

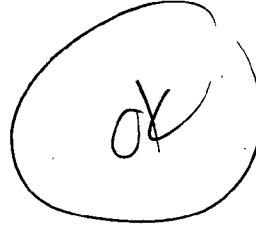
712 Holly Avenue  
Takoma Park

HAWP 37/3-095

## Fothergill, Anne

---

**From:** Holt Jordan [holt@jordanhoneyman.com]  
**Sent:** Monday, July 26, 2010 12:53 PM  
**To:** Fothergill, Anne  
**Cc:** 'Kowalczyk, Paula'  
**Subject:** RE: Requested stone change  
**Attachments:** IMG\_1359.jpg; IMG\_1360.jpg



Anne,

Thanks for reviewing the Kovar / Kowalczyk Residence at 7112 Holly Avenue in Takoma Park, MD.

As I mentioned, we are requesting a stone change for the existing stone wall.

The original approval was for landscaping that included the repair and rebuilding of an existing front wall along Holly Ave. The re-built wall is in the same location as the original. During the snow storms this past winter, a snow plow hit a fire hydrant in front of the wall. The resulting pipe breakage created a sink hole about 6-8 feet deep in front of and behind the existing wall undermining about 15 linear feet of the existing wall and taking out the front city sidewalk too. A structural engineer was consulted and we have to totally rebuild this existing wall. Since we have to rebuild the wall we would like to take the opportunity to change the original stone to a Western Maryland wall stone. This new wall stone will be more harmonious with the new bluestone walk as well as match the stone wall and weirs that are approved and will be installed in the front yard rain garden. We have also used the Western Maryland Stone or the similar Pennsylvania wall stone in several projects in Takoma Park's Historic district; the closest being three doors down at 7204 Holly Avenue. We are also requesting that we eliminate the bluestone coping shown on our details since it was originally designed to help inhibit the further decline of the existing wall and will also provide a simpler design solution.

I've included a couple of snapshots, one of the existing wall and another at 7204 Holly Avenue where we used the Western Maryland wall stone.

I'll bring you a sample of the proposed stone and you can show it to the commission at the July 28<sup>th</sup> meeting.

Thanks  
Holt

Paxton Holt Jordan, ASLA  
Jordan Honeyman Landscape Architecture, LLC  
711 Florida Avenue NW  
Washington, DC 20001  
202 986 0711  
fax 202 986 0712

July 26, 2010  
The existing wall  
the repair and  
of the site  
water to the

Google maps

Address **Holly Ave / Tulip Ave**

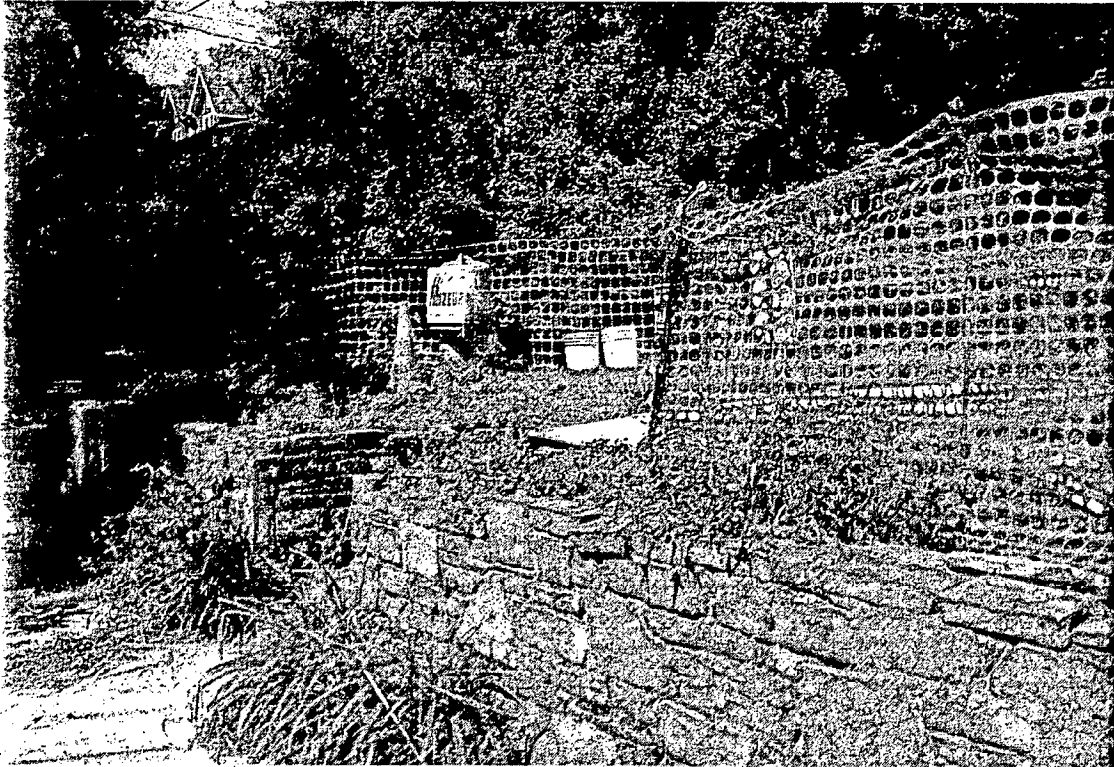
Address is approximate

**Save trees. Go green!**

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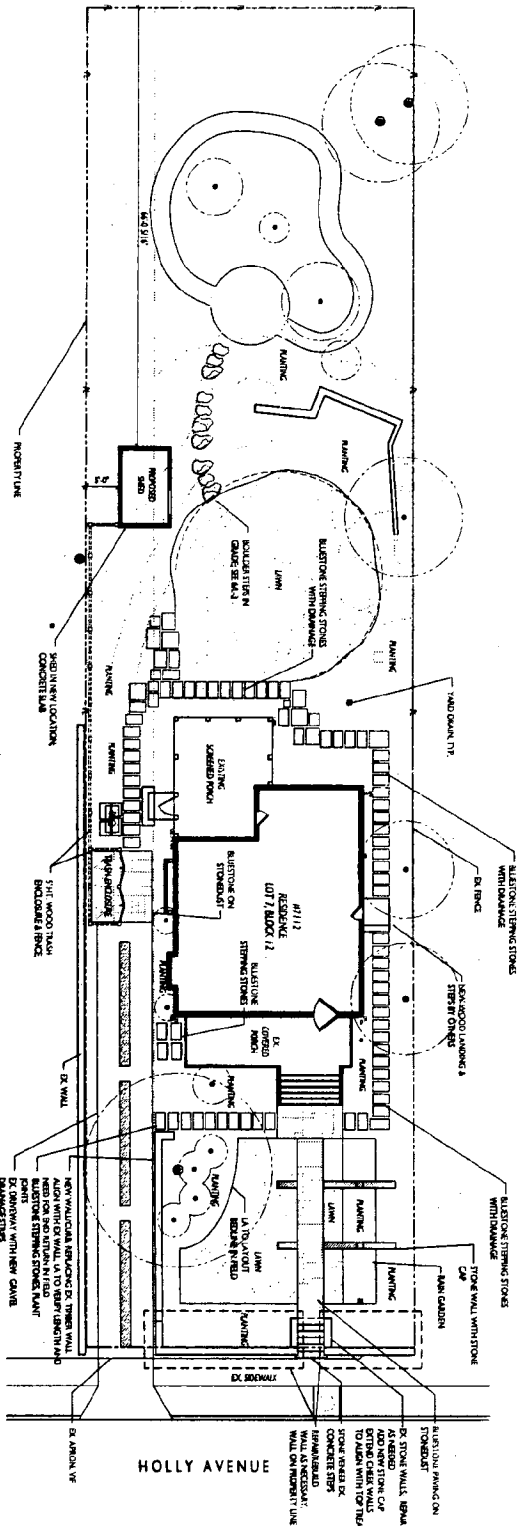
existing stone



proposed stone

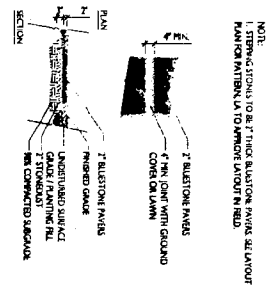


1 SITE PLAN

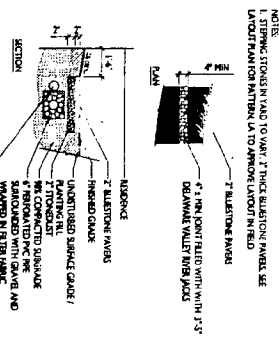


SCALE: 1/8" = 1'-0"

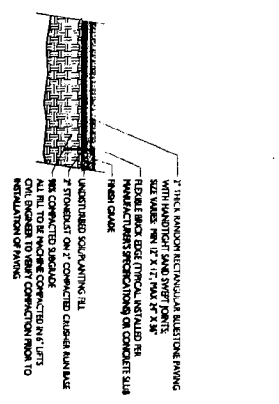
<p>L-1</p>	<p>Site Plan</p>	<p><b>Kovar/Kowalczuk Residence</b> 7112 Holly Avenue Takoma Park, MD 20912</p>	<p>Scale: 1/8" = 1'-0" Date: 04.12.2016 Revisions:</p> <table style="width: 100%; border-collapse: collapse;"> <tr><td style="width: 20px; border-bottom: 1px solid black;"></td></tr> <tr><td style="width: 20px; border-bottom: 1px solid black;"></td></tr> <tr><td style="width: 20px; border-bottom: 1px solid black;"></td></tr> <tr><td style="width: 20px; border-bottom: 1px solid black;"></td></tr> </table>						<p>OWNER: KOWALCZUK ADDRESS: 7112 HOLLY AVENUE TAKOMA PARK, MD 20912</p>



