

37/03-07G 7714 TAKOMA AVE
Takoma Park Historic District

Tully, Tania

From: Ljpearsall@aol.com
Sent: Sunday, March 11, 2007 8:22 PM
To: Tully, Tania
Subject: Questions on the DayCare Fence

We are talking about metal or wood...if the fence is wood, can it be stained rather than painted? If it is stained, a question is, can it be natural-looking or would it need to be an opaque stain to resemble paint? I am wondering how natural-looking would work with the paint and brick house and how that would present to the street along Philadelphia.

Some folks have wondered about synthetic material for the fence, such as recycled plastic, or woodfiber held together with plastic resin...I thought that would not be allowed but figured I should ask you.

Thanks, Tania!

--L

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3/12/2007

Howard Stanley

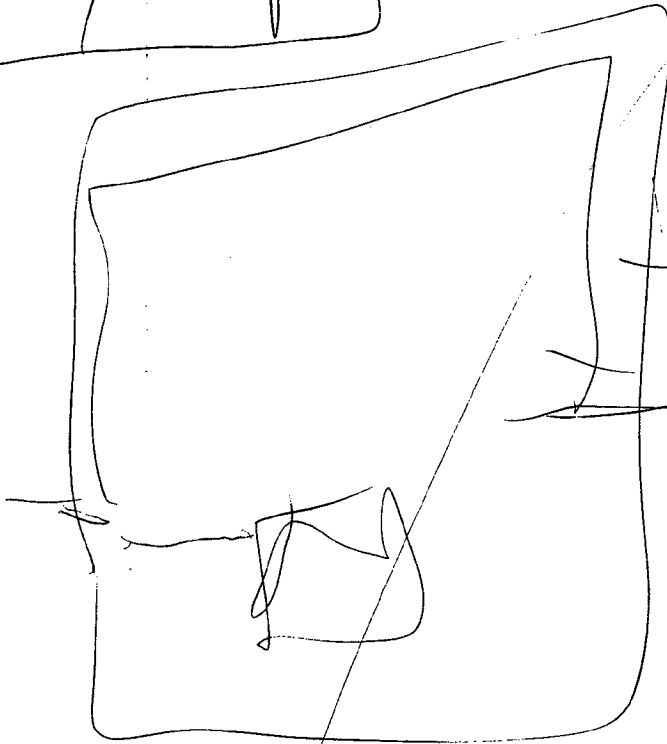
Feb 7

Feb 28th

Chain link 42" now
replace w/ taller $\approx 6-6\frac{1}{2}$
wrought iron fence

photos -

Takoma/Philadelphia



Talk to Todd Bolton
Common fence -

w/ water features on
adjacent - 6" deep

Bolton -

891 7612

Missing Trees -

2 Sweet Gums - removed / compromised
fence w/ roots

Manarolla, Kevin

From: Stanley, Howard [Howard.Stanley@montgomerycollege.edu]
Sent: Thursday, February 22, 2007 11:08 AM
To: Manarolla, Kevin
Cc: Capp, David; Stewart, Brad; weil@cua.edu; ljpearsall@aol.com
Subject: HAWP (HPC Case No. 37/06-07G)

With regard to the subject permit application, we would like to withdraw our request to allow for further community input. We intend to resubmit the application in time for the next review cycle.

Howard Stanley
Director of Facilities
Montgomery College
Takoma Park/Silver Spring
7600 Takoma Ave.
Takoma Park MD 20912
301-650-1565
301-650-1574 (Fax)

Manarolla, Kevin

From: Weil, Richard D. [Weil@cua.edu]
Sent: Thursday, February 22, 2007 11:11 AM
To: Stanley, Howard
Cc: Capp, David; Stewart, Brad; ljpearsall@aol.com; Manarolla, Kevin; Joy AustinLane
Subject: RE: HAWP (HPC Case No. 37/06-07G)

Thank you, Howard. The MCNAC member responses I have received to date indicate a preference for a 4 foot fence height as opposed to the 6 foot originally proposed and some choice in the type of (replacement) trees planted with the understanding/agreement w/ MC that they should not be planted next to the fence so as to allow for proper root growth.

Richard

From: Stanley, Howard [mailto:Howard.Stanley@montgomerycollege.edu]
Sent: Thursday, February 22, 2007 11:08 AM
To: kevin.manarolla@mncppc-mc.org
Cc: Capp, David; Stewart, Brad; Weil, Richard D.; ljpearsall@aol.com
Subject: HAWP (HPC Case No. 37/06-07G)

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Takoma Park MD 20912
301-650-1565
301-650-1574 (Fax)

Manarolla, Kevin

From: Ljpearsall@aol.com
Sent: Thursday, February 22, 2007 11:16 AM
To: Howard.Stanley@montgomerycollege.edu; Manarolla, Kevin
Cc: David.Capp@montgomerycollege.edu; Brad.Stewart@montgomerycollege.edu; weil@cua.edu
Subject: Re: HAWP (HPC Case No. 37/06-07G)

Howard, David, and Brad, thank you for withdrawing the application! We appreciate your willingness to work with the community.

Sincerely,
Lorraine Pearsall

In a message dated 2/22/2007 11:08:00 AM Eastern Standard Time, Howard.Stanley@montgomerycollege.edu writes:

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Director of Facilities
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Takoma Park MD 20912
301-650-1565
301-650-1574 (Fax)

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Manarolla, Kevin

From: Ljpearsall@aol.com
Sent: Thursday, February 22, 2007 11:21 AM
To: Weil@cua.edu; Howard.Stanley@montgomerycollege.edu
Cc: David.Capp@montgomerycollege.edu; Brad.Stewart@montgomerycollege.edu; Manarolla, Kevin; JoyAustinLane@aol.com
Subject: Re: HAWP (HPC Case No. 37/06-07G)

Howard, Historic Takoma is also going to organize a meeting with the near neighbors next week to hear their concerns and come up with constructive suggestions. We also agree that a lower fence would be better, but we need to further consider the design. Again, we appreciate the ability to work together.
--Lorraine

In a message dated 2/22/2007 11:12:03 AM Eastern Standard Time, Weil@cua.edu writes:

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RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240-777-6370

DPS - #8

T 444837

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Howard Stanley
Daytime Phone No.: 301-650-1565
Tax Account No.: 520891845
Name of Property Owner: Montgomery College Daytime Phone No.: 301 650 1565
Address: 7600 Takoma Avenue, Takoma Park Maryland 20912
Street Number City State Zip Code
Contractor: Action Fabricators Phone No.: 301-322-7600
Contractor Registration No.: MD # 39844
Agent for Owner: Howard Stanley Daytime Phone No.: 301-650-1565

LOCATION OF BUILDING/PREMISE

House Number: 7714 Street: Takoma Avenue
Town/City: Takoma Park Nearest Cross Street: Philadelphia Ave
Lot: 13 Block: 69 Subdivision: TP&T Companies subdivision of TP
Liber: 4448 Folio: 49 Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate AC Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$26,910
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6 feet 0 inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Stanley 2/7/07
Signature of owner or authorized agent Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Chain link fence surrounding back yard of two story residence used as College Day Care Center. Fence is in disrepair and of no apparent historical significance. In its current condition the existing fence does not deter the children in the center from wandering into Philadelphia or Takoma Avenues. The new fence will be a security and visual improvement.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

When completed, this project will replace a dilapidated chain link fence with a wrought iron fence that compliments both the immediate surroundings and the neighborhood in general. Most people would agree that basic wrought iron construction is aesthetically more appealing than chain link.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

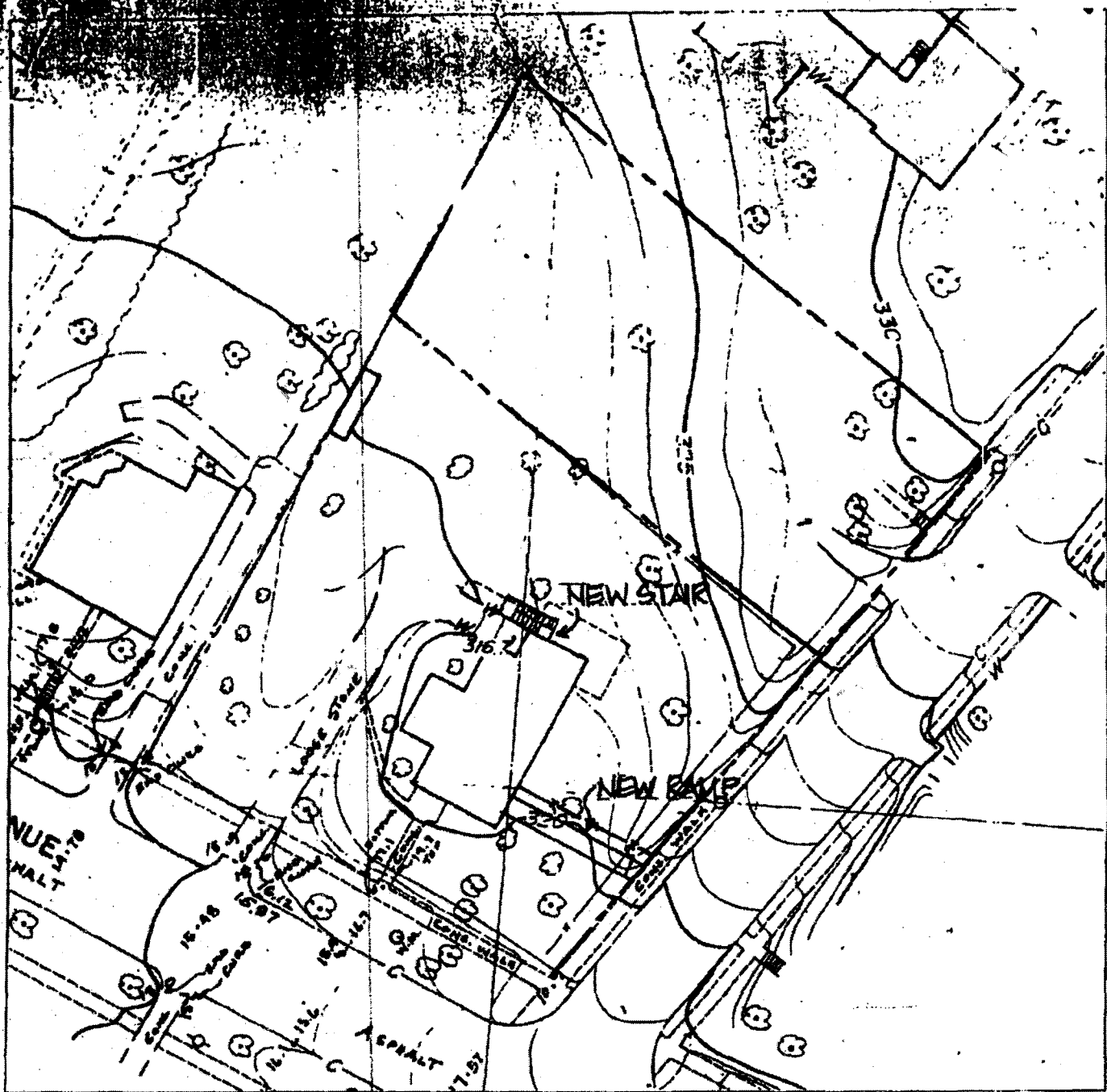
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

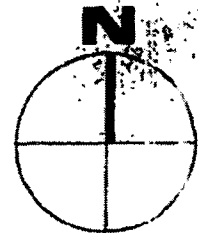


SITE PLAN

Scale: 1" = 40'

Montgomery College Takoma Park Campus
 Child Care Center
 Lead Abatement & Renovation

7714 Takoma Avenue, Takoma Park, MD 20912



Materials Specifications

All pickets shall be 5/8" square solid steel spaced not to exceed 5" and welded to 1 1/2" x 1/2" x 1/8" steel channels. All welds shall be from the unexposed underside of the machine punched channels. All posts shall be 1 1/2" square tubular steel, post spacing not to exceed 6'6". All posts shall be set in 30" of solid concrete with welded drive anchors for additional support. All posts shall have decorative post caps. Pedestrian and double drive gate frames shall be 2" square tubular steel. Both gates shall hinge on ball bearing hinges and be equipped with a locking mechanism to accommodate a padlock. Total fabrication and installation to be of welded construction. New materials shall be black iron semi-gloss dip painted with 100% enamel paint. (See photo)

Plans and Elevations

Not required for fence replacement

Photographs

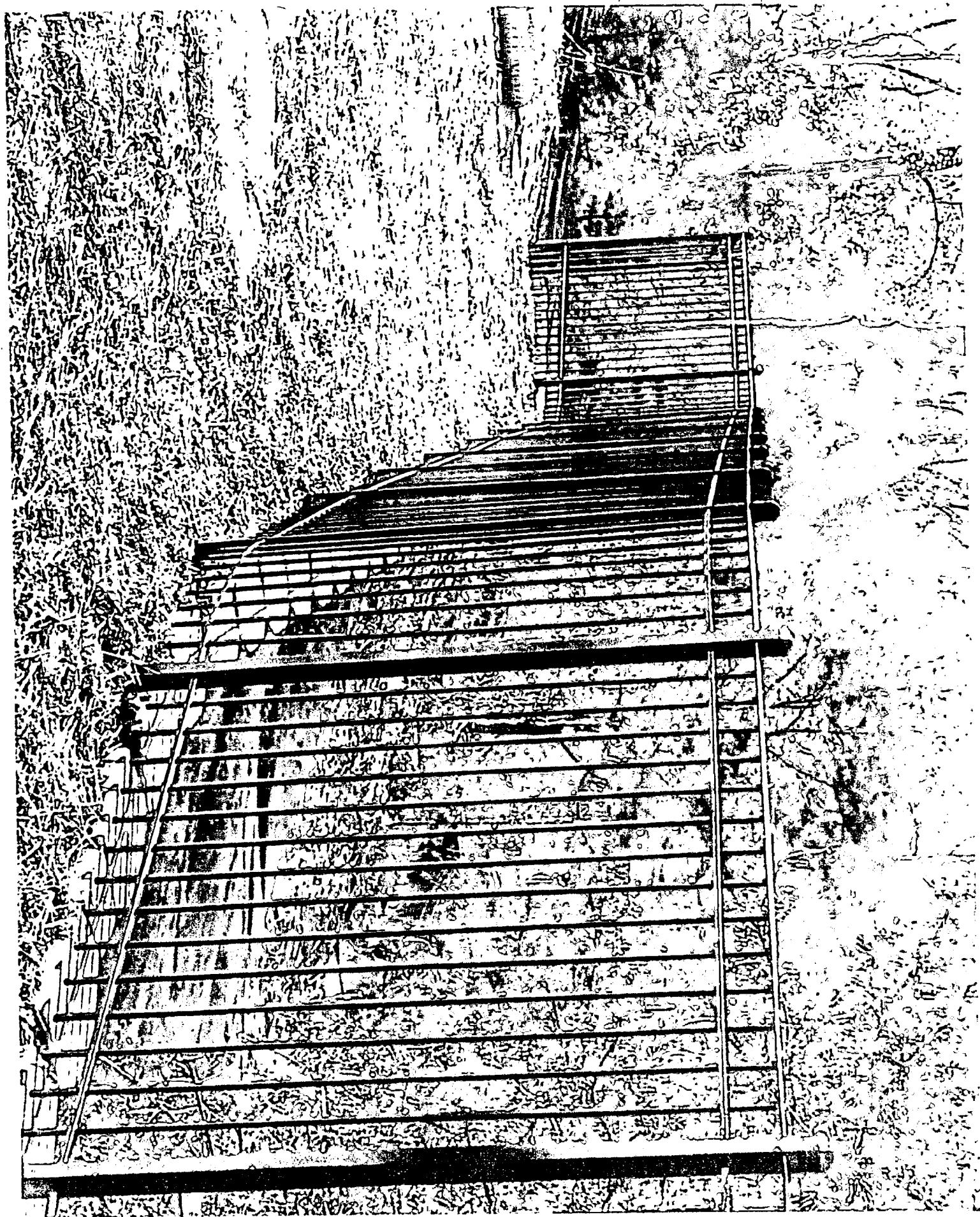
All photographs attached.

