

7312 Willow Avenue, Takoma Park
37103-07EE
Takoma Park Historic District



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: October 11, 2007

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Josh Silver, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #465674, Front door replacement and garage alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was approved with conditions at the October 10, 2007 meeting.

The conditions of approval were:

1. *Details of the new garage door with divided lights must be indicated on permit sets of drawings. (Detail to be shown to staff prior to stamping permit sets of drawings).*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Nancy Hughes & Timothy Rahn

Address: 7312 Willow Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
 240/777-6370

DPS - #8

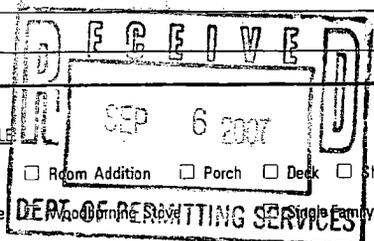
HISTORIC PRESERVATION COMMISSION
 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Timothy Rahn
 Daytime Phone No.: 717-765-5333
 Tax Account No.: _____
 Name of Property Owner: Nancy Hughes & Timothy Rahn Daytime Phone No.: 717-765-5333
 Address: 7312 Willow Avenue Takoma Park MD 20912-4321
Street Number City State Zip Code
 Contractor: Peter Niles, The Old House Company Phone No.: 301-785-2972
 Contractor Registration No.: _____
 Agent for Owner: Paul Treseder, architect Daytime Phone No.: 301-320-1580

LOCATION OF BUILDING/PREMISE

House Number: 7312 Street: Willow Avenue
 Town/City: Takoma Park Nearest Cross Street: Tulip Avenue
 Lot: 16 Block: 9 Subdivision: Takoma Park
 Liber: _____ Folio: _____ Parcel: _____



PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

<input checked="" type="checkbox"/> Construct	<input type="checkbox"/> Extend	<input checked="" type="checkbox"/> Alter/Renovate	<input type="checkbox"/> A/C	<input type="checkbox"/> Slab	<input type="checkbox"/> Room Addition	<input type="checkbox"/> Porch	<input type="checkbox"/> Deck	<input type="checkbox"/> Shed
<input type="checkbox"/> Move	<input checked="" type="checkbox"/> Install	<input type="checkbox"/> Wreck/Raze	<input type="checkbox"/> Solar	<input type="checkbox"/> Fireplace	<input type="checkbox"/> Woodburning Stove	<input type="checkbox"/> Single Family		
<input type="checkbox"/> Revision	<input checked="" type="checkbox"/> Repair	<input type="checkbox"/> Revocable	<input type="checkbox"/> Fence/Wall (complete Section 4)	<input checked="" type="checkbox"/> Other:				

1B. Construction cost estimate: \$ 18,500.00

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Timothy W Rahn September 5, 2007
Signature of owner or authorized agent Date

Approved: X For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature: JRS Date: 11/30/07
 Application/Permit No.: 465674 Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

See 1.a. "Description of existing structures and environmental setting" for a description of the property.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

This project consists of two parts.

Part 1 – Replace Front Door

We plan to replace the front door and storm door with doors that are more appropriate to the bungalow style. See "1.b. General description of the front door replacement" for details about this part of the project.

Part 2 – Repair-Restore Garage

We plan to repair and restore the garage which has deteriorated due to water damage and age. See "1.b. General description of repair and restoration of garage" for details about this part of the project.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
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4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

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If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

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For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville. (301/279-1355).

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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: October 11, 2007

MEMORANDUM

TO: Nancy Hughes & Timothy Rahn
7312 Willow Avenue, Takoma Park

FROM: Josh Silver, Senior Planner *(JPS)*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit Application #465674, front door replacement and garage alterations

Your Historic Area Work Permit (HAWP) application for a front door replacement and garage alterations was **Approved with Conditions** by the Historic Preservation Commission at its October 10, 2007 meeting.

The conditions of approval were:

1. *Details of the new garage door with divided lights must be indicated on permit set of drawings. (Detail to be shown to staff prior to stamping permit sets of drawings).*

Before applying for a building permit from the Montgomery County Department of Permitting Services (DPS), you must schedule a meeting with your assigned staff person to bring your three (3) final permit sets of drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although the Historic Preservation Commission has approved your work, it may also need to be approved by DPS or another local government office before work can begin.

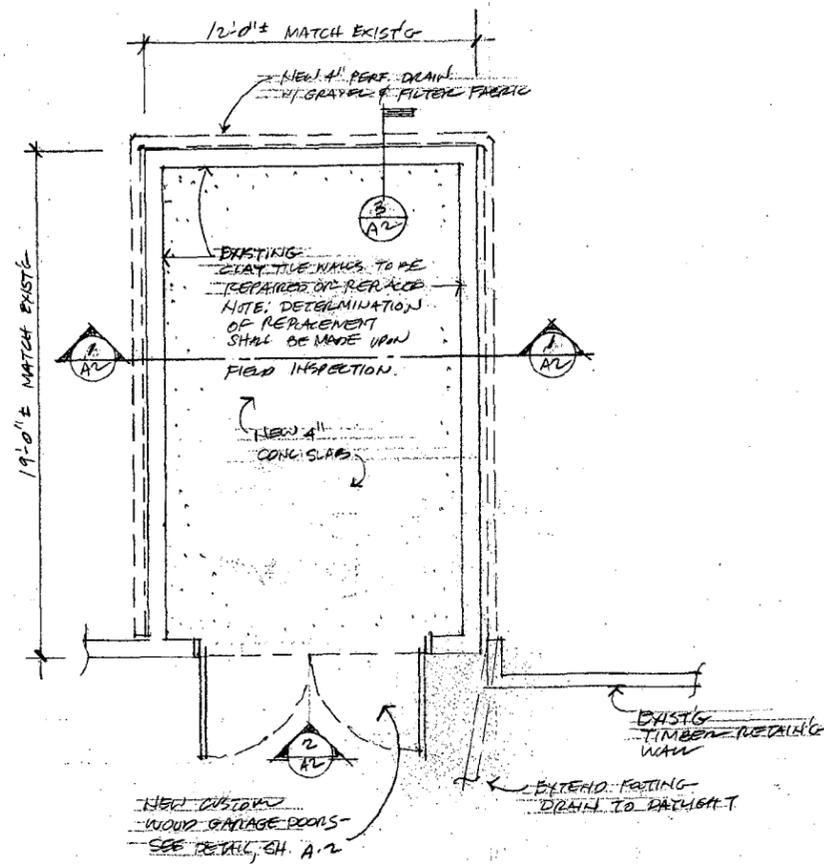
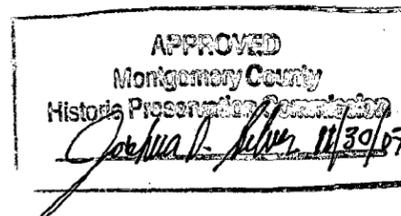
When you file for your building permit at DPS, you must take with you stamped drawings, the official approval letter, and the signed HAWP Application. These forms will be issued when the drawings are stamped by your assigned staff person and are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in **any way** from the approved plans, either before you apply for your building permit or even after the work has begun, you must contact the Historic Preservation Commission staff at 301-563-3400. After your project is completed, please send photos of the finished work to HPC staff.

Thank you very much for your patience and good luck with your project!

