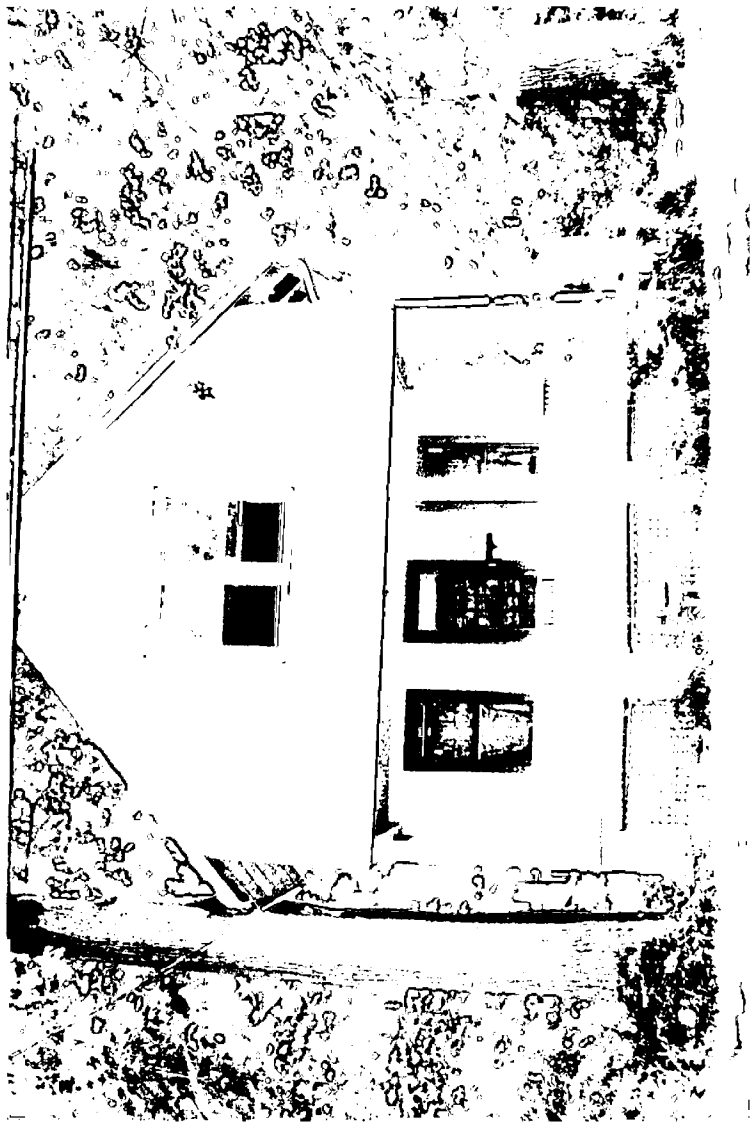


7217 Willow Avenue, Takoma Park  
HPC CASE # 37/03-07X (RETROACTIVE)  
TAKOMA PARK HISTORIC DISTRICT







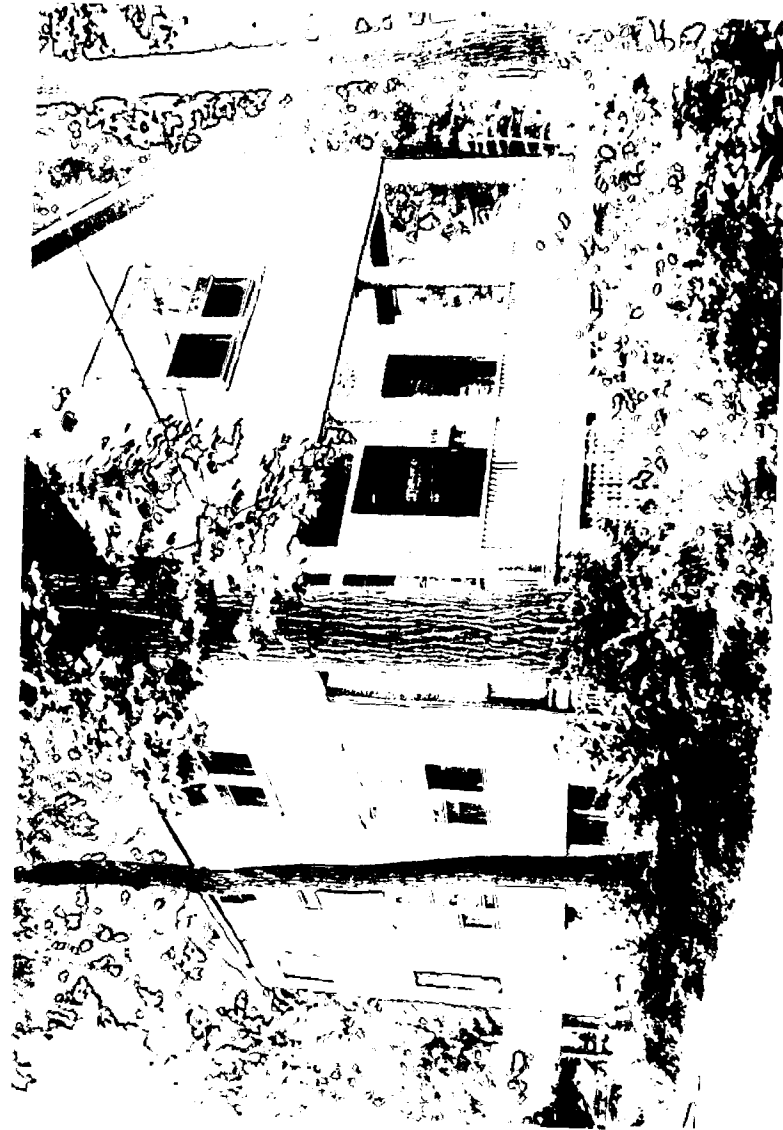


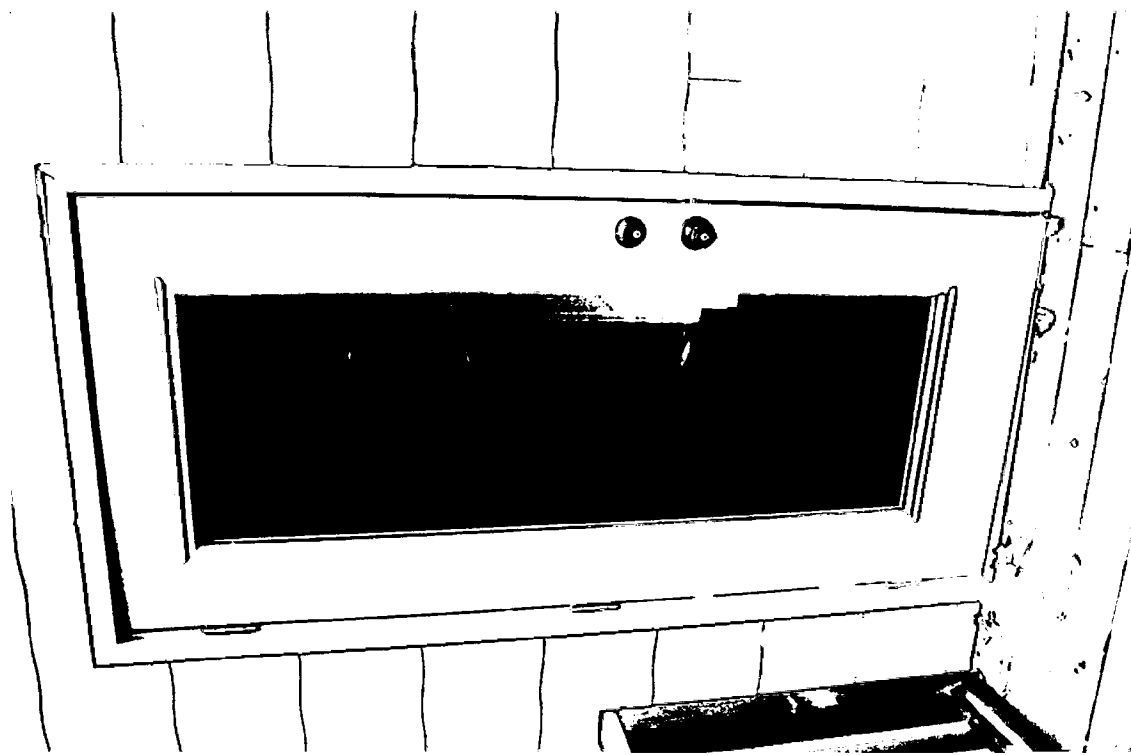














7217  
willow

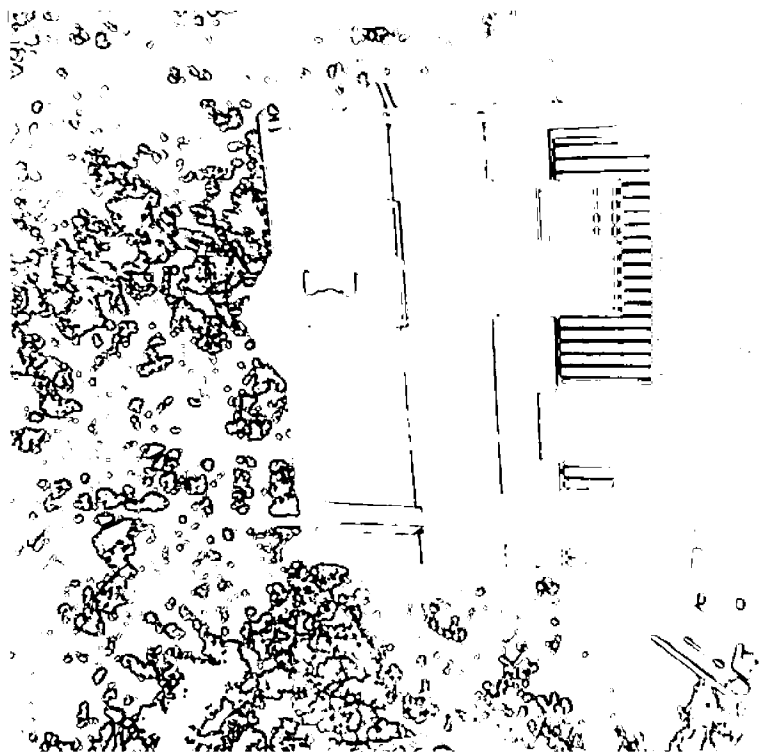




add exit door to ~~back~~  
add on main  
add from just  
to ~~east~~ north  
of south single  
windows

