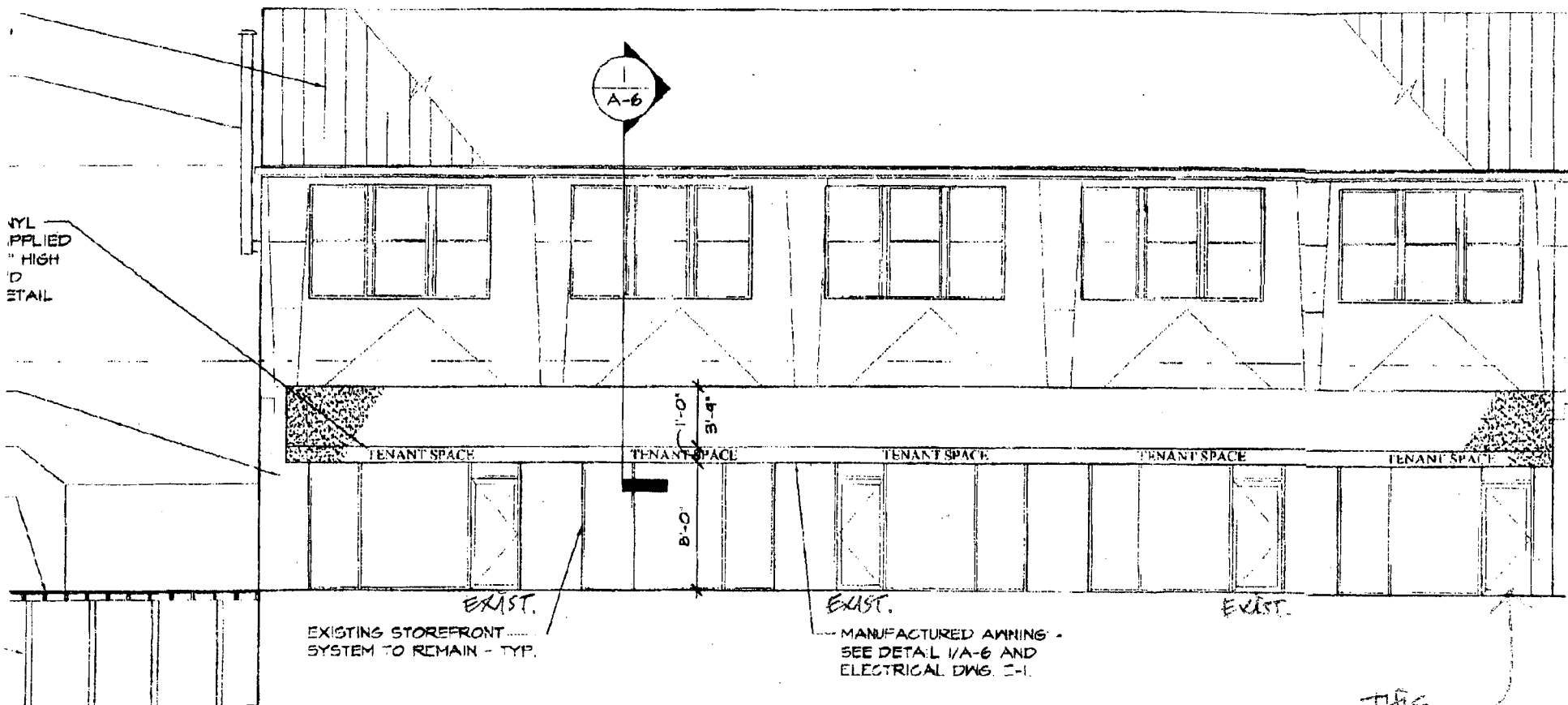


2012-14 Westmoreland Ave
Takoma Park

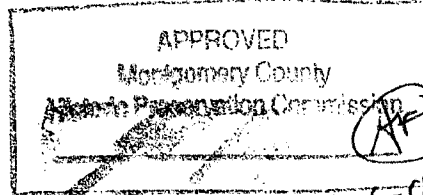
HAWP

37/3-07W



7014 WESTMORELAND AVE.
NORTHEAST ELEVATION - NEW WORK

SCALE: 1/8" = 1'-0"



6-6-08

HAWP # 458378

THIS
 DOOR OPENING
 TO BE ALUMINUM
 STOREFRONT
 DOOR/TIANIUM
 COMBO (7'-6" HIGH
 DOOR) TO MATCH
 EXISTING.

To: Scott Whipple

Fax - 301 563-3412

From: Mike Hirschman

October 19, 2009

Re: 7014 Westmoreland Ave
Takoma Park, MD.

(8) pages Total

10.19.09
NO HAND REQUIRED.
SW

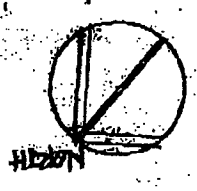
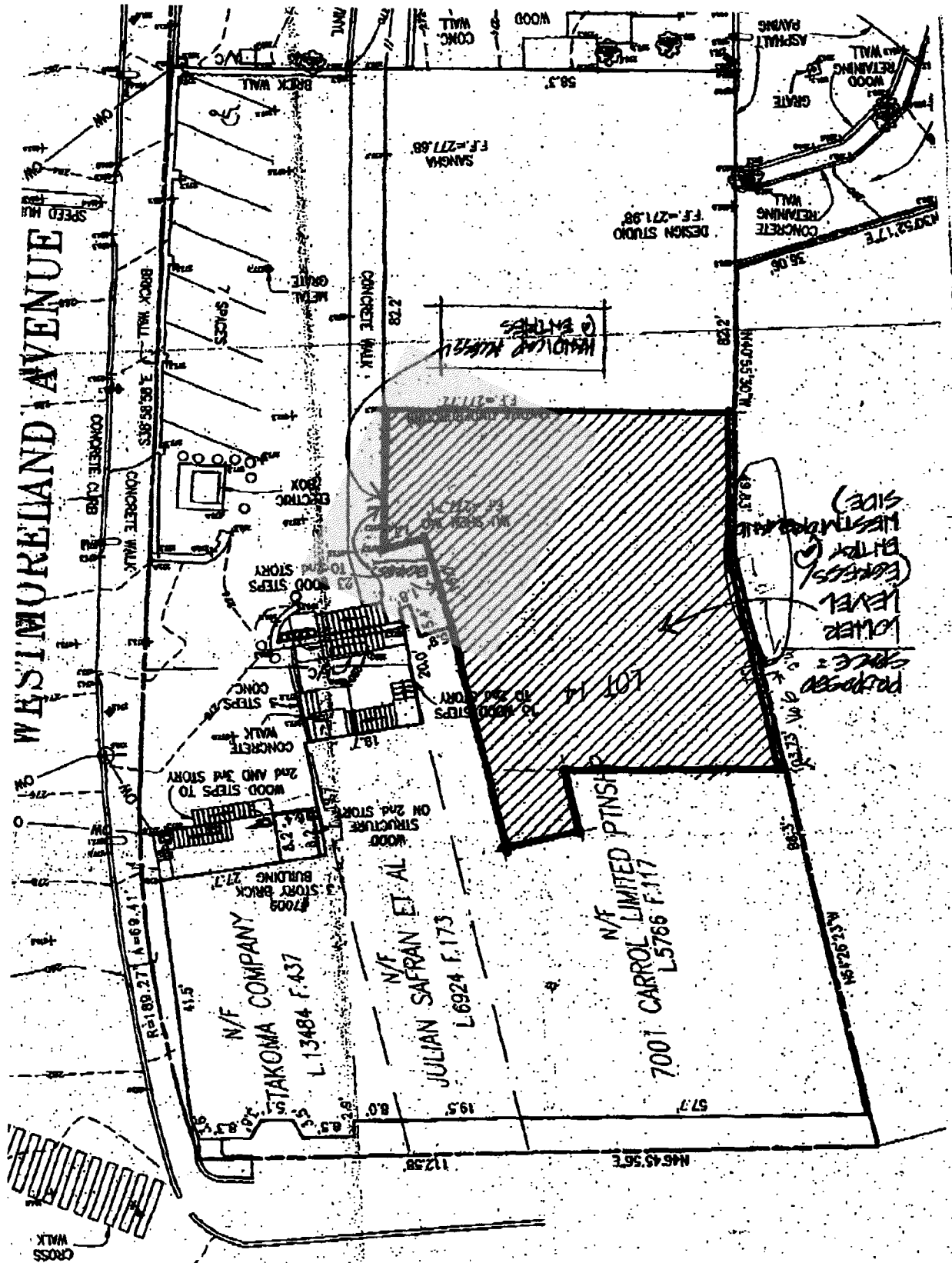
Scott,

Please find enclosed the site plan & drawings of the project @ 7014 Westmoreland Avenue we discussed on the phone this morning. Please remember, this is Phase II (final phase) of the project. You waived review on Phase I because the project is behind the building in the alley.

Please call or email me if you need any additional information.

Thanks for your help,

Mike
240-832-1815
mitch@cataniaconstruction.com



CARROLL AVENUE

Site Plan 1" = 20'-0"

Plat Book A, Page 49
 Loc P14 Block A
 District 13

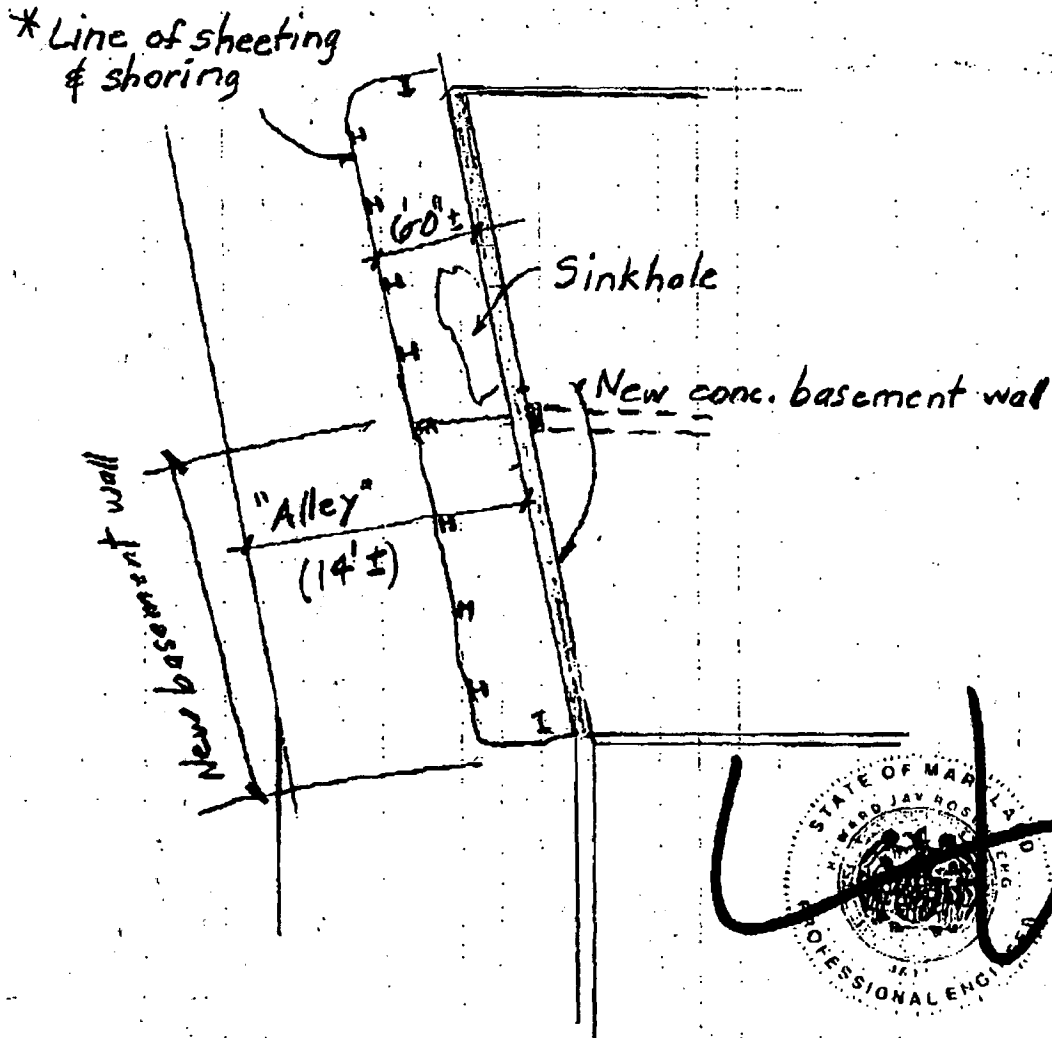
Subdivision: B.F. Gilbert's Addition to Takoma Park
 Address: 7014 C Westmoreland Ave., Takoma Park, MD 20912

HJR STRUCTURAL ENGINEERS, LTD.

4803 LEVADA TERRACE
ROCKVILLE, MARYLAND 20853

301-460-4803
FAX 301-460-1344

COMM. 704 Westmacland COMM. NO. 09081
RE: Wall Repair SHEET NO. 1 OF 6
CALCULATED BY hjr DATE 10/9/09
CLIENT Levin
SCALE None



SCHEMATIC PLAN

No scale

* To be designed by contractor's engineer

Professional Engineer's liability policy that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland License No. 4831 E, in this State, April 25, 2011

HJR STRUCTURAL ENGINEERS, LTD.

4803 LEVADA TERRACE
ROCKVILLE, MARYLAND 20853

301-460-4803
FAX 301-460-1344

COMM. 7014 Westmoreland COMM. NO. 09081
RE: Wall Repair SHEET NO. 4 OF 6
CALCULATED BY lajr DATE 10/9/09
CLIENT Levin
SCALE _____

STRUCTURAL NOTES

1. All work to be in accordance with the 2006 IBC and the Amendments to the Building Code of Montgomery County, Maryland
2. General Conditions shall be the AIA A 201, General Conditions for Construction.
3. Contractor shall verify all dimensions and conditions in the field. Notify engineer of any discrepancies.
4. The purpose of these drawings is to depict a method of removing a bowed-in terra cotta basement wall. Methods of repair are suggested; contractor may use alternate methods provided they are submitted in writing to the engineer and approved.
 - A. Secure area in "Alley" in accordance with MOSHA regulations.
 - B. Install temporary shoring towers under the interior concrete floor slab to a snug tight position.
 - C. Install, in the outside "alley", sheeting and shoring at a sufficient distance away from the bowed-in wall to allow for workers to excavate, remove the existing bowed-in basement wall, and install the new reinforced concrete wall. Contractor shall have prepared sheeting and shoring drawings, signed and sealed by a Maryland professional engineer and submit for review by HJR Structural Engineers.
 - D. Excavate, in the alley, adjacent to the bowed-in wall, down to the bottom of the existing footing. (It is assumed that there is a footing present).
 - E. Working in approximately four (4) foot sections, remove the bowed-in basement wall from the concrete slab down to the bottom of the existing footing. The purpose of working in four foot sections is to sustain the upper terra cotta wall and roof

Professional Certifications: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 4631 Expiration Date: April 28, 2011



HJR STRUCTURAL ENGINEERS, LTD.

4803 LEVADA TERRACE
ROCKVILLE, MARYLAND 20853

301-460-4803
FAX 301-460-1344

COMM. 7014 Westmoreland COMM. NO. 09081
RE: Wall Repair SHEET NO. 5 OF 6
CALCULATED BY hjr DATE 10/9/09
CLIENT Levin
SCALE —

without resorting to "needling". Contractor may use alternate methods as long as they are submitted for review by the engineer.

- F. Install the new 12" x 36" footing in sections with proper dowels.
 - G. Install the new 12" thick reinforced concrete wall, again installed in four (4) foot sections, leaving horizontal dowels exposed in preparation to receive the adjacent new wall sections. Alternatively, contractor may choose to temporarily support the upper wall in its entirety and remove the bowed-in basement wall at one time. In either case, or in any other case, the contractor shall submit for review, a plan for performing this work.
 - H. Prior to placing the new concrete basement wall, submit reinforcing steel shop drawings for review.
 - I. Upon form removal, provide membrane waterproofing on the wall exterior complete with protection board and drainage board.
- 5. Provide temporary support as required. Temporary shoring and support and job site safety are the sole responsibilities of the contractor.
 - 6. Design Live Loads: First Floor: 100 psf, Roof = 30 psf; Wind = 90 mph.
 - 7. Concrete for footings and wall: $f'_c = 4,000$ psi; Concrete exposed to weather shall be air entrained with 6% +/- 1%. All concrete to be normal weight concrete.
 - 8. Concrete protection for reinforcement; Reinforcing bars to have a minimum concrete cover as specified in ACI 318. Formwork to be in accordance with ACI 347.
 - 9. Reinforcing bars; All reinforcing steel shall conform to ASTM A 615, and fabricate and provide supporting accessories in accordance with the ACI Manual of Standard Practice, ACI 315, and CRSI standards.
 - 10. Backfill: Proper precaution shall be taken to brace walls when backfilling. Backfill shall be clean, porous material, and shall be



Professional Certifications. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 4831 Expiration Date: April 26, 2011

HJR STRUCTURAL ENGINEERS, LTD.

