

37/03 Takoma Park Historic District

51 Walnut Avenue

37/03-07R



F

HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: May 24, 2007

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Josh Silver, Planner *JDS*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #452284, retaining wall/fence installation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions** at the May 23, 2007 meeting.

- 1. The new 6' high, wooden picket fence will be either painted or stained.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Jeffrey Hopkins & Rebecca Smith

Address: 51 Walnut Ave, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Jeffrey W. Hopkins

Daytime Phone No.: 202-355-8269

Tax Account No.: 01064985

Name of Property Owner: Jeffrey W. Hopkins and Rebecca C. Smith Daytime Phone No.: 202-355-8269

Address: 51 Walnut Ave. Takoma Park Maryland 20912

Contractor: Phone No.:

Contractor Registration No.:

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 51 Street: Walnut Ave.

Town/City: Takoma Park Nearest Cross Street: Eastern Ave. ("Little Eastern")

Lot: 17 Block: 17 Subdivision: 025

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, A/C, Slab, Room Addition, Porch, Deck, Shed, Move, Install, Wreck/Raze, Solar, Fireplace, Woodburning Stove, Single Family, Revision, Repair, Revocable, Fence/Wall, Other.

1B. Construction cost estimate: \$ 4000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 6 feet 0 inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Rebecca C. Smith Date: MAY 1 2007

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date: 5/25/07

Application/Permit No.: 452284 Date Issued:

452284

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

A privacy fence 72 feet long and 6 feet high divides 51 and 53 Walnut Ave. The lot of 51 Walnut is approximately 24 inches higher than 53 Walnut, and although both lots are relatively level, only a makeshift retaining wall exists. The makeshift wall consists of a series of inter-linked 3 ft. by 6 ft. sheets of corrugated metal roofing, driven into the ground and held in place with metal garden stakes. Due to frost heave, general erosion and subsidence, and growing tree roots, the metal roofing has lost much of its integrity and is falling in places. The existing fence likewise has lost its integrity, has fallen down in places and is beyond salvage due to advanced age and rotting posts. In one section closest to the 51/53 houses, there is a 12 foot section of cinder block retaining wall, approximately 18 inches high.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

We propose to remove the existing retaining structure and fence that currently spans the 51/53 Walnut property line. Further, we propose to construct a 24" high retaining wall out of cinder block, with a concrete footer, over the entire 72 foot property line, in order to maintain the existing grade of 51 Walnut Ave. We also propose to construct a 6 foot tall wooden privacy fence at the site of the current privacy fence, using fencing material similar to a fence installed last year at 51 Walnut. The project will have minimal impact on the historic resource and will not be visible from line-of-site views from Walnut Ave. The new fence will be visible from the back yard of 55 Walnut Ave... as well as from the street level of Eastern Avenue.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

452284

Addresses of Adjacent and Confronting Property Owners to 51 Walnut Ave.

Adjacent Property Owners:

Bill and Marlana Valdez

53 Walnut Ave.

Takoma Park, MD 20912

Jordan Barab and Jessie Blackburn

55 Walnut Ave.

Takoma Park, MD 20912

Aubrey Stephenson

6761 Eastern Ave.

Takoma Park, MD 20912

Confronting Property Owners

Bernice Harleston

54 Walnut Ave.

Takoma Park, MD 20912

Deborah George

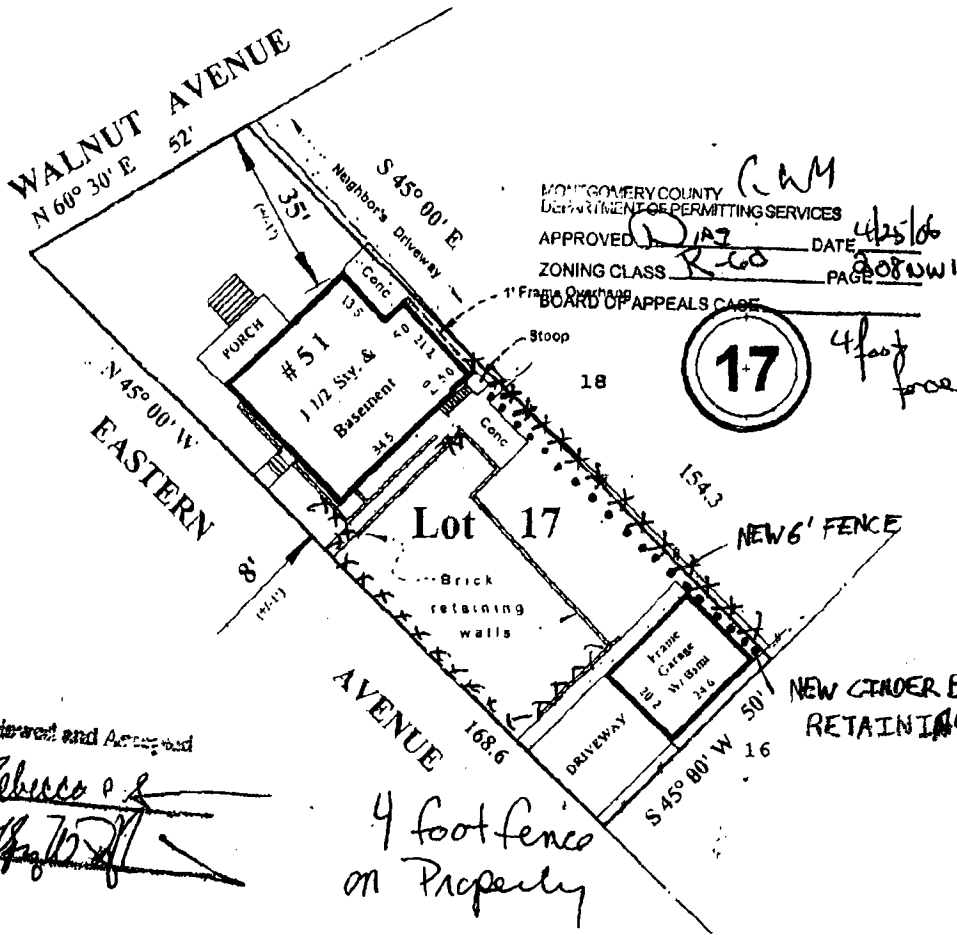
56 Walnut Ave.

Takoma Park, MD 20912

LANDTECH ASSOCIATES, INC

7307 Baltimore Avenue Suite 214
College Park, MD 20740
301-277-8878

414577



MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING SERVICES
APPROVED: *[Signature]* DATE: 4/25/06
ZONING CLASS: R-20 PAGE: 2080W1

Reviewed and Accepted

[Signatures]

4 foot fence on Property

NOTE: The property lies in Flood Zone "C"—an area of minimal flooding as delineated on the maps of the National Flood Insurance Program.