Tree Survey

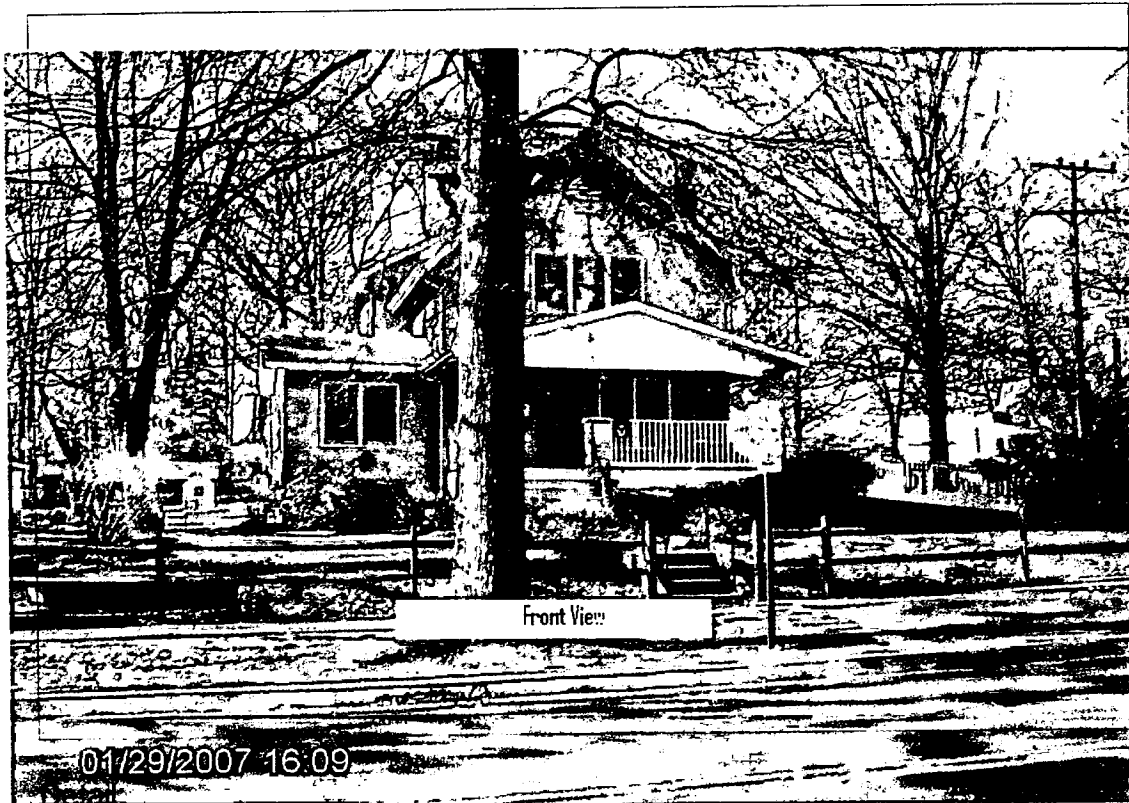
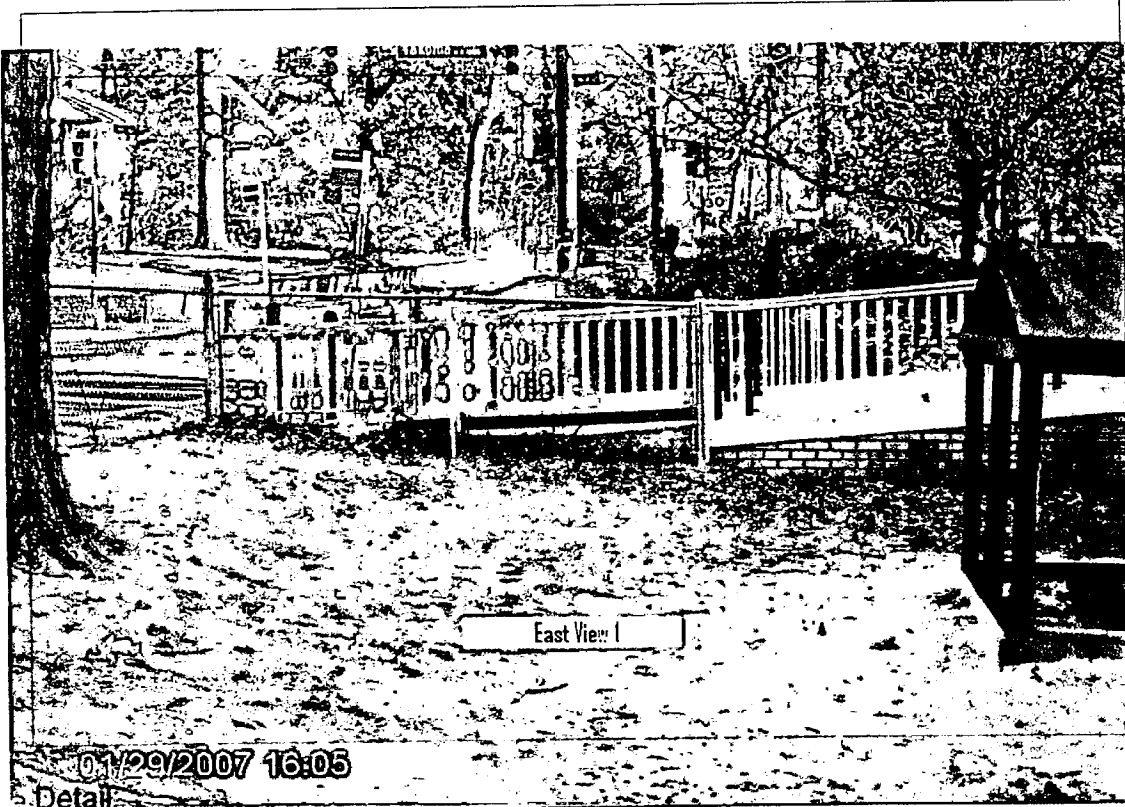
A single Sweet gum tree growing along the existing fence line was removed last summer. The tree had compromised the fence fabric creating a safety hazard for the children within the fenced-in yard. One child did escape the yard and was found, unharmed, across Philadelphia Avenue. The College, after consultation with the Takoma Park city arborist, has agreed to replace the tree with one more suitable in terms of location and species. Further, in order to minimize root damage under tree drip lines, we agree to use post holes bored for the existing fence whenever possible.

Address of Adjacent and Confronting Property Owners

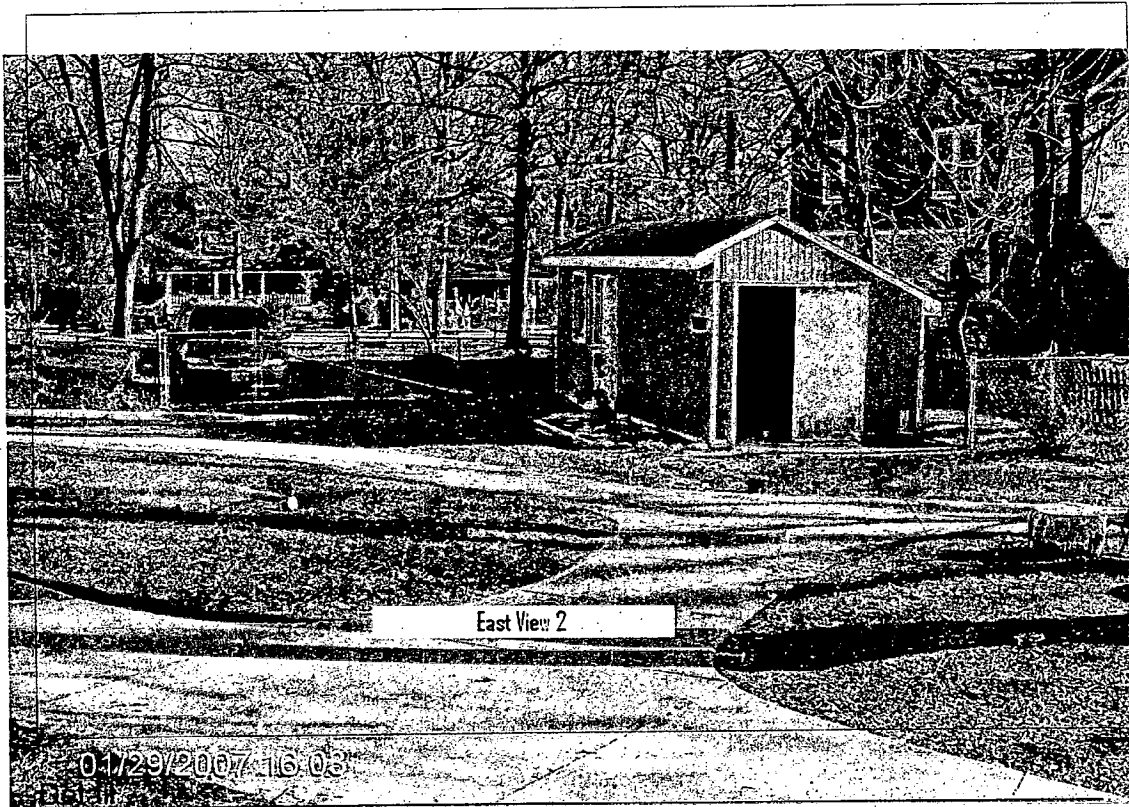
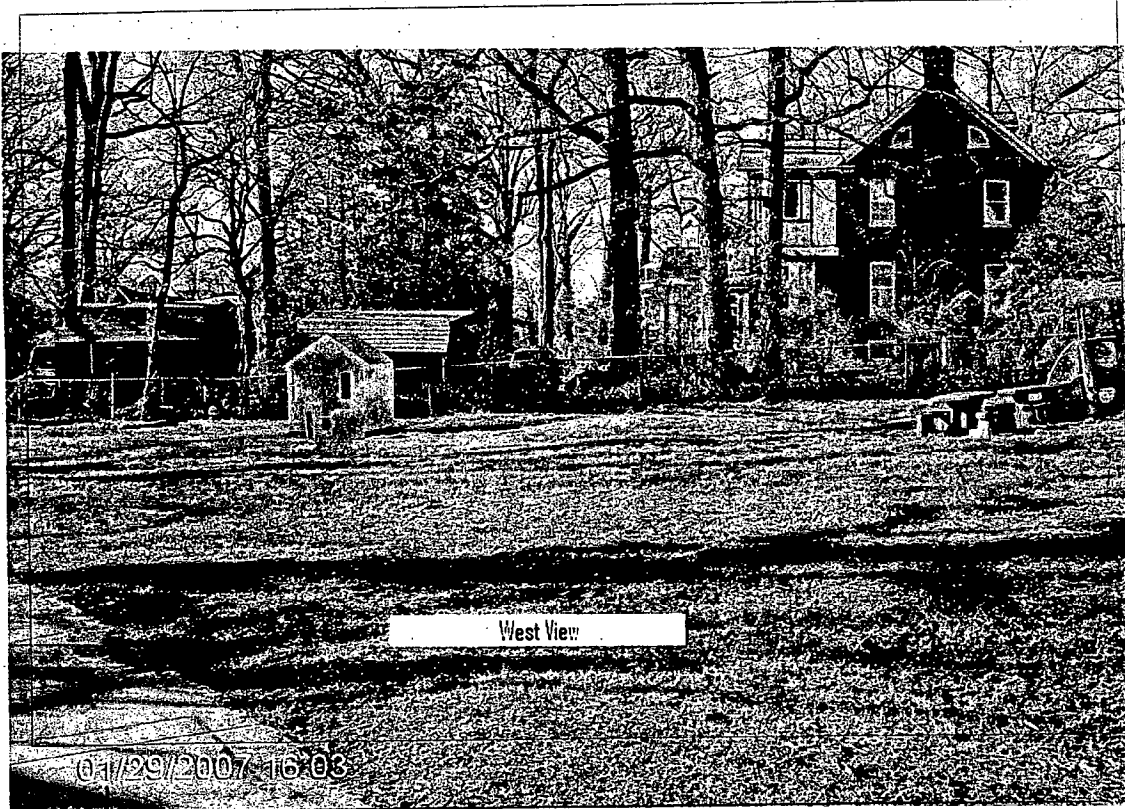
List attached.

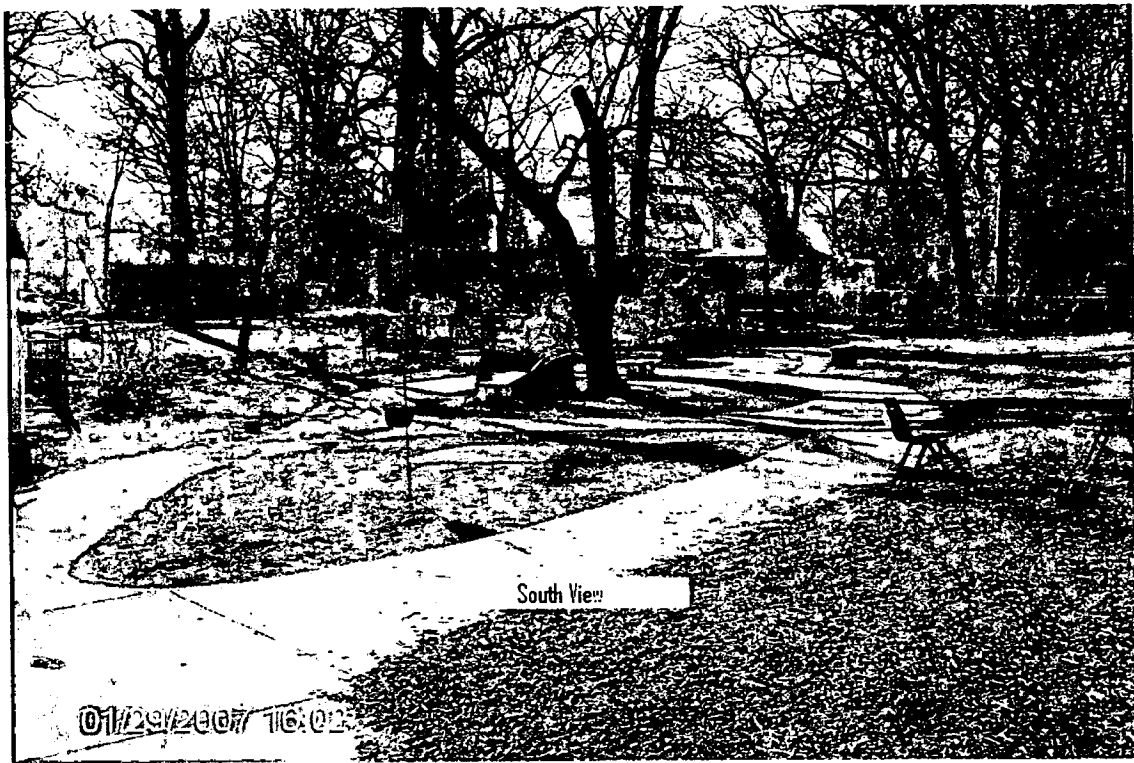
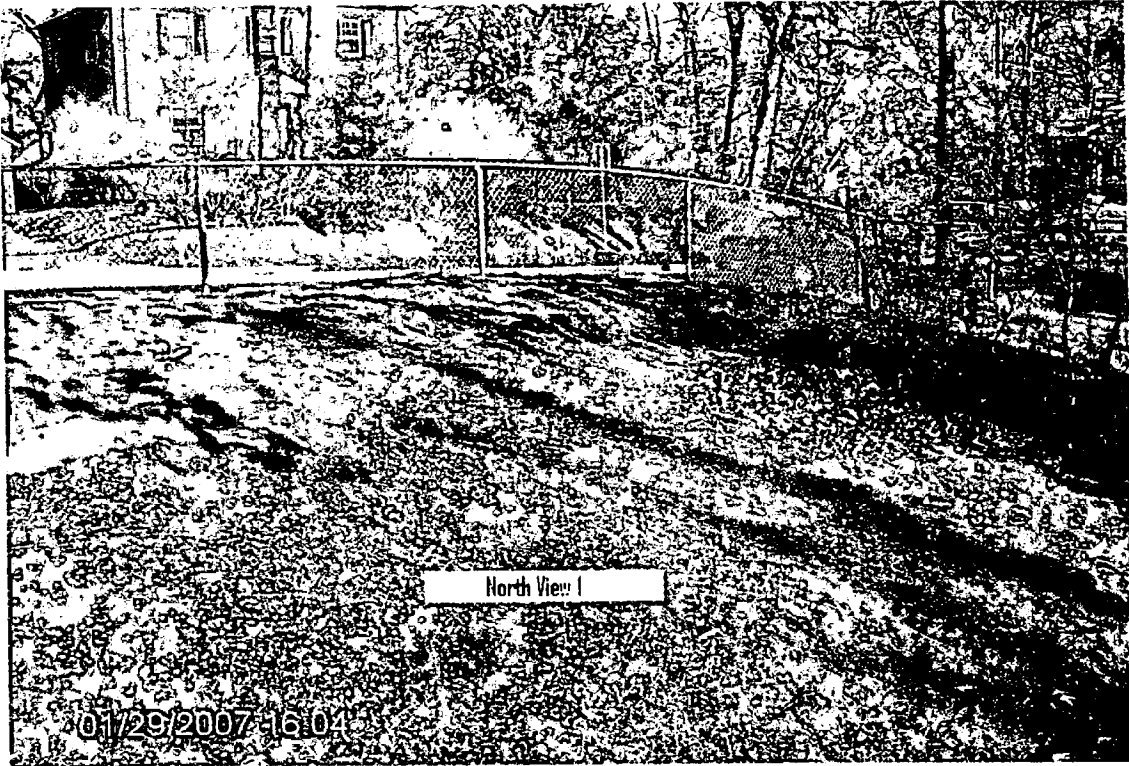


Existing Property Condition Photographs (duplicate as needed)



