

37/03-07U 6708 WESTMORELAND AVE.
TAKOMA PARK HISTORIC DISTRICT

1109 Spring St # 801

06/25/08

Dear Josh Silver

enclosed are two drawings of the side porch with the proposed change to the roof.

The only change being made is reversing the roof. All other aspect of the porch are the same.

If you have any questions, please

contact me at 301 910 3377

Sincerely

LoLA Adeyeri

LOLA ADEYERI

Permit # 454881

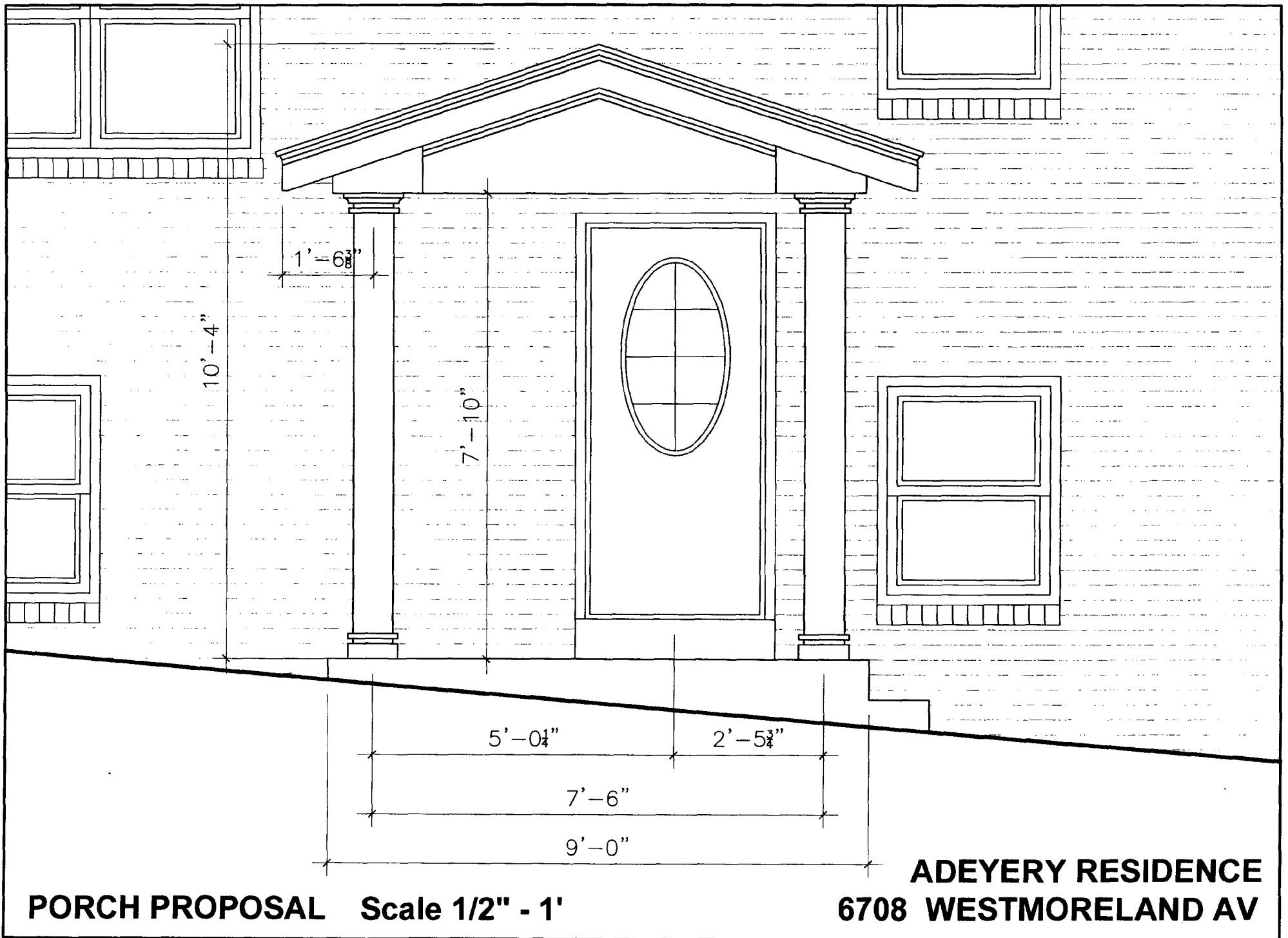
6708 Westmoreland Ave

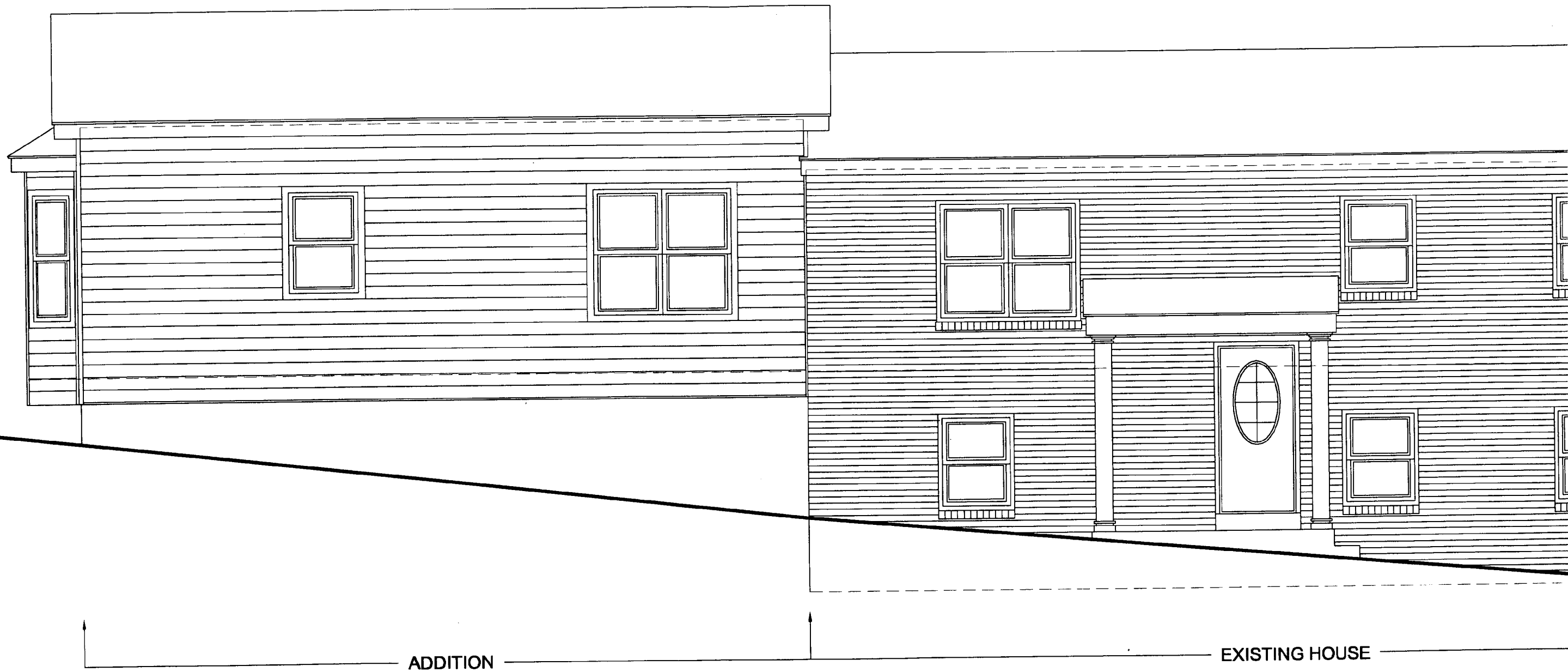
Takoma Park MD 20912



LEFT ELEVATION Scale 1/8" - 1'

**ADEYERY RESIDENCE
6708 WESTMORELAND AV**





2 LEFT ELEVATION
1/4" = 1'-0"

City of Takoma Park, Maryland

DEPARTMENT OF PUBLIC WORKS
TELEPHONE: (301) 891-7633
FAX: (301) 585-2405



31 OSWEGO AVENUE
TAKOMA PARK, MD 20912

Fee: \$25.00

Permit No. 7090001
Issue Date: 09/06/07

TREE PROTECTION PERMIT

Permit for approved tree protection methods at

6708 WESTMORELAND AVENUE

ISSUED TO: Oluwanike Adeyeri
6708 Westmoreland Avenue
Takoma Park, Maryland 20912

Conditions/Comments:

Approval based on plan approved by Todd Bolton, City Arborist, on 08/21/07.

Permit Expires: 09/06/08*

THIS PERMIT IS NOT VALID UNLESS SIGNED BY THE ARBORIST OF THE CITY OF TAKOMA PARK MARYLAND

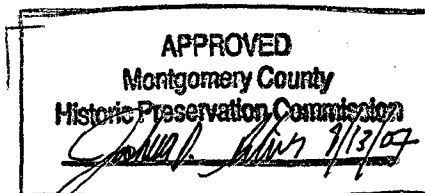
DATE:

9/6/07

Todd M. Bolton
City Arborist

*Expiration date applies to start of construction

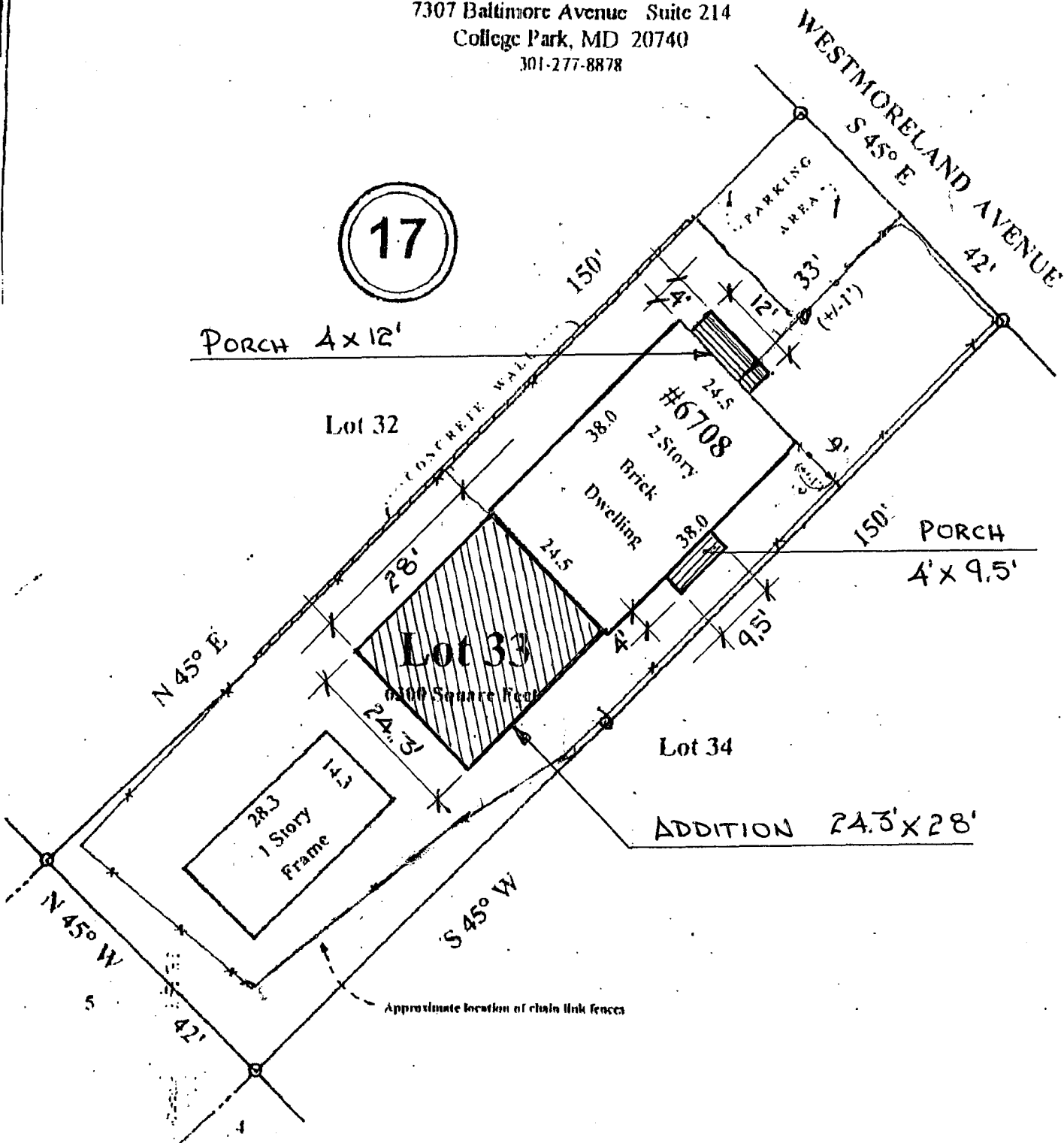
This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



Landtech Associates, Inc.

7307 Baltimore Avenue Suite 214
College Park, MD 20740
301-277-8878

17



Location Drawing of:
#6708 Westmoreland Avenue

PINECREST

Montgomery Co., MD

LOT: 33 BLOCK: 17
PLAT BK: 2 PLAT#: 145
DATE: 10-26-99 SCALE: 1"=20'
CASE NAME: ADEYERI
FILE NUMBER: COL-99134

NOTE: THIS PROPERTY LIES IN FLOOD
ZONE C, AN AREA OF MINIMAL FLOODING
AS DELINEATED ON THE MAPS OF THE
NATIONAL FLOOD INSURANCE PROGRAM

NOTES:

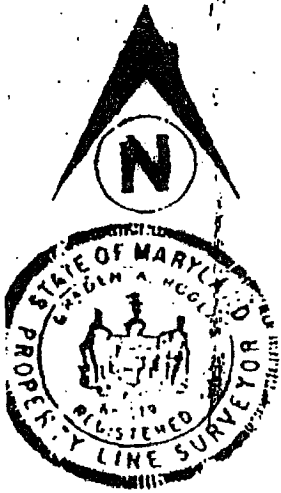
1. The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.

TITLE REPORT FURNISHED

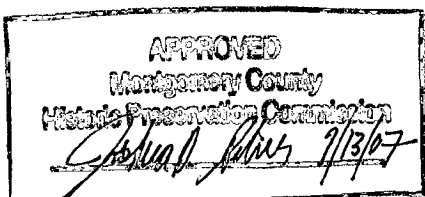
CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

Graden A. Rogers

GRADEN A. ROGERS - PROP. L.S. MD. LIC. NO. 119

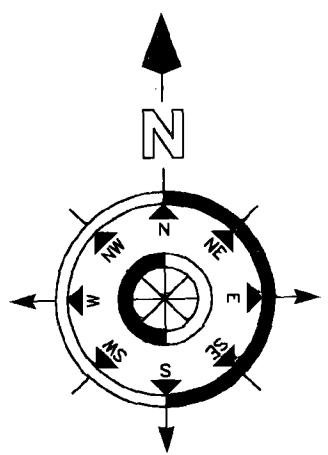


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• Revised Left Side
Elevations

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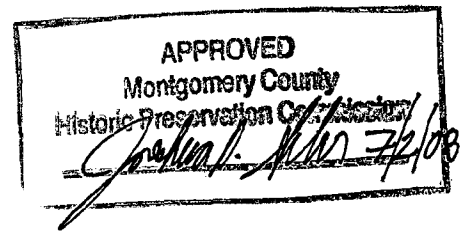
ADEYERI RESIDENCE

PORCH

6708 WESTMORELAND AV
TAKOMA
MOTGOMERY COUNTY, MD 20912

JUNE 2008

PERMIT # 454881



ISSUED: JUNE 2008

SCALE:

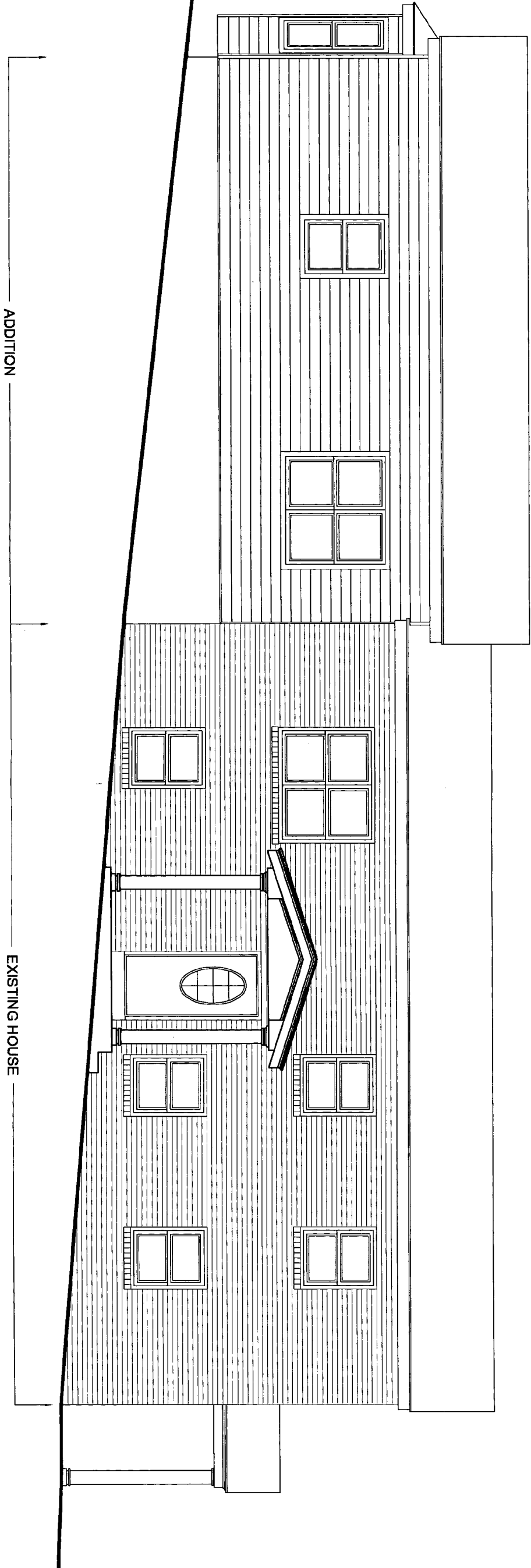
PROJECT NAME: ADEYERI RESIDENCE

PROJECT ADDRESS: 6708 WESTMORELAND AV

COVER

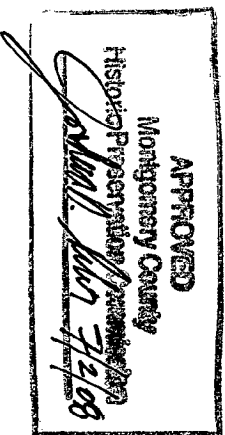
DRAWING NAME:

C-1



1

LEFT ELEVATION (PORCH PROPOSAL)
 3/16" = 1'-0"

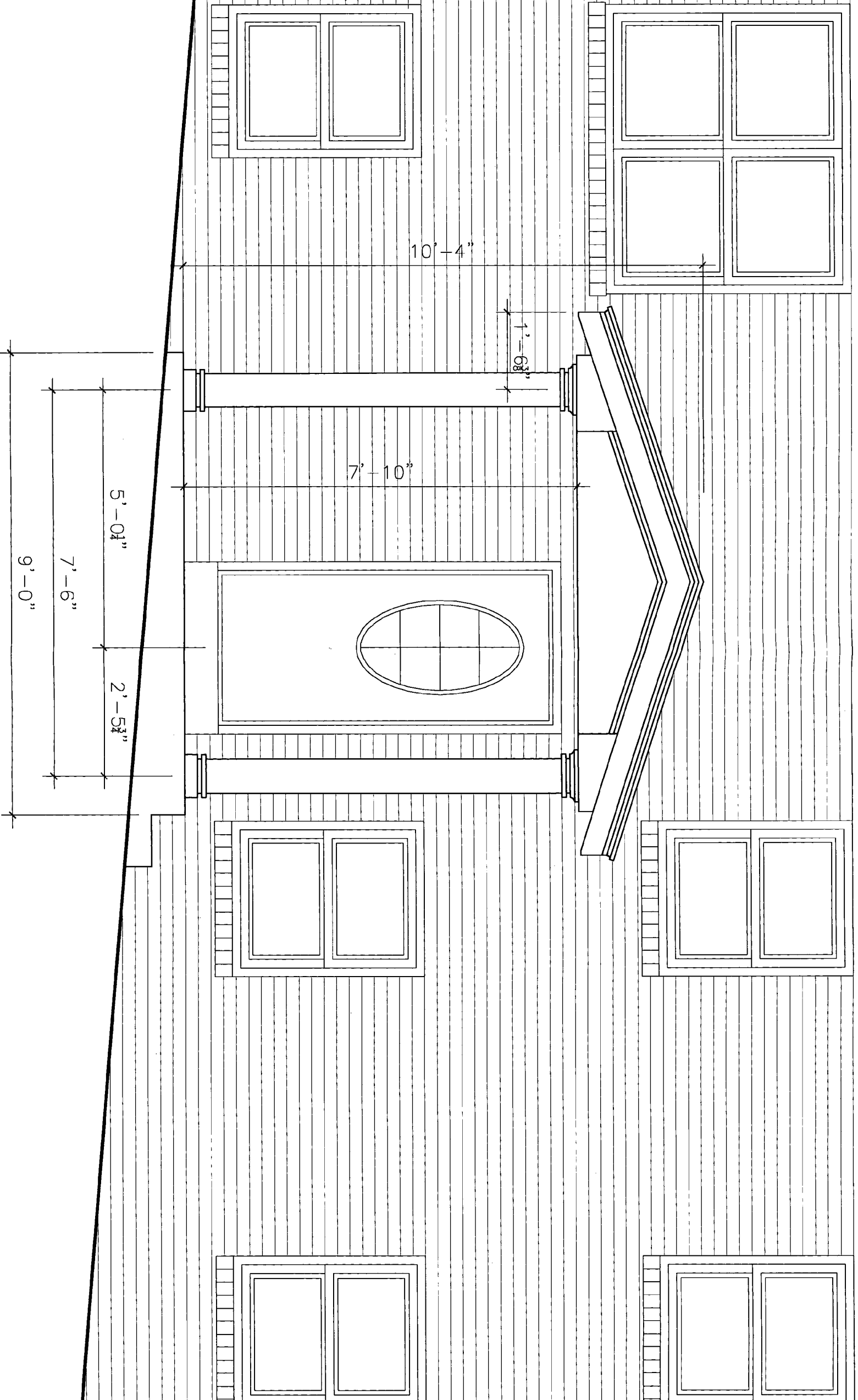


A-1

DRAWING NAME: **LEFT ELEVATION**

PROJECT NAME: **ADEYERI RESIDENCE**
 PROJECT ADDRESS: **6708 WESTMORELAND AV**

ISSUED: **JUNE 2008**
 SCALE: **3/16 = 1'-0"**



10'-4"

1'-6 3/8"

7'-10"

5'-0 1/4"

7'-6"

9'-0"

2'-5 3/4"