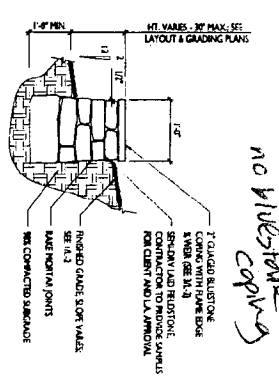
1 BLUESTONE STEPPING STONES  
SECTION  
SCALE: 1/2" = 1'-0"



2 STEPPING STONES OVER DRAINAGE  
SECTION  
SCALE: 1/2" = 1'-0"

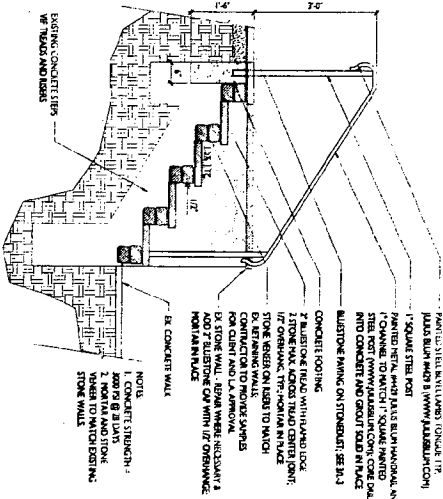


3 BLUESTONE PAVING ON STONEDUST  
SECTION  
SCALE: 1/2" = 1'-0"

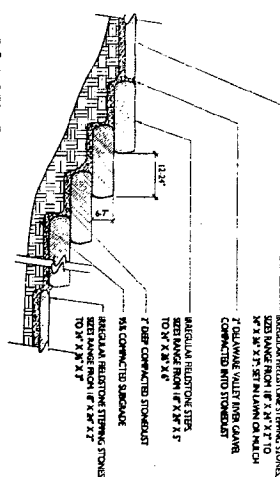


4 STONE RETAINING WALL  
SECTION  
SCALE: 1/2" = 1'-0"

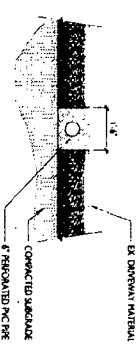
*no bluestone coping*



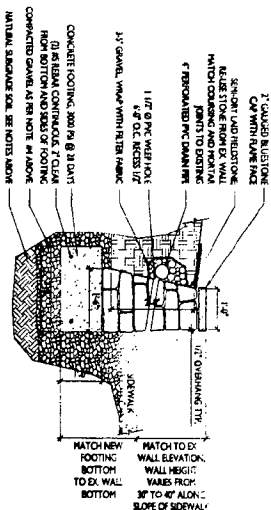
5 BOULDER STEPS ON GRADE  
SECTION  
SCALE: 1/2" = 1'-0"



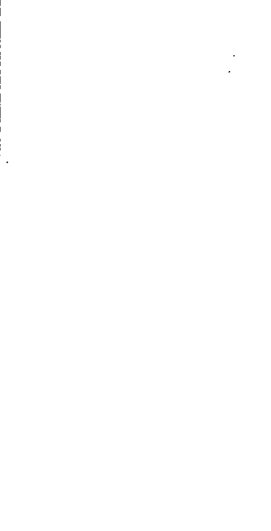
6 CONCRETE SHED FOUNDATION  
SECTION  
SCALE: 1/2" = 1'-0"



7 GRAVEL DRAINAGE STRIPS IN DRIVEWAY  
SECTION  
SCALE: 1/2" = 1'-0"



8 STONE RETAINING WALL REPAIR  
SECTION  
SCALE: 1/2" = 1'-0"



9 STONE VENEER ON CONCRETE STEPS & HANDRAIL  
SECTION  
SCALE: 1/2" = 1'-0"

NOTE:  
1. STEPPING STONES TO BE SETTING BLUESTONE MASONRY SET-OUT  
MATERIALS SHALL BE TO SPECIFICATIONS OF THE FIELD.

NOTE:  
1. STEPPING STONES TO HAVE 7\"/>

NOTE:  
1. BLUESTONE SHALL BE SET IN A MORTAR OF PARTS 1 OF PORTLAND CEMENT AND 3 OF SAND.  
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5. THE MORTAR SHALL BE SET IN A CHANNEL TO MATCH THE SQUARE NOTED IN THE FOOTING.

NOTE:  
1. ALL GRAVEL, SAND, AND STONEDUST SHALL BE SET IN A CHANNEL TO MATCH THE SQUARE NOTED IN THE FOOTING.  
2. THE MORTAR SHALL BE SET IN A CHANNEL TO MATCH THE SQUARE NOTED IN THE FOOTING.  
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4. THE MORTAR SHALL BE SET IN A CHANNEL TO MATCH THE SQUARE NOTED IN THE FOOTING.

**Fothergill, Anne**

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**Subject:** FW:

**From:** Holt Jordan [mailto:[holt@jordanhoneyman.com](mailto:holt@jordanhoneyman.com)]  
**Sent:** Tuesday, July 20, 2010 5:36 PM  
**To:** Whipple, Scott  
**Cc:** 'Kowalczuk, Paula'  
**Subject:**

Scott,

Thanks for speaking with me today. As we discussed following is a description of the material change that we would like the commission to review. My understanding is that you can take this before them at the July 28<sup>th</sup> meeting.

The project is the Kovar / Kowalczuk Residence at 7112 Holly Avenue in Takoma Park, MD. The original approval was for landscaping including the repair and rebuilding of an existing front wall along Holly Ave. During the snow storms this past winter, a snow plow hit a fire hydrant in front of the wall. The resulting pipe breakage created a hole about 6-8 feet deep undermining part of the existing wall. Now that we have to rebuild this existing wall we would like to take the opportunity to change the this stone to a Western Maryland wall stone, matching several that are in the neighborhood as well as matching the stone wall weirs in front yard rain garden. We are also requesting that eliminate the bluestone coping since it was originally designed to help inhibit the further decline of this existing wall.

I'll bring you a sample of the proposed stone.  
Let me know if you need any additional information.

Thanks,  
Holt

Paxton Holt Jordan, ASLA  
Jordan Honeyman Landscape Architecture, LLC  
711 Florida Avenue NW  
Washington, DC 20001  
202 986 0711  
fax 202 986 0712

...  
... fire hydrant  
... existing wall  
... Western  
... front

## Fothergill, Anne

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**Subject:** 4/14 staff item for HPC

The applicant at 7112 Holly is proposing three revisions to their approved HAWP:

- 1) Relocate the new shed slightly to meet setbacks and extend fence slightly to new shed location (see 5/18/2009 site plan and 4/12/10 site plan update).
- 2) Repair/rebuild the stone retaining wall in front of the house that was recently badly damaged when a snow plow struck a nearby fire hydrant. Plans and details are in the attachments and in the email below (one change noted in the new plan is the wall has bluestone coping).
- 3) Replace existing timber wall along driveway with masonry wall to match the existing wall.

**From:** Steve Daigler [mailto:steve@jordanhoneyman.com]

**Sent:** Monday, April 12, 2010 11:45 AM

**To:** Fothergill, Anne

**Cc:** holt@jordanhoneyman.com; raymond@jordanhoneyman.com

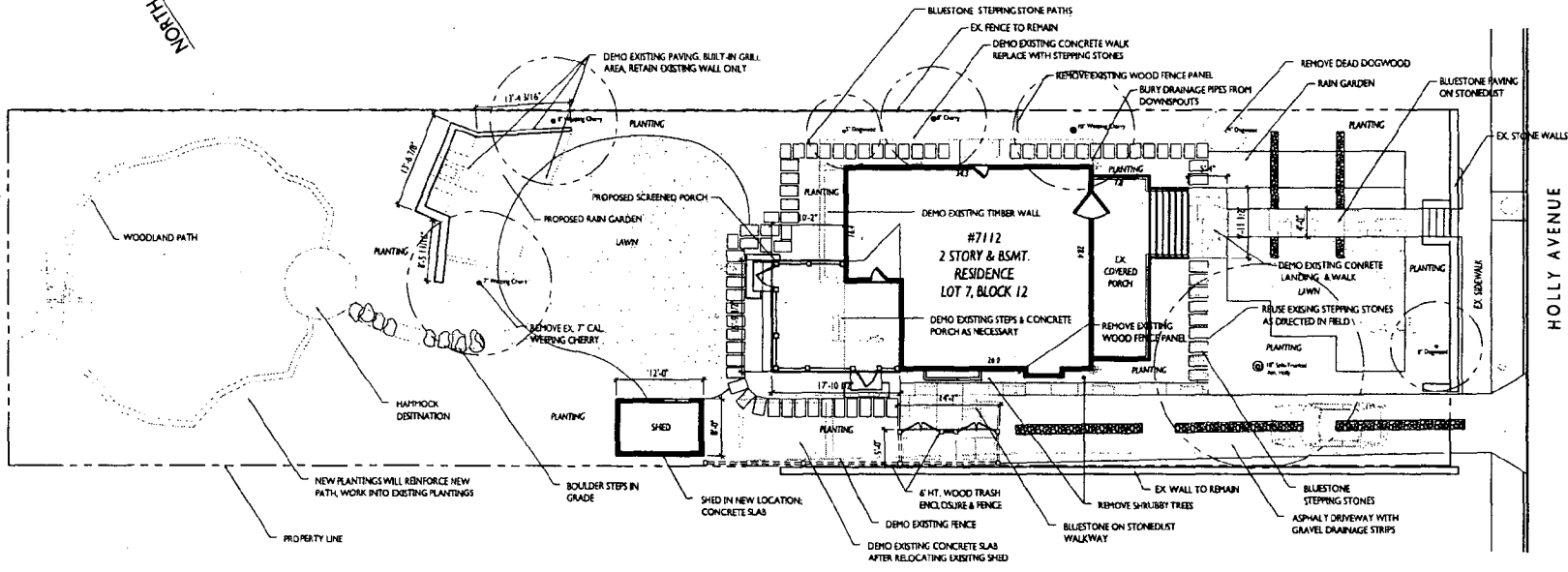
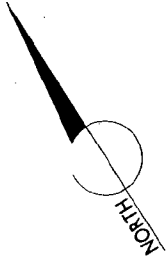
**Subject:** RE: Historic Area Work Permit #511856

