

7004 Westmoreland Avenue Takoma Park
HPC Case No. 37103-07 PP
Takoma Park Historic District



HISTORIC PRESERVATION COMMISSION


Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: November 15, 2007

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #468914, rear deck construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the November 14, 2007 meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Ruth Logsdon

Address: 7004 Westmoreland Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Ruth Logsdon
Daytime Phone No.: 301.270.9113

Tax Account No: 01074118
Name of Property Owner: Ruth Logsdon Daytime Phone No.: 301.270.9113
Address: 7004 Westmoreland Ave. Takoma Park MD 20912
Street Number: City: State: Zip Code:
Contractor: Long Fence Phone No.: 301.428.9040
Contractor Registration No.: 9615-02
Agent for Owner: N/A Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 7004 Street: Westmoreland Avenue
Town/City: Takoma Park Nearest Cross Street: Carroll Ave.
Lot: 46 Block: A Subdivision: H.L. Thornton's
Liber: 19298 Folio: 427 Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A.C. Slab Room Addition Porch Deck Shed
 Move Install Wreck/Abate Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other:
1B. Construction cost estimate: \$ 5,114.26
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

7A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:
2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement 468914

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Ruth Logsdon x 10/3/07
Signature of owner or authorized agent Date

Approved: [Signature] for Chairperson, Historic Preservation Commission
Disapproved: _____ Date: 12/28/07
Approved/Permit No: 468914 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Bungalow House w/ large backyard
no trees are in the way or even near
the proposed deck.

will be constructed in the back of the
hse.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

378 sq. foot deck to be constructed w/ pressure treated
pine w/ 12 sq. ft of stairs, railing is sweeper style
support posts to be 6x6 pressure treated pine
set in concrete footer - deck, stair treads
1 wood bench + 1 trellis on left side of deck.
(driveway side)

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

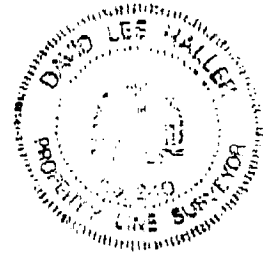
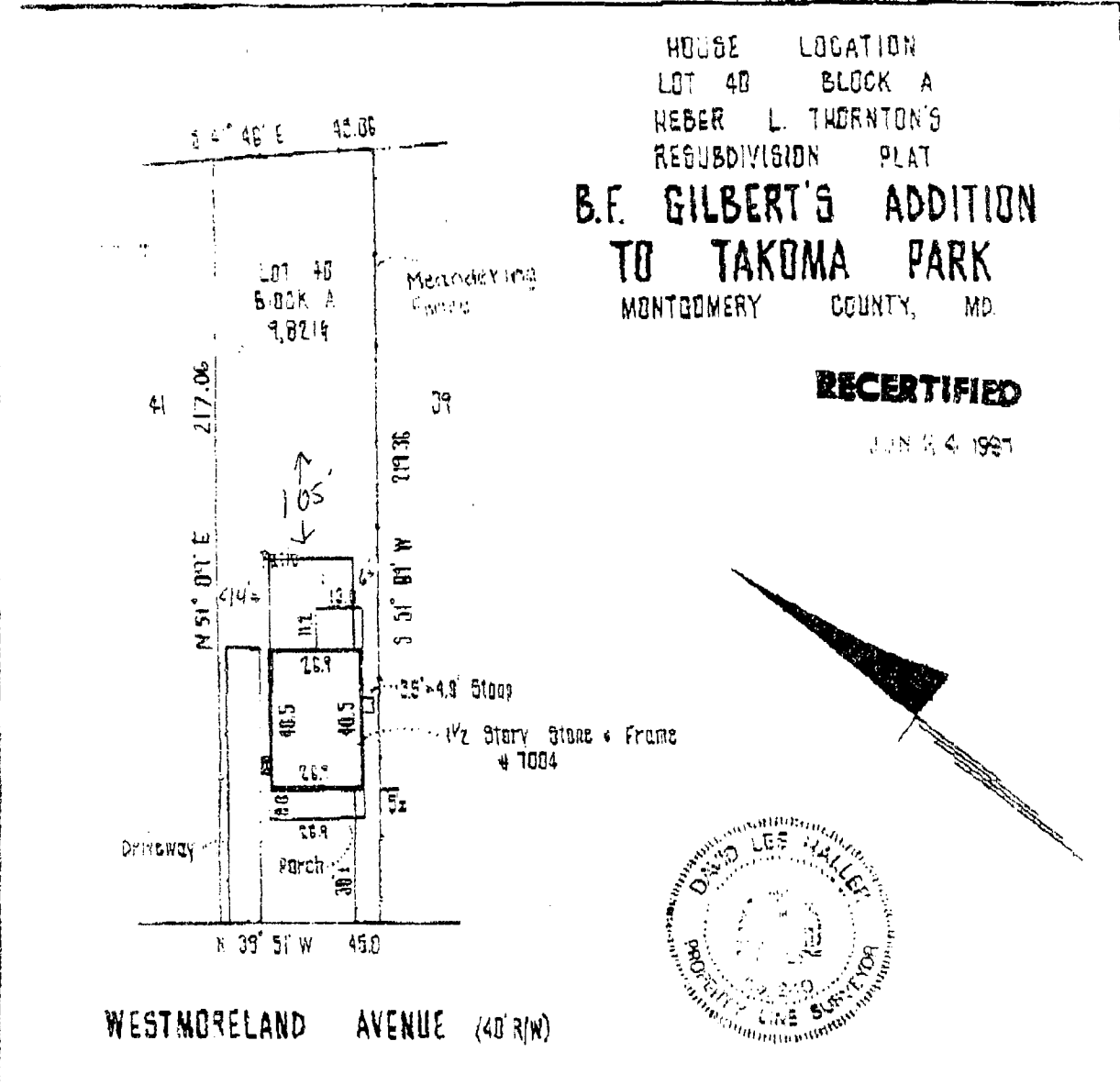
If you are proposing construction adjacent to or within the dripline of any tree 8" or larger in diameter (at approximately 4 feet above the ground), you

5

Notes: Not in flood plain.
Ref. M.C. Dept. of Environmental
Protection (Water Resources Div.)

CASE No.

NOTE: This location for title purposes only — not to be used for determining property lines. Property corner Markers Not guaranteed by this location.



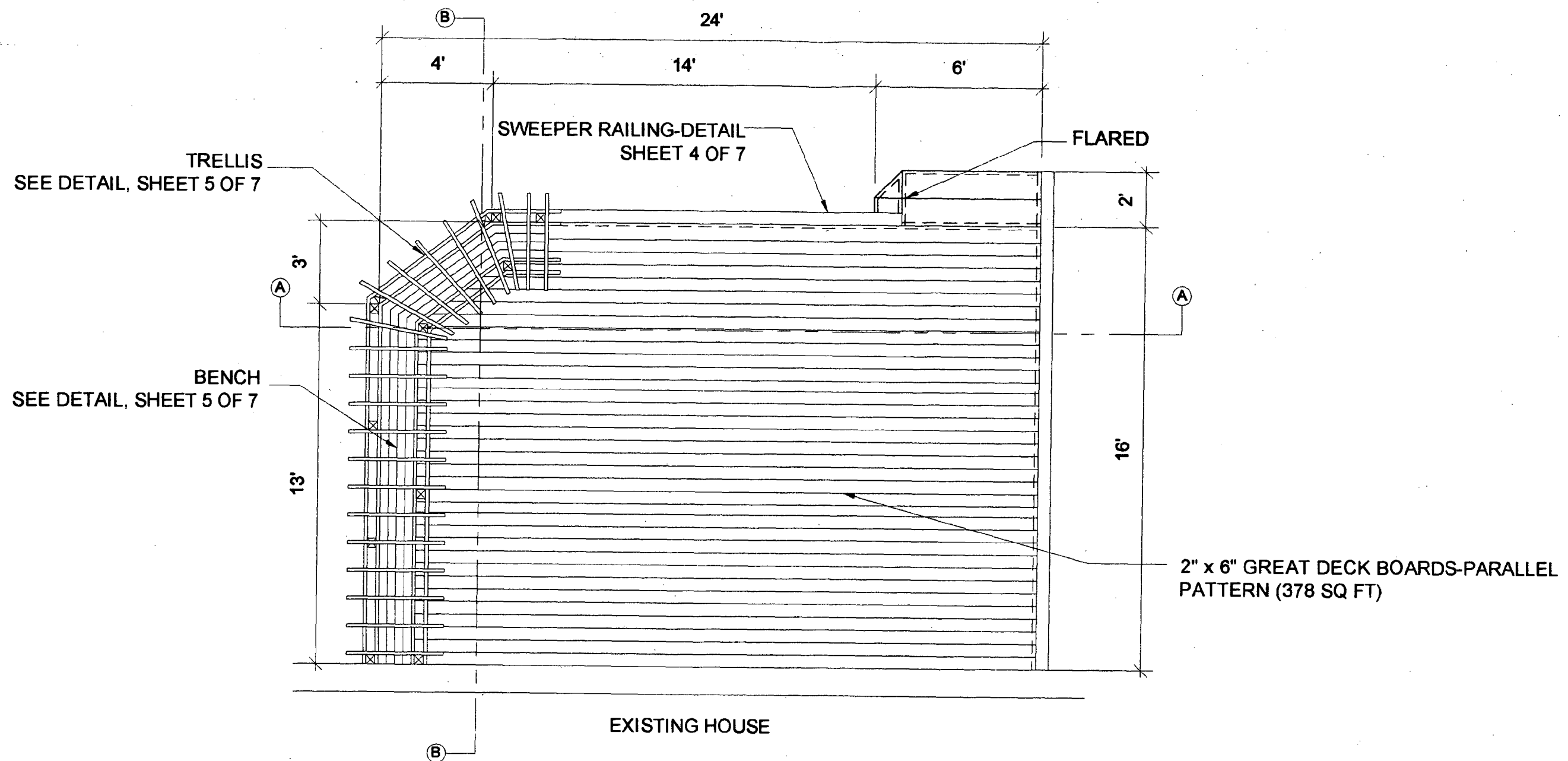
CERTIFICATE I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DECEASED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TAPE SURVEY. <i>David L. Haller</i> DAVID L. HALLER MARYLAND P.E.S. NO. 240	REFERENCES PLAT BK. 3 PLAT NO. 224	Bull & Associates LAND SURVEYORS/CONSULTANTS (301) 428-8111 P.O. Box 346 GERMANTOWN, MARYLAND 20874
	LIBER FOLIO	

NOTE: B.E.L. information, if shown, obtained from M.C.G.P.C.