1
PORCH PROPOSAL
 1/2" = 1'-0"

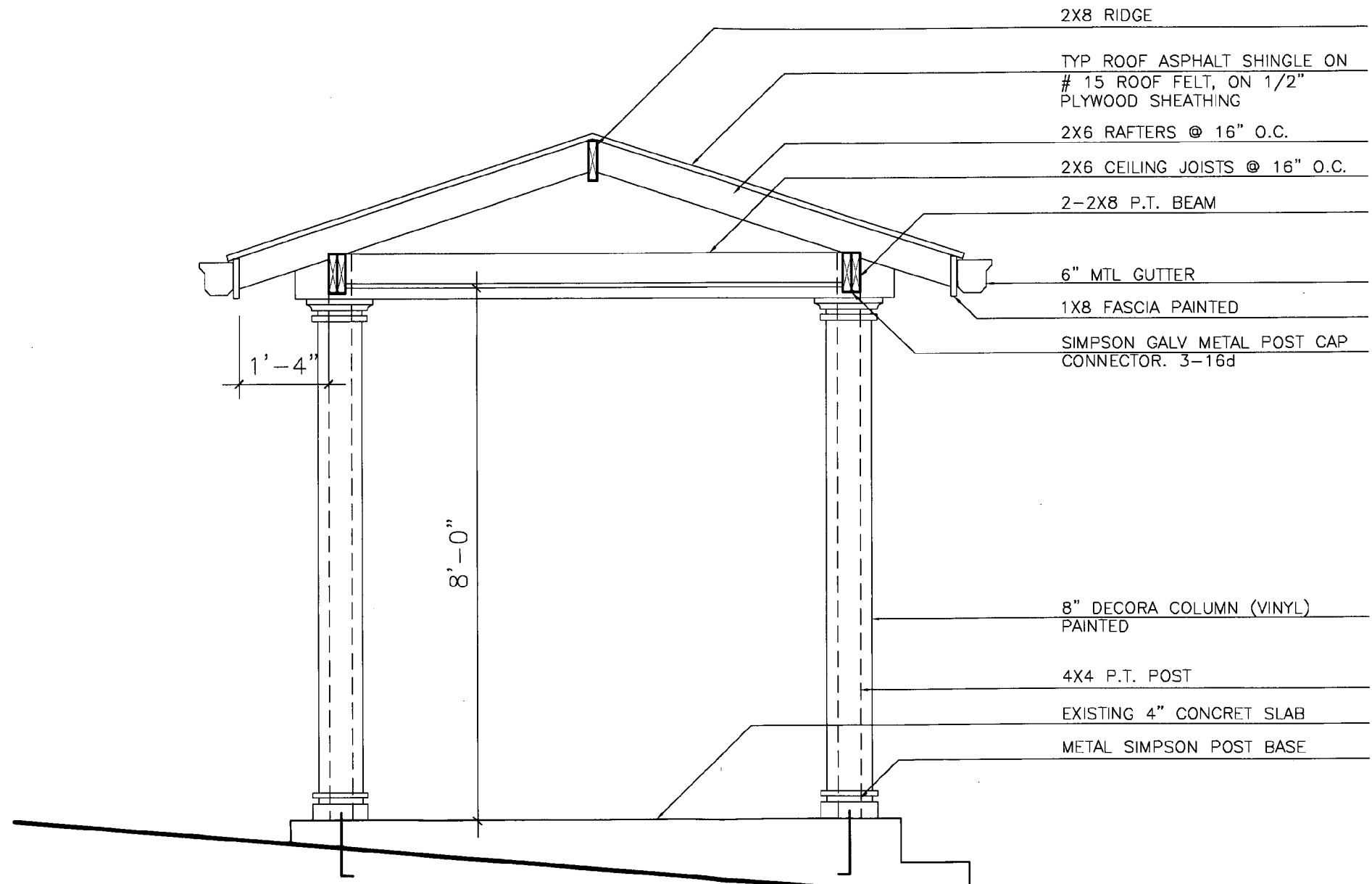
APPROVED
 Montgomery County
 Historic Preservation Commission
Shirley L. Wilson
 7/2/08

A-2

DRAWING NAME: **PORCH PROPOSAL**

PROJECT NAME: **ADEYERI RESIDENCE**
 PROJECT ADDRESS: **6708 WESTMORELAND AV**

ISSUED: **JUNE 2008**
 SCALE: **1/2 = 1'-0"**



1 PORCH SECTION ELEVATION
1/2" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 7/2/08

ISSUED: JUNE 2008
SCALE: 1/2" = 1'-0"

PROJECT NAME: ADEYERI RESIDENCE
PROJECT ADDRESS: 6708 WESTMORELAND AV

DRAWING NAME: PORCH SECTION ELEVATION

A-3

GENERAL NOTES

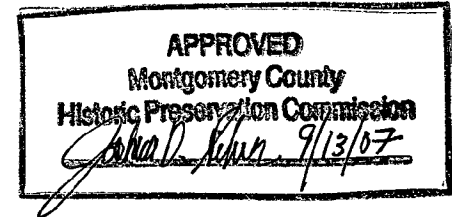
1. All construction shall be in compliance with the International Residential Code 2003 IRC.
2. The contractor shall verify all dimensions, grades, boundaries and construction before proceeding with the work.
3. General contractor shall apply for and secure all necessary permits.
4. Contractor shall maintain, in all circumstances, proper fire and sound ratings when penetrating through walls, floor and ceilings.
5. Wood stud bearing walls to be 2x6, 2x4 at 16" O.C. unless otherwise noted
6. All wood less than 8" from grade shall be pressure treated. All wood plates on slab to be pressure treated.
7. Provide minimum of R-38 Roof insulation with vapor barrier and insulation baffles at each roof bay eave.
8. Provide R-15 batt insulation with vapor barrier on all finished frame walls unless otherwise noted.
9. All exterior wood to be pressure treated or painted with minimum of two coats of paint. All exterior metal louvers/steel intel angles, flashing shall be galvanized and painted.
10. Any walks and stoops with two risers and over shall be provided with handrail 3"0" high.
11. Smoke detectors to be installed in accordance with local codes and requirements and to be integrated with the electrical system.
12. Flashing to be provides at all windows and doors heads, Provided flashing and sealant at all openings in roof or walls to provide weather tight building.
13. All electrical work shall be installed in accordance with NEC and local codes.
14. All mechanical work shall be installed in accordance with mechanical codes.
15. Bottom of footings shall be a minimum of 30" below.
16. Dimensions given on floors plans are to face of finished all. General contractor and manufacturers to cordinate all dimensions concerning doors, panels, windows, trusses and their openings prior to fabrication and construction
17. Typical interior partitions 2x4 wood studs with one layer 1/2" gypsum board both sides unless otherwise noted.
18. Provide sheathing at all exterior frame walls as shown on drawings. nstall in accordance with manufacturer's recommendations.
19. Provide continuous footing drain tile along the building basement perimeter. Drain to positive outfall.
20. Provide splash block at all downspouts to direct water away from building, or run downspout into sleeve connected to below grade pipe directing water away from building.
21. Provide minimum of one light fixture in roof trusses attic access.
22. Soil Bearing capacity shall be mimimun of 2000 PSF.
23. Minimun design loads shall be: 20 PSF Attics, 30 PSF Roof, 40 PSF Stairs and Decks, 60 PSF ext Balconies.
24. Minimun design Wind Speed shall be 90 MPH.
25. Stair wall shall be iluminated in acordance with ELECTRICAL NATIONAL CODE.
26. Provode accessible attic. Access opening not less than 22 inches by 30 inches to any attic area. Area having clear height of over 30 inches no exceeds 30 Sq ft.
27. Each bedroom shall have at least one window with a clear opening of 5.7 square feet. The minimun clear width shall be 20 inches and the minimun clear height shall be 24 inches. The sill height shall not be more than 44 inches above the floor.

INDEX

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S-2	FIRST FLOOR FRAMING PLAN
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D-2	DRAINAGE ROOF PLAN PROPOSAL
D-3	TREE PROTECCION PLAN

BUILDING ANALYSIS

1.	Lot	33
2.	Block	17
3.	No of Floors/Levels	2
4.	Sq ft Area Existing First Floor	931.00
5.	Sq ft Area Existing Shed	404.00
6.	Sq ft New Area First Floor	681.00
7.	Sq ft New Area Porch	86.00
8.	Gross Sq ft First Floor	2,102.00
9.	Sq ft Area Lot	6,300.00
10.	Building % Area	33.3 %
14.	Proposed Building Height	± 21'-8"



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ADEYERI RESIDENCE

ADDITION

6708 WESTMORELAND AV
 TAKOMA PARK
 MONTGOMERY COUNTY, MD 20912
 JUNE 2007

ISSUED: JUNE 2007

SCALE: 3/32 = 1'-0"

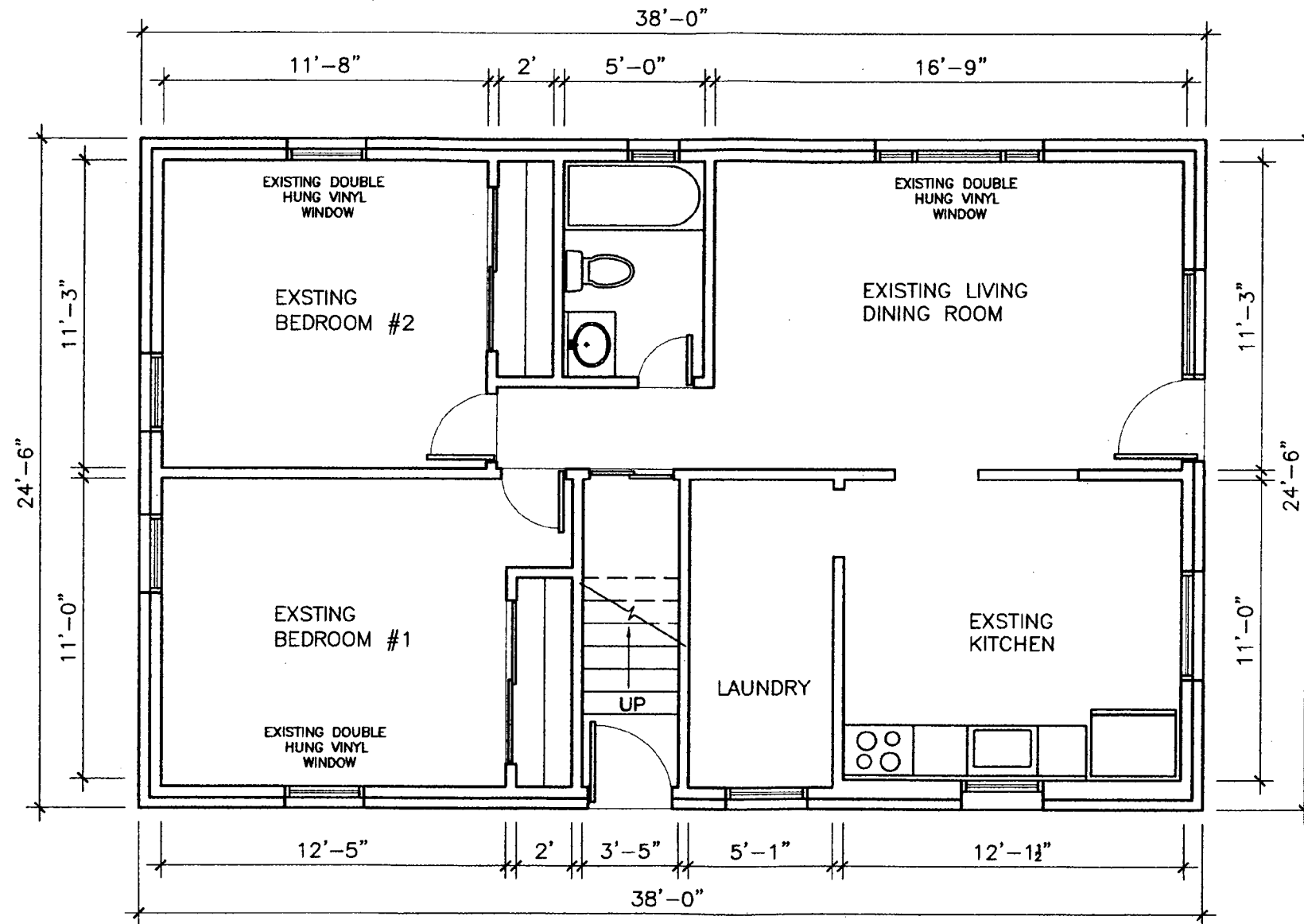
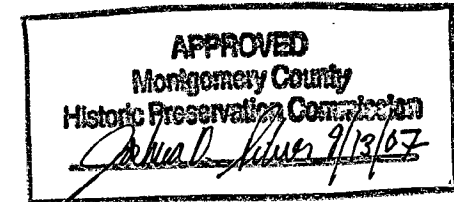
PROJECT NAME: ADEYERI RESIDENCE

PROJECT ADDRESS: 6708 WESTMORELAND AV

DRAWING NAME: GENERAL NOTES & INDEX

C-1

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



1

EXISTING BASEMENT PLAN

3/16" = 1'-0"

ISSUED: JUNE 2007

SCALE: 3/16" = 1'-0"

PROJECT NAME: ADEYERI RESIDENCE

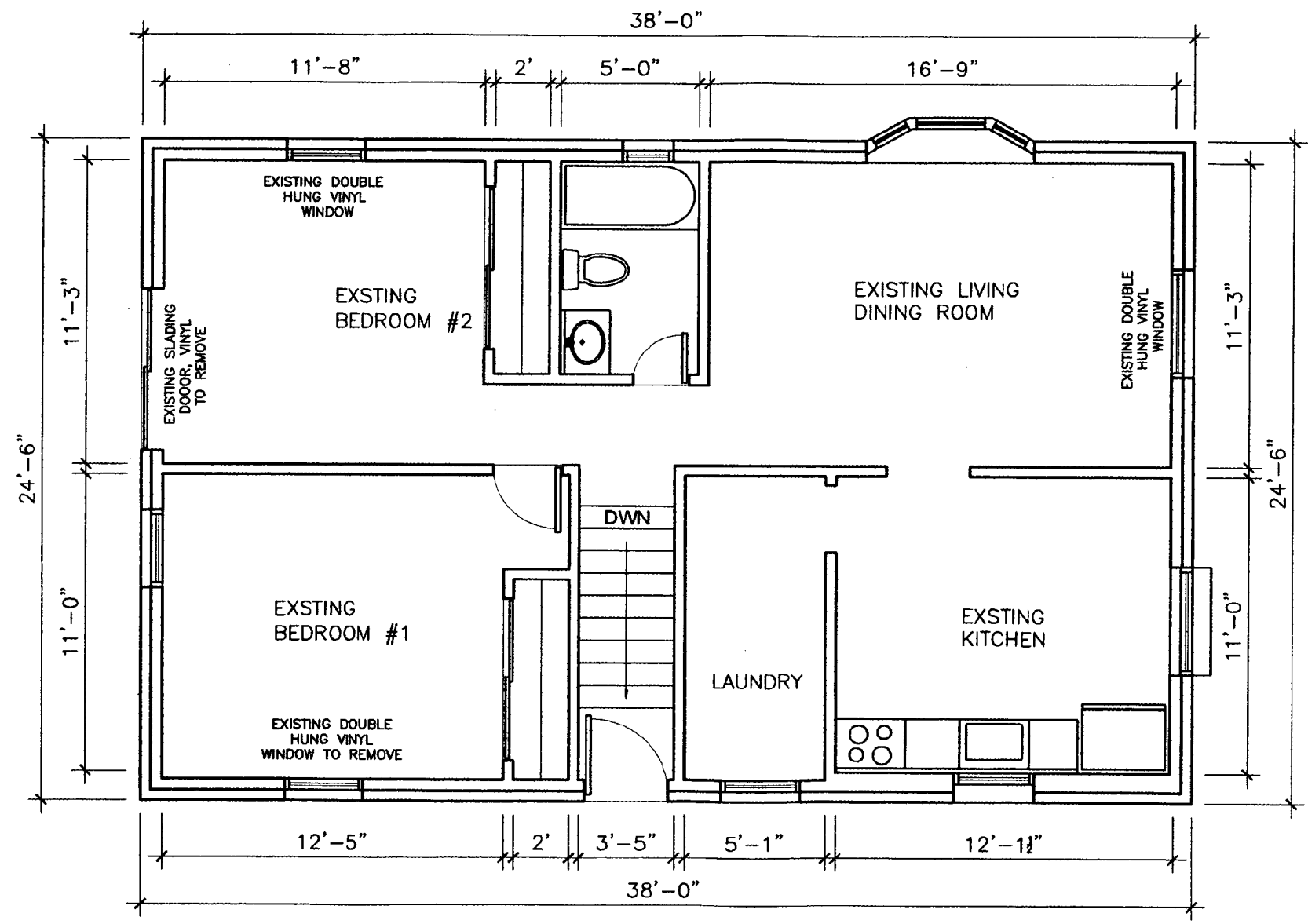
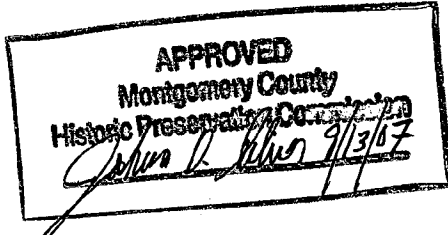
PROJECT ADDRESS: 6708 WESTMORELAND AV

DRAWING NAME: EXISTING

BASEMENT PLAN

A-1

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

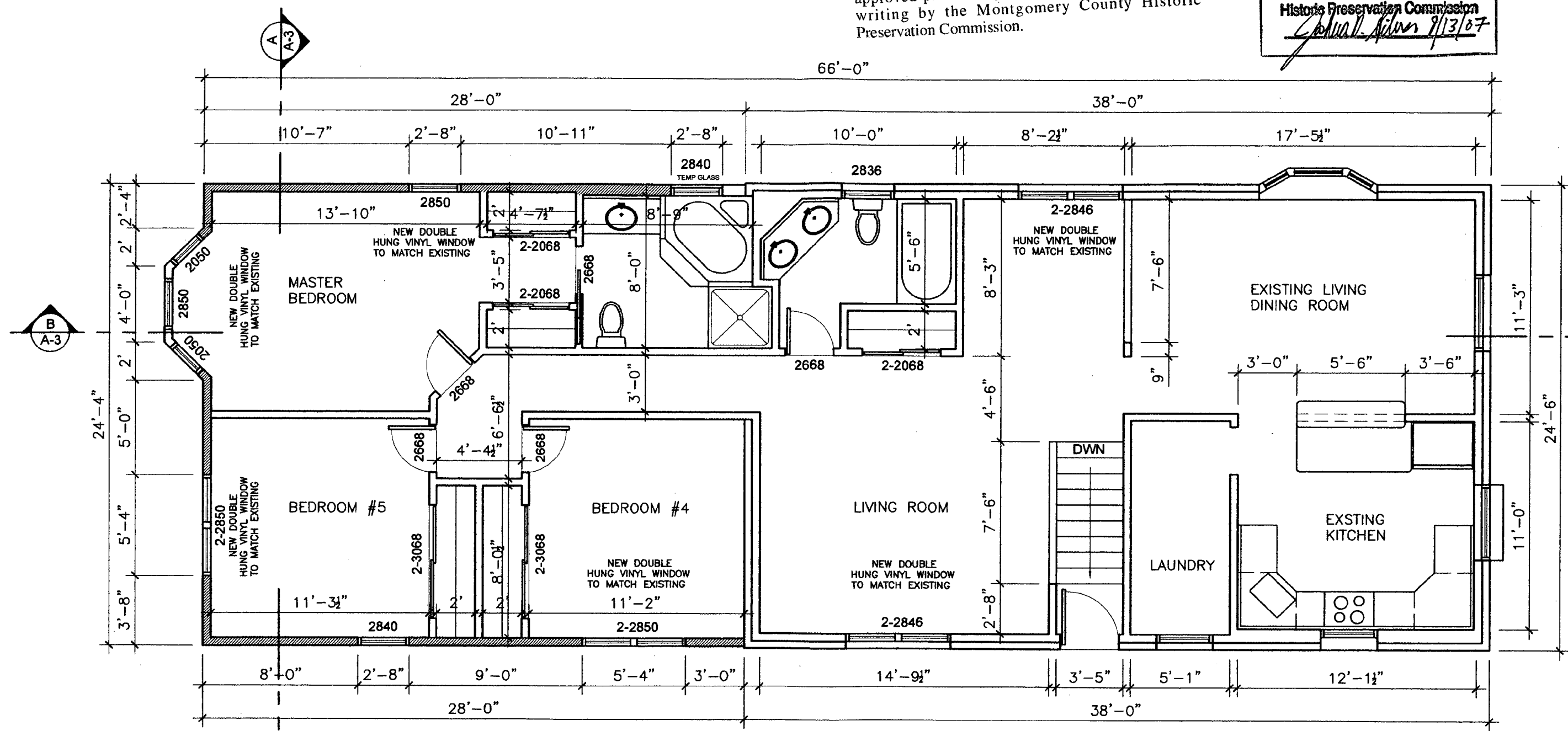


1 EXISTING FIRST FLOOR PLAN
3/16" = 1'-0"

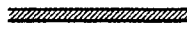
ISSUED:	JUNE 2007
SCALE:	3/16" = 1'-0"
PROJECT NAME:	ADEYERI RESIDENCE
PROJECT ADDRESS:	6708 WESTMORELAND AV
DRAWING NAME:	EXISTING FIRST FLOOR PLAN
A-2	

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

APPROVED
 Montgomery County
 Historic Preservation Commission
Charles A. Adams 9/13/07



KEY NOTES

 BRACING WALL ACCORDING TO IRC CODE R.602.10.3 METHOD #3

ALL NEW WINDOWS, DOUBLE HUNG VINYL TO MATCH EXISTING WINDOWS

1 FIRST FLOOR PLAN PROPOSAL
 3/16" = 1'-0"

ISSUED: **JUNE 2007** SCALE: **3/16" = 1'-0"**

PROJECT NAME: **ADEYERI RESIDENCE**

PROJECT ADDRESS: **6708 WESTMORELAND AV**

DRAWING NAME: **FIRST FLOOR PLAN PROPOSAL**

A-3

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

APPROVED
 Montgomery County
 Historic Preservation Commission
Joshua D. Kerner 9/13/07

TYP ROOF ASPHALT SHINGLE ON # 15 ROOF
 FELT ON 1/2" PLYWOOD SHEATHING
 PRE-ENGINE ROOF TRUSSES @ 24" O.C.

R-38 BATT INSULATION

2-2X4 TOP PLATE

SOFFIT VENT

TYP HARDI-PLANK SIDING, 6" SMOOTH

1/2" PLYWOOD SHEATHING, V.B.

R-15 BATT INSULATION

2X4 STUD @ 16" O.C.

