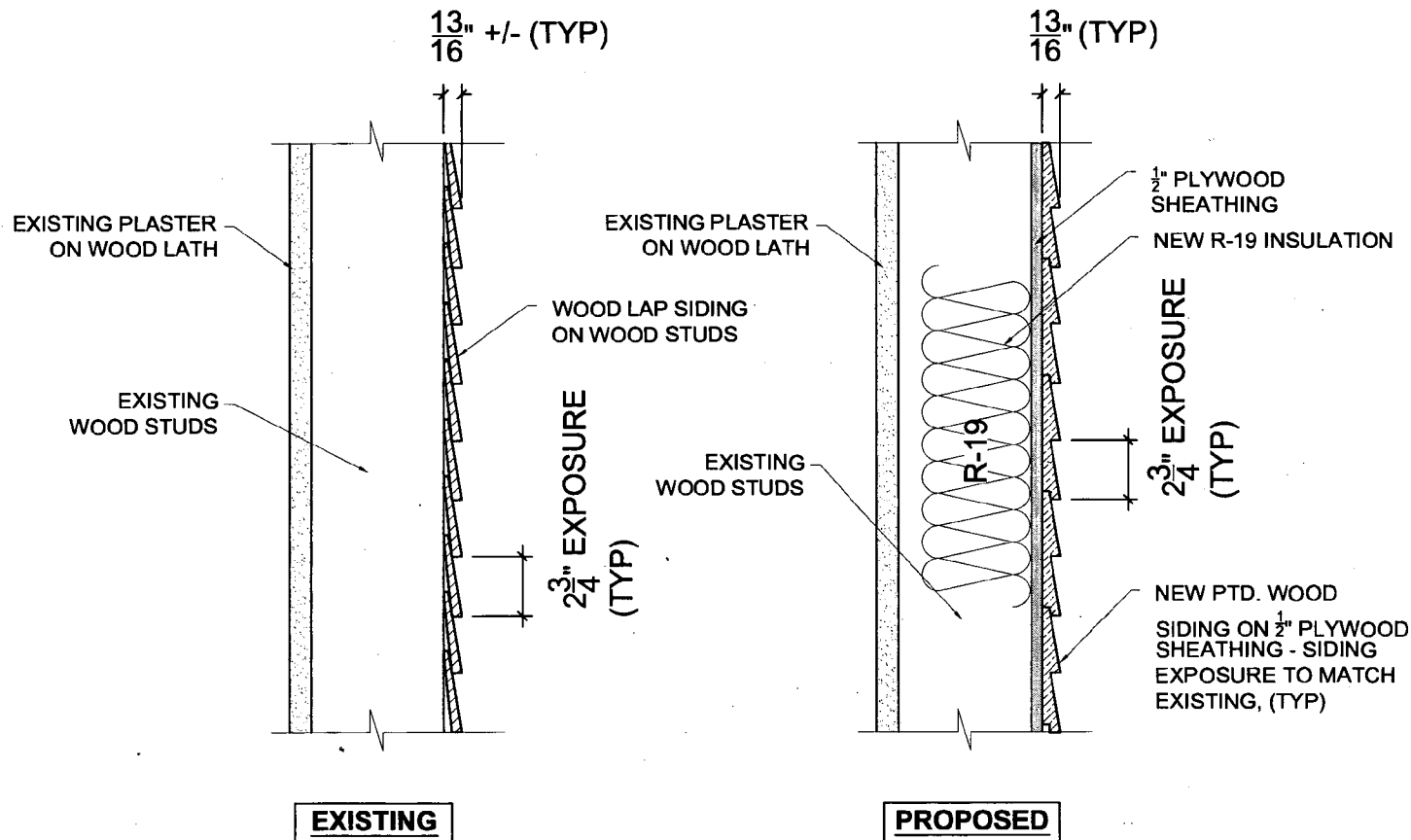
ISSUED

PROPOSED REPLACEMENT
SIDING AND PROPOSED
WINDOW / DOOR CASING
TRIM MODIFICATION
29 APRIL 2009

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET

MHT-1



1
MHT-1

SECTION DETAIL @ MAIN HOUSE WOOD SIDING
SCALE: 1-1/2" = 1'-0"



WIEDEMANN ARCHITECTS LLC

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ISSUED

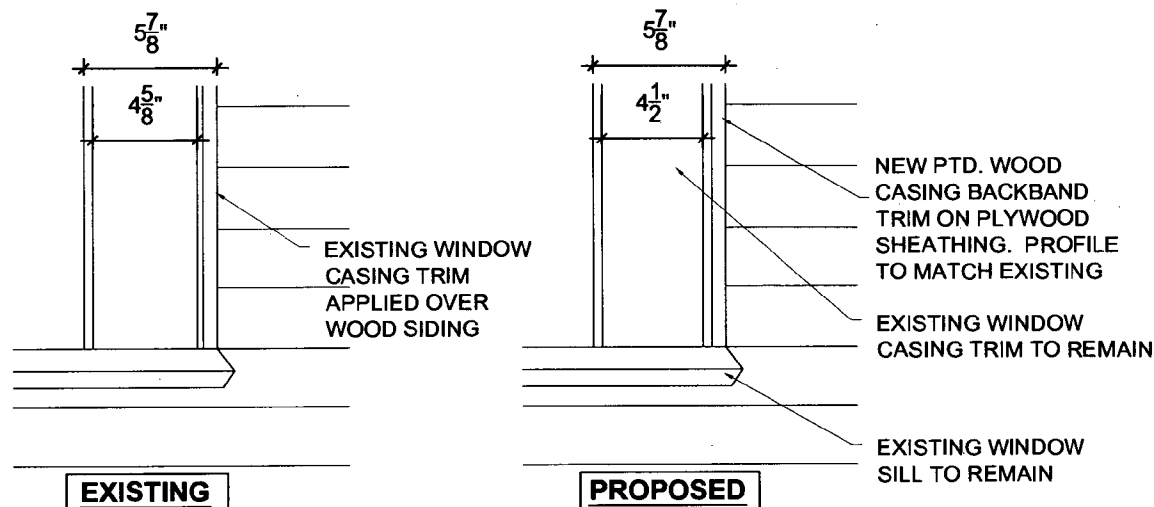
PROPOSED REPLACEMENT SIDING AND PROPOSED WINDOW / DOOR CASING TRIM MODIFICATION
29 APRIL 2009

MATCH EXISTING

PRELIMINARY NOT FOR CONSTRUCTION

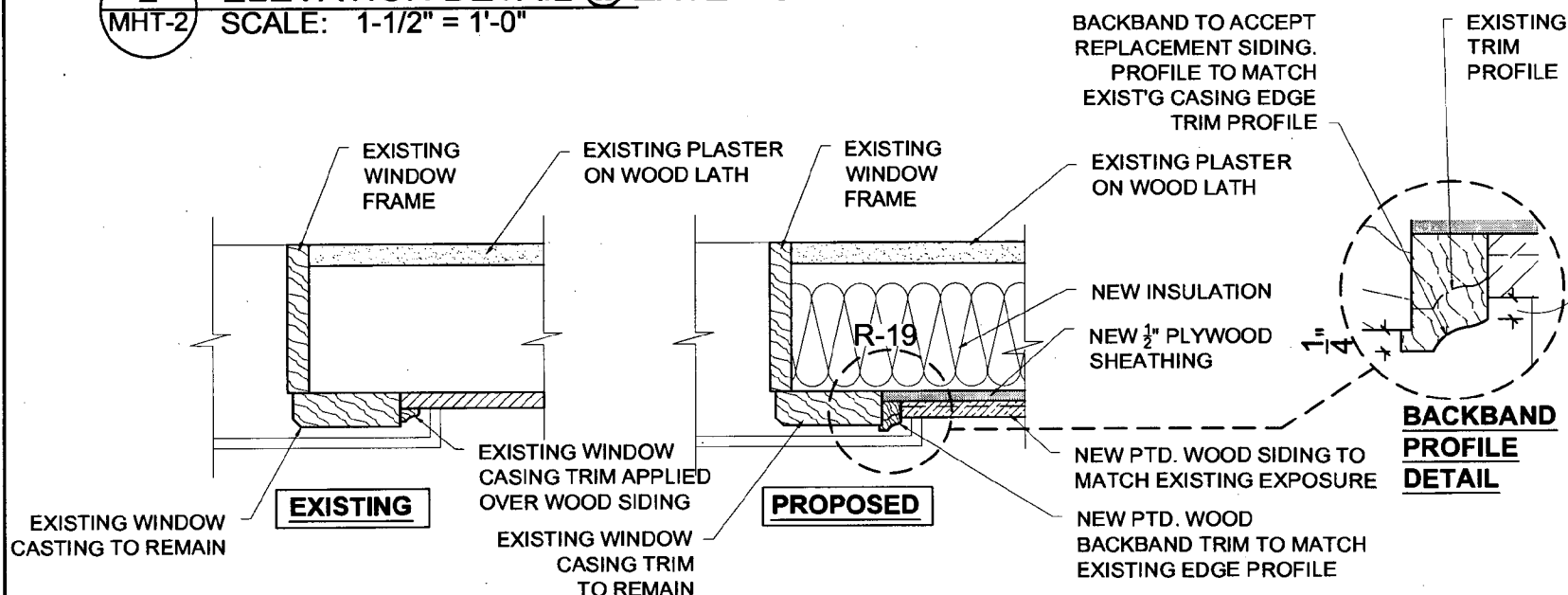
SHEET

MHT-2



2 ELEVATION DETAIL @ EXTERIOR WINDOW CASING TRIM

MHT-2 SCALE: 1-1/2" = 1'-0"



1 PLAN DETAIL @ EXTERIOR WINDOW CASING TRIM

MHT-2 SCALE: 1-1/2" = 1'-0"



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 10/06/08

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill 
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #493689-Additions and alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the September 10, 2008 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Chris Simpson and John Lorenz
Address: 7300 Cedar Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or anne.fothergill@mncppc-mc.org to schedule a follow-up site visit.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: GREG WIEDEMANN/ANDREW DAN

Daytime Phone No.: 301-652-4022

Tax Account No.: 13-01077247 (LOTS 1 & 2 COMBINED)

Name of Property Owner: CHRISTINE SIMPSON/JOHN LORENZ Daytime Phone No.: 301-589-8504

Address: 7300 TAKOMA PARK CEDAR AVENUE 20912
Street Number City Street Zip Code

Contractor: TBD Phone No.:

Contractor Registration No.:

Agent for Owner: GREG WIEDEMANN Daytime Phone No.: 301-652-4022

LOCATION OF BUILDING/PREMISE

House Number: 7300 Street: CEDAR AVENUE

Town/City: TAKOMA PARK Nearest Cross Street: BIRCH AVENUE

Lot: 1 & 2 Block: 6A Subdivision: 025

Liber: 27493 Folio: 593 Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
- Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
- Revision Repair Revocable Fence/Wall (complete Section 4) Other:

1B. Construction cost estimate: \$ TBD 1.5 MILLION

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 2 feet 5 inches (29" MAX. - VARIES)

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

20 AUGUST 2008 Date

Approved: [Signature] For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date: 10-6-08

Application/Permit No.: 493689 Date Filed: 8/20/08 Date Issued:

493689

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

SEE ATTACHED NARRATIVES BY WIEDENANN ARCHITECTS
& LILA FENDRICK LANDSCAPE ARCHITECTURE & GARDEN DESIGN

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

SEE ATTACHED NARRATIVES BY WIEDENANN ARCHITECTS
& LILA FENDRICK LANDSCAPE ARCHITECTURE & GARDEN DESIGN

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address: 7300 Cedar Avenue, Takoma Park **Meeting Date:** 09/10/08

Applicant: Chris Simpson and John Lorenz **Report Date:** 09/03/08
 (Gregory Wiedemann, Architect)

Resource: Outstanding Resource **Public Notice:** 08/27/08
 Takoma Park Historic District

Review: HAWP **Tax Credit:** Partial

Case Number: 37/3-08DDD **Staff:** Anne Fothergill

PROPOSAL: Removal of addition, construction of addition, new shed and other alterations

STAFF RECOMMENDATION

Staff recommends that the HPC approve this application.

PROPERTY DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Takoma Park Historic District
STYLE: Colonial Revival
DATE: c. 1873

Originally the house was a Queen Anne Victorian four-square with a wraparound porch and in 1939 extensive remodeling was done and the owners changed the house to its current Colonial Revival style. There have been other changes to the house including: the wraparound porch was altered, a carport and 3 ½ story rear addition were added, windows were replaced, and siding was changed or covered. In 1991, a screened porch was enclosed and enlarged to create the existing 2-story sunroom on the west (left) side of the house.

BACKGROUND

In February 2008 the applicants came for a Preliminary Consultation (transcript in Circles 71-76). The HPC was very supportive of the proposal and recommended that the applicants submit an application.

PROPOSAL

The applicants are proposing to:

- Remove the deteriorating 3 ½ story rear addition
- Construct a new addition in the same general location as the existing addition. The addition will have a glazed link to the historic house with a flat roof and the addition's roof will be lower than the historic house. The materials for the addition are stucco foundation, wood windows with simulated divided lights, wood siding, slate roof, and metal roof on the link section and dormers.
- Remove the carport and block retaining wall along Cedar Avenue

- Reconstruct the 1939 decorative railing on the roof of the 2-story front porch (see Circle 21)
- Replace the slate roof with slate or reuse existing slate
- Remove the cement siding on three sides of the house
- Restore the wood siding underneath
- Replace dormer windows (for egress) with wood windows with true divided lites
- Install storm windows where needed
- Install wood deck with steps to grade off left side of addition
- Install copper gutters and downspouts
- Install new front screen/storm door to match existing
- Construct a garden shed in rear yard with wood siding, slate roof, and wood trim
- Install wood fencing around air conditioning units next to shed
- Install new paths and low walls (see landscape plan in Circles 37-42)

See existing and proposed plans in Circles 19-36.

The applicants are working with the City of Takoma Park arborist on a tree protection plan and that will be implemented prior to construction.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District

The *Guidelines* define an Outstanding Resource as:

A resource which is of outstanding significance due to its architectural and/or historical features. An outstanding resource may date from any historical period and may be representative of any architectural style. However, it must have special features, architectural details and/or historical associations that make the resource especially important to the history of the district, and/or it must be especially unique within the context of the district.

The following *Takoma Park Guidelines* pertain to this project:

- plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setbacks and materials.
- emphasize placement of major additions to the rear of the existing structures so that they are less visible from the public right-of-way.
- while additions should be compatible, they are not required to be replicative of earlier architectural styles.
- preservation of original and distinctive architectural features, such as porch dormers, decorative details, shutters etc. is encouraged.
- preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged.
- preservation of original building materials and use of appropriate, compatible new materials is encouraged.
- all changes and additions should respect existing environmental settings, landscaping and

patterns of open space.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation

Standard # 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

An application for changes to an Outstanding Resource in the Takoma Park Historic District is reviewed very closely for impacts to the historic house and district. At the Preliminary Consultation, the HPC had no concerns about this proposal. The HPC found that the applicants were proposing sympathetic and compatible additions and alterations to the historic house and recommended that they proceed with their plans and apply for a HAWP. The applicants have submitted a complete application including a detailed landscape plan. Staff recommends that the HPC approve the application.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior's *Standards for Rehabilitation*,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).**



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

A

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: GREG WIEDEMANN/ANDREW DAN

Daytime Phone No.: 301-652-4022

Tax Account No.: 13-01077247 (LOTS 1 & 2 COMBINED)

Name of Property Owner: CHRISTINE SIMPSON/JOHN LORENZ Daytime Phone No.: 301-509-8504

Address: 7300 TAKOMA PARK CEDAR AVENUE 20912
Street Number City Street Zip Code

Contractor: TBD Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: GREG WIEDEMANN Daytime Phone No.: 301-652-4022

LOCATION OF BUILDING/PREMISE

House Number: 7300 Street: CEDAR AVENUE

Town/City: TAKOMA PARK Nearest Cross Street: BIRCH AVENUE

Lot: 1 & 2 Block: 6A Subdivision: 025

Liber: 27493 Folio: 593 Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ TBD 1.5 MILLION

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

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3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

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- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

20 AUGUST 2008

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 493689 Date Filed: 8/20/08 Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS

493689

4

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(5)

Addresses of Adjacent and Confronting Property Owners

Kay Johnson
7311 Cedar Avenue
Takoma Park, MD 20912

Susan Kessler
7309 Cedar Avenue
Takoma Park, MD 20912

Jane and Tim Sawina
7305 Cedar Avenue
Takoma Park, MD 20912

Nina Falk and Steven Silverman
7303 Cedar Avenue
Takoma Park, MD 20912

Louise Eudell
7301 Cedar Avenue
Takoma Park, MD 20912

Thomas Nephew and Margaret Dadian
7300 Birch Avenue
Takoma Park, MD 20912

Robin and Spence Porter
7302 Birch Avenue
Takoma Park, MD 20912

Donna Scarboro and Ralph Steinhardt
7303 Birch Avenue
Takoma Park, MD 20912

Jody Welsh
7306 Cedar Avenue
Takoma Park, MD 20912

WIEDEMANN ARCHITECTS LLC

ARCHITECTURE
PLANNING
INTERIORS

Gregory Wiedemann AIA

10 September 2008

HISTORIC AREA WORK PERMIT APPLICATION

For additions and renovation of 7300 Cedar Avenue, Takoma Park, Maryland

The following is information to supplement the Application for Historic Area Work Permit for the renovation and addition to 7300 Cedar Avenue. We are the architects for the Owner, Christine Simpson and John Lorenz.

1. WRITTEN DESCRIPTION OF PROJECT:

(a) Brief History of House:

Based on information from tax documents and publications created for the City of Takoma Park, the original house is believed to have been built circa 1873. The original four-square house with a slate roof was built as a Queen Anne Victorian with a one-story wrap around porch along the front and east Cedar Avenue side.

The second owners of the house, during the early 20th century, were the Williams family, who moved there in 1910. Stephen Williams was the Mayor of Takoma Park from 1912-1917. In 1939, the Williams family extensively remodeled the house to reflect its current Colonial Revival style.

As part of the 1939 modifications, the original one-story wrap around porch was separated into a single 2-story Colonial Revival front porch on the south side, and a separate one-story screened side porch facing the extension of Cedar Avenue to the east. The windows on the front façade on Cedar Avenue were changed from the single-lite double hung windows to the current divided lite double hung windows. A wider siding with a 9" exposure replaced the original narrower bevel siding as part of the front façade modifications. The original double worked bevel wood siding with 2-5/8" exposure on the other three sides was covered over with wide exposure cement siding during the 1939 modification.

There is a 3-1/2 story extension that appears to have been added to the original house, or possibly to have replaced a smaller rear extension. A covered carport with a block retaining wall, accessible from the Cedar Avenue side driveway, was added in 1939 or perhaps earlier. An existing projecting 2-story screen porch on the west side, which overlapped the four-square house and the 3-1/2 story extension, was converted into an enclosed sun room and extended to the north by 6' in 1990. Access to the sun room was from the first floor, with garden storage at grade below. The 3-1/2 story portion is in poor condition and has had replacement windows installed in the majority of the openings.

WIEDEMANN ARCHITECTS LLC

ARCHITECTURE
PLANNING
INTERIORS

Gregory Wiedemann AIA

10 September 2008

HISTORIC AREA WORK PERMIT APPLICATION

For additions and renovation of 7300 Cedar Avenue, Takoma Park, Maryland

The following is information to supplement the Application for Historic Area Work Permit for the renovation and addition to 7300 Cedar Avenue. We are the architects for the Owner, Christine Simpson and John Lorenz.

1. WRITTEN DESCRIPTION OF PROJECT:

(a) Brief History of House:

Based on information from tax documents and publications created for the City of Takoma Park, the original house is believed to have been built circa 1873. The original four-square house with a slate roof was built as a Queen Anne Victorian with a one-story wrap around porch along the front and east Cedar Avenue side.

The second owners of the house, during the early 20th century, were the Williams family, who moved there in 1910. Stephen Williams was the Mayor of Takoma Park from 1912-1917. In 1939, the Williams family extensively remodeled the house to reflect its current Colonial Revival style.

As part of the 1939 modifications, the original one-story wrap around porch was separated into a single 2-story Colonial Revival front porch on the south side, and a separate one-story screened side porch facing the extension of Cedar Avenue to the east. The windows on the front façade on Cedar Avenue were changed from the single-lite double hung windows to the current divided lite double hung windows. A wider siding with a 9" exposure replaced the original narrower bevel siding as part of the front façade modifications. The original double worked bevel wood siding with 2-5/8" exposure on the other three sides was covered over with wide exposure cement siding during the 1939 modification.

There is a 3-1/2 story extension that appears to have been added to the original house, or possibly to have replaced a smaller rear extension. A covered carport with a block retaining wall, accessible from the Cedar Avenue side driveway, was added in 1939 or perhaps earlier. A projecting 2-story sun room on the west side replaced a smaller existing screen porch in the same location in 1991, overlapping the four-square house and the 3-1/2 story extension. Access to the sun room was from the first floor, with garden storage at grade below. The 3-1/2 story portion is in poor condition and has had replacement windows installed in the majority of the openings.

The Joseph and Kathryn Simpson family, who lived across the street from the Williams family starting in 1939, purchased the house in 1961 from Amelia Williams Burroughs, the daughter of Stephen Williams. Joseph Simpson was a prominent Maryland attorney, serving from 1942 - 1946 as State's Attorney for Montgomery County. The Simpsons raised their four children there, including our client, Christine Simpson. In 2004, Christine and her husband John Lorenz moved to the house after Mrs. Simpson's death the prior year. Christine and John had lived across the street on Cedar Avenue with their two sons since 1988.

The four-square portion of the house remains in a condition very similar to its appearance in 1939. The original wood shutters on the front, window casings, wood trim, roof soffits and wood moldings all remain. The original fieldstone foundation base of the main house remains with some repointing in the joints visible from repairs conducted over the years. The original slate roof remains along with the original built-in gutters. Under the cement siding on the north, east, and west sides of the house the 2-5/8" wood siding remains.

(b) Description of proposed project:

The proposed project involves a restoration of the existing historic elements of the main portion of the historic house.

At the Cedar Avenue front street façade it is our intention to retain the current 1939 Colonial character by re-constructing the 1939 decorative railing on the roof of the 2-story front porch that has been lost. All wood trim, moldings and casings will be repaired, restored and repainted. The built-in gutters on the historical main four-square house will be repaired and restored. All existing slate will be removed and replaced with similar matching slate, including decorative slate coursing on main roof. The wide exposure wood siding on the front façade will be restored and repainted. The wide exposure cement siding on all other sides of the original house will be removed thereby exposing the historical double worked bevel wood siding with 2-5/8" exposure which will be restored, repaired as needed, and painted.

The wood trim on the front attic dormer will be restored and the dormer windows will be replaced with matching windows and an egress window with divided lites similar to the existing historical double hung window. The remaining original windows will be retained and restored as needed, and new storm windows will be added to improve energy efficiency. The stone foundation of the original main house will remain and will be repointed as needed.

The proposed project will include the replacement of the 3-1/2 story extension with a similar scaled addition, and a small storage shed on the north side. The carport and block retaining wall on the east side along Cedar Avenue will be removed to allow for the natural grade to slope back up to just below the first floor level. The new foundation for the new addition will be cement stucco over CMU block wall, creating a clear demarcation between the historic fabric and the newer addition.

On the first floor, the new addition will include a rear entry hall that will link the main level of the four-square house to the main level of the proposed new addition. The first floor will include a new kitchen, pantry, powder room and side entry hall with an informal entry on the Cedar Avenue side. The entry hall will also provide an exit from the west side down to the patio on grade. Access to the second floor of the new addition will be from the stair landing of the

original four-square house main stair. The second floor of the addition will include a laundry room and master bedroom suite.

In the rear hall of the new addition (in the 'link'), a new stair will lead to the basement level housing a new multi-purpose room, bathroom, work room and an at-grade entry/exit to the west side patio. The basement level of the addition will align with the basement of the existing four-square, and the new stair will provide improved access to the lower level.

The proposed massing of the new addition will include a lower 'link' between the existing four-square house and the major massing of the new addition. The addition will be sympathetic to the original house in massing and material. The link will clearly demark the new and historic portions of the house and will step back approximately one foot on the west side, thereby preserving the original corner of the four-square house. The main bulk of the addition will be higher than the link, but lower than the original main house. The roof line of the original four-square will be restored.

The mass of the addition will have a matching slope hip roof emulating the existing historic four-square house. The lower, stepped back link between the main four-square house and the primary mass of the addition will serve to distinguish and contrast the new addition from the historic existing house. The proposed new addition, while sympathetic in character and massing, will be virtually unseen from the front approach along Cedar Avenue and will increase the net building footprint, including porches, by only 183 square feet. With the removal of the east side carport and retaining wall, the net footprint actually decreases by 117 square feet.

To accommodate storage lost by removal of the carport, a new, low one-story garden shed will be added. This will be located along the existing stone wall that borders the driveway edge on the north side of the house. This garden shed will have matching slate roof, matching narrow exposure wood siding, and matching trim to the new addition. The existing stone site wall will be adjusted to provide the base for the shed.

New condenser units for a new the air conditioning system will be located on the west side of the new garden shed concealed by a painted wood fence and gate.

2. SITE PLAN/LANDSCAPE PLAN

See attached Site Plan depicting the house location, and other site improvements.

3. PLANS AND ELEVATIONS

See required two (2) copies of the required plans and elevations, depicting the existing conditions and the proposed modifications.

List of Drawings attached:

1. C.0.1 – Coversheet w/ Site Plan
2. A.1.0 – Basement Floor Plan
3. A.1.1 – First Floor Plan
4. A.1.2 – Second Floor Plan
5. A1.3 – Attic Floor Plan
6. A.2.0 – North Elevation
7. A.2.1 – Cedar Avenue East Side Elevation

8. A.2.2 – Birch Avenue West Side Elevation
9. A.2.3 – South Front Street Elevation
10. EX.1.0 – Existing Basement Floor Plan
11. EX.1.1 – Existing First Floor Plan
12. EX.1.2 – Existing Second Floor Plan
13. EX.1.3 – Existing Attic Level Floor Plan
14. EX.2.0 – Existing South Elevation
15. EX.2.1 – Existing West Elevation
16. EX.2.2 – Existing North Elevation
17. EX.2.3 – Existing East Elevation

4. MATERIAL SPECIFICATIONS

The following is a description of the proposed materials for the project:

Exterior Siding:

The existing wide exposure wood siding on the front Cedar Avenue side of the house will be restored / repaired and will be repainted. The cement siding on the remaining sides of the historic house will be removed to expose the original double worked bevel wood siding with 2-5/8" exposure. The original siding on the north, east and west sides of the historic house will be restored and repainted.

The exterior siding of the new addition will be a narrow exposure wood siding to match the original historical existing, separated by a glass and wood link that clearly demarks the division between old and new.

Wood Shutters:

All operable wood shutters are located on front Cedar Avenue side of the house. These shutters will remain and will be repaired and repainted.

Foundations:

The existing stone foundation on the original main house will remain. The foundation of the new addition will be block with cement stucco to contrast with the historic stone foundation of the original house.

Exterior Trim:

The existing historic trim on the original house will remain. All new exterior trim will be painted Western Red Cedar, in profiles similar to the existing house and as depicted on the elevations. Again, the trim and glass treatment of the link will provide a separation between old and new.

Windows:

The single pane windows in the historic main house will remain and will be restored except at the front Cedar Avenue attic dormer. All restored windows will have new triple track storm windows to match the existing. The Cedar Avenue dormer windows, which are in poor condition, will be replaced with new wood windows, both double hung and casements similar to the existing dormer windows and shall provide the required egress to meet applicable sections of the Building Code.

The rear addition will have new painted wood casement and double-hung windows with simulated divided lite insulated glazing, which will clearly identify the new portion of the project. The mullion patterns of the existing and proposed windows are as shown on the attached drawings.

Roofing:

It has been determined that the flashing and built-in gutters on the original roof are failing. In order to properly address these deficiencies, it will be necessary to remove the existing slate roof. The existing slate roof will be replaced with all new matching slate, installed with a pattern to match the current existing historical slate pattern. The roof of the proposed addition will be matching slate, and the roofs of the projecting bays and 'link' below will have flat seam metal as depicted on the elevation drawings. All new roof flashing, gutters and downspouts will be copper, including the repair and relining of the built-in gutters.

5. PHOTOGRAPHS

See attached required photographs, labeled as requested.

6. TREE SURVEY

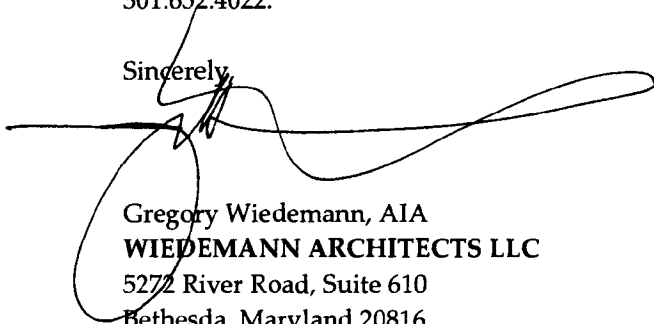
See attached Existing Conditions Plan and Tree Preservation Plan for a tree survey.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

See attached Adjacent and Confronting Properties List of Owners.

On behalf of Christine Simpson and John Lorenz, we respectfully submit these materials for your review and approval. If you have any questions concerning our application, please contact me at 301.652.4022.

Sincerely,

A handwritten signature in black ink, appearing to read 'Gregory Wiedemann', is written over a horizontal line. The signature is stylized and extends to the right.

Gregory Wiedemann, AIA
WIEDEMANN ARCHITECTS LLC
5272 River Road, Suite 610
Bethesda, Maryland 20816
301.652.4022

Landscape architect's proposal

HISTORIC AREA WORK PERMIT APPLICATION

For Landscape Work at 7300 Cedar Avenue, Takoma Park, Maryland

The following is information to supplement the Application for Historic Area Work Permit for the site of 7300 Cedar Avenue. We are the landscape architects for the Owners, Christine Simpson and John Lorenz.

1. WRITTEN DESCRIPTION OF PROJECT:

(a) Brief History of Landscape:

The site is an irregularly shaped pair of lots which slope over 38'-0" from top to bottom. The house sits at the highest point of the lot, with a commanding view down Cedar Avenue. A lawn flanked by planting beds under mature arching shade trees rolls from the front porch to the intersection of Cedar and Birch Avenues. The overall effect is one of majestic scale and spaciousness.

Over the years the site has been planted with native oaks, dogwoods, and azaleas; the garden is composed of terraced overlooks above woodland slopes and glen, with winding paths and irregular walls creating picturesque views. The garden as it currently exists was largely created by Kathryn T. Simpson, the mother of the current owner. Mrs. Simpson built, or had built, the brick driveway, step stone paths, terraces and steps from the 1960s onward. The gardens have been preserved with great care by current owners Christine Simpson and John Lorenz.

On the Birch Avenue side, a narrow opening between a yew hedge and azaleas provides a path towards the west side of the house. On the Cedar Avenue side, a brick path leads from the driveway to the front porch. An existing brick driveway provides off street parking for three to four cars. A brick surround around a non functioning existing well is located near the rear (north) side of the existing house.

(b) Description of Proposed Project:

The landscape plan integrates the proposed architectural plans with the existing garden, improves circulation around the house, addresses the non-conforming site wall which currently crosses over the property line on the west side of the house, and enhances the existing plantings with the next generation of native shade tree and understory tree plantings. The materials lifted during demolition are to be used throughout the site to maintain site integrity and to reduce costs. Any new materials to be used are to match existing in terms of material, method of construction and are to be integrated with existing material in an even distribution. Any healthy plant in the area of proposed construction is to be transplanted to another area in the site.

The proposed addition to the north extends into the existing driveway while providing access to a new informal side entry door facing Cedar Avenue. A raised garden retained by a new site wall modulates the grade between the new side entry door and existing brick walkway paralleling Cedar Avenue. The existing brick sidewalk which ramps down

to the existing driveway will be partially rebuilt to accommodate low brick steps. A low fieldstone cheek wall will prevent runoff from the existing planting bed into the driveway. The existing brick driveway will be repaired to eliminate the low spot, and will be relaid in areas disturbed by construction. All new brick paving will be relaid to match the existing fan pattern of the driveway and running bond pattern of the sidewalk. A cover will be installed over the capped off well.

Steps from a new door on the first floor of the west side of the house as well as a lower level doorway will open onto new paths leading directly towards a slightly expanded terrace. A new flagstone path from the terrace will lead around the house to the driveway.

The proposed garden shed to be built along the west edge of the driveway will screen two condensers placed on a platform behind the shed. New retaining walls and rebuilt existing steps will be required to provide access to the condenser area. All stone site walls will be built reusing the existing stone and integrating new stone to match the existing. Existing flagstone pavers and boulders will be reused as the existing flagstone/wood tie steps and boulder steps are rebuilt to provide improved access down the slope.

Circulation will also be improved by increasing the size of the landing at the bottom of the formal front porch (from 2'-6" to 6'-6") so that flagstone paths can extend from the new landing to existing paths on the east and west sides of the house.

The upper part of the brick path leading from the front porch to Cedar Avenue will be relaid with the existing 8" square brick pavers. A small section of brick paving abutting it will be relaid with 8" brick square pavers. The brick path to the south of that path will be relaid to be more stable.

Currently a section of stone wall crosses the west property line. This section of wall will be rebuilt, reusing the same stone, inside the property line. Some grading will occur above the wall to maintain the new wall at 29" height (as measured from the lower grade). Coordination with the City Arborist and project arborist has begun to ensure the preservation of critical root zones of two nearby trees.

Construction of the raised garden on the east side of the proposed addition requires the removal of a 13" dbh hemlock. This has been preliminarily approved by the City Arborist, Todd Bolton. A replacement tree, an oak, will be planted on the front lawn.

Additional plantings will include the extension of the Cedar Avenue planting bed, to help frame the lawn.

2. SITE PLAN/LANDSCAPE PLAN

See attached Site Plan/Landscape Plan depicting the site improvements.

3. PLANS AND ELEVATIONS

See two (2) copies of the required plans, depicting the existing conditions and the proposed modifications.

List of Drawings attached:

1. L-1 – Existing Conditions & Tree Survey Plan
2. L-2 – Site Demolition & Transplanting Plan
3. L-3 – Site Plan/Landscape Master Plan
4. L-4 – Grading & Drainage Plan
5. L-5 – Electrical Plan

4. MATERIAL SPECIFICATIONS

The following is a description of the proposed materials for the project:

Site Walls:

The segment of serpentine driveway curb/wall to the northeast of the proposed shed will be rebuilt using salvaged “ledgy” stone to match the existing driveway curb/wall. The segment of serpentine driveway wall to the southwest of the proposed shed will be built to match existing fieldstone walls which support the existing terrace and which extend near the west property line. The existing fieldstone walls are laid in a drystack manner with a predominant horizontal coursing, with a range of brown and grey color. The wall to the south of the shed turns to parallel a rebuilt set of steps going down the hillside and will be built to match existing fieldstone walls. The same natural fieldstone will be used for the retaining wall supporting the landing outside the condenser pad. A boulder wall using salvaged boulders will be rebuilt to retain grade above a relocated mulched path.

New site walls extending to the east of the proposed addition and flanking the proposed brick steps in the brick walkway will be built of natural fieldstone to match existing site walls. Proposed retaining walls to be built under the north and south sides of the existing screened porch on the east side of the house will be built of CMU walls with natural fieldstone veneer to match existing site walls.

The site walls supporting the terrace will be repaired to stabilize the wall; any new stone will match existing. The retaining wall to the north of the terrace will be repaired to stabilize the wall; any new stone will match existing. The existing flagstone caps will be lifted and reset.

A section of wall will be rebuilt inside the west property line. It will be built of fieldstone to match existing fieldstone walls. It will be built with a “same stone, no return” top, with wall stones mortared in place to form the cap.

A wall supporting a semi-circular terrace at the mid-point of the lower garden will be rebuilt, re-using existing stone.

Paving:

Parts of the brick driveway disturbed by construction, or lifted to adjust for regrading, will be reset using bricks salvaged from the driveway. They will be laid on a dry sand and mortar base. The bricks will be laid in the fan pattern to match existing, bordered by 8” brick of the existing driveway.

