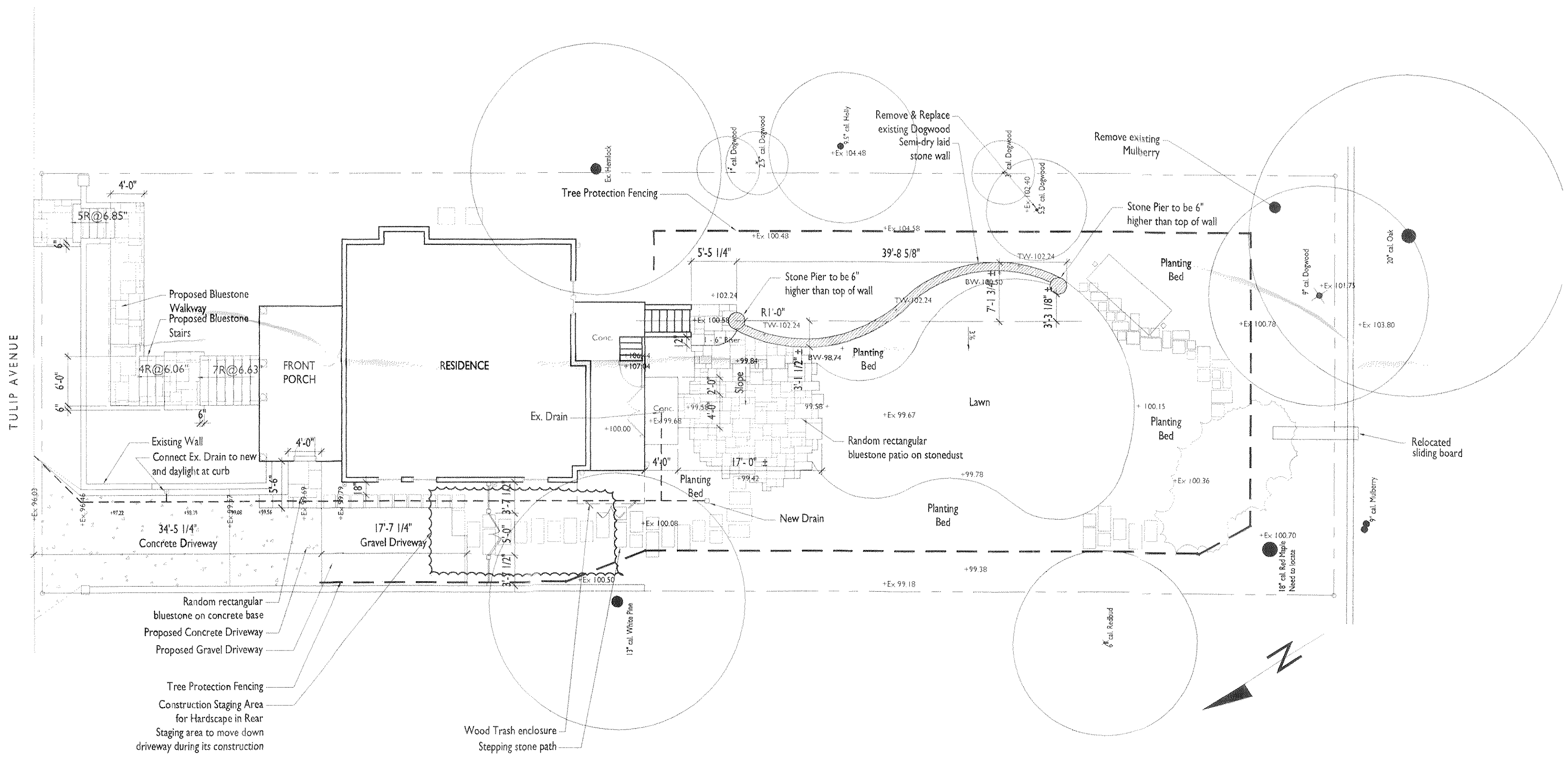


37/03-05K 105 Tulip Ave  
Takoma Park Historic District



TULIP AVENUE



Scale: 1"=10'-0"  
Date: 06.22.05  
Revisions:

Little Faust Residence  
105 Tulip Avenue  
Takoma Park, Maryland 20912

Schematic  
Design

L-1

replacing wall  
in-kind

brick/same exact  
dimensions

stepping stones ok - no HAWP



**JORDAN  
HONEYMAN**  
Landscape Architecture LLC  
1003 K Street, NW  
Suite 840  
Washington, DC 20001  
202-737-0451  
202-737-.0452 FAX

**FAX TRANSMITTAL**

---

<b>DATE:</b>	01.23.06	<b>FAX #:</b>	(301) 563-3412
<b>TO:</b>	Historic Preservation	<b>RE:</b>	105 Tulip Avenue
<b>ATTENTION:</b>	Anne Fotherfill	<b># OF PAGES:</b>	3 (including cover)
		<b>SENT BY:</b>	Trish Atkins

---

**MESSAGE:**

Anne,

Here is the official retaining wall permit for 105 Tulip Avenue. If you'd like a copy of the stamped plan, let me know and I'll send you one. Otherwise, we'll keep one on file in our office as well as having one out on the job site.

Thanks,  
Trish

---

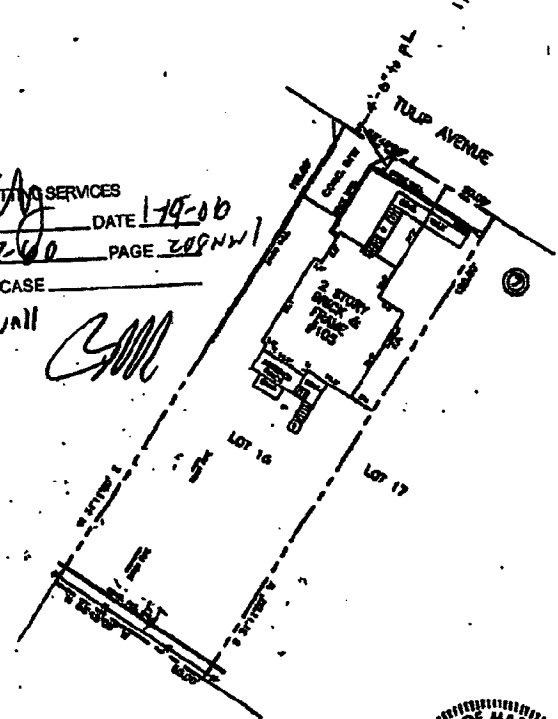
BASE NO. BARYVA

LOCATION DRAWING

M.P. JENKINS SUBDIVISION OF  
B.F. OLBERTS SUBDIVISION OF  
TAKOMA PARK  
LOT 16 BLOCK 7  
MONTGOMERY COUNTY, MARYLAND

MONTGOMERY COUNTY  
DEPARTMENT OF PERMITTING SERVICES  
APPROVED: *[Signature]* DATE: 1-19-06  
ZONING CLASS: R-200 PAGE: Z09NW1  
BOARD OF APPEALS CASE: \_\_\_\_\_

*As RT wall*  
*[Signature]*



PROPERTY ADDRESS: 105 TULIP AVENUE

CERTIFICATE  
I HEREBY DECLARE THAT THE POSITION OF ALL  
THE VISIBLE EXISTING IMPROVEMENTS SHOWN ON  
THIS ASHES DESCRIBED PROPERTY HAVE BEEN  
DETERMINED BY PROPER FIELD METHODS.

*Sam Dean Simpson*  
SAM DEAN SIMPSON  
P.L.S. No. 014

REFERENCES	
PLAT BK. 1	
PLAT NO. 01	
UNER	
FOUD	

THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE 2 (AREA OF SINGLE-FAMILY RESIDENCES) AS SHOWN ON THE ZONING MAP OF MONTGOMERY COUNTY, MARYLAND, AND IS SUBJECT TO THE ZONING REGULATIONS THEREOF.

**CMS**  
CENTRAL MARYLAND SURVEYORS, INC.  
100 WOODBURN DRIVE (2ND) 222-2222 FAX (301) 222-0270 MD 20710

DATE:	SCALE: 1"=30'
DRAWN BY: JMB	
JOB NO.: 0715-05	

NOTED: 1) This location drawing is of record, to a registrant only in so far as it is required by a lender or a title insurance company or is used in connection with a mortgage or deed. 2) This location drawing is not to be used as a basis for the determination of property boundary lines, but such determination may not be required for the transfer of title or recording of a deed. 3) This location drawing is not to be used as a basis for the determination of the location of any utility lines or other improvements. 4) This location drawing is not to be used as a basis for the determination of the location of any other improvements or structures.

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DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

RETAINING WALL  
PERMIT

Issue Date: 1/19/2006

Permit No: 409387  
Expires: 1/20/2007  
X Ref.  
Rev. No:

THIS IS TO CERTIFY THAT: JON W & FAUST  
MARGARET O LITTLE 105 TULIP AVE  
TAKOMA PARK MD 209120000

HAS PERMISSION TO: CONSTRUCT RETAINING WALL  
4 Feet 0 Inches in height  
PROPERTY LINE N OWNERS LAND Y RIGHT OF WAY N

PERMIT CONDITIONS: retaining wall

PREMISE ADDRESS: 105 TULIP AVE  
TAKOMA PARK MD 20912-

LOT 16 BLOCK 7 ZONE R-60 GRID  
LIBER ELECTION DISTRICT PLATE PARCEL  
FOLIO TAX ACCOUNT NO.: PS NUMBER  
PERMIT FEE: \$41.80 SUBDIVISION TAKOMA PARK

**NOTICE**  
THIS APPROVAL DOES NOT INCLUDE  
PLUMBING, GAS PIPING OR ELECTRICAL  
OR CONSTRUCTION IN ANY  
DEDICATED RIGHT-OF-WAY.

**NOTE**  
THIS PERMIT DOES NOT INCLUDE  
APPROVAL FOR ANY ELECTRICAL  
WORK. YOU MUST HAVE A  
SEPARATE ELECTRICAL PERMIT TO  
DO ANY ELECTRICAL WORK.

Director, Department of Permitting Services

**Fothergill, Anne**


---

**From:** Trish Atkins [trish@jordanhoneyman.com]  
**Sent:** Monday, January 23, 2006 11:03 AM  
**To:** Fothergill, Anne  
**Subject:** RE: 105 Tulip Avenue

Anne,

I will forward the wall information to you. Just a note about the wall material. We are attempting to match the existing brick as closely as possible, however the brick used in the existing wall is an oversized brick that is no longer manufactured. We will match it in color and size as closely as possible, however it does not seem possible to match it exactly.