1/2" GYPSUM WALL BOARD

3/4" PLYWOOD T&G

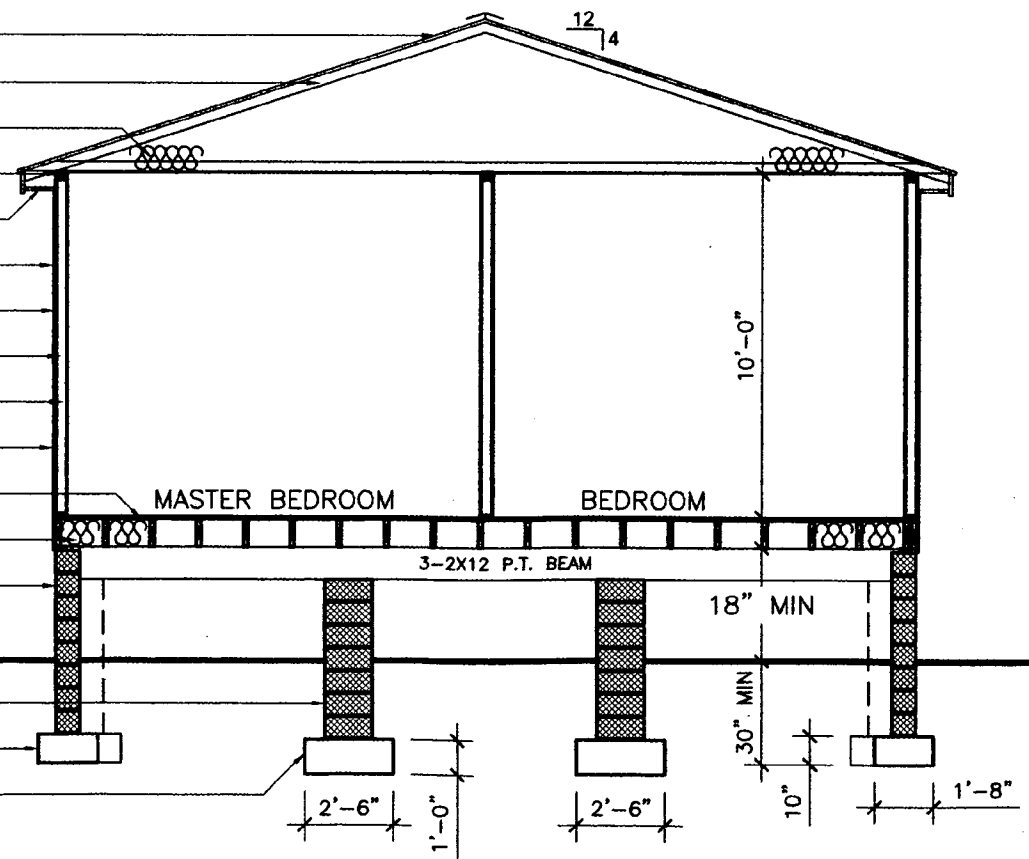
2X10 JOISTS @ 16" O.C., R-19 BATT INSULATION

8" C.M.U. WALL

16X16 CONCRET PIER FOOTING

20X10 CONCRET FOOTING, 3 #4 CONT

30X30X12 CONCRET FOOTING

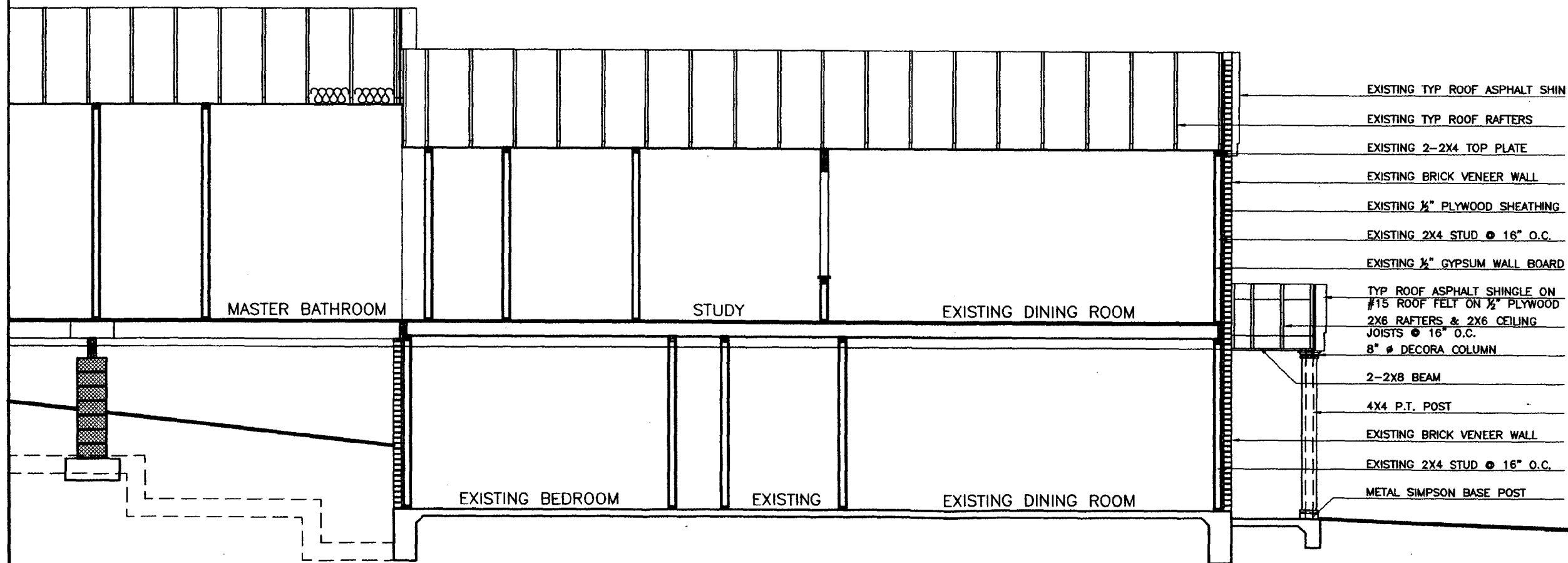


1 SECTION ELEVATION A-A
 3/16" = 1'-0"

ISSUED:	JUNE 2007
SCALE:	3/16" = 1'-0"
PROJECT NAME:	ADEYERI RESIDENCE
PROJECT ADDRESS:	6708 WESTMORELAND AV
DRAWING NAME:	SECTION ELEVATION A-A
A-4	

APPROVED
 Montgomery County
 Historic Preservation Commission
John W. ... 9/13/07

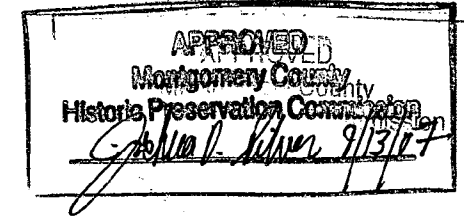
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- EXISTING TYP ROOF ASPHALT SHIN
- EXISTING TYP ROOF RAFTERS
- EXISTING 2-2X4 TOP PLATE
- EXISTING BRICK VENEER WALL
- EXISTING 1/2" PLYWOOD SHEATHING
- EXISTING 2X4 STUD @ 16" O.C.
- EXISTING 1/2" GYPSUM WALL BOARD
- TYP ROOF ASPHALT SHINGLE ON #15 ROOF FELT ON 1/2" PLYWOOD 2X6 RAFTERS & 2X6 CEILING JOISTS @ 16" O.C.
- 8" # DECORA COLUMN
- 2-2X8 BEAM
- 4X4 P.T. POST
- EXISTING BRICK VENEER WALL
- EXISTING 2X4 STUD @ 16" O.C.
- METAL SIMPSON BASE POST

1 SECTION ELEVATION B-B
 3/16" = 1'-0"

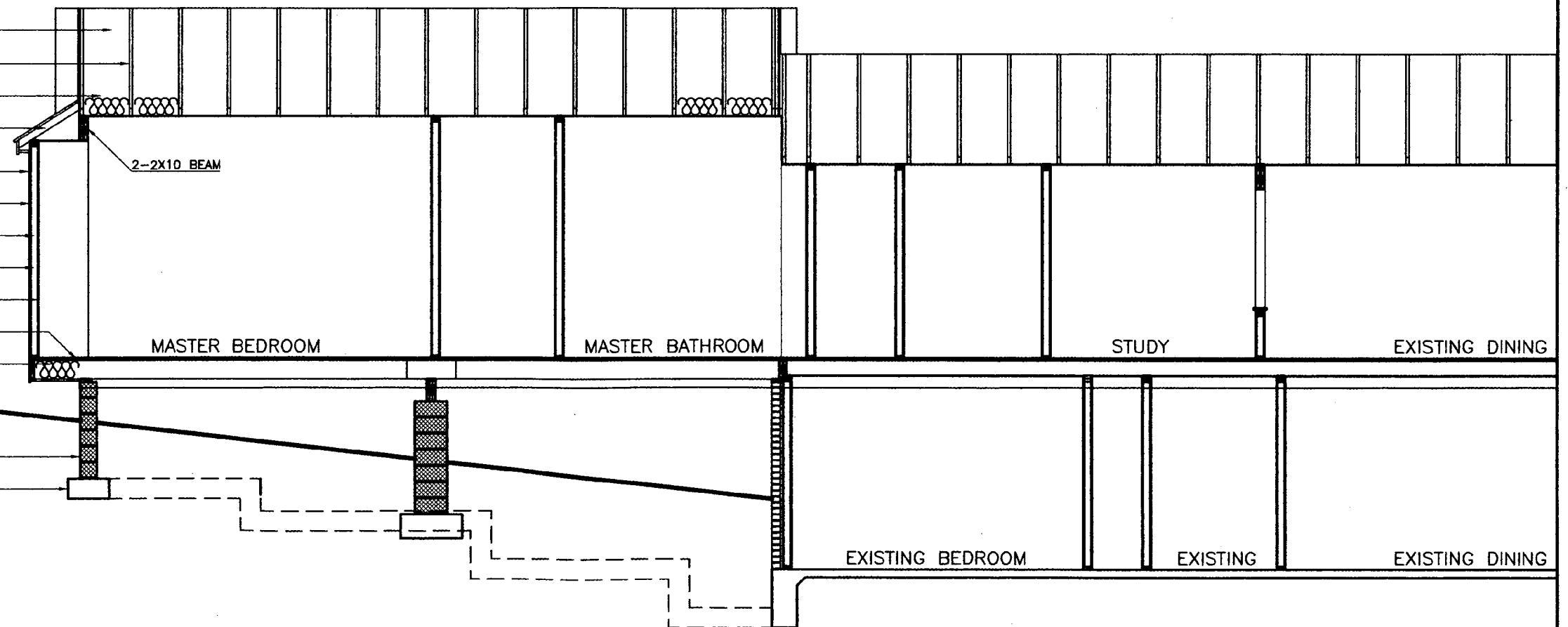
ISSUED:	JUNE 2007
SCALE:	3/16" = 1'-0"
PROJECT NAME:	ADEYERI RESIDENCE
PROJECT ADDRESS:	6708 WESTMORELAND AV
DRAWING NAME:	SECTION ELEVATION B-B
A-5	



This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

- TYP ROOF ASPHALT SHINGLE ON #15 ROOF
- FELT ON 1/2" PLYWOOD SHEATHING
- PRE-ENGINE ROOF TRUSSES @ 24" O.C.
- R-38 BATT INSULATION
- 2X4 RAFTERS & 2X4 CEILING JOISTS @ 16" O.C.
- TYP HARDI-PLANK SIDING, 6" SMOOTH
- 1/2" PLYWOOD SHEATHING, V.B.
- R-15 BATT INSULATION
- 2X4 STUD @ 16" O.C.
- 1/2" GYPSUM WALL BOARD
- 3/4" PLYWOOD T&G
- 2X10 JOISTS @ 16" O.C., R-19 INSULATION

- 8" C.M.U. WALL
- 20X10 CONCRET FOOTING, 3 #4 CONT



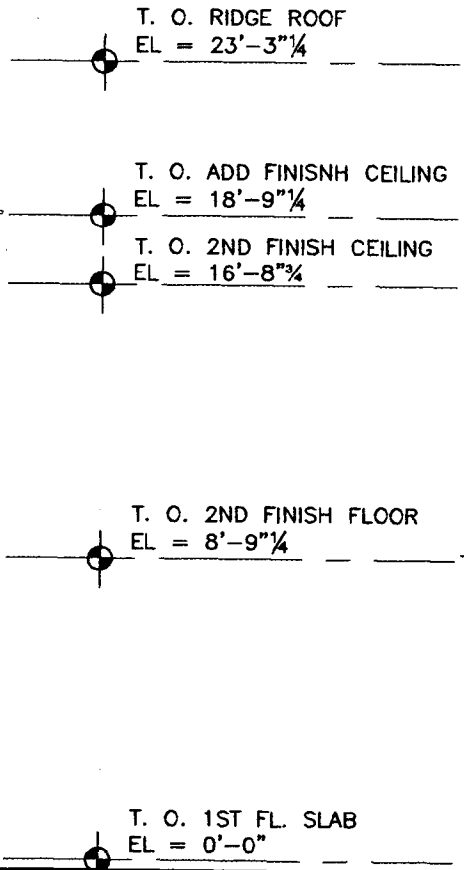
1 SECTION ELEVATION B-B
3/16" = 1'-0"

ISSUED:	JUNE 2007	SCALE:	3/16" = 1'-0"
PROJECT NAME:	ADEYERI RESIDENCE		
PROJECT ADDRESS:	6708 WESTMORELAND AV		
DRAWING NAME:	SECTION	ELEVATION B-B	
	A-5		

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 9/13/07

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KEY NOTES	
•	ALL NEW WINDOWS, DOUBLE HUNG VINYL TO MATCH EXISTING WINDOWS
•	ALL TRIM, WINDOWS, DOORS, PORCH COLUMNS & DETAILS MUST BE FABRICATED IN PAINTED WOOD
•	FRONT DOOR WILL BE FABRICATED OF PAINTED WOOD



1 FRONT ELEVATION
 3/16" = 1'-0"

ISSUED: JUNE 2007
 SCALE: 3/16" = 1'-0"

PROJECT NAME: ADEYERI RESIDENCE
 PROJECT ADDRESS: 6708 WESTMORELAND AV

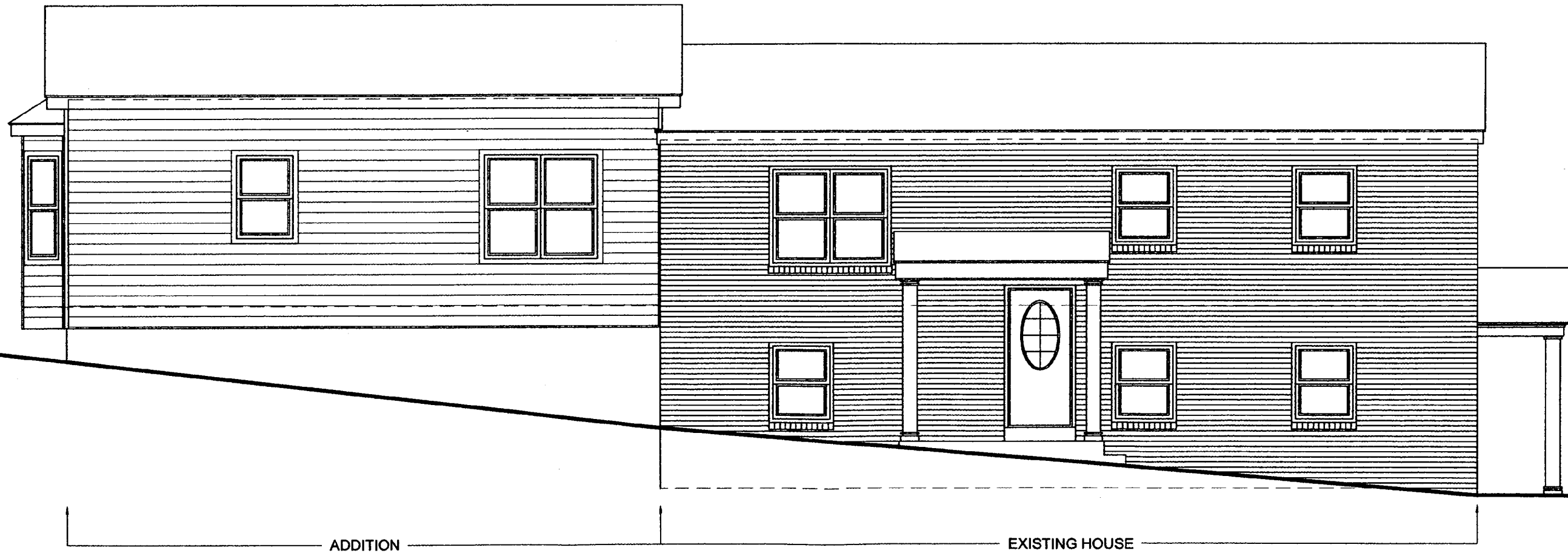
DRAWING NAME: FRONT ELEVATION

A-6

APPROVED
 Montgomery County
 Historic Preservation Commission
Joseph D. Miller 9/13/07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

- | KEY NOTES |
|--|
| • ALL NEW WINDOWS, DOUBLE HUNG VINYL TO MATCH EXISTING WINDOWS |
| • ALL TRIM, WINDOWS, DOORS, PORCH COLUMNS & DETAILS MUST BE FABRICATED IN PAUNTED WOOD |
| • SIDING: TYP HARDY PLANK |



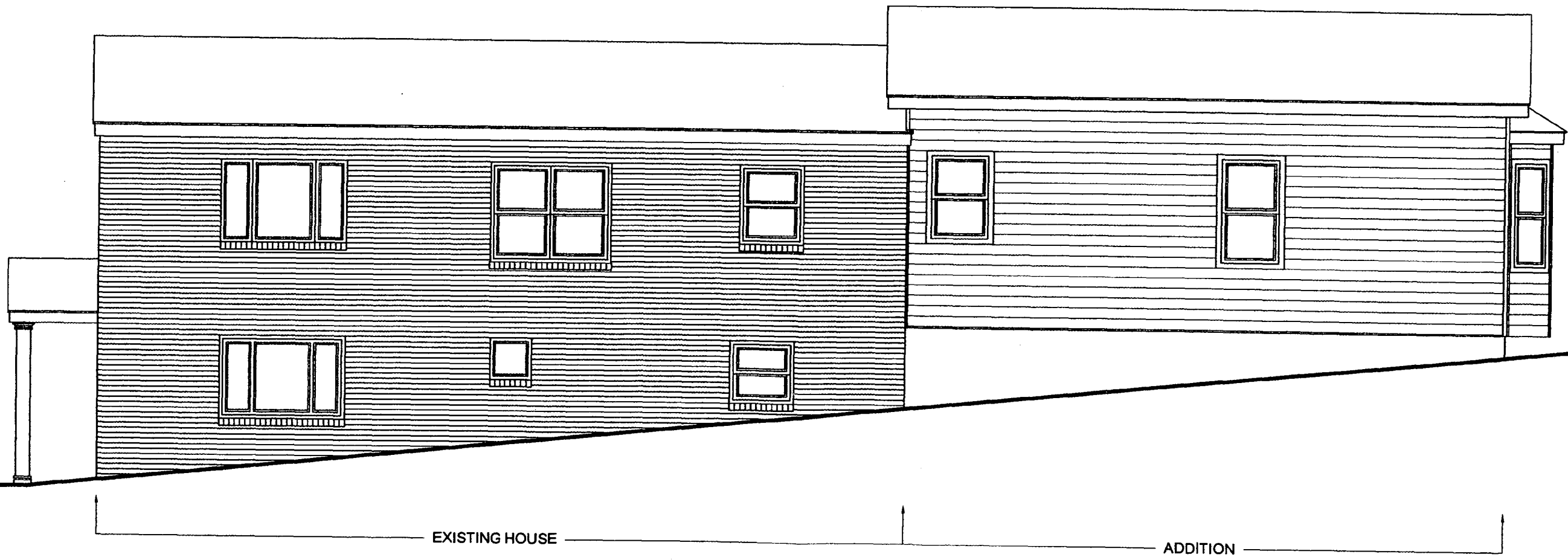
1 LEFT ELEVATION
 3/16" = 1'-0"

ISSUED:	JUNE 2007	SCALE:	3/16" = 1'-0"
PROJECT NAME:	ADEYERI RESIDENCE	PROJECT ADDRESS:	6708 WESTMORELAND AV
DRAWING NAME:	LEFT		ELEVATION
			A-7

APPROVED
 Montgomery County
 Historic Preservation Commission
Debra D. Miller 9/13/07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

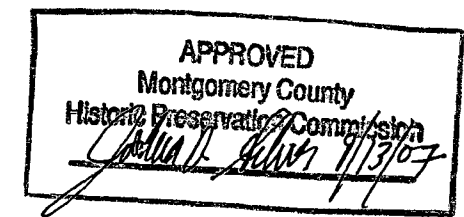
- | KEY NOTES | |
|-----------|--|
| • | ALL NEW WINDOWS, DOUBLE HUNG VINYL TO MATCH EXISTING WINDOWS |
| • | ALL TRIM, WINDOWS, DOORS, PORCH COLUMNS & DETAILS MUST BE FABRICATED IN PAUNTED WOOD |
| • | SIDING: TYP HARDY PLANK |



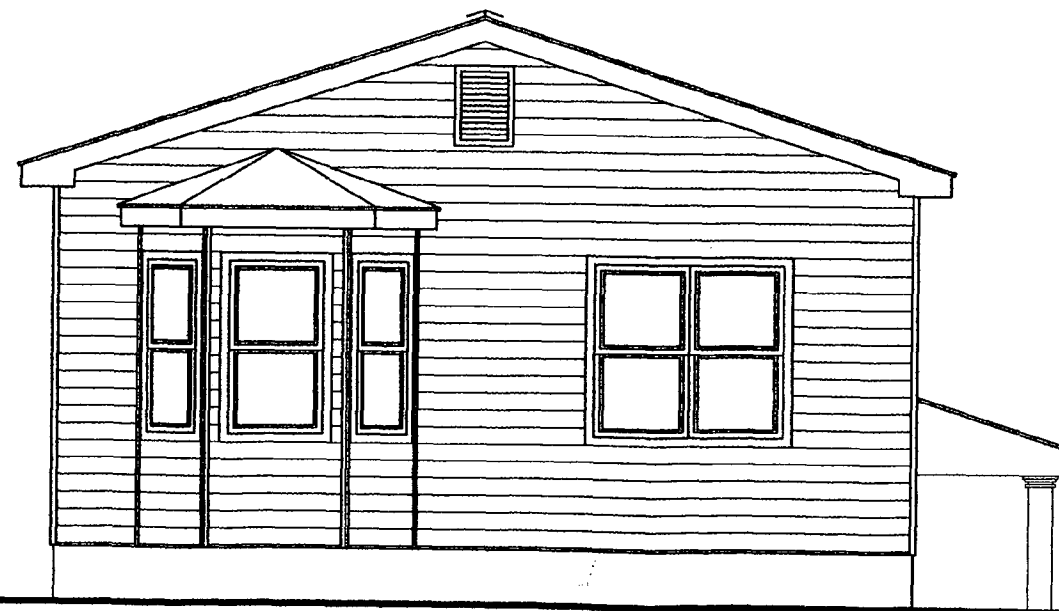
1 RIGHT ELEVATION
 3/16" = 1'-0"

ISSUED:	JUNE 2007	SCALE:	3/16" = 1'-0"
PROJECT NAME:	ADEYERI RESIDENCE		
PROJECT ADDRESS:	6708 WESTMORELAND AV		
DRAWING NAME:	RIGHT ELEVATION		
A-8			

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic



KEY NOTES
• ALL NEW WINDOWS, DOUBLE HUNG VINYL TO MATCH EXISTING WINDOWS
• ALL TRIM, WINDOWS, DOORS, PORCH COLUMNS & DETAILS MUST BE FABRICATED IN PAUNTED WOOD
• SIDING: TYP HARDY PLANK



1 **BACK ELEVATION**
3/16" = 1'-0"

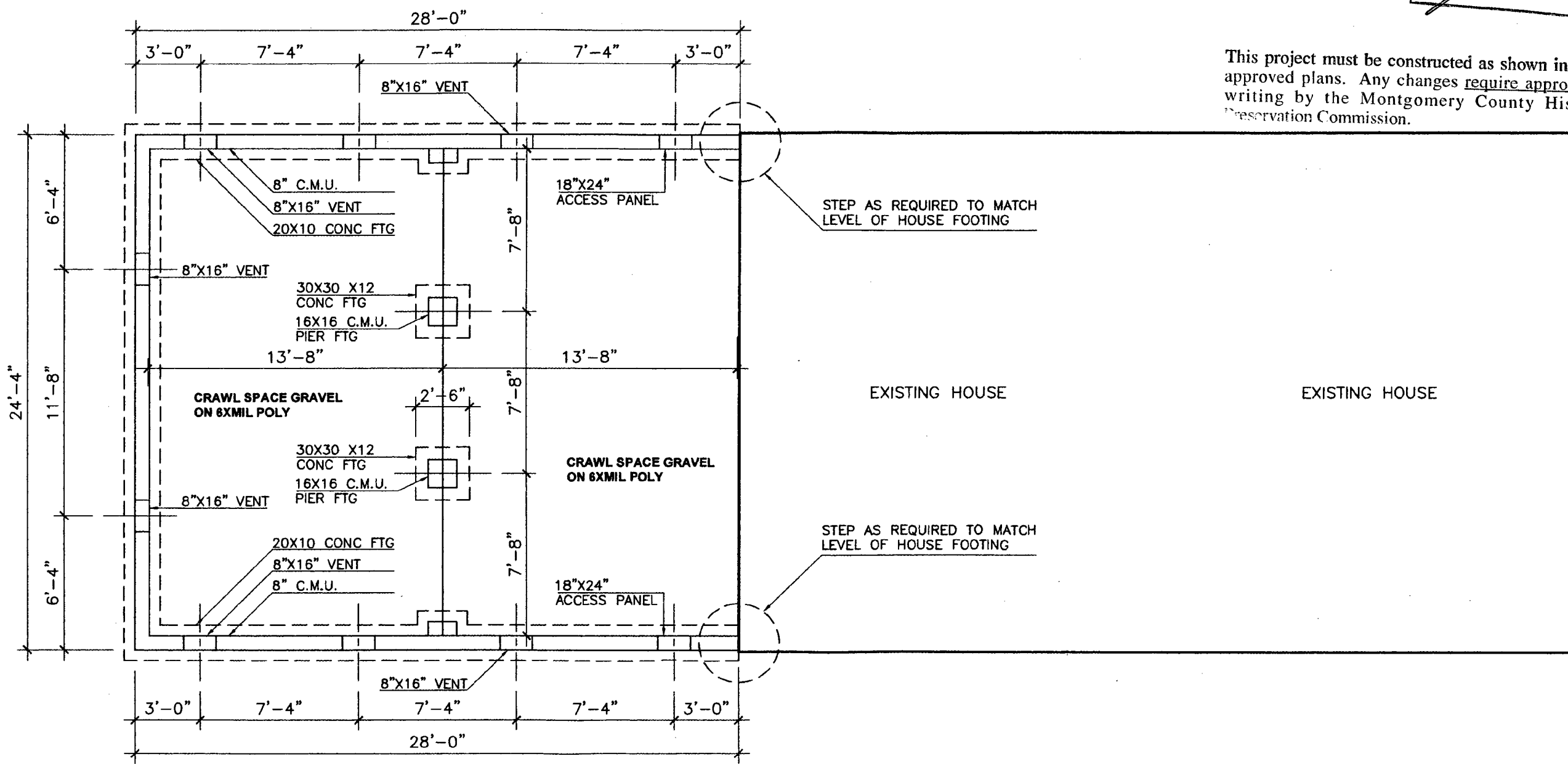
ISSUED: **JUNE 2007**
SCALE: **3/16" = 1'-0"**