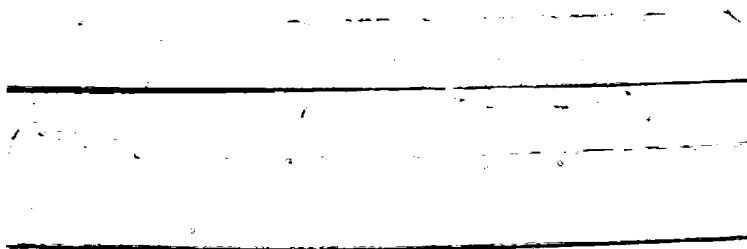
back

7217  
windows

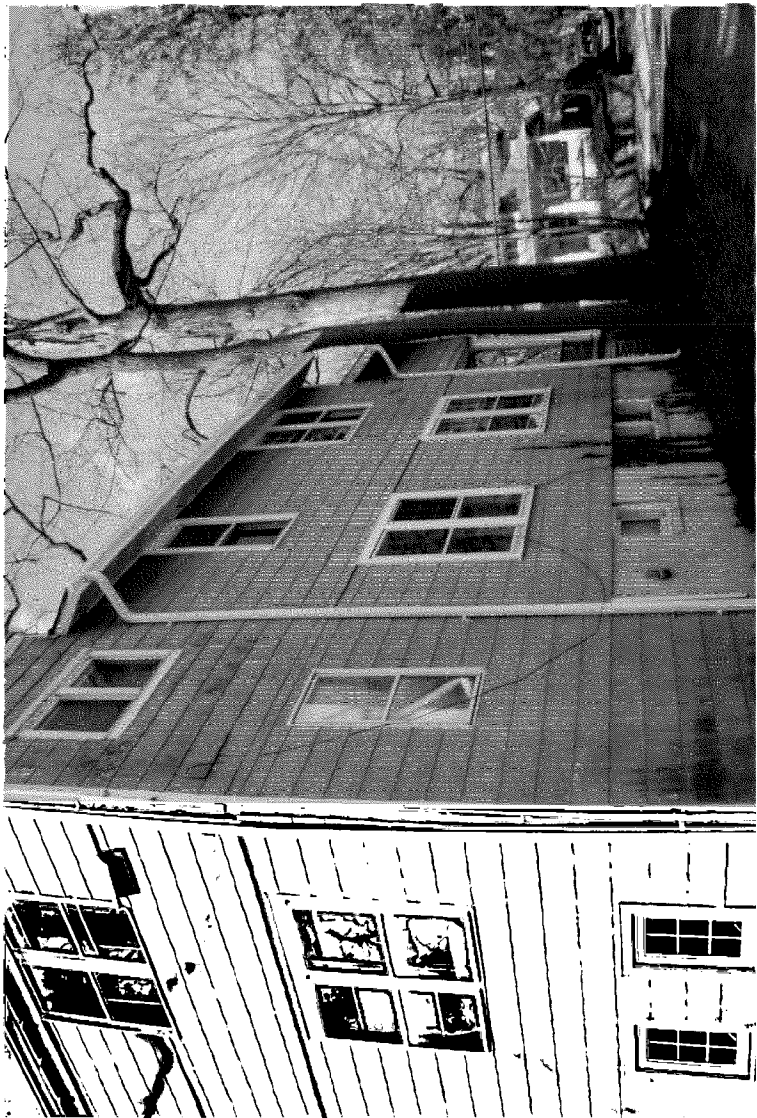












7217  
willow  
North  
side





Retrospective  
HAWP



Mr. and Mrs. Bryan Deily  
705 Houston Avenue  
Takoma Park, MD 20912  
202-669-8242  
[kristideily@gmail.com](mailto:kristideily@gmail.com)  
July 11, 2007  
RE: 7217 Willow Avenue

Mr. Jef Fuller, Chairman  
Montgomery County Historic Preservation Commission  
8787 Georgia Avenue  
Silver Spring, MD 20910

Attention: Chairman Fuller

Dear Mr. Chairman,

We are writing to request your approval to have our permit application considered at the next meeting of the Montgomery County Historic Commission on July 25<sup>th</sup>.

We are in negotiations for the sale of the house and the sale is contingent upon the receipt of the deck permit. The tentative date of settlement is August 22<sup>nd</sup> and we would need the contingencies cleared in advance of that date.

Thank you for considering this request.

Sincere regards,

Kristi and Bryan Deily

**Silver, Joshua**

---

**From:** Kristi Deily [kristideily@gmail.com]  
**Sent:** Tuesday, July 17, 2007 3:07 PM  
**To:** Silver, Joshua  
**Subject:** Re: 7217 Willow Ave

Joshua,

I left the hearing notice for 7218 Spruce Avenue in the mailbox. I was informed that the owner is out of town.

Kind regards,  
Kristi Deily

7/17/2007



## Silver, Joshua

---

**From:** Sabrina Baron [s.baron@starpower.net]  
**Sent:** Tuesday, July 17, 2007 2:55 PM  
**To:** Kristi Deily  
**Cc:** Silver, Joshua  
**Subject:** Re: 7217 Willow Ave - Deck permit application

Hi Kristi--

I just spoke with Josh and got a fuller explanation. As I said earlier, it doesn't sound like you are doing anything out of the ordinary and the concern was with the notification period.

Thanks for your efforts to get in touch and let me know if anything else comes up.

Sabrina Baron

Joshua,

I tried to contact the local advisory panel, Historic Takoma, but have been unable to reach anyone. I left a message for the president, Sabrina Baron, and I left a message at their general number as well. I have not heard back from anyone. I am also unable to reach Historic Takoma by email as their email has been disabled due to spam (see attached website printout). In my voice messages, I did inform them of the issue, the property address, and the meeting date. If there is anything further I can do to meet this requirement, please let me know.

Regards,

Kristi Deily

7217 Willow Avenue, Takoma Park

202-669-8242

# NOTICE

The deck permit application for 7217 Willow Avenue will be reviewed at the next meeting of the Historic Preservation Commission on Wednesday, July 25<sup>th</sup>, 2007.

Please sign below to confirm receipt of this notice.

abandoned property

7302 Willow Avenue

# NOTICE

The deck permit application for 7217 Willow Avenue will be reviewed at the next meeting of the Historic Preservation Commission on Wednesday, July 25<sup>th</sup>, 2007.

Please sign below to confirm receipt of this notice.



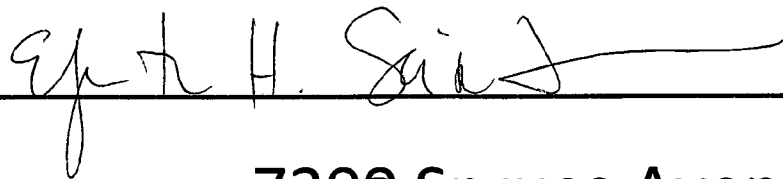
---

7300 Willow Avenue

# NOTICE

The deck permit application for 7217 Willow Avenue will be reviewed at the next meeting of the Historic Preservation Commission on Wednesday, July 25<sup>th</sup>, 2007.

Please sign below to confirm receipt of this notice.

  
\_\_\_\_\_

7200 Spruce Avenue

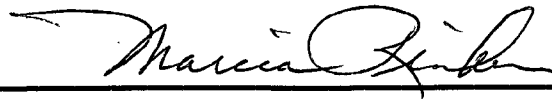
7220

I have no objection to the approval of the permit. 

# NOTICE

The deck permit application for 7217 Willow Avenue will be reviewed at the next meeting of the Historic Preservation Commission on Wednesday, July 25<sup>th</sup>, 2007.

Please sign below to confirm receipt of this notice.



*Marcia Fisher*

---

7301 Willow Avenue





# NOTICE

The deck permit application for 7217 Willow Avenue will be reviewed at the next meeting of the Historic Preservation Commission on Wednesday, July 25<sup>th</sup>, 2007.

Please sign below to confirm receipt of this notice.

*Christine Pitagliata*

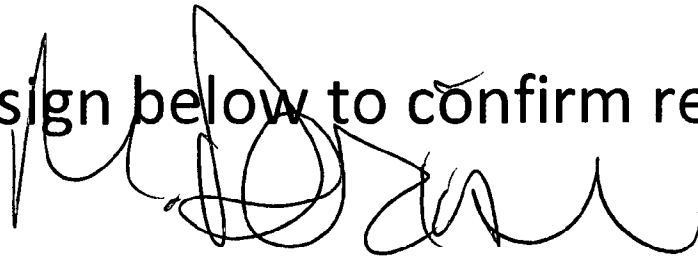
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7216 Willow Avenue

# NOTICE

The deck permit application for 7217 Willow Avenue will be reviewed at the next meeting of the Historic Preservation Commission on Wednesday, July 25<sup>th</sup>, 2007.

Please sign below to confirm receipt of this notice.

A handwritten signature in black ink, appearing to read "M. D. [unclear]", written over a horizontal line.

7213 Willow Avenue

# NOTICE

The deck permit application for 7217 Willow Avenue will be reviewed at the next meeting of the Historic Preservation Commission on Wednesday, July 25<sup>th</sup>, 2007.

Please sign below to confirm receipt of this notice.



---

City of Takoma Park

# NOTICE

The deck permit application for 7217 Willow Avenue will be reviewed at the next meeting of the Historic Preservation Commission on Wednesday, July 25<sup>th</sup>, 2007.

Please sign below to confirm receipt of this notice.

abandoned property

7302 Willow Avenue

# NOTICE

The deck permit application for 7217 Willow Avenue will be reviewed at the next meeting of the Historic Preservation Commission on Wednesday, July 25<sup>th</sup>, 2007.

Please sign below to confirm receipt of this notice.

A handwritten signature in black ink, appearing to read "Sethler", is written above a horizontal line.

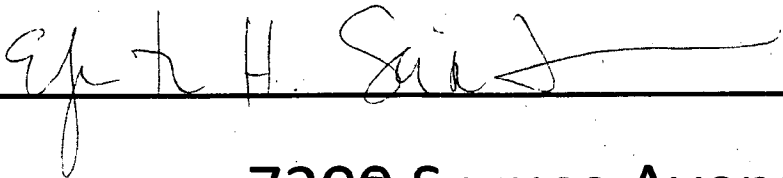
---

7300 Willow Avenue

# NOTICE

The deck permit application for 7217 Willow Avenue will be reviewed at the next meeting of the Historic Preservation Commission on Wednesday, July 25<sup>th</sup>, 2007.

Please sign below to confirm receipt of this notice.

  
\_\_\_\_\_

7200 Spruce Avenue

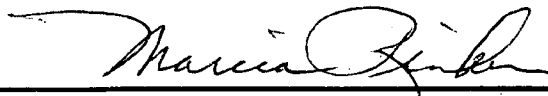
7220

I have no objection to the approval of the permit. EHS

# NOTICE

The deck permit application for 7217 Willow Avenue will be reviewed at the next meeting of the Historic Preservation Commission on Wednesday, July 25<sup>th</sup>, 2007.

