

37/03-06AA 7309 Willow Ave
Takoma Park Historic District, 37/03

[Redacted]



HISTORIC PRESERVATION COMMISSION

Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: 6/8/2006

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Anne Fothergill, Senior Planner *AF*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #421067, deck removal, new screened porch, window and siding replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the 6/7/2006 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED AND CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HISTORIC AREA WORK PERMIT (HAWP) CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER TOWN GOVERNMENT AGENCY BEFORE WORK CAN COMMENCE.

Applicant: Robert Guldin & Susan Strasser

Address: 7309 Willow Ave, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777.6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: SUSAN STRASSER
Daytime Phone No.: 301-437-5020

Received

MAY 15 2006

Tax Account No.: 1613 01069191
Name of Property Owner: ROBERT GULDIN / SUSAN STRASSER Daytime Phone No.: 301-437-5020
Address: 7309 WILLOW AVE. TAKOMA PARK, MD 20912
Street Number City Street Zip Code
Contractor: MASTERCRAFT DESIGN & BUILD Phone No.: 301-622-6779
Contractor Registration No.: MHC #27869
Agent for Owner: _____ Daytime Phone No.: _____

Dept. of Permitting Services

LOCATION OF BUILDING/PREMISE

House Number: 7309 Street WILLOW AVENUE
Town/City: TAKOMA PARK Nearest Cross Street: VALLEY VIEW
Lot: 1B Block: 8 Subdivision: LIPSCOMB & EARNEST, TRUSTEES' ADDITION TO TAKOMA PARK
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 28,200

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Susan Strasser Date: 5/15/06

Approved: _____ For Chairperson, Historic Preservation Commission AF

Disapproved: _____ Signature: Julia O'Malley Date: 6-8-06

Application/Permit No.: 4210676 Date Filed: 5-15-06 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Remove existing deck railings, trellis & deck boards. Install new 2x6 treated T&G flooring. Build new 10x19 screened porch on existing framing. Gable style roof w/2 skylights. Match shingles & gutters to existing. Ceiling to be vaulted.

Remove vinyl siding from back of house. Install 4 new double-hung wooden windows (wood int. & ext.). Apply stucco on back of house to match rest of house.

No historical significance to current vinyl siding, windows, or deck.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Screened porch built w/ treated lumber 10x19

Replace vinyl siding w/ stucco, upgrade windows (w/ grilles to match old ones)

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

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General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.

THIS INFORMATION IS TO BE PRINTED DIRECTLY INTO REMAINING LABELS



MASTERCRAFT DESIGN & BUILD INC.

12306 New Hampshire Avenue
Silver Spring, MD 20904
(301) 622-6779
MHIC #27869

May 12, 2006

Job Name: Customer Name; Bob Guldin & Susan Strasser

Scope of work: Description; Screen Porch 19'X10' New Stucco & (4) new windows

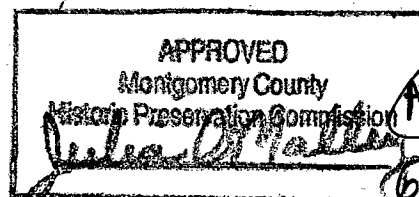
Work Description: Remove existing decking boards, railings & trellis. Remove existing vinyl siding. Install (4) new Wood windows & install new stucco on the back of the house to match the existing.

Build new screen porch on the existing framing. Install new 2x6 T&G decking boards. Build the new porch per plans with 4x4 support posts, standard 3' picket railing. Install (2) screen doors & Charcoal fiberglass screening on the new walls. Build the new roof (Gable) style with (2) skylights. Shingles & gutters to match the existing.

Porch floor, walls & railings to be built with treated Madison select wood material. Roof framing to standard pine with 1x6 T&G ceiling.