PROJECT NAME: **ADEYERI RESIDENCE**
PROJECT ADDRESS: **6708 WESTMORELAND AV**

DRAWING NAME: **BACK ELEVATION**

APPROVED
 Montgomery County
 Historic Preservation Commission
John A. Kelly 9/13/07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



1 FOUNDATION PLAN
 3/16" = 1'-0"

ISSUED: JUNE 2007
 SCALE: 3/16" = 1'-0"

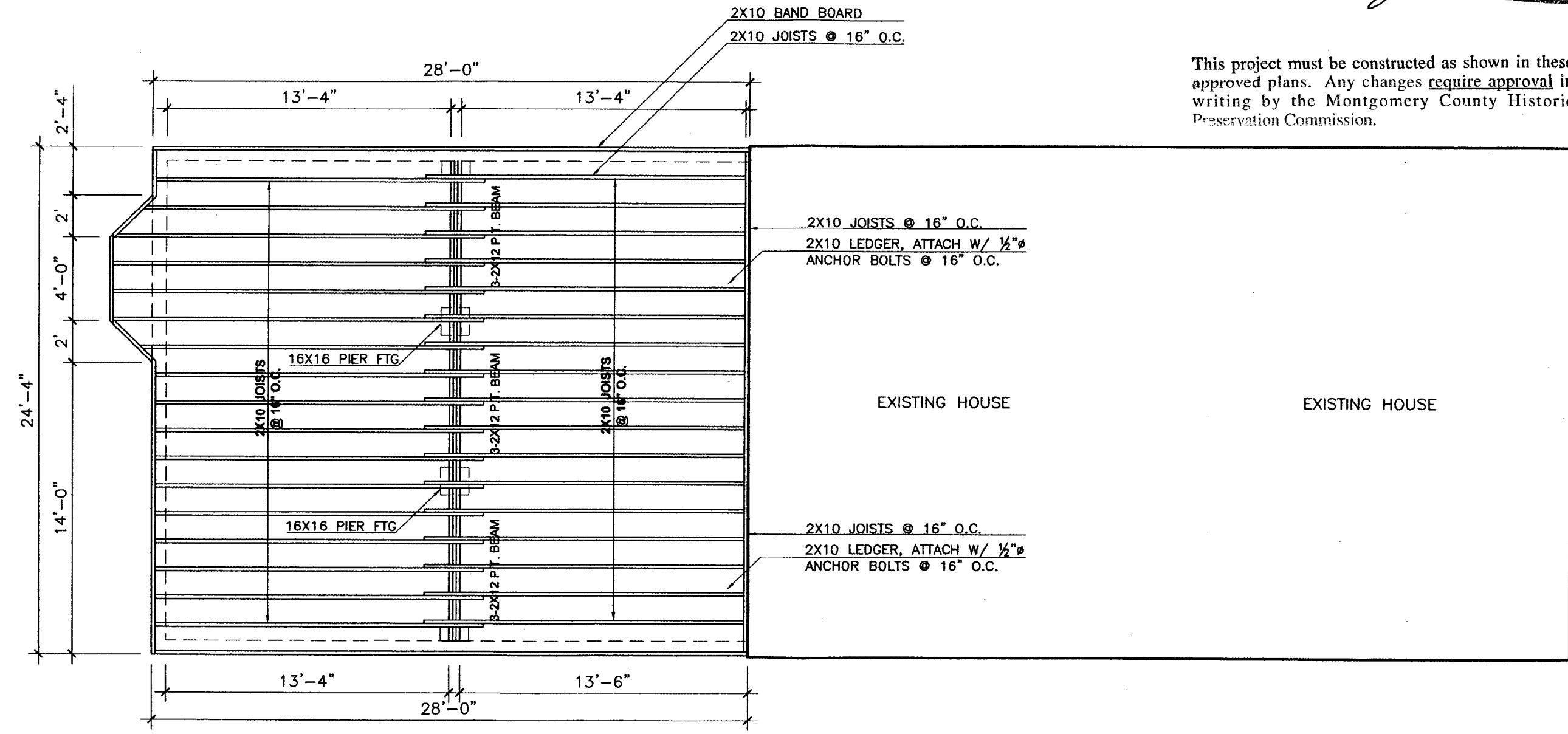
PROJECT NAME: ADEYERI RESIDENCE
 PROJECT ADDRESS: 6708 WESTMORELAND AV

DRAWING NAME: FOUNDATION PLAN

S-1

APPROVED
 Montgomery County
 Historic Preservation Commission
Charles R. Blase 9/13/07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



1 FIRST FLOOR FRAMING PLAN
 3/16" = 1'-0"

ISSUED: JUNE 2007
 SCALE: 3/16" = 1'-0"

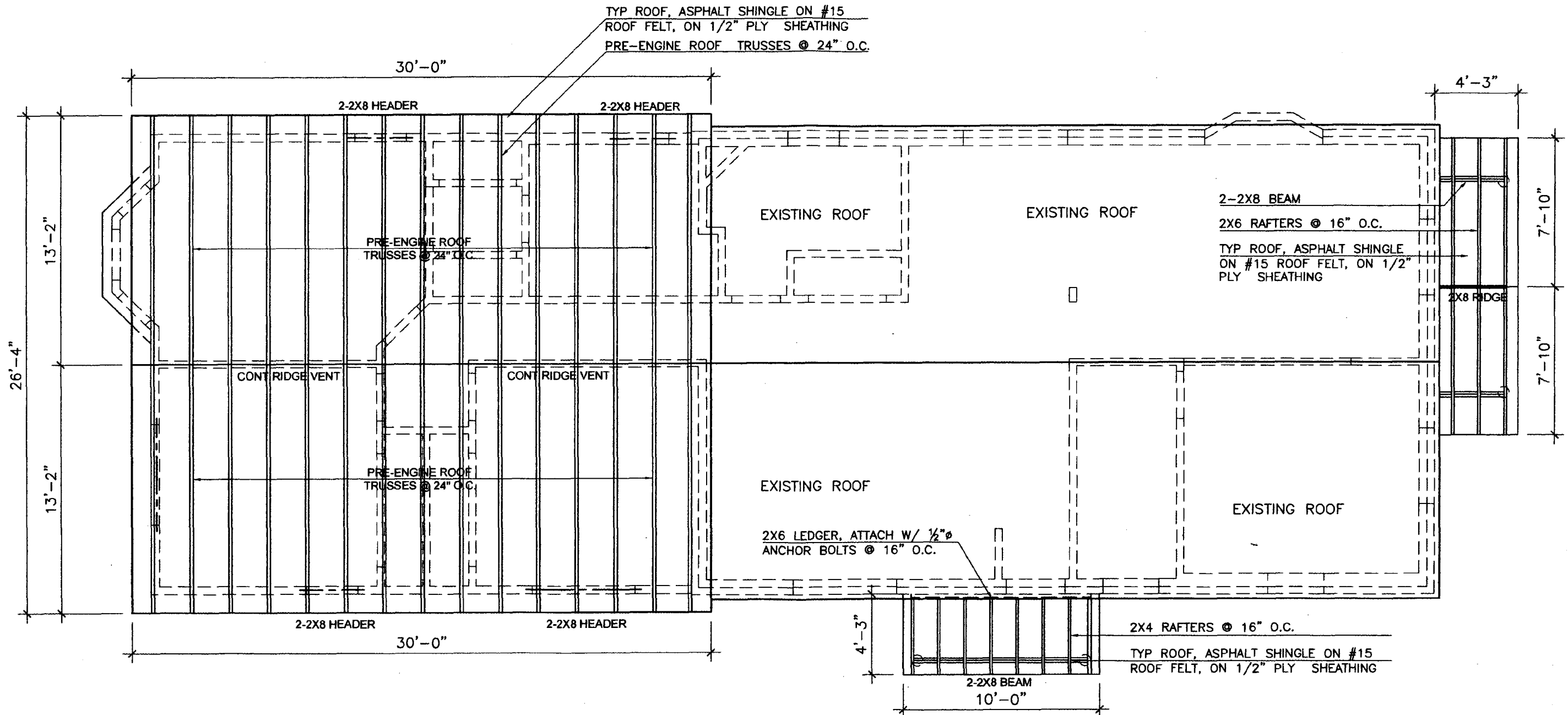
PROJECT NAME: ADEYERI RESIDENCE
 PROJECT ADDRESS: 6708 WESTMORELAND AV

DRAWING NAME: FIRST FLOOR FRAMING PLAN

S-2

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

APPROVED
 Montgomery County
 Historic Preservation Commission
Charles Kiker 9/13/07



ISSUED: JUNE 2007
 SCALE: 3/16" = 1'-0"

PROJECT NAME: ADEYERI RESIDENCE
 PROJECT ADDRESS: 6708 WESTMORELAND AV

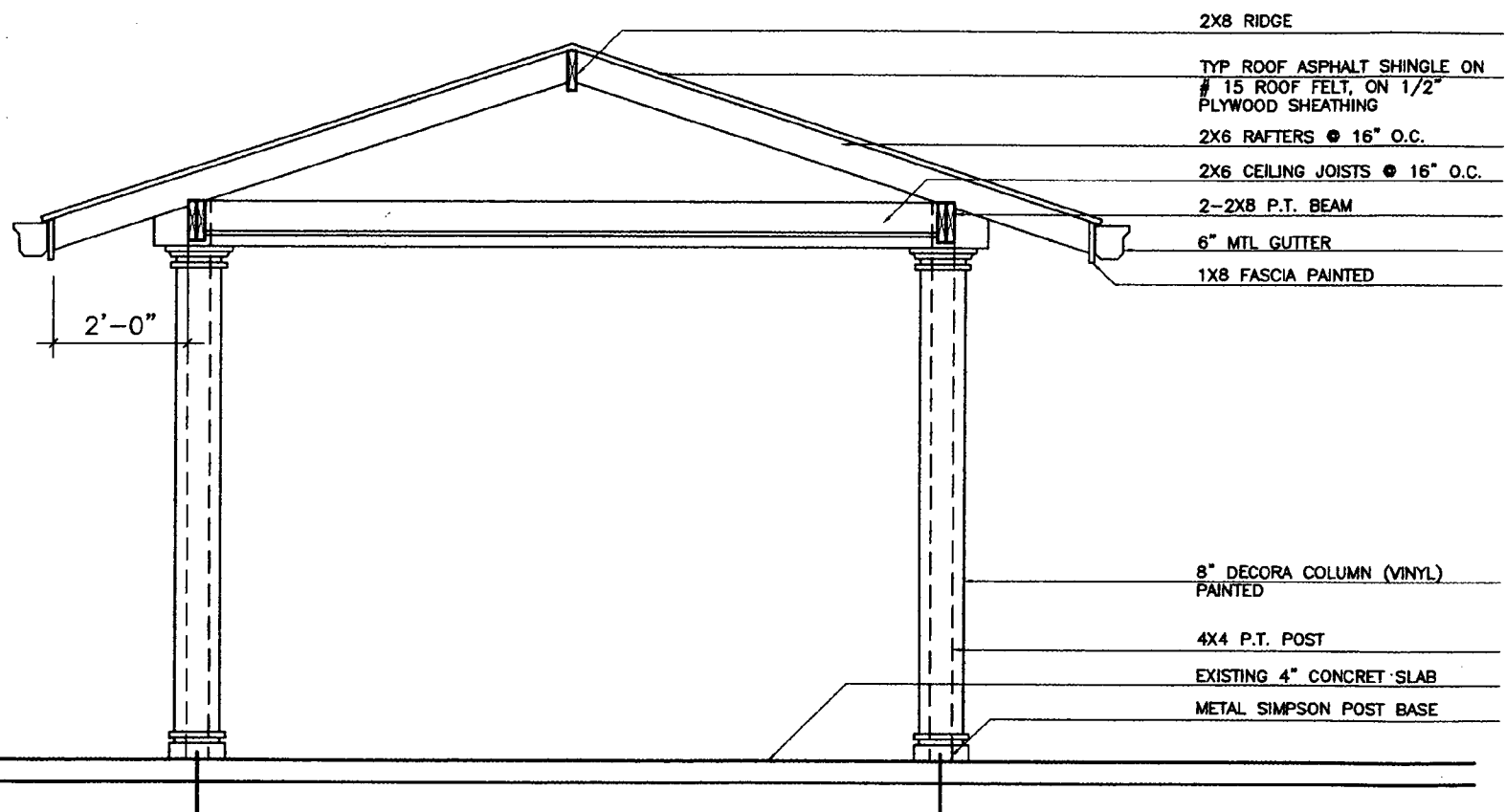
DRAWING NAME: ROOF FRAMING PLAN

1 ROOF FRAMING PLAN
 3/16" = 1'-0"

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

APPROVED
Montgomery County
Historic Preservation Commission
John D. Kline 9/13/07

ISSUED: **JUNE 2007**
 SCALE: **3/8" = 1'-0"**

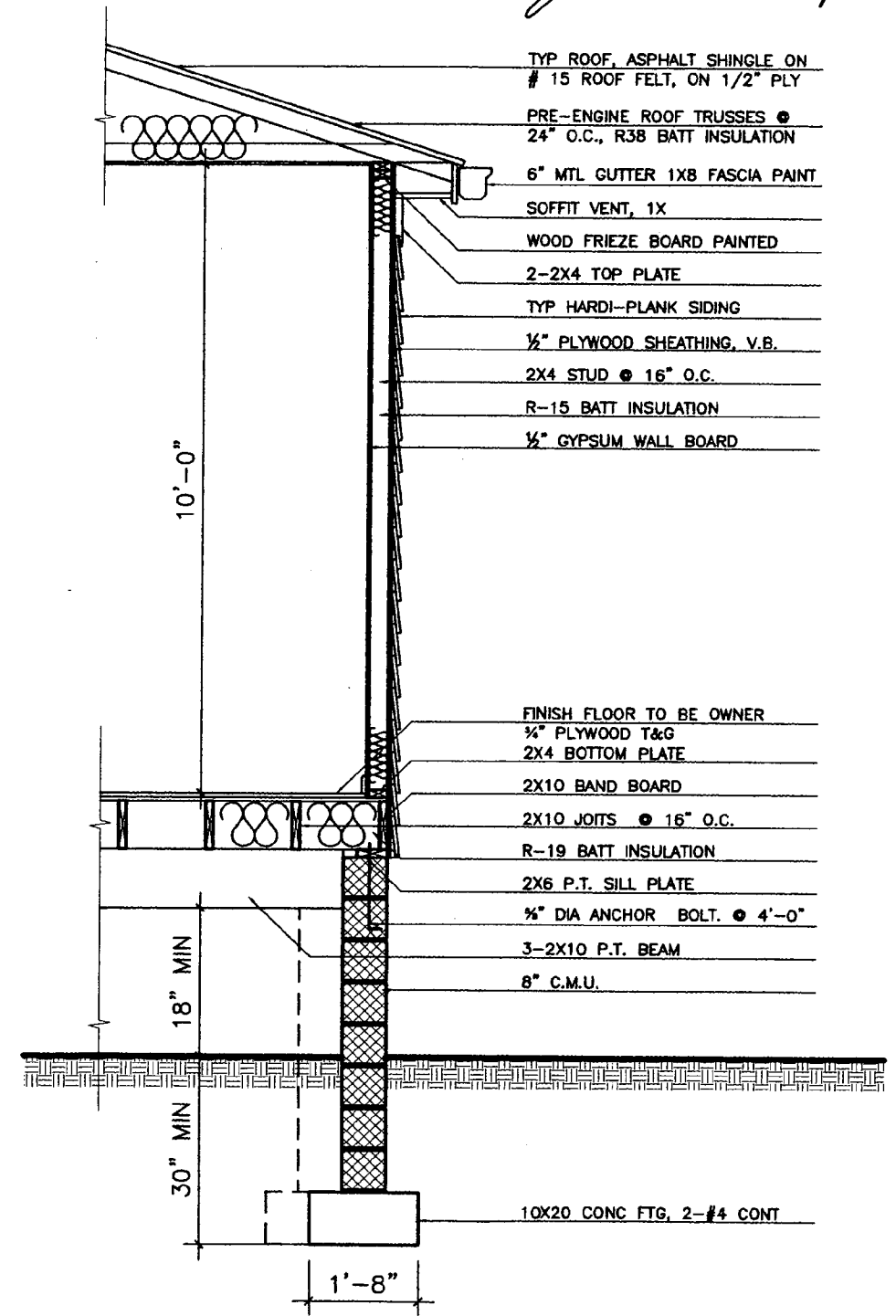


- 2X8 RIDGE
- TYP ROOF ASPHALT SHINGLE ON # 15 ROOF FELT, ON 1/2" PLYWOOD SHEATHING
- 2X6 RAFTERS @ 16" O.C.
- 2X6 CEILING JOISTS @ 16" O.C.
- 2-2X8 P.T. BEAM
- 6" MTL GUTTER
- 1X8 FASCIA PAINTED

- 8" DECORA COLUMN (VINYL) PAINTED
- 4X4 P.T. POST
- EXISTING 4" CONCRET SLAB
- METAL SIMPSON POST BASE

2'-0"

1 **PORCH SECTION DETAIL**
 3/8" = 1'-0"



- TYP ROOF, ASPHALT SHINGLE ON # 15 ROOF FELT, ON 1/2" PLY
- PRE-ENGINE ROOF TRUSSES @ 24" O.C., R38 BATT INSULATION
- 6" MTL GUTTER 1X8 FASCIA PAINT
- SOFFIT VENT, 1X
- WOOD FRIEZE BOARD PAINTED
- 2-2X4 TOP PLATE
- TYP HARDI-PLANK SIDING
- 1/2" PLYWOOD SHEATHING, V.B.
- 2X4 STUD @ 16" O.C.
- R-15 BATT INSULATION
- 1/2" GYPSUM WALL BOARD

- FINISH FLOOR TO BE OWNER
- 1/4" PLYWOOD T&G
- 2X4 BOTTOM PLATE
- 2X10 BAND BOARD
- 2X10 JOITS @ 16" O.C.
- R-19 BATT INSULATION
- 2X6 P.T. SILL PLATE
- 3/8" DIA ANCHOR BOLT @ 4'-0"
- 3-2X10 P.T. BEAM
- 8" C.M.U.

10'-0"

18" MIN

30" MIN

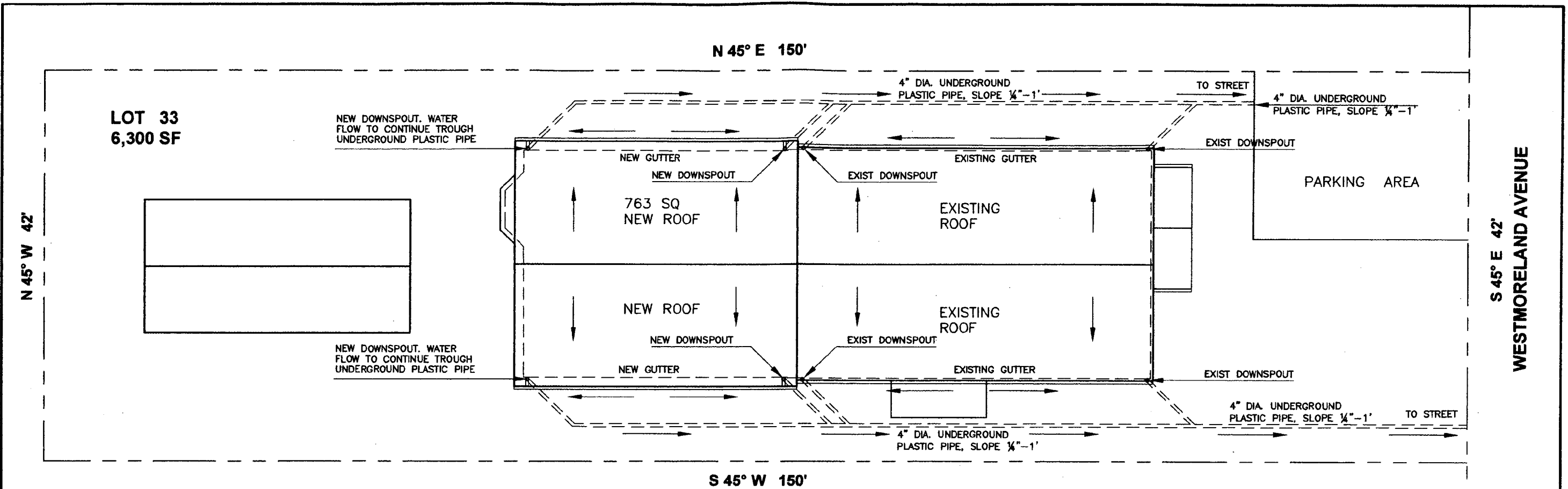
1'-8"

2 **WALL SECTION DETAIL**
 3/8" = 1'-0"

PROJECT NAME: **ADEYERI RESIDENCE**
 PROJECT ADDRESS: **6708 WESTMORELAND AV**

DRAWING NAME: **ROOF FRAMING PLAN**

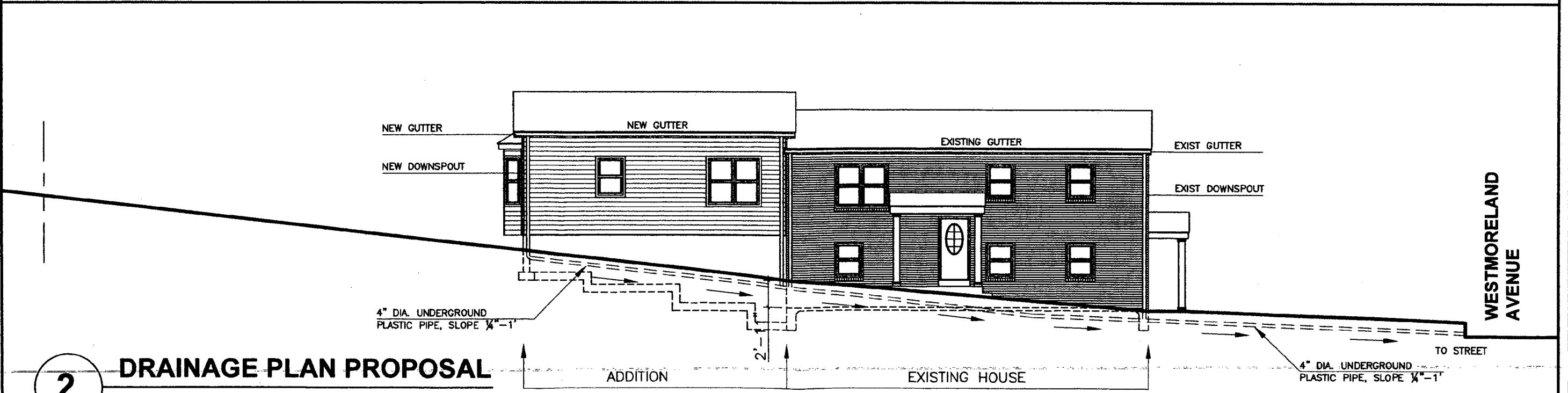
D-1



1 DRAINAGE ROOF PLAN
3/32" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature] 9/13/07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.