Please sign below to confirm receipt of this notice.



---

7301 Willow Avenue



# NOTICE

The deck permit application for 7217 Willow Avenue will be reviewed at the next meeting of the Historic Preservation Commission on Wednesday, July 25<sup>th</sup>, 2007.

Please sign below to confirm receipt of this notice.

Anne C. Dexton 7/12/07

7218 Willow Avenue

# NOTICE

The deck permit application for 7217 Willow Avenue will be reviewed at the next meeting of the Historic Preservation Commission on Wednesday, July 25<sup>th</sup>, 2007.

Please sign below to confirm receipt of this notice.

*Christine Artagliata*

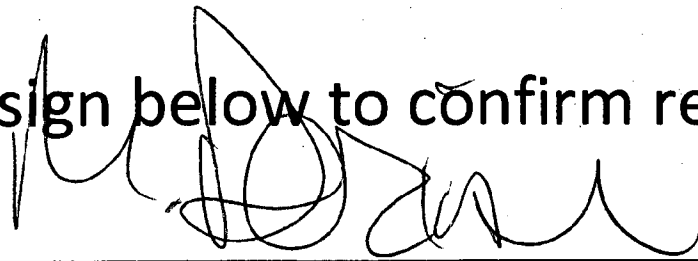
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7216 Willow Avenue

# NOTICE

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Please sign below to confirm receipt of this notice.

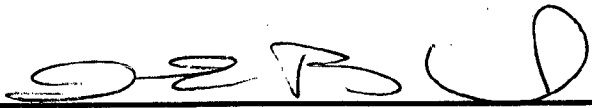
A handwritten signature in black ink, appearing to be 'M. J. [unclear]', written over a horizontal line.

7213 Willow Avenue

# NOTICE

The deck permit application for 7217 Willow Avenue will be reviewed at the next meeting of the Historic Preservation Commission on Wednesday, July 25<sup>th</sup>, 2007.

Please sign below to confirm receipt of this notice.

  
\_\_\_\_\_

City of Takoma Park

## Silver, Joshua

---

**From:** Sabrina Baron [s.baron@starpower.net]  
**Sent:** Tuesday, July 17, 2007 2:55 PM  
**To:** Kristi Deily  
**Cc:** Silver, Joshua  
**Subject:** Re: 7217 Willow Ave - Deck permit application

Hi Kristi--

I just spoke with Josh and got a fuller explanation. As I said earlier, it doesn't sound like you are doing anything out of the ordinary and the concern was with the notification period.

Thanks for your efforts to get in touch and let me know if anything else comes up.

Sabrina Baron

**Silver, Joshua**

---

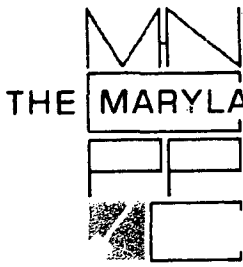
**From:** Kristi Deily [kristideily@gmail.com]  
**Sent:** Tuesday, July 17, 2007 3:07 PM  
**To:** Silver, Joshua  
**Subject:** Re: 7217 Willow Ave

Joshua,

I left the hearing notice for 7218 Spruce Avenue in the mailbox. I was informed that the owner is out of town.

Kind regards,  
Kristi Deily

7/17/2007



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

Historic Preservation Office  
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: Gail Lucas FAX NUMBER: 240.777.6262

FROM: Josh Silver

DATE: 7/18/07

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 3

NOTE:

Gail,  
Thanks for your assistance today. Attached is a copy of  
~~the~~ HAWP #455935 for your records.  
Thanks again, Josh Silver



DEPARTMENT OF PERMITTING SERVICES  
295 PLEASANT HILL DRIVE, SUITE 200  
BETHESDA, MD 20814

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR**  
**HISTORIC AREA WORK PERMIT**

Contact Person: Kristi Deily  
Daytime Phone No.: 202 669-8242

Tax Account No.: 161301662587  
Name of Property Owner: Kristi Deily Daytime Phone No.: 202-669-8242  
Address: 7217 Willow Ave Takoma Park MD 20912  
Street Number City Street Zip Code

Contractor: N/A Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 7217 Street: Willow Ave  
Town/City: Takoma Park Nearest Cross Street: \_\_\_\_\_  
Lot: P2 Block: 8 Subdivision: Takoma Park  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  AC  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_

1B. Construction cost estimate: \$ 5000

1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Kristi Deily 5/31/07  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: 7-13-07 Date: \_\_\_\_\_  
Application/Permit No.: 455935 Date Filed: 6-27-07 Date Issued: JDS  
AEC







## HISTORIC PRESERVATION COMMISSION

Isiah Leggett  
County Executive

Jef Fuller  
Chairperson

Date: July 26, 2007

### MEMORANDUM

TO: Carla Reid Joyner, Director  
Department of Permitting Services

FROM: Josh Silver, Senior Planner *JLS*  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #455935, rear deck and door installation

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with Conditions** at the July 25, 2007 meeting.

- 1. The applicant must meet any tree protection requirements as specified in the City of Takoma Park Tree Ordinance.*

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Kristi Deily

Address: 7217 Willow Ave, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE 2nd FLOOR ROCKVILLE MD 20850  
240-777-5270

F  
DPS - #8

HISTORIC PRESERVATION COMMISSION  
301/563-3400

APPLICATION FOR  
HISTORIC AREA WORK PERMIT

Contact Person: Kristi Deily  
Daytime Phone No.: 202-669-8242

Tax Account No.: 161301662587  
Name of Property Owner: Kristi Deily Daytime Phone No.: 202-669-8242  
Address: 7217 Willow Ave Takoma Park MD 20912  
Street Number City Street Zip Code  
Contractor: N/A Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

LOCATION OF BUILDING/PREMISE

House Number: 7217 Street: Willow Ave  
Town/City: Takoma Park Nearest Cross Street: \_\_\_\_\_  
Lot: P2 Block: 8 Subdivision: Takoma Park  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 5000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Kristi Deily 5/31/07  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 455935 Date Filed: 6-3-07 Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

2147 N. W. 10th St. Home - 14' x 10' 6"  
Well kept, set in a well kept lawn, front of  
property very green, tree on the side of  
the house. No the historical low historical significance  
They will be little impact and in general  
keep a home and yard, only positive impact on  
historic district.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2147 N. W. 10th St. Home - 14' x 10' 6"  
Well kept, set in a well kept lawn, front of  
property very green, tree on the side of  
the house. No the historical low historical significance  
They will be little impact and in general  
keep a home and yard, only positive impact on  
historic district.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades)**, with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

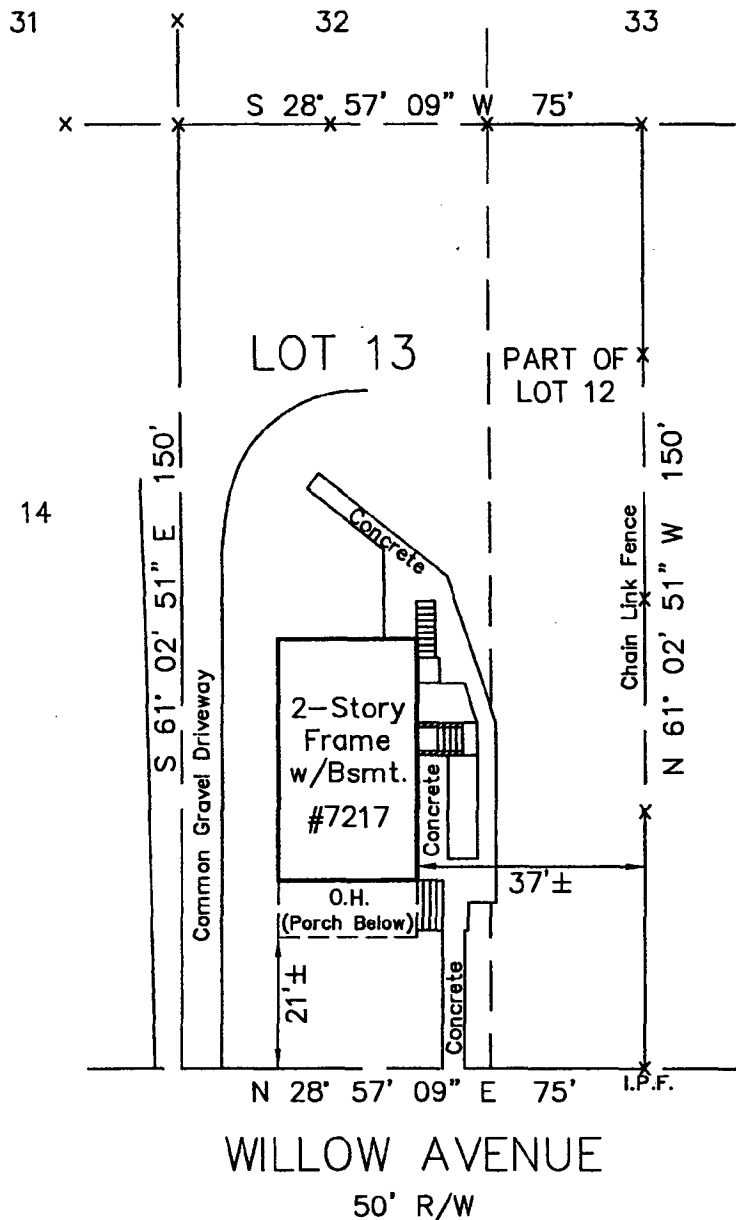
For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

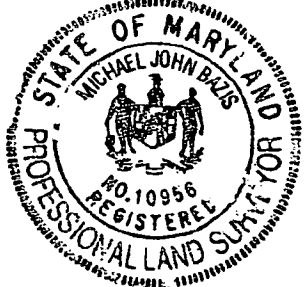
The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.

**NOTES:**

- (1) The lot shown hereon does not lie within the limits of the 100 year flood plain as shown on FIRM Panel No. 200  
Date of Map: 8-5-91  
Flood Zone: "C"
- (2) No property corners found or set unless otherwise noted.
- (3) The accuracy of this survey and the apparent setback distances is 2'±



APPROVED  
Montgomery County  
Historic Preservation Commission  
*John A. ... 7/27/07*



**SURVEYOR'S CERTIFICATE**

I hereby certify that the property delineated hereon is in accordance with the plat of subdivision and/or deed of record, that the improvements were located by accepted field practices and include permanent visible structures, if any. This PLAT is NOT FOR DETERMINING PROPERTY LINES OR FOR CONSTRUCTION OF IMPROVEMENTS, but prepared for exclusive use of present owners of property and also those who purchase, mortgage, or guarantee the title thereto, within six months from date hereof, and as to them I warrant the accuracy of this plat.

