

37/03-06HHH 57 WALNUT AVE

Takoma Park Historic District

STAFF ITEM

STAFF MEMBER: JOSH SILVER

SUBJECT: Revision to approved HAWP (HPC Case No. 37/03-06HHH), for window replacement and siding removal, at 57 Walnut Avenue, Takoma Park, within the **Takoma Park Historic District**

DATE: March 14, 2012

BACKGROUND: On December 20, 2006 the HPC approved with conditions select window replacement and rehabilitation and other alterations at the subject property.

REVISED PROPOSAL: The applicants are requesting approval to:

Install a single-hung, full view, aluminum storm door at the front door of the subject property.

STAFF RECOMMENDATION: Staff recommends that the Commission approve the revised proposal described above finding it as being consistent with Chapter 24A-8(b)(1) & (2):

- (1) The proposal will not substantially alter the exterior features of an historic site or historic resource within an historic district; or
- (2) The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or

HPC DECISION:

APPROVED

Silver, Joshua

From: Melchior, Brian R <MelchiorBR@state.gov>
Sent: Thursday, March 01, 2012 10:14 AM
To: Silver, Joshua; brian melchior; Wong Minnie
Subject: RE: preliminary consultation for home 57 Walnut Ave

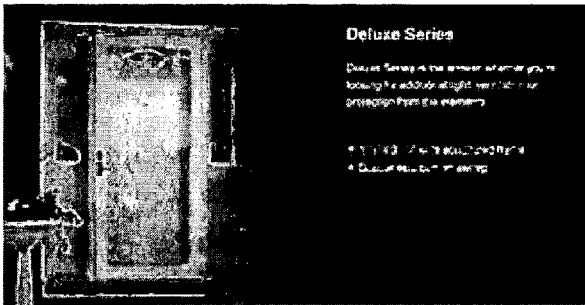
Good morning Josh. Thank you so much for taking the time to work with us on this. You have made this process extremely easy and stress-free for us newbies to the neighborhood. Minnie and I will strictly follow steps 1-4. As for the storm door, we have received a couple quotes for a full-view, white, aluminum option. If it needs revision, please let us know.

Manufacturer: Provia Storm Door

Model: Deluxe Series #397

Color: White

Description: Model #397 is an aluminum full view storm manufactured by ProVia Door. It is a double hollow 1 ¼" thick aluminum door frame with a glass insert and interchangeable screen held in place by color matched clips and rivnuts.



URL for the full specs: <http://www.proviadoor.com/Content/uploads/634122947772806E17.pdf>

-brian

PERSONAL

This email is UNCLASSIFIED.

From: Silver, Joshua [mailto:Joshua.Silver@montgomeryplanning.org]
Sent: Wednesday, February 29, 2012 3:48 PM
To: Melchior, Brian R; brian melchior; Wong Minnie
Subject: RE: preliminary consultation for home improvement proposal

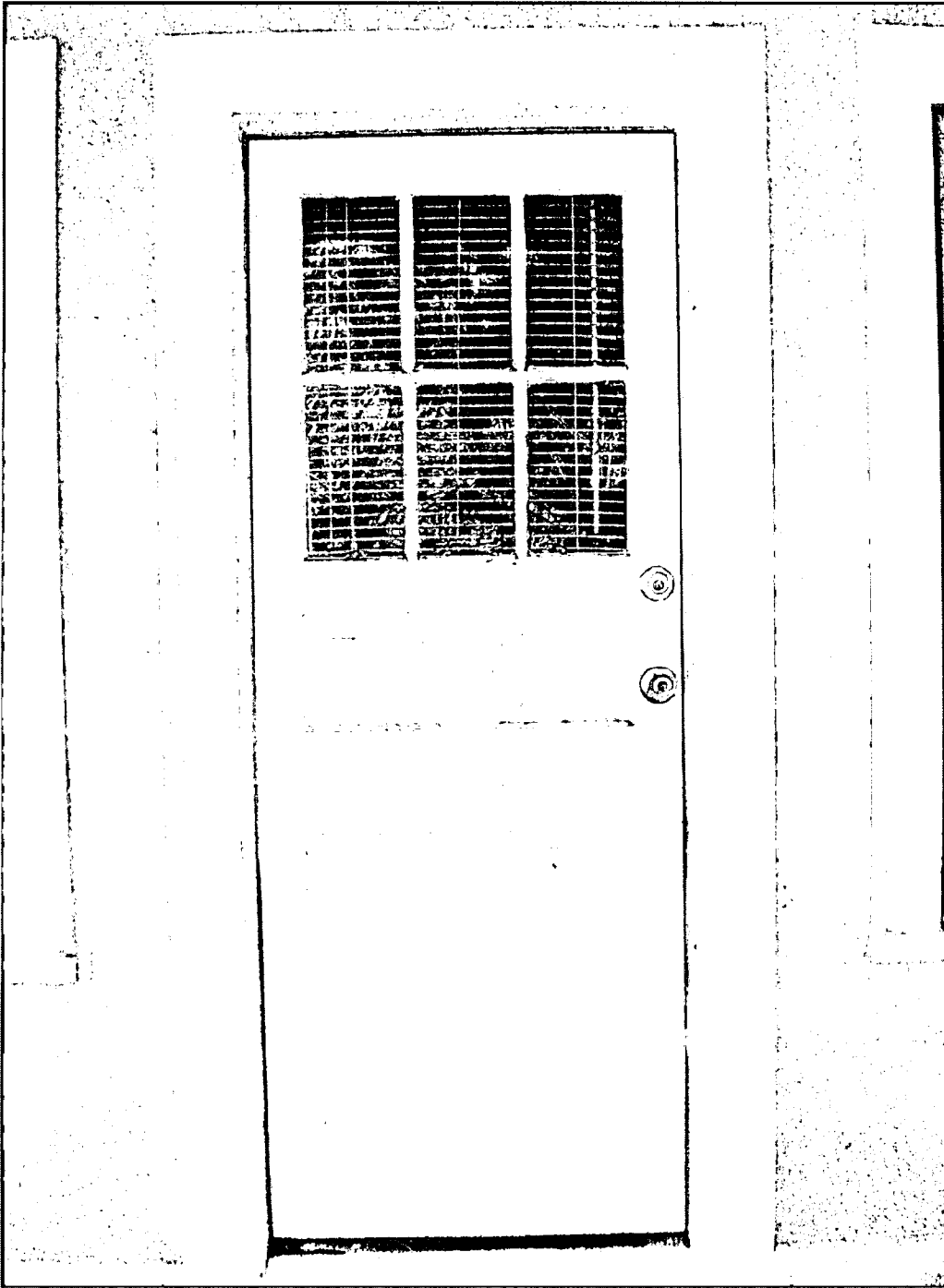
Hi Brian,

I'm going to break this down into four parts:

- 1.) Front elevation, far right (2) windows: Consistent with the HPC approval the 2 right side front elevation windows need to be True Divided Light, 6/1, wooden (interior/exterior) windows to match the existing original windows on the front elevation.



The photograph shows a two-story house with a gabled roof and a small porch. A large tree is in the foreground, partially obscuring the house. The image is high-contrast and black and white.



We plan on installing a full view storm door, in white, to prevent further weathering to the original front door.

Silver, Joshua

Subject: Juan Castro 57 Walnut Avenue Takoma Park H.D.
Entry Type: Phone call

Start: Wed 5/16/2007 1:24 PM
End: Wed 5/16/2007 1:34 PM
Duration: 10 minutes

Contacts: Juan Castro

Mr. Castro would like to know if he can replace (1) existing, but broken window on the front of the house. He claims to have called several contractors per the HPC suggestion, and has been told replacement is not an option.

Original window (all the glass is broken)
Front of the house

Juan Castro
57 Walnut Avenue
Takoma Park H.D.
Contributing Resource

c: 240.286.5677

Evidently, this case has a history. Mr. Castro has been before the HPC and subsequently has had several violations.

5/21/07

Mr. Castro indicated he would like to replace all the windows on the front facade. His conditions stipulate windows on the front of the house will not be replaced. The missing window on the front of the house (which I spoke with Mr. Castro about on Wednesday) can be replaced. Mr. Castro will provide me with a specifications sheet.

6/19/07

Called left me a message indicating a window contractor has been out to his house.

6/20/07

Returned his call, but he was unavailable because of small emergency at his house.

6/25/07

I called and spoke with Mr. Castro to discuss the next step. He indicated two window contractors have been out to his house and provided him with estimates. He will be faxing me the proposed window type etc. for review.

6/27/07

Mr. Castro visited the HP Office with two different window specification sheets. The one he requested to use as a replacement for the broken window on the front (right side) facade was not approvable because it was a simulated divided light (SDL) window and his conditions specified the replacement window must be exactly the same as the existing windows on the front facade. He in turn provided another possible window type which was approvable, a true divided light (TDL), but he was less inclined to use this window because of the price. I suggested he reconsider using the more expensive option because I could approve this window because it met his conditions of approval. Mr. Castro repeatedly stated he contacted numerous window contractors who said they would not be able to repair the other windows on the front facade per his conditions of approval. I in turn provided him with the MHT List of Contractors specializing in historic preservation and suggested he contact them immediately.

7/2/07

Mr. Castro visited the HP Office and indicated he attempted to contact several of the contractors on the MHT list I provided him with and was either unsuccessful in reaching them, or was told they do not repair windows. He provided me with a

specifications sheet (and subsequently did not leave me a copy when he left) with the window replacment for the front (right) facade. I told him I would be able to approve this window only. Upset by what he couldn't and could do he asked what else can be done. I indicated he was welcome to attend another HPC meeting as a staff discussion item to present his proposal to replace all the windows on the house because he couldn't find anyone to repair the front facade windows. I also instructed him it would be necessary to provide me (for the HPC) letter(s), indicating he spoke with contractors who said they could not repair his windows. He left upset and claimed he would be doing something about the situation. Installing storm windows over his existing windows was also discussed at this meeting.

DRAW A PLAN of Windows

I.K

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 57 Walnut Ave, Takoma Park Meeting Date: 12/20/2006
 Resource: Contributing Resource Report Date: 12/13/2006
 Takoma Park Historic District
 Applicant: Juan Castro Public Notice: 12/06/2006
 Review: HAWP Tax Credit: Partial
 Case Number: 37/03-06HHH Staff: Tania Tully

PROPOSAL: window replacement and aluminum siding removal

RECOMMENDATION: Approve with Conditions

① Caroline UNANIMOUS
② Wamen

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application with the following conditions:

1. Specification sheets or samples of the windows will be provided to staff for approval before installation.
2. Staff will be provided with a sample of the window casing for approval before installation.
3. An accurate site plan indicating the chosen paving material will be provided to staff for approval before installation.
4. The windows on the front façade will not be replaced.
5. The missing window on the front façade will be replaced to precisely match the existing. The windows must be solid wood, true-divided light (TDL), 6/1 windows with the same profile and design.

Window List

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
 STYLE: Bungalow
 DATE: c. 1920s

Existing windows must remain unless Caroline will provide repair names.

This house is a one-story side-gable bungalow with a concrete gable front porch. Until recently, the house was sheathed in aluminum siding, but the original stucco is now evident behind the siding mounting strips. The house sits on a high foundation at the front of a deep relatively flat lot. There is an enclosed rear porch. Four of the 3-light basement awning windows are vinyl slider replacements. Three originals remain. The house has three bays with the ends consisting of a pair of windows each and the front door is flanked by windows. Only five 6/1 historic windows on the front façade remain. One is missing and the other windows are 1/1 vinyl replacements. The house is relatively simple though there is some Arts and Crafts detailing including notched bargeboards, square rafter ends, and multi-light windows.

Prop find a salvage window for #1

HISTORIC CONTEXT

The following are excerpts from *Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland*.

"Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the second railroad suburb of Washington, platted ten years after Linden. The opening of streetcar lines led to the development of new subdivisions, expanding the Takoma Park community in the early 20th century.

"Takoma Park was platted in 1883. Developer Benjamin Franklin Gilbert promoted the property for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma", meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment."

PROPOSAL:

- Remove aluminum siding (*in progress*)
- Repair and paint newly exposed stucco
- Replace basement windows on rear and sides with vinyl (*done*)
- Replace windows on rear (and 2 on right side) with vinyl (*done*)
- Replace the left side windows and 1 right side window with wood or wood clad SDL or TDL windows (Circles 11-12).
- Replace the missing front window.
- Replace the wood trim/casing to match what remains on the front façade (Circle).
- Replace the damaged concrete front walk in-kind (*in progress*)
- Resurface small concrete patio in rear yard in-kind (*in progress*)
- Pave driveway with tinted concrete or gravel with a concrete curb
- Replace the gutters in-kind
- Replace roof in-kind
- Construct a roof over the rear patio

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. Additional guidance to consider is in the *Approved and Adopted Takoma Park Master Plan (December 2000)* and the City of Takoma Park Façade Ordinances. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Original size and shape of window and door openings should be maintained, where feasible

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

STAFF DISCUSSION

It is never optimal to review a Historic Area Work Permit application retroactively, especially when a Notice of Violation has been issued. When Staff reviews retroactive applications, the work is initially evaluated as though it has not yet been completed. Would Staff have recommended approval at that point? Initially this application included a proposal for a 2nd level addition that prompted a Preliminary Consultation on October 11, 2006. At that hearing the Commission discussed changes to the historic house already underway. The addition proposal has been eliminated and the changes presented in this application reflect the comments made by the Commission that evening (Circles 17-24).

The applicant has been very cooperative and has worked with Staff on the revised proposal, which is now in keeping with the applicable *Standards* and *Guidelines*. Although, the loss of original historic fabric in the windows is still distressing, removal of the aluminum siding will be a great improvement to the property and the district. At the previous hearing, the Commission gave initial approval for clad SDL windows to replace the vinyl replacements. The applicant is hoping to match the windows exactly and Staff recommends that the applicant get approval from Staff regardless of what window is chosen (Circle 16). The replacement of the casing is also an important part of bringing the windows back to a compatible condition.

Regarding changes in the yard, the applicant is no longer requesting to add a walk to the driveway but will return that to lawn. Either tinted concrete or gravel is approvable for the driveway, and the patio in the rear will not be larger than it is currently. No plans have been submitted for a roof over the patio, but staff is recommending approval in concept.

Despite the negative beginning to this project, Staff is confident that the resulting property will be more compatible with the historic district than it was when purchased by the applicant. Staff is recommending lifting the Stop Work order and conditional approval of the application.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Juan Castro

Daytime Phone No.: 240-286-5677

Tax Account No.:

Name of Property Owner: Juan Castro Daytime Phone No.: 240-286-5677

Address: 5203 Russet Road, Rockville, MD 20853

Contractor: Phone No.:

Contractor Registration No.:

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 57 Street: Walnut

Town/City: Takoma Park Nearest Cross Street: Eastern Avenue

Lot: 20 Block: 17 Subdivision:

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed Solar Fireplace Woodburning Stove Single Family Fence/Wall (complete Section 4) Other:

1B. Construction cost estimate: \$

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

57 Walnut is a contributing resource in the Takoma Park Historic District. The house is relatively simple with some Arts & Crafts detailing.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Repair and renovate the house; Remove aluminum siding; replace concrete walks in-kind; Repair and replace windows; pave driveway; re-enclose rear porch; construct a roof over existing concrete patio.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

(6)

CONSUMER INFORMATION NOTES:

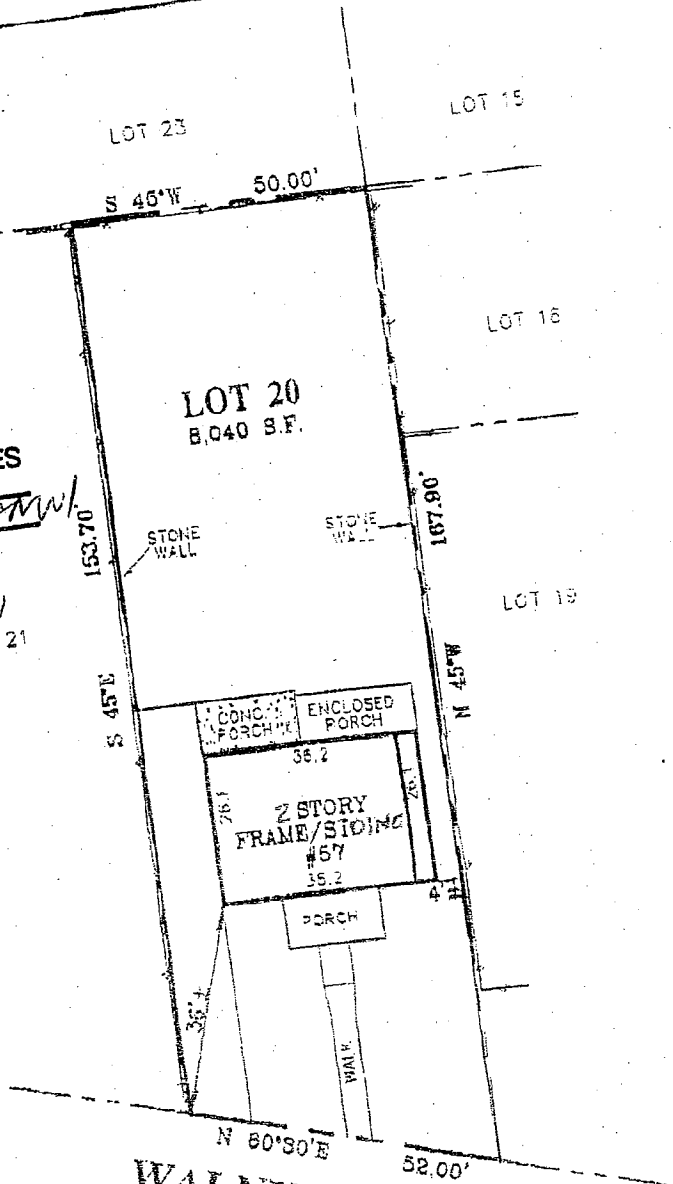
1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.

no property by construction
must be through a DPS
of construction entrance
permitted driveway.

**MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING SERVICES**
APPROVED *[Signature]* DATE *[Date]*
ZONING CLASS *[Class]* PAGE *[Page]*
BOARD OF APPEALS CASE *[Case]*

Notes

1. Flood zone "C" per H.U.D. panel No. D200C.
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 Feet.
Fences, if shown, have been located by approximate methods.

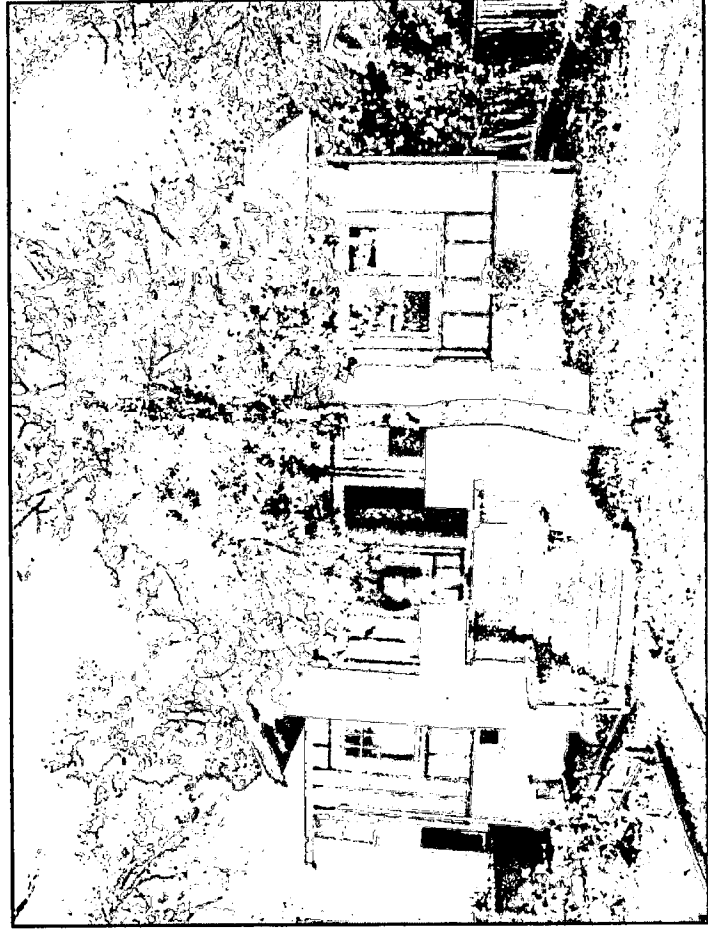


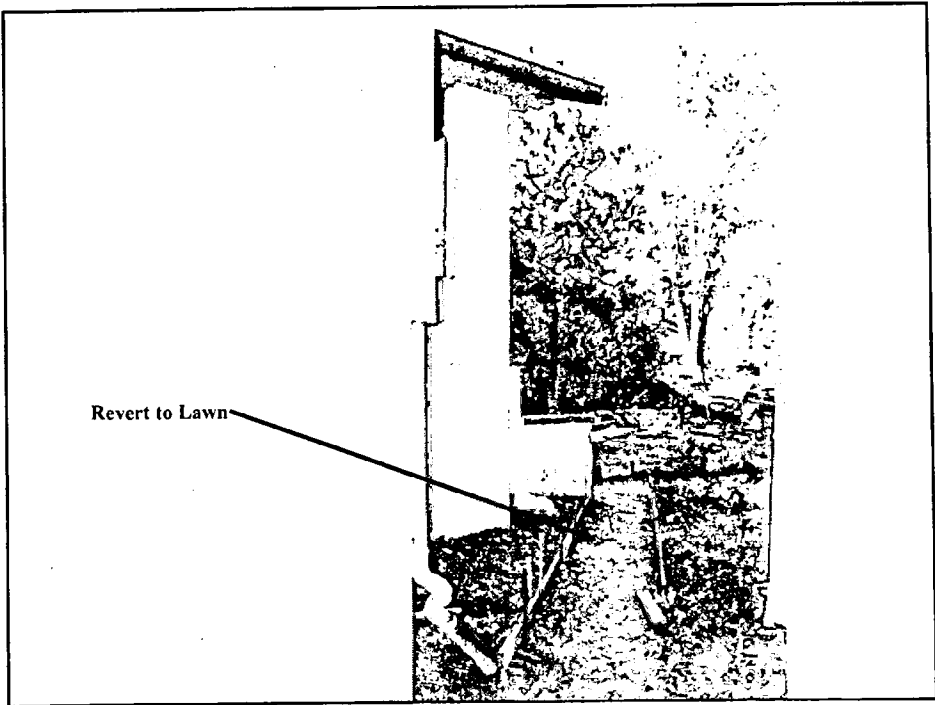
LOCATION DRAWING
LOT 20, BLOCK 17
PINECREST
MONTGOMERY COUNTY, MARYLAND

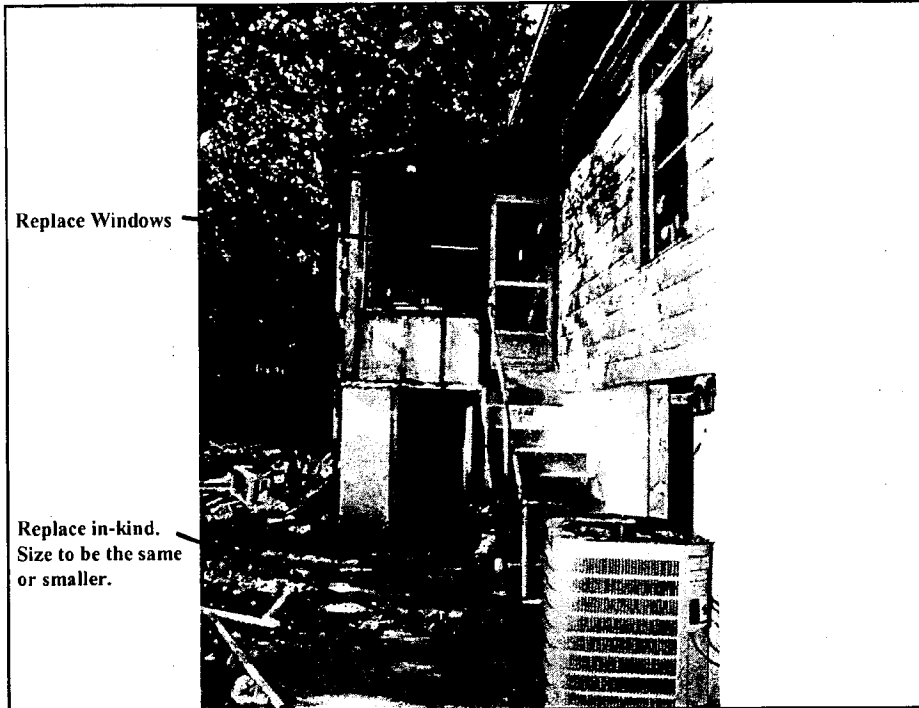
| SURVEYOR'S CERTIFICATE | | REFERENCES | | SNIDER & ASSOCIATES SURVEYORS - ENGINEERS LAND PLANNING CONSULTANTS 2 Professional Drive, Suite 216 Gaithersburg, Maryland 20878 301/948-6100, Fax 301/948-1266 | |
|--|--|------------|-----|--|----------------|
| THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION. | | PLAT BK. | 2 | DATE OF LOCATIONS | SCALE: 1" = 2' |
| | | PLAT NO. | 145 | WALL CHECK: | DRAWN BY: PY |
| | | LISER | | REC. LOC: | JOB NO.: 06-4B |
| | | FOLIO | | | |

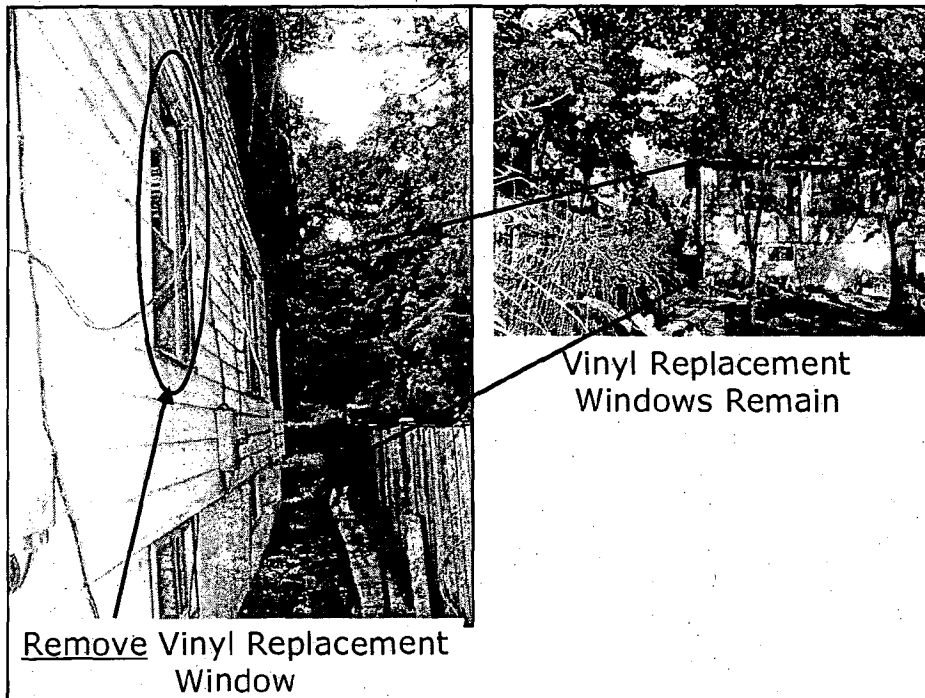
Jeffrey A. Foster
PROPERTY LINE SURVEYOR REG. NO. 587

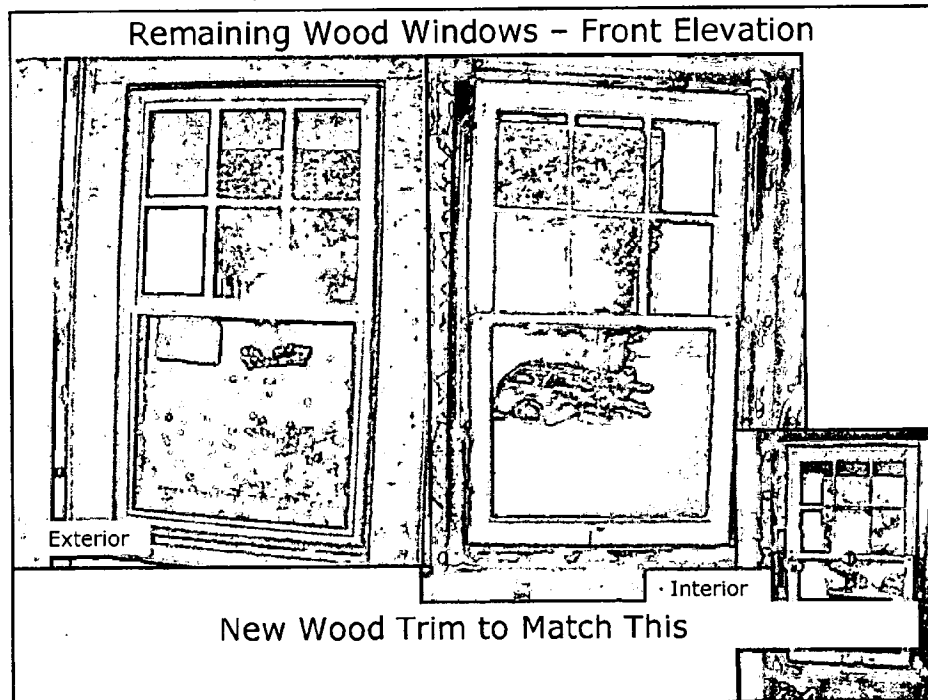
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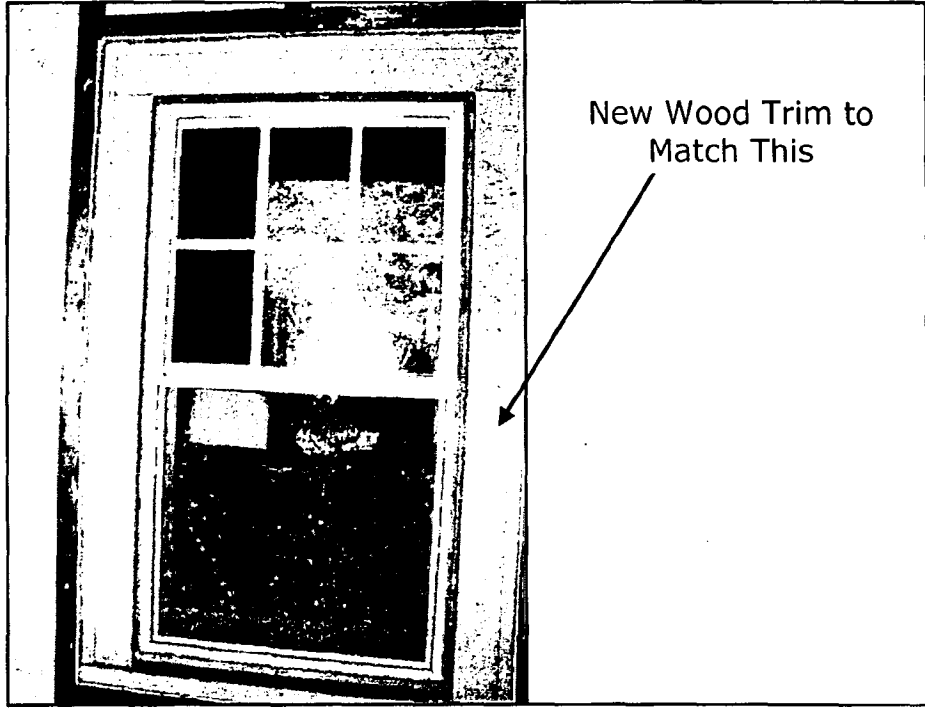












New Wood Trim to Match This



Future Patio Roof in This Location

HAWP APPLICATION: NAMES & MAILING ADDRESSES FOR NOTIFYING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

| Owner's name & mailing address | Owner's Agent's name & mailing address |
|--------------------------------|--|
| Juan Castro | |
| 5203 Russet Road | |
| Rockville, MD 20853 | |
| | |
| | |

Adjacent and confronting Property Owners names & mailing addresses

| | |
|-----------------------------|------------------------------|
| Larry Zarker & Susan Braden | MITCHELL S RATNER & ANN-MARI |
| 59 Walnut Avenue | GEMMILL |
| Takoma Park, MD 20912 | 6814 Westmoreland Avenue |
| | Takoma Park, MD 20912 |
| | |
| | |

| | |
|--------------------------------|-----------------------|
| Jordan Barab & Jesse Blackburn | AUBREY A STEPHENSON & |
| 55 Walnut Avenue | MAUREEN E BOOKER |
| Takoma Park, MD 20912 | 6761 Eastern Avenue |
| | Takoma Park, MD 20912 |
| | (not in District) |
| | |

| | |
|-----------------------------------|--|
| Laura Glassman & Christophe Tante | |
| 60 Walnut Ave | |
| Takoma Park, MD 20912 | |
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|--------------------------|--|
| Jabir & IJ Abegaz-Hassen | |
| 62 Walnut Ave | |
| Takoma Park, MD 20912 | |
| | |
| | |
| | |



MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING SERVICES
255 Rockville Pike, 2nd Floor
Rockville, Maryland 20850-4166

NOTICE OF VIOLATION

FOR MONTGOMERY COUNTY, MARYLAND the undersigned issuer, being duly authorized, states that:

On, September 7, 2006 the recipient of this NOTICE, Juan A. Castro
Date Recipient's Name

5203 Russett Road Rockville, Maryland 20853-2552
Street Address City, State, Zip

is notified that a violation of Montgomery County Code, Section: 24-A-6(a) & 59-A-3.1 Building and Historic area work permit

exists at: 57 Walnut Avenue Takoma Park, Maryland 20912 236658
Location Case #

The violation is described as: 1.) Re-construction of an HISTORIC house and walk way without first obtaining a Historic work and Building permit.

The following corrective action(s) must be performed immediately as directed:
1.) Obtain a Historic area work permit and a building permit from the Department of Permitting Services. For information call 240-777-6240.

An inspection fee of \$ _____ is required in addition to any application fee(s).

Compliance Time: **(15) FIFTEEN** Calendar days

Failure to comply with this notice will result in the issuance of one or more \$500.00 civil citations.

This Notice of Violation may be appealed to the Montgomery County Board of Appeals within 30 days of the issue date. The Board of Appeals is located in the Council Office Building, 100 Maryland Avenue, Room 217, Rockville, Maryland 20850, telephone 240-777-6600.

ISSUED BY: James C. Martin [Signature] September 7, 2006
Printed Name Signature Date

Phone No. 301-370-0042

RECEIVED BY: _____
Printed Name Signature Date

Phone No. _____ Sent by Registered Mail/Return Receipt On: _____

RECIPIENT'S SIGNATURE ACKNOWLEDGES RECEIPT OF A COPY OF THIS NOTICE OF VIOLATION

(15)

Approved new windows must have the following specific characteristics:

- 6 panes/1 pane
- Wood or aluminum clad wood
- Simulated divided lites
- Muntins (grills, bars) must be no wider than 7/8"
- Glass must be clear
- Wood or aluminum clad trim of same dimension as original
- Must fit the existing rough opening exactly.
- Double hung

Known brands that meet these criteria:

JeldWen - Sitrine Double-hung Windows

Exterior wood casing is variable as wide as 5 1/2"

Marvin - Ultimate Double Hung

Flat casing is available in wood or aluminum

Pella – Architect Series, Luxury Edition

Simulated Divided Lite called Integral Light Technology (ILT)

Weathershield – Legacy Series, HR 175 or Weathershield

1 **THE MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**

2
3 A meeting in the above-entitled matter was held on **October 11, 2006**, commencing at 7:41 p.m., in the
4 MRO Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland 20910,

5
6 MS. O'MALLEY: We'll do the preliminary now. The first preliminary is 57 Walnut
7 Avenue, Takoma Park.

8 MS. TULLY: Just one moment -- Okay. 57 Walnut Avenue is a contributing resource in
9 the Takoma Park Historic District. It is a bungalow and I'll just start with this. And until recently the
10 house was sheathed in aluminum siding and the house sits on a high foundation and there is an
11 enclosed rear porch and the front porch is gable front. There are two parts to this particular preliminary
12 application. One there's a retroactive issue and then there is a proposal for a second level addition.
13 What I think will be the easiest thing to do is I can just take the slides and go around and indicate what
14 work has already been completed up to this point. Oh a similar house that needs some additions to it.
15 Okay.