The brick path being relaid and steps to be built to the east of the new raised garden will be built using salvaged brick from the pathway. The pattern will match existing and consist of a running bond pattern with 8" brick borders.

The new landing, path, and steps from the east facing door of the addition to the brick path paralleling Cedar Avenue will be built of 2" thick Select Pennsylvania bluestone with a thermal finish (top) and flamed finish (vertical face) for all treads and borders. The paths and "field" of upper landing at house will be made of natural cleft flagstone laid in a random rectangular pattern.

The brick path landing below the front porch on the east side of the porch will be relaid to achieve an even step down off of the porch. The existing 8" square bricks will be lifted and re-used. A paving panel closest to the screened porch will be relaid using 8" square bricks from elsewhere to achieve a unified appearance to the landing.

The brick path to the south of the path which connects Cedar Avenue to the front porch will be relaid using the same running bond pattern bordered by 8" brick as the existing path to the north side.

The landing to the south of the front porch will be increased in size, using natural cleft flagstone. Two paths linking existing paths to this new landing will also be built of natural cleft flagstone.

The path leading into the property from Birch Avenue will have four new bluestone slab steps rather than wood tie steps.

A step stone path of fieldstone (such as Pennsylvania step stones) will be laid to the west of the terrace.

The flagstone terrace will be increased in size to form a rectangular shape; new natural cleft flagstones will be integrated into the existing paving and continue the random rectangular pattern. This paving will cover the area of the former fountain.

A 2'-0" wide flagstone path will lead from the enlarged terrace to the driveway. It will be composed of the owners' salvaged natural cleft flagstone pavers as well as new pavers to match.

Two new walkways will lead from wood deck steps and from a basement door to this connecting path. They will be made of natural cleft flagstone laid in a random rectangular pattern, set on stonedust. The walkway leading to the basement door will include a step; the step will have a 2" thick Select Pennsylvania bluestone tread with thermal finish (top) and flamed finish (sides) and fieldstone riser. The riser stone will match the existing fieldstone walls.

The below deck storage area will have natural cleft flagstone paving floors set on a concrete base.

The paving at a semi-circular terrace built at the mid-point of the lower garden will be lifted and reset. Any cracked paving will be replaced with natural cleft flagstone, 2" thick and set on mortar.

Steps:

The steps leading from the driveway to the lower garden will be rebuilt, re-using the existing flagstone treads. New wood ties will be installed to create steps.

The boulder steps in the lower garden will be rebuilt re-using the existing boulders.

The steps in the curving path leading from the new door facing Cedar Avenue to the brick pathway will be composed of treads made of 2" thick select Pennsylvania bluestone treads with a thermal finish (top) and flamed finish (vertical face) and risers made of fieldstone, to match the existing fieldstone walls.

The brick steps in the brick pathway as it curves to meet the driveway will be made of brick pavers for both treads and risers using the owner's salvaged brick.

One step will transition from the basement door (west side) to the path which links the terrace to driveway. It will be made of 2" thick select Pennsylvania bluestone with a thermal finish (top) and flamed finish (sides) set on a fieldstone riser. The fieldstone will match the existing fieldstone walls.

Railings:

A railing at a set of boulder steps below the proposed shed will be replaced to match existing.

Plantings:

Existing groundcovers beds of pachysandra will be increased in beds along the front porch. Native evergreen ferns and groundcovers such as golden groundsel will be added to supplement existing ivy groundcover below the terrace and and to retain the banks below the shed.

An existing Japanese maple will be transplanted to the top of a new wall inside the west property line.

A new oak tree will be planted in the front garden to replace the hemlock tree being removed on the Cedar Avenue side of the property. Three to four native blackhaw viburnums will be planted along Cedar Avenue outside the screened porch.

A planting bed along Cedar Avenue will extend the line of existing shade trees underplanted with azaleas with transplanted azaleas and native flowering shrubs such as oakleaf hydrangea and Virginia sweetspire.

5. PHOTOGRAPHS

See attached required photographs, labeled as requested.

6. TREE SURVEY

See attached Existing Conditions/Tree Survey for a tree survey.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS:

See list of Adjacent and Confronting Properties List of Owners prepared by Wiedemann Architects.

On behalf of Christine Simpson and John Lorenz, we respectfully submit these materials for your review and approval. If you have any questions concerning our application, please contact me at (301) 907-7700.

Sincerely,

Lila Fendrick, ASLA

Lila Fendrick landscape architecture & garden design

6904 West Avenue

Chevy Chase, Md. 20815

(301) 907-7700



WIEDEMANN ARCHITECTS LLC

5272 RIVER ROAD SUITE 410
BELLEVUE, WA 98006
PHONE: 81-457-4022
FAX: 81-457-4794

www.wiedemannarchitects.com

PROJECT
SIMPSON / LORENZ
RESIDENCE ADDITION
7300 CEDAR AVE.
TAKOMA PARK, WA 20912

ISSUED

HPC PRELIMINARY
CONSULTATION
27 FEBRUARY 2008
HISTORIC AREA WORK
PERMIT HEARING
SEPTEMBER 10 2008

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

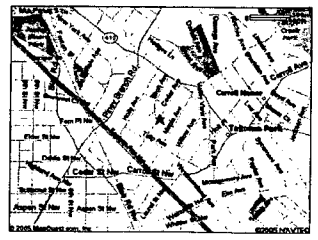
C1.0

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- M-1.2 SECOND FLOOR MECHANICAL PLAN
- M-1.3 ATTIC LEVEL MECHANICAL PLAN

SQUARE FOOTAGE CALCULATIONS:

BASEMENT LEVEL		NEW FOOTPRINT	
EXISTING TO REMAIN	1035 GSF	EXISTING TO REMAIN	1283 SQ. FT.
EXISTING TO BE REMOVED	851 GSF	EXISTING TO BE REMOVED	(851 SQ. FT.)
NEW ADDITION	881 GSF	NEW ADDITION	798 SQ. FT.
NEW SHED	117 GSF		
FIRST FLOOR		NEW TOTAL FOOTPRINT	
EXISTING TO REMAIN	1270 GSF		2061 SQ. FT.
EXISTING TO BE REMOVED	499 GSF	EXISTING TOTAL FOOTPRINT	2114 SQ. FT.
NEW ADDITION	792 GSF		
SECOND FLOOR			
EXISTING TO REMAIN	1035 GSF		
EXISTING TO BE REMOVED	397 GSF		
NEW ADDITION	600 GSF		
ATTIC LEVEL			
EXISTING TO REMAIN	948 GSF		



2 VICINITY MAP
SCALE: NOT TO SCALE

SITE PLAN NOTES:

SITE INFORMATION BASED ON HOUSE LOCATION DRAWING, TREE LOCATION, AND TOPOGRAPHY SURVEY DATED 1-2-08 PREPARED BY SNIDER & ASSOCIATES.

REFER TO LANDSCAPE DRAWINGS BY LILA FENDRICK LANDSCAPE & GARDEN DESIGN FOR INFORMATION ON ALL EXTERIOR HARDSCAPE NOTED ON SITE PLAN, LANDSCAPE MASTER PLAN, LANDSCAPE PLANTING PLAN, TREE PRESERVATION PLAN, GRADING PLAN, AND DRAINAGE PLAN

ZONING SUMMARY

SCOPE OF WORK SHALL INCLUDE AN ADDITION AND RENOVATION & ALTERATION TO THE EXISTING SINGLE FAMILY RESIDENCE AS SHOWN ON THESE DRAWINGS

ADDRESS:
7300 CEDAR AVENUE
TAKOMA PARK, 20912

ZONE: R-60

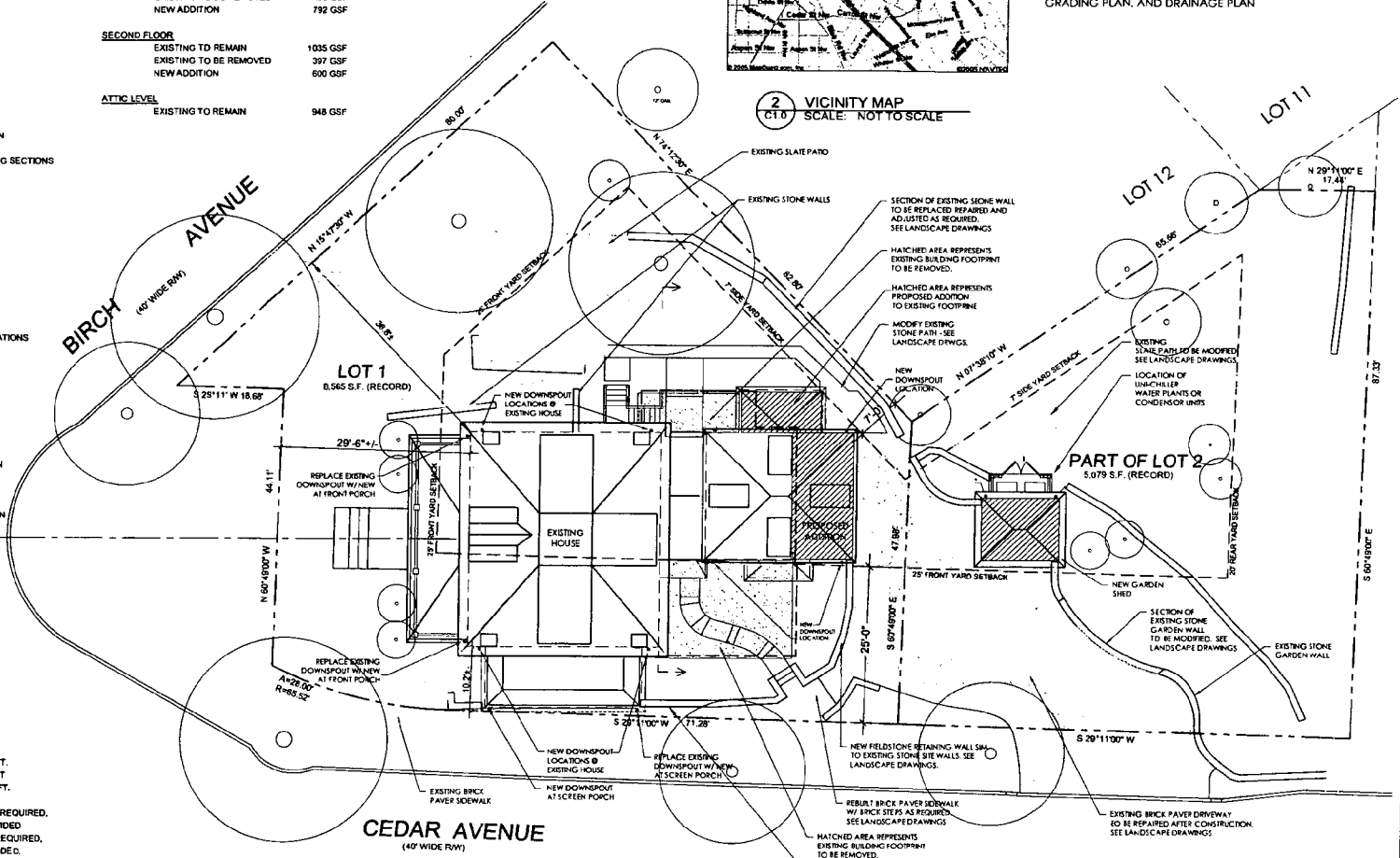
LOT DESCRIPTION:
LOT 1 AREA: 8,585 SQ. FT.
LOT 2 AREA: 5,079 SQ. FT.
TOTAL LOT 1 & 2: 13,664 SQ. FT.

FRONT YARD SETBACK: 25 FT. MIN. REQUIRED, 25 FT. PROVIDED

SIDE YARD SETBACK: 7 FT. MIN. REQUIRED, 7 FT. PROVIDED

REAR YARD SETBACK: 20 FT. MIN. REQUIRED, 78 FT. PROVIDED

LOT COVERAGE: MAXIMUM ALLOWABLE E - 35%
PROPOSED COVERAGE - 13%



1 SITE PLAN / HOUSE LOCATION PLAN
SCALE: 1/8" = 1'-0"

19



**WIEDEMANN
ARCHITECTS
LLC**

3272 RIVER ROAD SUITE 410
BETHESDA, MD 20814
Voice 301-452-4022
Fax 301-452-4094

www.wiedemannarchitects.com

PROJECT

SIMPSON / LORENZ
RESIDENCE
7300 CEDAR AVE.
TAKOMA PARK, 20912

ISSUED

FOR REVIEW:
March 22, 2004



1 EX2.3 EXISTING SOUTH FRONT STREET ELEVATION
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

EX.2.3

20



WIEDEMANN ARCHITECTS LLC

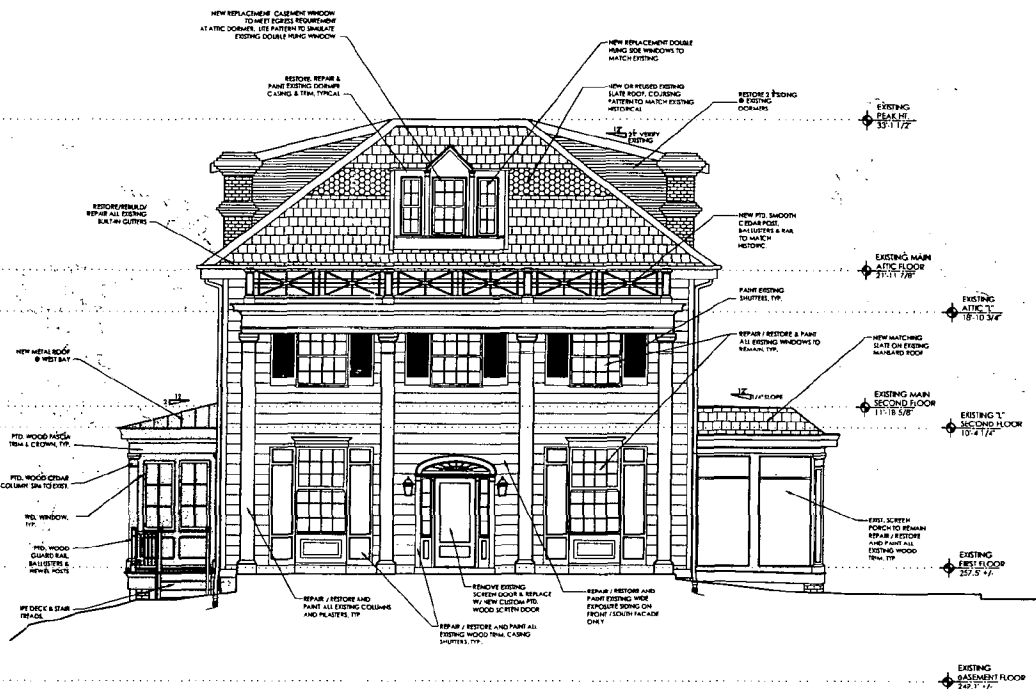
5772 RIVER ROAD SUITE 410
BETHESDA, MD 20816
Voice: 301-452-4022
Fax: 301-452-4094

www.wiedemannarchitects.com

PROJECT
SIMPSON/ LORENZ
RESIDENCE ADDITION
7305 CEDAR AVE
TAKOMA PARK, 20917

ISSUED

HPC PRELIMINARY
CONSULTATION
27 FEBRUARY 2008
HISTORIC AREA WORK
PERMITS HEARING
SEPTEMBER 10, 2008



1 PROPOSED SOUTH FRONT STREET ELEVATION
A2.3 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

A2.3

21



WIEDEMANN
ARCHITECTS
LLC

5772 RIVER ROAD SUITE 410
BETHESDA, MD 20818
Voice: 301-652-4022
Fax: 301-652-4094

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PROJECT

SIMPSON ACRE/2
RESIDENCE
7300 CEDAR AVE
TAKOMA PARK 20912

ISSUED

FOR REVIEW
MARCH 22, 2004



1 EXISTING NORTH ELEVATION
EX2.0 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

EX.2.0

22



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LLC

5772 RIVER ROAD SUITE 610
BETHESDA, MD 20814
Voice 301-652-4022
Fax 301-652-4094

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PROJECT

SIMPSON A LORENZ
RESIDENCE
7300 CEDAR AVE.
TACOMA PARK, 20912

ISSUED

FOR REVIEW:
March 22, 2004



EXISTING
ROOF PEAK
290' 7 1/2" +/-

EXISTING MAIN
ATTIC FLOOR
279' 5 7/8" +/-

EXISTING MAIN
SECOND FLOOR
269' 4 3/8" +/-

EXISTING "L"
SECOND FLOOR
257' 10 1/4" +/-

EXISTING
FIRST FLOOR
259' 8" +/-

BASEMENT FLOOR
249' 5 1/2" +/-

1 EXISTING CEDAR AVENUE ELEVATION
EX2.1 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

EX.2.1

24



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ARCHITECTS
LLC

3273 RIVER ROAD SUITE 410
BETHESDA, MD 20814
Voice 301-452-4022
Fax 301-452-4094

www.wiedemannarchitects.com

PROJECT:

SIMPSON FLORENZ
RESIDENCE
7300 CEDAR AVE.
TAKOMA PARK, 20912

ISSUED

FOR REVIEW:
March 22, 2004



1 EXISTING BIRCH AVENUE SIDE ELEVATION
EX2.2 SCALE: 1/2" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

EX.2.2



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BETHESDA, MD 20816
Voice 301-452-4022
Fax 301-452-4094

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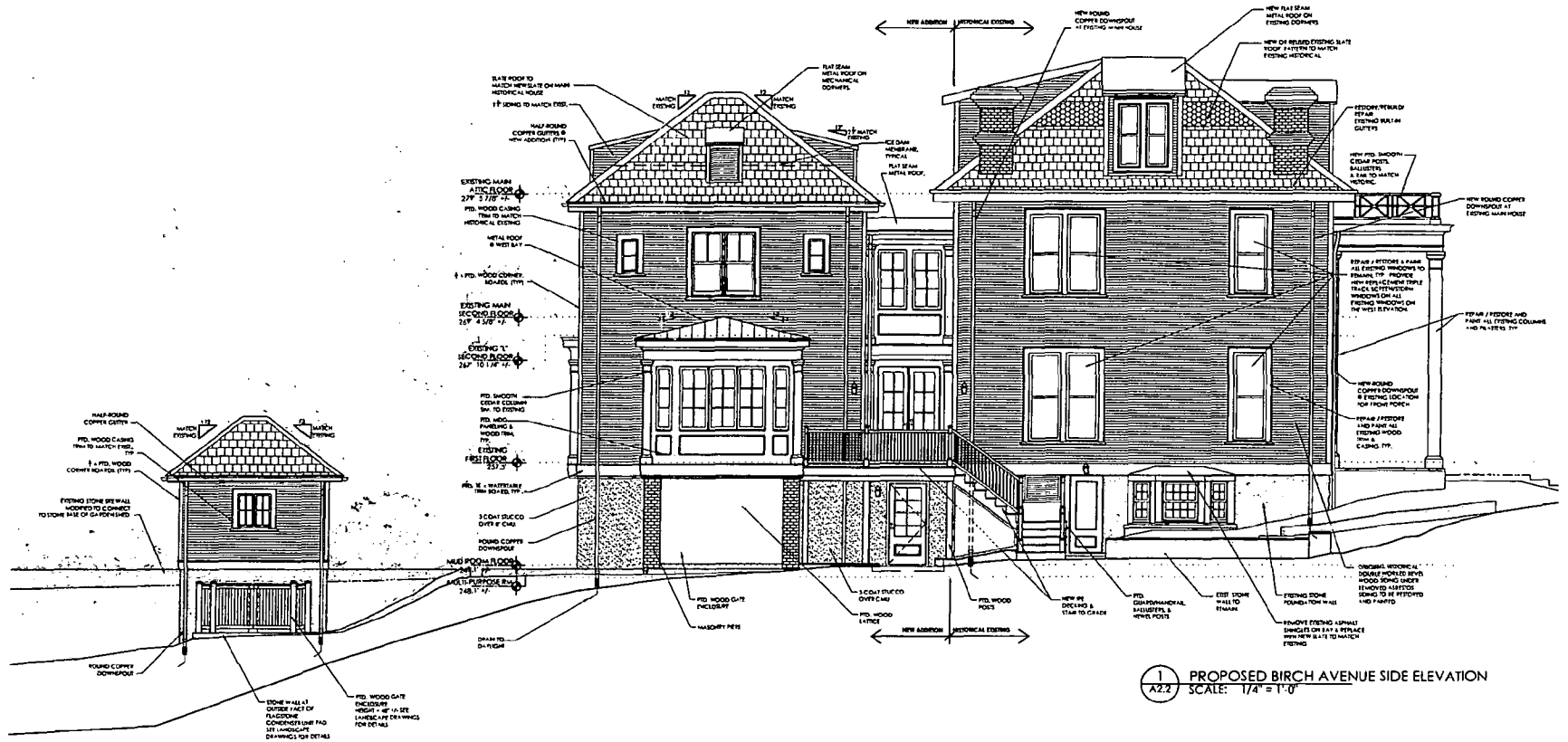
PROJECT

SIMPSON / LORENTZ
RESIDENCE ADDITION
7200 CEDAR AVE.
TACOMA PARK, 20912

ISSUED

MPC PRELIMINARY
CONSULTATION
27 FEBRUARY 2008

HISTORIC AREA WORK
PERMIT HEARING
SEPTEMBER 10, 2008



1
A2.2 PROPOSED BIRCH AVENUE SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

A2.2

27



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ARCHITECTS
LLC

1772 RIVER ROAD SUITE 409
BETHESDA, MD 20814
Voice: 301-457-4022
Fax: 301-452-4094

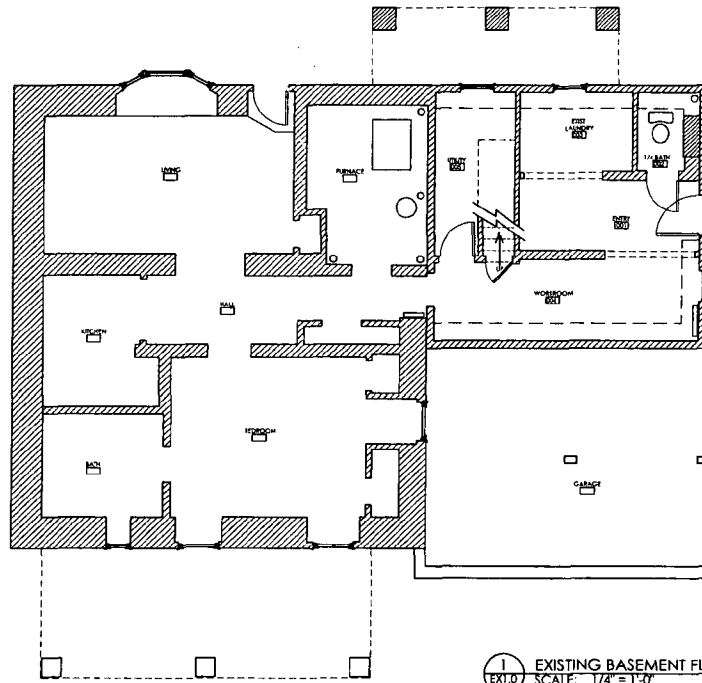
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PROJECT

SIMPSON FLORENZ
RESIDENCE
7300 CEDAR AVE.
TAKOMA PARK, 20912

ISSUED

FOR REVIEW
March 22, 2004



EXIST. 1.0 EXISTING BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

EX.1.0

28



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ARCHITECTS
LLC

1272 RIVER ROAD SUITE 610
RETHESDA, MD 20814
PHONE 301-452-8422
FAX 301-452-4094

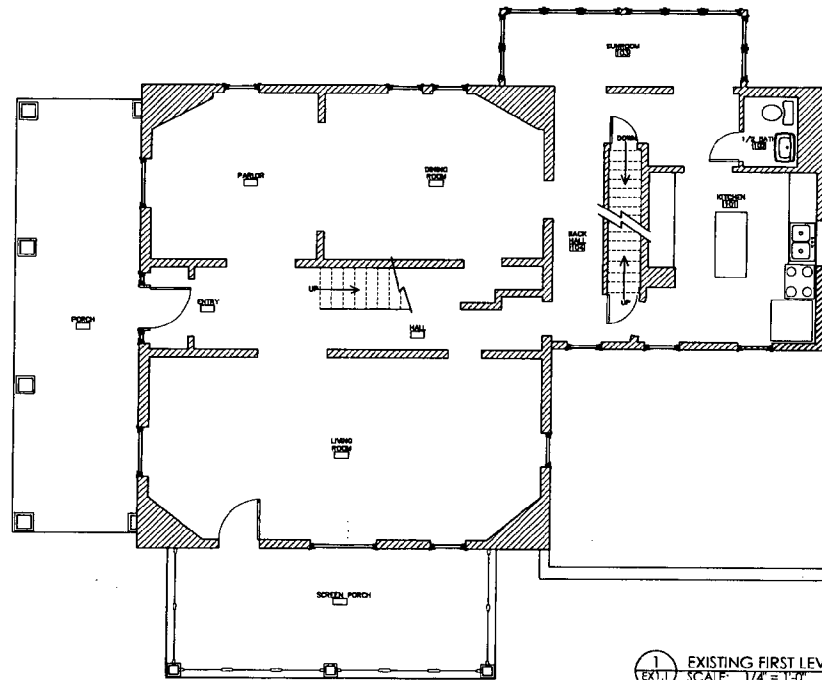
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PROJECT

SIMPSON AURENZI
RESIDENCE
7300 CEDAR AVE
TAKOMA PARK, 20912

ISSUED

FOR REVIEW:
March 22, 2004



1 EXISTING FIRST LEVEL FLOOR PLAN
EX.1.1 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

EX.1.1

20



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LLC**

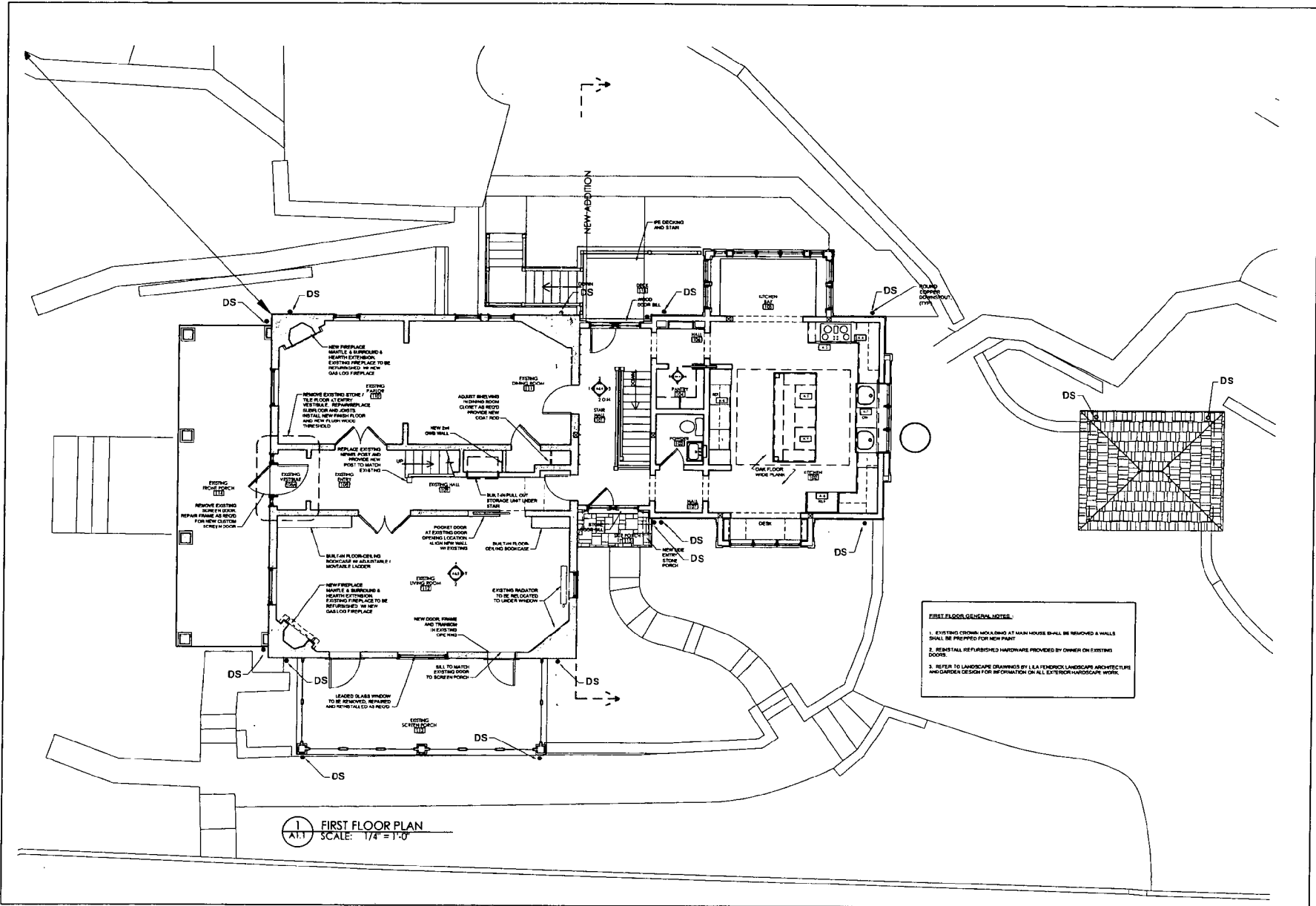
5272 RIVER ROAD SUITE 410
BETHESDA, MD 20816
Voice: 301-452-4022
Fax: 301-452-4044

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PROJECT
SIMPSON/ LORENZ
RESIDENCE ADDITION
380 CEDAR AVE.
TACOMA PARK 20912

ISSUED

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CONSULTATION
27 FEBRUARY 2008
HISTORIC AREA WORK
PERMIT HEARING
SEPTEMBER 10, 2008



FIRST FLOOR GENERAL NOTES:

1. EXISTING CEILING INCLUDING AT MAIN HOUSE SHALL BE REMOVED & WALLS SHALL BE PREPARED FOR NEW PAINT
2. REINSTALL REFINISHED HARDWARE PROVIDED BY OWNER ON EXISTING DOORS
3. REFER TO LANDSCAPE DRAWINGS BY L.A. FENICHEL LANDSCAPE ARCHITECTURE AND GARDEN DESIGN FOR INFORMATION ON ALL EXTERIOR HARDSCAPE WORK.

1
A1.1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

A1.1

31



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ARCHITECTS
LLC

3272 RIVER ROAD SUITE 400
BETHESDA, MD 20814
Voice 301-657-4022
Fax 301-657-4094

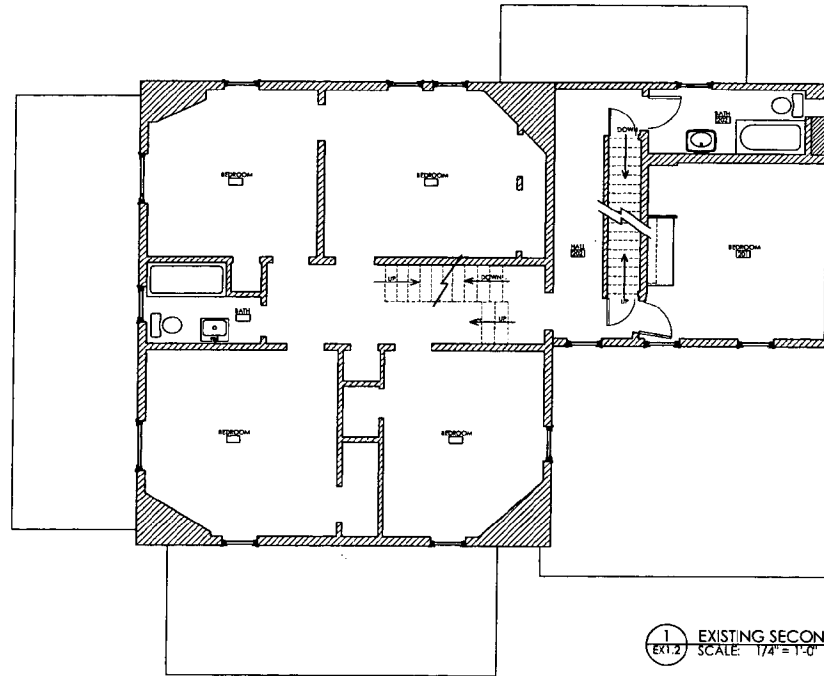
www.wiedemannarchitects.com

PROJECT

SIMPSON ALORENZ
RESIDENCE
7300 CYPRESS AVE
TAKOMA PARK, 20912

ISSUED

FOR REVIEW:
March 22, 2004



1 EXISTING SECOND LEVEL FLOOR PLAN
EX1.2 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

EX.1.2

32



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5272 RIVER ROAD SUITE 610
REYKSDALE, MD 20818
Voice: 301-452-4022
Fax: 301-452-4094

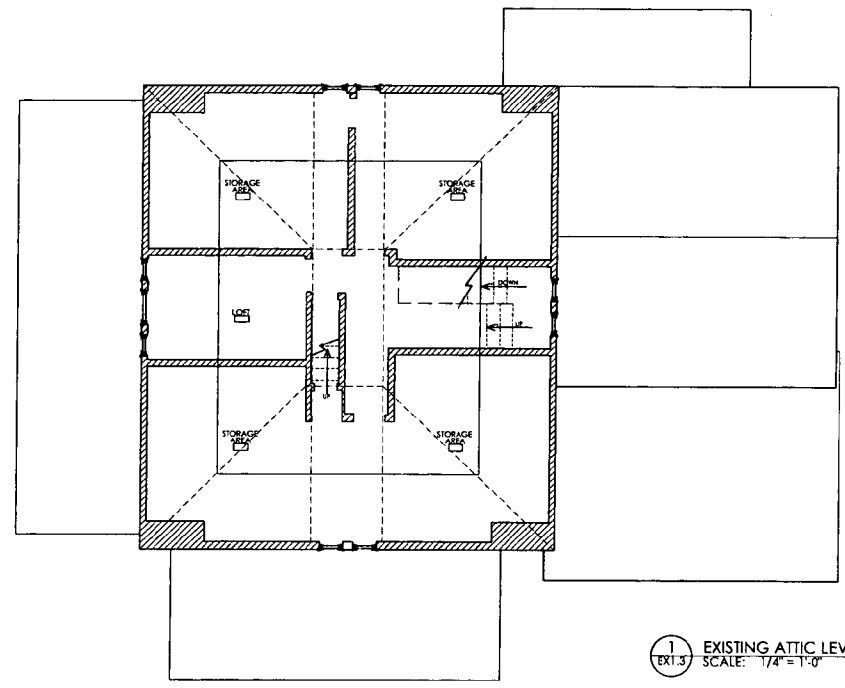
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PROJECT

SIMPSON & ORENZ
RESIDENCE
7300 CEDAR AVE.
TACOMA, WA, 98412

ISSUED

FOR REVIEW:
MARCH 22, 2004



1 EXISTING ATTIC LEVEL FLOOR PLAN
EX.1.3 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

EX.1.3

65



WIEDEMANN ARCHITECTS LLC

577 RIVER ROAD SUITE 610
BRITTSODA, MD 20615
Voice: 301.452.4022
Fax: 301.452.4004

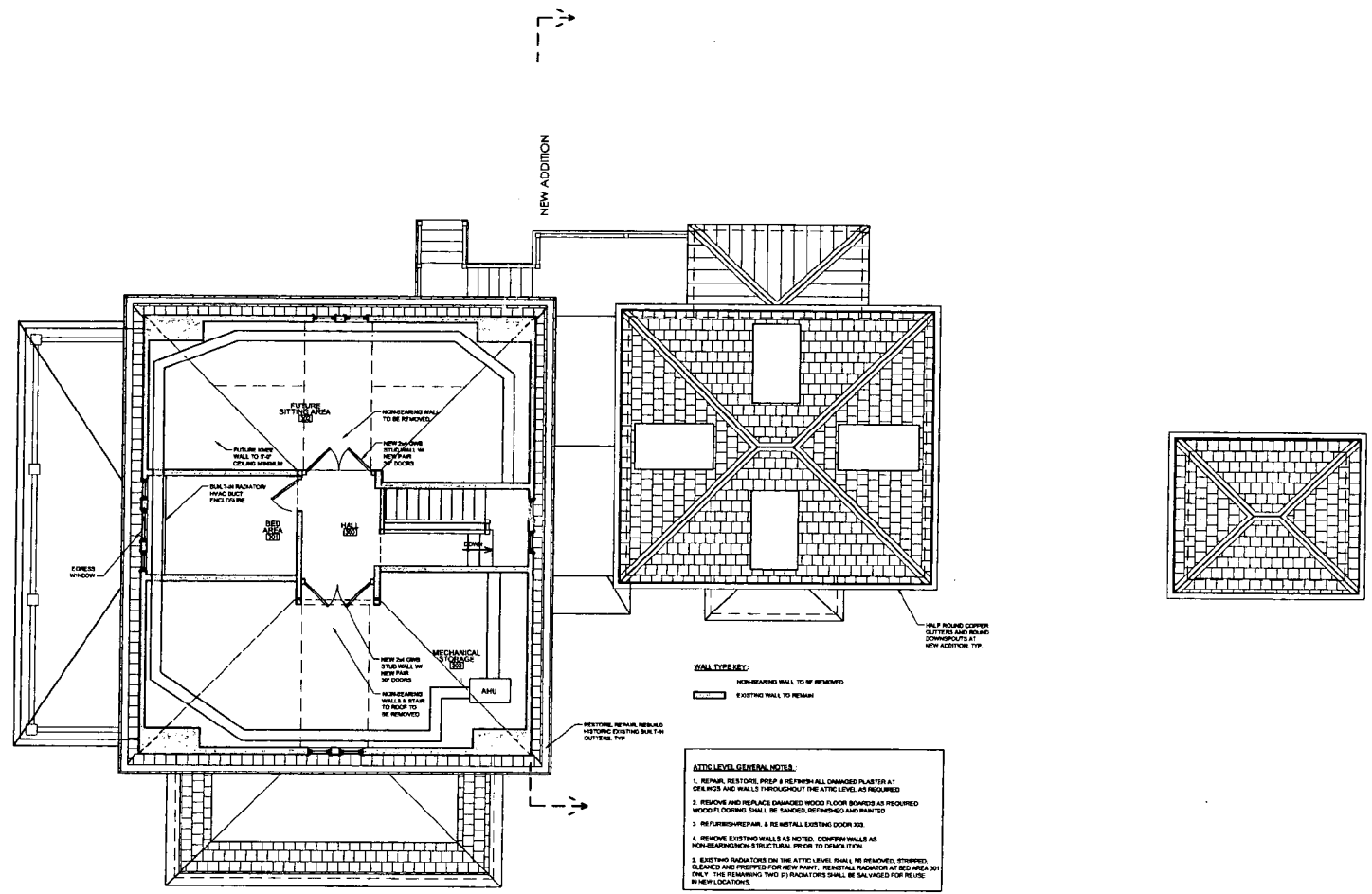
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PROJECT
SIMPSON/LORENZ
RESIDENCE ADDITION
7300 CEDAR AVE.
TAXOMA PARK, 20912

ISSUED

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CONSULTATION
27 FEBRUARY 2008

HISTORIC AREA WORK
PERMIT RECEIVED
SEPTEMBER 10, 2008



- ATTIC LEVEL GENERAL NOTES:**
1. REPAIR, RESTORE, PREP & REFINISH ALL DAMAGED PLASTER AT CEILING AND WALLS THROUGHOUT THE ATTIC LEVEL AS REQUIRED
 2. REMOVE AND REPLACE DAMAGED WOOD FLOOR BOARDS AS REQUIRED. WOOD FLOORING SHALL BE Sanded, REFINISHED AND PAINTED
 3. REFINISH/REPAIR, & REINSTALL EXISTING DOOR X02
 4. REMOVE EXISTING WALLS AS NOTED. CONFORM WALLS AS NON-BEARING ON STRUCTURAL PRIOR TO DEMOLITION.
 5. EXISTING RADIATORS ON THE ATTIC LEVEL SHALL BE REMOVED, OTTERBEE CLEANED AND PREPARED FOR NEW PAINT. REINSTALL RADIATOR AT BED AREA X01 ONLY. THE REMAINING TWO (2) RADIATORS SHALL BE SALVAGED FOR REUSE IN NEW LOCATIONS.

