

37/03-06B 7710 Takoma Ave
Takoma Park Historic District 37/03

acc. to Daryl
free permit
issued
march
2006

Approved

STAFF ITEM

STAFF MEMBER: LISA MROSZCZYK

SUBJECT: Revision to approved HAWP (Case 37/03-06B) for a two story rear addition at 7710 Takoma Avenue, Takoma Park, a Contributing Resource within the Takoma Park Historic District

DATE: May 18, 2010

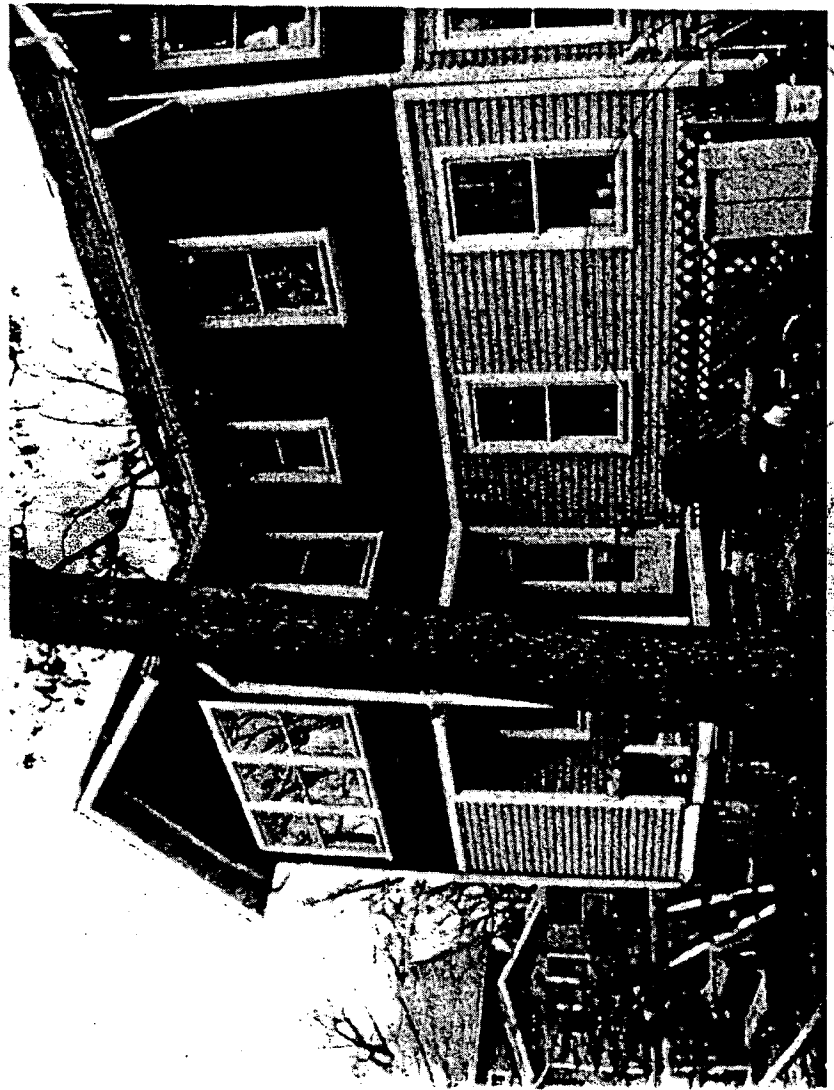
BACKGROUND: On January 25, 2006, the HPC reviewed and approved the construction of a two story rear addition. Approved materials included wood tongue and groove vertical siding, wood casement windows with simulated divided lights, brick foundation, asphalt shingle roof, wood inset picket railing, wood French doors, wood tongue and groove flooring on the new porch and wood steps to grade.

REVISED PROPOSAL: The applicant is requesting approval to replace a lattice enclosure around existing below grade basement steps with a wood inset picket railing to match the existing railing.

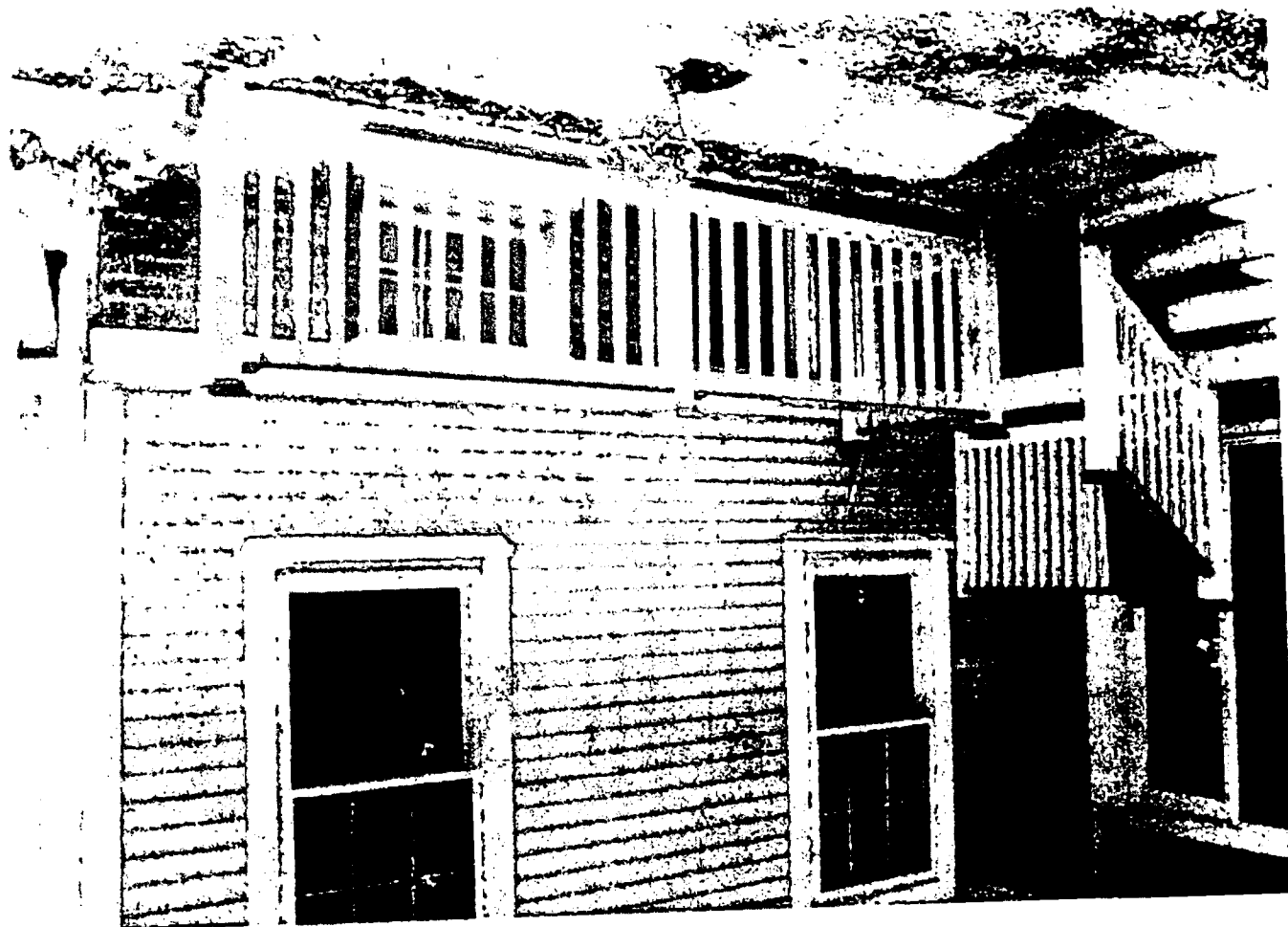
STAFF RECOMMENDATION: Staff is recommending that the HPC approve the revised proposal.

HPC DECISION:

[Faint, illegible text, possibly a stamp or signature area]



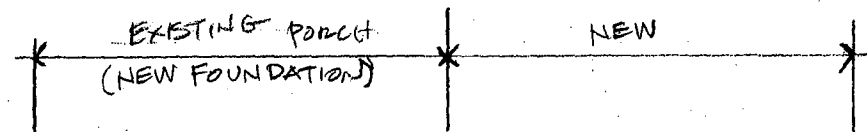
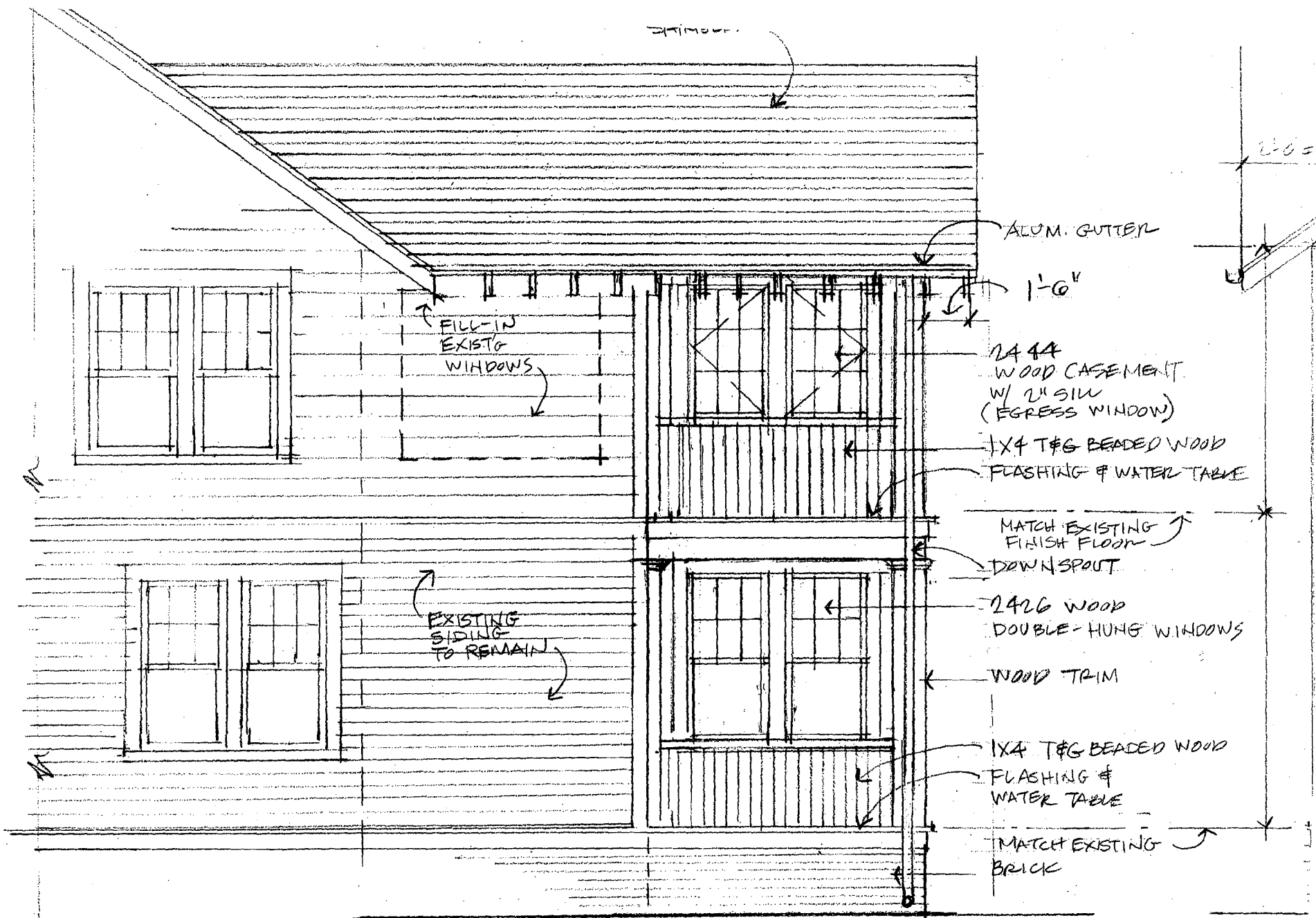
10/11/08
10/11/08
10/11/08