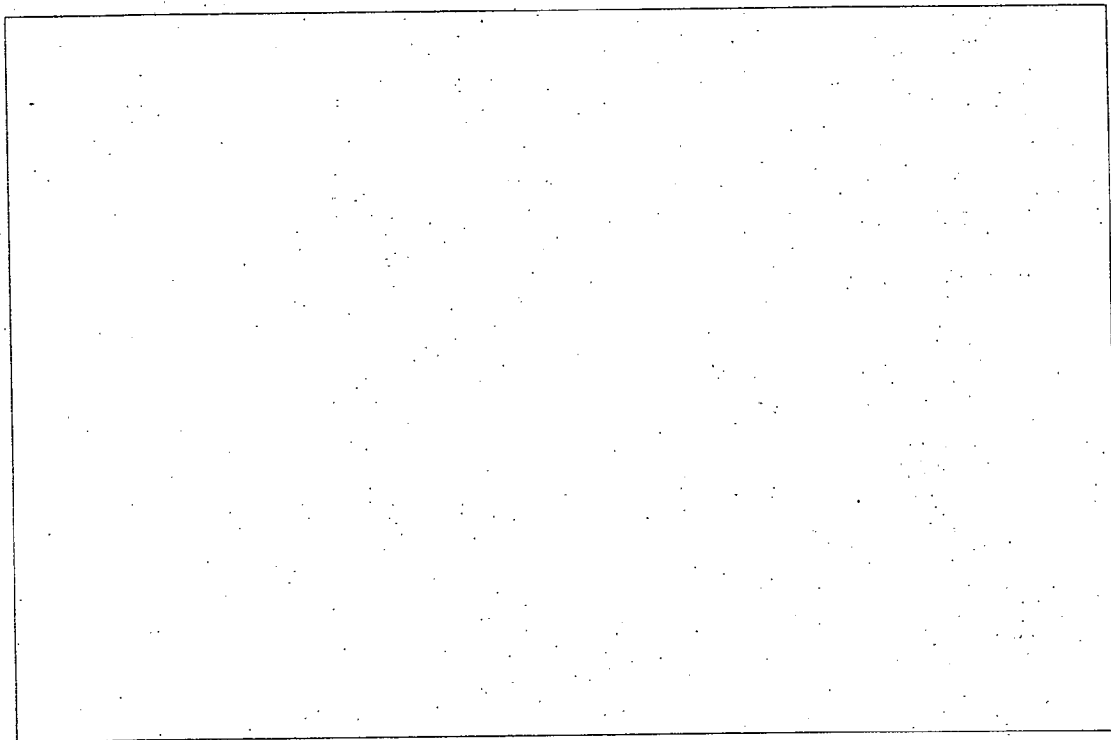
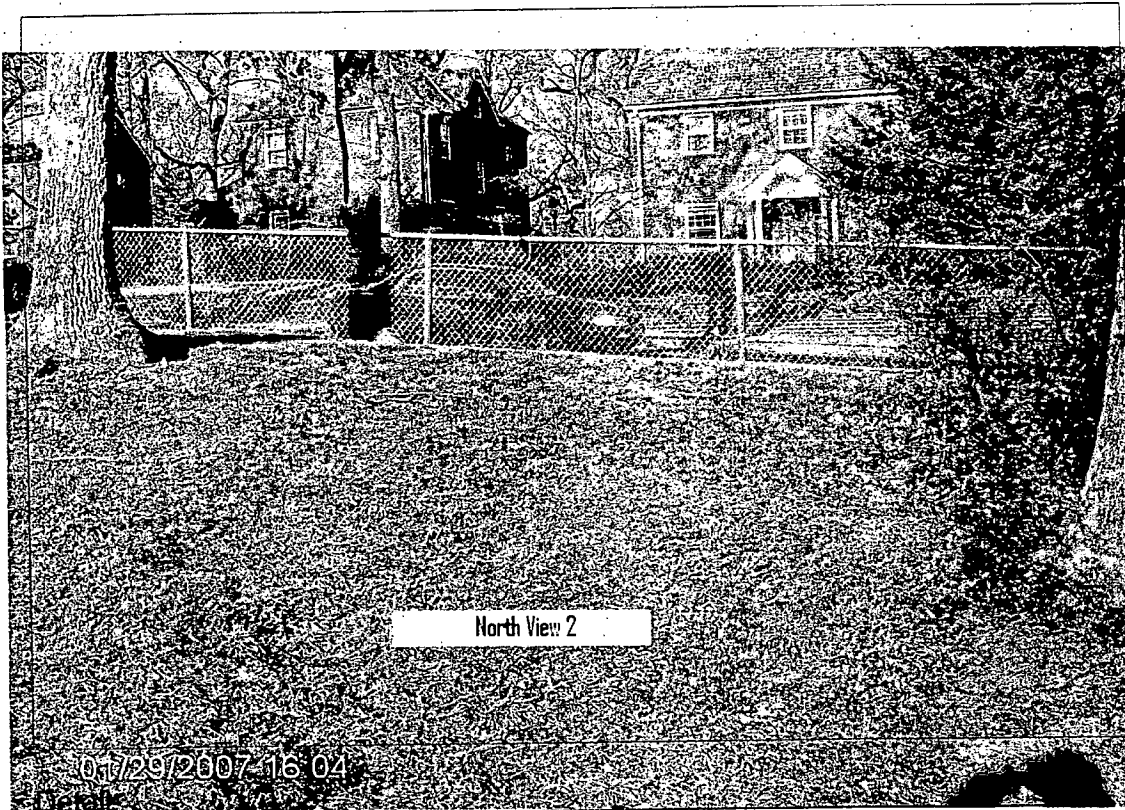
Existing Property Condition Photographs (duplicate as needed)





MC-TE/SS

Existing Property Condition Photographs (duplicate as needed)



Detail: _____

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address
7600 Takoma Avenue
Takoma Park, MD 20912

Owner's Agent's mailing address
7600 Takoma Avenue
Takoma Park, MD 20912

Adjacent and confronting Property Owners mailing addresses

601 Philadelphia Avenue
Takoma Park, MD 20912

608 Philadelphia Avenue
Takoma Park, MD 20912

7710 Takoma Avenue
Takoma Park, MD 20912

7715 Takoma Avenue
Takoma Park, MD 20912

RETROACTIVE
HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7714 Takoma Ave, Takoma Park	Meeting Date:	2/28/2007
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	2/21/2007
Applicant:	Montgomery College (Howard Stanley, Agent)	Public Notice:	2/14/2007
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-07G RETROACTIVE	Staff:	Tania Tully
PROPOSAL:	fence and tree replacement		
RECOMMENDATION:	Approve with Conditions		

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application with the following condition:

1. "Replacement trees shall be equal to or superior to the removed trees in terms of species quality, shade potential, and other characteristics. In the case of undesirable trees removed pursuant to Section 12-307(b)(1), the replacement tree shall be of superior species quality. Replacement trees shall be nursery stock trees with a minimum size of 1 ½ inches in caliper for deciduous trees, or 10 feet in height for evergreen trees and guaranteed for one (1) year." *(From Chapter 12, Trees and Vegetation, of Takoma Park Code)*

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the **Takoma Park Historic District**
STYLE: Cottage
DATE: c1940s

This two-story dwelling faces Takoma Avenue at the NW corner of Philadelphia Avenue. Used as a childcare center there is an access ramp extending from the north side of the front porch. The property (as seen on Circles 8 & 16) is comprised of two lots, with the rear lot having no structures. There is an existing chain link fence enclosing the rear yard and a portion of the side yard along Philadelphia Avenue. There is a scattering of large trees on the property.

HISTORIC CONTEXT

Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the second railroad suburb of Washington, platted ten years after Linden. The opening of streetcar lines led to the development of new subdivisions, expanding the Takoma Park community in the early-20th century.

Throughout much of the 19th century, the land was open farmland and vacation retreats for Washingtonians. A few houses from this period still exist. The Woodward House, 25 Holt Place, built c.1875-85, originally faced one of the oldest roads in the area, now known as Carroll Avenue. The house is reputed to have been the country residence of one of the Woodwards of Woodward & Lothrop's department store. The Douglas House (Mid-1800s) is a Greek Revival residence dating from the mid-1800s (see related individual site description in subsequent section).

Takoma Park was platted in 1883. Developer Benjamin Franklin Gilbert promoted the property for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma," meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment.

Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. Some of the earliest architect-designed houses in the county are in Takoma Park. Leon Dessez, later the Chevy Chase Land Company architect, designed the Cady-Lee House (1887), 7315 Piney Branch Road. These first houses were substantial residences with spacious settings. The lots were deep, typically 50 feet by 200-300 feet and had 40-foot setback requirements. Extensive numbers of these first houses remain, constructed between 1883 and 1900.

The earliest dwellings were built on Cedar Avenue (originally known as Oak Avenue), Maple Avenue, and Holly Avenue. The Veitenheimer House, 7211 Cedar Avenue, and the Thomas-Siegler House, 7119 Cedar Avenue, were built in 1884. The latter was the home of Isaac Thomas, the town's first storekeeper and postmaster. The Ida Summy House (c.1886), 7101 Cedar Avenue, is named for its first resident, credited with suggesting the name "Takoma" to Benjamin Gilbert over a game of cards. Dr. Bliss resided at 7116 Maple Avenue (1886) while up the street lived Ben Davis, Takoma Park mayor and town clerk, and his large family, at 7112 Cedar Avenue (c.1888). The Queen Anne-style Carroll House (1880s), 7700 Takoma Avenue, features a second-story solarium, three-story side tower, and ribbons of multi-pane windows.

Gilbert was more than just the developer of the community – he was a resident and civic leader. He built one of the first houses in the new community for himself and later became the town's first mayor. According to tradition, part of Gilbert's first cottage may still exist within the house at 106 Tulip Avenue. By 1886, Takoma Park had a post office and a new railroad station. Fifteen trains a day ran between Washington and Takoma Park to serve a population of 100.

By 1893, the town's population quadrupled. Four subdivisions had expanded the town, which was incorporated in 1890. Takoma Avenue, Pine Avenue, and Holly Avenue were among the streets to develop during this period. The house at 7211 Holly Avenue (c.1894-5) was the home of Garrett M. Davis, a clerk for the General Land Office who had been a member of the first town council in 1890. The house at 7700 Takoma Avenue (1896) was formerly used as a dormitory for the adjacent Bliss Electrical School, established in 1894 (present site of Montgomery College).

The first multi-family buildings in Montgomery County were built in Takoma Park. The earliest documented multi-family dwelling is the Ford House at 7137-39 Maple Avenue. Brothers Byron and Seth Ford built this large, elaborate, frame double-house in 1885 for their families. The next multi-family dwellings to be built in the county were not constructed until 1907. They are found at 7102-04, 7106-08 Maple Avenue, and 7103-05 Cedar Avenue. Other early apartment buildings are found at 7012-26 Carroll Avenue.

The start of streetcar service along Carroll Avenue in 1897, operated by the Baltimore and Washington Transit Company, made the adjacent areas more attractive for residential development, leading to new subdivisions. This line, supplemented in 1910 by the Washington and Maryland line (1910-27), led to the creation of eight additional subdivisions extending out from the trolley lines. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. Among the streets, which developed during

the 1910s and 1920s in response to the establishment of streetcar lines are Willow, Park, Philadelphia, and Carroll Avenues.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building materials and structural elements for ornamentation. Similarly, they reflect a social trend towards a more informal, unpretentious style of living. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established – detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Willow, Park, Philadelphia, and Westmoreland Avenues.

Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era. Advertisements from 1914 for bungalows on Willow Avenue promoted their accessibility – just "three minutes to car line" – and individuality – "no two are alike in design." At least fifteen models of Sears kit houses have been identified in the proposed historic district, including the turreted 7303 Takoma Avenue.

In addition to increased accessibility to Washington, another factor played an important role in bringing new residents to Takoma Park. Seventh Day Adventists chose the town for their national headquarters in 1904. By 1916, it was estimated that one-third of Takoma Park's residents were associated with the church.

After the turn of the century, community services including schools and libraries began to blossom. The Seventh Day Adventist Elementary School, at 8 Columbia Avenue, was built in 1905-6. The building was used by the City of Takoma Park as a municipal building and police station before it was converted to a residence. The town's first public library was established in 1935 under the direction of the Takoma Park Women's Club, in a donated house at 308 Lincoln Avenue (formerly 5 Jackson Avenue). By 1937, the library moved to the more spacious house at 8 Sherman Avenue (1928), where it remained for nearly two decades. In later years, this building was used to house the City's Recreation Department and health clinic. The house at 11 Pine Avenue (1902) was the Adventist's Columbia Union College Library. In later years the building was used for a speakeasy (bar and pool hall) before being converted back to a residence.

Takoma Park's commercial areas known as Old Town and Takoma Junction retain much of their early 20th century character. Most of the buildings are 1-2 story brick structures with simple detailing. Particularly noteworthy examples are the Park Pharmacy building prominently located at the intersection of Laurel and Carroll and the commercial building at 7000 Carroll Avenue which exemplifies the Art Deco period with its zigzag motif cornice and polygonal light fixtures. The Sovran Bank building at Carroll and Willow (originally the Suburban Trust) is a distinguished example of Beaux Arts design. The charming Tudor Revival character of the building at 7060 Carroll Avenue, historically known as the Glickman Service Station, is a familiar neighborhood landmark still in use servicing cars.

Located in the district are two churches, both Gothic Revival in derivation: the granite Takoma Park Presbyterian Church of 1923 and the Seventh Day Adventist Church at Eastern and Laurel. Built in 1953, the Adventist Church is an outstanding resource for its connection with the Adventists who were a major factor in shaping the community's growth when its headquarters were moved from Battle Creek, Michigan in 1907.

Takoma Park continues to thrive today, with a population of 20,000. Though the train no longer stops there, the town's close relationship with mass transportation continues. The Metro enables residents to continue the tradition, started with the railroad and extended with the streetcars, of living in the suburbs and commuting to the District using mass transit. Two sections of the Montgomery County portion of Takoma Park have been listed on the National Register of Historic Places as the Takoma Park Historic District since 1976.

PROPOSAL:

Replace chain link fence with black metal fence.
Retroactive tree removal.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Non-Contributing/Out-of-Period Resources should receive the most lenient level of design review. Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair character of the district as a whole.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation

STAFF DISCUSSION

Staff recommends approval of the replacement fence. As seen in the example on Circle 10, the metal fence is a simple and open design. It will serve of the purpose of containing children and discouraging climbing and it will not impair the character of the historic district. The applicant is working with Takoma Park to insure minimal impact during construction. Six-foot high fences are regularly approved in rear yards in Takoma Park. A small portion of the fence is beyond the rear plane of the house. Staff recommends allowing the higher fence because it is a replacement fence, because of the design of the proposed new fence, and because of the safety needs of the childcare center.

In the summer of 2006, a multi-trunk Sweet Gum tree was removed without a HAWP. The tree roots had compromised the fence. A local advisory group disputes the number of trees removed, but Staff has no photographs prior to the removal to support either claim. The applicant has an agreement (currently only verbal) with the Takoma Park Arborist to plant a replacement tree elsewhere on the property. Staff recommends approval conditioned on the applicant complying with the City of Takoma Park Tree Ordinance.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
246-777-6370

DPS - #8

T
444837

**HISTORIC PRESERVATION COMMISSION
301/563-3400**

**APPLICATION FOR
HISTORIC AREA WORK PERMIT**

Contact Person: Howard Stanley
Daytime Phone No.: 301-650-1565
Tax Account No.: 520891845
Name of Property Owner: Montgomery College Daytime Phone No.: 301 650 1565
Address: 7600 Takoma Avenue, Takoma Park Maryland 20912
Street Number City Street Zip Code
Contractor: Action Fabricators Phone No.: 301-322-7600
Contractor Registration No.: MD # 39844
Agent for Owner: Howard Stanley Daytime Phone No.: 301-650-1565

LOCATION OF BUILDING/PREMISE

House Number: 7714 Street: Takoma Avenue
Town/City: Takoma Park Nearest Cross Street: Philadelphia Aye
Lot: 13 Block: 69 Subdivision: TP&T Companies subdivision of TP
Liber: 4448 Folio: 49 Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:
 Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
 Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
 Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____
1B. Construction cost estimate: \$26,910
1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6 feet 0 inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Stanley Signature of owner or authorized agent
2/7/07 Date

Approved: _____ For Chairperson, Historic Preservation Commission
Disapproved: _____ Signature: _____ Date: _____
Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

6

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Chain link fence surrounding back yard of two story residence used as College Day Care
Center. Fence is in disrepair and of no apparent historical significance. In its current
condition the existing fence does not deter the children in the center from wandering into
Philadelphia or Takoma Avenues. The new fence will be a security and visual improvement.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

When completed, this project will replace a dilapidated chain link fence with a wrought iron
fence that compliments both the immediate surroundings and the neighborhood in general.
Most people would agree that basic wrought iron construction is aesthetically more appealing
than chain link.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

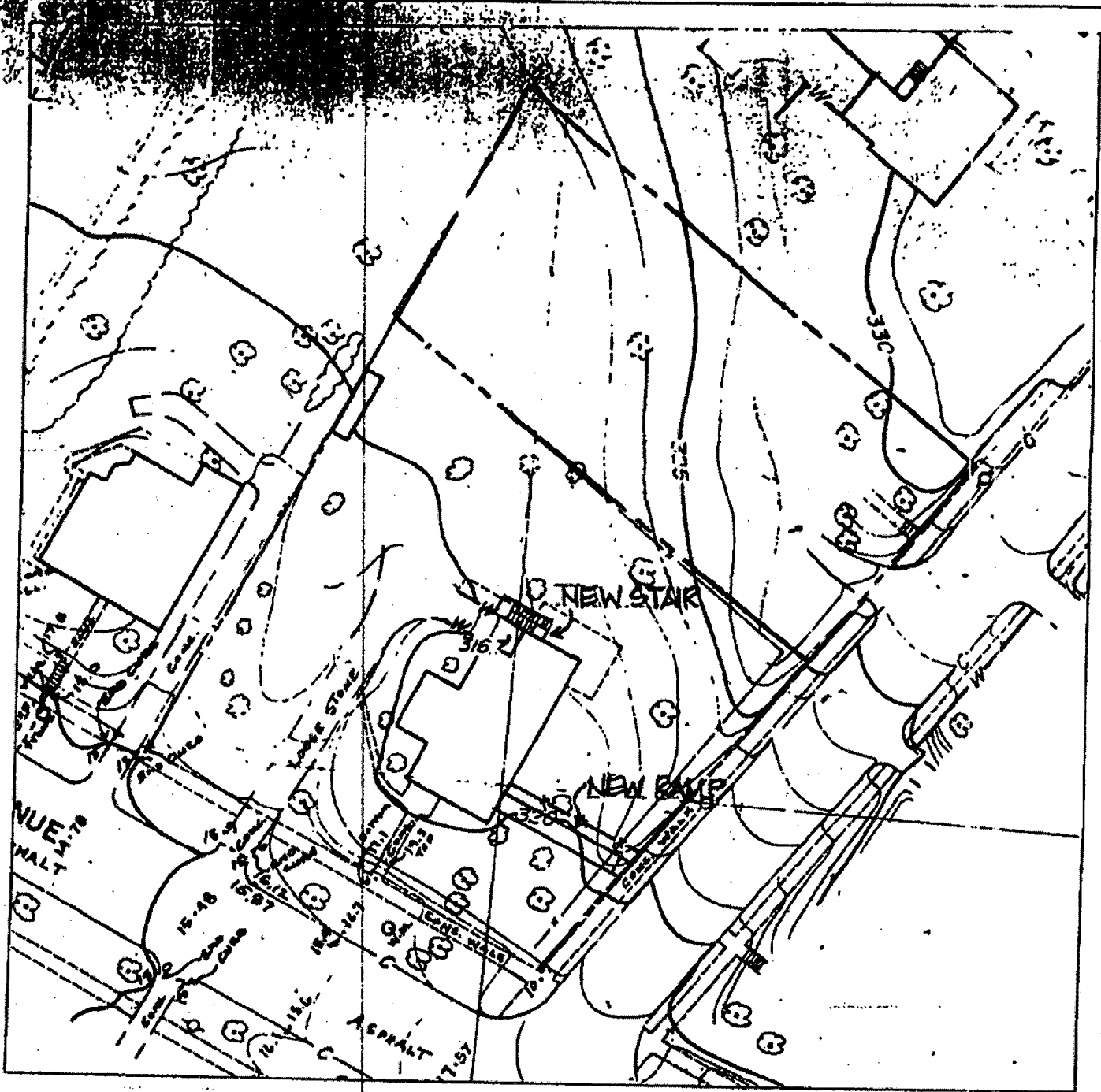
6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