97821

... must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

APPROVED
 Montgomery County
 Historic Preservation Commission
Carol Ann 12/29/07



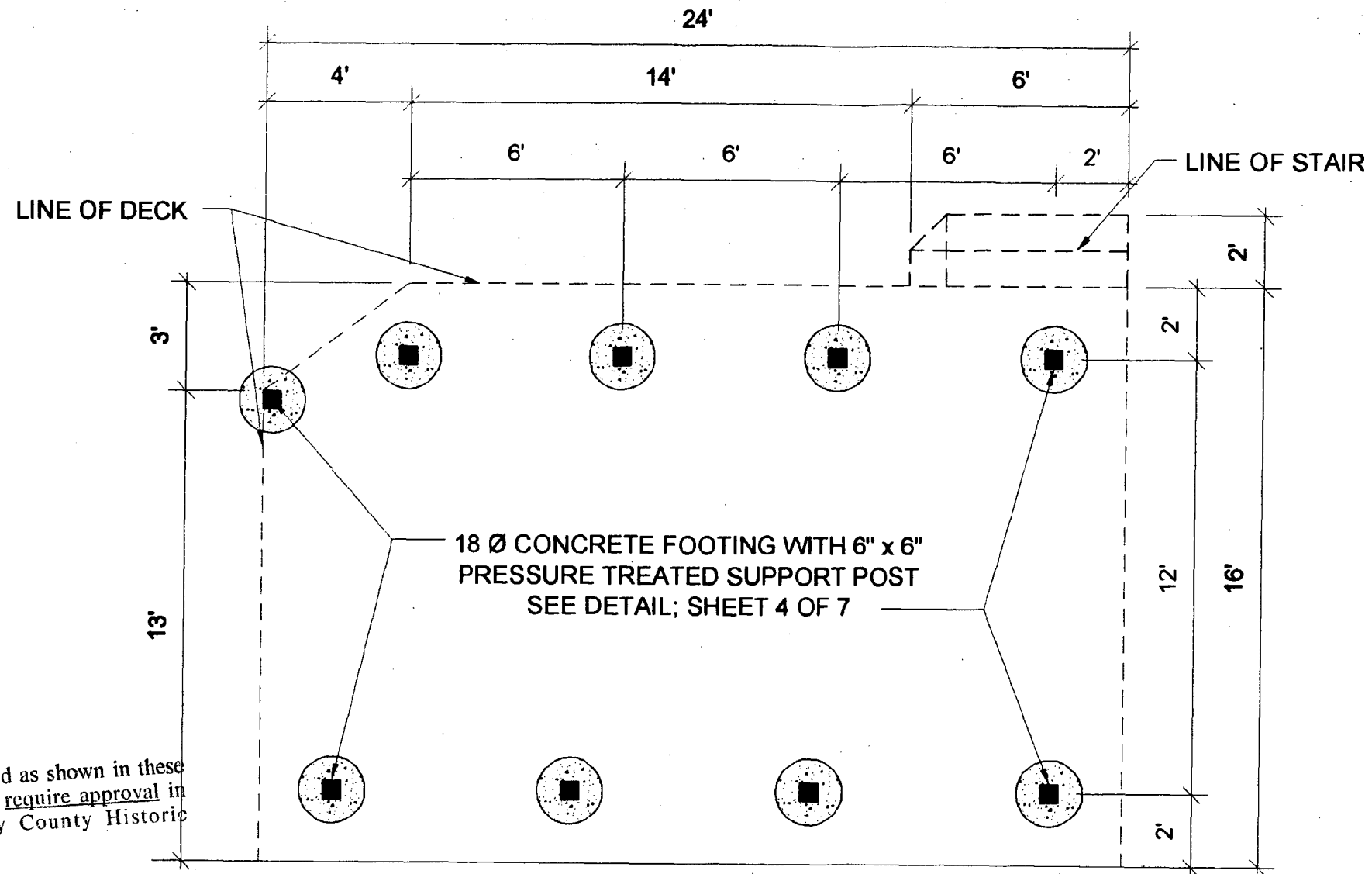
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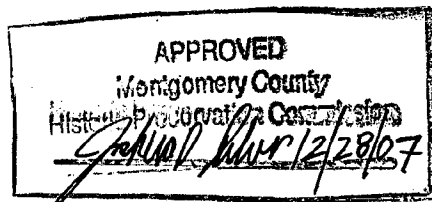
DECK PLAN

SCALE: 1/4" = 1'

DATE: 7-20-07 8-9-07	DRAWING NUMBER: 07RM4300	LONG® FENCE www.longfence.com 2520 URBANA PIKE JAMSVILLE, MD 21754-8624 (301) 662-1600	
REV. A	OWNER: RUTH LOGSDON 7004 WESTMORELAND AVE TAKOMA PARK, MD 20912		
SHEET# 1 of 7		ESTIMATOR: CRAIG CROMPTON	DRAWN BY: ADAM BAKER




This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

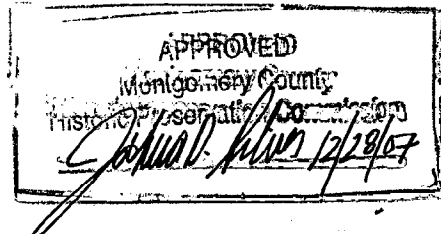
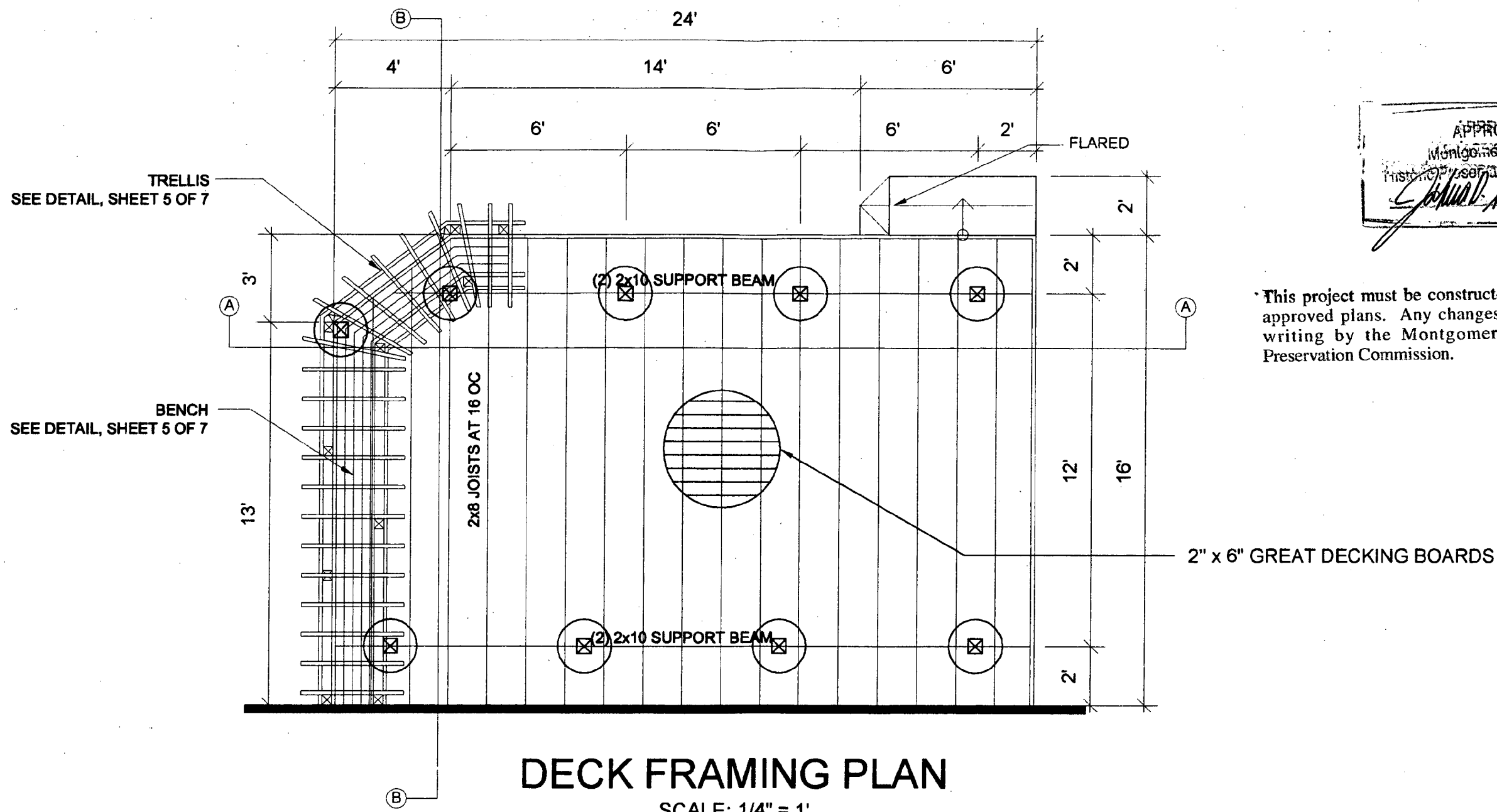


FOUNDATION PLAN

SCALE: 1/4" = 1'

EXISTING HOUSE

DATE: 7-20-07 8-9-07	DRAWING NUMBER: 07RM4300	 www.longfence.com 2520 URBANA PIKE JAMSVILLE, MD 21754-8624 (301) 662-1600	
REV. A	OWNER: RUTH LOGSDON 7004 WESTMORELAND AVE TAKOMA PARK, MD 20912		
SHEET# 2 of 7	ESTIMATOR: CRAIG CROMPTON	DRAWN BY: ADAM BAKER	



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DECK FRAMING PLAN

SCALE: 1/4" = 1'

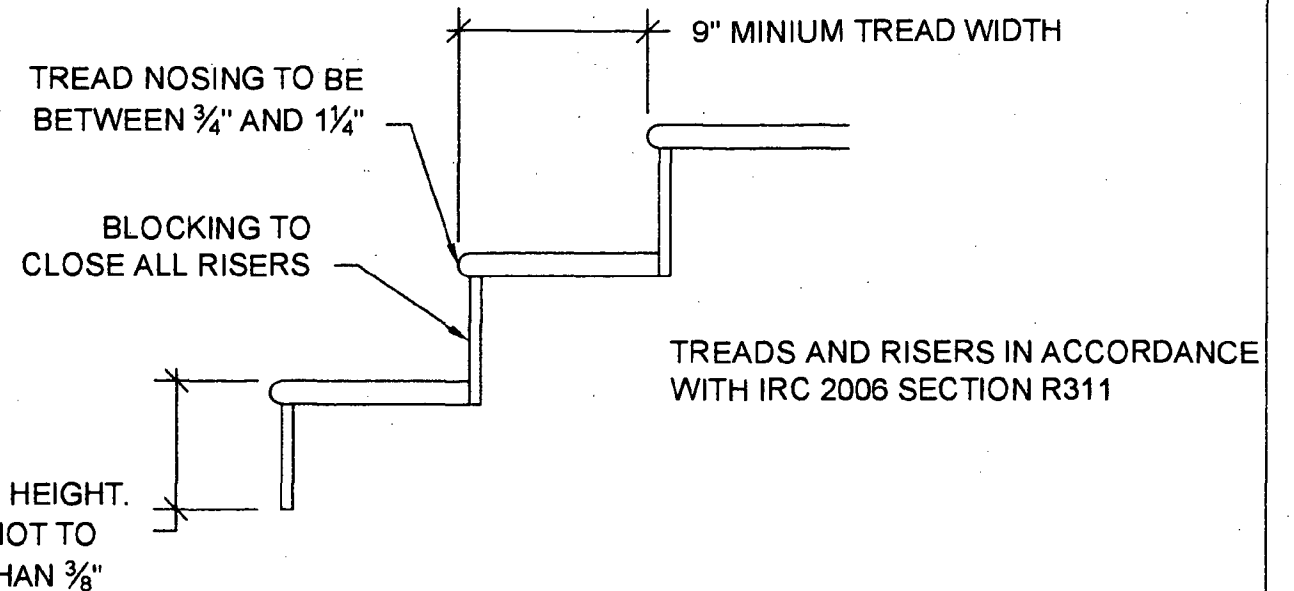
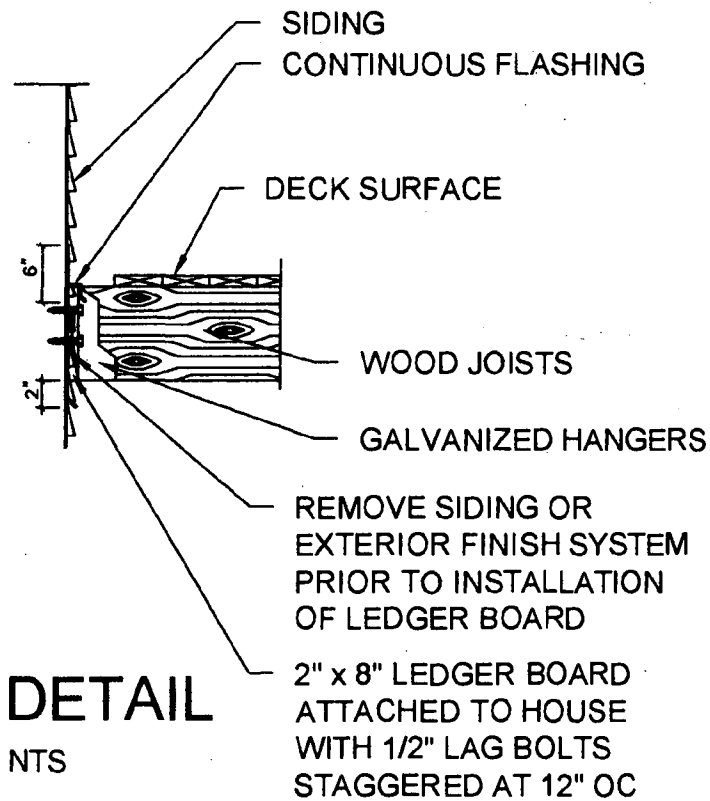
DECK SPECIFICATIONS:

1. 6" x 6" POSTS AND FOOTERS-DETAIL SHEET 4 OF 7
2. (2) 2" x 10" SUPPORT BEAM TYPICAL
3. 2" x 8" JOISTS AT 16" OC
4. BOX FRAME: 2" x 8" - 2" x 10"
5. 2" x 6" GREAT DECKING BOARDS-DIAGONAL PATTERN (378 SQ FT)
6. SWPPER RAILING-DETAIL SHEET 4 OF 7
7. STEPS-2" x 12" BOARD WRAP WITH 2" x 12" STRINGERS AT 16" OC

DATE: 7-20-07 8-9-07	DRAWING NUMBER: 07RM4300	LONG® FENCE www.longfence.com 2520 URBANA PIKE IJAMSVILLE, MD 21754-8624 (301) 662-1600	
REV. A	OWNER: RUTH LOGSDON 7004 WESTMORELAND AVE TAKOMA PARK, MD 20912		
SHEET# 3 of 7		ESTIMATOR: CRAIG CROMPTON	DRAWN BY: ADAM BAKER

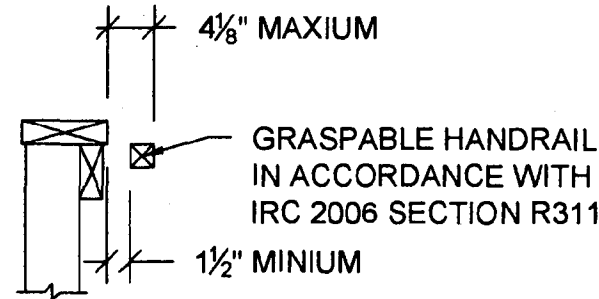
LEDGER DETAIL

SCALE: NTS



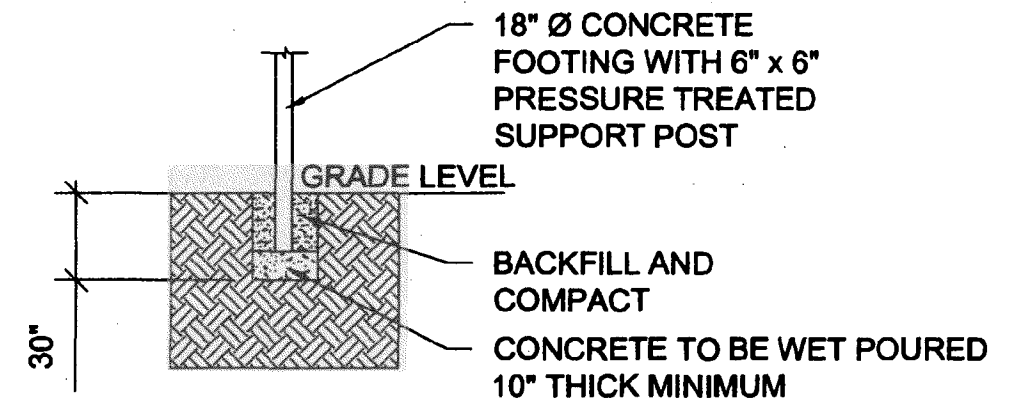
TREAD AND RISER DETAIL

SCALE: NTS



HANDRAIL SECTION

SCALE: NTS

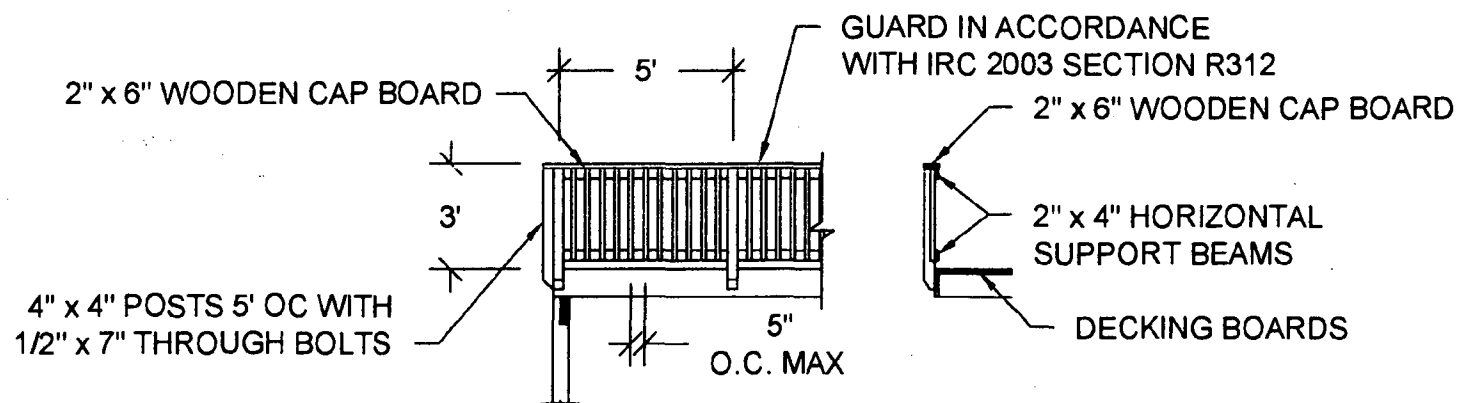


FOOTING DETAIL

SCALE: 3/16" = 1'

*ALL FOOTINGS WITHIN 5' OF THE HOUSE WALLS WILL BE AS DEEP AS THE HOUSE FOOTING AND STEPPED

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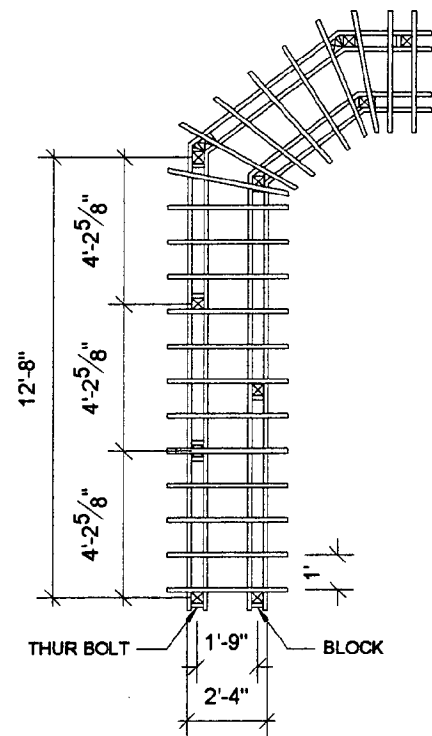


SWEOPER RAILING

SCALE: 3/16" = 1'

APPROVED
Montgomery County
Historic Preservation Commission
John A. Baker 12/29/07

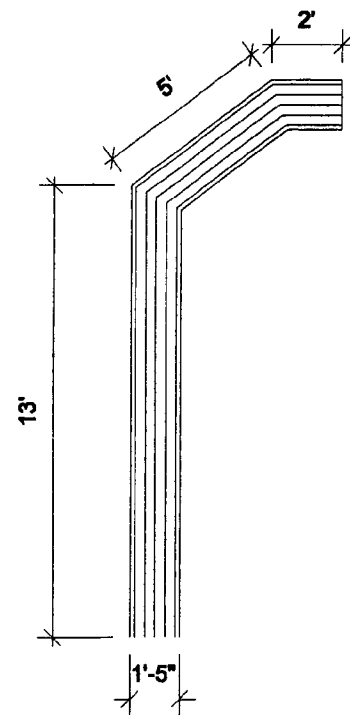
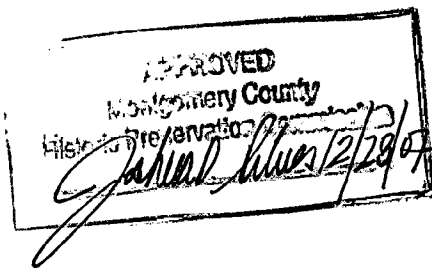
DATE: 7-20-07 8-9-07	DRAWING NUMBER: 07RM4300	LONG® FENCE www.longfence.com 2520 URBANA PIKE IJAMSVILLE, MD 21754-8624 (301) 662-1600	
REV. A	OWNER: RUTH LOGSDON 7004 WESTMORELAND AVE TAKOMA PARK, MD 20912		
SHEET# 4 of 7		ESTIMATOR: CRAIG CROMPTON	DRAWN BY: ADAM BAKER



TRELLIS DETAIL

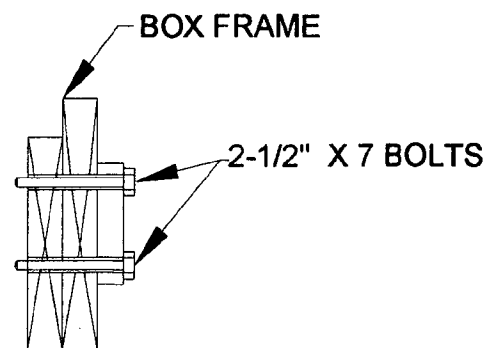
3/16" = 1'-0"

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic



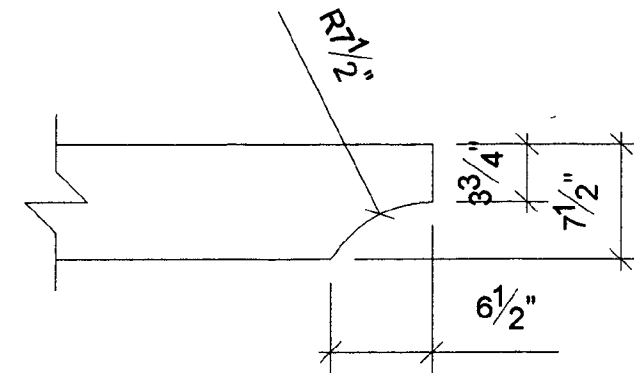
BENCH DETAIL

3/16" = 1'-0"



BOLTS DETAIL

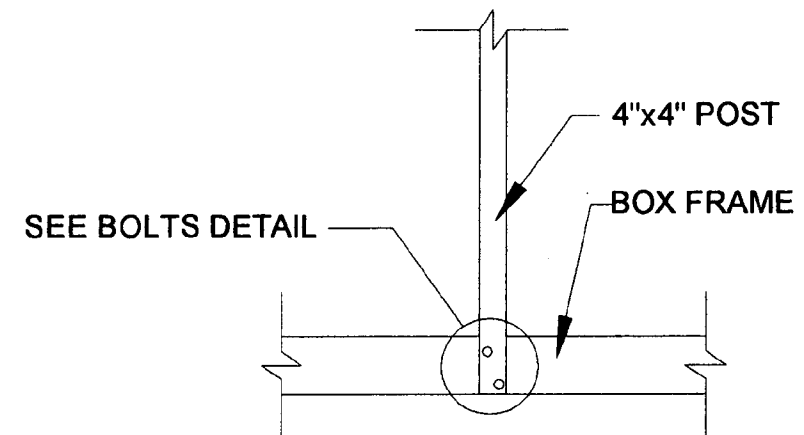
SCALE: NTS



OGEE CUT DETAIL

SCALE 1" = 1'