HPC said can be approved at staff level

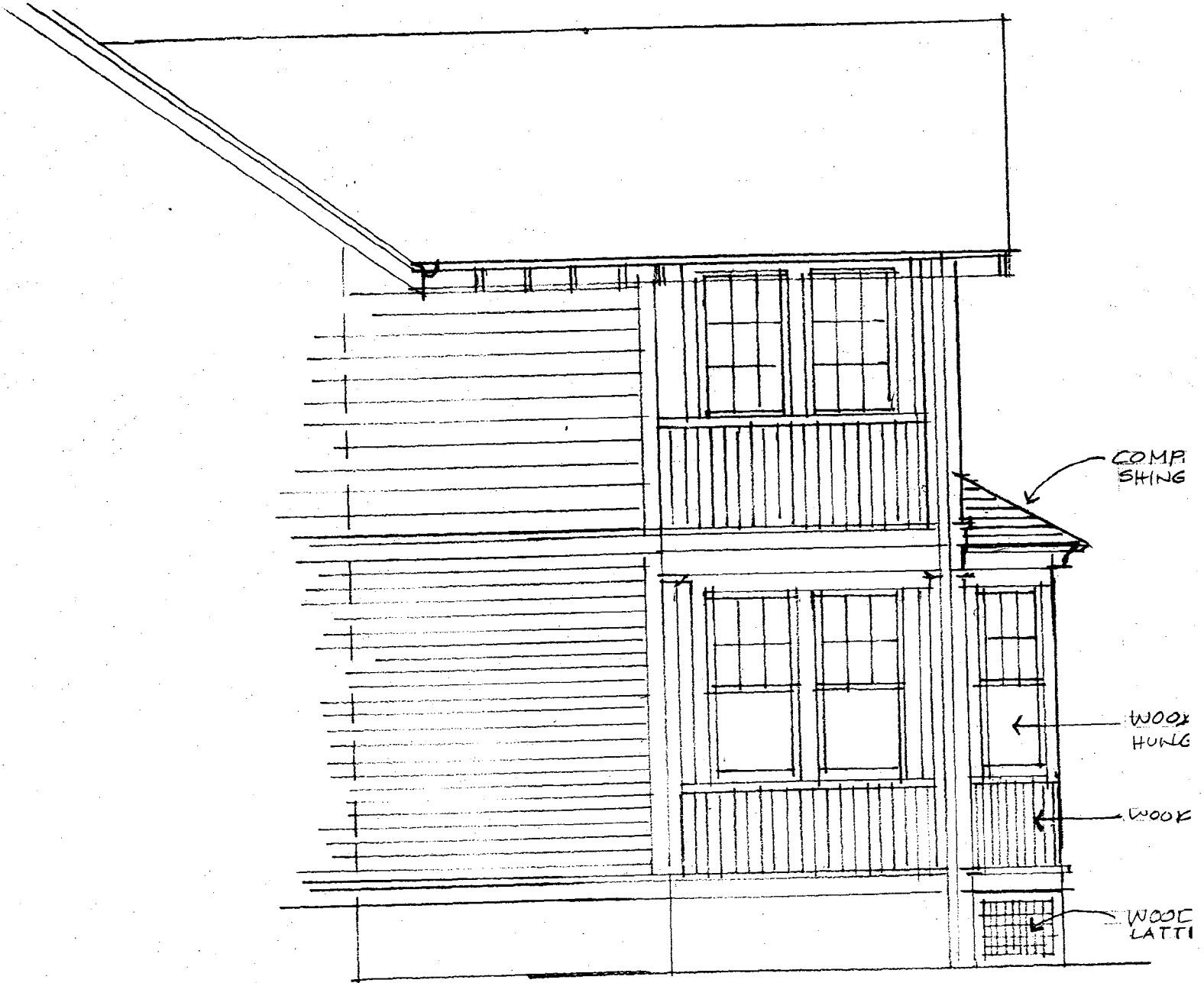
staff item
\$700 Takoma
Contributing Res.





MPC APPROVED

RIGHT SIDE ELEVATION



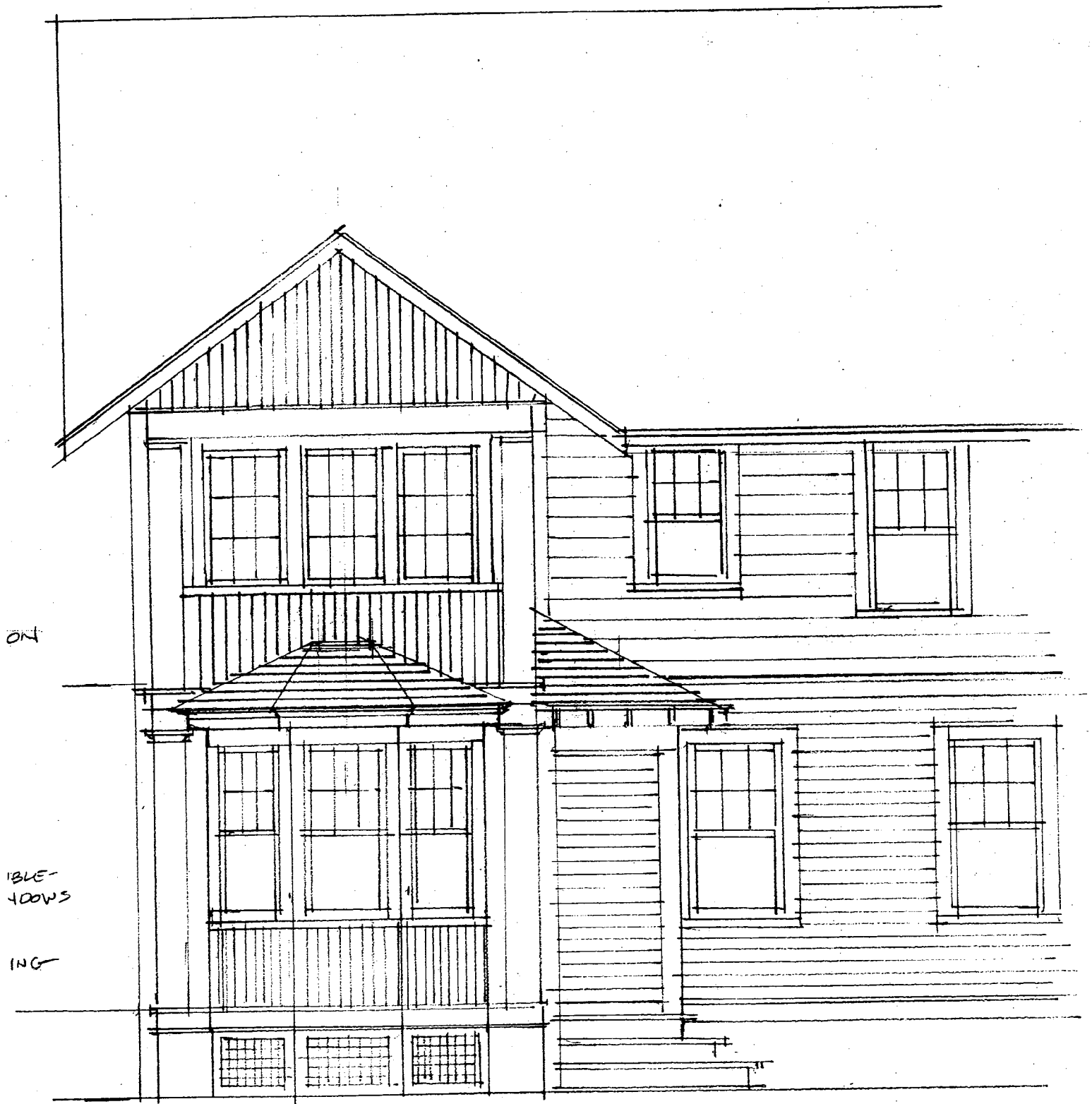
SIDE ELEVATION (PROPOSED)