*Michael J. Bazis*  
Michael J. Bazis RPLS #10956

LOCATION DRAWING  
LOT 13 AND PART OF LOT 12  
BLOCK 8  
LIPSCOMB AND EARNEST,  
TRUSTEES', ADDITION TO  
TAKOMA PARK  
MONTGOMERY COUNTY, MARYLAND  
THIS SURVEY IS FOR TITLE PURPOSES ONLY

JOB # 07.0003H	DATE 1-8-07
FIELD JDH/MH	DRAFT DAB
	P.B. 1 P #46
	SCALE: 1" = 30'

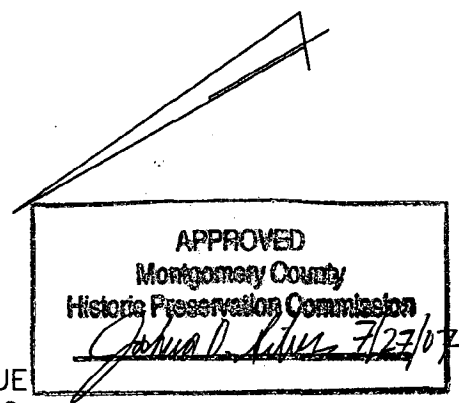
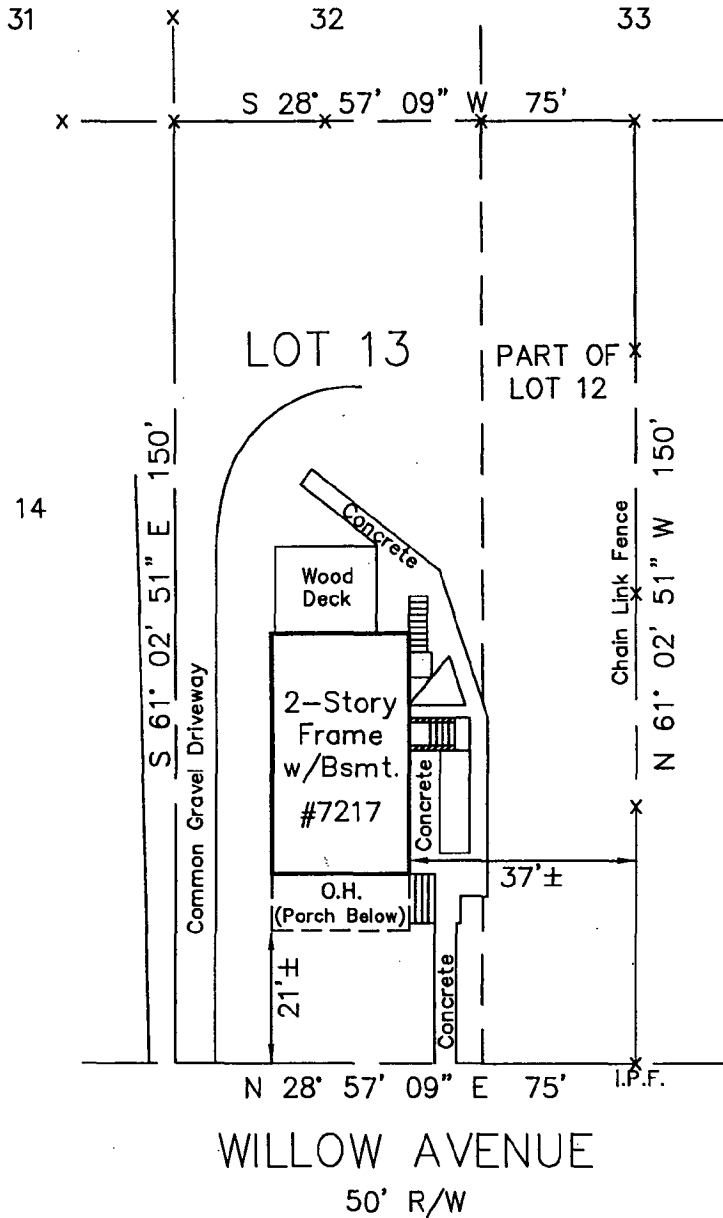
**R.C. KELLY & ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS

10801 LOCKWOOD DRIVE, SUITE 190  
SILVER SPRING, MARYLAND 20901  
(301)593-8005 FAX (301)681-7216  
E-MAIL: rckelly@cavtel.net

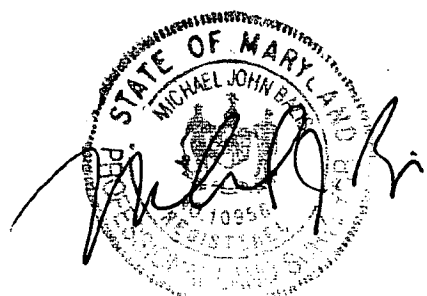
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RESIDUE LOT 12



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*Michael J. Bazis*  
Michael J. Bazis RPLS #10956

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 LOT 13 AND PART OF LOT 12  
 BLOCK 8  
 LIPSCOMB AND EARNEST,  
 TRUSTEES', ADDITION TO  
 TAKOMA PARK  
 MONTGOMERY COUNTY, MARYLAND  
 THIS SURVEY IS FOR TITLE PURPOSES ONLY

JOB # 07.0003H	DATE 1-8-07
FIELD JDH/MH	DRAFT DAB
RECERTIFIED 7-3-07	P.B. 1 P #46
	SCALE: 1" = 30'

**R.C. KELLY & ASSOCIATES, INC.**  
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10801 LOCKWOOD DRIVE, SUITE 190  
 SILVER SPRING, MARYLAND 20901  
 (301)593-8005 FAX (301)681-7216  
 E-MAIL: rckelly@cavtel.net

Neighbor addresses

Deck permit application for 7217 Willow Ave, Lakona  
fork

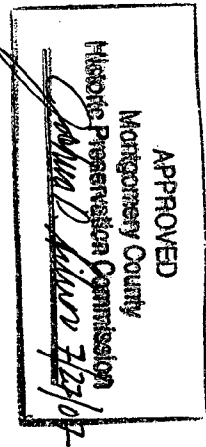
X ✓ 7216 ✓ 7218 7300 ✓ 7302

Willow Ave

7213 X 7217 7301 X

7218 X 7220 X

Spruce Ave



✓ = signed notice

Written description of deck at 7217 Willow Avenue, Takoma Park:

The back deck is rectangular in shape, single level, measures 14' by 16'6", and stands 7'1" off the ground. It is constructed of #2 Southern Pine, pressure-treated wood and is accessed by one door off of the kitchen.

The new exterior door is fiberglass, with full-length glass insert, measuring 36" x 80". The door is 72" from the south side of the house, 155" from the north side, and 78" from the ground.

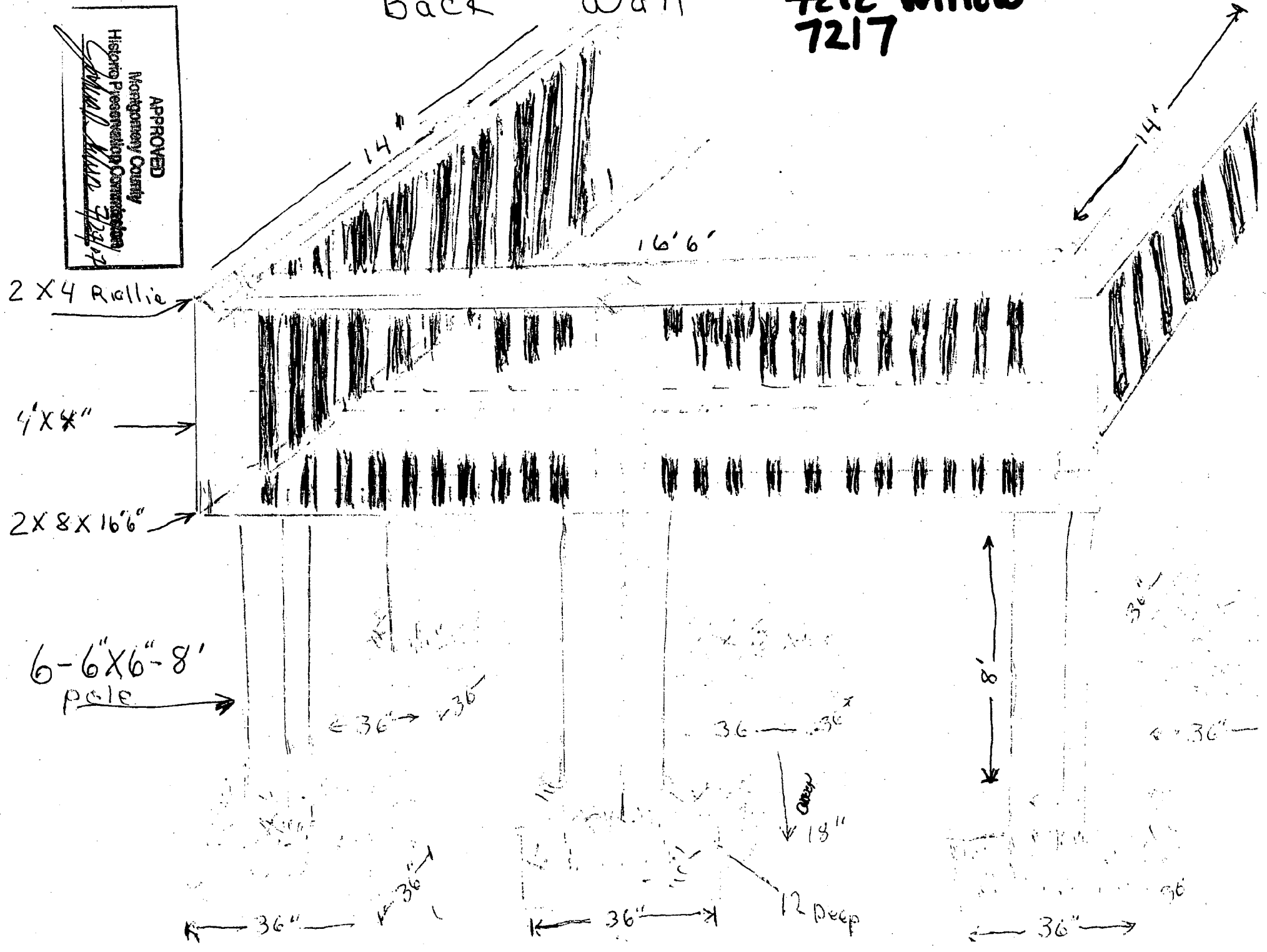
APPROVED  
Montgomery County  
Historic Preservation Commission  
*John D. Allen 7/27/07*



APPROVED  
Montgomery County  
Historic Preservation Commission  
*Shirley Ann 7/24/97*