2 DRAINAGE PLAN PROPOSAL
3/32" = 1'-0"

ISSUED: JUNE 2007
SCALE: 3/32" = 1'-0"

PROJECT NAME: ADEYERI RESIDENCE
PROJECT ADDRESS: 6708 WESTMORELAND AV

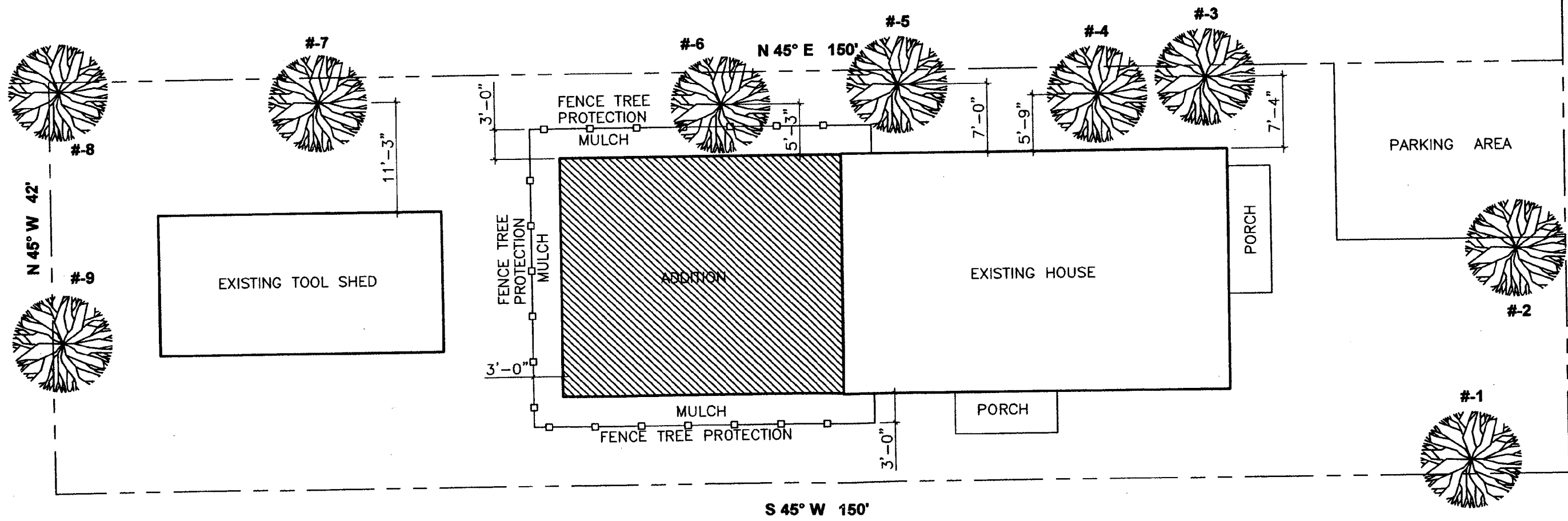
DRAWING NAME: DRAINAGE ROOF
PROPOSAL

D-2

APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature] 9/13/07

This project must be constructed as shown in these approved plans. Any changes require approval in writing by the Montgomery County Historic Preservation Commission.

- #1 24" _____
- #2 11" _____
- #3 22" _____
- #4 14" _____
- #5 28" _____
- #6 12" _____
- #7 19" _____
- #8 38" _____
- #9 19" _____



S 45° E 42'
 WESTMORELAND AVENUE

ISSUED: JUNE 2007
 SCALE: 3/32" = 1'-0"

PROJECT NAME: ADEYERI RESIDENCE
 PROJECT ADDRESS: 6708 WESTMORELAND AV

DRAWING NAME: TREE PROTECTION
 PLAN PROPOSAL

D-3

1 TREE PROTECTION PLAN PROPOSAL
 3/32" = 1'-0"



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: September 13, 2007

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Joshua Silver, Senior Planner *JDS*
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #456122, Rear addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was Approved with conditions at the July 11, 2007 Historic Preservation Commission meeting.

- 1. The specifications for the windows will be included in the permit sets of drawings submitted to staff at the time of stamping.*
- 2. The front door will be fabricated of painted wood.*
- 3. The permit sets of drawings will show the true finish grades on the elevations.*
- 4. Hardi-plank or similar cement fiber product horizontal siding will be utilized instead of vinyl siding on the addition.*
- 5. All trim and details including cornices, window and door trim, corner boards, porch details must be fabricated in painted wood or a painted synthetic wood trim product such as Synboard or Azek.*
- 6. The proposed tree protection plan will submitted to Takoma Park Arborist to determine if any further tree protection is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.





HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Applicant: Oluwanike Adeyeri

Address: 6708 Westmoreland Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: YENNY MOYA
Daytime Phone No.: 301-442-2045

Tax Account No.: 01068471

Name of Property Owner: OLUWANIKE ADEYERI Daytime Phone No.: 301-910-3377

Address: 6708 WESTMORELAND AV - TAKOMA PARK 20912
Street Number City Street Zip Code

Contractor: PEREZ CONTRACTOR Phone No.: 202-531-4592

Contractor Registration No.: 522315335

Agent for Owner: LUIS MOYA Daytime Phone No.: 301-257-9359

LOCATION OF BUILDING/PREMISE

House Number: 6708 Street: WESTMORELAND AV

Town/City: TAKOMA PARK Nearest Cross Street: WALNUT AV

Lot: 33 Block: 17 Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Raze
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ 60,000.

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of Owner or authorized agent

06/07/2007

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: Date: 9/13/07

Application/Permit No.: 456122 Date Filed: 6-8-07 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

CONCRETE FOOTING
CONCRETE SLAB FLOOR BASEMENT
EXTERIOR WALLS BRICK
INTERIOR WALLS WOOD FRAMING
2X8 JOISTS FLOOR FRAMING
TYP ROOF FRAMING (WOOD)
ASPHALT SHINGLE ROOFING

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

CONCRETE FOOTING, S.C.M.U. (CRAWL SPACE)
2X10 JOISTS FLOOR FRAMING
2X4 STUD WALL FRAMING
EXTERIOR TYP VINYL SIDING
ROOF TO MATCH EXISTING ROOF

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. *Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: July 12, 2007

MEMORANDUM

TO: Oluwanike Adeyeri
6708 Westmoreland Ave, Takoma Park

FROM: Josh Silver, Senior Planner (JDS)
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit Application #456122

Your Historic Area Work Permit (HAWP) application for rear addition was **Approved with Conditions** by the Historic Preservation Commission at its July 11, 2007 meeting.

The conditions of approval were:

- 1. The specifications for the windows will be included in the permit sets of drawings submitted to staff at the time of stamping.*
- 2. The front door will be fabricated of painted wood.*
- 3. The permit sets of drawings will show the true finish grades on the elevations.*
- 4. Hardi-plank or similar cement fiber product horizontal siding will be utilized instead of vinyl siding on the addition.*
- 5. All trim and details including cornices, window and door trim, corner boards, porch details must be fabricated in painted wood or a painted synthetic wood trim product such as Synboard or Azek.*
- 6. The proposed tree protection plan will be submitted to Takoma Park Arborist to determine if any further tree protection is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.*

Before applying for a building permit from the Montgomery County Department of Permitting Services (DPS), you must schedule a meeting with your assigned staff person to bring your three (3) final permit sets of drawings in to the Historic Preservation Office at 1109 Spring Street for stamping. Please note that although the Historic





HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Preservation Commission has approved your work, it may also need to be approved by DPS or another local government office before work can begin.

When you file for your building permit at DPS, you must take with you stamped drawings, the official approval letter, and the signed HAWP Application. These forms will be issued when the drawings are stamped by your assigned staff person and are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, you must contact the Historic Preservation Commission staff at 301-563-3400. After your project is completed, please send photos of the finished work to HPC staff.

Thank you very much for your patience and good luck with your project!



MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	6708 Westmoreland Ave, Takoma Park	Meeting Date:	7/11/2007
Resource:	Non-contributing Resource Takoma Park Historic District	Report Date:	7/4/2007
Applicant:	Oluwanike Adeyeri (Yenny Moya)	Public Notice:	6/27/2007
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-07U	Staff:	Josh Silver
PROPOSAL:	Rear addition, porch construction, and window replacement		

STAFF RECOMMENDATION:

Staff is recommending that the HPC approve this HAWP application with the following conditions:

1. The specifications for the windows will be included in the permit sets of drawings submitted to staff at the time of stamping.
2. The front door will be fabricated of painted wood.
3. The permit sets of drawings will show the true finish grades on the elevations.
4. Hardi-plank or similar cement fiber product horizontal siding will be utilized instead of vinyl siding on the addition.
5. All trim and details including cornices, window and door trim, corner boards, porch details must be fabricated in painted wood or a painted synthetic wood trim product such as Synboard or Azek.
6. The proposed tree protection plan will submitted to Takoma Park Arborist to determine if any further tree protection is needed for this project. If required, the plan will be implemented prior to any work beginning on the property.

ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource Within The Takoma Park Historic District
STYLE: Craftsman
DATE: c1915-25

The house is 2 –story, two-bay brick dwelling with an asphalt shingle roof. The house displays little architectural detail, and has been altered by the addition of several non-historic features including modern vinyl windows and doors. 1/1 double-hung vinyl windows, and two greenhouse windows on the front and

left elevations are some of these elements. The front and left elevations each contain one modern vinyl door, with the rear having a double vinyl sliding door.

The house is also surrounded by a chain-link metal fence and sits on typical narrow Takoma Park lot measuring 150' x 42'.

HISTORIC CONTEXT

The following are excerpts from *Places from the Past: The Tradition of Gardez Bien in Montgomery County, Maryland*.

“Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the second railroad suburb of Washington, platted ten years after Linden. The opening of streetcar lines led to the development of new subdivisions, expanding the Takoma Park community in the early 20th century.”

“Takoma Park was platted in 1883. Developer Benjamin Franklin Gilbert promoted the property for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert’s promotion of the natural setting is the use of the Native American “Takoma”, meaning “exalted” or “near heaven.” Later he added the “Park” appellation to draw attention to its healthy environment.

Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. Some of the earliest architect-designed houses in the county are in Takoma Park. Leon Dessez, later the Chevy Chase Land Company architect, designed the Cady-Lee House (1887), 7315 Piney Branch Road. These first houses were substantial residences with spacious settings. The lots were deep, typically 50 feet by 200-300 feet and had 40-foot setback requirements. Extensive numbers of these first houses remain, constructed between 1883 and 1900.”

“By 1893, the town's population quadrupled. Four subdivisions had expanded the town, which was incorporated in 1890. Takoma Avenue, Pine Avenue, and Holly Avenue were among the streets to develop during this period. “

“The start of streetcar service along Carroll Avenue in 1897, operated by the Baltimore and Washington Transit Company, made the adjacent areas more attractive for residential development, leading to new subdivisions. This line, supplemented in 1910 by the Washington and Maryland line (1910-27), led to the creation of eight additional subdivisions extending out from the trolley lines. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. Among the streets, which developed during the 1910s and 1920s in response to the establishment of streetcar, lines are Willow, Park, Philadelphia, and Carroll Avenues.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building

materials and structural elements for ornamentation. Similarly, they reflect a social trend towards a more informal, unpretentious style of living. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established – detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Willow, Park, Philadelphia, and Westmoreland Avenues.

Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era. Advertisements from 1914 for bungalows on Willow Avenue promoted their accessibility – just "three minutes to car line" – and individuality – "no two are alike in design." At least fifteen models of Sears kit houses have been identified in the proposed historic district, including the turreted 7303 Takoma Avenue."

"Takoma Park continues to thrive today, with a population of 20,000. Though the train no longer stops there, the town's close relationship with mass transportation continues. The Metro enables residents to continue the tradition, started with the railroad and extended with the streetcars, of living in the suburbs and commuting to the District using mass transit. Two sections of the Montgomery County portion of Takoma Park have been listed on the National Register of Historic Places as the Takoma Park Historic District since 1976."

PROPOSAL:

The applicant proposes to construct a one –story rear addition to the subject property. The proposed one –story addition is 28' deep x 24.4' wide. Both exterior walls of the proposed addition will be flush with the rear of the existing 2 –story brick dwelling. The ridgeline of the proposed addition will be approximately 1.5' higher than the existing house. The addition will be clad in vinyl siding, and the roof will be sheathed with typical asphalt shingles.

The applicant is also proposing to construct two, open porches on the existing house, a 13'2" x 4'3" open porch at the front of the house, and 10' x 4'3" open porch at the side of the house. Both porches will be constructed from pressure treated wood, sheathed with asphalt shingles, and detailed with Doric columns. The material type of the proposed columns has not been specified in the plans.

The proposal also includes the removal of all existing vinyl replacement windows and the installation new vinyl windows, a new front door, and the removal of the rear deck.

APPLICABLE GUIDELINES:

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District

According to the *Takoma Park Guidelines*, Non-Contributing Resources in the Takoma Park Historic District are "either buildings that are of little or no architectural and historical significance to the historic district or are newer buildings that have been constructed outside of the district's primary periods of historical importance. These types of resources should receive the most lenient level of design review."

The *Guidelines* also state: “Most alterations and additions to Non-Contributing Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale and massing of non-Contributing Resources which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.”

Montgomery County Code; Chapter 24A

- A HAWP permit should be issued if the Commission finds that:
 1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
 2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.
- 6(d). In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior’s Standards for Rehabilitation

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

A Non-Contributing Resource in the Takoma Park Historic District receives the most lenient level of design review. The HPC considers alterations to Non-Contributing Resources in terms of their impact on the overall streetscape and environmental setting of the historic district.

While this one -story expansion will be visible from the street, the proposed taller massing will not have an adverse impact on the streetscape. Staff is generally supportive of the design for the following reasons:

- The proposed expansion will only be visible from the street. Only the 1.5’ roofline projection above the existing roofline will be visible from the street.
- The proposed addition is limited by the narrow lot size
- The steep grade at the rear of the property limits reducing the elevation of the addition to make it less visible from the street
- The existing one –story frame dwelling at the rear of the property removes the possibility of adding a hyphen to connect the original house and proposed addition
- The house is a Non-Contributing resource that has already been compromised by earlier modifications using modern materials

- Total lot coverage will not exceed 25% (See calculations below).

Overall, this expansion of a Non-Contributing Resource will not adversely affect the character of the streetscape, landscape, or the historic district. Staff is recommending approval.

CALCULATIONS:

Lot Size	6300.0 SF
Existing House	912.0 SF
Existing Lot Coverage	(14.4%)
Rear Addition	672.0 SF
Proposed Rear Addition Lot Coverage	(10.6%)
<hr/>	
Proposed Lot Coverage	25.0%

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Circle 1** as being consistent with Chapter 24A-8(b)(1), (2) & (6d);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: YENNY MOYA
Daytime Phone No.: 301-442-2045

Tax Account No.: 01068471

Name of Property Owner: OLUWANIKE ADEYERI Daytime Phone No.: 301-910-3377

Address: 6708 WESTMORELAND AV. - TAKOMA PARK 20912
Street Number City State Zip Code

Contractor: PEREZ CONTRACTOR Phone No.: 202-531-4592

Contractor Registration No.: 522315335

Agent for Owner: LUIS MOYA Daytime Phone No.: 301-257-9359

LOCATION OF BUILDING/PREMISE

House Number: 6708 Street: WESTMORELAND AV

Town/City: TAKOMA PARK Nearest Cross Street: WALNUT AV

Lot: 33 Block: 17 Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct Extend Alter/Renovate
- Move Install Wreck/Raze
- Revision Repair Revocable

CHECK ALL APPLICABLE:

- A/C Slab Room Addition Porch Deck Shed
- Solar Fireplace Woodburning Stove Single Family
- Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 60,000.

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

06/07/2007

Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 456122 Date Filed: 6-8-07 Date Issued: _____

REC

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. **WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

CONCRETE FOOTING
CONCRETE SLAB FLOOR BASEMENT
EXTERIOR WALLS BRICK
INTERIOR WALLS WOOD FRAMING
2X8 JOISTS FLOOR FRAMING
TYP ROOF FRAMING (WOOD)
ASPHALT SHINGLE ROOFING

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

CONCRETE FOOTING, S.C.M.U. (CRAWL SPACE)
2X10 JOISTS FLOOR FRAMING
2X4 STUD WALL FRAMING
EXTERIOR TYP VINYL SIDING
ROOF TO MATCH EXISTING ROOF

2. **SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. **PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. ***Schematic construction plans***, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. **MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. **PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. **TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. **ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

6706 Westmoreland: Alexander O'Brien
6706 Westmoreland Avenue
Takoma Park, MD 20912

6707 Westmoreland: William Bates
6707 Westmoreland Avenue
Takoma Park, MD 20912

6709 Westmoreland: Thoma J. Holman
c/o Better Homes Realty
6045 Wilson Blvd
Arlington, VA 22205

6710 Westmoreland: Liberato D'Ambrosio
6710 Westmoreland Avenue
Takoma Park, MD 20912

6617 Eastern: John Scorza & Lisa Moran
6717 Eastern Avenue
Takoma park, MD 20912

6706 Westmoreland: Alexander O'Brien
6706 Westmoreland Avenue
Takoma Park, MD 20912

6707 Westmoreland: William Bates
6707 Westmoreland Avenue
Takoma Park, MD 20912

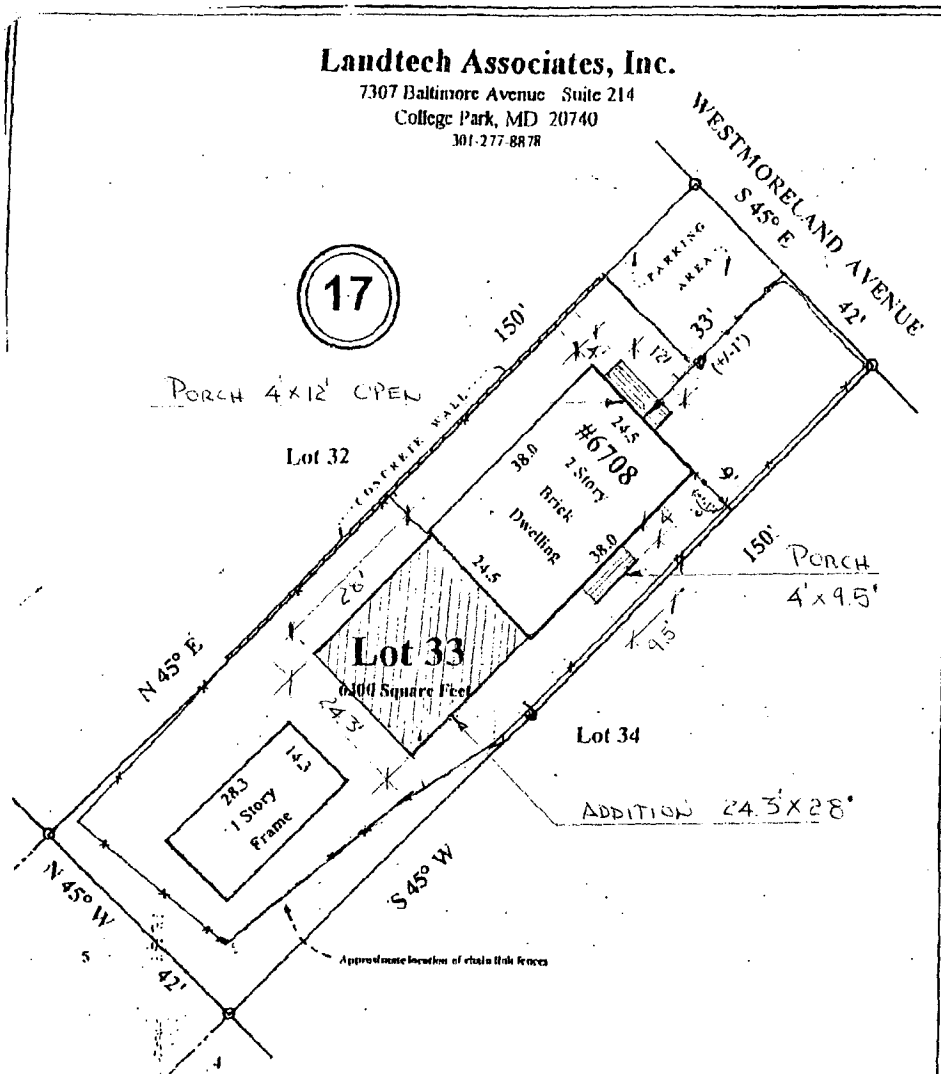
6709 Westmoreland: Thoma J. Holman
c/o Better Homes Realty
6045 Wilson Blvd
Arlington, VA 22205

6710 Westmoreland: Liberato D'Ambrosio
6710 Westmoreland Avenue
Takoma Park, MD 20912

6617 Eastern: John Scorza & Lisa Moran
6717 Eastern Avenue
Takoma park, MD 20912

Landtech Associates, Inc.

7307 Baltimore Avenue Suite 214
College Park, MD 20740
301-277-8878



17

PORCH 4x12' OPEN

Lot 32

#6708
2 Story
Brick
Dwelling

Lot 33
6,000 Square Feet

28.3
14.3
1 Story
Frame

Lot 34

ADDITION 24.3x28'

150' PORCH
4'x9.5'

WESTMORELAND AVENUE
S 45° E



Location Drawing of: #6708 Westmoreland Avenue

PINECREST

Montgomery Co., MD

LOT: 33 BLOCK: 17
PLAT BK: 2 PLAT#: 145
DATE: 10-26-99 SCALE: 1"=20'
CASE NAME: ADEYER
FILE NUMBER: COL-99134

NOTE: THIS PROPERTY LIES IN FLOOD ZONE C, AN AREA OF MINIMAL FLOODING AS DELINEATED ON THE MAPS OF THE NATIONAL FLOOD INSURANCE PROGRAM

NOTES:

1. The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
2. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
3. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.

FILE REPORT FURNISHED

CERTIFICATION: I hereby certify that the position of the significant visible improvements on the above described property has been carefully established in compliance with the "Minimum Standards of Practice" for the State of Maryland.

Graden A. Rogers
GRADEN A. ROGERS -- PROF. L.S. MD. LIC. NO. 119.

GENERAL NOTES

1. All construction shall be in compliance with the International Residential Code 2003 IRC.
2. The contractor shall verify all dimensions, grades, boundaries and construction before proceeding with the work.
3. General contractor shall apply for and secure all necessary permits.
4. Contractor shall maintain, in all circumstances, proper fire and sound ratings when penetrating through walls, floor and ceilings.
5. Wood stud bearing walls to be 2x6, 2x4 at 16" O.C. unless otherwise noted
6. All wood less than 8" from grade shall be pressure treated. All wood plates on slab to be pressure treated.
7. Provide minimum of R-38 Roof insulation with vapor barrier and insulation baffles at each roof bay eave.
8. Provide R-15 batt insulation with vapor barrier on all finished frame walls unless otherwise noted.
9. All exterior wood to be pressure treated or painted with minimum of two coats of paint. All exterior metal louvers/steel lintel angles, flashing shall be galvanized and painted.
10. Any walks and stoops with two risers and over shall be provided with handrail 3'0" high.
11. Smoke detectors to be installed in accordance with local codes and requirements and to be integrated with the electrical system.
12. Flashing to be provides at all windows and doors heads. Provided flashing and sealant at all openings in roof or walls to provide weather tight building.
13. All electrical work shall be installed in accordance with NEC and local codes.
14. All mechanical work shall be installed in accordance with mechanical codes.
15. Bottom of footings shall be a minimum of 30" below.
16. Dimensions given on floors plans are to be finished all. General contractor and manufacturers to coordinate all dimensions concerning doors, panels, windows, trusses and their openings prior to fabrication and construction
17. Typical interior partitions 2x4 wood studs with one layer 1/2" gypsum board both sides unless otherwise noted.
18. Provide sheathing at all exterior frame walls as shown on drawings. Install in accordance with manufacturer's recommendations.
19. Provide continuous footing drain tile along the building basement perimeter. Drain to positive outfall.
20. Provide splash block at all downspouts to direct water away from building, or run downspout into sleeve connected to below grade pipe directing water away from building.
21. Provide minimum of one light fixture in roof trusses attic access.
22. Soil Bearing capacity shall be minimum of 2000 PSF.
23. Minimum design loads shall be: 20 PSF Attics, 30 PSF Roof, 40 PSF Stairs and Decks, 60 PSF ext Balconies.
24. Minimum design Wind Speed shall be 90 MPH.
25. Stair wall shall be illuminated in accordance with ELECTRICAL NATIONAL CODE.
26. Provide accessible attic. Access opening not less than 22 inches by 30 inches to any attic area. Area having clear height of over 30 inches no exceeds 30 Sq ft.
27. Each bedroom shall have at least one window with a clear opening of 5.7 square feet. The minimum clear width shall be 20 inches and the minimum clear height shall be 24 inches. The sill height shall not be more than 44 inches above the floor.