16 This is the front and side of the house and as you can see the aluminum siding has been
17 removed and the stucco siding is still underneath it relatively the condition on the home when the strips
18 are taken off. And the front, all the front windows and door currently remain all except the broken one
19 here. Also as you can see the concrete walk where taken out and repaired and being rebuilt. And I
20 don't have a picture from very before, but it's my understanding this house had not been cared for for
21 some time and this was really overgrown so the applicant has done a good job in clearing the yard so
22 we can actually see the house. Some shots of the front of the house. And this is looking up the
23 driveway currently. It helps you see the location of the driveway. And the streetscape. There's that
24 walk again. This is the rear of the property that's been enclosed, screened, enclosed porch and this is
25 the door to the basement. As you can, here's one of the bay windows that's been replaced. The
26 aluminum siding has not been approved all the way around the house as of yet.

27 The applicant is replacing the aluminum siding. Staff is suggesting that he fix, really
28 those are the things, stuck. And here's -- and this looked a little bit better on my computer. But this is
29 sort of a collage of the windows. These do remain. They are on the front facade. This is in the
30 basement and then these are replacement windows. There is also one more original window
31 remaining. It's the one that faces underneath the rear porch. I did not get a photograph of that. And
32 again, these are the vinyl replacement windows from the various sides. This is along the right side.
33 This is along the left side if you were facing the house. I think in addition to just losing the windows
34 themselves, the loss of the trim and casing is of concern. As you can see these are the windows that
35 still remain. This is the same window from the exterior and from the interior. And the casing here from

1 photographs provided by the applicant and the staff, that are in the staff report. It appears to me those
2 were, that was still there.

3 And these are just some details. It's a relatively simple house. There are some details,
4 this sort of notch in here. You've got the wide eaves and the exposed rafters there. But you know, the
5 gutters, they're not maintained so there's definitely some issues with rot. The wood will need to be
6 replaced in kind, but overall it is in, you know, relatively good condition. Okay. Well those are just
7 some shots of the --

8 MS. O'MALLEY: Thank you.

9 MS. TULLY: And I'm happy to answer any questions you have. Staff report does have a
10 bit more detail and the applicant and there is someone that will be helping him translate this evening.

11 MS. O'MALLEY: All right. Any questions for staff?

12 MS. TULLY: I just realized I didn't talk about the proposed addition.

13 MS. O'MALLEY: Well, we'll do that after.

14 MS. TULLY: Okay.

15 MS. ALDERSON: Replacement windows to match the size of the openings, or is the
16 opening altered as well as the casing?

17 MS. TULLY: Yes, it, some of them are smaller. Some of them are, it's, I would need to
18 get the, get a measuring tape out there to be certain.

19 MR. JESTER: Just generally speaking, how many windows were replaced that are in
20 the public right-of-way in the front of the house and possibly from the side in public right-of-way?

21 MS. TULLY: Okay. None from the front facade were replaced. And there are I mean --

22 MR. JESTER: Approximately.

23 MS. TULLY: Approximately, 1, 2, 3, 4, 5, 6, I would say approximately 7 or 8 that are
24 readily visible from the public right-of-way. And that would be all of them along the driveway side of the
25 house, because that's very open and just the front on the other side of the house because it sits so
26 close.

27 MS. ALDERSON: Did you say that the front facade remains intact?

28 MS. TULLY: The windows have not been replaced on the front facade, yes.

29 MS. O'MALLEY: Would the applicant come up to the table, please. And if you would
30 just say your name.

31 MR. CASTRO: Yes, ma'am, my name is Juan Castro and I'm the owner of this house.
32 First of all, when I buy this house I tried to make it a second level. But I talk with my wife and I said,
33 you know, we can't do this. I mean we don't have this money to do it.

34 MS. O'MALLEY: Well, first tonight, the first thing we're going to talk about are the
35 windows.

15

1 MR. CASTRO: The windows.

2 MS. O'MALLEY: So that you can get the --

3 MR. CASTRO: There are windows just inside. The new windows just inside.

4 MS. O'MALLEY: Now, do you understand that we don't like to have the original windows
5 removed from the house. We like it to rehabilitate or you know, repair the older windows. And so
6 particularly the ones that are still in place on the front should not be removed. They should be repaired.

7 MR. CASTRO: Okay. Well, you know, when I buy the house, I never know this. When I
8 buy this house in this area here --

9 MS. O'MALLEY: Uh-huh.

10 MR. CASTRO: I never know. I mean the neighbor he told me about the --

11 MS. O'MALLEY: Historic District?

12 MR. CASTRO: Right. I didn't know this before.

13 MS. O'MALLEY: Okay.

14 MR. JESTER: Now, you know. You mentioned that the replacement windows are the
15 same size. I think we saw a few slides, at least a couple where the new windows are clearly
16 considerably smaller than the openings they were put into. They're smaller than the windows that were
17 there. And also --

18 MS. O'MALLEY: Can you show him that picture?

19 MR. JESTER: I guess the second issue is that the windows you put in don't match the
20 details of the original windows, the configuration with the profile and all the original trim. So even if we
21 were to approve the replacement because they were deteriorated, the windows you put in do not match
22 the windows that are there or were there. That in particular --

23 MS. CASTRO: You see at the top you have a little a piece of wood at the frame around
24 the windows. You see the windows have the old frame around the windows.

25 MR. JESTER: Is that clarified --

26 MS. TULLY: Yes.

27 MR. JESTER: Those windows are smaller --

28 MS. TULLY: It does look like they're smaller. I have not measured them. However,
29 they, the windows you know, did have very wide casing on them. And it is possible that is the missing
30 casing that you're seeing. But --

31 MR. JESTER: Those like like new --

32 MS. TULLY: Oh, actually you're right, right there.

33 MR. JESTER: To my eyes. Let someone who --

34 MS. TULLY: No, no, no, I see what you're saying.

35 MS. ALDERSON: That's what appeared to me. That's why I asked the question.

(A)

1 MS. TULLY: We are fortunate in that the windows on the front facade, you know, do
2 remain. They can be used --

3 MR. JESTER: From my perspective, it's unfortunate that the applicant was not aware
4 that, required how to purchase and install windows. These windows really are not windows that were
5 approved for proposed work. This is supposed to be retroactive so I personally concerns about it. I
6 would be open to negotiating exactly which ones would need to be replaced with more appropriate
7 windows. And that's why I asked earlier about the numbers so we can kind of get to be manageable.

8 MS. TULLY: Sure. And we can discuss that this evening because this was placed as a
9 preliminary. That's what staff is looking for so the idea of hopefully you will see this same information
10 about window makers and what staff was hoping that would come from this is a determination you
11 know, what needs to go back. And then they would be, historic area work permit specifically on the
12 windows that's applied for that has what will be installed.

13 MR. JESTER: I would --

14 MS. TULLY: Does that make sense?

15 MS. ALDERSON: I want to be clear to the other owners who work very hard to retain
16 their original materials and work very hard to match the original materials can be maintained so I would
17 think our priority would be those windows that are most visible from the right-of-way. So perhaps,
18 Michele you can give us some guidance on --

19 MS. TULLY: Tania.

20 MS. ALDERSON: I'm sorry. On what you see. And what your judgment call is on that.

21 MR. JESTER: And I also will add that I think, it looks like the windows which we're
22 talking about were 6 over 1's which is a relatively easy window type of match reasonably.

23 MS. TULLY: Yes.

24 MR. JESTER: So I think if we come up with insulated glass and permanently fix --

25 MS. TULLY: Okay.

26 MR. JESTER: -- that match. It might be a way to get back closer to the appearance that
27 was there without having to truly replicate --

28 MS. TULLY: Okay.

29 MR. JESTER: I don't think that would be necessary.

30 MS. TULLY: Okay.

31 MR. JESTER: -- just a little ground.

32 MS. ALDERSON: I completely agree -- all the way along the side we want to see casing
33 returned to its original dimensions.

34 MS. TULLY: The windows that are not the most visible would you want them to remain
35 what was put on or should they just be replaced with a simple wood window?



1 MR. JESTER: I personally think the resources would probably be better spent trying to
2 put in the best windows, the ones that are the most visible --

3 MS. TULLY: Okay.

4 MR. JESTER: -- make the best improvement. We're talking about window that are not
5 visible from the public right-of-way I think I would probably let it go.

6 MS. ALDERSON: I agree. Also I think that the issue is what you see from the street,
7 but we would want the casings appropriate dimension returning all the way along the side because
8 that's very obvious.

9 MS. O'MALLEY: That's the wide trim that goes around the window --

10 MR. CASTRO: Right.

11 MS. O'MALLEY: -- casing. So from the front you have, even the basement level still has
12 the original windows.

13 MR. CASTRO: Right, the same windows.

14 MS. O'MALLEY: I think on the sides that sometimes when we approve replacement on
15 the basement level --

16 MS. TULLY: Yes, that's what we typically do approve replacement, not typically vinyl but
17 we do typically approve replacing basement level windows.

18 MS. ALDERSON: My concern is the higher level and I agree with windows on the front
19 that they basically match as well as we can.

20 MS. TULLY: Okay. Should we proceed with looking into replacement aluminum or
21 rehabilitating the stucco?

22 MS. ALDERSON: We're deciding now?

23 MS. TULLY: I'm sorry. I'm sorry. I thought we were done.

24 MR. JESTER: Topic of the window I would recommend that the windows not be vinyl,
25 that there be other replacement windows. They should be aluminum clad or wood.

26 MS. TULLY: For the ones that are most visible. Correct?

27 MR. JESTER: Right.

28 MS. TULLY: Yes, staff understands.

29 MS. ALDERSON: And I would if there's an opportunity certainly this is the first time
30 we've had someone ask to put aluminum siding back and usually the neighbors are very thrilled and I
31 urge the return, that now we have the opportunity to do it.

32 MS. TULLY: Stucco.

33 MS. ALDERSON: Oh, I'm sorry I thought we had a combination of stucco. And I would
34 say it's an opportunity to return to the historic finish, we would not approve wood siding, aluminum
35 siding. We never have. And if you want to discuss, you know, the material, when we're finished with

1 that, I'd like to discuss the meeting.

2 MS. O'MALLEY: This is the rear that we're looking at now that has the aluminum siding
3 on it?

4 MS. TULLY: These are the two sides, the right side and the left side. So at this point
5 the aluminum siding has only been removed from the front facade.

6 MS. O'MALLEY: From the front.

7 MS. TULLY: At this point, yes. To the best of my knowledge we cannot require him to
8 remove the rest of it. So we're just talking about the portion that he's already removed.

9 MS. ALDERSON: Do we believe the house was originally stucco, not wood?

10 MS. TULLY: I think it was wood, yes.

11 MS. ALDERSON: Okay.

12 MR. CASTRO: I'm sorry, I tried to remove the siding. You see the siding had a different
13 color. I mean what I tried to do, you know, take the old siding and put it with the same siding in the
14 same hole.

15 MS. ALDERSON: No, the principle here and this may sound confusing is that something
16 that is non conforming, that is not consistent with a historic district, character, while others are not
17 required to actively restore once something that is non consistent is removed, then we won't put the
18 inconsistent thing back. So once the incorrect alteration is removed we are seeking a return to what is
19 historically appropriate. And the historic character in this neighborhood is stucco and wood siding. It's
20 natural materials. So if you wish to remove the aluminum siding, you would need to return the house to
21 its historically correct appearance. And that's why I would entertain either stucco or wood. It may have
22 originally been wood before the stucco.

23 MR. JESTER: I think that's something they can work with staff. I think the principle is
24 clear.

25 MS. TULLY: Okay.

26 MR. JESTER: You want to start with paving before we get to the --

27 MS. ALDERSON: Yes, I would. Yes. I have a concern about request to install a new
28 concrete pad. In one case like this very recently on Carroll Avenue and once it did actually come up.
29 All the neighbors came to disapprove but they were in the backyard. So I would urge you to think about
30 that and specifically we look at if you have a concrete area that's been around we look at the
31 opportunity to take it back to a natural look. So that is what I would urge you to seek. If you are
32 needing solid surface for some reason, I don't know, if this is a parking lot or something like that, then
33 we would urge you to work with staff to find the material that looks more naturalistic, brownstone, gravel
34 or other materials. But I would certainly encourage you to take the opportunity to remove the concrete
35 from the backyard. And then also the same with the connector between the front and the driveway to

1 look at a more naturalistic connection. If you want to have a walkway extension rather than concrete
2 which would not be consistent with the historic character of the neighborhood.

3 MS. O'MALLEY: So that would be the material could be discussed with staff. Okay,
4 staff.

5 MS. ALDERSON: Typically in this neighborhood we're, as a historic treatment where
6 there is a path connecting the front to the driveway would be naturally cut flagstone or something like
7 that. I guess we really want a garner material and a paving material, not concrete. But removable.

8 MR. CASTRO: Okay. I have another question about the roofs. You know, I have leak
9 everywhere. And they need to be replaced.

10 MS. O'MALLEY: If you replace the roof you can replace the roof. If the roof is same
11 material, the same, you know, but on there those are asphalt shingle. You can put new asphalt shingle
12 on. You don't need to have a separate permit for that. And you can get a tax credit for it.

13 MS. ALDERSON: That's right, all the roofs that are approved in here of the roof, walls
14 and the windows can qualify for tax credits to offset your costs.

15 MS. O'MALLEY: Staff can explain to you about that. When you pay your taxes then you
16 get some money back if you keep the receipts from the work that you do. Staff can explain that.

17 MR. JESTER: Have we covered all the issues --

18 MS. O'MALLEY: Do we need to make a motion on the windows?

19 MS. TULLY: This is a preliminary consultation.

20 MR. JESTER: I think it's pretty clear, the applicant has to ask --

21 MS. ALDERSON: I was unclear on whether you were saying you no longer wished to
22 discuss adding second story because you're not pursuing that or did you still wish to discuss that?

23 MR. CASTRO: No, we don't want to do a second story.

24 MS. ALDERSON: Not pursuing a second story. Okay. So that's not an issue for
25 discussion.

26 MS. TULLY: I recommend that you do go ahead and replace the roof and I can work
27 with you on the other items that were discussed with you.

28 MS. CASTRO: My question, does he need to remove the windows that he installed?

29 MR. JESTER: Some of the ones --

30 MS. O'MALLEY: Some of them.

31 MR. JESTER: Some of them he has to. I think you can work --

32 MS. CASTRO: Can he show us which ones?

33 MS. TULLY: Yes, we're going to need to, I'll meet you out on site. We'll walk around the
34 house and we'll go over it very specifically.

35 MS. CASTRO: Okay.

1 MS. O'MALLEY: Okay. Thank you.

2 MR. CASTRO: I mean I have another question about the little sidewalk go to the
3 storehouse. This is, when I buy the house it had concrete. But the concrete you know, is cracked
4 everywhere.

5 MS. TULLY: This is the sidewalk. This is the sidewalk that goes from the front steps to
6 the street.

MS. CASTRO: Yes.

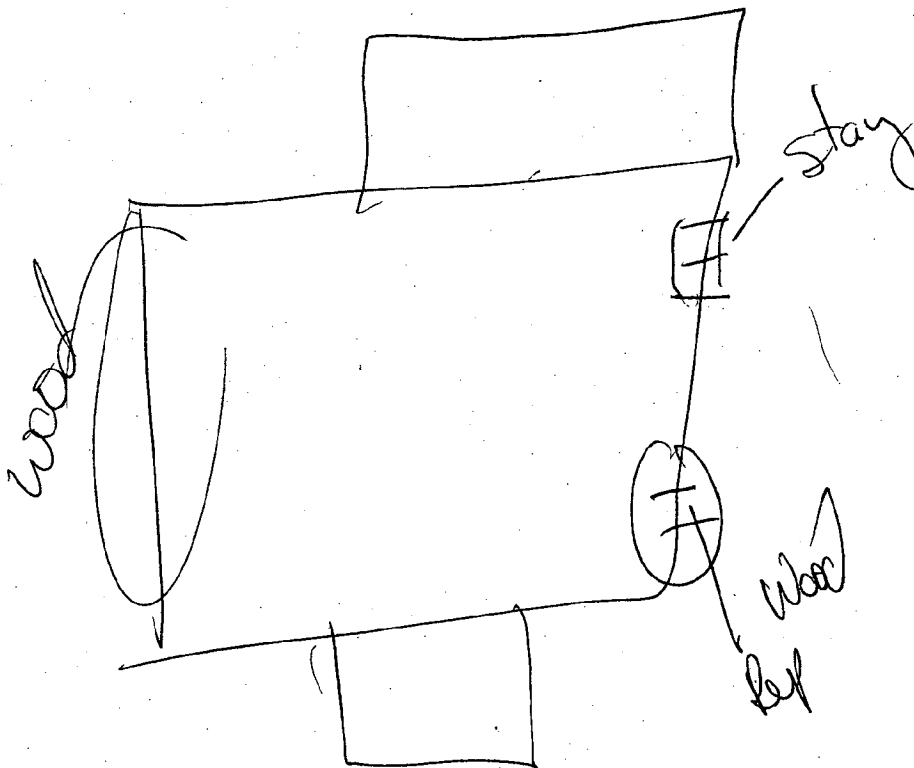
MS. TULLY: To public sidewalk.

MS. ALDERSON: If it's existing concrete I don't think we have a problem just repairing it
in kind. My comment was addressing if you wish to add additional paved area connecting the front
walk to the driveway that is what I would suggest using a different material. If you're simply repairing
an existing sidewalk that goes to the street, it can be done with the same material.

MR. CASTRO: Oh, okay.

MS. O'MALLEY: Okay. Thank you.

MS. CASTRO: Thank you.



FRONT SIDE EXIST. VIEW



RIGHT SIDE EXIST. VIEW



1

2 THE MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION

3

----- X
 4 :
 HISTORIC AREA WORK PERMIT - : HPC Case No. 31/07-06L
 5 10110 Capitol View Avenue :
 ----- :
 6 X
 HISTORIC AREA WORK PERMIT - : HPC Case No. 37/03-06HHH
 7 57 Walnut Avenue :
 ----- X
 8 :
 PRELIMINARY CONSULTATION :
 9 10012 Capitol View Avenue :
 ----- X
 10 :
 PRELIMINARY CONSULTATION :
 11 23315 Whites Ferry Road :
 ----- X

12

13 A meeting in the above-entitled matter was held on
 14 December 20, 2006, commencing at 7:42 p.m., in the MRO
 15 Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland
 16 20910, before:

17

COMMISSION CHAIRMAN

18

Julia O'Malley

19

20

COMMISSION MEMBERS

21

Nuray Anahtar

22

Thomas Jester

Caroline Alderson

23

Tim Duffy

24

Jeff Fuller

David Rotenstein

25

Warren Fleming

Deposition Services, Inc.

6245 Executive Boulevard

Rockville, MD 20852

Tel: (301) 881-3344 Fax: (301) 881-3338

info@DepositionServices.com www.DepositionServices.com

ALSO PRESENT:

Gwen Wright
Anne Fothergill
Tania Tully

APPEARANCES

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| Jean Zenklusen | 6 |
| Juan Castro | 31 |
| Eric Eicher | 44 |
| Donald Lococo | 48 |
| Thomas Taltavull | 85 |

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1 mean, rather than including that specificity in the motion,
2 I think we hear that direction, and staff can certainly try
3 to work with the applicant to work that out. But, you know,
4 my concern is making a design that may be hard to actually
5 build.

6 MS. ALDERSON: As approved by staff.

7 MS. O'MALLEY: Is there a second?

8 MR. ROTENSTEIN: Second.

9 MS. O'MALLEY: Any more discussion? All in favor
10 raise your right hand.

11 VOTE.

12 All right, so that's been approved by a
13 unanimous -- talk to staff about it.

14 MS. WRIGHT: I just want to make sure just so we
15 all know, three panels in front, one panel on the side, in
16 concept six feet high but it needs to be very open with the
17 design approved by staff with again, direction to staff to
18 look at getting the major horizontal support lower so that
19 the structure and the upper part of it to be a lighter
20 thinner kind of material, is that right?

21 MR. FULLER: Wire over it.

22 MS. O'MALLEY: All right, we're going on to the
23 next case which is, K, 57 Walnut Avenue.

24 MS. TULLY: Yes, 57 Walnut Avenue is a
25 contributing resource in the Takoma Park Historic District.
26 This is a retroactive application that the commission saw a

1 bit, saw in an earlier meeting as a preliminary
2 consultation, because at that time the applicant was also
3 proposing an addition. The addition has subsequently been
4 dropped from the proposal.

5 This is a bungalow constructed in the 1920's that
6 at this point has some aluminum siding on it, but was, at
7 least under the siding is stucco. What has been proposed,
8 some of which is in progress, is to remove the aluminum
9 siding and the applicant is now proposing to remove all of
10 the aluminum siding not just that on the front of the house,
11 and then to repair and paint the new exposed stucco.

12 Replace basement windows on the rear sides with
13 vinyl. That is complete, as well as replacing windows on
14 the rear and two on the right side with vinyl. That also
15 has already been completed. And then replace the windows on
16 the left, all the windows on the left side and one on the
17 right side with either wood or wood clad simulated divided
18 light windows. There is one missing window on the front.
19 that would need to be remade.

20 Proposing to put all of the trim back. They're
21 replacing a Danish concrete front walk. Resurface the small
22 concrete patio in the rear. Pave the driveway with concrete
23 or a compacted gravel with a concrete curb. Replace the
24 gutters. Replace the roof. And then conceptually construct
25 a roof over the rear patio. And all of the work items
26 proposed are with consultation with staff and based on the

1 conversation made at the -- the conversation held at the
2 October 11th preliminary consultation.

3 With all of that in mind, staff is recommending
4 that the historic area work permit be approved with five
5 conditions. ① One is that the specification sheets or samples
6 of the windows are provided to staff for approval prior to
7 installation.

8 ② That staff is provided with a sample of the window
9 casing for approval before installation. ③ An accurate site
10 plan indicating the chosen paving material will be provided
11 to staff for approval before installation. ④ That the windows
12 on the front facade not be replaced, ⑤ and that the missing
13 window on the front facade would be replaced to match the
14 existing windows on the front facade, and they must be solid
15 wood true divided light six over one windows with the same
16 profile and design. And the applicant is here this evening.

17 MS. O'MALLEY: Are there any questions for staff?

18 MR. JESTER: Tania, could you just clarify again
19 which windows are going to be the ones that will match the
20 ones that were removed? I see one on the front facade, and
21 then wasn't there one on the side?

22 MS. TULLY: Yes. Well, what I've recommended in
23 the conditions is that the window on the front be an exact
24 true divided light replacement, and then all of the windows
25 on the left side which is Circle, yeah Circle 11 the top
26 picture is sort of the best, that side. The driveway side

1 of the house. That those be matched, but that they could be
2 the simulated divided light. That's something that the
3 commissioners indicated they were comfortable with at the
4 preliminary. And then on the other side of the house, that
5 only the window closest toward the front of the house be
6 replaced. And that's also in Circle 11, the bottom window.
7 Does that answer your question?

8 So we have some that are allowed to be left as the
9 vinyl replacements. Some that would be, the vinyl windows
10 would be removed and wood simulated divided light windows
11 would be put back in. And then the one window that's
12 missing would be, from the front, would be true divided
13 light wood matching exactly.

14 MR. JESTER: My recollection from the last time we
15 heard this was that the most visible one on the side, the
16 left side I guess, would also match. And it was getting
17 that window and the front one right to match.

18 MS. TULLY: I mean it's up to you.

19 MR. JESTER: In exchange for letting the other
20 ones that have being replaced just remain in place and not
21 have to replace those.

22 MS. TULLY: I interpreted as best I could.

23 MS. ALDERSON: And my other question was, that in
24 either case they were all required to match. It's just a
25 matter of where true divided lights are required on the
26 front and simulated on the side, and in other similar

1 instances we have accepted simulated divided lights on side
2 facades. So we were looking at what's standard practice if
3 I remember correctly.

4 MS. TULLY: That my interpretation is like, and
5 what was going to be the most visible from the street. And
6 the driveway side there's a very large gap between the two
7 houses on the other side the houses are close together.

8 MS. ALDERSON: But they're all going to match the
9 existing mutton pattern and profile?

10 MS. WRIGHT: You're questioning that you're saying
11 some vinyl replacement are going to be made, is that
12 correct?

13 MS. TULLY: Right, yeah, I guess the way it stands
14 now is I have recommended that some of the vinyl
15 replacements be allowed to remain on the right hand side of
16 the house at the rear. That was my understanding, but, if
17 that is not what you intend, then the condition would need
18 to be changed.

19 MS. ALDERSON: Is a portion of the right side is
20 not original?

21 MS. TULLY: No, it's the side that just isn't as
22 visible from the public right of way because this is a
23 contributing resource in the Takoma Park as opposed to a
24 outstanding resource.

25 MS. WRIGHT: So what's on the table right now,
26 although you can certainly change that, is that the windows

1 on the front facade which are there today would stay. The
2 one that's not there would be replaced with a true divided
3 light. The window on the side that currently is vinyl that
4 up towards the front of the house would become a new
5 simulated divided light.

6 The window on the side that's towards the rear of
7 the house that was replaced with vinyl would remain as a
8 vinyl replacement window. But that's what the staff
9 recommendation is. You all will have to decide what you
10 want to vote on. And basement windows which are vinyl would
11 stay as vinyl.

12 MS. ALDERSON: Can you just one last question. If
13 I, my eyes tell me, remind me of what I think I'm seeing.
14 These are windows that do not match the original sash size.
15 They are shorter, so we will alter the opening?

16 MS. TULLY: No. The openings have remained the
17 same. They have not changed. What was done, the original
18 trim was removed, so you have the appearance because the
19 aluminum siding has been pulled away.

20 MS. ALDERSON: The size of the window will -- the
21 size is the original sash and the opening will still be the
22 size of the original opening.

23 MS. TULLY: Yes.

24 MS. ALDERSON: Thank you.

25 MS. O'MALLEY: Do you all feel that we're ready to
26 have the applicant come up now or you have other questions?

1 All right, would the applicant come up to the table at the
2 front, please.

3 MR. CASTRO: Hello everybody.

4 MS. O'MALLEY: Hello. Just state your name for
5 the record.

6 MR. CASTRO: Okay. My name is Juan Castro.

7 MS. O'MALLEY: Welcome.

8 MR. CASTRO: I guess as Tania already told you
9 about the windows. I mean, I understand. I mean, about the
10 original windows, but you know, I asking if I find any of
11 the same windows and the same materials, I mean, can I
12 replace the old windows, because only in my house, but now
13 only I have one windows is not in good condition because not
14 opening.

15 MS. O'MALLEY: On the front?

16 MR. CASTRO: Yes, in the front.

17 MS. O'MALLEY: So you're saying that one of the
18 windows --

19 MR. CASTRO: I mean the window I have right now,
20 the original windows right down the front is not opening
21 properly. I mean and I have two on the left side that's
22 broken. I mean, --

23 MS. TULLY: I think the question is if what he's
24 requesting, is that if he can find, you know, exact same
25 windows as is there could he replace --

26 MS..WRIGHT: All the windows in the front.

1 MS. TULLY: All the windows in for the front.

2 MS. ALDERSON: And in comparable cases we have not
3 approved replacement of front windows unless there's an
4 analysis from a reputable window conservator saying that
5 they are not salvable. And so I don't think we've actually
6 gone through that course of review. I'm happy, I have names
7 of two very reliable wood window repair firms that probably
8 can get your windows operating at a lost less than you would
9 spend on a replacement window.

10 MS. ANAHTAR: I had a question. You're asking him
11 to keep the windows at the front. And asking, and letting
12 him replace the ones on the side. Rooms at the front of the
13 house and if they did have windows on both sides, you see
14 two different type of windows in the same room? This is a
15 good idea? And then, in the back of the house we have the
16 same situation, the same room has windows on two sides and
17 they're two different type of windows.

18 Why don't we let him replace with something, with
19 the same windows everywhere in the house? What are we
20 trying to achieve here by proposing him to use three
21 different types of windows in the same house?

22 MS. TULLY: Well I think the problem is that most
23 of the windows were replaced with vinyl without a historic
24 area work permit already. So, and we don't approve vinyl
25 replacements.

26 MS. ANAHTAR: They need to removed then and

1 replaced by wood windows, but --

2 MS. WRIGHT: Well I think we're trying to achieve
3 a little bit of a compromise so that this gentleman who's
4 purchased these vinyl windows doesn't have to lose all the
5 money on all the vinyl windows even though it's towards the
6 rear of the property. I think that our sense is that the
7 true divided light at the front and the simulated divided
8 light that is towards on the front on the side, which will
9 probably be in the same room, are close enough in terms of a
10 similar appearance that they would not be blatantly looking,
11 you know, like they're something that doesn't match. And
12 that the one over one vinyls would all be to the rear and
13 would be all the rooms to the rear.

14 MS. O'MALLEY: It's possible that if he thinks he
15 can get wooden windows somewhere, he would be able to get
16 wooden windows for the side of those front rooms.

17 MR. JESTER: And I think the window that we're
18 talking about that's visible from the side is probably the
19 same exact window that's on the front that we're asking to
20 replace with wood true divided light. So, I attend to agree
21 with Commission Anahtar, it's probably not, it's just going
22 to make it more complicated to get the windows replaced
23 because you're going to be going to one manufacturer looking
24 for a window that's going to have simulated mutton, and then
25 you're going to be asking someone to mill a custom sash to
26 replace the front window.

1 I mean, I'd almost be inclined to except the
2 replacement of the two sashes talking about earlier with
3 true divided sash, light sash, with the two that are
4 existing, the one on the front that he's already replaced
5 that needs to be replaced to match, and the one side window.

6 So we have basically five windows that are all new sash and
7 true divided light.

8 MS. TULLY: I just wanted to make one
9 clarification on what is proposed right now for the side
10 windows. It is wood simulated divided or true divided
11 light. So the option. And I don't know that we have, you
12 know, approved the, you know, the replacement of the
13 existing wood windows on the front. I think that's what we
14 were just talking about.

15 MS. WRIGHT: I think that the, you know, also the
16 issue that I hope the commission is aware of is, if this
17 applicant is talking about replacing one window at the front
18 with true divided light, he probably isn't going to get that
19 milled. He's probably going to find a salvage window from
20 another location and reused it. Because remilling a true
21 divided light window is going to be extremely expensive.
22 Certainly if he was going to do all true divided light
23 windows throughout the house it might have some, make some
24 sense because you know there's efficiencies of scale. But,
25 probably for one window he'll be looking at --

26 MR. FULLER: Wasn't your initial proposal tonight

1 to suggest that all around the house you go with the same
2 window that's the closest to what's there, so you'd be going
3 with real wood divided light windows on all four sides of
4 the house? Is that what you were proposing?

5 MR. CASTRO: Yes, sir.

6 MS. O'MALLEY: Are you thinking of putting wood
7 windows around the whole taking out all of the vinyl
8 windows?

9 MR. CASTRO: Yes. I mean take the banner out and
10 put a window, wood windows.

11 MS. O'MALLEY: In the entire house?

12 MR. CASTRO: Right.

13 MS. ALDERSON: We would certainly rather see wood
14 than vinyl. The one aspect of this that I believe where the
15 line should be held is that the surviving original front
16 window should be retained, because otherwise for precedent
17 sake we are opening the door to all you need to do is begin
18 to remove your windows to get approval of full replacement.
19 And I think there are going to be real issues. Certainly, I
20 know in Takoma Park it is getting ready to sue D.C. decision
21 about letting windows go without a summary review.

22 So I think we need to be really concerned about
23 the line we held with others. We have held fast to that
24 front windows that are intact need to be retained unless we
25 have a credible conservation assessment that shows that they
26 can't be retained. But we have not have that kind of review

1 yet.

2 So, I believe that the windows that are intact,
3 that can probably be repaired, they need to be looked at for
4 repair first, and those that are already removed, I think
5 certainly a wood replacement is the way to go. And whether
6 it's simulated or true divided I could be okay with either
7 one.

8 MR. CASTRO: I mean I don't have a problem about
9 this. I mean, you think we can find somebody to fix this
10 window?

11 MS. ALDERSON: I have two repairmen that do
12 downtown wood window repairs, and we can get you a source
13 that can fix them.

14 MR. CASTRO: That's good. No problem.

15 MR. JESTER: So we're back to the question of what
16 to do with the other windows.

17 MS. WRIGHT: So the question is on the side and
18 elsewhere on the house does the commission feel strongly
19 that all of the windows need to be simulated divided light
20 windows, or will you accept retaining any of the vinyl
21 windows that are already been put in by the applicant?
22 That's the question.

23 MR. JESTER: My recollection from the last meeting
24 we tried to compromise on this situation because of the fact
25 that they'd all been replaced without the permit, and we
26 were going to allow some retentions of the vinyl windows at

1 the rear where they weren't visible from the public right of
2 way. We were going to focus on trying to get new windows
3 that matched the original design as much as possible on the
4 most visible side of the window and the front, other front
5 window. If that can be accomplished with the simulated
6 light window and the rest of the commissioners finds that
7 acceptable, I don't have a problem with that. It doesn't
8 seem to make sense to me to have one wood true light window
9 on the front and then switch to a one over one with a
10 simulated mutton on the side. I think the other two windows
11 we're talking about should be the same window.

12 MR. FULLER: It's a small house. Three different
13 windows is --

14 MR. JESTER: Yeah, I agree.

15 MS. ANAHTAR: But he says he's willing to replace
16 them all, right?

17 MS. ALDERSON: It's the existing original that we
18 don't want replaced.

19 MR. JESTER: He's already agreed to, we've already
20 had that discussion. He's agreed to keep those and find
21 someone to make those two windows operable. The question
22 is, what to do with the other two windows, or are we going
23 to reopen whether the remaining windows need to be replaced
24 to match?

25 MS. O'MALLEY: So it sounds to me that the
26 discussion is that we want to keep the ones on the front and

1 the application with the staff recommendations that would
2 give you the flexibility to keep the rear side windows if
3 you wish, or you wish to upgrade to wood that would also be
4 acceptable. So that provides flexibility. I'll make a
5 motion then that we approve the application with the staff
6 recommendations as submitted.

7 MS. O'MALLEY: Is there a second?

8 MR. FLEMING: I second.

9 MS. O'MALLEY: All in favor raise your right hand.
10 Discussion.

11 MR. FULLER: As a quick matter of discussion,
12 since it's taken us 20 minutes to try to figure out what
13 we're talking about, can we make sure that the staff helps
14 draw up like a plan on the house that shows exactly which
15 windows we're saying can do for what because if we can't
16 come to conclosure, I'd like to have something's that.

17 MS. O'MALLEY: Have it drawn from him. Any other
18 discussion? All right, all in favor raise your right hand.

19 VOTE.

20 MS. O'MALLEY: All right, this application is
21 approved with the conditions.

22 MR. FULLER: Please work with staff.

23 MS. O'MALLEY: Yes, please work with staff and
24 she'll help you with this.

25 MR. CASTRO: Okay. I'm sorry. I have another
26 question about the front door. I don't know if I had a

1 chance to repair or replace the front door.

2 MS. O'MALLEY: The front door? That might be
3 something you need to talk to staff about.

4 MS. ANAHTAR: Has it been replaced already?

5 MR. CASTRO: No. I not replace already. I mean
6 the original door.

7 MS. O'MALLEY: It's the original door. Probably
8 not.

9 MR. CASTRO: All right. No problem.

10 MS. O'MALLEY: Repair it. Thank you. We
11 appreciate what you're doing for the house now.

12 All right, we're ready to move to the preliminary
13 consultations. Case A, 10012 Capitol View.

14 MS. FOTHERGILL: This is a preliminary
15 consultation for 10012 Capitol View Avenue in Silver Spring
16 which is an outstanding resource in the Capitol Park
17 Historic District. And it is known as the Frederick Pratt
18 House. It was built circa 1895, and I'm going to show you
19 some aerial shots on this lot to familiarize you with the
20 property.

21 So this is looking down and that is the front of
22 the house which does not face Capitol View Avenue, but faces
23 I guess towards the capitol perhaps. And the road behind is
24 Stoney Brook, so that's Capitol View Avenue to the right and
25 that's Stoney Brook going off to the left. So it is on a
26 corner and is very close to the road. At one time the third

12/11/2006

57 Walnut Ave
TP H.D.

1 now? Any more discussion? All in favor raise your right
2 hand. Four Commissioners, one against. O'Malley votes
3 against. So the retroactive is approved and I hope you will
4 work with your neighbor to resolve that water issue.