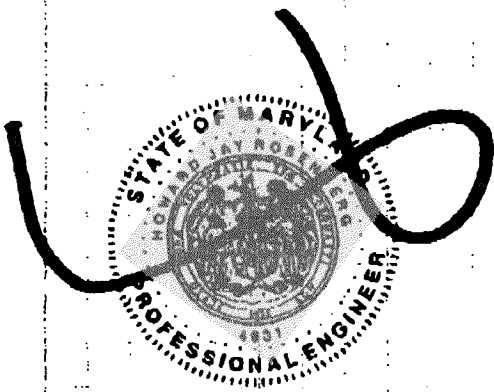
4803 LEVADA TERRACE
ROCKVILLE, MARYLAND 20853

301-460-4803
FAX 301-460-1344

COMM. 7014 Westmoreland COMM. NO. 09001
RE: Wall Repair SHEET NO. 6 OF 6
CALCULATED BY hjr DATE 10/9/09
CLIENT Levin
SCALE —

compacted to 95% maximum optimum density in accordance with ASTM D 698. Install new asphaltic concrete paving per Civil Engineering consultant's recommendations.

11. Provide shop drawings for all elements



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 4831 Expiration Date: April 25, 2011



HISTORIC PRESERVATION COMMISSION

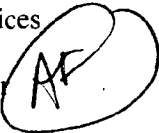
Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: July 26, 2007

MEMORANDUM

TO: Carla Reid Joyner, Director
Department of Permitting Services

FROM: Anne Fothergill, Senior Planner 
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #458378, Awning installation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the July 25, 2007 meeting.

The HPC staff has reviewed and stamped the attached drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Takoma Westmoreland, LLC

Address: 7014 Westmoreland Ave, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





RETURNED DEPARTMENT OF PERMITTING SERVICES 255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850 246 777-6300

DPS - #8

HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Bruce Levin

Daytime Phone No.: 202-364-4510

Tax Account No.: 161301078470

Name of Property Owner: Takoma Westmoreland LLC Daytime Phone No.: 202-364-4510

Address: 5151 Wisconsin Avenue, NW Suite 501, Washington, DC 20016

Contractor: Art Display Phone No.:

Contractor Registration No.:

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 7012 Westmoreland Ave Street: 7014 Westmoreland / 7012 Westmoreland Ave Town/City: Takoma Park Nearest Cross Street: Westmoreland

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct, Extend, Alter/Renovate, AC, Slab, Room Addition, Porch, Deck, Shed, Move, Install, Wreck/Raze, Solar, Fireplace, Woodburning Stove, Single Family, Revision, Repair, Revocable, Fence/Wall, Other

1B. Construction cost estimate: \$ 18,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC, 02 Septic, 03 Other
2B. Type of water supply: 01 WSSC, 02 Well, 03 Other

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height: feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations: On party line/property line, Entirely on land of owner, On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Date: 6/25/07

Approved: 458378 ✓ Signature: Date: 7-26-07 Application/Permit No.: Date Filed: 6/29/07 Date Issued:

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

We will be adding awnings on three areas of the building located on Westmoreland Avenue.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The awning will have a minimal impact on the structure and setting. It should enhance the appearance and safety of the property. No components of the facade will be removed or modified, the awning will be attached to the front of the facades which are currently made of EFIS or cement.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

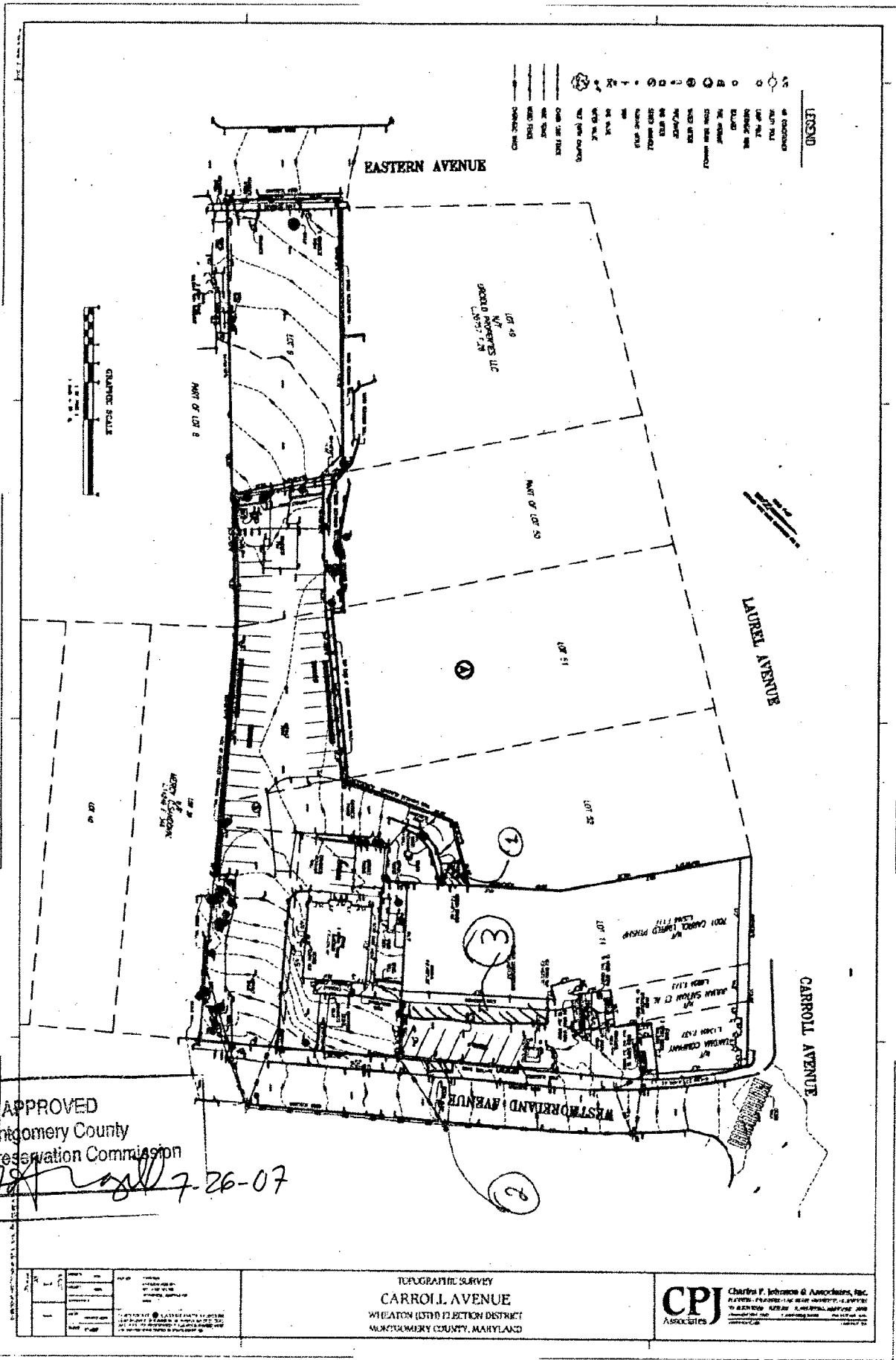
6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

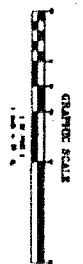
7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



- LEGEND**
- 1. CENTERLINE
 - 2. RIGHT OF WAY
 - 3. LOT
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 - 99. LOT
 - 100. LOT



APPROVED
 Montgomery County
 Historic Preservation Commission
AR [Signature] 7-26-07

DATE	DESCRIPTION
7/26/07	APPROVED

TOPOGRAPHIC SURVEY
 CARROLL AVENUE
 WHEATON (10TH) ELECTION DISTRICT
 MONTGOMERY COUNTY, MARYLAND

CPJ Charita F. Johnson & Associates, Inc.
 PLANNING ENGINEERS AND ARCHITECTS
 1000 W. WASHINGTON AVENUE, SUITE 200
 WASHINGTON, D.C. 20004
 (202) 638-1100

Existing Property Condition Photographs (duplicate as needed)



1

Detail: _____



2

Detail: _____

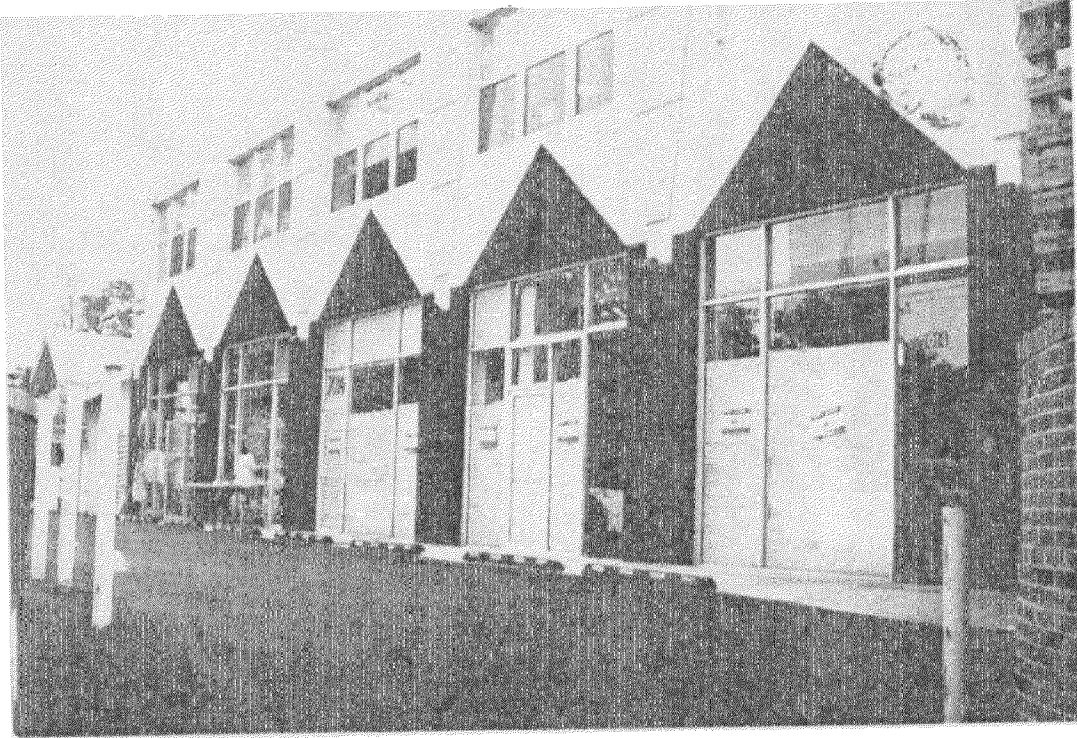
Applicant: _____

APPROVED
Montgomery County
Historic Preservation Commission
Al Fox

7-26-07

Page: _____

Site Plan



3

APPROVED
Montgomery County
Historic Preservation Commission
Al [Signature]

7-26-07

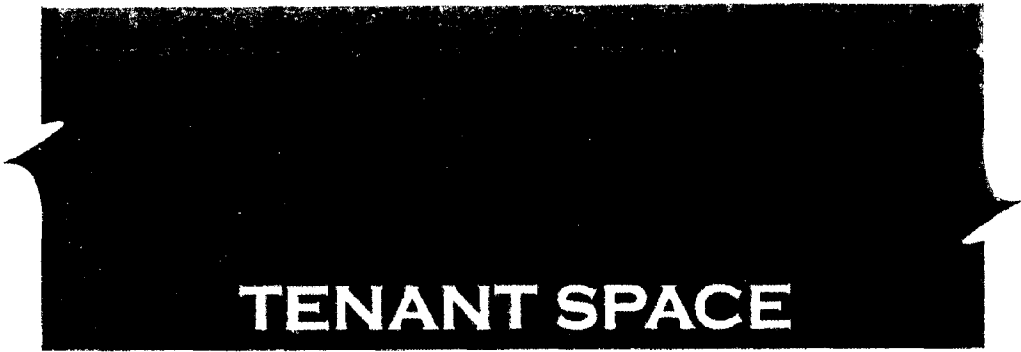
Shade portion to indicate North

Applicant: _____

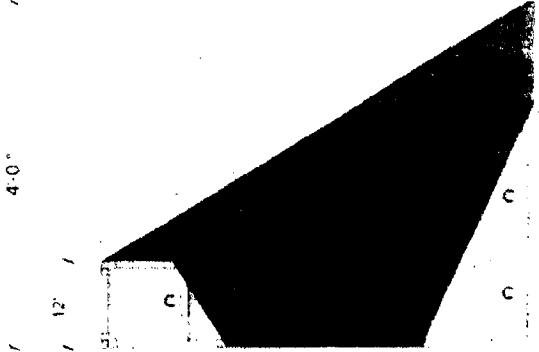
Page: _____

APPROVED
 Montgomery County
 Historic Preservation Commission
Al [Signature]
 7-26-07

5'-0"



ENLARGED AWNING SIGN DETAIL
 SCALE: 1/2" = 1'-0"



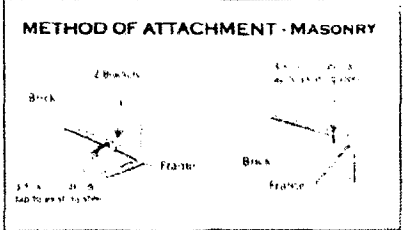
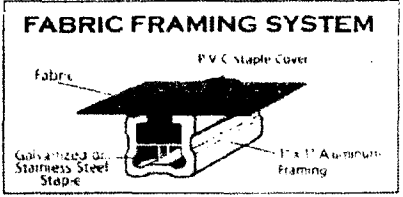
ENLARGED AWNING SIDE DETAIL
 SCALE: 3/8" = 1'-0"

13'-8"



AWNING SIGN DETAIL FRONT VIEW
 SCALE: 1/8" = 1'-0"

Manufacture one (1x) shed style awning to be installed on building front above glass widow and front doors. The awning materia is Signmaster Supreme Bright Blue #633. The bottom area of the awning will have a 12" valance with removable fabric panels that have white heat sealed letters applied. Awning frame will be made from 1" x 1" square aluminum tubing. Awning will be mounted to brick building by double expansion bolts. Two rows of flourescent lamps will be mounted to the back of the inner frame to give the awning illumination. One row of flourescent lamps will be mounted 12" from the front of the valance to illuminate the valance area.