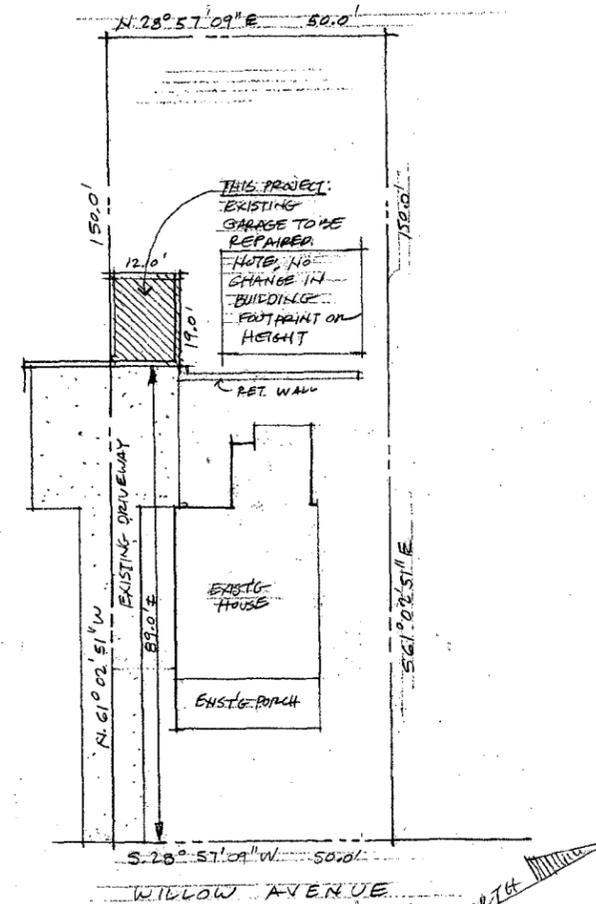


This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



PLAN

SCALE: 1/4" = 1'-0"



SITE PLAN

SCALE: 1" = 20'-0"

LOT # 10 BLOCK 9 WILLOW AVENUE WILSONS EARNEST ADDITION TO TAKOMA PARK

GARAGE REPAIR FOR THE HUGHES - RAHN RESIDENCE 7312 WILLOW AVE., TAKOMA PARK, MARYLAND



6320 Wisconsin Road
Bethesda, MD 20816
301-320-1880
301-320-1881
Paul.Treseder@earthlink.net

Paul Treseder
Architect AIA

Date 8-9-07

Scale

Drawn P.T.

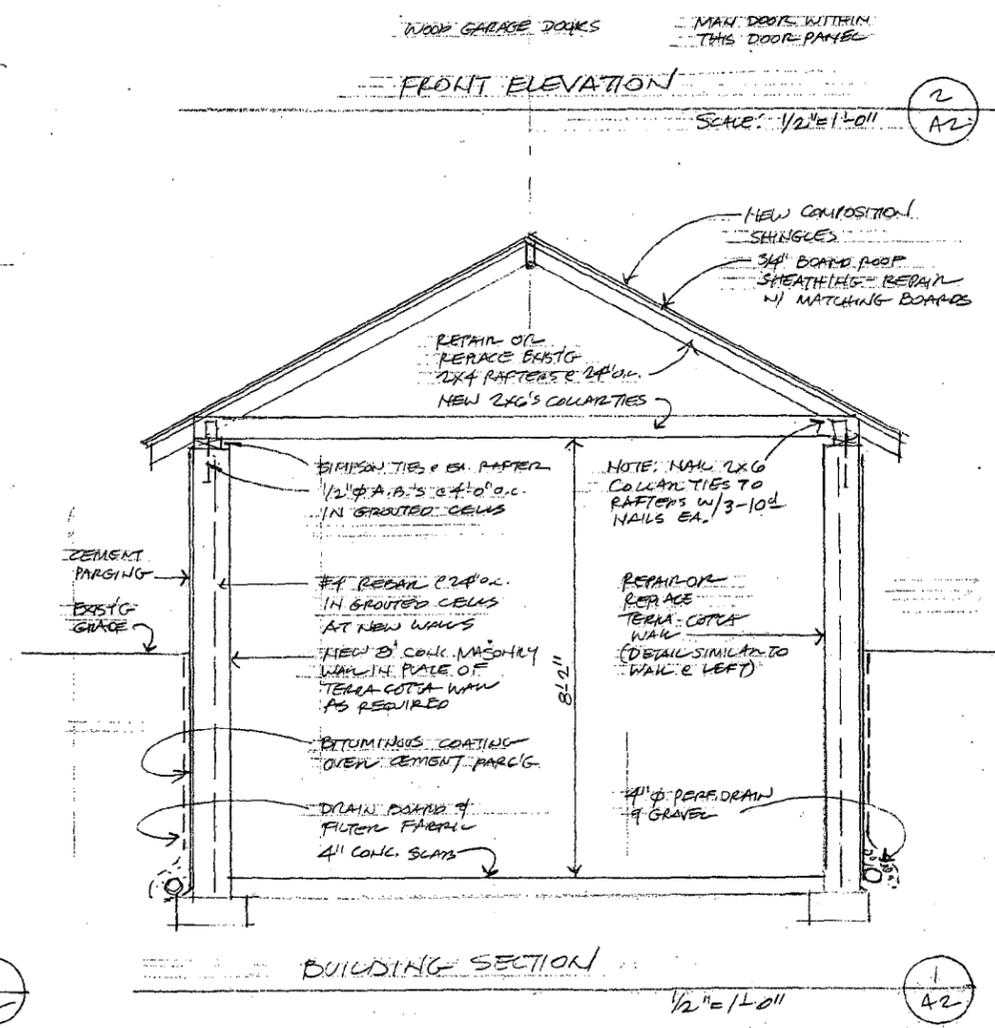
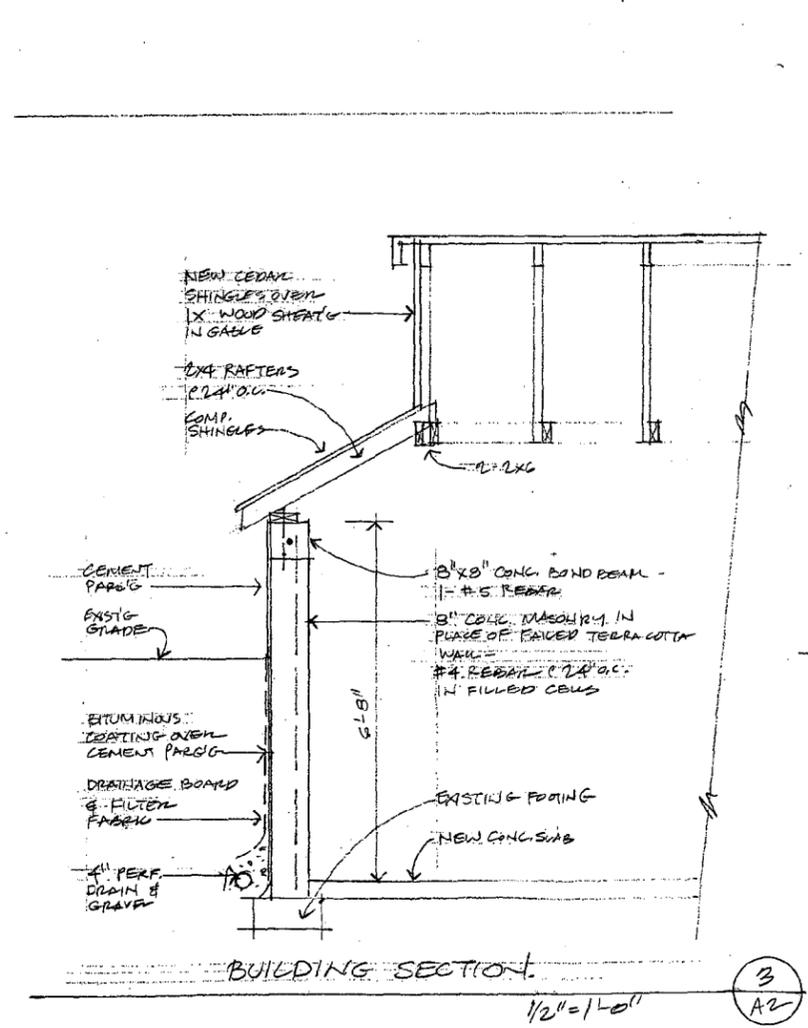
Job HUGHES