1 RENOVATED ATTIC LEVEL FLOOR PLAN @ EXISTING HOUSE
A1.3 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

A1.3

35



WIEDEMANN
ARCHITECTS
LLC

1272 RIVER ROAD SUITE 810
BETHESDA, MD 20814
Voice 301-452-4822
Fax 301-452-4894

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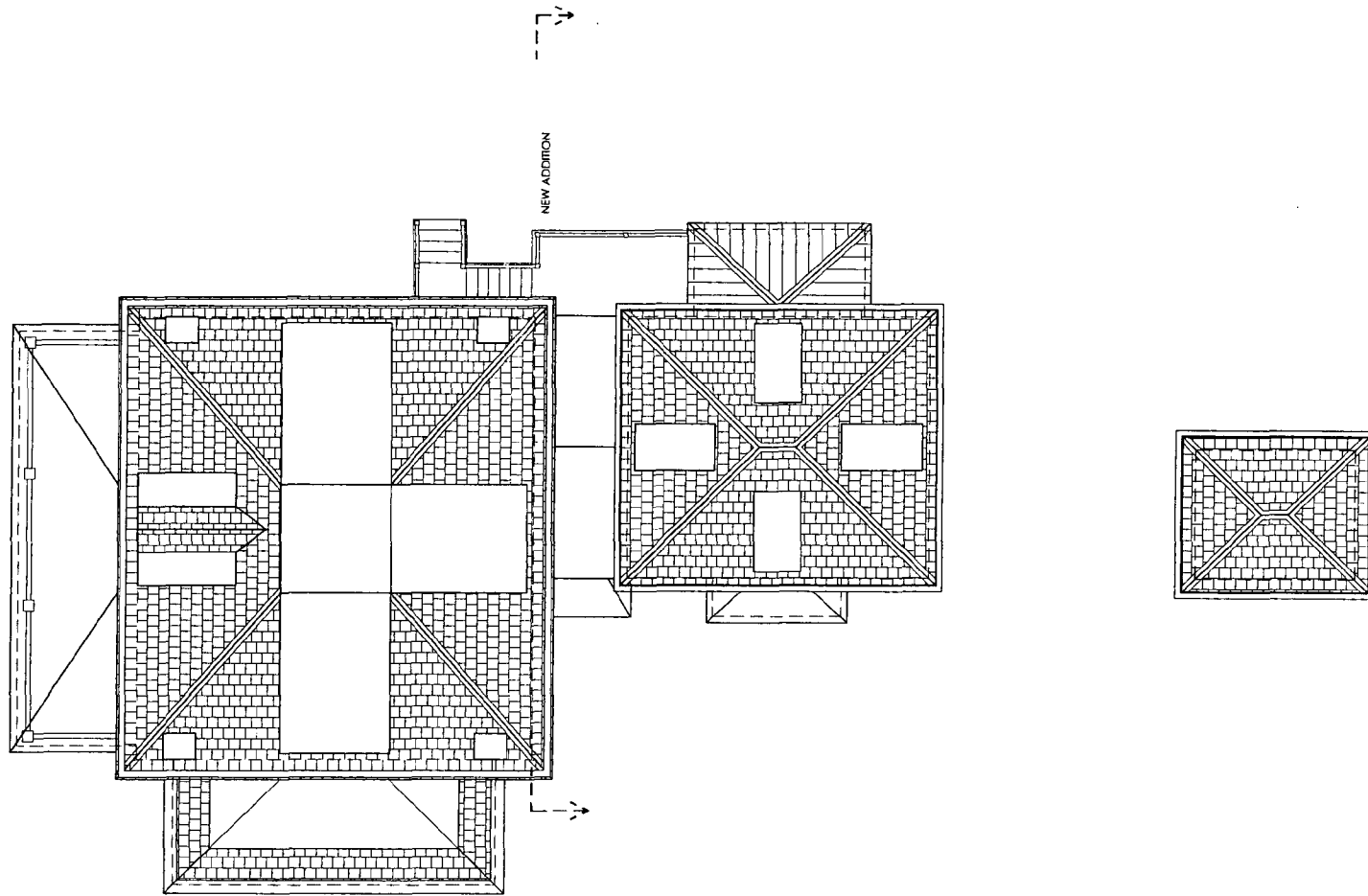
PROJECT
SIMPSON/ LORENZ
RESIDENCE ADDITION
7300 CEDAR AVE.
TAKOMA PARK, 20912

ISSUED

HPC PRELIMINARY
CONSULTATION
27 FEBRUARY 2008
HISTORIC AREA WORK
PERMIT HEARING
SEPTEMBER 18, 2008

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

A1.4



1 ROOF PLAN
A1.4 SCALE: 1/4" = 1'-0"

26

SIMPSON-LORENZ RESIDENCE

7300 CEDAR AVENUE, TAKOMA PARK, MD 20912

HISTORIC AREA WORK PERMIT SEPTEMBER 10, 2008

INDEX OF DOCUMENTS

- L-1 EXISTING CONDITIONS/ TREE SURVEY
- L-2 SITE DEMOLITION & TRANSPLANTING PLAN
- L-3 SITE PLAN/LANDSCAPE MASTER PLAN
- L-4 GRADING & DRAINAGE PLAN
- L-5 ELECTRICAL PLAN

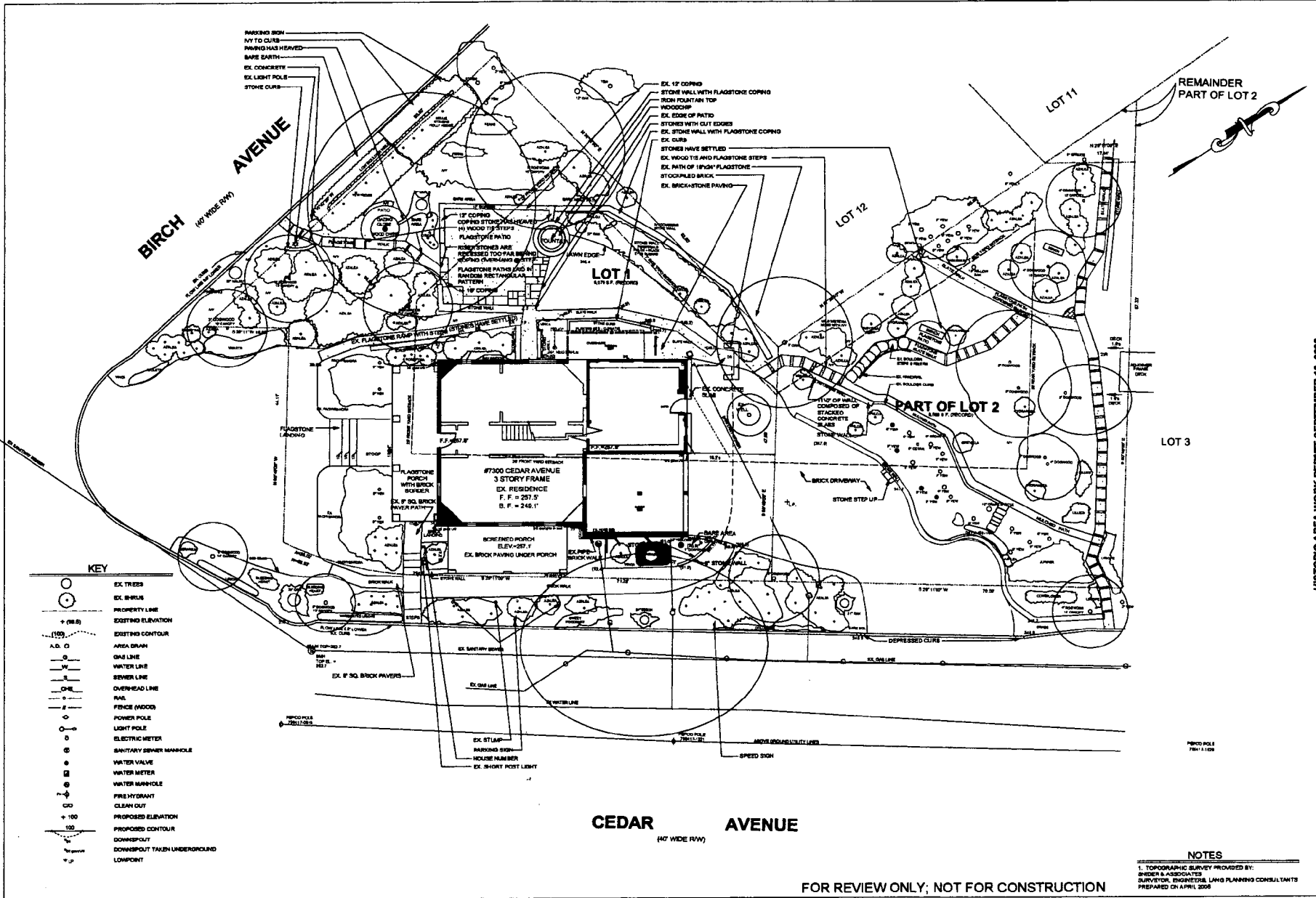
DATES	NOTES
7-30-08	
8-1-08	
8-4-08	
8-19-08	
8-20-08	

LILA FENDRICK landscape architecture & garden design
6904 West Avenue Chevy Chase, MD 20815 (301) 907-7700

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27

358



HISTORIC AREA WORK PERMIT, SEPTEMBER 10, 2008

SIMPSON LORENZ RESIDENCE

7300 CEDAR AVENUE, TAKOMA PARK, MD 20912

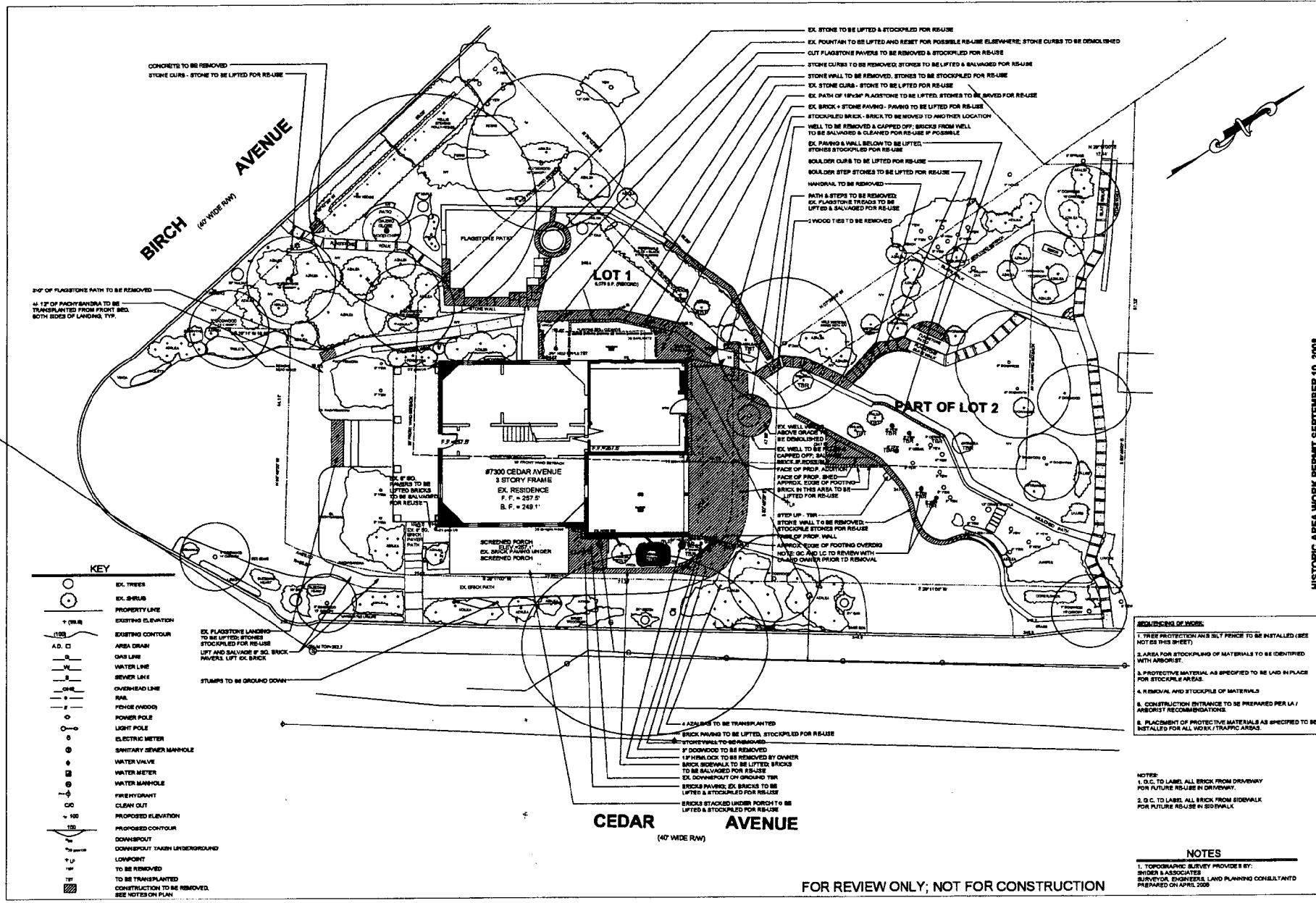
EXISTING CONDITIONS & TREE SURVEY PLAN

SCALE: 1" = 10'

L-1

LILA FENDRICK
landscape architecture & garden design
604 West Avenue, Chevy Chase, Maryland 20815 (301) 957-7700

39



KEY

	EX. TREES
	EX. SHRUBS
	PROPERTY LINE
	EXISTING ELEVATION
	AREA DRAIN
	GAS LINE
	WATER LINE
	SEWER LINE
	OVERHEAD LINE
	RAIL
	FENCE (WOOD)
	POWER POLE
	LIGHT POLE
	ELECTRIC METER
	SANITARY SEWER MANHOLE
	WATER VALVE
	WATER METER
	WATER MANHOLE
	FIRE HYDRANT
	CLEAN OUT
	PROPOSED ELEVATION
	PROPOSED CONTOUR
	DOWNSPOUT
	DOWNSPOUT TAKEN UNDERGROUND
	LOWPOINT
	TO BE REMOVED
	TO BE TRANSPLANTED
	CONSTRUCTION TO BE REMOVED
	SEE NOTES ON PLAN

EX. FLAGSTONE LANDING TO BE LIFTED. STONES STOCKPILED FOR REUSE.
 LIFT AND SALVAGE IF SOL. BRICK. PAVEMENT LIFT EX. BRICK.
 STUMPS TO BE GROUND DOWN.

CEDAR AVENUE
 (40' WIDE RW)

- EX. STONE TO BE LIFTED & STOCKPILED FOR REUSE
- EX. FOUNTAIN TO BE LIFTED AND RESET FOR POSSIBLE REUSE ELSEWHERE. STONE CURBS TO BE DEMOLISHED
- CUT FLAGSTONE PAVING TO BE REMOVED & STOCKPILED FOR REUSE
- STONE CURBS TO BE REMOVED. STONES TO BE LIFTED & SALVAGED FOR REUSE
- STONE WALL TO BE REMOVED. STONES TO BE STOCKPILED FOR REUSE
- EX. STONE CURB - STONE TO BE LIFTED FOR REUSE
- EX. PATH OF (18"X) FLAGSTONE TO BE LIFTED. STONES TO BE SALVED FOR REUSE
- EX. BRICK + STONE PAVING - PAVING TO BE LIFTED FOR REUSE
- STOCKPILED BRICK - BRICK TO BE MOVED TO ANOTHER LOCATION
- WELL TO BE REMOVED & CAPPED OFF. BRICKS FROM WELL TO BE SALVAGED & CLEANED FOR REUSE IF POSSIBLE
- EX. PAVING & WALL BELOW TO BE LIFTED. STONES STOCKPILED FOR REUSE
- BOLLARD CURBS TO BE LIFTED FOR REUSE
- BOLLARD STEP STONES TO BE LIFTED FOR REUSE
- MANHOLE TO BE REMOVED
- PATH & STEPS TO BE REMOVED. STONES SALVAGED FOR REUSE
- 3 WOOD TIES TO BE REMOVED

EX. WELLS TO BE DEMOLISHED & CAPPED OFF. BRICKS FROM WELLS TO BE SALVAGED FOR REUSE.
 FACE OF PROP. ADJUSTED.
 APPROX. EDGE OF FOOTING OVERKING NO. 10. G.C. AND I.C. TO REVIEW WITH OWNER PRIOR TO REMOVAL.

- 4 ASHLARS TO BE TRANSPLANTED
- BRICK PAVING TO BE LIFTED. STOCKPILED FOR REUSE
- STONEWALL TO BE REMOVED
- IF DOORWOOD TO BE REMOVED
- UPHOLSTOCK TO BE REMOVED BY OWNER
- BRICK SIDEWALK TO BE LIFTED. BRICKS TO BE SALVAGED FOR REUSE
- EX. DOWNSPOUT ON GROUND TO BE REMOVED
- BRICK PAVING, EX. BRICKS TO BE LIFTED & STOCKPILED FOR REUSE
- BRICKS STACKED UNDER PORCH TO BE LIFTED & STOCKPILED FOR REUSE

- REQUIREMENTS OF WORK:**
1. TREE PROTECTION AND SILT FENCE TO BE INSTALLED (SEE NOTES THIS SHEET)
 2. AREA FOR STOCKPIPING OF MATERIALS TO BE IDENTIFIED WITH ARBORIST.
 3. PROTECTIVE MATERIAL AS SPECIFIED TO BE LAID IN PLACE FOR STOCKPILE AREAS.
 4. REMOVAL AND STOCKPILE OF MATERIALS
 5. CONSTRUCTION ENTRANCE TO BE PREPARED PER LA / ARBORIST RECOMMENDATIONS.
 6. PLACEMENT OF PROTECTIVE MATERIALS AS SPECIFIED TO BE INSTALLED FOR ALL WORK / TRAFFIC AREAS.

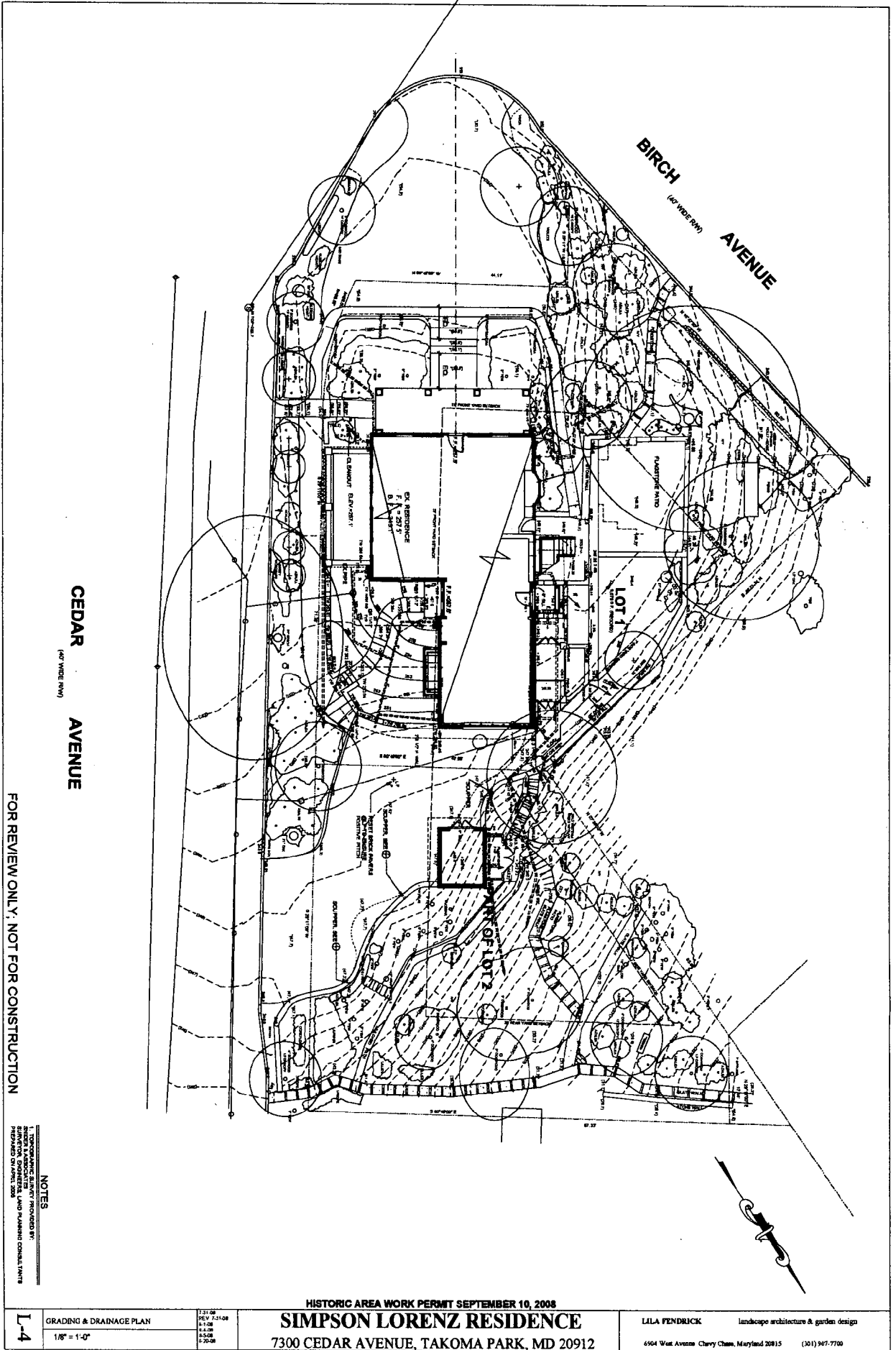
- NOTES:**
1. G.C. TO LABEL ALL BRICK FROM DRIVEWAY FOR FUTURE REUSE IN DRIVEWAY.
 2. G.C. TO LABEL ALL BRICK FROM SIDEWALK FOR FUTURE REUSE IN SIDEWALK.

NOTES

1. TOPOGRAPHIC SURVEY PROVIDED BY: SIMPSON & ASSOCIATES
 SURVEYOR, ENGINEER, LAND PLANNING CONSULTANTS
 PREPARED ON APRIL 2008

FOR REVIEW ONLY; NOT FOR CONSTRUCTION

lh



FOR REVIEW ONLY, NOT FOR CONSTRUCTION

NOTES

1. THIS PLAN IS A PRELIMINARY DESIGN AND IS SUBJECT TO CHANGE WITHOUT NOTICE.

2. THE CLIENT HAS REVIEWED AND APPROVED THIS PLAN AND HAS AGREED TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS.

3. THE CLIENT HAS REVIEWED AND APPROVED THIS PLAN AND HAS AGREED TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS.

4. THE CLIENT HAS REVIEWED AND APPROVED THIS PLAN AND HAS AGREED TO BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATORY APPROVALS.

HISTORIC AREA WORK PERMIT SEPTEMBER 10, 2008

SIMPSON LORENZ RESIDENCE

7300 CEDAR AVENUE, TAKOMA PARK, MD 20912

LILA FENDRICK landscape architecture & garden design

6964 West Avenue, Chevy Chase, Maryland 20915 (301) 947-7700

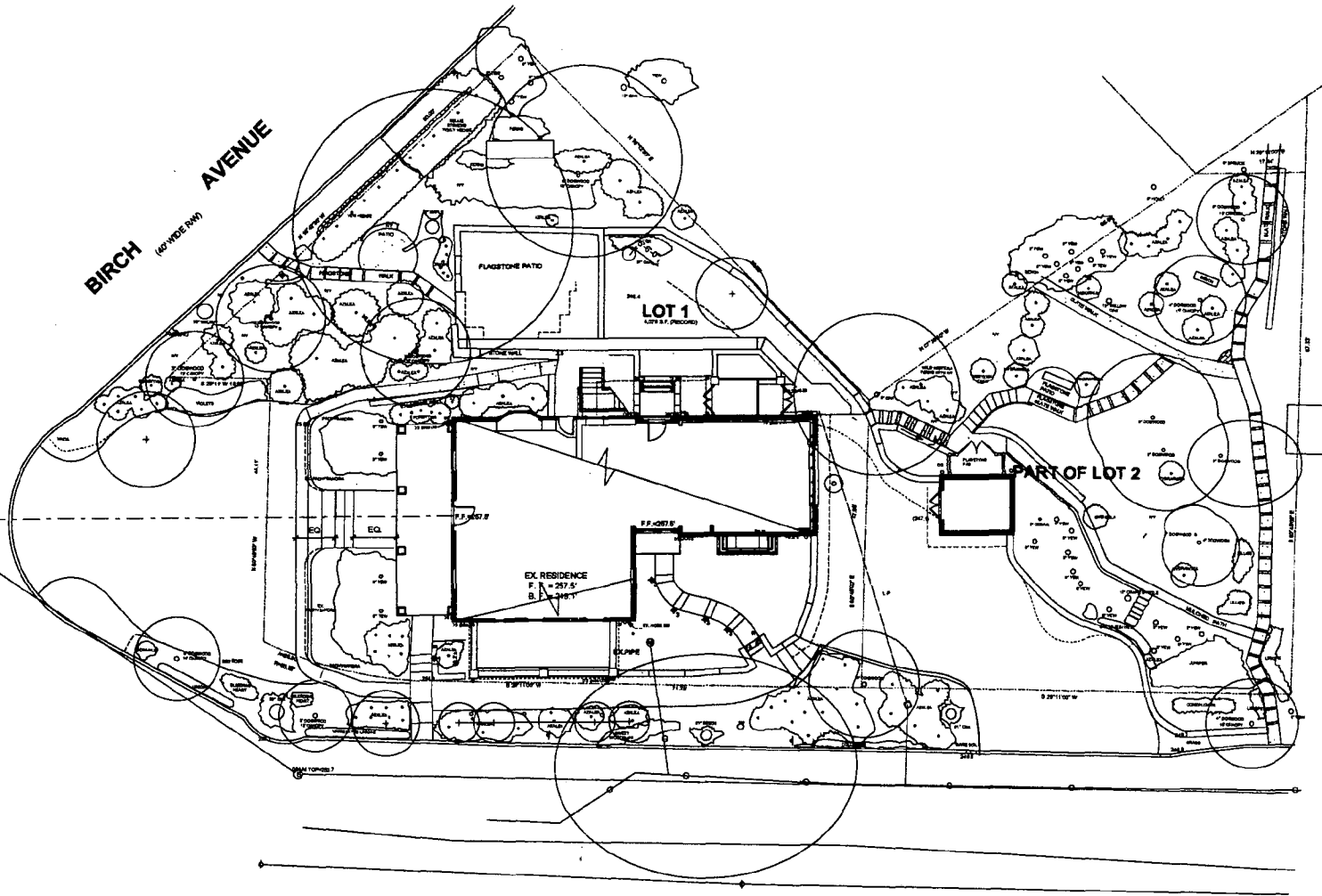
L-4

GRADING & DRAINAGE PLAN




1/8" = 1'-0"

1-21-08
 10-11-08
 4-1-08
 4-1-08
 8-5-08
 1-20-08

BIRCH AVENUE
(40' WIDE RW)



CEDAR AVENUE
(40' WIDE RW)

TYPE	QTY.	
	2	POSSIBLE NEW REPLACEMENT EXTERIOR CARRIAGE POLE FIXTURE TBD
	4	BEGA 2283, BRONZE FINISH
	4	TEKA 1130, NATURAL

NOTES

1. TOPOGRAPHIC SURVEY PROVIDED BY:
SINDBER & ASSOCIATES
SURVEYOR, ENGINEERS, LAND PLANNING CONSULTANTS
PREPARED ON APRIL 2008

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HISTORIC AREA WORK PERMIT SEPTEMBER 10, 2008

SIMPSON LORENZ RESIDENCE

7300 CEDAR AVENUE, TAKOMA PARK, MD 20912

1/2008
REV. 4/11/08
11.28
11.28
11.28

ELECTRICAL PLAN
1/8" = 1'-0"

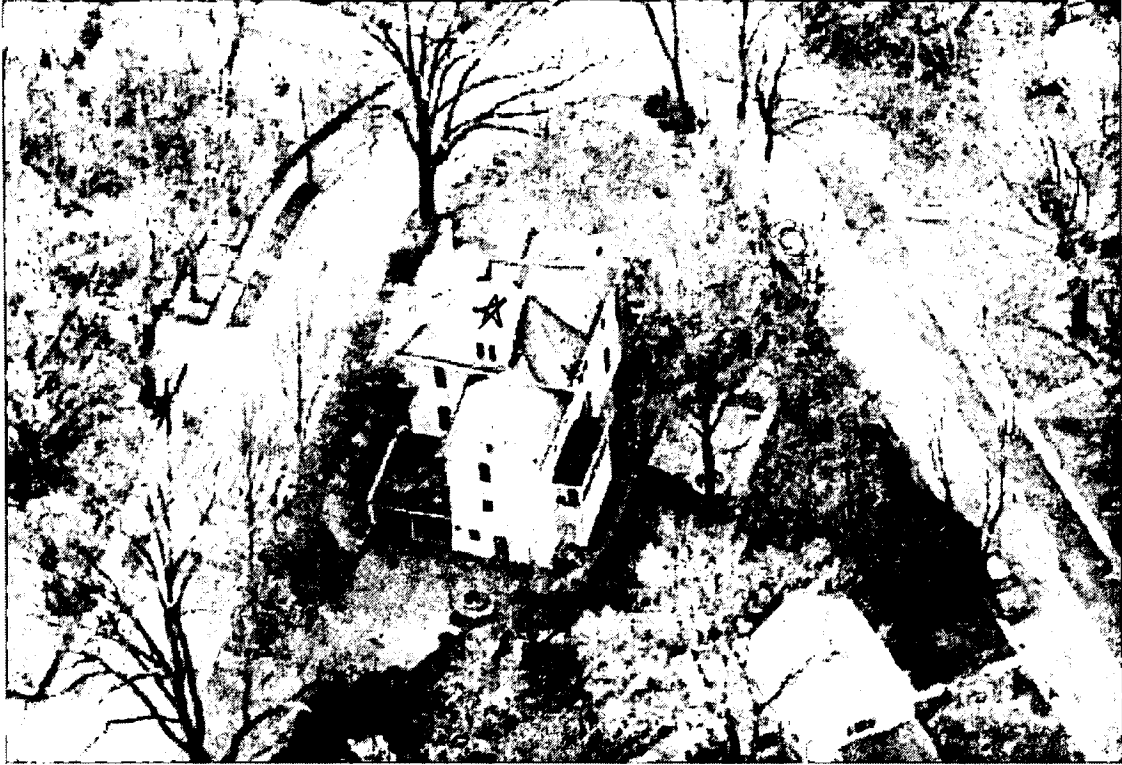
L-5

LILA FRYDRICK
Landscape Architecture & Garden Design
6904 Vireo Avenue Chevy Chase, Maryland 20815
(301) 967-7700