PREPARED AND PROVIDED BY:
 ARTISAN AWNING CO.
 407 HAMPTON PARK BLVD
 CAPITOL HEIGHTS AFD 20741
 (PH) 202-765-1400
 (FAX) 202-763-1401
 WWW.ARTISANAWING.COM

KEYSTAR

SALE PERSON:
 JACKIE MILLER
 DECKENER
 DELANCY R
 SCALE
 AS NOTED

REVISIONS

NO.	BY	DATE
1	DM	06/25/07
2	DM	06/26/07
3	DM	06/26/07
4	DM	06/26/07
5	DM	06/26/07
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7	DM	06/26/07
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46	DM	06/26/07
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49	DM	06/26/07
50	DM	06/26/07

APPROVED BY:
 CLIENT:
 ARCHITECT:
 CONTRACTOR:
 NOTES:

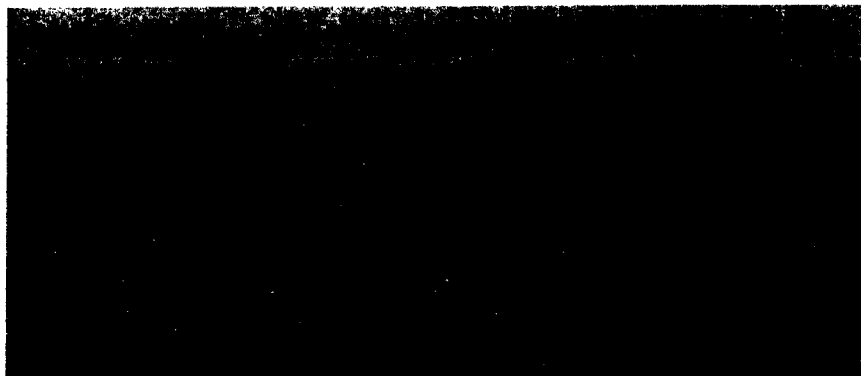
SAVED AS: 146_0726 Revise Awning Steel Style Awning.dwg

PAGE 3

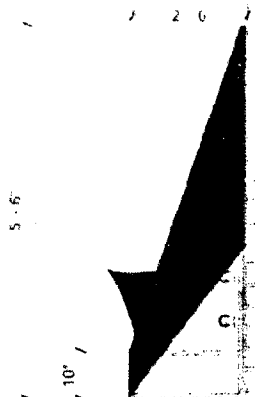
APPROVED
 Montgomery County
 Historic Preservation Commission

Al F. [Signature]

7-76-07

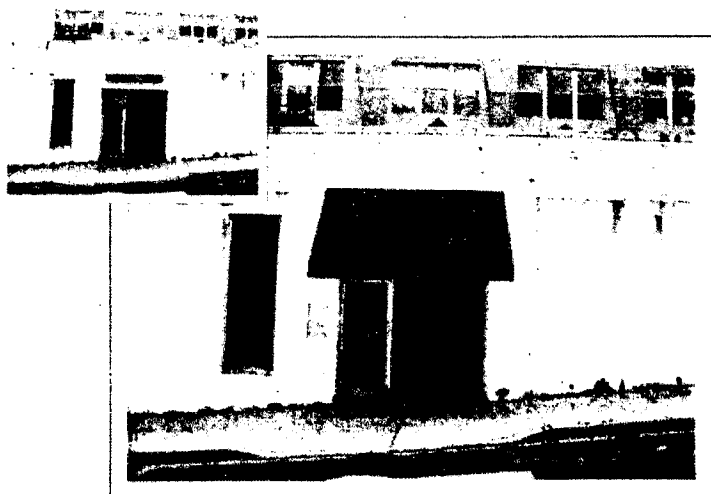


AWNING SIGN DETAIL
 SCALE: 1/2" = 1'-0"

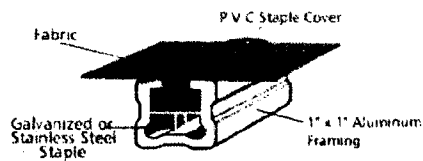


SIDE DETAIL
 SCALE: 1/2" = 1'-0"

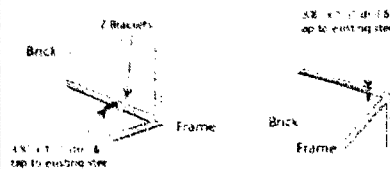
Manufacture one (1x) shed style awning to be installed on brick building above glass widow and front door. The awning material is Signmaster Supreme Bright Blue #633. Awning frame will be made from 1" x 1" square aluminum tubing. Awning will be mounted to brick building by double expansion bolts. Two rows of fluorescent lamps will be mounted to the back of the inner frame to give the awning illumination.



FABRIC FRAMING SYSTEM



METHOD OF ATTACHMENT - MASONRY



PREPARED AND PROVIDED BY:



881 HAMPTON PARK BLVD
 CAPITOL HEIGHTS MD 20747
 (PH) 301 763 1400
 (FAX) 301 763 1401
 WWW.ARTDISPLAYS.COM

CLIENT

KEYSTAR

SALESPERSON

JACQUE MILLER

DESIGNER

DELANCY R.

SCALE

AS NOTED

REVISIONS

NO.	BY	DATE
1	DR	04-10-07
2	DR	04-23-07

APPROVED BY

CLIENT

DATE

LOCATION

DESCRIPTION

NOTES

SAVED AS 1506-02174 KeyStar - Shed Style Awning.dwg

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

Address:	7012-14 Westmoreland Avenue, Takoma Park	Meeting Date:	07/25/07
Applicant:	Takoma Westmoreland LLC	Report Date:	07/18/07
Resource:	Non-Contributing Resource Takoma Park Historic District	Public Notice:	07/11/07
Review:	HAWP	Tax Credit:	None
Case Number:	37/03-07W	Staff:	Anne Fothergill

PROPOSAL: Awning installation

STAFF RECOMMENDATION

Staff is recommending that the HPC approve this application.

PROJECT DESCRIPTION

SIGNIFICANCE: Non-Contributing Resource within the Takoma Park Historic District
STYLE: Commercial
DATE: 1940

PROPOSAL

The applicants are proposing to install fabric awnings above entries to commercial space in three areas of the building. Two of the entry areas face Westmoreland and one faces the parking lot behind the building.

The City of Takoma Park's Façade Advisory Board has reviewed and approved this proposal.

APPLICABLE GUIDELINES

When reviewing alterations and new construction within the Takoma Park Historic District several documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the historic preservation review guidelines in the approved and adopted amendment for the *Takoma Park Historic District (Guidelines)*, *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Takoma Park Historic District

According to the *Takoma Park Guidelines*, Non-Contributing Resources in the Takoma Park Historic District are "either buildings that are of little or no architectural and historical significance to the historic district or are newer buildings that have been constructed outside of the district's primary periods of historical importance. These types of resources should receive the most lenient level of design review."

The *Guidelines* also state: "Most alterations and additions to Non-Contributing Resources should be approved as a matter of course. The only exceptions would be major additions and alterations to the scale

and massing of non-Contributing Resources which affect the surrounding streetscape and/or landscape and could impair the character of the historic district as a whole.”

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

1. The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.
2. The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto of to the achievement of the purposes of this chapter.

In the case of an application for work on a historic resource located within a historic district, the Commission shall be lenient in its judgment of plans for structures of little historical or design significance or for plans involving new construction, unless such plans would seriously impair the historic or architectural value surrounding historic resources or would impair the character of the historic district.

Secretary of the Interior’s Standards for Rehabilitation:

Standard #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.

Standard #9: New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

STAFF DISCUSSION

Non-Contributing Resources in the Takoma Park Historic District receive the most lenient level of design review. The HPC considers alterations to Non-Contributing Resources in terms of their impact on the overall streetscape and environmental setting of the historic district. The addition of awnings to this commercial building will not adversely impact the streetscape or the historic district. Staff recommends approval.

STAFF RECOMMENDATION

Staff recommends that the Commission **approve the HAWP application** as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior’s *Standards for Rehabilitation*,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable)**. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at (240) 777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 255 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
 246.777.8300

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

**APPLICATION FOR
 HISTORIC AREA WORK PERMIT**

Contact Person: Bruce Levin

Daytime Phone No.: 202-364-4510

Tax Account No. 161301078470

Name of Property Owner: Takoma Westmoreland LLC Daytime Phone No.: 202-364-4510

Address: 5151 Wisconsin Avenue, NW Suite 501, Washington, DC 20016

Contractor: Art Display Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 7012 Westmoreland Ave Street: 7014 Westmoreland 7012 Westmoreland Ave

Town/City: Takoma Park Nearest Cross Street: Westmoreland

Lot: _____ Block: _____ Subdivision: _____

Liber: _____ Folio: _____ Parcel: _____

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: awnings

1B Construction cost estimate: \$ 18,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A Height _____ feet _____ inches

3B Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
 Signature of owner or authorized agent

6/25/07
 Date

Approved 458378 For Chairperson, Historic Preservation Commission

Disapproved _____ Signature: _____ Date: _____

Application/Permit No. _____ Date Filed: 6/29/07 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

We will be adding awnings on three areas of the building located on Westmoreland Avenue

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

The awning will have a minimal impact on the structure and setting. It should enhance the appearance and safety of the property. No components of the facade will be removed or modified, the awning will be attached to the front of the facades which are currently made of EFIS or cement.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

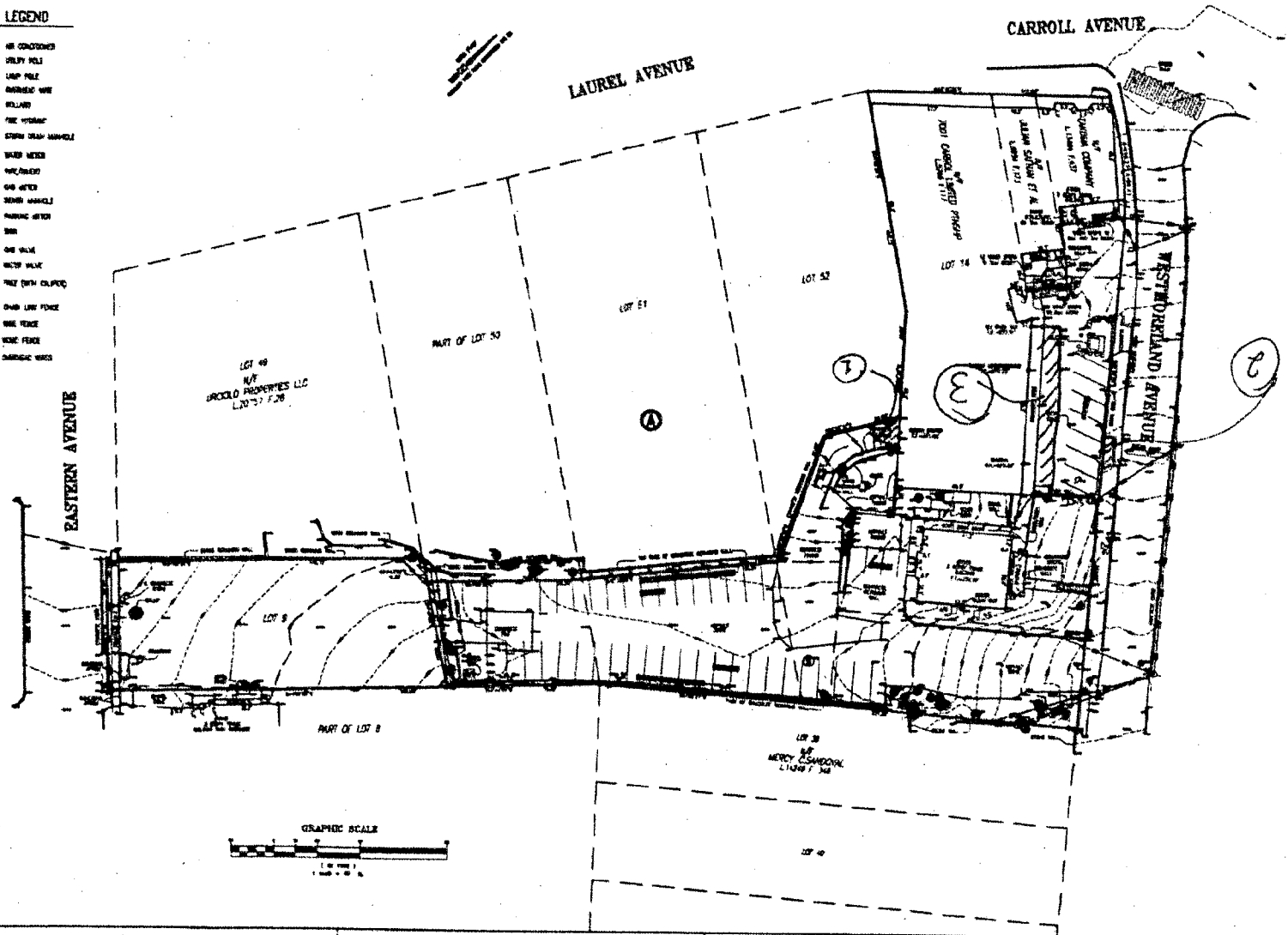
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Bruce Levin c/o Keystar LLC 5151 Wisconsin Ave, NW Suite 501 Washington, DC 20016	
Adjacent and confronting Property Owners mailing addresses	
John Urciolo Urciolo Properties, LLC 6935 Laurel Avenue Suite 100 Takoma Park, MD 20912	Julian Safran 7504 Royal Dominion Drive Bethesda, MD 20817-4658
Mercy C. Sandoval 7006 Westnorland Avenue Takoma Park, MD 20912	

LEGEND

- IRON CORNER
- UTILITY POLE
- LAMP POLE
- MANHOLE COVER
- BOLLARD
- FIRE HYDRANT
- STORM DRAIN MANHOLE
- WATER METER
- MANHOLE
- GAS METER
- SEWER MANHOLE
- PARKING METER
- SIGN
- ONE WAY SIGN
- STREET SIGN
- TREE WITH STUMP
- CURB LINE FENCE
- WIRE FENCE
- STONE FENCE
- CONCRETE WALL



Charles F. Johnson & Associates, Inc.
 10000 WOODBURN AVENUE
 WOODBURN, MARYLAND 21786
 (301) 591-1100
CPJ
 SURVEYORS

TOPOGRAPHIC SURVEY
 CARROLL AVENUE
 WHEATON (CITY) DISTRICT
 HAGERSTOWN COUNTY, MARYLAND

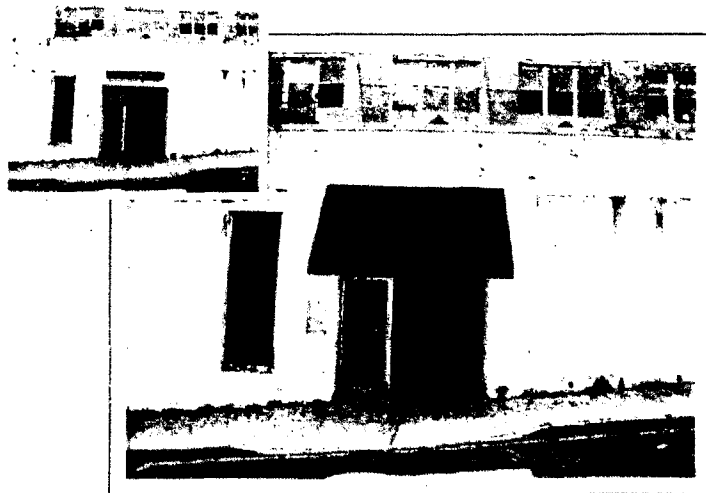
NO.	DATE	DESCRIPTION
1	10/1/2018	FIELD SURVEY
2	10/15/2018	OFFICE WORK
3	10/25/2018	FINAL PLOTTING
4	11/1/2018	FINAL CHECK
5	11/15/2018	FINAL PLOTTING
6	11/30/2018	FINAL CHECK
7	12/1/2018	FINAL PLOTTING
8	12/15/2018	FINAL CHECK
9	12/30/2018	FINAL PLOTTING
10	1/1/2019	FINAL CHECK

10'-0"



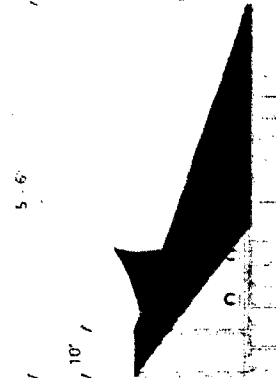
AWNING SIGN DETAIL
SCALE: 1/2" = 1'-0"

Manufacture one (1x) shed style awning to be installed on brick building above glass widow and front door. The awning material is Signmaster Supreme Bright Blue #633. Awning frame will be made from 1" x 1" square aluminum tubing. Awning will be mounted to brick building by double expansion bolts. Two rows of flourescent lamps will be mounted to the back of the inner frame to give the awning illumination.



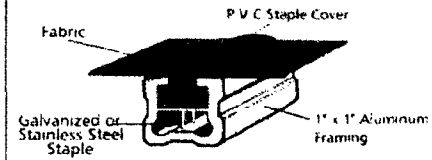
7

2'-0"

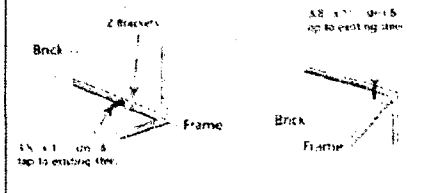


SIDE DETAIL
SCALE: 1/2" = 1'-0"

FABRIC FRAMING SYSTEM



METHOD OF ATTACHMENT - MASONRY



PREPARED AND PROVIDED BY:

ARTS DISPLAY CO.
901 HAMPTON PARK BLVD.
CAPITOL HEIGHTS, MD 20743
(PH) 240-763-1480
(FAX) 340-766-1481
WWW.ARTSDISPLAYED.COM

NOTE: MATCH COLORS AND MATERIALS TO THE ORIGINAL DESIGN AND MATERIALS. THE CLIENT'S COLOR AND MATERIALS MAY VARY FROM THE ORIGINAL DESIGN.

CLIENT:

KEYSTAR

SALES PERSON:

JACKIE MILLER

DESIGNER:

DELANCY R.