Note: This drawing is not to be used for permit applications

Location Drawing of:	LOT: 17	BLOCK: 17
#51 Walnut Avenue	PLAT BK: 2	PLAT#: 145
"PINECREST"	DATE: 6-11-04	SCALE: 1"=30'
	CASE NUMBER:	040659
	FILE NUMBER:	TE-204170
Montgomery Co., MD		

NOTES:

1. The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements
3. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 5/25/07

KEY
X = Fence
● = Retaining Wall



CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

[Signature]
GRADEN A. ROGERS—Prop L.S. LIC NO. 119

6

452784

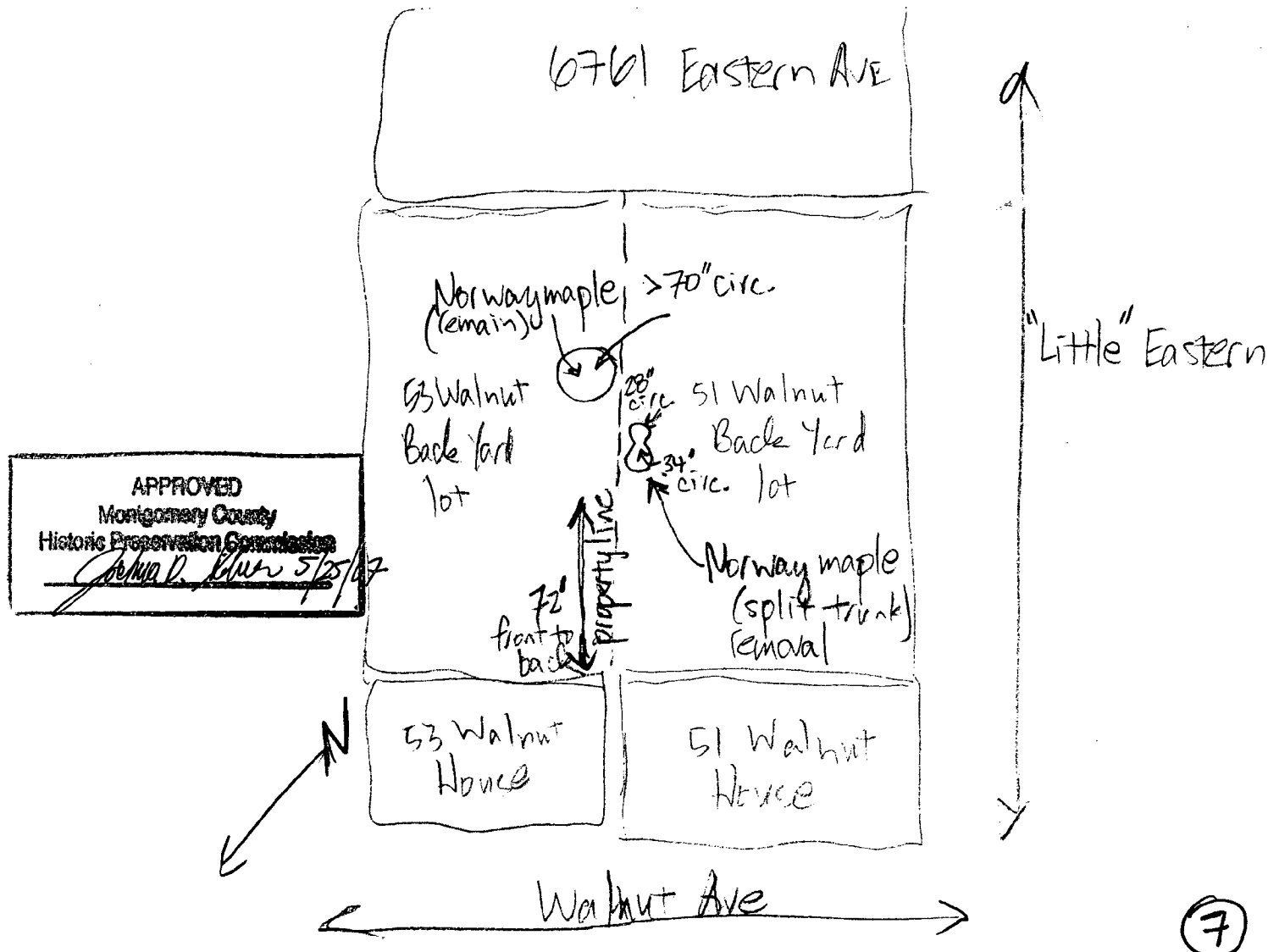
Tree Survey:

On the retaining wall and fence project, there are two trees that will be affected because they are on the fence border. Both trees are Norway maple (*Acer platanoides*).

The maple found on the '53 Walnut' side of the border is the larger maple, with a circumference of at least 70", and will remain untouched by the project. In fact, the fence will be installed in such a way that the bottom of the fence sections will take the same contour as the soil mounded around the tree's trunk.

The smaller maple is on the 51 Walnut side of the border and will be removed. The '51 Walnut' maple is much smaller than the '53 Walnut' maple, and is a poor quality tree. The '51 Walnut' maple consists of two coppices (one with a 28" circumference and the other with a 34" circumference), the split trunk apparently the result of a much earlier attempt to cut the tree down.

We have requested a permit from the City of Takoma Park to remove the Norway maple tree on 51 Walnut. We will landscape the 51 Walnut side of the fence with several native species, including pawpaw, serviceberry, and winterberry.



City of Takoma Park, Maryland

DEPARTMENT OF PUBLIC WORKS
TELEPHONE: 301.891.7633
FAX: 301.585.2405



31 OSWEGO AVENUE
SILVER SPRING, MARYLAND 20910

May 14, 2007

Jeffrey Hopkins and Rebecca Smith
51 Walnut Avenue
Takoma Park, Maryland 20912

Dear Mr. Hopkins and Ms. Smith:

The City of Takoma Park has granted approval for you to remove the 8 inch dbh Norway maple tree from the left rear of your property.

Because Norway maple trees have been identified as undesirable species by the City (Admin. Reg. 06-01), the removal permit is not subject to appeal. However, the issuance of a tree removal permit is contingent upon our receipt of a signed Tree Replacement Agreement. The conditions of this agreement require that you choose to either replant one 1 1/2 inch caliper overstory tree within six months, or contribute \$175.00 to the City's Tree Fund.

Please sign the enclosed replanting agreement and return to Public Works at your earliest convenience. Upon receipt of this document a permit will be issued for the tree(s) to be removed. The permit must be posted at least seven (7) days before the tree is removed and remain posted until completion of removal.

Please contact me if you have any questions.