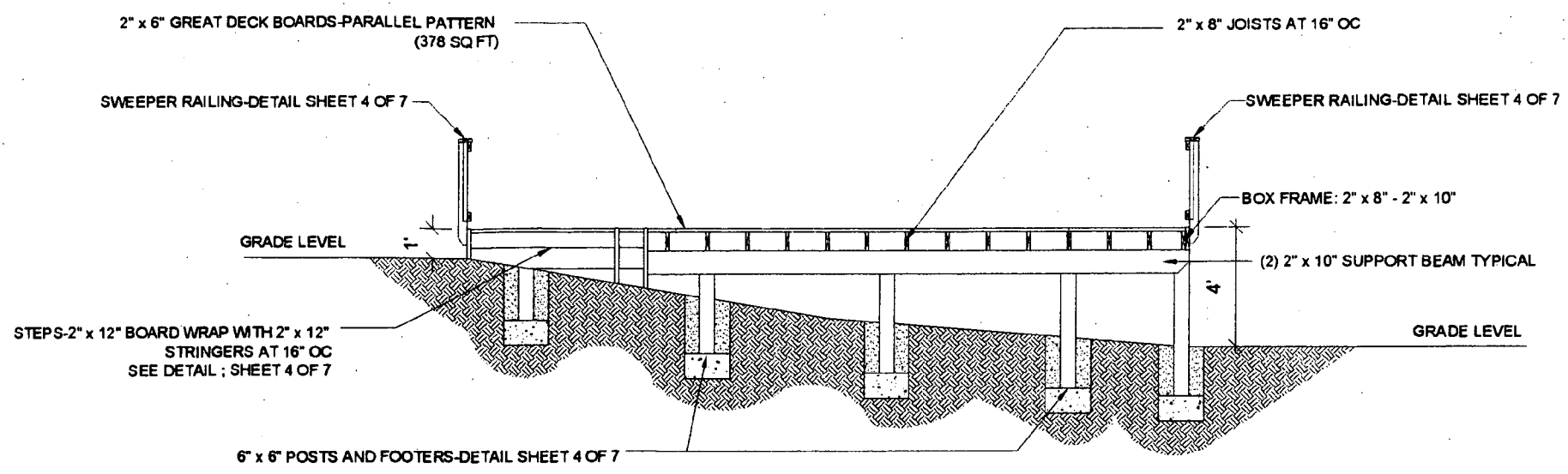
*TYPICAL FOR 2" x 8" RAFTERS AND BEAMS



SUPPORT PLAN

SCALE: NTS

DATE: 8-9-07 8-20-07	DRAWING NUMBER: 07RM4300	LONG® FENCE www.longfence.com 2520 URBANA PIKE IJAMSVILLE, MD 21754-8624 (301) 662-1600	
	OWNER: RUTH LOGSDON 7004 WESTMORELAND AVE TAKOMA PARK, MD 20912		
REV. A		ESTIMATOR: CRAIG CROMPTON	DRAWN BY: ADAM BAKER
SHEET# 5 of 7			

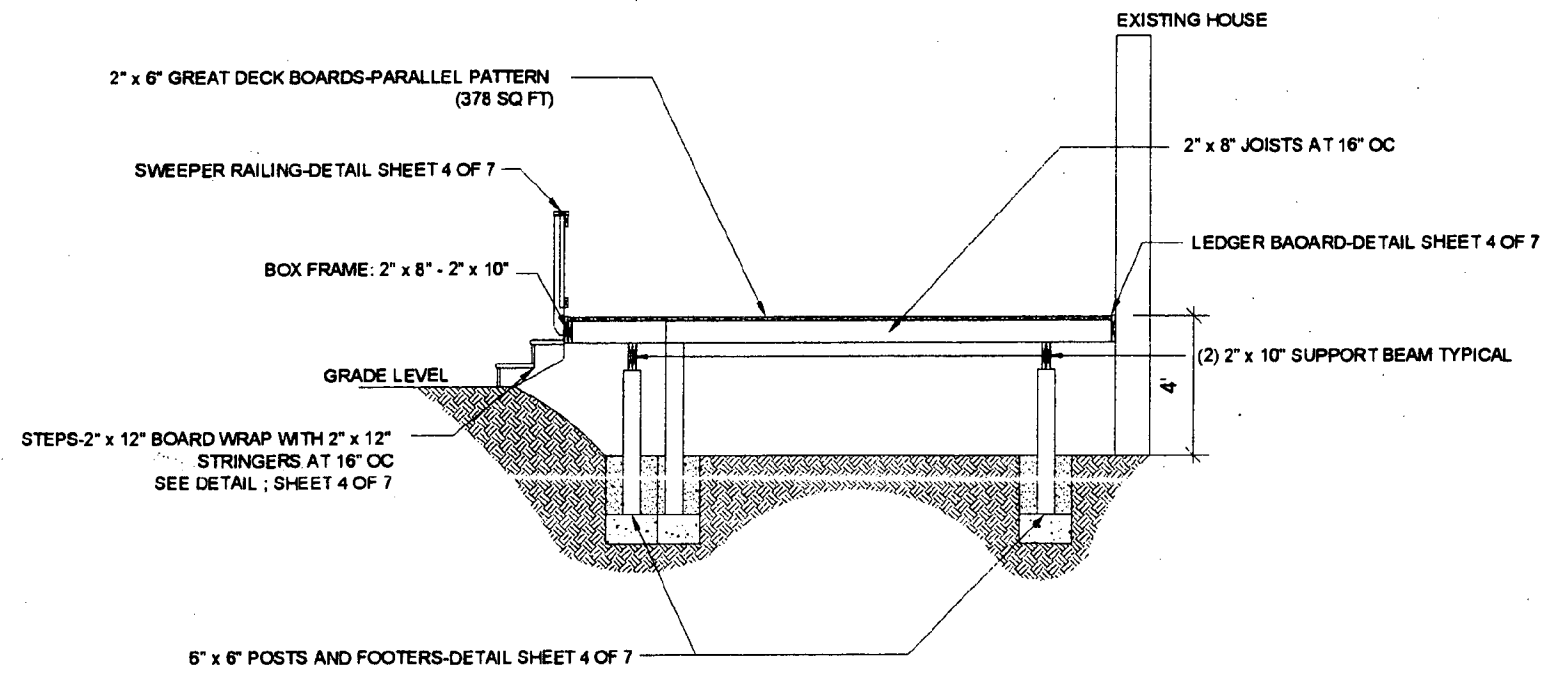


CROSS SECTION A - A

SCALE 3/16" = 1'

APPROVED
 Montgomery County
 Historic Preservation Commission
John W. ... 12/28/07

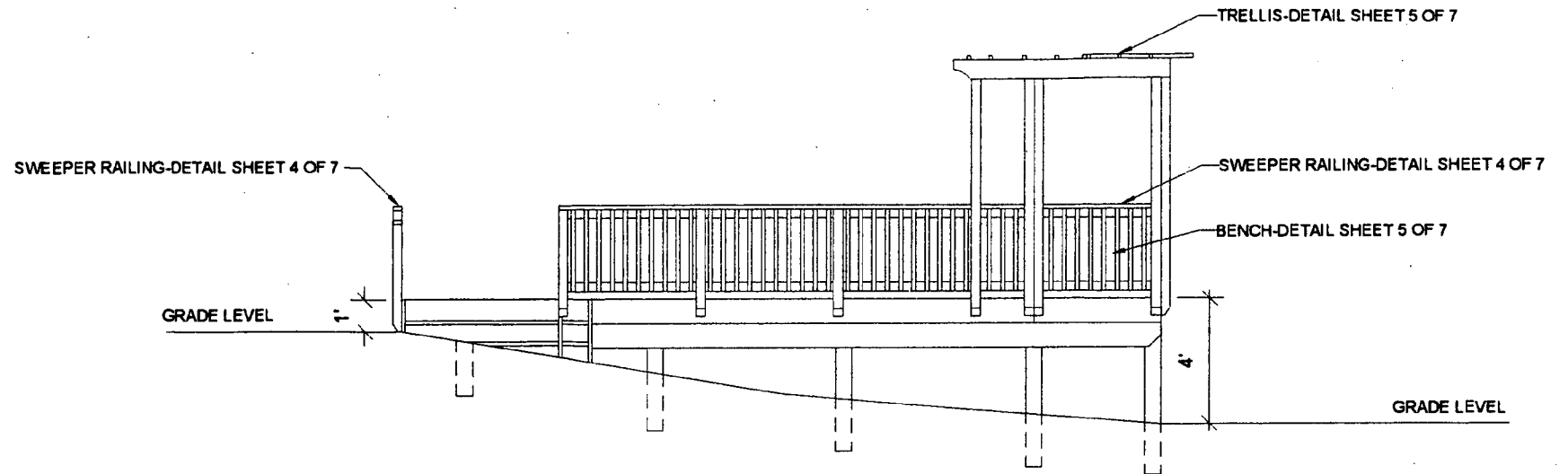
This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



CROSS SECTION B - B

SCALE 3/16" = 1'

DATE: 7-20-07 8-9-07	DRAWING NUMBER: 07RM4300	LONG® FENCE www.longfence.com 2520 URBANA PIKE IJAMSVILLE, MD 21754-8624 (301) 662-1600	
REV. A	OWNER: RUTH LOGSDON 7004 WESTMORELAND AVE TAKOMA PARK, MD 20912		
SHEET# 6 of 7	ESTIMATOR: CRAIG CROMPTON	DRAWN BY: ADAM BAKER	

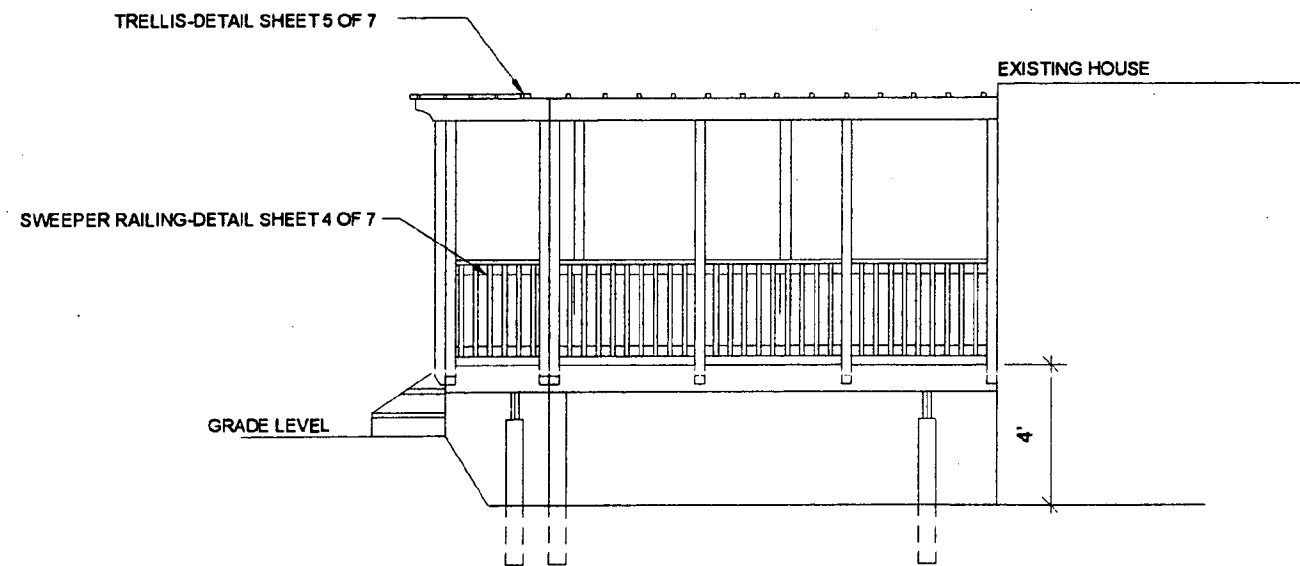


ELEVATION A - A

SCALE 3/16" = 1'

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 12/20/07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



ELEVATION B - B

SCALE 3/16" = 1'

DATE: 7-20-07 8-9-07	DRAWING NUMBER: 07RM4300	LONG® FENCE www.longfence.com 2520 URBANA PIKE IJAMSVILLE, MD 21754-8624 (301) 662-1600	
REV. A	OWNER: RUTH LOGSDON 7004 WESTMORELAND AVE TAKOMA PARK, MD 20912		
SHEET# 7 of 7		ESTIMATOR: CRAIG CROMPTON	DRAWN BY: ADAM BAKER