SCALE:

AS NOTED

REVISIONS

NO.	BY	DATE
1	DM	04/11/07
2	DM	04/25/07

APPROVED BY:

CLIENT:

SALES:

PRODUCTION:

INSTALLATION:

NOTES:

DATE:

SCALE:

PROJECT:

LOCATION:

DATE:

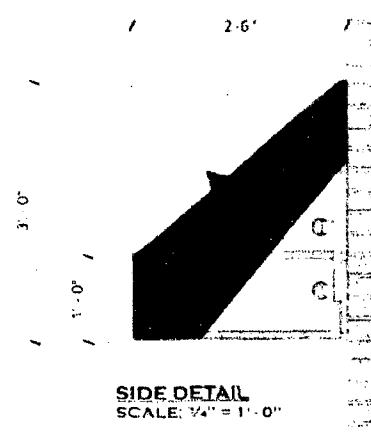
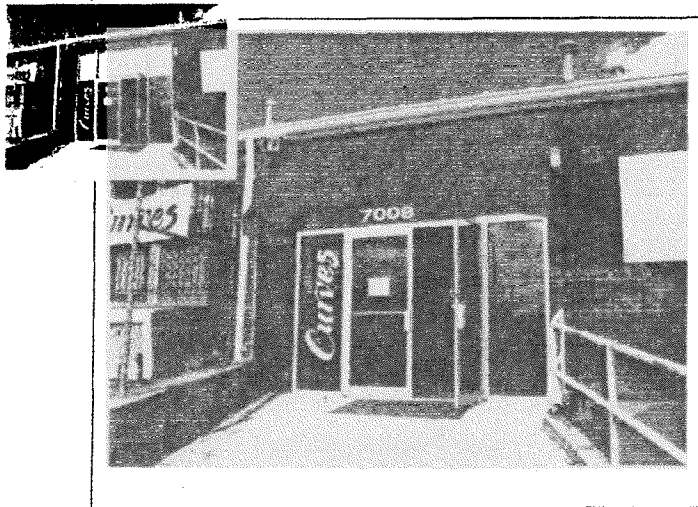
SCALE:

PAGE: 2



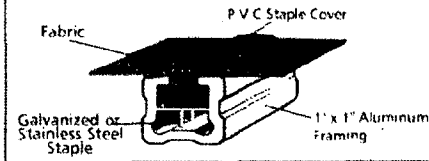
AWNING SIGN DETAIL
SCALE: 3/4" = 1'-0"

Manufacture one (1x) shed style awning to be installed on brick building above glass widow and front doors. The awning material is Signmaster Supreme Bright Blue #633. The bottom area of the awning will have a 12" valance with white vinyl address applied. Awning frame will be made from 1" x 1" square aluminum tubing. Awning will be mounted to brick building by double expansion bolts. Two rows of fluorescent lamps will be mounted to the back of the inner frame to give the awning illumination.

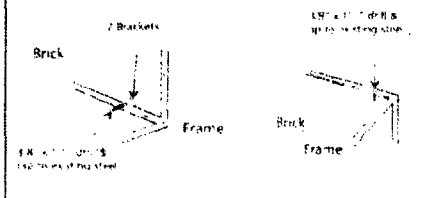


SIDE DETAIL
SCALE: 3/4" = 1'-0"

FABRIC FRAMING SYSTEM



METHOD OF ATTACHMENT - MASONRY



PREPARED AND PROVIDED BY:
ART DISPLAYS LLC
401 HAMPTON PARK BLVD
CAPITOL HEIGHTS, MD 20743
(PH) 240-745-1488
(FAX) 240-745-1481
WWW.ARTDISPLAYS.COM

CLIENT
KEYSTAR

SALESPERSON
JACKIE MILLER

DESIGNER
DELANCY R.

SCALE

AS NOTED

REVISIONS

NO.	BY	DATE
1	DR	04/10/07
2	DR	04/25/07
3		
4		
5		
6		
7		
8		
9		
10		

APPROVED BY

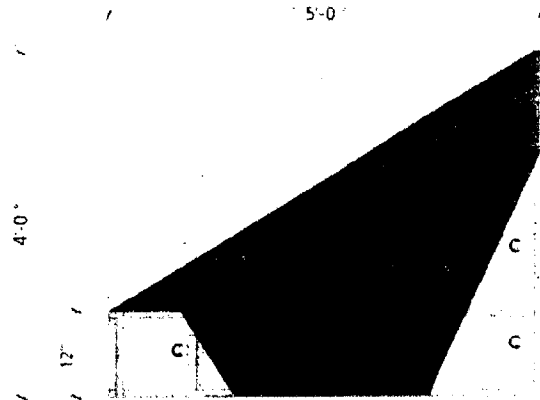
SAVED AS: C:\Program Files\Autodesk\AutoCAD 2007\Projects\7008\7008.dwg

PAGE: 1

8



ENLARGED AWNING SIGN DETAIL
SCALE: 1/2" = 1'-0"

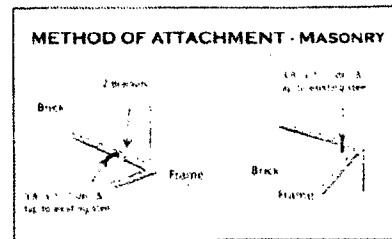
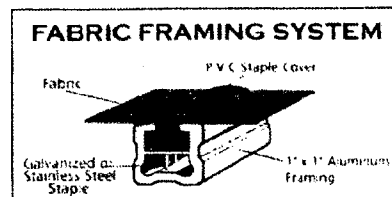
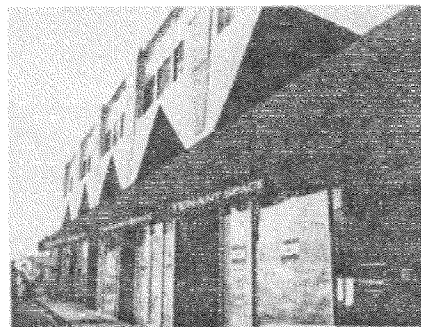


ENLARGED AWNING SIDE DETAIL
SCALE: 3/8" = 1'-0"



AWNING SIGN DETAIL FRONT VIEW
SCALE: 1/8" = 1'-0"

Manufacture one (1x) shed style awning to be installed on building front above glass widow and front doors. The awning materia is Signmaster Supreme Bright Blue #633. The bottom area of the awning will have a 12" valance with removable fabric panels that have white heat sealed letters applied. Awning frame will be made from 1" x 1" square aluminum tubing. Awning will be mounted to brick building by double expansion bolts. Two rows of flourescent lamps will be mounted to the back of the inner frame to give the awning illumination. One row of flourescent lamps will be mounted 12" from the front of the valance to illuminate the valance area.



PREPARED AND PROVIDED BY:



401 HAMPTON PARK BLVD
CAPTIVA HEIGHTS, MD 20743
(PH) 340-765-1400
(FAX) 340-765-1401
WWW.ARTDISPLAYCO.COM

NOTE: ALL TECH. EQUIPMENT IS LIMITED TO WHAT THE DRAWING CALLS FOR AND DOES NOT REFLECT THE EXACT COLORS OF THE FINISHED PRODUCT.

CLIENT:

KEYSTAR

SALES PERSON

JACKIE MILLER

DESIGNER

DELANCY R

SCALE

AS NOTED

REVISIONS

NO.	BY	DATE
1	DR	06-10-07
2	DR	06-25-07

APPROVED BY

Client

SALESMAN

MANUFACTURER

INSTALLER

NOTES

SAVED AS 10-06-2008 Keystar Shed Style Awning

(6)

Existing Property Condition Photographs (duplicate as needed)



1

Detail: _____



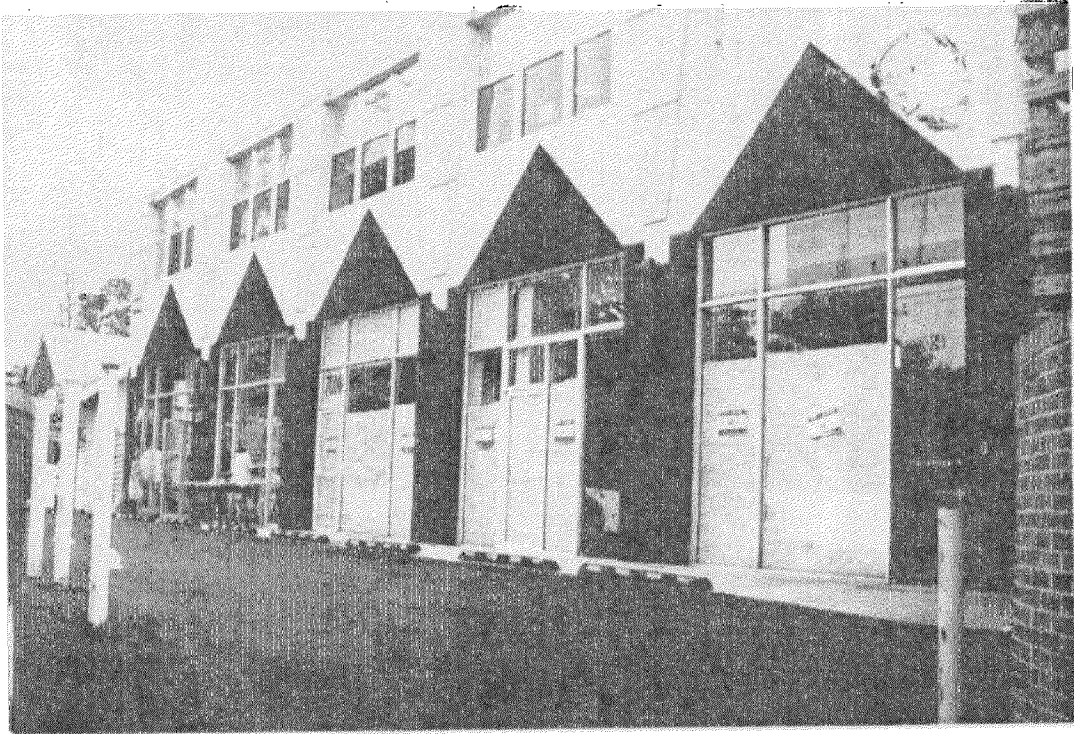
2

Detail: _____

Applicant: _____

Page: _____

~~Site Plan~~



3

Shade portion to indicate North

Applicant: _____

City of Takoma Park, Maryland

Housing & Community Development

Telephone: (301) 891-7119
Fax: (301) 270-4568



7500 Maple Avenue
Takoma Park, MD 20912

July 5, 2007

Mr. Jef Fuller, Chair
Historic Preservation Commission
1109 Spring Street, Suite 801
Silver Spring, Maryland 20910

RE: 7001 Carroll Avenue - 7014 Westmoreland Avenue, Takoma Park - Proposed Awnings

Dear Mr. Fuller:

The Takoma Park Facade Advisory Board met on Tuesday, June 19, 2007, to review a proposal submitted by Mr. Bruce Levin, owner of Westmoreland, LLC, for the installation of awnings above all openings on three faces of the Westmoreland Avenue property - 7008 - 7014. The application is to be considered by the Historic Preservation Commission later this summer.

The Board found the proposal to be in general compliance with the design guidelines developed for the area and endorsed the proposal as presented with the following condition:

- The color is to be loden green fireresist material.

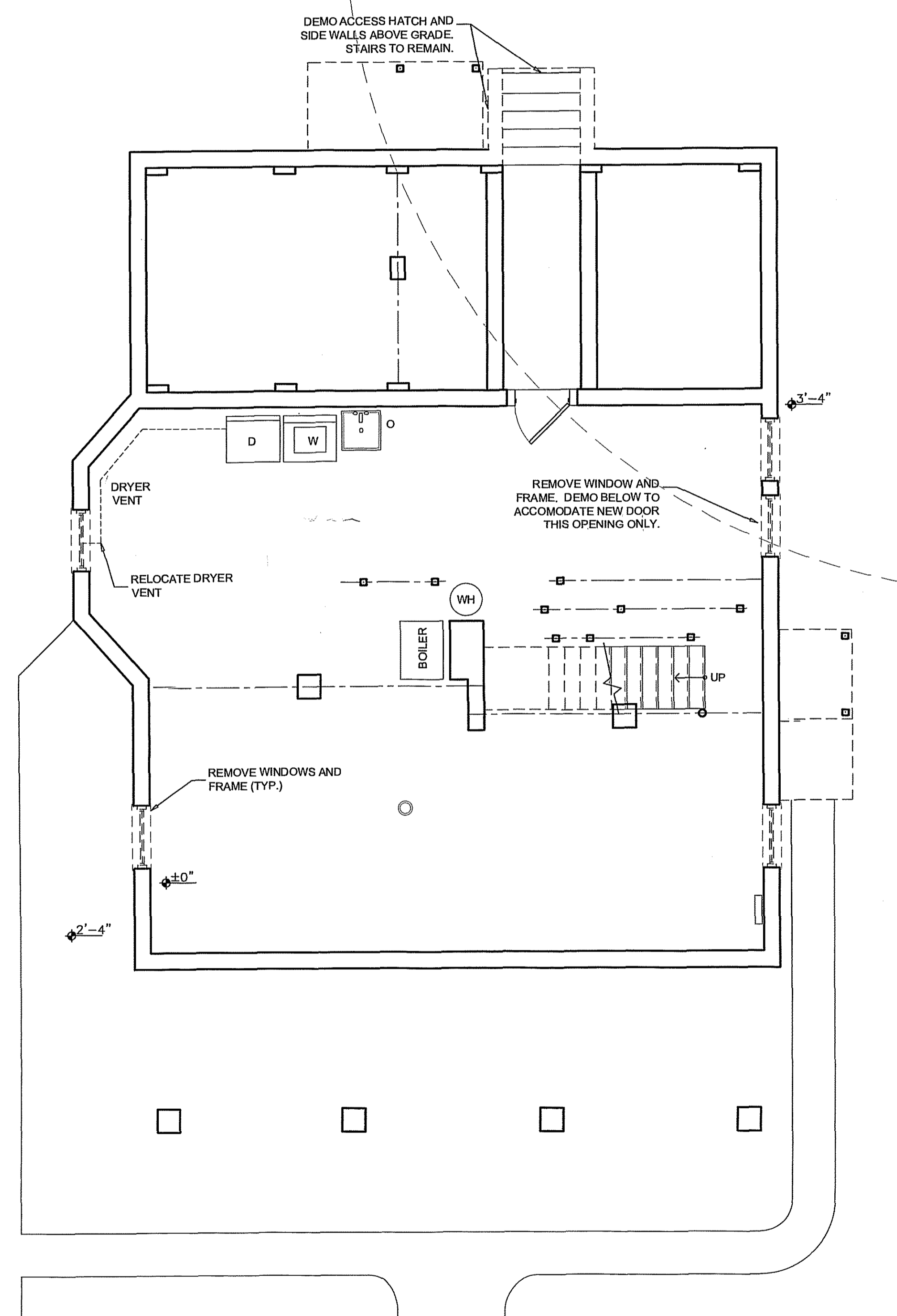
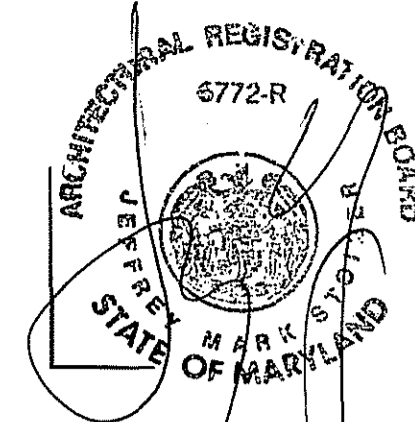
If you have any questions regarding the Board's action, please call.

Thank you for the ongoing efforts of the Commission to preserve the unique architectural character of our historic business district.