Sheet

1

Of 2 Sheets

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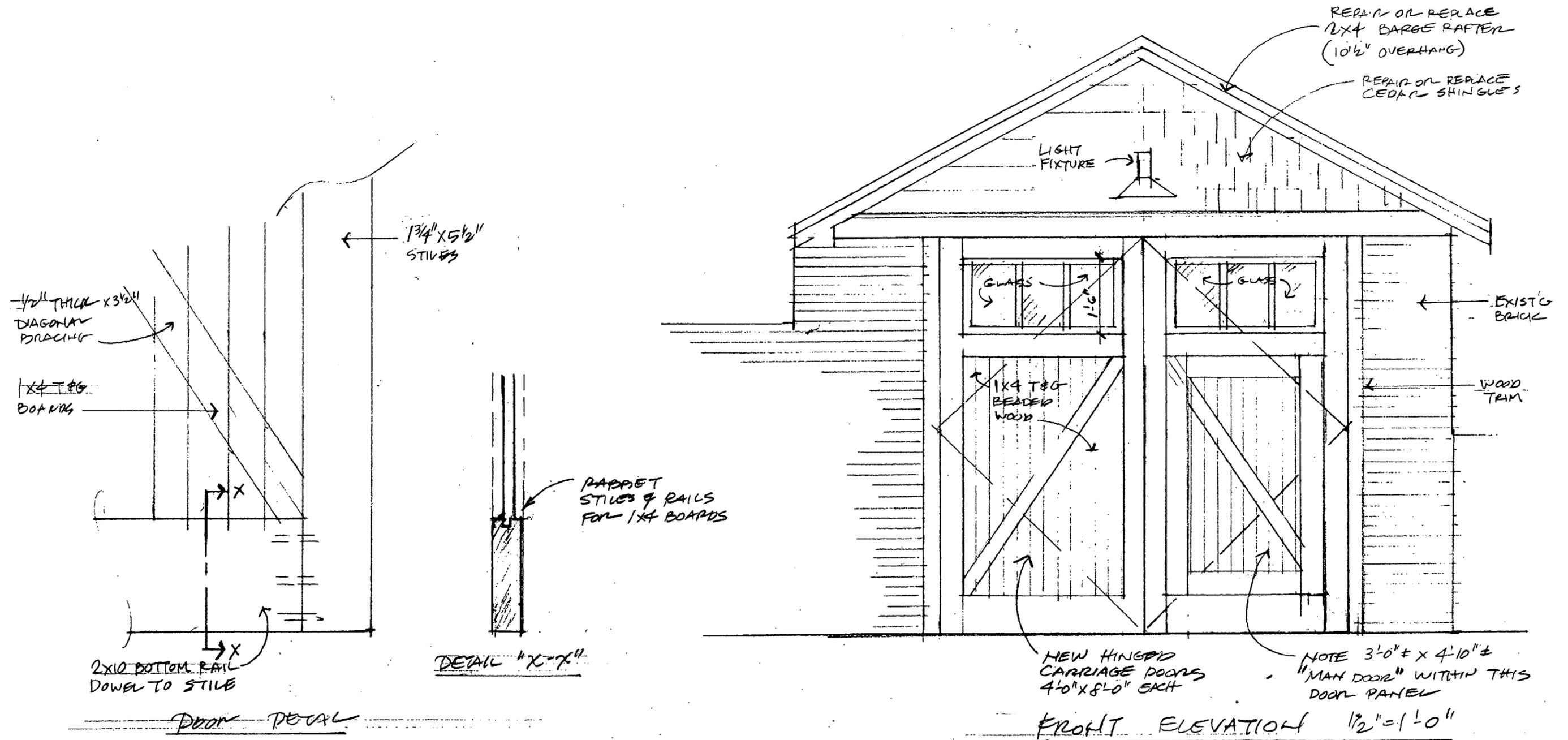
6320 Wisconsin Road
Bethesda, MD 20816
301-320-1580
Fax 301-320-1581
Paul.Treseder@verizon.net

Paul Treseder
Architect AIA

Date 8-9-07
Scale
Drawn P.T.
Job HUGHES
Sheet 2
Of 2 Sheets

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 11/30/07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



Paul Tresseder
 Architect AIA

6320 Wiscasset Road
 Bethesda, MD 20816
 301-320-1580
 Fax - 301-320-1581
 Paul.Tresseder@verizon.net



GARAGE REPAIR / REBUILDING for the
 HUGHES-RAHH RESIDENCE
 7512 WILLOW AVE, TAKOMA PARK, MD.

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7312 Willow Avenue, Takoma Park	Meeting Date:	10/10/2007
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	10/3/2007
Applicant:	Nancy Hughes & Timothy Rahn (Architect: Paul Treseder)	Public Notice:	9/26/2007
Review:	HAWP	Tax Credit:	Partial
Case Number:	37/003-07EE	Staff:	Josh Silver
PROPOSAL:	Front door replacement and garage alterations		

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application with the following condition:

1. Details of the new garage door with divided lights must be indicated on permit set of drawings. (Detail to be shown to staff prior to stamping permit sets of drawings).

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource Within The Takoma Park Historic District
STYLE: Cottage/Bungalow
DATE: c1910s

The house is a 1 ½ -story, three-bay dwelling, with a single story front porch, containing a ½ -story overhang. The house is clad with wood clapboard siding. The house is detailed with gable brackets and has deep eaves. A one room addition with a dormer has been added to the rear of the house.

The house sits 30' back from the street on a narrow lot and contains several mature trees. A shared asphalt driveway borders the west side of the property and connects to an existing one-car garage toward the rear of the property.

HISTORIC CONTEXT

Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the one of the earliest railroad suburbs of Washington. The community was given new lifeblood in the early-20th century with the opening of streetcar lines, which led to the development of new subdivisions in Takoma Park.

Before 1883, the area that became Takoma Park was used for farming and vacation homes for Washingtonians. A few houses from this period still exist.

Benjamin Franklin Gilbert was the developer of Takoma Park, which he promoted for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma", meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment.

Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. The substantial houses had spacious settings, with deep, narrow lots of 50 feet by 200-300 feet, with 40-foot setback requirements. Extensive numbers of these houses (built from 1883 to 1900) remain, particularly concentrated along Maple, Cedar, and Holly Avenues. The earliest houses were built on Cedar Avenue (originally known as Oak Avenue).

Gilbert was more than just the developer of the community - he was a resident and civic leader. He built one of the first houses in the new community for himself and later became the town's first mayor. By 1886, Takoma Park had a post office and a new railroad station. Fifteen trains a day ran between Washington and Takoma Park and the population had reached 100.