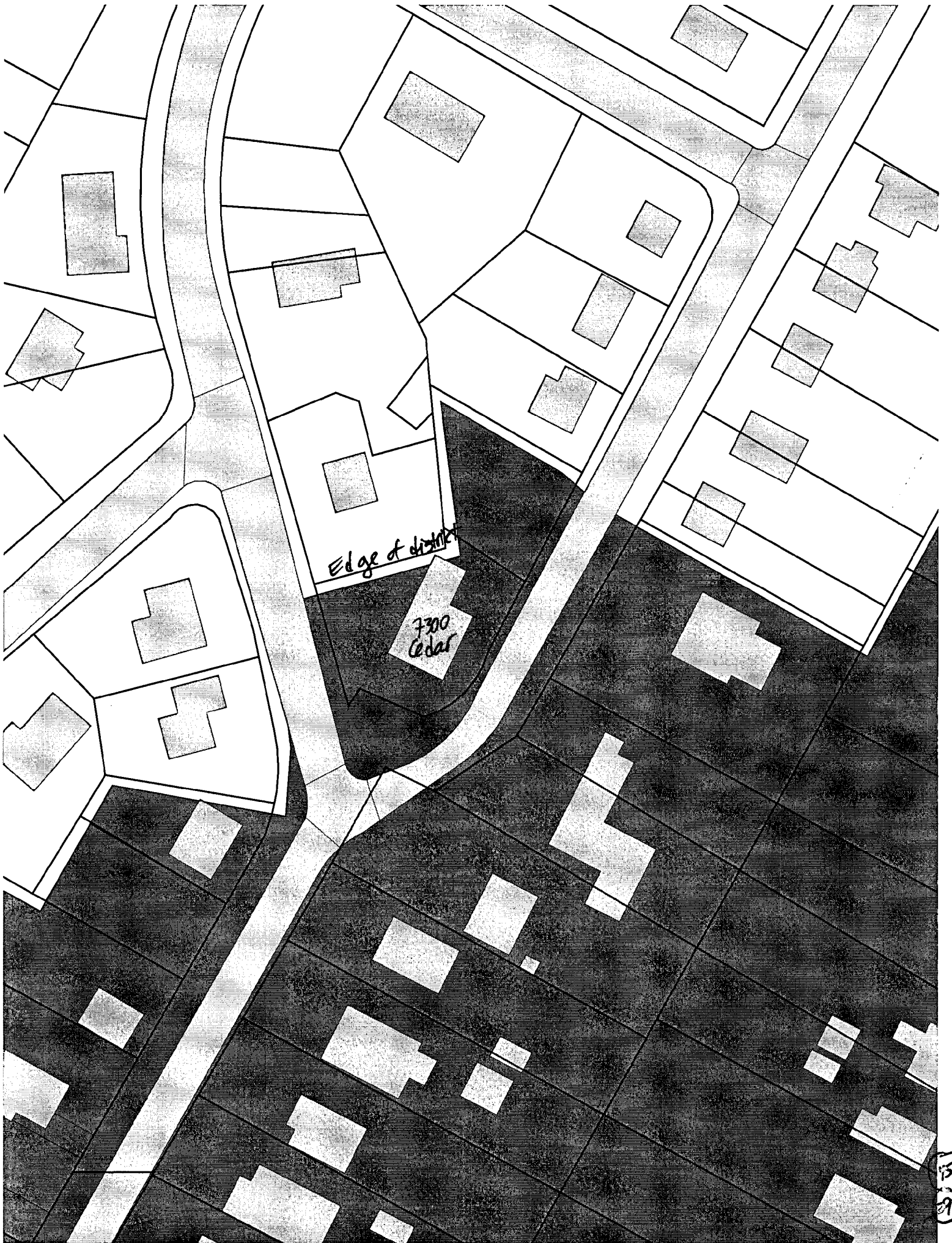
42



43
~~27~~



44
~~28~~



Edge of district

7300
Cedar

130



7300 Cedar Avenue
Front Street Approach



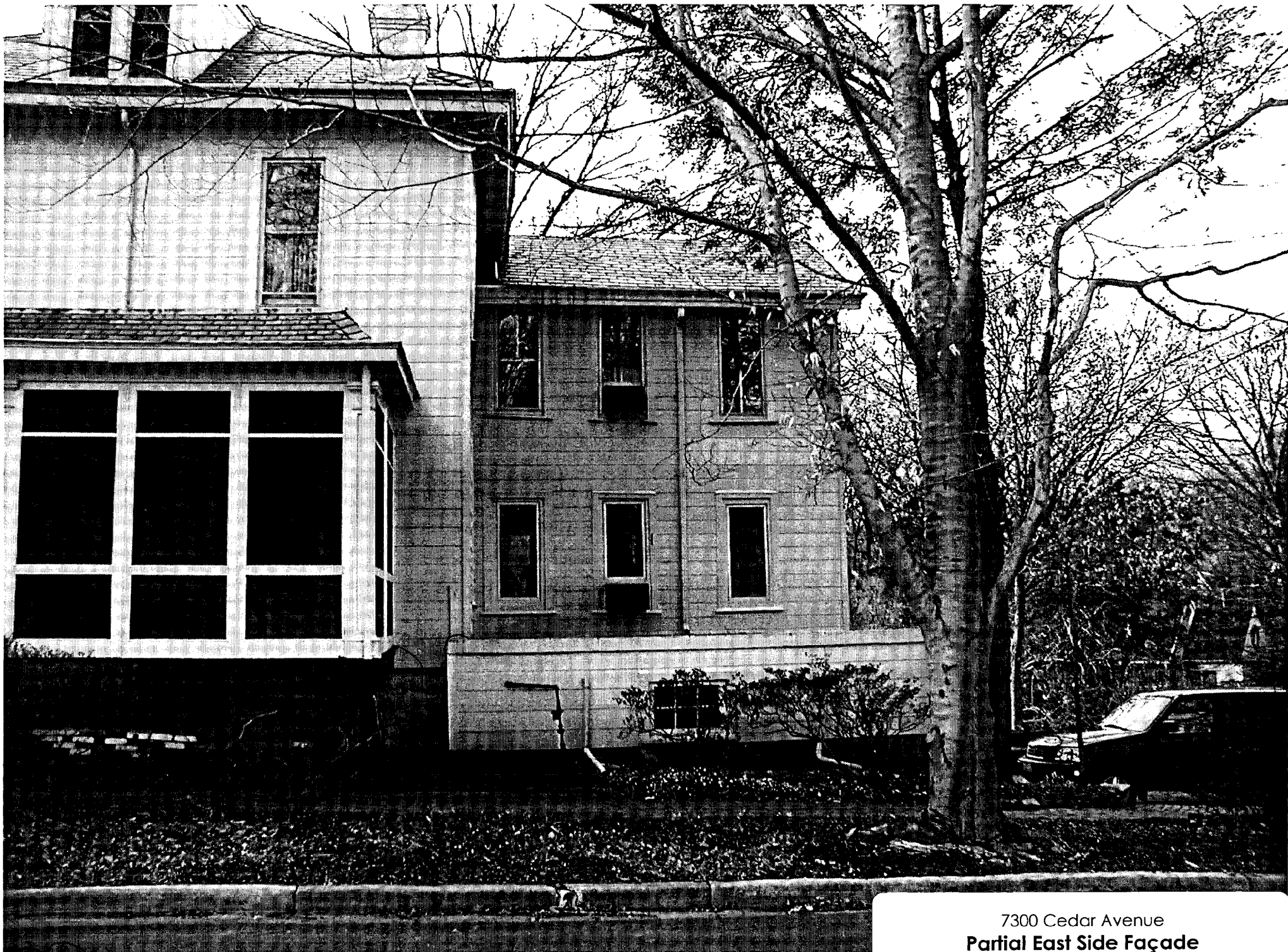
7300 Cedar Avenue
South Front Façade

(14) (15)



7300 Cedar Avenue
Oblique View of SE Corner

(24) (85)



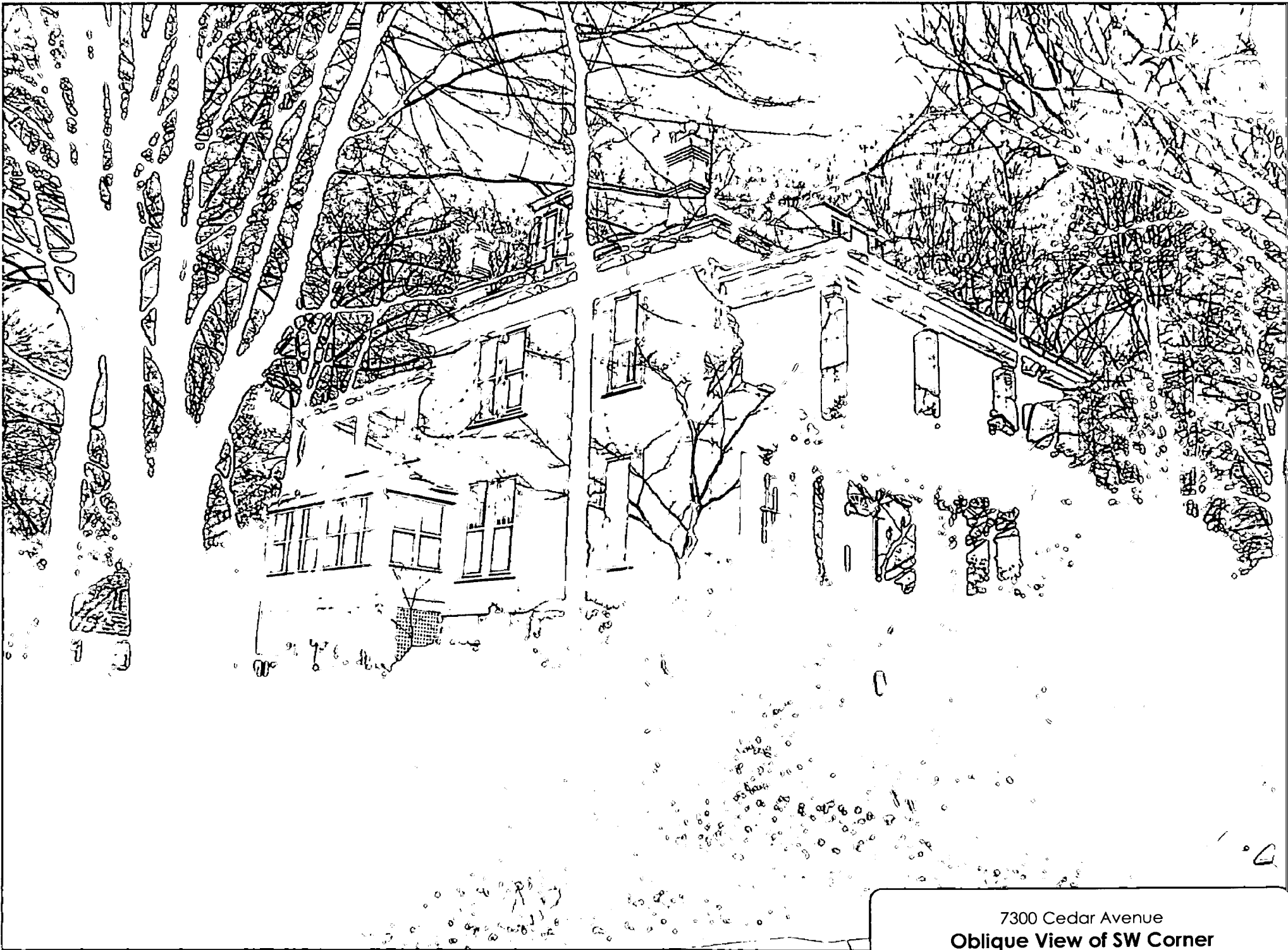
7300 Cedar Avenue
Partial East Side Façade

39 49

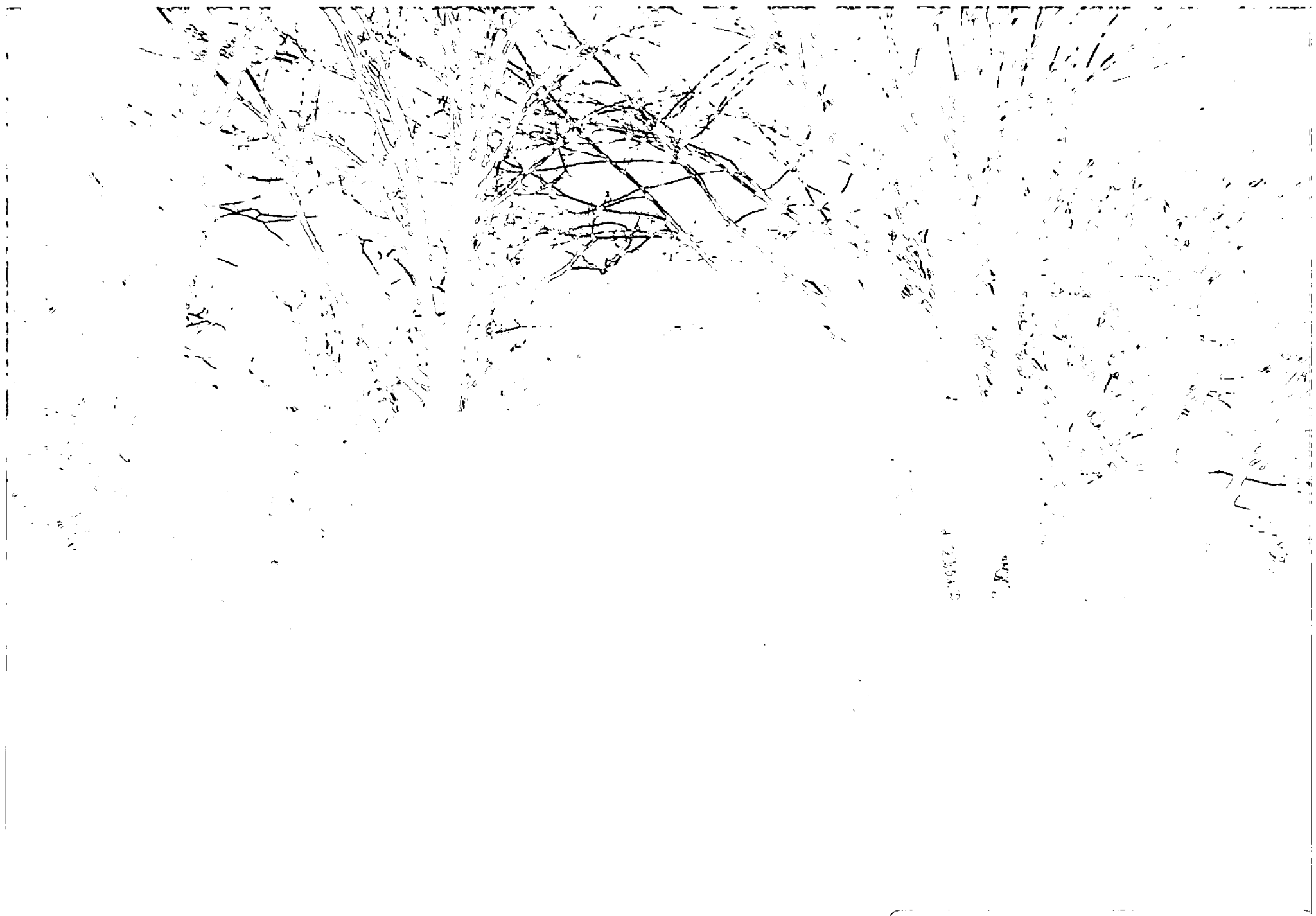


7300 Cedar Avenue
View of East Side Screened Porch

(P2)

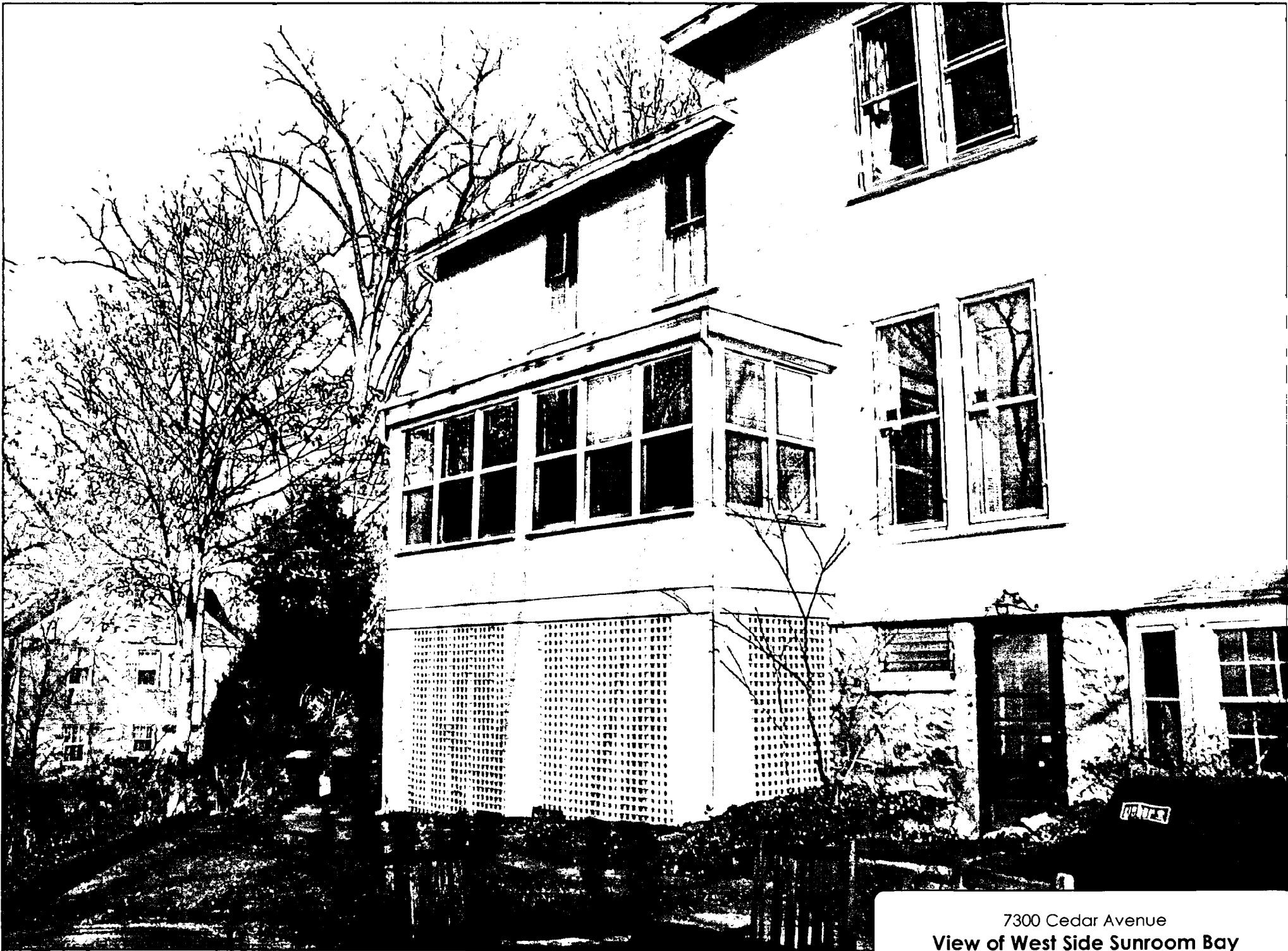


7300 Cedar Avenue
Oblique View of SW Corner



7300 Cedar Avenue
West Side Elevation from Birch Avenue

52
76



7300 Cedar Avenue
View of West Side Sunroom Bay

53



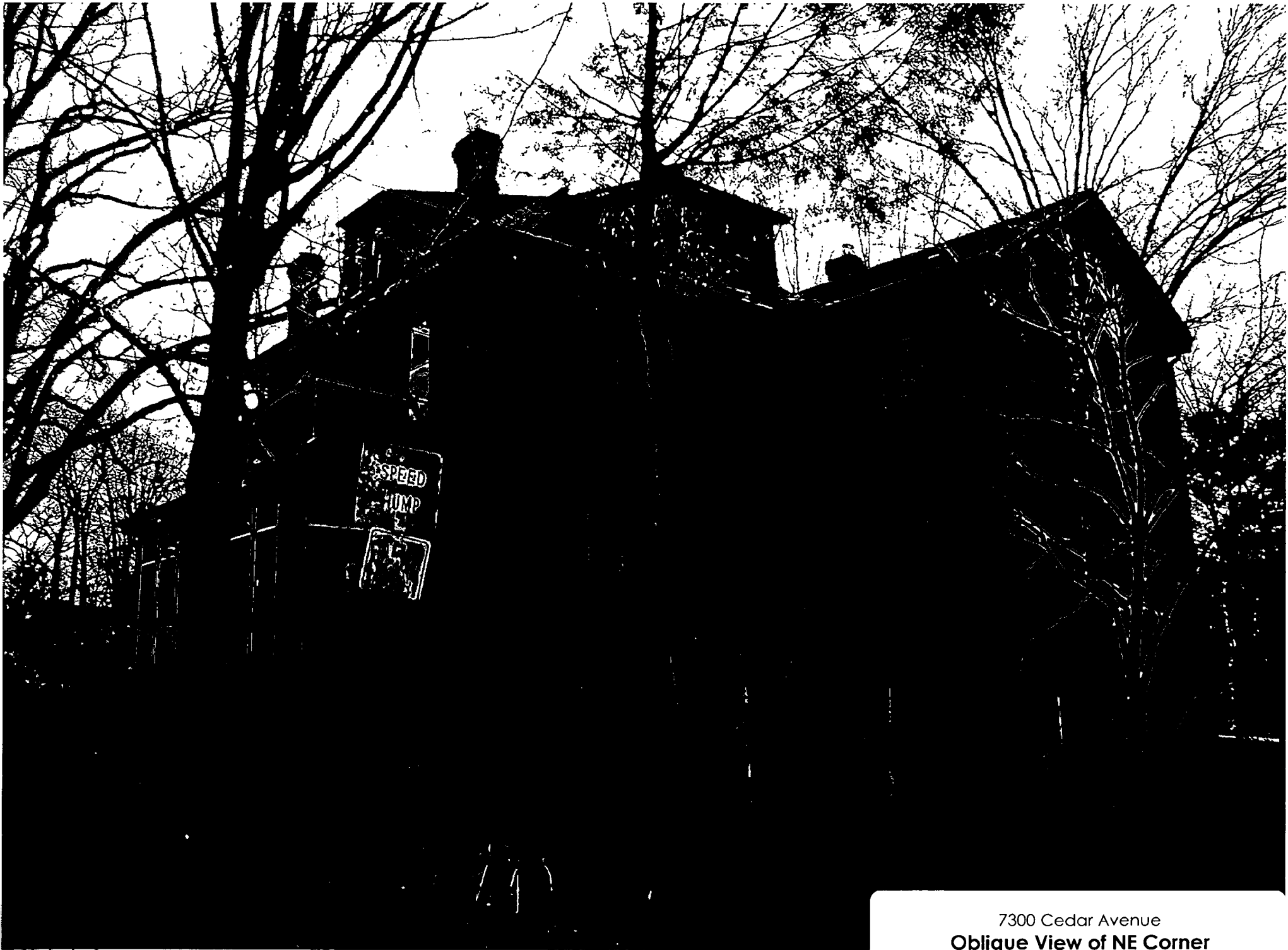
7300 Cedar Avenue
North Approach from Cedar Avenue

51
50



7300 Cedar Avenue
North Rear Façade

(35)
(37)



7300 Cedar Avenue
Oblique View of NE Corner

(56) (56)



7300 Cedar Avenue
Partial North Rear Façade

(5) (2)



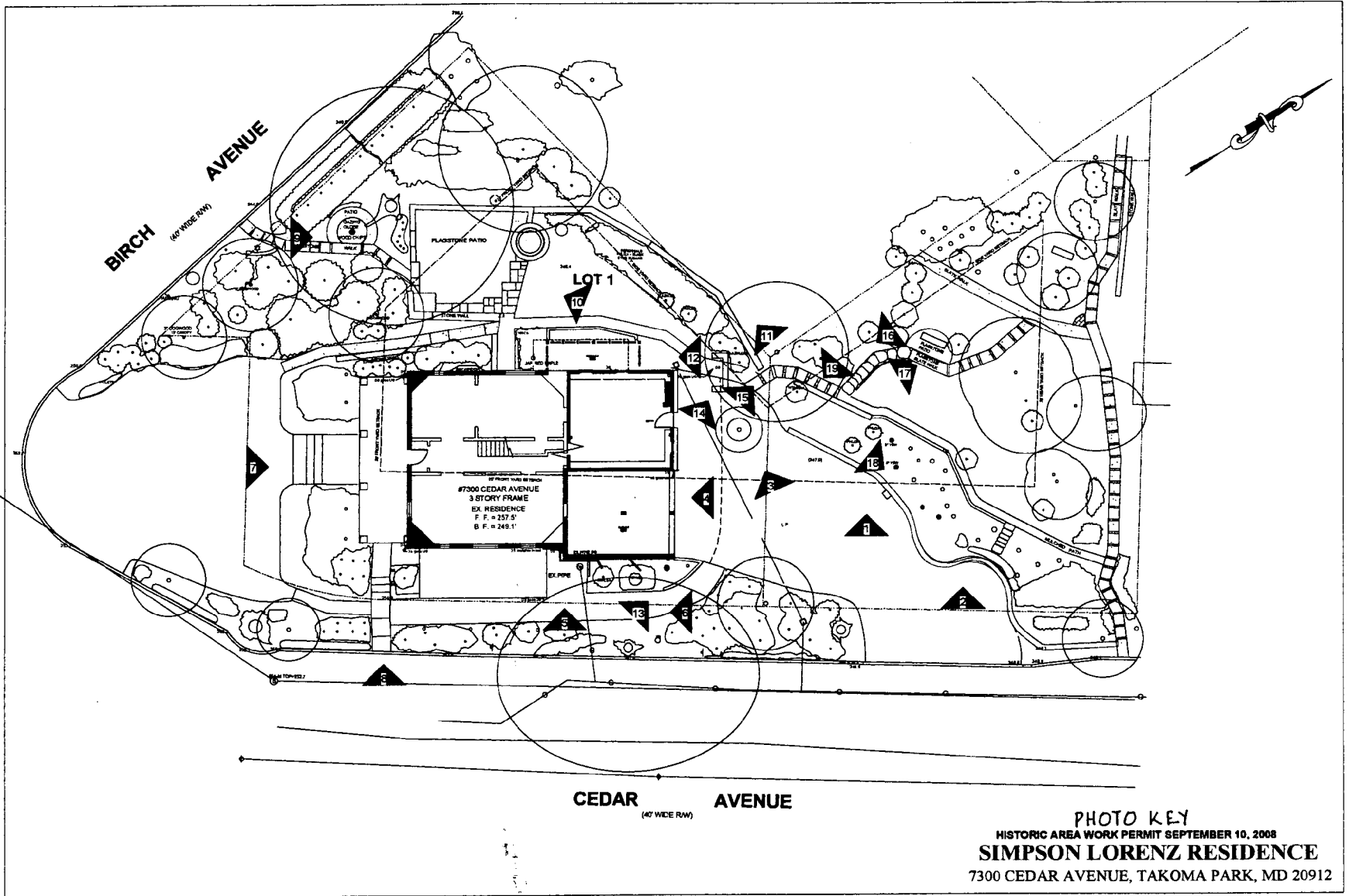
7300 Cedar Avenue
Oblique View of NW Corner From Lot 12

(24) (89)



45 59

7300 Cedar Avenue
South Façade w/1939 Porch Roof Railing



(00)

Existing Property Condition Photographs (duplicate as needed)



1

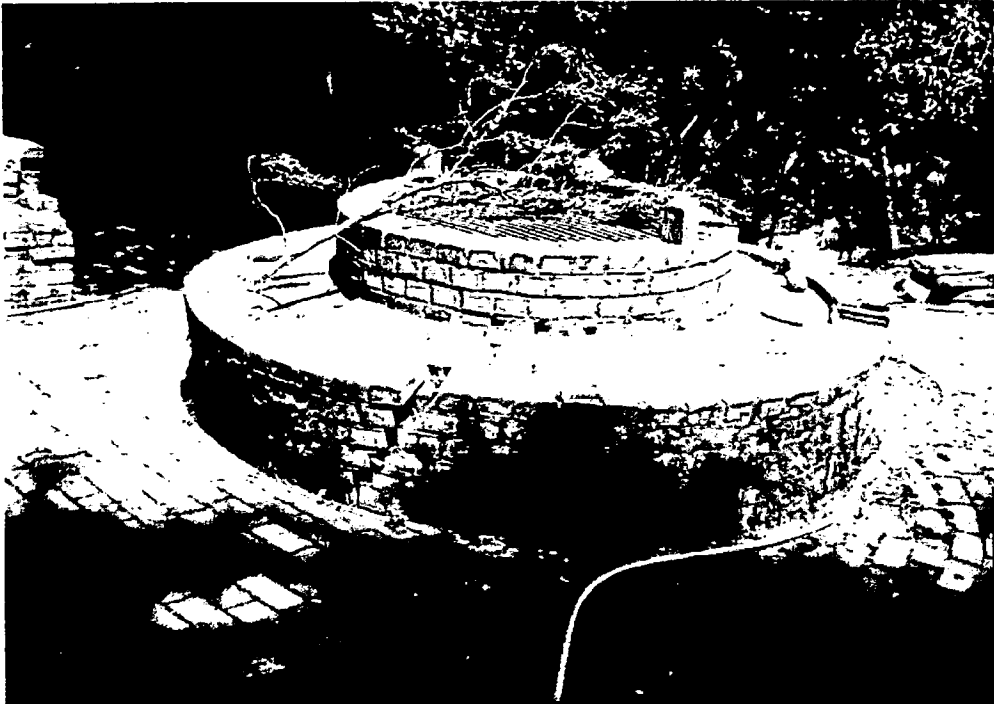
Detail: 'Ledgery' stone curb/wall along driveway, as seen from Cedar Avenue



2

Detail: 'Ledgery' stone curb/wall along driveway, as seen from Cedar Avenue

Existing Property Condition Photographs (duplicate as needed)



3

Detail: Raised brick well in driveway



4

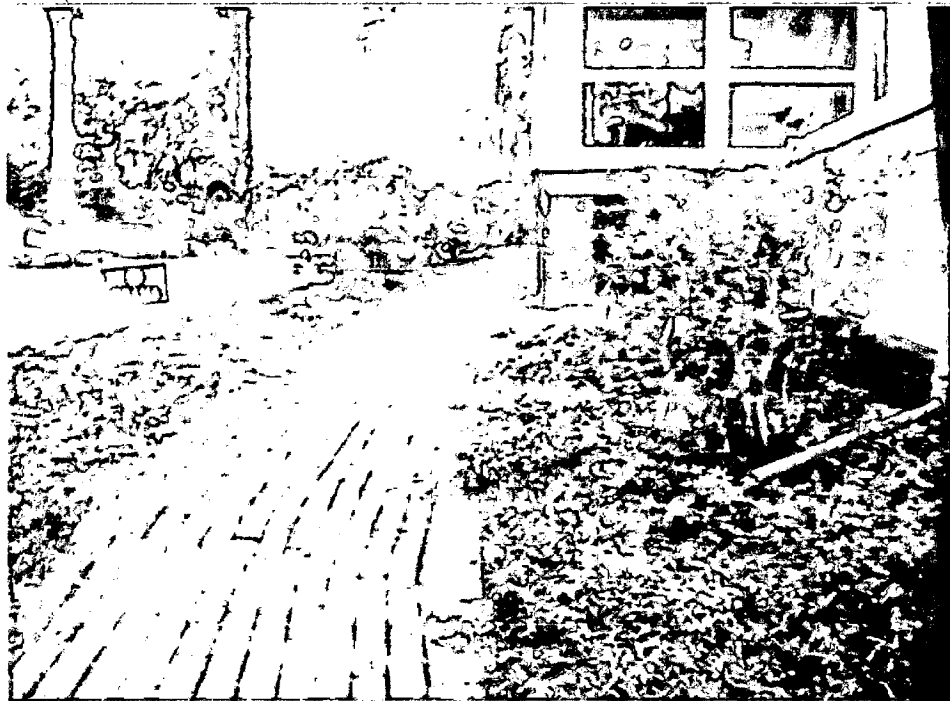
Detail: Concrete 'Ledges' along North side of Existing house

Existing Property Condition Photographs (duplicate as needed)



5

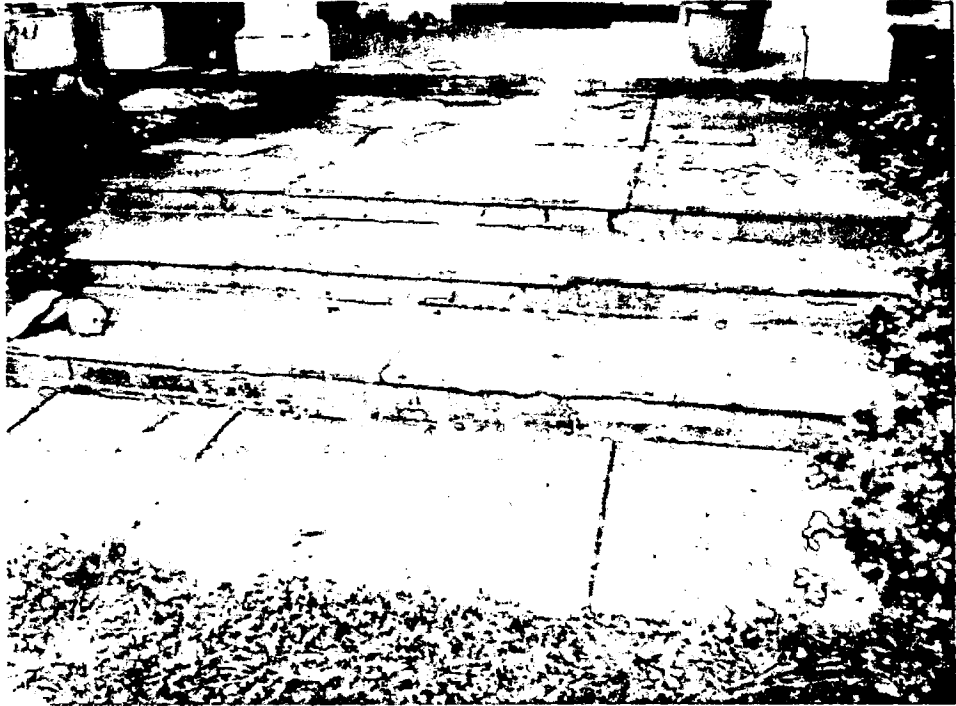
Detail: View of East side of property, to North of screened porch, as seen from Cedar Avenue



6

Detail: View of Brick path on east side of carport with Cedar avenue to the left

Existing Property Condition Photographs (duplicate as needed)



7

Detail: View of existing front porch steps and landing



8

Detail: View of Brick path and steps from Cedar Avenue to front porch, and of brickpath crossing the aforementioned path with steps

64

Existing Property Condition Photographs (duplicate as needed)



9

Detail: Flagstone path with wood-tie steps



10

Detail: View of existing terrace with raised fountain surround

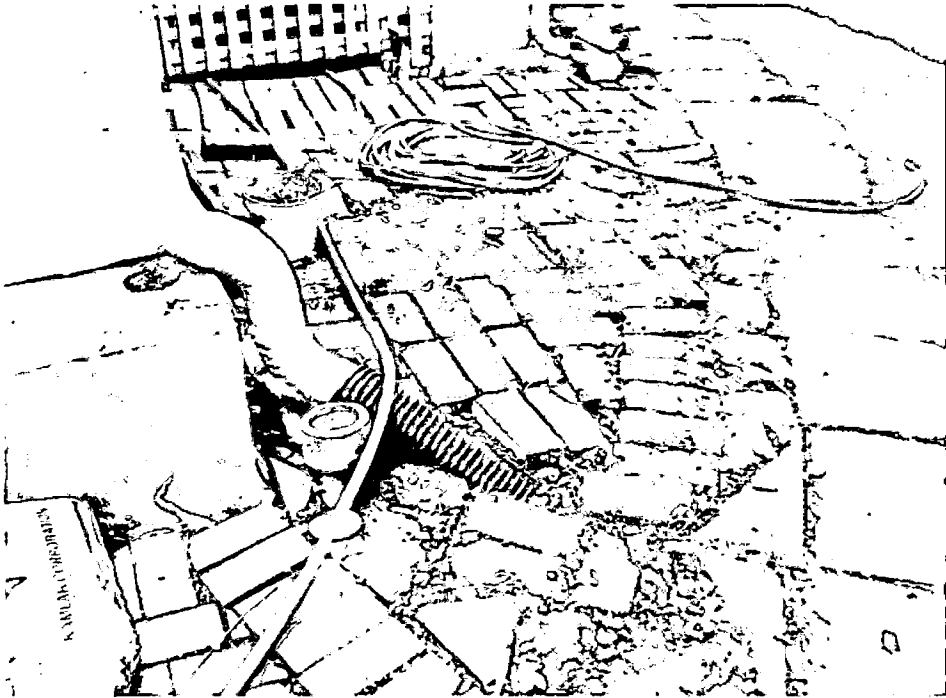
65

Existing Property Condition Photographs (duplicate as needed)



11

Detail: View of existing fieldstone retaining wall near west property line



12

Detail: View of brick paving and flagstone path to Northwest of house

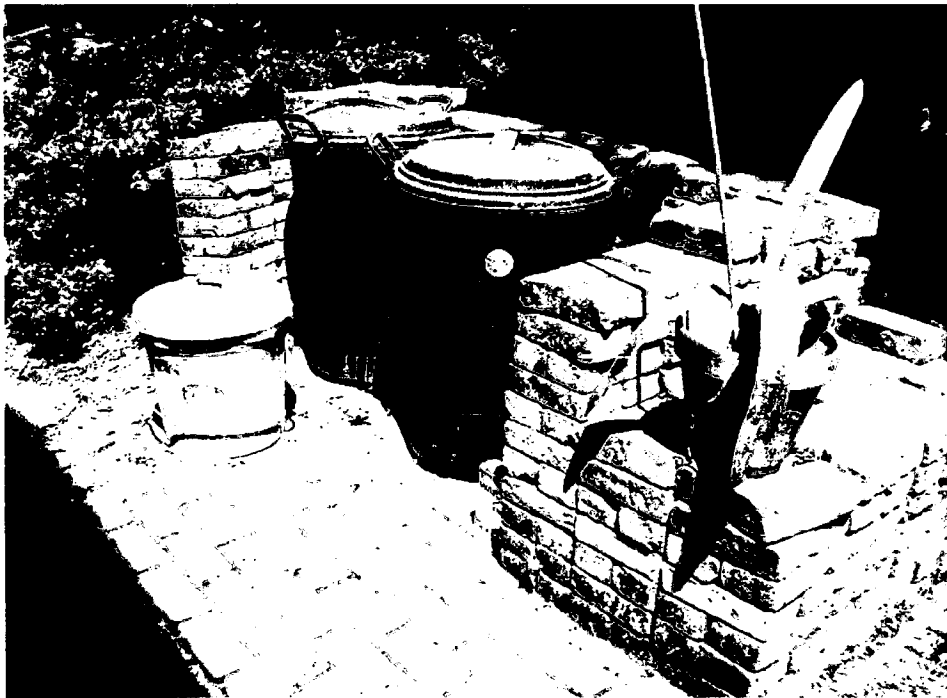
66

Existing Property Condition Photographs (duplicate as needed)



13

Detail: View of existing stone wall, 3" dogwood and 13" hemlock trunks @ NE corner of carport



14

Detail: Brick 'surround' for garbage cans

(67)

Existing Property Condition Photographs (duplicate as needed)



15

Detail: View of flagstone and timber steps to lower garden



16

Detail: View of boulder steps in lower garden

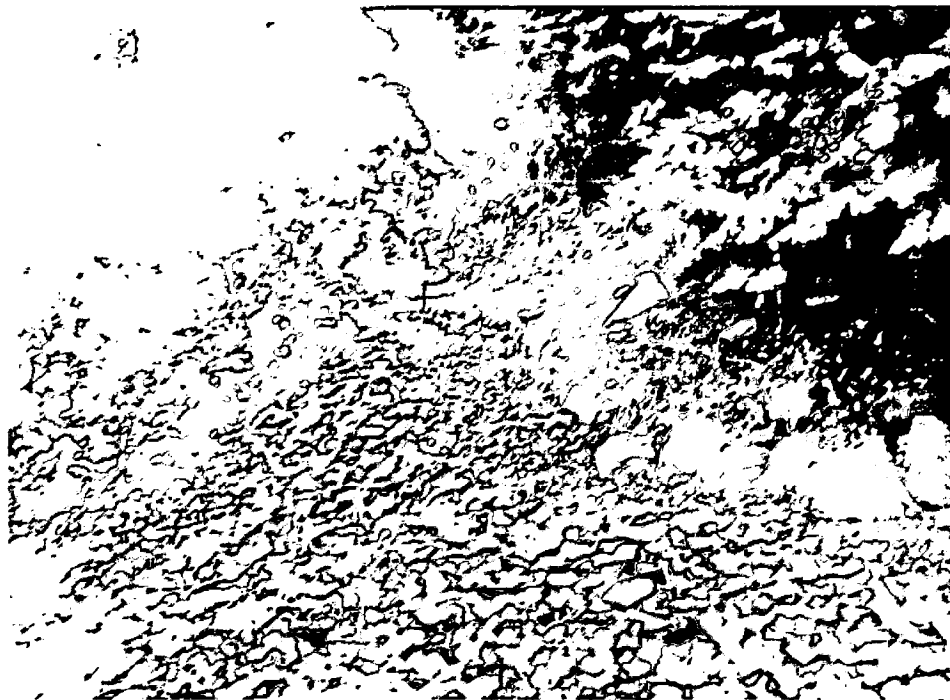
68

Existing Property Condition Photographs (duplicate as needed)



17

Detail: Existing flagstone patio with bench in lower garden



18

Detail: Existing boulder wall with mulched path in lower garden

69

Existing Property Condition Photographs (duplicate as needed)



19

Detail: Existing concrete slab wall and stone wall below driveway

Detail: _____

70

February 27, 2008 - HPC review of 7300 Cedar

MR. FULLER: Appreciate it. Next on our agenda this evening, we move into preliminary consultations. The first consultation is at 7300 Cedar Avenue, Takoma Park. Is there a staff report?