Back Wall

TETE WILSON  
7217



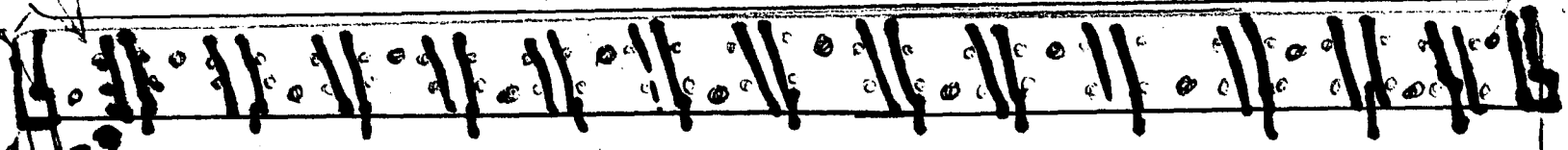
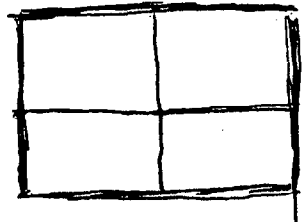
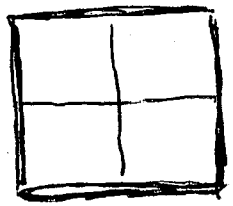
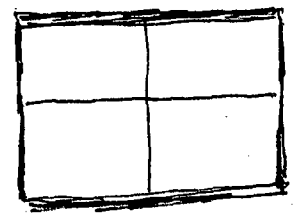
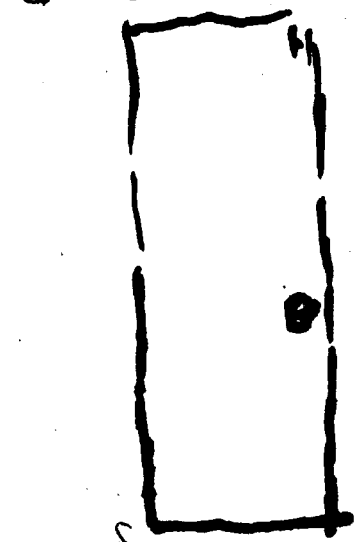
# Back of ~~7217~~ 7217 Willow

4- Screws  
1 3/4"

Call  
Dok W  
every  
16" Top

## Wall Plate

2" x 5" x 16' 6"  
plate  
13- Hanger  
2- Corner



7' 11"

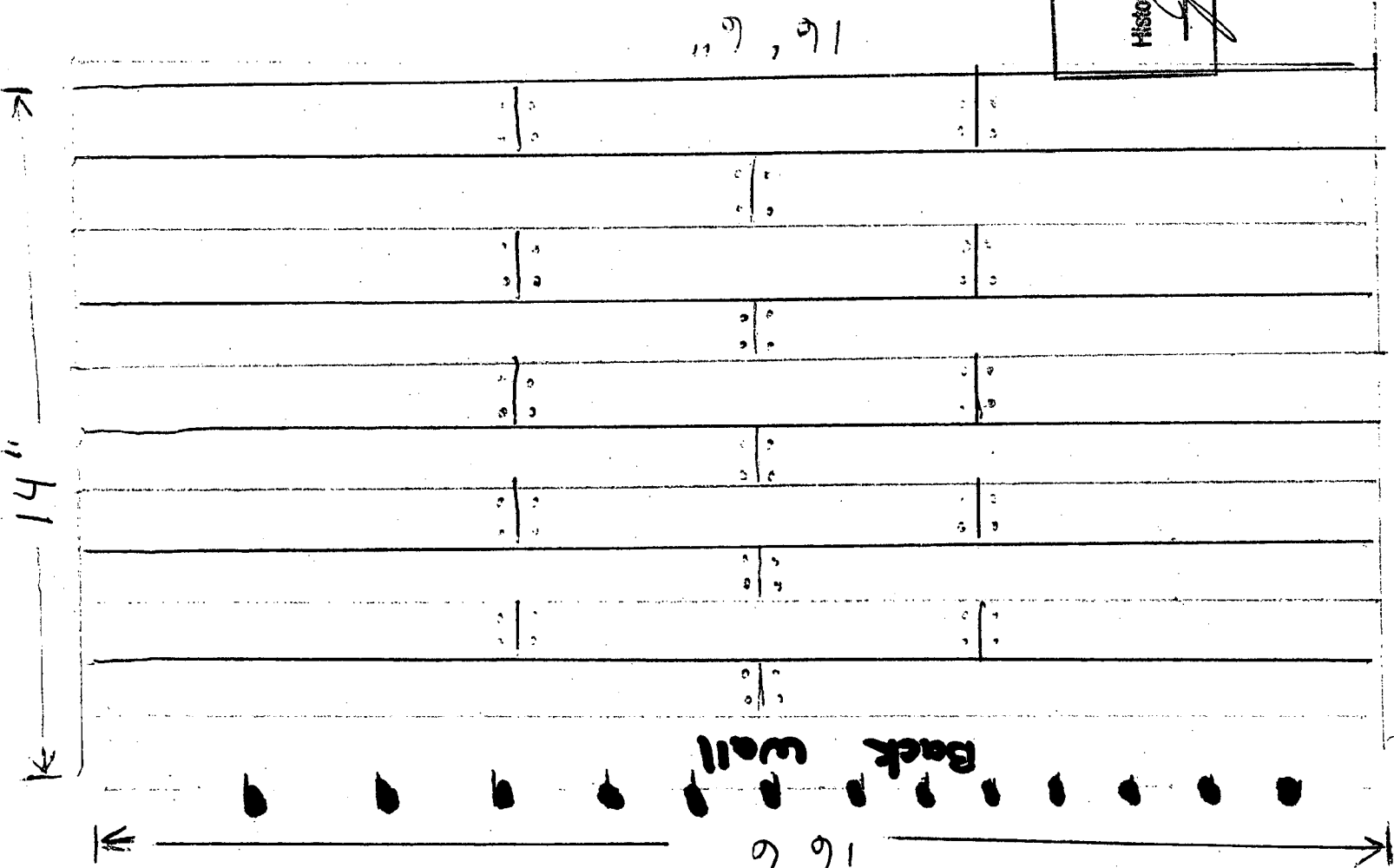
Back Door

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*  
3/27/07

7212 Willow  
7217

11, 91

APPROVED  
Montgomery County  
Historic Preservation Commission  
Carol M. Silver 7/27/87



1" X 6" 166"

**Home Depot Store 2564**

3301 E WEST HIGHWAY  
 HYATTSVILLE, MD 20782  
 (301)891-1106

DATE: 03/13/2007



**CUSTOMER:** DEILY, BRYAN  
 7217 WILLOW AVE

**SALES ASSOCIATE:**

**P.O. #:**

TAKOMA PARK, MD-20912  
 (202)-6691959

Thank you for shopping The Home Depot! We value your business!

ITEM FRAME SIZE	LOCATION	PRODUCT CODE DESCRIPTION	UNIT PRICE	QTY	TOTAL PRICE
--------------------	----------	-----------------------------	------------	-----	----------------

0001 MANUFACTURER: Feather River 1

RO Size = 38 1/4" W x 81" H  
 = 37 1/2" W x 80 1/2" H

Unit Size

Scale: 1/8" equals 1'

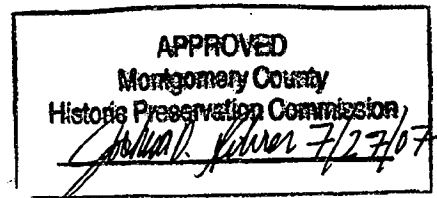


Part Number: CG D 2K  
 Product Category: Entry Doors  
 Manufacturer: Feather River  
 Product Configuration: Single Prehung  
 Slab Width: 36"  
 Slab Height: 80"  
 Unit Width: 37 1/2"  
 Unit Height: 80 1/2"  
 Rough Opening Width: 38 1/4"  
 Rough Opening Height: 81"  
 Brickmould: Yes  
 Brickmould Width: 40"  
 Brickmould Height: 81 3/4"  
 Finish: Smooth  
 Door Lite: Rectangle  
 Product Style: Clear Glass  
 Jamb Type: Primed White  
 Jamb: 4 9/16"  
 Swing: Left Hand(Hinge) Outswing  
 Sill: Composite Bumper Mill Finish  
 Lock Prep: Double Bore  
 Deadbolt Prep Size: 2 1/8"  
 Backset: 2 3/8"  
 Sku: 466291 / S/O FEATHER RIVER FIBERGLASS  
 DOORS

Base Price: Single Prehung	\$	470.00		
Outswing	\$	21.00		
	\$	491.00	\$	491.00

<b>QUOTE #:</b> _____	<b>PRETAX TOTAL</b>	\$	491.00
-----------------------	---------------------	----	--------

Estimated Lead Time \_\_\_\_\_



**Silver, Joshua**

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**From:** Todd Bolton [ToddB@takomagov.org]  
**Sent:** Friday, July 27, 2007 8:04 AM  
**To:** Kristi Deily  
**Cc:** Silver, Joshua  
**Subject:** Re: Tree Impact Assessment Request

Ms. Deily,

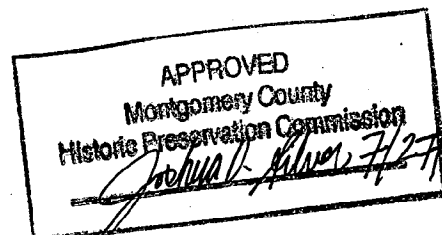
You do not need a tree protection plan for this project. In the future please request an impact assessment prior to construction.