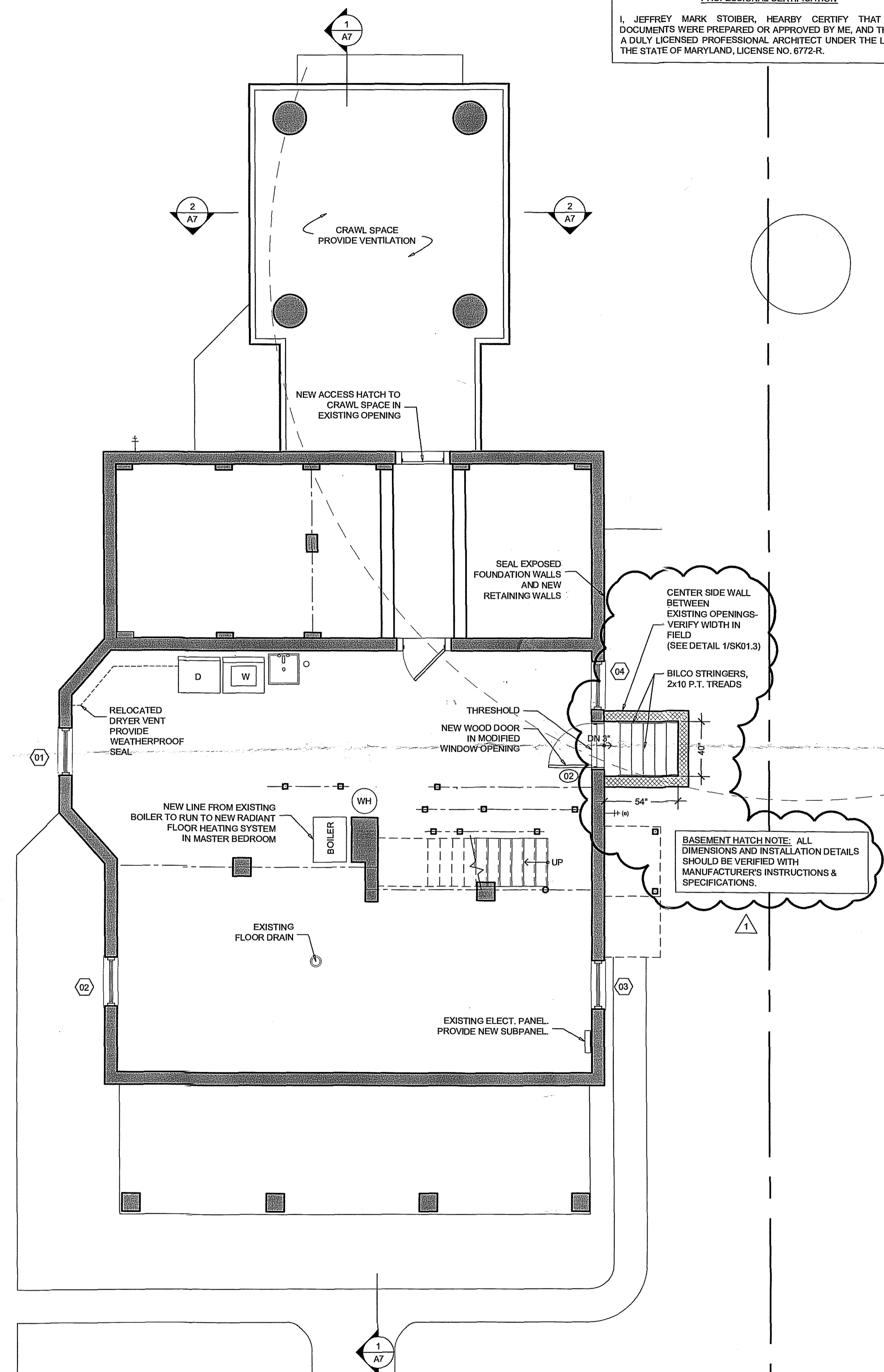
Sincerely,

Ilona Blanchard
Senior Planner

PROFESSIONAL CERTIFICATION
 I, JEFFREY MARK STOIBER, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 6772-R.



1
A3 **EXISTING BASEMENT PLAN**
 SCALE: 1/4" = 1'-0"
 DRAWN BY CM
 SDPFGG.DWG 0 2 4 6 8



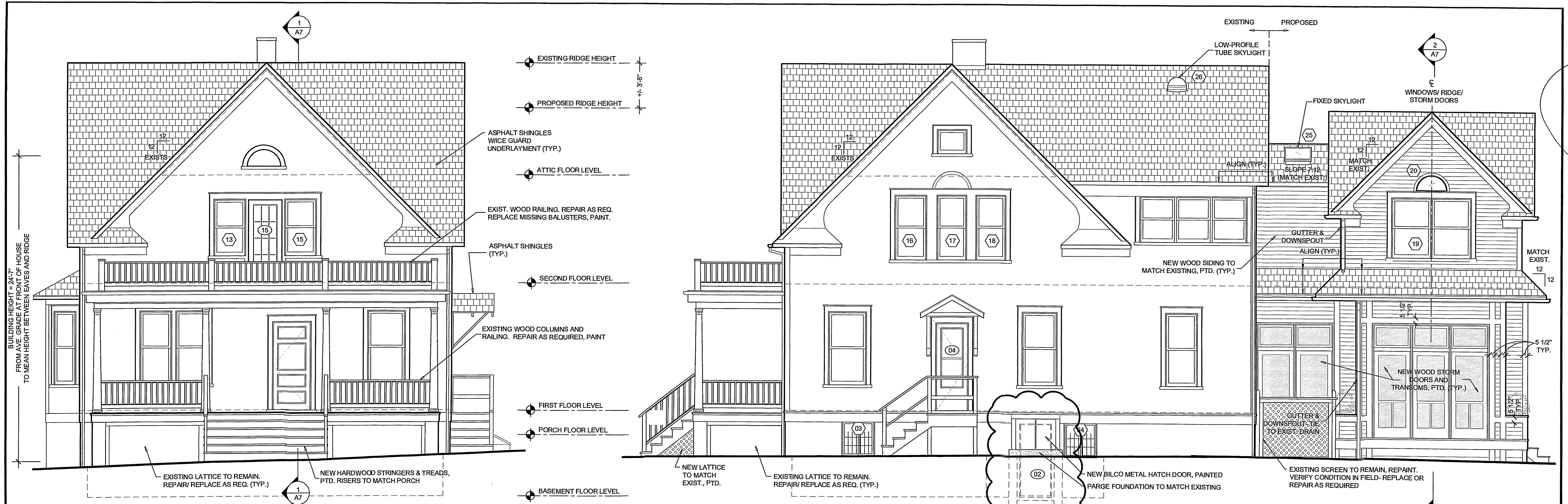
2
A3 **PROPOSED BASEMENT PLAN**
 SCALE: 1/4" = 1'-0"
 DRAWN BY CM
 SDPFGG.DWG 0 2 4 6 8

GORDY-PANDE RESIDENCE
 7118 WILLOW AVENUE
 TAKOMA PARK, MD
ADDITION & RENOVATION

FILE NAME: 03.18.2009 REV1
 DATE: 02.22.2008 SD
 SCALE: 1/4" = 1'-0"
 DRAWN BY: CM
 CHECKED BY: US
 TITLE: **BASEMENT FLOOR PLANS**
 EXISTING & PROPOSED

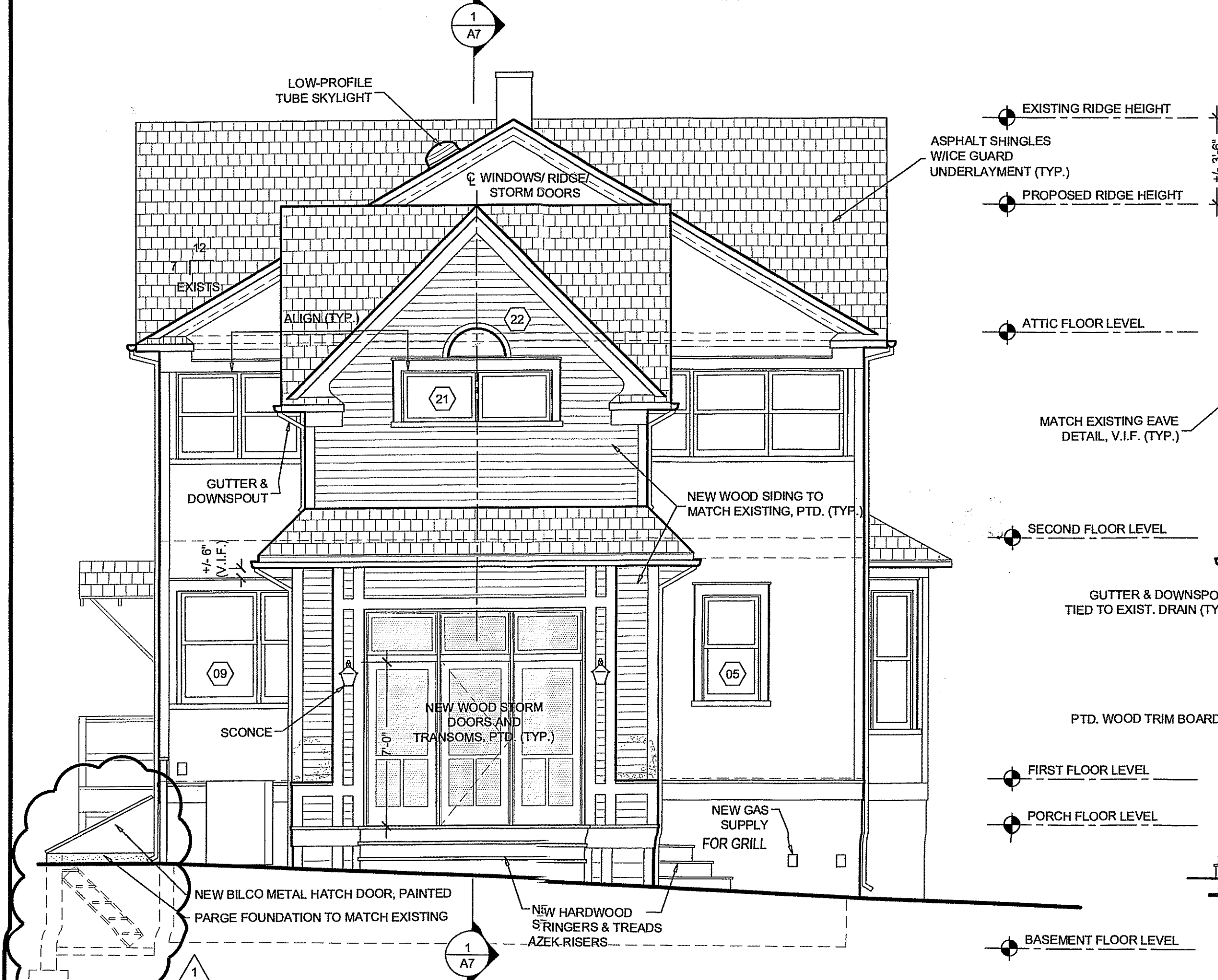
A3
 SHEET 3 OF 11

Stoiber + Associates
 Architecture + Interiors
 www.stoiberandassociates.com
 1621 Connecticut Avenue NW, #200
 Washington, DC 20009
 F 202.965.7006
 P 202.966.2700
 COPYRIGHT 2008, STOIBER AND ASSOCIATES, P.C.

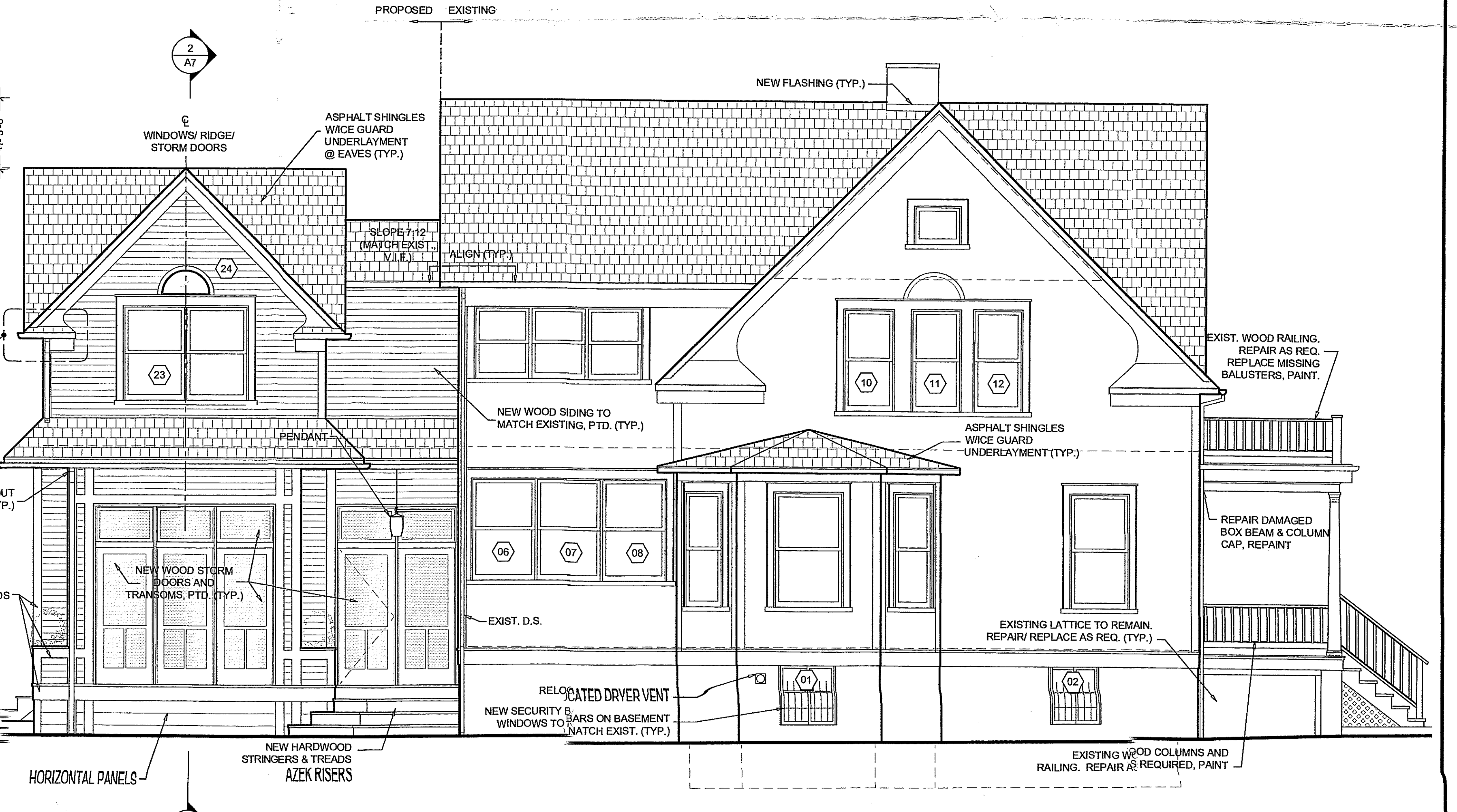


1 PROPOSED EAST (FRONT) ELEVATION
 SCALE: 1/4" = 1'-0"
 DRAWN BY: CDEE90.DWG

2 PROPOSED NORTH ELEVATION
 SCALE: 1/4" = 1'-0"
 DRAWN BY: CDEE90.DWG

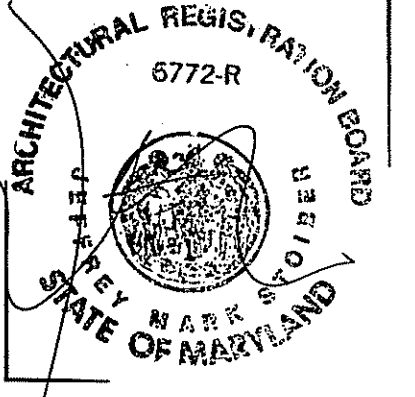


3 PROPOSED WEST ELEVATION
 SCALE: 1/4" = 1'-0"
 DRAWN BY: CDEE90.DWG



4 PROPOSED SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"
 DRAWN BY: CDEE90.DWG

PROFESSIONAL CERTIFICATION
 I, JEFFREY MARK STOIBER, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 6772-R.



GORDY-PANDE RESIDENCE
 7118 WILLOW AVENUE
 TAKOMA PARK, MD
ADDITION & RENOVATION

FILE NAME: SDEE90 DATE: 03.22.2008 SD: 03.18.2009 REV1
 SCALE: 1/4" = 1'-0" REV: 04.24.2008 DD: 04.24.2008 DD
 DRAWN BY: JMS CM: JS
 CHECKED BY: JS
 TITLE: PROPOSED ELEVATIONS

A8
 SHEET 8 OF 11

Stoiber + Associates
 Architecture - Interiors
 www.stoiberandassociates.com
 1621 Connecticut Avenue NW, #200
 Washington, DC 20009
 F 202.964.7606
 P 202.964.4700
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AWNING INSTALLATION WORK AT 7014 WESTMORELAND AVE.