REAR ELEVATION

HPC approved

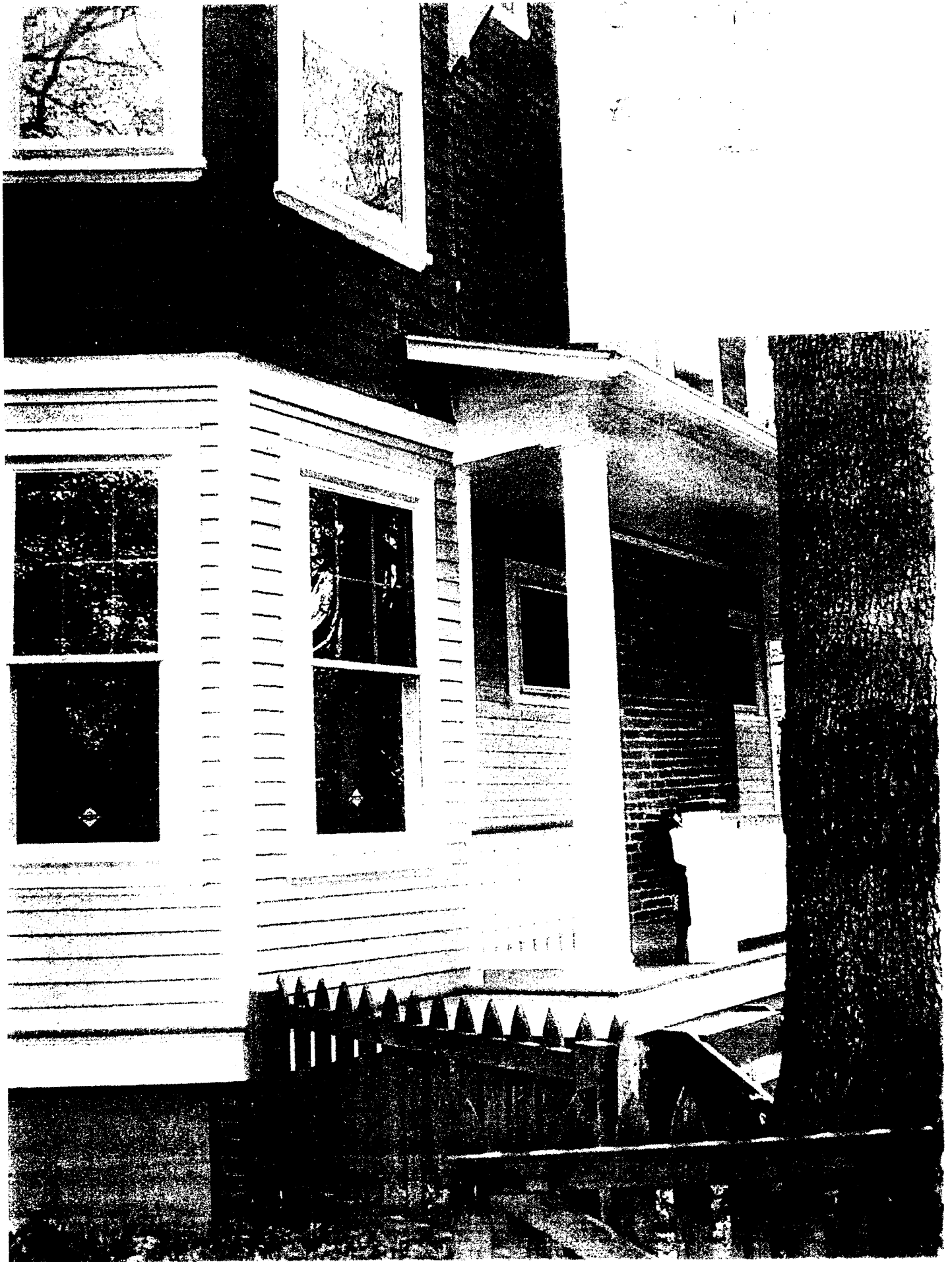


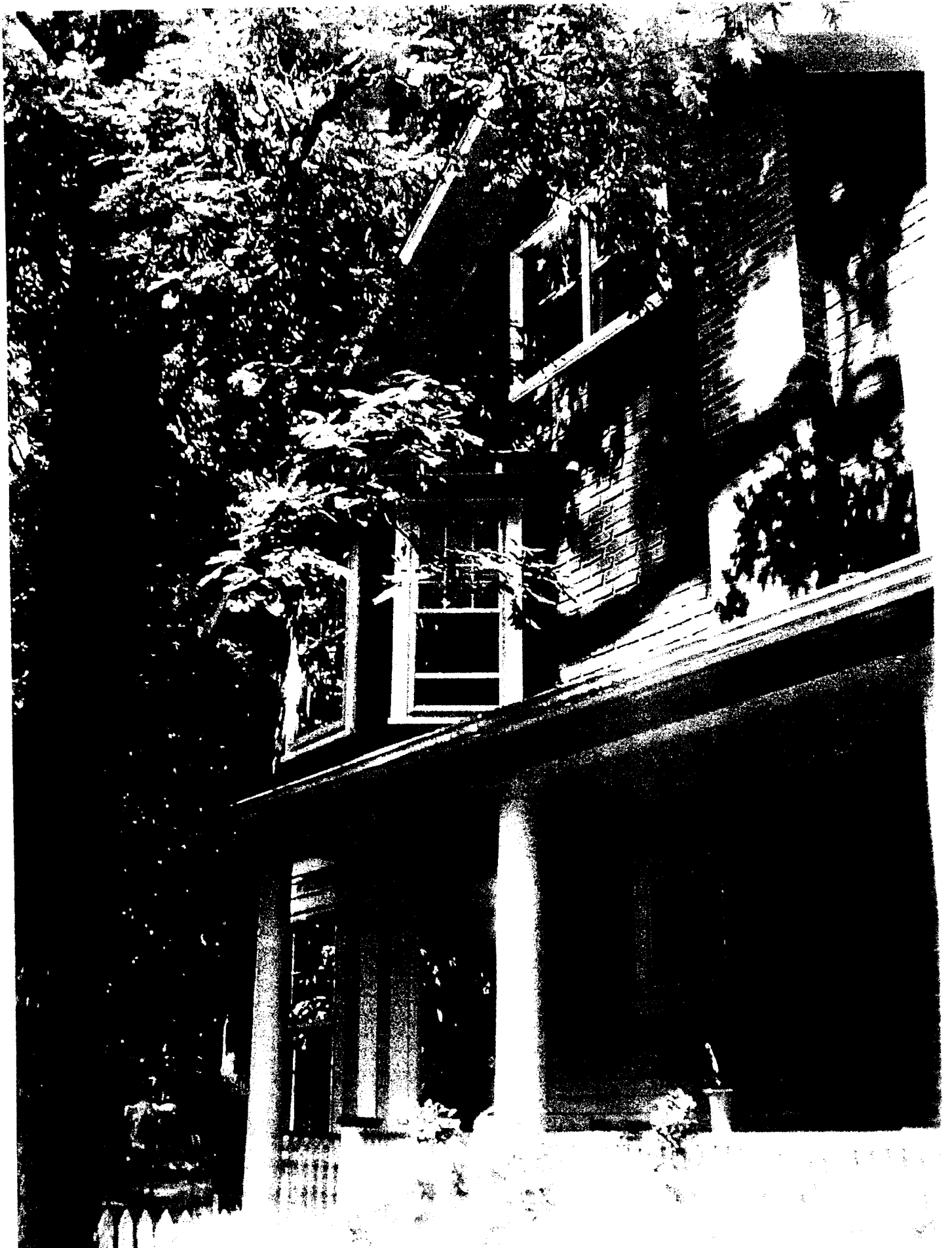
FOT

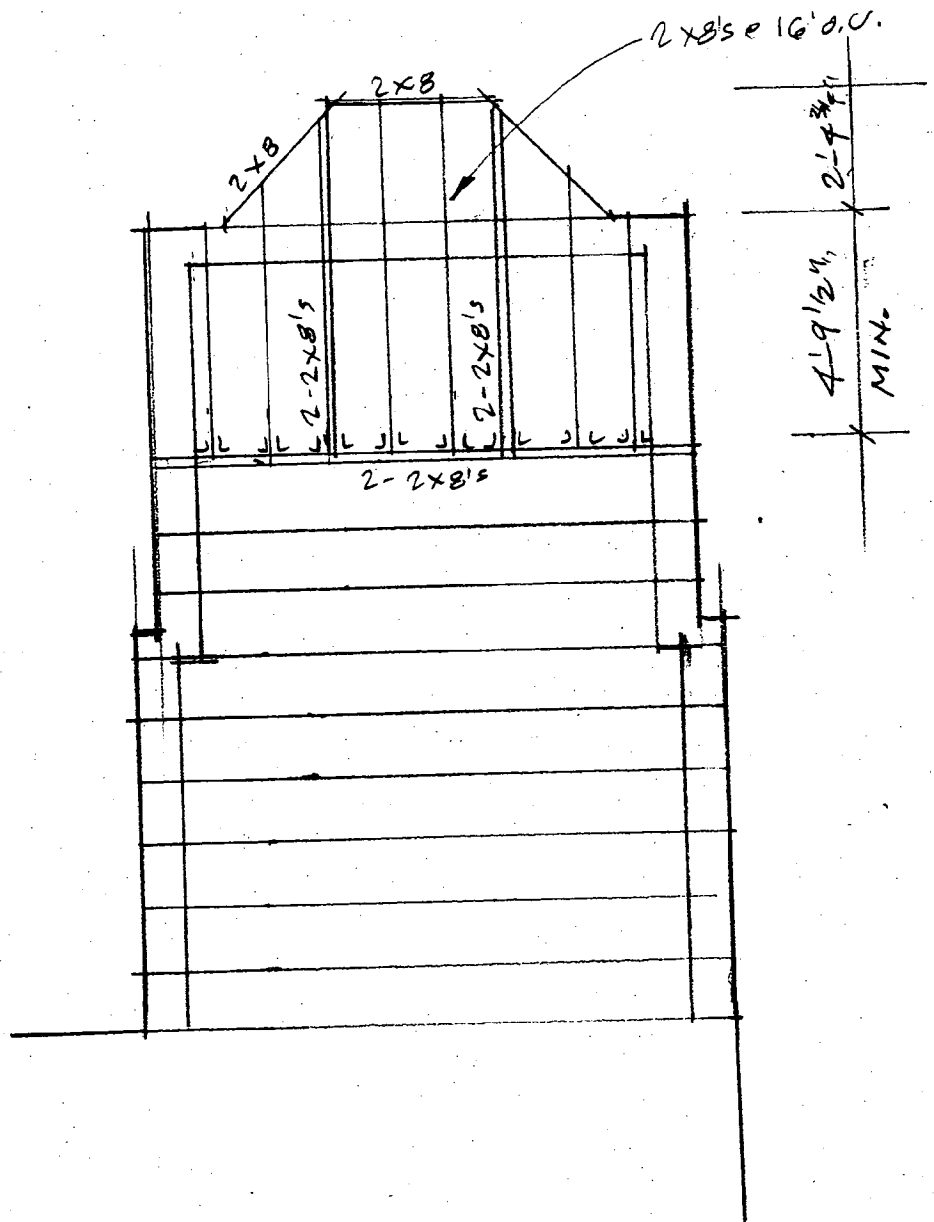


REAR ELEVATION (PROPOSED)

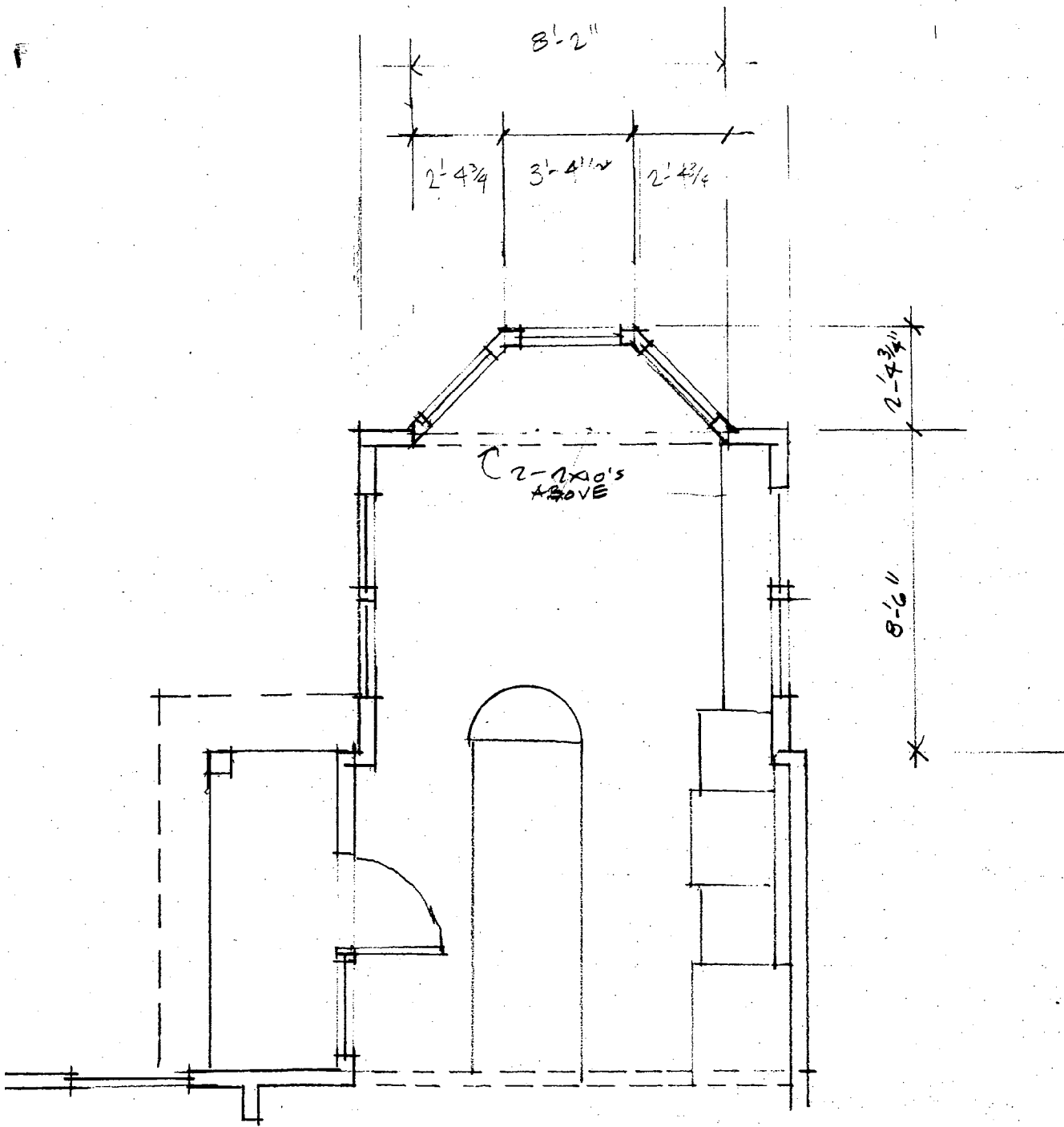
SCALE: 1/4" = 1'-0"