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7004 Westmoreland Avenue, Takoma Park	Meeting Date:	11/14/2007
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	11/7/2007
Applicant:	Ruth Logsdon	Public Notice:	10/31/2007
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-07PP	Staff:	Josh Silver
PROPOSAL:	Rear deck construction		

STAFF RECOMMENDATION:

Staff is recommending that the HPC **approve** this HAWP application.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource Within The Takoma Park Historic District
STYLE: Bungalow
DATE: c1920-1930s

PROPOSAL:

The applicant is proposing to construct a 16'x 24' pressure treated wooden deck at the rear of the house. The proposal also includes construction of wooden trellis and bench along the northwest side of the proposed deck. The northeast corner of the deck will include a small set of wooden stairs to accommodate access to the rear yard. All work will be located at the rear of the subject property and will not be visible from the public right-of-way. The City of Takoma Park arborist has determined no trees will be impacted as a result of construction.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 4A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the

predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should *preserve the predominant architectural features of the resource*; exact replication of existing details and features, is, however, not required;
- alterations to areas that do not directly front on a public right-of-way which involve the replacement of or damage to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis;
- alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course

Montgomery County Code; Chapter 24A

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

The Commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district; or
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter; or

Secretary of the Interior's Standards for Rehabilitation:

- #1 A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that,

if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

(Ruth Logsdon 301-270-9113)

APPLICATION FOR HISTORIC AREA WORK PERMIT (Cont'd)

7) List of addresses of properties adjacent to across from and behind the proposed deck construction:

7002 Westmoreland Ave.
Takoma Park, MD 20912

7006 Westmoreland Ave.
Takoma Park, MD 20912

7005 Westmoreland Ave.
Takoma Park, MD 20912

6839 Eastern Ave.
Takoma Park, MD 20912

Also see property plat, elevated drawings and plans, Takoma Park approval and photos attached.

Not in final plan.
Ref. M.C. Dept. of Environmental
Protection (Water Resources Sect.)

CASE No.

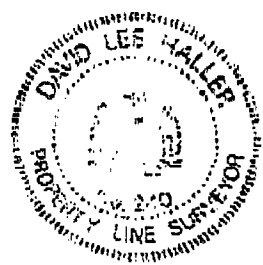
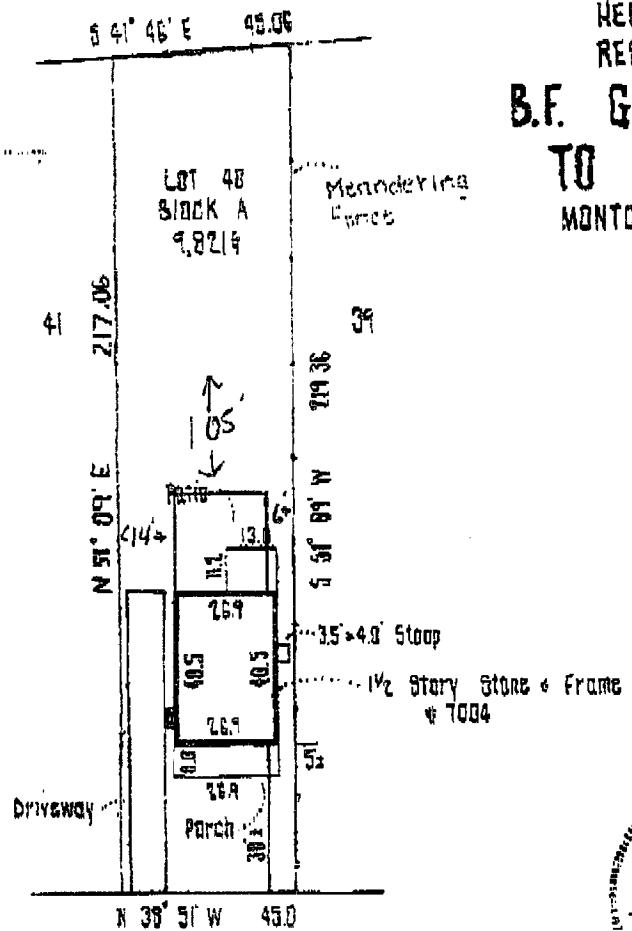
NOTE: This location for site purposes only - not to be used for determining property lines. Property corner Markers Not guaranteed by this location.

2nd copy

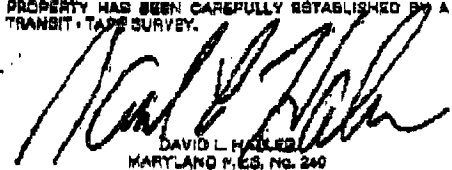
HOUSE LOCATION
LOT 48 BLOCK A
NEBER L. THORNTON'S
RESUBDIVISION PLAT
B.F. GILBERT'S ADDITION
TO TAKOMA PARK
MONTGOMERY COUNTY, MD.

RECERTIFIED

JUN 24 1997

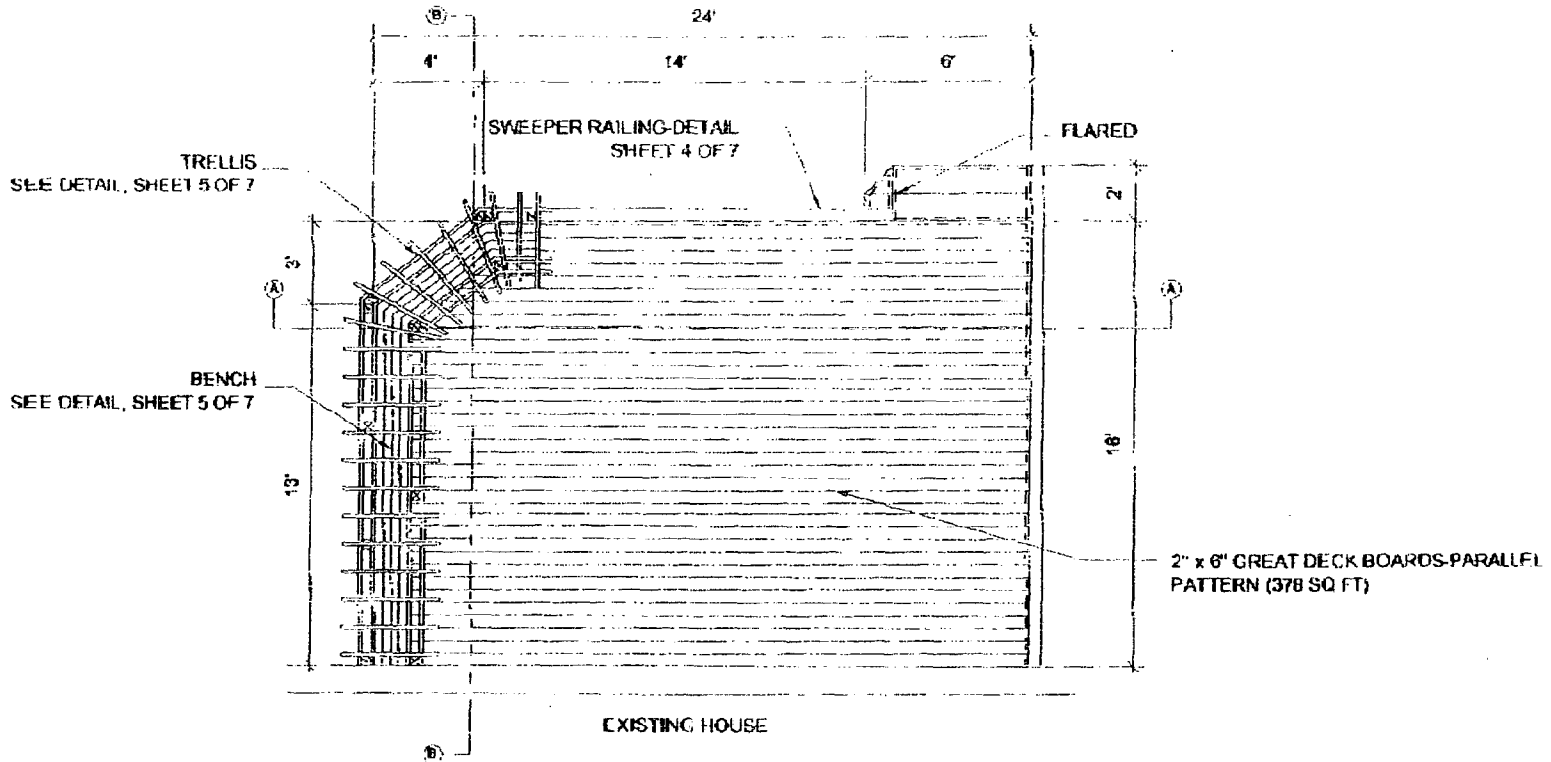


WESTMORELAND AVENUE (40' R/W)

CERTIFICATE I HEREBY CERTIFY THAT THE POSITION OF ALL THE EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TAPE SURVEY.  DAVID L. HALLER MARYLAND P.E.S. No. 240	REFERENCES PLAT BK. 3 PLAT NO. 224		Bull & Associates LAND SURVEYORS/CONSULTANTS (301) 428-9111 P.O. Box 346 GERMANTOWN, MARYLAND 20874	
	LIBER FOLIO	DATE OF SURVEY WALL CHECK M.S.E. LOG: 7-17-86 BOUNDARY:	SCALE: 1" = 40' DRAWN BY: P.S. JOB NO.: 958816	97621

NOTE: S.R.L. Information, if shown, obtained from M.N.C.P.P.C.

2nd copy

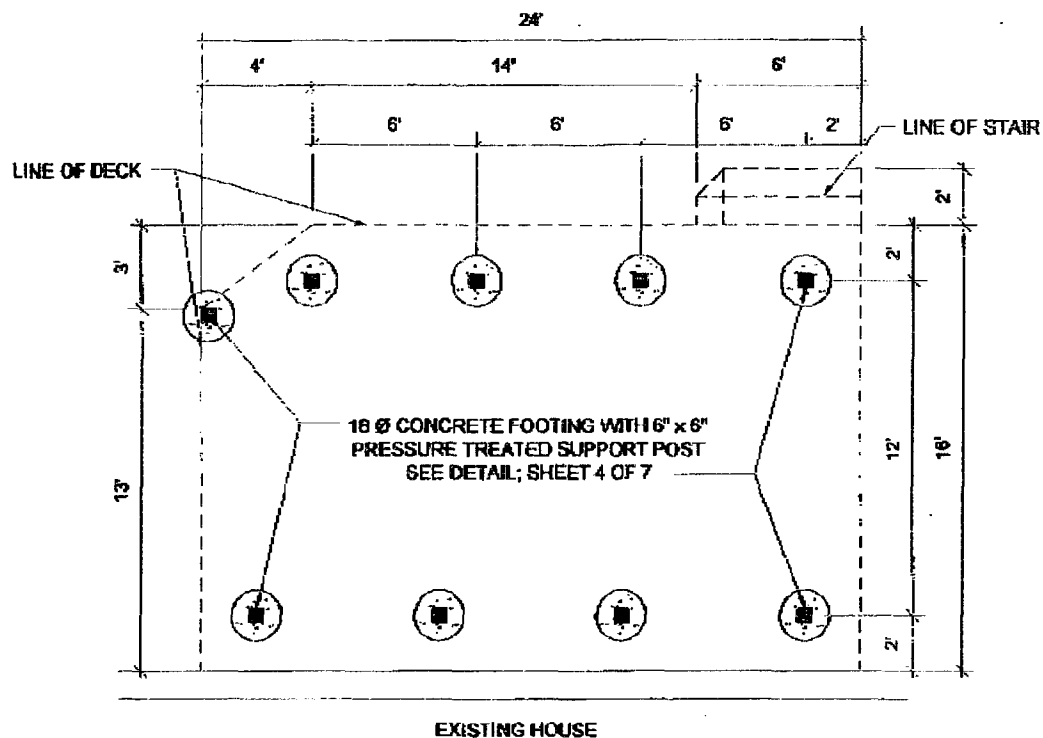


DECK PLAN
SCALE: 1/4" = 1'