Todd M. Bolton  
Arborist  
City of Takoma Park MD

>>> "Kristi Deily" <kristideily@gmail.com> 7/25/2007 2:00:52 PM >>>  
Mr. Bolton,

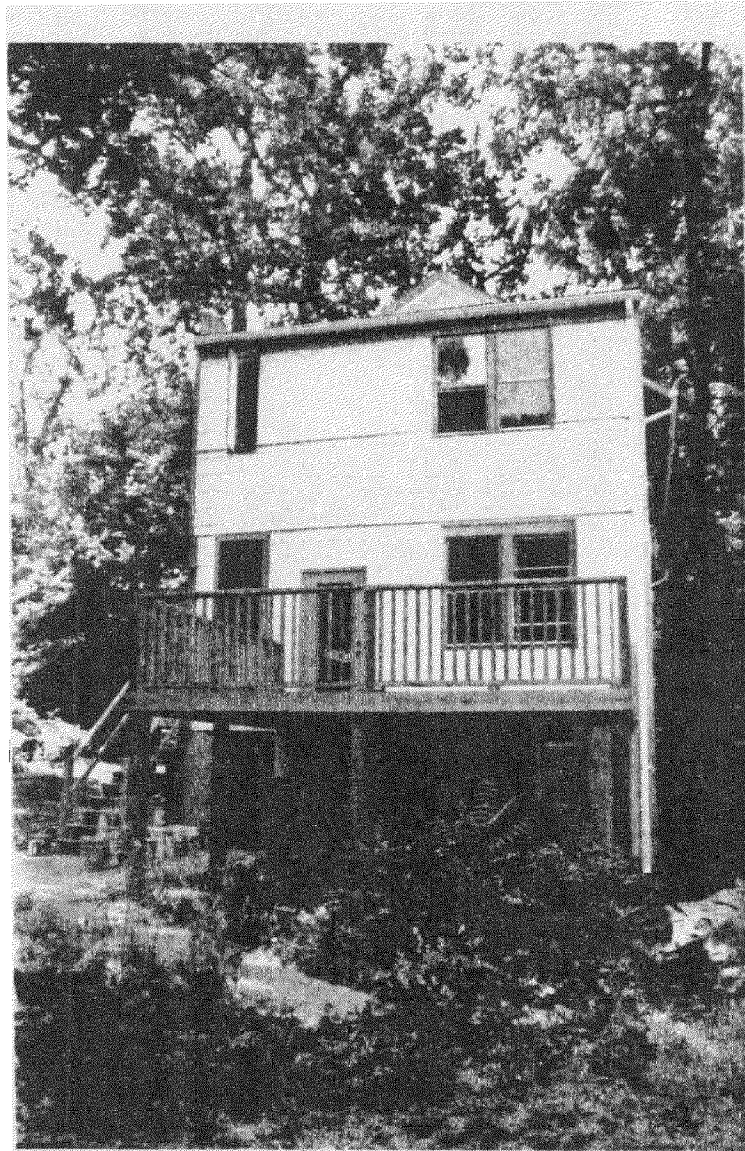
I am writing to request a tree impact assessment for the deck at 7217 Willow Ave. Thank you in advance.

Regards,  
Kristi Deily



7/27/2007





**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	7217 Willow Ave, Takoma Park	<b>Meeting Date:</b>	7/25/2007
<b>Resource:</b>	Contributing Resource <b>Takoma Park Historic District</b>	<b>Report Date:</b>	7/18/2007
<b>Applicant:</b>	Kristi Deily	<b>Public Notice:</b>	7/11/2007
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	None
<b>Case Number:</b>	37/03-07X (RETROACTIVE)	<b>Staff:</b>	Josh Silver
<b>PROPOSAL:</b>	Rear deck and door installation		
<b>RECOMMENDATION:</b>	Approval with conditions		

**STAFF RECOMMENDATION:**

Staff is recommending that the HPC approve this HAWP application with the following conditions:

1. The applicant must meet any tree protection requirements as specified in the City of Takoma Park Tree Ordinance.

**BACKGROUND:**

On June 21, 2007 a HAWP application was received by the Historic Preservation Section to construct a wooden deck, and install a fiberglass door at the rear of the subject property. The HAWP application was considered incomplete by staff, and promptly returned to the applicant with a request for additional information.

On July 11, 2007 historic preservation staff met with the applicant to discuss the necessary steps for filing a completed HAWP. During this meeting staff was asked by the applicant to be added to the July 25<sup>th</sup> 2007 HPC meeting agenda as an emergency case, due to the contingent contract of sale on their house. At this time staff was informed construction of the rear deck, and door installation had already been completed without an approved HAWP. As a result, this HAWP case will be reviewed retroactively.

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*Section 1.3 (c) Emergency Applications Added to Agenda – At the Chairman's discretion, emergency applications may be added to the agenda of a public appearance. It shall be the responsibility of the applicant to hand deliver notices of the emergency application to all adjacent and confronting property owners, LAPs, and other interested parties. The applicant shall obtain written verification that such notices were received and shall present these verifications to the Commission's staff prior to the public appearance.*



Upon receipt of the Chairman's approval, the applicant provided a completed HAWP application to staff on July 13, 2007. All public noticing requirements have been met for this case as specified in Section 1.3 (c) of the Montgomery County Historic Preservation Commission Regulations

### ARCHITECTURAL DESCRIPTION

SIGNIFICANCE: Contributing Resource Within The Takoma Park Historic District  
STYLE: Colonial Revival  
DATE: c1895-1905

The house is a two –story, three-bay frame dwelling, clad in composite siding, with asphalt shingle roofing. The house has been altered by a two -story front addition containing a single –story porch on the lower level, detailed with Doric columns, a square-picket balustrades, and a second –story overhead enclosure, containing one paired 6/6 double-hung window. The rear elevation of the house contains a later two –story addition, with a flat roof, and a combination of single and paired double-hung windows, four casement windows, and a wooden door.

### HISTORIC CONTEXT

Takoma Park is historically significant as both an early railroad suburb and a streetcar community. It was the one of the earliest railroad suburbs of Washington. The community was given new lifeblood in the early-20th century with the opening of streetcar lines, which led to the development of new subdivisions in Takoma Park.

Before 1883, the area that became Takoma Park was used for farming and vacation homes for Washingtonians. A few houses from this period still exist.

Benjamin Franklin Gilbert was the developer of Takoma Park, which he promoted for its natural environment and healthy setting. The site offered fresh water, trees, and a high elevation to escape the malaria-ridden District of Columbia. In 1883, Gilbert purchased a 90-acre farm and platted a subdivision with picturesque, winding streets named for native trees, including Sycamore, Chestnut, Hickory, and Oak. Equally reflective of Gilbert's promotion of the natural setting is the use of the Native American "Takoma", meaning "exalted" or "near heaven." Later he added the "Park" appellation to draw attention to its healthy environment.

Takoma Park houses built between 1883 and 1900 were fanciful, turreted, multi-gabled affairs of Queen Anne, Stick Style, and Shingle Style influence. The substantial houses had spacious settings, with deep, narrow lots of 50 feet by 200-300 feet, with 40-foot setback requirements. Extensive numbers of these houses (built from 1883 to 1900) remain, particularly concentrated along Maple, Cedar, and Holly Avenues. The earliest houses were built on Cedar Avenue (originally known as Oak Avenue).

Gilbert was more than just the developer of the community - he was a resident and civic leader. He built one of the first houses in the new community for himself and later became the town's first mayor. By 1886, Takoma Park had a post office and a new railroad station. Fifteen trains a day ran between Washington and Takoma Park and the population had reached 100.

By 1893, the town's population quadrupled. Four subdivisions had expanded the town, which was

incorporated in 1890. Takoma Avenue, Pine Avenue, and Holly Avenue were among the streets to develop during this period.

The first multi-family buildings in Montgomery County were built in Takoma Park. The earliest documented multi-family dwelling is the *Ford House* at 7137-39 Maple Avenue. Brothers Byron and Seth Ford built this large, elaborate, frame double-house in 1885 for their families. The next multi-family dwellings to be built in the county were not constructed until 1907.

The start of streetcar service along Carroll Avenue in 1897, operated by the Baltimore and Washington Transit Company, made the adjacent areas more attractive for residential development, leading to new subdivisions. This line, supplemented in 1910 by the Washington and Maryland line (1910-27), led to the creation of eight additional subdivisions extending out from the trolley lines. The inexpensive electric streetcar, the availability of low-cost house plans and kit houses in combination with smaller lot sizes made home ownership in Takoma Park possible for individuals of more modest income levels than during the previous period. By 1922, the population soared to 4,144, making Takoma Park the tenth largest incorporated town in Maryland. Among the streets, which developed during the 1910s and 1920s in response to the establishment of streetcar, lines are Willow, Park, Philadelphia, and Carroll Avenues.

The appearance today of much of the Takoma Park historic district is formed by the large numbers of dwellings constructed from 1900 into the 1920s. The houses built in Takoma Park during this period reveal changing American tastes in house design from the elaborate ornamentation of the late 19th century dwellings to more practical, simplified designs. Many of these early twentieth century houses reflect the aesthetics of the Arts and Crafts Movement, which emphasized the inherent nature of the building materials and structural elements for ornamentation. Residences put up in the American Four Square, Craftsman, Bungalow, and Colonial Revival designs continued the pattern of suburban development previously established - detached, wood frame single-family residences with uniform setbacks from the streets, though at a smaller scale. Entire streetscapes of these houses, particularly the Bungalow and Craftsman designs, are found along Willow, Park, Philadelphia, and Westmoreland Avenues. Scores of Bungalows, and Craftsman-style houses and catalog-order houses were built in this era.

Takoma Park continues to thrive today, with a population of 20,000. Though the train no longer stops there, the town's close relationship with mass transportation continues. The Metro enables residents to continue the tradition, started with the railroad and extended with the streetcars, of living in the suburbs and commuting to the District using mass transit. Two sections of the Montgomery County portion of Takoma Park have been listed on the National Register of Historic Places as the Takoma Park Historic District since 1976.

**PROPOSAL:**

The applicant is proposing to construct a 14' x 16'6" pressure treated wooden deck at the rear of the house.

The applicant is also proposing to install a 80.5" x 37.5" single-hung fiberglass entry door at the rear of the house in order to provide access to the proposed deck.

**APPLICABLE GUIDELINES:**

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These

documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 4A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

### ***Takoma Park Historic District Guidelines***

Contributing Resources should receive a more lenient review than those structures that have been classified as Outstanding. This design review should emphasize the importance of the resource to the overall streetscape and its compatibility with existing patterns rather than focusing on a close scrutiny of architectural detailing. In general, however, changes to Contributing Resources should respect the predominant architectural style of the resource. As stated above, the design review emphasis will be restricted to changes that are *at all visible from the public right-of-way*, irrespective of landscaping or vegetation.

The *Guidelines* that pertain to this project are as follows:

- all exterior alterations, including those to architectural features and details, should be generally consistent with the predominant architectural style and period of the resource and should *preserve the predominant architectural features of the resource*; exact replication of existing details and features, is, however, not required;
- alterations to areas that do not directly front on a public right-of-way which involve the replacement of or damage to original ornamental or architectural features are discouraged, but may be considered and approved on a case-by-case basis;
- alterations to features that are not visible at all from the public right-of-way should be allowed as a matter of course

### ***Montgomery County Code; Chapter 24A***

The Commission shall instruct the director to deny a permit if it finds, based on the evidence and information presented to or before the commission that the alteration for which the permit is sought would be inappropriate, inconsistent with or detrimental to the preservation, enhancement or ultimate protection of the historic site or historic resource within an historic district, and to the purposes of this chapter.