PROPOSED
 REVISED
 FRAMING PLAN

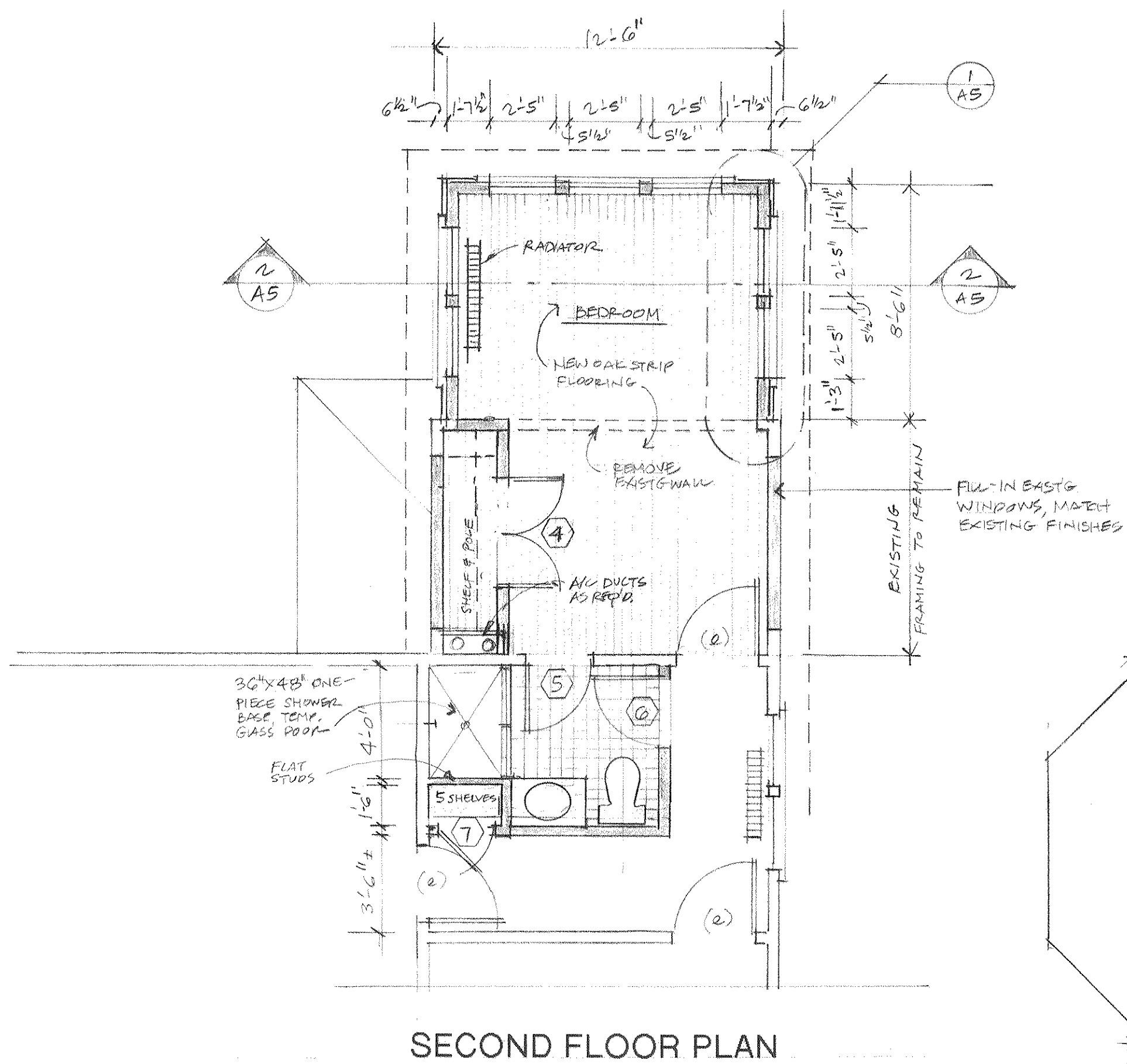


PROPOSED
REVISED
FLOOR PLAN

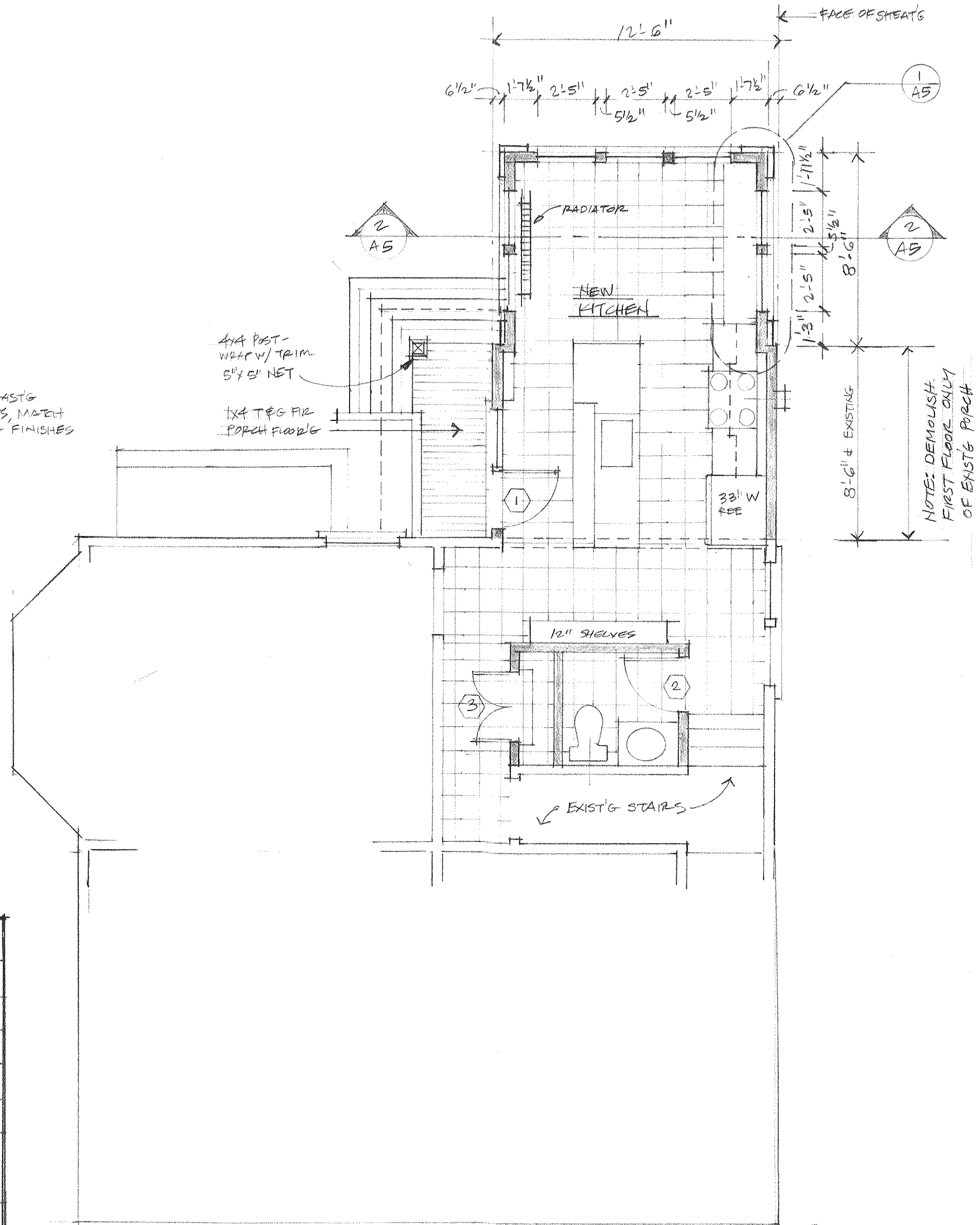
SIMILAR
BAY ON
EXISTING
HOUSE







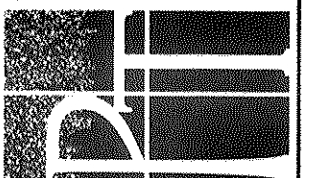
SECOND FLOOR PLAN



FIRST FLOOR PLAN

DOOR SCHEDULE

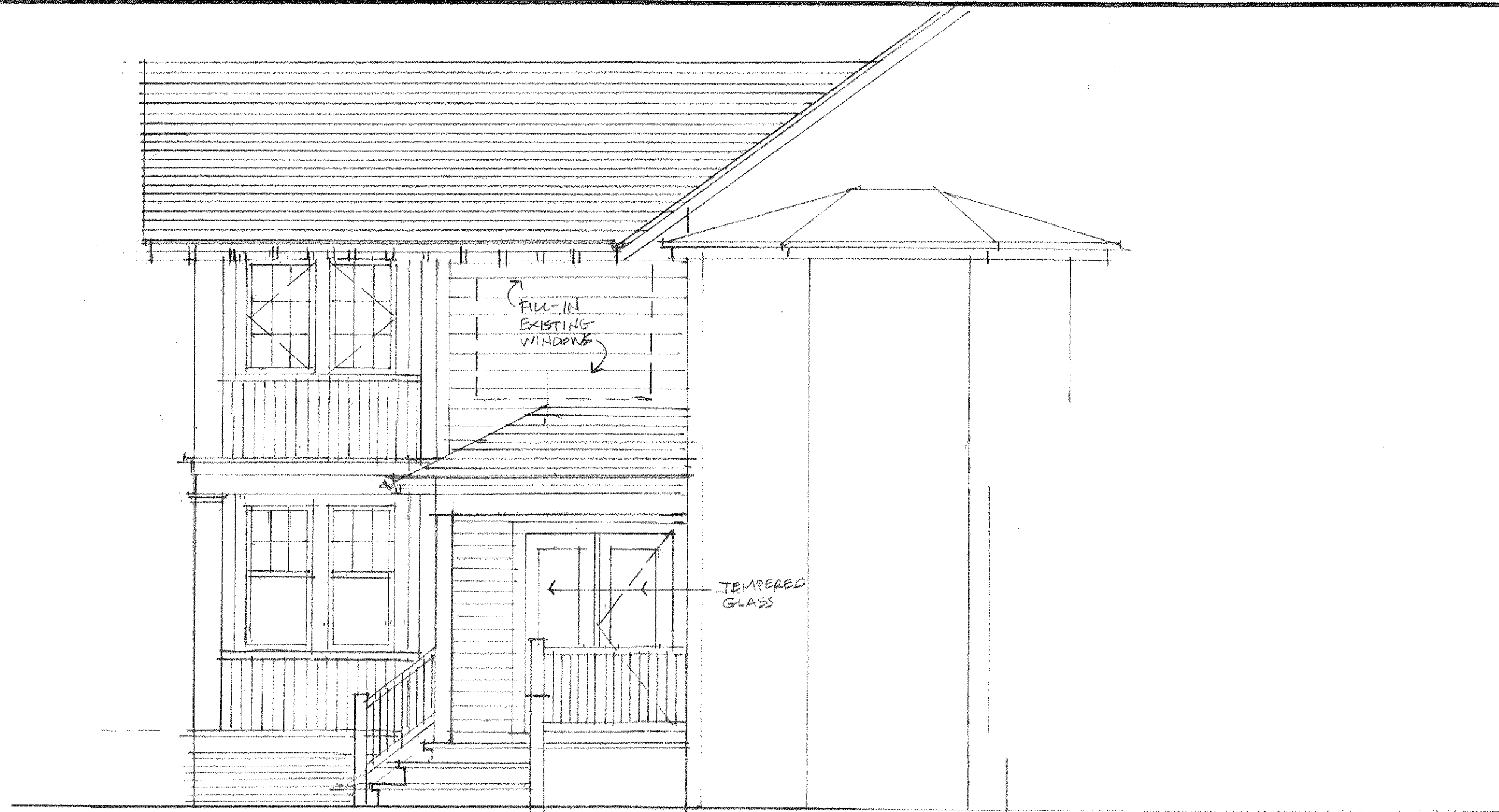
NO	SIZE	TYPE	NOTE
1	5'-4" x 6'-10" x 1 3/4"	FULL INSUL. TEMP. GLASS	BY "WEATHER-SHIELD" W/ HARDWARE
2	2'-4" x 6'-8" x 1 3/8"	5 PANEL WOOD	TO MATCH EXIST'G DOORS STAIN GRADE
3	3'-0" x 6'-8" x 1 3/8"	FULL LOUVER PINE, PAIR	PAINT GRADE, NO BORE
4	4'-0" x 6'-8" x 1 3/8"	FULL LOUVER PINE, PAIR	PAINT GRADE, NO BORE
5	2'-4" x 6'-8" x 1 3/8"	5 PANEL WOOD	TO MATCH EXISTING DOORS, STAIN GRADE
6	2'-6" x 6'-8" x 1 3/8"	5 PANEL WOOD	" " " "
7	2'-0" x 6'-8" x 1 3/8"	5 PANEL WOOD	" " " "