5 MR. BORDYNOWSKI: Thank you.

6 MS. O'MALLEY: We'll do the preliminary now. The
7 first preliminary is 57 Walnut Avenue, Takoma Park.

8 MS. TULLY: Just one moment -- Okay. 57 Walnut
9 Avenue is a contributing resource in the Takoma Park
10 Historic District. It is a bungalow and I'll just start
11 with this. And until recently the house was sheathed in
12 aluminum siding and the house sits on a high foundation and
13 there is an enclosed rear porch and the front porch is gable
14 front. There are two parts to this particular preliminary
15 application. One there's a retroactive issue and then there
16 is a proposal for a second level addition. What I think
17 will be the easiest thing to do is I can just take the
18 slides and go around and indicate what work has already been
19 completed up to this point. Oh a similar house that needs
20 some additions to it. Okay.

21 This is the front and side of the house and as you
22 can see the aluminum siding has been removed and the stucco
23 siding is still underneath it relatively the condition on
24 the home when the strips are taken off. And the front, all
25 the front windows and door currently remain all except the

1 broken one here. Also as you can see the concrete walk
2 where taken out and repaired and being rebuilt. And I don't
3 have a picture from very before, but it's my understanding
4 this house had not been cared for for some time and this was
5 really overgrown so the applicant has done a good job in
6 clearing the yard so we can actually see the house. Some
7 shots of the front of the house. And this is looking up the
8 driveway currently. It helps you see the location of the
9 driveway. And the streetscape. There's that walk again.
10 This is the rear of the property that's been enclosed,
11 screened, enclosed porch and this is the door to the
12 basement. As you can, here's one of the bay windows that's
13 been replaced. The aluminum siding has not been approved
14 all the way around the house as of yet.

15 The applicant is replacing the aluminum siding.
16 Staff is suggesting that he fix, really those are the
17 things, stuck. And here's -- and this looked a little bit
18 better on my computer. But this is sort of a collage of the
19 windows. These do remain. They are on the front facade.
20 This is in the basement and then these are replacement
21 windows. There is also one more original window remaining.
22 It's the one that faces underneath the rear porch. I did
23 not get a photograph of that. And again, these are the
24 vinyl replacement windows from the various sides. This is
25 along the right side. This is along the left side if you

1 MS. ALDERSON: Replacement windows to match the
2 size of the openings, or is the opening altered as well as
3 the casing?

4 MS. TULLY: Yes, it, some of them are smaller.
5 Some of them are, it's, I would need to get the, get a
6 measuring tape out there to be certain.

7 MR. JESTER: Just generally speaking, how many
8 windows were replaced that are in the public right-of-way in
9 the front of the house and possibly from the side in public
10 right-of-way?

11 MS. TULLY: Okay. None from the front facade were
12 replaced. And there are I mean --

13 MR. JESTER: Approximately.

14 MS. TULLY: Approximately, 1, 2, 3, 4, 5, 6, I
15 would say approximately 7 or 8 that are readily visible from
16 the public right-of-way. And that would be all of them
17 along the driveway side of the house, because that's very
18 open and just the front on the other side of the house
19 because it sits so close.

20 MS. ALDERSON: Did you say that the front facade
21 remains intact?

22 MS. TULLY: The windows have not been replaced on
23 the front facade, yes.

24 MS. O'MALLEY: Would the applicant come up to the
25 table, please. And if you would just say your name.

1 MR. CASTRO: Yes, ma'am, my name is Juan Castro
2 and I'm the owner of this house. First of all, when I buy
3 this house I tried to make it a second level. But I talk
4 with my wife and I said, you know, we can't do this. I mean
5 we don't have this money to do it.

6 MS. O'MALLEY: Well, first tonight, the first
7 thing we're going to talk about are the windows.

8 MR. CASTRO: The windows.

9 MS. O'MALLEY: So that you can get the --

10 MR. CASTRO: There are windows just inside. The
11 new windows just inside.

12 MS. O'MALLEY: Now, do you understand that we
13 don't like to have the original windows removed from the
14 house. We like it to rehabilitate or you know, repair the
15 older windows. And so particularly the ones that are still
16 in place on the front should not be removed. They should be
17 repaired.

18 MR. CASTRO: Okay. Well, you know, when I buy the
19 house, I never know this. When I buy this house in this
20 area here --

21 MS. O'MALLEY: Uh-huh.

22 MR. CASTRO: I never know. I mean the neighbor he
23 told me about the --

24 MS. O'MALLEY: Historic District?

25 MR. CASTRO: Right. I didn't know this before.

1 MS. O'MALLEY: Okay.

2 MR. JESTER: Now, you know. You mentioned that
3 the replacement windows are the same size. I think we saw a
4 few slides, at least a couple where the new windows are
5 clearly considerably smaller than the openings they were put
6 into. They're smaller than the windows that were there.
7 And also --

8 MS. O'MALLEY: Can you show him that picture?

9 MR. JESTER: I guess the second issue is that the
10 windows you put in don't match the details of the original
11 windows, the configuration with the profile and all the
12 original trim. So even if we were to approve the
13 replacement because they were deteriorated, the windows you
14 put in do not match the windows that are there or were
15 there. That in particular --

16 MS. CASTRO: You see at the top you have a little
17 a piece of wood at the frame around the windows. You see
18 the windows have the old frame around the windows.

19 MR. JESTER: Is that clarified --

20 MS. TULLY: Yes.

21 MR. JESTER: Those windows are smaller --

22 MS. TULLY: It does look like they're smaller. I
23 have not measured them. However, they, the windows you
24 know, did have very wide casing on them. And it is possible
25 that is the missing casing that you're seeing. But --

1 MR. JESTER: Those like like new --

2 MS. TULLY: Oh, actually you're right, right
3 there.

4 MR. JESTER: To my eyes. Let someone who --

5 MS. TULLY: No, no, no, I see what you're saying.

6 MS. ALDERSON: That's what appeared to me. That's
7 why I asked the question.

8 MS. TULLY: We are fortunate in that the windows
9 on the front facade, you know, do remain. They can be used
10 --

11 MR. JESTER: From my perspective, it's unfortunate
12 that the applicant was not aware that, required how to
13 purchase and install windows. These windows really are not
14 windows that were approved for proposed work. This is
15 supposed to be retroactive so I personally concerns about
16 it. I would be open to negotiating exactly which ones would
17 need to be replaced with more appropriate windows. And
18 that's why I asked earlier about the numbers so we can kind
19 of get to be manageable.

20 MS. TULLY: Sure. And we can discuss that this
21 evening because this was placed as a preliminary. That's
22 what staff is looking for so the idea of hopefully you will
23 see this same information about window makers and what staff
24 was hoping that would come from this is a determination you
25 know, what needs to go back. And then they would be,

1 historic area work permit specifically on the windows that's
2 applied for that has what will be installed.

3 MR. JESTER: I would --

4 MS. TULLY: Does that make sense?

5 MS. ALDERSON: I want to be clear to the other
6 owners who work very hard to retain their original materials
7 and work very hard to match the original materials can be
8 maintained so I would think our priority would be those
9 windows that are most visible from the right-of-way. So
10 perhaps, Michele you can give us some guidance on --

11 MS. TULLY: Tania.

12 MS. ALDERSON: I'm sorry. On what you see. And
13 what your judgment call is on that.

14 MR. JESTER: And I also will add that I think, it
15 looks like the windows which we're talking about were 6 over
16 1's which is a relatively easy window type of match
17 reasonably.

18 MS. TULLY: Yes.

19 MR. JESTER: So I think if we come up with
20 insulated glass and permanently fix --

21 MS. TULLY: Okay.

22 MR. JESTER: -- that match. It might be a way to
23 get back closer to the appearance that was there without
24 having to truly replicate --

25 MS. TULLY: Okay.

1 MR. JESTER: I don't think that would be
2 necessary.

3 MS. TULLY: Okay.

4 MR. JESTER: -- just a little ground.

5 MS. ALDERSON: I completely agree -- all the way
6 along the side we want to see casing returned to its
7 original dimensions.

8 MS. TULLY: The windows that are not the most
9 visible would you want them to remain what was put on or
10 should they just be replaced with a simple wood window?

11 MR. JESTER: I personally think the resources
12 would probably be better spent trying to put in the best
13 windows, the ones that are the most visible --

14 MS. TULLY: Okay.

15 MR. JESTER: -- make the best improvement. We're
16 talking about window that are not visible from the public
17 right-of-way I think I would probably let it go.

18 MS. ALDERSON: I agree. Also I think that the
19 issue is what you see from the street, but we would want the
20 casings appropriate dimension returning all the way along
21 the side because that's very obvious.

22 MS. O'MALLEY: That's the wide trim that goes
23 around the window --

24 MR. CASTRO: Right.

25 MS. O'MALLEY: -- casing. So from the front you

1 have, even the basement level still has the original
2 windows.

3 MR. CASTRO: Right, the same windows.

4 MS. O'MALLEY: I think on the sides that sometimes
5 when we approve replacement on the basement level --

6 MS. TULLY: Yes, that's what we typically do
7 approve replacement, not typically vinyl but we do typically
8 approve replacing basement level windows.

9 MS. ALDERSON: My concern is the higher level and
10 I agree with windows on the front that they basically match
11 as well as we can.

12 MS. TULLY: Okay. Should we proceed with looking
13 into replacement aluminum or rehabilitating the stucco?

14 MS. ALDERSON: We're deciding now?

15 MS. TULLY: I'm sorry. I'm sorry. I thought we
16 were done.

17 MR. JESTER: Topic of the window I would recommend
18 that the windows not be vinyl, that there be other
19 replacement windows. They should be aluminum clad or wood.

20 MS. TULLY: For the ones that are most visible.
21 Correct?

22 MR. JESTER: Right.

23 MS. TULLY: Yes, staff understands.

24 MS. ALDERSON: And I would if there's an
25 opportunity certainly this is the first time we've had

1 someone ask to put aluminum siding back and usually the
2 neighbors are very thrilled and I urge the return, that now
3 we have the opportunity to do it.

4 MS. TULLY: Stucco.

5 MS. ALDERSON: Oh, I'm sorry I thought we had a
6 combination of stucco. And I would say it's an opportunity
7 to return to the historic finish, we would not approve wood
8 siding, aluminum siding. We never have. And if you want to
9 discuss, you know, the material, when we're finished with
10 that, I'd like to discuss the meeting.

11 MS. O'MALLEY: This is the rear that we're looking
12 at now that has the aluminum siding on it?

13 MS. TULLY: These are the two sides, the right
14 side and the left side. So at this point the aluminum
15 siding has only been removed from the front facade.

16 MS. O'MALLEY: From the front.

17 MS. TULLY: At this point, yes. To the best of my
18 knowledge we cannot require him to remove the rest of it.
19 So we're just talking about the portion that he's already
20 removed.

21 MS. ALDERSON: Do we believe the house was
22 originally stucco, not wood?

23 MS. TULLY: I think it was wood, yes.

24 MS. ALDERSON: Okay.

25 MR. CASTRO: I'm sorry, I tried to remove the

1 siding. You see the siding had a different color. I mean
2 what I tried to do, you know, take the old siding and put it
3 with the same siding in the same hole.

4 MS. ALDERSON: No, the principle here and this may
5 sound confusing is that something that is non conforming,
6 that is not consistent with a historic district, character,
7 while others are not required to actively restore once
8 something that is non consistent is removed, then we won't
9 put the inconsistent thing back. So once the incorrect
10 alteration is removed we are seeking a return to what is
11 historically appropriate. And the historic character in
12 this neighborhood is stucco and wood siding. It's natural
13 materials. So if you wish to remove the aluminum siding,
14 you would need to return the house to its historically
15 correct appearance. And that's why I would entertain either
16 stucco or wood. It may have originally been wood before the
17 stucco.

18 MR. JESTER: I think that's something they can
19 work with staff. I think the principle is clear.

20 MS. TULLY: Okay.

21 MR. JESTER: You want to start with paving before
22 we get to the --

23 MS. ALDERSON: Yes, I would. Yes. I have a
24 concern about request to install a new concrete pad. In one
25 case like this very recently on Carroll Avenue and once it

1 did actually come up. All the neighbors came to disapprove
2 but they were in the backyard. So I would urge you to think
3 about that and specifically we look at if you have a
4 concrete area that's been around we look at the opportunity
5 to take it back to a natural look. So that is what I would
6 urge you to seek. If you are needing solid surface for some
7 reason, I don't know, if this is a parking lot or something
8 like that, then we would urge you to work with staff to find
9 the material that looks more naturalistic, brownstone,
10 gravel or other materials. But I would certainly encourage
11 you to take the opportunity to remove the concrete from the
12 backyard. And then also the same with the connector between
13 the front and the driveway to look at a more naturalistic
14 connection. If you want to have a walkway extension rather
15 than concrete which would not be consistent with the
16 historic character of the neighborhood.

17 MS. O'MALLEY: So that would be the material could
18 be discussed with staff. Okay, staff.

19 MS. ALDERSON: Typically in this neighborhood
20 we're, as a historic treatment where there is a path
21 connecting the front to the driveway would be naturally cut
22 flagstone or something like that. I guess we really want a
23 garner material and a paving material, not concrete. But
24 removable.

25 MR. CASTRO: Okay. I have another question about

1 the roofs. You know, I have leak everywhere. And they need
2 to be replaced.

3 MS. O'MALLEY: If you replace the roof you can
4 replace the roof. If the roof is same material, the same,
5 you know, but on there those are asphalt shingle. You can
6 put new asphalt shingle on. You don't need to have a
7 separate permit for that. And you can get a tax credit for
8 it.

9 MS. ALDERSON: That's right, all the roofs that
10 are approved in here of the roof, walls and the windows can
11 qualify for tax credits to offset your costs.

12 MS. O'MALLEY: Staff can explain to you about
13 that. When you pay your taxes then you get some money back
14 if you keep the receipts from the work that you do. Staff
15 can explain that.

16 MR. JESTER: Have we covered all the issues --

17 MS. O'MALLEY: Do we need to make a motion on the
18 windows?

19 MS. TULLY: This is a preliminary consultation.

20 MR. JESTER: I think it's pretty clear, the
21 applicant has to ask --

22 MS. ALDERSON: I was unclear on whether you were
23 saying you no longer wished to discuss adding second story
24 because you're not pursuing that or did you still wish to
25 discuss that?

1 MR. CASTRO: No, we don't want to do a second
2 story.

3 MS. ALDERSON: Not pursuing a second story. Okay.
4 So that's not an issue for discussion.

5 MS. TULLY: I recommend that you do go ahead and
6 replace the roof and I can work with you on the other items
7 that were discussed with you.

8 MS. CASTRO: My question, does he need to remove
9 the windows that he installed?

10 MR. JESTER: Some of the ones --

11 MS. O'MALLEY: Some of them.

12 MR. JESTER: Some of them he has to. I think you
13 can work --

14 MS. CASTRO: Can he show us which ones?

15 MS. TULLY: Yes, we're going to need to, I'll meet
16 you out on site. We'll walk around the house and we'll go
17 over it very specifically.

18 MS. CASTRO: Okay.

19 MS. O'MALLEY: Okay. Thank you.

20 MR. CASTRO: I mean I have another question about
21 the little sidewalk go to the storehouse. This is, when I
22 buy the house it had concrete. But the concrete you know,
23 is cracked everywhere.

24 MS. TULLY: This is the sidewalk. This is the
25 sidewalk that goes from the front steps to the street.

1 MS. CASTRO: Yes.

2 MS. TULLY: To public sidewalk.

3 MS. ALDERSON: If it's existing concrete I don't
4 think we have a problem just repairing it in kind. My
5 comment was addressing if you wish to add additional paved
6 area connecting the front walk to the driveway that is what
7 I would suggest using a different material. If you're
8 simply repairing an existing sidewalk that goes to the
9 street, it can be done with the same material.

10 MR. CASTRO: Oh, okay.

11 MS. O'MALLEY: Okay. Thank you.

12 MS. CASTRO: Thank you.

13 MS. O'MALLEY: The second preliminary is 2805
14 Beechbank --

15 MS. OAKS: The subject preliminary consultation is
16 a proposal for a new house construction on lot 14 which is
17 identified as 2805 Beechbank Avenue in the Capitol View Park
18 Historic District. The Commission may remember back in
19 October of 2004 you reviewed a historic area work permit
20 application and approved the construction of a new house on
21 this lot. Staff has attached on the staff report beginning
22 on circle 20 the house design that you approved at that
23 hearing. The current proposal in front of you this evening
24 is a new house with a sublevel attached garage. The house
25 is a modern interpretation of the Italian style townhouse.



FRONT SIDE EXISTING VIEW



FRONT SIDE EXISTING VIEW



FRONT SIDE EXISTING VIEW



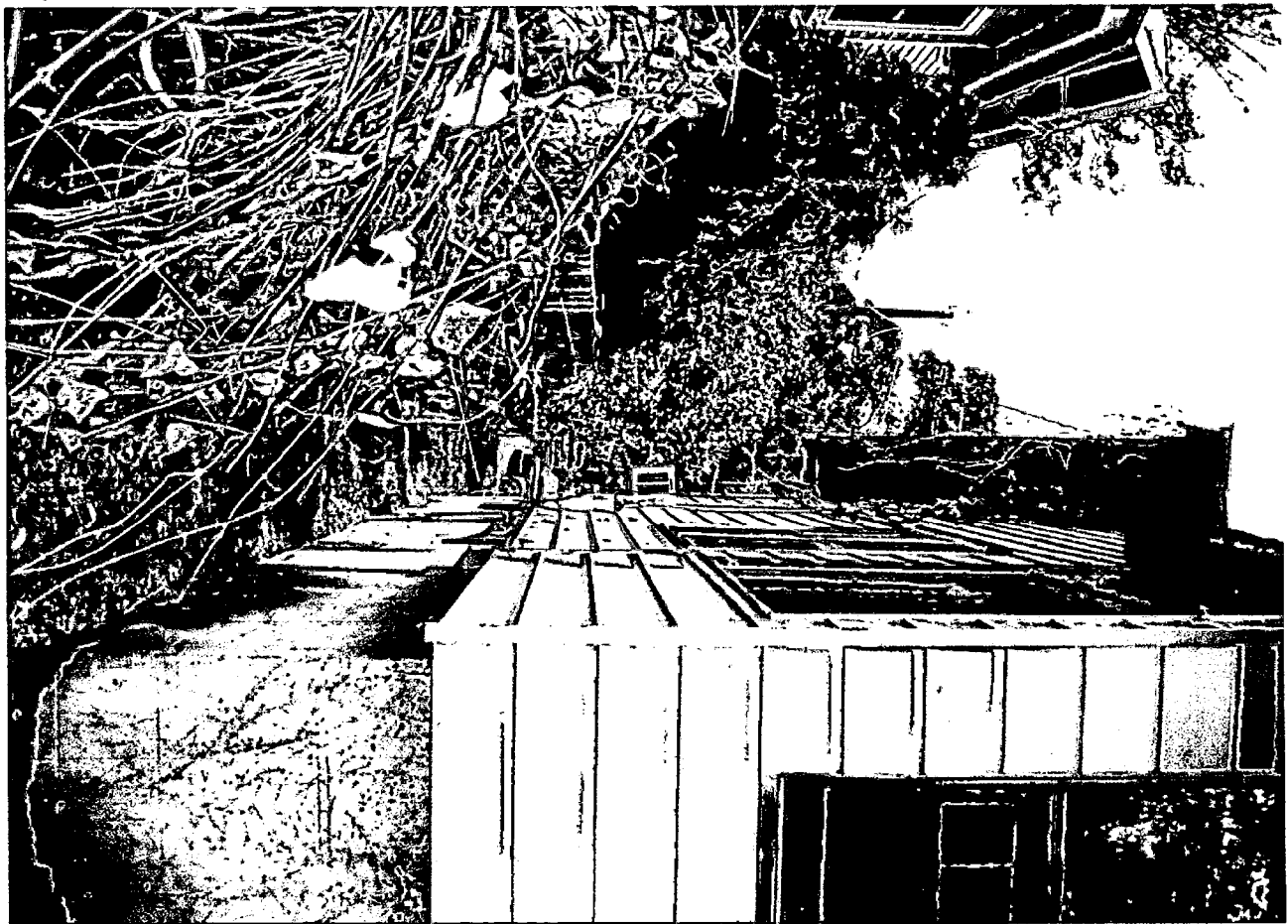
LEFT SIDE EXISTING VIEW



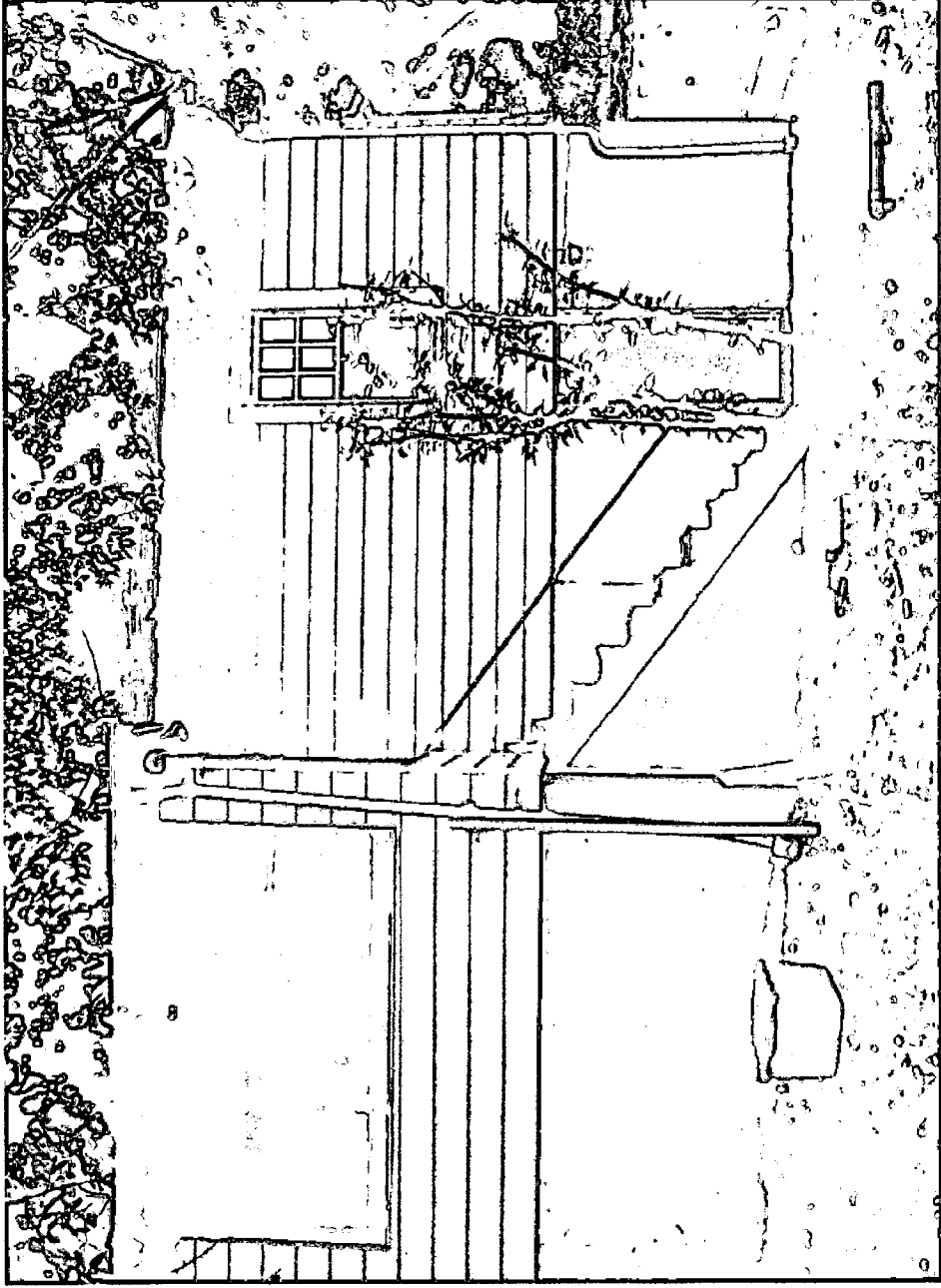
FRONT SIDE EXISTING VIEW



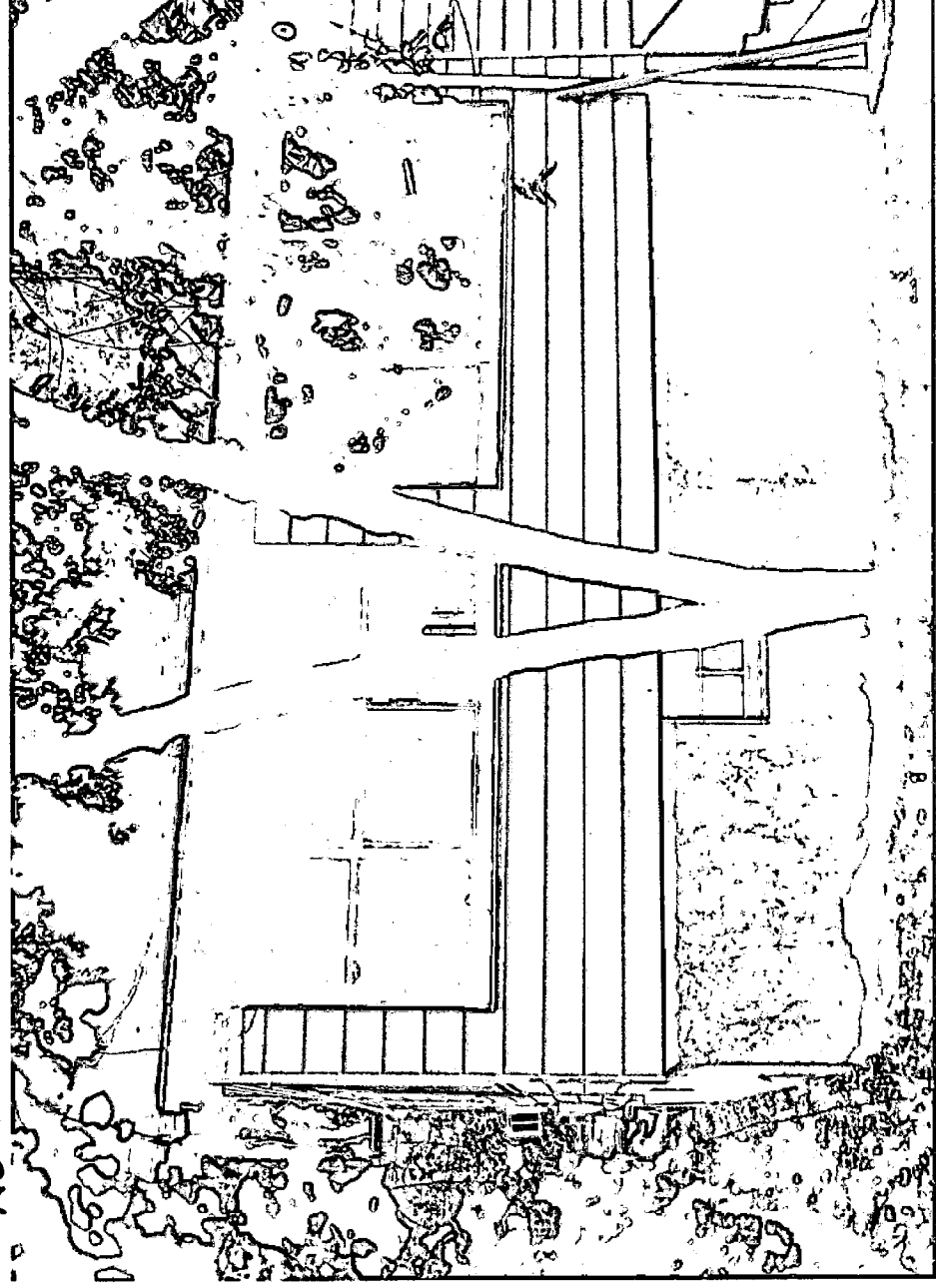
REAR RIGHT SIDE VIEW



REAR RIGHT SIDE VIEW



REAR SIDE EXISTING VIEW

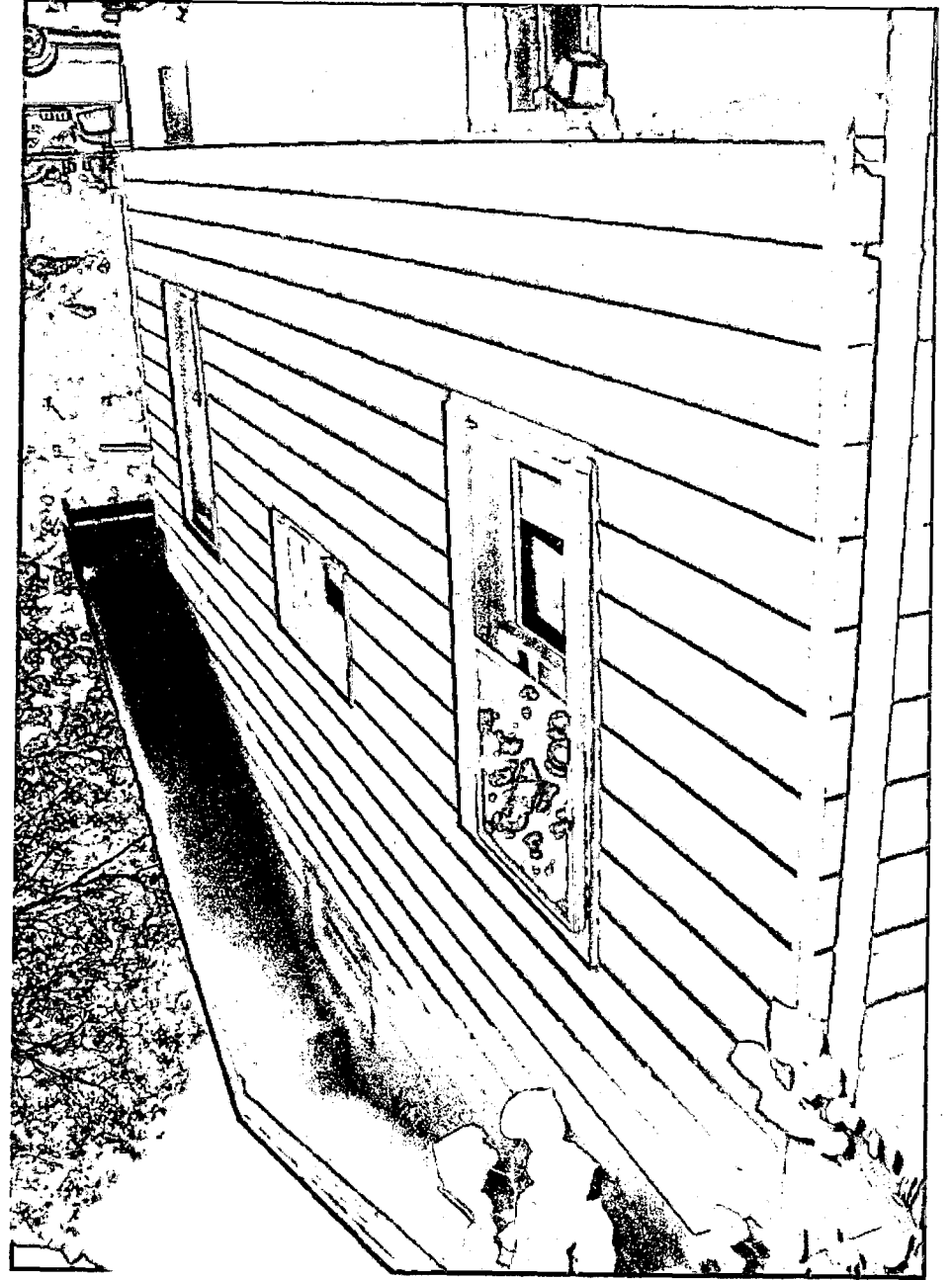


REAR SIDE EXISTING VIEW

REAR LEFT SIDE VIEW

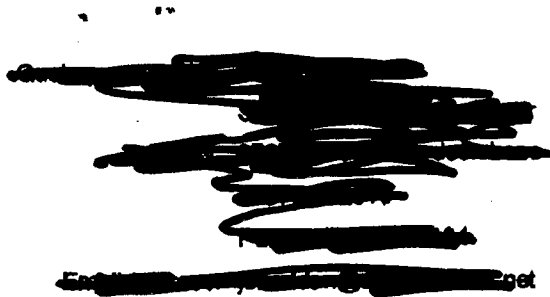


REAR LEFT SIDE VIEW



• Mr. Castro provided this specification sheet on 6/27/07. He also provided me w/ spec. sheet w/ window style that doesn't meet conditions of approval. I recommended he request the exact style/specs, then present that sheet to me for review. ⊗ He ~~then~~ wants to replace all of the front windows, which was also NOT a condition of approval. -over-

I offered to take his request
to the HRC for approval after
I received his NW Specs.
Sheet.



www.kolbe-kolbe.com

KOLBE

■ WINDOWS & DOORS ■



Quote prepared for: Mizell Lumber

Address: 10600 St. Paul Street
Kensington, MD 20895

Phone #: 301-949-0244

Quote: SQD00201-2007D

Name: 57 Walnut Takoma Park INSULATED GLASS

Printed: Thursday, May 31, 2007

*INSULATED
Glass*



(SQD00201-2007D) 57 Walnut Takoma Park Shenandoah Sash and Door Printed: Thursday, May 31, 2007

| Line | Label | UOM | Quantity | Cubic Feet | Unit Price | Extended Price |
|------|--|-----|----------|------------|------------|---|
| 001 | A Traditional Double Hung Sash Kit (CUSTOM) Wood Construction, Rectangle Shape, Non-H-K LoE Insulated Glass, True Divided Lites | EA | 6 (6) | | | |
| | | | | | | Sash Opening: 31-7/16" x 54-1/8" |
| | | | | | | SP \$906 |
| | Notes: 8 DEGREE BOTTOM RAIL BEVEL INCLUDED; | | | | | |
| | SCREEN PRICE IS INCLUDED-HOWEVER CANNOT BE ORDERED UNTIL STORM WINDOWS ARE REMOVED AND ACCURATE MARSUREMENTS CAN BE TAKEN | | | | | |
| 002 | B Traditional Double Hung Window (2824-1) Wood Construction, Single Wide Unit, Rectangle Shape, 4-9/16" Jamba, Non-H-K LoE Insulated Glass, True Divided Lites, No Casing On Exterior | EA | (3) | 27.88 | | |
| | | | | | | Rough Opening: 34" x 57" Box / Frame Size: 33-1/2" x 58-7/16" Unit Dimension: 33-1/2" x 58-18/16" |
| | | | | | | SP \$770 |
| 003 | C Heritage Awning Window (CUSTOM) Wood Construction, Single Wide Unit, Single High Unit, Venting, Rectangle Shape, 4-9/16" Jamba, Non-H-K LoE Insulated Glass, True Divided Lites, No Casing On Exterior | EA | (1) | 3.00 | | |
| | | | | | | Rough Opening: 39" x 23" Box / Frame Size: 38-1/2" x 22-1/2" Unit Dimension: 38-1/2" x 23-1/4" |
| | | | | | | SP \$998 |

| | | | | |
|--|-------------------|-------|------------------------|--------|
| Pricing Notes: | Total Cubic Feet: | 31.68 | Sub-Total: | |
| SIGN-OFF REQUIRED. IT IS TH BUILDERS RESPONSIBILITY TO VERIFY SIZING AND DETAILS | | | + Tax (.00%): | \$0.00 |
| | | | + Shipping & Handling: | \$0.00 |
| | | | + Other Charges: | \$0.00 |

Total Amount: ~~XXXXXX~~

\$ ~~XXXXXX~~
\$ 8,744 + TAX

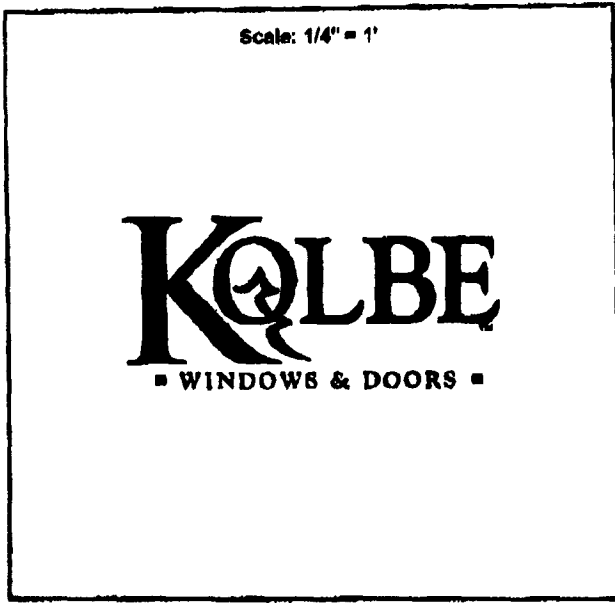


(SQD00201-2007D) 57 Walnut Takoma Park Shenandoah Sash and Door Printed: Thursday, May 31, 2007

| Line | Label | UOM | Quantity | Cubic Feet | Unit Price | Extended Price |
|------|-------|-----|----------|------------|------------|----------------|
|------|-------|-----|----------|------------|------------|----------------|