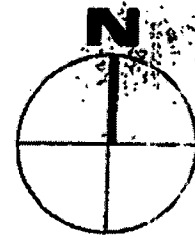


SITE PLAN

Scale: 1" = 40'

Montgomery College Takoma Park Campus
 Child Care Center
 Lead Abatement & Renovation

7714 Takoma Avenue, Takoma Park, MD 20912



Materials Specifications

All pickets shall be 5/8" square solid steel spaced not to exceed 5" and welded to 1 1/2" x 1/2" x 1/8" steel channels. All welds shall be from the unexposed underside of the machine punched channels. All posts shall be 1 1/2" square tubular steel, post spacing not to exceed 6'6". All posts shall be set in 30" of solid concrete with welded drive anchors for additional support. All posts shall have decorative post caps. Pedestrian and double drive gate frames shall be 2" square tubular steel. Both gates shall hinge on ball bearing hinges and be equipped with a locking mechanism to accommodate a padlock. Total fabrication and installation to be of welded construction. New materials shall be black iron semi-gloss dip painted with 100% enamel paint. (See photo)

Plans and Elevations

Not required for fence replacement

Photographs

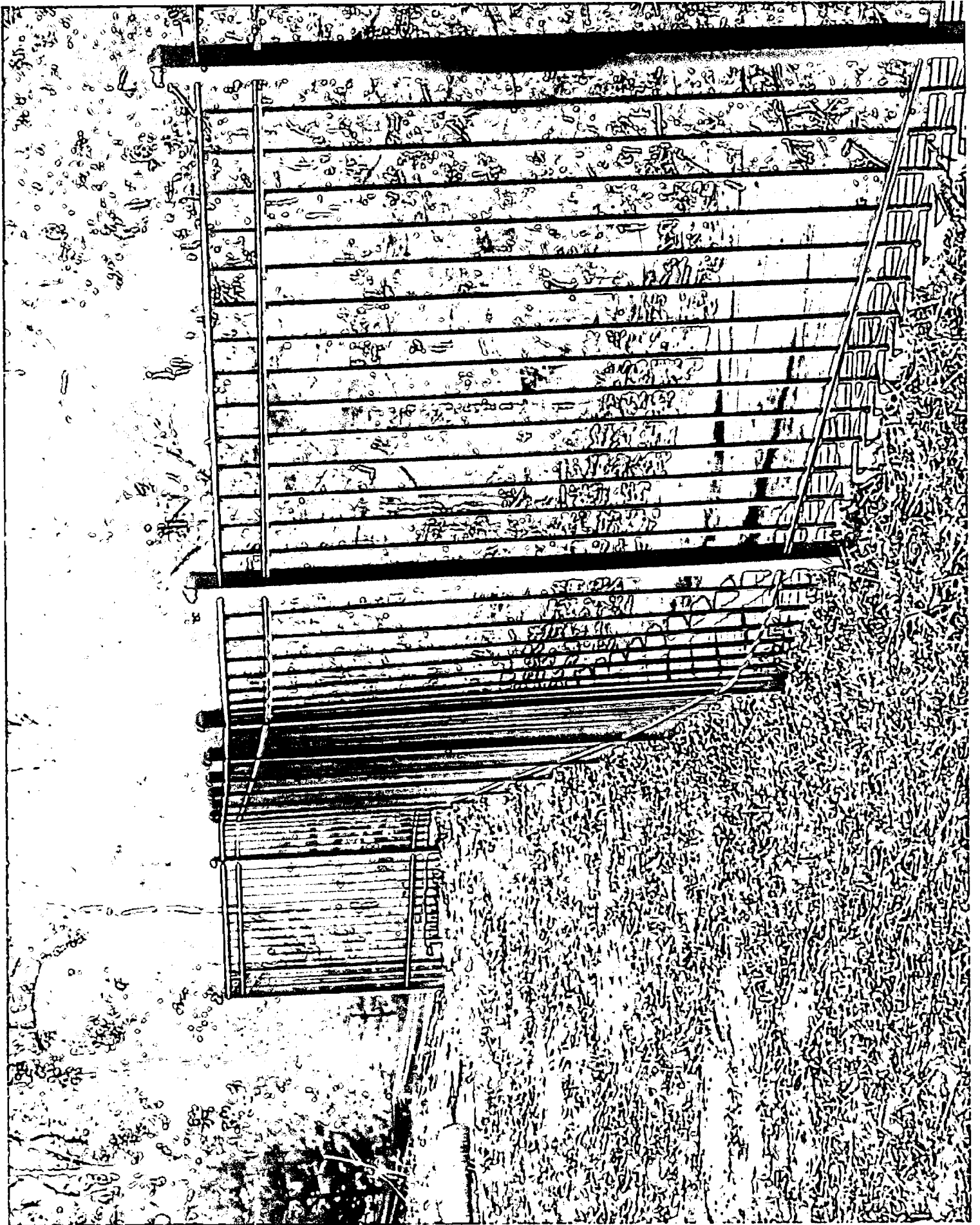
All photographs attached.

Tree Survey

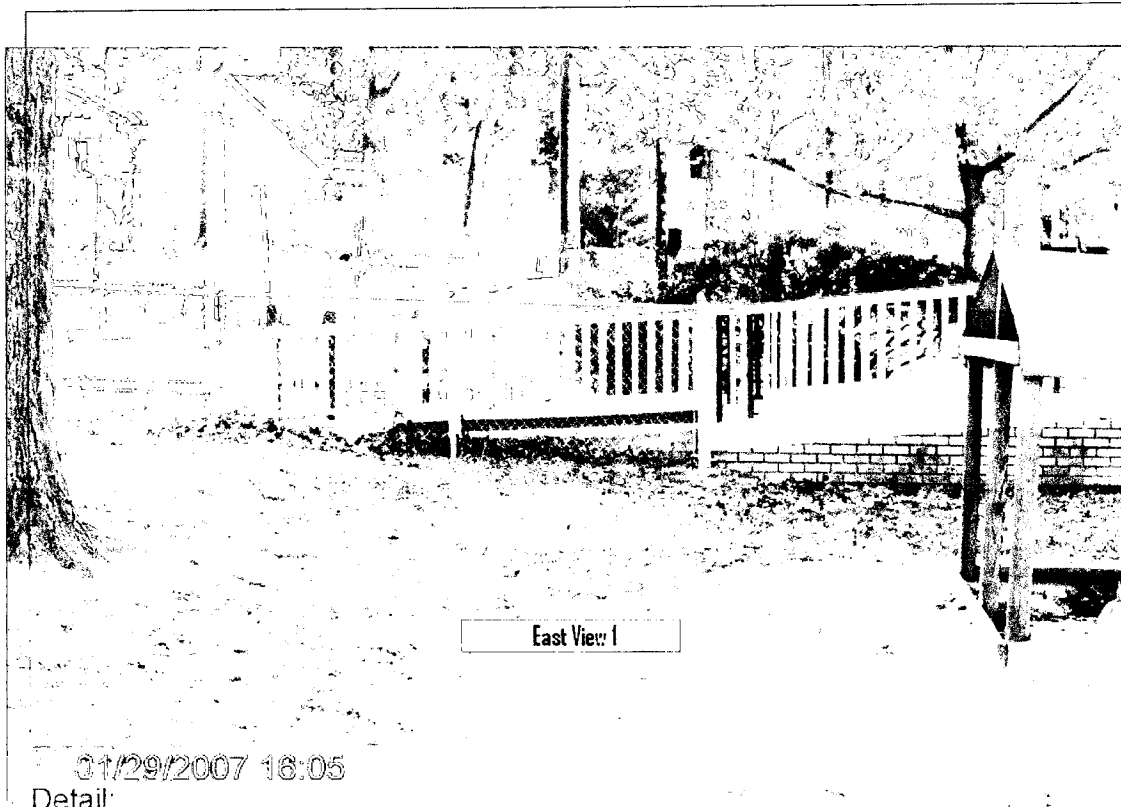
A single Sweet gum tree growing along the existing fence line was removed last summer. The tree had compromised the fence fabric creating a safety hazard for the children within the fenced-in yard. One child did escape the yard and was found, unharmed, across Philadelphia Avenue. The College, after consultation with the Takoma Park city arborist, has agreed to replace the tree with one more suitable in terms of location and species. Further, in order to minimize root damage under tree drip lines, we agree to use post holes bored for the existing fence whenever possible.

Address of Adjacent and Confronting Property Owners

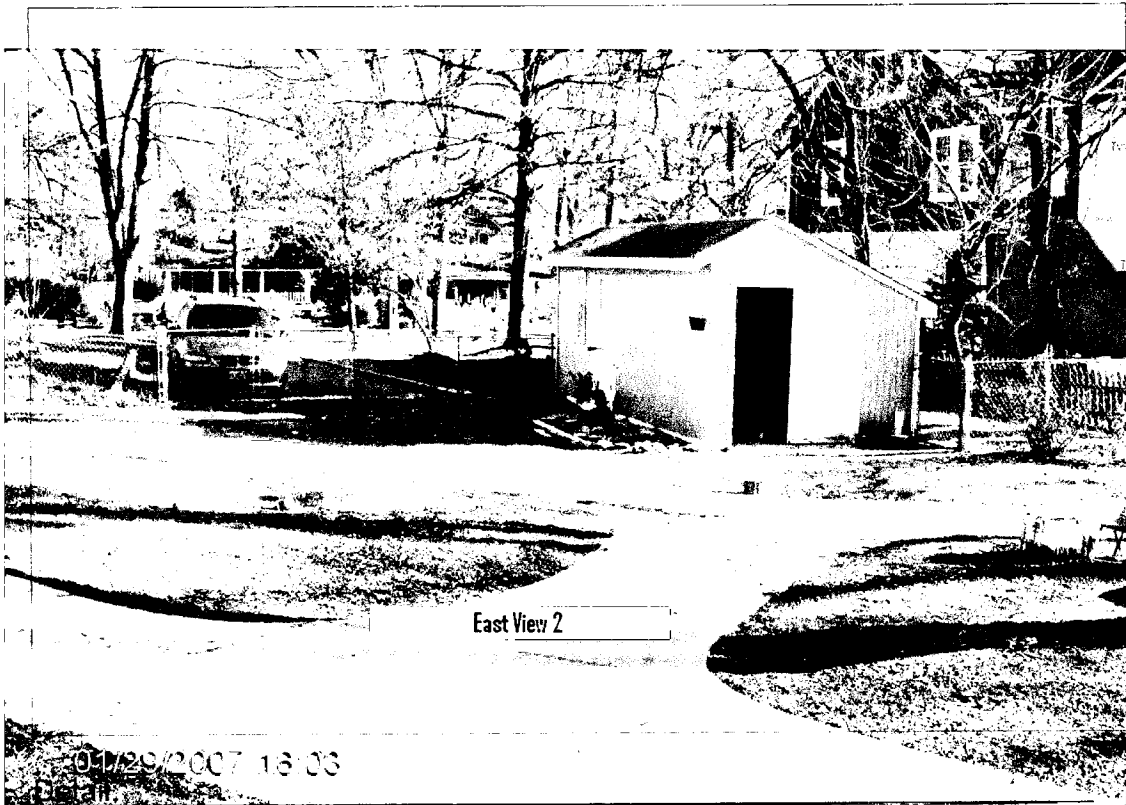
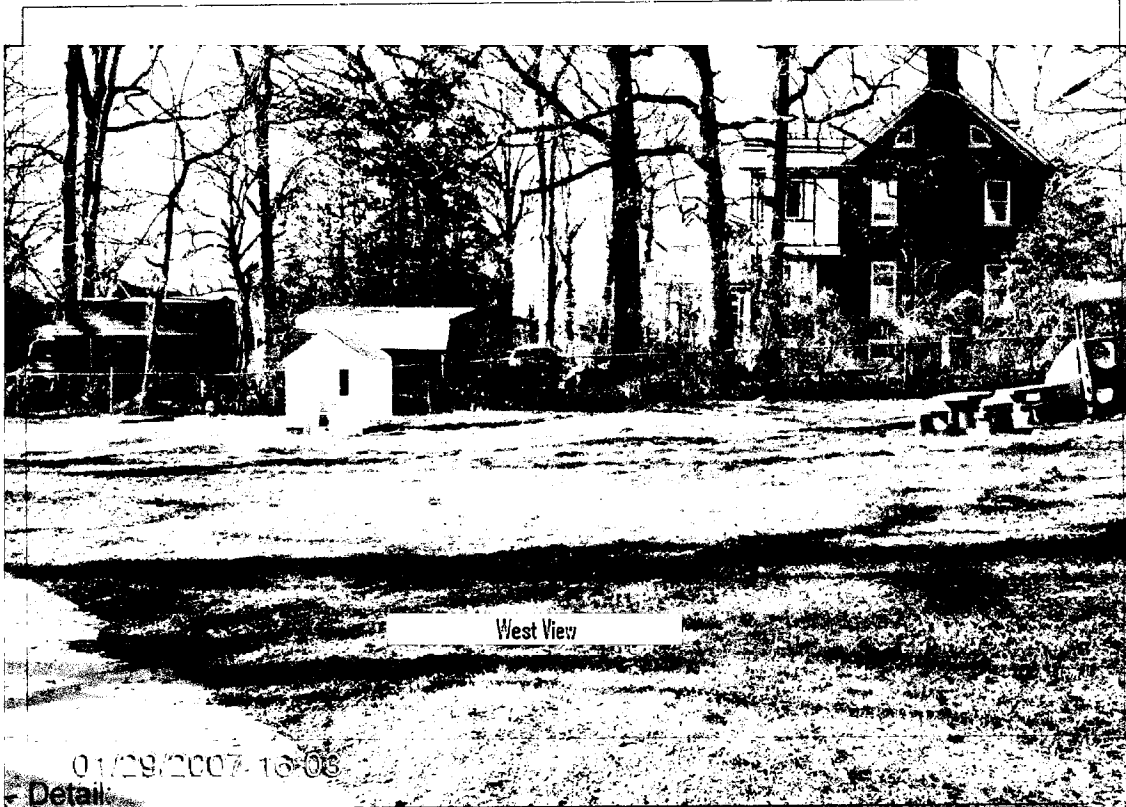
List attached.