By 1893, the town's population quadrupled. Four subdivisions had expanded the town, which was incorporated in 1890. Takoma Avenue, Pine Avenue, and Holly Avenue were among the streets to develop during this period.

The first multi-family buildings in Montgomery County were built in Takoma Park. The earliest documented multi-family dwelling is the *Ford House* at 7137-39 Maple Avenue. Brothers Byron and Seth Ford built this large, elaborate, frame double-house in 1885 for their families. The next multi-family dwellings to be built in the county were not constructed until 1907.

The start of streetcar service along Carroll Avenue in 1897, operated by the Baltimore and Washington Transit Company, made the adjacent areas more attractive for residential development, leading to new subdivisions. This line, supplemented in 1910 by the Washington and Maryland line (1910-27), led to the creation of eight additional subdivisions extending out from the trolley lines. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. Among the streets, which developed during the 1910s and 1920s in response to the establishment of streetcar, lines are Willow, Park, Philadelphia, and Carroll Avenues.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building materials and structural elements for ornamentation. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established - detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Willow, Park, Philadelphia, and Westmoreland Avenues. Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era.

Takoma Park continues to thrive today, with a population of 20,000. Though the train no longer stops there, the town's close relationship with mass transportation continues. The Metro enables residents to continue the tradition, started with the railroad and extended with the streetcars, of living in the suburbs and commuting to the District using mass transit. Two sections of the Montgomery County portion of Takoma Park have been listed on the National Register of Historic Places as the Takoma Park Historic District since 1976.

PROPOSAL:

The applicants are proposing to replace the existing (non-original) front screen and entrance doors with wooden doors.

The applicants are also proposing to install two custom made side-hinged wooden doors on the existing garage located toward the rear of the property. The proposed doors will contain three divided lights on each door.

One 6'6" x 3'0" entry door will be installed within the right garage door panel to enable improved access to the garage. *Note: Staff level approval was granted August 23, 2007 for the in-kind replacement of the composite shingle roof, and for ordinary maintenance and repairs to the exterior walls of the garage.* (See page 22).

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 4A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should *preserve the predominant architectural features of the resource*; exact replication of existing details and features, is, however, not required;

Montgomery County Code; Chapter 24A

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

The Commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district; or
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter; or

Secretary of the Interior's Standards for Rehabilitation:

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The applicants' proposal does not compromise the integrity of this resource. Both the design and materials that will be utilized for the screen and front door replacements are appropriate for the house and district. The use of all wooden doors and period specific hardware are fitting material choices given the style of the house.

Staff would like to commend the applicants for their willingness to rehabilitate the existing garage. While there is no clear evidence the garage ever contained front doors, the design of the wooden carriage doors is appropriate given the style of the garage.

Furthermore, the proposed doors will have only minimal visibility from the public right-of-way, and have no direct impact on the streetscape of the district. *Staff is recommending approval for the replacement of the front door and screen, and the installation of the carriage doors on the garage.*

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Page 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings to the Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
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DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

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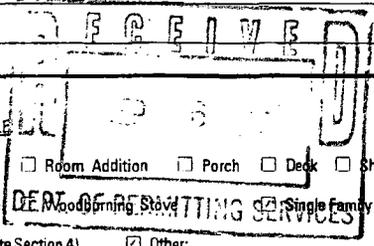
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Lot: 16 Block: 9 Subdivision: Takoma Park

Liber: Folio: Parcel:



PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate Move Install Wreck/Raze Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed Solar Fireplace Fence/Wall (complete Section 4) Other

1B. Construction cost estimate: \$ 19,500.00

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENS/OADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

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3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

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I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Timothy W Rahn

Date: September 5, 2007

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 465674 Date Filed: Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

1.a. Description of existing structures and environmental setting

The existing structures include a house and a one-car garage. The front of the house sits back approximately 30 feet from Willow Avenue on a semi wooded lot. The northeast side of the lot includes dogwoods, Japanese maples, a large tulip poplar, and two black walnut trees. The west side of the lot is exposed and unusually sunny for Willow Avenue.

The house was built approximately 1917 as a one and a half-storey clapboard bungalow. The house features typical bungalow details including brackets that support the extended eaves. In addition, the house has several unique features including a slight flare in the clapboards at the bottom of the house and windows that are three lights over one.

According documents from the daughter of the original owner, the house was modified in 1956 by removal and replacement of the front porch stairs. Pergola-like beams that protruded from the porch were also removed. Circular inserts were placed on the insides of the two front porch posts. It appears that at the same time the front entrance and screen doors were replaced. A photograph, attached, of the front of the house believed to be taken in the 1920s shows the original porch construction.

In 2000, the current owners had built a one-room addition to the rear of the house. As part of the same project, a dormer was constructed on the rear half-storey to create livable space on the second floor. Both the addition and dormer use many of the same architectural features as the original house including the brackets and the flare in the clapboard siding.

The garage appears on the original plat for the property, but the exact year of construction is not known. It is set into the embankment that terminates at a wood timber retaining wall, which was installed in the early 1990s. The driveway to the garage is shared with the adjoining neighbors.

The east façade of the garage is red brick with a shake shingle gable. The two walls that contact the embankment are constructed of cinder block. The last wall, which may have originally been a shared wall with a garage on the adjoining property, is constructed of 75% terracotta or tile block and 25% cinder block.

Asphalt composition shingles on the garage roof were removed earlier this year when the current owners intended to replace the roof. After removal of the shingles, significant deterioration to the roof sheathing was detected. In addition, as is explained below, severe hydraulic damage to both cinder block walls was detected.

1.b. General description of the front door replacement

The owners would like to replace the current front screen and entrance doors with wooden doors that are more appropriate for a bungalow-style house. The existing doors are shown in an attached photograph. During installation of the

doors, the current owners intend to retain, as much as possible, the original trim materials including the door jamb and exterior casing.

Currently, the front entrance uses an aluminum screen door. The replacement screen door would be a traditional wooden door and use reproduction screen door hardware typical of the early 20th century. The owners propose using a design similar to the Coventry model from Touchstone Woodworks. This model is shown as an attachment to this application and would use interchangeable charcoal aluminum screens and tempered glass storm inserts.

The current front entrance door does not appear to be original to the house. The door includes four lights in a semicircular panel typical of houses from the 1950s. The replacement entrance door would be a Craftsman Three Lite II model from Simpson. This door would be similar to the back door, which appears to be original to the house. Product literature from Simpson showing the Craftsman Three Lite model is attached. The entry set would be the Templeton model from Rejuvenation.

1.b. General description of the repair and restoration of the garage

As the roof was removed earlier this year, significant damage to the garage became apparent. The damage is shown in a series of photographs included in this application. The most significant of these is the structural damage to the supporting walls. Hydraulic damage to the rear wall resulted in a previous owner installing a wooden wall that takes the load of the roof off the cinder block wall. At the same time this wall was constructed, another stud wall was installed to support the west side of the garage roof. This stud wall takes the load from the damaged terracotta section of this wall.

The current owners would like to repair the damaged walls install barriers and drainage that will prevent or limit the possibility of future hydraulic damage. All work on the garage will retain the original footprint and appearance of the garage. Materials and construction will be in-kind replacements. The owners have asked for and received approval to begin work on the repairs pending approval of this application. The letter granting approval is attached to this application.