The stepping stones would be a rectangular bluestone (exactly the same as those in the sideyard and rear yards) and would be set in stonedust. They would be completely removeable and would require approximately 4" of digging (2" for stonedust, 2" for the stone thickness). There are no trees in the vicinity. Let me know if this will possible (otherwise we'll apply for a HAWP).

Thanks,  
 Trish

---

**From:** Fothergill, Anne [mailto:Anne.Fothergill@mncppc-mc.org]  
**Sent:** Monday, January 23, 2006 9:47 AM  
**To:** Trish Atkins  
**Subject:** RE: 105 Tulip Avenue

Yes, please send me the plans for the wall and mark that the dimensions and materials are not changing. It is better we have everything in the file here should anyone call.

In terms of the stepping stones, what material would they be? And what kind of installation do they require--just placement or any sort of digging into the ground? they would be totally removable, correct?

Thanks,  
 Anne

-----Original Message-----

**From:** Trish Atkins [mailto:trish@jordanhoneyman.com]  
**Sent:** Friday, January 20, 2006 3:48 PM  
**To:** Fothergill, Anne  
**Subject:** 105 Tulip Avenue

Anne,

We got the permit from the County for the reconstruction of the wall at 105 Tulip. Do you want us to provide you with any documentation of this (assuming you'll get a call from the neighbor)?

Also, our clients would like to put a row of stepping stones in front of the wall (totally on their property). Does this require historic permission? If so, we'll of course hold off and get permission. If not, our clients will install them with the wall construction.

Thanks once again for all your help,  
 Trish



DEPARTMENT OF PERMITTING SERVICES

Douglas M. Duncan  
County Executive

Robert C. Hubbard  
Director

HISTORIC AREA WORK  
PERMIT

IssueDate:

Permit No: 375088  
Expires:  
X Ref:  
Rev. No:

**Approved With Conditions**

THIS IS TO CERTIFY THAT:

JON W & FAUST  
MARGARET O LITTLE 105 TULIP AVE  
TAKOMA PARK MD 20912

HAS PERMISSION TO:

CONSTRUCT

PERMIT CONDITIONS:

Landscape construction: APPROVED W/Conditions.. 1). The revised plan received on March 23,2005 was the approved plan. 2). A tree protection plan will be created in conjunction with the City of Takoma Park Arborist and submitted to staff before final approval. 3). The application for the mulberry tree removal will be reviewed and approved by the City of Takoma Park before final approval...The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building

PREMISE ADDRESS

permit with DPS  
105 TULIP AVE  
TAKOMA PARK MD 20912-0000

LOT 16  
LIBER  
FOLIO  
PERMIT FEE: \$0.00

BLOCK 7  
ELECTION DISTRICT  
SUBDIVISION  
TAX ACCOUNT NO.:

PARCEL  
PLATE

ZONE R-60  
GRID

HISTORIC MASTER: Y  
HISTORIC ATLAS: Y

**HISTORIC APPROVAL ONLY  
BUILDING PERMIT REQUIRED**

Director, Department of Permitting Services





THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

**RECEIVED**


MAR 28 2005

**DIV. OF CASE WORK MGM**

Date: March 24, 2005

**MEMORANDUM**

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator   
Historic Preservation

SUBJECT: Historic Area Work Permit # 375088

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED WITH THE FOLLOWING CONDITIONS:**

1. The revised plan received on March 23, 2005 was the approved plan.
2. A tree protection plan will be created in conjunction with the City of Takoma Park Arborist and submitted to staff before final approval.
3. The application for the mulberry tree removal will be reviewed and approved by the City of Takoma Park before final approval.

The HPC staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Jon Faust and Maggie Little

Address: 105 Tulip Avenue, Takoma Park, MD 20912

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work




THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: March 24, 2005

**MEMORANDUM**

TO: Robert Hubbard, Director

FROM: Gwen Wright, Coordinator   
Historic Preservation

SUBJECT: Historic Area Work Permit # 375088

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THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Jon Faust and Maggie Little

Address: 105 Tulip Avenue, Takoma Park, MD 20912

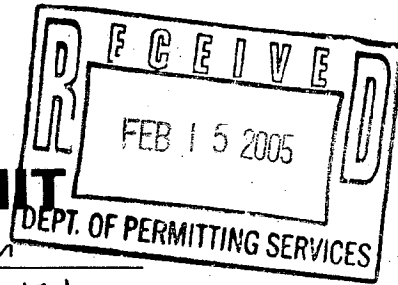
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RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400



APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Holt Jordan

Daytime Phone No.: 202.737.0451

Tax Account No.:

Name of Property Owner: Jon Faust & Maggie Little Daytime Phone No.: 301.587.7154

Address: 105 Tulip Avenue Takoma Park, MD 20912  
Street Number City State Zip Code

Contractor: n/a Phone No.: n/a

Contractor Registration No.: n/a

Agent for Owner: Holt Jordan Daytime Phone No.: 202.737.0451

Jordan Honeyman L.A.

*Irish@jordanhoneyman.com*

LOCATION OF BUILDING/PREMISE

House Number: 105 Street: Tulip Avenue

Town/City: Takoma Park Nearest Cross Street: Holly Avenue

Lot: 16 Block: 7 Subdivision: Takoma Park

Liber: Folio: Parcel:  
plat bk. 1; plat no. 91 see plat attached

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family

Fence/Wall (complete Section 4)  Other: Landscaping constr.

1B. Construction cost estimate: \$ 70,000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_

2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 2 feet 0 inches (wall) fence - 3'-0"

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Holt Jordan  
Signature of owner or authorized agent

2/14/05  
Date

Approved: with three conditions for Chairperson, Historic Preservation Commission

Disapproved: \_\_\_\_\_ Signature: Julia O'Malley Date: 3-24-05  
Application/Permit No.: 375088 Date Filed: 3/11/05 Date Issued: \_\_\_\_\_

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Brick, colonial, single family detached built in  
1934. House has dormers and front porch.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

See attached document regarding site improvements to  
front and rear.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Jon Faust & Maggie Little 105 Tulip Avenue Takoma Park, MD 20912	Jordan Honeyman Landscape Arch. 1007 K Street NW Suite 840 Washington DC 20001
Adjacent and confronting Property Owners mailing addresses	
Richard Rice & Margo Kabel 107 Tulip Avenue Takoma Park, MD 20912	Sally Love 107 Tulip Avenue Takoma Park, MD 20912
Ellen Coon & Ted Ricardi 7112 Cedar Avenue Takoma Park, MD 20912	

The following site improvements are proposed for the property located at 105 Tulip Avenue, located in the Takoma Park historic district. The improvements shall maintain and compliment the established character of the existing house.

**Front/Side Improvements:**

- Stone veneer the existing concrete steps leading to front porch and steps from street.
- Replace the existing walkway and landing/steps from porch and rebuild with stone veneer and bluestone on stone dust paving.
- Install wood railing for the proposed steps leading down from front porch. A simple metal railing is to be installed for other stairs.
- Replace the existing concrete driveway and surface with new concrete. Add stone landing near lower door entrance/exit.
- Add wood fence/gate to separate the front and rear garden and to screen utility area of yard.
- Install wood trash enclosure with stepping stone path to rear garden.

**Rear Improvements:**

- Lay stone patio leading from basement doors.
- Construct stone retaining wall.
- Plant new trees, shrubs, and perennial plantings to enhance existing landscape.
- Remove one existing Mulberry and one existing Dogwood due to deteriorating conditions.
- Create children's play area out of sight of main yard.

Front elevation



Porch steps to be faced with stone



Steps to street to be faced with stone.



Driveway to be paved with concrete.



front view - driveway to be paved with concrete.





rear yard to receive landscape improvements.



rear steps for future improvements

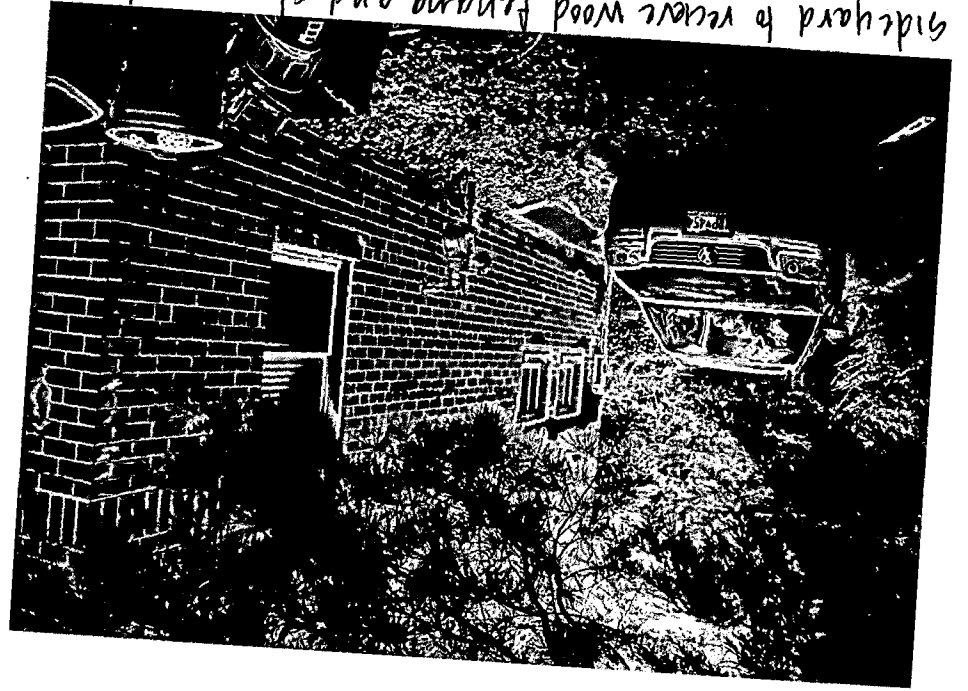


rear elevation



rear elevation close up

sidelyard to reverse wood burning and stepping stone path.



October 5, 2005

Historic Preservation Commission  
8787 Georgia Ave.  
Silver Spring, Maryland 20910

Regarding: case 37/03-05K (105 Tulip Ave)

Historic Preservation Commission Staff,

You recently issued a Historic Area Work Permit for 105 Tulip Ave with the following condition: A tree protection plan will be created in conjunction with the City of Takoma Park Arborist and submitted to staff before final approval.

We respectfully request your attention to the way this tree protection plan was handled by the City. Specifically, the city told adjacent property owners the time allowed to file a protest was indefinite, refused to provide information on the protest process, and then when the adjacent property owners tried to file a protest despite this, stated that the protest period was really only 15 days and was now closed. Meanwhile, we have serious concerns about the impact this project will have on the trees on our properties that have not been addressed.