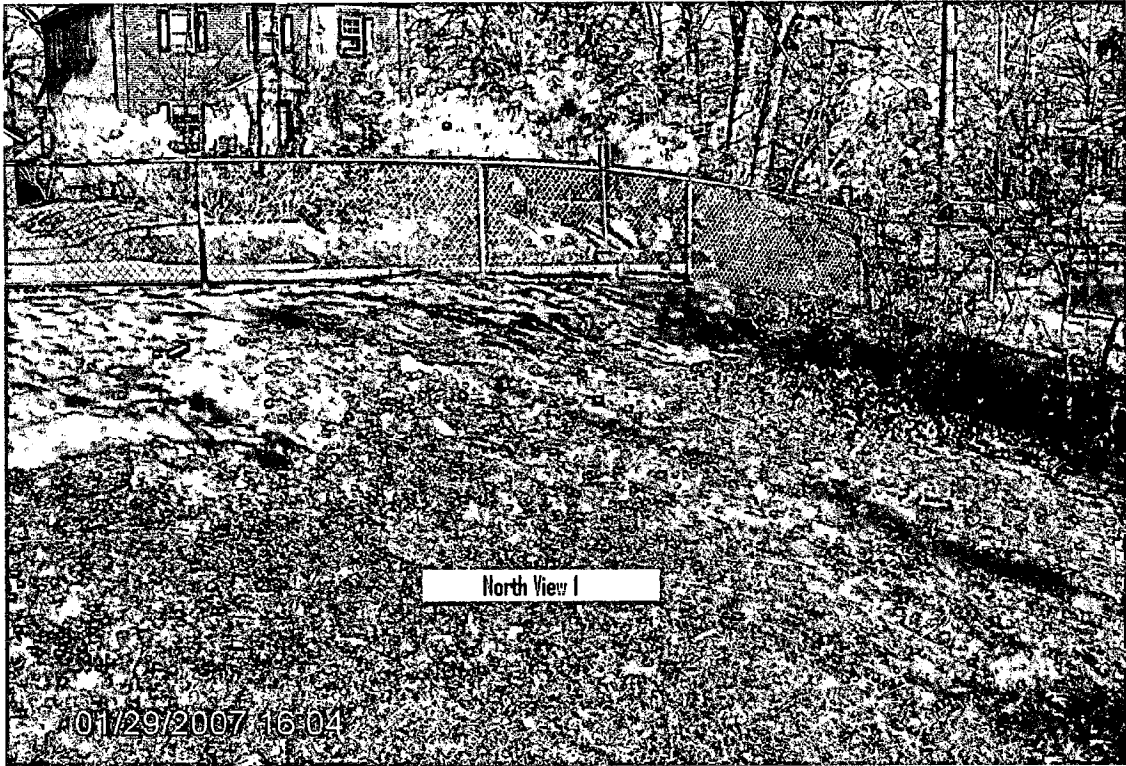


Existing Property Condition Photographs (duplicate as needed)



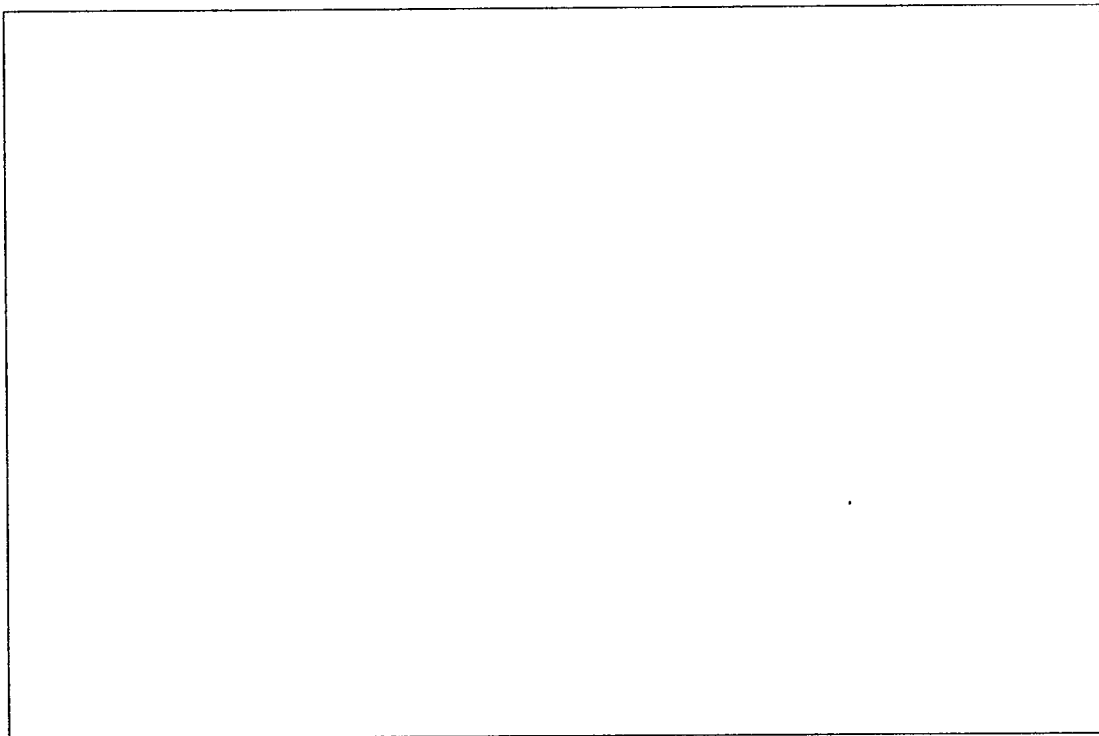
Existing Property Condition Photographs (duplicate as needed)





MC-TB/SS

Existing Property Condition Photographs (duplicate as needed)



Detail: _____

Applicant: MC-TP/SS

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 7600 Takoma Avenue Takoma Park, MD 20912	Owner's Agent's mailing address 7600 Takoma Avenue Takoma Park, MD 20912
Adjacent and confronting Property Owners mailing addresses	
601 Philadelphia Avenue Takoma Park, MD 20912	608 Philadelphia Avenue Takoma Park, MD 20912
7710 Takoma Avenue Takoma Park, MD 20912	7715 Takoma Avenue Takoma Park, MD 20912

7714 TAKOMA AVENUE

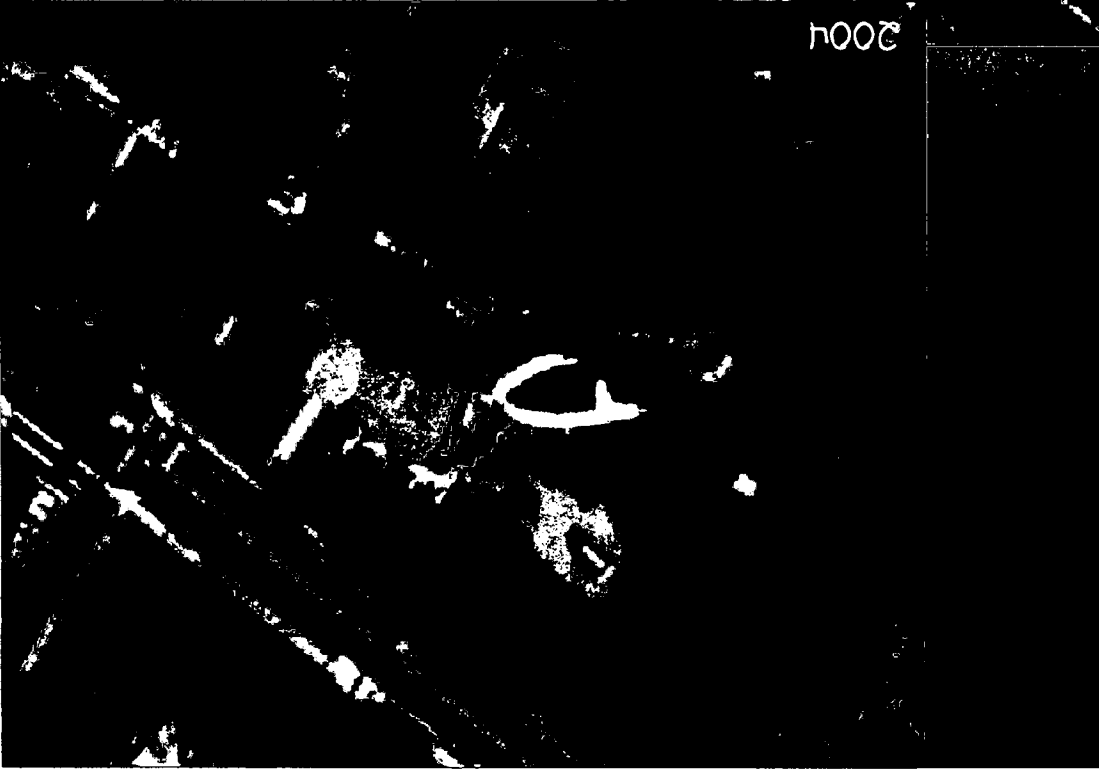
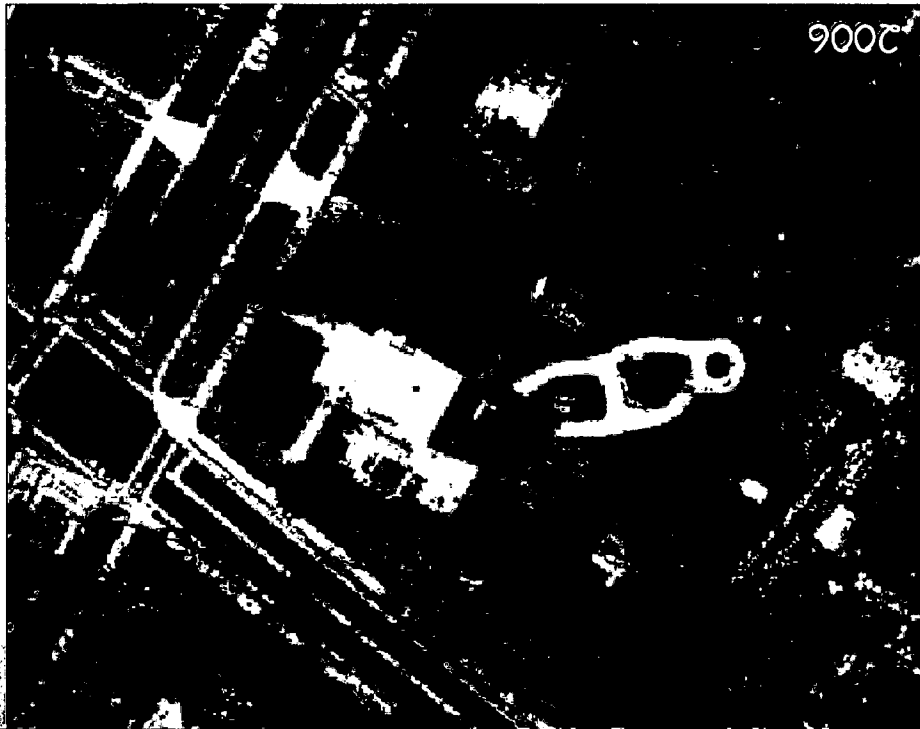


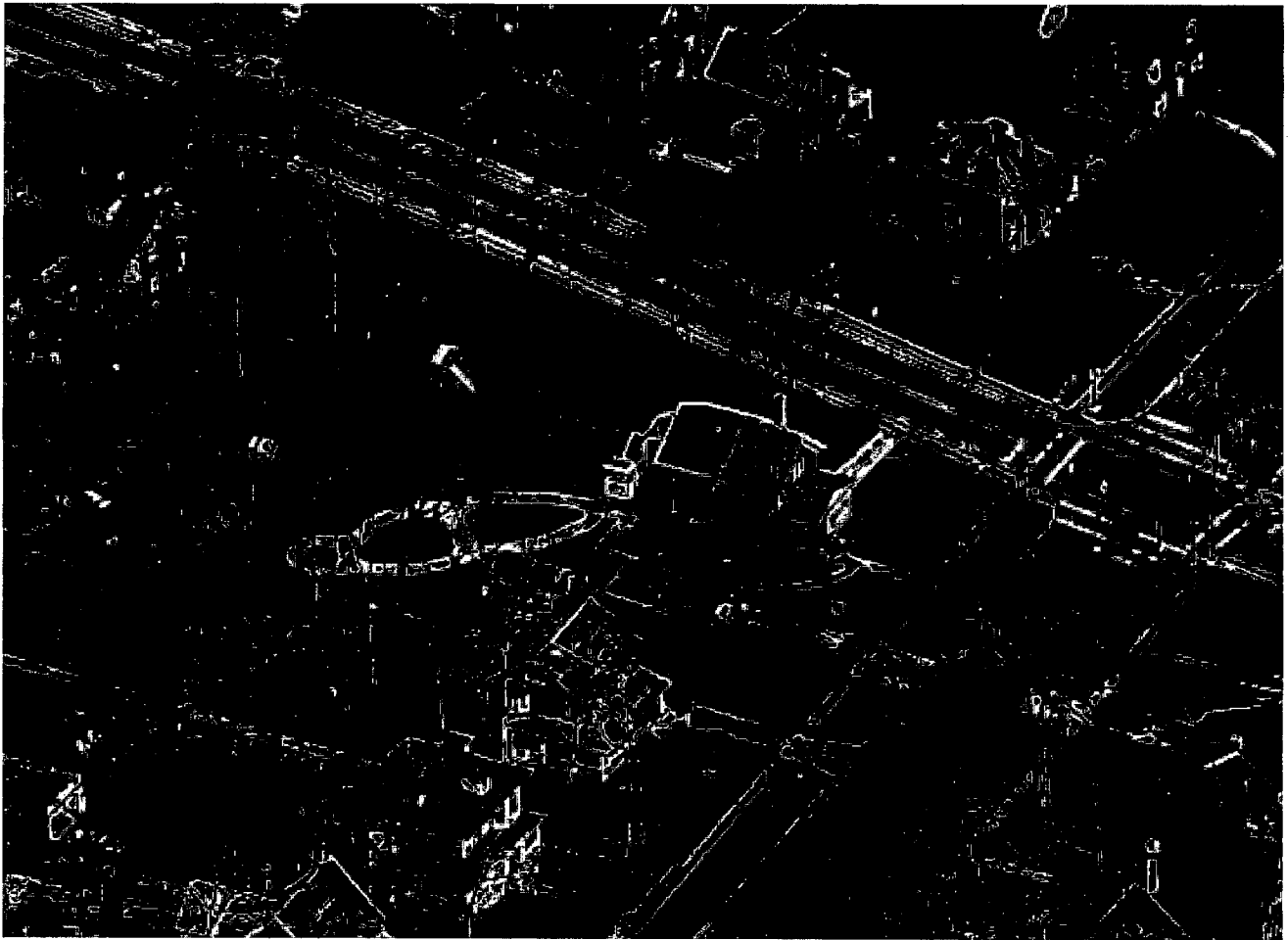
Notice:
The planimetric, property, and topographic information shown on this map is based on copyrighted Map Products from Montgomery County Department of Park and Planning of the Maryland-National Capital Park and Planning Commission, and may not be copied or reproduced without permission from M-NCPPC. Property lines are compiled by adjusting the property lines to topography created from aerial photography and should not be interpreted as actual field surveys. Planimetric features were compiled from 1:14400 scale aerial photography using stereo photogrammetric methods. This map is created from a variety of data sources, and may not reflect the most current conditions in any one location and may not be completely accurate or up to date. All map features are approximately within five feet of their true location. This map may not be the same as a map of the same area plotted at an earlier time as the data is continuously updated. Use of this map, other than for general planning purposes is not recommended.
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Casual User Application