Porch includes misc. electric Fan, plugs & (4) recess lights

Mastercraft to obtain Montgomery County Building permit



A-1

Bluestone

Existing
Stucco

Shingled
Roof



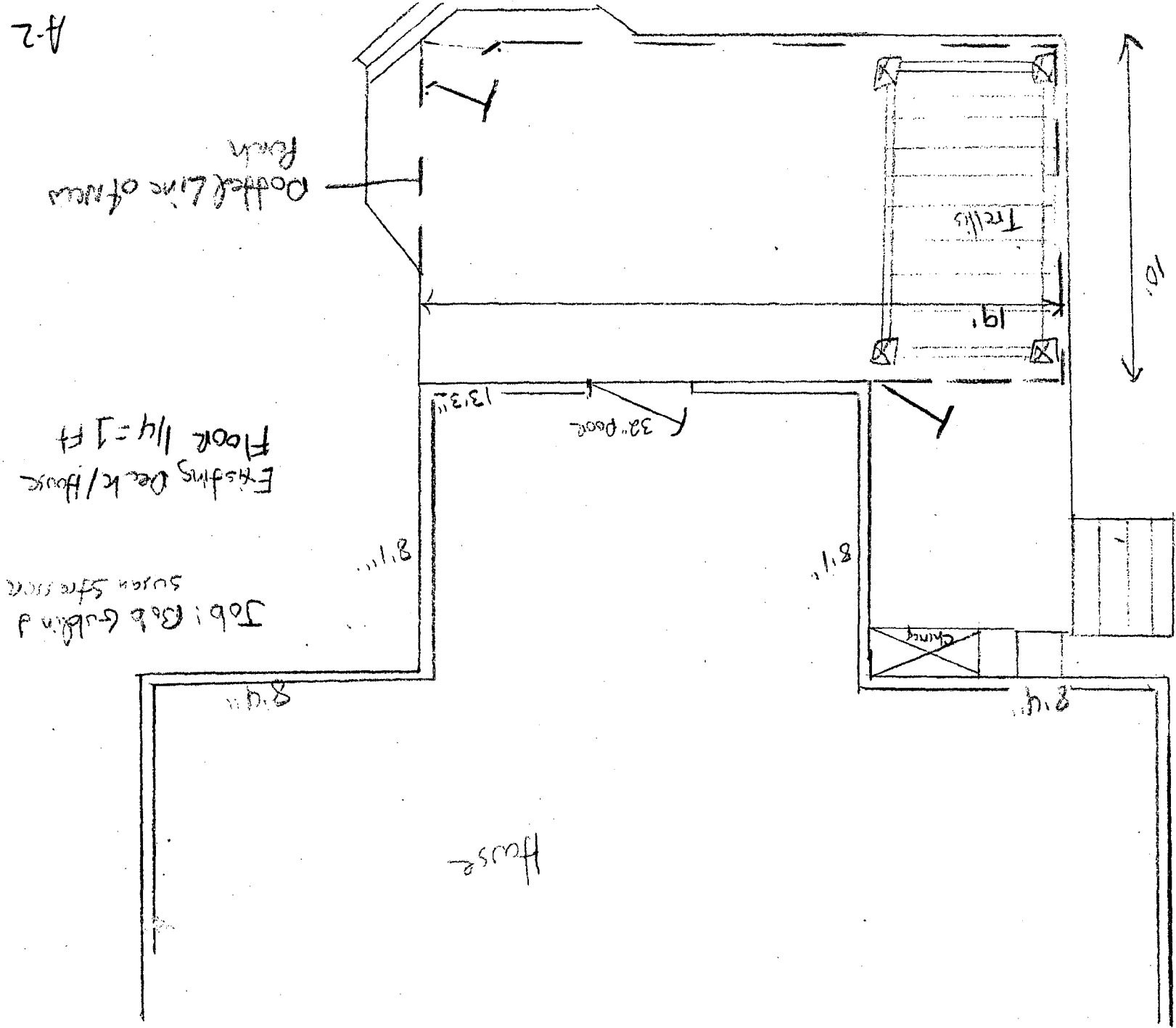
Deck area

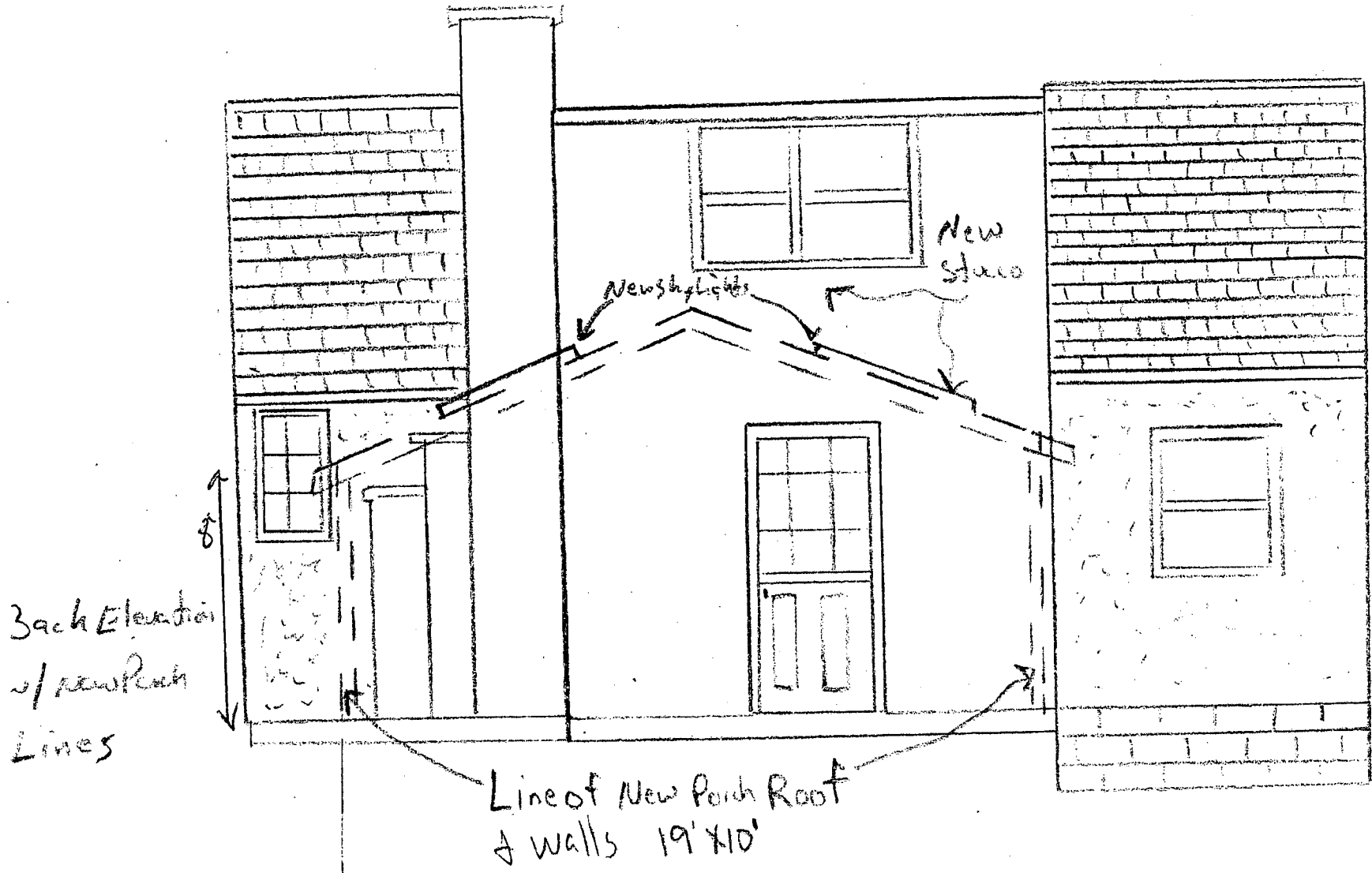
70 0

Flat Shingled Roof

Existing
Back Elevation
1/4" = 1'-0"