Following is a summary of recent events:


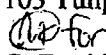
A permit application for our neighbor at 105 Tulip Ave. was posted at the beginning of July. On July 5, Ms Kabel (103 Tulip Ave) met with the Arborist to express the concerns both she and Mr. Johnson (107 Tulip Ave.) had about the project and requested information. The Arborist said he could not provide this information (including a copy of the tree protection plan) for a few weeks. Because this was after the posting/appeal period was over, he told Ms Kabel he would extend the posting period. The Arborist did not provide Ms Kabel with a copy of the tree protection plan until August 23. Three weeks later, on September 12, the City held a hearing on the matter. However, the Arborist did not notify Ms Kabel of the meeting until the day before the meeting took place. The Arborist did not notify Mr. Johnson of the meeting at all. At this point, Ms Kabel requested information on how to challenge the plan, but the Arborist refused to provide her with this information. Ms Kabel wrote a letter describing the situation to the City Councilperson, Joy Austin-Lane, who forwarded it to the City. In response to my letter, the City Attorney apologized that Ms Kabel was misled into believing the appeal time was indefinite, but because Ms Kabel did not file a challenge in the initial 15 days, she was not entitled to an appeal.

We do not feel the tree protection plan adequately protects the existing trees. These 9 trees are located at 103, 105 and 107 Tulip Ave. Our objection to the tree protection plan includes the following points:

- The plan allows severing or removing up to one third of the roots of a river birch, over half of the roots of several hemlocks, a redbud and a white pine.
- The plan allows heavy equipment to be operated and stored in the critical root zones of trees without requiring Soil Compaction Mitigation or Root Protection.
- The plan allows building a wall and increasing the grade up to 18 inches under a large hemlock and sweet gum tree, and increasing the grade up to 6 inches under a maple tree.
- The plan lists only 6 trees as being impacted by the proposed project, when there are actually 9.
- The arborist failed to require a bond be posted for each of the trees that will be impacted by this project.
- The arborist failed to follow standards for the protection of the critical root zones of trees as identified by the International Society of Arboriculture.

We request that you take steps to prevent this project from proceeding until these points have been addressed, and be cognizant of the lack of due process with regard to the tree permit/tree protection plan process as implemented by staff of the City of Takoma Park.

Respectfully submitted,

  
Margo Kabel and Richard Rice  
103 Tulip Ave 301.585.5405  
  
G. David Johnson  
107 Tulip Ave

# City of Takoma Park, Maryland

DEPARTMENT OF PUBLIC WORKS  
TELEPHONE: 301-891-7633  
FAX: 301-585-2405



31 OSWEGO AVENUE  
TAKOMA PARK, MD 20912

Fee: \$25.00

Permit No. 05070010

Issue Date: 07/13/05

## TREE PROTECTION PERMIT

Permit for approved tree protection methods at

105 TULIP AVENUE

**ISSUED TO: Jon Faust  
Maggie Little  
105 Tulip Avenue  
Takoma Park, Maryland 20912**


Conditions/Comments:

Permit Expires: 01/13/06

**THIS PERMIT IS NOT VALID UNLESS SIGNED BY THE ARBORIST OF  
THE CITY OF TAKOMA PARK MARYLAND**

DATE:

7/13/05

  
Brett Linkletter, Arborist  
City of Takoma Park, MD

# City of Takoma Park, Maryland



Office of the City Arborist  
Public Works Department  
Tel: (301) 891-7612

## Tree Protection Plan Agreement

X PERMIT FEE: \$25.00

X DATE: 6/22/2005

**NOTE: The project site and drawings must be inspected by the City Arborist prior to submission of this document.**

### Contents:

Section I: Property Owner and Contractor Information

Section II: Tree Protection Plan Checklist

Section III: Requirements, Restrictions and Penalties for Non-Compliance

Section IV: Signatures of Property Owner, General Contractor and Arborist

Section V: Takoma Park Inspection Sheet

Bibliography/References

Definitions

Appendix

**Section I: Property Owner and Contractor Information**

X A. Address of Proposed Project: 105 Tulip Avenue Takoma Park, MD

X B. Property Owner Information

1. Property Owner's Name: Jon Faust, Maggie Little

2. Property Owner's Address: 105 Tulip Avenue

3. Property Owner's Daytime Phone Number: 301-587-7154

X C. General Contractor Information

1. Contractor's Name: Jose Carlota / JMC Masonry

2. Contractor's Address: 7204 Sugar Maple Ct. Rockville, MD 20855

3. Contractor's Phone Number: 301.990.9872

4. Contractor's License Numbers: 25883

D. Arborist Information

1. Arborist's Name: \_\_\_\_\_

2. Arborist's Address: \_\_\_\_\_

3. Arborist's Phone Number: \_\_\_\_\_

4. Arborist's Maryland Tree Expert License Number: \_\_\_\_\_

X E. Proposed Project

1. Describe project and attach any applicable plans:

see attached description and plan

City Use Only: 6/27 - 7/12

**Section II. Tree Protection Plan Check List. (Check all that apply; #1 and #2 are required on every application)**

- 1. Critical Root Zones  
 Critical root zones of trees shall be affected by the proposed construction and/or disturbances.

- 2. Tree Protection Fencing  
 Tree protection fencing shall be erected to ensure that a majority of the critical root zone of each tree affected is left undisturbed by the construction. The distance (in feet) between the base of the trees and the tree protection fencing is documented on attached site drawings and shall not be moved for the duration of construction. The type of fencing erected is stated or attached to this plan.

NOTE: It is critical that all involved parties are aware of the location of the fences. Any movement of fences from prior agreed upon locations could result in a stop work order.

- 3. Signage  
 Signs posted on the tree protection fences will be needed to explain the purpose of the fences and the need to keep them in place. An example of the signs needed is on page 14.

- 4. Equipment Usage  
 All work shall be done by hand, and no heavy equipment, vehicles, etc. will be utilized on site. Using jackhammers is considered doing work by hand.  
 Work shall be accomplished with heavy equipment and hand labor. Equipment to be used on site is noted on an attached sheet. No other equipment except that listed on this attachment shall be used on site.

NOTE: Any and all operators of heavy equipment, vehicles, etc. must understand that the tree protection fencing is there to protect the trees. It is the responsibility of the contractor to inform all operators and subcontractors that they are not to damage, destroy, move, or alter the tree protection fences in any fashion.



5. Silt Fencing

- Silt fencing is required to minimize runoff onto the roots of the affected tree(s) and shall be installed on the uphill side of the tree protection fence.

6. Grade Changes

- Grade changes will be made within the critical root zone of the tree(s) covered by this plan. Indicate what grade changes will be made on the site plan, and how impact to the roots will be minimized.

7. Root Pruning

- Root pruning will be done because of excavation in or near the critical root zone(s) of the tree(s). A root pruner, vibratory plow, sharp stump grinder, or a shovel/spade will be used. All root pruning will be done to a depth of 18 inches.

*all root pruning to be done with a sharp shovel*

8. Tunneling

- All work shall be carried out by tunneling, moling, or directional boring at a minimum depth of 24 inches from the soil surface. The location of the proposed tunnel is on the attached plan.

*and clean cuts, where roots are to be cut.*

9. Trenching

- Trenching shall be done within the critical root zone of the affected tree(s) by use of a mechanical trencher. Any roots over one-half (1/2) inch in diameter shall be cleanly pruned with a sharp lopper, or saw. The location of the proposed trench is on the attached plan.

10. Root Protection/Soil Compaction

- Root protection to avoid damage from equipment, materials and vehicles is necessary at the job site. Mulching depths and fabric usage is detailed on an attached sheet or below:

---



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11. Soil Compaction Mitigation

- Vertical mulching shall be done by drilling holes 2 - 2 1/2 inches in diameter and 12 - 18 inches deep into the compacted soil. The holes will encompass the critical root zones of the affected trees and will be spaced 2 feet apart in a grid pattern. The holes will be filled with a porous material mixture such as leaf mulch, perlite, pea gravel, or vermiculite.
- Radial mulching/trenching will be done by making radial trenches, in a spoke pattern, around the tree. The trenches will have soil replacement done by using a mixture of topsoil, organic mixes, leaf mulch or vermiculite. The trenches will start at least four feet from the base of the tree, extend out at least 10 feet and be no closer than 5 feet from each other.
- An air spade will be used to remove the compacted soil. The soil will be replaced immediately with a highly organic soil mix.

12. Fertilization

- Because the trees will be under stress from construction, fertilization is required. It will be done with a slow release fertilizer and no less than 1 lb. of N/1000<sup>2</sup> and no more than 1.5 lb. of N/1000<sup>2</sup> will be used. If fertilization is done by a non-Licensed Tree Expert (MD), proof must be provided as to the rates of Nitrogen installed.

13. Watering Contingency

- Affected trees shall be watered during times of low rainfall (less than 1" of rain per 14 day period) twice per six day period, at four hours per event. The entire critical root zone of the tree(s) shall be watered with this prescription.

14. Pruning

- Pruning of dead wood will be done to specific trees on the property or nearby properties. The tree(s) are indicated on the attached plan or at the end of Section II.
- Because of the vertical profile of the construction project, some live tree limbs will be pruned. The affected tree(s) are indicated on the attached plan or at the end of Section II.

NOTE: All pruning shall be done by a Licensed Tree Expert with the State of Maryland.

15. Pest/Pathogen Control

Any affected trees that experience an insect or disease infestation during the construction phase of the project shall be treated to control/eliminate the infestation at the property owner's expense. Treatment must be carried out by a Licensed Tree Expert and a Certified Pesticide Applicator with the State of Maryland.

16. Logistics

Material will be stored on-site. The attached plan shows where materials will be stored in relationship to the trees and the protection devices.

17. Other

Other protection measures to be taken are as follows (attach additional sheets if necessary):

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\$1, 125  
Section III. Restrictions and penalties for non-compliance.

1. Violation of the provisions agreed to in this document may lead to job shutdown for a minimum of 24 hours, levying of Municipal Infractions under City Code Chapter 12, revised December 2003, or other penalties to the property owner, contractor, or both parties.
2. This Tree Protection Plan has been submitted to satisfy the requirements of the City's Tree Ordinance, Chapter 12, revised December 2003. Approval of this plan does not absolve the property owner, contractor, or other parties involved in the project from other permits or requirements which may be required, be they local, County, State, Federal, or other.
3. Any contract tree work must be conducted by a Tree Expert licensed in the State of Maryland. The license number ("LTE" designation) of the Tree Expert must be submitted to the City Arborist before the work begins.
4. All pruning must be done in accordance with the American National Standard for Tree Care Operations (ANSI A300 (Part 1) -2001 Pruning).
5. All tree work safety precautions must be done in accordance with the American National Standard for Tree Care Operations - Safety Requirements (ANSI Z133.1-1994).
6. All tree protection fencing, silt fencing, or other tree protection devices must be inspected and approved by the City's Arborist or designee three (3) working days prior to the start of construction.
7. Any modification of the plans and conditions submitted and agreed to in this document must be approved in writing by the City Arborist or designee a minimum of five (5) days before the modifications are enacted.