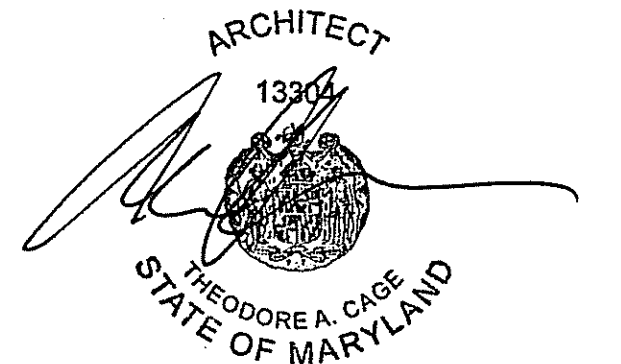
TAKOMA PARK, MARYLAND, 20912

PROJECT:
EXTERIOR AWNING WORK AT
7014 WESTMORELAND AVE.
TAKOMA PARK, MD
20912

OWNER:
TAKOMA WESTMORELAND L.L.C.
551 WISCONSIN AVE, N.W., SUITE 501
WASHINGTON, DC 20008

ARCHITECT:
THEODORE A. CAGE, ARCHITECT
2745 29TH ST, N.W. NO. 605
WASHINGTON, D.C. 20008

240-855-4454 (T)
202-234-5975 (F)



ISSUED FOR:
PERMIT SUBMISSION 10/31/07

DRAWING INDEX

TITLE SHEETS

TI - TITLE SHEET

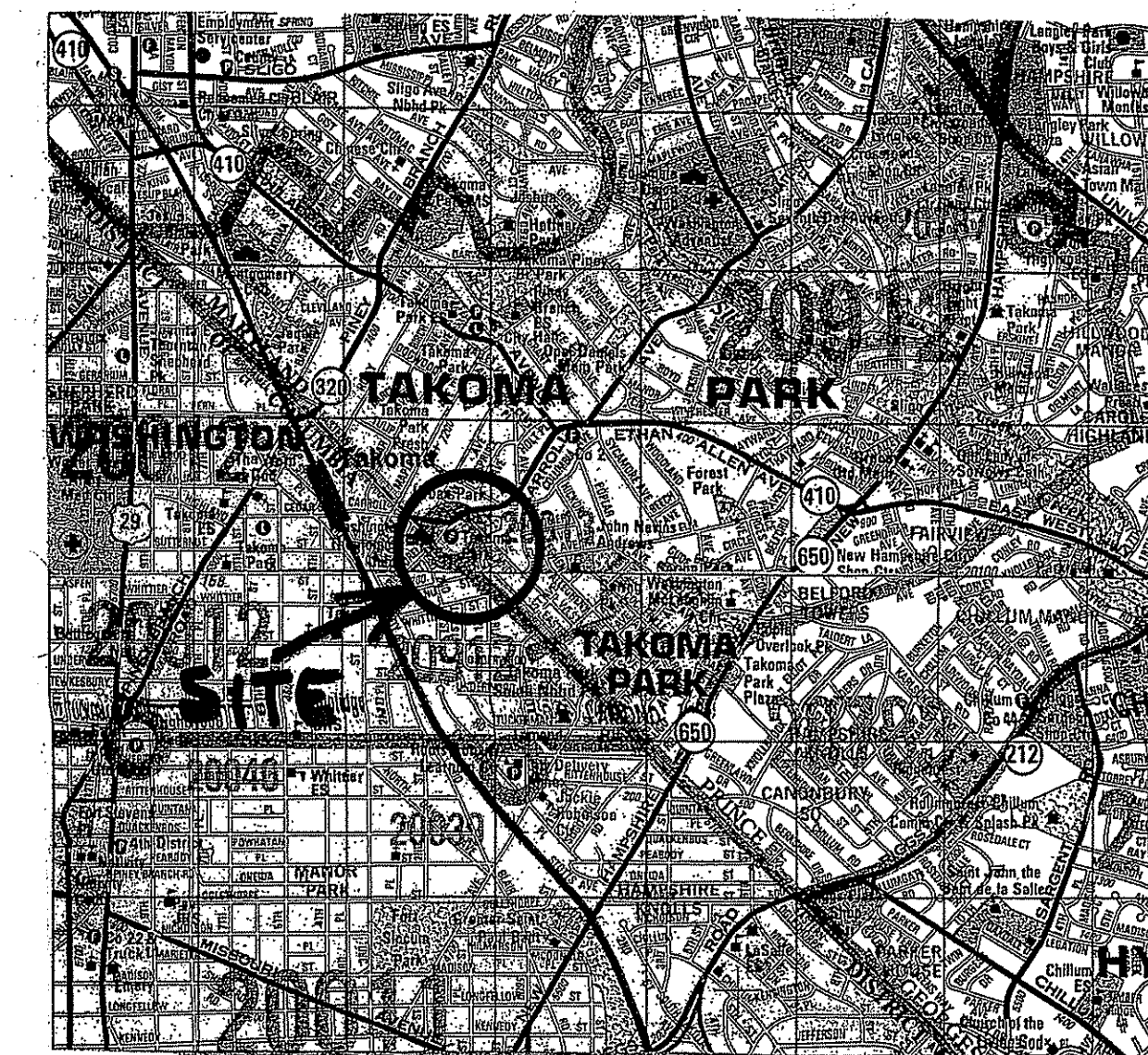
ARCHITECTURAL

- A-1 CODE ANALYSIS, GENERAL NOTES & SITE PLAN
- A-2 FLOOR PLANS - DEMOLITION - BASEMENT AND FIRST FLOOR
- A-3 FLOOR PLANS - NEW WORK - BASEMENT AND FIRST FLOOR
- A-4 ELEVATIONS - DEMOLITION
- A-5 ELEVATIONS - NEW WORK
- A-6 AWNING DETAILS

ELECTRICAL

E-1 BASEMENT AND FIRST FLOOR PLANS

SITE LOCATION MAP



DRAWING TITLE
TITLE SHEET

DRAWING NUMBER

T-1

CODE ANALYSIS:
7014 WESTMORELAND AVE.

CODE ANALYSIS:
APPLICABLE CODES:
INTERNATIONAL BUILDING CODE 2009
NATIONAL ELECTRICAL CODE 2002

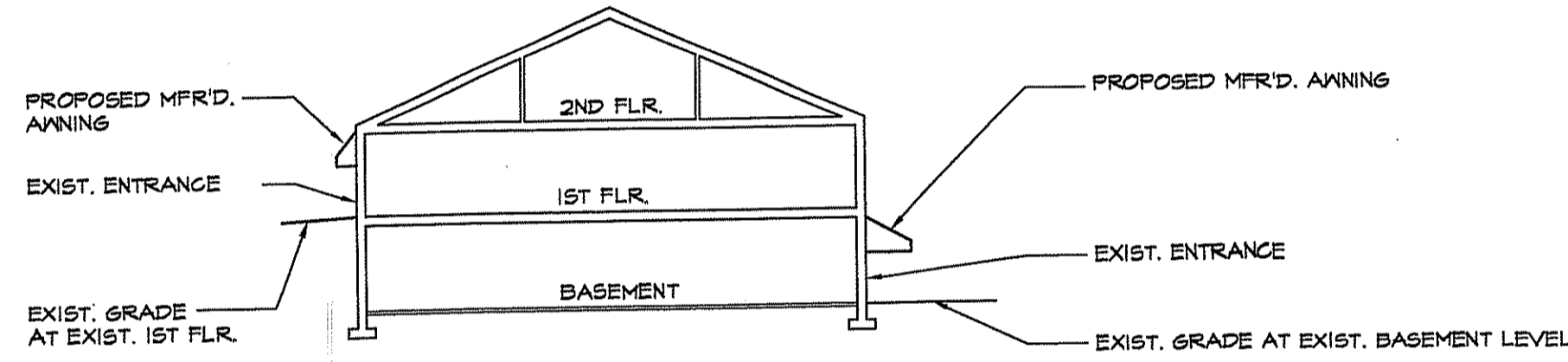
USE AND OCCUPANCY CLASSIFICATION:
EXISTING MIXED UNSEPARATED USE GROUPS M/B/A-2/A-3 (NO CHANGE IN USE)

TYPE OF CONSTRUCTION:
CONSTRUCTION TYPE IIB (EXISTING)

GENERAL BUILDING HEIGHTS AND AREAS:
FOR EXISTING MIXED UNSEPARATED USE GROUPS M/B/A-2/A-3 W/TYPICAL IIB CONSTRUCTION, UNDER MOST RESTRICTIVE EXISTING USE GROUPS A-2 AND A-3, (NO CHANGE)

55' HEIGHT ALLOWED, 36'-0" EXISTING (NO CHANGE)
2 STORIES PLUS BASEMENT ALLOWED, 2 STORIES PLUS BASEMENT EXISTING (NO CHANGE)
1,500 S.F. PER FLOOR ALLOWED FOR A-2 AND A-3 USE GROUPS, 6,692 S.F. PER FLOOR EXISTING (NO CHANGE)

SPRINKLERS:
UNSPRINKLERED (NO CHANGE); SPRINKLERS NOT REQUIRED PER MIXED UNSEPARATED ALLOWANCES



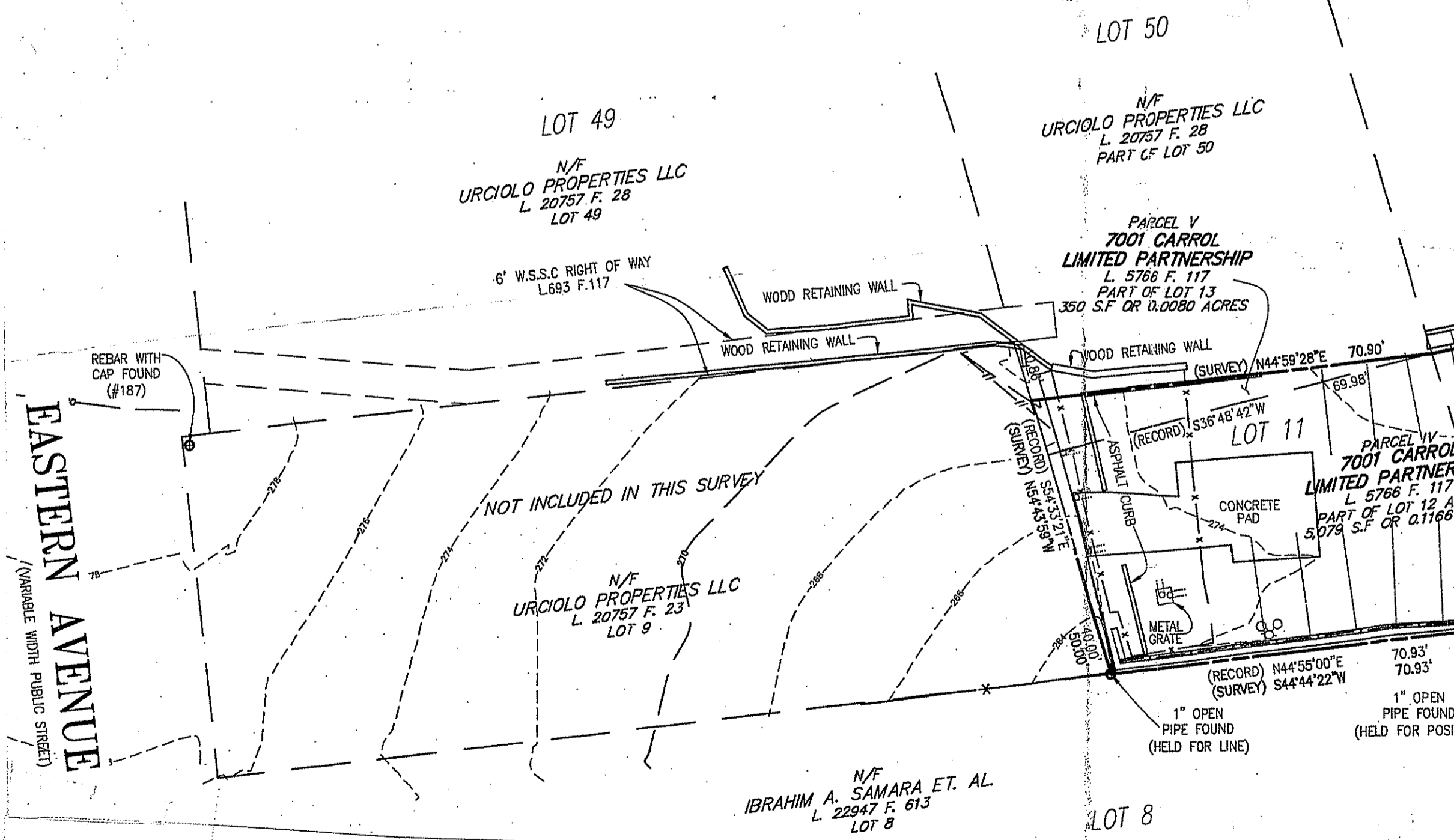
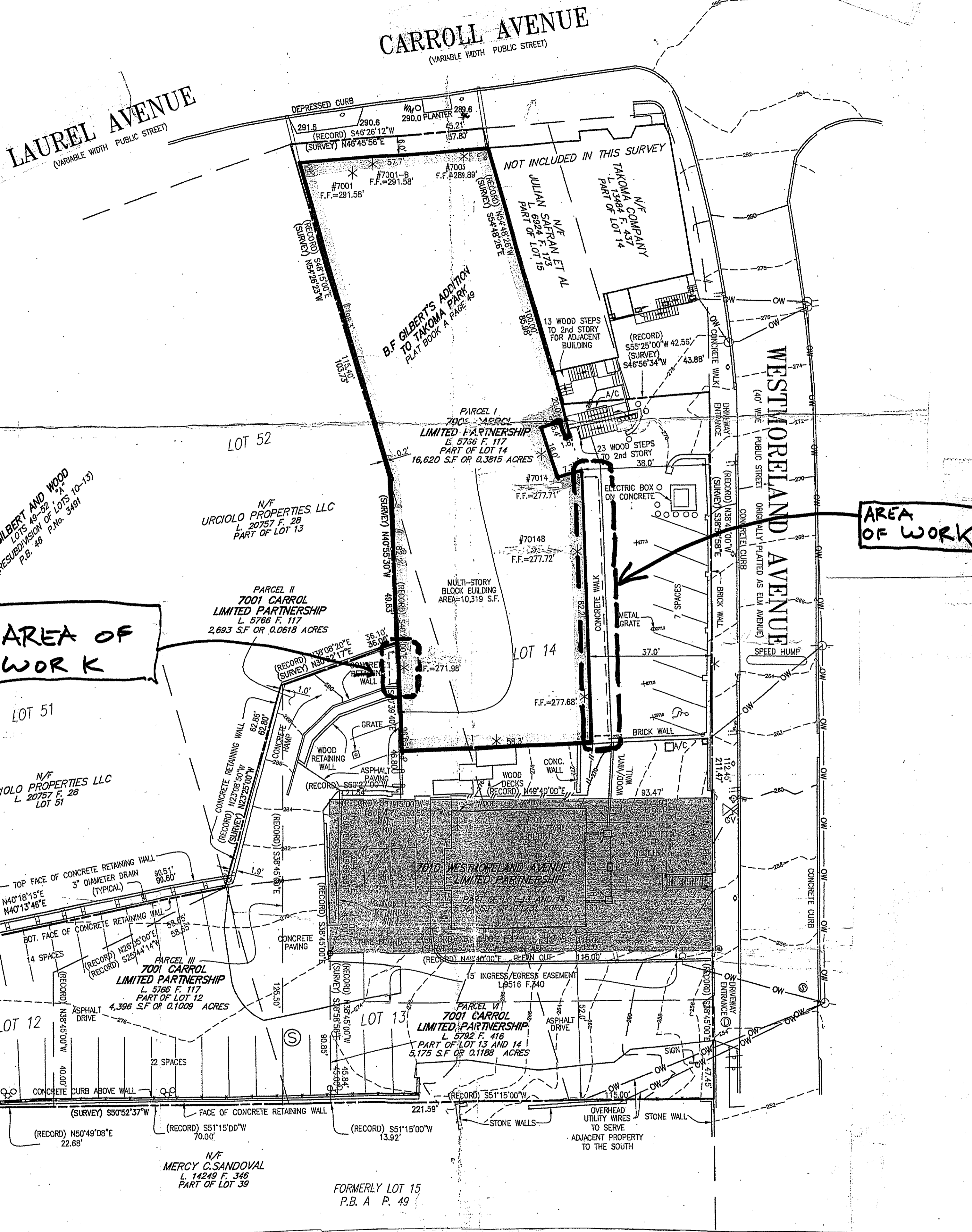
SCOPE NARRATIVE:

SCOPE OF WORK INCLUDES INSTALLATION OF MANUFACTURED AWNINGS WITH ALUMINUM FRAMES AND FABRIC COVERINGS AT EXTERIOR OF EXISTING BUILDING OVER EXISTING ENTRANCES AT BASEMENT AND FIRST FLOOR ENTRANCES. WORK ALSO INCLUDES REMOVAL OF EXISTING EXTERIOR LIGHT FIXTURES AND FURNISHING AND INSTALLATION OF NEW AWNING-MOUNTED EXTERIOR FLUORESCENT LIGHT FIXTURES. ALL NEW ELECTRICAL FIXTURES TO BE CONNECTED TO EXISTING HOUSE PANEL AT EXISTING ELECTRICAL ROOM AT BASEMENT LEVEL.