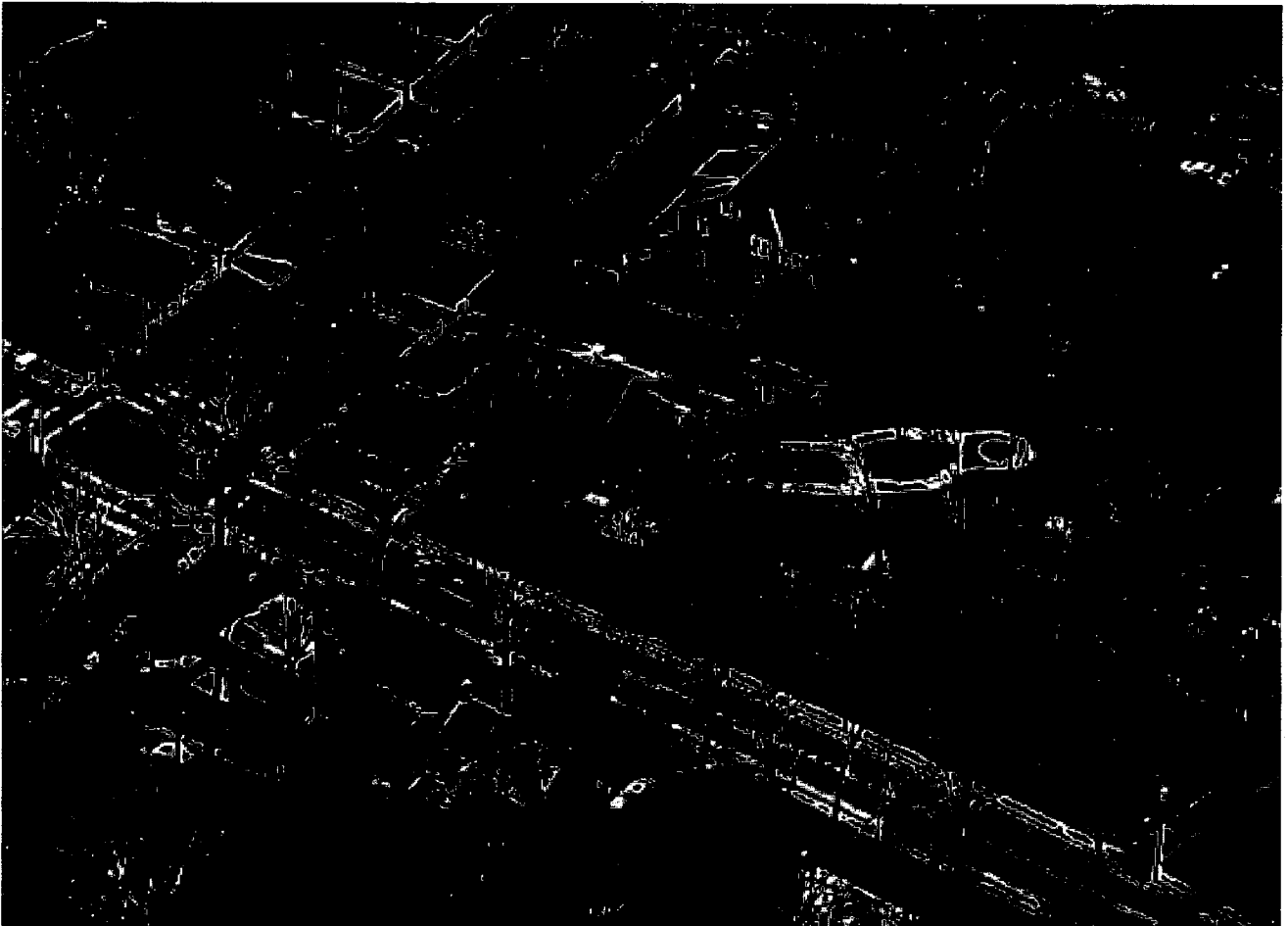


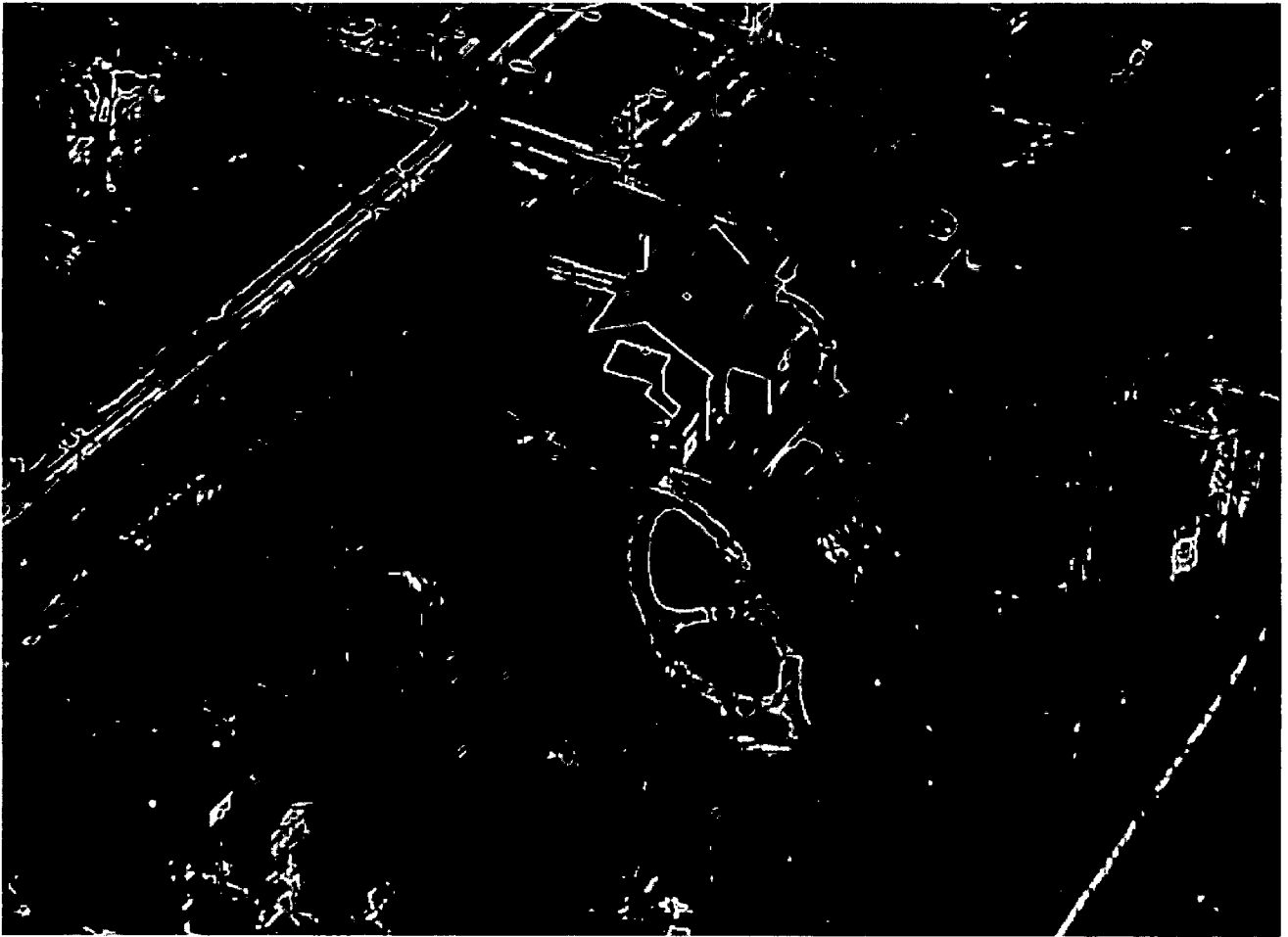
MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue - Silver Spring, Maryland 20910-3760



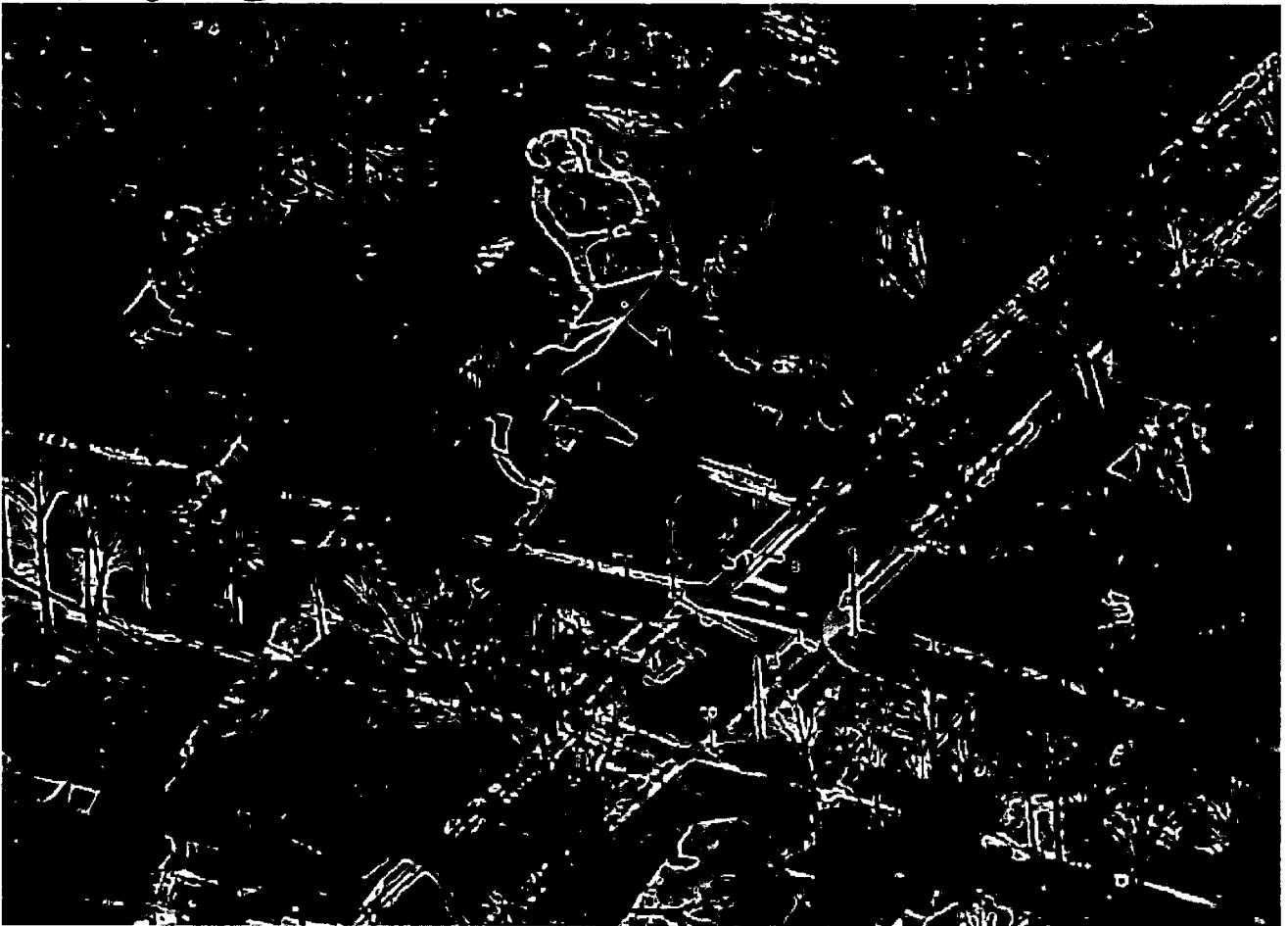


all 2003





911 2003



RETROACTIVE
HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:	7714 Takoma Ave, Takoma Park	Meeting Date:	2/28/2007
Resource:	Non-Contributing Resource Takoma Park Historic District	Report Date:	2/21/2007
Applicant:	Montgomery College (Howard Stanley, Agent)	Public Notice:	2/14/2007
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-07G RETROACTIVE	Staff:	Tania Tully
PROPOSAL:	fence and tree replacement		
RECOMMENDATION:	Approve with Conditions		

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application with the following condition:

1. "Replacement trees shall be equal to or superior to the removed trees in terms of species quality, shade potential, and other characteristics. In the case of undesirable trees removed pursuant to Section 12-307(b)(1), the replacement tree shall be of superior species quality. Replacement trees shall be nursery stock trees with a minimum size of 1 ½ inches in caliper for deciduous trees, or 10 feet in height for evergreen trees and guaranteed for one (1) year." *(From Chapter 12, Trees and Vegetation, of Takoma Park Code)*

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the **Takoma Park Historic District**
STYLE: Cottage
DATE: c1940s

This two-story dwelling faces Takoma Avenue at the NW corner of Philadelphia Avenue. Used as a childcare center there is an access ramp extending from the north side of the front porch. The property (as seen on Circles 8 & 16) is comprised of two lots, with the rear lot having no structures. There is an existing chain link fence enclosing the rear yard and a portion of the side yard along Philadelphia Avenue. There is a scattering of large trees on the property.

HISTORIC CONTEXT

Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the second railroad suburb of Washington, platted ten years after Linden. The opening of streetcar lines led to the development of new subdivisions, expanding the Takoma Park community in the early-20th century.

Throughout much of the 19th century, the land was open farmland and vacation retreats for Washingtonians. A few houses from this period still exist. The Woodward House, 25 Holt Place, built c.1875-85, originally faced one of the oldest roads in the area, now known as Carroll Avenue. The house is reputed to have been the country residence of one of the Woodwards of Woodward & Lothrop's department store. The Douglas House (Mid-1800s) is a Greek Revival residence dating from the mid-1800s (see related individual site description in subsequent section).

Takoma Park was platted in 1883. Developer Benjamin Franklin Gilbert promoted the property for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma," meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment.

Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. Some of the earliest architect-designed houses in the county are in Takoma Park. Leon Desez, later the Chevy Chase Land Company architect, designed the Cady-Lee House (1887), 7315 Piney Branch Road. These first houses were substantial residences with spacious settings. The lots were deep, typically 50 feet by 200-300 feet and had 40-foot setback requirements. Extensive numbers of these first houses remain, constructed between 1883 and 1900.

The earliest dwellings were built on Cedar Avenue (originally known as Oak Avenue), Maple Avenue, and Holly Avenue. The Veitenheimer House, 7211 Cedar Avenue, and the Thomas-Siegler House, 7119 Cedar Avenue, were built in 1884. The latter was the home of Isaac Thomas, the town's first storekeeper and postmaster. The Ida Summy House (c.1886), 7101 Cedar Avenue, is named for its first resident, credited with suggesting the name "Takoma" to Benjamin Gilbert over a game of cards. Dr. Bliss resided at 7116 Maple Avenue (1886) while up the street lived Ben Davis, Takoma Park mayor and town clerk, and his large family, at 7112 Cedar Avenue (c.1888). The Queen Anne-style Carroll House (1880s), 7700 Takoma Avenue, features a second-story solarium, three-story side tower, and ribbons of multi-pane windows.

Gilbert was more than just the developer of the community – he was a resident and civic leader. He built one of the first houses in the new community for himself and later became the town's first mayor. According to tradition, part of Gilbert's first cottage may still exist within the house at 106 Tulip Avenue. By 1886, Takoma Park had a post office and a new railroad station. Fifteen trains a day ran between Washington and Takoma Park to serve a population of 100.

By 1893, the town's population quadrupled. Four subdivisions had expanded the town, which was incorporated in 1890. Takoma Avenue, Pine Avenue, and Holly Avenue were among the streets to develop during this period. The house at 7211 Holly Avenue (c.1894-5) was the home of Garrett M. Davis, a clerk for the General Land Office who had been a member of the first town council in 1890. The house at 7700 Takoma Avenue (1896) was formerly used as a dormitory for the adjacent Bliss Electrical School, established in 1894 (present site of Montgomery College).

The first multi-family buildings in Montgomery County were built in Takoma Park. The earliest documented multi-family dwelling is the Ford House at 7137-39 Maple Avenue. Brothers Byron and Seth Ford built this large, elaborate, frame double-house in 1885 for their families. The next multi-family dwellings to be built in the county were not constructed until 1907. They are found at 7102-04, 7106-08 Maple Avenue, and 7103-05 Cedar Avenue. Other early apartment buildings are found at 7012-26 Carroll Avenue.

The start of streetcar service along Carroll Avenue in 1897, operated by the Baltimore and Washington Transit Company, made the adjacent areas more attractive for residential development, leading to new subdivisions. This line, supplemented in 1910 by the Washington and Maryland line (1910-27), led to the creation of eight additional subdivisions extending out from the trolley lines. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. Among the streets, which developed during

the 1910s and 1920s in response to the establishment of streetcar lines are Willow, Park, Philadelphia, and Carroll Avenues.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building materials and structural elements for ornamentation. Similarly, they reflect a social trend towards a more informal, unpretentious style of living. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established – detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Willow, Park, Philadelphia, and Westmoreland Avenues.

Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era. Advertisements from 1914 for bungalows on Willow Avenue promoted their accessibility – just "three minutes to car line" – and individuality – "no two are alike in design." At least fifteen models of Sears kit houses have been identified in the proposed historic district, including the turreted 7303 Takoma Avenue.

In addition to increased accessibility to Washington, another factor played an important role in bringing new residents to Takoma Park. Seventh Day Adventists chose the town for their national headquarters in 1904. By 1916, it was estimated that one-third of Takoma Park's residents were associated with the church.

After the turn of the century, community services including schools and libraries began to blossom. The Seventh Day Adventist Elementary School, at 8 Columbia Avenue, was built in 1905-6. The building was used by the City of Takoma Park as a municipal building and police station before it was converted to a residence. The town's first public library was established in 1935 under the direction of the Takoma Park Women's Club, in a donated house at 308 Lincoln Avenue (formerly 5 Jackson Avenue). By 1937, the library moved to the more spacious house at 8 Sherman Avenue (1928), where it remained for nearly two decades. In later years, this building was used to house the City's Recreation Department and health clinic. The house at 11 Pine Avenue (1902) was the Adventist's Columbia Union College Library. In later years the building was used for a speakeasy (bar and pool hall) before being converted back to a residence.

Takoma Park's commercial areas known as Old Town and Takoma Junction retain much of their early 20th century character. Most of the buildings are 1-2 story brick structures with simple detailing. Particularly noteworthy examples are the Park Pharmacy building prominently located at the intersection of Laurel and Carroll and the commercial building at 7000 Carroll Avenue which exemplifies the Art Deco period with its zigzag motif cornice and polygonal light fixtures. The Sovran Bank building at Carroll and Willow (originally the Suburban Trust) is a distinguished example of Beaux Arts design. The charming Tudor Revival character of the building at 7060 Carroll Avenue, historically known as the Glickman Service Station, is a familiar neighborhood landmark still in use servicing cars.

Located in the district are two churches, both Gothic Revival in derivation: the granite Takoma Park Presbyterian Church of 1923 and the Seventh Day Adventist Church at Eastern and Laurel. Built in 1953, the Adventist Church is an outstanding resource for its connection with the Adventists who were a major factor in shaping the community's growth when its headquarters were moved from Battle Creek, Michigan in 1907.

Takoma Park continues to thrive today, with a population of 20,000. Though the train no longer stops there, the town's close relationship with mass transportation continues. The Metro enables residents to continue the tradition, started with the railroad and extended with the streetcars, of living in the suburbs and commuting to the District using mass transit. Two sections of the Montgomery County portion of Takoma Park have been listed on the National Register of Historic Places as the Takoma Park Historic District since 1976.

PROPOSAL:

Replace chain link fence with black metal fence.
Retroactive tree removal.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District Guidelines

There are two very general, broad planning and design concepts which apply to all categories. These are:

The design review emphasis will be restricted to changes that are at all visible from the public right-of-way, irrespective of landscaping or vegetation (it is expected that the majority of new additions will be reviewed for their impact on the overall district), and,

The importance of assuring that additions and other changes to existing structures act to reinforce and continue existing streetscape, landscape, and building patterns rather than to impair the character of the district.

Non-Contributing/Out-of-Period Resources should receive the most lenient level of design review. Most alterations and additions to Non-Contributing/Out-of-Period Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of Non-Contributing/Out-of-Period Resources which affect the surrounding streetscape and/or landscape and could impair character of the district as a whole.

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.
- In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior's Standards for Rehabilitation

STAFF DISCUSSION

Staff recommends approval of the replacement fence. As seen in the example on Circle 10, the metal fence is a simple and open design. It will serve of the purpose of containing children and discouraging climbing and it will not impair the character of the historic district. The applicant is working with Takoma Park to insure minimal impact during construction. Six-foot high fences are regularly approved in rear yards in Takoma Park. A small portion of the fence is beyond the rear plane of the house. Staff recommends allowing the higher fence because it is a replacement fence, because of the design of the proposed new fence, and because of the safety needs of the childcare center.