Section IV. Signatures

The following persons agree to abide by the conditions outlined in this Tree Protection Plan and all of its attachments.

X

Property Owner's Printed Name & Signature:

Margaret Little

Margaret Little

Date Signed:

06 20 '05

Tree Contractor's Printed Name & Signature:

\_\_\_\_\_

\_\_\_\_\_

Date Signed:

\_\_\_\_\_

X

General Contractor's Printed Name & Signature:

JOSE MANUEL CARLOTA

Jose Carlota

Date Signed:

6-15-05

# Memorandum

To: Brett Linkletter, City of Takoma Park Arborist  
 CC: Maggie Little, Jon Faust  
 From: Trish Atkins, Jordan Honeyman Landscape Architecture  
 Date: 7/7/2005  
 Re: Hardscape Construction and Tree Preservation Plan

Per our phone conversation on July 7, 2005 we agree to the following:

1. Driveway gravel to be 1/2" Washed River Gravel. Gravel to be washed, round pebbles and will not exceed 4" in depth.
2. The 6 Trees (3 Hemlock, 1 White Pine, 1 River Birch, 1 Redbud) affected by Hardscape construction to be watered as follows:
  - 3 x week from present date to September
  - 1 x week from September through November
  - 1 x every 2 weeks after November

\* No watering shall be done during periods where natural rainfall exceeds 1" per week.
3. Grading on the site shall be as follows (in addition to plan provided with application):
  - Grading in lawn areas shall be solely for the purpose of leveling to allow for proper drainage and shall not exceed 6" of fill.
  - Proposed wall on plan shall be retaining on one end and will require approximately 18" of fill in the vicinity of the wall located closest to the existing stairs. The wall will transition to a free standing wall as it extends into the yard and will require no fill at this end.
  - Proposed stairs on plan will not be constructed at this time.

4. Contractor will be notified of severity of penalties associated with not following the Tree Preservation Plan and will comply with all plan requirements.

Anne - Please call Mon.  
Neighbor w/ concerns  
about 105 Tulip -  
paving whole side yard  
will kill trees on her  
property and cause water  
problems - plan is  
wrong (doesn't include



**Fothergill, Anne**

---

**From:** m kabel [mkabel@bellatlantic.net]  
**Sent:** Wednesday, March 23, 2005 12:15 PM  
**To:** Fothergill, Anne  
**Cc:** brettl@takomagov.org  
**Subject:** RE: hawp for 105 tulip

Dear Anne,

Thank you for forwarding the documents. A visual inspection of the site however, shows the drip line of the hemlocks and white pine extending almost to the house at 105 Tulip. Further, the hemlocks are multi stemmed trees – each with 2 or 3 stems, while the most recent drawing only shows the diameter of a single stem for each of these trees, substantially underestimating the total size of these trees.

Regarding drainage, at present most water travels down the two dirt ruts in the driveway toward the street. However, if these ruts are filled and leveled out, as they would be with a concrete surface, (and other measures not taken) storm water would then flow away from the house and downhill toward my property.

As I mentioned earlier, I am going out of town and will not be able to attend the hearing tonight. I would appreciate it if you would continue to keep me updated on the status of this project.

-Margo Kabel

Historic Preservation Commission  
8787 Georgia Ave.  
Silver Spring, Md 20910

Regarding: Case 37/03-05K  
March 18, 2005

To Whom It May Concern:

We wish to point out a number of inaccuracies in the HAWP application for landscape alterations for 105 Tulip Ave.

This plan proposes more than doubling the amount of paved area of the driveway, to extend almost the entire length of the sideyard of the property. The existing driveway has a concrete pad that extends about 12 feet from the street. From that point, the driveway is grass with 2 tracks of dirt and old gravel.

The plan does not show three 20+ year old hemlock trees that are growing along the property line at 103 Tulip Ave. The proposed paving would cover/damage/destroy at least 50% of the drip line roots of these three hemlocks and an adjacent mature white pine.

There is no drainage plan shown for the side yard on this application. Without appropriate consideration for drainage, the paving and grading could cause flooding on the downhill property at 103 Tulip Ave.

Also not shown on the plans is a mature river birch located along the side property line at 103 Tulip Ave, adjacent to a redbud located on the property of 103, which is shown. The drip lines of both of these trees extend well onto the property at 105. The river birch in particular, has several 5-8 inch thick surface roots extending toward the property line between 103 and 105.

The application does not correctly identify the property owner at 107 Tulip. The person named on the application is not the property owner and no longer lives at this address. The property owner at 107 Tulip has not received any direct/formal notice of this proposed work.

The application proposed installing a 2 foot tall retaining wall along the rear side property line shared with 107 Tulip Ave. No detail of the wall is shown, so the depth of the footing cannot be determined. Trish Atkins of Jordan Honeyman L.A. said the plans call for adding about 18 inches of dirt behind this wall. This dirt will be obtained by removing topsoil from the top of the slope along the property line with 107. This work is in the root zone of 3 trees located on the property at 107 Tulip, including a holly tree, a very large hemlock and a large sweet gum tree.

We request your attention to ensure these factors are appropriately reflected within the proposed plan for 105 Tulip Ave. before this plan is considered for approval.

Respectfully submitted,

Margo Kabel  
103 Tulip Ave

David Johnson  
107 Tulip Ave.



**Fothergill, Anne**

---

**Subject:** FW: hawp for 105 tulip

-----Original Message-----

**From:** Trish Atkins [mailto:trish@jordanhoneyman.com]

**Sent:** Wednesday, March 23, 2005 10:34 AM

**To:** Fothergill, Anne

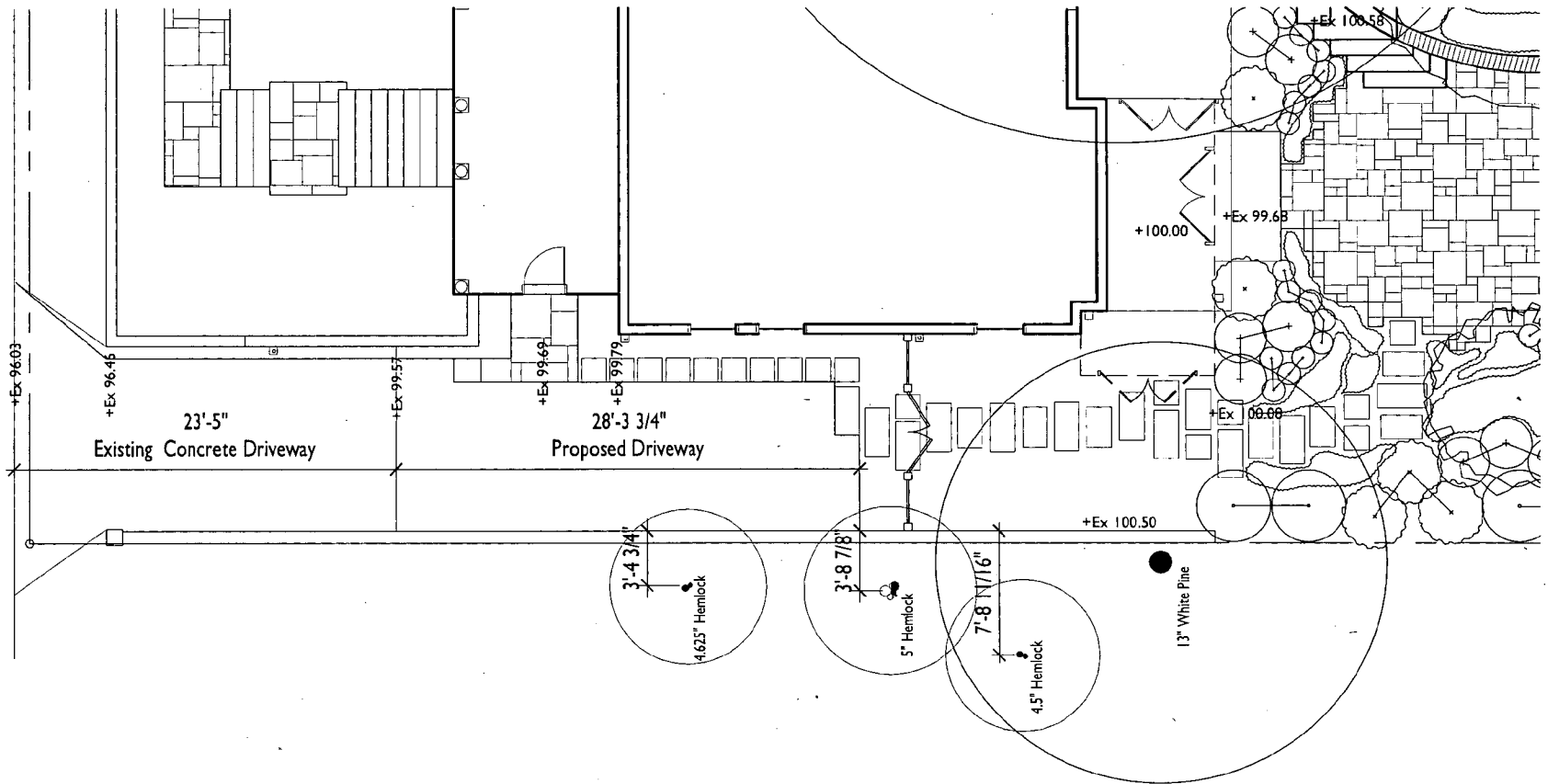
**Subject:** RE: hawp for 105 tulip

Anne,

Thank you for forwarding this. Just for your information, at no time did I say that we'd be adding 18" of fill behind the proposed wall in the rear yard. The wall will retain where necessary and this area will only be regraded to provide for drainage in and around the wall. We plan to keep or transplant all plant material in this area, include perennials. The wall itself will be a semi-dry laid stone wall that utilizes only a small footing and therefore will minimize any root damage to adjacent trees in this area. Any portion of the wall that is not retaining will extend above grade, maintaining a consistent top of wall elevation.