This application seeks approval of the installation of carriage doors as the exception to the maintaining the original appearance of the garage. There is no evidence of any doors (carriage or overhead) being previously installed on the garage, therefore, the garage doors would constitute new construction.

The carriage doors would be similar in construction to other garage doors in this part of the Takoma Park Historic District. Although the construction drawings show doors without windows, the owners would seek approval of a design that would use three divided lights on each door. In addition, the right-hand door would include a "man door" in the door panel to allow egress without opening the main carriage doors.

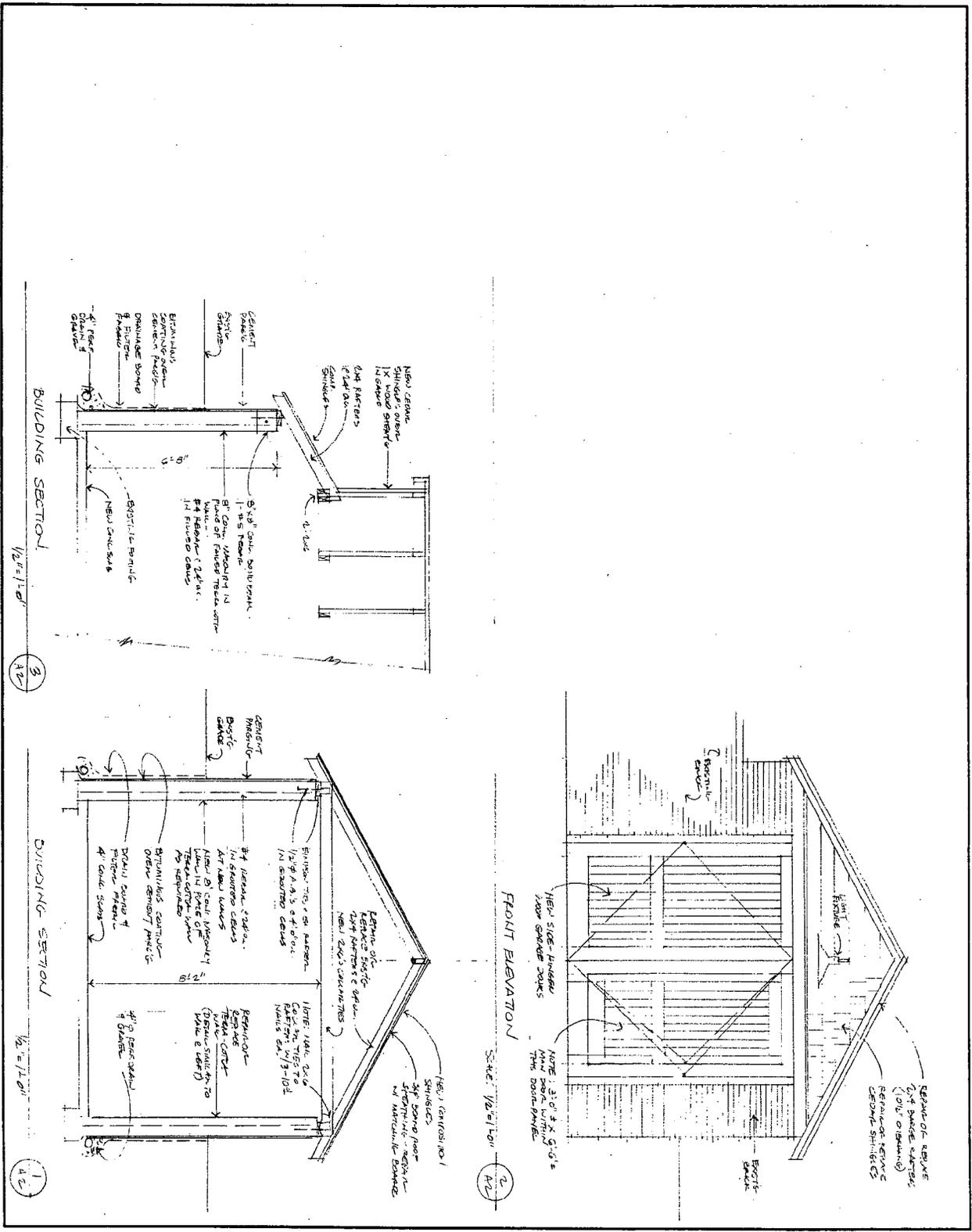
HAWP Application Descriptions

**7312 Willow Avenue
Takoma Park**

The photographs that follow illustrate the house in its original and current condition. Additional photos show the condition of the garage. The attached plans include a site plan and all the details relevant to the repair and restoration of the garage. Additional attachments include an illustration of the replacement screen door and the product data for the entrance door and entry set.

Addresses of Adjacent and Confronting Property Owners

<p>Mary B. Fink Campos 7309 Maple Avenue Takoma Park, MD 20912</p>	<p>N. C. Schallhorn 7310 Willow Avenue Takoma Park, MD 20912</p>
<p>Doris & Richard Dove 7313 Maple Avenue Takoma Park, MD 20912</p>	<p>Wendy Berger Michael Hamaide 7310 Willow Avenue Takoma Park, MD 20912</p>
<p>Nancy Moore 7314 Willow Avenue Takoma Park, MD 20912</p>	
<p>Patrizia Ricci Lawrence Lempert 7313 Willow Avenue Takoma Park, MD 20912</p>	
<p>Nancy Boocker 7311 Willow Avenue Takoma Park, MD 20912</p>	
<p>Susan Strasser Robert Guldin 7309 Willow Avenue Takoma Park, MD 20912</p>	