MS. FOTHERGILL: There is. This is an outstanding resource in the Takoma Park historic district. It was built in 1873 and originally as a Queen Anne Victorian four-square with wrap around porch. But in 1939 extensive remodeling was done, and it was colonial revivalized. And at that time, the wrap around porch was altered.

And at some point, a three and a half story rear addition and carport were added. Windows were replaced, siding was changed, so a lot of alterations happened to the house. It's not clear what happened in 1939 and what happened at a different time.

In 1991 a two-story sunroom was added on the west side where there had been an existing porch, an earlier porch. So those are some clarifications from the staff report that the architect and the applicant can also further clarify.

But I will show you slides of the house, and then I think the applicants have a model and can talk in detail about what they are proposing to do.

This is an aerial, and you can see that it is a corner property, sort of a peninsula, and this is looking at the left side of the house, and the back. And there you can see that rear addition. And they are proposing to remove that piece and construct essentially in the same location a similar size massing addition in that location. So those are the arrows.

This is circa 1939. And you can see the porch railing which they are proposing to put back on the front of the house. And this is the existing conditions as you approach coming down Cedar, the front of the house.

And going around, there is, you can see the carport down below, and then the rear addition. And they are proposing to remove the rear addition and construct a new addition in the same general location.

As you can see in your staff report, the proposed addition will have a glazed hyphen or

link to the massing. And you can see that in circle 13. So if you look at circle 13, that is this left side elevation. And so they are proposing a two-story flat roofed link, and then a taller massing that would still be lower than the historic house.

And the materials for the addition are stucco foundation, wood windows with simulated divided lights, wood siding, a slate roof, a metal roof on that link section, and metal roof on the dormers.

They are proposing to remove the carport, and the block retaining wall along Cedar Avenue. They are proposing, as I mentioned, to reconstruct the 1939 decorative railing on the front porch. They are proposing to replace the existing slate roof with a new slate roof, and they are proposing to remove the cement siding that was put on three sides of the house and restore the wood siding underneath.

And on the front of the house, they are proposing to replace the dormer windows for code issues for egress, and they are replacing them with wood windows with true divided lights to match the original windows. They are proposing to install storm windows where needed.

Going around, this is coming up Cedar from the other angle, you can see the back of the house. And then going around on this side, they are proposing to install a -- oh, there will be a wood deck on this side and then in the back yard there will be a garden shed with wood siding, slate roof, and wood trim, and air conditioning units with wood fencing around them, copper gutters and down spouts.

In the plans, you can see that they are removing this section that was built in 1991, but was constructed where an existing porch had been. And they will be removing that and allowing the original rear left corner of the house to read. And then off the new rear addition, there will be a side extension that will come out beyond the side plane of the house. But it is entirely off the new addition, and not off the historic massing. And then the deck is off of that.

And this is the view from Birch. Is that the street? Birch. And so you can see that they will be removing that section. The historic massing will read and remain prominent, and then the rear

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addition will be essentially in the same location at that existing massing.

The proposal actually reduces the overall footprint of the house, and allows the historic house to remain prominent. And so staff generally supports this application. It involves a lot of restoration and rehabilitation to the house, including removing the artificial siding, restoring the wood siding underneath, retaining the original windows, removing that rear addition, and constructing an addition that is lower and sympathetic, and in keeping with the house.

The only point staff mentioned as possible concerns are the possibility of repairing the existing slate room rather than holistic replacement, and the idea of this rear left side bump out that would come out beyond the side plane of the house, although it would be behind that existing massing, and behind the historic house. And it is really the least visible section of this house.

And so those were the only minor concerns staff had. Overall, it allows the historic house to remain prominent. The materials are appropriate. The design is sympathetic. And staff finds it in keeping with the Takoma Park guidelines, and the Secretary of Interior standards.

MR. FULLER: Are there questions for staff? If the applicants would like to introduce themselves and make a presentation, you have seven minutes, or up to seven minutes, if you would like. Thank you.

MR. WIEDEMANN: My name is Greg Wiedemann. I'm with Wiedemann Architects in Bethesda, Maryland. My client is Christine Simpson. Christine's family has resided in this house since 1961, and has chosen to restore this significant house in Takoma Park.

And as Anne described, the house has had two histories, one when it was originally built as a Queen Anne Victorian in 1873, and it underwent a substantial renovation in 1939 which transformed the front of this house to its present colonial revival appearance.

This model depicts the addition and small shed that we are proposing to add to the house. We are doing repairs to the entire front of the house, and we are adding the railing on the top of the porch which had been lost, in accordance with the photographs that you've seen from the 1939 period.

It is this dormer here in the front of the house. It has some windows that we believe were installed in 1939. They're not the original windows of the house below. And they are the ones that will be replaced, basically, in kind, with the exception of meeting egress requirements. But the appearance from the outside will be similar.

We will be using a true divided light window here as opposed to the simulated divided light windows which are being used in the addition.

We've had preliminary roofers look at the condition of the slate, and we are certainly in support of using as much of the existing slate as possible. We have been told that the flashing is deteriorating, and it is imperative to remove the slate to properly waterproof this house. So we are certainly open to reusing the original slate to the extent that is possible.

We plan to replace it with similar slate with similar detailing. There is some coursing of decorative slate on the roof, and that will certainly be repeated on the reinstallation of the slate.

As this model depicts, the addition is set back from Cedar. Cedar Avenue, as you all know, comes, it approaches this house actually, and then it bends to the side. And Birch is along here.

We have set the addition back along the east side, removed the carport that's in this vicinity, filled in that portion so that the natural grade along here is restored. And we're able to have, develop an entrance in this linking portion that's depicted here in the model.

There is a small bay on this side, and a bay on this side, on the west side, and a link to an existing terrace on this side as well.

The earlier photograph that you saw was a bay that bridged between the present addition and overlapped the existing four square.

One of the things that we are doing is restoring the complete roof profile of the original house by introducing the lower linking roof. And also setting that link back from the line of the historic house. So again, respecting the massing of the original four square and creating a station between new and old. I'm open to questions.

MR. FULLER: Thank you very much. I appreciate that. Are there questions for the

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bump out on the left side of the house, and the slate roof. And I think the applicant has spoken to the slate roof. Lee, why don't we start with you? Do you have any questions or comments?

MR. BURSTYN: I have no questions. I think it's a marvelous project, and I wish you well.

MR. WIEDEMANN: Thank you.

MS. MILES: I have no questions. I think it's a marvelous project, and I wish you well.

MS. ANAHTAR: I agree.

MR. DUFFY: I understand what staff is saying in their staff discussion section of their report about the bump out on the one side. However, I think that the nature of the site, with the streets forming a V in front of it, usually that logic about not having a bump applies to a property, a house that is perpendicular to a road, or parallel to a road, rather.

This is a unique condition, and I don't have an issue with it. I think that it's a wonderful house, it's a wonderful property. I think what you've done is done so well that it's commendable. And I think that one issue would usually be an issue, but because of the nature of the site, I'm okay with it in this case.

MR. ROTENSTEIN: I'll add my commendations to your well-conceived and outstanding property. I don't have any issues with the bump out. I think Commissioner Duffy stated it fairly well. This is ready to come back as a HAWP. And I think this is an outstanding example of how to approach an extensive project with an outstanding resource. You've done an outstanding job.

MR. FLEMING: No comment.

MS. ALDERSON: I have no problem with the bump out either.

MR. FULLER: That would, from my perspective, after the other Commissioners, I think this, you know, it's actually a fairly large addition, but I think you've handled it incredibly well. I really like the execution on it. And I don't have a problem with the bump out.

Speaking from what I've heard from the Commission, I think you can resubmit your drawings as HAWP, and move forward from there. Thank you.

MR. WIEDEMANN: Thank you very much.

Fothergill, Anne

From: Dan, Andrew [ADan@WiedemannArchitects.com]
Sent: Friday, August 22, 2008 11:20 AM
To: Fothergill, Anne
Cc: Dan, Andrew
Subject: RE: 7300 Cedar Avenue, Takoma Park

Hi Anne,

Thanks for letting us know about being on the September 10th agenda. It was a major push on our end, but we are very thankful to have made it for that date.

Regarding changes to the architecture of the house, there are very few. The footprint, the massing, the fenestration, the height, the materials etc. have all remained the same. There have been a few internal reorganization changes in the basement, but this has not affected anything on the exterior. These are the only changes I can think of which are visible from the exterior:

1. The painted watertable below the siding remains the same and will align with the existing on the main house, but we have had to add another trim piece below it (2" in height) which sits behind the main watertable board. We had to do this to cover the sill plate on the basement wall as we cannot extend the stucco finish from the CMU foundation wall over the sill plate (the stucco will crack between the sill plate and the CMU). This trim will be of the same material as the watertable and will be painted.
2. We have divided the Garden Storage room under the Kitchen Bay on the west side into two rooms. The only visible change from the exterior will be a pair of lattice framed doors on the north side of this area below the Kitchen Bay – see the Proposed North Elevation on sheet A2.0.
3. There is an existing screen/storm door on the formal front door (south elevation). We are proposing to removing and replacing the door with a custom painted wood screen/storm door.
4. Carriage style light fixtures have been added to the north stucco wall at the basement level at each side of the large windows (sheet A2.0), to the Garden Shed east wall (sheet A2.1), and to the west side elevation at each side of the 'link' and at the lower patio below the deck (sheet A2.2).

The landscape drawings are tweaking the stone site walls that are being proposed and adding a new planter on the west side. This planter is very close to grade and will be built of the same stone used for a majority of the site walls.

I think that is the bulk, if not all of, the changes that were made.

Please let me know if you have questions or comments. We are looking forward to the hearing on September 10.

Regards,
Andrew

From: Fothergill, Anne [mailto:Anne.Fothergill@mncppc-mc.org]
Sent: Friday, August 22, 2008 10:57 AM
To: Dan, Andrew
Subject: RE: 7300 Cedar Avenue, Takoma Park

Hi Andrew,

We have your application and it will be on the September 10th agenda.

Before I start my review, can you let me know what, if anything, changed from the plans the HPC saw at the Preliminary Consultation. I know there is a new landscape plan and I will take a look at that.

thanks, Anne

From: Dan, Andrew [mailto:ADan@WiedemannArchitects.com]
Sent: Monday, August 18, 2008 12:10 PM

WIEDEMANN ARCHITECTS LLC

ARCHITECTURE
PLANNING
INTERIORS

Gregory Wiedemann AIA

10 September 2008

HISTORIC AREA WORK PERMIT APPLICATION

For additions and renovation of 7300 Cedar Avenue, Takoma Park, Maryland

The following is information to supplement the Application for Historic Area Work Permit for the renovation and addition to 7300 Cedar Avenue. We are the architects for the Owner, Christine Simpson and John Lorenz.

1. WRITTEN DESCRIPTION OF PROJECT:

(a) Brief History of House:

Based on information from tax documents and publications created for the City of Takoma Park, the original house is believed to have been built circa 1873. The original four-square house with a slate roof was built as a Queen Anne Victorian with a one-story wrap around porch along the front and east Cedar Avenue side.

The second owners of the house, during the early 20th century, were the Williams family, who moved there in 1910. Stephen Williams was the Mayor of Takoma Park from 1912-1917. In 1939, the Williams family extensively remodeled the house to reflect its current Colonial Revival style.

As part of the 1939 modifications, the original one-story wrap around porch was separated into a single 2-story Colonial Revival front porch on the south side, and a separate one-story screened side porch facing the extension of Cedar Avenue to the east. The windows on the front façade on Cedar Avenue were changed from the single-lite double hung windows to the current divided lite double hung windows. A wider siding with a 9" exposure replaced the original narrower bevel siding as part of the front façade modifications. The original double worked bevel wood siding with 2-5/8" exposure on the other three sides was covered over with wide exposure cement siding during the 1939 modification.

There is a 3-1/2 story extension that appears to have been added to the original house, or possibly to have replaced a smaller rear extension. A covered carport with a block retaining wall, accessible from the Cedar Avenue side driveway, was added in 1939 or perhaps earlier. An existing projecting 2-story screen porch on the west side, which overlapped the four-square house and the 3-1/2 story extension, was converted into an enclosed sun room and extended to the north by 6' in 1990. Access to the sun room was from the first floor, with garden storage at grade below. The 3-1/2 story portion is in poor condition and has had replacement windows installed in the majority of the openings.

WIEDEMANN ARCHITECTS LLC

ARCHITECTURE
PLANNING
INTERIORS

Gregory Wiedemann AIA

10 September 2008

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As part of the 1939 modifications, the original one-story wrap around porch was separated into a single 2-story Colonial Revival front porch on the south side, and a separate one-story screened side porch facing the extension of Cedar Avenue to the east. The windows on the front façade on Cedar Avenue were changed from the single-lite double hung windows to the current divided lite double hung windows. A wider siding with a 9" exposure replaced the original narrower bevel siding as part of the front façade modifications. The original double worked bevel wood siding with 2-5/8" exposure on the other three sides was covered over with wide exposure cement siding during the 1939 modification.

There is a 3-1/2 story extension that appears to have been added to the original house, or possibly to have replaced a smaller rear extension. A covered carport with a block retaining wall, accessible from the Cedar Avenue side driveway, was added in 1939 or perhaps earlier. A projecting 2-story sun room on the west side replaced a smaller existing screen porch in the same location in 1991, overlapping the four-square house and the 3-1/2 story extension. Access to the sun room was from the first floor, with garden storage at grade below. The 3-1/2 story portion is in poor condition and has had replacement windows installed in the majority of the openings.

The Joseph and Kathryn Simpson family, who lived across the street from the Williams family starting in 1939, purchased the house in 1961 from Amelia Williams Burroughs, the daughter of Stephen Williams. Joseph Simpson was a prominent Maryland attorney, serving from 1942 - 1946 as State's Attorney for Montgomery County. The Simpsons raised their four children there, including our client, Christine Simpson. In 2004, Christine and her husband John Lorenz moved to the house after Mrs. Simpson's death the prior year. Christine and John had lived across the street on Cedar Avenue with their two sons since 1988.

The four-square portion of the house remains in a condition very similar to its appearance in 1939. The original wood shutters on the front, window casings, wood trim, roof soffits and wood moldings all remain. The original fieldstone foundation base of the main house remains with some repointing in the joints visible from repairs conducted over the years. The original slate roof remains along with the original built-in gutters. Under the cement siding on the north, east, and west sides of the house the 2-5/8" wood siding remains.

(b) Description of proposed project:

The proposed project involves a restoration of the existing historic elements of the main portion of the historic house.

At the Cedar Avenue front street façade it is our intention to retain the current 1939 Colonial character by re-constructing the 1939 decorative railing on the roof of the 2-story front porch that has been lost. All wood trim, moldings and casings will be repaired, restored and repainted. The built-in gutters on the historical main four-square house will be repaired and restored. All existing slate will be removed and replaced with similar matching slate, including decorative slate coursing on main roof. The wide exposure wood siding on the front façade will be restored and repainted. The wide exposure cement siding on all other sides of the original house will be removed thereby exposing the historical double worked bevel wood siding with 2-5/8" exposure which will be restored, repaired as needed, and painted.

The wood trim on the front attic dormer will be restored and the dormer windows will be replaced with matching windows and an egress window with divided lites similar to the existing historical double hung window. The remaining original windows will be retained and restored as needed, and new storm windows will be added to improve energy efficiency. The stone foundation of the original main house will remain and will be repointed as needed.

The proposed project will include the replacement of the 3-1/2 story extension with a similar scaled addition, and a small storage shed on the north side. The carport and block retaining wall on the east side along Cedar Avenue will be removed to allow for the natural grade to slope back up to just below the first floor level. The new foundation for the new addition will be cement stucco over CMU block wall, creating a clear demarcation between the historic fabric and the newer addition.

On the first floor, the new addition will include a rear entry hall that will link the main level of the four-square house to the main level of the proposed new addition. The first floor will include a new kitchen, pantry, powder room and side entry hall with an informal entry on the Cedar Avenue side. The entry hall will also provide an exit from the west side down to the patio on grade. Access to the second floor of the new addition will be from the stair landing of the

original four-square house main stair. The second floor of the addition will include a laundry room and master bedroom suite.

In the rear hall of the new addition (in the 'link'), a new stair will lead to the basement level housing a new multi-purpose room, bathroom, work room and an at-grade entry/exit to the west side patio. The basement level of the addition will align with the basement of the existing four-square, and the new stair will provide improved access to the lower level.

The proposed massing of the new addition will include a lower 'link' between the existing four-square house and the major massing of the new addition. The addition will be sympathetic to the original house in massing and material. The link will clearly demark the new and historic portions of the house and will step back approximately one foot on the west side, thereby preserving the original corner of the four-square house. The main bulk of the addition will be higher than the link, but lower than the original main house. The roof line of the original four-square will be restored.

The mass of the addition will have a matching slope hip roof emulating the existing historic four-square house. The lower, stepped back link between the main four-square house and the primary mass of the addition will serve to distinguish and contrast the new addition from the historic existing house. The proposed new addition, while sympathetic in character and massing, will be virtually unseen from the front approach along Cedar Avenue and will increase the net building footprint, including porches, by only 183 square feet. With the removal of the east side carport and retaining wall, the net footprint actually decreases by 117 square feet.

To accommodate storage lost by removal of the carport, a new, low one-story garden shed will be added. This will be located along the existing stone wall that borders the driveway edge on the north side of the house. This garden shed will have matching slate roof, matching narrow exposure wood siding, and matching trim to the new addition. The existing stone site wall will be adjusted to provide the base for the shed.

New condenser units for a new the air conditioning system will be located on the west side of the new garden shed concealed by a painted wood fence and gate.

2. SITE PLAN/LANDSCAPE PLAN

See attached Site Plan depicting the house location, and other site improvements.

3. PLANS AND ELEVATIONS

See required two (2) copies of the required plans and elevations, depicting the existing conditions and the proposed modifications.

List of Drawings attached:

1. C.0.1 – Coversheet w/ Site Plan
2. A.1.0 – Basement Floor Plan
3. A.1.1 – First Floor Plan
4. A.1.2 – Second Floor Plan
5. A1.3 – Attic Floor Plan
6. A.2.0 – North Elevation
7. A.2.1 – Cedar Avenue East Side Elevation

8. A.2.2 – Birch Avenue West Side Elevation
9. A.2.3 – South Front Street Elevation
10. EX.1.0 – Existing Basement Floor Plan
11. EX.1.1 – Existing First Floor Plan
12. EX.1.2 – Existing Second Floor Plan
13. EX.1.3 – Existing Attic Level Floor Plan
14. EX.2.0 – Existing South Elevation
15. EX.2.1 – Existing West Elevation
16. EX.2.2 – Existing North Elevation
17. EX.2.3 – Existing East Elevation

4. MATERIAL SPECIFICATIONS

The following is a description of the proposed materials for the project:

Exterior Siding:

The existing wide exposure wood siding on the front Cedar Avenue side of the house will be restored / repaired and will be repainted. The cement siding on the remaining sides of the historic house will be removed to expose the original double worked bevel wood siding with 2-5/8" exposure. The original siding on the north, east and west sides of the historic house will be restored and repainted.

The exterior siding of the new addition will be a narrow exposure wood siding to match the original historical existing, separated by a glass and wood link that clearly demarks the division between old and new.

Wood Shutters:

All operable wood shutters are located on front Cedar Avenue side of the house. These shutters will remain and will be repaired and repainted.

Foundations:

The existing stone foundation on the original main house will remain. The foundation of the new addition will be block with cement stucco to contrast with the historic stone foundation of the original house.

Exterior Trim:

The existing historic trim on the original house will remain. All new exterior trim will be painted Western Red Cedar, in profiles similar to the existing house and as depicted on the elevations. Again, the trim and glass treatment of the link will provide a separation between old and new.

Windows:

The single pane windows in the historic main house will remain and will be restored except at the front Cedar Avenue attic dormer. All restored windows will have new triple track storm windows to match the existing. The Cedar Avenue dormer windows, which are in poor condition, will be replaced with new wood windows, both double hung and casements similar to the existing dormer windows and shall provide the required egress to meet applicable sections of the Building Code.

The rear addition will have new painted wood casement and double-hung windows with simulated divided lite insulated glazing, which will clearly identify the new portion of the project. The mullion patterns of the existing and proposed windows are as shown on the attached drawings.

Roofing:

It has been determined that the flashing and built-in gutters on the original roof are failing. In order to properly address these deficiencies, it will be necessary to remove the existing slate roof. The existing slate roof will be replaced with all new matching slate, installed with a pattern to match the current existing historical slate pattern. The roof of the proposed addition will be matching slate, and the roofs of the projecting bays and 'link' below will have flat seam metal as depicted on the elevation drawings. All new roof flashing, gutters and downspouts will be copper, including the repair and relining of the built-in gutters.

5. PHOTOGRAPHS

See attached required photographs, labeled as requested.

6. TREE SURVEY

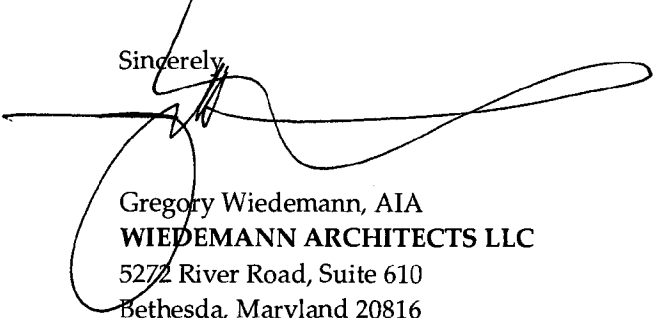
See attached Existing Conditions Plan and Tree Preservation Plan for a tree survey.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

See attached Adjacent and Confronting Properties List of Owners.

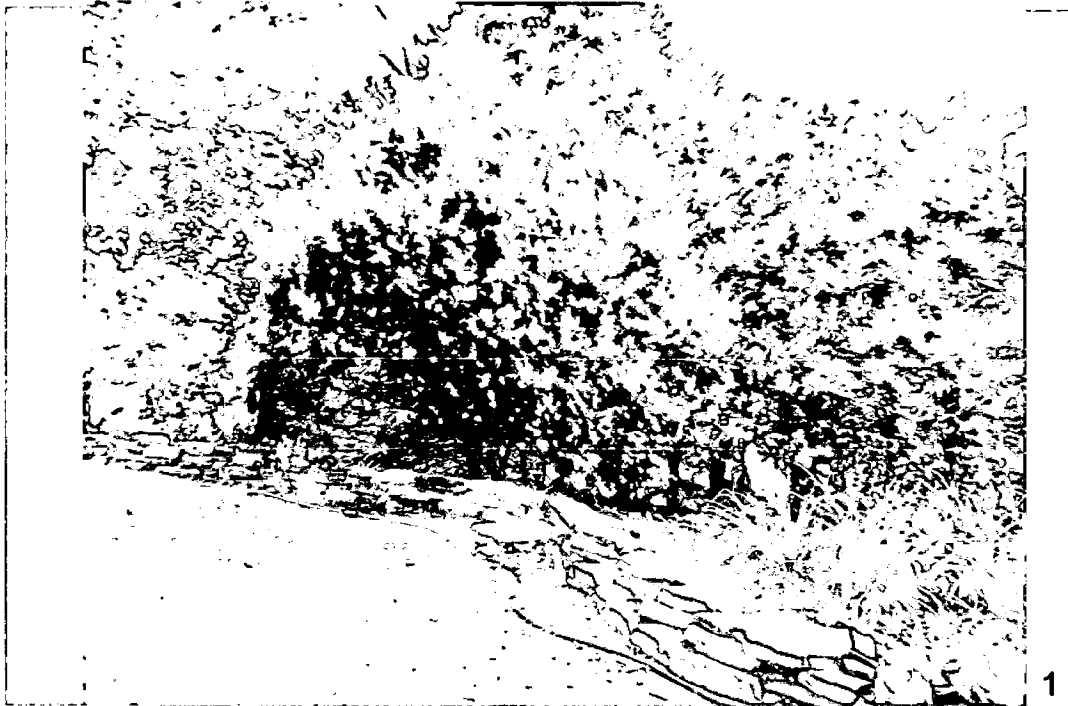
On behalf of Christine Simpson and John Lorenz, we respectfully submit these materials for your review and approval. If you have any questions concerning our application, please contact me at 301.652.4022.

Sincerely,

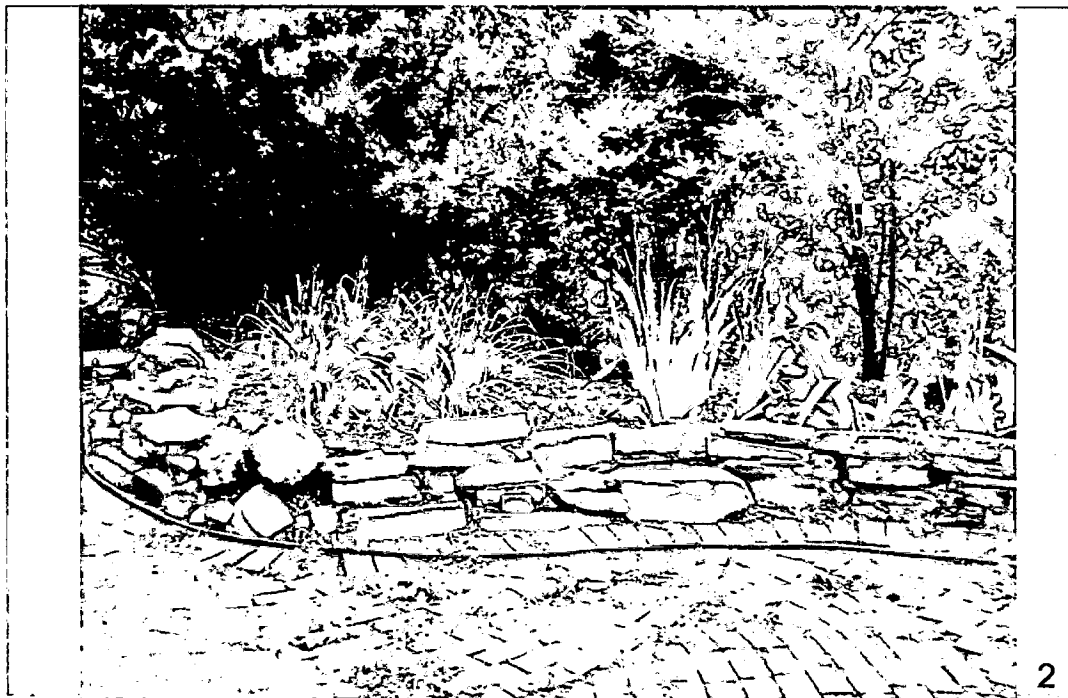
A handwritten signature in black ink, appearing to read 'Gregory Wiedemann', is written over a horizontal line. The signature is stylized and extends to the right.