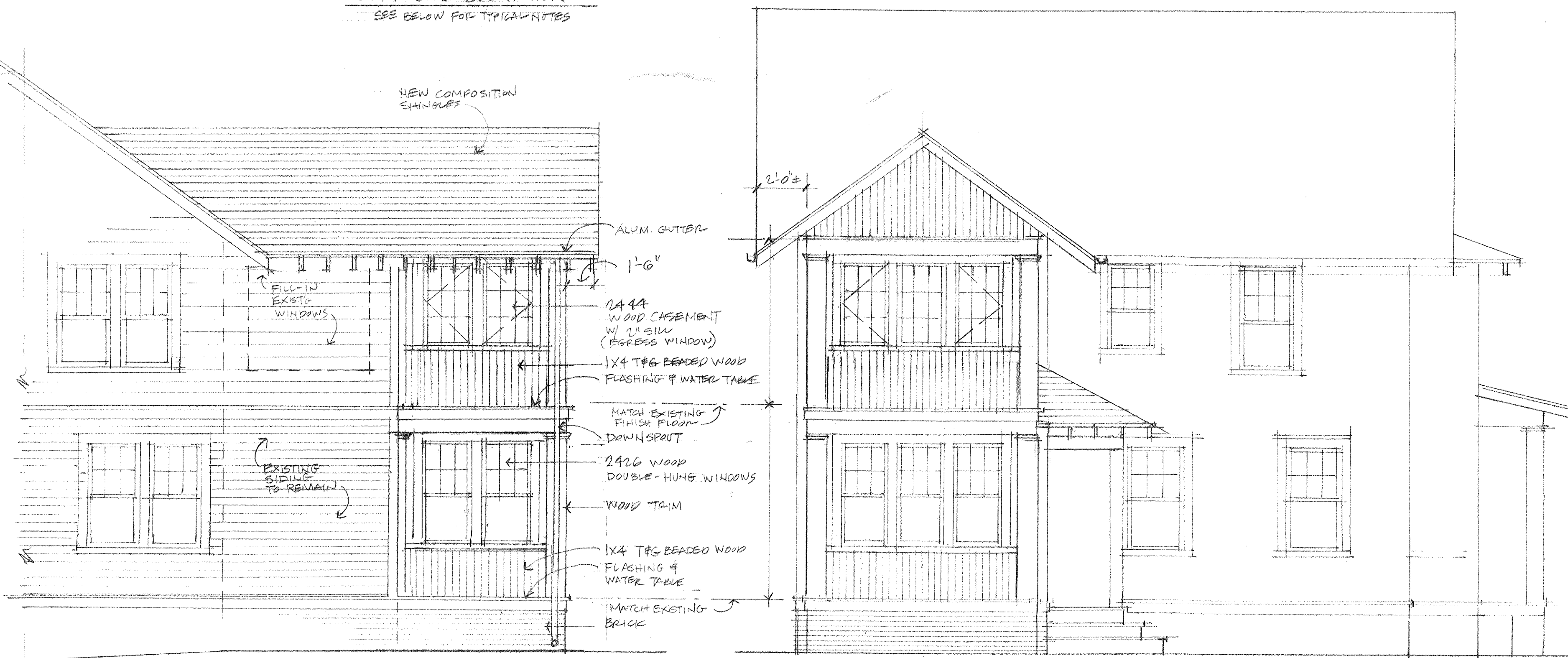
6320 Miscasset Road
Bethesda, MD 20816
301-320-1580
Fax - 301-320-1581
Paul.Treseder@verizon.net

Paul Treseder
Architect AIA

Date 8.14.06
Scale 1/4" = 1'-0"
Drawn
Job CHAWKA
Sheet 2
Of Six Sheets

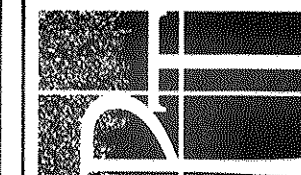


LEFT SIDE ELEVATION
SEE BELOW FOR TYPICAL NOTES



RIGHT SIDE ELEVATION

REAR ELEVATION



6320 Wisconsin Road
Bethesda, MD 20816
301-320-1580
Fax— 301-320-1581
Paul.Treseder@verizon.net

Paul Treseder
Architect AIA

Date 8.14.06

Scale 1/4" = 1'-0"

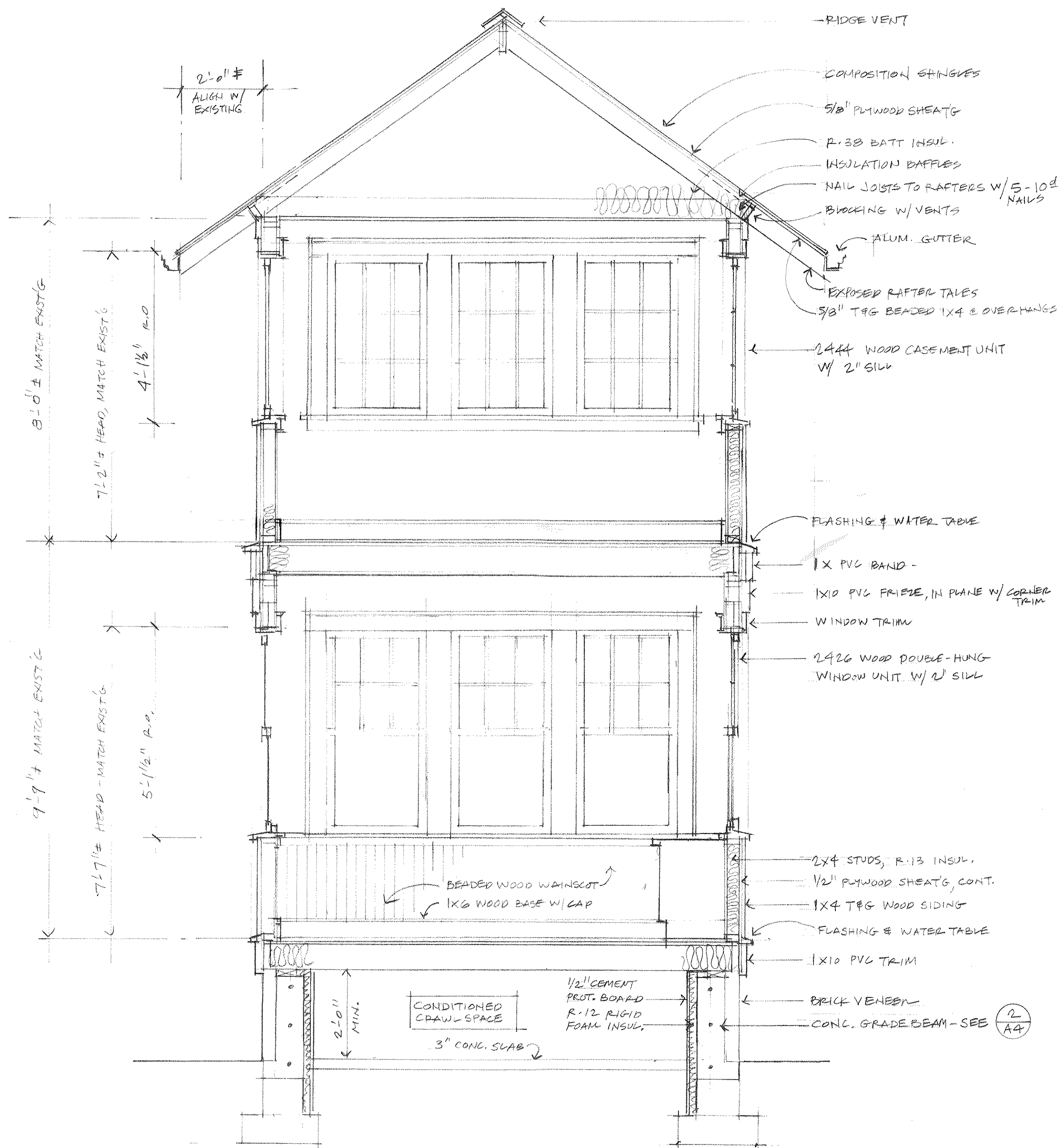
Drawn

Job CHAWLA

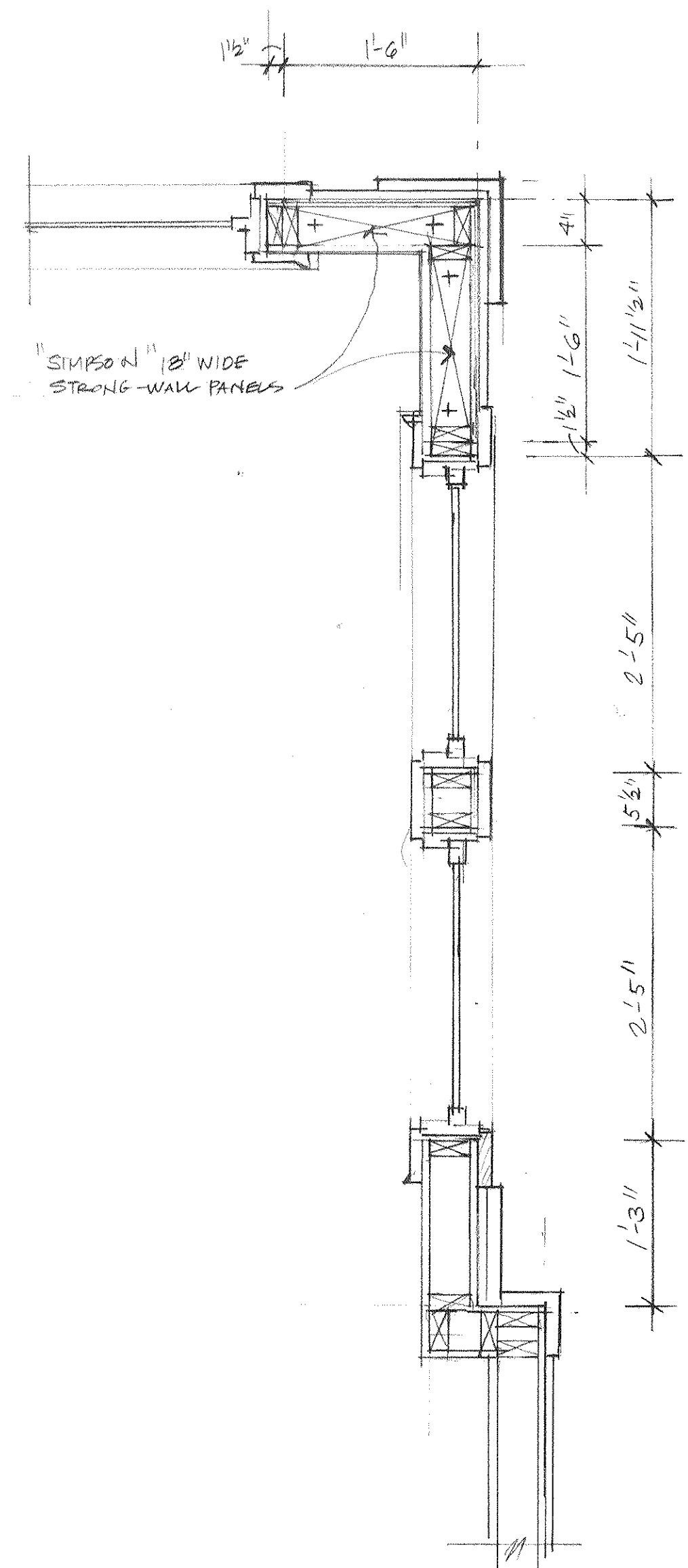
Sheet



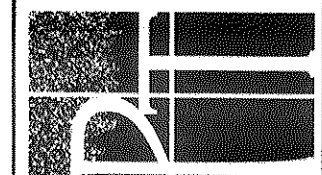
Of SIX Sheets



CROSS SECTION
SCALE: 1/2" = 1'-0" (2/AS)



PLAN DETAIL OF WALL CORNER
SCALE: 1" = 1'-0" (1/AS)