001 A

EA (6)



Sash Opening: 31-7/16" x 64-1/8"

Traditional Double Hung Sash Kit (CUSTOM)
 Wood Construction, Rectangle Shape, Non-H-K LoE Insulated Glass,
 True Divided Lites
 Notes: 6 DEGREE BOTTOM RAIL BEVEL INCLUDED;
 SCREEN PRICE IS INCLUDED-HOWEVER CANNOT BE ORDERED
 UNTIL STORM WINDOWS ARE REMOVED AND ACCURATE
 MAESUREMENTS CAN BE TAKEN

Additional Information for Line #001: Traditional Double Hung Sash Kit (CUSTOM)

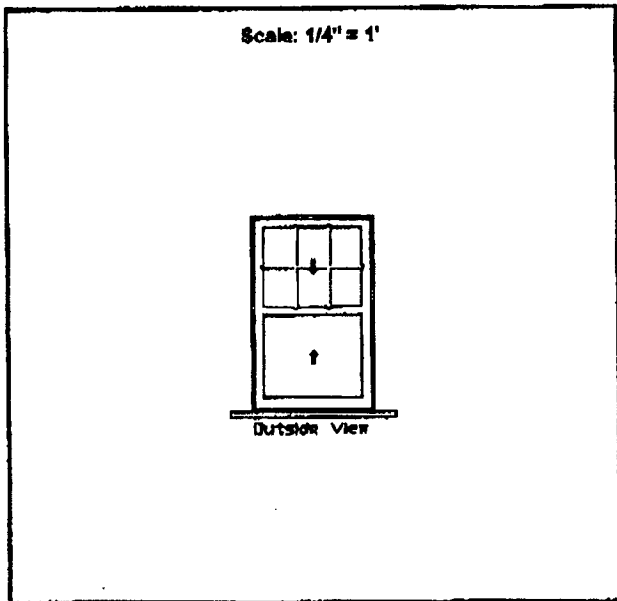
| | | |
|---|--|--|
| <p>Performance-Glass Unit Performance: Standard Glass: Non-H-K LoE Insulated Glass Spacer: Standard Stainless Steel Glass Preserve: No Glass Options - Top Sash: Clear Glass Options - Bottom Sash: Clear Glazing Bead: Beveled</p> | <p>Lite Divisions Lite Divisions: True Divided Lites Bar Size: 1-1/8" Grid Pattern: Colonial Lites Wide - Top: 3 Lites High - Top: 2 Lites Wide - Bottom: 0 Lites High - Bottom: 0</p> | <p>Hardware-Accessories Window Hardware Color: Clay (Rustic) Jambliner Color: Beige Sash Plough: Both Sash Plough Sash Limit Clips: None</p> <p>Species-Finish-Color Change Species: Leave All Pine Exterior Finish: Primed Latex Interior Finish: Primed Latex</p> |
|---|--|--|



(SQD00201-2007D) 57 Walnut Takoma Park Shenandoah Sash and Door Printed: Thursday, May 31, 2007

| Line | Label | UOM | Quantity | Cubic Feet | Unit Price | Extended Price |
|------|-------|-----|----------|------------|------------|----------------|
|------|-------|-----|----------|------------|------------|----------------|

| | | | | | | |
|-----|---|----|-----|-------|--|--|
| 002 | B | EA | (3) | 27.86 | | |
|-----|---|----|-----|-------|--|--|



Rough Opening: 34" x 57"
 Box / Frame Size: 33-1/2" x 56-7/16"
 Unit Dimension: 33-1/2" x 56-15/16"

Traditional Double Hung Window (2824-1)
 Wood Construction, Single Wide Unit, Rectangular Shape, 4-8/16"
 Jamb, Non-H-K LoE Insulated Glass, True Divided Lites, No Casing
 On Exterior

Additional Information for Line #002: Traditional Double Hung Window (2824-1)

Jamb-Casing-Trim

Jamb Size: 4-8/16
 Exterior Casing: No Casing
 Sill Noeing: Standard Sill Noeing
 Extended Sill Morns: 6" on Each Side

Performance-Glass

Unit Performance: Standard
 Glass: Non-H-K LoE Insulated
 Glass Spacer: Standard Stainless Steel
 Glass Preserve: No
 Glass Options - Top Sash: Clear
 Glass Options - Bottom Sash: Clear
 Glazing Bead: Beveled

Lite Divisions

Lite Divisions: True Divided Lites
 Bar Size: 1-1/8"
 Grid Pattern: Colonial
 Lites Wide - Top: 3
 Lites High - Top: 2
 Lites Wide - Bottom: 0
 Lites High - Bottom: 0

Hardware-Accessories

Window Hardware Color: Clay (Rustic)
 Jambliner Color: Beige
 Sash Plough: Both Sash Plough
 Sash Limit Clips: None
 Window Screen: Full Screen w/Fiberglass Mesh
 Stool Prep: Yes
 Installation Clips: None

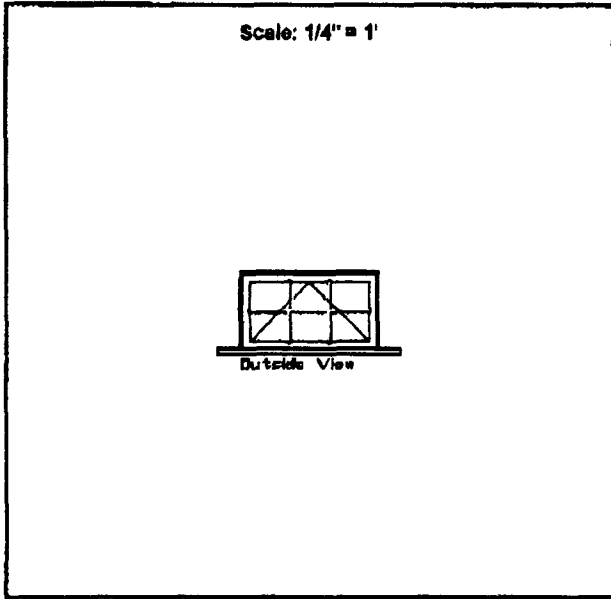
Species-Finish-Color

Change Species: Leave All Pine
 Exterior Finish: Primed Latex
 Interior Finish: Primed Latex
 Window Screen Color: White



(SQD00201-2007D) 57 Walnut Takoma Park Shenandoah Sash and Door Printed: Thursday, May 31, 2007

| Line | Label | UOM | Quantity | Cubic Feet | Unit Price | Extended Price |
|------|-------|-----|----------|------------|------------|----------------|
| 003 | C | EA | (1) | 3.80 | | |



Rough Opening: 38" x 23"
 Box / Frame Size: 38-1/2" x 22-1/2"
 Unit Dimension: 38-1/2" x 23-1/4"

Heritage Awning Window (CUSTOM)
 Wood Construction, Single Wide Unit, Single High Unit, Venting,
 Rectangle Shape, 4-8/16" Jamba, Non-H-K LoE Insulated Glass, True
 Divided Lites, No Casing On Exterior

Additional Information for Line #003: Heritage Awning Window (CUSTOM)

Jamba-Casing-Trim

Jamb Size: 4-0/16
 Jamb Size Exact: No
 Exterior Casing: No Casing
 Sill Nosing: Standard Sill Nosing
 Extended Sill Horns: 6" on Each Side

Lite Divisions

Lite Divisions: True Divided Lites
 Bar Size: 1-1/8"
 Grid Pattern: Colonial
 Lites Wide: 3
 Lites High: 2

Hardware-Accessories

Window Hardware Color: Clay (Rustic)
 Window Screen: Fiberglass Mesh Screen
 Stool Prep: No
 Installation Clips: None

Performance-Glass

Unit Performance: Standard
 Glass: Non-H-K LoE Insulated
 Glass Spacer: Standard Stainless Steel
 Glass Preserve: No
 Glass Options: Clear
 Glazing Bead: Beveled

Species-Finish-Color

Change Species: Leave All Pine
 Exterior Finish: Primed Latex
 Interior Finish: Primed Latex
 Window Screen Color: Rustic
 Window Sash Weatherstrip Color: Black





LAP
FILE

HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Julia O'Malley
Chairperson

Date: December 21, 2006

MEMORANDUM

TO: Juan Castro
57 Walnut Ave, Takoma Park

FROM: Tania Tully, Senior Planner *TGT*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit Application #441209

Your Historic Area Work Permit (HAWP) application for window replacement and aluminum siding removal was **Approved with Conditions** by the Historic Preservation Commission at its December 20, 2006 meeting.

The conditions of approval were:

1. *Specification sheets or samples of the windows will be provided to staff for approval before installation.*
2. *Staff will be provided with a sample of the window casing for approval before installation.*
3. *An accurate site plan indicating the chosen paving material will be provided to staff for approval before installation.*
4. *The windows on the front façade will not be replaced.*
5. *The missing window on the front façade will be replaced to precisely match the existing. The windows must be solid wood, true-divided light (TDL), 6/1 windows with the same profile and design.*

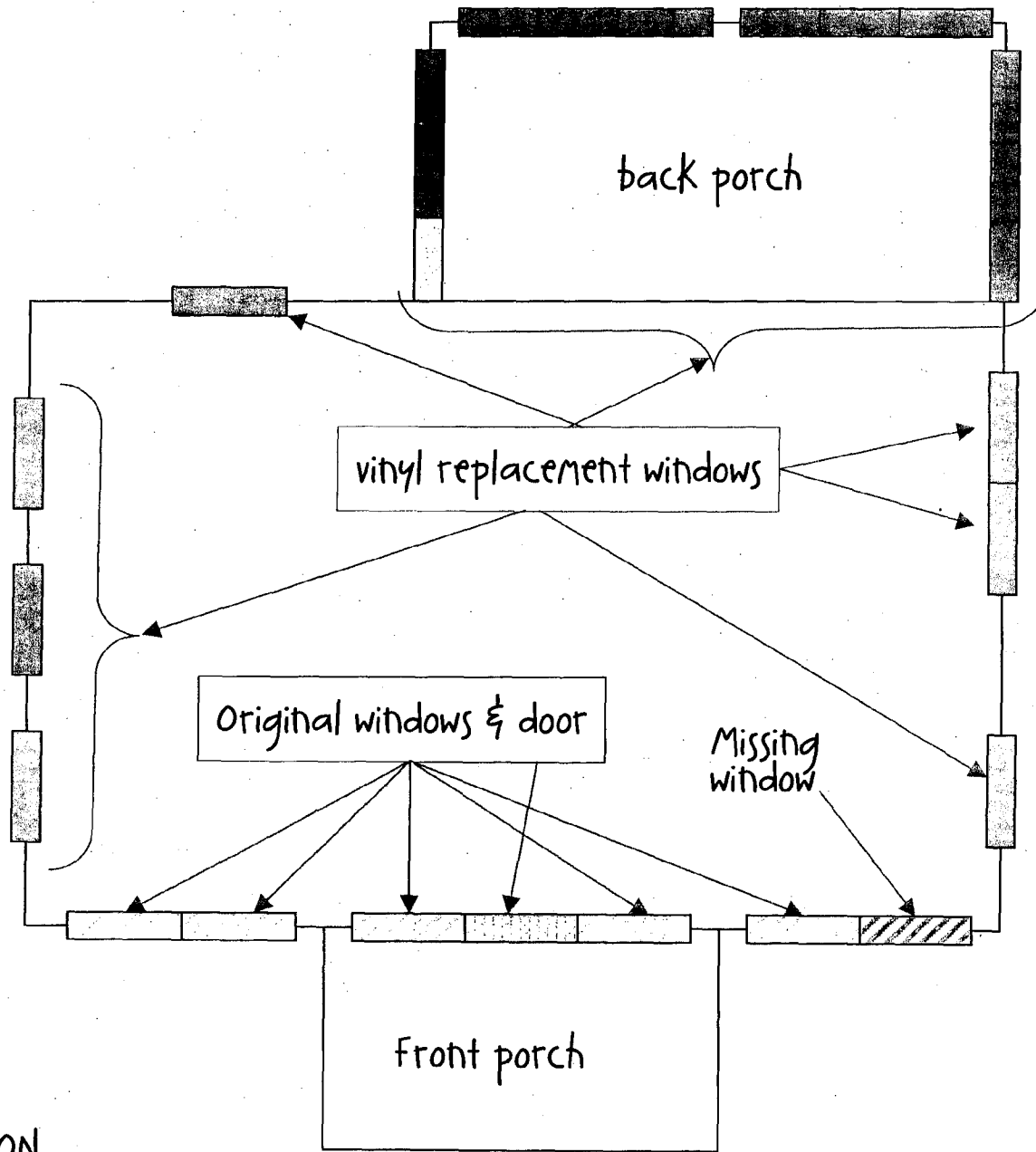
Before applying for a building permit from the Montgomery County Department of Permitting Services (DPS), you must schedule a meeting with your assigned staff person to bring your three (3) final permit sets of drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although the Historic Preservation Commission has approved your work, it may also need to be approved by DPS or another local government office before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings, the official approval letter, and the signed HAWP Application. These forms will be issued when the drawings are stamped by your assigned staff person and are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, you must contact the Historic Preservation Commission staff at 301-563-3400. After your project is completed, please send photos of the finished work to HPC staff.

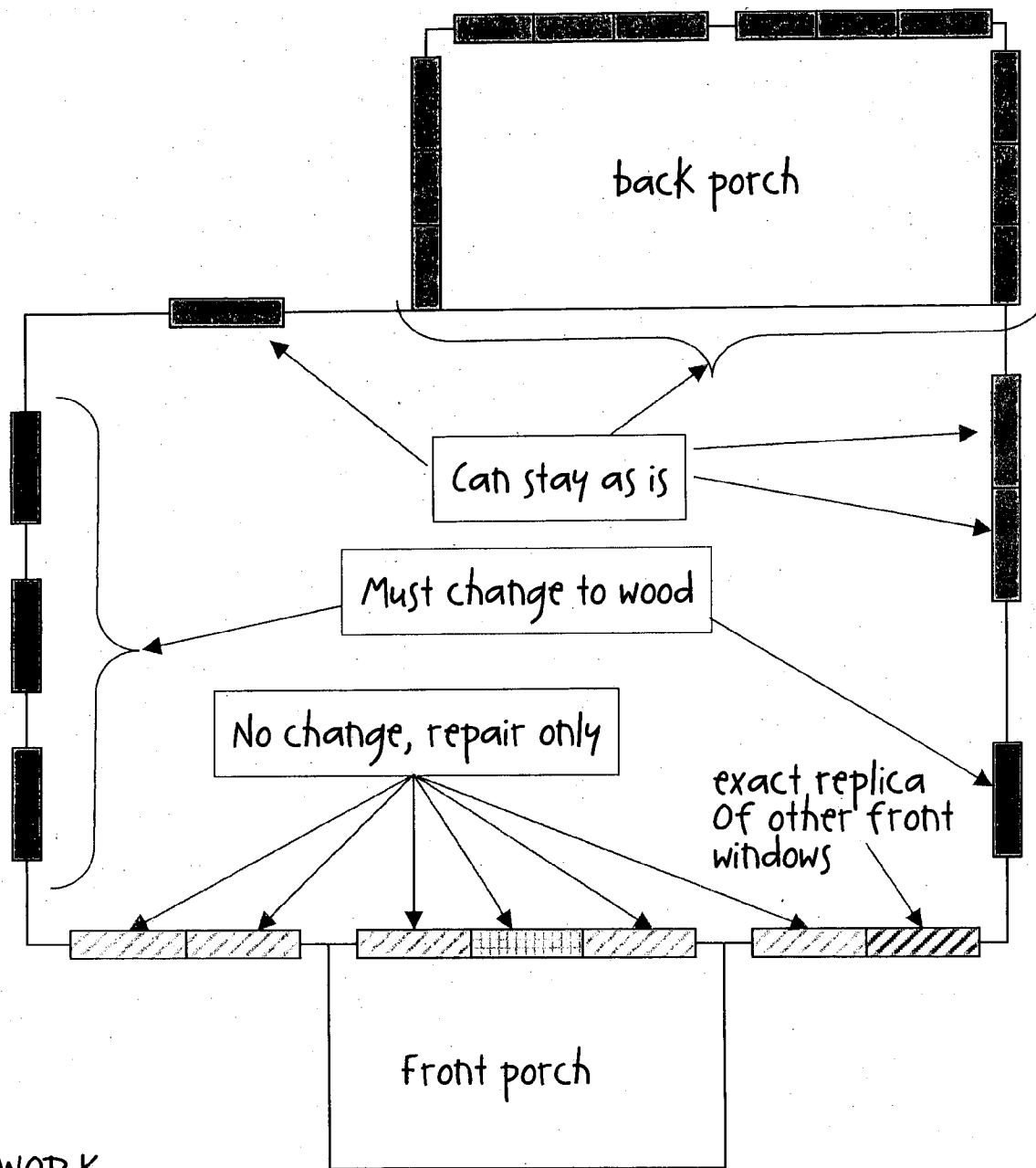
Thank you very much for your patience and good luck with your project!





EXISTING CONDITION

FIRST LEVEL



HPC APPROVED WORK

FIRST LEVEL

57 Walnut Avenue TP H.D. Contributing Resource

All the windows except for the front facade have been replaced w/ vinyl windows. * (Completed w/ a HAWP)

Staff Discussion:

- In general windows seem repairable
- Applicant was provided w/ information on the proper treatments of historic buildings as well as contractors.
- All of the vinyl windows must be removed / replaced w/ wood windows to comply w/ 24 A.
(material, size, and design).

The most visible vinyl replacement windows (as determined by staff, will be replaced w/ wood, simulated divided light windows that match the existing in terms of size, light pattern and muntin profile.



Montgomery County Department Of Permitting Services

255 Rockville Pike
Rockville, MD 20850
240-777-6370 Fax: 240-777-6339
www.permits.emontgomery.org



AGENCY CONTACTS FOR THE BUILDING APPROVAL PROCESS 240-777-6370

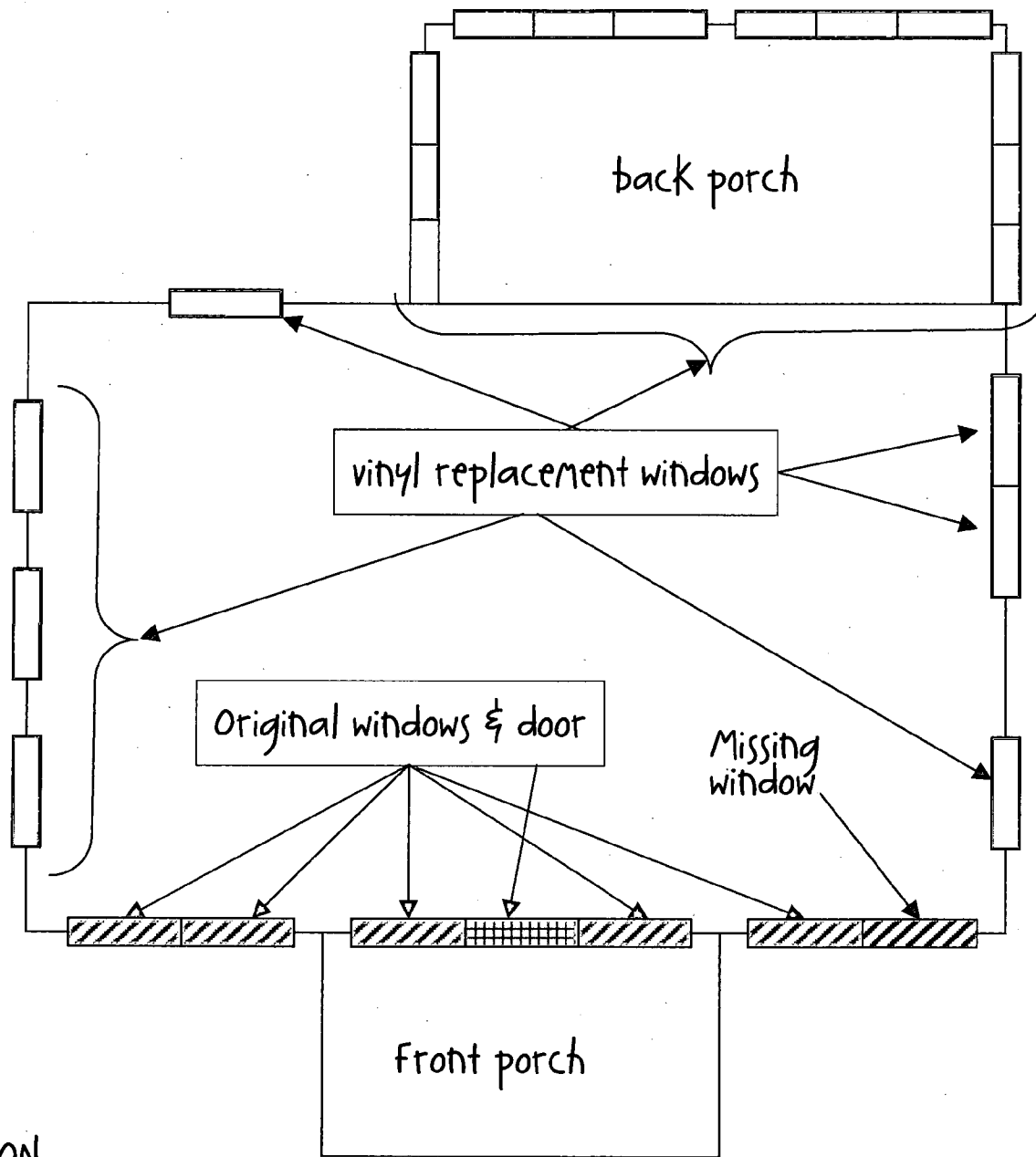
| AGENCY | CONTACT | TELEPHONE |
|--|----------------------------------|---|
| Zoning | Casework Mgmt. | 240-777-6240 |
| Assessment – Commercial Residential | Phil Winter Cecilia Hunter | 301-279-1913 301-279-1701 |
| MNCPPC – Park & Planning MNCPPC – Park & Planning (House #'s) | Wayne Cornelius Fred Flaherty | 301-495-4579 301-495-4613 |
| WSSC – Water & Sewer | Jackie Swan/ Liz Greenback | 301-206-8634 |
| Well & Septic | Casework Mgmt. | 240-777-6320 |
| Right-of-Way | Casework Mgmt. | 240-777-6320 |
| Stormwater Management/Sediment Control | Casework Mgmt. | 240-777-6320 |
| Fire Code Review | Mike Pokorney | 240-777-6235 |
| Historic Preservation Commission | Gwen Wright | 301-563-3400 |
| High Hazard Use | Office of Emerg Mgmt | 240-777-2300 |
| State Highway Administration – Residential Commercial, and Anything Over 5 Houses | Augustine Rebish Greg Cook | 301-513-7350 301-513-7497/ 800-876-4742 |
| Impact Tax, | Rebecca Mason | 240-777-6292 |
| Building Contractor License | Virginia Foronda | 240-777-3636 |
| Critical Structures | Hadi Mansouri | 240-777-6233 |
| Bond Approval (Cty. Atty's Off.) | Mac Spicer | 240-777-6355 |
| Food Service Facilities | Reid McKee | 240-777-3833 |
| Mont. Soil Conservation District | Marshal Rea | 301-590-2855 |
| MPDU | Eric Larson | 240-777-3713 |
| Pollution Control (water, noise, air quality) | Information | 240-777-7770 |
| Radon – Montgomery County | Code Analyst | 240-777-6200 |
| Radon – State | Information | 800-872-3666 |
| Washington Gas | | 202-467-4989 |
| System Development Charge Exemption | Sandra Batterden | 240-777-6248 |

1/31/03

8787

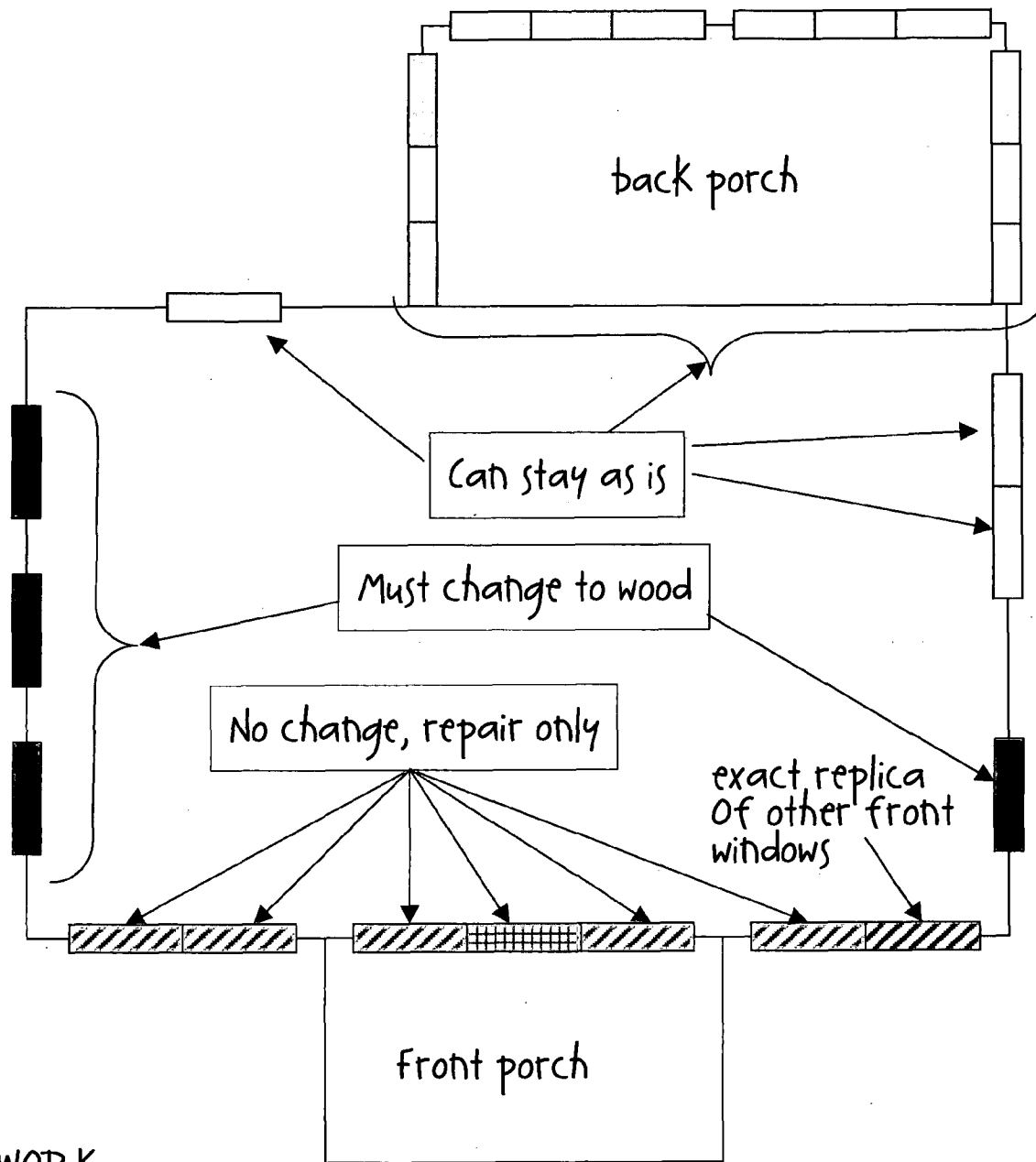
Georgia Ave
SS.

- I would be open to negotiating exactly which ones would need to be replaced with windows that are more appropriate.
- The windows were 6 over 1's which is a relatively easy window type of match reasonably.
- Therefore, I think if we come up with insulated glass and permanently fix --that match. It might be a way to get back closer to the appearance that was there without having to truly replicate --
- We want to see casing returned to its original dimensions.
- I personally think the resources would probably be better spent trying to put in the best windows, the ones that are the most visible --
- We're talking about windows that are not visible from the public right-of-way I think I would probably let it go.
- The issue is what you see from the street, but we would want the casings appropriate dimension returning all the way along the side because that's very obvious.
- My concern is the higher level and I agree with windows on the front that they match as well as we can.
- Topic of the window I would recommend that the windows not be vinyl, that there be other replacement windows. They should be aluminum clad or wood.
- Does he need to remove the windows that he installed? For the ones most visible. Correct? Right. Yes, staff understands.
- So if you wish to remove the aluminum siding, you would need to return the house to its historically correct appearance. And that's why I would entertain either stucco or wood.
- I recommend that you do go ahead and replace the roof and I can work with you on the other items that were discussed with you.
- We'll walk around the house and we'll go over it very specifically.
- If it's existing concrete I don't think we have a problem just repairing it in kind. My comment was addressing if you wish to add additional paved area connecting the front walk to the driveway that is what I would suggest using a different material. If you're simply repairing



EXISTING CONDITION

FIRST LEVEL



HPC APPROVED WORK

FIRST LEVEL

FILE



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Julia O'Malley
Chairperson

December 22, 2006

MEMORANDUM

TO: Juan Castro

FROM: Tania Tully, Senior Planner *TCT*
Historic Preservation Section, M-NCPPC

SUBJECT: Additional Information – 57 Walnut Avenue, Takoma Park

Please see the attached documents:

- List of custom wood window manufacturers
- List of wood house part suppliers
- Consultant/Contractors list with window rehabbers highlighted
- HPC approval notification with list of conditions
- Copy of letter to DPS lifting the Stop Work Order
- Drawing clarifying window replacement conditions

If you have questions please call our office at 301-563-3400.





HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Julia O'Malley
Chairperson

December 22, 2006

Mr. Reggie Jetter
Department of Permitting Services
255 Rockville Pike, 2nd Floor
Rockville, MD 20850-4166

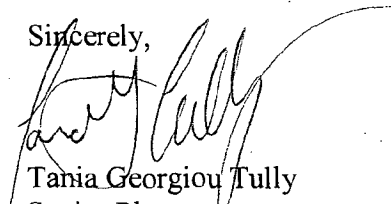
Re: Historic Area Work Permit # 441209
57 Walnut Avenue, Takoma Park, MD
Contributing Resource within the *Takoma Park Master Plan Historic District*

Dear Mr. Jetter:

I am writing regarding the Notice of Violation issued at the above address. As noted in the attached memo, the applicant has an approved work plan from the Montgomery County Historic Preservation Commission (HPC). The approval has a number of conditions requiring consultation with and approval by HPC Staff.

Please utilize this letter as formal approval to lift the Stop Work order. Thank you for your assistance in this matter. If you have any questions, please do not hesitate to contact staff at 301-563-3400.

Sincerely,



Tania Georgiou Tully
Senior Planner
Historic Preservation Section

Attachment
cc: Jim Martin, DPS
Juan Castro





HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Julia O'Malley
Chairperson

Date: December 21, 2006

MEMORANDUM

TO: Juan Castro
57 Walnut Ave, Takoma Park

FROM: Tania Tully, Senior Planner *TGT*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit Application #441209

Your Historic Area Work Permit (HAWP) application for window replacement and aluminum siding removal was **Approved with Conditions** by the Historic Preservation Commission at its December 20, 2006 meeting.

The conditions of approval were:

1. *Specification sheets or samples of the windows will be provided to staff for approval before installation.*
2. *Staff will be provided with a sample of the window casing for approval before installation.*
3. *An accurate site plan indicating the chosen paving material will be provided to staff for approval before installation.*
4. *The windows on the front façade will not be replaced.*
5. *The missing window on the front façade will be replaced to precisely match the existing. The windows must be solid wood, true-divided light (TDL), 6/1 windows with the same profile and design.*

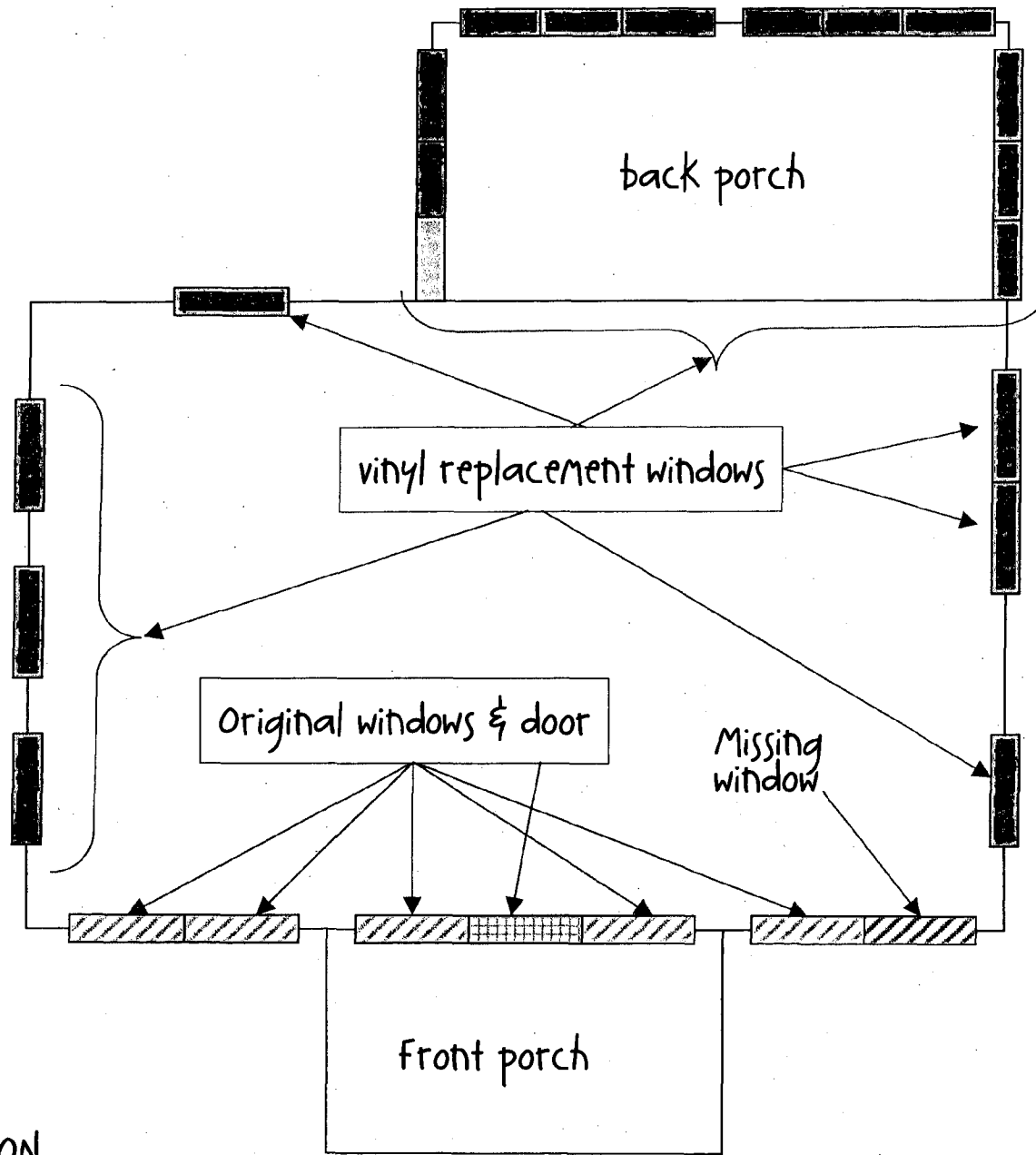
Before applying for a building permit from the Montgomery County Department of Permitting Services (DPS), you must schedule a meeting with your assigned staff person to bring your three (3) final permit sets of drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although the Historic Preservation Commission has approved your work, it may also need to be approved by DPS or another local government office before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings, the official approval letter, and the signed HAWP Application. These forms will be issued when the drawings are stamped by your assigned staff person and are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in **any way** from the approved plans, either before you apply for your building permit or even after the work has begun, you must contact the Historic Preservation Commission staff at 301-563-3400. After your project is completed, please send photos of the finished work to HPC staff.