Gregory Wiedemann, AIA
WIEDEMANN ARCHITECTS LLC
5272 River Road, Suite 610
Bethesda, Maryland 20816
301.652.4022

Existing Property Condition Photographs (duplicate as needed)

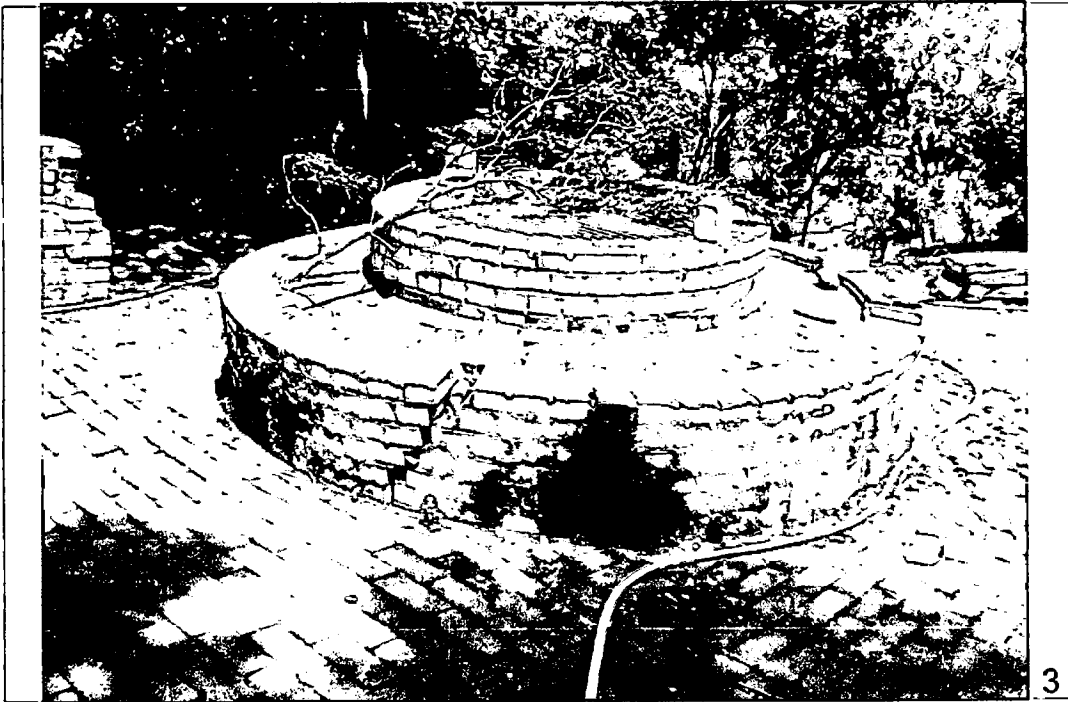


Detail: 'Ledgery' stone curb/wall along driveway, as seen from Cedar Avenue



Detail: 'Ledgery' stone curb/wall along driveway, as seen from Cedar Avenue

Existing Property Condition Photographs (duplicate as needed)



Detail: Raised brick well in driveway



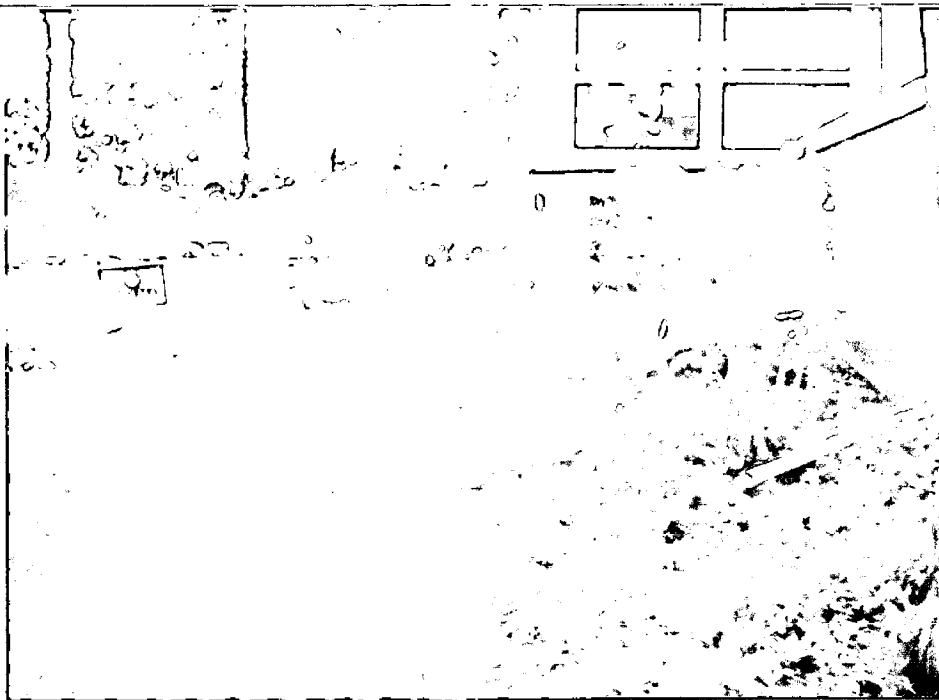
Detail: Concrete 'Ledges' along North side of Existing house

Existing Property Condition Photographs (duplicate as needed)



5

Detail: View of East side of property, to North of screened porch, as seen from Cedar Avenue



6

Detail: View of Brick path on east side of carport with Cedar Avenue to the left

Existing Property Condition Photographs (duplicate as needed)



Detail: View of existing front porch steps and landing



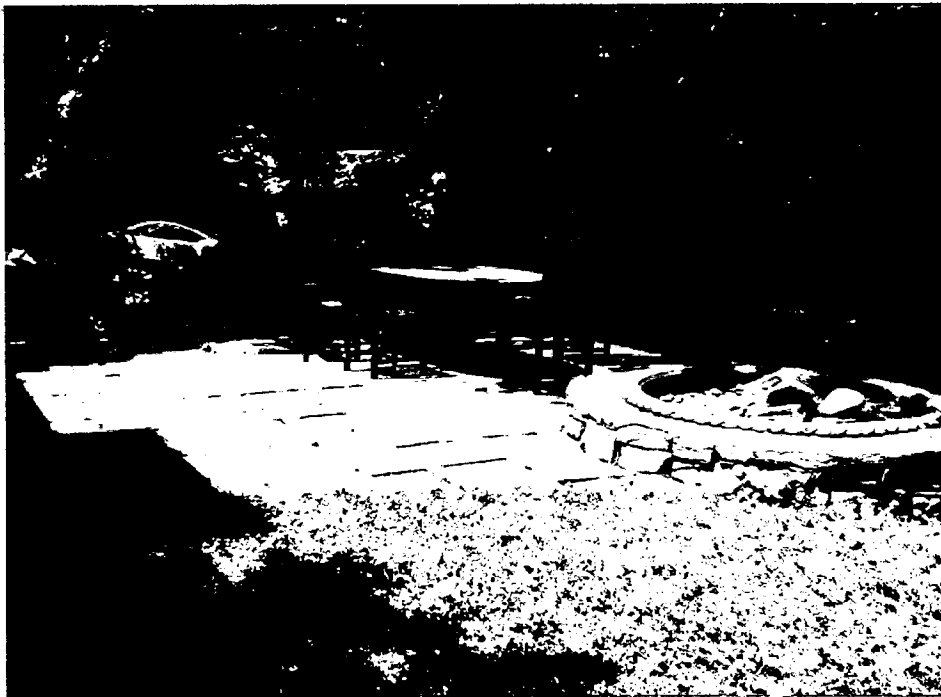
Detail: View of Brick path and steps from Cedar avenue to front porch, and of brickpath crossing the aforementioned path with steps

Existing Property Condition Photographs (duplicate as needed)



9

Detail: Flagstone path with wood-tie steps



10

Detail: View of existing terrace with raised fountain surround

Existing Property Condition Photographs (duplicate as needed)



Detail: View of existing fieldstone retaining wall near west property line



Detail: View of brick paving and flagstone path to Northwest of house

Existing Property Condition Photographs (duplicate as needed)

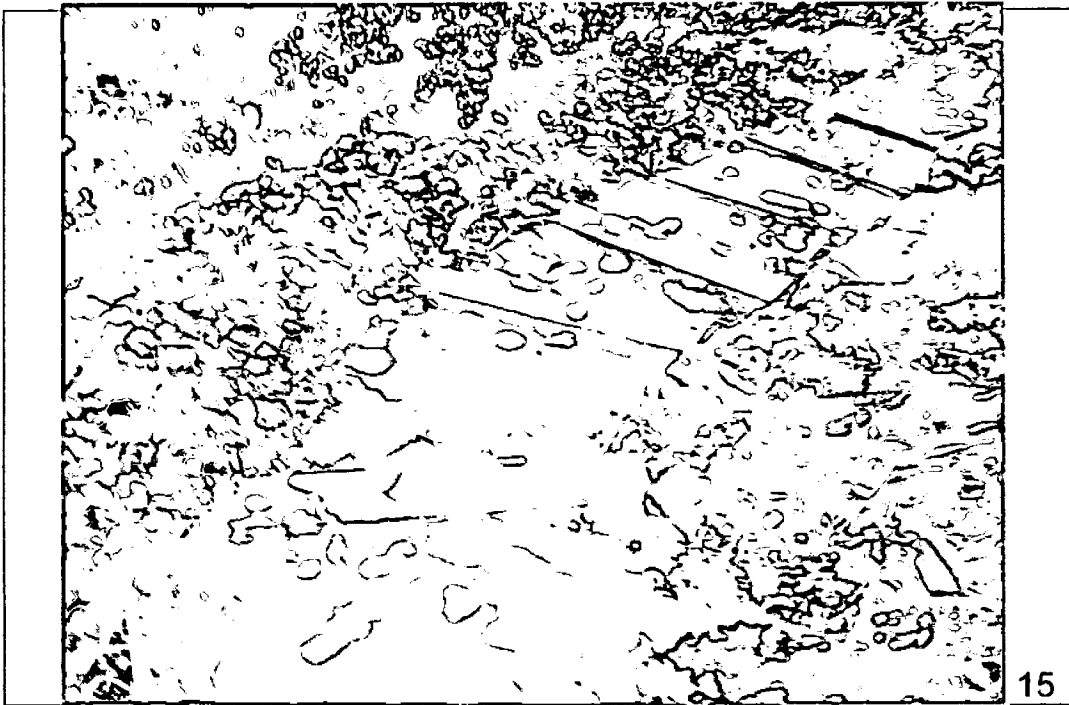


Detail: View of existing stone wall, 3" dogwood and 13" hemlock trunks @ NE corner of carport

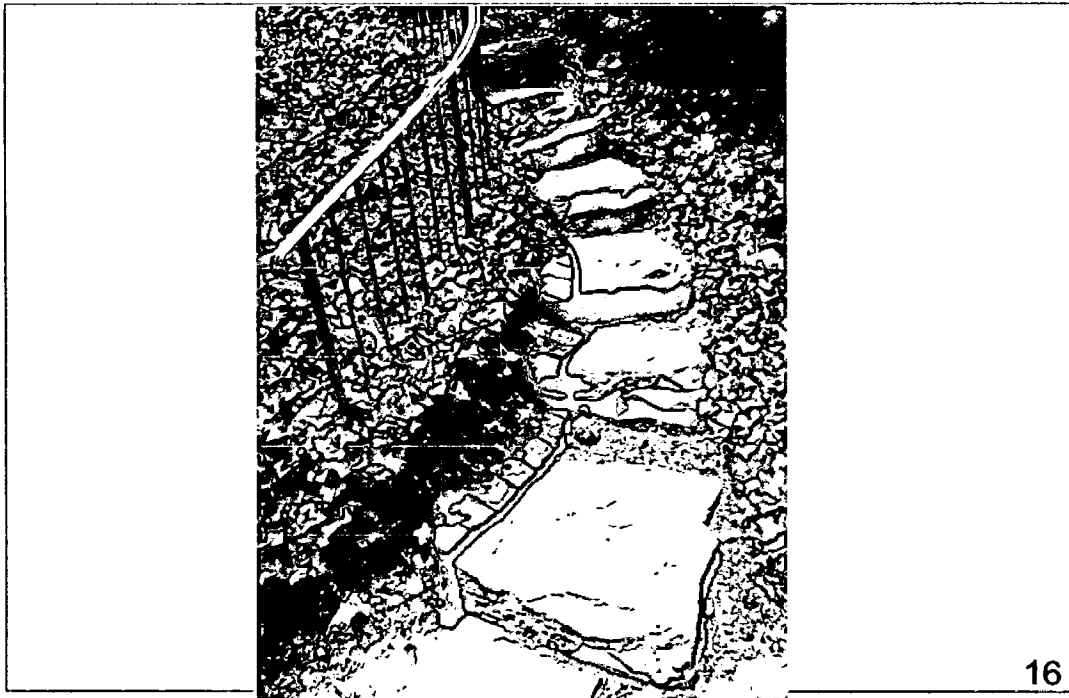


Detail: Brick 'surround' for garbage cans

Existing Property Condition Photographs (duplicate as needed)



Detail: View of flagstone and timber steps to lower garden



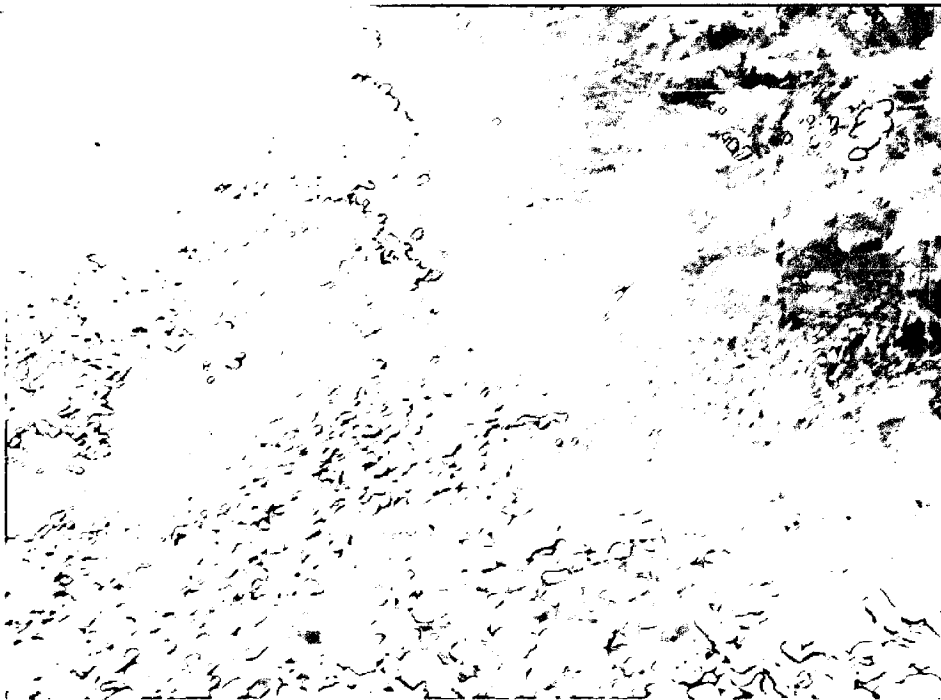
Detail: View of boulder steps in lower garden

Existing Property Condition Photographs (duplicate as needed)



17

Detail: Existing flagstone patio with bench in lower garden



18

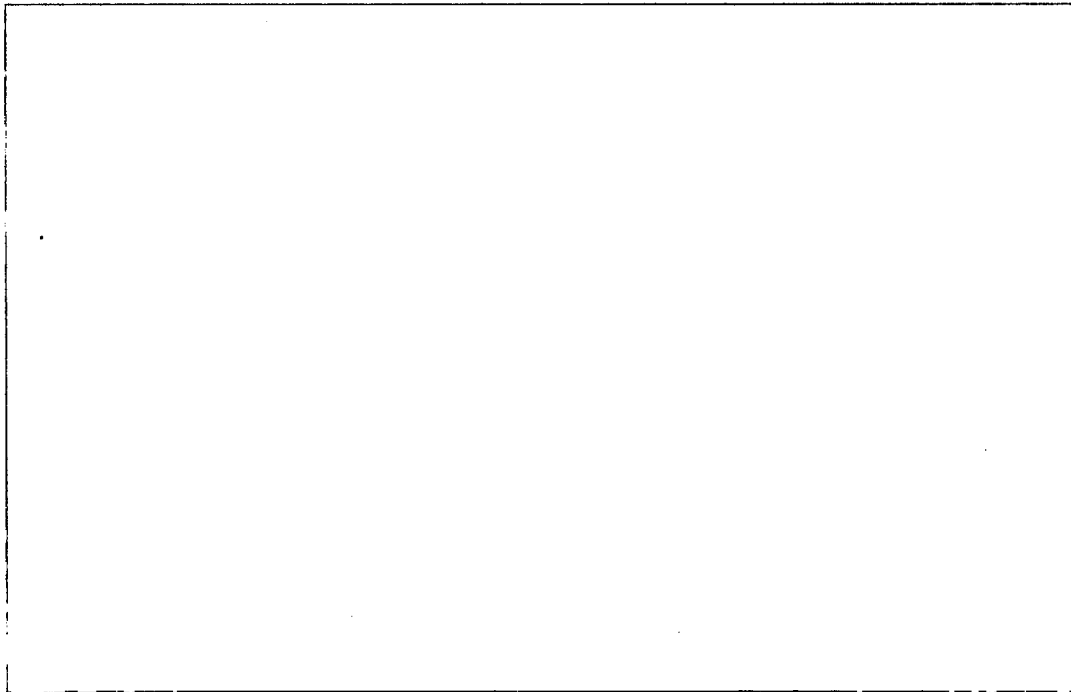
Detail: Existing boulder wall with mulched path in lower garden

Existing Property Condition Photographs (duplicate as needed)



19

Detail: Existing concrete slab wall and stone wall below driveway



Detail: _____

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7300 Cedar Avenue, Takoma Park	Meeting Date:	02/27/08
Applicant:	Chris Simpson and John Lorenz (Gregory Wiedemann, Architect)	Report Date:	02/20/08
Resource:	Outstanding Resource Takoma Park Historic District	Public Notice:	02/13/08
Review:	Preliminary Consultation	Tax Credit:	Partial
Case Number:	N/A	Staff:	Anne Fothergill
PROPOSAL: Removal of addition, construction of addition, new shed and other alterations			

STAFF RECOMMENDATION

Staff recommends that the applicants make revisions based on HPC's comments and return for a HAWP.

PROPERTY DESCRIPTION

SIGNIFICANCE: Outstanding Resource within the Takoma Park Historic District
STYLE: Colonial Revival
DATE: c. 1873

Originally the house was a Queen Anne Victorian four-square with a wraparound porch and in 1939 extensive remodeling was done and the owners changed the house to its current Colonial Revival style. At that time, the wraparound porch was altered, a carport and 3 ½ story rear addition were added, windows were replaced, and siding was changed or covered. In 1991, a 2-story sunroom was added on the west (left) side of the house.

PROPOSAL

The applicants are proposing to:

- Remove the deteriorating 3 ½ story rear addition
- Construct a new addition in the same general location as the existing addition. The addition will have a glazed link to the historic house with a flat roof and the addition's roof will be lower than the historic house. The materials for the addition are stucco foundation, wood windows with simulated divided lights, wood siding, slate roof, and metal roof on the link section and dormers.
- Remove the carport and block retaining wall along Cedar Avenue
- Reconstruct the 1939 decorative railing on the roof of the 2-story front porch (see Circle 43)
- Replace the slate roof with slate
- Remove the cement siding on three sides of the house
- Restore the wood siding underneath
- Replace dormer windows (for egress) with wood windows with true divided lites

- Install storm windows where needed
- Install wood deck with steps to grade off left side of addition
- Install copper gutters and downspouts
- Construct a garden shed in rear yard with wood siding, slate roof, and wood trim
- Install wood fencing around air conditioning units next to shed

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District

The *Guidelines* define an Outstanding Resource as:

A resource which is of outstanding significance due to its architectural and/or historical features. An outstanding resource may date from any historical period and may be representative of any architectural style. However, it must have special features, architectural details and/or historical associations that make the resource especially important to the history of the district, and/or it must be especially unique within the context of the district.

The following *Takoma Park Guidelines* pertain to this project:

- plans for all alterations should be compatible with the resource's original design; additions, specifically, should be sympathetic to existing architectural character, including massing, height, setbacks and materials.
- emphasize placement of major additions to the rear of the existing structures so that they are less visible from the public right-of-way.
- while additions should be compatible, they are not required to be replicative of earlier architectural styles.
- preservation of original and distinctive architectural features, such as porch dormers, decorative details, shutters etc. is encouraged.
- preservation of original windows and doors, particularly those with specific architectural importance, and of original size and shape of openings is encouraged.
- preservation of original building materials and use of appropriate, compatible new materials is encouraged.
- all changes and additions should respect existing environmental settings, landscaping and patterns of open space.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation

Standard # 2: The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

This proposal involves changes to an Outstanding Resource in the Takoma Park Historic District and every aspect of the proposal is reviewed very closely for its potential adverse impact on the historic house and the district. At the Preliminary Consultation, the Commission will provide direction and guidance to the owners so they know how to proceed with their proposal and what adjustments they will need to make to their plans before applying for a HAWP.

Overall, staff supports the proposed rear addition to this house and the new shed. The applicants' proposal includes a lot of restoration and rehabilitation of the house. The removal of the artificial siding and restoration of the wood siding underneath, the retention of the windows, and the removal of the rear addition so the original four corners of the house can read are all commendable alterations. Staff recommends that the applicants consider repairing the existing slate roof rather than replacing it.

The proposed materials for the addition are all appropriate for this resource. In terms of the addition's design, staff supports the proposed flat roof and glazed link as an effective way to differentiate the historic massing from the new addition. The rear addition has a side bay extending a few feet out beyond the left side plane of the house, and if that can be shifted to the rear or to the right side of the addition to minimize its visibility from the front, that would be an improvement. However, there is an existing side addition further forward that comes off the side of the historic house that will be removed and this bay is located completely behind the historic massing and at the least visible section of this house.

As can be seen from the photos, this house is very visible from many angles, and the design of the addition and the other alterations are compatible with the house and streetscape. The applicants have proposed an addition that actually reduces the overall footprint of the house. The applicants are working with the City arborist on tree protection. Staff recommends that the applicants proceed to a HAWP.

STAFF RECOMMENDATION

Staff recommends that the applicant revise the proposal based on the comments of the HPC and then return to the HPC for a HAWP.

WIEDEMANN ARCHITECTS LLC

ARCHITECTURE
PLANNING
INTERIORS

Gregory Wiedemann AIA

06 February 2008

HISTORIC AREA WORK PERMIT APPLICATION

For additions and renovation of 7300 Cedar Avenue, Takoma Park, Maryland

The following is information to supplement the Application for Historic Area Work Permit for the renovation and addition to 7300 Cedar Avenue. We are the architects for the Owner, Christine Simpson and John Lorenz.

1. WRITTEN DESCRIPTION OF PROJECT:

(a) Brief History of House:

Based on information from tax documents and publications created for the City of Takoma Park, the original house is believed to have been built circa 1873. The original four-square house with a slate roof was built as a Queen Anne Victorian with a one-story wrap around porch along the front and east Cedar Avenue side.

The second owners of the house, during the early 20th century, were the Williams family, who moved there in 1910. Stephen Williams was the Mayor of Takoma Park from 1912-1917. In 1939, the Williams family extensively remodeled the house to reflect its current Colonial Revival style.

As part of the 1939 modifications, the original one-story wrap around porch was separated into a single 2-story Colonial Revival front porch on the south side, and a separate one-story screened side porch facing the extension of Cedar Avenue to the east. The windows on the front façade on Cedar Avenue were changed from the single-lite double hung windows to the current divided lite double hung windows. A wider siding with a 9" exposure replaced the original narrower bevel siding as part of the front façade modifications. The original double worked bevel wood siding with 2-5/8" exposure on the other three sides was covered over with wide exposure cement siding during the 1939 modification.

There is a 3-1/2 story extension that appears to have been added to the original house, or possibly to have replaced a smaller rear extension. A covered carport with a block retaining wall, accessible from the Cedar Avenue side driveway, was added in 1939 or perhaps earlier. A projecting 2-story sun room on the west side was added in 1991, overlapping the four-square house and the 3-1/2 story extension. Access to the sun room was from the first floor, with garden storage at grade below. The 3-1/2 story portion is in poor condition and has had replacement windows installed in the majority of the openings.

The Joseph and Kathryn Simpson family, who lived across the street from the Williams family starting in 1939, purchased the house in 1961 from Amelia Williams Burroughs, the daughter of Stephen Williams. Joseph Simpson was a prominent Maryland attorney, serving from 1942 - 1946 as State's Attorney for Montgomery County. The Simpsons raised their four children there, including our client, Christine Simpson. In 2004, Christine and her husband John Lorenz moved to the house after Mrs. Simpson's death the prior year. Christine and John had lived across the street on Cedar Avenue with their two sons since 1988.

The four-square portion of the house remains in a condition very similar to its appearance in 1939. The original wood shutters on the front, window casings, wood trim, roof soffits and wood moldings all remain. The original fieldstone foundation base of the main house remains with some repointing in the joints visible from repairs conducted over the years. The original slate roof remains along with the original built-in gutters. Under the cement siding on the north, east, and west sides of the house the 2-5/8" wood siding remains.

(b) Description of proposed project:

The proposed project involves a restoration of the existing historic elements of the main portion of the historic house.

At the Cedar Avenue front street façade it is our intention to retain the current 1939 Colonial character by re-constructing the 1939 decorative railing on the roof of the 2-story front porch that has been lost. All wood trim, moldings and casings will be repaired, restored and repainted. The built-in gutters on the historical main four-square house will be repaired and restored. All existing slate will be removed and replaced with similar matching slate, including decorative slate coursing on main roof. The wide exposure wood siding on the front façade will be restored and repainted. The wide exposure cement siding on all other sides of the original house will be removed thereby exposing the historical double worked bevel wood siding with 2-5/8" exposure which will be restored, repaired as needed, and painted.

The wood trim on the front attic dormer will be restored and the dormer windows will be replaced with matching windows and an egress window with divided lites similar to the existing historical double hung window. The remaining original windows will be retained and restored as needed, and new storm windows will be added to improve energy efficiency. The stone foundation of the original main house will remain and will be repointed as needed.

The proposed project will include the replacement of the 3-1/2 story extension with a similar scaled addition, and a small storage shed on the north side. The carport and block retaining wall on the east side along Cedar Avenue will be removed to allow for the natural grade to slope back up to just below the first floor level. The new foundation for the new addition will be cement stucco over CMU block wall, creating a clear demarcation between the historic fabric and the newer addition.

On the first floor, the new addition will include a rear entry hall that will link the main level of the four-square house to the main level of the proposed new addition. The first floor will include a new kitchen, pantry, powder room and side entry hall with an informal entry on the Cedar Avenue side. The entry hall will also provide an exit from the west side down to the patio on grade. Access to the second floor of the new addition will be from the stair landing of the

original four-square house main stair. The second floor of the addition will include a laundry room and master bedroom suite.

In the rear hall of the new addition (in the 'link'), a new stair will lead to the basement level housing a new multi-purpose room, bathroom, work room and an at-grade entry/exit to the west side patio. The basement level of the addition will align with the basement of the existing four-square, and the new stair will provide improved access to the lower level.

The proposed massing of the new addition will include a lower 'link' between the existing four-square house and the major massing of the new addition. The addition will be sympathetic to the original house in massing and material. The link will clearly demark the new and historic portions of the house and will step back approximately one foot on the west side, thereby preserving the original corner of the four-square house. The main bulk of the addition will be higher than the link, but lower than the original main house. The roof line of the original four-square will be restored.

The mass of the addition will have a matching slope hip roof emulating the existing historic four-square house. The lower, stepped back link between the main four-square house and the primary mass of the addition will serve to distinguish and contrast the new addition from the historic existing house. The proposed new addition, while sympathetic in character and massing, will be virtually unseen from the front approach along Cedar Avenue and will increase the net building footprint, including porches, by only 183 square feet. With the removal of the east side carport and retaining wall, the net footprint actually decreases by 117 square feet.

To accommodate storage lost by removal of the carport, a new, low one-story garden shed will be added. This will be located along the existing stone wall that borders the driveway edge on the north side of the house. This garden shed will have matching slate roof, matching narrow exposure wood siding, and matching trim to the new addition. The existing stone site wall will be adjusted to provide the base for the shed.

New condenser units for a new the air conditioning system will be located on the west side of the new garden shed concealed by a painted wood fence and gate.

2. SITE PLAN/LANDSCAPE PLAN

See attached Site Plan depicting the house location, and other site improvements.

3. PLANS AND ELEVATIONS

See required two (2) copies of the required plans and elevations, depicting the existing conditions and the proposed modifications.

List of Drawings attached:

1. C.0.1 – Coversheet w/ Site Plan
2. A.1.0 – Basement Floor Plan
3. A.1.1 – First Floor Plan
4. A.1.2 – Second Floor Plan
5. A1.3 – Attic Floor Plan
6. A.2.0 – North Elevation
7. A.2.1 – Cedar Avenue East Side Elevation

8. A.2.2 – Birch Avenue West Side Elevation
9. A.2.3 – South Front Street Elevation
10. EX.1.0 – Existing Basement Floor Plan
11. EX.1.1 – Existing First Floor Plan
12. EX.1.2 – Existing Second Floor Plan
13. EX.1.3 – Existing Attic Level Floor Plan
14. EX.2.0 – Existing South Elevation
15. EX.2.1 – Existing West Elevation
16. EX.2.2 – Existing North Elevation
17. EX.2.3 – Existing East Elevation

4. MATERIAL SPECIFICATIONS

The following is a description of the proposed materials for the project:

Exterior Siding:

The existing wide exposure wood siding on the front Cedar Avenue side of the house will be restored / repaired and will be repainted. The cement siding on the remaining sides of the historic house will be removed to expose the original double worked bevel wood siding with 2-5/8" exposure. The original siding on the north, east and west sides of the historic house will be restored and repainted.

The exterior siding of the new addition will be a narrow exposure wood siding to match the original historical existing, separated by a glass and wood link that clearly demarks the division between old and new.

Wood Shutters:

All operable wood shutters are located on front Cedar Avenue side of the house. These shutters will remain and will be repaired and repainted.

Foundations:

The existing stone foundation on the original main house will remain. The foundation of the new addition will be block with cement stucco to contrast with the historic stone foundation of the original house.

Exterior Trim:

The existing historic trim on the original house will remain. All new exterior trim will be painted Western Red Cedar, in profiles similar to the existing house and as depicted on the elevations. Again, the trim and glass treatment of the link will provide a separation between old and new.

Windows:

The single pane windows in the historic main house will remain and will be restored except at the front Cedar Avenue attic dormer. All restored windows will have new triple track storm windows to match the existing. The Cedar Avenue dormer windows, which are in poor condition, will be replaced with new wood windows, both double hung and casements similar to the existing dormer windows and shall provide the required egress to meet applicable sections of the Building Code.

The rear addition will have new painted wood casement and double-hung windows with simulated divided lite insulated glazing, which will clearly identify the new portion of the project. The mullion patterns of the existing and proposed windows are as shown on the attached drawings.

Roofing:

It has been determined that the flashing and built-in gutters on the original roof are failing. In order to properly address these deficiencies, it will be necessary to remove the existing slate roof. The existing slate roof will be replaced with all new matching slate, installed with a pattern to match the current existing historical slate pattern. The roof of the proposed addition will be matching slate, and the roofs of the projecting bays and 'link' below will have flat seam metal as depicted on the elevation drawings. All new roof flashing, gutters and downspouts will be copper, including the repair and relining of the built-in gutters.

5. PHOTOGRAPHS

See attached required photographs, labeled as requested.

6. TREE SURVEY

See attached Site Plan for a tree survey and Tree Preservation Plan.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

See attached Adjacent and Confronting Properties List of Owners.

On behalf of Christine Simpson and John Lorenz, we respectfully submit these materials for your review and approval. If you have any questions concerning our application, please contact me at 301.652.4022.

Sincerely,



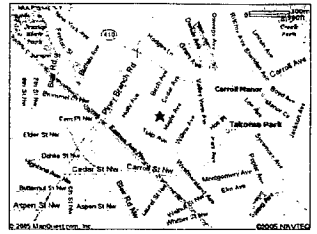
Gregory Wiedemann, AIA
WIEDEMANN ARCHITECTS LLC
5272 River Road, Suite 610
Bethesda, Maryland 20816
301.652.4022

INDEX OF DRAWINGS

- C-1.0 COVER SHEET/SITE PLAN / TREE SURVEY
- A-1.0 BASEMENT FLOOR PLAN
 A-1.1 FIRST FLOOR PLAN
 A-1.2 SECOND FLOOR PLAN
 A-1.3 ATTIC LEVEL FLOOR PLAN
 A-1.4 ROOF PLAN
- A-2.0 PROPOSED NORTH ELEVATION
 A-2.1 PROPOSED CEDAR AVENUE EAST SIDE ELEVATION
 A-2.2 PROPOSED BIRCH AVENUE WEST SIDE ELEVATION
 A-2.3 PROPOSED SOUTH FRONT STREET ELEVATION
- A-3.0 LONGITUDINAL BUILDING SECTION
 A-3.1 CROSS BUILDING SECTION
 A-3.2 CROSS BUILDING SECTION
- EX-1.0 EXISTING BASEMENT FLOOR PLAN
 EX-1.1 EXISTING FIRST LEVEL FLOOR PLAN
 EX-1.2 EXISTING SECOND LEVEL FLOOR PLAN
 EX-1.3 EXISTING ATTIC LEVEL FLOOR PLAN
- EX-2.0 EXISTING NORTH ELEVATION
 EX-2.1 EXISTING CEDAR AVENUE EAST SIDE ELEVATION
 EX-2.2 EXISTING BIRCH AVENUE WEST SIDE ELEVATION
 EX-2.3 EXISTING SOUTH FRONT STREET ELEVATION

SQUARE FOOTAGE CALCULATIONS:

BASEMENT LEVEL		NEW FOOTPRINT	
EXISTING TO REMAIN	1035 GSF	EXISTING TO REMAIN	1283 SQ. FT.
EXISTING TO BE REMOVED	851 GSF	EXISTING TO BE REMOVED	851 SQ. FT.
NEW ADDITION	681 GSF	NEW ADDITION	798 SQ. FT.
NEW SHED	117 GSF		
		NEW TOTAL FOOTPRINT	2061 SQ. FT.
		EXISTING TOTAL FOOTPRINT	2114 SQ. FT.
FIRST FLOOR			
EXISTING TO REMAIN	1270 GSF		
EXISTING TO BE REMOVED	499 GSF		
NEW ADDITION	792 GSF		
SECOND FLOOR			
EXISTING TO REMAIN	1035 GSF		
EXISTING TO BE REMOVED	397 GSF		
NEW ADDITION	600 GSF		
ATTIC LEVEL			
EXISTING TO REMAIN	948 GSF		



2 VICINITY MAP
 SCALE: NOT TO SCALE

ZONING SUMMARY

SCOPE OF WORK SHALL INCLUDE AN ADDITION AND RENOVATION & ALTERATION TO THE EXISTING SINGLE FAMILY RESIDENCE AS SHOWN ON THESE DRAWINGS

ADDRESS:
 7300 CEDAR AVENUE
 TAKOMA PARK, 20912

ZONE: R-60

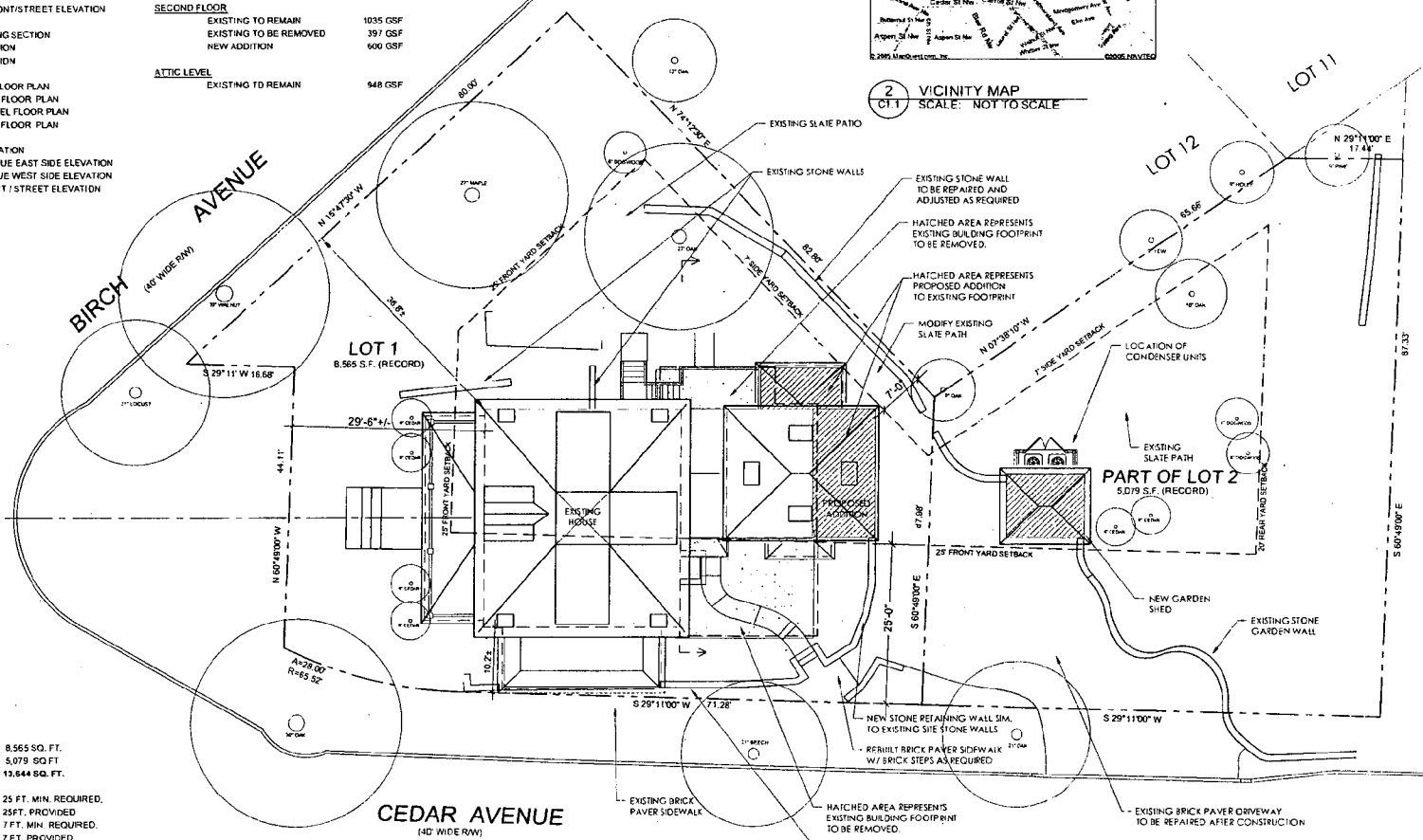
LOT DESCRIPTION:
 LOT 1 AREA: 8,565 SQ. FT.
 LOT 2 AREA: 5,079 SQ. FT.
 TOTAL LOT 1 & 2: 13,644 SQ. FT.

FRONT YARD SETBACK: 25 FT. MIN. REQUIRED. 25FT. PROVIDED

SIDE YARD SETBACK: 7 FT. MIN. REQUIRED. 7 FT. PROVIDED.

REAR YARD SETBACK: 20 FT. MIN. REQUIRED. 70 FT. PROVIDED.