The Commission shall instruct the director to issue a permit, or issue a permit subject to such conditions as are found to be necessary to insure conformity with the purposes and requirements of this chapter, if it finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district; or
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter; or
5. The proposal is necessary in order that the owner of the subject property not be deprived of reasonable use of the property or suffer undue hardship; or

*Secretary of the Interior's Standards for Rehabilitation:*

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

While staff is discouraged the applicant did not receive a HAWP prior to beginning the project, the completed rear deck and fiberglass door have only a minimal effect on the subject property. Both the deck and door are located at the rear of house, and are not visible from the public right-of-way. The fiberglass door while not initially supported by staff has been installed on a section of the house visually documented as being a later addition. Therefore, staff supports the door installation, because no original historic material was removed from the house. Staff is recommending approval for this project.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Page 1** as being consistent with Chapter 24A-8(b)(1), (2) & (5);

and with the *Secretary of the Interior's Standards for Rehabilitation;*

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.

**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

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- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

**STAFF DISCUSSION**

While staff is discouraged the applicant did not receive a HAWP prior to beginning the project, the completed rear deck and fiberglass door have only a minimal effect on the subject property. Both the deck and door are located at the rear of house, and are not visible from the public right-of-way. The fiberglass door while not initially supported by staff has been installed on a section of the house visually documented as being a later addition. Therefore, staff supports the door installation, because no original historic material was removed from the house. Staff is recommending approval for this project.

**STAFF RECOMMENDATION:**

Staff recommends that the Commission **approve** the HAWP application **with the conditions specified on Page 1** as being consistent with Chapter 24A-8(b)(1), (2) & (5);

and with the *Secretary of the Interior's Standards for Rehabilitation*;

and with the general condition that the applicant shall present the **3 permit sets of drawings, if applicable, to Historic Preservation Commission (HPC) staff for review and stamping** prior to submission for the Montgomery County Department of Permitting Services (DPS) building permits;

and with the general condition that the applicant shall notify the Historic Preservation Staff if they propose to make **any alterations** to the approved plans.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES  
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850  
240/777-6370

DPS - #8

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

**APPLICATION FOR**  
**HISTORIC AREA WORK PERMIT**

Contact Person: Kristi Deily  
Daytime Phone No.: 202-669-8242

Tax Account No.: 161301662587  
Name of Property Owner: Kristi Deily Daytime Phone No.: 202-669-8242  
Address: 7217 Willow Ave Takoma Park MD 20912  
Street Number City State Zip Code  
Contractor: N/A Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE**

House Number: 7217 Street: Willow Ave  
Town/City: Takoma Park Nearest Cross Street: \_\_\_\_\_  
Lot: P2 Block: 8 Subdivision: Takoma Park  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

**PART ONE: TYPE OF PERMIT ACTION AND USE**

1A. CHECK ALL APPLICABLE:  Construct  Extend  Alter/Renovate  A/C  Slab  Room Addition  Porch  Deck  Shed  
 Move  Install  Wreck/Raze  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revocable  Fence/Wall (complete Section 4)  Other: \_\_\_\_\_  
1B. Construction cost estimate: \$ 5000  
1C. If this is a revision of a previously approved active permit, see Permit # \_\_\_\_\_

**PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITDNS**

2A. Type of sewage disposal: 01  WSSC 02  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC 02  Well 03  Other: \_\_\_\_\_

**PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL**

3A. Height \_\_\_\_\_ feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Kristi Deily 5/31/07  
Signature of owner or authorized agent Date

Approved: \_\_\_\_\_ For Chairperson, Historic Preservation Commission  
Disapproved: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_\_\_  
Application/Permit No.: 455935 Date Filed: 6-7-07 Date Issued: \_\_\_\_\_  
REC

6

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE  
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

*poorly maintained home and yard of low historical significance.*

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

*add deck to rear of home 14' x 16'. Deck will not be visible from front of house & not very visible from the side of the house. As the home is of low historical significance, there will be little impact and by general upkeep of home and yard, only positive impact on historic district.*

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

Written description of deck at 7217 Willow Avenue, Takoma Park:

The back deck is rectangular in shape, single level, measures 14' by 16'6", and stands 7'1" off the ground. It is constructed of #2 Southern Pine, pressure-treated wood and is accessed by one door off of the kitchen.

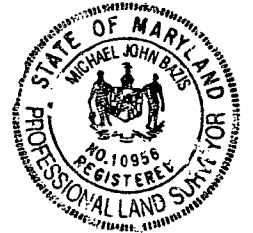
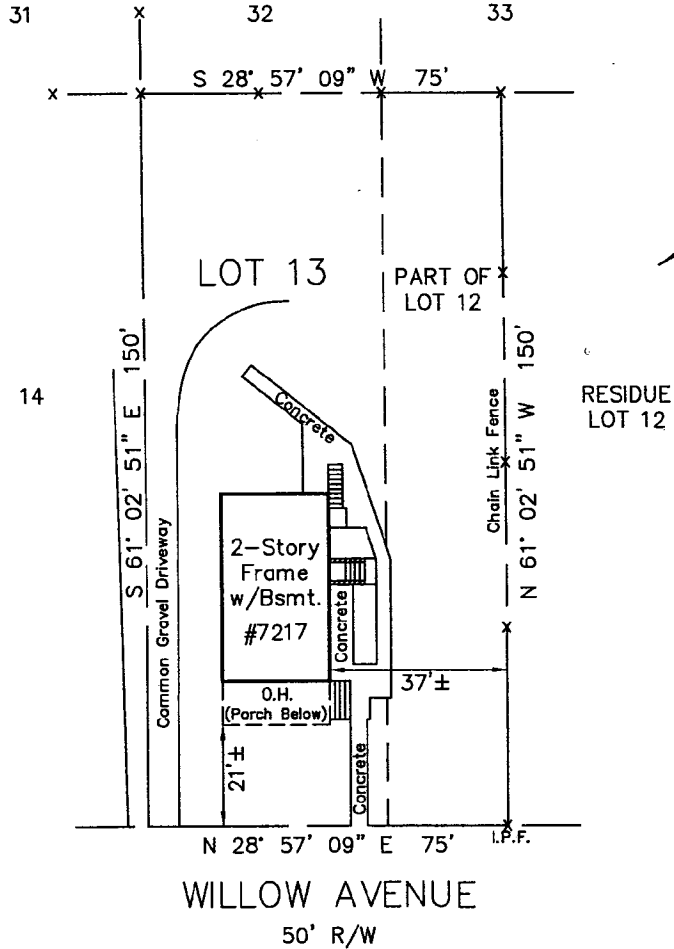
The new exterior door is fiberglass, with full-length glass insert, measuring 36" x 80". The door is 72" from the south side of the house, 155" from the north side, and 78" from the ground.



The plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing. The plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. The plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.

NOTES:

- (1) The lot shown hereon does not lie within the limits of the 100 year flood plain as shown on FIRM Panel No. 200  
Date of Map: 8-5-91  
Flood Zone: "C"
- (2) No property corners found or set unless otherwise noted.
- (3) The accuracy of this survey and the apparent setback distances is 2'±



**SURVEYOR'S CERTIFICATE**

I hereby certify that the property delineated hereon is in accordance with the plat of subdivision and/or deed of record, that the improvements were located by accepted field practices and include permanent visible structures, if any. This PLAT is NOT FOR DETERMINING PROPERTY LINES OR FOR CONSTRUCTION OF IMPROVEMENTS, but prepared for exclusive use of present owners of property and also those who purchase, mortgage, or guarantee the title thereto, within six months from date hereof, and as to them I warrant the accuracy of this plat.

*Michael J. Bazis*  
Michael J. Bazis RPLS #10956

LOCATION DRAWING  
LOT 13 AND PART OF LOT 12  
BLOCK 8  
LIPSCOMB AND EARNEST,  
TRUSTEES', ADDITION TO  
TAKOMA PARK  
MONTGOMERY COUNTY, MARYLAND

THIS SURVEY IS FOR TITLE PURPOSES ONLY

JOB # 07.0003H	DATE 1-8-07
FIELD JDH/MH	DRAFT DAB
	P.B. 1 P #46
	SCALE: 1" = 30'

**R.C. KELLY & ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS

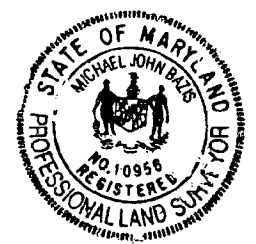
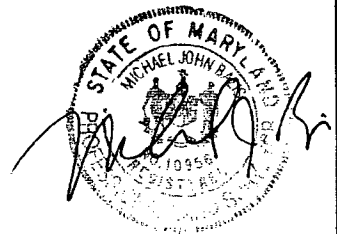
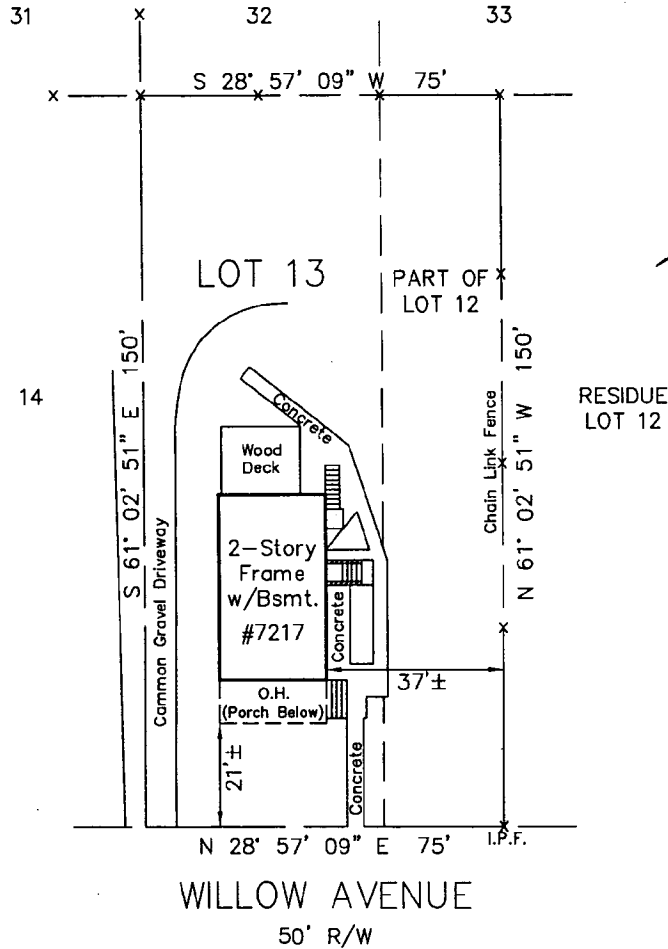
10801 LOCKWOOD DRIVE, SUITE 190  
SILVER SPRING, MARYLAND 20901  
(301)593-8005 FAX (301)681-7216  
E-MAIL: rckelly@cavtel.net