Attached are several things:

- a report with recommendations from Robert Silman Associates, detailing the structural issues and repair recommendations for the wall, including a photograph of the sinkhole before anything was done and the area after it was cleaned and filled with gravel when the fire hydrant was repaired. The report actually recommends removal and replacement of that gravel with additional excavation and compaction to ensure adequate support for the new footing. The currently unsupported portion of the wall, as well adjacent sections where the wall is still supported but the bearing soils have been affected (extent of this unknown until a contractor gets in and starts the repairs), will essentially need to be completely dismantled, the stones kept for reuse, a new footing installed and the wall rebuilt. Since we won't know until the rebuilding how well we will be able to match the existing but unaffected remaining portion, we would like to have permission to rebuild that as well if necessary.
- another site plan with the relocated shed and wall-rebuilding area called out but also with all of the other information that was shown on the site plan that was originally approved.
- a PDF of our detail sheet L-3; detail 9 shows the engineer-approved detail for rebuilding the wall.
- a pre-damage Google Maps street shot of the front of the property. The section of the wall that was damaged is to the left in the image; the section to the right of the stairs is the part we would like to rebuild depending on how well we are able to match it when the left side is rebuilt.

Approved  
4/14





Approved by MPC

JORDAN HONEYMAN  
Landscape Architecture, LLC  
711 Florida Avenue, NW  
Washington, DC 20001  
202.761.0711  
202.761.0711 FAX

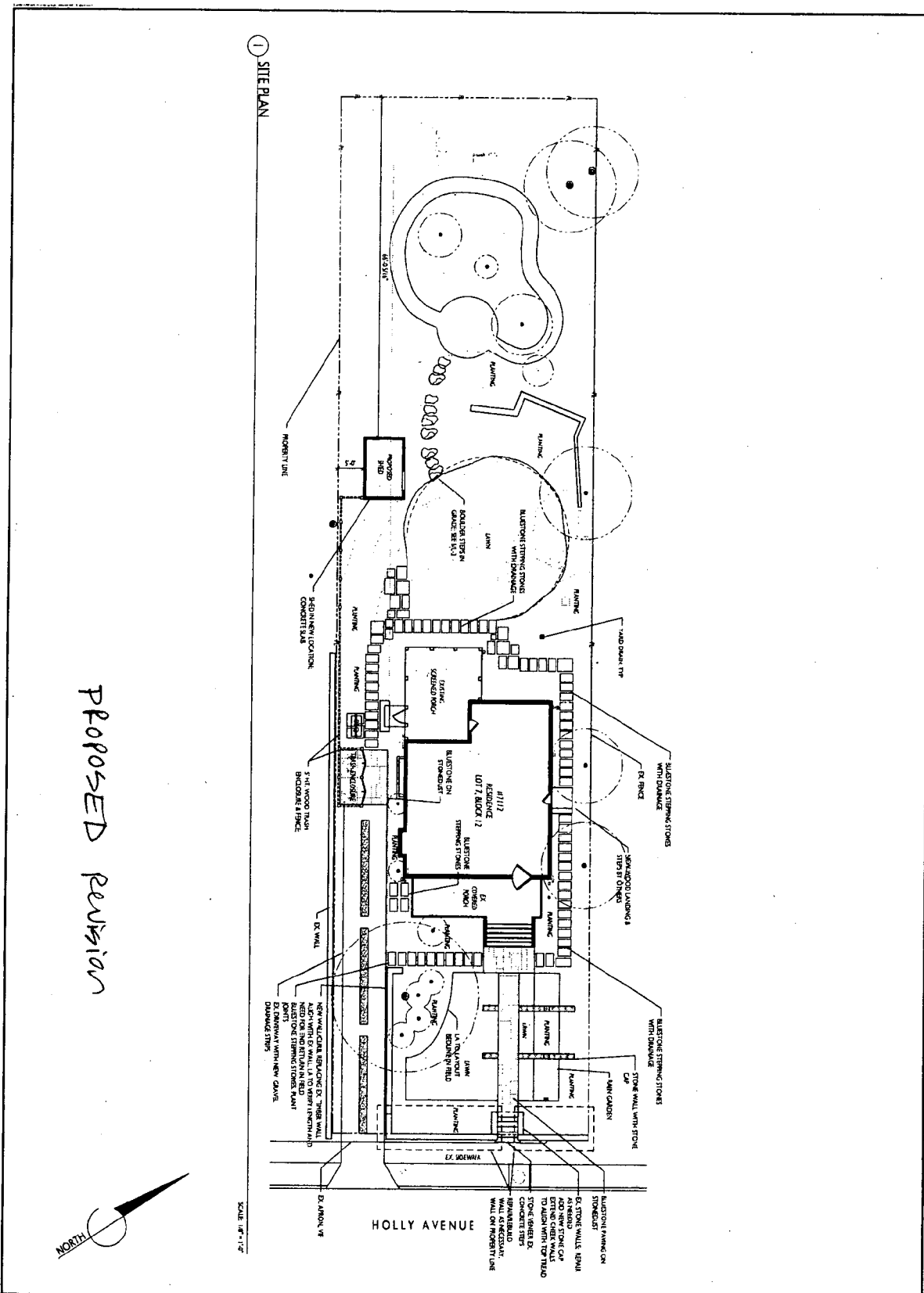


Scale: 1/16" = 1'-0"  
Date: 05.18.2009  
Revisions:

**Kovar/Kowalczuk**  
**Residence**  
7112 Holly Avenue  
Takoma Park, MD 20912

Site Plan





PROPOSED REVISION

L-1	Site Plan	<p>Kovar/Kowalczyk Residence          7112 Holly Avenue          Takoma Park, MD 20912</p>	<p>Scale: 1/8" = 1'-0"          Date: 04.12.2010          Revision:</p>	<p>JORDAN HORN ET AL.          ARCHITECTS, P.C.          11111 BELLEVUE BLVD.          SUITE 100          BELLEVUE, WA 98004          TEL: 206.451.1111          FAX: 206.451.1112</p>
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Google maps

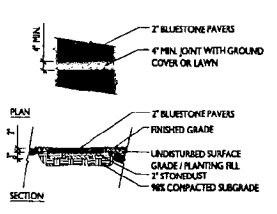
Address **Holly Ave / Tulip Ave**

Address is approximate

**Save trees. Go green!**  
Download Google Maps on your phone at [google.com/gmm](http://google.com/gmm)

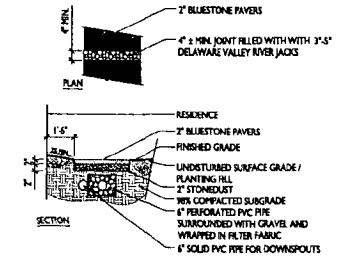


NOTE:  
1. STEPPING STONES TO BE 2" THICK BLUESTONE PAVERS. SEE LAYOUT PLAN FOR PATTERN, LA TO APPROVE LAYOUT IN FIELD.

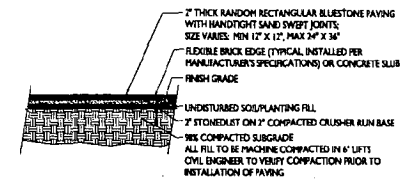


1 BLUESTONE STEPPING STONES  
SCALE: 1/2" = 1'-0"

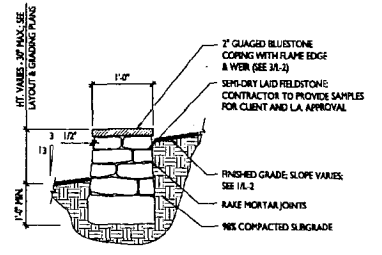
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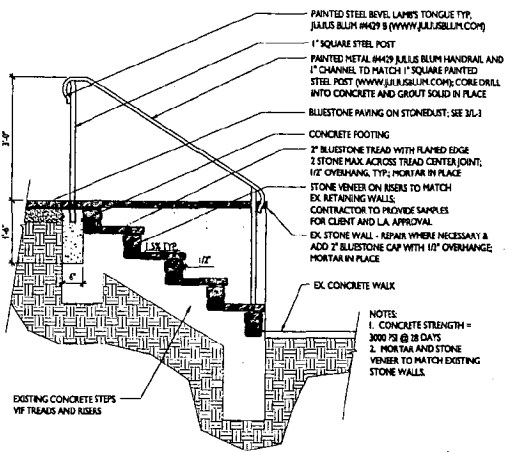
2 STEPPING STONES OVER DRAINAGE  
SCALE: 1/2" = 1'-0"



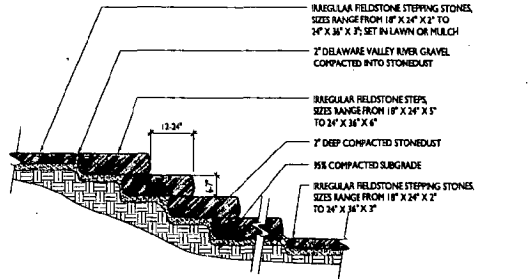
3 BLUESTONE PAVING ON STONEDUST  
SCALE: 1/2" = 1'-0"