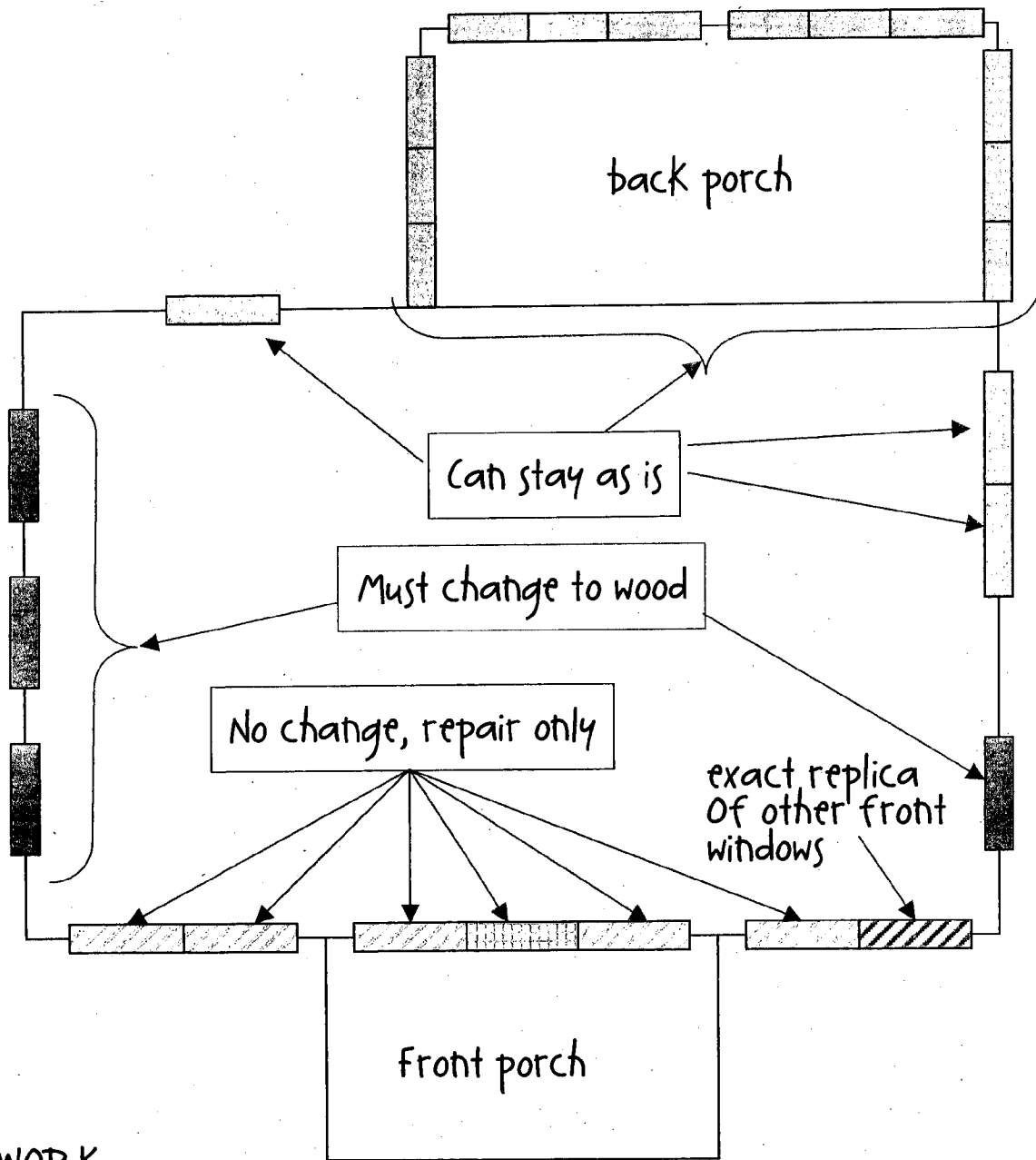
Thank you very much for your patience and good luck with your project!





EXISTING CONDITION

FIRST LEVEL



HPC APPROVED WORK

FIRST LEVEL



MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING SERVICES
255 Rockville Pike, 2nd Floor
Rockville, Maryland 20850-4166

NOTICE OF VIOLATION

FOR MONTGOMERY COUNTY, MARYLAND the undersigned issuer, being duly authorized, states that:

On, September 7, 2006 the recipient of this NOTICE, Juan A. Castro
Date Recipient's Name

5203 Russett Road Rockville, Maryland 20853-2552
Street Address City, State, Zip

is notified that a violation of Montgomery County Code, Section: 24-A-6(a) & 59-A-3.1 Building and Historic area work. permit

exists at: 57 Walnut Avenue Takoma Park, Maryland 20912 236658
Location Case #

The violation is described as: 1.) Re-construction of an HISTORIC house and walk way without first obtaining a Historic work and Building permit.

The following corrective action(s) must be performed immediately as directed:

1.) Obtain a Historic area work permit and a building permit from the Department of Permitting Services. For information call 240-777-6240.

An inspection fee of \$ _____ is required in addition to any application fee(s).

Compliance Time: **(15) FIFTEEN** Calendar days

Failure to comply with this notice will result in the issuance of one or more \$500.00 civil citations.

This Notice of Violation may be appealed to the Montgomery County Board of Appeals within 30 days of the issue date. The Board of Appeals is located in the Council Office Building, 100 Maryland Avenue, Room 217, Rockville, Maryland 20850, telephone 240-777-6600.

ISSUED BY: James C. Martin *James C. Martin* September 7, 2006
Printed Name Signature Date

Phone No. 301-370-0042

RECEIVED BY: _____
Printed Name Signature Date

Phone No. _____ Sent by Registered Mail/Return Receipt On: _____

RECIPIENT'S SIGNATURE ACKNOWLEDGES RECEIPT OF A COPY OF THIS NOTICE OF VIOLATION

Juan A. Castro
5203 Russett Road
Rockville, Maryland 20853-2552

Montgomery County
Montgomery County Government
255 Rockville Pike
Rockville, Maryland 20850

confidential
fax

To: **M-NCPPC**
Fax Number: 301-563-3412

From: **James C. Martin**
Fax Number: 301-407-9830
Business Phone: 301-370-0042
Home Phone:

Pages: 3
Date/Time: 9/7/2006 1:06:31 PM
Subject:

57 Walnut
photos taken 8-29-06







Thompson, Abigail

From: MCP-Historic
Sent: Monday, August 28, 2006 2:23 PM
To: Thompson, Abigail; Fothergill, Anne; Oaks, Michele; Tully, Tania
Subject: FW: Non Permitted Work at 57 Walnut Ave Takoma Park MD 20912

Could someone check this out and - if necessary - get a stop work order issued?

Thanks...
Gwen

-----Original Message-----

From: Tom Forhan [mailto:dufour27@gmail.com]
Sent: Saturday, August 26, 2006 6:32 PM
To: Wright, Gwen; MCP-Historic
Subject: Non Permitted Work at 57 Walnut Ave Takoma Park MD 20912

There is an extensive "gut job" rehab well underway at 57 Walnut Ave in Takoma Park, inside the protected area. There is no building permit or historic work area permit displayed.

From the exterior, the work includes replacement of wood double hung windows with smaller stock sizes in aluminum or vinyl, removal of large areas of siding, new hard landscaping and the possible removal of trees.

The interior, though not under your perview, has been stripped to the studs, remodeled and likely replumbed and wired without a permit on display.

Thank you for your attention to this matter.

--

No virus found in this outgoing message.
Checked by AVG Free Edition.
Version: 7.1.405 / Virus Database: 268.11.6/427 - Release Date: 8/24/2006

FILE



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Julia O'Malley
Chairperson

Date: December 7, 2006

MEMORANDUM

TO: Juan Castro
57 Walnut Ave, Takoma Park

FROM: Tania Tully, Senior Planner ^{TGT}
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit Application #555555

Your Historic Area Work Permit (HAWP) application for window replacement and aluminum siding removal was Continued by the Historic Preservation Commission at its December 06, 2006 meeting.

It will be heard at the December 20, 2006 meeting.

Contact HPC staff at 301-563-3400 with any questions.



Driveway — or gravel w/ concrete curb.
Concrete ok. Tinted.

Walkways

Those that were concrete may be replaced with concrete.
Otherwise pavers, gravel, brick or stepping-stones must be used

Aluminum Siding

Existing siding does not need to be removed.

Where the aluminum siding has already been removed there are 3 options:

- Repair the existing stucco
- Replace with new 3-coat Portland cement stucco
- Replace with horizontal wood siding

OK to remove, fix + pad

Windows

Front façade:

Must remain. May be repaired. The missing window must be...

Wood TOL Single pane

Rear elevation:

Replacement windows may remain.

Re-enclose rear porch

Left side:

~~Replacement window nearest the rear may remain.~~

All

~~Others must be replaced with approved replacement windows.~~

Basement ok

Right side:

~~Replacement window nearest the rear may remain.~~

~~Others must be replaced with approved new windows.~~

Only window near front needs to be replaced.

Basement windows:

Replacement windows may remain.

Others must be replaced with approved new windows.

Approved new windows must have the following specific characteristics:

- 6 panes/1 pane
- Wood or aluminum clad wood
- Simulated divided lites
- Muntins (grills, bars) must be no wider than 7/8"
- Glass must be clear
- Wood or aluminum clad trim of same dimension as original
- Must fit the existing rough opening exactly.
- Double hung

Known brands that meet these criteria:

JeldWen - Sitrine Double-hung Windows

Exterior wood casing is variable as wide as 5 1/2"

Marvin - Ultimate Double Hung

Flat casing is available in wood or aluminum

Pella - Architect Series, Luxury Edition

Simulated Divided Lite called Integral Light Technology (ILT)

Weathershield - Legacy Series, HR 175 or Weathershield

Take of HPC - rear cover.

5203 Russet Rd

Rockville MD ~~20853~~

~~20853~~

20853

Walkways

Those that were concrete may be replaced with concrete.
Otherwise pavers, gravel, brick or stepping stones must be used

Aluminum Siding

Existing siding does not need to be removed.
Where the aluminum siding has already been removed there are 3 options:
Repair the existing stucco
Replace with new 3-coat portland cement stucco
Replace with horizontal wood siding

Windows

Front façade:

Must remain. May be repaired. The missing window must be.....

Rear elevation:

Replacement windows may remain.

Left side:

Replacement window nearest the rear may remain.
Others must be replaced with approved replacement windows.

Right side:

Replacement window nearest the rear may remain.
Others must be replaced with approved new windows.

Basement windows:

Replacement windows may remain.
Others must be replaced with approved new windows.

Approved new windows must have the following specific characteristics:

- 6 panes/1 pane
- Wood or aluminum clad wood
- Simulated divided lites
- Muntins (grills, bars) must be no wider than 7/8"
- Glass must be clear
- Wood or aluminum clad trim of same dimension as original
- Must fit the existing rough opening exactly.
- Double hung

Known brands that meet these criteria:

JeldWen - Siteline Double-hung Windows

Exterior wood casing is variable as wide as 5 ½"

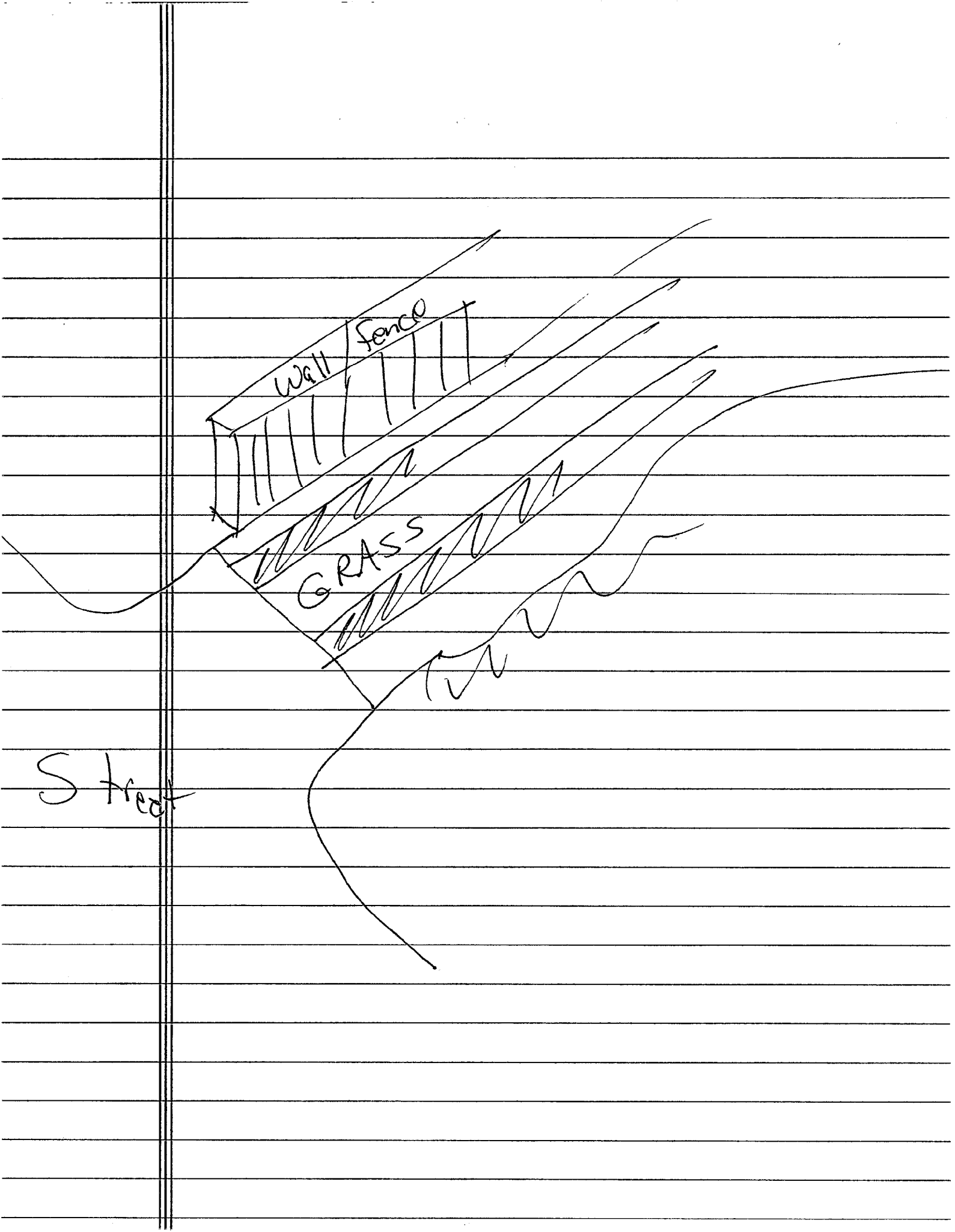
Marvin - Ultimate Double Hung

Flat casing is available in wood or aluminum

Pella – Architect Series, Luxury Edition

Simulated Divided Lite called Integral Light Technology (ILT)

Weathershield – Legacy Series, HR 175 or Weathershield



Wall / fence

GRASS

Street

Mr. Castro

240-286-5677

call to arrange site visit

III.A

**RETROACTIVE & PRELIMINARY
HISTORIC PRESERVATION COMMISSION STAFF REPORT**

| | | | |
|---------------------|---|-----------------------|-------------|
| Address: | 57 Walnut Ave, Takoma Park | Meeting Date: | 10/11/2006 |
| Resource: | Contributing Resource Takoma Park Historic District | Report Date: | 10/4/2006 |
| Applicant: | Juan Castro (Martin Ortega, Architect) | Public Notice: | 9/27/2006 |
| Review: | Preliminary Consultation | Tax Credit: | partial |
| Case Number: | NA | Staff: | Tania Tully |

PROPOSAL: window replacement and ~~2nd story addition~~
RECOMMENDATION: Revise and return for 2nd preliminary

Paving - replace failing concrete w/ more natural material.

Most Visible Windows - wood, SDF, 6/1 Casings Returned

"garden" material

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the **Takoma Park Historic District**
STYLE: Bungalow
DATE: c. 1920s

This house is a one-story side-gable bungalow with a concrete gable front porch. Until recently, the house was sheathed in aluminum siding, but the original stucco is now evident behind the siding mounting strips. The house sits on a high foundation at the front of a deep relatively flat lot. There is an enclosed rear porch. Four of the 3-light basement awning windows are vinyl slider replacements. Three originals remain. The house has three bays with the ends consisting of a pair of windows each and the front door is flanked by windows. Only five 6/1 historic windows on the front façade remain. One is missing and the other windows are 1/1 vinyl replacements. The house is relatively simple though there is some Arts and Crafts detailing including notched bargeboards, square rafter ends, and multi-light windows.

HISTORIC CONTEXT

The following are excerpts from *Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland*.

"Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the second railroad suburb of Washington, platted ten years after Linden. The opening of streetcar lines led to the development of new subdivisions, expanding the Takoma Park community in the early 20th century.

"Takoma Park was platted in 1883. Developer Benjamin Franklin Gilbert promoted the property for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut,

Would not approve aluminum siding - return to original stucco or wood (1)

Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma", meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment."

PROPOSAL:

The applicant is proposing a complete rehabilitation of the house and a 2nd story addition. Work items include:

- Removing and replacing the aluminum siding
- Replacing the majority of the windows
- Replacing the damaged concrete front walk
- Adding a concrete walk leading to the driveway
- Replacing concrete pad in rear yard
- Paving the driveway with concrete
- Replacing the gutters in-kind
- Removing the roof and adding a second story

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. Additional guidance to consider is in the *Approved and Adopted Takoma Park Master Plan (December 2000)* and the City of Takoma Park Façade Ordinances. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Major additions should, where feasible, be placed to the rear of existing structures so that they are less visible from the public right-of-way; additions and alterations to the first floor at the front of a structure are discouraged, but not automatically prohibited

While additions should be compatible, they are not required to be replicative of earlier architectural styles

Second story additions or expansions should be generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing

Original size and shape of window and door openings should be maintained, where feasible

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

STAFF DISCUSSION

There are several issues involved in this proposal. First is the rehabilitation of the existing house and the work that is complete or in progress without a HAWP. A Notice of Violation was issued on September 7, 2006. The second item is the addition of a second level.

Rehabilitation/Retroactive Work Items

The applicant has already completed some of the work items and other work not requiring a HAWP. Most significantly, the lot is cleared of brush and trash. Removing the aluminum siding revealed stucco that may be repairable. The wide casings and trim on all of the windows was intact, however, all but those on the front façade have been replaced with 1/1 vinyl windows. Unfortunately, it was not just the sashes that were replaced, but also the entire windows, trim and all. Photographs submitted with the proposal (Circles 12 & 14) indicate that most, if not all of the windows replaced were 6/1 double-hung wood windows. It is obvious that the house was not well maintained, but it is by no means the worst that the Commission has seen in Takoma Park. The remaining windows have some broken panes, the sash cords need to be

replaced, and many layers of paint need to be removed, but the wood appears to be sound and should be repairable. The applicant has been provided with information on the proper treatments for historic buildings as well as with the names of contractors with historic house experience. As long as the proposed concrete walks are replacement in-kind, they meet the guidelines. The driveway should either be driving-strips or a natural looking for of concrete.

Except for removing the windows, the work already completed is not irreversible or necessarily detrimental to the historic house. Removal of the aluminum siding is applauded and eligible for the tax credit, but the stucco should be repaired rather than re-covered. The hardscape projects are minimal and of no significant concern. All of the vinyl windows must be removed and replaced with wood windows in order to be in compliance with the *Guidelines* and Chapter 24A. Based upon previous applications staff suggests that the windows most visible from the public right-of-way be 6/1 true-divided light double-hung wood windows with the remaining windows having simulated divided lights. Wood trim matching the existing will also need to be milled and replaced.

Second Story Addition

The applicant is proposing to add a second level to this small bungalow. According to the *Guidelines*, Contributing Resources are permitted second story additions provided that they are "generally consistent with the predominant architectural style and period of the resource (although structures that have been historically single story can be expanded) and should be appropriate to the surrounding streetscape in terms of scale and massing." With that in mind, Staff will be working with the applicant and would like the Commission's comments regarding an addition that would meet the *Guidelines* and could be approved. Staff's general suggestions include pulling the addition back from the porch and in from the sides to allow as much of the bungalow form to remain as is practical. Reducing the addition to a half-story would help with the scale.

The current proposal is not at all in keeping with the *Guidelines*. Because the 2nd floor extends straight up from the 1st floor with no relief on the front or left sides, the bungalow form is completely lost. The full 2-story height makes it taller than most of the houses on the block, the orientation of the roof is switched, and the pitch of the roof is too shallow. Staff has provided the applicant with examples of 2nd story additions that have been approved by the HPC.

STAFF RECOMMENDATION:

Staff recommends that the Commission advise the applicant to rehabilitate the house as suggested above and with other Commission comments. It is also staff's recommendation that the proposed 2nd level be completely redesigned using the guidance provided by the Commission and Staff. Given that design of a second level will take some time, staff suggests that the applicant break the project into two parts as done in the Staff Report. The rehabilitation and site work items could be submitted as a HAWP Application while the addition is revised and returned for a 2nd Preliminary Consultation.

Additional documents are required for future applications:

- Detailed site plan with tree survey
- Accurate elevation drawings of existing house
- Massing sketches of the houses along the street in comparison with proposal
- Specifications for replacement wood windows
- Specifications for replacement trim



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

Handwritten scribbles

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: MARTIN ORTEGA

Daytime Phone No.: 240-462-6861

Tax Account No.: _____

Name of Property Owner: JUAN A CASTRO Daytime Phone No.: _____

Address: 57 WALNUT AVE. TAKOMA PARK MD 20912
Street Number City State Zip Code

Contractor: owner Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: MARTIN ORTEGA Daytime Phone No.: 240 462 6861

LOCATION OF BUILDING/PREMISE

House Number: 57 WALNUT AV Street: _____

Town/City: TAKOMA PARK Nearest Cross Street: _____

Lot: 70 Block: 17 Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

CHECK ALL APPLICABLE:

- | | | | | | | | | |
|---|--|---|--|------------------------------------|--|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input checked="" type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Raze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ 150,000.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

09-07-06
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 432764 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

existing structures 6" foundation walls basement
first floor frame 2x8" floor joist w/ 3/4 plywood on top
first floor wall are 2x4" frame @ 16" o.c. w/ 1/2" drywall
interior. exterior stucco w/ siding over it.
existing siding will be replace for new.
front porch will remain the same design
because in historic area

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

New project will be a second story addition
2x10" floor joist w/ 3/4" plywood secured above
second floor new walls frame 2x4 @ 16" o.c.
Roof Trusses will be pre-UB Trusses.

2. SITE PLAN HAVE BEEN APPROVED

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS H/A BEEN APPROVED

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS on Plans approved

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6

CONTAINING INFORMATION NOTES:

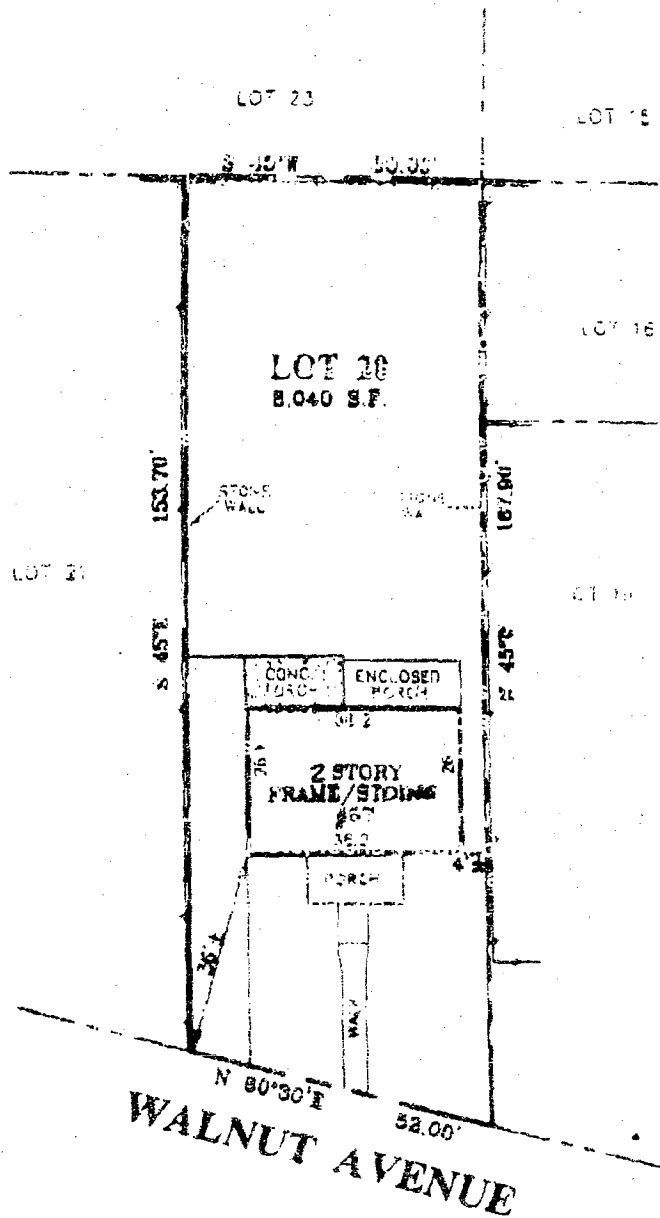
1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated purchase, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of lot(s), easements, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.

Note:

1. Flood zone 'C' per H.C.L. panel No. 23677.
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 1/8". Easements, if shown, have been located by approximate methods.



LOCATION DRAWING
 LOT 20, BLOCK 17
 PINECREST
 MONTGOMERY COUNTY, MARYLAND



SURVEYOR'S CERTIFICATE

THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF USE OR APPARENT OCCUPATION.

Jeffrey A. Foster
 MONTGOMERY COUNTY PROPERTY LINE SURVEYOR REG NO. 587

REFERENCES

PLAT BK. 2
 PLAT NO. 148
 LIBER
 FOLIO



SNIDER & ASSOCIATES
 SURVEYORS - ENGINEERS
 LAND PLANNING CONSULTANTS
 8 Professional Drive, Suite 218
 Gaithersburg, Maryland 20878
 301/948-6100 Fax 301/948-1986

DATE OF LOCATIONS

SCALE: 1" = 30'

WALL CHECK:

DRAWN BY: P.Y.

NBE. LOC. 06-30-06

JOB NO.: 06-4813

CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.

no property by construction
must be through a DPS
of construction entrance
permitted driveway.

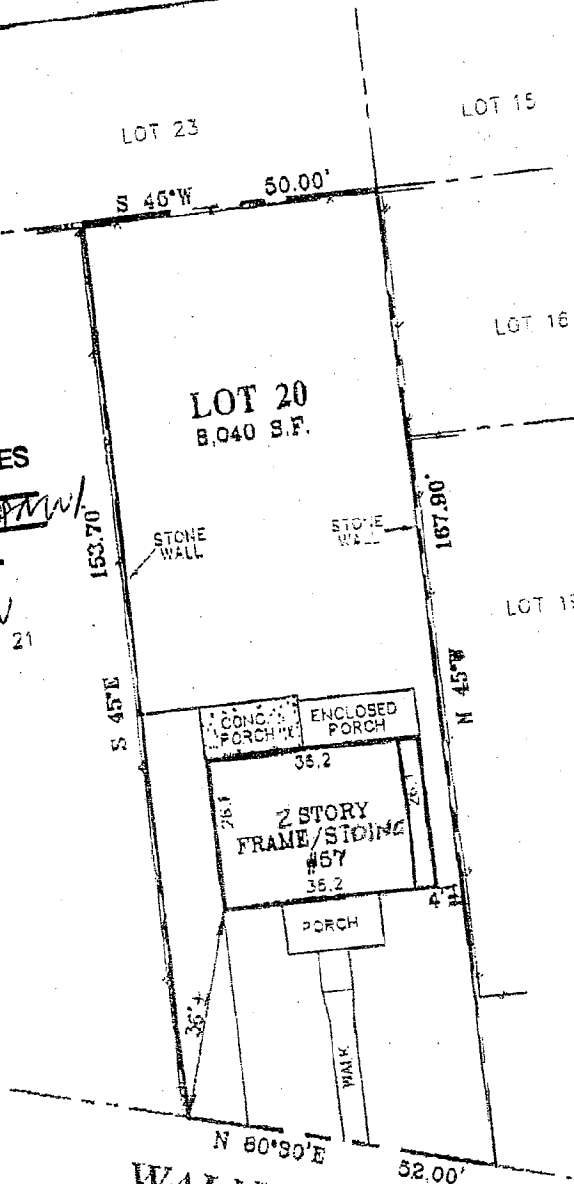
**MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING SERVICES**
APPROVED *[Signature]* DATE *[Date]*
ZONING CLASS *[Class]* PAGE *[Page]*
BOARD OF APPEALS CASE *[Case No.]*

Notes

1. Flood zone "C" per H.U.D. panel No. 0200C.
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 Feet. Fences, if shown, have been located by approximate methods.



LOCATION DRAWING
LOT 20, BLOCK 17
PINECREST
MONTGOMERY COUNTY, MARYLAND



SURVEYOR'S CERTIFICATE

THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION.

Jeffrey A. Foster
MONTGOMERY COUNTY, MARYLAND
PROPERTY LINE SURVEYOR REG. NO. 587

| REFERENCES | |
|------------|-----|
| PLAT BK. | 2 |
| PLAT NO. | 145 |
| LIBER | |
| FOLIO | |



SNIDER & ASSOCIATES
SURVEYORS - ENGINEERS
LAND PLANNING CONSULTANTS
2 Professional Drive, Suite 216
Gaithersburg, Maryland 20878
301/948-6100, Fax 301/948-1286

| | |
|--------------------|-----------------|
| DATE OF LOCATIONS | SCALE: 1" = 30' |
| WALL CHECK: | DRAWN BY: P.Y. |
| HSE. LOC: 08-30-08 | JOB NO.: 08-481 |

MONTGOMERY COUNTY, MARYLAND

(8)



MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING SERVICES
255 Rockville Pike, 2nd Floor
Rockville, Maryland 20850-4166

NOTICE OF VIOLATION

FOR MONTGOMERY COUNTY, MARYLAND the undersigned issuer, being duly authorized, states that:

On, September 7, 2006 the recipient of this NOTICE, Juan A. Castro
Date Recipient's Name

5203 Russett Road Rockville, Maryland 20853-2552
Street Address City, State, Zip

is notified that a violation of Montgomery County Code, Section: 24-A-6(a) & 59-A-3.1 Building and Historic area work permit

exists at: 57 Walnut Avenue Takoma Park, Maryland 20912 236658
Location Case #

The violation is described as: 1.) Re-construction of an HISTORIC house and walk way without first obtaining a Historic work and Building permit.

The following corrective action(s) must be performed immediately as directed:
1.) Obtain a Historic area work permit and a building permit from the Department of Permitting Services. For information call 240-777-6240.

An inspection fee of \$ _____ is required in addition to any application fee(s).

Compliance Time: **(15) FIFTEEN** Calendar days

Failure to comply with this notice will result in the issuance of one or more \$500.00 civil citations.

This Notice of Violation may be appealed to the Montgomery County Board of Appeals within 30 days of the issue date. The Board of Appeals is located in the Council Office Building, 100 Maryland Avenue, Room 217, Rockville, Maryland 20850, telephone 240-777-6600.

ISSUED BY: James C. Martin *James C. Martin* September 7, 2006
Printed Name Signature Date

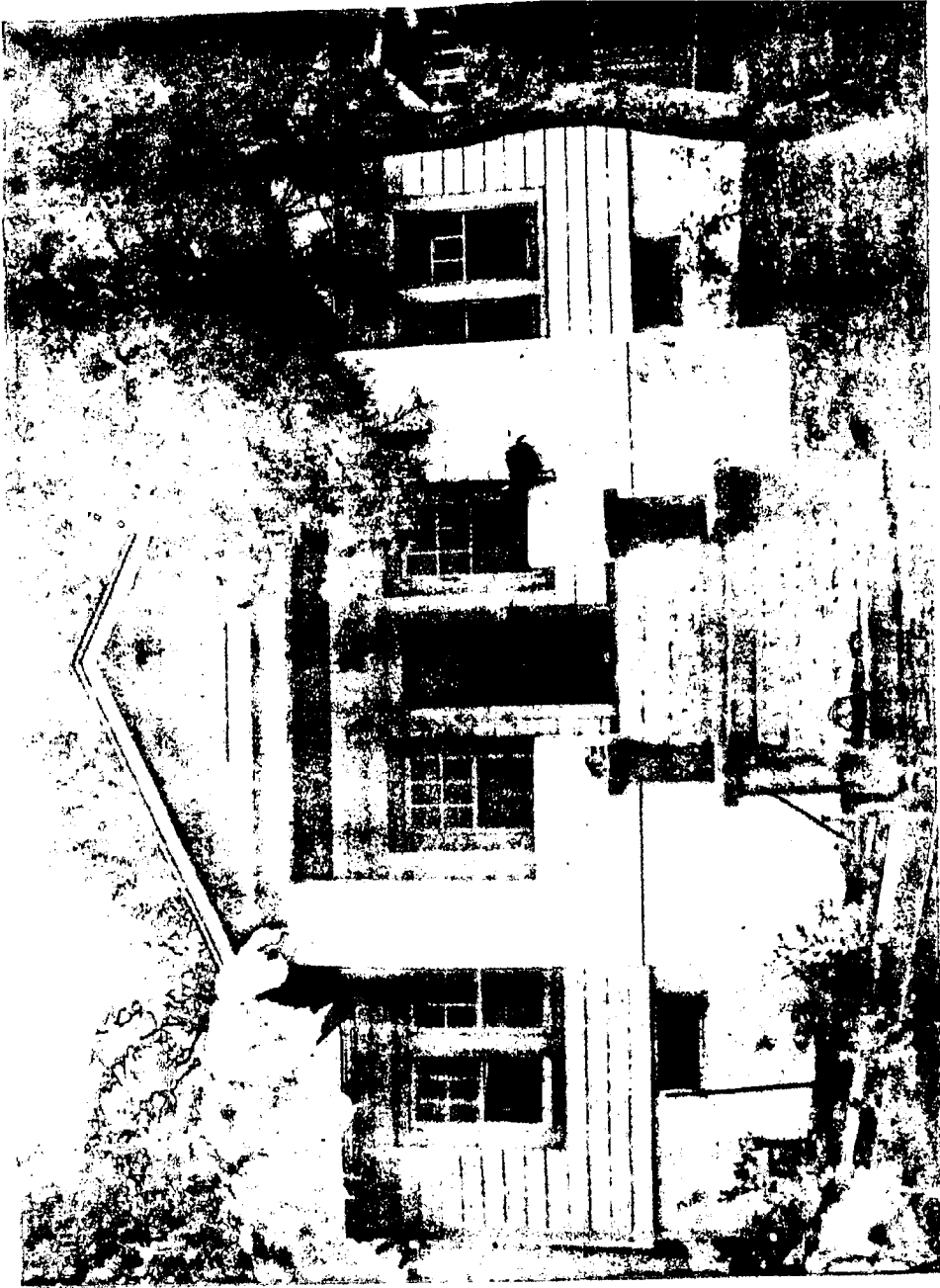
Phone No. 301-370-0042

RECEIVED BY: _____
Printed Name Signature Date

Phone No. _____ Sent by Registered Mail/Return Receipt On: _____

RECIPIENT'S SIGNATURE ACKNOWLEDGES RECEIPT OF A COPY OF THIS NOTICE OF VIOLATION

9

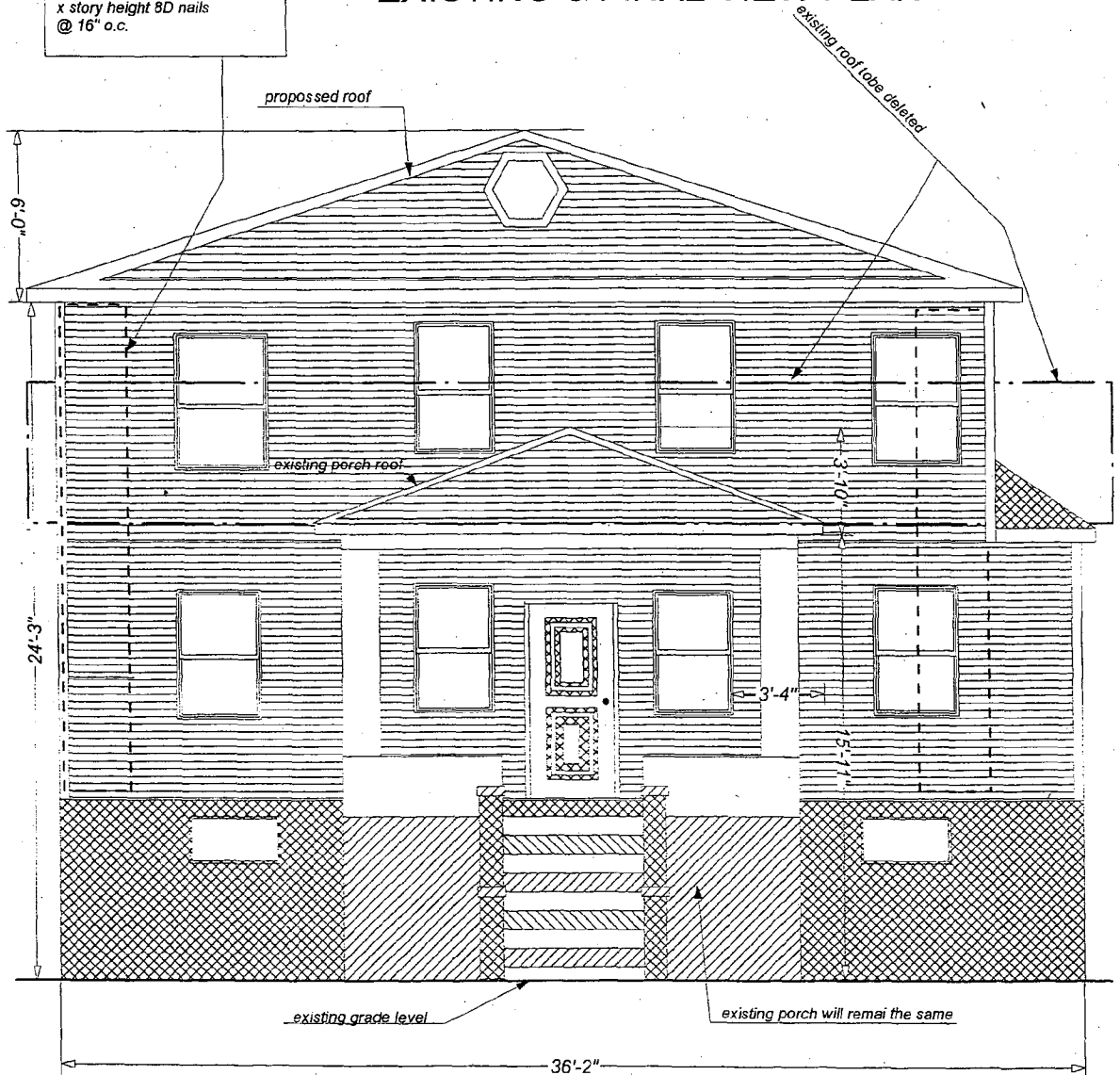


FRONT SIDE EXISTING VIEW

57 WALNUT AVE
TAKOMA PARK MD 20912

PROPOSED & EXISTING ADDITION
EXISTING & FINAL VIEW PLAN

typical wall bracing panels
1/2" plywood 2'6" panels wide
x story height 8D nails
@ 16" o.c.