Sincerely,

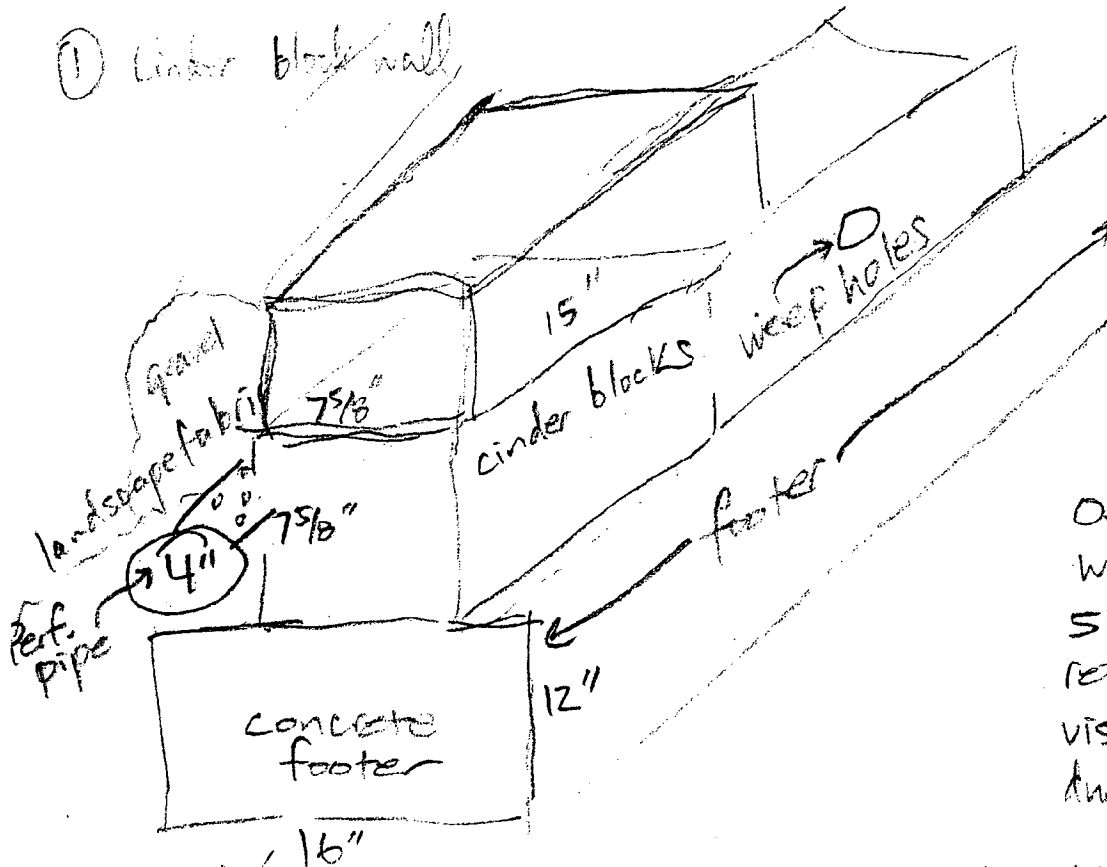
Todd M. Bolton
City Arborist

Enclosure

ELEVATION DRAWINGS - fence & retaining wall - 51 Walnut

452284

① Cinder block wall



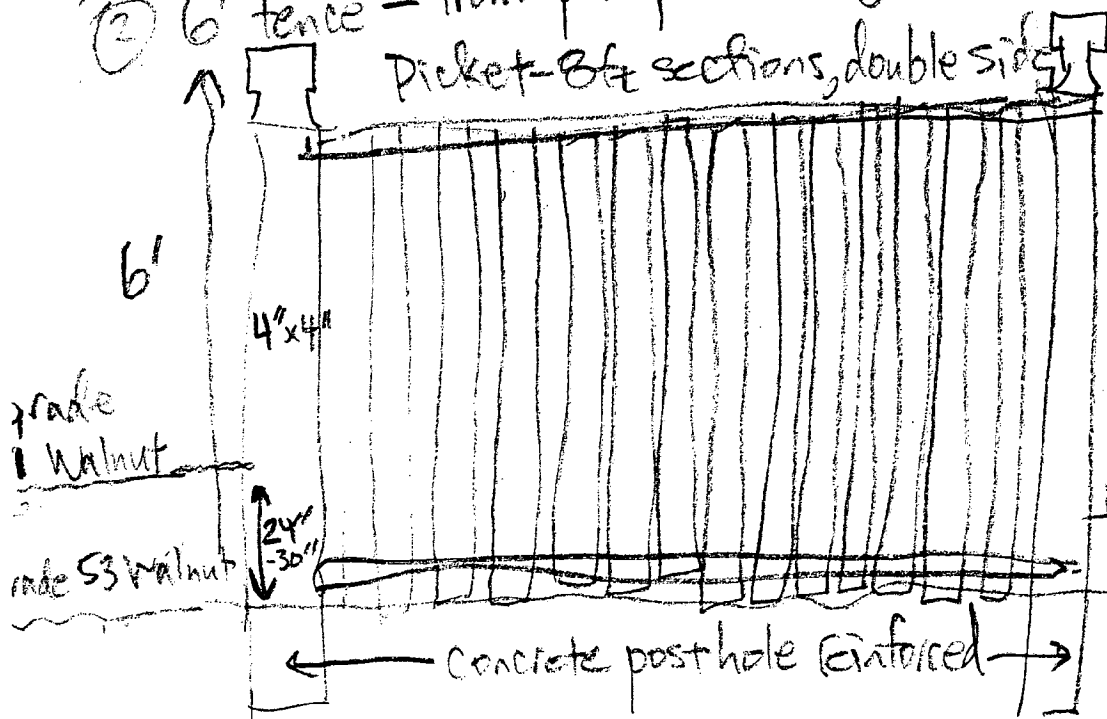
APPROVED
Montgomery County
Historic Preservation Commission
John V. King 5/25/17

Wall will have a concrete footer, and be constructed w/ standard cinder blocks. Only the top course will be visible from 51 Walnut. The retaining wall will not be visible from 53 Walnut due to new fence.

This project must be constructed as shown in these approved plans. Any changes require approval by the Montgomery County Historic Preservation Commission.

51 Walnut ← Property Line → 53 Walnut

② 6' fence - from perspective of 53 Walnut
Picket-8ft sections, double sided



Materials:
posts are 4"x4"
pressure-treated pine; pickets will be red cedar or pressure-treated pine
72' total length

24"-30" retaining wall, not visible from 53
weep holes every 8 feet

⑨

452784

Existing Property Condition Photographs (duplicate as needed)