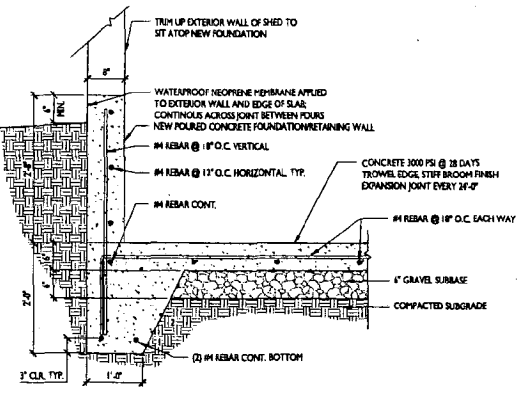
7 STONE RETAINING WALL  
SCALE: 3/4" = 1'-0"



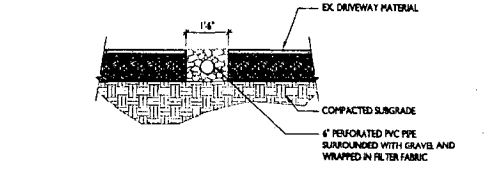
4 STONE VENEER ON CONCRETE STEPS & HANDRAIL  
SCALE: 3/4" = 1'-0"



5 BOULDER STEPS ON GRADE  
SCALE: 3/4" = 1'-0"

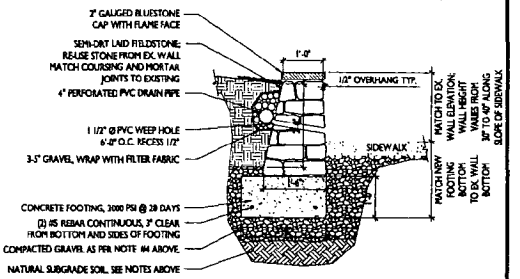


6 CONCRETE SHED FOUNDATION  
SCALE: 1" = 1'-0"



8 GRAVEL DRAINAGE STRIPS IN DRIVEWAY  
SCALE: 3/4" = 1'-0"

NOTES ON REPAIR/REBUILDING OF DAMAGED WALL:  
1. REMOVE ALL GRAVEL CURRENTLY FILLING EXCAVATION AND STOCKPILE FOR LATER USE.  
2. DEEPEN PORTION OF EXISTING WALL THAT IS NO LONGER SUPPORTED AND CLEAN/SAVE STONES FOR REUSE.  
3. CLEAN EXCAVATION OF ALL ADDITIONAL LOOSE FILL, LUMBER, TREE ROOT MASS AND ANY OTHER DEBRIS TO EXPOSE UNDERLYING NATURAL SUBGRADE SOILS.  
4. FILL EXCAVATION WITH STOCKPILED GRAVEL TO DEPTH NECESSARY FOR INSTALLATION OF NEW CONCRETE FOOTING AS SHOWN BELOW. GRAVEL SHOULD BE PLACED IN LIFTS NOT EXCEEDING 8 INCHES IN THICKNESS AND COMPACTED WITH A MECHANICAL COMPACTOR TO NOT LESS THAN 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557. THE MOISTURE CONTENT OF THE GRAVEL SHOULD BE WITHIN 2% OF THE OPTIMUM MOISTURE CONTENT AS PER ASTM D1557.  
5. CONTRACTOR TO HIRE A LICENSED GEOTECHNICAL ENGINEER OR CERTIFIED TESTING AGENCY TO VERIFY THE GRAVEL FILL HAS ACHIEVED THE COMPACTION SPECIFIED ABOVE.  
6. MATCH BOTTOM OF NEW FOOTING TO BOTTOM OF EXISTING WALL.  
7. BATTER REAR OF MASONRY WALL FROM 12" AT TOP TO 18" WIDE AT BASE.



9 STONE RETAINING WALL REPAIR  
SCALE: 3/4" = 1'-0"

JOHANN HONETMAN  
Landscape Architecture  
711 Holly Avenue  
Takoma Park, MD 20912  
301.271.1111  
www.johannhonetman.com

SELL AS NOTED  
DATE: 03/20/2010  
REVISIONS:

Kovar/Kowalczuk Residence  
7112 Holly Avenue  
Takoma Park, MD 20912

Details

L-3

**MEMORANDUM**

PRINCIPALS  
Robert Silman  
Joseph F. Tortorella  
Kirk Mettam  
Nat Oppenheimer  
Edmund Meade

**Date:** March 17, 2010  
**Attention:** Holt Jordan  
**Company:** Jordan Honeyman Landscape Architecture, LLC  
**From:** Jennifer McParland, P.E.  
**RE:** Damage to Existing Site Retaining Wall  
**Project Name:** 7112 Holly Ave, Takoma Park  
**RSA Project #:** W2417  
**cc:** P. Kowalczuk

1053 31st Street, NW  
Washington, DC 20007  
P 202.333.6230  
F 202.318.3015  
www.silman.com

**BACKGROUND INFORMATION**

At the direction of the Owner, a representative of Robert Silman Associates (RSA) performed a visual assessment of an unreinforced, 12" thick x 2'-9" tall stone retaining wall of her residential property at 7112 Holly Avenue, Takoma Park, MD. The following signs of distress were noted. Please refer to photos for further clarification.

**OBSERVATIONS**

According to an account provided by the Owner and supported by visual observation, the fire hydrant in close proximity to the retaining wall in question was struck by a City snow plow. The resulting subterranean pipe break caused large amounts of high-velocity water to destabilize the soils in the vicinity of the break. This, in turn, formed an approximately 8' deep sink hole in front of and behind the subject retaining wall. (See photo 1.)

At the time of RSA's observations on March 1, 2010, the repairs to the fire hydrant appeared complete and the void in front of the retaining wall was backfilled with well-graded stone. In addition, stone was placed behind the retaining wall to within 2'-0" to 2'-6" of grade. Per observations and information provided by the owner, the stone backfill was not compacted which is a common requirements of such repair work. The existing retaining wall is damaged over at least a 6'-0" of its width and, in fact, is not currently supported by the soils below the wall. Without support, the wall is continuing to destabilize as stones are displacing and separating from those above. (See photo 2)



Photo 1: Sink hole in front of retaining wall prior to fire hydrant repair.

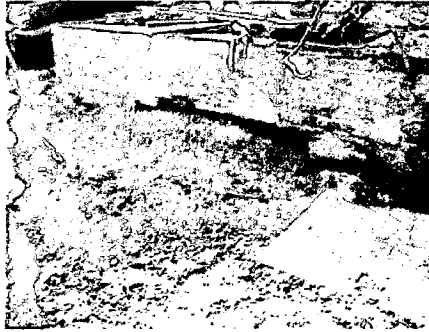


Photo 2: Unsupported Retaining Wall and Fill on March 1, 2010.

### RECOMMENDATIONS

Assuming a sinkhole depth of 8 feet, the foundations under the adjacent portions of the wall and around the corner at the driveway are within the influence zone of the retaining wall. Thus, RSA recommends the installation of new bearing material is installed per the geotechnical requirements specified in the attached memo written by Mr. Richard Finnen, P.E. of PSI. We recommend a licensed geotechnical engineer or certified testing agency be hired to test and verify that the backfill has achieved the required compaction. In addition, RSA recommends rebuilding the damaged portion of the existing retaining wall, replicating the aesthetic of the mass stone retaining wall. This new portion of wall shall be supported on a cast-in-place concrete footing 12" deep by 24" wide with 2-#5 continuous rebar with 3" cover from bottom of footing. The footing elevation will match the bottom of the existing wall. The mass stone retaining wall shall batter at the back from 18" at the base to 12" at the top. Re-use the existing stones as possible and tooth new wall with existing wall. Provide drainage behind the wall.

If you have any questions about the contents of this memo, feel free to contact Robert Silman Associates at 202-333-6230.

## PROJECT MEMORANDUM

**Date:** March 11, 2010

**To:** Jennifer McParland, P.E.

**From:** Richard E. Finnen, P.E.

**Copies To:**

**Project No.:** 0512271

**Project Name:** 7112 Holly Avenue Retaining Wall, Takoma Park, MD

**Subject:** Damage to Existing Site Retaining Wall

On Friday, March 5, 2010, Richard Finnen, P.E. of PSI visited the referenced property as requested by Robert Silman Associates (RSA). The purpose of our visit was to observe the condition of the existing retaining wall and to make preliminary general geotechnical recommendations for repair. Based on our conversations with Ms. Jennifer McParland of RSA, we understand that the existing site retaining wall was severely undermined by a waterline break that occurred when a snow plow struck the existing fire hydrant located between the existing wall and Holly Avenue. It was reported that the waterline break scoured an approximate 8-foot deep excavation at the site. The excavation was approximately 6 to 8 feet wide and extended from near the existing curb to approximately 10 to 15 feet behind the existing retaining wall into the existing front yard of 7112 Holly Avenue. The excavation undermined an approximate 6-foot wide portion of the existing site retaining wall. We understand that once the waterline and fire hydrant were repaired, crushed stone was end-dumped into the excavation to the current grade. An existing tree with its root mass was left in the excavation during the end-dumping operation. We understand that the stone materials were placed loosely and that no mechanical compactors were used during the placement process.

At the time of our visit on March 5, 2010, we observed conditions consistent with the description of the site provided by Ms. McParland and the RSA memorandum dated March 4, 2010. Our site observations indicate that the crushed stone materials appeared to be well-graded crushed stone at the ground surface. No sampling, excavation or subsurface exploration was performed at the site by PSI. The stone materials appeared to be near the surface elevation of the existing sidewalk adjacent to the area of concern and the surface of the stone materials was generally uneven. The site retaining wall was currently undermined as the the stone material was located several inches below the bottom of the existing site retaining wall. The yard area behind the retaining wall was 3 to 4 feet lower than the surrounding grades and contained lumber, wood, traffic barrels and an existing tree was extending from the gravel material.