In the summer of 2006, a multi-trunk Sweet Gum tree was removed without a HAWP. The tree roots had compromised the fence. A local advisory group disputes the number of trees removed, but Staff has no photographs prior to the removal to support either claim. The applicant has an agreement (currently only verbal) with the Takoma Park Arborist to plant a replacement tree elsewhere on the property. Staff recommends approval conditioned on the applicant complying with the City of Takoma Park Tree Ordinance.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1) & (2);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
246 777-6370

DPS - #8

444837

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Howard Stanley

Daytime Phone No.: 301-650-1565

Tax Account No.: 520891845

Name of Property Owner: Montgomery College Daytime Phone No.: 301 650 1565

Address: 7600 Takoma Avenue, Takoma Park Maryland 20912
Street Number City Street Zip Code

Contractor: Action Fabricators Phone No.: 301-322-7600

Contractor Registration No.: MD # 39844

Agent for Owner: Howard Stanley Daytime Phone No.: 301-650-1565

LOCATION OF BUILDING/PREMISE

House Number: 7714 Street: Takoma Avenue

Town/City: Takoma Park Nearest Cross Street: Philadelphia Ave

Lot: 13 Block: 69 Subdivision: TP&T Companies subdivision of TP

Liber: 4448 Folio: 49 Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$26,910

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Stanley
Signature of owner or authorized agent

2/7/07
Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

6

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Chain link fence surrounding back yard of two story residence used as College Day Care Center. Fence is in disrepair and of no apparent historical significance. In its current condition the existing fence does not deter the children in the center from wandering into Philadelphia or Takoma Avenues. The new fence will be a security and visual improvement.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

When completed, this project will replace a dilapidated chain link fence with a wrought iron fence that compliments both the immediate surroundings and the neighborhood in general. Most people would agree that basic wrought iron construction is aesthetically more appealing than chain link.

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2' x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

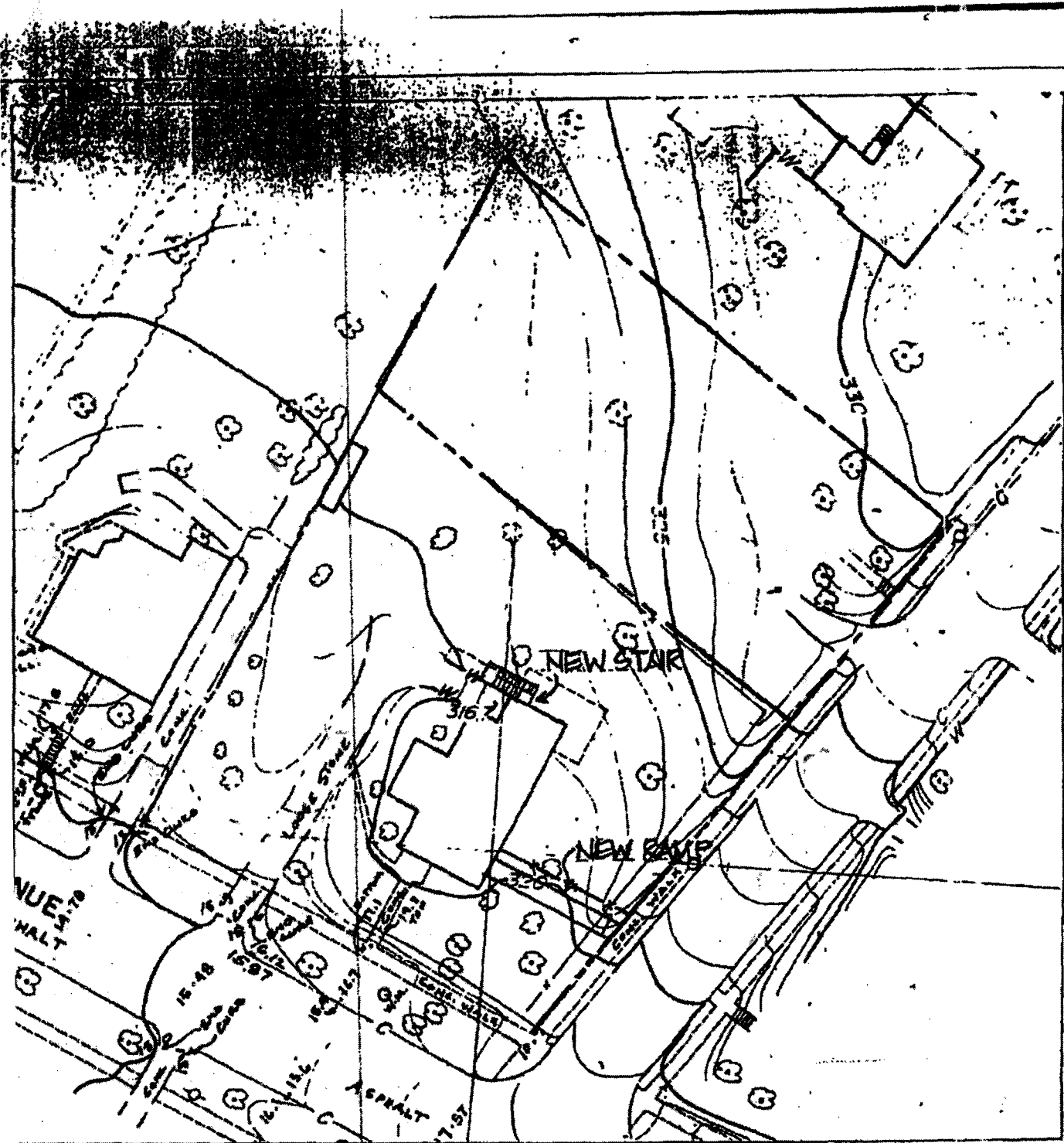
6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

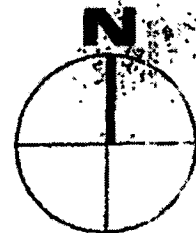
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



SITE PLAN

Scale: 1" = 40'

Montgomery College Takoma Park Campus
 Child Care Center
 Lead Abatement & Renovation
 714 Takoma Avenue, Takoma Park, MD 20912



Materials Specifications

All pickets shall be 5/8" square solid steel spaced not to exceed 5" and welded to 1 1/2" x 1/2" x 1/8" steel channels. All welds shall be from the unexposed underside of the machine punched channels. All posts shall be 1 1/2" square tubular steel, post spacing not to exceed 6'6". All posts shall be set in 30" of solid concrete with welded drive anchors for additional support. All posts shall have decorative post caps. Pedestrian and double drive gate frames shall be 2" square tubular steel. Both gates shall hinge on ball bearing hinges and be equipped with a locking mechanism to accommodate a padlock. Total fabrication and installation to be of welded construction. New materials shall be black iron semi-gloss dip painted with 100% enamel paint. (See photo)

Plans and Elevations

Not required for fence replacement

Photographs

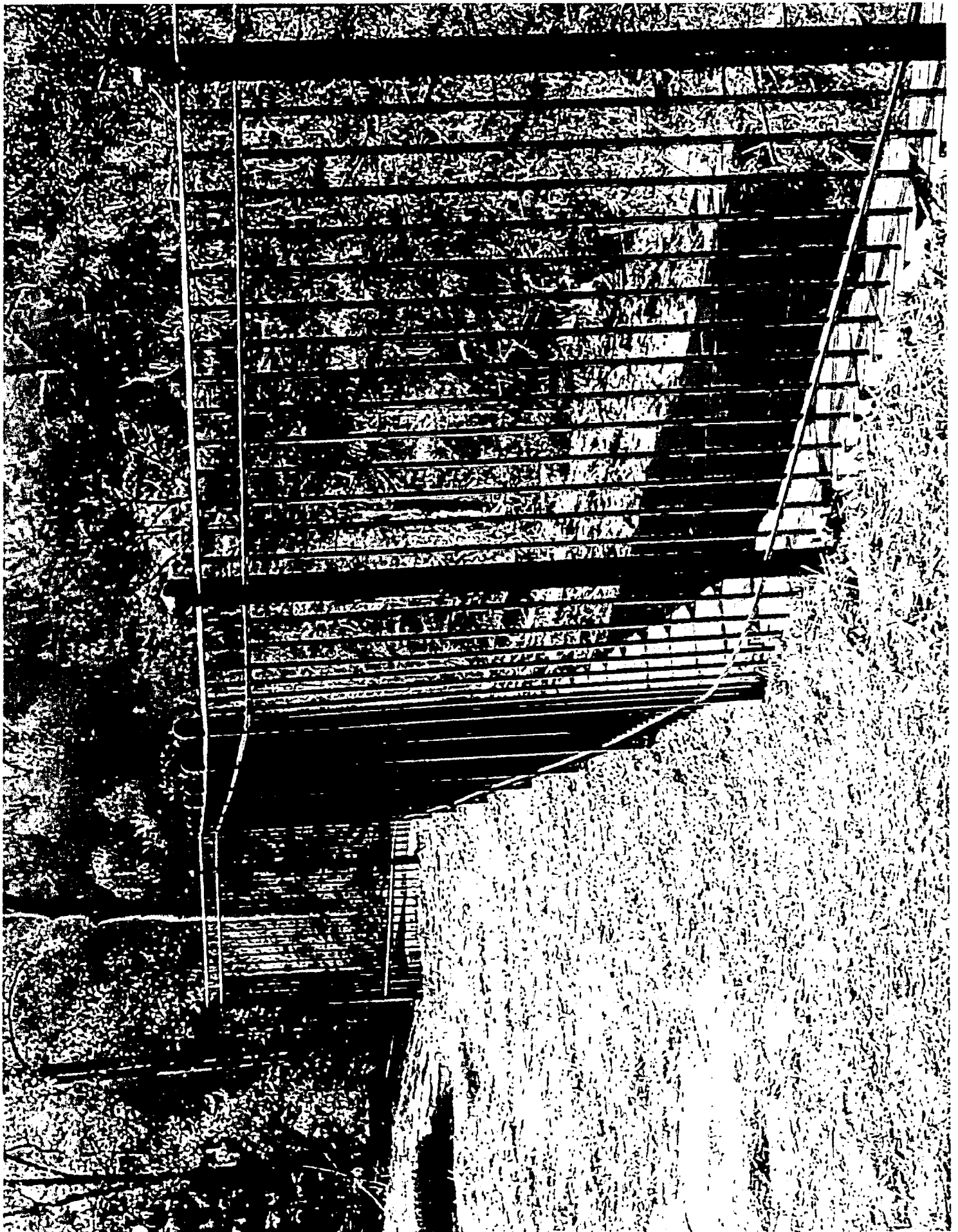
All photographs attached.

Tree Survey

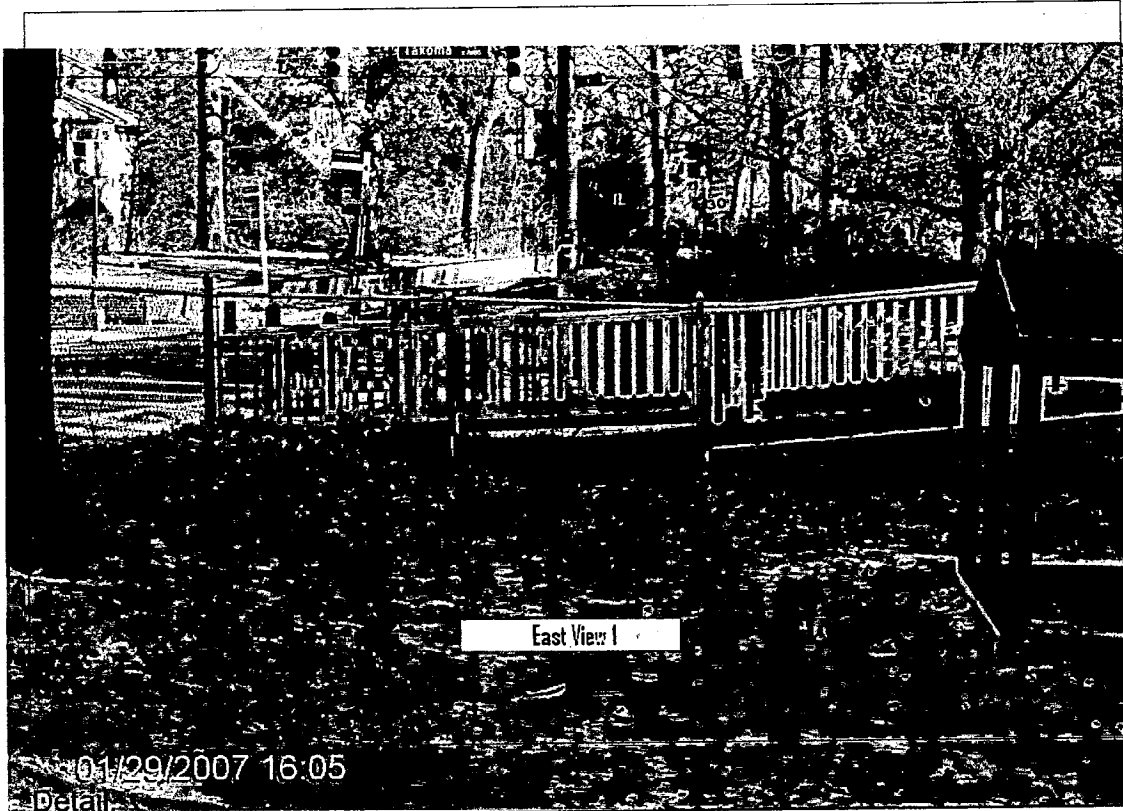
A single Sweet gum tree growing along the existing fence line was removed last summer. The tree had compromised the fence fabric creating a safety hazard for the children within the fenced-in yard. One child did escape the yard and was found, unharmed, across Philadelphia Avenue. The College, after consultation with the Takoma Park city arborist, has agreed to replace the tree with one more suitable in terms of location and species. Further, in order to minimize root damage under tree drip lines, we agree to use post holes bored for the existing fence whenever possible.

Address of Adjacent and Confronting Property Owners

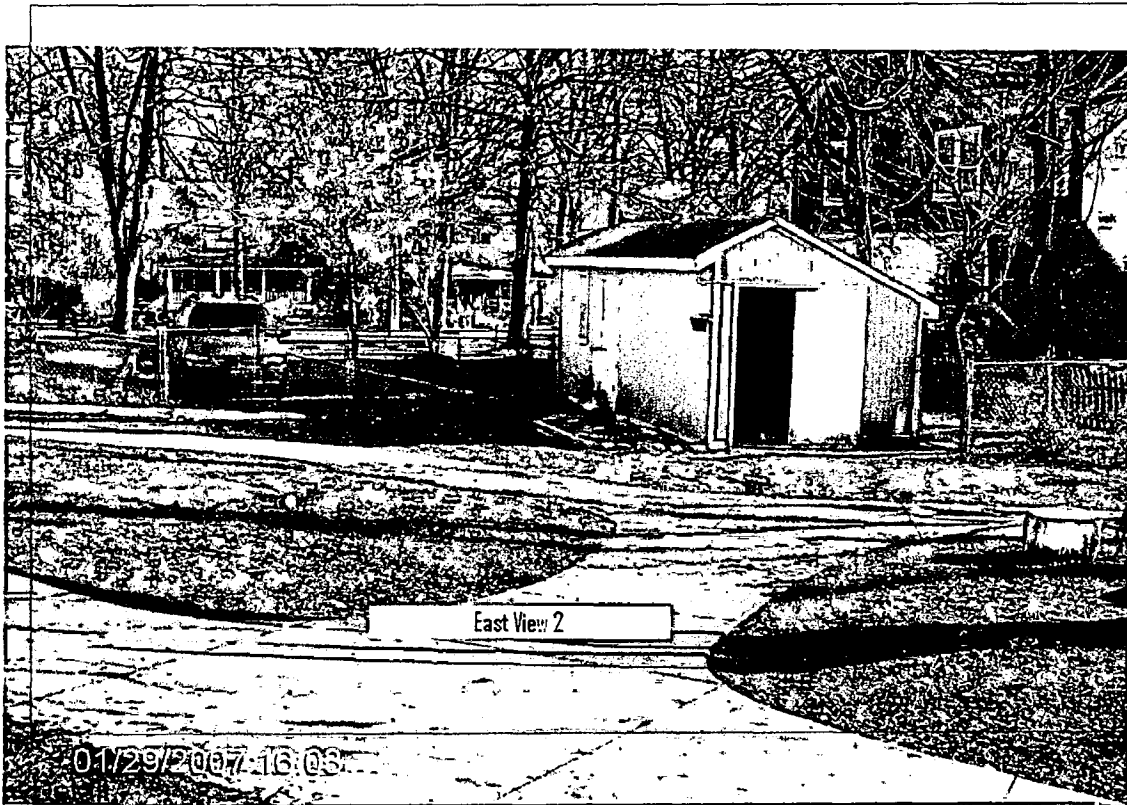
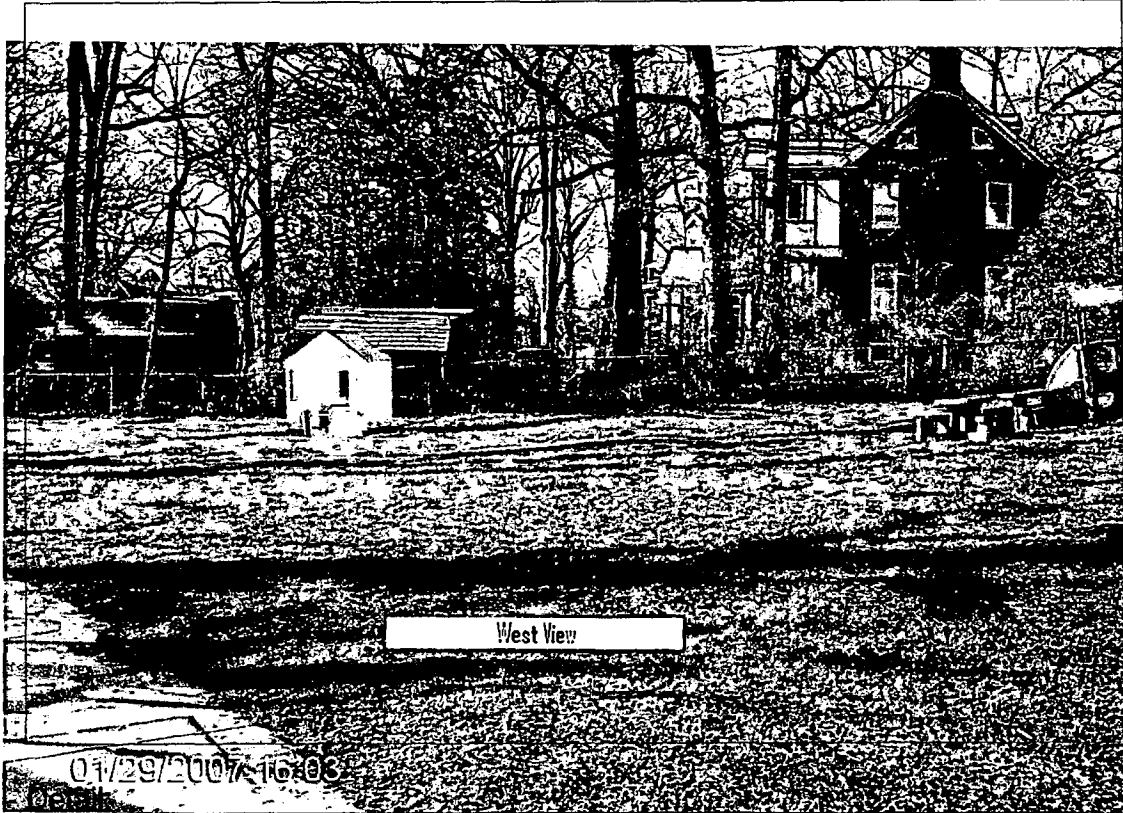
List attached.