DATE: 7-20-07 8-9-07	DRAWING NUMBER: 07RM4300	LONG[®] FENCE www.longfence.com 2520 URBANA PIKE LAMSVILLE, MD 21754-9624 (301) 662-1800	
REV. A	OWNER: RUTH LOGSDON 7004 WESTMORELAND AVE TAKOMA PARK, MD 20912		
SHEET# 1 of 7		ESTIMATOR: CRAIG CROMPTON	DRAWN BY: ADAM BAKER

OCT-02-2007 03:29PM FROM- T-6174 P. 002/008 F-028

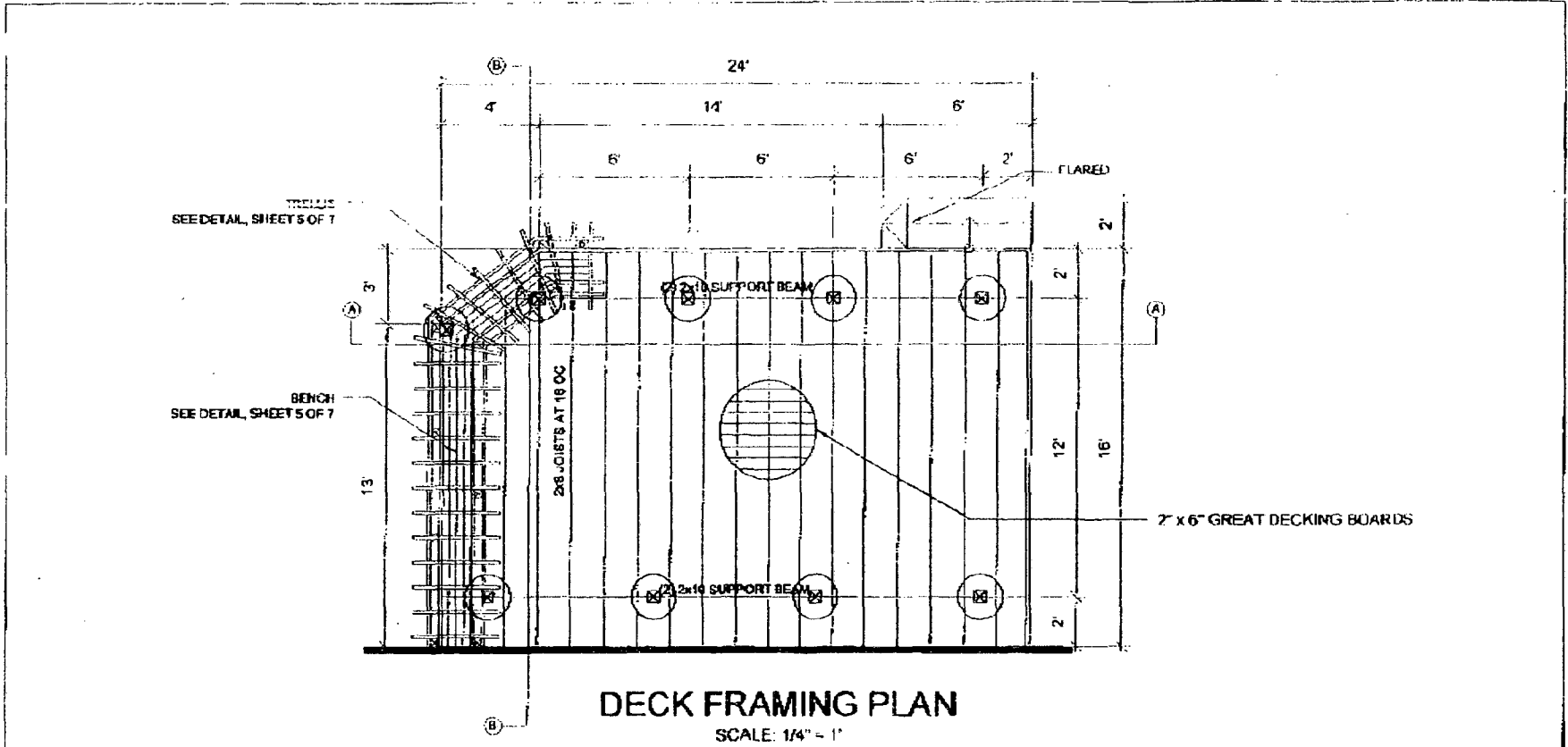
8



FOUNDATION PLAN
SCALE: 1/4" = 1'

DATE: 7-20-07 8-8-07	DRAWING NUMBER: 07RM4300	 www.longfence.com 2520 URBANA PIKE URBANSVILLE, MD 21754-8624 (301) 662-1600	
REV. A	OWNER: RUTH LOGSDON 7004 WESTMORELAND AVE TAKOMA PARK, MD 20912		
SHEET# 2 of 7		ESTIMATOR: CRAIG CROMPTON	DRAWN BY: ADAM BAKER

6



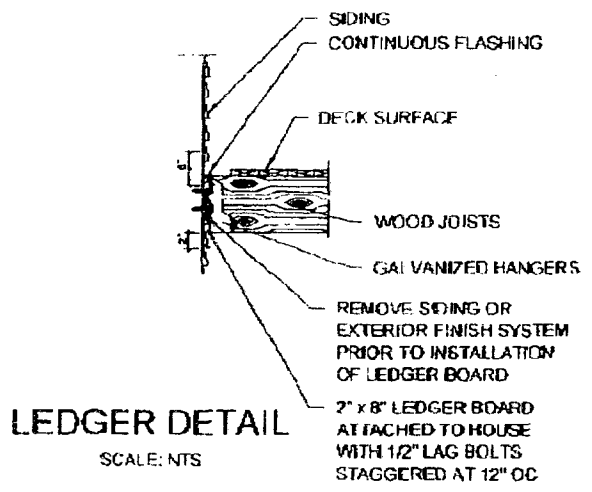
DECK FRAMING PLAN
SCALE: 1/4" = 1'

DECK SPECIFICATIONS:

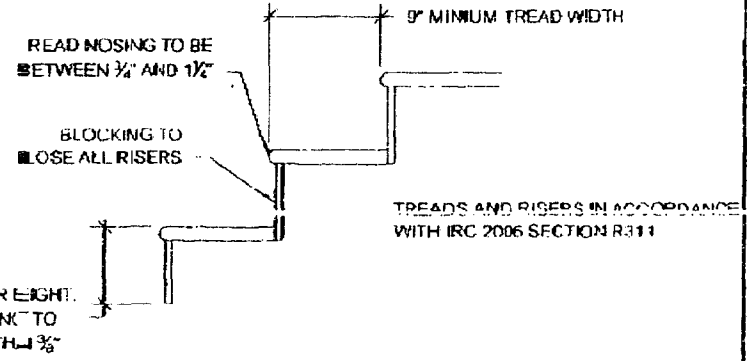
1. 6" x 6" POSTS AND FOOTERS-DETAIL SHEET 4 OF 7
2. (2) 2" x 10" SUPPORT BEAM TYPICAL
3. 2" x 8" JOISTS AT 16" OC
4. BOX FRAME: 2" x 8" - 2" x 10"
5. 2" x 6" GREAT DECKING BOARDS-DIAGONAL PATTERN (378 SQ FT)
6. SWPPER RAILING-DETAIL SHEET 4 OF 7
7. STEPS-2" x 12" BOARD WRAP WITH 2" x 12" STRINGERS AT 16" OC

DATE: 7-20-07 8-9-07	DRAWING NUMBER: 07RM4300	LONG[®] FENCE www.longfence.com 2520 URBANA PIKE JAMSVILLE, MD 21754-8624 (301) 662-1600
REV. A	OWNER: RUTH LOGSDON 7004 WESTMORELAND AVE TAKOMA PARK, MD 20912	
SHEET# 3 of 7		ESTIMATOR: CRAIG CROMPTON
		DRAWN BY: ADAM BAKER

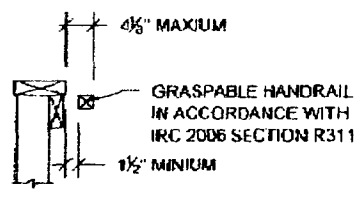
10



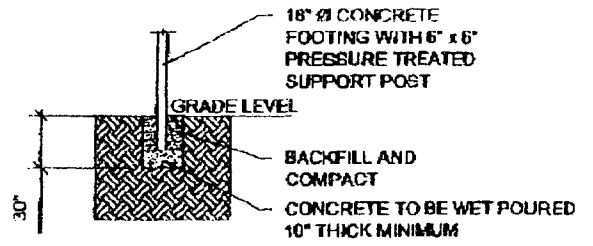
LEDGER DETAIL
SCALE: NTS



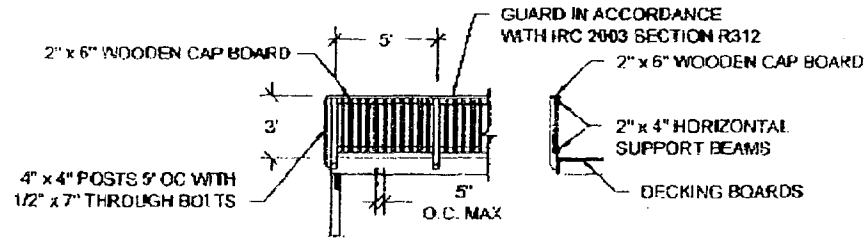
TREAD AND RISER DETAIL
SCALE: NTS



HANDRAIL SECTION
SCALE: NTS

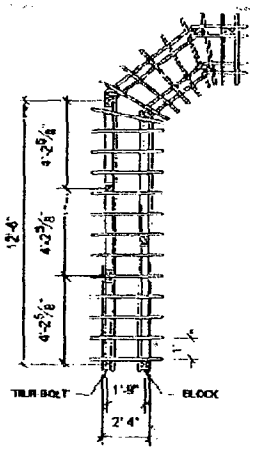


FOOTING DETAIL
SCALE: 3/16" = 1"

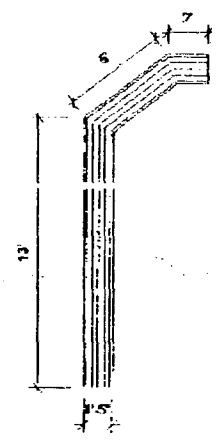


SWEEPER RAILING
SCALE: 3/16" = 1"

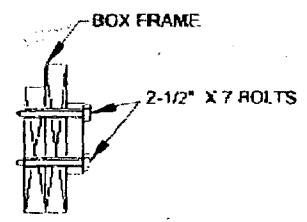
DAE: 7-2007 8-07	DRAWING NUMBER: 07RM4300	LONG® FENCE www.longfence.com 2520 URBANA PIKE JAMMSVILLE, MD 21754-8624 (301) 662-1600
RW:	OWNER: RUTH LOGSDON 7004 WESTMORELAND AVE TAKOMA PARK, MD 20912	
SHEET# 4 of 7	ESTIMATOR: CRAIG CROMPTON	DRAWN BY: ADAM BAKER



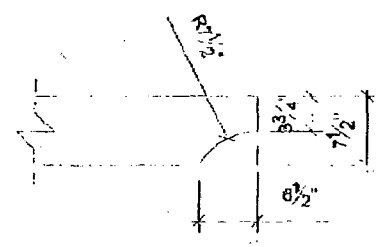
TRELLIS DETAIL
1/16" = 1'-0"



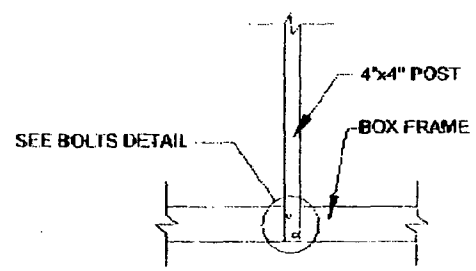
BENCH DETAIL
3/16" = 1'-0"