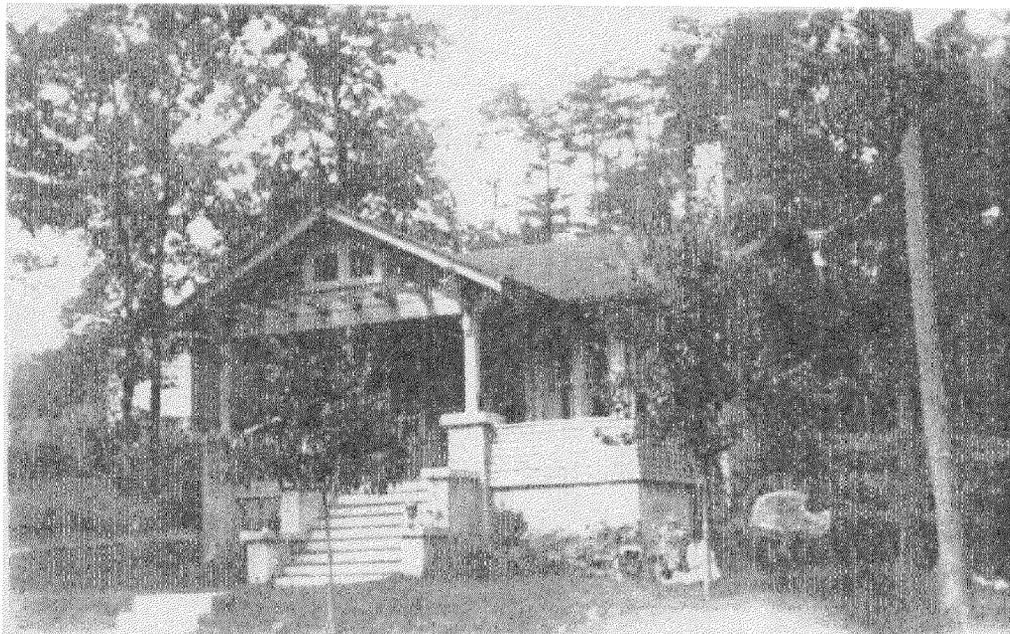


6320 Wicassett Road
Bethesda, MD 20816
301-320-1580
Fax - 301-320-1581
Paul Treseder@treseder.com

Paul Treseder
Architect AIA

Date: 5-19-07
Scale: 1/8"
Drawn: J.T.
Job: -CHURCH
Sheet: 12
OF 12 SHEETS

Existing Property Condition Photographs



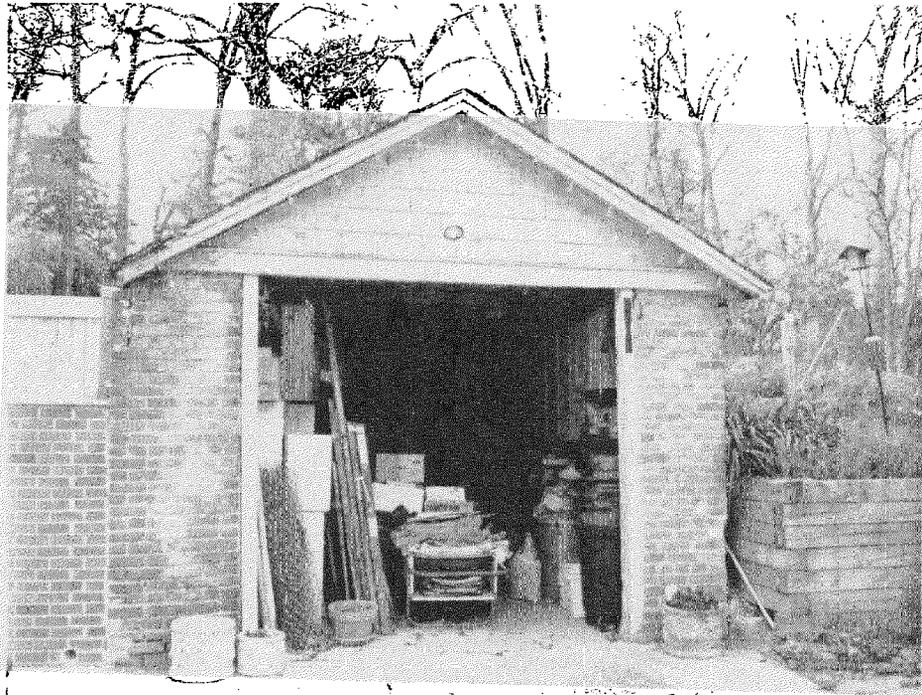
Details: 7312 Willow Avenue with original front porch and stairs.



Details: 7312 Willow Avenue showing existing front porch and stairs.

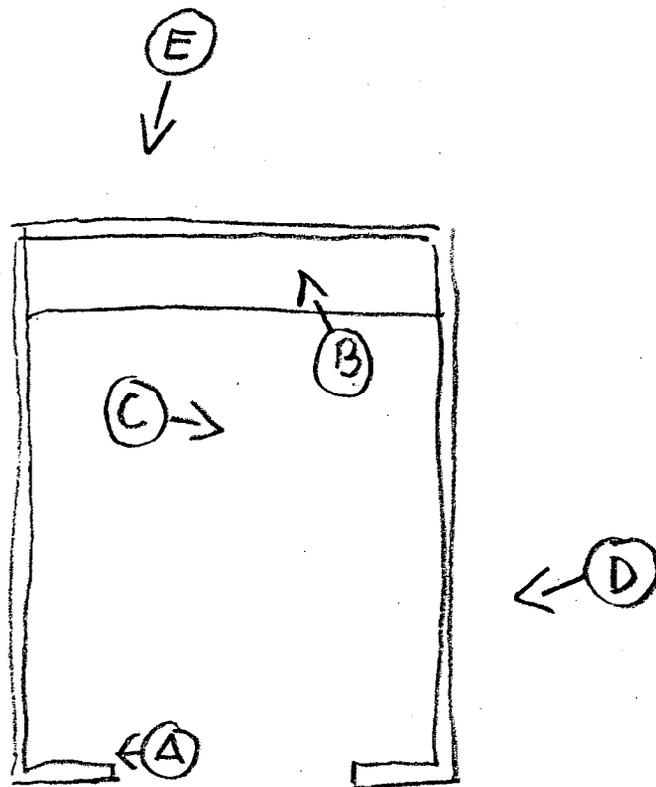


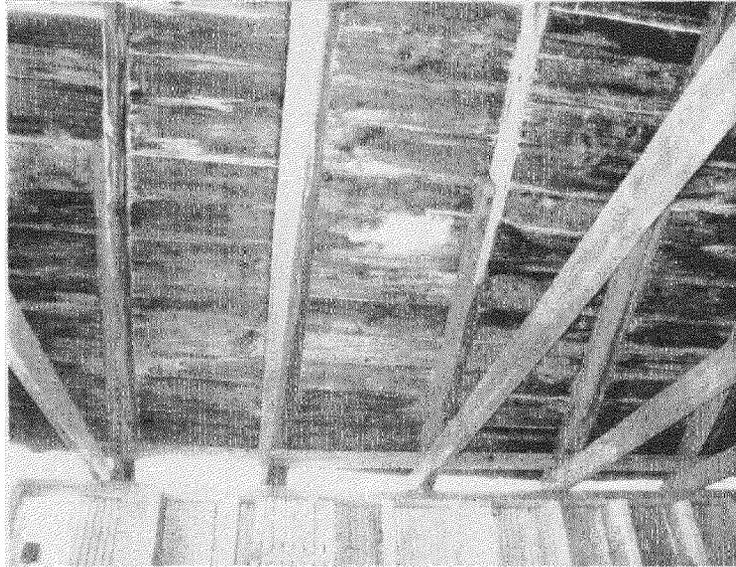
Details: Existing front screen and entrance doors.



Details: East façade of garage showing brick walls and shake shingle gable.