Thanks,  
Trish

3/23/2005



1 105 Tulip Avenue Schematic Plan  
PLAN

SCALE: 1" = 10'-0"



JORDAN  
HONEYMAN  
Landscape Architecture, LLC  
1003 K Street NW  
Suite B40  
Washington, DC 20001  
202.737.0451  
202.737.0451 FAX

**Fothergill, Anne**

---

**From:** Trish Atkins [trish@jordanhoneyman.com]  
**Sent:** Tuesday, March 22, 2005 4:07 PM  
**To:** Fothergill, Anne  
**Subject:** Drainage at 105 Tulip

Anne,

You asked us to put together a narrative regarding how we plan to deal with the drainage at 105 Tulip Avenue. In very simple terms, we aren't changing the drainage patterns or grades in any significant way. We plan to improve/replace an existing drain located at the back door of the residence and potentially add a new drain (if necessary) to drain the proposed patio (on stonedust). This water would be piped under the driveway (assuming we are replacing the existing concrete and can excavate to put a pipe in) and daylight at the end of the driveway. All water occurring on the site after this drain will sheet flow down the driveway to the curb, as it currently does (it does not go on the neighbors property on this side).

Brett is going to visit the site tomorrow at 10am to look at the existing Hemlocks. He will call us to discuss any preservation needs after his visit. I'll email or call to update you.

Thanks,  
Trish

---

Trish Atkins, Associate ASLA

Jordan Honeyman Landscape Architecture  
1003 K Street NW  
Suite 840  
Washington, DC 20001  
t: 202.737.0451  
f: 202.737.0452  
email: trish@jordanhoneyman.com

Historic Preservation Commission  
8787 Georgia Ave.  
Silver Spring, Md 20910

Regarding: Case 37/03-05K  
March 18, 2005

To Whom It May Concern:

We wish to point out a number of inaccuracies in the HAWP application for landscape alterations for 105 Tulip Ave.

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The plan does not show three 20+ year old hemlock trees that are growing along the property line at 103 Tulip Ave. The proposed paving would cover/damage/destroy at least 50% of the drip line roots of these three hemlocks and an adjacent mature white pine.

There is no drainage plan shown for the side yard on this application. Without appropriate consideration for drainage, the paving and grading could cause flooding on the downhill property at 103 Tulip Ave.

Also not shown on the plans is a mature river birch located along the side property line at 103 Tulip Ave, adjacent to a redbud located on the property of 103, which is shown. The drip lines of both of these trees extend well onto the property at 105. The river birch in particular, has several 5-8 inch thick surface roots extending toward the property line between 103 and 105.

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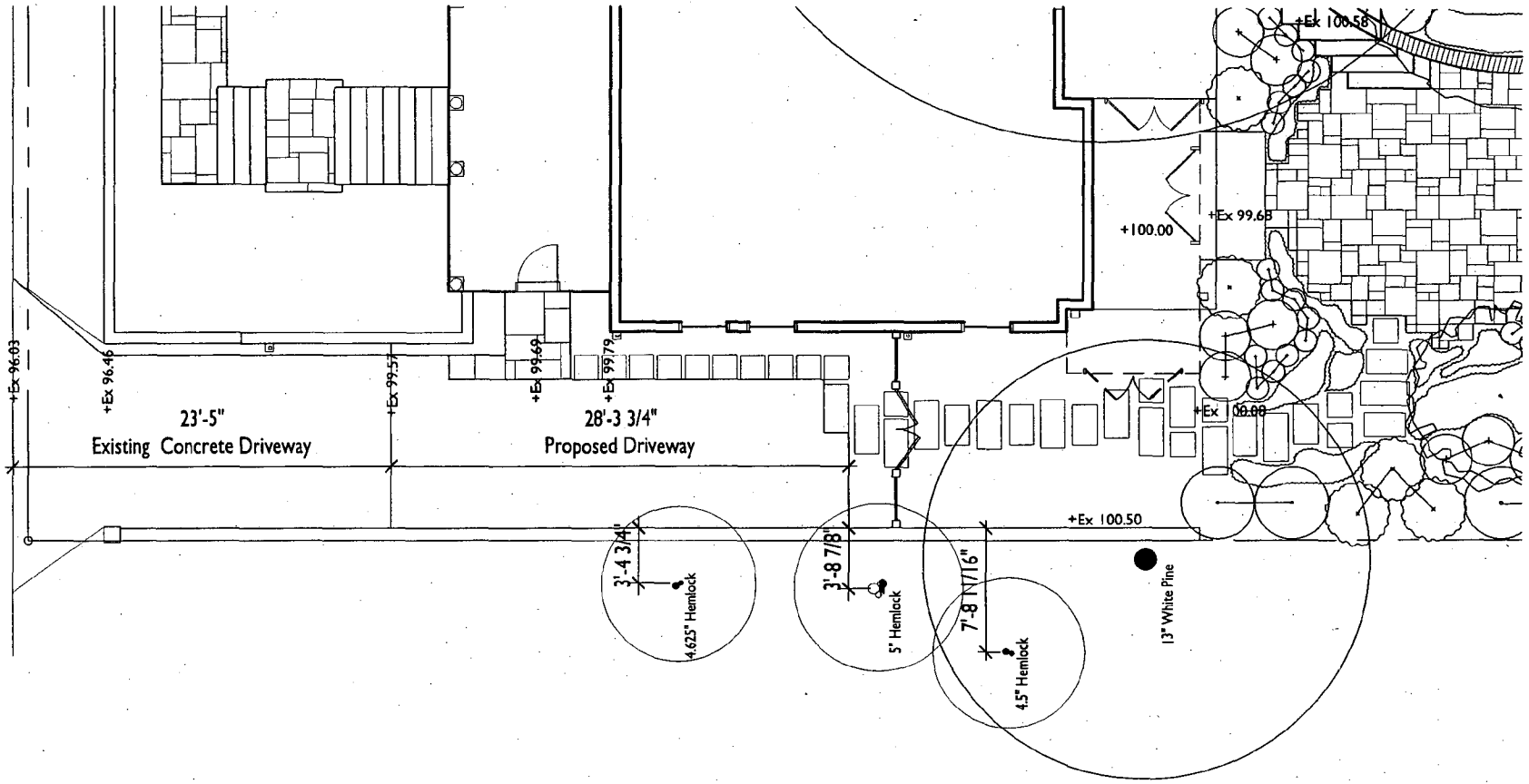
The application proposed installing a 2 foot tall retaining wall along the rear side property line shared with 107 Tulip Ave. No detail of the wall is shown, so the depth of the footing cannot be determined. Trish Atkins of Jordan Honeyman L.A. said the plans call for adding about 18 inches of dirt behind this wall. This dirt will be obtained by removing topsoil from the top of the slope along the property line with 107. This work is in the root zone of 3 trees located on the property at 107 Tulip, including a holly tree, a very large hemlock and a large sweet gum tree.

We request your attention to ensure these factors are appropriately reflected within the proposed plan for 105 Tulip Ave. before this plan is considered for approval.

Respectfully submitted,

Margo Kabel  
103 Tulip Ave

David Johnson  
107 Tulip Ave.



**1** 105 Tulip Avenue Schematic Plan  
**PLAN**

SCALE: 1" = 10'-0"



**JORDAN  
HONEYMAN**  
Landscape Architecture, LLC

1003 K Street NW  
Suite 040  
Washington, DC 20001  
202.737.0451  
202.737.0452 FAX



## Fothergill, Anne

---

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**Sent:** Tuesday, March 22, 2005 4:07 PM  
**To:** Fothergill, Anne  
**Subject:** Drainage at 105 Tulip

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Brett is going to visit the site tomorrow at 10am to look at the existing Hemlocks. He will call us to discuss any preservation needs after his visit. I'll email or call to update you.

Thanks,  
Trish

---

Trish Atkins, Associate ASLA

Jordan Honeyman Landscape Architecture  
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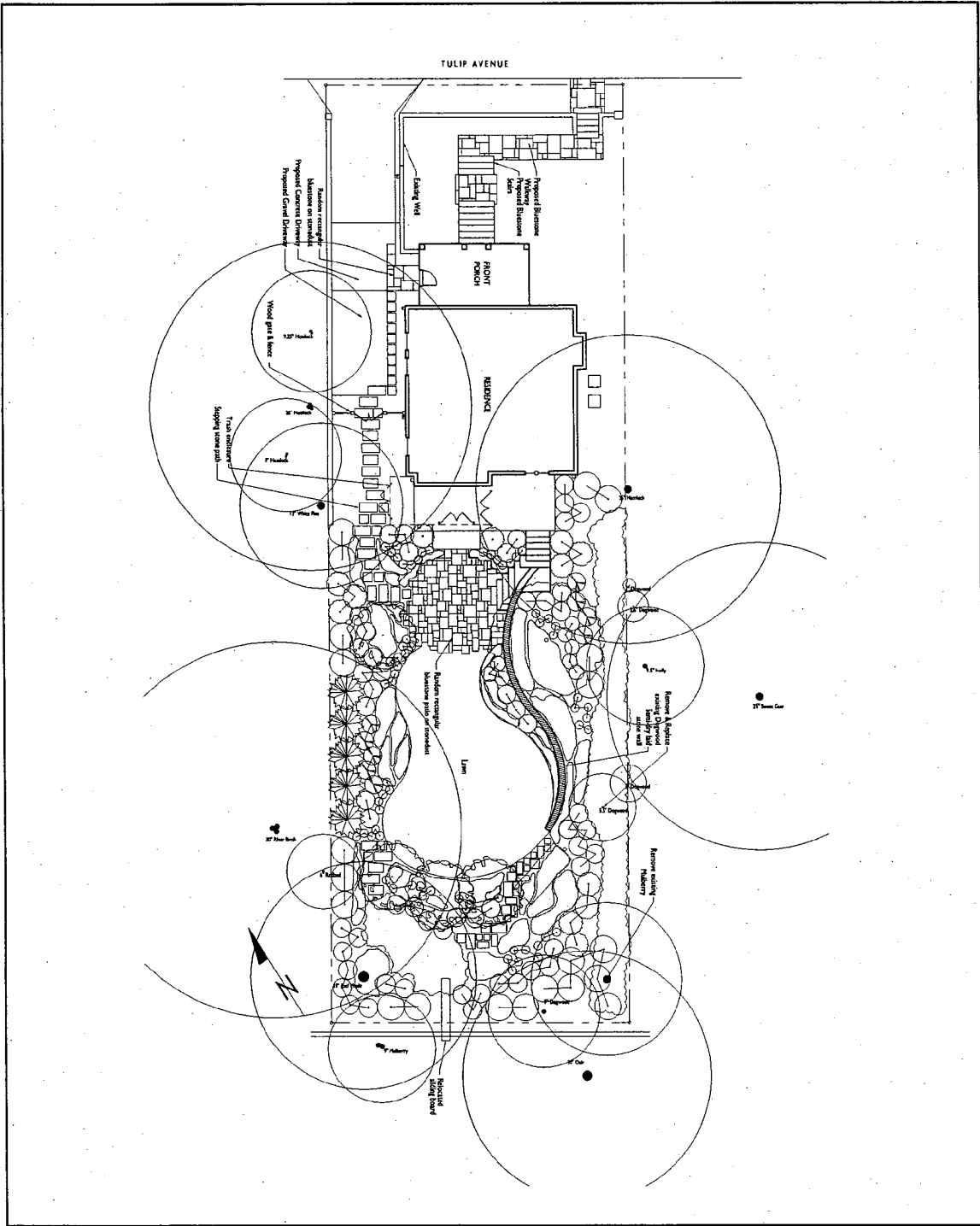
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Respectfully submitted,

Margo Kabel  
103 Tulip Ave

David Johnson  
107 Tulip Ave.