SEE ARCH. PLANS, ELEVATIONS, SECTIONS, DETAILS AND ELECTRICAL DWG. E-1 FOR DETAILED SCOPE INFO.

GENERAL NOTES

1. ALL WORK IS TO BE DONE IN ACCORDANCE WITH LOCAL CODE REQUIREMENTS.
2. THE PROJECT CONSISTS OF ALL LABOR AND MATERIALS NECESSARY AND INCIDENTAL TO THE DEMOLITION AND CONSTRUCTION SHOWN ON THESE DRAWINGS NOT SPECIFICALLY INDICATED TO BE PERFORMED OR FURNISHED BY OTHERS.
3. THE GENERAL CONTRACTOR SHALL BE COMPLETELY AND SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SAFETY, SEQUENCE PROCEDURES AND PRECAUTIONS.
4. UNLESS OTHERWISE INDICATED, DRAWINGS ARE TO SCALE. HOWEVER, IN THE EVENT OF A DISCREPANCY BETWEEN SCALED AND WRITTEN DIMENSIONS, THE WRITTEN DIMENSION SHALL PREVAIL.
5. IN THE EVENT OF A DISCREPANCY BETWEEN A LARGE SCALE DETAIL AND A SMALLER SCALE DRAWING, THE DETAIL SHALL GOVERN.
6. UNLESS OTHERWISE NOTED, ALL PLAN DIMENSIONS ARE TO FINISH WALL SURFACES AT EXISTING CONSTRUCTION. DIMENSIONS IN ELEVATION ARE FINISH TO FINISH.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL DIMENSIONS AND EXISTING CONDITIONS APPLICABLE TO THE WORK. IN THE EVENT OF A DISCREPANCY BETWEEN THE CONSTRUCTION DOCUMENTS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AND BEFORE PROCEEDING WITH THE WORK IN QUESTION.
8. ALL MATERIALS SHALL BE NEW UNLESS SPECIFICALLY OTHERWISE NOTED.
9. UNLESS SHOWN OR SPECIFIED TO THE CONTRARY, ALL NEW CONSTRUCTION SHALL MATCH EXISTING ADJACENT CONSTRUCTION AS CLOSELY AS POSSIBLE IN TERMS OF COLOR, FINISH, TEXTURE AND GENERAL APPEARANCE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING AND REPAIRING ANY SURFACES OR MATERIALS DAMAGED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES, REGARDLESS OF WHETHER OR NOT THIS WORK IS INDICATED IN THE CONSTRUCTION DOCUMENTS.
11. IF TRADESMEN OR REPRESENTATIVE CUTS, DRILLS, OR WEAKENS THE STRUCTURAL SYSTEM DURING CONSTRUCTION, IMMEDIATE REPLACEMENT (OF IMPROVED STRENGTH) IS TO BE PROVIDED.
12. N.I.C. = NOT IN CONTRACT
13. ALL CONSTRUCTION DEBRIS TO BE REMOVED FROM THE JOB SITE AND LEGALLY DISCARDED.



SITE PLAN - EXISTING CONDITIONS AND AREAS OF NEW WORK
SCALE: 1" = 20'

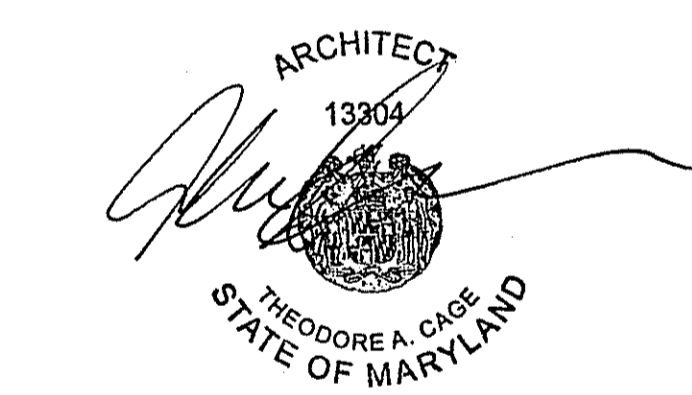
NOTE: REFER DEMOLITION AND NEW WORK PLANS, DEMOLITION AND NEW WORK ELEVATIONS, AWNING DETAILS, AND ELECTRICAL DRAWING E-1 FOR ADDITIONAL INFORMATION

PROJECT:
AWNING WORK AT
7014 WESTMORELAND AVE.
TAKOMA PARK, MD
20912

OWNER:
TAKOMA WESTMORELAND L.L.C.
551 WISCONSIN AVE, N.W., SUITE 501
WASHINGTON, DC 20008

ARCHITECT:
THEODORE A. CAGE, ARCHITECT
2745 29TH ST, N.W. NO. 605
WASHINGTON, D.C. 20008

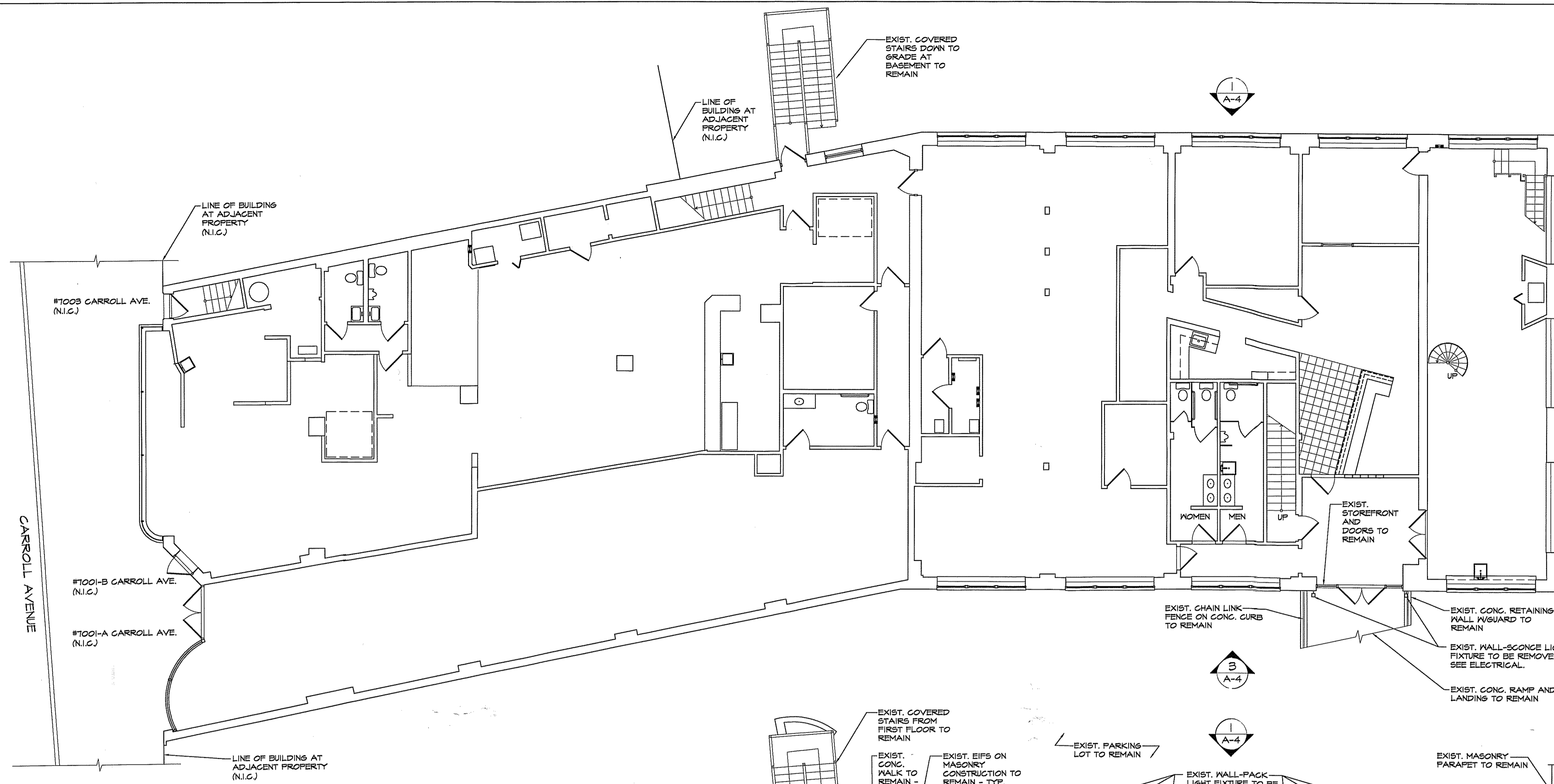
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202-234-5975 (F)



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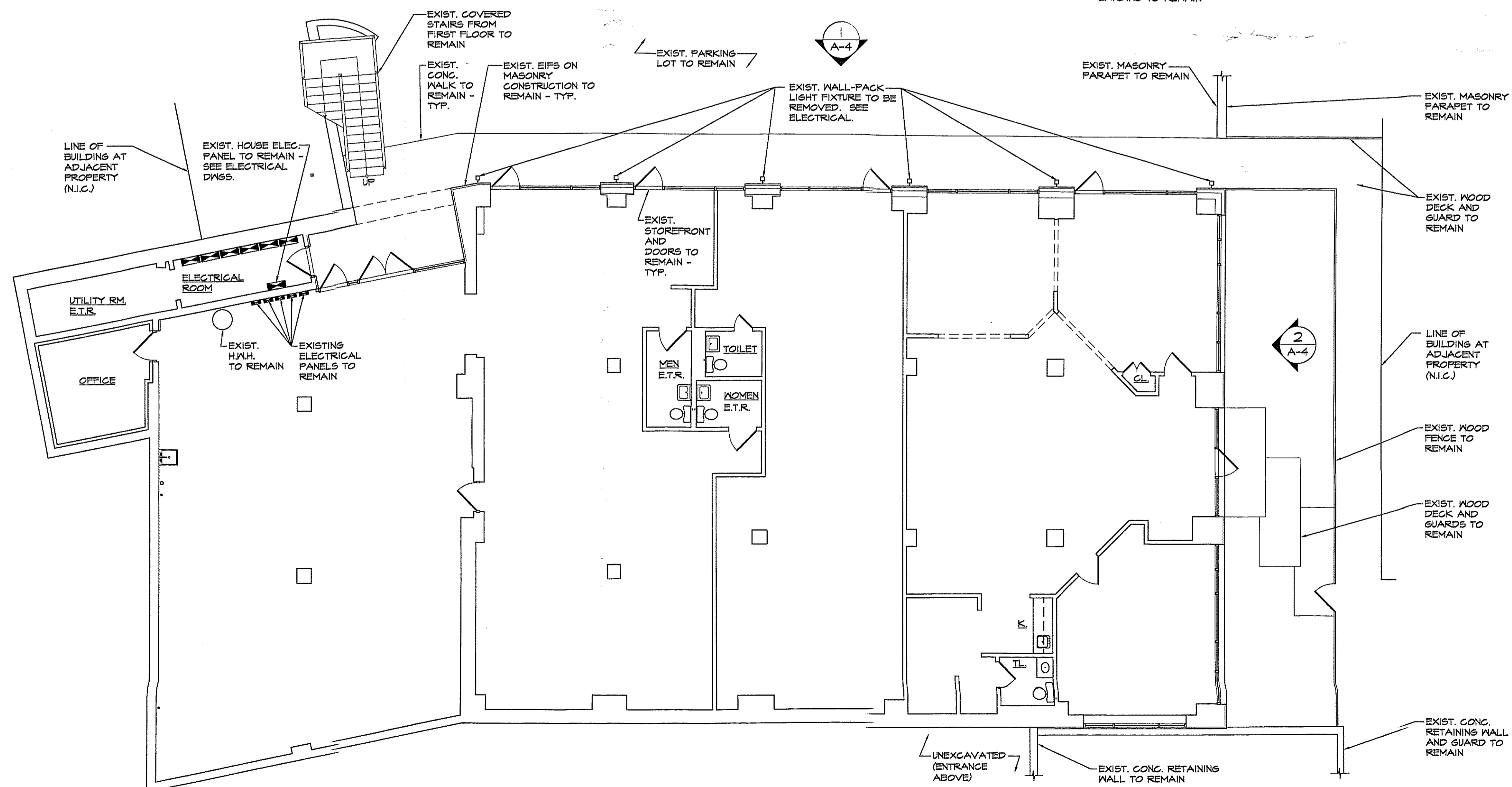
DRAWING TITLE
SITE PLAN

DRAWING NUMBER
A-1



FIRST FLOOR PLAN - DEMOLITION

SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN - DEMOLITION

SCALE: 1/8" = 1'-0"

PROJECT:

AWNING WORK AT
7014 WESTMORELAND AVE.
TAKOMA PARK, MD
20912

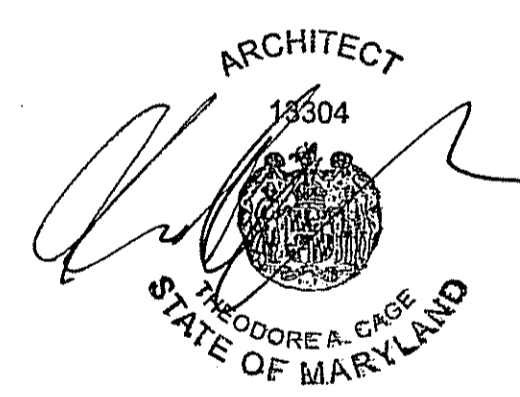
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TAKOMA WESTMORELAND L.L.C.
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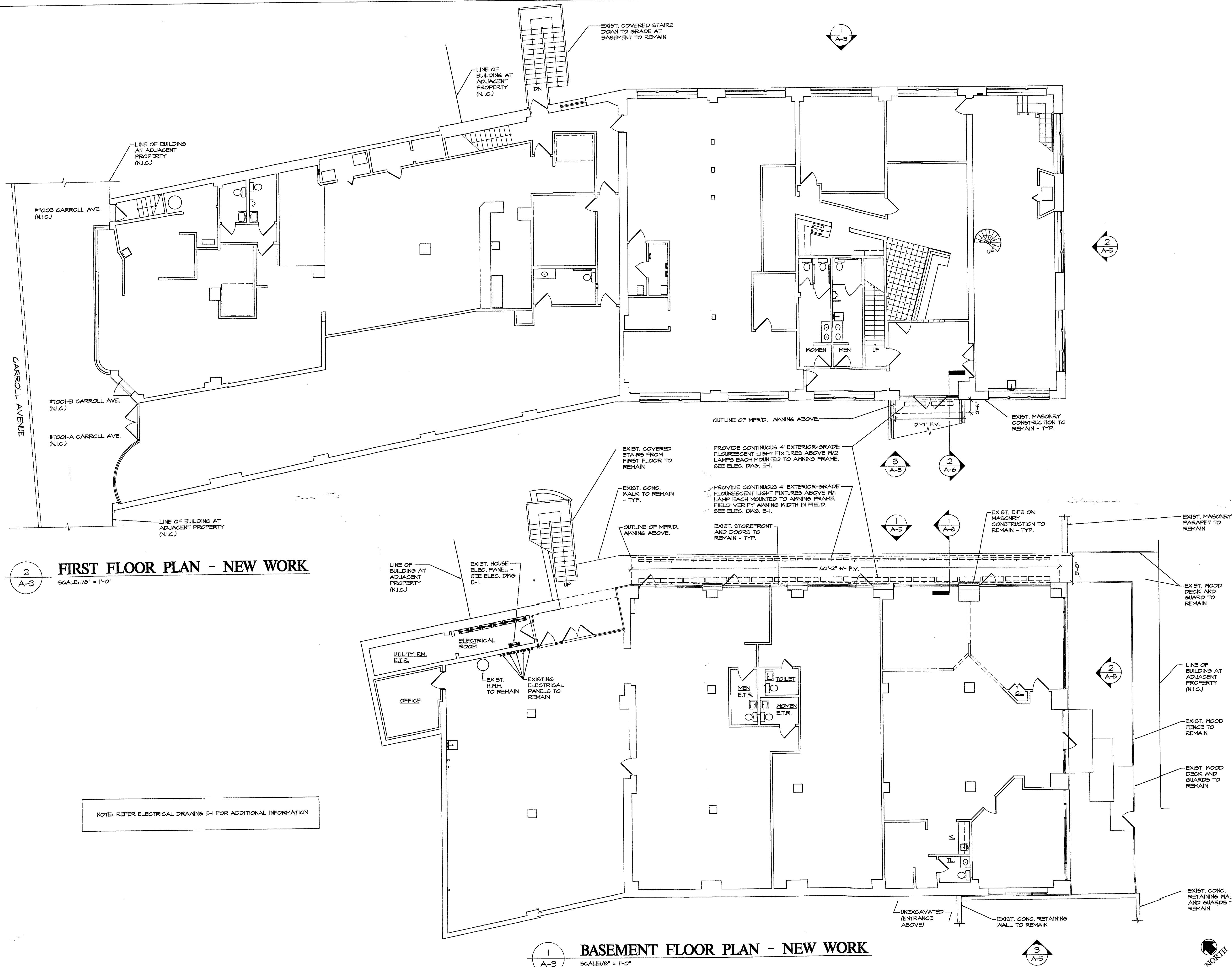
DRAWING TITLE