In general, the well graded stone materials used to fill the excavation are considered excellent materials for use as backfill when placed in a controlled manner utilizing thin lifts and mechanical compaction techniques. We understand that these materials were end-dumped in an uncontrolled manner. We anticipate that settlement of the existing stone materials may occur beneath the sidewalk, retaining wall and yard area over time. Additionally, these materials in their present condition may provide unsuitable support for future repairs to the existing site retaining wall. We anticipate that remedial measures will be required to backfill the

**7112 Holly Avenue Retaining Wall  
Takoma Park, MD  
Robert Silman Associates**

excavation for support the existing site wall and to prevent settlement of the yard and sidewalk in this area.

We recommend that the existing well-graded crushed stone be removed and stockpiled for re-use. The stockpile must not be placed immediately adjacent to the excavation and should be positioned far enough from the excavation so that it does not influence the stability of the side slopes of the final excavation. The entire excavation (beneath sidewalk, site retaining wall and yard) be cleaned of all loose materials, debris, lumber, the existing tree and root mass and any other undesirable material to expose the underlying natural subgrade soils. Well-graded crushed stone should be placed in loose lifts not exceeding 8 inches in thickness and compacted to not less than 95 percent of the maximum dry density as determined by ASTM D 698 with a mechanical compactor. The moisture content of the well-graded crushed stone should be within 2 percent of the optimum moisture content per ASTM D 698. The well graded crushed stone should be graded to allow for replacement of the sidewalk and for the construction of a new grade beam or other support repair for the existing site retaining wall as determined by RSA. After the site wall is repaired, the yard should be backfilled and compacted (as previously described) with well-graded crushed stone to within approximately 2 feet of the final yard grade. The remaining 2 feet should consist of compacted soil materials suitable for support of turf and other landscape bushes and shrubs.

Based on our understanding of the reported dimensions of the scour hole, the excavation will not be safe for personnel to enter once the loose stone material is removed. In Federal Register, Volume 54, No. 209 (October, 1989), the United States Department of Labor, Occupational Safety and Health Administration (OSHA) amended its "Construction Standards for Excavations, 29 CFR, part 1926, Subpart P". This document was issued to better insure the safety of workmen entering trenches or excavations. It is mandated by this federal regulation that all excavations be constructed in accordance with the (OSHA) guidelines. It is our understanding that these regulations are being strictly enforced and if they are not closely followed the owner and the contractor could be liable for substantial penalties.

The contractor is solely responsible for designing and constructing temporary and stable excavations. The excavations should be shored, sloped, or benched as required to maintain stability of both the excavation sides and bottom. The contractor's responsible person, as defined in 29 CFR Part 1926, should evaluate the soil exposed in the excavations as part of the contractor's safety procedures. In no case should slope height, slope inclination, or excavation depth, including utility trench excavation depth, exceed those specified in local, state, and federal safety regulations.

We are providing this information solely as a service to our client. PSI is not assuming responsibility for construction site safety or the contractor's activities; such responsibility is not being implied and should not be inferred.





## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

David Rotenstein  
Chairperson

Date: 6/11/09

### MEMORANDUM

TO: Carla Reid, Director  
Department of Permitting Services

FROM: Anne Fothergill (AF)  
Planner Coordinator  
Historic Preservation Section-Planning Department  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #511856—screened porch addition and landscape alterations

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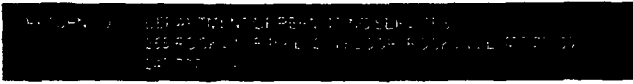
The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the June 10, 2009 HPC meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Peter Kovar and Paula Kowalczyk  
Address: 7112 Holly Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once the work is completed the applicant will contact the staff person assigned to this application at 301-563-3400 or [anne.fothergill@mncppc-mc.org](mailto:anne.fothergill@mncppc-mc.org) to schedule a follow-up site visit.





DPS - #8

511856

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Holt Jordan / Jessica Clayton  
Daytime Phone No.: (202) 986-0711

Tax Account No.: 01056404  
Name of Property Owner: Peter Kovar & Paula Kowalczyk Daytime Phone No.: (301) 589-9377  
Address: 7112 Takoma Park Holly Avenue 20912  
Street Number City State Zip Code  
Contractor: TBD Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: Holt Jordan Daytime Phone No.: (202) 986-0711

LOCATION OF BUILDING/PREMISE

House Number: 7112 Street: Holly Avenue  
Town/City: Takoma Park Nearest Cross Street: Tulip Avenue or Eastern Ave, NW  
Lot: 7 Block: 12 Subdivision: Takoma Park  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  A/C  Slab (shed)  Room Addition  Porch  Deck  Shed  
 Move (shed)  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ TBD

1C. If this is a revision of a previously approved active permit, see Permit # N/A

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6 feet 0 inches MAXIMUM  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

RECEIVED

MAY 19 2009

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Peter Kovar Signature of owner or authorized agent Date: 05-18-2009  
Dept. of Permits Services Casework Management

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: 6/11/09  
Application/Permit No.: 511856 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*Contributing simple Arts & Crafts style with Aluminum siding, on an overgrown lot and garden.*

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*Improving the general appearance of the landscape with the addition of such features as a screened porch on the rear of house.*

*(See additional sheet for further description.)*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

## **Project Description: Landscape and Rear Porch**

The following site improvements are proposed for the property located at 7112 Holly Avenue, located in the Takoma Park historic district. The improvements shall maintain and compliment the established character of the existing house, and improve the general appearance of the landscape.

### **Front/Side Improvements:**

- Stone veneer the existing concrete steps. Stone risers to match existing stone wall with bluestone treads.
- New bluestone lead walk on stonedust.
- Due to tremendous amounts of site run-off, drainage will be addressed by burying downspout drain pipes at the side of house, which will be tied into a more eco friendly solution: a rain garden.
- Remove concrete walk on side of house, replace with stepping stones for improved drainage and pervious area.
- Gravel drainage strips will be cut out of the existing driveway in effort to slow down run-off and to increase amount of pervious surfacing on site.
- Install fenced wood trash and recycling enclosure – 6' ht. maximum.
- Install bluestone on stonedust walkway to connect front yard and driveway to rear garden stepping stone path.
- Remove (1) existing 4" cal. Dogwood due to deteriorating condition.

### **Rear Improvements:**

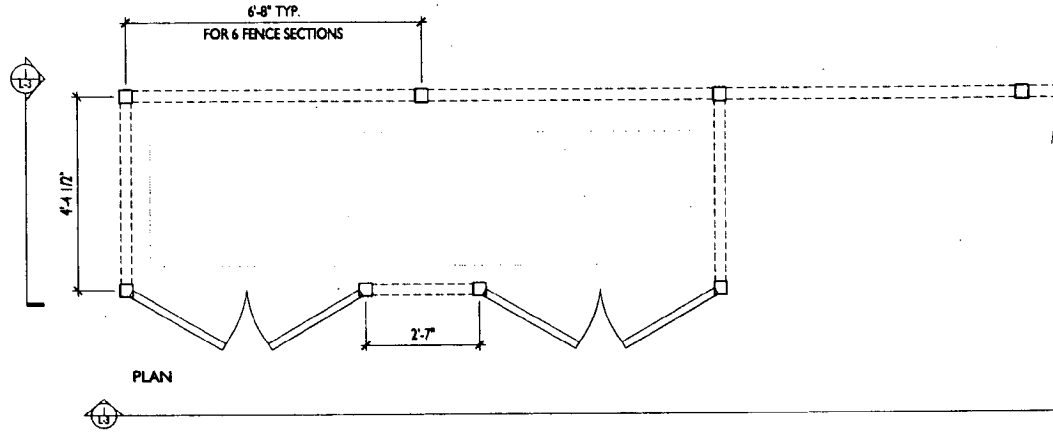
- Add screened porch (this is completely behind the existing house). See architectural elevations and description below for more information.
- Remove existing built-in BBQ and paving due to the deteriorating conditions. The existing wall is to remain.
- Plant new trees, shrubs, and perennial plantings to enhance existing landscape.
- Remove (1) existing 7" cal. Weeping Cherry. This allows us to improve site drainage using a rain garden, to create a more sustainable landscape. It is a volunteer tree, and does not bloom well; due to the nature and location of the tree, it creates a wall, dividing the rear yard in half.
- Relocate existing shed to provide more landscape area to screen the structure from the street and the proposed porch.

### **Screened Porch/Architectural:**

Wood panels on the proposed screen porch will be more in keeping with the original style of the home. Aluminum siding will be removed from the rear of the existing house addition and replaced with wood siding. Windows on this existing addition will be replaced with windows to match the style of windows on the rest of the house. Double windows on the rear of the house leading to the porch, will be replaced with French doors (5' width).

**FENCE NOTES**

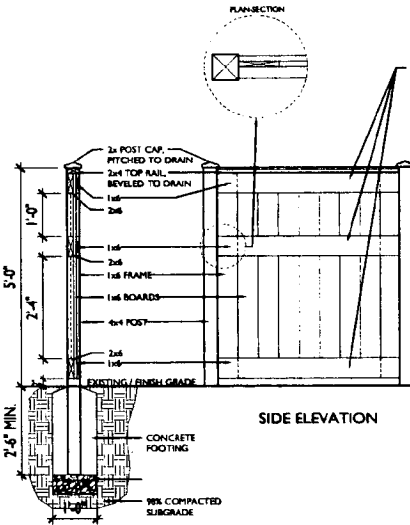
1. ALL POSTS TO BE PRESSURE-TREATED PINE.
2. ALL OTHER WOODEN COMPONENTS TO BE NOMINALLY-SIZED WOOD, STK CEDAR OR BETTER GRADE.
3. ALL HARDWARE TO BE SIZED AND SPECIFIED BY CONTRACTOR AND APPROVED BY LANDSCAPE ARCHITECT AND CLIENT PRIOR TO INSTALLATION.
4. FENCE PANELS TO STEP UP OR DOWN BY UNIFORM INCREMENTS AS NEEDED TO ACCOUNT FOR EXISTING SLOPES AND FINISH GRADE.
5. FENCE LAYOUT TO BE APPROVED IN FIELD BY LANDSCAPE ARCHITECT AND CLIENT PRIOR TO CONSTRUCTION.