6320 Wiscasset Road
Bethesda, MD 20816
301-320-1580
301-320-1581
Paul.Treseder@verizon.net

Paul Treseder
Architect AIA

Date 3-4-06

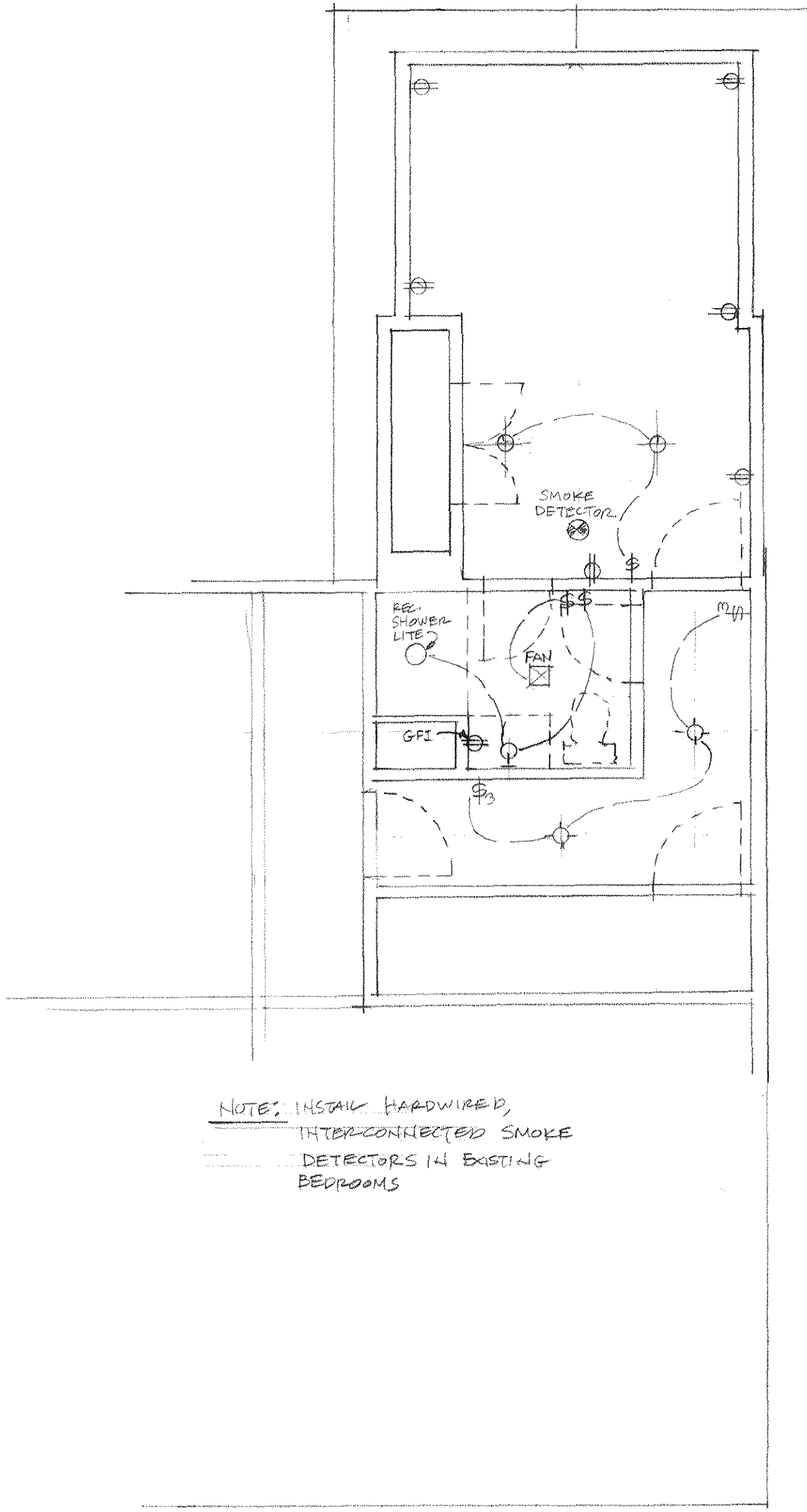
Scale 1" = 1'-0"

Drawn

Job CHAWWA

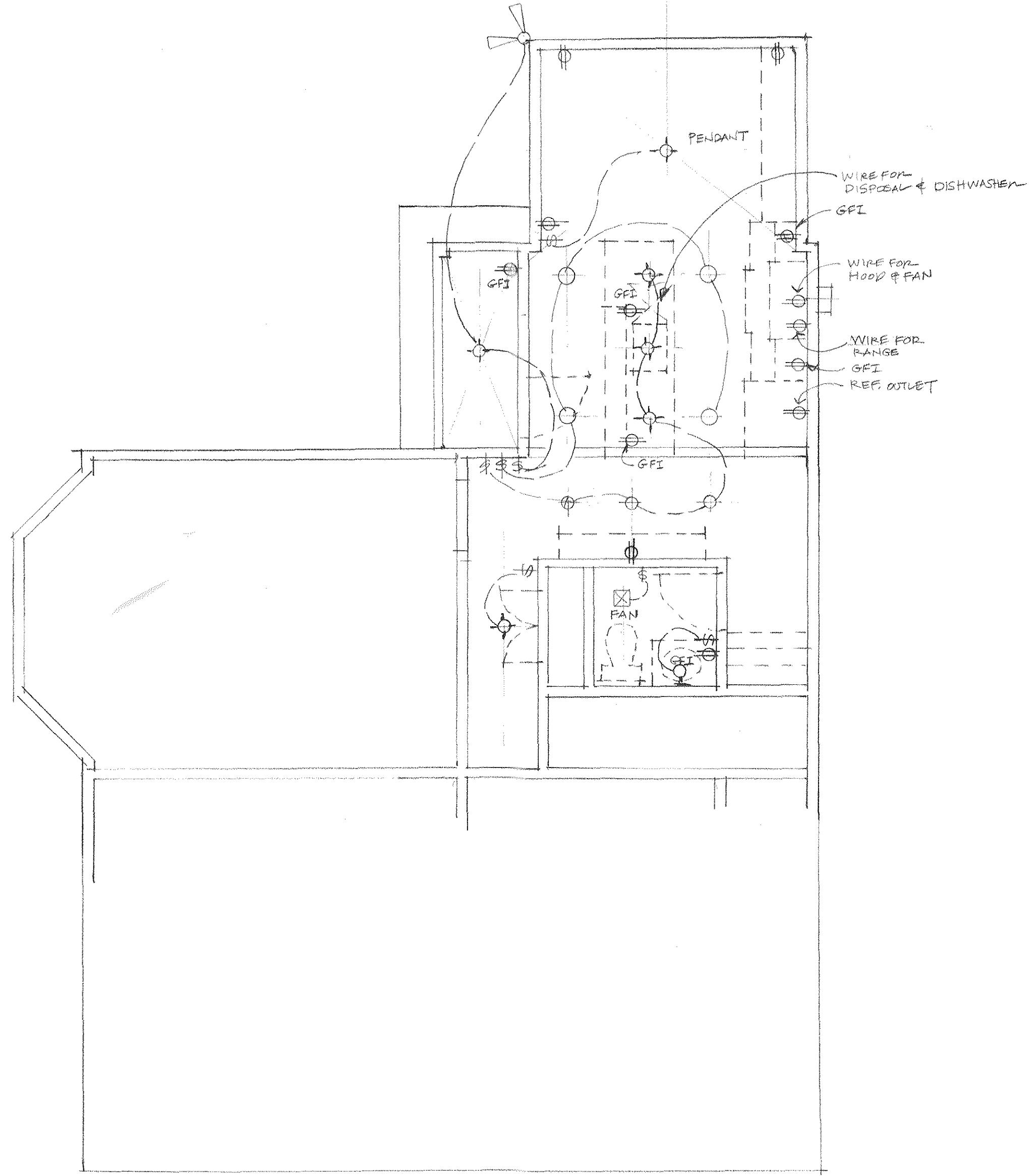
Sheet

Of six Sheets

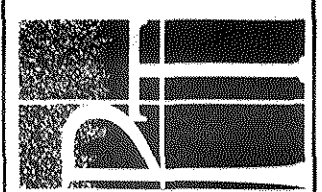


NOTES: INSTALL HARDWIRED,
INTERCONNECTED SMOKE
DETECTORS IN EXISTING
BEDROOMS

SECOND FLOOR ELECTRICAL PLAN



FIRST FLOOR ELECTRICAL PLAN



6320 Wisconsin Road
Bethesda, MD 20816
301-320-1580
Fax - 301-320-1581
Paul.Treseder@verizon.net

Paul Treseder
Architect AIA

Date 8.14.06

Scale

Drawn

Job CHAWLA

Sheet
Of Six Sheets





HISTORIC PRESERVATION COMMISSION


Douglas M. Duncan
County Executive

Julia O'Malley
Chairperson

Date: 1/26/2006

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Anne Fothergill, Senior Planner 
Historic Preservation Section

SUBJECT: Historic Area Work Permit #407977, Rear Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions** at the 1/25/2006 meeting.

1. The applicant must comply with City of Takoma Park arborist's tree protection requirements; tree protection measures must be in place prior to construction.
2. The addition will be inset (minimum 6") on the sides and at the roof line; final plans to be reviewed and approved at staff level.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Nikolai Leung
Address: 7710 Takoma Ave, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: NIKOLAI LEUNG

Daytime Phone No.: 703-346-8351

Tax Account No.:

Name of Property Owner: NIKOLAI LEUNG & ANITA CHAWLA Daytime Phone No.: 301-589-8987

Address: 7710 TAKOMA AVE., TAKOMA PARK, MD 20912
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7710 Street: TAKOMA AVE.

Town/City: TAKOMA PARK Nearest Cross Street: PHILADELPHIA AVE.

Lot: P15 Block: 69 Subdivision: T.P.L. & T. CO'S SUBDIVISION OF TAKOMA PARK

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- | | | | | | | | | |
|------------------------------------|--|--|--|------------------------------------|---|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Rear | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Reversible | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 100,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

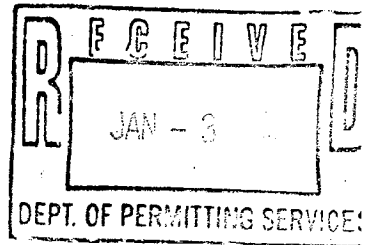
Nikolai Leung
Signature of owner or authorized agent

12/25/2005
Date

Approved: with conditions For Chairman, Historic Preservation Commission
Signature: [Signature] Date: 8-16-06

Application/Permit No.: 407977 Date Filed: 1/3/06 Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS



HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7710 Takoma Ave, Takoma Park	Meeting Date:	1/25/2006
Applicant:	Nikolai Leung (Paul Treseder, AIA)	Report Date:	1/18/2006
Resource:	Contributing Resource	Public Notice:	1/11/2006
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-06B	Staff:	Anne Fothergill

PROPOSAL: Construct rear addition and porch

RECOMMENDATION: Approve with conditions

STAFF RECOMMENDATION

- The applicant must comply with City of Takoma Park arborist's tree protection requirements; tree protection measures must be in place prior to construction.
- The addition will be inset (minimum 6") on the sides and at the roof line; final plans to be reviewed and approved at staff level.

PROPERTY DESCRIPTION

SIGNIFICANCE: Contributing Resource in the Takoma Park Historic District
STYLE: Colonial Revival
DATE: c. 1918

PROPOSAL

The applicants propose a small 2-story addition to an existing enclosed sleeping porch at the rear of the house. The addition has a 100 SF footprint and a small open porch on the first floor coming off the left side with steps down to the yard. On the second floor left side at the rear two windows will be removed above the porch and on the first floor the left side back window will be removed, the small open porch will be enclosed, and there will be new French doors to the new porch.

The proposed materials for the addition are wood tongue and groove vertical siding, wood casement windows with simulated divided lights, brick foundation, asphalt shingle roof, wood inset picket railing, wood French doors, wood tongue and groove flooring on the new porch with wood steps to grade.

No trees will be removed for this addition. The applicant will consult with the City of Takoma Park arborist regarding required tree protection.

See proposed floor plans, elevations, and site plan in Circles 8-17 and photos of the house in Circles 18-24.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These

documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District

According to the *Takoma Park Guidelines*, Contributing Resources in the Takoma Park Historic District are subject to a more lenient level of design review as “they are more important to the overall character of the district and the streetscape due to their size, scale, and architectural character, rather than for their particular architectural features.”