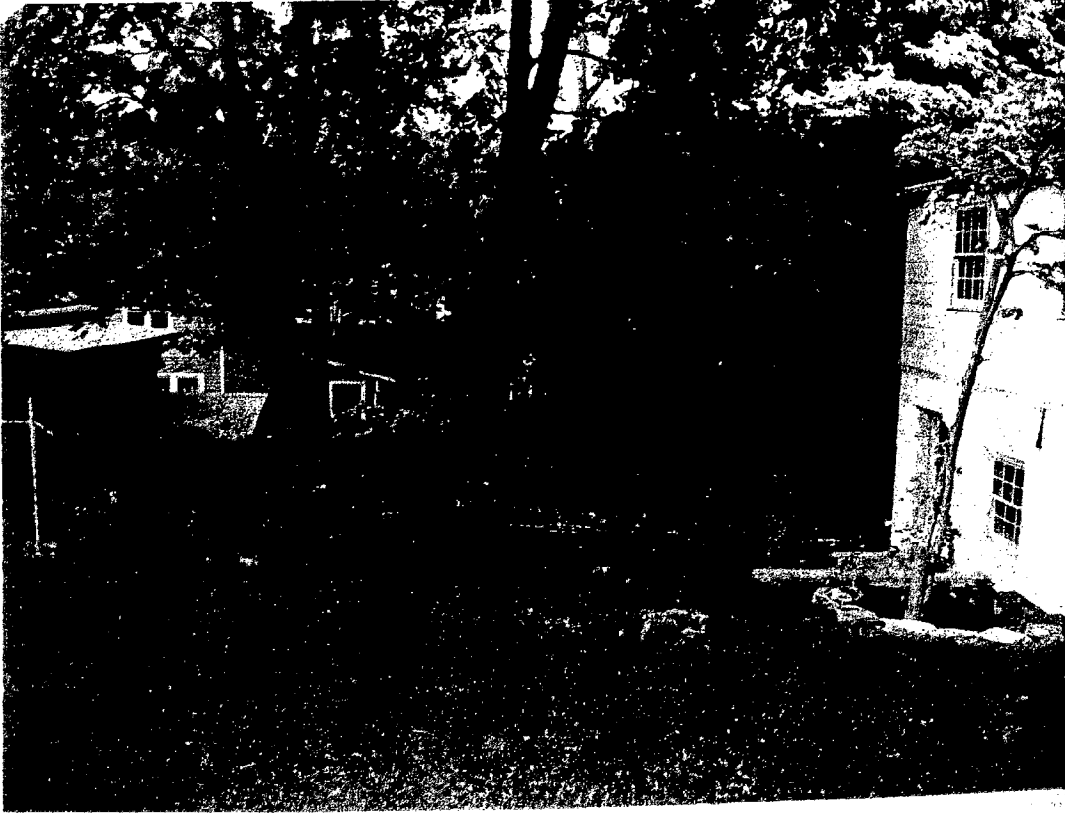


Detail: Existing retaining wall and fence, from 51 (left) and 53 (right) Walnut



Detail: fence from back of 51 Walnut. Note missing section to right of tree.

452284



Detail: Existing fence from sidewalk along Eastern Avenue.

EXPEDITED
MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	51 Walnut Ave, Takoma Park	Meeting Date:	5/23/2007
Resource:	Contributing Resource Takoma Park Historic District	Report Date:	5/16/2007
Applicant:	Jeffrey Hopkins & Rebecca Smith	Public Notice:	5/9/2007
Review:	HAWP	Tax Credit:	N/A
Case Number:	37/03-07R	Staff:	Josh Silver
PROPOSAL:	Retaining wall/Fence installation		

STAFF RECOMMENDATION:

Approval with conditions

The condition of approval is:

The new 6' high, wooden picket fence will be either painted or stained.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource within the Takoma Park Historic District
STYLE: Cottage/Bungalow
DATE: c1920s

PROPOSAL:

The applicants are proposing to:

1. Construct a 24" high cinder block retaining wall on concrete footers. **(See page: 6).** The proposed retaining wall will span approximately 77-linear feet to maintain the existing grade of the subject property. The wall will not be visible from the adjacent property at 53 Walnut Avenue.
2. Construct a 6' high wooden picket fence. The proposed fence will span approximately 83-linear feet dividing the subject property and adjacent property at 53 Walnut Avenue.
3. The proposed construction requires the removal of two Norway Maple trees from the subject property. The applicants have received a letter from the City Arborist indicating the removal of these trees has been approved. **(See page: 8).**

The new retaining wall and fence will replace an existing corrugated metal retaining structure and wooden picket fence currently in disrepair. The proposed retaining wall and fence will be constructed in the same location as the existing wall and fence, and will not be visible from Walnut Street. The proposed fence will however be visible from the backyard of 55 Walnut Avenue as well as from the street level of Eastern Avenue.

Approval is based on the following criteria from Chapter 24A of the Montgomery County Code, Section 8(b): The commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

- 1. The proposal will not substantially alter the exterior features of an historic site, or historic resource within an historic district; or
- 2. The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site, or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
- 3. The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site, or historic resource located within an historic district, in a manner compatible with the historical, archeological, architectural or cultural value of the historic site or historic district in which an historic resource is located, or
- 4. The proposal is necessary in order that unsafe conditions or health hazards be remedied; or
- 5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or
- 6. In balancing the interests of the public in preserving the historic site, or historic resource located within an historic district, with the interests of the public from the use and benefit of the alternative proposal, the general public welfare is better served by granting the permit.

and with the general condition that the applicant shall present the **3 permit sets of drawings – if applicable – to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits.



MONTGOMERY COUNTY PLANNING DEPARTMENT
THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

May 10, 2007

Jeffrey Hopkins
51 Walnut Avenue
Takoma Park, MD 20912

Re: Stair replacement, 51 Walnut Avenue, Takoma Park Historic District

Dear Mr. Hopkins,

Thank you for keeping the Historic Preservation Office and staff informed on potential improvements to your historic property. The office has reviewed your recent Historic Area Work Permit Application for the replacement of the stairs and platform on the rear of your house at 51 Walnut Avenue in Takoma Park. It was determined that an official HAWP and a public hearing is not needed for these improvements as they are: minor alterations and/or repairs, and have no impact on the streetscape, and staff has determined that your proposed renovations will have no adverse affect to the character or integrity of the property. A copy of the submitted information and this letter will be placed in your case file if any questions arise in the future.

This letter will serve as your approval to perform the following work:

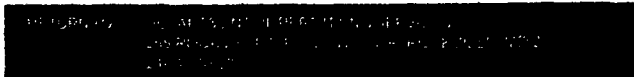
1. Renovate the wood stairs on the rear of the house.

Thank you again for notifying the Historic Preservation Office of your proposed work.

Sincerely,

Michele Oaks, Planner Coordinator
Historic Preservation Office

Cc: Reggie Jetter, Department of Permitting Services



HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Jeffrey W. Hopkins

Daytime Phone No.: 202-355-8269

Tax Account No.: 01064985

Name of Property Owner: Jeffrey W. Hopkins and Rebecca C. Smith Daytime Phone No.: 202-355-8269

Address: 51 Walnut Ave. Takoma Park Maryland 20912
Street Number City Street Zip Code

Contractor: Phone No.:

Contractor Registration No.:

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 51 Street: Walnut Ave.