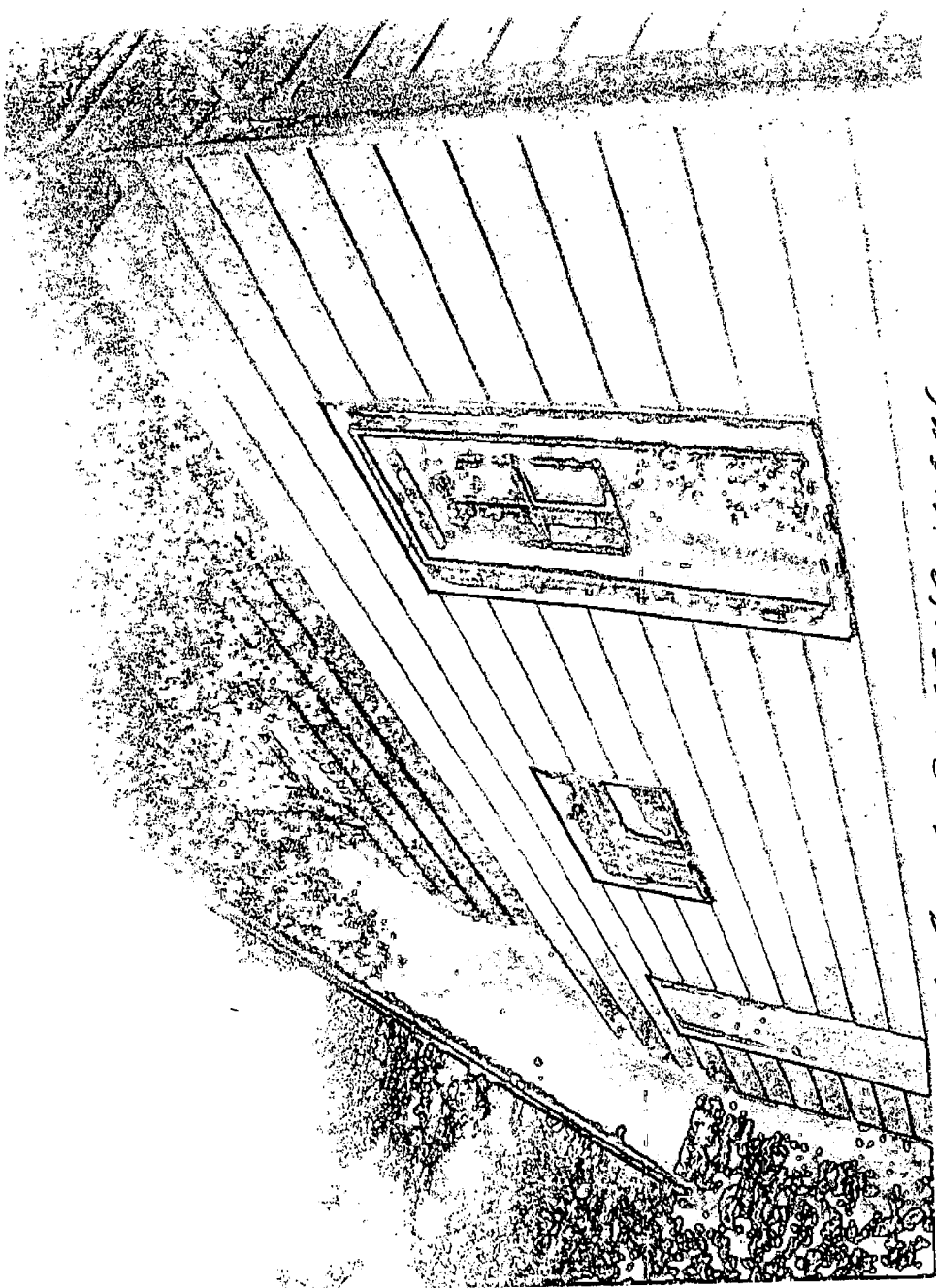


SCALE 1/4" = 1'.0"

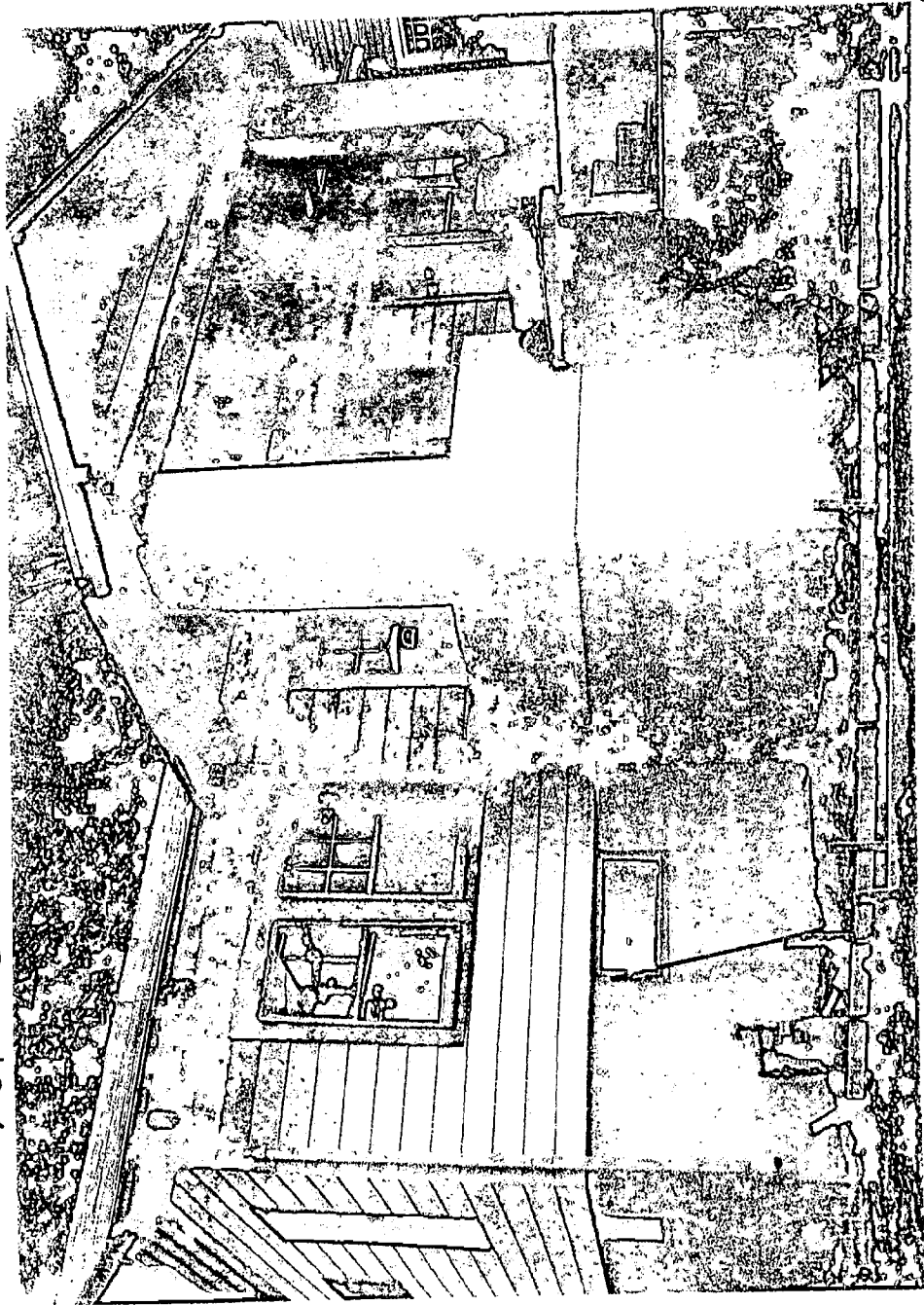
FRONT SIDE ELEVATION

BY THE ARCHITECT
THESE PLANS MUST COMPLY WITH
SECTION 462.14 OF THE 2018
IRC 1 & 2 FAMILY DWELLING
CODE AS AMENDED BY MONT. CO.





LEFT SIDE EXISTING VIEW

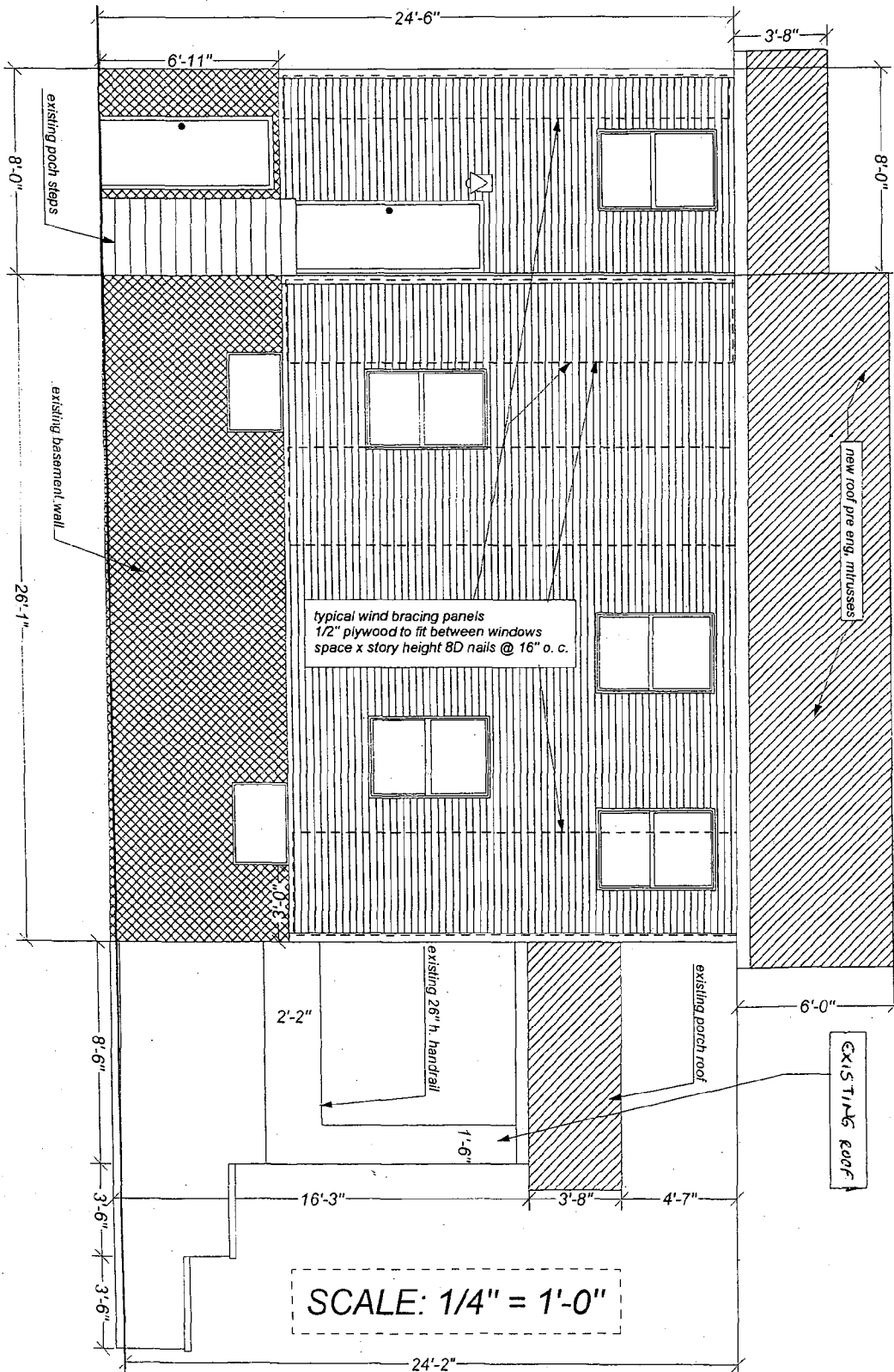


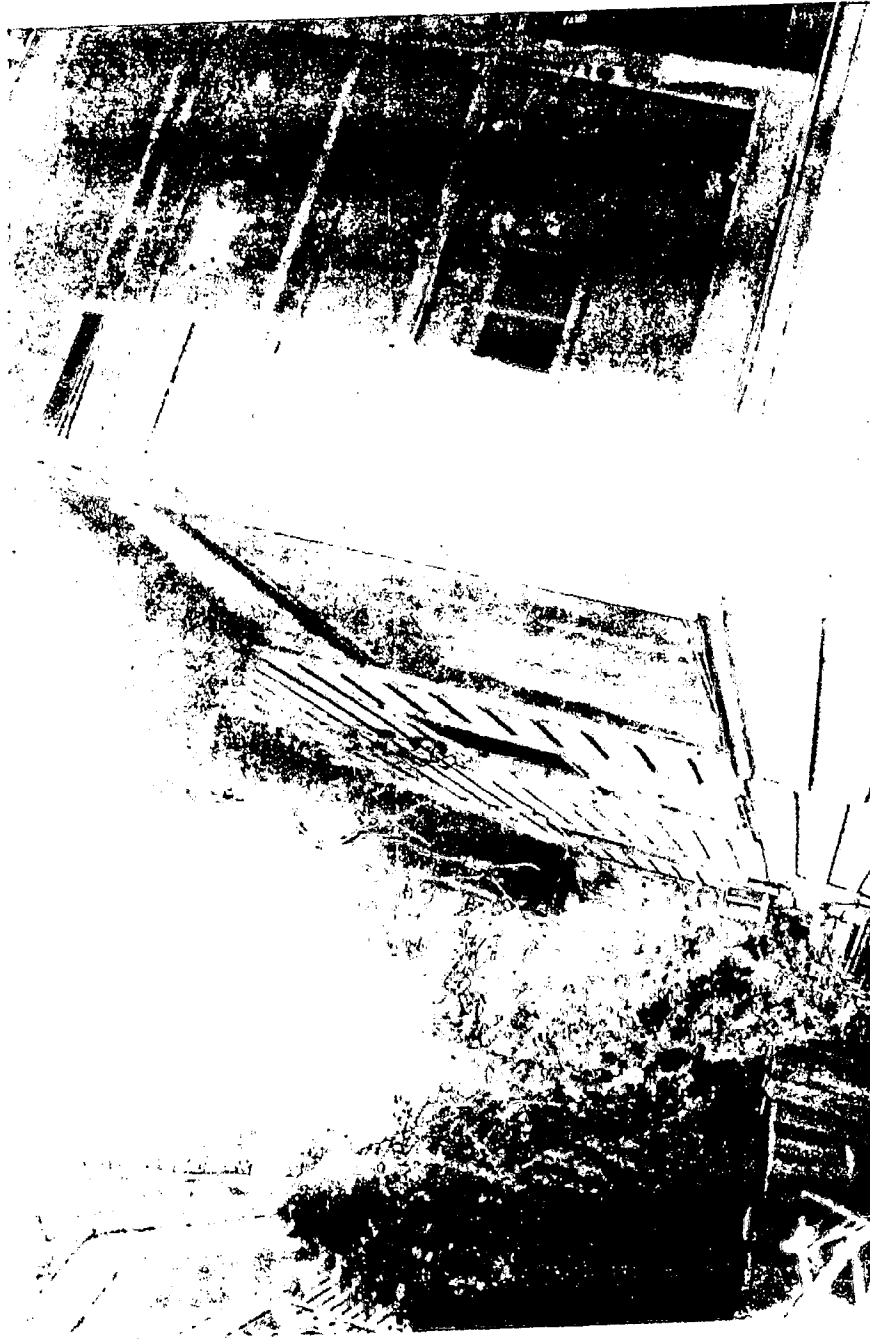
FRONT SIDE EXISTING VIEW

13

57 WALNUT AVE
TAKOMA PARK MD 20912

LEFT SIDE ELEVATION





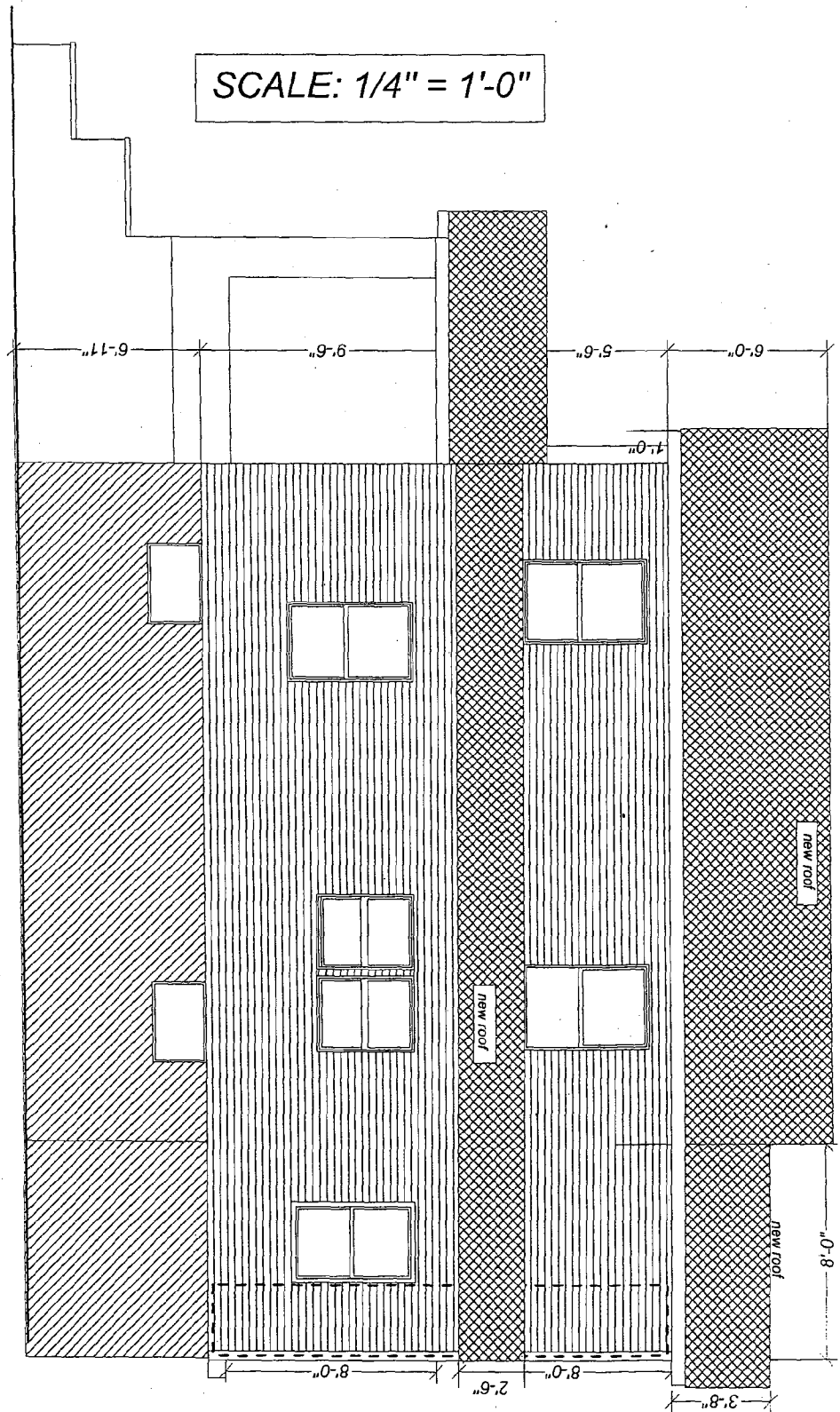
REAR RIGHT SIDE VIEW



REAR RIGHT SIDE VIEW

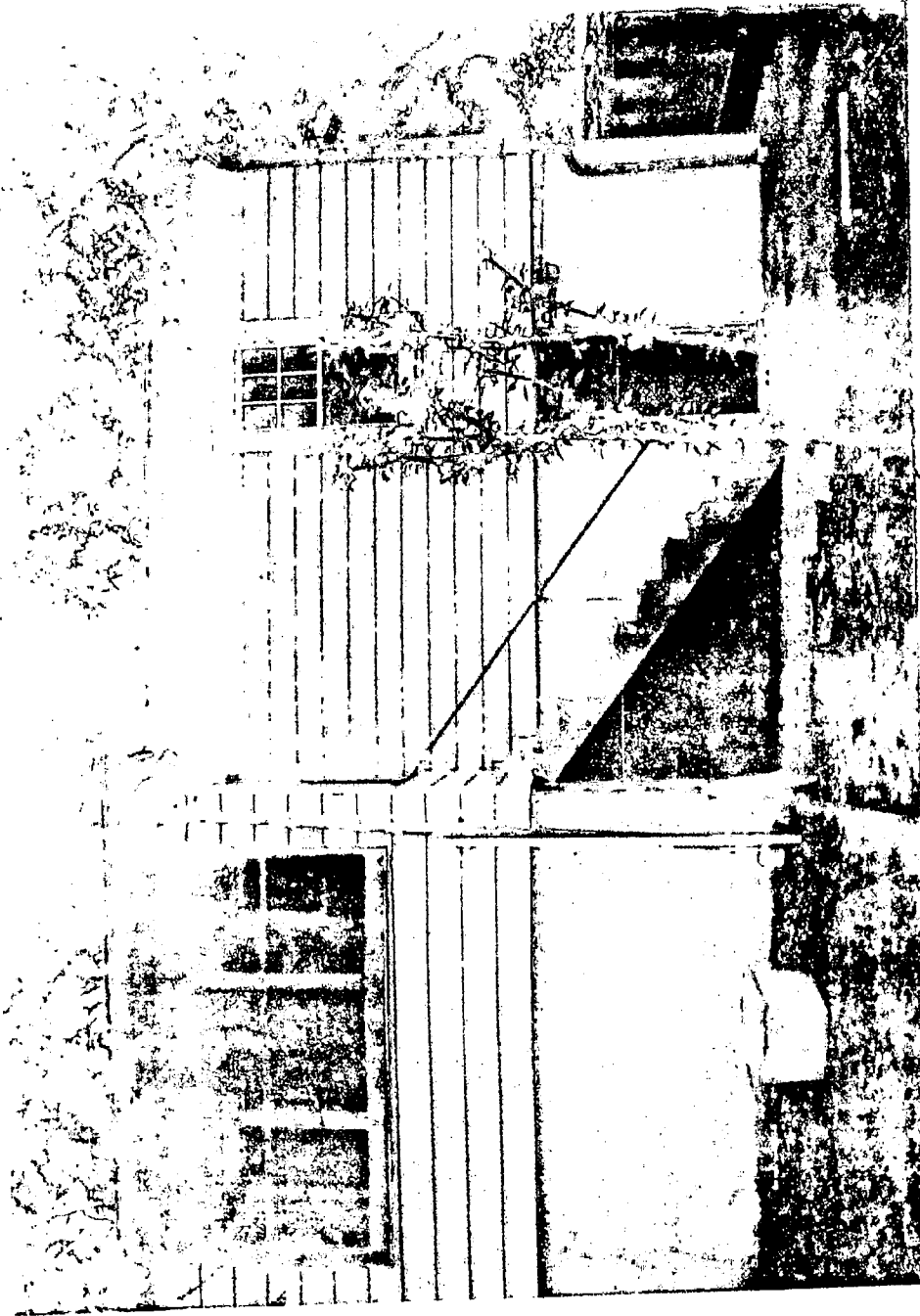
SI

SCALE: 1/4" = 1'-0"

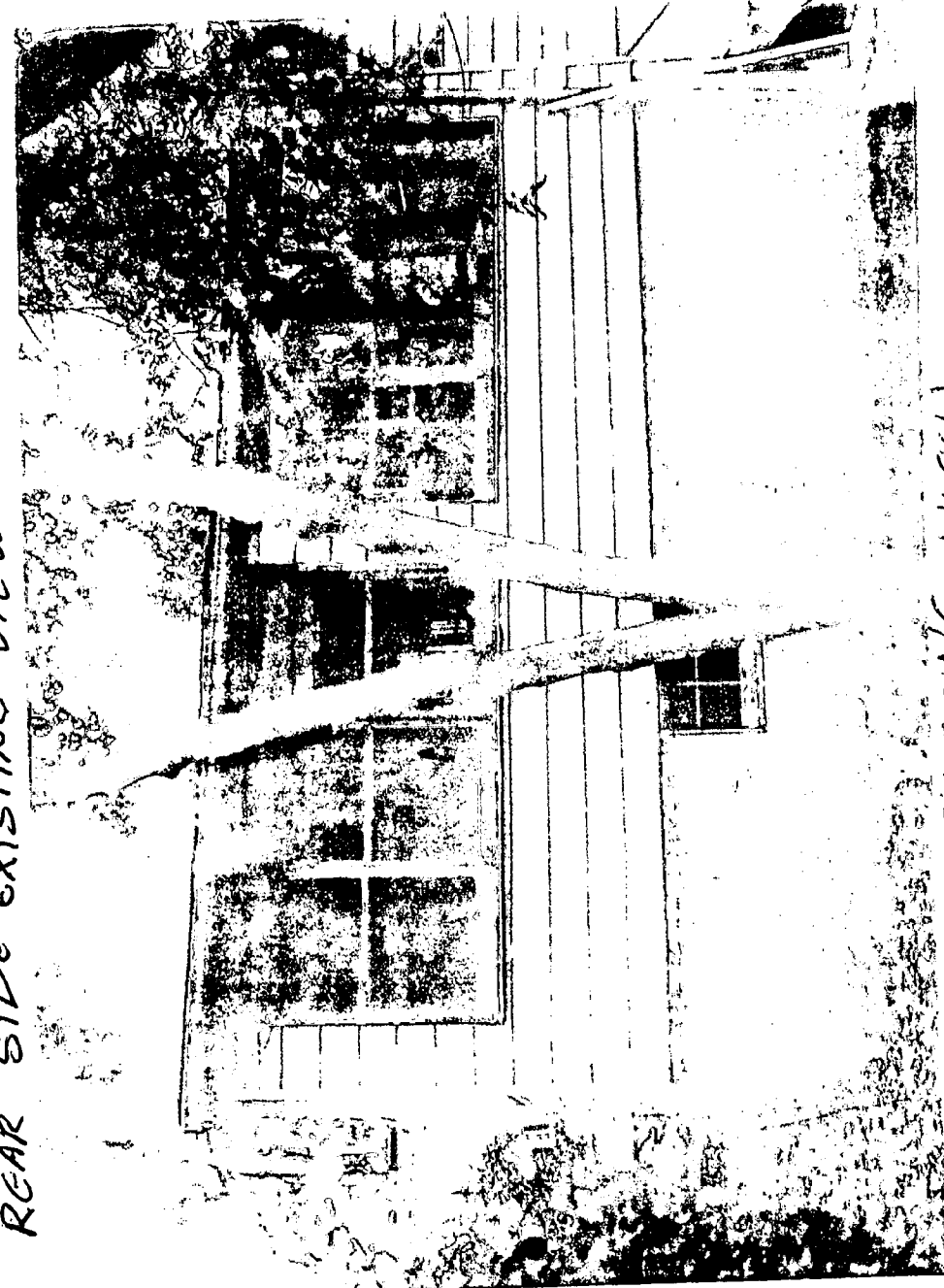


57 WALNUT AVE
TAKOMA PARK MD 20912

RIGHT SIDE ELEVATION



REAR SIDE EXISTING VIEW

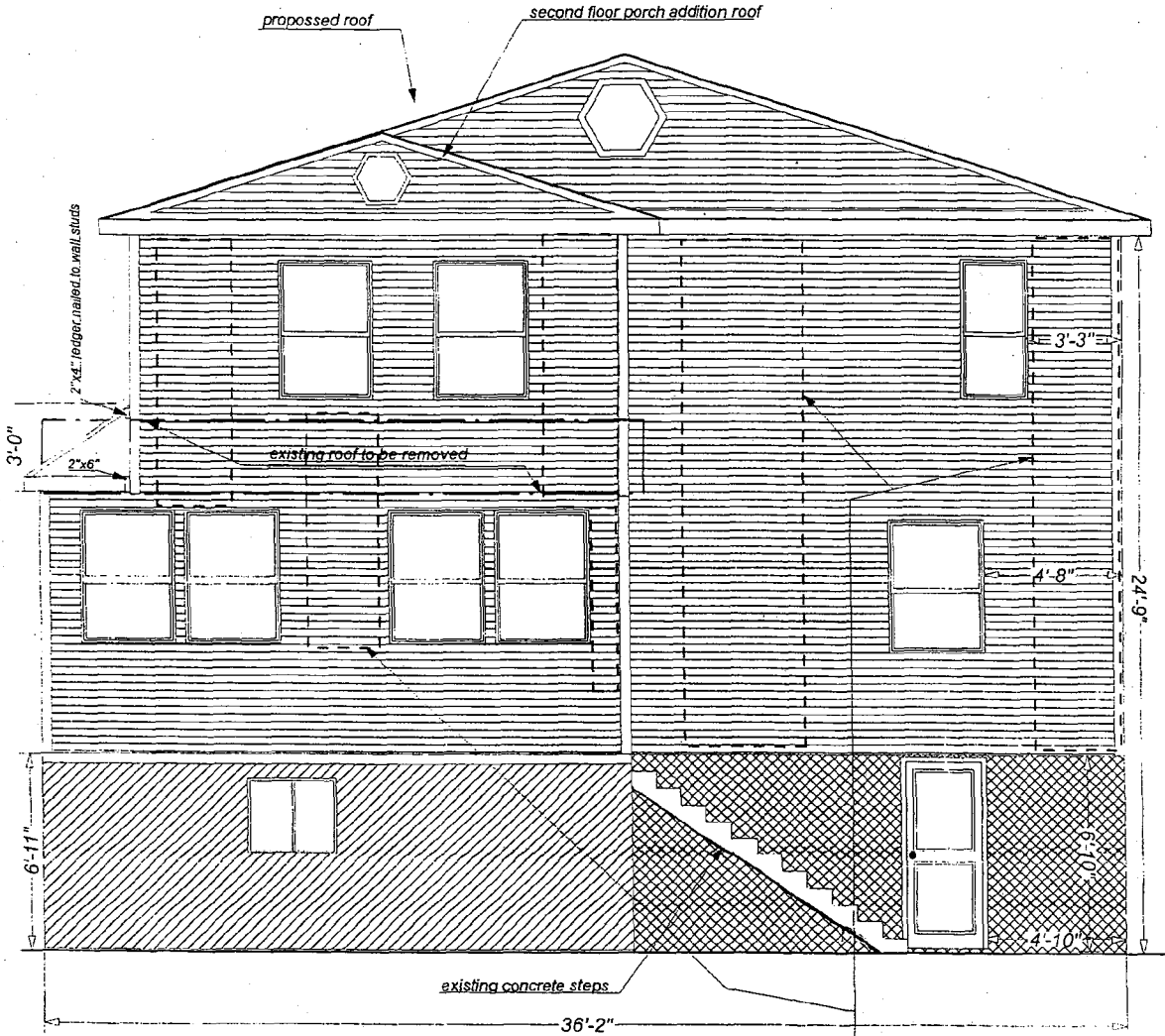


REAR SIDE EXISTING VIEW

57 walnut ave
takoma park md 20912

proposed & new addition
existing & final view plan

REAR SIDE ELEVATION

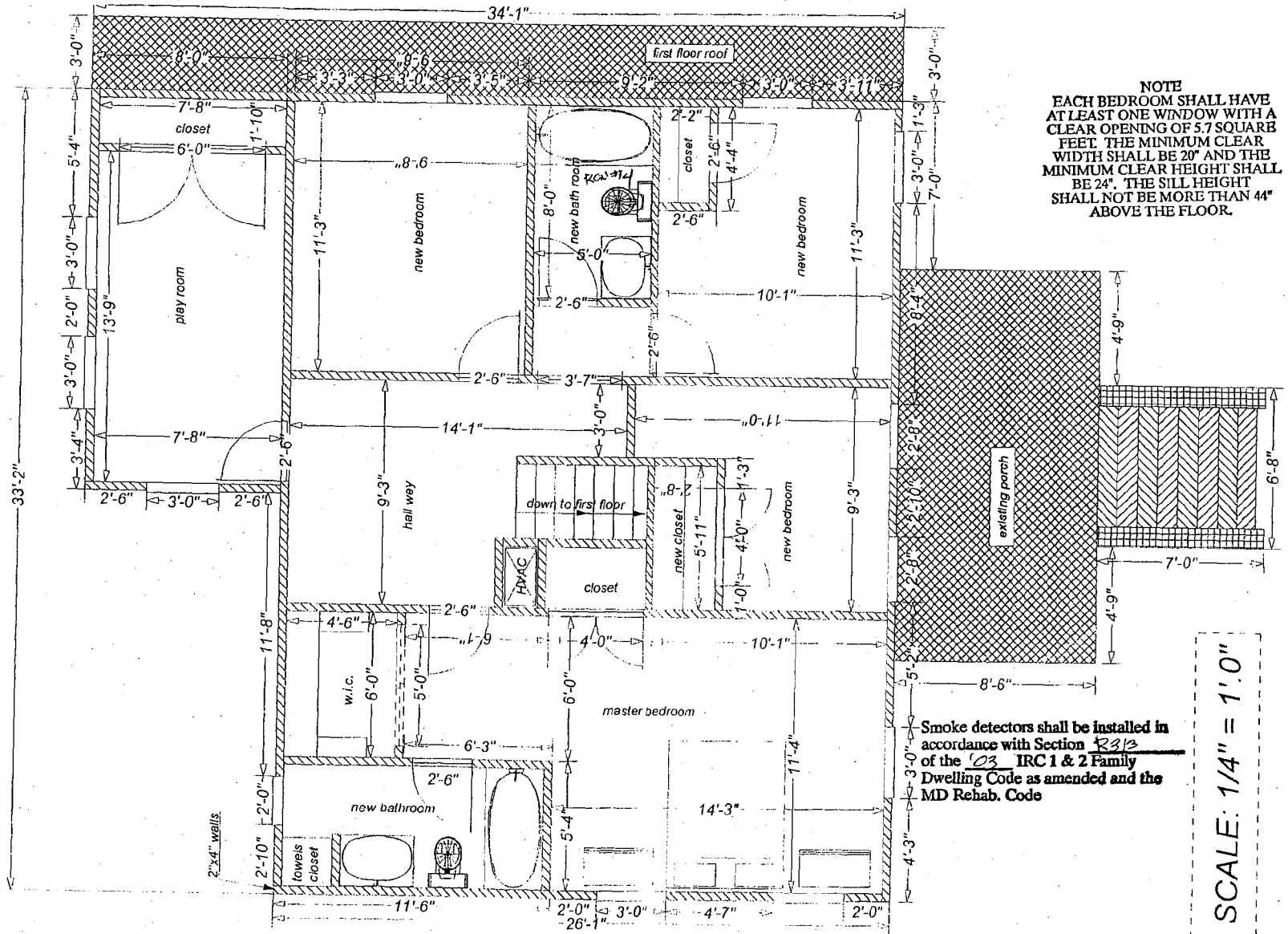


scale: 1/4" = 1'.0"

typical wall bracing panels
1/2" plywood 4'-0" wide
x story height 8D nails
@ 16" o.c. all edges and
12" o.c. intermediate studs.