The *Guidelines* state that the following factors are to be considered in reviewing Contributing Resources:

- All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required.
- Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged but not automatically prohibited.
- While additions should be compatible, they are not required to be replicative of earlier architectural styles.
- Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing.
- Original size and shape of window and door openings should be maintained, where feasible.
- Some non-original building materials may be acceptable on a case-by-case basis; artificial siding on areas visible from the public right-of-way is discouraged where such materials would replace or damage original building materials that are in good condition.
- Alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course.
- All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation:

9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

The proposed addition is located at the rear, the materials are appropriate for this resource, and it is a small addition that does not increase the lot coverage substantially or require any tree removal -- although it will definitely require tree protection.

Generally the HPC likes to see differentiation in materials, which is shown in these plans, and also differentiation in design with the addition inset from the existing house on the sides and along the roofline. The architect is amenable to altering the addition's design in this way and staff is recommending this small design change as a condition of approval. In terms of the proposed window removal, the windows are located on the back of the house and were installed as part of a later sleeping porch enclosure and do not date to the original house, and their removal could be allowable. The proposed new porch is small, located at the back of the house, and uses appropriate materials.

With the conditions of approval met, staff finds the proposal would be compatible with the District's *Guidelines* and the Secretary of the Interior's *Standards for Rehabilitation*. Staff recommends approval with two conditions.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2):

The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

and with the *Secretary of the Interior's Standards for Rehabilitation*.

and provided the conditions listed on Circle 1 are met;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the applicable Montgomery County Department of Permitting Services (DPS) building permits.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
355 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: NIKOLAI LEUNG

Daytime Phone No.: 703-346-8351

Tax Account No.: _____

Name of Property Owner: NIKOLAI LEUNG & ANITA CHAWLA Daytime Phone No.: 301-589-8987

Address: 7710 TAKOMA AVE, TAKOMA PARK, MD 20912
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

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Town/City: TAKOMA PARK Nearest Cross Street: PHILADELPHIA AVE.

Lot: P15 Block: 69 Subdivision: T.P.L. & T. CO'S SUBDIVISION OF TAKOMA PARK

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|------------------------------------|--|--|--|---------------------------------------|---|--|-------------------------------|-------------------------------|
| <input type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input checked="" type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Stab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: _____ | | | | |

1B. Construction cost estimate: \$ 100,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

12/25/2005
Date

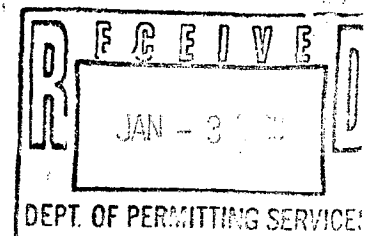
Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 407977 Date Filed: 1/3/06 Date Issued: _____

Edit 6/21/99

SEE REVERSE SIDE FOR INSTRUCTIONS



(4)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

THE EXISTING HOUSE IS THE ONLY EXISTING
STRUCTURE IN THE AREA.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

EXTEND KITCHEN, ADD HALF BATH ON FIRST/GROUND FLOOR

ADD FULL BATH ON SECOND FLOOR AND EXTEND 2ND FLOOR
SUN ROOM AT REAR OF HOUSE.

EXTERNAL IMPACT WILL BE EXTENDING THE REAR SECTION OF
THE HOUSE BY 8 FEET.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the canopy of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

List of adjacent and confronting properties of 7710 Takoma Avenue,
Takoma Park Maryland

CHROSTOWSKI, PAUL C & LORRAINE J PEARSALL
7708 Takoma Avenue
Takoma Park, MD 20912-4126

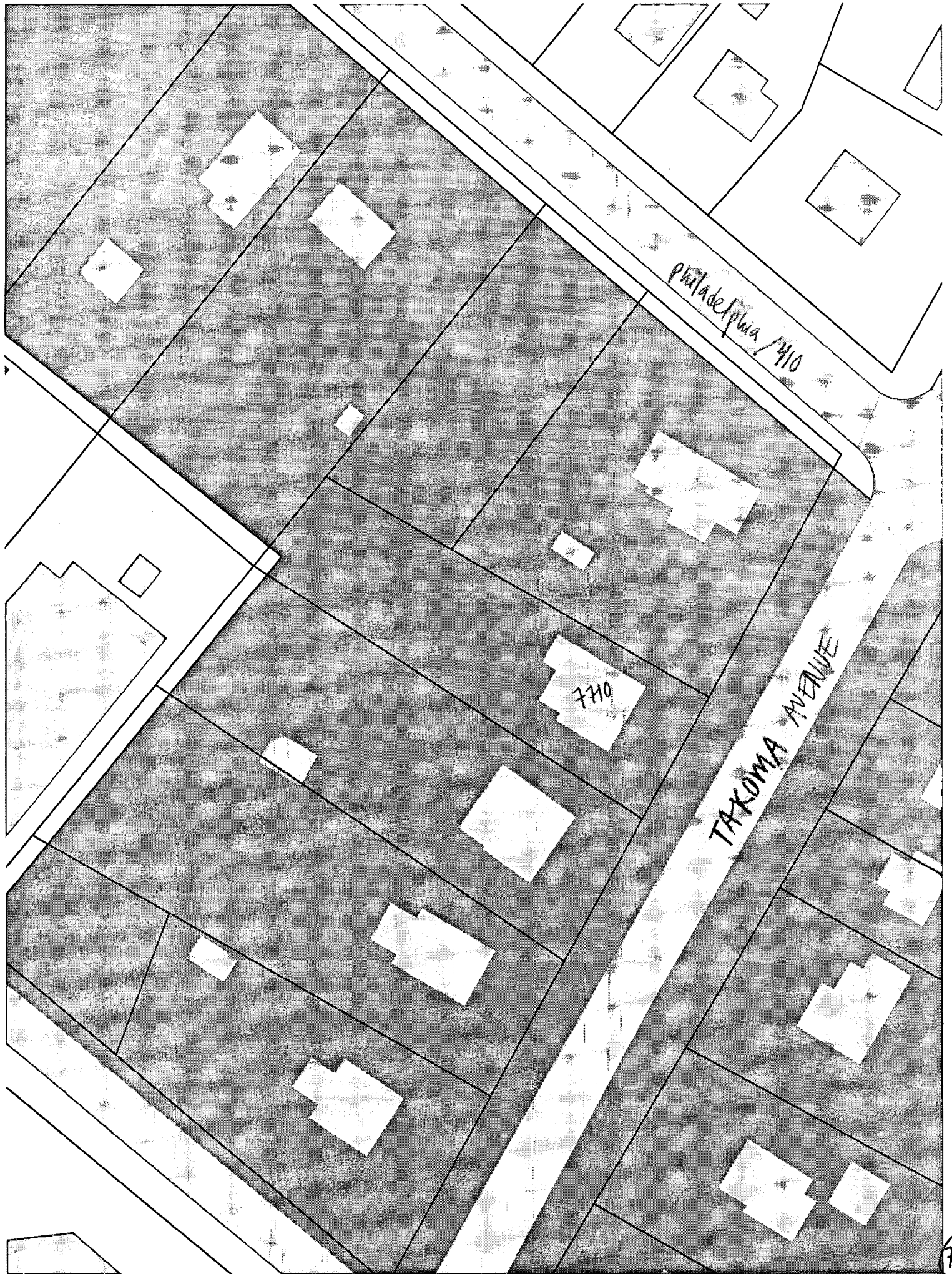
DIAZ, ALPHONSPO V & ANGELA M PHILLIPS-DIAZ
7709 Takoma Avenue
Takoma Park, MD 20912-4118

ZIESSMAN, HARVEY A & KAREN BURKE
7711 Takoma Avenue
Takoma Park, MD 20912-4118

DELUISE, CANDIDA
7715 Takoma Avenue
Takoma Park, MD 20912-4118

Montgomery Comm Coll Bd of Trust
Manakee St
Rockville, MD 20850

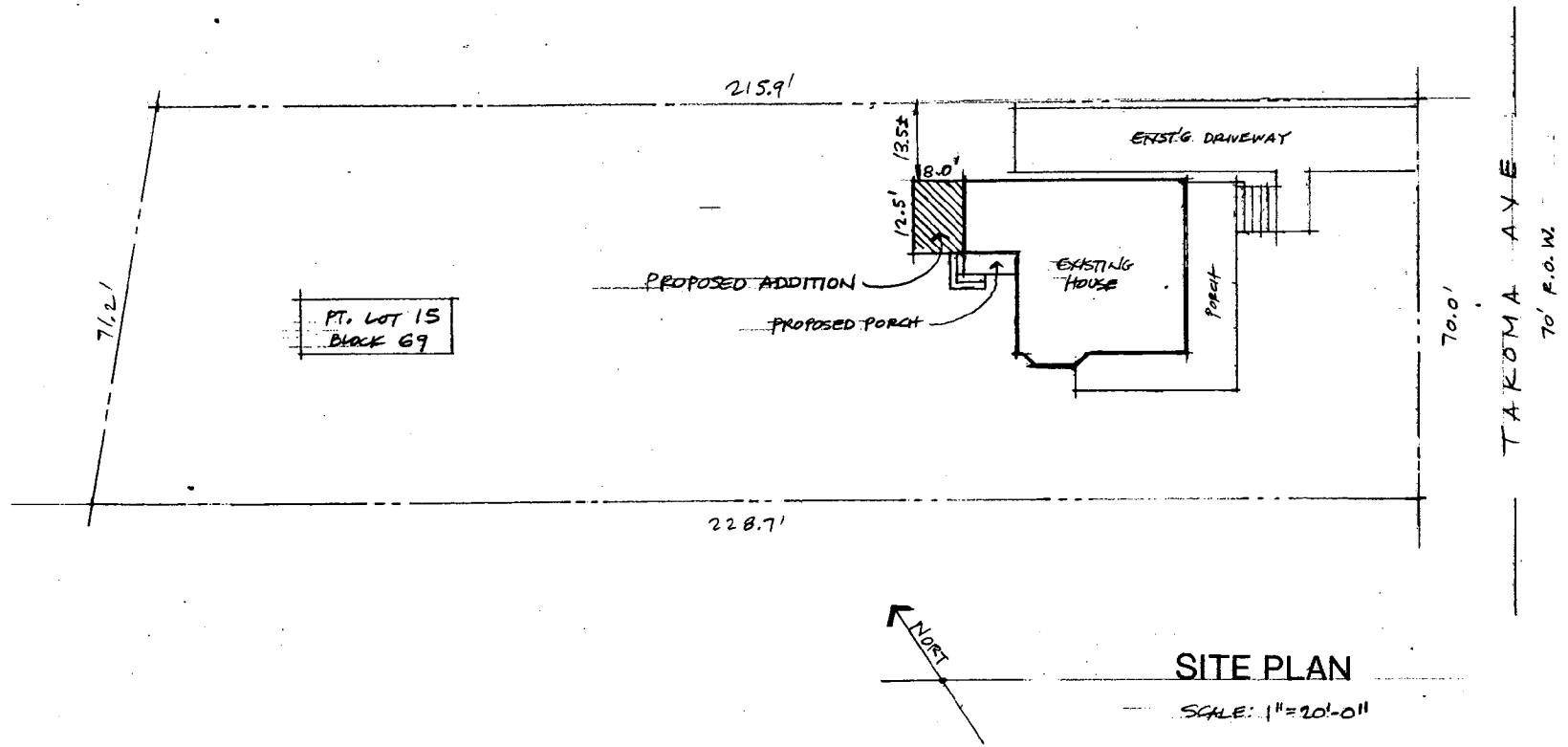
FAGAN, BERNARD C & D A
608 Philadelphia Avenue
Takoma Park, MD 20912



Philadelphia / 410

7710

TAKOMA AVENUE



-- ADDITION to the CHAWLA-LEON RESIDENCE
 7710 TAKOMA AVENUE
 TAKOMA PARK, MARYLAND.