Town/City: Takoma Park Nearest Cross Street: Maryland

Lot: 17 Block: 17 Subdivision: 025

Liber: Folio: Parcel:

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate A/C Stab Room Addition Porch Deck Shed
Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
Revision Repair Revocable Fence/Wall (complete Section 4) Other:

1B. Construction cost estimate: \$ 3000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other:

2B. Type of water supply: 01 WSSC 02 Well 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height feet inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent Date: 1 MAY 2007

Approved: For Chairperson, Historic Preservation Commission

Disapproved: Signature: Date:

Application/Permit No.: 452284 Date Filed: 5/21/07 Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

1923 formstone-clad bungalow. House has a rear-facing door 8 feet above grade, with
wooden stairs descending to a patio and back yard. The stairs hug the rear of the house. The
small platform (3.5 feet by 4 feet) at the top, the stair treads, and the handrail are all made of
pressure-treated pine, are in disrepair, and the materials cannot be salvaged.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

We propose to renovate the platform and stairs, while maintaining the character of the home.
We will expand the footprint of the platform slightly so that the footprint becomes 5 by 6 feet. In
addition, we will install a landing halfway down the stairs. At the landing, the stairs will change
direction and run perpendicular, away from the rear of the house, with the final staircase tread
terminating at the patio. We will use materials to match the existing side porch and fence.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

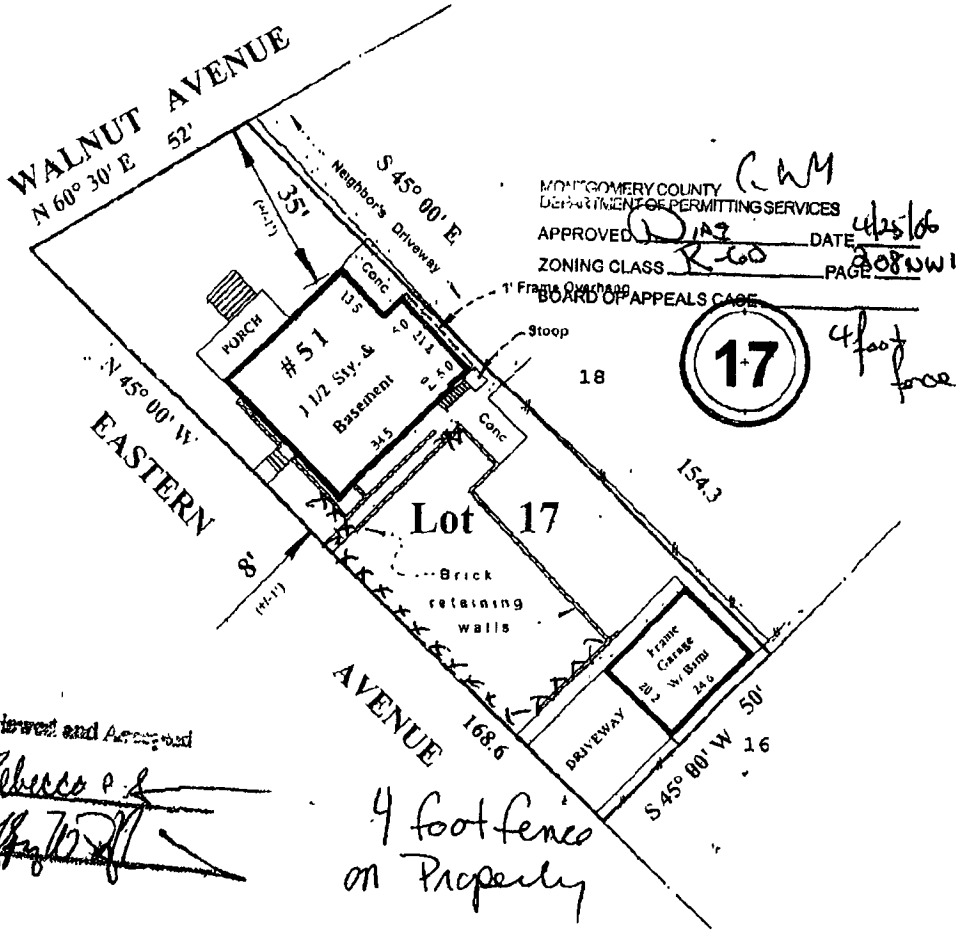
For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

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PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

LANDTECH ASSOCIATES, INC.

7307 Baltimore Avenue Suite 214
College Park, MD 20740
301-277-8878

418 577



Reviewed and Approved

Rebecca P. [Signature]
[Signature]

4 foot fence on Property

NOTE: This property lies in Flood Zone "C"—an area of minimal flooding as delineated on the maps of the National Flood Insurance Program.

Note: This drawing is not to be used for permit applications

Location Drawing of:	LOT: 17	BLOCK: 17
"#51 Walnut Avenue"	PLAT BK: 2	PLAT#: 145
"PINECREST"	DATE: 6-11-04	SCALE: 1"=30'
	CASE NUMBER:	040659
Montgomery Co., MD	FILE NUMBER:	TE-204170