A-2



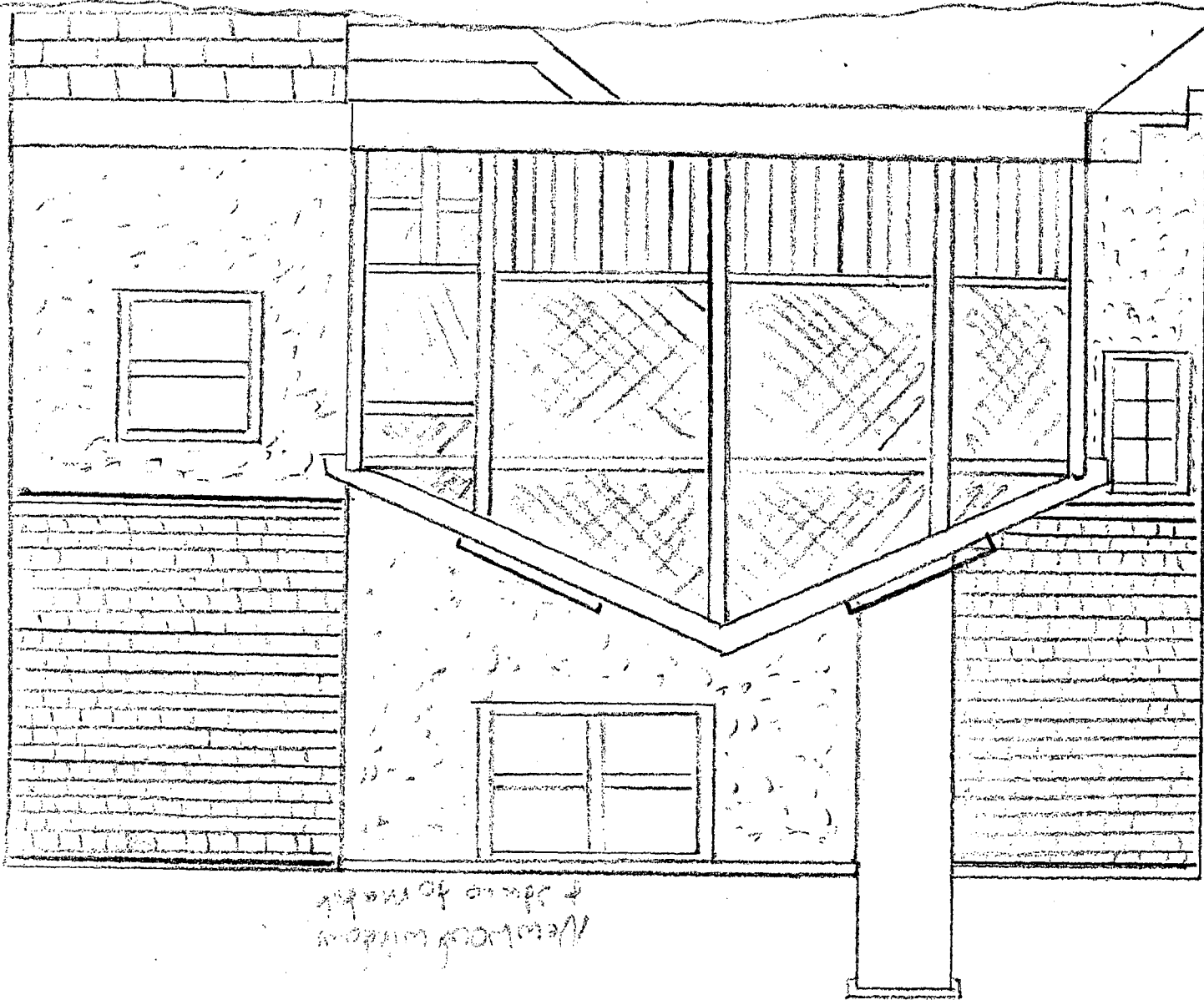


A-4

1/4 = 1 ft

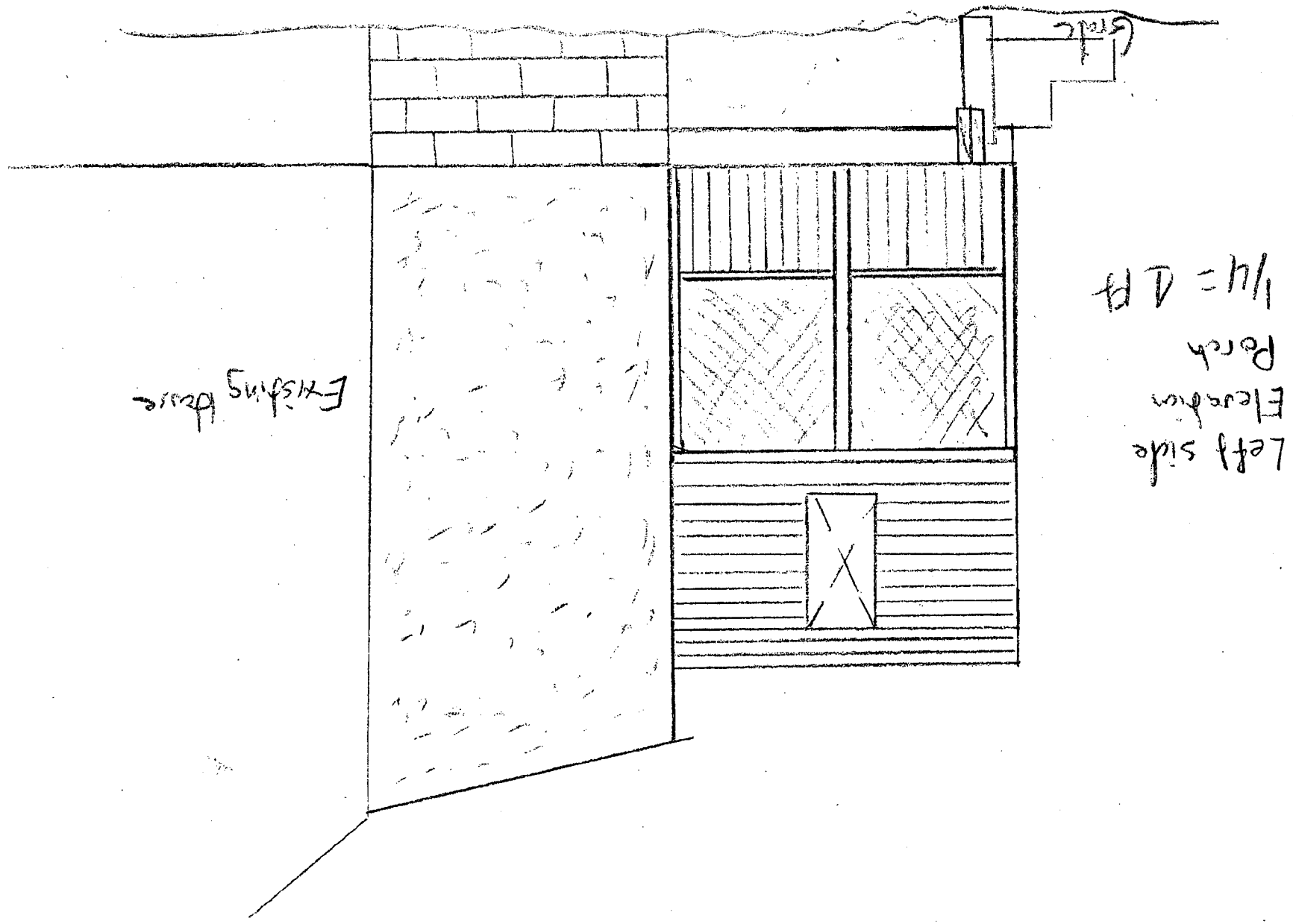
New Back Elevation w/ 19710
Screened Form