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*Michael J. Bazis*  
Michael J. Bazis RPLS #10956

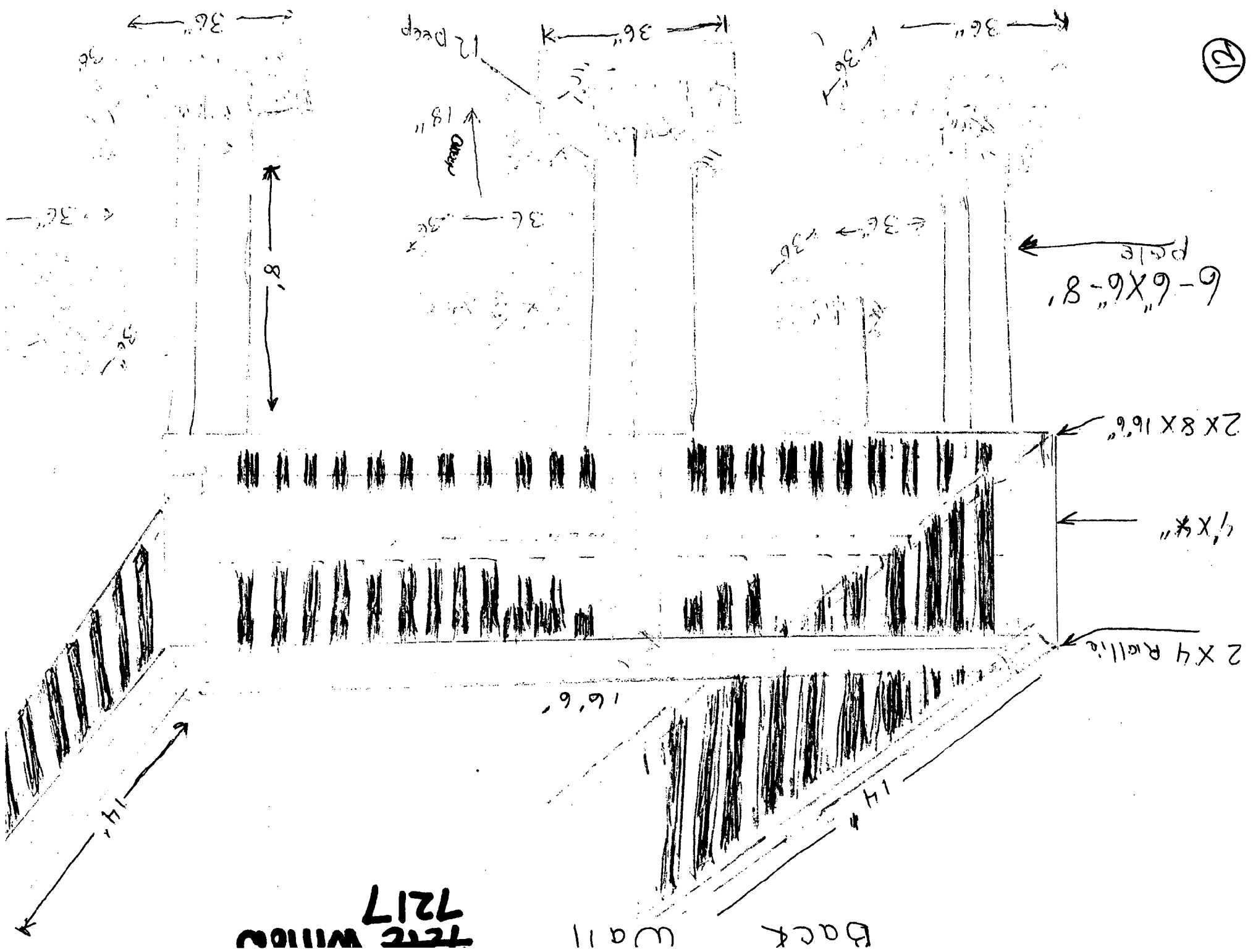
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MONTGOMERY COUNTY, MARYLAND  
THIS SURVEY IS FOR TITLE PURPOSES ONLY

JOB # 07.0003H	DATE 1-8-07
FIELD JDH/MH	DRAFT DAB
RECERTIFIED 7-3-07	P.B. 1 P #46
	SCALE: 1" = 30'

**R.C. KELLY & ASSOCIATES, INC.**  
PROFESSIONAL LAND SURVEYORS

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SILVER SPRING, MARYLAND 20901  
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E-MAIL: rckelly@cavtel.net

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7217  
TET WIND

Back Wall

6-6" X 6"-8'  
Pole

2 X 8 X 16'

1/2" X 4"

2 X 4 Railing

16'6"

14'

14'

8'

18"  
Over

36"

36"

36"

36"

36"

36"

36"

14'



# Back of ~~7217~~ 7217 Willow

4 - Screws  
1 3/4"

## Wall Plate

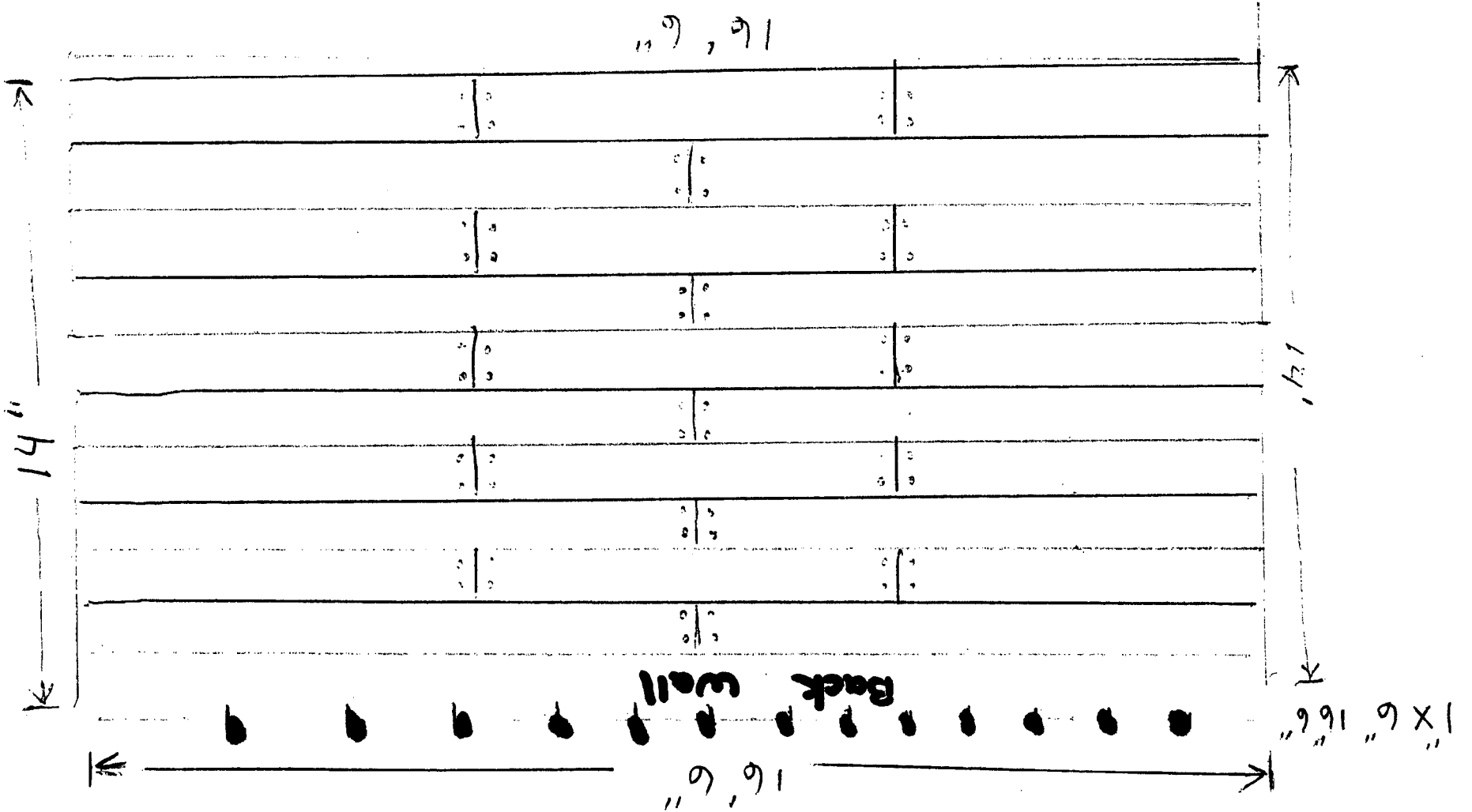
2x8x16"  
plate

13 - Hanger  
2 - Corner

Each  
bolt  
every  
16" Top



(W)



7212 Willow  
7217

**Home Depot Store 2564**

3301 E WEST HIGHWAY  
 HYATTSVILLE, MD 20782  
 (301)891-1106

DATE: 03/13/2007



CUSTOMER:

DEILY, BRYAN  
 7217 WILLOW AVE

SALES ASSOCIATE:

P.O. #:

TAKOMA PARK, MD-20912  
 (202)-6691959

Thank you for shopping The Home Depot! We value your business!

ITEM	LOCATION	PRODUCT CODE	UNIT PRICE	QTY	TOTAL PRICE
FRAME SIZE		DESCRIPTION			

0001 MANUFACTURER: Feather River 1

RO Size = 38 1/4" W x 81" H  
 = 37 1/2" W x 80 1/2" H

Unit Size

Scale: 1/8" equals 1"



Part Number: CG D 2K  
 Product Category: Entry Doors  
 Manufacturer: Feather River  
 Product Configuration: Single Prehung  
 Slab Width: 36"  
 Slab Height: 80"  
 Unit Width: 37 1/2"  
 Unit Height: 80 1/2"  
 Rough Opening Width: 38 1/4"  
 Rough Opening Height: 81"  
 Brickmould: Yes  
 Brickmould Width: 40"  
 Brickmould Height: 81 3/4"  
 Finish: Smooth  
 Door Lite: Rectangle  
 Product Style: Clear Glass  
 Jamb Type: Primed White  
 Jamb: 4 9/16"  
 Swing: Left Hand(Hinge) Outswing  
 Sill: Composite Bumper Mill Finish  
 Lock Prep: Double Bore  
 Deadbolt Prep Size: 2 1/8"  
 Backset: 2 3/8"  
 Sku: 466291 / S/O FEATHER RIVER FIBERGLASS DOORS

Base Price: Single Prehung	\$	470.00		
Outswing	\$	21.00		
	\$	491.00	\$	491.00

QUOTE #:	PRETAX TOTAL	\$	491.00
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Estimated Lead Time \_\_\_\_\_

15