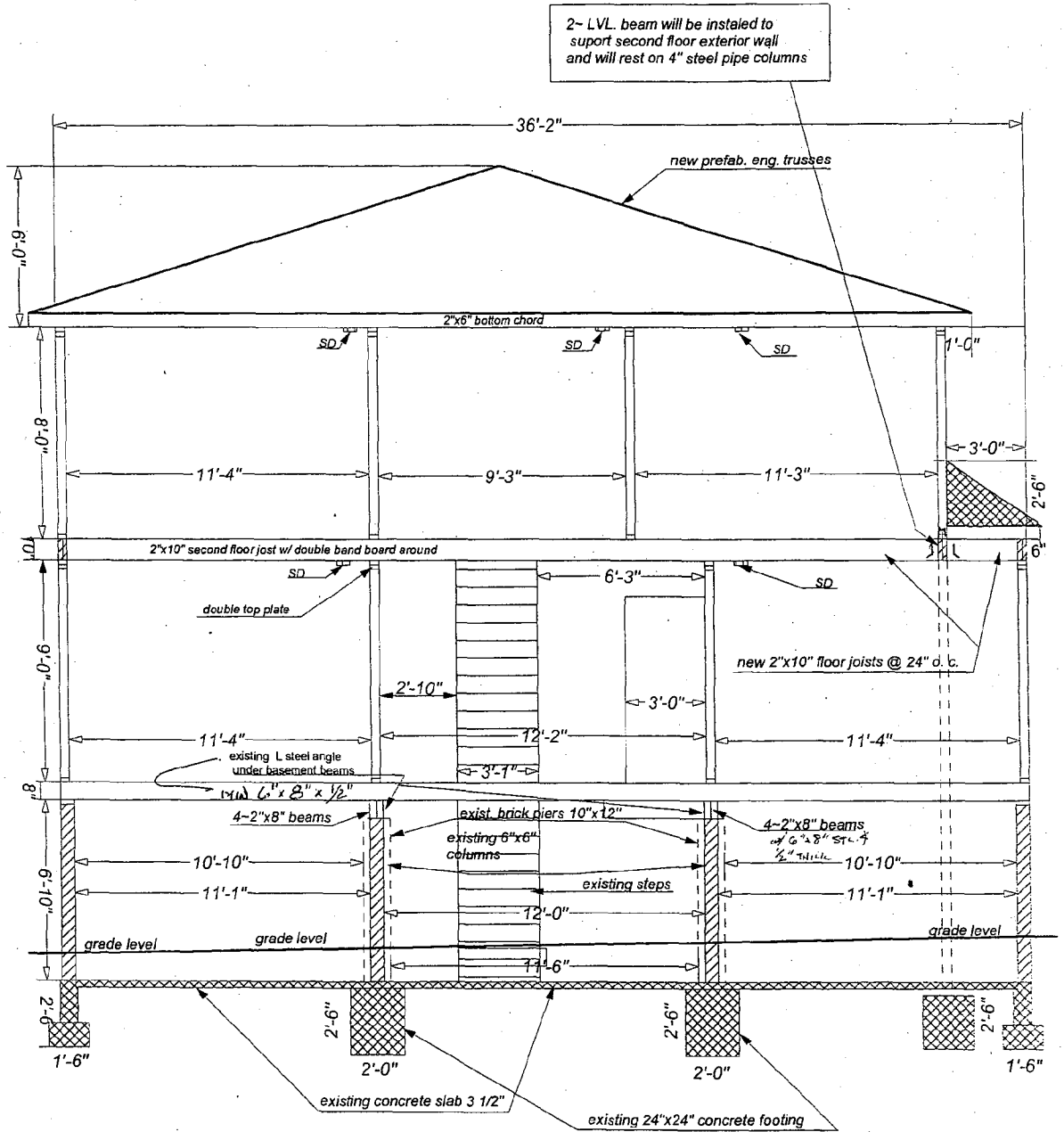
NEW SECOND FLOOR PLAN

57 WALNUT AVE
TAKOMA PARK MD 20912



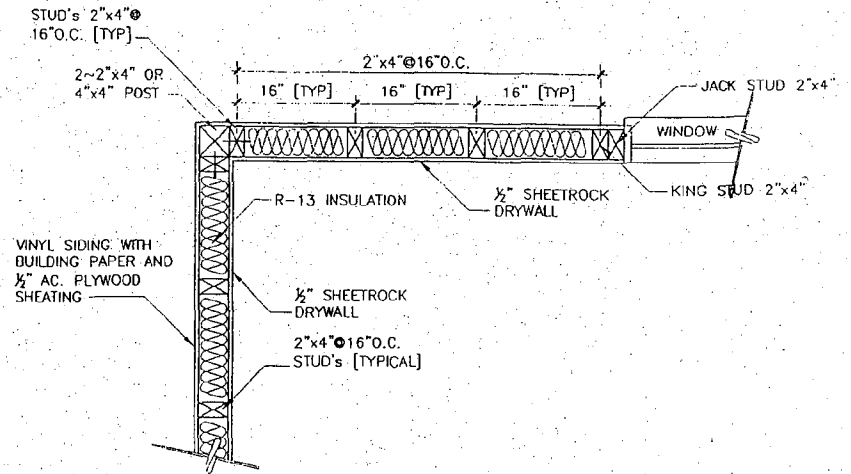
57 WALNUT AVE
TAKOMA PARK MD 20912

FRONT SIDE ELEVATION
DETAIL PLAN



SCALE: 1/4" = 1'.0"

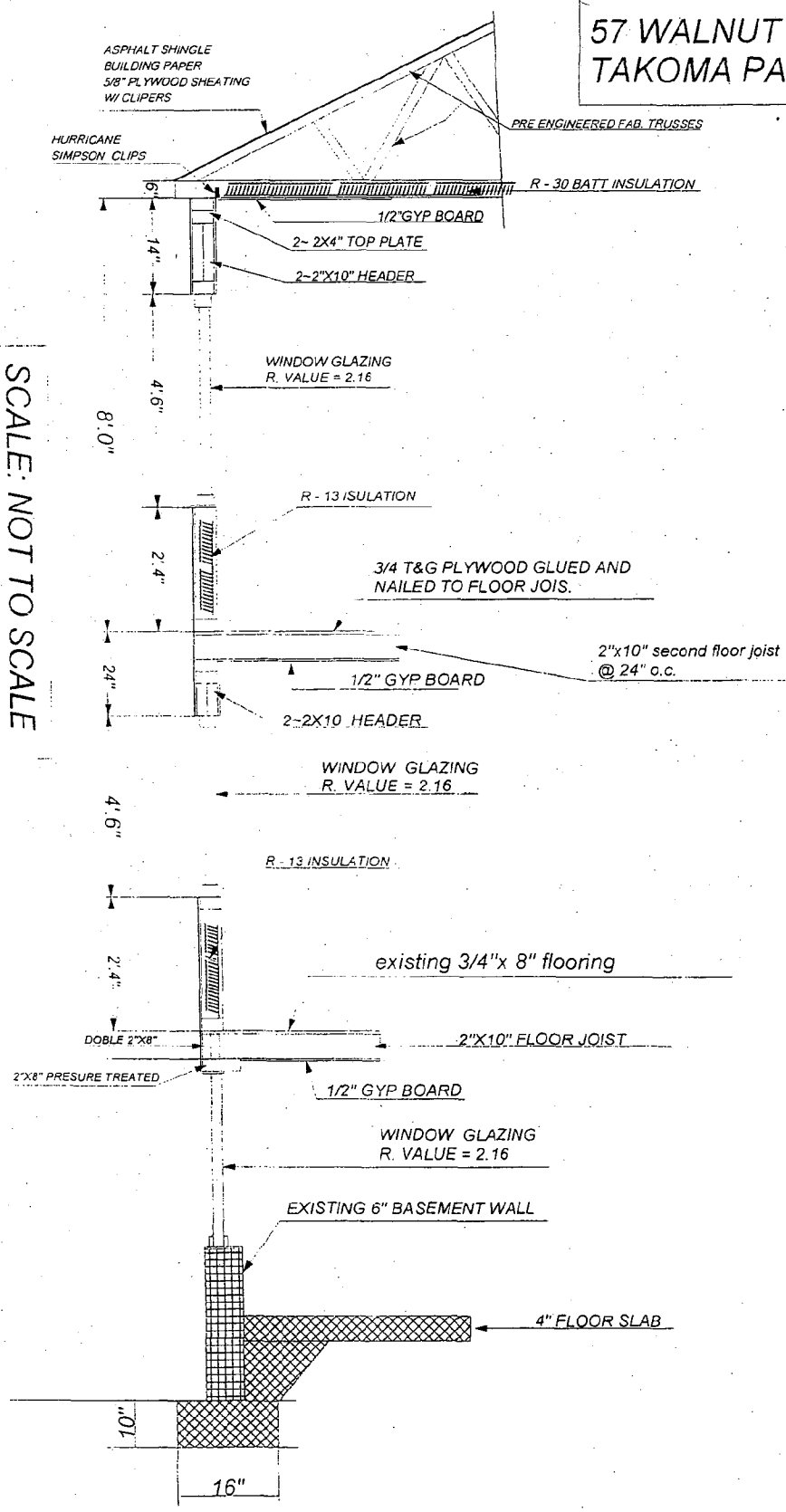
21



TYPICAL WALL DETAIL
 SCALE: 3/4"=1'-0"

7/29/04

57 WALNUT AVE
TAKOMA PARK MD 20912



SCALE: NOT TO SCALE

TYPICAL SECTION DETAIL

REGULATION 24-04
 THE FINAL INSPECTION MUST BE
 REQUESTED AND APPROVED BEFORE
 A BUILDING (OR PORTION THEREOF)
 IS USED OR OCCUPIED

Approved [Signature]
 Date 090606

GENERAL STRUCTURAL
 ARRANGEMENT APPROVED
 SUBJECT TO FURTHER
 APPROVAL OF CONSTRUCTION

A SEPARATE MECHANICAL
 PERMIT IS REQUIRED

ALL EXTERIOR DOOR AND WINDOW HEADERS ARE 2-2X10'S
 UNLESS OTHERWISE NOTED

HEADER SPAN SCHEDULE

| SIZE OF HEADERS | HEADERS IN BEARING WALL | | | NON SUPPORTING WALLS |
|-----------------|-------------------------|-----------------|-------------------|----------------------|
| | SUPPORTING ROOF ONLY | ONE STORY ABOVE | TWO STORIES ABOVE | |
| 2~2X4 | 4 FT | | | |
| 2~2X6 | 6 FT | 4 FT | | |
| 2~2X8 | 8 FT | 6 FT | | 10 FT |
| 2~2X10 | 10 FT | 8 FT | 6 FT | 12 FT |
| 2~2X12 | 12 FT | 10 FT | 8 FT | 16 FT |
| 3~2X12 | 14 FT | 12 FT | 10 FT | 18 FT |
| 4~2X12 | 16 FT | 14 FT | 12 FT | 20 FT |

SPANS ARE BASED ON No. 2 GRADE LUMBER WITH 10-FOOT TRIBUTARY FLOOR AND ROOF LOADS

CHANGES OR MODIFICATIONS TO THESE PLANS MAY REQUIRE RESUBMITTAL WITH ADDITIONAL PERMIT FEES. NO CHANGES CAN BE MADE TO THE APPROVED DRAWINGS.

Compliance ~~IECC~~ Energy Worksheet will be as noted on the ~~#27~~

Montgomery County Energy Worksheet

check Compliance Report

CABO MEC Compliance Report

Other _____

NOTES

NOTES

- ALL WORK SHALL COMPLY WITH IRC, 2003 & M.C. EXECUTIVE REG. #24-04 STATEWIDE BUILDING CODE WELL AS WITH ANY LOCAL CODES, REGULATIONS AND ORDINANCES.
- CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS.
- DESIGN LOADS:
 ROOF LIVE LOAD = 30 PSF
 FLOOR LIVE LOAD = 40 PSF
 DESIGN WIND SPEED = 90 MPH

Electrical wiring must conform to the 02 National Electric Code and County Requirements.

- SOIL BEARING PRESSURE ASSUMED TO BE 2000 PSF
- WALL FRAMING: 2"x4" STUDS @ 16" O.C.
- WALL SHEATHING O.S.B. 7/16" (EXCEPT FOR WIND BRACING)
- FLOOR DECKING: 3/4" O.S.B.
- ROOF DECK: / " O.S.B.
- ALL HEADERS TO BE ACCORDING TO TABLE #1 (HEADERS SPANS SCHEDULE), UNLESS OTHERWISE STATED.
- ROOF TRUSSES TO BE INSTALLED AND BRACED IN ACCORDANCE WITH TRUSS MANUFACTURERS RECOMMENDATIONS TRUSS MANUFACTURER IS RESPONSIBLE FOR DESIGNING INSTALLATION BRACING AND BRACING FOR UPLIFT.
- ALL DIMENSIONS SHALL BE VERIFIED IN FIELD
- PROVIDE 3~2X4 STUDS OR STEEL POST AT ENDS OF STEEL W BEAM DOWN TO BEARING WALL OR FOOTING BELLOW
- ALL EXISTING STRUCTURAL DIMENSIONS TO BE V.I.F. PRIOR TO CONSTRUCTION, BY CONTRACTOR.
- BOLT W/2-ROWS 1/2" @ BOLT @ 24" O.C.
- WIND BRACING PANELS 1/2" O.S.B SHEATHING

NOTE

CHANGES OR MODIFICATIONS TO THESE PLANS MAY REQUIRE RESUBMITTAL WITH ADDITIONAL PERMIT FEES. NO CHANGES CAN BE MADE TO THE APPROVED DRAWINGS.

THIS PERMIT DOES NOT INCLUDE APPROVAL FOR ANY ELECTRICAL WORK. YOU MUST HAVE A SEPARATE ELECTRICAL PERMIT TO DO ANY ELECTRICAL WORK.

46



Notice:
 The planimetric, property, and topographic information shown on this map is based on copyrighted Map Products from Montgomery County Department of Park and Planning of the Maryland-National Capital Park and Planning Commission, and may not be copied or reproduced without permission from M-NCPPC. Property lines are compiled by adjusting the property lines to topography created from aerial photography and should not be interpreted as actual field surveys. Planimetric features were compiled from 1:14400 scale aerial photography using stereo photogrammetric methods. This map is created from a variety of data sources, and may not reflect the most current conditions in any one location and may not be completely accurate or up to date. All map features are approximately within five feet of their true location. This map may not be the same as a map of the same area plotted at an earlier time as the data is continuously updated. Use of this map, other than for general planning purposes is not recommended.
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Casual User Application

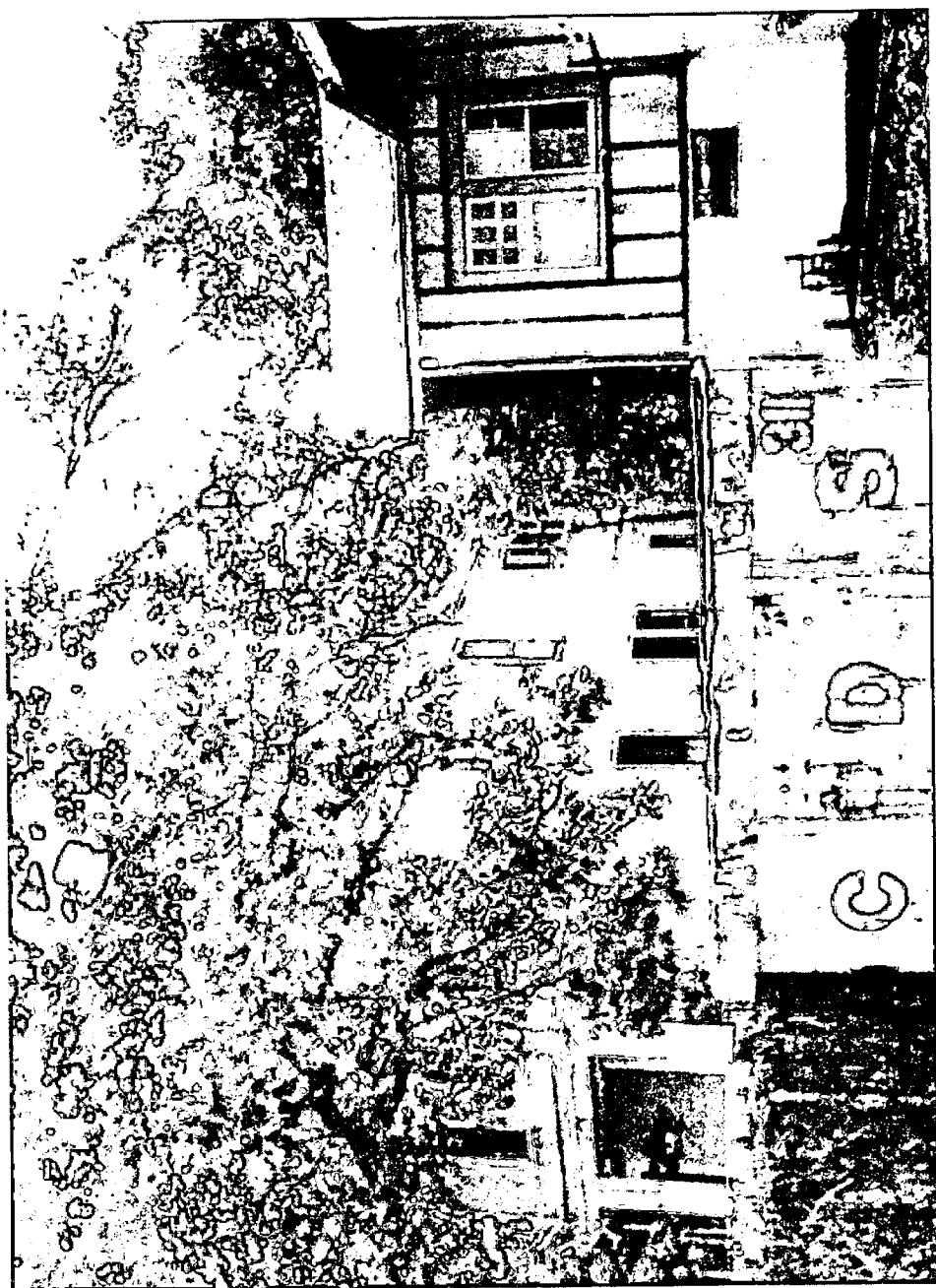


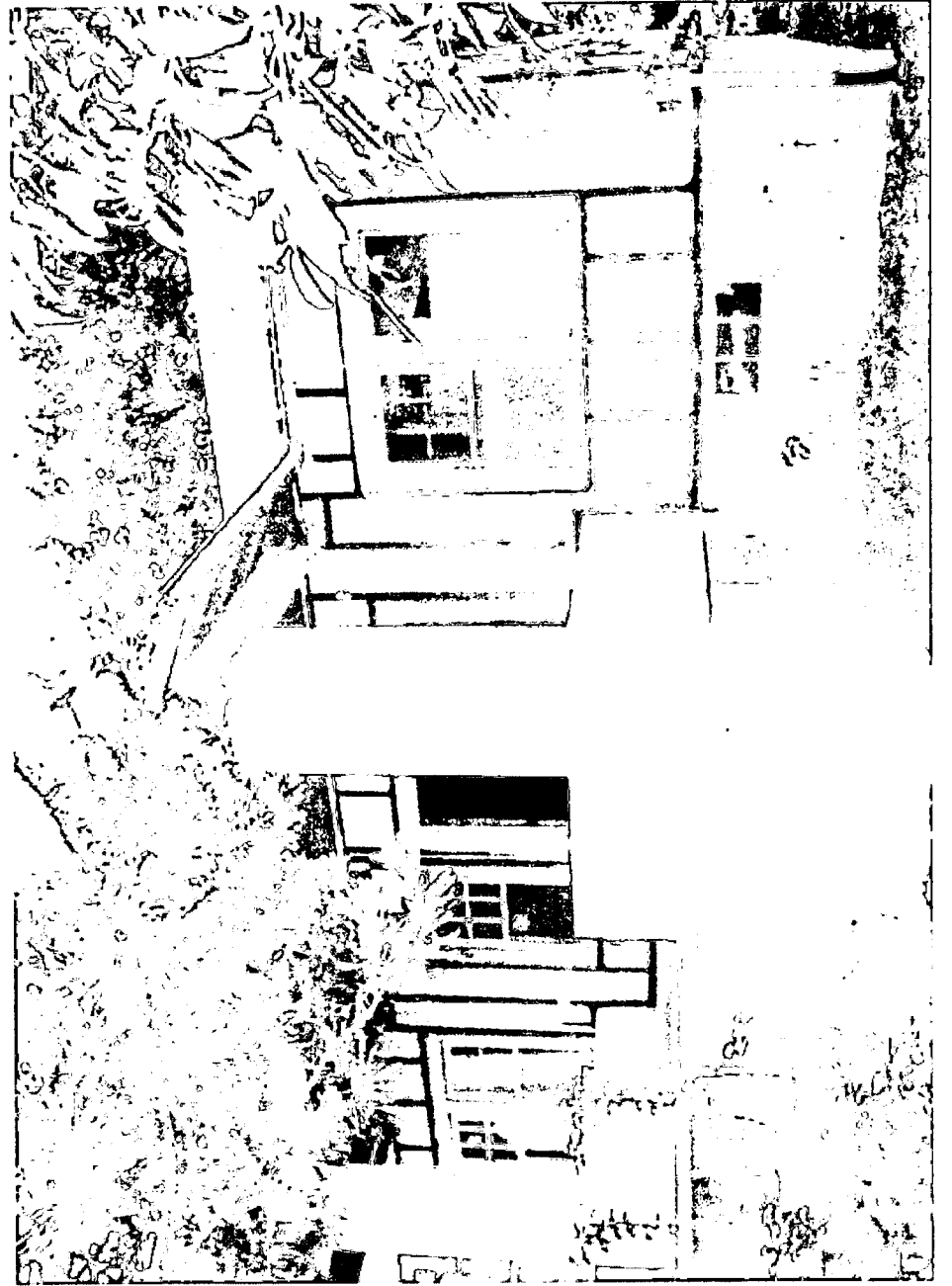
M-NCPPC
 MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING
 THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
 8787 Georgia Avenue - Silver Spring, Maryland 20910-3760

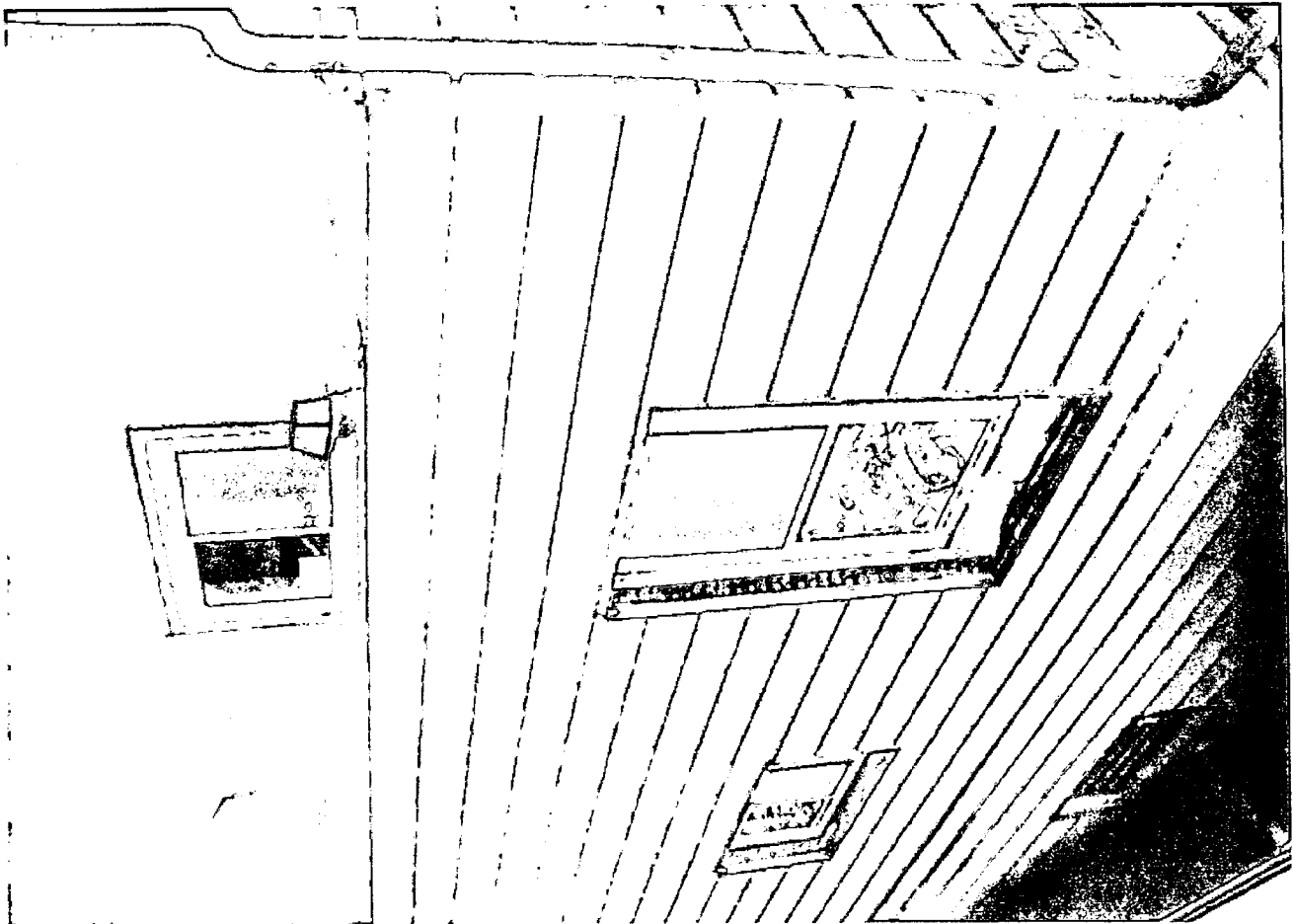
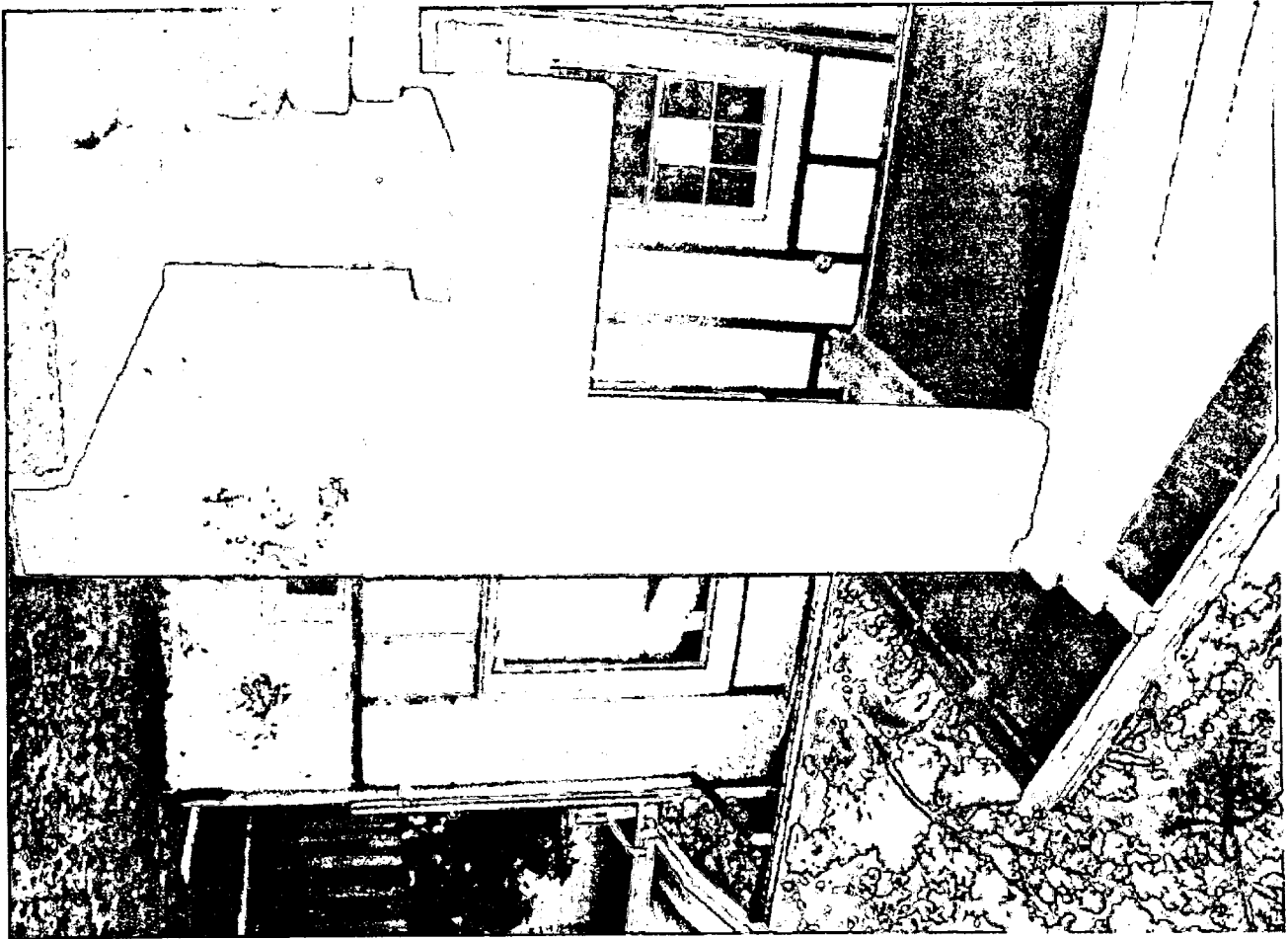
25

- ① Write up what retroactive changes are required.
- ② Call & set up site visit. (Take Measuring tape)
- ③ Pull together material samples.
 - approvable windows
 - driveway material
 - walkway material
- ④ Put HAWP Back on agenda for formal approval of changes.

10912 Montrose - second addition
- wood SDC on add.







HISTORIC PRESERVATION COMMISSION STAFF REPORT

| | | | |
|---------------------|---|-----------------------|-------------|
| Address: | 57 Walnut Ave, Takoma Park | Meeting Date: | 12/20/2006 |
| Resource: | Contributing Resource Takoma Park Historic District | Report Date: | 12/13/2006 |
| Applicant: | Juan Castro | Public Notice: | 12/06/2006 |
| Review: | HAWP | Tax Credit: | Partial |
| Case Number: | 37/03-06HHH | Staff: | Tania Tully |

PROPOSAL: window replacement and aluminum siding removal

RECOMMENDATION: Approve with Conditions

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application with the following conditions:

1. Specification sheets or samples of the windows will be provided to staff for approval before installation.
2. Staff will be provided with a sample of the window casing for approval before installation.
3. An accurate site plan indicating the chosen paving material will be provided to staff for approval before installation.
4. The windows on the front façade will not be replaced.
5. The missing window on the front façade will be replaced to precisely match the existing. The windows must be solid wood, true-divided light (TDL), 6/1 windows with the same profile and design.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the **Takoma Park Historic District**
STYLE: Bungalow
DATE: c. 1920s

This house is a one-story side-gable bungalow with a concrete gable front porch. Until recently, the house was sheathed in aluminum siding, but the original stucco is now evident behind the siding mounting strips. The house sits on a high foundation at the front of a deep relatively flat lot. There is an enclosed rear porch. Four of the 3-light basement awning windows are vinyl slider replacements. Three originals remain. The house has three bays with the ends consisting of a pair of windows each and the front door is flanked by windows. Only five 6/1 historic windows on the front façade remain. One is missing and the other windows are 1/1 vinyl replacements. The house is relatively simple though there is some Arts and Crafts detailing including notched bargeboards, square rafter ends, and multi-light windows.

HISTORIC CONTEXT

The following are excerpts from *Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland*.

“Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the second railroad suburb of Washington, platted ten years after Linden. The opening of streetcar lines led to the development of new subdivisions, expanding the Takoma Park community in the early 20th century.

“Takoma Park was platted in 1883. Developer Benjamin Franklin Gilbert promoted the property for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert’s promotion of the natural setting is the use of the Native American “Takoma”, meaning “exalted” or “near heaven.” Later he added the “Park” appellation to draw attention to its healthy environment.”

PROPOSAL:

- Remove aluminum siding (*in progress*)
- Repair and paint newly exposed stucco
- Replace basement windows on rear and sides with vinyl (*done*)
- Replace windows on rear (and 2 on right side) with vinyl (*done*)
- Replace the left side windows and 1 right side window with wood or wood clad SDL or TDL windows (Circles 11-12).
- Replace the missing front window.
- Replace the wood trim/casing to match what remains on the front façade(Circle).
- Replace the damaged concrete front walk in-kind (*in progress*)
- Resurface small concrete patio in rear yard in-kind (*in progress*)
- Pave driveway with tinted concrete or gravel with a concrete curb
- Replace the gutters in-kind
- Replace roof in-kind
- Construct a roof over the rear patio

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior’s Standards for Rehabilitation (Standards)*. Additional guidance to consider is in the *Approved and Adopted Takoma Park Master Plan (December 2000)* and the City of Takoma Park Façade Ordinances. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

Some of the factors to be considered in reviewing HAWPs on Contributing Resources include:

All exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should preserve the predominant architectural features of the resource; exact replication of existing details and features is, however, not required

Original size and shape of window and door openings should be maintained, where feasible

All changes and additions should respect existing environmental settings, landscaping, and patterns of open space.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

STAFF DISCUSSION

It is never optimal to review a Historic Area Work Permit application retroactively, especially when a Notice of Violation has been issued. When Staff reviews retroactive applications, the work is initially evaluated as though it has not yet been completed. Would Staff have recommended approval at that point? Initially this application included a proposal for a 2nd level addition that prompted a Preliminary Consultation on October 11, 2006. At that hearing the Commission discussed changes to the historic house already underway. The addition proposal has been eliminated and the changes presented in this application reflect the comments made by the Commission that evening (Circles 17-24).

The applicant has been very cooperative and has worked with Staff on the revised proposal, which is now in keeping with the applicable *Standards* and *Guidelines*. Although, the loss of original historic fabric in the windows is still distressing, removal of the aluminum siding will be a great improvement to the property and the district. At the previous hearing, the Commission gave initial approval for clad SDL windows to replace the vinyl replacements. The applicant is hoping to match the windows exactly and Staff recommends that the applicant get approval from Staff regardless of what window is chosen (Circle 16). The replacement of the casing is also an important part of bringing the windows back to a compatible condition.

Regarding changes in the yard, the applicant is no longer requesting to add a walk to the driveway but will return that to lawn. Either tinted concrete or gravel is approvable for the driveway, and the patio in the rear will not be larger than it is currently. No plans have been submitted for a roof over the patio, but staff is recommending approval in concept.