Grade



Vertical window
to show to market

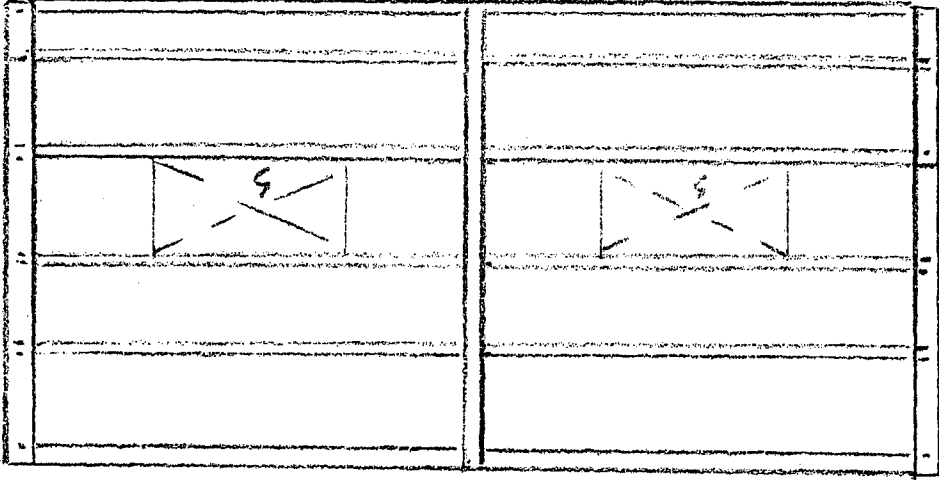
A-5



Existing House

Left side
Elevation
Porch
1/4" = 1 ft

A-6

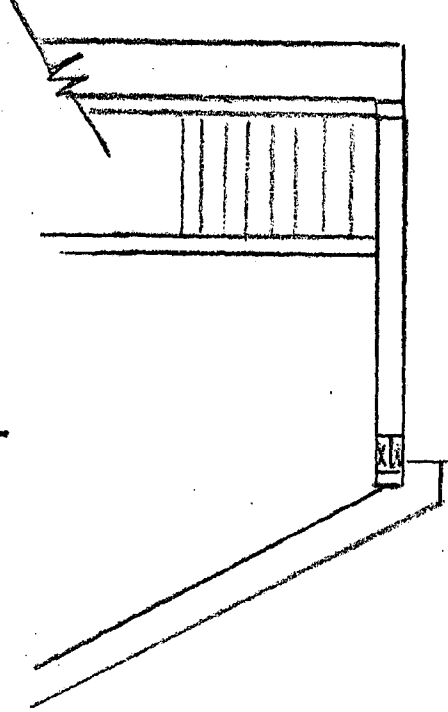


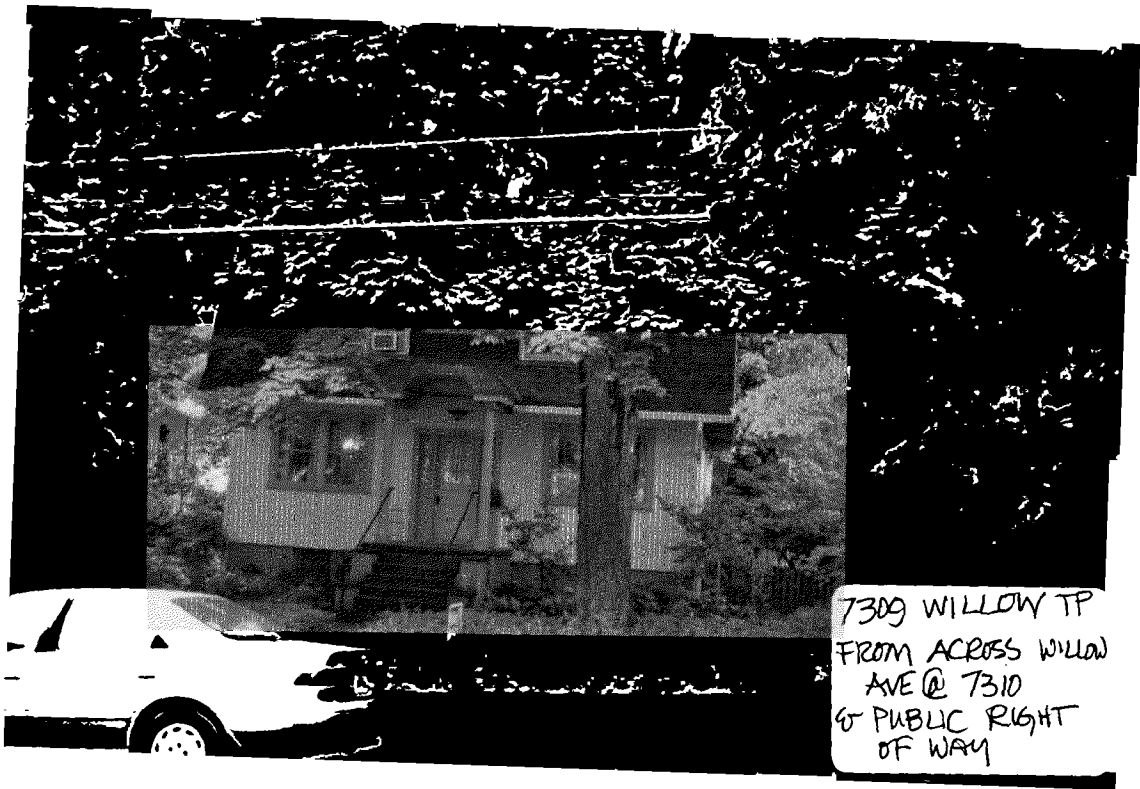
2x10 Ridge
 2x8 Rafters @ 2' o.c.
 1/2" Sheathing
 Shingles & Gables
 to match
 2x4 Collar ties