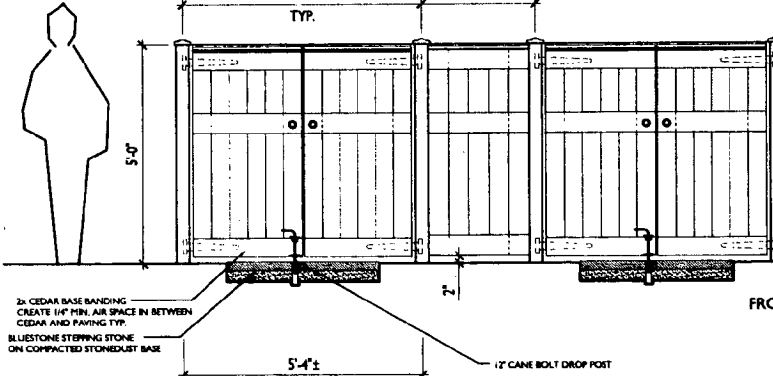
PLAN

**GATE NOTES**

1. ALL WOODEN COMPONENTS TO BE NOMINALLY-SIZED STK CEDAR OR BETTER GRADE.
2. GATE HARDWARE TO BE FROM WILLIAMSBURG BLACKSMITH (AVAILABLE AT WEAVERS HARDWARE, 202-333-4209) AS FOLLOWS:  
THUMB LATCH: #14139 BEAN EXTROUR SUPPLOR THUMB LATCH  
DUMPT FULL WITH NO HOLE TO MATCH THUMB LATCH #14139  
BAR LATCH: #14150 REVERSE STANDARD BAR SET WITH LOCKING BUTTON
3. TRU-CLOSE GATE HINGE BY ACE (www.acehardware.com) ITEM # 5192281
4. ALSO INSTALL 1/2\"/>



SIDE ELEVATION



FRONT ELEVATION

2x CEDAR BASE BANDING  
CREATE 1/4\"/>

**1 TRASH ENCLOSURE / FENCE  
PLAN/ELEVATIONS**

APPROVED  
Montgomery County  
Historic Preservation Commission

SCALE: 3/8" = 1'-0"

JORDAN  
HONEYMAN  
Landscape Architecture, LLC  
711 Florida Avenue, NW  
Washington, DC 20001  
301.944.7711  
301.944.0712 FAX



Scale: 1/16" = 1'-0"  
Date: 05.15.2009  
Revisions: 06.03.2009

**Kovar/Kowalczyk  
Residence**  
7112 Holly Avenue  
Takoma Park, MD 20912

**Proposed  
Fence  
Details**

**L-3**

10

6-11-09

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7112 Holly Avenue, Takoma Park	<b>Meeting Date:</b>	6/10/09
<b>Applicant:</b>	Peter Kovar and Paula Kowalczyk (Holt Jordan, Landscape Architect)	<b>Report Date:</b>	6/03/09
<b>Resource:</b>	Contributing Resource Takoma Park Historic District	<b>Public Notice:</b>	5/27/09
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	37/03-09S	<b>Staff:</b>	Anne Fothergill

**PROPOSAL:** Screened porch addition and landscape alterations

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**STAFF RECOMMENDATION**

Staff is recommending that the HPC approve this HAWP application.

**PROPERTY DESCRIPTION**

**SIGNIFICANCE:** Contributing Resource in the Takoma Park Historic District  
**STYLE:** Four Square  
**DATE:** 1928

**PROPOSAL**

The applicants are proposing to construct a 15'9" x 17'10" screened porch at the rear of the house, where there is an existing one-story rear addition. In the non-historic rear addition, they propose to replace the vinyl windows with wood windows with simulated divided lights and remove the aluminum siding and replace it with wood siding.

They also propose landscape improvements including:

- Remove existing concrete front walkway and install new bluestone walk on stonedust at front and on left side of the house
- Add stone veneer to the existing front concrete steps
- Remove concrete walk on the side of the house, replace with stepping stones
- Add gravel drainage strips to existing asphalt driveway
- Install 5' tall fenced wood trash and recycling enclosure at left side of house
- Remove 7" weeping cherry tree (this is pending City of Takoma Park approval)
- Relocate the existing shed and demolish concrete slab
- Demolish existing fence
- Remove existing brick patio behind house

**APPLICABLE GUIDELINES**

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Takoma Park Historic District Guidelines***

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required
- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited
- While additions should be compatible, they are not required to be replicative of earlier architectural styles
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course
- All change and additions should respect existing environmental settings, landscaping, and patterns of open space

### **Montgomery County Code; Chapter 24A-8**

- (a) The commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.
- (b) The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:
  - (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
  - (3) The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located; or
  - (4) The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
  - (5) The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
  - (6) In balancing the interests of the public in preserving the historic site or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.
- (c) It is not the intent of this chapter to limit new construction, alteration or repairs to any 1 period or architectural style.
  - (d) In the case of an application for work on an historic resource located within an historic district, the commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value of surrounding historic resources or would impair the character of the historic district. (Ord. No. 9-4, § 1; Ord. No. 11-59.)

***Secretary of the Interior's Standards for Rehabilitation:***

# 9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

**STAFF DISCUSSION**

The Takoma Park Guidelines state: "Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing." The proposed rear screened porch and landscape alterations are compatible and will not have an adverse impact on this contributing resource or the historic district. Staff recommends approval of this application.

**STAFF RECOMMENDATION**

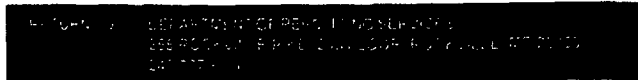
Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.





DPS - #8

511856

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Holt Jordan / Jessica Clayton  
Daytime Phone No.: (202) 986-0711

Tax Account No.: 01056404  
Name of Property Owner: Peter Kavar & Paula Kowalczyk Daytime Phone No.: (301) 589-9377  
Address: 7112 Takoma Park Holly Avenue 20912  
Street Number City Street Zip Code  
Contractor: TBD Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: Holt Jordan Daytime Phone No.: (202) 986-0711

LOCATION OF BUILDING/PREMISE

House Number: 7112 Street: Holly Avenue  
Town/City: Takoma Park Nearest Cross Street: Tulip Avenue or Eastern Ave, NW  
Lot: 7 Block: 12 Subdivision: Takoma Park  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab (shed)  Room Addition  Porch  Deck  Shed  
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3A. Height 6 feet 0 inches MAXIMUM  
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 On party line/property line  Entirely on land of owner  On public right of way/easement

RECEIVED

MAY 19 2009

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Peter Kavar Jordan  
Signature of owner or authorized agent

05-18-2009  
Date

Dept. of Permitting Services  
Casework Management

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 511856 Date Filed: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*Contributing simple Arts & Crafts style, with Aluminum siding, on an overgrown lot and garden.*

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**Fothergill, Anne**

---

**Subject:** FW: 7112 Holly Ave - Neighbor List

7110 Holly Avenue, Takoma Park, MD 20912-4208 -- Donna D'Amico

7200 Holly Avenue, Takoma Park, MD 20912-4208 -- Ray Boedecker and Anne Kelleher

7309 Piney Branch Rd, Takoma Park, MD 20912-4208 -- Henry C Coppola

## **Project Description: Landscape and Rear Porch**

The following site improvements are proposed for the property located at 7112 Holly Avenue, located in the Takoma Park historic district. The improvements shall maintain and compliment the established character of the existing house, and improve the general appearance of the landscape.