BOLTS DETAIL
SCALE: NTS



OGEE CUT DETAIL *TYPICAL FOR 2" x 8" RAFTERS AND BEAMS
SCALE 1" = 1'

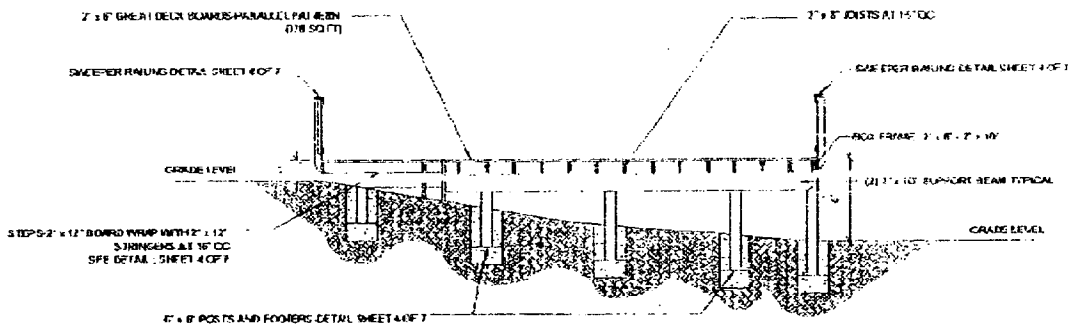


SUPPORT PLAN
SCALE: NTS

DATE: 8-9-07 8-20-07	DRAWING NUMBER: 07RM4300	LONG[®] FENCE www.longfence.com 2520 URBANA PIKE JAMMSVILLE, MD 21754-8624 (301) 662-1600	
	OWNER: RUTH LOGSDON 7004 WESTMORELAND AVE TAKOMA PARK, MD 20912		
REV. A		ESTIMATOR: CRAIG CROMPTON	DRAWN BY: ADAM BAKER
SHEET# 5 of 7			

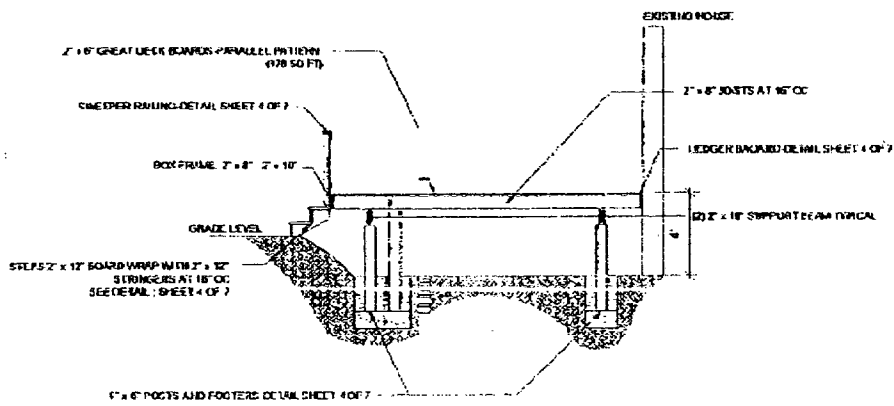
OCT-02-2007 03:32PM FROM-
 T-674 P.006/008 F-028

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CROSS SECTION A - A

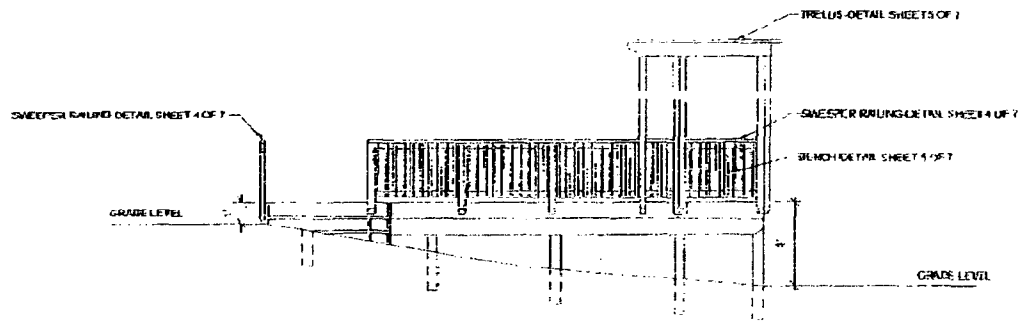
SCALE 3/16" = 1'



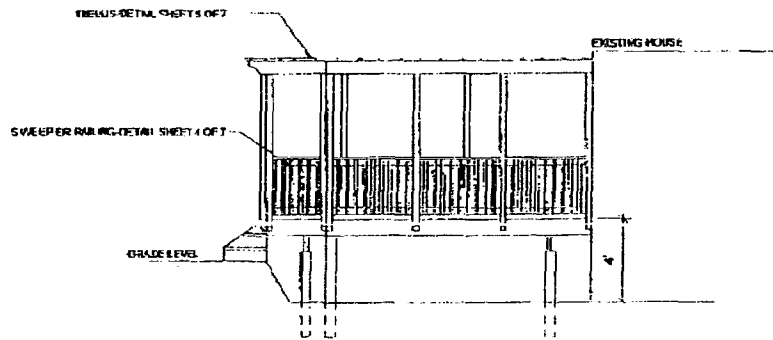
CROSS SECTION B - B

SCALE 1/8" = 1'

DATE: 7-20-07 8-9-07	DRAWING NUMBER: 07RM4300	LONG FENCE www.longfence.com 2520 URBANA PIKE TAMMSVILLE, MD 21754-8624 (301) 662-1800	
	OWNER: RUTH LOGSDON 7004 WESTMORELAND AVE TAKOMA PARK, MD 20912		
REV. A		ESTIMATOR: CRAIG CROMPTON	DRAWN BY: ADAM BAKER
SHEET# 8 of 7			



ELEVATION A - A
SCALE 3/16" = 1'



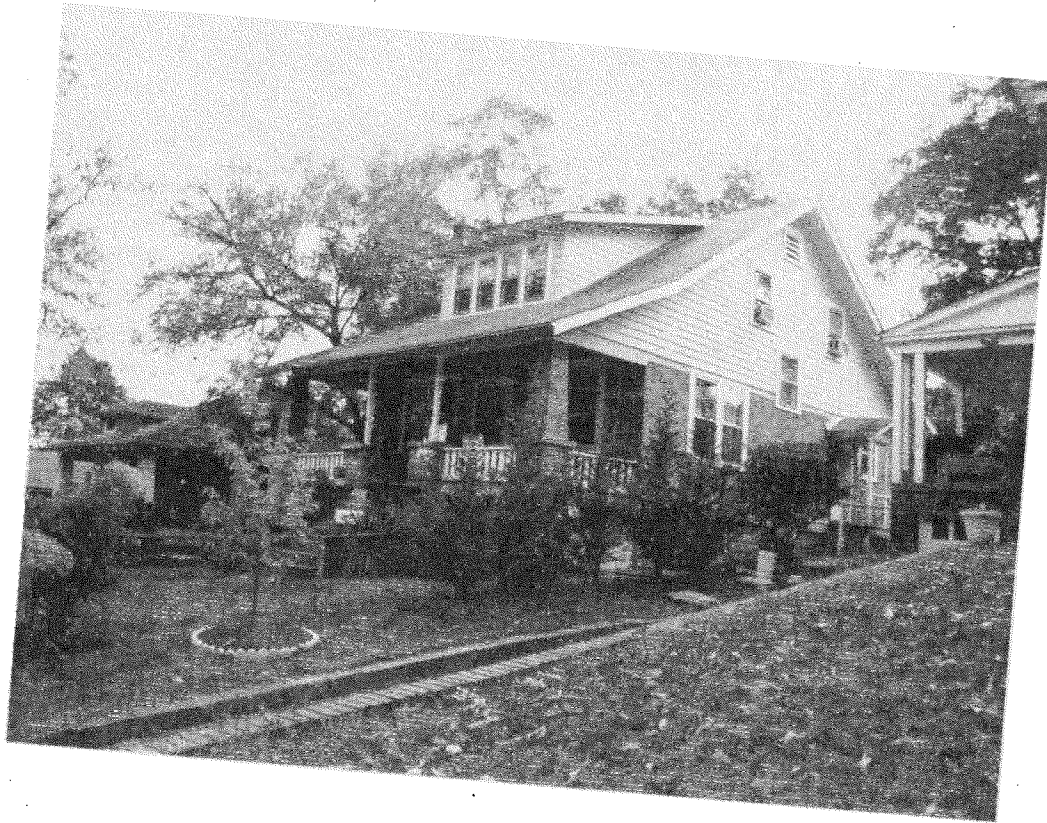
ELEVATION B - B
SCALE 3/16" = 1'

DATE: 7-20-07 8-9-07	DRAWING NUMBER: 07RM4300	LONG[®] FENCE www.longfence.com 2520 URBANA PIKE LAMSVILLE, MD 21754-8624 (301) 662-1600	
REV. A	OWNER: RUTH LOGSDON 7004 WESTMORELAND AVE TAKOMA PARK, MD 20912		
SHEET# 7 of 7	ESTIMATOR: CRAIG CROMPTON	DRAWN BY: ADAM BAKER	

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FRONT: This will not be affected by
deck. (Deck not visible)
at 7004 Westmoreland





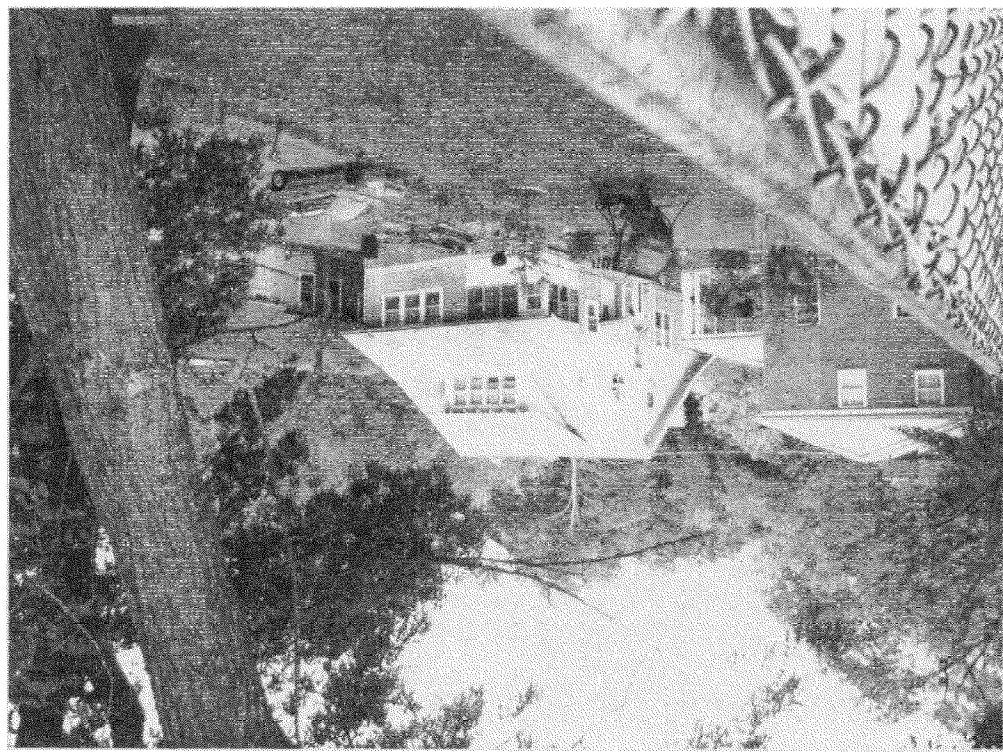
Side + Front angle of 7004 Westmereland,
Deck will ~~not~~ not be visible
from front views.