Roof Framing 1/4" = 1 ft

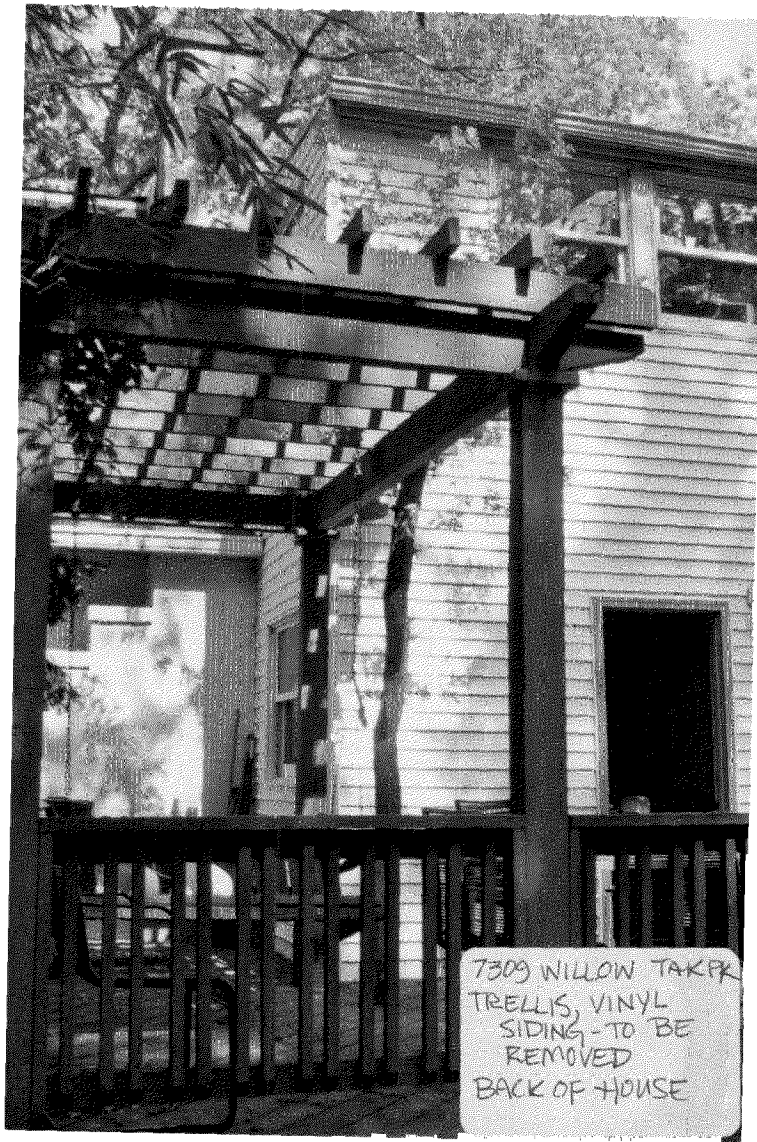
All wood treated Pine
 No. 1 Madison Select
 Interior Porch Ceiling 1x6 T&G
 Pine
 All Shingles & Gables to match Existing
 5/8" light Velux (Frame)

Wall Framing
 2x4 Top & Bottom Plates
 2x2x6 Headers
 4x4 support Post
 3" Standard Rigid Railings
 2x6 Decking
 2x8 Joists