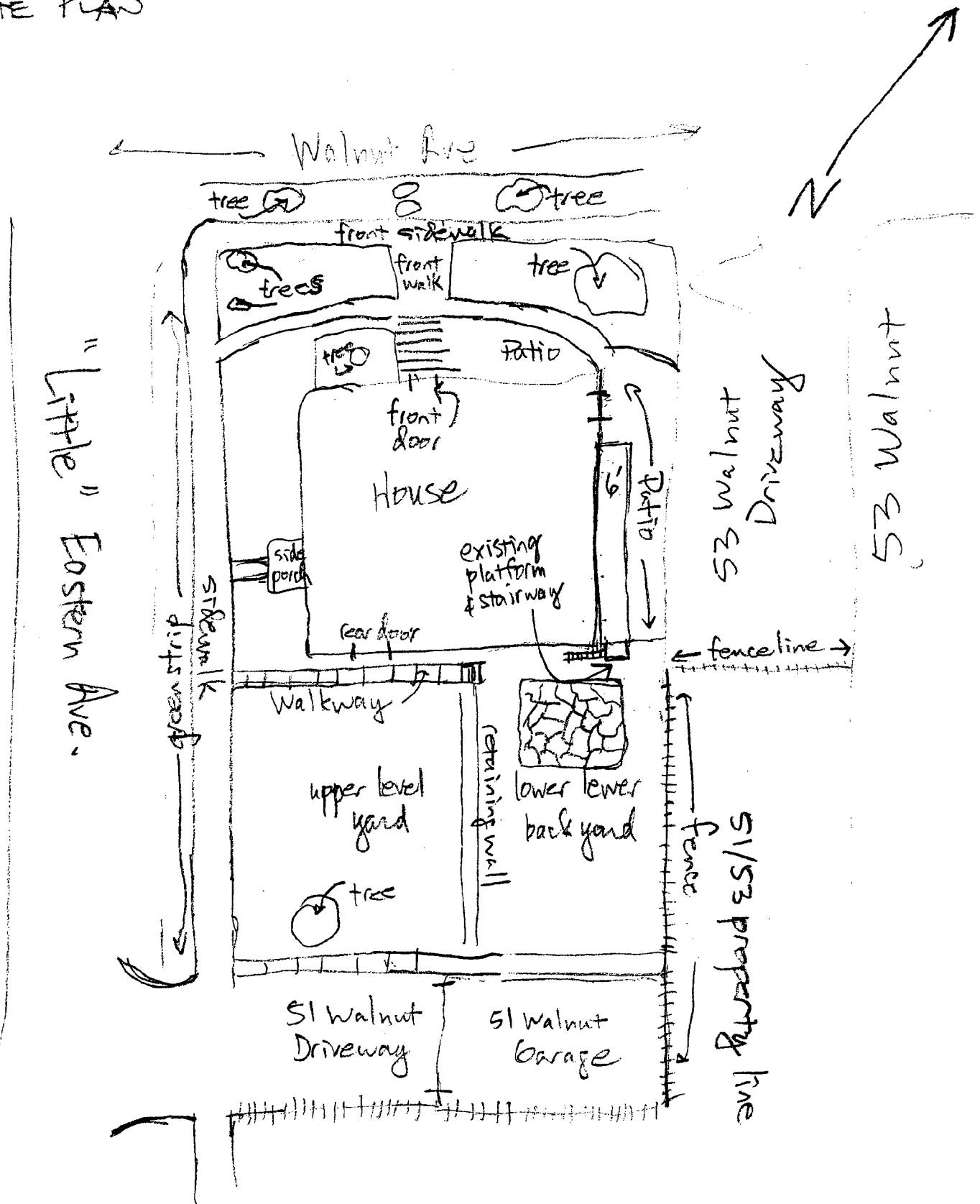
NO TITLE REPORT FURNISHED

- NOTES:
1. The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
 2. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements
 3. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.

CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

Graden A. Rogers
GRADEN A. ROGERS---Prop L.S. LIC NO. 119

SITE PLAN



30 April 2007
Scale: 1"=10'

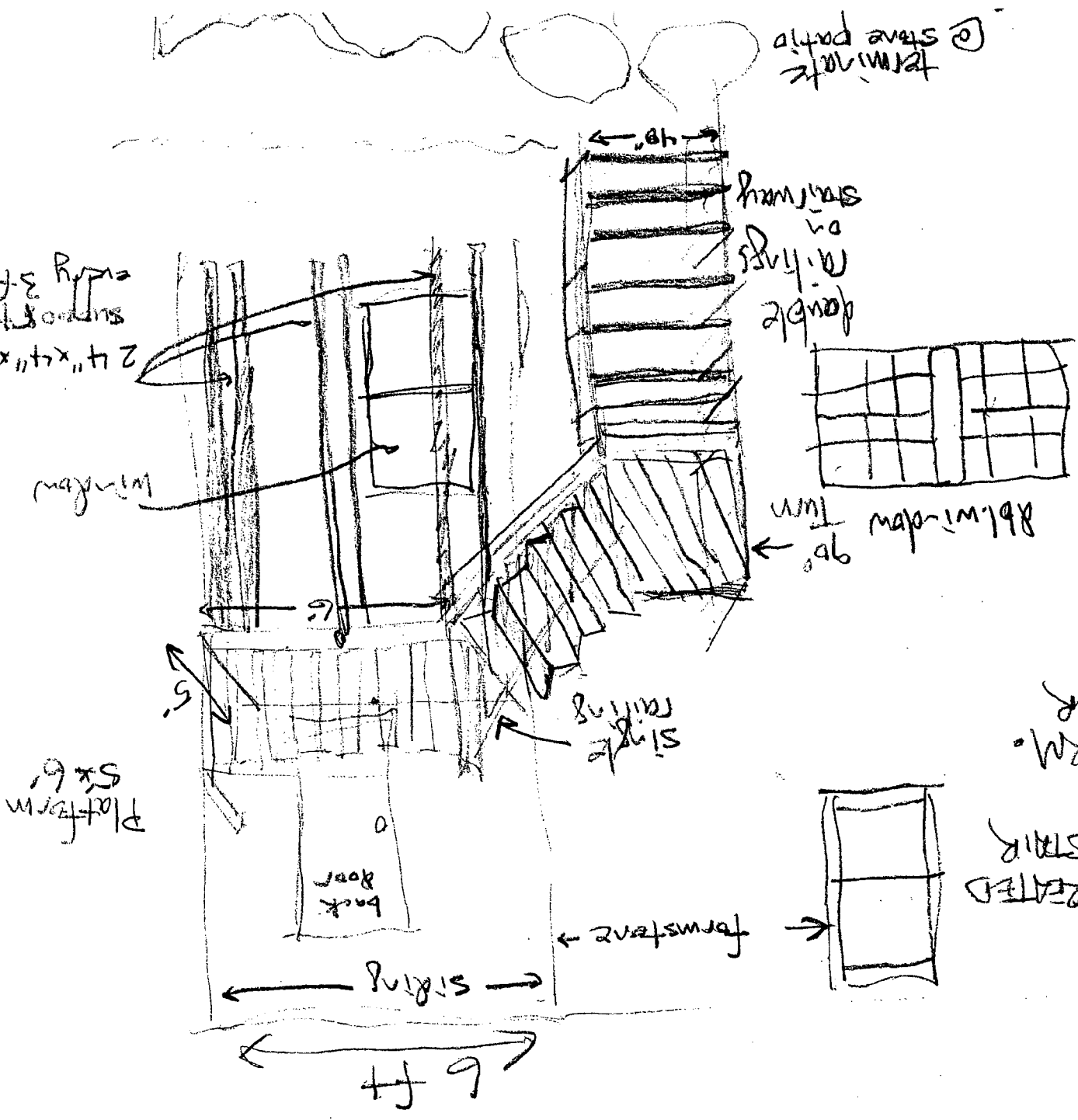
ELEVATION PLAN

MATERIALS: PRESSURE-TREATED
 PAIR ON ALL POSTS, STAIR
 TREADS, RAILINGS &
 SUPPORTED PLATFORM.

WILL CONSIDER OTHER
 MATERIALS AS
 SUGGESTED.

3D APRIL 2007
 Scale: 1" = 5'

terminate
 @ stone patio



2 1/2" x 4" x 8" supports

Window

Platform 5x6'

back door

siding

formstone

single railings

90° window turn

double railings on stairs

48"

5'

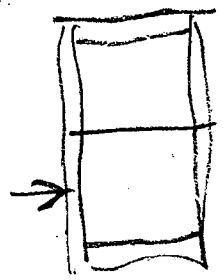
6 ft

ELEVATION PLAN

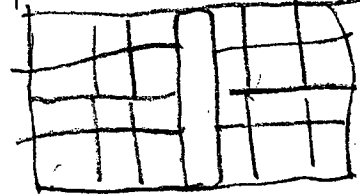
MATERIALS: PRESSURE-TREATED
 PINE ON ALL POSTS, STAIR
 TREADS, RAILINGS &
 SUPPORTED PLATFORM.