Schematic  
Design

**Little Faust Residence**  
105 Tulip Avenue  
Takoma Park, Maryland 20912

Scale: 1"=10'-0"  
Date: 12.06.04  
Revisions:


JORDAN  
KOHNE/TKA&A  
Landscape Architecture, LLC  
403 F Street NW  
Suite 402  
Washington, DC 20001  
202.777.8451  
JEL2004-043 FAX



- Plant four trees including one *Nyssa Sylvatica* and other shrubs and perennial plantings (see list in Circles 10-12)

### STAFF DISCUSSION

The *Takoma Park Guidelines* state “the Master Plan for Historic Preservation and the Historic Preservation Ordinance, Chapter 24A of the Montgomery County Code, are designed to protect and preserve Montgomery County’s historic and architectural heritage.” This house is a Non-Contributing Resource, and according to the *Guidelines*:

Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.

Staff has evaluated the application and finds it will not adversely affect the streetscape, landscape, or district. The stone and wood materials selected for the stairs, wall, patio, and fencing are all appropriate and compatible. The *Nyssa Sylvatica* they are proposing to plant fulfills the standard Native Species tree replacement condition that would be required for the mulberry tree to be removed. The applicants are aware that they will need a City of Takoma Park tree removal permit and that this will be recommended as a condition of this approval. After consulting with the City of Takoma Park Arborist, staff is recommending as an additional condition of approval that the applicants create a tree protection plan to reduce the impact on the existing trees while the work is being done.

### STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application **with the two conditions listed on page one of this report** as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at [www.permits.emontgomery.org](http://www.permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.



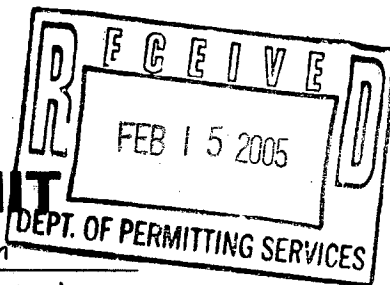
RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

115

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT



Contact Person: Holt Jordan  
Daytime Phone No.: 202-737-0451

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Jon Faust & Maggie Little Daytime Phone No.: 301-587-7154  
Address: 105 Tulip Avenue Takoma Park, MD 20912  
Street Number City Street Zip Code  
Contractor: n/a Phone No.: n/a  
Contractor Registration No.: n/a  
Agent for Owner: Holt Jordan Daytime Phone No.: 202-737-0451  
Jordan Honeyman L.A.

### LOCATION OF BUILDING/PREMISE

House Number: 105 Street: Tulip Avenue  
Town/City: Takoma Park Nearest Cross Street: Holly Avenue  
Lot: 16 Block: 7 Subdivision: Takoma Park  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_  
plat bk. 1; plat no. 91 see plat attached

### PART ONE: TYPE OF PERMIT ACTION AND USE

#### 1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

#### CHECK ALL APPLICABLE:

- AC
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: Landscape constr.

1B. Construction cost estimate: \$ 70,000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 2 feet 0 inches (wall) fence - 3'-0"  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Holt Jordan Signature of owner or authorized agent Date: 2/14/05

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 375088 Date Filed: 3/1/05 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Brick, colonial, single family detached built in  
1934. House has dormers and front porch.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

see attached document regarding site improvements to  
front and rear.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the skyline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Jon Faust & Maggie Little 105 Tulip Avenue Takoma Park, MD 20912	Jordan Honeyman Landscape Arch. 1007 K Street NW Suite 840 Washington DC 20001
<b>Adjacent and confronting Property Owners mailing addresses</b>	
Richard Rice & Margo Kabel 107 Tulip Avenue Takoma Park, MD 20912	Sally Love 107 Tulip Avenue Takoma Park, MD 20912
Ellen Coon & Ted Ricardi 7112 Cedar Avenue Takoma Park, MD 20912	





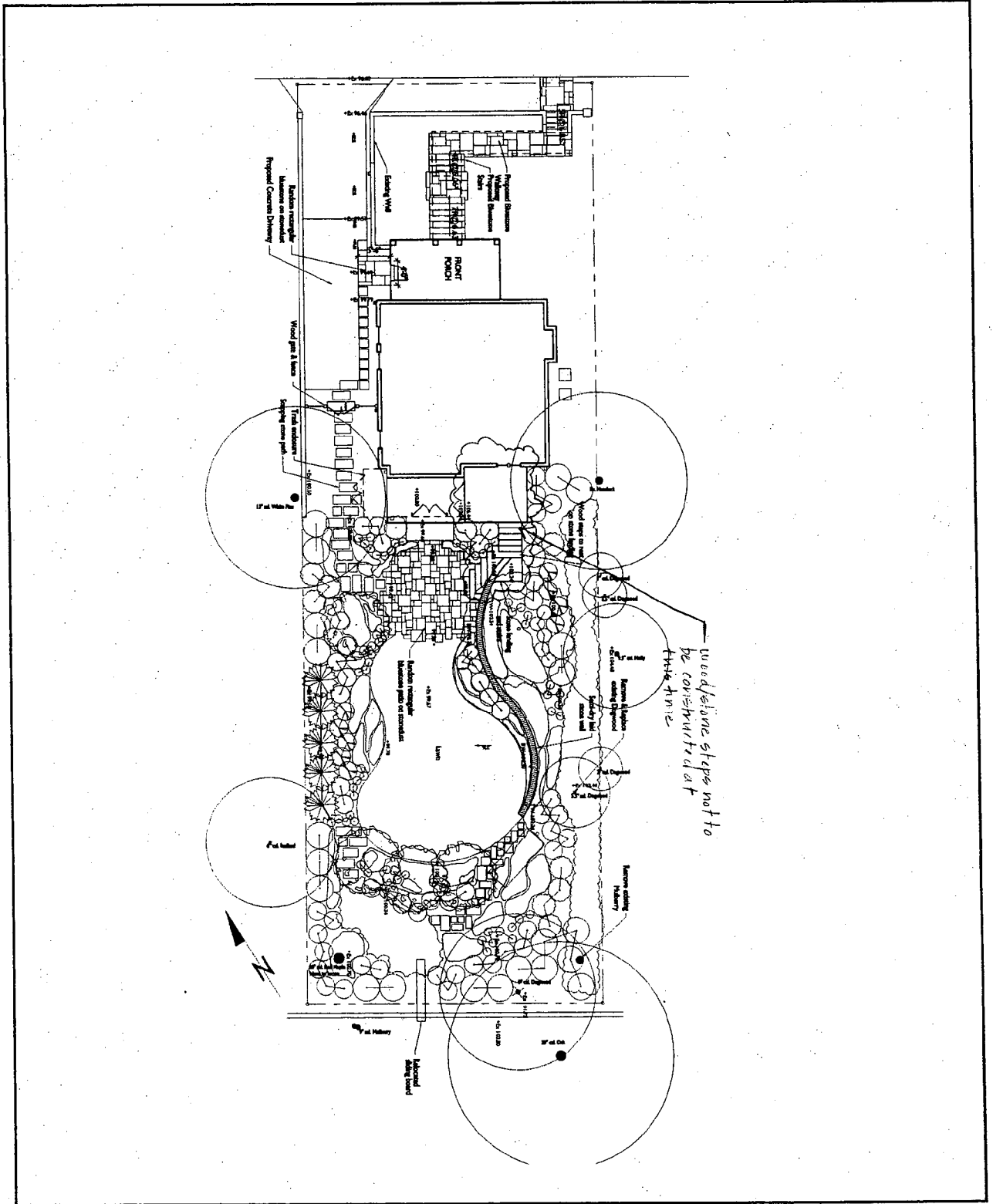
The following site improvements are proposed for the property located at 105 Tulip Avenue, located in the Takoma Park historic district. The improvements shall maintain and compliment the established character of the existing house.


**Front/Side Improvements:**

- Stone veneer the existing concrete steps leading to front porch and steps from street.
- Replace the existing walkway and landing/steps from porch and rebuild with stone veneer and bluestone on stone dust paving.
- Install wood railing for the proposed steps leading down from front porch. A simple metal railing is to be installed for other stairs.
- Replace the existing concrete driveway and surface with new concrete. Add stone landing near lower door entrance/exit.
- Add wood fence/gate to separate the front and rear garden and to screen utility area of yard.
- Install wood trash enclosure with stepping stone path to rear garden.

**Rear Improvements:**

- Lay stone patio leading from basement doors.
- Construct stone retaining wall.
- Plant new trees, shrubs, and perennial plantings to enhance existing landscape.
- Remove one existing Mulberry and one existing Dogwood due to deteriorating conditions.
- Create children's play area out of sight of main yard.



<h1>L-1</h1>	<p>Schematic Design</p>	<p><b>Little / Faust Residence</b>          105 Tulp Avenue          Takoma Park, Maryland 20912</p>	<p>Scale: 1"=10'-0"          Date: 12.06.04          Revisions:</p>	 <p><b>JORDAN HONEYMAN</b>          Landscape Architecture, LLC          1011 G Street NE          Suite 301          Washington, DC 20002          301.227.2464          301.227.9633 fax</p>
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Little/Faust Residence  
 105 Tulip Avenue  
 Takonma Park, Maryland 20912