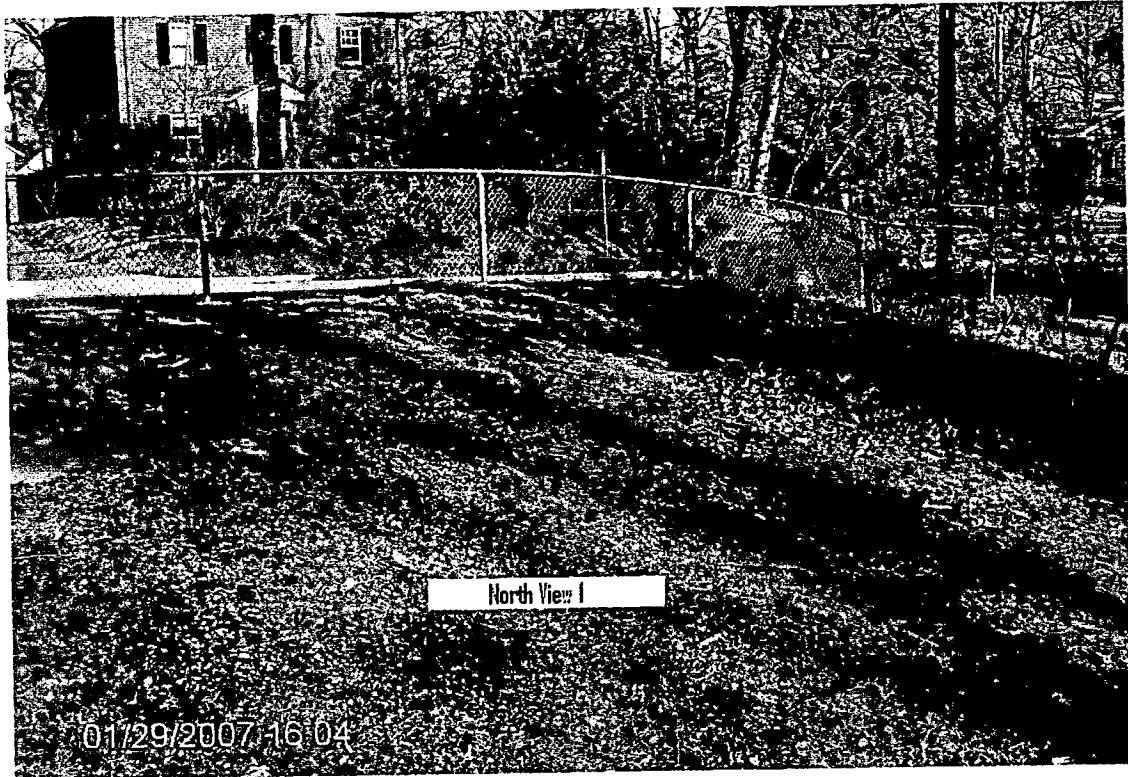


Existing Property Condition Photographs (duplicate as needed)



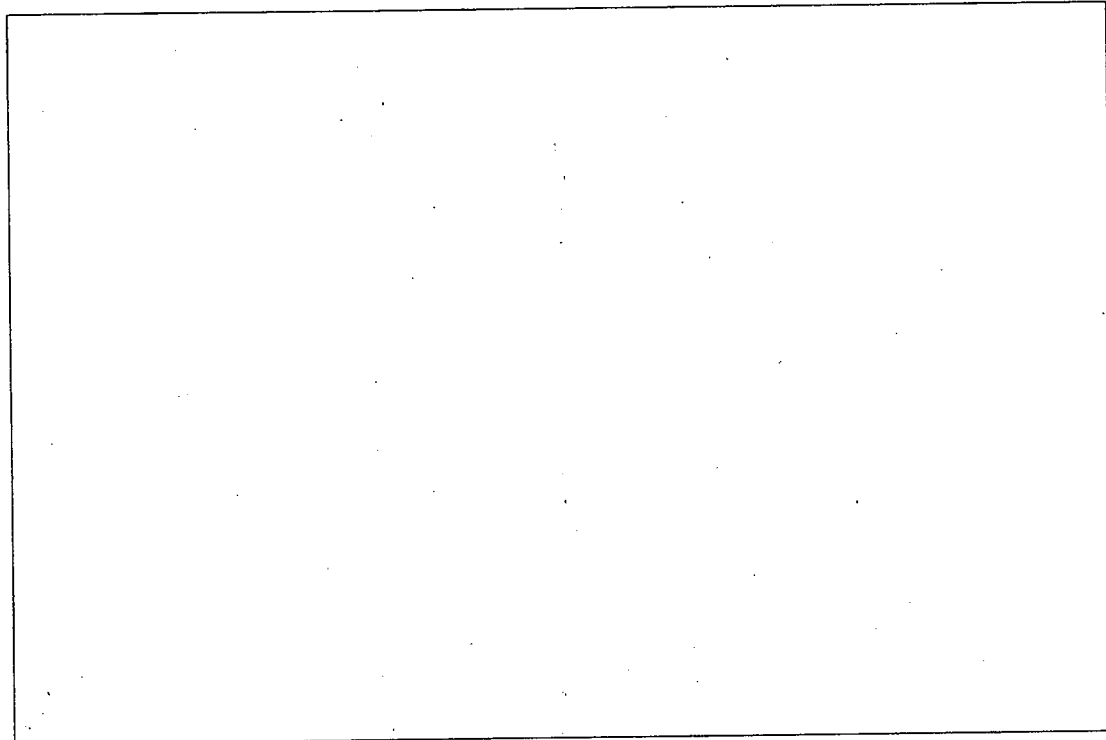
Existing Property Condition Photographs (duplicate as needed)





MC-TB/SS

Existing Property Condition Photographs (duplicate as needed)



Detail: _____

Applicant: MC-TP/SS

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 7600 Takoma Avenue Takoma Park, MD 20912	Owner's Agent's mailing address 7600 Takoma Avenue Takoma Park, MD 20912
Adjacent and confronting Property Owners mailing addresses	
601 Philadelphia Avenue Takoma Park, MD 20912	608 Philadelphia Avenue Takoma Park, MD 20912
7710 Takoma Avenue Takoma Park, MD 20912	7715 Takoma Avenue Takoma Park, MD 20912

7714 TAKOMA AVENUE



Notice:
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Casual User Application

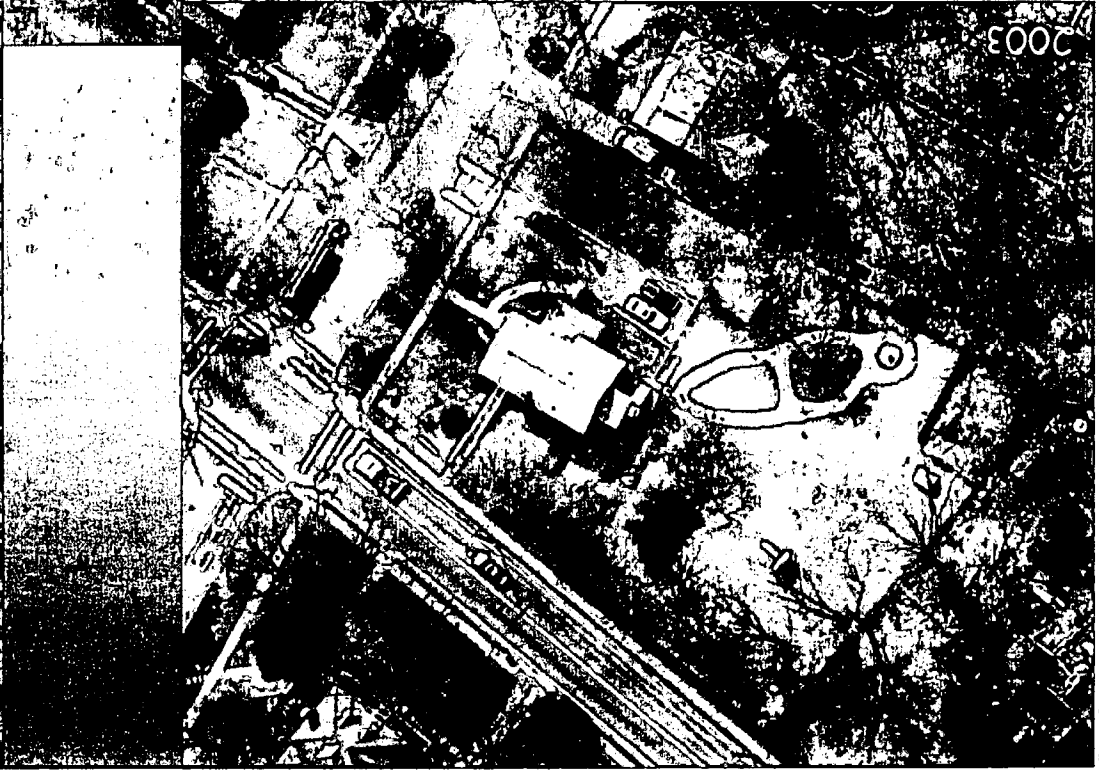
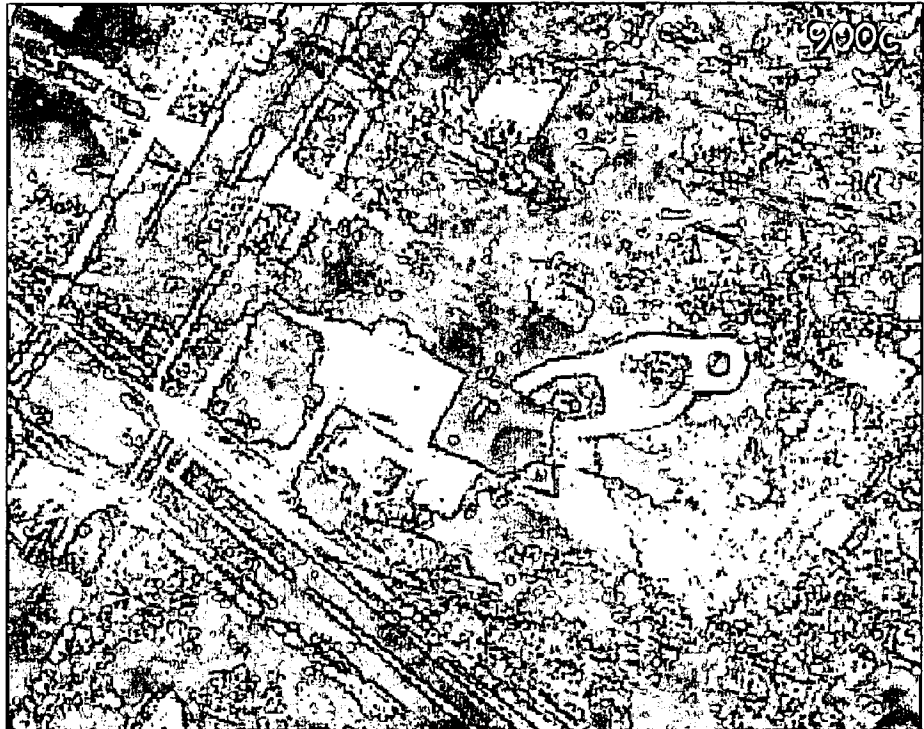


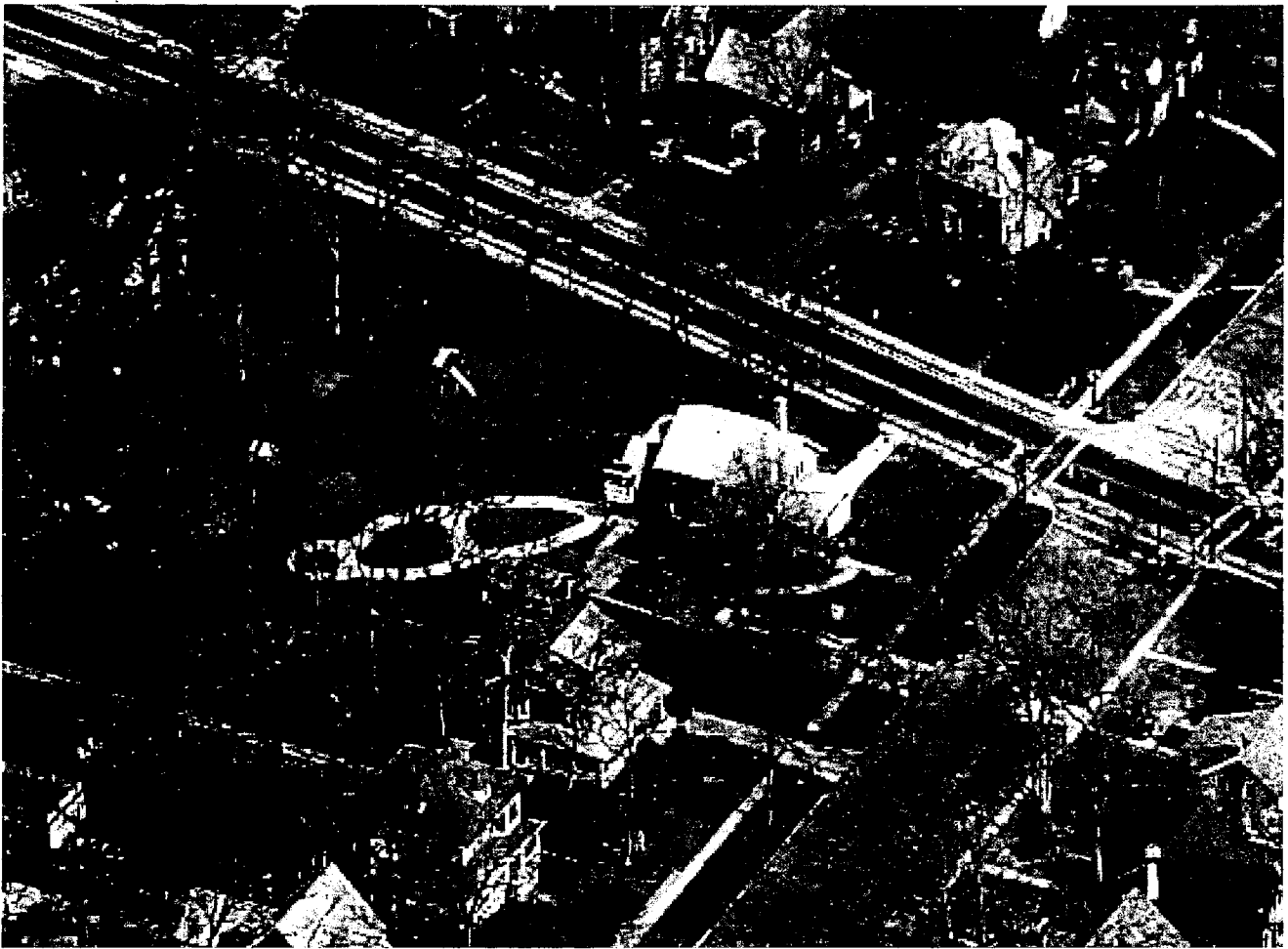
Scale: 1" = 155'



MONTGOMERY COUNTY DEPARTMENT OF PARK AND PLANNING
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue - Silver Spring, Maryland 20910-3160







all 2003





911 8003



Tully, Tania

Subject: Howard Stanley
Entry Type: Meeting

Start: Mon 1/29/2007 10:29 AM
End: Mon 1/29/2007 10:29 AM
Duration: 0 hours

Categories: Staff Consult

Montgomery College
Child Care center at the corner of Takoma Avenue and Philadelphia Avenue
existing 42" chain link fence
proposed 6'5" wrought iron fence
all in the rear yard, though one side is along Philly
also issue of two trees removed without permit (sweet gum)
roots were compromising the existing chain link fence and allowed a child to escape and cross Philly
Also issue of common side fence with water feature on other side. fence required?, get 6" deep. Told him to contact DPS
Instructed him to contact Todd Bolton about the fence and the removed trees
Recommended that he let Historic Takoma know that he is aiming for the 2/28 meeting
Crux of the issue will be the design of the fence - prohibit climb ability, provide transparency, and not overwhelm the modest bungalow