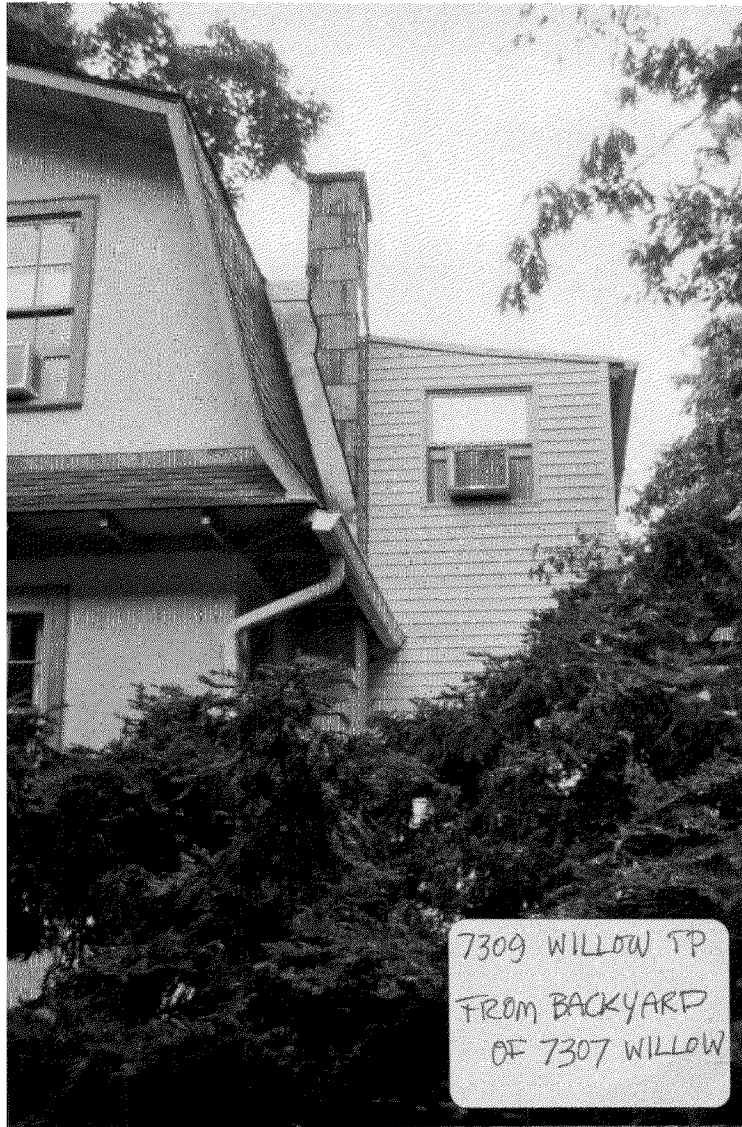


7309 WILLOW TP
FROM ACROSS WILLOW
AVE @ 7310
60 PUBLIC RIGHT
OF WAY





7309 WILLOW TP
FROM BACKYARD
OF 7307 WILLOW



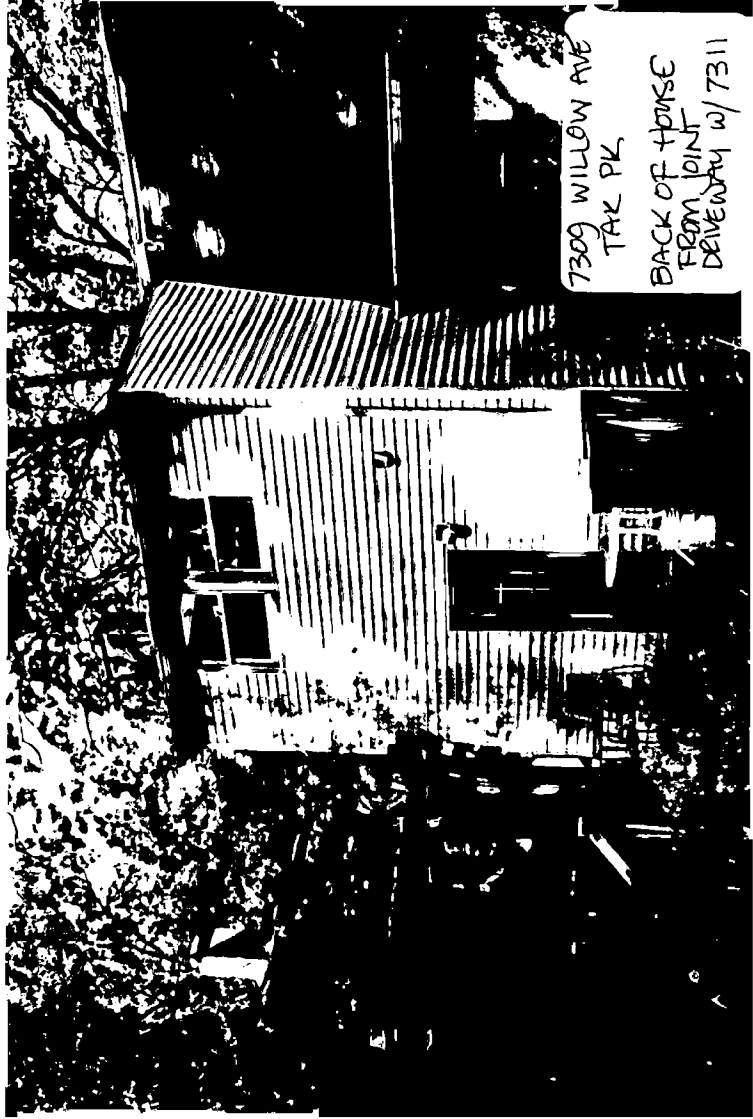
7309 WILLOW TP
FROM BACKYARD
OF 7307 WILLOW