INDEX

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- A-1 EXISTING BASEMENT PLAN
- A-2 EXISTING FIRST FLOOR PLAN
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- A-4 SECTION ELEVATION A-A
- A-5 SECTION ELEVATION B-B
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- D-1 SECTION DETAILS
- D-2 DRAINAGE ELEVATION
- D-3 DRAINAGE ROOF PLAN PROPOSAL
- D-4 TREE PROTECCION PLAN

BUILDING ANALYSIS

1. Lot	33
2. Block	17
3. No of Floors/Levels	2
4. Sq ft Area Existing First Floor	931.00
5. Sq ft Area Existing Shed	404.00
6. Sq ft New Area First Floor	681.00
7. Sq ft New Area Porch	86.00
8. Gross Sq ft First Floor	2,102.00
9. Sq ft Area Lot	6,300.00
10. Building % Area	33.3 %
14. Proposed Building Height	± 21'-8"

**ADEYERI RESIDENCE
ADDITION**

6708 WESTMORELAND AV
TAKOMA PARK
MONTGOMERY COUNTY, MD 20912
JUNE 2007

ISSUED: JUNE 2007

SCALE: 3/32 = 1'-0"

PROJECT NAME: ADEYERI RESIDENCE

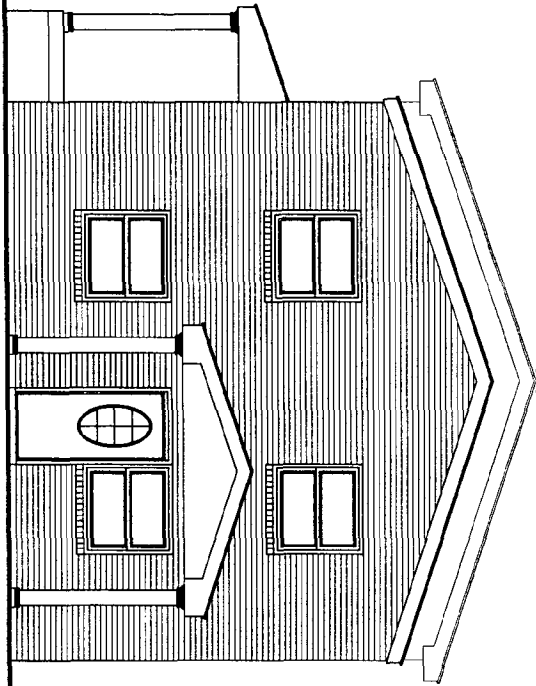
PROJECT ADDRESS: 6708 WESTMORELAND AV

DRAWING NAME: GENERAL NOTES

& INDEX

C-1

10



1
FRONT ELEVATION
3/16" = 1'-0"

A-6

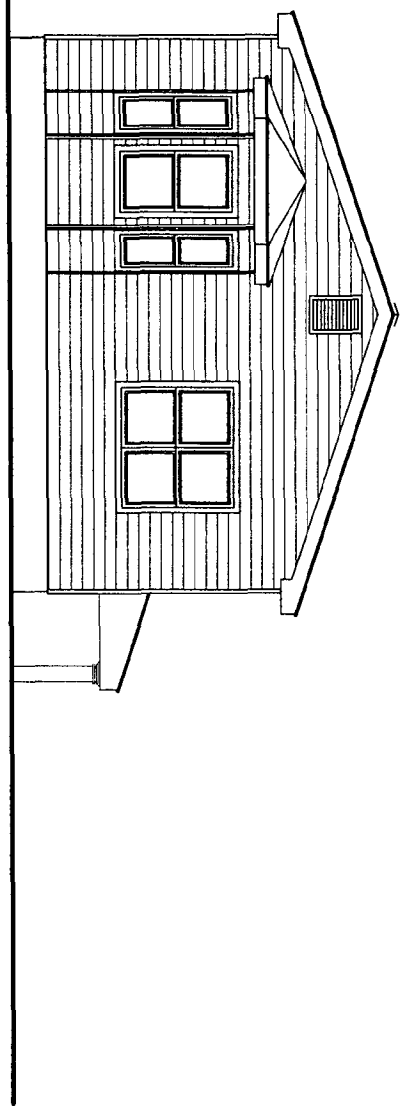
DRAWING NAME: **FRONT ELEVATION**

PROJECT NAME: **ADEYERI RESIDENCE**
PROJECT ADDRESS: **6708 WESTMORELAND AV**

ISSUED: **JUNE 2007**
SCALE: **3/16 = 1'-0"**

12

1
BACK ELEVATION
3/16" = 1'-0"



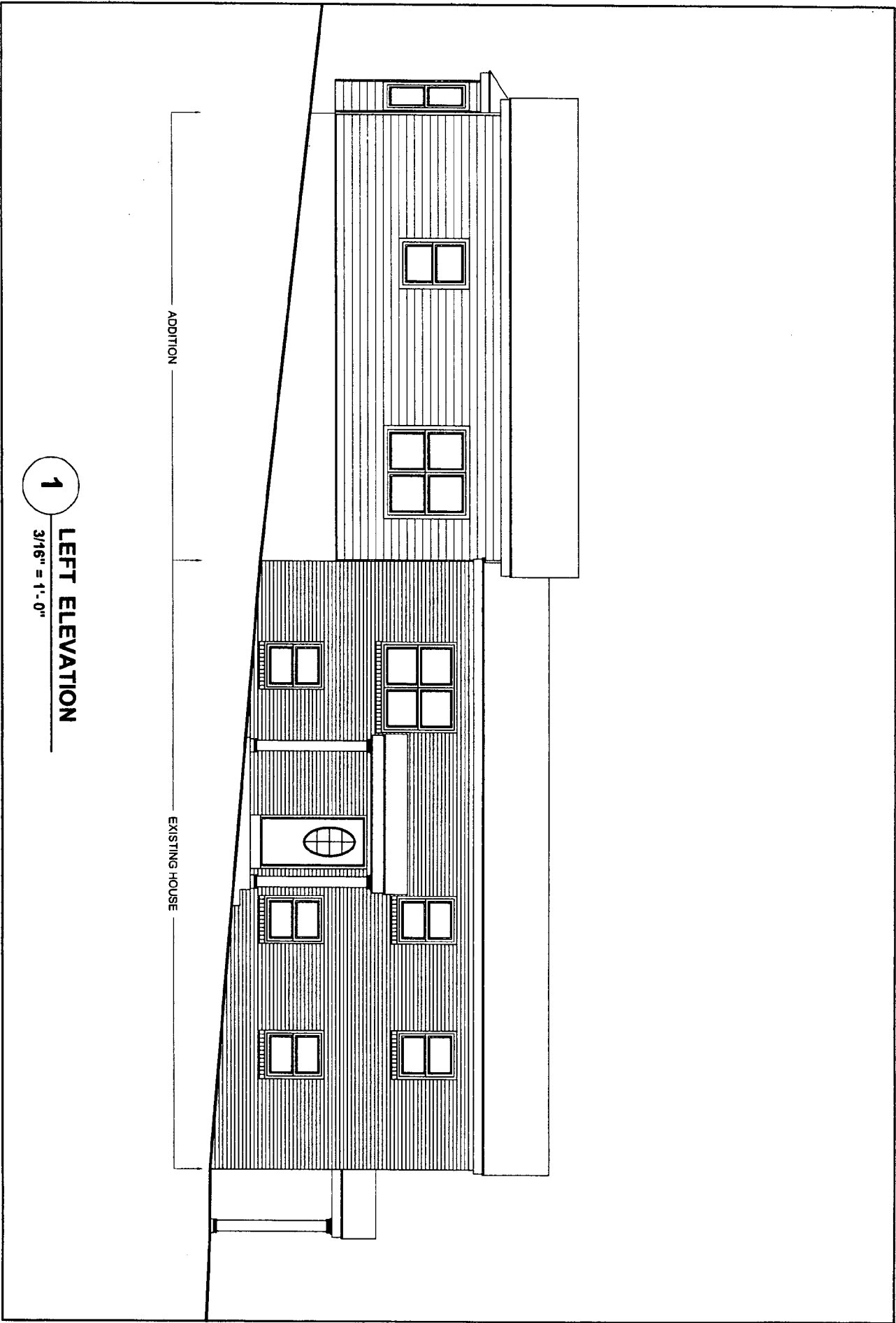
A-9

DRAWING NAME: **BACK ELEVATION**

PROJECT NAME: **ADEYERI RESIDENCE**
PROJECT ADDRESS: **6708 WESTMORELAND AV**

ISSUED: **JUNE 2007**
SCALE: **3/16" = 1'-0"**

13



1
LEFT ELEVATION
3/16" = 1'-0"

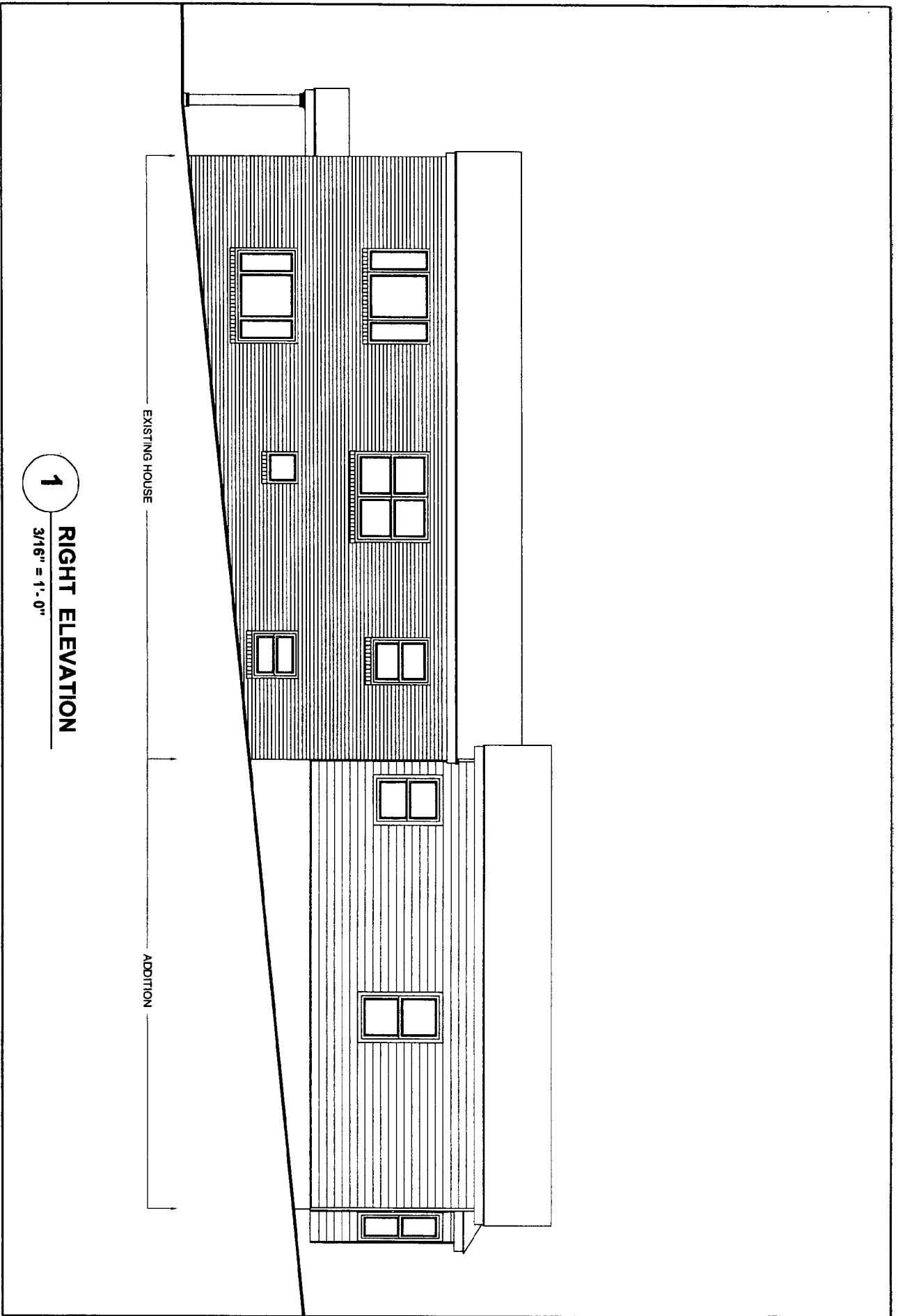
A-7

DRAWING NAME: **LEFT ELEVATION**

PROJECT NAME: **ADEYERI RESIDENCE**
PROJECT ADDRESS: **6708 WESTMORELAND AV**

ISSUED: **JUNE 2007**
SCALE: **3/16 = 1'-0"**

14



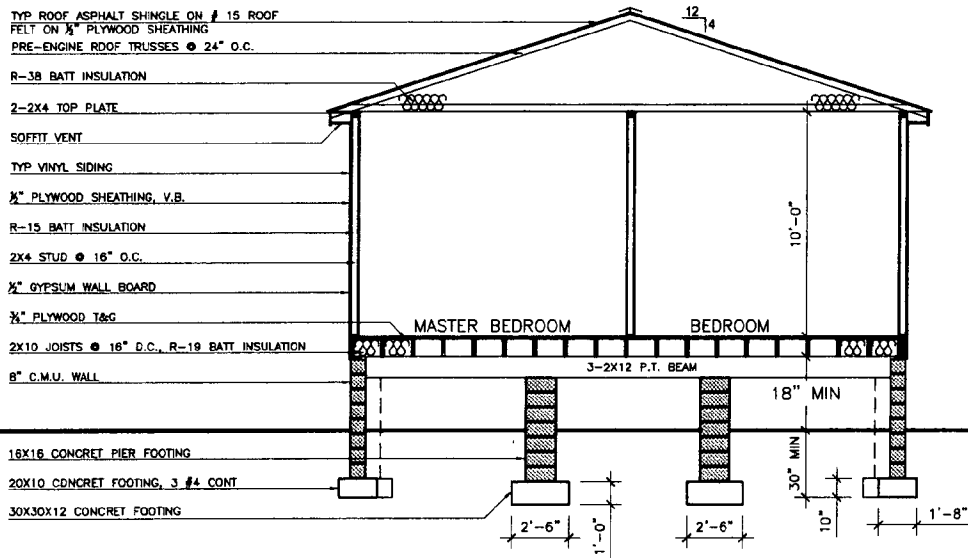
1
RIGHT ELEVATION
3/16" = 1'-0"

A-8

DRAWING NAME: **RIGHT ELEVATION**

PROJECT NAME: **ADEYERI RESIDENCE**
PROJECT ADDRESS: **6708 WESTMORELAND AV**

ISSUED: **JUNE 2007**
SCALE: **3/16 = 1'-0"**



1 SECTION ELEVATION A-A
 3/16" = 1'-0"

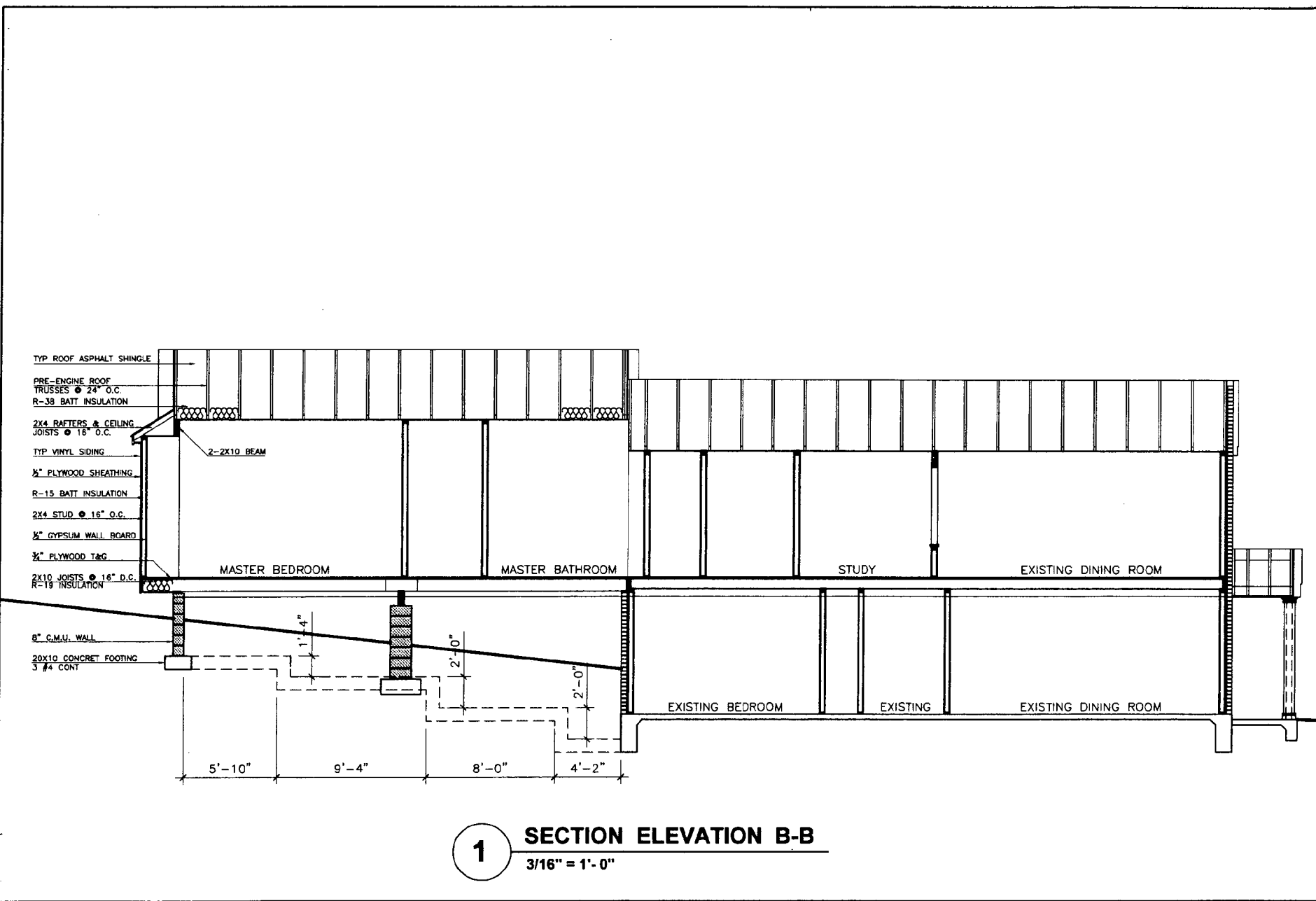
15

ISSUED: JUNE 2007
 SCALE: 3/16" = 1'-0"

PROJECT NAME: ADEYERI RESIDENCE
 PROJECT ADDRESS: 6708 WESTMORELAND AV

DRAWING NAME: SECTION ELEVATION A-A

A-4



1 SECTION ELEVATION B-B
3/16" = 1'-0"

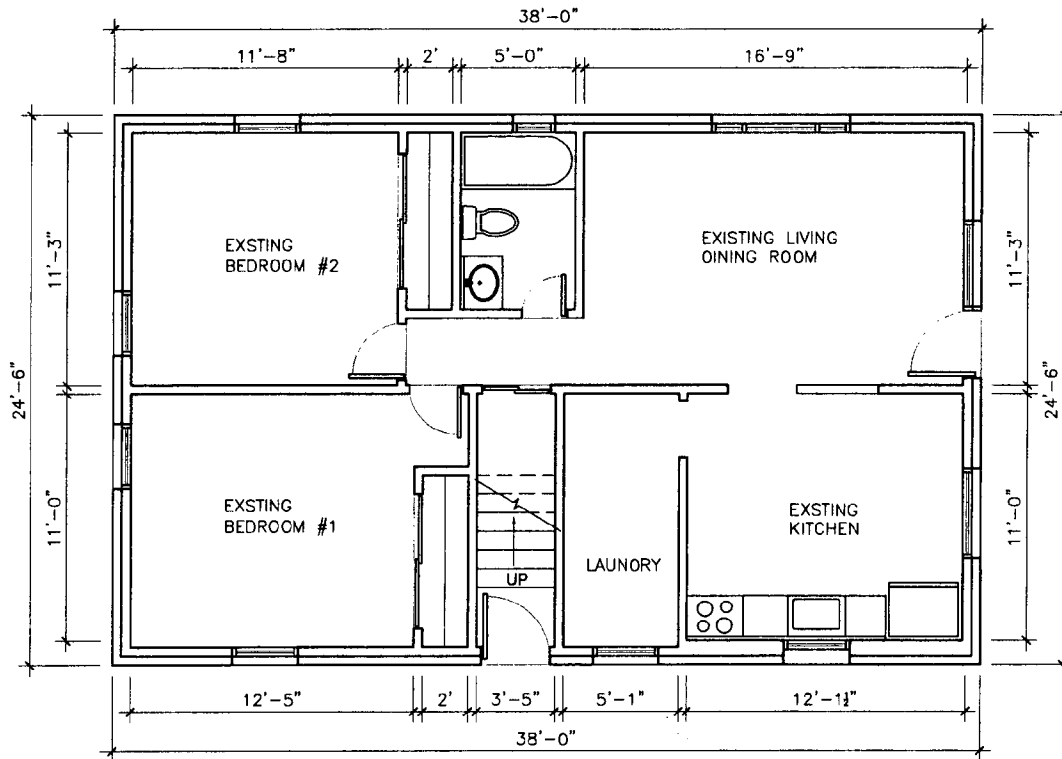
ISSUED: **JUNE 2007**
SCALE: **3/16" = 1'-0"**

PROJECT NAME: **ADEYERI RESIDENCE**
PROJECT ADDRESS: **6708 WESTMORELAND AV**

DRAWING NAME: **SECTION ELEVATION B-B**

A-5

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1 **EXISTING BASEMENT PLAN**
 3/16" = 1'-0"