MATERIALS AS
 SUGGESTED.
 WILL CONSIDER OTHER

30 APRIL 2007
 Scale: 1" = 5'



Abbl. window 90°
 Turn



double
 rails
 on
 stairway

48"

terminate
 @ stove patio

2 1/2 Ropes
 supports
 24" x 4" x 8"

Window

single
 railing

formstone

back
 door

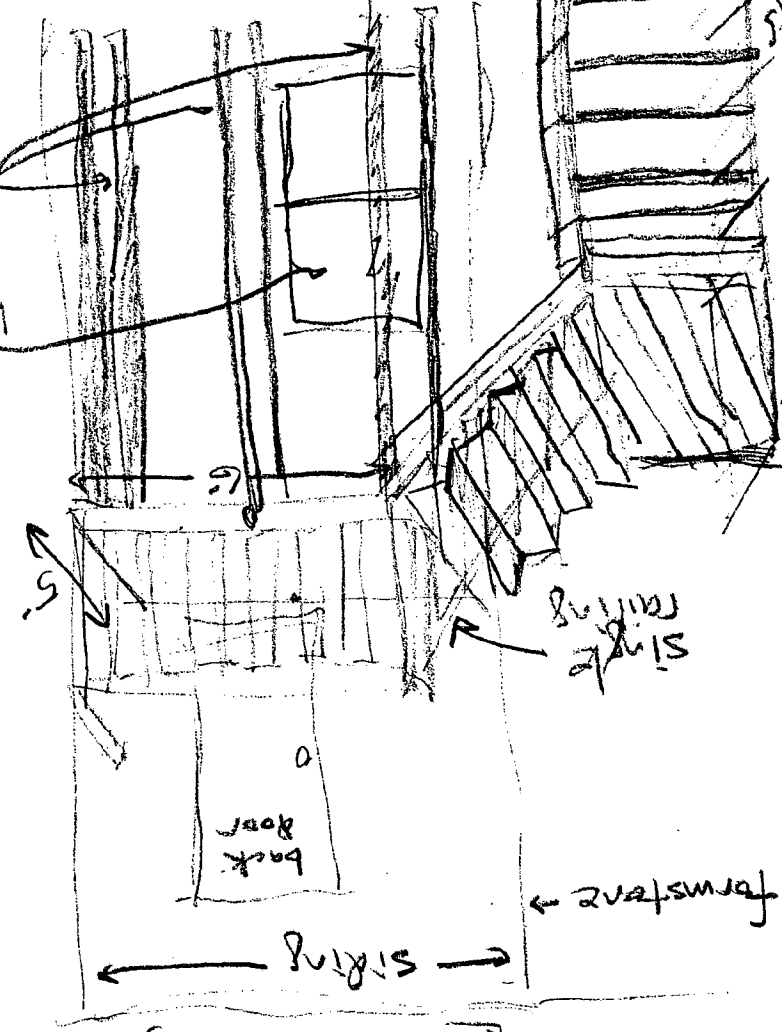
siding

6 ft

Platform
 5' x 6'

5'

5'





Detail, platform and stairway as seen from Walnut Ave. As can be seen, the renovation will be minimally visible from historic area (side street, Eastern, is not part of the historic area)



Detail: View from rear of 51 Walnut lot, showing existing platform and stairway.

Existing Property Condition Photographs (duplicate as needed)



Detail: Existing platform and steps, leading from door off of our kitchen. Door is at the rear of the house. The door is on the main floor, basement floor is seen below.



Detail: Side view, existing stairway. Instability and narrow platform and stair treads hinder usefulness and safety, also limit our ability to enjoy our outdoor space.

Addresses of Adjacent and Confronting Property Owners to 51 Walnut Ave.

Adjacent Property Owners:

Bill and Marlana Valdez

53 Walnut Ave.

Takoma Park, MD 20912

Jordan Barab and Jessie Blackburn

55 Walnut Ave.

Takoma Park, MD 20912

Aubrey Stephenson

6761 Eastern Ave.

Takoma Park, MD 20912

Confronting Property Owners

Bernice Harleston

54 Walnut Ave.

Takoma Park, MD 20912

Deborah George

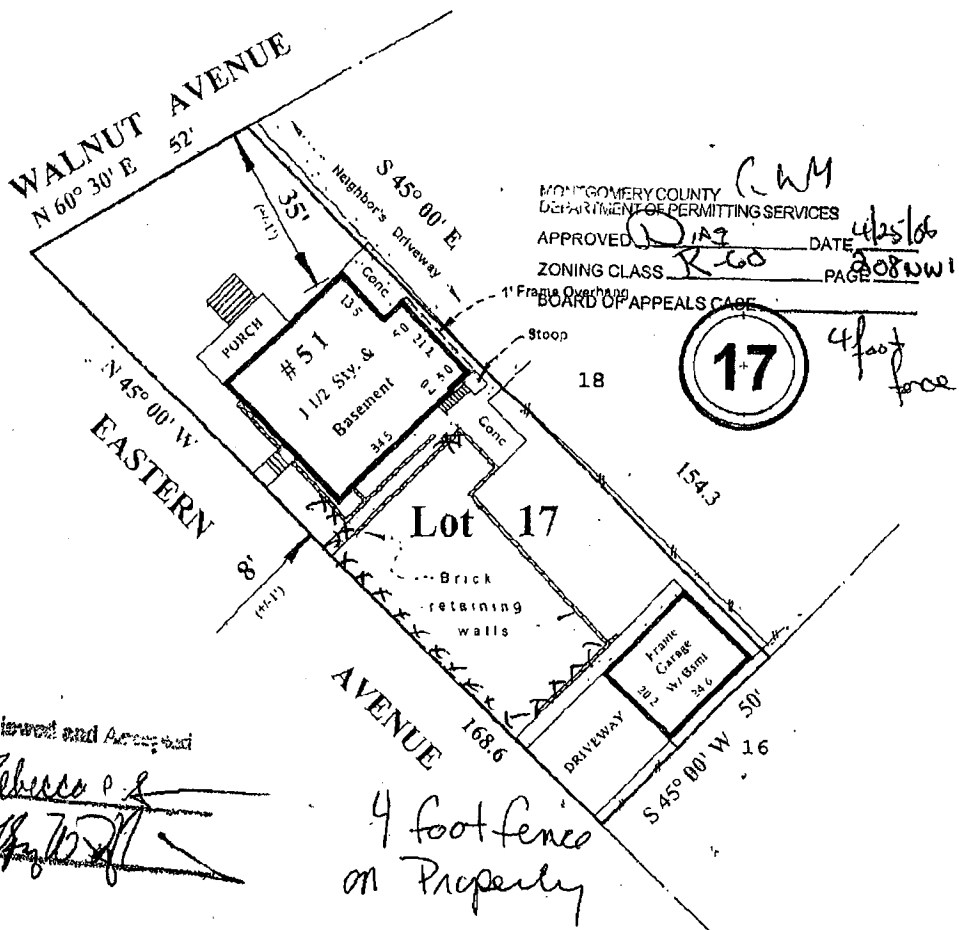
56 Walnut Ave.