7309 WILLOW TRAIL DR
VINYL SIDING, WIN-
DOWS, TRELLIS TO
BE REPLACED
SIDE FACING 7307



7309 WILLOW TALKER
FROM BACKYARD
OF 7311 WILLOW



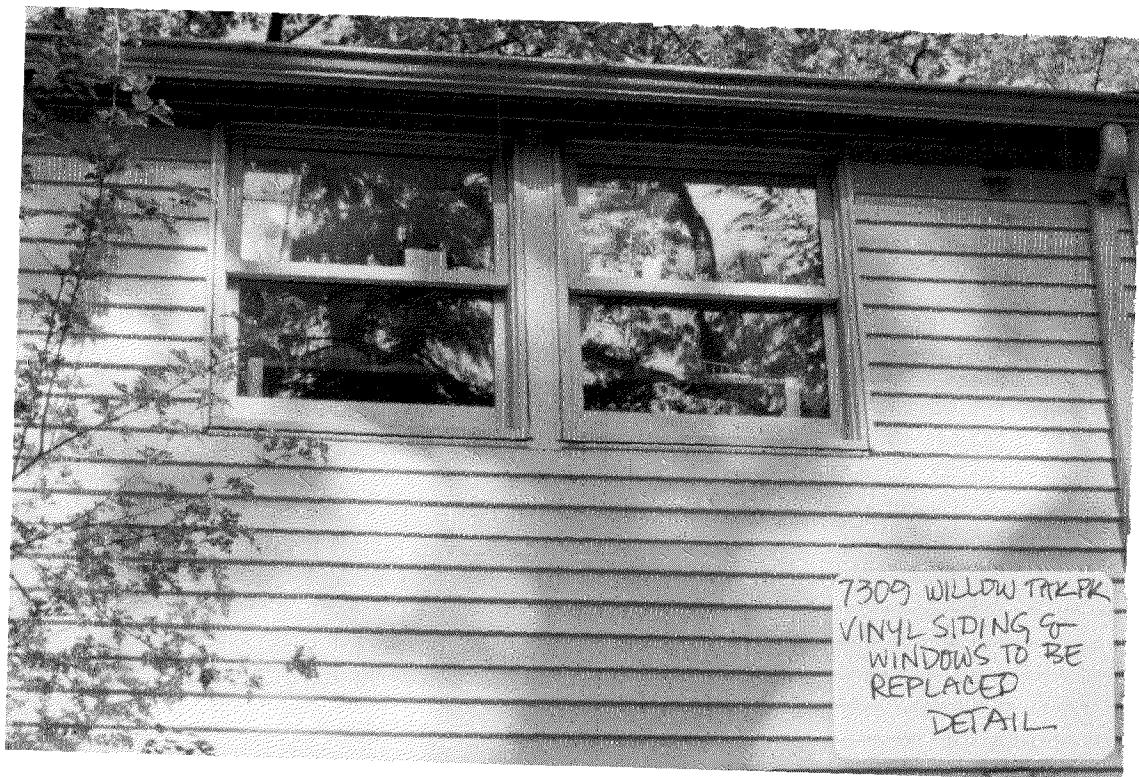
7309 WILLOW AVE

TAK PK

BACK OF HOUSE

FROM JOINT

DRIVEWAY w/7311



7309 WILLOW TRK PK
VINYL SIDING &
WINDOWS TO BE
REPLACED
DETAIL



7309 WILLOW TRL PR
CURRENT STUCCO,
SHINGLES, WINDOW
TO BE MATCHED
FROM JOINT DRIVE-
WAY W/ 7311



7309 WILLOW TRAIL
VINYL SIDING TO
BE REMOVED,
REPLACED W/ STUCCO
BACK OF HOUSE

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7309 Willow Avenue, Takoma Park	Meeting Date:	6/7/2006
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	5/31/2006
Applicant:	Robert Guldin and Susan Strasser	Public Notice:	5/24/2006
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-06AA	Staff:	Anne Fothergill

PROPOSAL: Deck removal, screened porch construction, and window and siding replacement

RECOMMENDATION: Approval

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Colonial Revival bungalow
DATE: 1923

PROPOSAL

The applicants are proposing to:

- Remove existing rear deck and trellis
- Construct 10' x 19' screened porch on existing deck framing. Screened porch will have a gable roof with two skylights and wood screen doors
- Remove existing vinyl siding from rear addition and replace with stucco
- Replace four existing metal windows in rear addition with double hung wood windows

See written description, plans, and photos in Circles _____.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District

According to the *Takoma Park Guidelines*, Contributing Resources in the Takoma Park Historic District are subject to a more lenient level of design review as "they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural character, rather than for their particular architectural features."

The *Guidelines* state that the following factors are to be considered in reviewing Contributing Resources:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

#9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

According to the *Takoma Park Guidelines*, Contributing Resources in the Takoma Park Historic District are subject to a more lenient level of design review as “they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural character, rather than for their particular architectural features”....and that...“all changes and additions should respect existing environmental settings, landscaping, and patterns of open space.”

The applicants are proposing alterations that are entirely at the rear of the house in a non-historic section of the house. The changes proposed in the rear addition—from vinyl siding to stucco and from metal windows to wood double-hung windows—are improvements and will make the addition more compatible with the historic house. The removal of the deck at the rear of the house and construction of a screened porch in the same location is an approvable change.