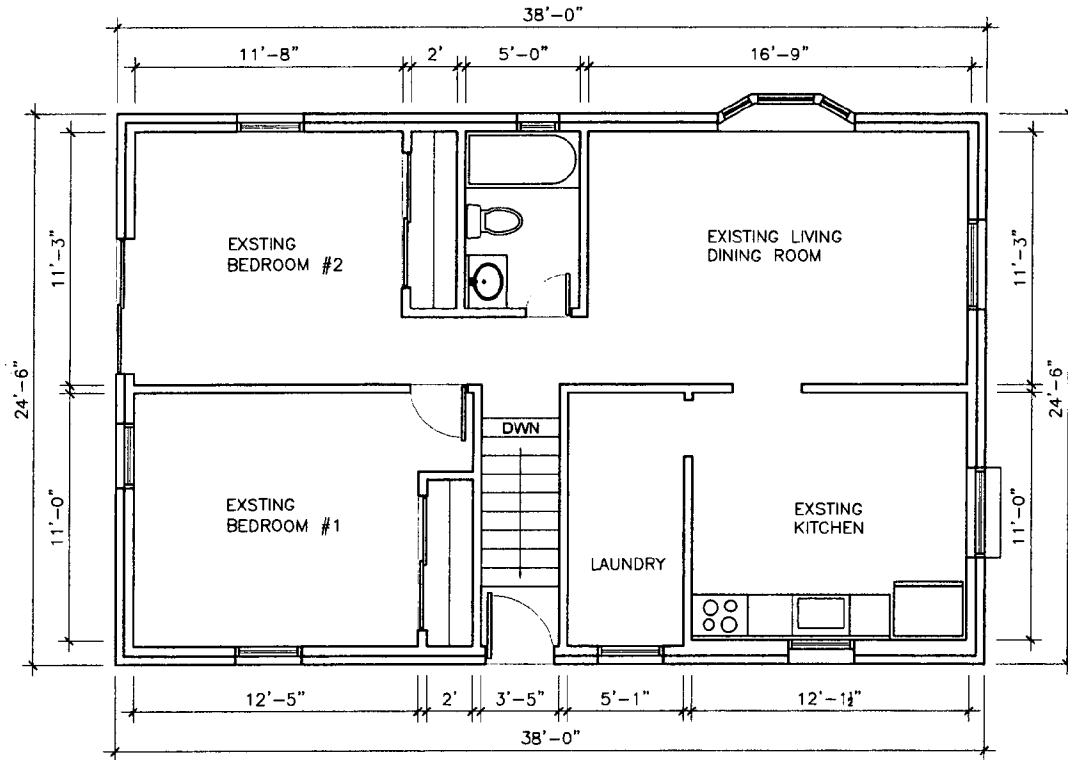
17

ISSUED: **JUNE 2007**
 SCALE: **3/16" = 1'-0"**

PROJECT NAME: **ADEYERI RESIDENCE**
 PROJECT ADDRESS: **6708 WESTMORELAND AV**

DRAWING NAME: **EXISTING BASEMENT PLAN**

A-1



1

EXISTING FIRST FLOOR PLAN

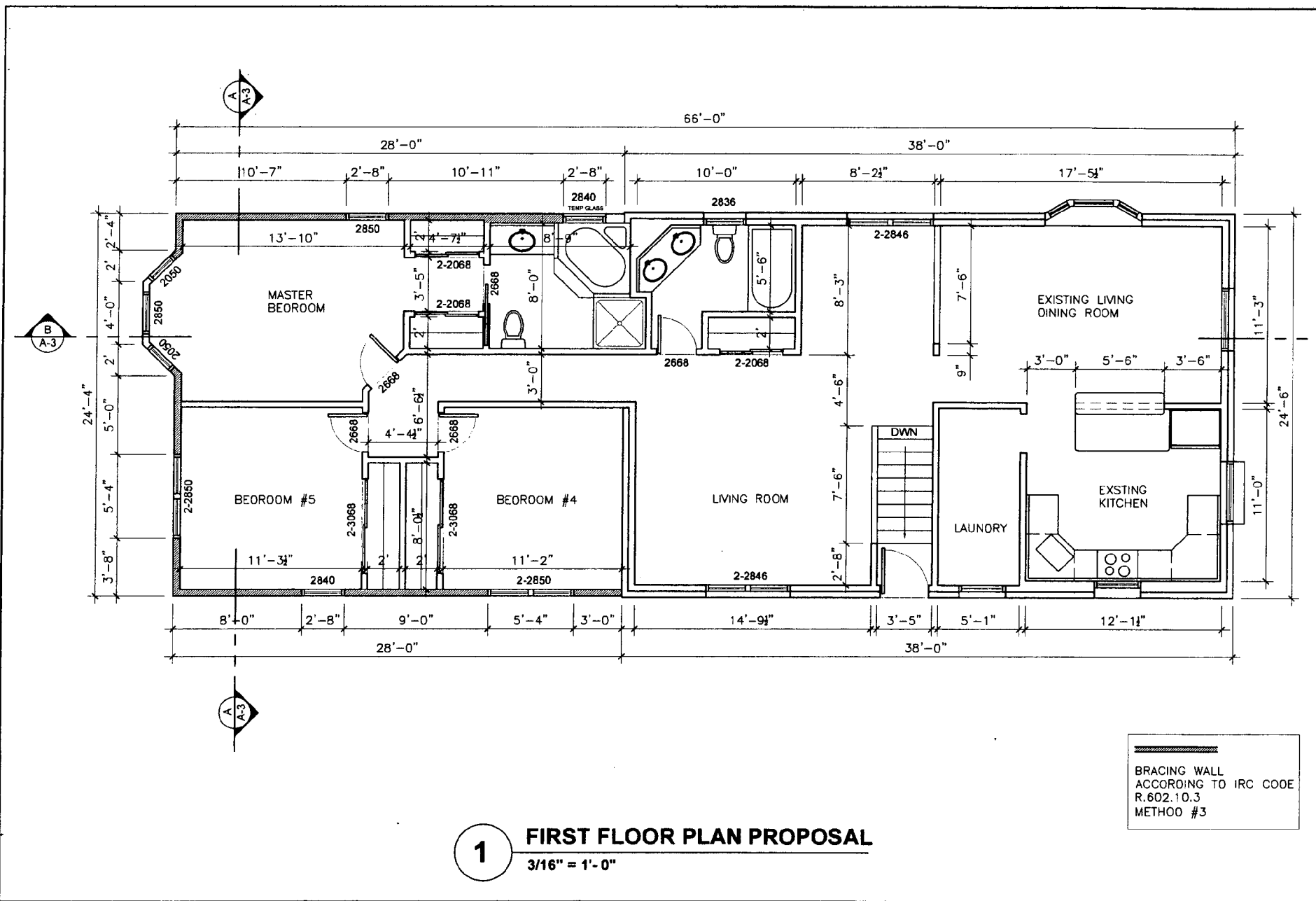
3/16" = 1'-0"

ISSUED: **JUNE 2007**
SCALE: **3/16" = 1'-0"**

PROJECT NAME: **ADEYERI RESIDENCE**
PROJECT ADDRESS: **6708 WESTMORELAND AV**

DRAWING NAME: **EXISTING FIRST FLOOR PLAN**

A-2



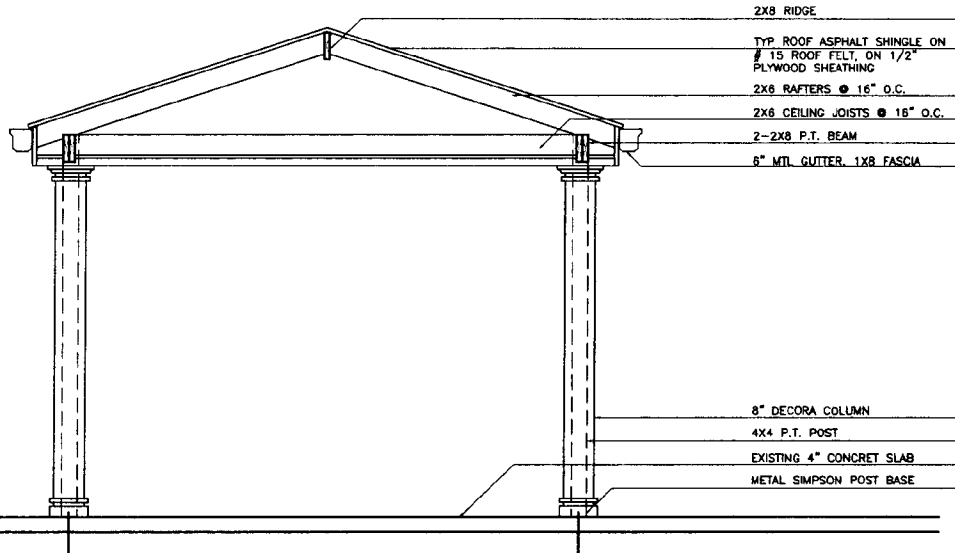
ISSUED: **JUNE 2007**
 SCALE: **3/16" = 1'-0"**

PROJECT NAME: **ADEYERI RESIDENCE**
 PROJECT ADDRESS: **6708 WESTMORELAND AV**

DRAWING NAME: **FIRST FLOOR PLAN PROPOSAL**

A-3

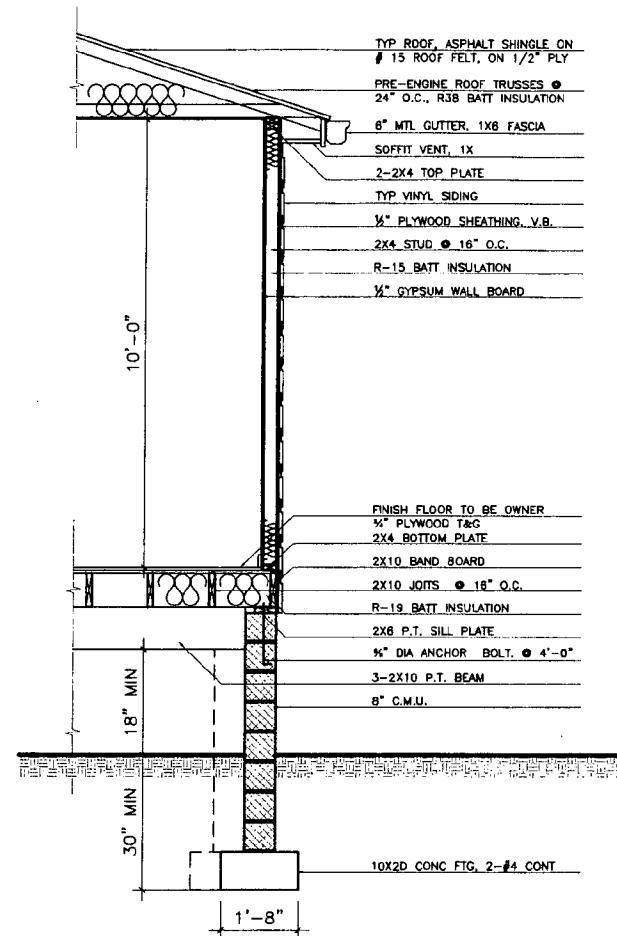
16



2X8 RIDGE
 TYP ROOF ASPHALT SHINGLE ON
 # 15 ROOF FELT, ON 1/2"
 PLYWOOD SHEATHING
 2X6 RAFTERS @ 16" O.C.
 2X6 CEILING JOISTS @ 16" O.C.
 2-2X8 P.T. BEAM
 6" MTL GUTTER, 1X8 FASCIA

6" DECORA COLUMN
 4X4 P.T. POST
 EXISTING 4" CONCRET SLAB
 METAL SIMPSON POST BASE

1 **PORCH SECTION DETAIL**
 3/8" = 1'-0"



TYP ROOF, ASPHALT SHINGLE ON
 # 15 ROOF FELT, ON 1/2" PLY
 PRE-ENGINE ROOF TRUSSES @
 24" O.C., R38 BATT INSULATION
 6" MTL GUTTER, 1X8 FASCIA
 SOFFIT VENT, 1X
 2-2X4 TOP PLATE
 TYP VINYL SIDING
 1/2" PLYWOOD SHEATHING, V.B.
 2X4 STUD @ 16" O.C.
 R-15 BATT INSULATION
 1/2" GYPSUM WALL BOARD

FINISH FLOOR TO BE OWNER
 1/2" PLYWOOD T&G
 2X4 BOTTOM PLATE
 2X10 BAND BOARD
 2X10 JOISTS @ 16" O.C.
 R-19 BATT INSULATION
 2X8 P.T. SILL PLATE
 1/2" DIA ANCHOR BOLT @ 4'-0"
 3-2X10 P.T. BEAM
 8" C.M.U.

10'-0"

18" MIN

30" MIN

1'-8"

10X2D CONC FTG, 2-#4 CONT

2 **WALL SECTION DETAIL**
 3/8" = 1'-0"

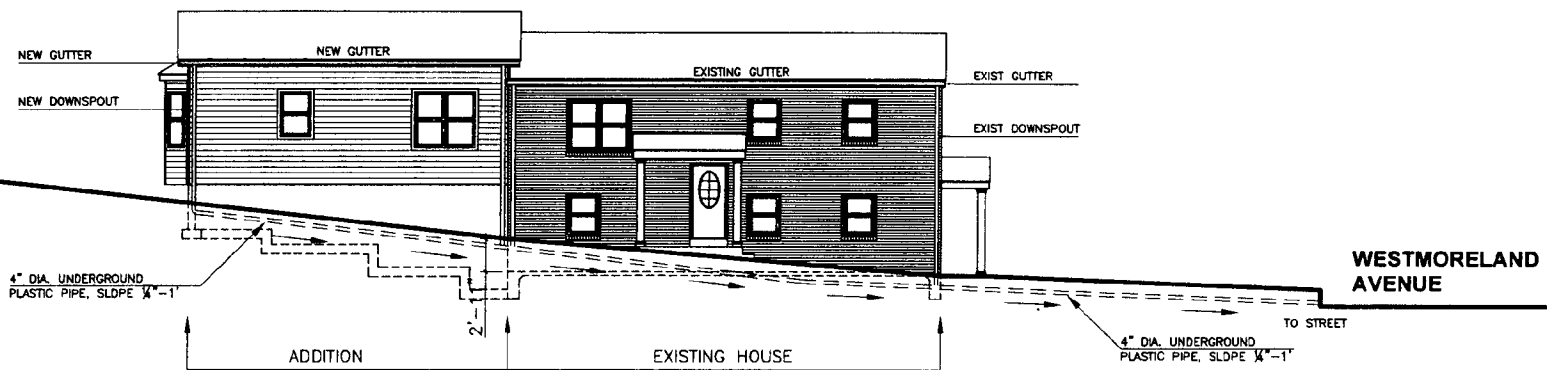
20

ISSUED: **JUNE 2007**
 SCALE: **3/8" = 1'-0"**

PROJECT NAME: **ADEYERI RESIDENCE**
 PROJECT ADDRESS: **6708 WESTMORELAND AV**

DRAWING NAME: **ROOF FRAMING PLAN**

D-1



1 DRAINAGE ELEVATION
 3/32" = 1'-0"

21

ISSUED: **JUNE 2007**
 SCALE: **3/32" = 1'-0"**

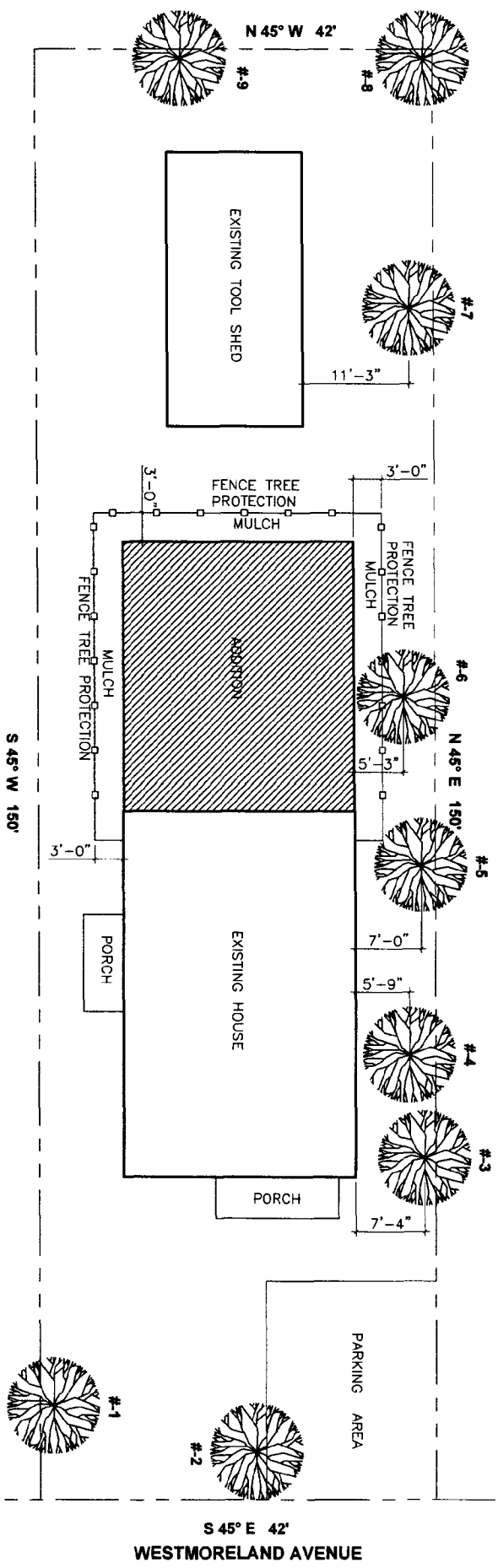
PROJECT NAME: **ADEYERI RESIDENCE**
 PROJECT ADDRESS: **6708 WESTMORELAND AV**

DRAWING NAME: **DRAINAGE ROOF**
 PROPOSAL

D-2

22

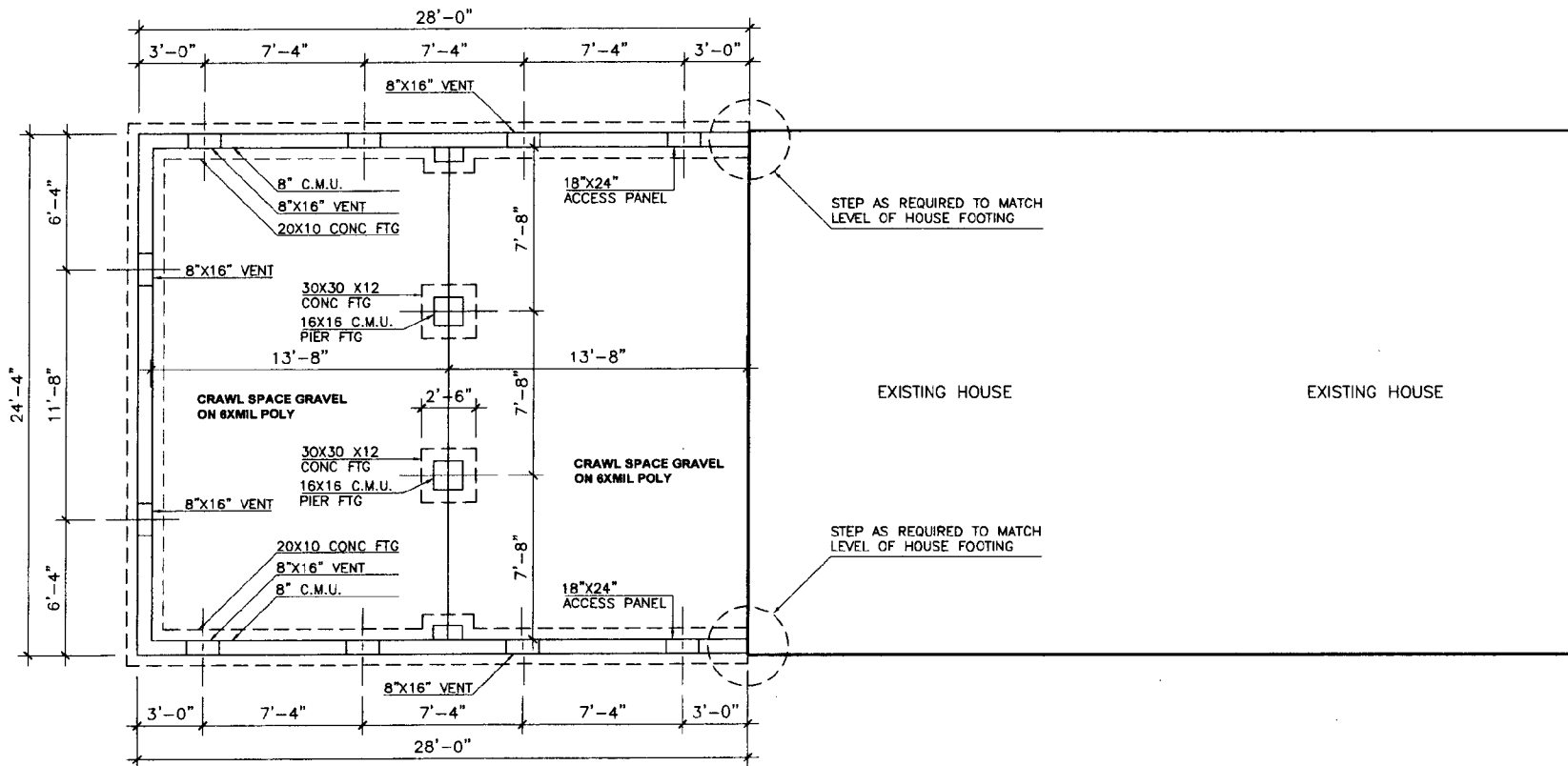
1 TREE PROTECTION PLAN PROPOSAL
3/32" = 1'-0"



#1	24"
#2	11"
#3	22"
#4	14"
#5	28"
#6	12"
#7	19"
#8	38"
#9	19"

S 45° E 42'
WESTMORELAND AVENUE

D-4	DRAWING NAME: TREE PROTECTION PLAN PROPOSAL	PROJECT NAME: ADEYERI RESIDENCE	ISSUED: JUNE 2007
		PROJECT ADDRESS: 6708 WESTMORELAND AV	SCALE: 3/32 = 1'-0"



1 FOUNDATION PLAN
3/16" = 1'-0"

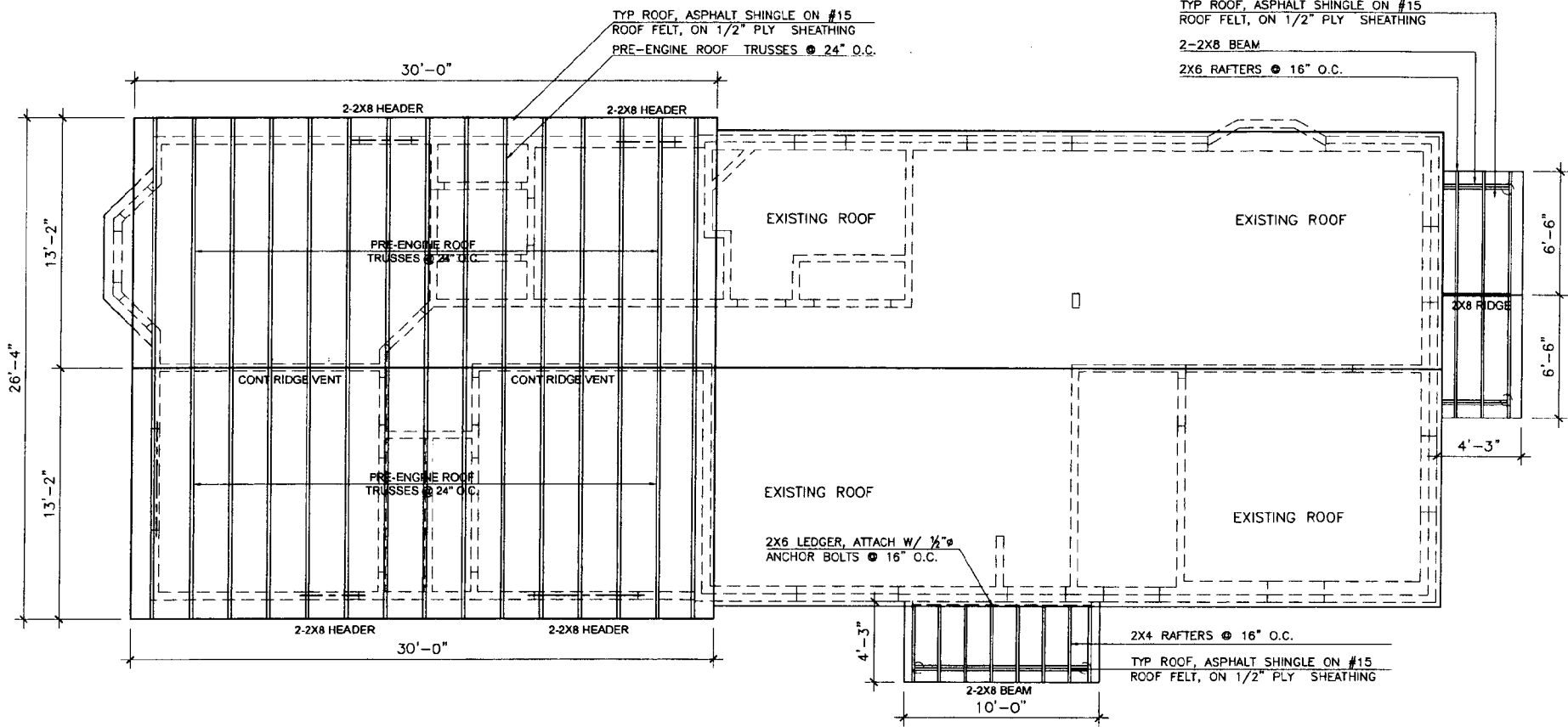
ISSUED: **JUNE 2007**
SCALE: **3/16" = 1'-0"**

PROJECT NAME: **ADEYERI RESIDENCE**
PROJECT ADDRESS: **6708 WESTMORELAND AV**

DRAWING NAME: **FOUNDATION PLAN**

S-1

23



1 **ROOF FRAMING PLAN**
3/16" = 1'-0"