Takoma Park, MD 20912

LANDTECH ASSOCIATES, INC.

7307 Baltimore Avenue Suite 214
College Park, MD 20740
301-277-8878

418577



Reviewed and Accepted
Rebecca
[Signature]

NOTE: This property lies in Flood Zone "C"—an area of minimal flooding as delineated on the maps of the National Flood Insurance Program.

Note: This drawing is not to be used for permit applications

Location Drawing of:	LOT: 17	BLOCK: 17
#51 Walnut Avenue	PLAT BK: 2	PLAT#: 145
"PINECREST"	DATE: 6-11-04	SCALE: 1"=30'
	CASE NUMBER:	040659
Montgomery Co., MD	FILE NUMBER:	TE-204170

NOTES:

1. The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements
3. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.

NO TITLE REPORT
FURNISHED

CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

[Signature]
GRADEN A. ROGERS—Prop L.S. LIC NO. 119





Detail, platform and stairway as seen from Walnut Ave. As can be seen, the renovation will be minimally visible from historic area (side street, Eastern, is not part of the historic area)



Detail: View from rear of 51 Walnut lot, showing existing platform and stairway.

Existing Property Condition Photographs (duplicate as needed)

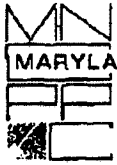


Detail: Existing platform and steps, leading from door off of our kitchen. Door is at the rear of the house. The door is on the main floor, basement floor is seen below.



Detail: Side view, existing stairway. Instability and narrow platform and stair treads hinder usefulness and safety, also limit our ability to enjoy our outdoor space.

No. 8778 P. 2
15 07 03:22p



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3780

FAX TRANSMITTAL SHEET

Historic Preservation Office
Department of Park & Planning

Telephone Number: (301) 563-3400 Fax Number: (301)-563-3412

TO: Jeffrey Hopkins FAX NUMBER: 202-393-0232

FROM: Josh Silver

DATE: 5/15/07

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: (2)

NOTE:

Mr. Hopkins,

Please clearly indicate the course of the proposed retaining wall and wooden picket fence on the enclosed plat map. Also, could you please measure the length of the proposed wall and fence and include it on the plat and return it to me tomorrow.

Thanks, Josh Silver

Mr. Silver - Thanks for the opportunity to clarify. Yes, the retaining wall and fence are entirely parallel and run the same course - along the 51/53 Walnut boundary. The retaining wall stops at the patio, while the ~~wood~~ fence extends an addl. 6 linear feet. Thanks, Jeff Hopkins

May. 16. 2007 10:30AM Rio Tinto Washington DC

RIO TINTO

SHARED SERVICES

FAX COVER SHEET

This document is intended for the exclusive use of the addressee(s). It may contain privileged and/or confidential information. If you are not the addressee(s), or someone responsible for delivering it to the addressee(s), you may not read, copy, or distribute it. If you have received this document by mistake, please call us promptly and securely dispose of it.

TO: Josh Silver	FROM: Jeff Hopkins
FAX NO.: 202-393-0232	PAGES (INCL. COVER): 3
PHONE NO.: 8269 202-355- 1232	DATE: 16 May 2007
SUBJECT: 51 Walnut Ave.	

- Urgent
- For Review
- Please Comment
- Please Reply
- FYI

COMMENTS: Josh Silver, HOPE THIS ANSWERS ANY REMAINING QUESTIONS - LET ME KNOW IF YOU NEED ADDL. INFO. REMAINING WALL & FENCE ARE ADJACENT & PARALLEL. REMAINING WALL RUNS FROM PAVD TO SE CORNER OF LOT. LIKEWISE THE FENCE, BUT FENCE EXTENDS 6 LINEAR FEET, TO REACH CORNER OF HOUSE, WHERE A GATE CURRENTLY EXISTS.

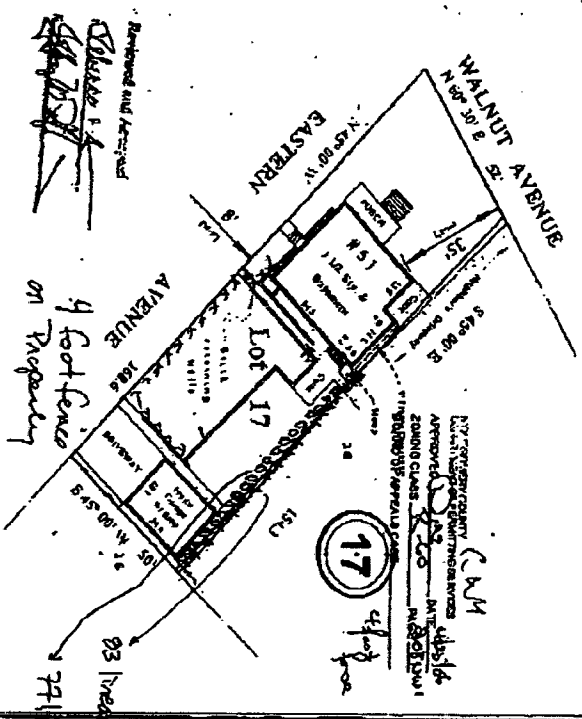
RIO TINTO SHARED SERVICES
1425 K Street, NW, Suite 350
Washington, DC 20005
Telephone: 202.391.7066 Facsimile: 202.391.0232

May 15 07 03:22P

P-2

LANDTECH ASSOCIATES, INC
 7307 Baltimore Avenue Suite 214
 College Park, MD 20740
 301-277-0876

0/18 577



Note: This drawing is not to be used for permit applications

Location Drawing of:	LOT: 17	BLOCK: 17
"PINECREST"	PLAT BK: 2	PLAT#: 145
Montgomery Co., MD	DATE: 6-11-04	SCALE: 1"=30'
	CASE NUMBER: 040659	
	FILE NUMBER: TB-204170	

- NOTES:
1. The plot is of record to a consumer only and as it is required by a holder of a title insurance policy or to report in connection with a commercial transaction, financing, purchase or sale of real estate, it shall be subject to the provisions of the Maryland Real Property Code, Title 41, Subtitle 10, and the provisions of the Maryland Real Property Code, Title 41, Subtitle 10, and the provisions of the Maryland Real Property Code, Title 41, Subtitle 10.
 2. The plot is not to be used as a basis for determining the location of property boundary lines, but such identification may be required for the transfer of title or mortgage financing or to determine.

GRADENA, INCERT - Reg. U.S. LIC. NO. 113

NO TITLE REPORT
 PUNTERSMB