The proposed alterations do not adversely affect the resource, streetscape or historic district. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

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Contact Person: SUSAN STRASSER
Daytime Phone No.: 301-437-5020

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Contractor: MASTERCRAFT DESIGN & BUILD Phone No.: 301-622-6779
Contractor Registration No.: MHC #27869
Agent for Owner: _____ Daytime Phone No.: _____

MAY 15 2006

Dept. of Permitting Services

LOCATION OF BUILDING/PREMISE

House Number: 7309 Street: WILLOW AVENUE
Town/City: TAKOMA PARK Nearest Cross Street: VALLEY VIEW
Lot: 1B Block: 8 Subdivision: LIPSCOMB & EARNEST, TRUSTEES' ADDITION TO TAKOMA PARK
Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:
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 1B. Construction cost estimate: \$ 28,200
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3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Susan Strasser 5/15/06
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: _____ Date: _____
 Application/Permit No.: 421067 Date Filed: 5-15-06 Date Issued: _____

Edit 6/21/99 **SEE REVERSE SIDE FOR INSTRUCTIONS**

(4)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
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No historical significance to current vinyl siding, windows, or deck

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

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PHOTOGRAPHS SHOULD BE PLACED DIRECTLY ONTO SEALING LABELS

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

SUSAN STRASSER
ROBERT GULDIN
7309 WILLOW AVE.
TAKOMA PARK, MD. 20912

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses

FRED PINKNEY
PAMELA SUMMERS
7307 WILLOW AVE
TAKOMA PARK, MD 20912

NANCY BOOCKER
7311 WILLOW AVE.
TAKOMA PARK, MD. 20912

MICHAEL RICHMAN
7310 WILLOW AVE.
TAKOMA PARK, MD 20912

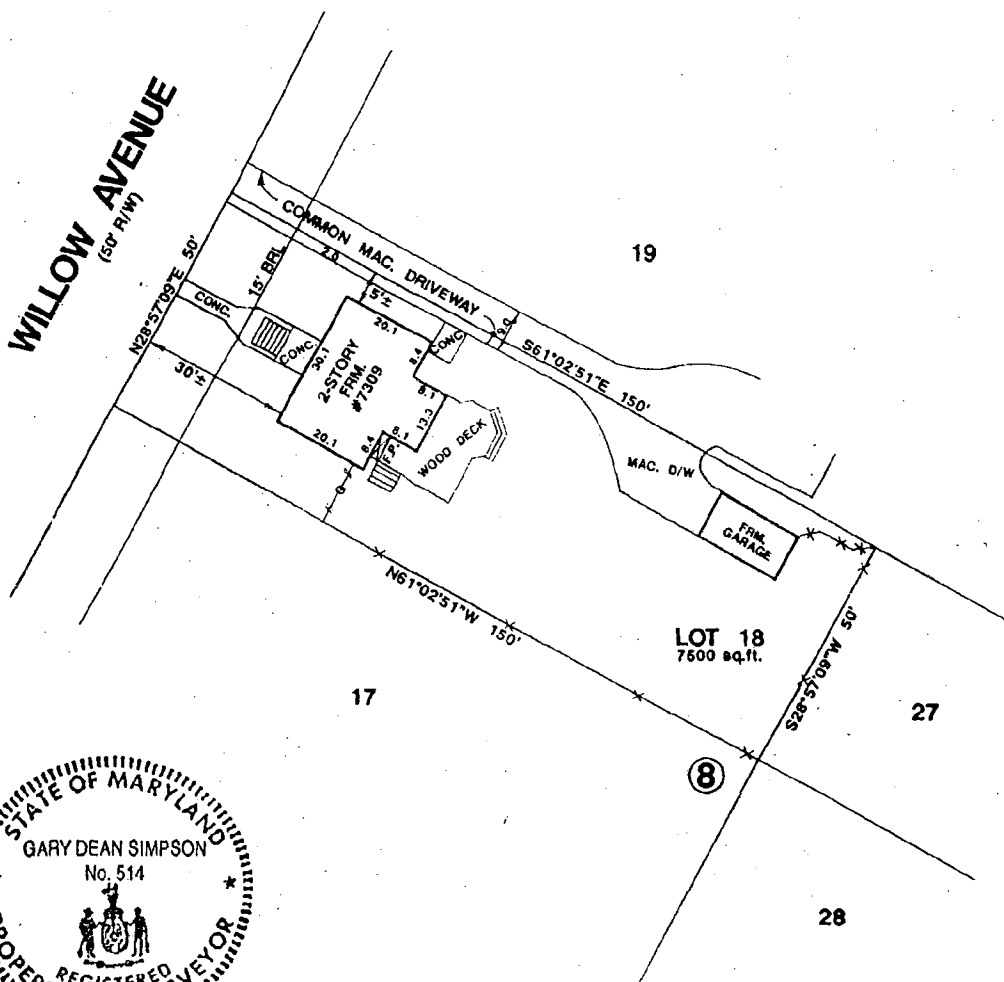
ROGER NAYLOR
7230 SPRUCE
TAKOMA PARK, MD 20912

HOUSE LOCATION

LIPSCOMB AND EARNEST, TRUSTEES'
ADDITION TO TAKOMA PARK

LOT 18 BLOCK 8
MONTGOMERY COUNTY, MARYLAND


SITE PLAN: NO ALTERATION TO CURRENT FOOTPRINT



THE PROPERTY SHOWN HEREON IS LOCATED IN ZONE C (AREA OF MINIMAL FLOODING)
ACCORDING TO NATIONAL FLOOD INSURANCE PROGRAM F.I.R.M. MAP COMMUNITY
PANEL NO. 240048 0200 B AS REVISED 87-62-1879

PROPERTY ADDRESS: 7309 WILLOW AVENUE

(ZONE: R-60)

CERTIFICATE I HEREBY DECLARE THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN ESTABLISHED BY PROPER FIELD METHODS.	REFERENCES PLAT BK. 1 PLAT NO. 46	 CENTRAL MARYLAND SURVEYORS 3403 Nottingham Court (301) 249-3126 Bowie, MD 20716
	LIBER FOLIO	

- 1) This location for title purposes only, no title report furnished, not to be used for determining property lines, building fences or other improvements
- 2) Property corner markers NOT found, or guaranteed by this location.
- 3) B.R.L. Information, if shown was obtained from existing record plat or local agencies and is not guaranteed by CMS, INC
- 4) Building line and/or Flood Zone Information is subject to the interpretation of the originator
- 5) CMS, INC. does not certify to unshown or unrecorded encroachments or overlaps

7