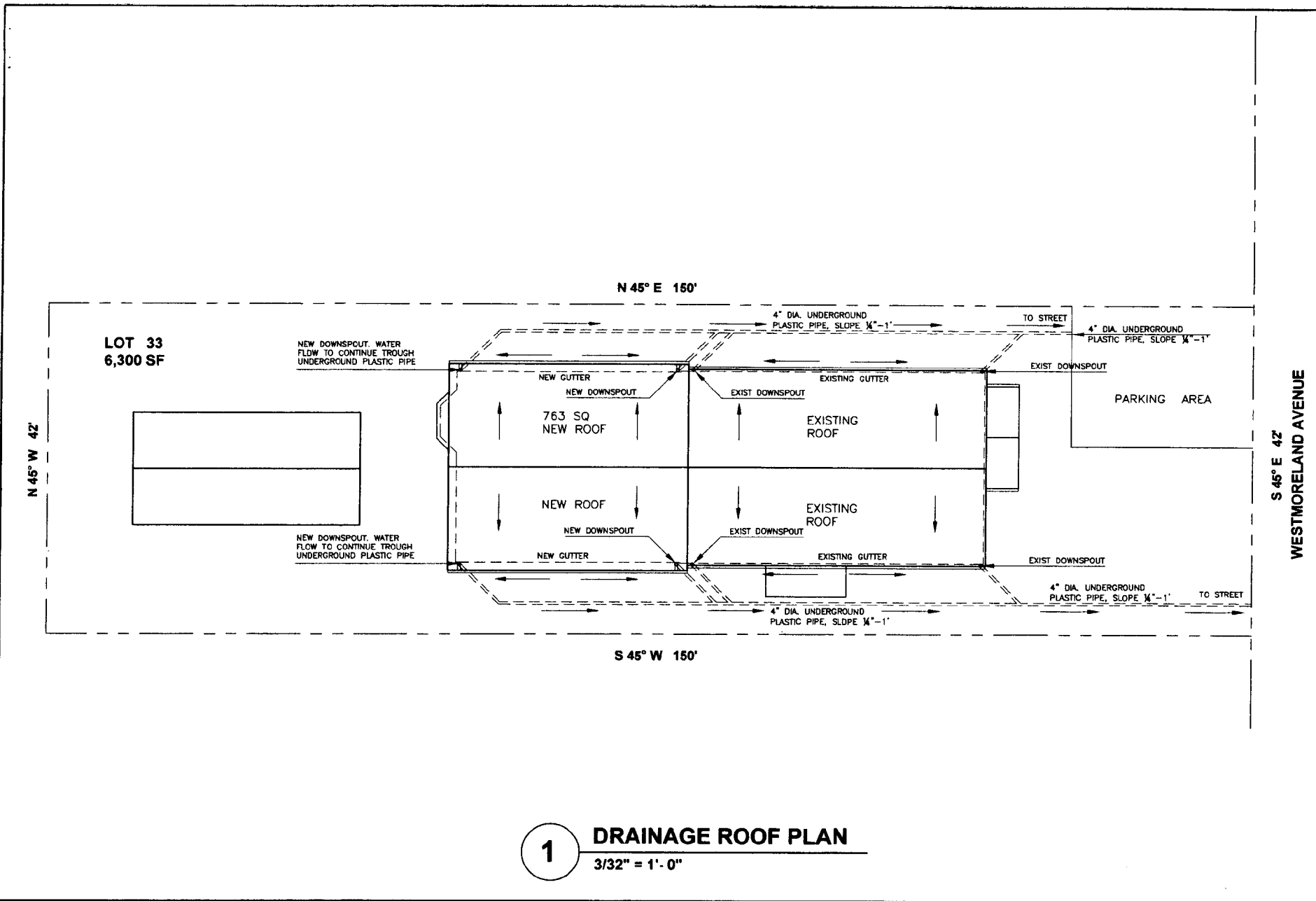
ISSUED: **JUNE 2007**
SCALE: **3/16" = 1'-0"**

PROJECT NAME: **ADEYERI RESIDENCE**
PROJECT ADDRESS: **6708 WESTMORELAND AV**

DRAWING NAME: **ROOF FRAMING PLAN**

S-3

(17)



1 DRAINAGE ROOF PLAN
3/32" = 1'-0"

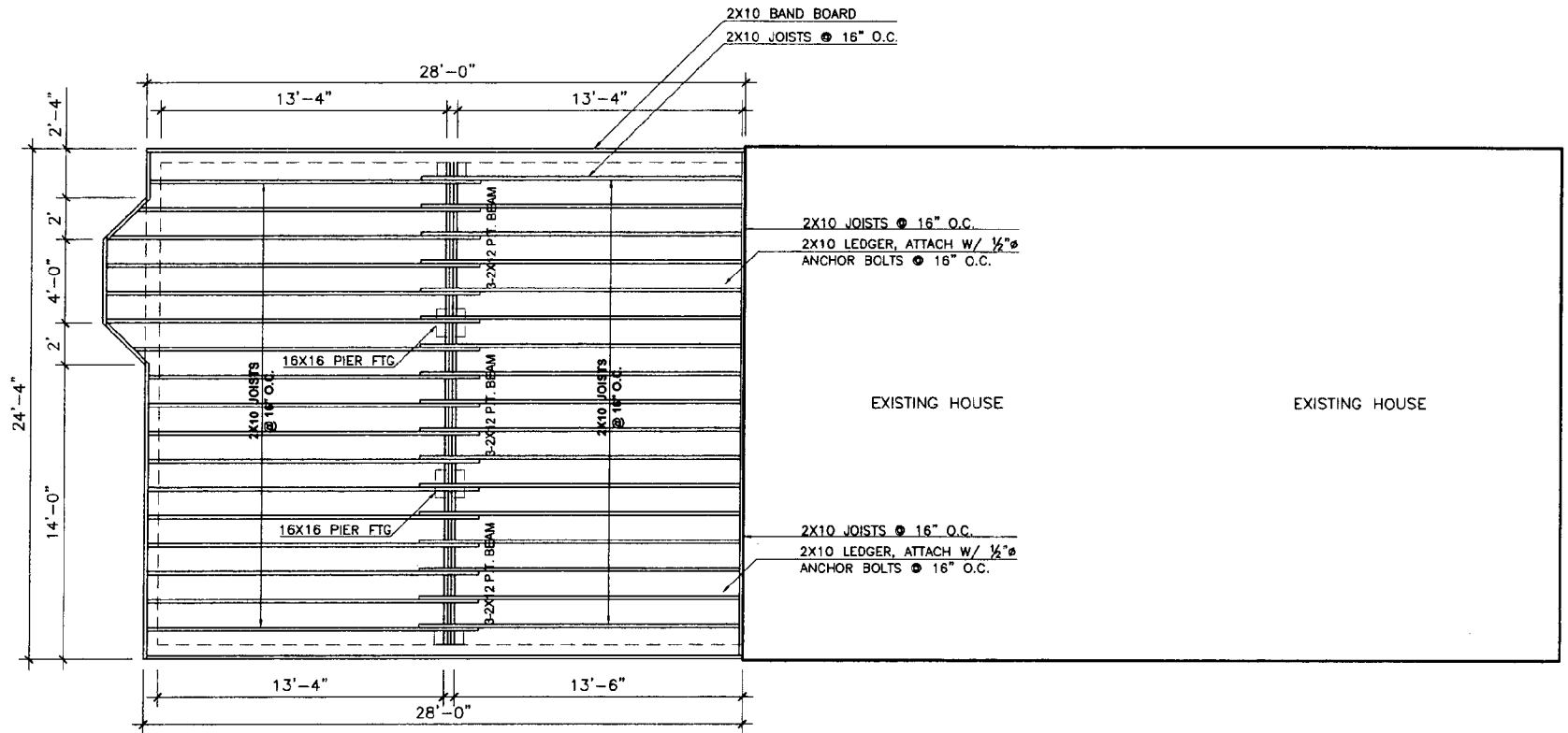
ISSUED: **JUNE 2007**
SCALE: **3/32" = 1'-0"**

PROJECT NAME: **ADEYERI RESIDENCE**
PROJECT ADDRESS: **6708 WESTMORELAND AV**

DRAWING NAME: **DRAINAGE ROOF**
PROPOSAL: **PROPOSAL**

D-3

25



1 **FIRST FLOOR FRAMING PLAN**
3/16" = 1'-0"

26

ISSUED: **JUNE 2007**
SCALE: **3/16" = 1'-0"**

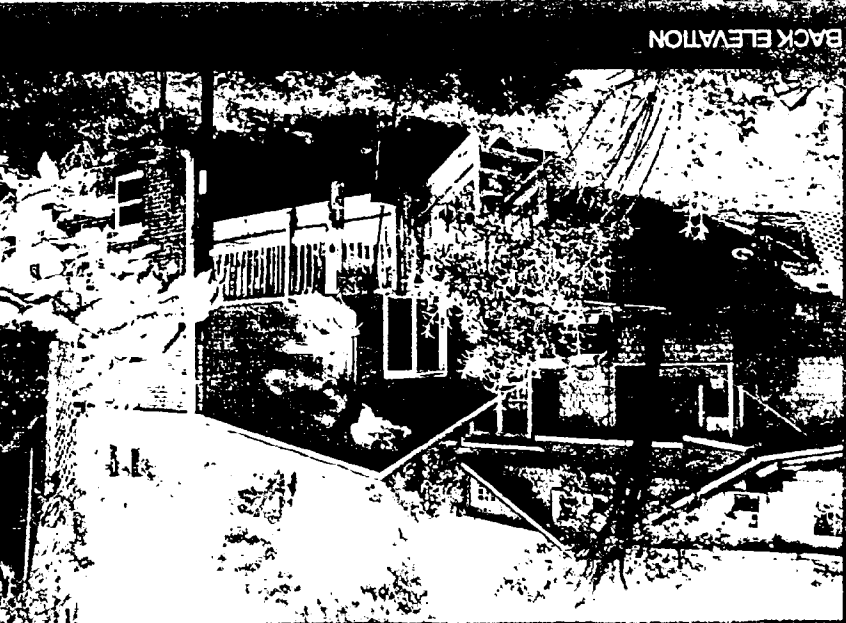
PROJECT NAME: **ADEYERI RESIDENCE**
PROJECT ADDRESS: **6708 WESTMORELAND AV**

DRAWING NAME: **FIRST FLOOR FRAMING PLAN**

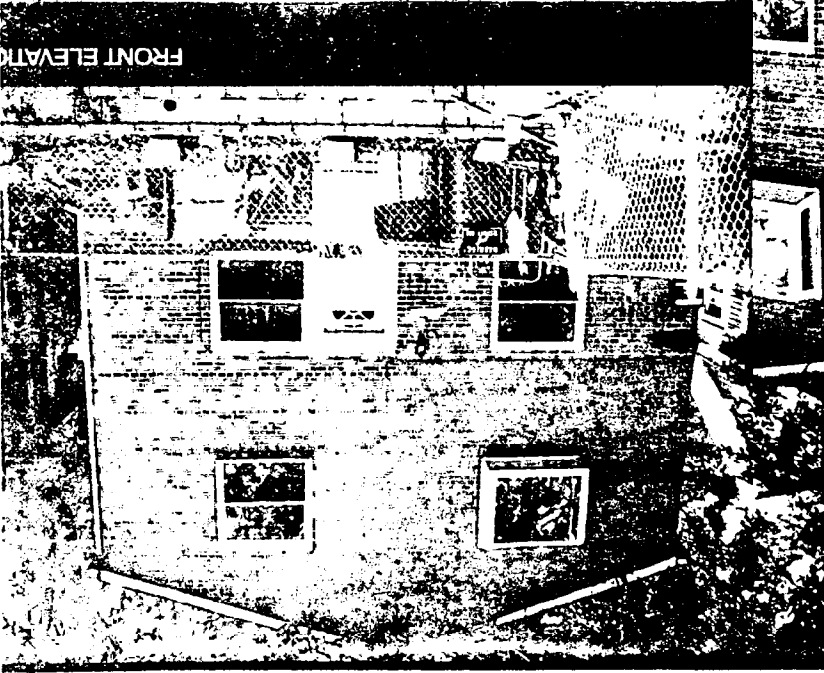
S-2



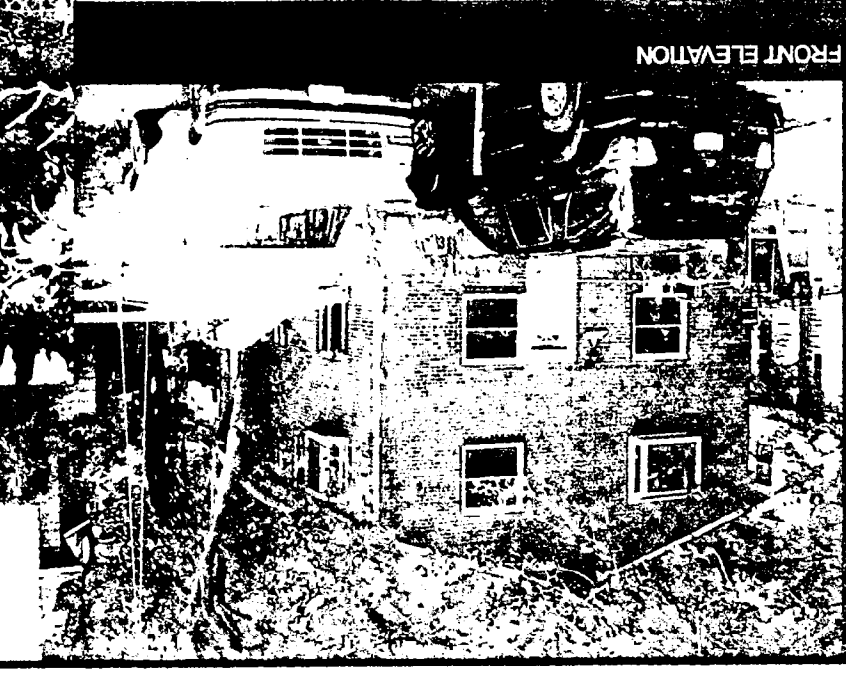
BACK ELEVATION



BACK ELEVATION



FRONT ELEVATION

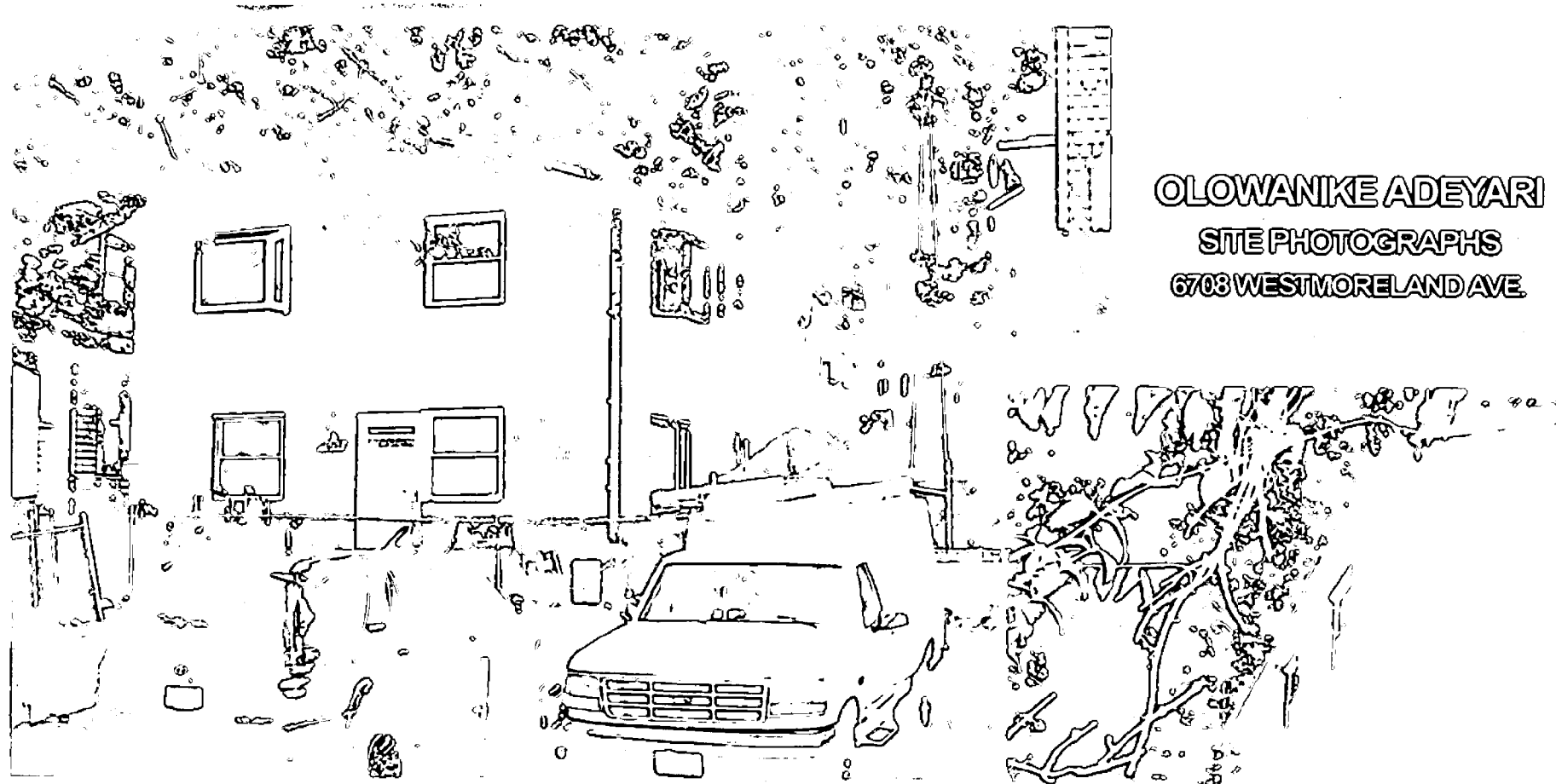


FRONT ELEVATION

FRONT ELEVATION
LEFT SIDE CORNER VIEW

OLWANIKE ADEYARI
SITE PHOTOGRAPHS
6708 WESTMORELAND AVE

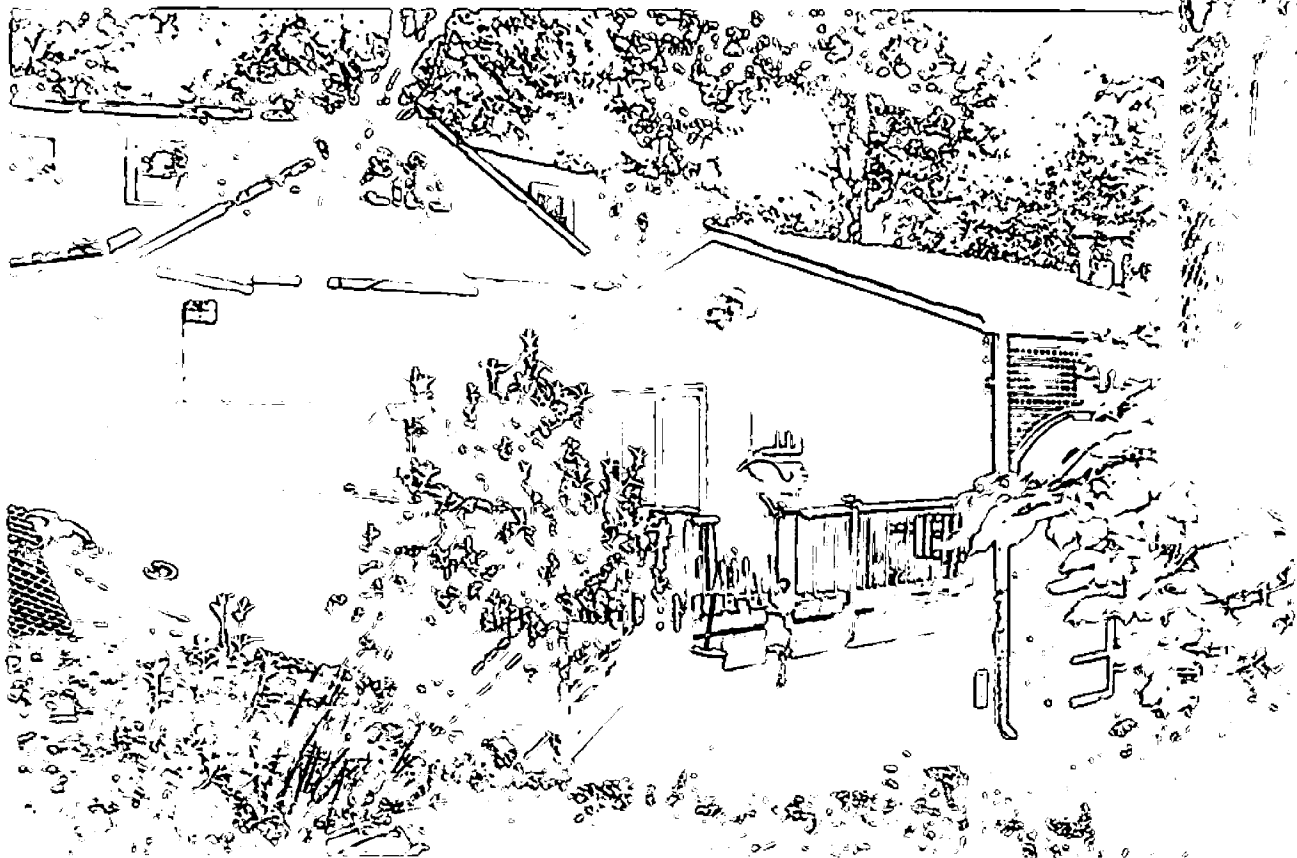
OLOWANIKE ADEYARI
SITE PHOTOGRAPHS
6703 WESTMORELAND AVE.



FRONT ELEVATION

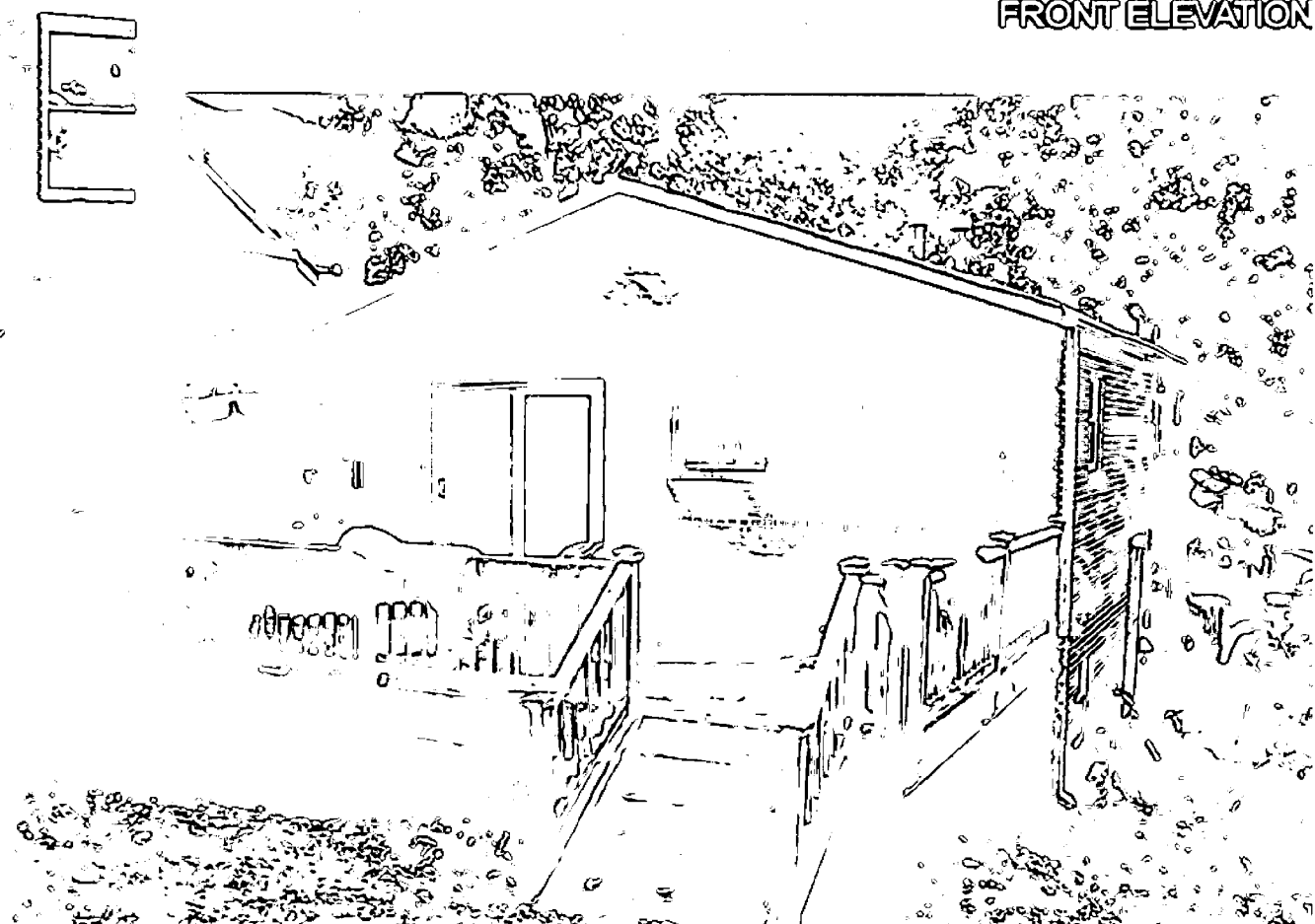


FRONT ELEVATION



BACK ELEVATION

FRONT ELEVATION
LEFT SIDE CORNER VIEW



BACK ELEVATION