Garage Photo Key

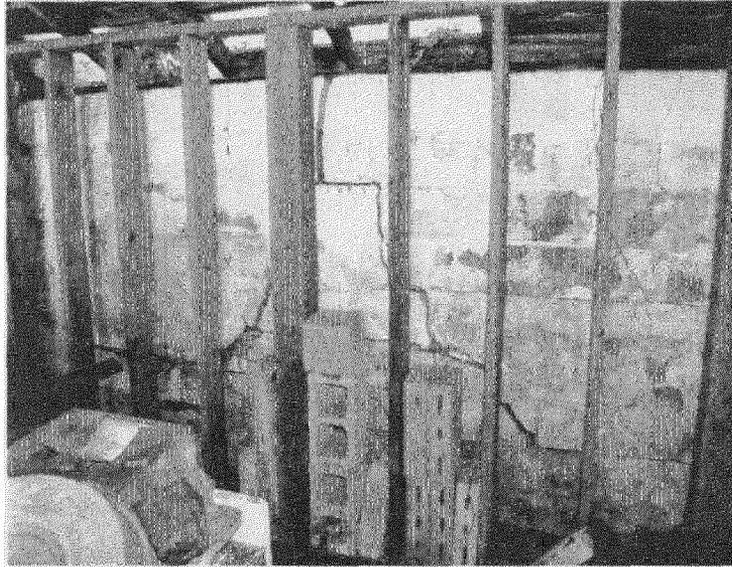




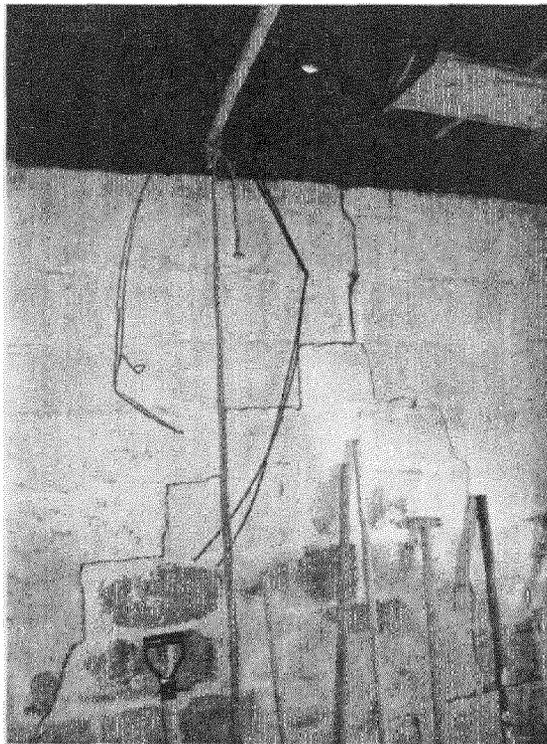
Details: Damage to garage roof.



Details: South wall interior detail showing replacement wall, crack in terracotta wall, and missing terracotta block. (View from A in Garage Photo Key)



Details: West wall interior detail showing replacement wall and cracks in cinder block wall. (View from B in Garage Photo Key)



Details: North wall interior details showing cracks in cinder block wall. (View from C in Garage Photo Key)

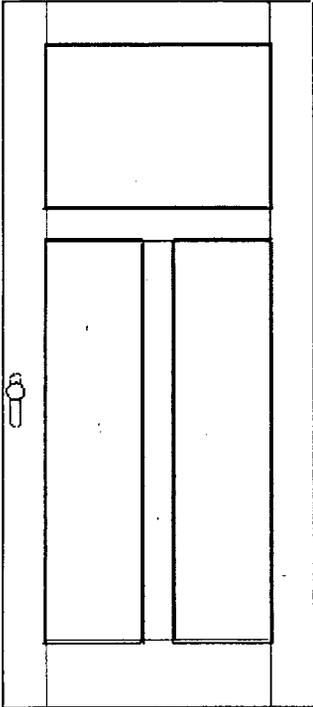


Details: North wall exterior showing crack in wall. (View from D in Garage Photo Key)



Details: West exterior showing damage to shed roof. (View from E in Garage Photo Key)

Front Entrance Screen Door Replacement



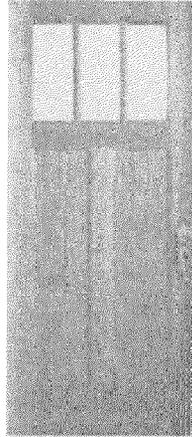
Touchstone Woodworks
Model: Coventry



Your Door Specifications

[Previous Door](#)

[Next Door](#)



General Information

Door Name: Craftsman Three Lite II
 Door Number: 6803
 Door Series: Craftsman
 Door Type: Exterior Decorative
 Door Species: Red Oak

Standard Features

Panels: 3/4" VG Flat
 Moulding: na
 Glass: 3/4" Insulated
 Caming: na

Standard Sizes*

Door Widths: 3'0", 3'2", 3'4", 3'6"
 Door Heights: 6'8", 7'0", 8'0"

*Additional sizes are available. See your Simpson Authorized Dealer for final availability and pricing.

Door Options

Matching Sidelights:

[Craftsman One Lite \(6175\)](#)

Matching Transoms:

[Craftsman One Lite \(6781\)](#)

Glass Options:

[Tempered Glass](#)

[Dentil Shelf Options](#)

Maximum Weather Resistance:

[Performance Series](#)



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Quickly locate the dealer nearest you.

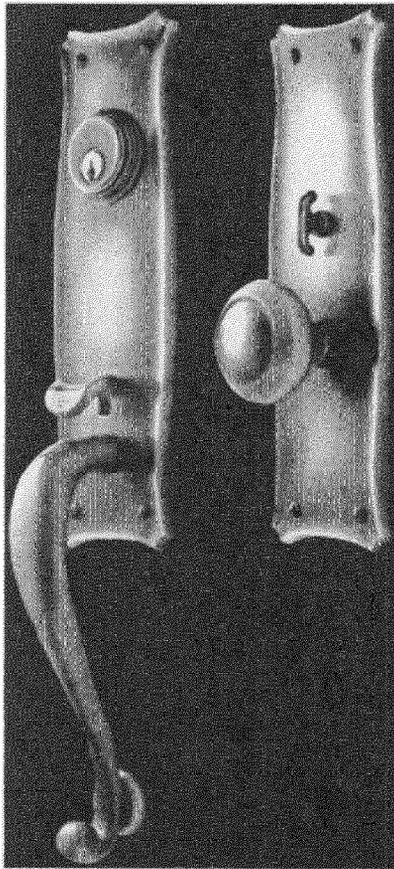
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How did we do it?

Check out our new WaterBarrier™ technology.

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Want more information? Request our latest literature.



Templeton Craftsman Entry Set CB1541

Choose from:
6 finishes

Specifications	
Item #	CB1541
Height	16"
Width	3"
Mixed Set	Same style and finish.
Finish	Burnished Antique
Interior	Domed Knob -
Doorknob	CC9765



MONTGOMERY COUNTY PLANNING DEPARTMENT
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

August 23, 2007

Mr. Tim Rahn
7312 Willow Avenue
Takoma Park, Maryland 20912

Re: Garage roof replacement and wall repair at 7312 Willow Avenue, Contributing Resource, Takoma Park Historic District

Dear Mr. Rahn:

This letter is in response to your proposal to replace the roof and repair the walls on the existing garage located at the rear of your property at 7312 Willow Avenue. Your request to remove the existing composite shingle roof from the garage and replace it with the same material, and repair the existing cement walls with cement parging are considered in-kind replacements, as such your request is approved.

The installation of the proposed wooden barn doors on the front elevation of the existing garage are not to be installed, as they require review and approval by the Historic Preservation Commission (HPC). Please submit a completed Historic Area Work Permit application for review and consideration by the HPC.

If any additional exterior alterations and revisions to this site are proposed they must be reviewed by the HPC prior to the project's commencement.

This letter will serve as your official approval to repair the cement walls and replace the roof on the existing garage. If you have any additional questions, please do not hesitate to contact me at 301-563-3400. Thank you for your cooperation and assistance in this matter.

Sincerely,

Joshua D. Silver
Senior Planner

Cc: Carla Reid Joyner, Department of Permitting Services

22

Existing Property Condition Photographs



Details: 7312 Willow Avenue with original front porch and stairs.