### **Front/Side Improvements:**

- Stone veneer the existing concrete steps. Stone risers to match existing stone wall with bluestone treads.
- New bluestone lead walk on stonedust.
- Due to tremendous amounts of site run-off, drainage will be addressed by burying downspout drain pipes at the side of house, which will be tied into a more eco friendly solution: a rain garden.
- Remove concrete walk on side of house, replace with stepping stones for improved drainage and pervious area.
- Gravel drainage strips will be cut out of the existing driveway in effort to slow down run-off and to increase amount of pervious surfacing on site.
- Install fenced wood trash and recycling enclosure – 6' ht. maximum.
- Install bluestone on stonedust walkway to connect front yard and driveway to rear garden stepping stone path.
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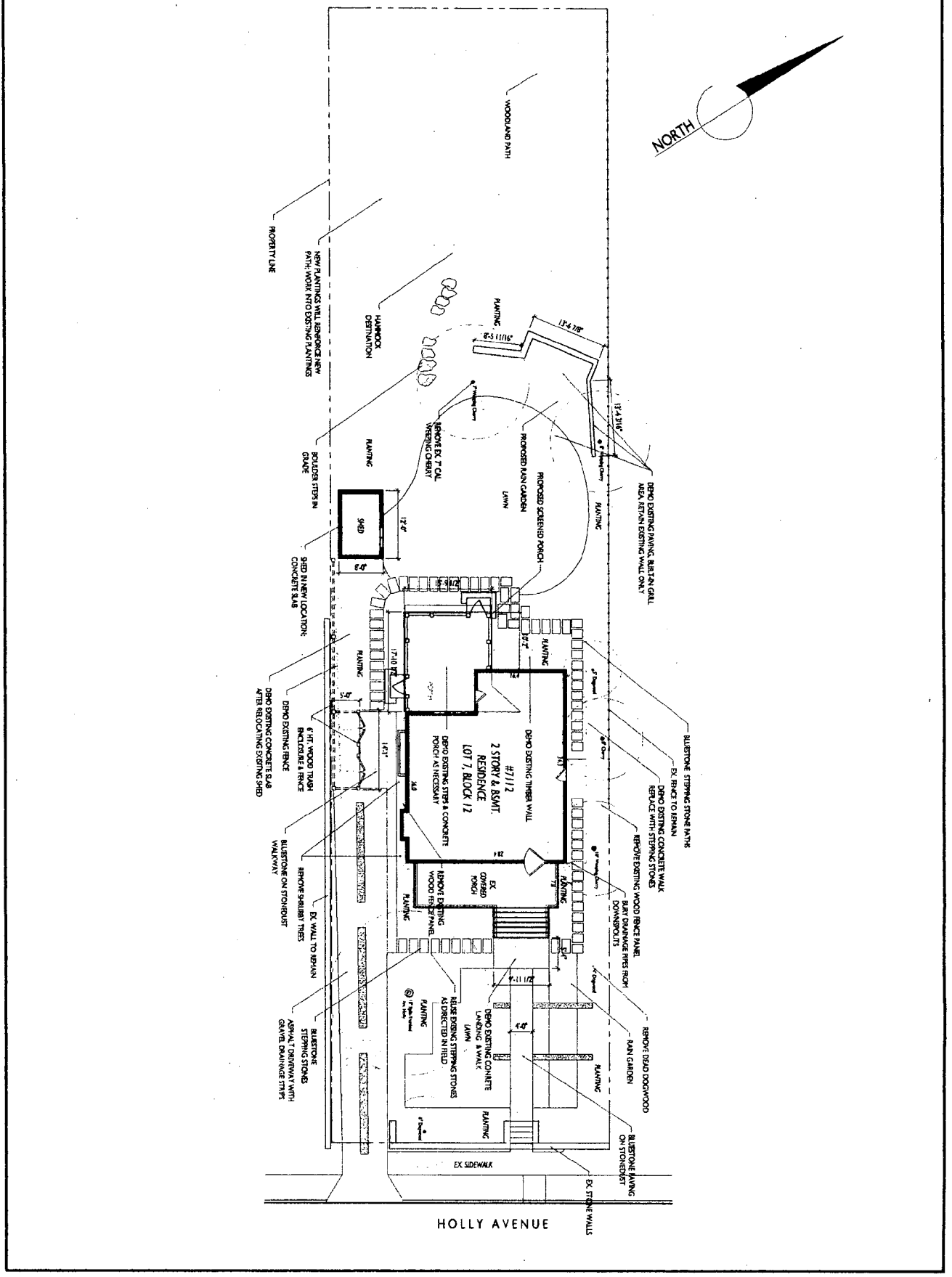
### **Rear Improvements:**



- Add screened porch (this is completely behind the existing house). See architectural elevations and description below for more information.
- Remove existing built-in BBQ and paving due to the deteriorating conditions. The existing wall is to remain.
- Plant new trees, shrubs, and perennial plantings to enhance existing landscape.
- Remove (1) existing 7" cal. Weeping Cherry. This allows us to improve site drainage using a rain garden, to create a more sustainable landscape. It is a volunteer tree, and does not bloom well; due to the nature and location of the tree, it creates a wall, dividing the rear yard in half.
- Relocate existing shed to provide more landscape area to screen the structure from the street and the proposed porch.

### **Screened Porch/Architectural:**

Wood panels on the proposed screen porch will be more in keeping with the original style of the home. Aluminum siding will be removed from the rear of the existing house addition and replaced with wood siding. Windows on this existing addition will be replaced with windows to match the style of windows on the rest of the house. Double windows on the rear of the house leading to the porch, will be replaced with French doors (5' width).

2



	<p>Site Plan</p>	<p>Kovar/Kowalczyk Residence 7112 Holly Avenue</p>	<p>Scale: 1/16" = 1'-0" Date: 05.18.2009 Revisions:</p>	 <p>JORDAN HONEYMAN Landscape Architecture, LLC 7112 Holly Avenue, NW Washington, DC 20006 J02.968.011</p>
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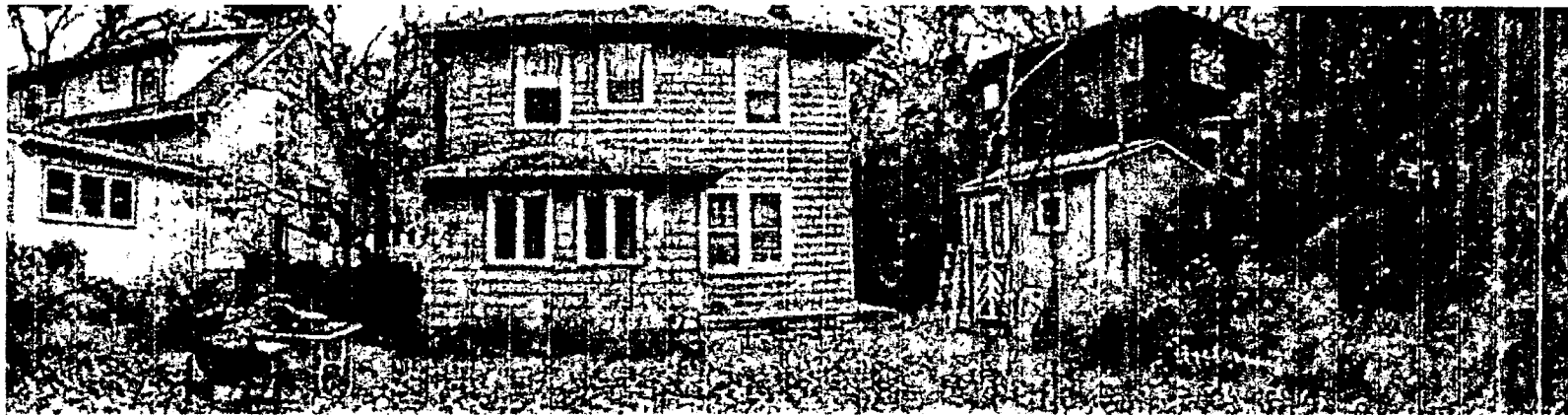
NORTH

WEST

SOUTH

1 Proposed Screen Porch Elevations at Rear of House  
ELEVATION

SCALE: 1/8" = 1'-0"



2 Photo Panoramic at Existing Rear of House



**Existing Property Condition Photographs**



**Front of home as viewed from Holly Ave.**



**Rear of Home**

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**Existing Property Condition Photographs**



**Side yard drainage**



**Rear yard – Existing concrete porch, and shed in current location.**



**Existing Property Condition Photographs**



**View from front yard of driveway and walkway to rear yard.**



**Driveway and walkway connection to rear yard.**

**Existing Property Condition Photographs**



**View of rear yard (corner of shed at left, Weeping Cherry to be removed at center, existing brick paving to be removed, in foreground).**



**Existing concrete porch (future location of proposed screened porch, we would like to replace these windows with French doors in the future as connection from dining room to screened porch).**

**Existing Property Condition Photographs**

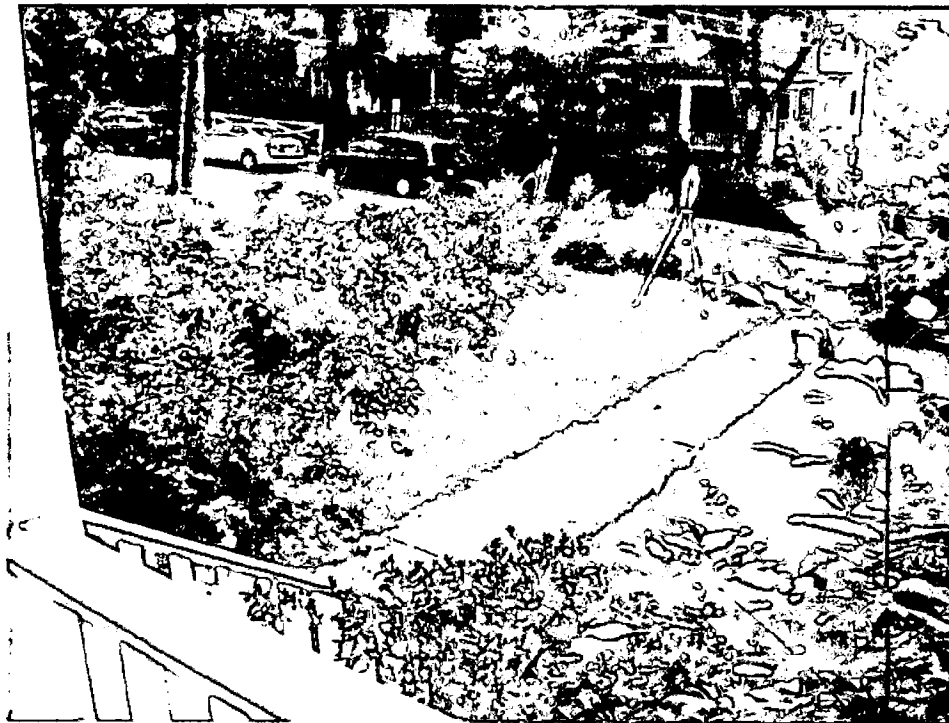
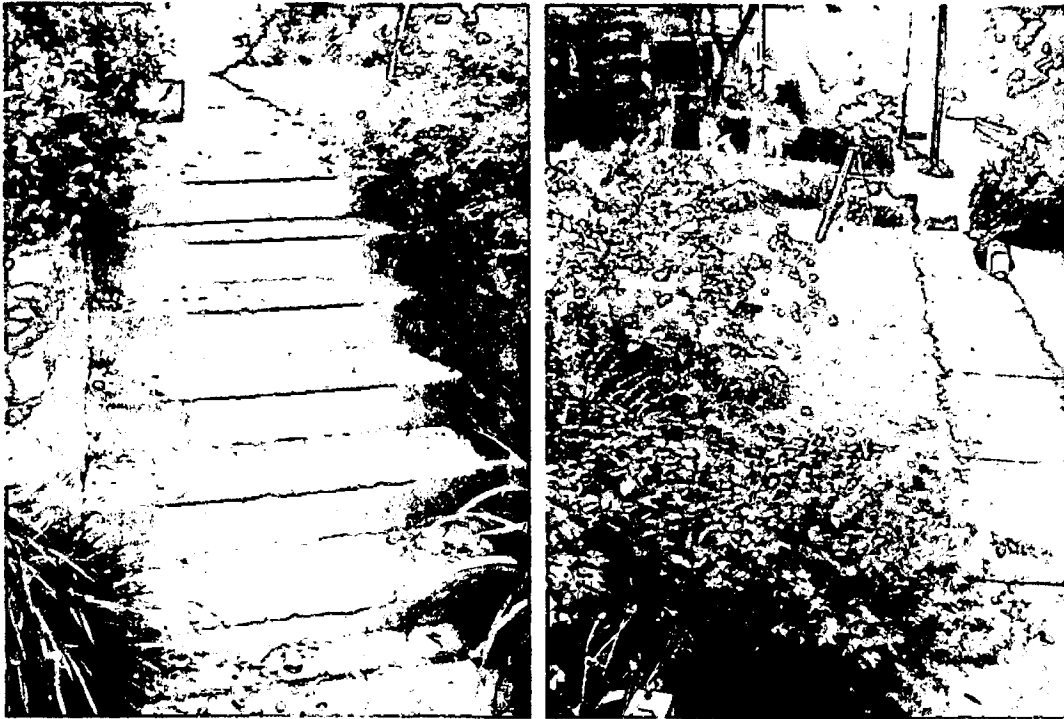