LOT COVERAGE: MAXIMUM ALLOWABLE - 35%
 PROPOSED COVERAGE - 15%



1 SITE PLAN (HOUSE LOCATION PLAN / TREE SURVEY)
 SCALE: 1/8" = 1'-0"

SITE PLAN NOTES:
 SITE INFORMATION BASED ON HOUSE LOCATION DRAWING TREE LOCATION AND TOPOGRAPHY SURVEY DATED 1.2.08
 PREPARED BY SNIDER & ASSOCIATES



WIEDEMANN ARCHITECTS LLC

1177 WILVER ROAD SUITE 400
 BELTHERM, MD 20816
 TEL: 301.445.3022
 FAX: 301.445.3042

www.wiedemannarch.com

PROJECT:
 SIMPSON LORENZ
 RESIDENCE ADDITION
 7300 CEDAR AVE
 TAKOMA PARK 20912

ISSUED

HPC PRELIMINARY
 CONSULTATION
 27 FEBRUARY 2008

PRELIMINARY
 NOT FOR CONSTRUCTION

C1.0

(9)



WIEDEMANN
ARCHITECTS
LLC

1272 RIVER ROAD SUITE 310
BETHESDA, MD 20816
410-646-8922
FAX 410-642-8944

www.wiedemannarchitects.com

PROJECT

SIMPSON FLORENZ
RESIDENCE
7300 CEDAR AVE
TAYCHAWA PARK 20912

ISSUED

FOR REVIEW
MARCH 22, 2004



EXISTING SOUTH FRONT STREET ELEVATION
SCALE: 1/4" = 1'-0"

PRELIMINARY

NOT FOR CONSTRUCTION

SHEET

EX.2.3

10



WIEDEMANN
ARCHITECTS
LLC

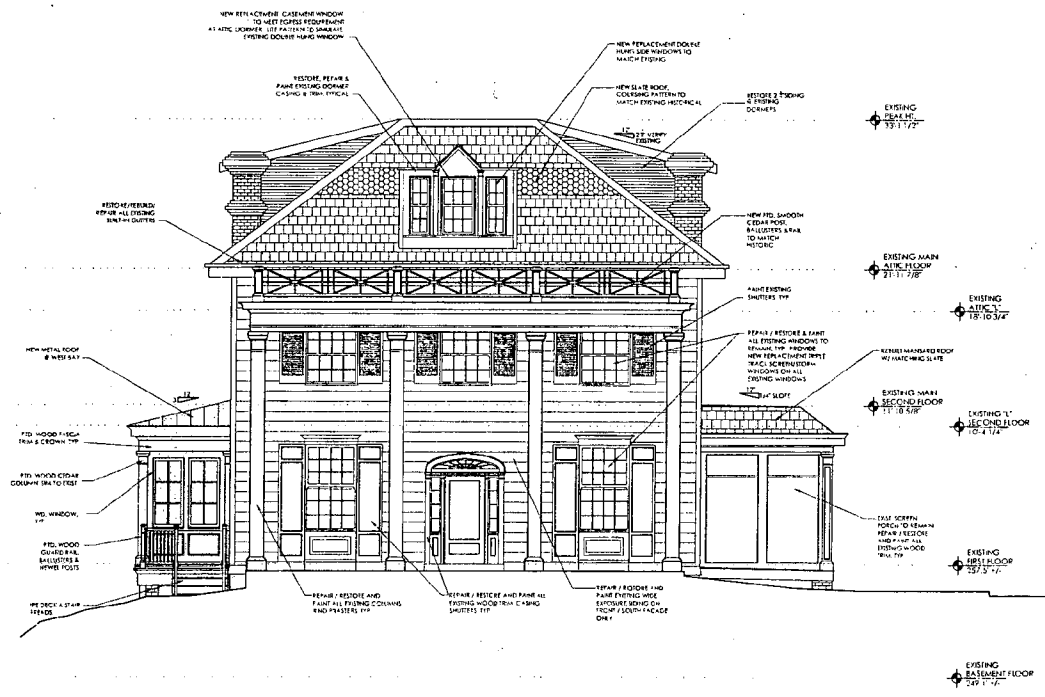
1372 N. 17th Road, Suite 101
Bellevue, WA 98005
Phone: 206.452.0022
Fax: 206.452.0011

www.wiedemannarchitects.com

PROJECT
SIMPSON/LORENZ
RESIDENCE ADDITION
730 CEDAR AVE
TACOMA PARK, 2012

ISSUED

HPC PRELIMINARY
CONSULTATION
27 FEBRUARY 2008



1
A2.3 PROPOSED SOUTH FRONT STREET ELEVATION
SCALE: 1/4" = 1'-0"

11

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET

A2.3



WIEDEMANN
ARCHITECTS
LLC

422 RIVER ROAD SUITE 100
BETHESDA, MD 20814
Voice: 301.452.8022
Fax: 301.662.8971

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PROJECT
SIMPSON FLOTTEN
RESIDENCE
7200 CEDAR AVE
TAYLOR, PA 17082

ISSUED
FOR REVIEW
March 22, 2014



1 EXISTING CEDAR AVENUE ELEVATION
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

EX.2.1

21



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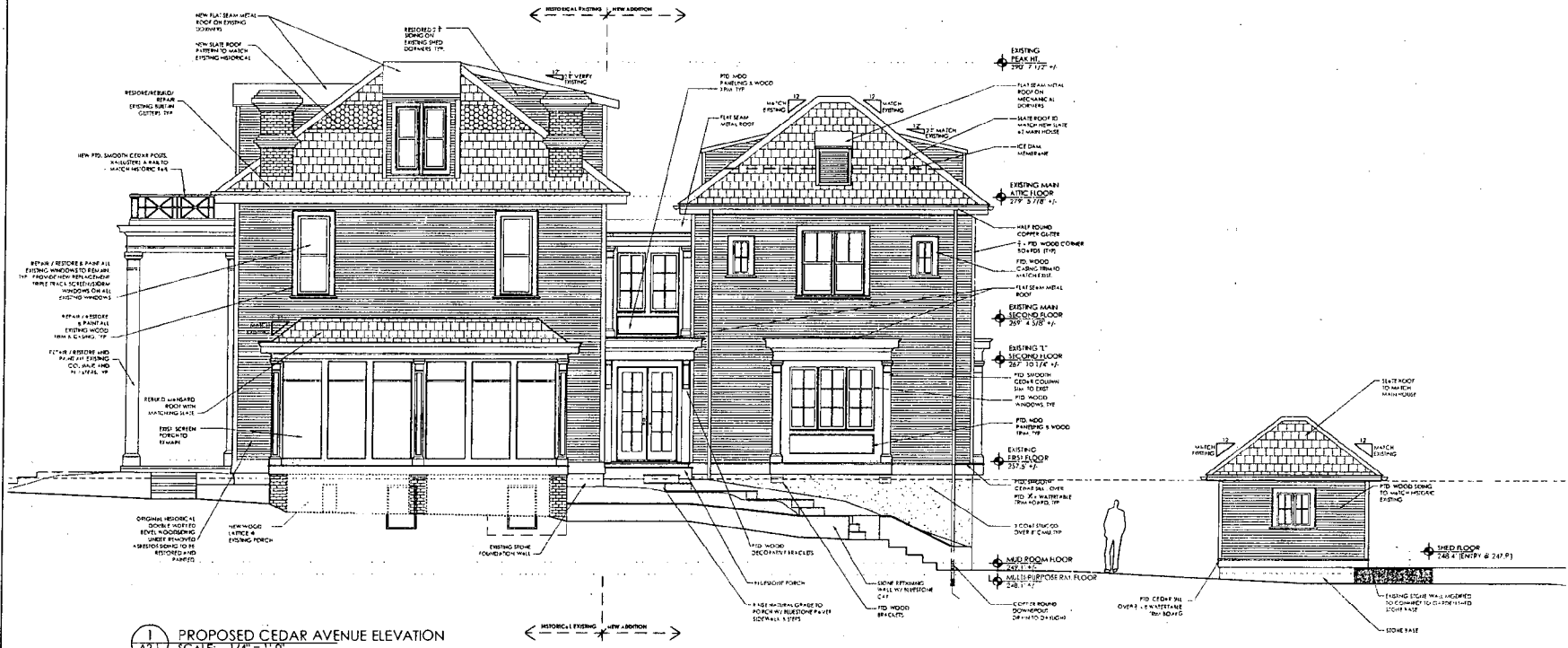
1772 RIVER ROAD, SUITE 100
 BELLEVILLE, MISSOURI 63404
 PHONE: 314.382.8022
 FAX: 314.382.8024

www.wiedemannarchitects.com

PROJECT
 SIMPSON LORENTZ
 RESIDENCE ADDITION
 7300 CEDAR AVE.
 TARKIO, MISSOURI 65752

ISSUED

HPC: PRELIMINARY
 CONSULTATION
 27 FEBRUARY 2008



1 PROPOSED CEDAR AVENUE ELEVATION
 SCALE: 1/4" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION

SHEET

A2.1

13



WIEDEMANN
ARCHITECTS
LLC

1572 RIVER ROAD SUITE 101
DEERFIELD, IL 60015
TEL: 847.485.1022
FAX: 847.485.1044

PROJECT
SIMPSON FLORENZ
RESIDENCE
7300 CEDAR AVE
LAKEWOOD PARK 20913

DATE
FOR REVIEW
MARCH 22, 2004



EXISTING
PEAK HT.
296'-7 1/2" ±

EXISTING MAIN
ATTIC FLOOR
279'-5 7/8" ±

EXISTING MAIN
SECOND FLOOR
259'-4 5/8" ±

EXISTING 1ST
SECOND FLOOR
257'-10 1/4" ±

EXISTING
FIRST FLOOR
259'-3'-7" ±

BASEMENT FLOOR
249'-5 1/2" ±

1
EX.2.2 EXISTING BIRCH AVENUE SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

EX.2.2

14



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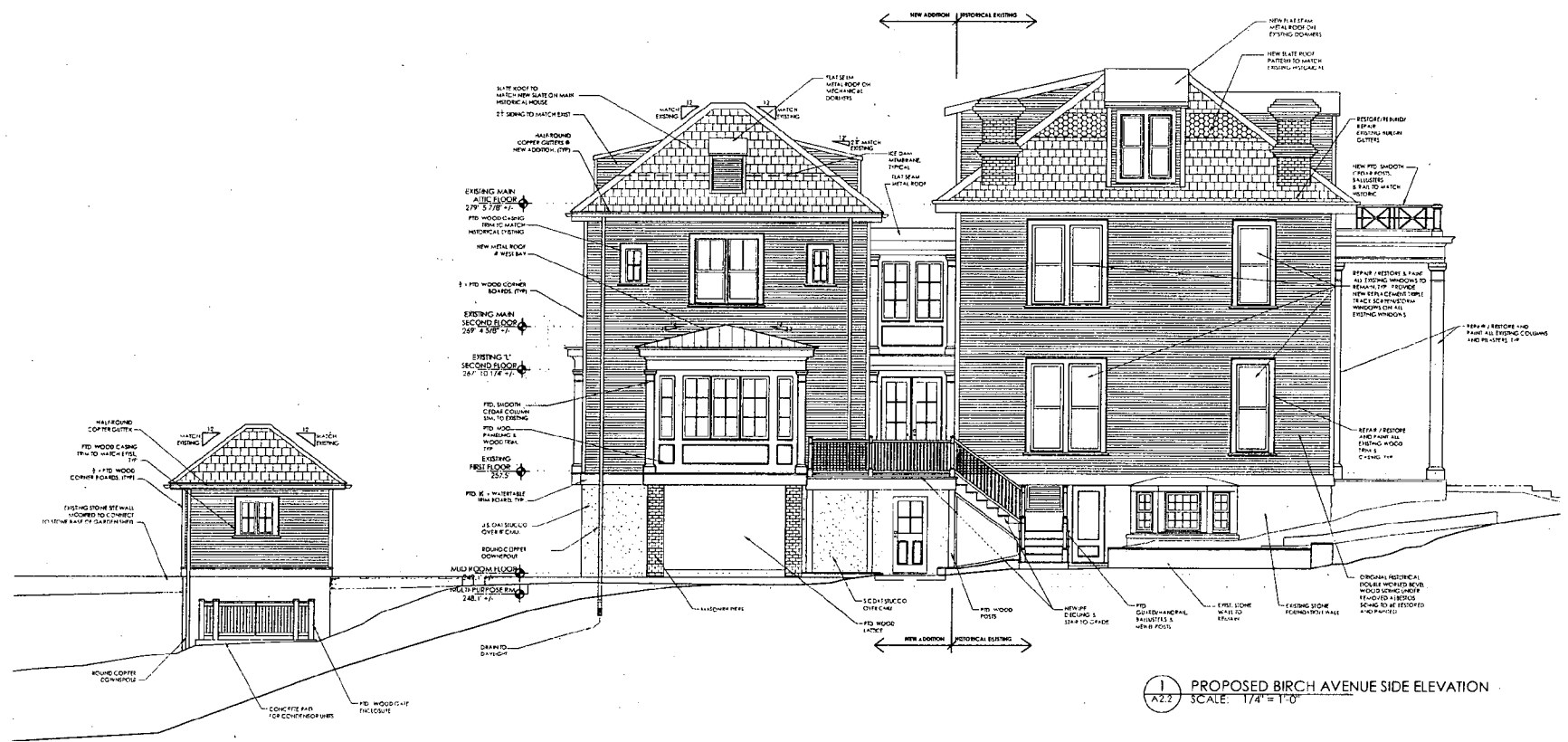
577 RIVER ROAD SUITE 200
 HUNTSVILLE, AL 35894
 PHONE 256-887-4022
 FAX 256-887-4044

www.wiedemannarchitects.com

PROJECT
 SHARON LORENZ
 RESIDENCE ADDITION
 7300 CEDAR AVE.
 TALLAHASSEE, FL 32309

ISSUED

HPC PRELIMINARY
 CONSULTATION
 27 FEBRUARY 2008



1 PROPOSED BIRCH AVENUE SIDE ELEVATION
 A.2.2 SCALE: 1/4" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION
 SHEET

A2.2

15



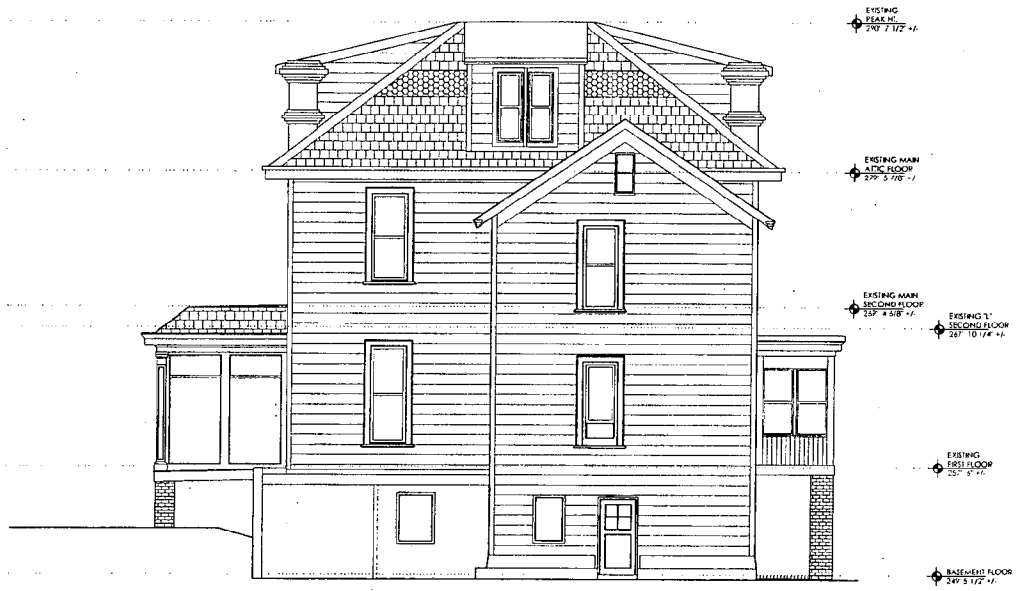
WIEDEMANN
ARCHITECTS
LLC

132 NIXER ROAD SUITE 100
BELLINGHAM, WA 98220
PHONE: 360.862.8022
FAX: 360.862.8044

www.wiedemannarchitects.com

PROJECT
SAMPSON FLORENCE
RESIDENCE
7300 CEDAR AVE
TACOMA, WA 98147

ISSUED
FOR REVIEW
MARCH 22, 2004



EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

EX.2.0

16



WIEDEMANN ARCHITECTS LLC

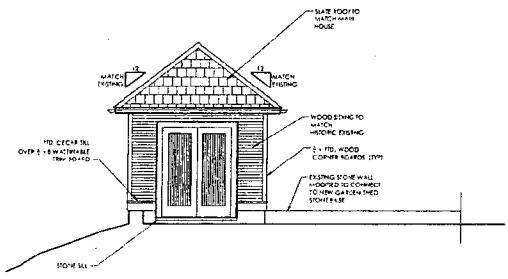
572 HUBER ROAD SUITE 400
 BETHESDA, MD 20814
 TEL: 301.452.4022
 FAX: 301.452.3442

WWW.WIEdEMANNARCHITECTS.COM

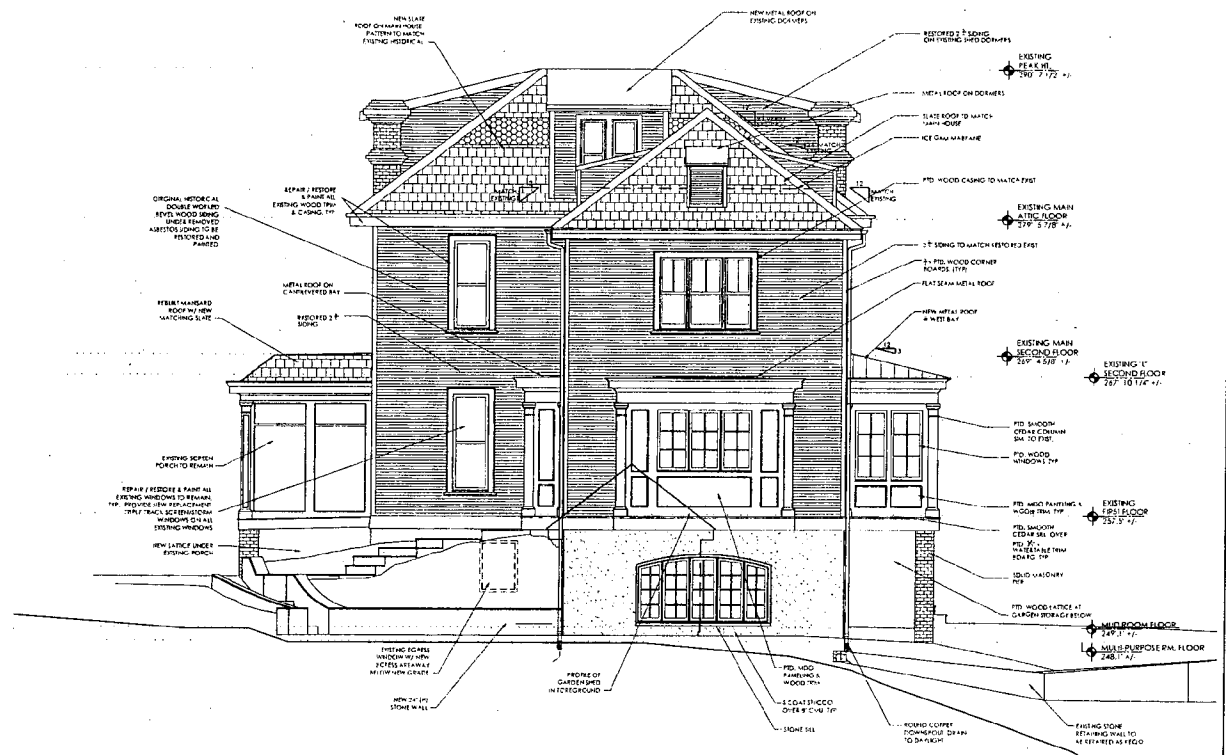
PROJECT
 SIMPSON/ LORENZ
 RESIDENCE ADDITION
 7300 CEDAR AVE
 TAKOMA PARK, MD 20912

ISSUED

PHC PRELIMINARY
 CONSULTATION
 27 FEBRUARY 2016



2 GARDEN SHED ENTRY ELEVATION
 SCALE: 1/4" = 1'-0"



1 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION
 SHEET

A2.0

17



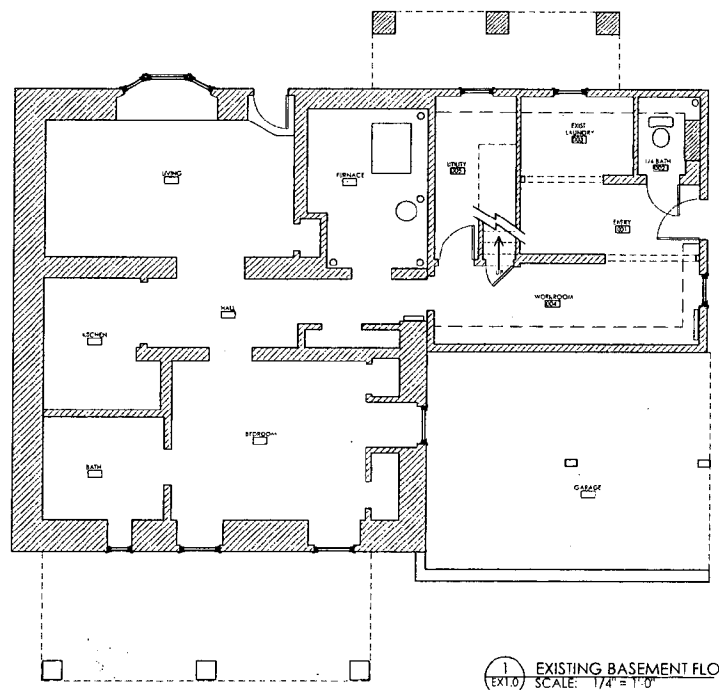
WIEDEMANN
ARCHITECTS
LLC

1272 RIVER ROAD SUITE 100
METHUEN, MA 01844
PHONE: 978.352.4022
FAX: 978.352.4015

www.wiedemannarchitects.com

PROJECT
SIMPSON LOWMEYER
RESIDENCE
7300 CEDAR AVE
TACOMA PARK, WA 98122

ISSUED
FOR REVIEW
MARCH 22, 2004



1 EXISTING BASEMENT FLOOR PLAN
EX1.0 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

EX.1.0

18



WIEDEMANN
ARCHITECTS
LLC

577 RIVER ROAD SUITE 400
DUBLIN, MASSACHUSETTS
01931-2002
TEL: 978-232-2844

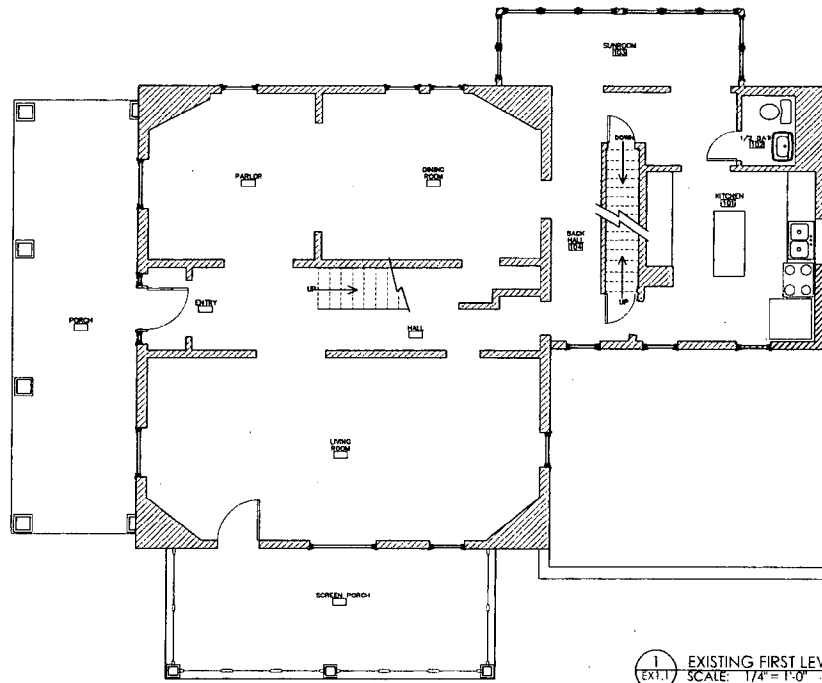
www.wiedemannarchitects.com

PROJECT

SIMPSON ALDRICH
RESIDENCE
7300 CEDAR AVE.
MILWAUKEE, WI 53212

ISSUED

FOR REVIEW:
MARCH 22, 2004



1 EXISTING FIRST LEVEL FLOOR PLAN
EXT.1 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

EX.1.1

20



WIEDEMANN
ARCHITECTS
L.L.C.

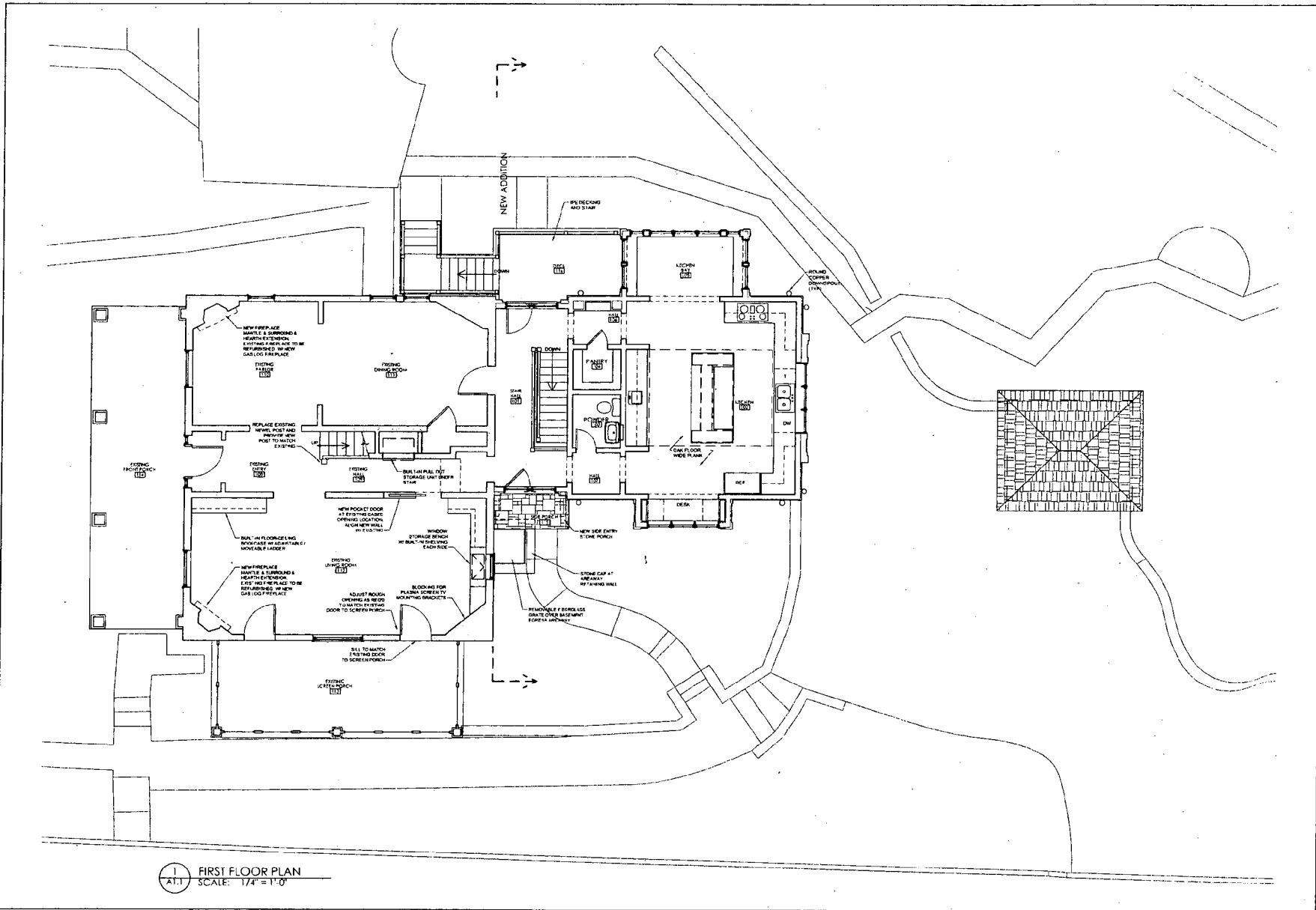
7271 RIVER MOUNTAIN STEEL RD
RR 116230A, BLD 200A
TACOMA, WA 98402-4822
TEL: 253.865.1894

www.wiedemannarchitects.com

PROJECT
SIMPSON/LORENZ
RESIDENCE ADDITION
7300 CEDAR AVE.
TACOMA PARK 20012

ISSUED

HPC PRELIMINARY
CONSULTATION
27 FEBRUARY 2008



1 FIRST FLOOR PLAN
AT.1 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

A1.1

21



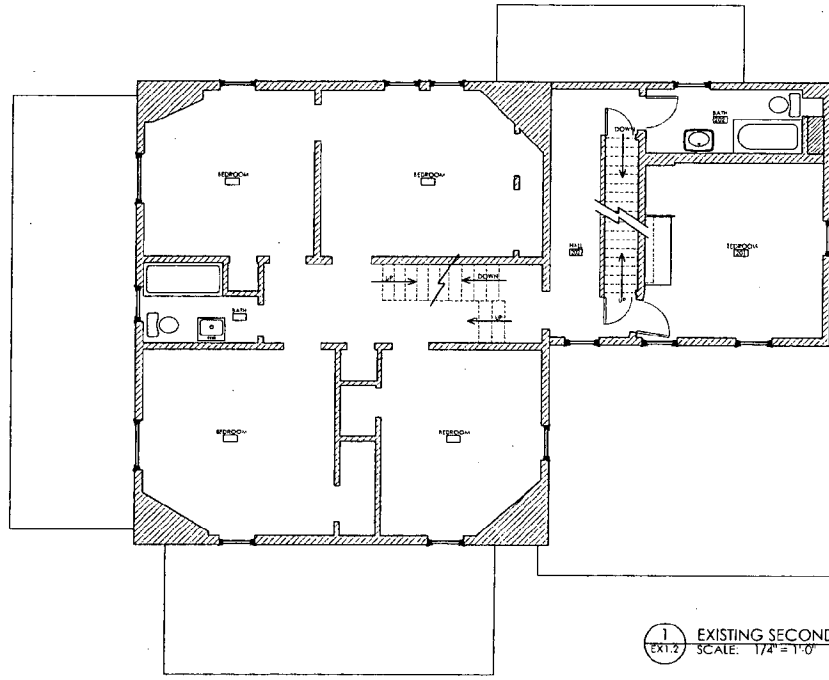
WIEDEMANN
ARCHITECTS
LLC

1272 HYPER ROAD SUITE 100
BETHESDA, MD 20816
Phone: 301.452.4022
Fax: 301.452.4914

www.wiedemannarchitects.com

PROJECT
SIMPSON FORDHE
RESIDENCE
7300 CEDAR AVE.
TAKOMA PARK, 20912

ISSUED
FOR REVIEW:
March 22, 2004



1 EXISTING SECOND LEVEL FLOOR PLAN
EX.1.2 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

EX.1.2

22



WIEDEMANN ARCHITECTS LLC

1272 BIRCH ROAD SUITE 400
BETHESDA, MD 20814
Voice: 301-652-8022
Fax: 301-652-8044

www.wiedemannarchitects.com

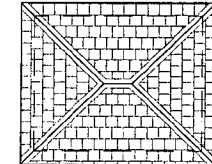
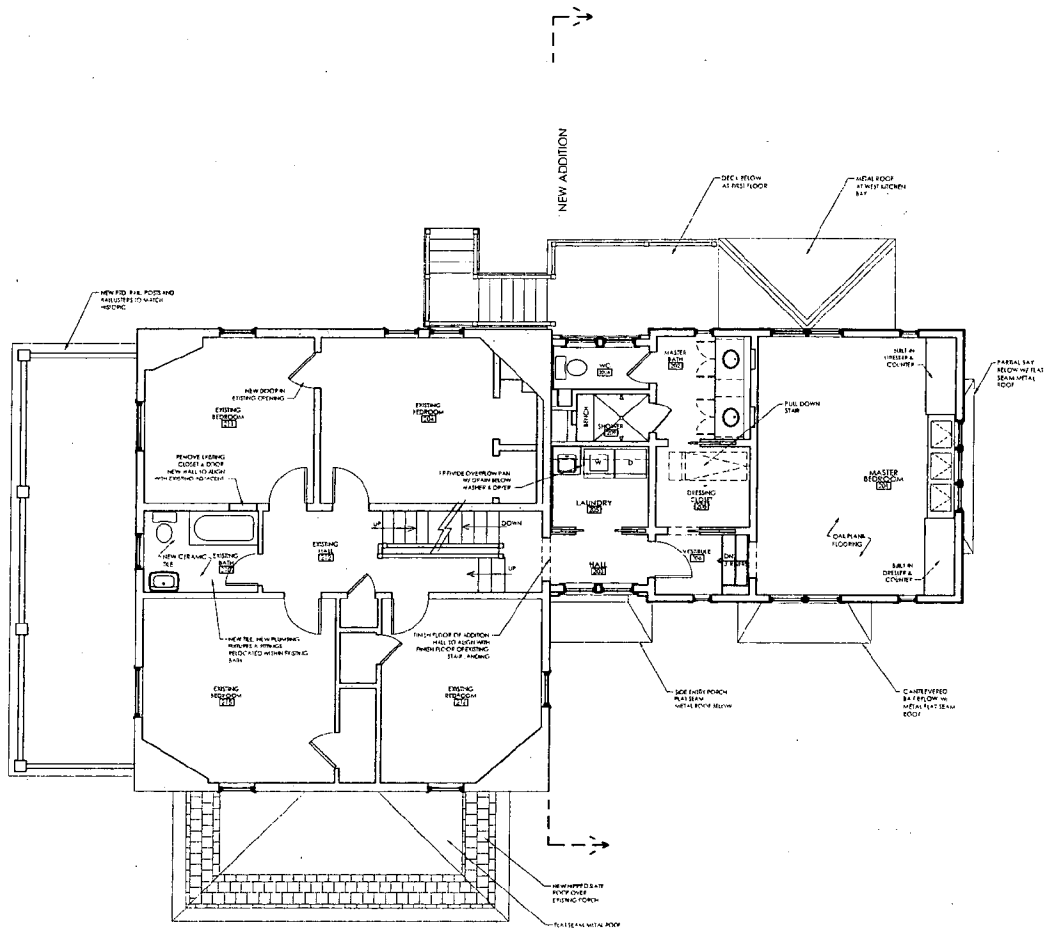
PROJECT
SIMPSON LORENZ
RESIDENCE ADDITION
7300 CEDAR AVE
FAUCONIA PARK, MD 20712