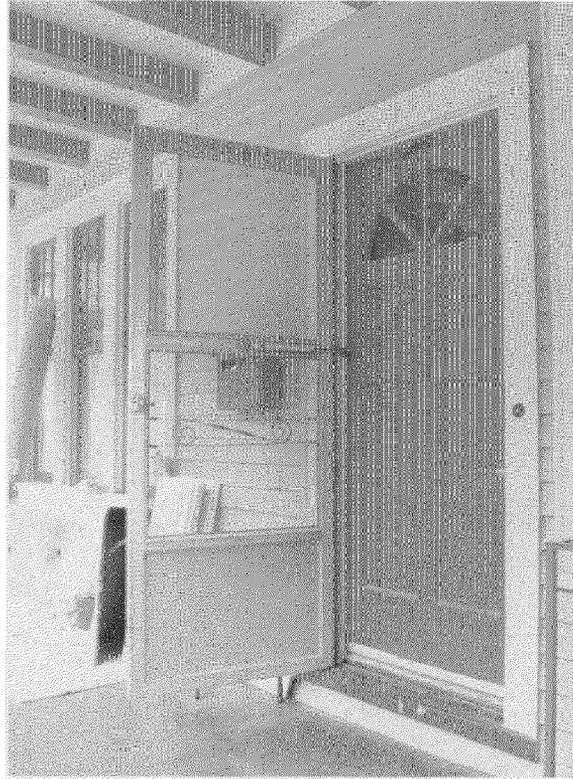
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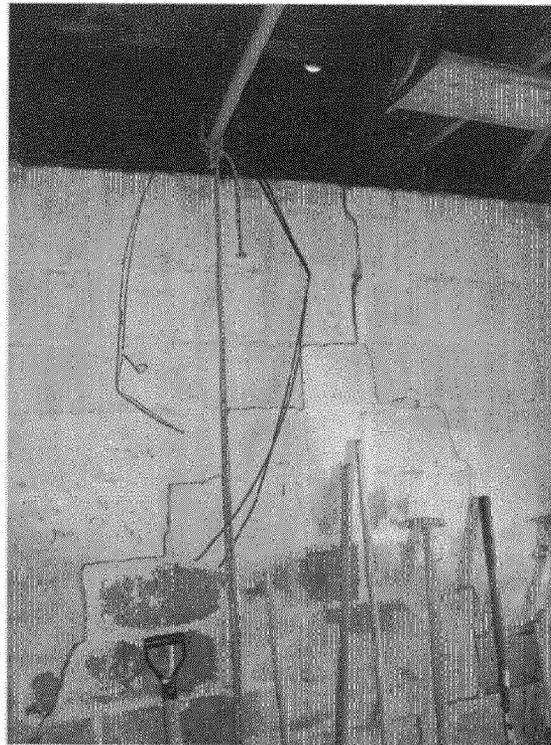
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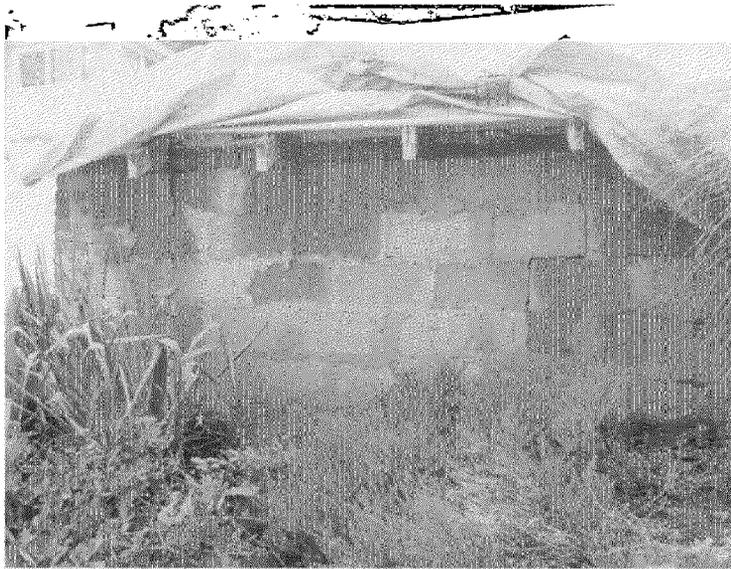
Details: East façade of garage showing brick walls and shake shingle gable.



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Details: North wall interior details showing cracks in cinder block wall. (View from C in Garage Photo Key)

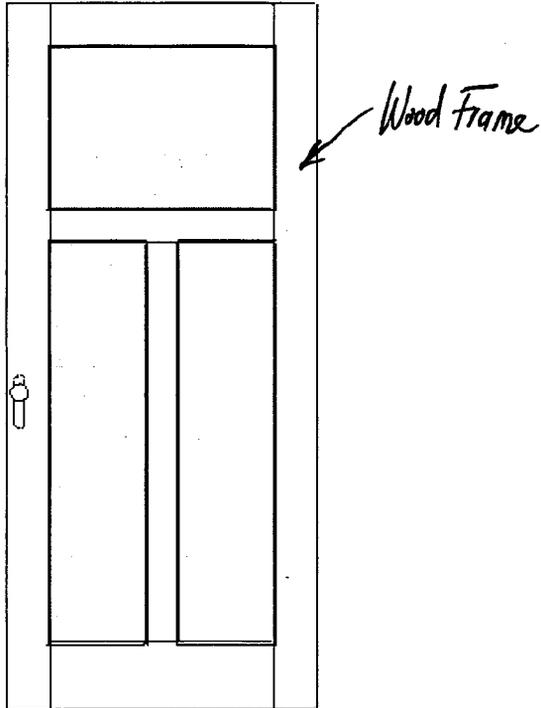


Details: North wall exterior showing crack in wall. (View from D in Garage Photo Key)

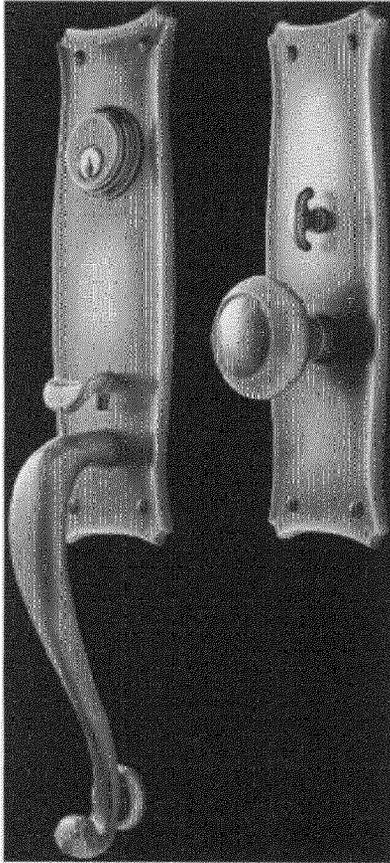


Details: West exterior showing damage to shed roof. (View from E in Garage Photo Key)

Front Entrance Screen Door Replacement



Touchstone Woodworks
Model: Coventry



Templeton Craftsman Entry Set CB1541

Choose from:
6 finishes

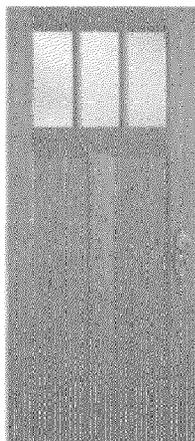
Specifications	
Item #	CB1541
Height	16"
Width	3"
Mixed Set	Same style and finish.
Finish	Burnished Antique
Interior	Domed Knob -
Doorknob	CC9765



Your Door Specifications

[Previous Door](#)

[Next Door](#)



Door Options

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[Craftsman One Lite \(6175\)](#)

Matching Transoms:

[Craftsman One Lite \(6781\)](#)

Glass Options:

[Tempered Glass](#)

[Dentil Shelf Options](#)

Maximum Weather Resistance:

 [Performance Series](#)



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*Additional sizes are available. See your Simpson Authorized Dealer for final availability and pricing.

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