Despite the negative beginning to this project, Staff is confident that the resulting property will be more compatible with the historic district than it was when purchased by the applicant. Staff is recommending lifting the Stop Work order and conditional approval of the application.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

57 Walnut is a contributing resource in the Takoma Park Historic District. The house is relatively simple with some Arts & Crafts detailing.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Repair and renovate the house; Remove aluminum siding; replace concrete walks in-kind; Repair and replace windows; pave driveway; re-enclose rear porch; construct a roof over existing concrete patio.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

(6)

CONSUMER INFORMATION NOTES:

1. This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
4. Building line and/or Flood Zone information is taken from available sources and is subject to interpretation of originator.
5. No Title Report furnished.

no property by construction
must be through a DPS
of construction entrance
permitted driveway.

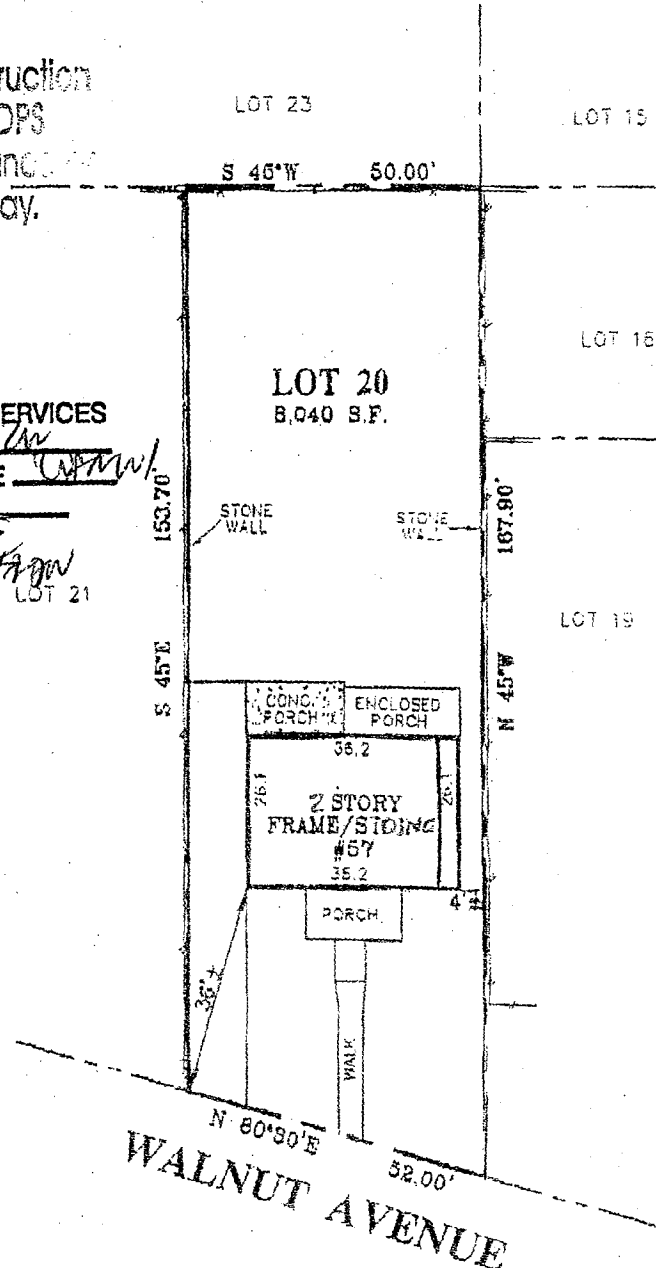
MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING SERVICES
APPROVED *[Signature]* DATE *2-10-00*
ZONING CLASS *R-10* PAGE *1 of 1*
BOARD OF APPEALS CASE *2ND FLOOR*

Notes

1. Flood zone "C" per H.U.D. panel No. 0200C.
2. Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 2 Feet. Fences, if shown, have been located by approximate methods.



LOCATION DRAWING
LOT 20, BLOCK 17
PINECREST
MONTGOMERY COUNTY, MARYLAND



SURVEYOR'S CERTIFICATE

"THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION."

Jeffrey A. Foster
MONTGOMERY COUNTY PROPERTY LINE SURVEYOR REG. NO. 587

REFERENCES

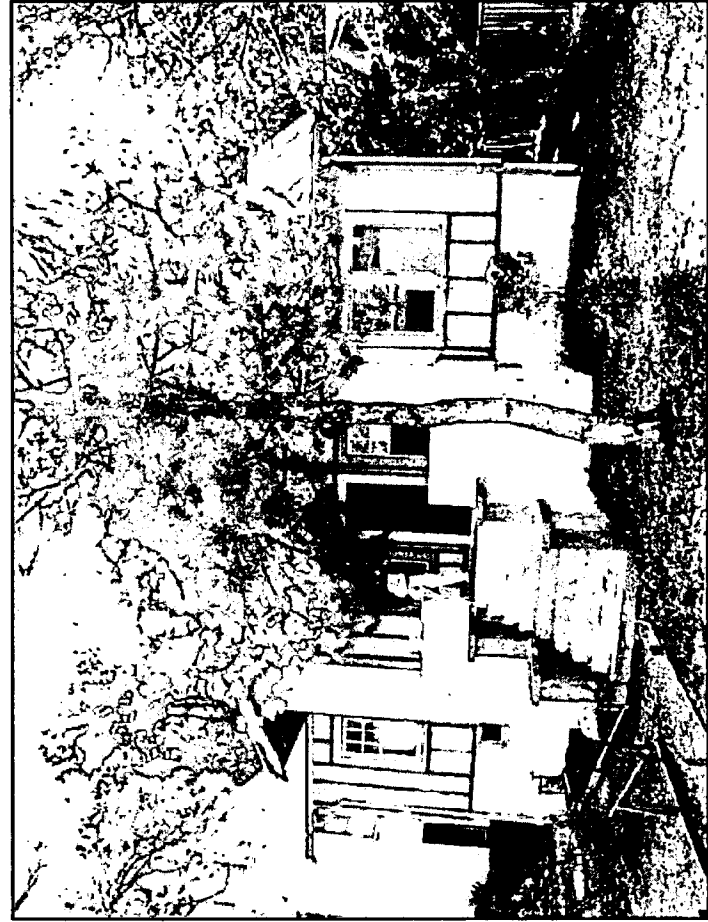
PLAT BK. 2
PLAT NO. 145

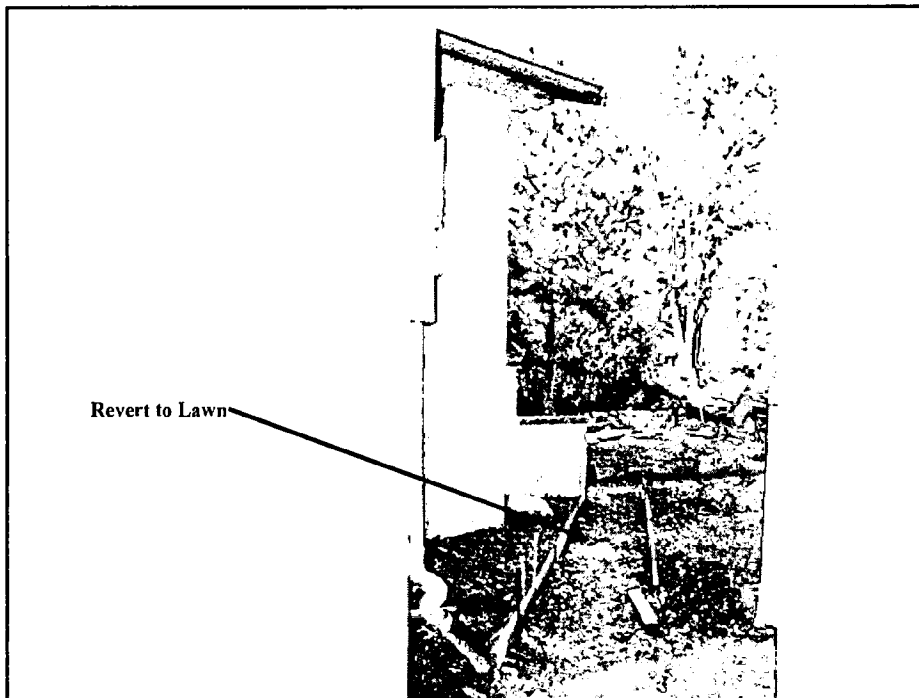
LIBER
FOLIO



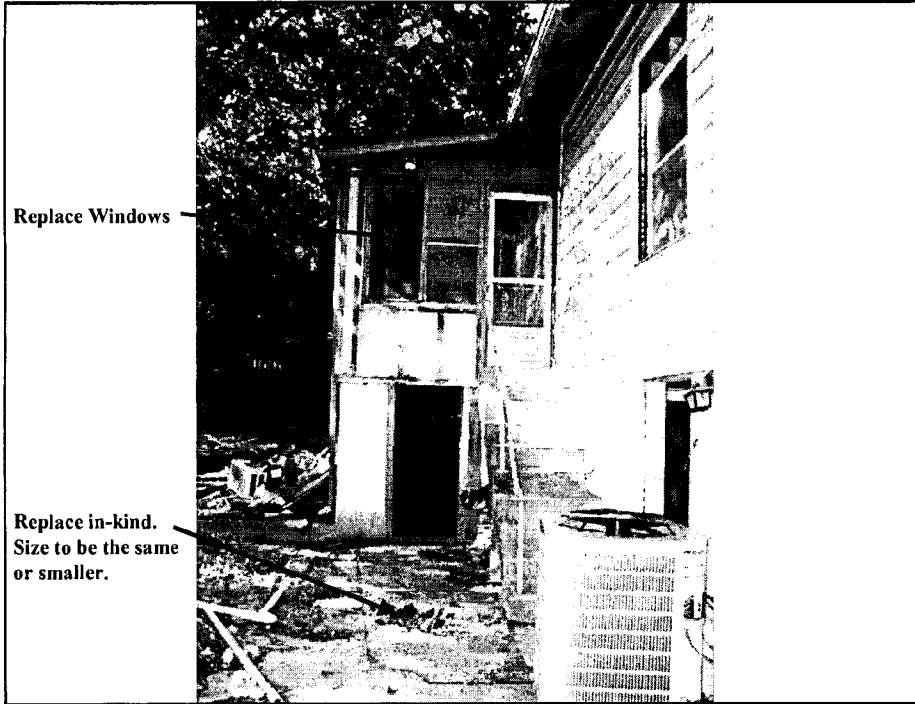
SNIDER & ASSOCIATES
SURVEYORS - ENGINEERS
LAND PLANNING CONSULTANTS
2 Professional Drive, Suite 216
Gaithersburg, Maryland 20878
301/948-8100, Fax 301/948-1266

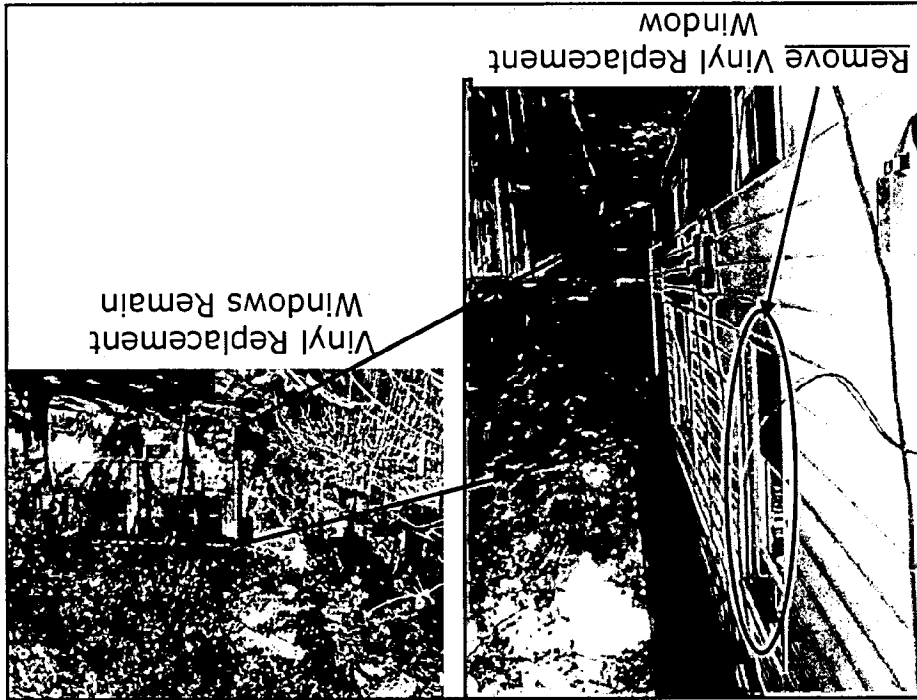
| | |
|--------------------|-----------------|
| DATE OF LOCATIONS | SCALE: 1" = 31' |
| WALL CHECK: | DRAWN BY: P.Y |
| HSE. LOC: 06-30-06 | JOB NO.: 06-451 |





2







Remove Vinyl
Replacement Windows



Basement Vinyl Replacement
Windows Remain

Remaining Wood Windows – Front Elevation

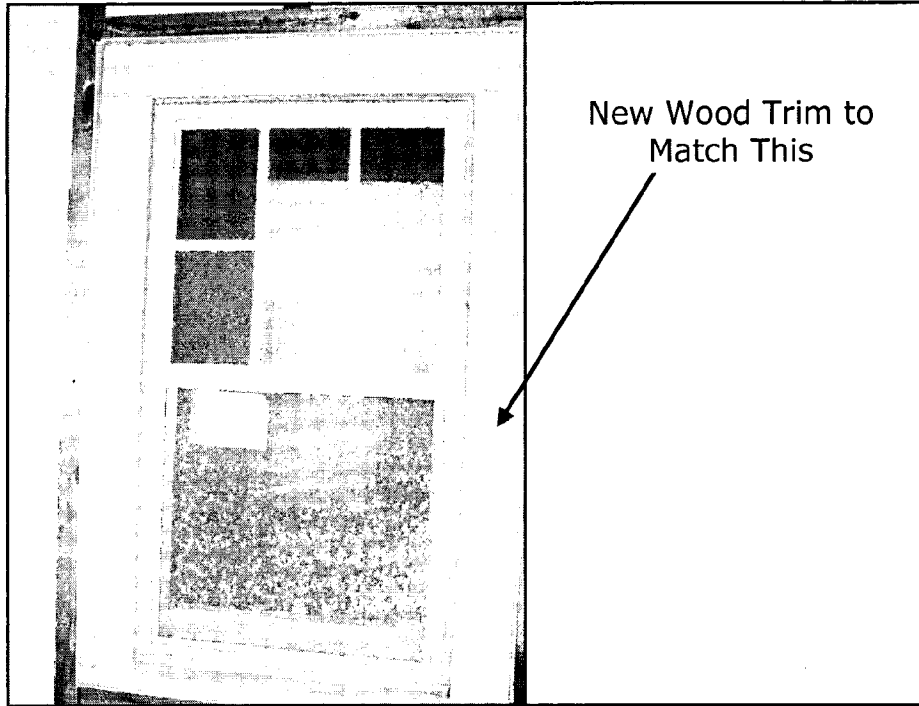


Exterior

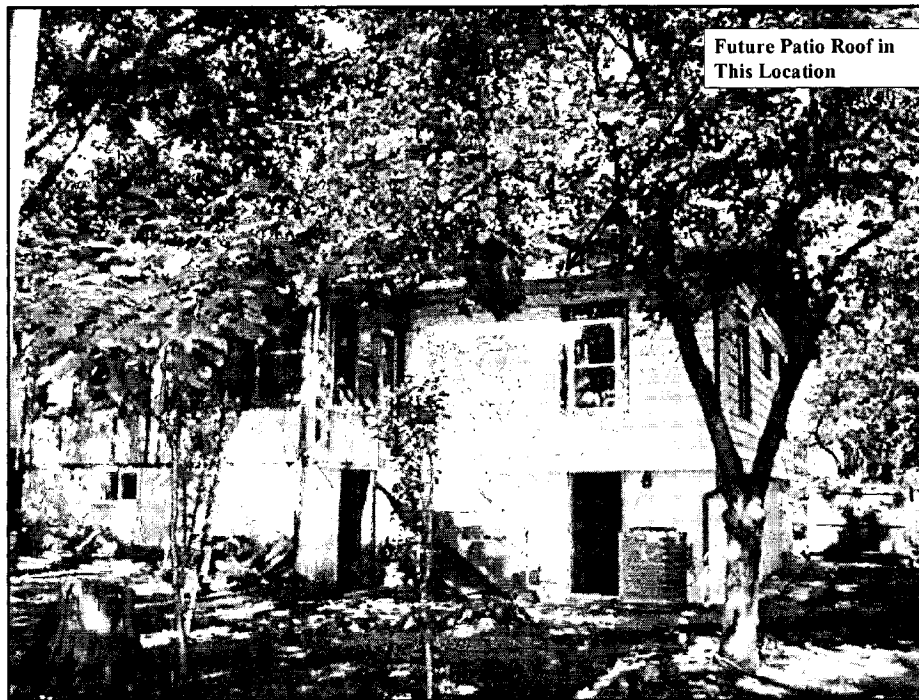


Interior

New Wood Trim to Match This



New Wood Trim to Match This



Future Patio Roof in This Location

HAWP APPLICATION: NAMES & MAILING ADDRESSES FOR NOTIFYING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's name & mailing address

Juan Castro
5203 Russet Road
Rockville, MD 20853

Owner's Agent's name & mailing address

Adjacent and confronting Property Owners names & mailing addresses

Larry Zarker & Susan Braden
59 Walnut Avenue
Takoma Park, MD 20912

MITCHELL S RATNER & ANN-MARI
GEMMILL
6814 Westmoreland Avenue
Takoma Park, MD 20912

Jordan Barab & Jesse Blackburn
55 Walnut Avenue
Takoma Park, MD 20912

AUBREY A STEPHENSON &
MAUREEN E BOOKER
6761 Eastern Avenue
Takoma Park, MD 20912
(not in District)

Laura Glassman & Christophe Tante
60 Walnut Ave
Takoma Park, MD 20912

Jabir & IJ Abegaz-Hassen
62 Walnut Ave
Takoma Park, MD 20912

Applicant: _____



MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING SERVICES
255 Rockville Pike, 2nd Floor
Rockville, Maryland 20850-4166

NOTICE OF VIOLATION

FOR MONTGOMERY COUNTY, MARYLAND the undersigned issuer, being duly authorized, states that:

On, September 7, 2006 the recipient of this NOTICE, Juan A. Castro
Date Recipient's Name

5203 Russett Road Rockville, Maryland 20853-2552
Street Address City, State, Zip

is notified that a violation of Montgomery County Code, Section: 24-A-6(a) & 59-A-3.1 Building and Historic area work permit

exists at: 57 Walnut Avenue Takoma Park, Maryland 20912 236658
Location Case #

The violation is described as: 1.) Re-construction of an HISTORIC house and walk way without first obtaining a Historic work and Building permit.

The following corrective action(s) must be performed immediately as directed:
1.) Obtain a Historic area work permit and a building permit from the Department of Permitting Services. For information call 240-777-6240.

An inspection fee of \$ _____ is required in addition to any application fee(s).

Compliance Time: **(15) FIFTEEN** Calendar days

Failure to comply with this notice will result in the issuance of one or more \$500.00 civil citations.

This Notice of Violation may be appealed to the Montgomery County Board of Appeals within 30 days of the issue date. The Board of Appeals is located in the Council Office Building, 100 Maryland Avenue, Room 217, Rockville, Maryland 20850, telephone 240-777-6600.

ISSUED BY: James C. Martin Juan C. Martin September 7, 2006
Printed Name Signature Date

Phone No. 301-370-0042

RECEIVED BY: _____
Printed Name Signature Date

Phone No. _____ Sent by Registered Mail/Return Receipt On: _____

RECIPIENT'S SIGNATURE ACKNOWLEDGES RECEIPT OF A COPY OF THIS NOTICE OF VIOLATION

(15)

Approved new windows must have the following specific characteristics:

- 6 panes/1 pane
- Wood or aluminum clad wood
- Simulated divided lites
- Muntins (grills, bars) must be no wider than 7/8"
- Glass must be clear
- Wood or aluminum clad trim of same dimension as original
- Must fit the existing rough opening exactly.
- Double hung

Known brands that meet these criteria:

JeldWen - Sitrine Double-hung Windows

Exterior wood casing is variable as wide as 5 1/2"

Marvin - Ultimate Double Hung

Flat casing is available in wood or aluminum

Pella - Architect Series, Luxury Edition

Simulated Divided Lite called Integral Light Technology (ILT)

Weathershield - Legacy Series, HR 175 or Weathershield

1 **THE MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**

2
3 A meeting in the above-entitled matter was held on **October 11, 2006**, commencing at 7:41 p.m., in the
4 MRO Auditorium at 8787 Georgia Avenue, Silver Spring, Maryland 20910,

5
6 MS. O'MALLEY: We'll do the preliminary now. The first preliminary is 57 Walnut
7 Avenue, Takoma Park.

8 MS. TULLY: Just one moment -- Okay. 57 Walnut Avenue is a contributing resource in
9 the Takoma Park Historic District. It is a bungalow and I'll just start with this. And until recently the
10 house was sheathed in aluminum siding and the house sits on a high foundation and there is an
11 enclosed rear porch and the front porch is gable front. There are two parts to this particular preliminary
12 application. One there's a retroactive issue and then there is a proposal for a second level addition.
13 What I think will be the easiest thing to do is I can just take the slides and go around and indicate what
14 work has already been completed up to this point. Oh a similar house that needs some additions to it.
15 Okay.

16 This is the front and side of the house and as you can see the aluminum siding has been
17 removed and the stucco siding is still underneath it relatively the condition on the home when the strips
18 are taken off. And the front, all the front windows and door currently remain all except the broken one
19 here. Also as you can see the concrete walk where taken out and repaired and being rebuilt. And I
20 don't have a picture from very before, but it's my understanding this house had not been cared for for
21 some time and this was really overgrown so the applicant has done a good job in clearing the yard so
22 we can actually see the house. Some shots of the front of the house. And this is looking up the
23 driveway currently. It helps you see the location of the driveway. And the streetscape. There's that
24 walk again. This is the rear of the property that's been enclosed, screened, enclosed porch and this is
25 the door to the basement. As you can, here's one of the bay windows that's been replaced. The
26 aluminum siding has not been approved all the way around the house as of yet.

27 The applicant is replacing the aluminum siding. Staff is suggesting that he fix, really
28 those are the things, stuck. And here's -- and this looked a little bit better on my computer. But this is
29 sort of a collage of the windows. These do remain. They are on the front facade. This is in the
30 basement and then these are replacement windows. There is also one more original window
31 remaining. It's the one that faces underneath the rear porch. I did not get a photograph of that. And
32 again, these are the vinyl replacement windows from the various sides. This is along the right side.
33 This is along the left side if you were facing the house. I think in addition to just losing the windows
34 themselves, the loss of the trim and casing is of concern. As you can see these are the windows that
35 still remain. This is the same window from the exterior and from the interior. And the casing here from

1 photographs provided by the applicant and the staff, that are in the staff report. It appears to me those
2 were, that was still there.

3 And these are just some details. It's a relatively simple house. There are some details,
4 this sort of notch in here. You've got the wide eaves and the exposed rafters there. But you know, the
5 gutters, they're not maintained so there's definitely some issues with rot. The wood will need to be
6 replaced in kind, but overall it is in, you know, relatively good condition. Okay. Well those are just
7 some shots of the --

8 MS. O'MALLEY: Thank you.

9 MS. TULLY: And I'm happy to answer any questions you have. Staff report does have a
10 bit more detail and the applicant and there is someone that will be helping him translate this evening.

11 MS. O'MALLEY: All right. Any questions for staff?

12 MS. TULLY: I just realized I didn't talk about the proposed addition.

13 MS. O'MALLEY: Well, we'll do that after.

14 MS. TULLY: Okay.

15 MS. ALDERSON: Replacement windows to match the size of the openings, or is the
16 opening altered as well as the casing?

17 MS. TULLY: Yes, it, some of them are smaller. Some of them are, it's, I would need to
18 get the, get a measuring tape out there to be certain.

19 MR. JESTER: Just generally speaking, how many windows were replaced that are in
20 the public right-of-way in the front of the house and possibly from the side in public right-of-way?

21 MS. TULLY: Okay. None from the front facade were replaced. And there are I mean --

22 MR. JESTER: Approximately.

23 MS. TULLY: Approximately, 1, 2, 3, 4, 5, 6, I would say approximately 7 or 8 that are
24 readily visible from the public right-of-way. And that would be all of them along the driveway side of the
25 house, because that's very open and just the front on the other side of the house because it sits so
26 close.

27 MS. ALDERSON: Did you say that the front facade remains intact?

28 MS. TULLY: The windows have not been replaced on the front facade, yes.

29 MS. O'MALLEY: Would the applicant come up to the table, please. And if you would
30 just say your name.

31 MR. CASTRO: Yes, ma'am, my name is Juan Castro and I'm the owner of this house.
32 First of all, when I buy this house I tried to make it a second level. But I talk with my wife and I said,
33 you know, we can't do this. I mean we don't have this money to do it.

34 MS. O'MALLEY: Well, first tonight, the first thing we're going to talk about are the
35 windows.

15

1 MR. CASTRO: The windows.

2 MS. O'MALLEY: So that you can get the --

3 MR. CASTRO: There are windows just inside. The new windows just inside.

4 MS. O'MALLEY: Now, do you understand that we don't like to have the original windows
5 removed from the house. We like it to rehabilitate or you know, repair the older windows. And so
6 particularly the ones that are still in place on the front should not be removed. They should be repaired.

7 MR. CASTRO: Okay. Well, you know, when I buy the house, I never know this. When I
8 buy this house in this area here --

9 MS. O'MALLEY: Uh-huh.

10 MR. CASTRO: I never know. I mean the neighbor he told me about the --

11 MS. O'MALLEY: Historic District?

12 MR. CASTRO: Right. I didn't know this before.

13 MS. O'MALLEY: Okay.

14 MR. JESTER: Now, you know. You mentioned that the replacement windows are the
15 same size. I think we saw a few slides, at least a couple where the new windows are clearly
16 considerably smaller than the openings they were put into. They're smaller than the windows that were
17 there. And also --

18 MS. O'MALLEY: Can you show him that picture?

19 MR. JESTER: I guess the second issue is that the windows you put in don't match the
20 details of the original windows, the configuration with the profile and all the original trim. So even if we
21 were to approve the replacement because they were deteriorated, the windows you put in do not match
22 the windows that are there or were there. That in particular --

23 MS. CASTRO: You see at the top you have a little a piece of wood at the frame around
24 the windows. You see the windows have the old frame around the windows.

25 MR. JESTER: Is that clarified --

26 MS. TULLY: Yes.

27 MR. JESTER: Those windows are smaller --

28 MS. TULLY: It does look like they're smaller. I have not measured them. However,
29 they, the windows you know, did have very wide casing on them. And it is possible that is the missing
30 casing that you're seeing. But --

31 MR. JESTER: Those like like new --

32 MS. TULLY: Oh, actually you're right, right there.

33 MR. JESTER: To my eyes. Let someone who --

34 MS. TULLY: No, no, no, I see what you're saying.

35 MS. ALDERSON: That's what appeared to me. That's why I asked the question.



1 MS. TULLY: We are fortunate in that the windows on the front facade, you know, do
2 remain. They can be used --

3 MR. JESTER: From my perspective, it's unfortunate that the applicant was not aware
4 that, required how to purchase and install windows. These windows really are not windows that were
5 approved for proposed work. This is supposed to be retroactive so I personally concerns about it. I
6 would be open to negotiating exactly which ones would need to be replaced with more appropriate
7 windows. And that's why I asked earlier about the numbers so we can kind of get to be manageable.

8 MS. TULLY: Sure. And we can discuss that this evening because this was placed as a
9 preliminary. That's what staff is looking for so the idea of hopefully you will see this same information
10 about window makers and what staff was hoping that would come from this is a determination you
11 know, what needs to go back. And then they would be, historic area work permit specifically on the
12 windows that's applied for that has what will be installed.

13 MR. JESTER: I would --

14 MS. TULLY: Does that make sense?

15 MS. ALDERSON: I want to be clear to the other owners who work very hard to retain
16 their original materials and work very hard to match the original materials can be maintained so I would
17 think our priority would be those windows that are most visible from the right-of-way. So perhaps,
18 Michele you can give us some guidance on --

19 MS. TULLY: Tania.

20 MS. ALDERSON: I'm sorry. On what you see. And what your judgment call is on that.

21 MR. JESTER: And I also will add that I think, it looks like the windows which we're
22 talking about were 6 over 1's which is a relatively easy window type of match reasonably.

23 MS. TULLY: Yes.

24 MR. JESTER: So I think if we come up with insulated glass and permanently fix --

25 MS. TULLY: Okay.

26 MR. JESTER: -- that match. It might be a way to get back closer to the appearance that
27 was there without having to truly replicate --

28 MS. TULLY: Okay.

29 MR. JESTER: I don't think that would be necessary.

30 MS. TULLY: Okay.

31 MR. JESTER: -- just a little ground.

32 MS. ALDERSON: I completely agree -- all the way along the side we want to see casing
33 returned to its original dimensions.

34 MS. TULLY: The windows that are not the most visible would you want them to remain
35 what was put on or should they just be replaced with a simple wood window?



1 MR. JESTER: I personally think the resources would probably be better spent trying to
2 put in the best windows, the ones that are the most visible --

3 MS. TULLY: Okay.

4 MR. JESTER: -- make the best improvement. We're talking about window that are not
5 visible from the public right-of-way I think I would probably let it go.

6 MS. ALDERSON: I agree. Also I think that the issue is what you see from the street,
7 but we would want the casings appropriate dimension returning all the way along the side because
8 that's very obvious.

9 MS. O'MALLEY: That's the wide trim that goes around the window --

10 MR. CASTRO: Right.

11 MS. O'MALLEY: -- casing. So from the front you have, even the basement level still has
12 the original windows.

13 MR. CASTRO: Right, the same windows.

14 MS. O'MALLEY: I think on the sides that sometimes when we approve replacement on
15 the basement level --

16 MS. TULLY: Yes, that's what we typically do approve replacement, not typically vinyl but
17 we do typically approve replacing basement level windows.

18 MS. ALDERSON: My concern is the higher level and I agree with windows on the front
19 that they basically match as well as we can.

20 MS. TULLY: Okay. Should we proceed with looking into replacement aluminum or
21 rehabilitating the stucco?

22 MS. ALDERSON: We're deciding now?

23 MS. TULLY: I'm sorry. I'm sorry. I thought we were done.

24 MR. JESTER: Topic of the window I would recommend that the windows not be vinyl,
25 that there be other replacement windows. They should be aluminum clad or wood.

26 MS. TULLY: For the ones that are most visible. Correct?

27 MR. JESTER: Right.

28 MS. TULLY: Yes, staff understands.

29 MS. ALDERSON: And I would if there's an opportunity certainly this is the first time
30 we've had someone ask to put aluminum siding back and usually the neighbors are very thrilled and I
31 urge the return, that now we have the opportunity to do it.

32 MS. TULLY: Stucco.

33 MS. ALDERSON: Oh, I'm sorry I thought we had a combination of stucco. And I would
34 say it's an opportunity to return to the historic finish, we would not approve wood siding, aluminum
35 siding. We never have. And if you want to discuss, you know, the material, when we're finished with

(21)

1 that, I'd like to discuss the meeting.

2 MS. O'MALLEY: This is the rear that we're looking at now that has the aluminum siding
3 on it?

4 MS. TULLY: These are the two sides, the right side and the left side. So at this point
5 the aluminum siding has only been removed from the front facade.

6 MS. O'MALLEY: From the front.

7 MS. TULLY: At this point, yes. To the best of my knowledge we cannot require him to
8 remove the rest of it. So we're just talking about the portion that he's already removed.

9 MS. ALDERSON: Do we believe the house was originally stucco, not wood?

10 MS. TULLY: I think it was wood, yes.

11 MS. ALDERSON: Okay.

12 MR. CASTRO: I'm sorry, I tried to remove the siding. You see the siding had a different
13 color. I mean what I tried to do, you know, take the old siding and put it with the same siding in the
14 same hole.

15 MS. ALDERSON: No, the principle here and this may sound confusing is that something
16 that is non conforming, that is not consistent with a historic district, character, while others are not
17 required to actively restore once something that is non consistent is removed, then we won't put the
18 inconsistent thing back. So once the incorrect alteration is removed we are seeking a return to what is
19 historically appropriate. And the historic character in this neighborhood is stucco and wood siding. It's
20 natural materials. So if you wish to remove the aluminum siding, you would need to return the house to
21 its historically correct appearance. And that's why I would entertain either stucco or wood. It may have
22 originally been wood before the stucco.

23 MR. JESTER: I think that's something they can work with staff. I think the principle is
24 clear.

25 MS. TULLY: Okay.

26 MR. JESTER: You want to start with paving before we get to the --

27 MS. ALDERSON: Yes, I would. Yes. I have a concern about request to install a new
28 concrete pad. In one case like this very recently on Carroll Avenue and once it did actually come up.
29 All the neighbors came to disapprove but they were in the backyard. So I would urge you to think about
30 that and specifically we look at if you have a concrete area that's been around we look at the
31 opportunity to take it back to a natural look. So that is what I would urge you to seek. If you are
32 needing solid surface for some reason, I don't know, if this is a parking lot or something like that, then
33 we would urge you to work with staff to find the material that looks more naturalistic, brownstone, gravel
34 or other materials. But I would certainly encourage you to take the opportunity to remove the concrete
35 from the backyard. And then also the same with the connector between the front and the driveway to

1 look at a more naturalistic connection. If you want to have a walkway extension rather than concrete
2 which would not be consistent with the historic character of the neighborhood.

3 MS. O'MALLEY: So that would be the material could be discussed with staff. Okay,
4 staff.

5 MS. ALDERSON: Typically in this neighborhood we're, as a historic treatment where
6 there is a path connecting the front to the driveway would be naturally cut flagstone or something like
7 that. I guess we really want a garner material and a paving material, not concrete. But removable.

8 MR. CASTRO: Okay. I have another question about the roofs. You know, I have leak
9 everywhere. And they need to be replaced.

10 MS. O'MALLEY: If you replace the roof you can replace the roof. If the roof is same
11 material, the same, you know, but on there those are asphalt shingle. You can put new asphalt shingle
12 on. You don't need to have a separate permit for that. And you can get a tax credit for it.

13 MS. ALDERSON: That's right, all the roofs that are approved in here of the roof, walls
14 and the windows can qualify for tax credits to offset your costs.

15 MS. O'MALLEY: Staff can explain to you about that. When you pay your taxes then you
16 get some money back if you keep the receipts from the work that you do. Staff can explain that.

17 MR. JESTER: Have we covered all the issues --

18 MS. O'MALLEY: Do we need to make a motion on the windows?

19 MS. TULLY: This is a preliminary consultation.

20 MR. JESTER: I think it's pretty clear, the applicant has to ask --

21 MS. ALDERSON: I was unclear on whether you were saying you no longer wished to
22 discuss adding second story because you're not pursuing that or did you still wish to discuss that?

23 MR. CASTRO: No, we don't want to do a second story.

24 MS. ALDERSON: Not pursuing a second story. Okay. So that's not an issue for
25 discussion.

26 MS. TULLY: I recommend that you do go ahead and replace the roof and I can work
27 with you on the other items that were discussed with you.

28 MS. CASTRO: My question, does he need to remove the windows that he installed?

29 MR. JESTER: Some of the ones --

30 MS. O'MALLEY: Some of them.

31 MR. JESTER: Some of them he has to. I think you can work --

32 MS. CASTRO: Can he show us which ones?

33 MS. TULLY: Yes, we're going to need to, I'll meet you out on site. We'll walk around the
34 house and we'll go over it very specifically.

35 MS. CASTRO: Okay.

1 MS. O'MALLEY: Okay. Thank you.

2 MR. CASTRO: I mean I have another question about the little sidewalk go to the
3 storehouse. This is, when I buy the house it had concrete. But the concrete you know, is cracked
4 everywhere.

5 MS. TULLY: This is the sidewalk. This is the sidewalk that goes from the front steps to
6 the street.

MS. CASTRO: Yes.

MS. TULLY: To public sidewalk.

MS. ALDERSON: If it's existing concrete I don't think we have a problem just repairing it
in kind. My comment was addressing if you wish to add additional paved area connecting the front
walk to the driveway that is what I would suggest using a different material. If you're simply repairing
an existing sidewalk that goes to the street, it can be done with the same material.

MR. CASTRO: Oh, okay.

MS. O'MALLEY: Okay. Thank you.

MS. CASTRO: Thank you.