Jordan Honeyman Landscape Architecture  
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Symbol	Quan.	Botanical Name	Common Name	Size	Condition	Notes
<u>Trees:</u>						
AG	1	Acer griseum	Paperbark Maple	10-12'	B&B	full
CEF	3	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	8-10'	B&B	full, Cultivar of Native
IB	5	Ilex cornuta 'Burfordii'	Burford Holly	5-6'	B&B	tree-form
NS	1	Nyssa sylvatica	Black Tupelo	10-12'	B&B	full, Native species
<u>Shrubs:</u>						
AJ	4	Aucuba japonica	Japanese Aucuba	24-36"	cont.	
BD	2	Buddleia davidii 'Nanho Blue'	Butterfly-bush	1 gal.	cont.	
BSV	5	Buxus x 'Green Mound'	Green Mound Boxwood	18-24"	cont.	
CJ	3	Camellia japonica 'April Remembered'	Cream with Pink Edge Japanese Camellia	5 gal.	cont.	Upright form, White flowering
CWW	2	Camellia 'Winter's Waterlily'	Ackerman hybrid Camellia	3 gal.	cont.	
CA	5	Clethra alnifolia 'Ruby Spice'	Summersweet Clethra	3 gal.	cont.	
DG	5	Duetzia gracilis 'Nikko'	Nikko Duetzia	15"-18"	cont.	
FG	3	Fothergilla gardenii 'Blue Mist'	Blue Mist Fothergilla	3 gal.	cont.	
HVC	4	Hamamelis vernalis 'Carnea'	Witchhazel	5 gal.	cont.	shrub, horizontal
HA	10	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	3 gal.	cont.	
HL	6	Hydrangea macrophylla 'Blue Wave'	Lacecap Hydrangea	3 gal.	cont.	
HQS	2	Hydrangea quercifolia 'Snow Queen'	Oakleaf Hydrangea	24-30"	cont.	
IV	5	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	20"-24"	cont.	
ND	4	Nandina domestica	Heavenly Bamboo	3 gal.	cont.	full
PJS	5	Pieris japonica 'Sarabonde'	Japanese Pieris	20"-24"	cont.	full
PLO	4	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Laurel	3 gal.	cont.	
RHG	13	Rhododendron 'Hardy Gardenia'	White Azalea	18"-24"	cont.	
RPJ	6	Rhododendron 'PJM'	PJM Rhododendron	3 gal.	cont.	
SH	3	Sarcococca hookeriana	Sweetbox	1 gal.	cont.	
VP	5	Viburnum x pragense	Prague Viburnum	3-4'	B&B	full

10

Perennials:

ACV	15	Acorus calamus 'Variegatus'	Dwarf Sweet Flag	1 qt.	cont.	18" o.c.
AT	15	Athyrium niponicum 'Pictum'	Japanese Painted Fern	1 qt.	cont.	18" o.c.
BR	18	Brunnera macrophylla 'Jack Frost'	Siberian Bugloss	1 qt.	cont.	18" o.c.
CSV	5	Carex siderostricta 'Variegata'	Creeping Broadleaf Sedge	1 qt.	cont.	18" o.c.
DCN	5	Deschampsia caespitosa 'Northern Lights'	Hair Grass	1 qt.	cont.	18" o.c.
EPM	11	Echinacea purpurea 'Magnus'	Purple Coneflower	1 qt.	cont.	18" o.c.
GB	4	Geranium 'Brookside'	Brookside Hardy Geranium	1 qt.	cont.	18" o.c.
GO	4	Galium odoratum	Woodruff	1 qt.	cont.	18" o.c.
HF	9	Hosta fortunei (x) 'Francee'	Francee Hosta	1 gal	cont.	as shown
HFA	9	Hosta fortunei (x) 'Antioch'	Antioch Hosta	1 gal	cont.	as shown
HM	14	Hakonechloa macra 'Albo Striata'	White and Green Variegated Hakone Grass	1 gal.	cont.	as shown
HSE	17	Hosta sieboldiana 'Elegans'	Elegans Hosta	1 gal	cont.	as shown
HSS	2	Hosta sieboldiana 'Sum and Substance'	Plantain Lily	1 gal	cont.	as shown
HU	7	Hosta undulata (x) 'Undulata'	Undulata Hosta	1 gal	cont.	as shown
HV	34	Heuchera villosa 'Autumn Bride'	Big-leaf Heuchera		cont.	18" o.c.
IS	7	Iberis sempervirens	Candytuft	1 qt.	cont.	18" o.c.
IT	23	Iris tectorum	Japanese Roof Iris	1 qt.	cont.	18" o.c.
LMB	17	Liriope muscari 'Big Blue'	Lilyturf	1 qt.	cont.	12" o.c.
LM	3	Lamium maculatum 'Anne Greenway'	Dead Nettle	1 qt.	cont.	18" o.c.
LMM	90	Liriope muscari 'Monroe White'	Lilyturf	1 qt.	cont.	12" o.c.
LP	9	Liatris spicata	Gayfeather	4" pot	cont.	18" o.c.
MR	120	Mazus reptans	Mazus	1 qt.	cont.	in between stepping stones
PL	3	Paonia lactiflora 'Shirley Temple'	Peony	1 gal	cont.	as shown
PS	2	Paonia suffruticosa (Red)	Chinese Tree Peony	1 gal	cont.	as shown
PP	51	Polystichum polyblepharum	Tassel Fern	1 qt.	cont.	18" o.c.
RJ	19	Rohdea japonica	China Lily	1 qt.	cont.	18" o.c.
SNM	5	Salvia nemorosa 'Mainacht'	May Night Sage	1 qt.	cont.	18" o.c.
SM	6	Sedum 'Matrona'	Sedum	1 qt.	cont.	18" o.c.
SH	6	Sarcococca hookeriana humilis	Sweet Box	1 qt.	cont.	18" o.c.
VG	5	Veronica spicata 'Giles Van Hees'		1 qt.	cont.	18" o.c.
VP	6	Veronica peduncularis 'Georgia Blue'	Creeping Speedwell	1 qt.	cont.	18" o.c.

Bulbs

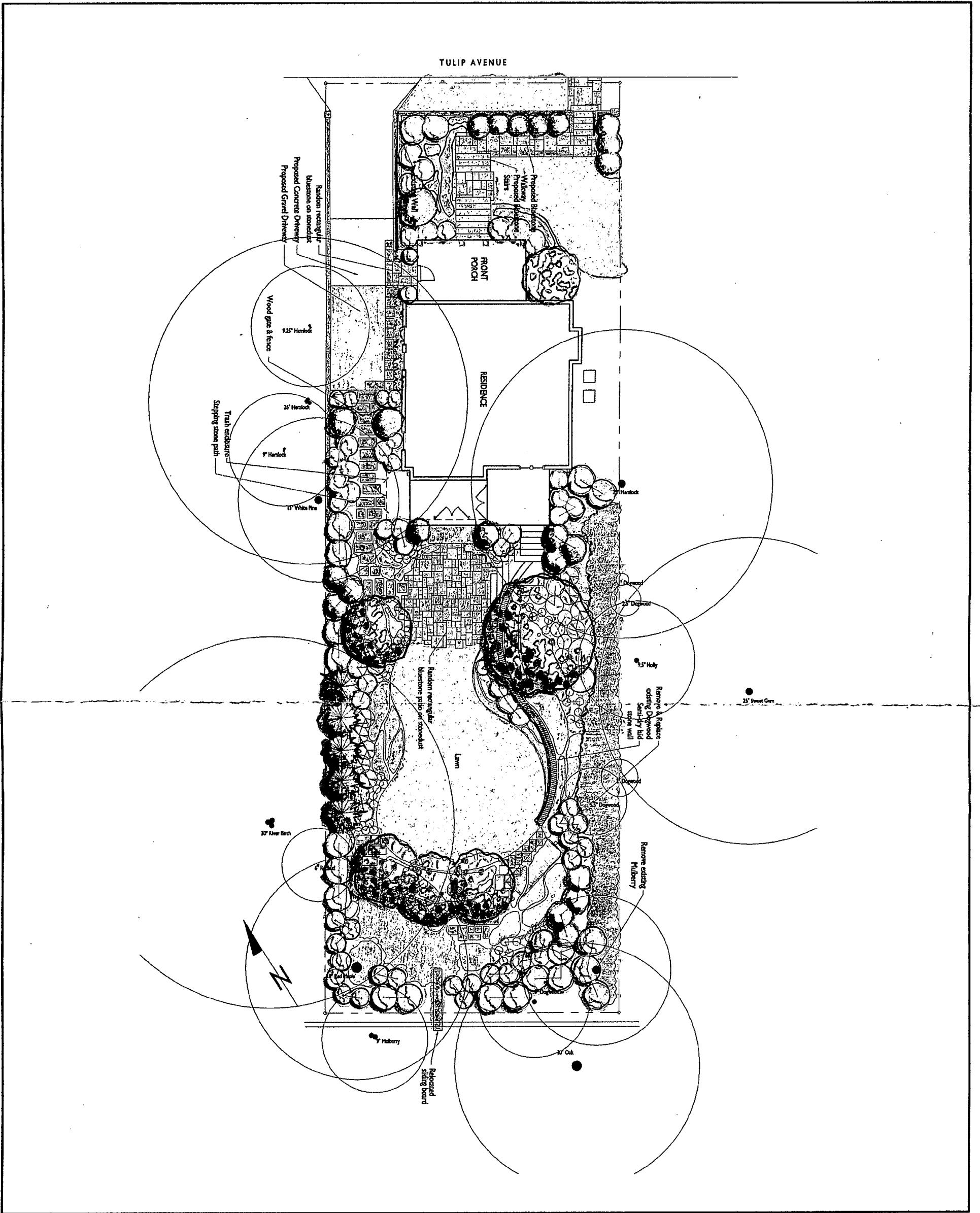
NIF	75	Narcissus 'Ice Follies'	Ice Follie Daffodil	14/16 cm
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Planting Notes

1. Soil test to be provided by Landscape Contractor for top 6-12" of soil prior to beginning planting. Test shall provide results for particle size, bulk density, permeability, pH and any other nutrient or chemical results. Landscape Contractor to check site for soil permeability below 12". If hardpan or rock is encountered, consult with Landscape Architect (LA).
2. Recommendations from soil report shall be implemented during soil preparation.
3. Sugar Maples and Sweetbay Magnolias located in the existing planting island to be relocated to planting beds at rear of existing building. LA will field locate.
4. All plant material shall conform to the "American Standards for Nursery Stock", ANSI Z60.1-2004 by the American Nursery and Landscape Association.
5. All planting installation and soil preparation shall conform to the "Landscape Specification Guidelines for Baltimore Washington Metropolitan Area, 5th Edition, 2002, by the Landscape Contractors Association MD DC VA unless otherwise noted.
6. When a range of plant size is specified, the average size of those plants must be in the center of the range or larger. Exceptions to be approved by LA.
7. Contractor shall verify locations of all underground utilities within work areas and be responsible for their protection. Call MISS UTILITY (800/257-7777) before installation begins.
8. Planting plan provides general layout only. Specific planting layout shall be directed by LA.
9. Contractor to provide photographs of all trees for approval by LA prior to tagging for shipment.
10. All plant substitutions to be approved by LA.
11. Contractor responsible for transplanting existing material according to LCA Guidelines and maintaining transplanted material until job is 100% complete.
12. Plant quantities to be verified by Contractor from planting plan. Any discrepancies should be brought to the attention of the LA for verification.
13. Sod to be installed according to LCA specifications. Careful attention shall be paid to subgrade preparation and grading.