ISSUED

HFC PRELIMINARY
CONSULTATION
27 FEBRUARY 2008

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

A1.2



1 SECOND FLOOR PLAN
A1.2 SCALE: 1/4" = 1'-0"

23



WIEDEMANN
ARCHITECTS
LLC

5272 WYTHAMPTON ST #118, 4TH
FL, THIRSOVA, MD 21154
Voice: 410-462-8922
Fax: 410-462-8919

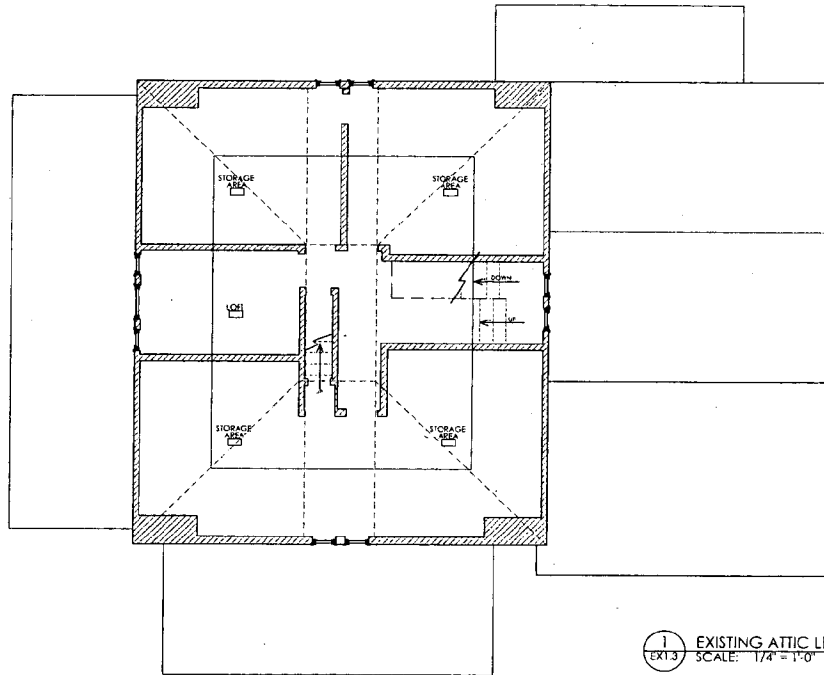
www.wiedemannarchitects.com

PROJECT

SILVERCORN RESIDENCE
RESIDENCE
7300 CEDAR AVE
FAUXMIA PAR 20912

ISSUED

FOR REVIEW
MARCH 27, 2004



1 EXISTING ATTIC LEVEL FLOOR PLAN
EX1.3 SCALE: 1/4" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

EX.1.3

24



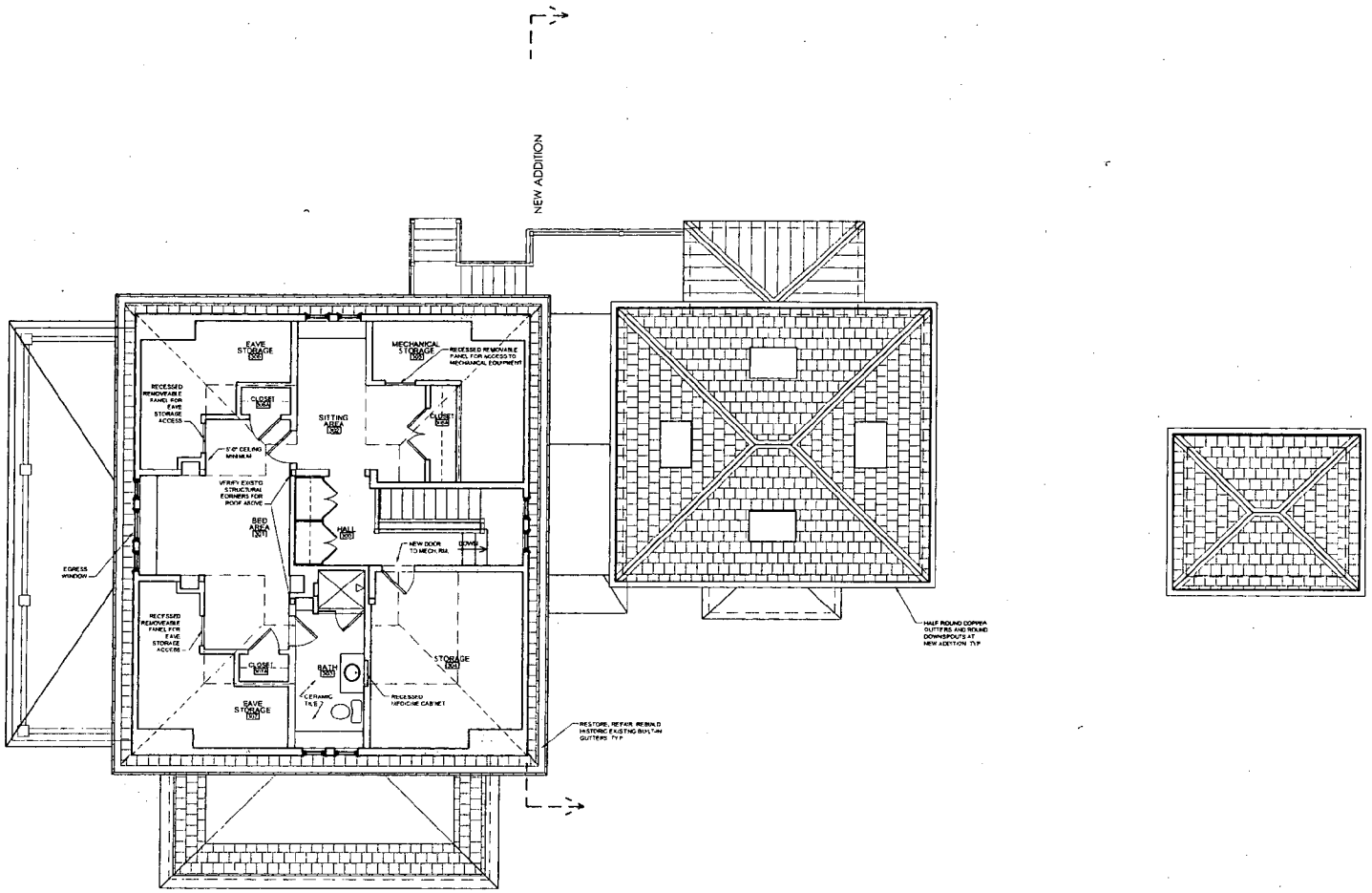
WIEDEMANN ARCHITECTS LLC

1575 MYRTLE AVE. SUITE 100
 PUEBLO, CO 81001
 PHONE: 303.455.1822
 FAX: 303.455.1894

www.wiedemannarchitects.com
PROJECT
 SIMPSON LORENE
 RESIDENCE ADDITION
 7300 CEDAR AVE.
 TACOMA PACE, 20912

ISSUED

HPC PRELIMINARY
 CONSULTATION
 27 FEBRUARY 2008



1 RENOVATED ATTIC LEVEL FLOOR PLAN @ EXISTING HOUSE
 A1.3 SCALE: 1/4" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION
 SHEET

A1.3

25



WIEDEMANN
ARCHITECTS
LLC

1272 RIVER ROAD SUITE 100
REDFIELD, MD 20816
PHONE 301-652-8872
FAX 301-652-8894

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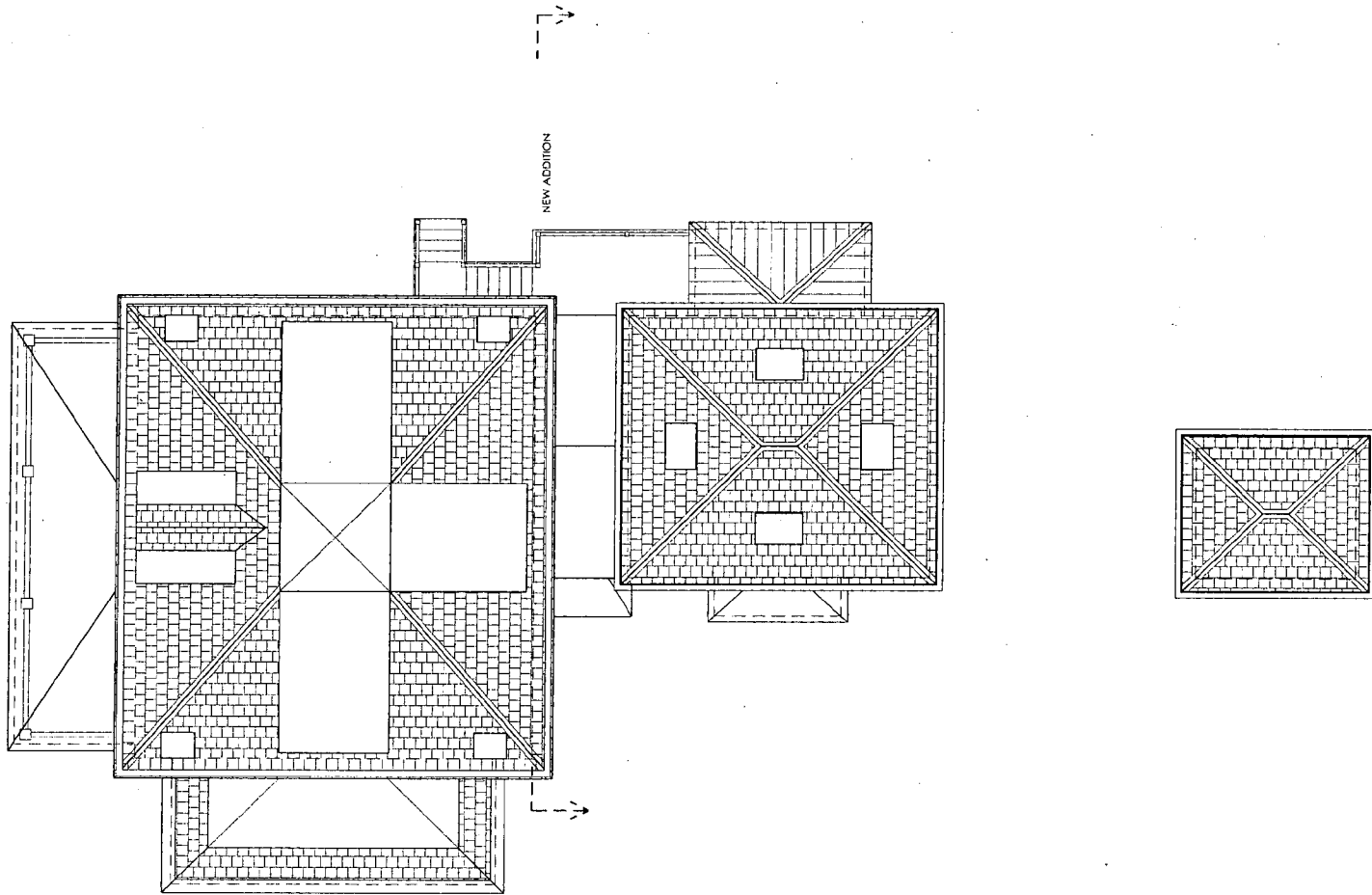
PROJECT
SNAPSCH/LORENZ
RESIDENCE ADDITION
7300 CEDAR AVE.
TACOMA PARK, 20012

ISSUED

HPC PRELIMINARY
CONSULTATION
27 FEBRUARY 2008

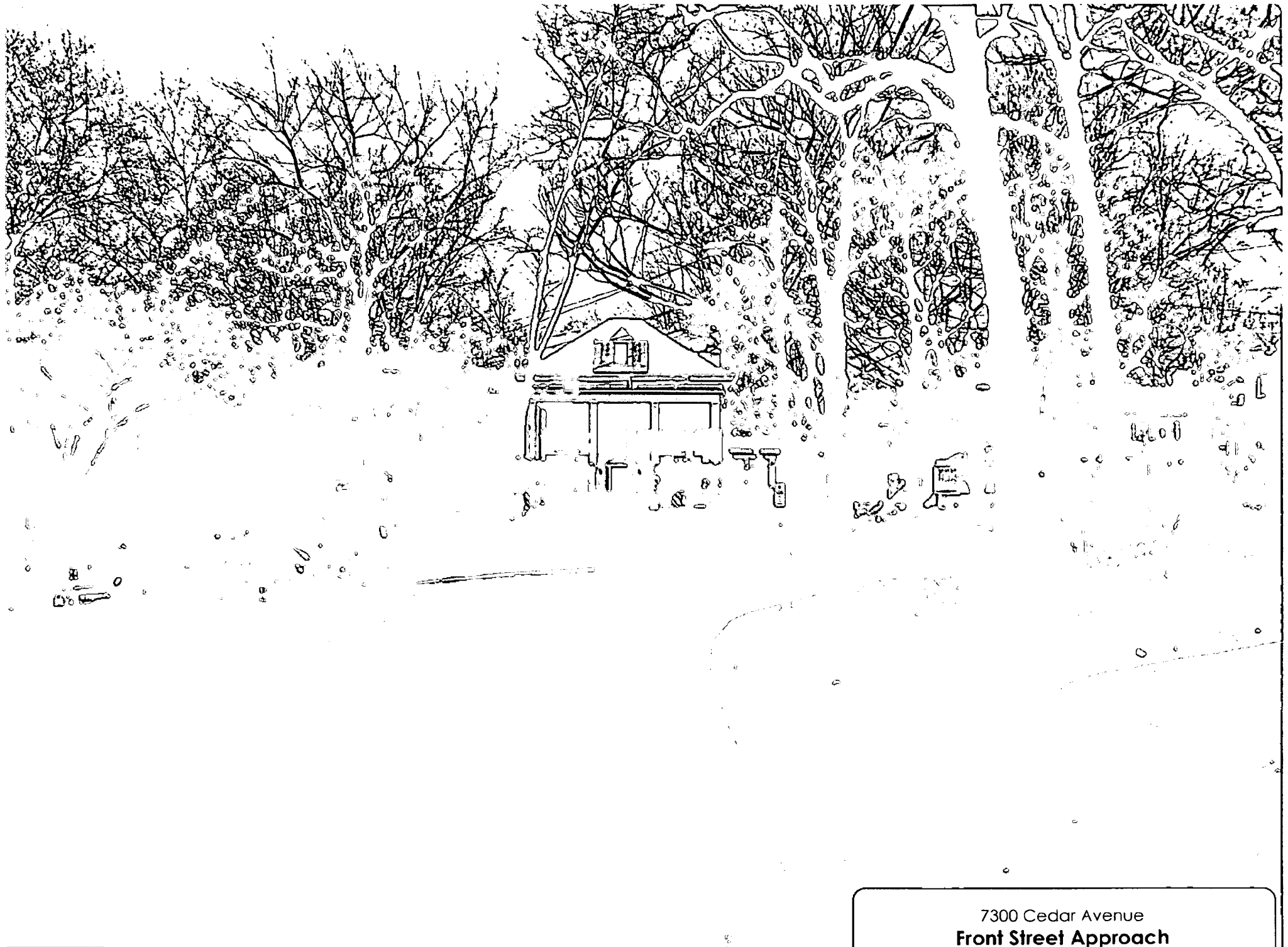
PRELIMINARY
NOT FOR CONSTRUCTION
SHEET

A1.4



1 ROOF PLAN
AT.4 SCALE: 1/4"=1'-0"

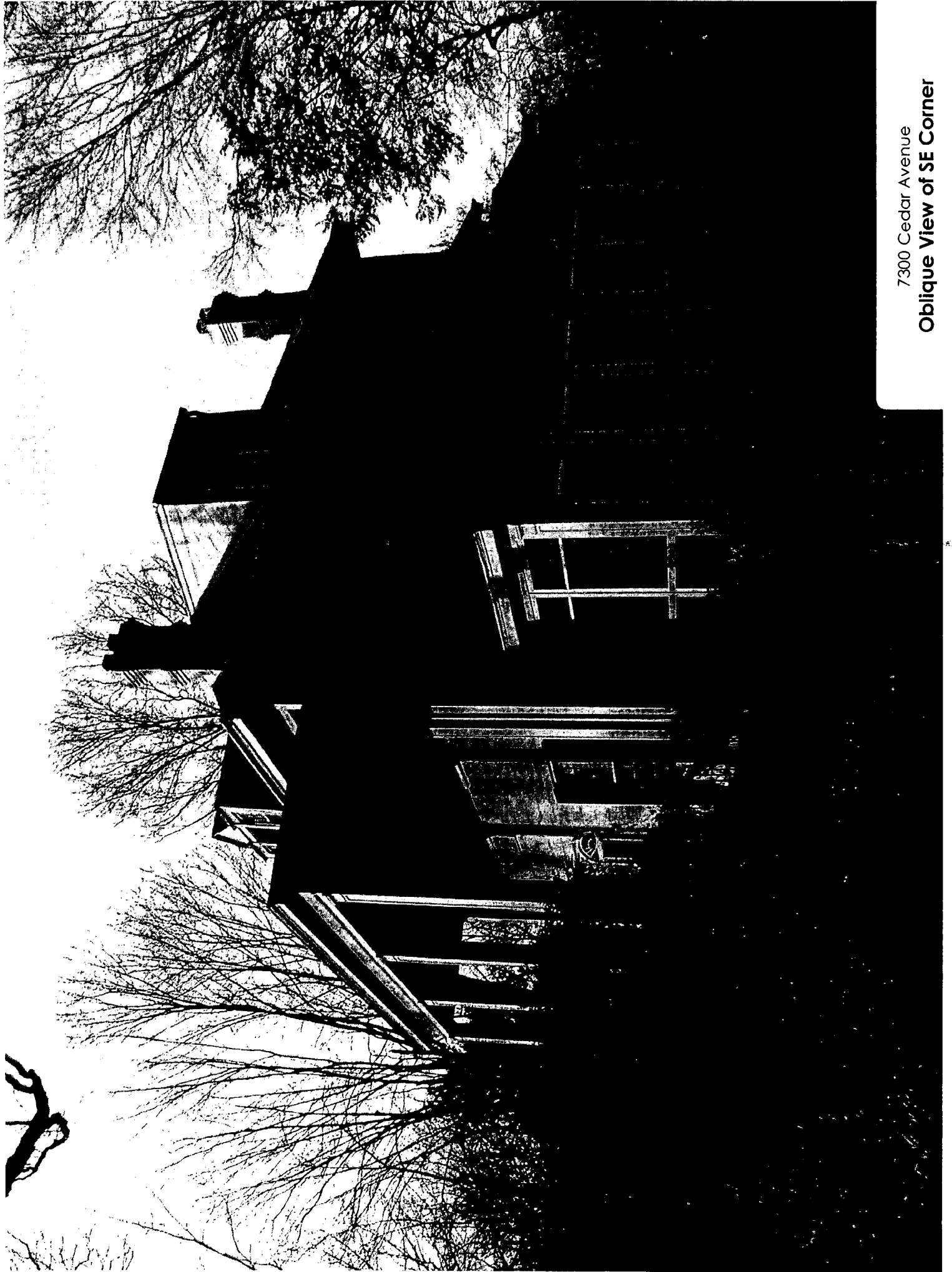
26



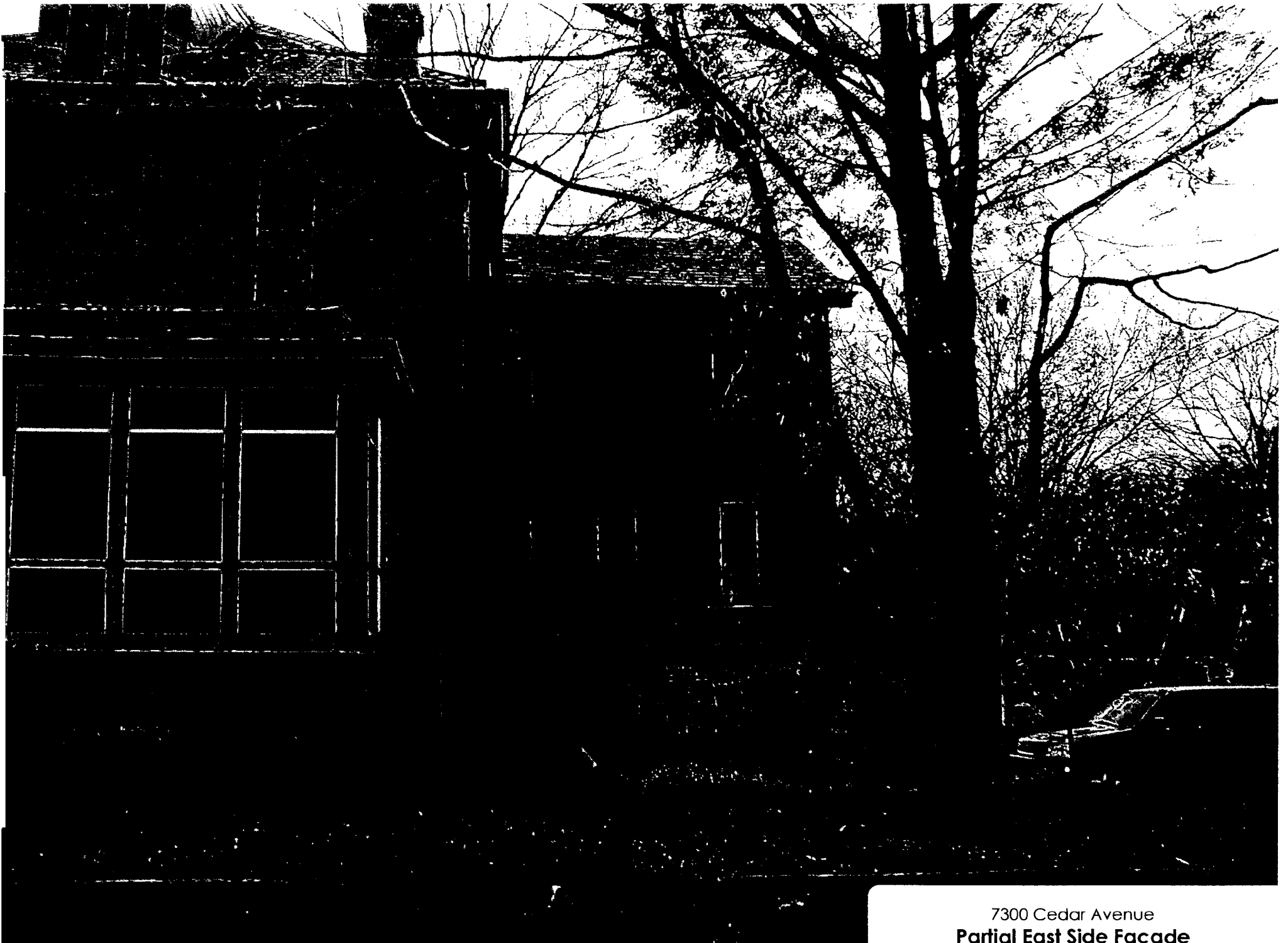
7300 Cedar Avenue
Front Street Approach



7300 Cedar Avenue
South Front Façade



7300 Cedar Avenue
Oblique View of SE Corner



7300 Cedar Avenue
Partial East Side Façade



7300 Cedar Avenue
View of East Side Screened Porch



7300 Cedar Avenue
Oblique View of SW Corner



7300 Cedar Avenue
West Side Elevation from Birch Avenue



7300 Cedar Avenue

View of West Side Sunroom Bay



7300 Cedar Avenue
North Approach from Cedar Avenue



7300 Cedar Avenue
North Rear Façade



7300 Cedar Avenue
Oblique View of NE Corner



7300 Cedar Avenue
Partial North Rear Façade

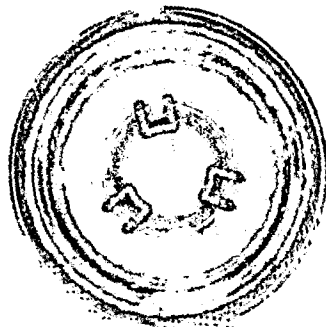


7300 Cedar Avenue
Oblique View of NW Corner From Lot 12



7300 Cedar Avenue
South Façade w/1939 Porch Roof Railing

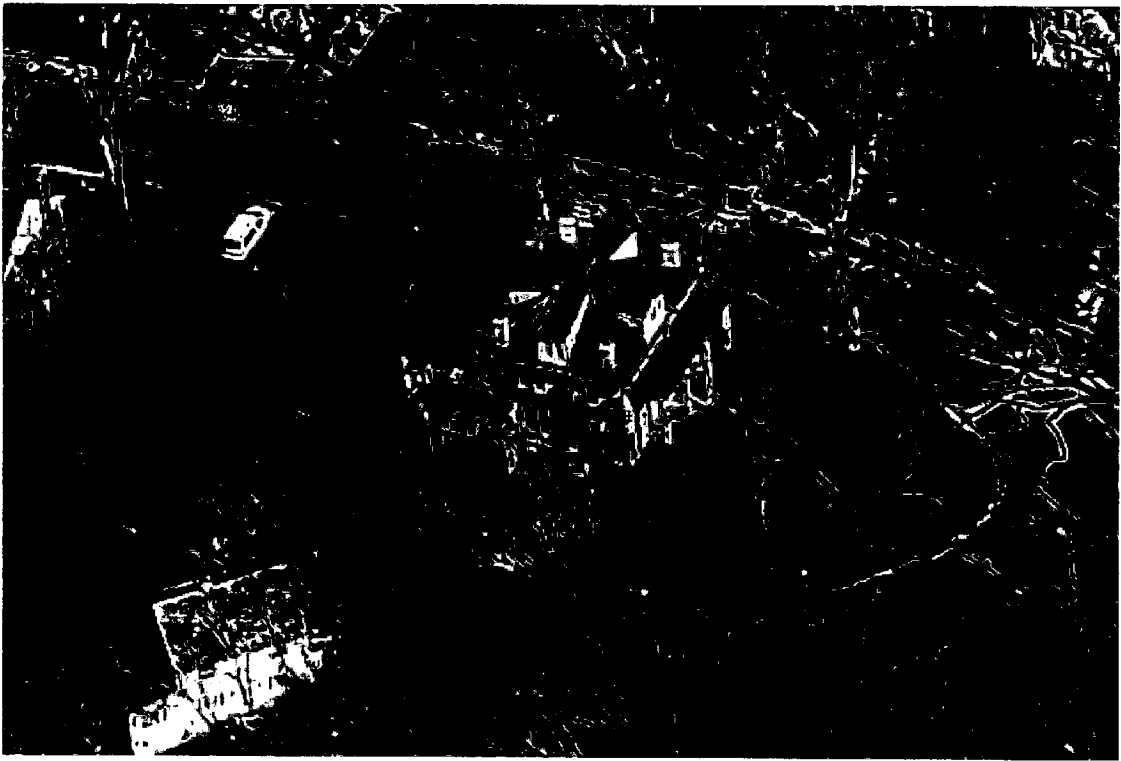
7300 CEDAR AVE
TAKOMA PARK, MD



2/6/08

WIEDEMANN ARCHITECTS LLC

compatible
support:
5-0049





WIEDEMANN ARCHITECTS LLC

ARCHITECTURE
PLANNING
INTERIORS

Gregory Wiedemann AIA

06 February 2008

Ms. Anne Fothergill
Planner Coordinator
Montgomery County Planning Department
Countywide Planning--Historic Preservation Section
1109 Spring Street, Suite 801
Silver Spring, MD 20910

RE: Simpson/Lorenz Residence
7300 Cedar Avenue
Takoma Park, Maryland

Dear Anne:

Attached are the documents that you have requested regarding the proposed renovation and addition of the Simpson/Lorenz Residence at 7300 Cedar Avenue in Takoma Park, Maryland. As you know, we are scheduled for a preliminary consultation with the Historic Preservation Commission on 27 February 2008.

Please feel free to call with any questions about the project or if you would like to arrange a meeting in advance of the hearing.

Sincerely,



Gregory Wiedemann, AIA
WIEDEMANN ARCHITECTS LLC

WIEDEMANN ARCHITECTS LLC

ARCHITECTURE
PLANNING
INTERIORS

Gregory Wiedemann AIA

06 February 2008

HISTORIC AREA WORK PERMIT APPLICATION

For additions and renovation of 7300 Cedar Avenue, Takoma Park, Maryland

The following is information to supplement the Application for Historic Area Work Permit for the renovation and addition to 7300 Cedar Avenue. We are the architects for the Owner, Christine Simpson and John Lorenz.

1. WRITTEN DESCRIPTION OF PROJECT:

(a) Brief History of House:

Based on information from tax documents and publications created for the City of Takoma Park, the original house is believed to have been built circa 1873. The original four-square house with a slate roof was built as a Queen Anne Victorian with a one-story wrap around porch along the front and east Cedar Avenue side.

The second owners of the house, during the early 20th century, were the Williams family, who moved there in 1910. Stephen Williams was the Mayor of Takoma Park from 1912-1917. In 1939, the Williams family extensively remodeled the house to reflect its current Colonial Revival style.

As part of the 1939 modifications, the original one-story wrap around porch was separated into a single 2-story Colonial Revival front porch on the south side, and a separate one-story screened side porch facing the extension of Cedar Avenue to the east. The windows on the front façade on Cedar Avenue were changed from the single-lite double hung windows to the current divided lite double hung windows. A wider siding with a 9" exposure replaced the original narrower bevel siding as part of the front façade modifications. The original double worked bevel wood siding with 2-5/8" exposure on the other three sides was covered over with wide exposure cement siding during the 1939 modification.

There is a 3-1/2 story extension that appears to have been added to the original house, or possibly to have replaced a smaller rear extension. A covered carport with a block retaining wall, accessible from the Cedar Avenue side driveway, was added in 1939 or perhaps earlier. A projecting 2-story sun room on the west side was added in 1991, overlapping the four-square house and the 3-1/2 story extension. Access to the sun room was from the first floor, with garden storage at grade below. The 3-1/2 story portion is in poor condition and has had replacement windows installed in the majority of the openings.

The Joseph and Kathryn Simpson family, who lived across the street from the Williams family starting in 1939, purchased the house in 1961 from Amelia Williams Burroughs, the daughter of Stephen Williams. Joseph Simpson was a prominent Maryland attorney, serving from 1942 - 1946 as State's Attorney for Montgomery County. The Simpsons raised their four children there, including our client, Christine Simpson. In 2004, Christine and her husband John Lorenz moved to the house after Mrs. Simpson's death the prior year. Christine and John had lived across the street on Cedar Avenue with their two sons since 1988.

The four-square portion of the house remains in a condition very similar to its appearance in 1939. The original wood shutters on the front, window casings, wood trim, roof soffits and wood moldings all remain. The original fieldstone foundation base of the main house remains with some repointing in the joints visible from repairs conducted over the years. The original slate roof remains along with the original built-in gutters. Under the cement siding on the north, east, and west sides of the house the 2-5/8" wood siding remains.

(b) Description of proposed project:

The proposed project involves a restoration of the existing historic elements of the main portion of the historic house.

At the Cedar Avenue front street façade it is our intention to retain the current 1939 Colonial character by re-constructing the 1939 decorative railing on the roof of the 2-story front porch that has been lost. All wood trim, moldings and casings will be repaired, restored and repainted. The built-in gutters on the historical main four-square house will be repaired and restored. All existing slate will be removed and replaced with similar matching slate, including decorative slate coursing on main roof. The wide exposure wood siding on the front façade will be restored and repainted. The wide exposure cement siding on all other sides of the original house will be removed thereby exposing the historical double worked bevel wood siding with 2-5/8" exposure which will be restored, repaired as needed, and painted.

The wood trim on the front attic dormer will be restored and the dormer windows will be replaced with matching windows and an egress window with divided lites similar to the existing historical double hung window. The remaining original windows will be retained and restored as needed, and new storm windows will be added to improve energy efficiency. The stone foundation of the original main house will remain and will be repointed as needed.

The proposed project will include the replacement of the 3-1/2 story extension with a similar scaled addition, and a small storage shed on the north side. The carport and block retaining wall on the east side along Cedar Avenue will be removed to allow for the natural grade to slope back up to just below the first floor level. The new foundation for the new addition will be cement stucco over CMU block wall, creating a clear demarcation between the historic fabric and the newer addition.

On the first floor, the new addition will include a rear entry hall that will link the main level of the four-square house to the main level of the proposed new addition. The first floor will include a new kitchen, pantry, powder room and side entry hall with an informal entry on the Cedar Avenue side. The entry hall will also provide an exit from the west side down to the patio on grade. Access to the second floor of the new addition will be from the stair landing of the

original four-square house main stair. The second floor of the addition will include a laundry room and master bedroom suite.

In the rear hall of the new addition (in the 'link'), a new stair will lead to the basement level housing a new multi-purpose room, bathroom, work room and an at-grade entry/exit to the west side patio. The basement level of the addition will align with the basement of the existing four-square, and the new stair will provide improved access to the lower level.

The proposed massing of the new addition will include a lower 'link' between the existing four-square house and the major massing of the new addition. The addition will be sympathetic to the original house in massing and material. The link will clearly demark the new and historic portions of the house and will step back approximately one foot on the west side, thereby preserving the original corner of the four-square house. The main bulk of the addition will be higher than the link, but lower than the original main house. The roof line of the original four-square will be restored.

The mass of the addition will have a matching slope hip roof emulating the existing historic four-square house. The lower, stepped back link between the main four-square house and the primary mass of the addition will serve to distinguish and contrast the new addition from the historic existing house. The proposed new addition, while sympathetic in character and massing, will be virtually unseen from the front approach along Cedar Avenue and will increase the net building footprint, including porches, by only 183 square feet. With the removal of the east side carport and retaining wall, the net footprint actually decreases by 117 square feet.

To accommodate storage lost by removal of the carport, a new, low one-story garden shed will be added. This will be located along the existing stone wall that borders the driveway edge on the north side of the house. This garden shed will have matching slate roof, matching narrow exposure wood siding, and matching trim to the new addition. The existing stone site wall will be adjusted to provide the base for the shed.

New condenser units for a new the air conditioning system will be located on the west side of the new garden shed concealed by a painted wood fence and gate.

2. SITE PLAN/LANDSCAPE PLAN

See attached Site Plan depicting the house location, and other site improvements.

3. PLANS AND ELEVATIONS

See required two (2) copies of the required plans and elevations, depicting the existing conditions and the proposed modifications.

List of Drawings attached:

1. C.0.1 – Coversheet w/ Site Plan
2. A.1.0 – Basement Floor Plan
3. A.1.1 – First Floor Plan
4. A.1.2 – Second Floor Plan
5. A.1.3 – Attic Floor Plan
6. A.2.0 – North Elevation
7. A.2.1 – Cedar Avenue East Side Elevation

8. A.2.2 – Birch Avenue West Side Elevation
9. A.2.3 – South Front Street Elevation
10. EX.1.0 – Existing Basement Floor Plan
11. EX.1.1 – Existing First Floor Plan
12. EX.1.2 – Existing Second Floor Plan
13. EX.1.3 – Existing Attic Level Floor Plan
14. EX.2.0 – Existing South Elevation
15. EX.2.1 – Existing West Elevation
16. EX.2.2 – Existing North Elevation
17. EX.2.3 – Existing East Elevation

4. MATERIAL SPECIFICATIONS

The following is a description of the proposed materials for the project:

Exterior Siding:

The existing wide exposure wood siding on the front Cedar Avenue side of the house will be restored / repaired and will be repainted. The cement siding on the remaining sides of the historic house will be removed to expose the original double worked bevel wood siding with 2-5/8" exposure. The original siding on the north, east and west sides of the historic house will be restored and repainted.

The exterior siding of the new addition will be a narrow exposure wood siding to match the original historical existing, separated by a glass and wood link that clearly demarks the division between old and new.

Wood Shutters:

All operable wood shutters are located on front Cedar Avenue side of the house. These shutters will remain and will be repaired and repainted.

Foundations:

The existing stone foundation on the original main house will remain. The foundation of the new addition will be block with cement stucco to contrast with the historic stone foundation of the original house.

Exterior Trim:

The existing historic trim on the original house will remain. All new exterior trim will be painted Western Red Cedar, in profiles similar to the existing house and as depicted on the elevations. Again, the trim and glass treatment of the link will provide a separation between old and new.

Windows:

The single pane windows in the historic main house will remain and will be restored except at the front Cedar Avenue attic dormer. All restored windows will have new triple track storm windows to match the existing. The Cedar Avenue dormer windows, which are in poor condition, will be replaced with new wood windows, both double hung and casements similar to the existing dormer windows and shall provide the required egress to meet applicable sections of the Building Code.

The rear addition will have new painted wood casement and double-hung windows with simulated divided lite insulated glazing, which will clearly identify the new portion of the project. The mullion patterns of the existing and proposed windows are as shown on the attached drawings.

Roofing:

It has been determined that the flashing and built-in gutters on the original roof are failing. In order to properly address these deficiencies, it will be necessary to remove the existing slate roof. The existing slate roof will be replaced with all new matching slate, installed with a pattern to match the current existing historical slate pattern. The roof of the proposed addition will be matching slate, and the roofs of the projecting bays and 'link' below will have flat seam metal as depicted on the elevation drawings. All new roof flashing, gutters and downspouts will be copper, including the repair and relining of the built-in gutters.

5. PHOTOGRAPHS

See attached required photographs, labeled as requested.

6. TREE SURVEY

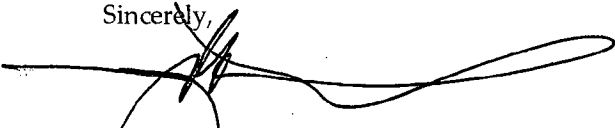
See attached Site Plan for a tree survey and Tree Preservation Plan.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

See attached Adjacent and Confronting Properties List of Owners.

On behalf of Christine Simpson and John Lorenz, we respectfully submit these materials for your review and approval. If you have any questions concerning our application, please contact me at 301.652.4022.

Sincerely,



Gregory Wiedemann, AIA
WIEDEMANN ARCHITECTS LLC
5272 River Road, Suite 610
Bethesda, Maryland 20816
301.652.4022



7300 Cedar Avenue
South Façade w/1939 Porch Roof Railing

Greg - Joe

7300 Cedar @ corner of Birch

p. 121 of T.P. book
curious w/ 1900s same family

Colonial Revival 1890, 1939,
Slate roof

pent - wood shingles
rust - asbestos

seamstitch @ property line

2 lots - may need Wm. Sub to exp
high @ Cedar - gets low towards Birch

inter hall plan w/ near L
covered capent

Windows -

L - 1980s

sides - 1890s

pent - 1939

L - sagging 5" bands near

* Tax Credit

Want to rebuild the "L"

- + Remove asbestos siding
- + Rebuild raily on porch
- + new copper roof on porches
- + 1890s windows $\frac{1}{2}$

new L w/ stair hall connector

- reduce size of covered
- remove newer porch
- L w/ bay porch

Cedar Elev -

2:00 / 23rd
26th
27th 9:30/10

1300 Cedar L
Outstanding