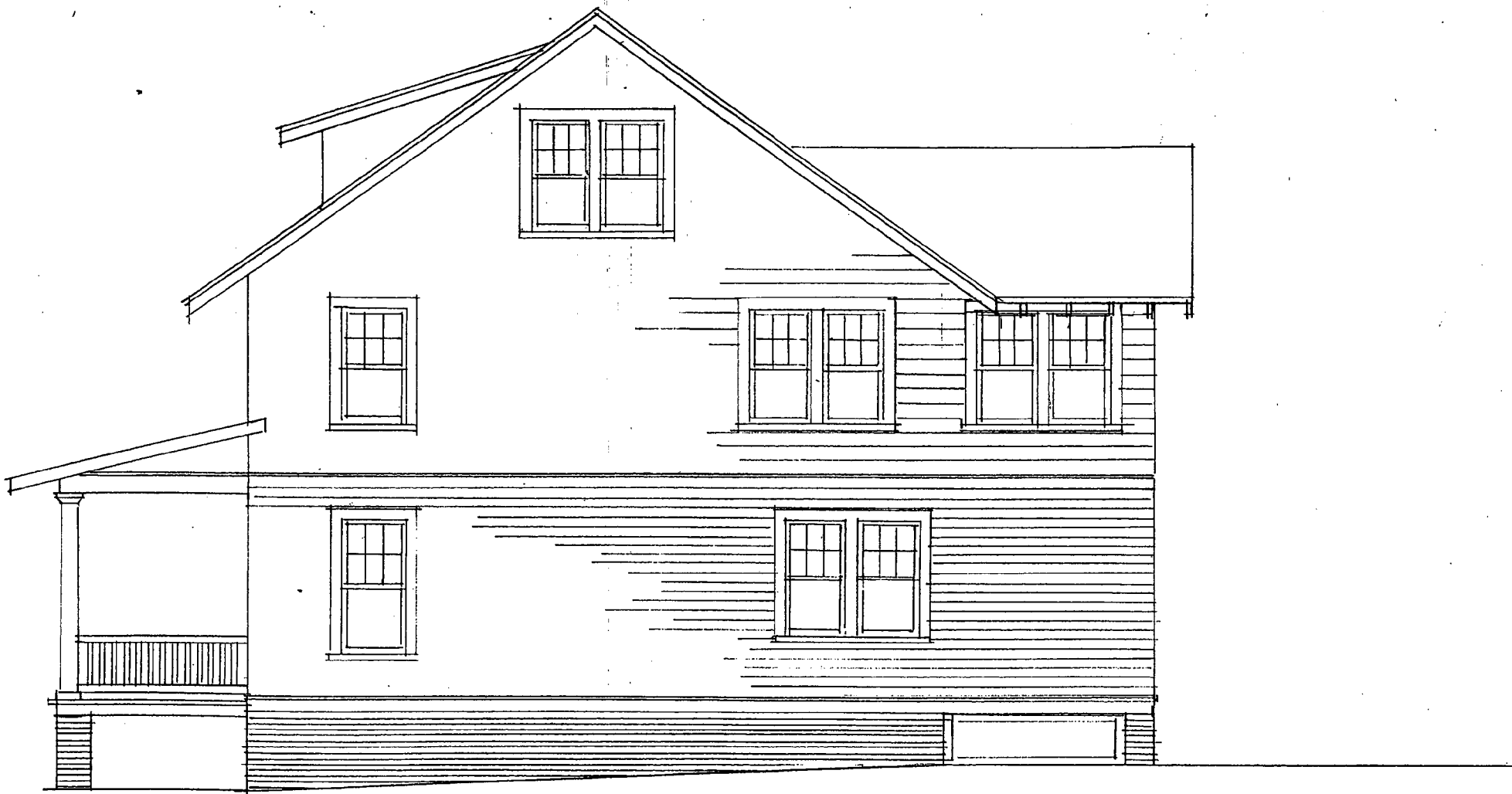
Paul Treseder
 Architect AIA

6370 Wisconsin Road
 Bethesda, MD 20815
 301-320-1580
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 Paul.Treseder@verizon.net



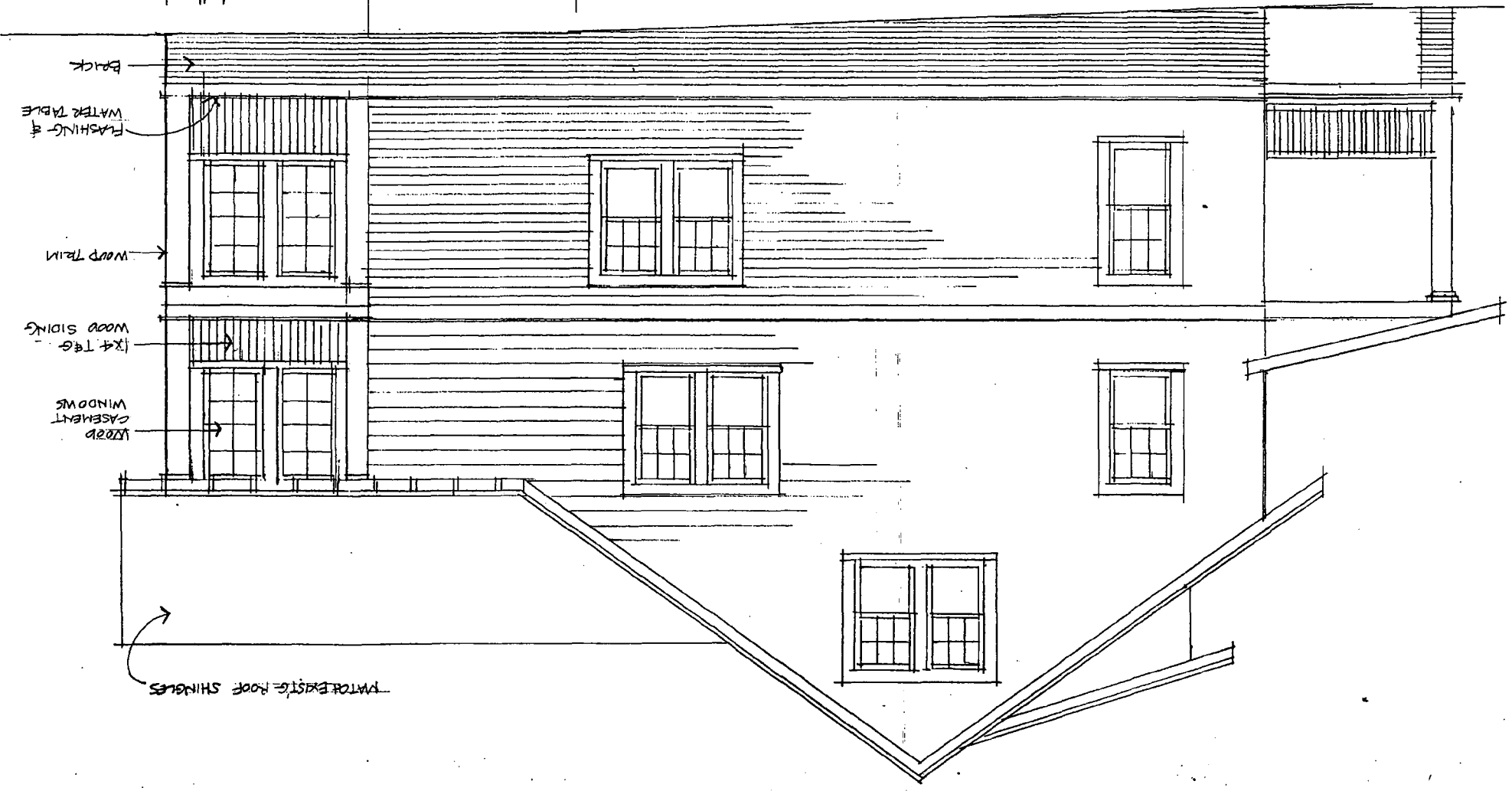
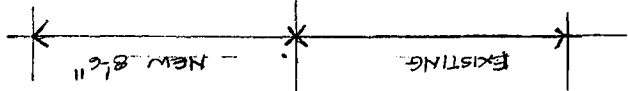


EXISTING FRONT ELEVATION



EXISTING RIGHT SIDE ELEVATION

PROPOSED RIGHT SIDE ELEVATION





EXISTING LEFT SIDE ELEVATION



PROPOSED LEFT SIDE ELEVATION



EXISTING REAR ELEVATION

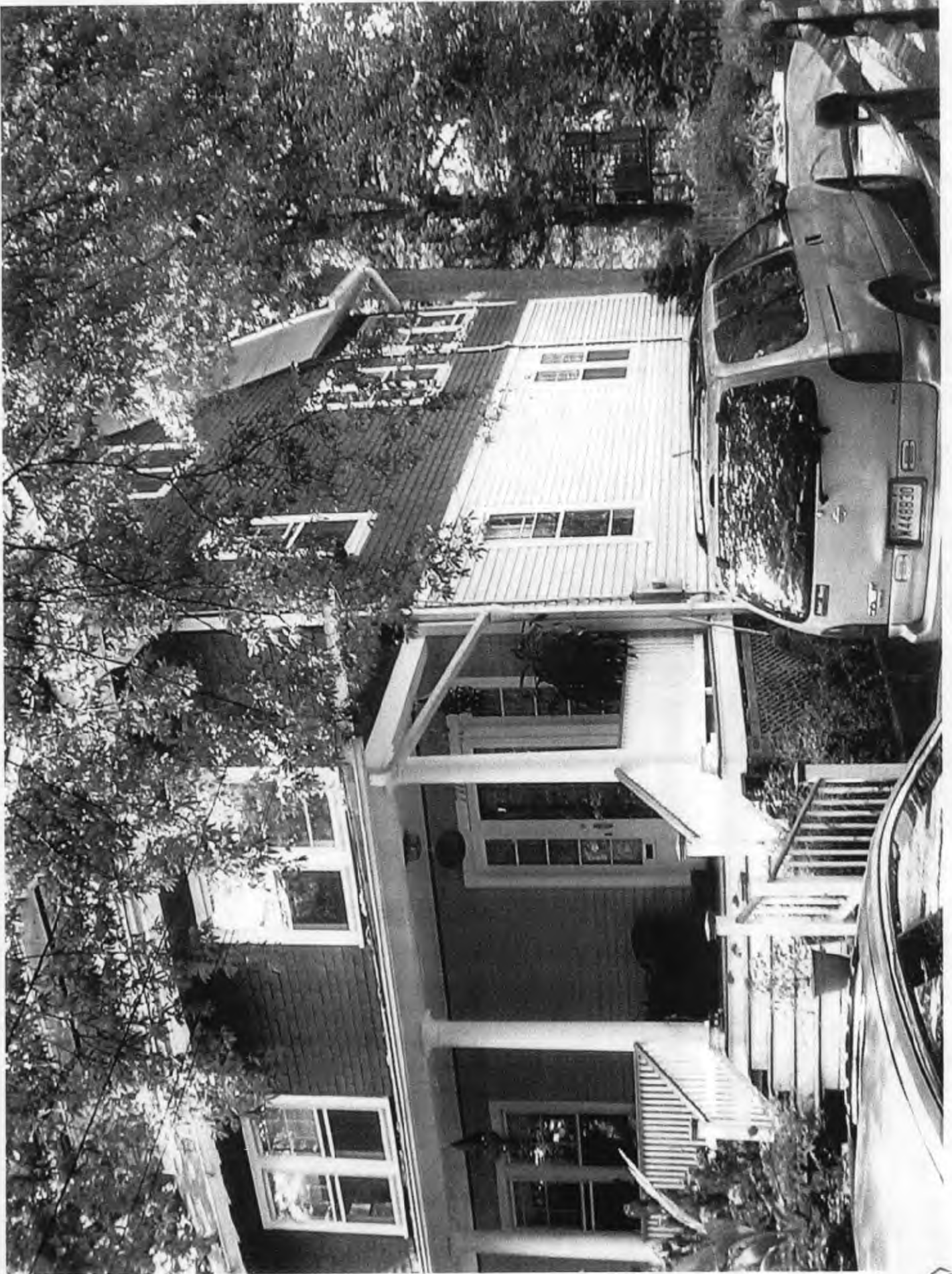
(14)



PROPOSED REAR ELEVATION



FRONT OF RESIDENCE/RESOURCE



(RIGHT) EAST CORNER OF RESIDENCE



AFFECTED BY EXPANSION/ADD - REAR OF RESIDENCE/RESOURCE,



(LEFT) SOUTHWEST SIDE OF RESOURCE / RESIDENCE