Property Manager Notes

beds. In the event it is necessary to use de-icing salts, LA strongly recommends use of pruning should be limited to the removal of dead and unhealthy material, and should be



Schematic  
Design

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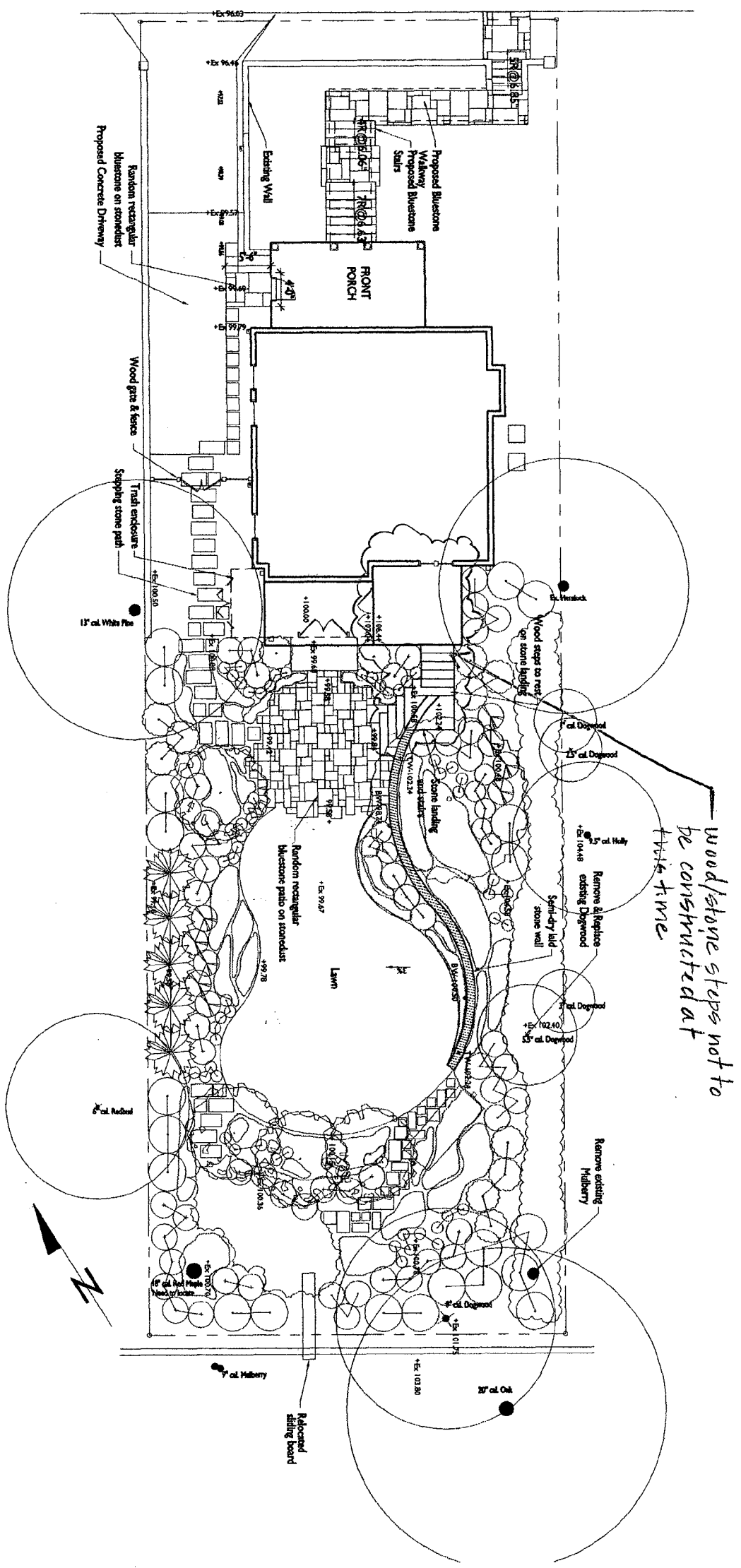
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Wood/stone steps not to be constructed at this time

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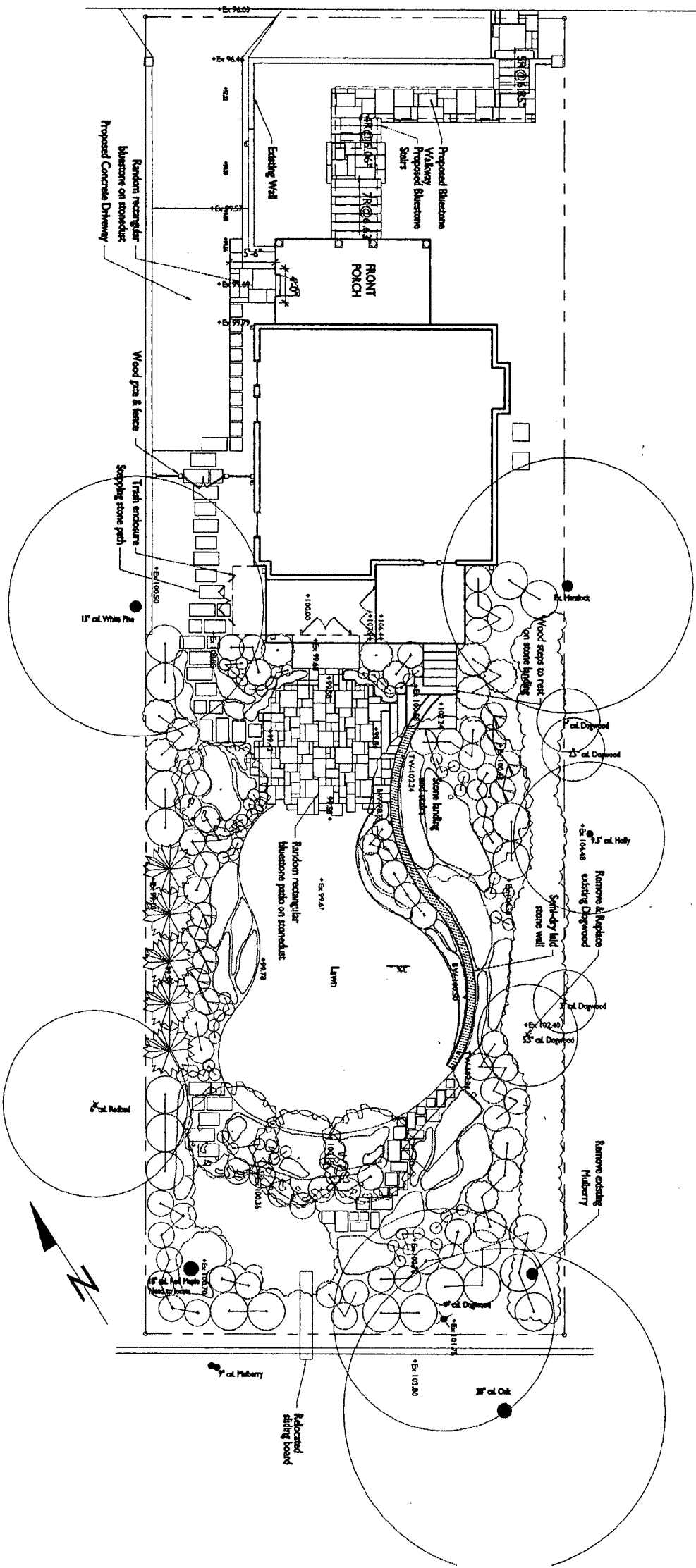
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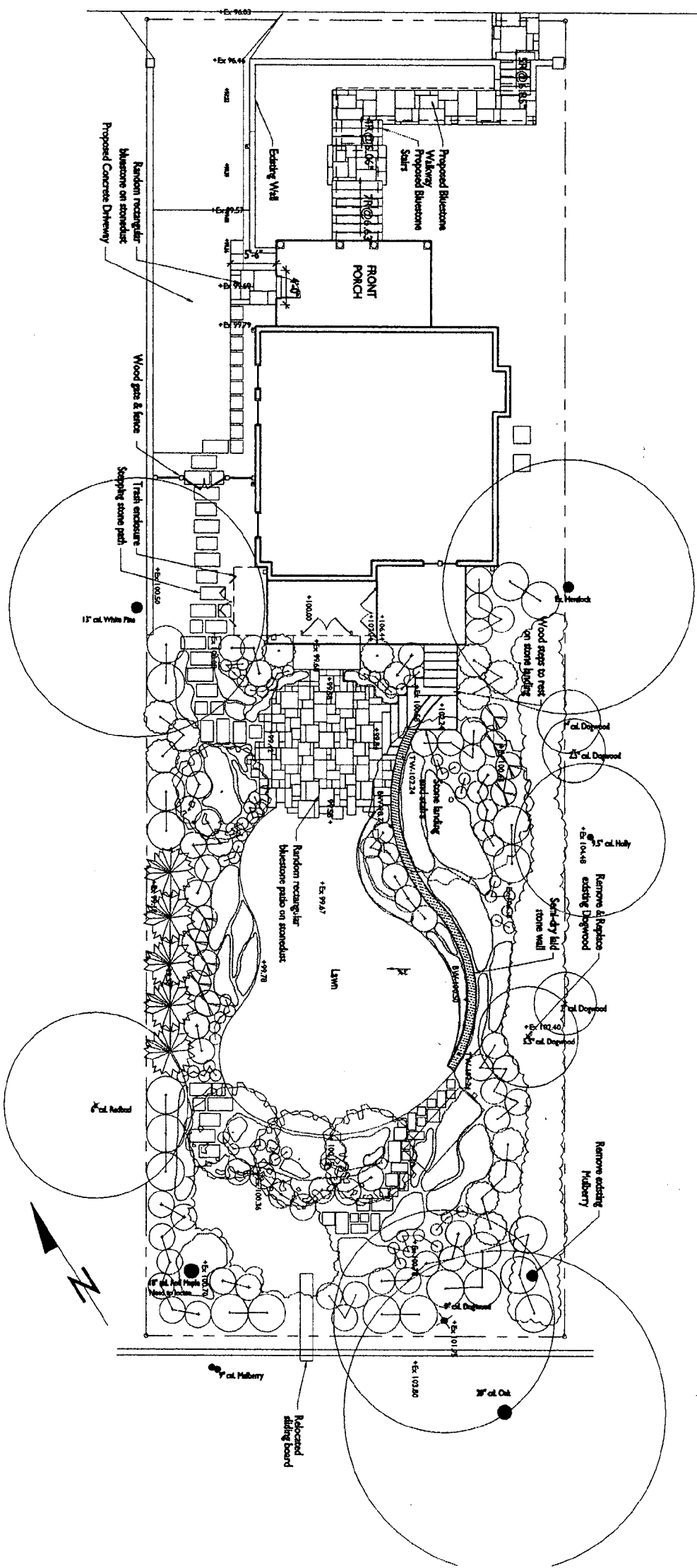
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