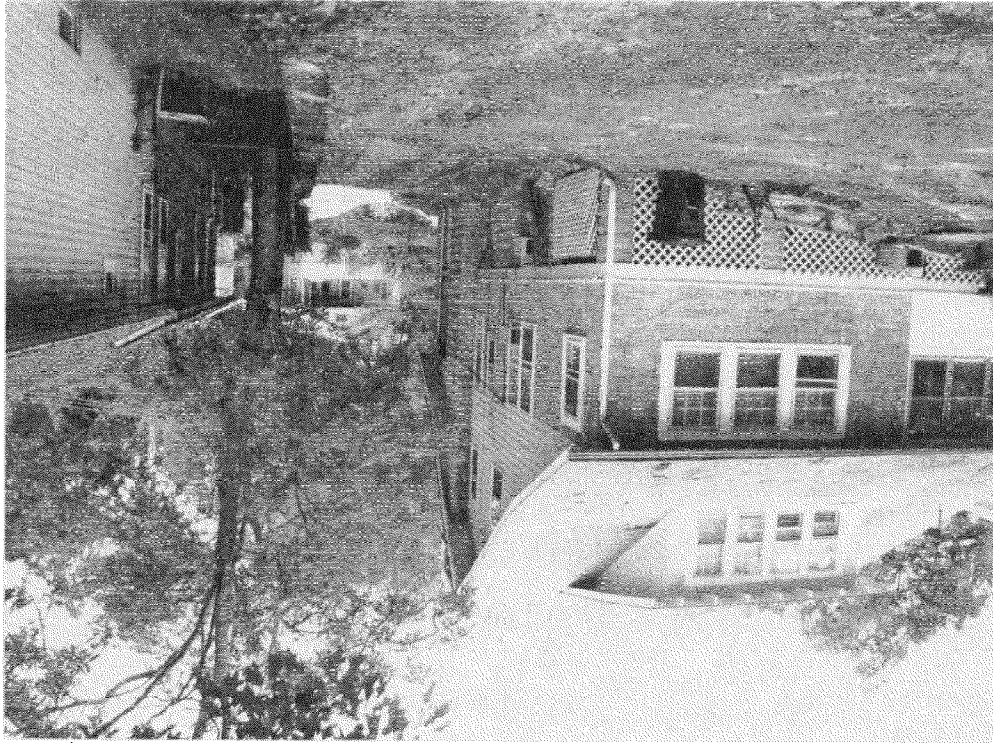
REAR of 7004 Westmoreland ave.
Deck will be even w/ door
threshold and follow blue trim
above lattice and go out to window
edge.

(17)

REAR # 7004
7006
Shown from beyond



REAR OF 7004 Westmoreland Ave
as shown from property edge of 7002.



From: "Todd Bolton" <ToddB@takomagov.org>
Subject: **Re: Ruthie's tree house/yard photos**
Date: October 11, 2007 11:41:39 AM EDT
To: "ruthie logsdon" <ruthielogsdon@comcast.net>

Ruthie,

Thank you for the pictures. There are no tree near the area you are proposing to build a deck. Therefore you do not need a tree protection plan for this work. Please let me know if you want help selecting trees to shade it.

Todd Bolton
Arborist, City of Takoma Park.
301-891-7612

>>> ruthie logsdon <ruthielogsdon@comcast.net> 10/11/2007 10:56 AM >>>
Hi Todd. I'm not sure if you made it over here yesterday but rather than bug you with another phone call I'm sending these that I had to take for Mont Co too. Ruthie
301-270-9113
ruthielogsdon@comcast.net
Thanks for the call yesterday!

Tree assessment

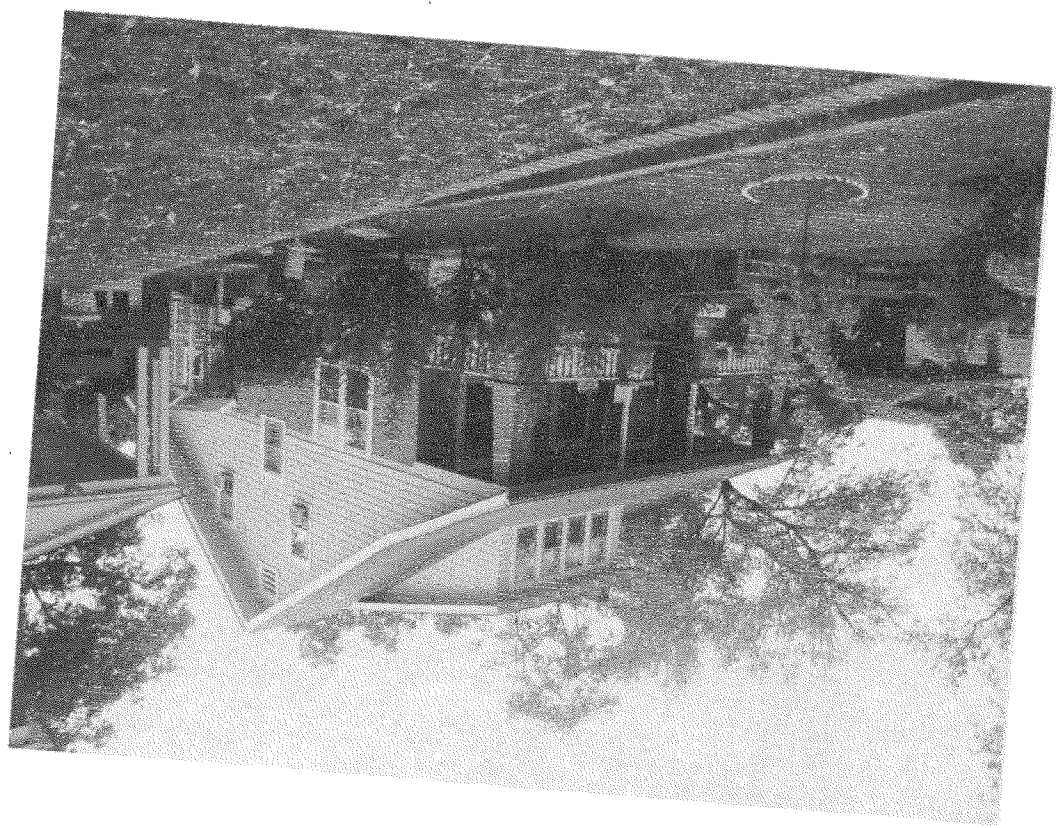
RECEIVED

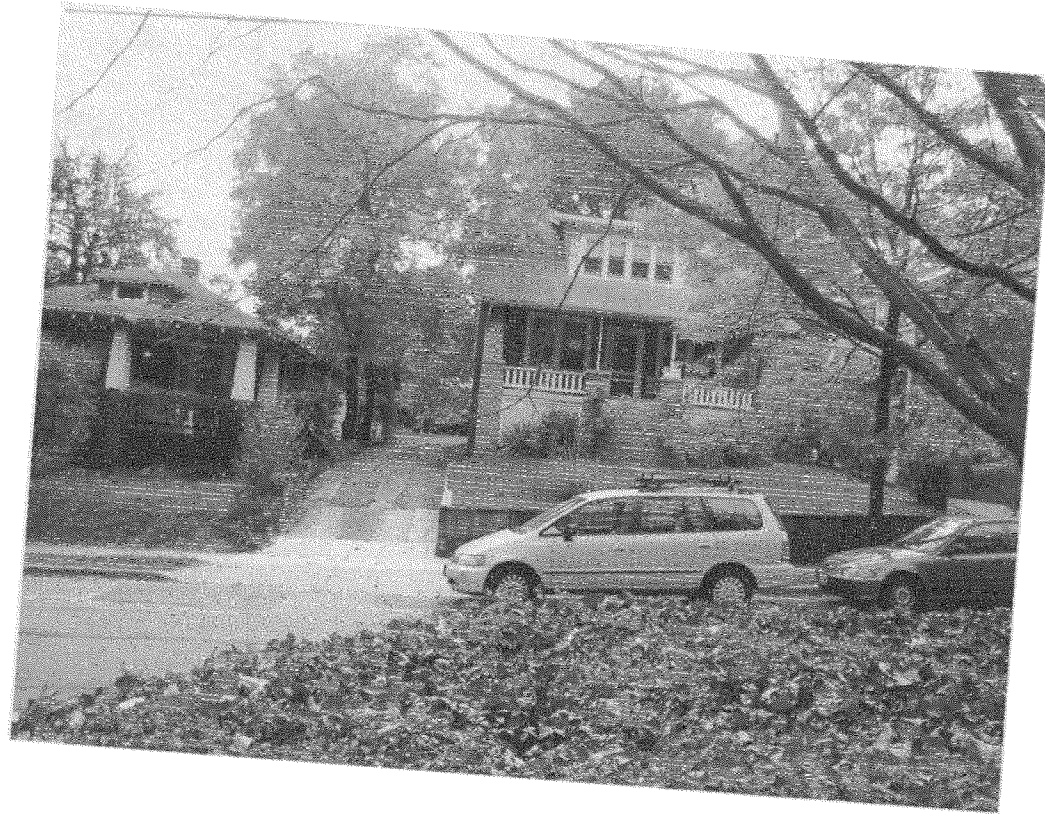
OCT 16 2007

DIV. OF CASE WORK MGMT

20

Side + Front angle of 7604 Westmerland,
Deck will not be visible
from front views.

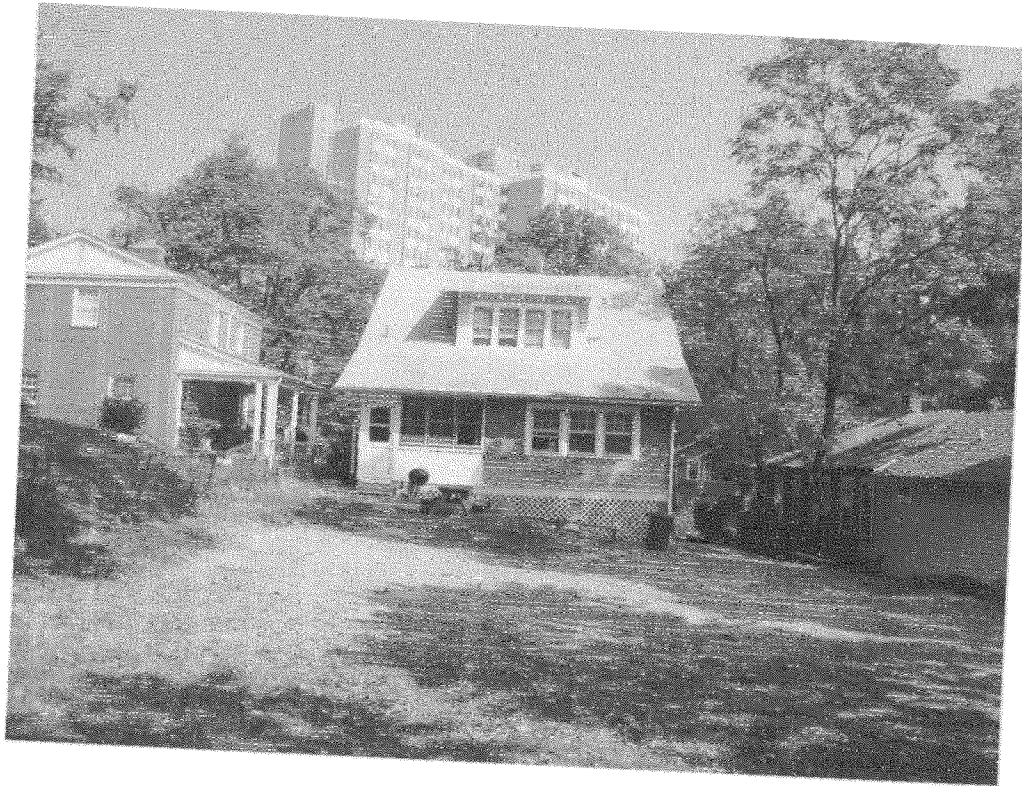




FRONT: This will not be affected by
deck. (Deck not visible)
at 7004 Westmoreland



REAR OF 7004 Westmoreland Ave
as shown from property edge of 7002.



REAR of 7004 Westmoreland ave.
Deck will be even w/ door
threshold and follow blue trim
above lattice and go out to window
edge.

REAR #7004 shown from beyond
#7006.