**Side of house at driveway**



**Opposite side of house w/ drainage issues (previous photos shown on page 2)**

**Existing Property Condition Photographs**



**Existing front concrete steps, walk, and yard as viewed from front porch.**

**Existing Property Condition Photographs**



**Front of home as viewed from Holly Ave.**



**Rear of Home**

**Existing Property Condition Photographs**



**Side yard drainage**



**Rear yard – Existing concrete porch, and shed in current location.**

**Existing Property Condition Photographs**

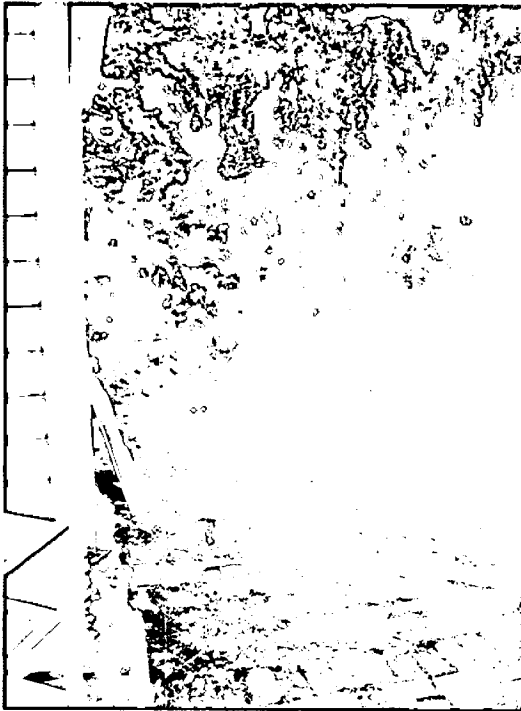


**View from front yard of driveway and walkway to rear yard.**

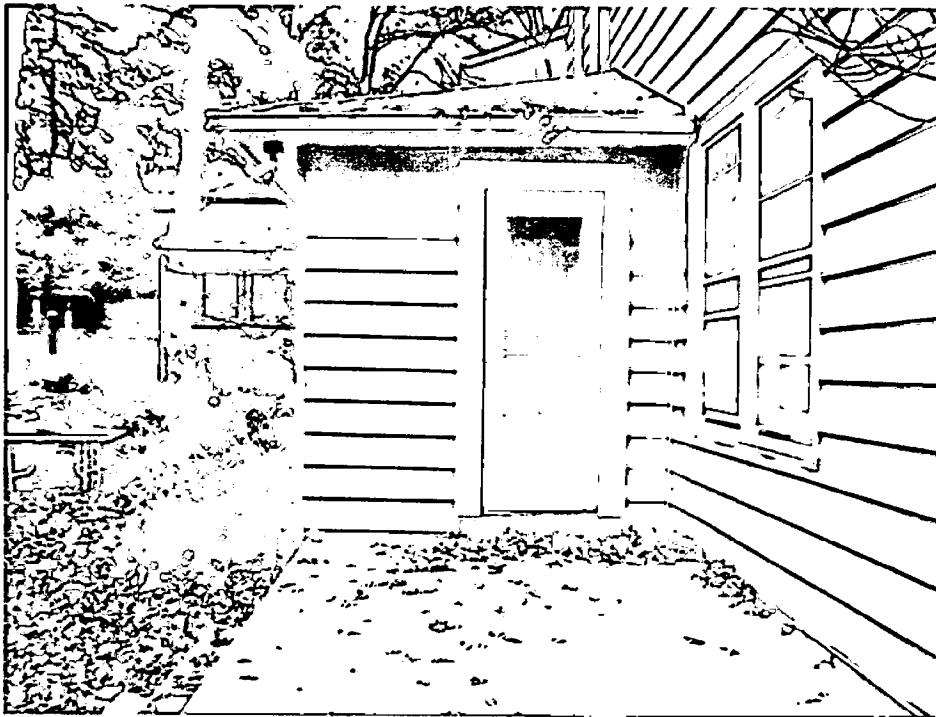


**Driveway and walkway connection to rear yard.**

**Existing Property Condition Photographs**



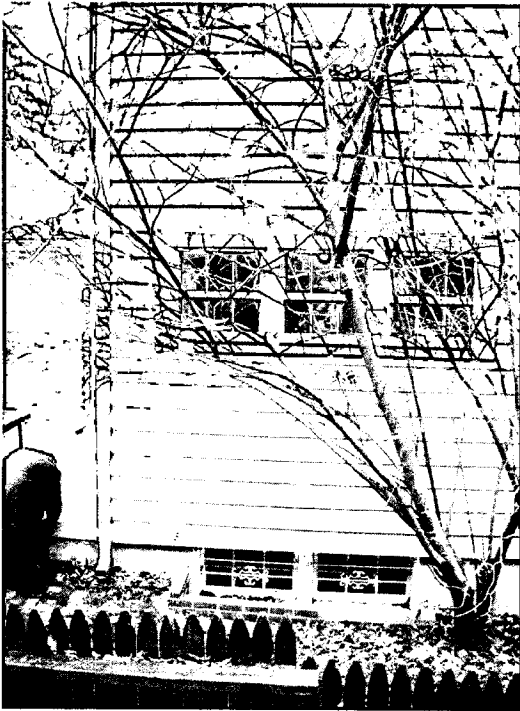
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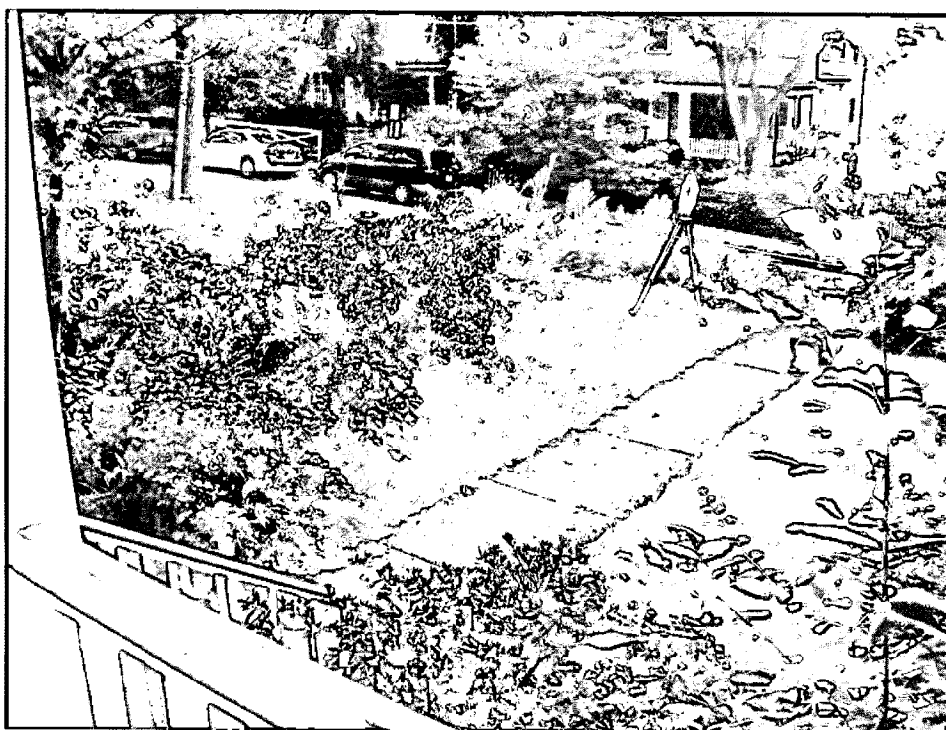


**Side of house at driveway**



**Opposite side of house w/ drainage issues (previous photos shown on page 2)**

**Existing Property Condition Photographs**



**Existing front concrete steps, walk, and yard as viewed from front porch.**