FLOOR PLANS -
DEMOLITION

DRAWING NUMBER

A-2

NOTE: REFER ELECTRICAL DRAWINGS E-1 FOR ADDITIONAL INFORMATION



NOTE: REFER ELECTRICAL DRAWING E-1 FOR ADDITIONAL INFORMATION

PROJECT:

AWNING WORK AT
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TAKOMA PARK, MD
20912

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ARCHITECT:

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ARCHITECT
13304
THEODORE A. CAGE
STATE OF MARYLAND

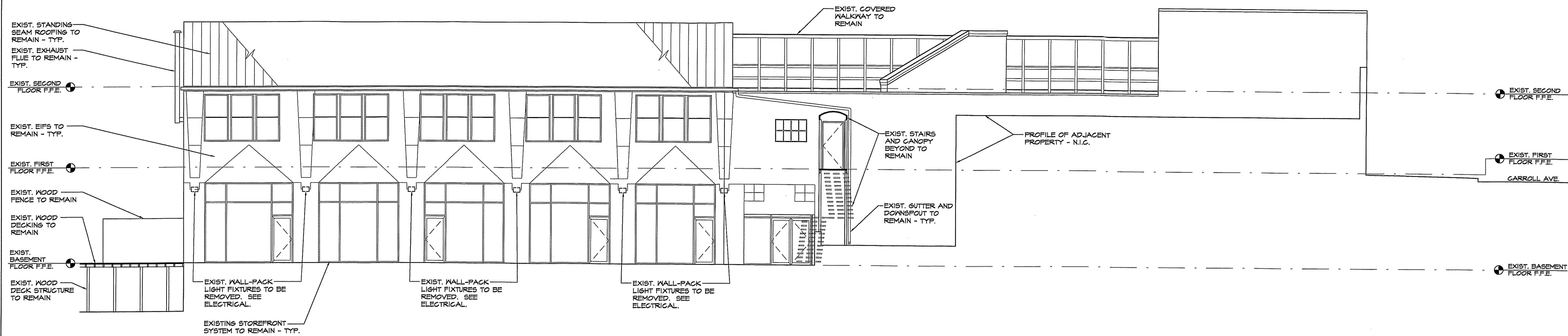
ISSUED FOR:
PERMIT SUBMISSION 10/31/07

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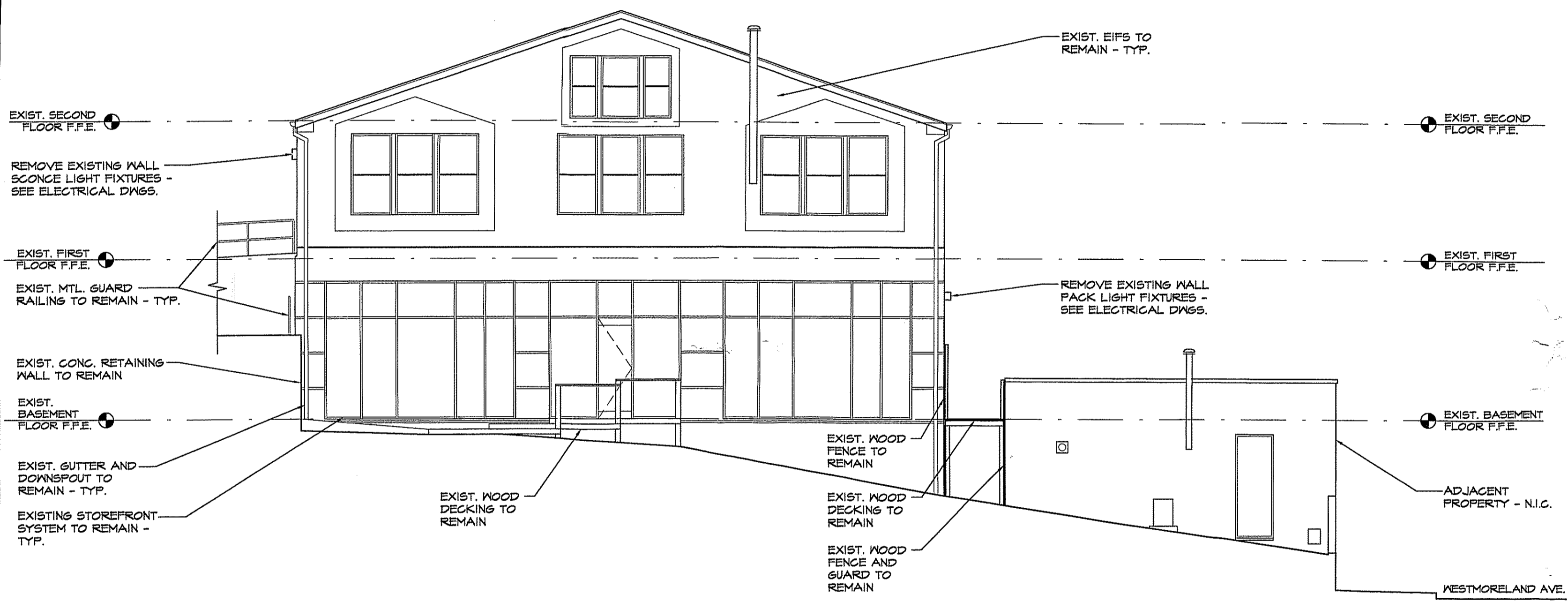
FLOOR PLANS
- NEW WORK

DRAWING NUMBER

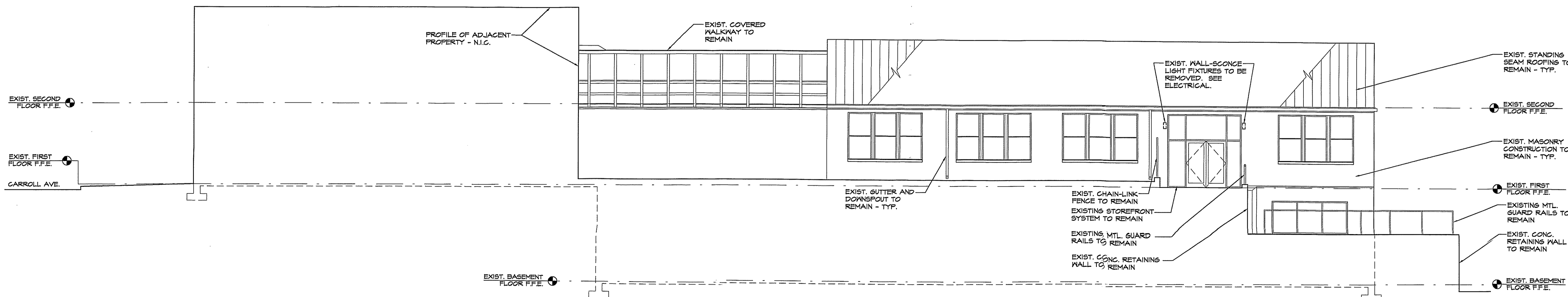
A-3



1
A-4
NORTHEAST ELEVATION - EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"



2
A-4
SOUTHEAST ELEVATION - EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"



3
A-4
SOUTHWEST ELEVATION - EXISTING CONDITIONS
SCALE: 1/8" = 1'-0"

NOTE: REFER ELECTRICAL DRAWING E-1 FOR ADDITIONAL INFORMATION

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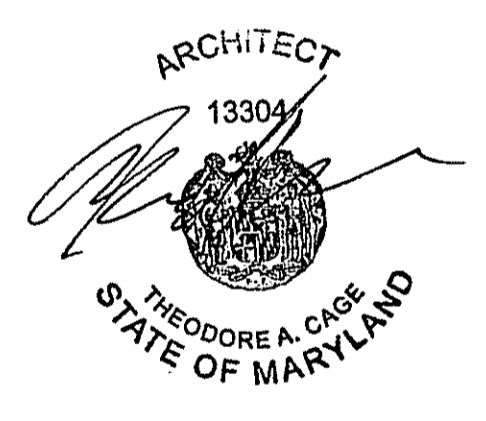
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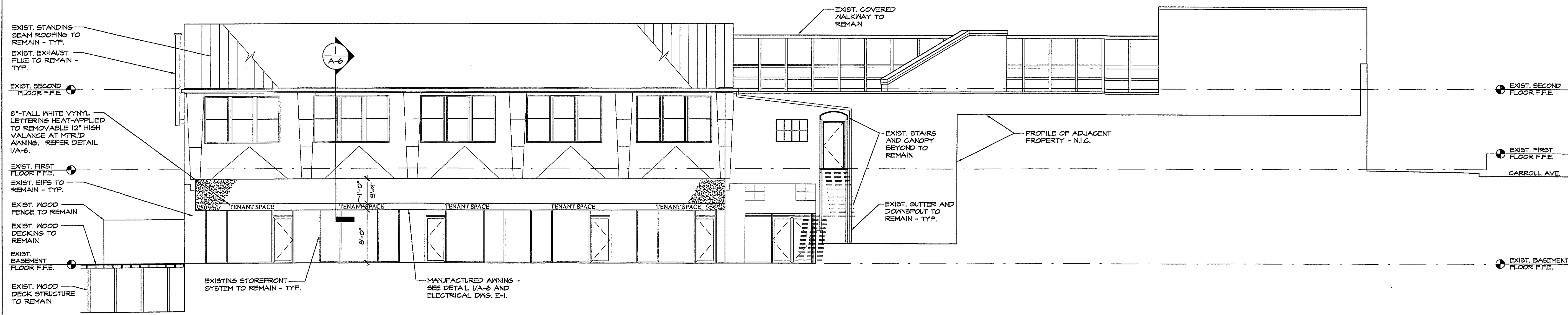
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ELEVATIONS
- DEMOLITION

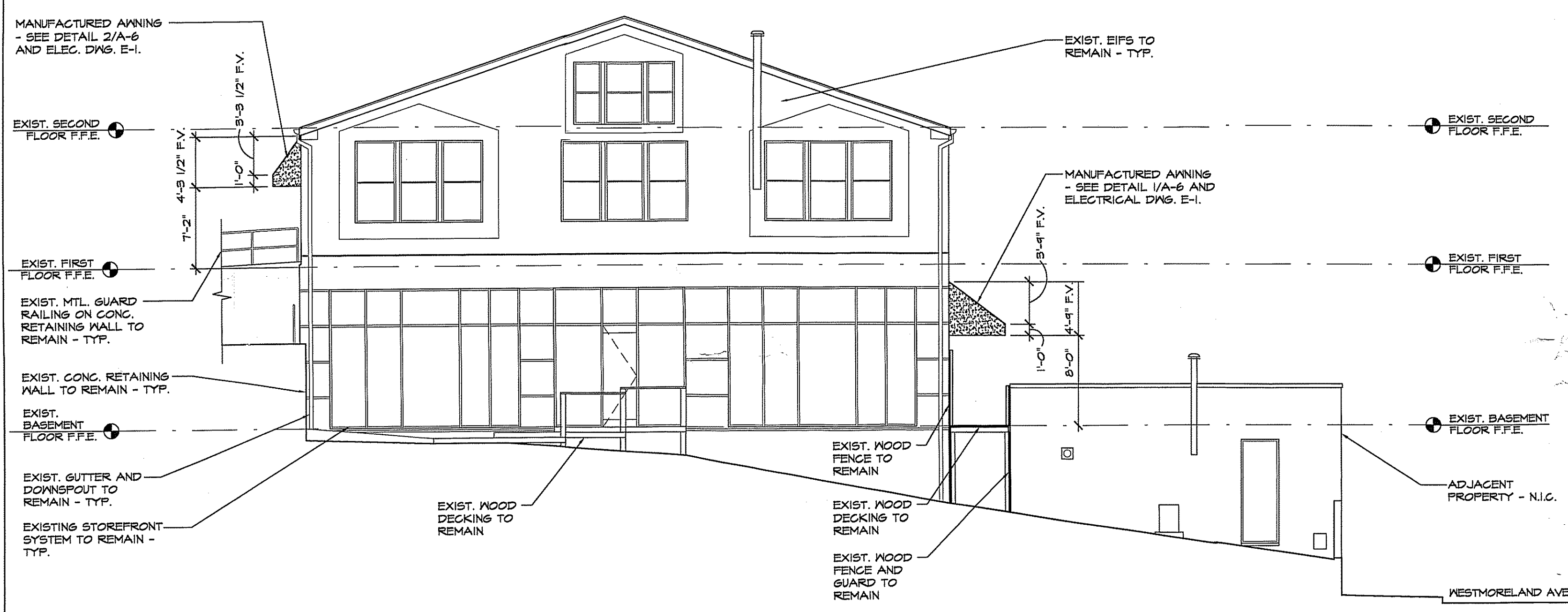
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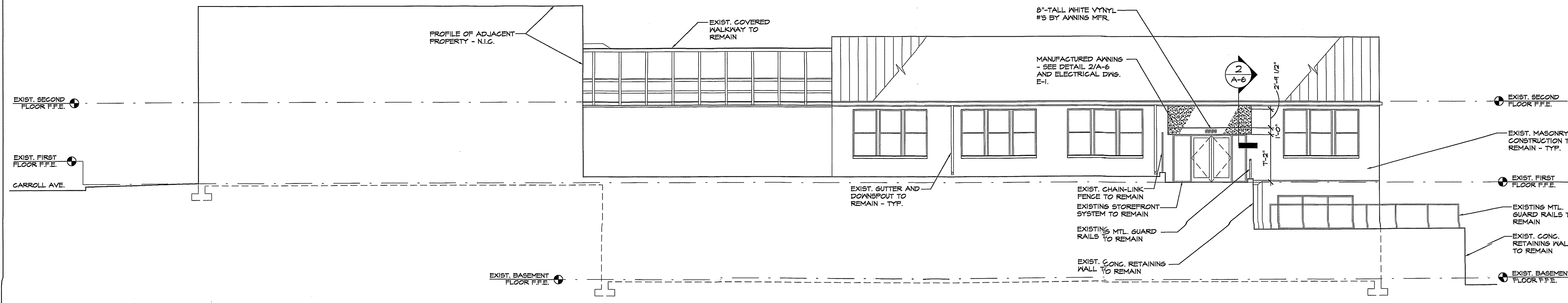




1
A-5
NORTHEAST ELEVATION - NEW WORK
SCALE: 1/8" = 1'-0"



2
A-5
SOUTHEAST ELEVATION - NEW WORK
SCALE: 1/8" = 1'-0"



3
A-5
SOUTHWEST ELEVATION - NEW WORK
SCALE: 1/8" = 1'-0"

NOTE: REFER ELECTRICAL DRAWING E-1 FOR ADDITIONAL INFORMATION

PROJECT:

**AWNING WORK AT
7014 WESTMORELAND AVE.
TAKOMA PARK, MD
20912**

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**TAKOMA WESTMORELAND LLC.
551 WISCONSIN AVE, N.W., SUITE 501
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240-855-4454 (T)
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ARCHITECT
13304
THEODORE A. CAGE
STATE OF MARYLAND

ISSUED FOR:
PERMIT SUBMISSION 10/31/07

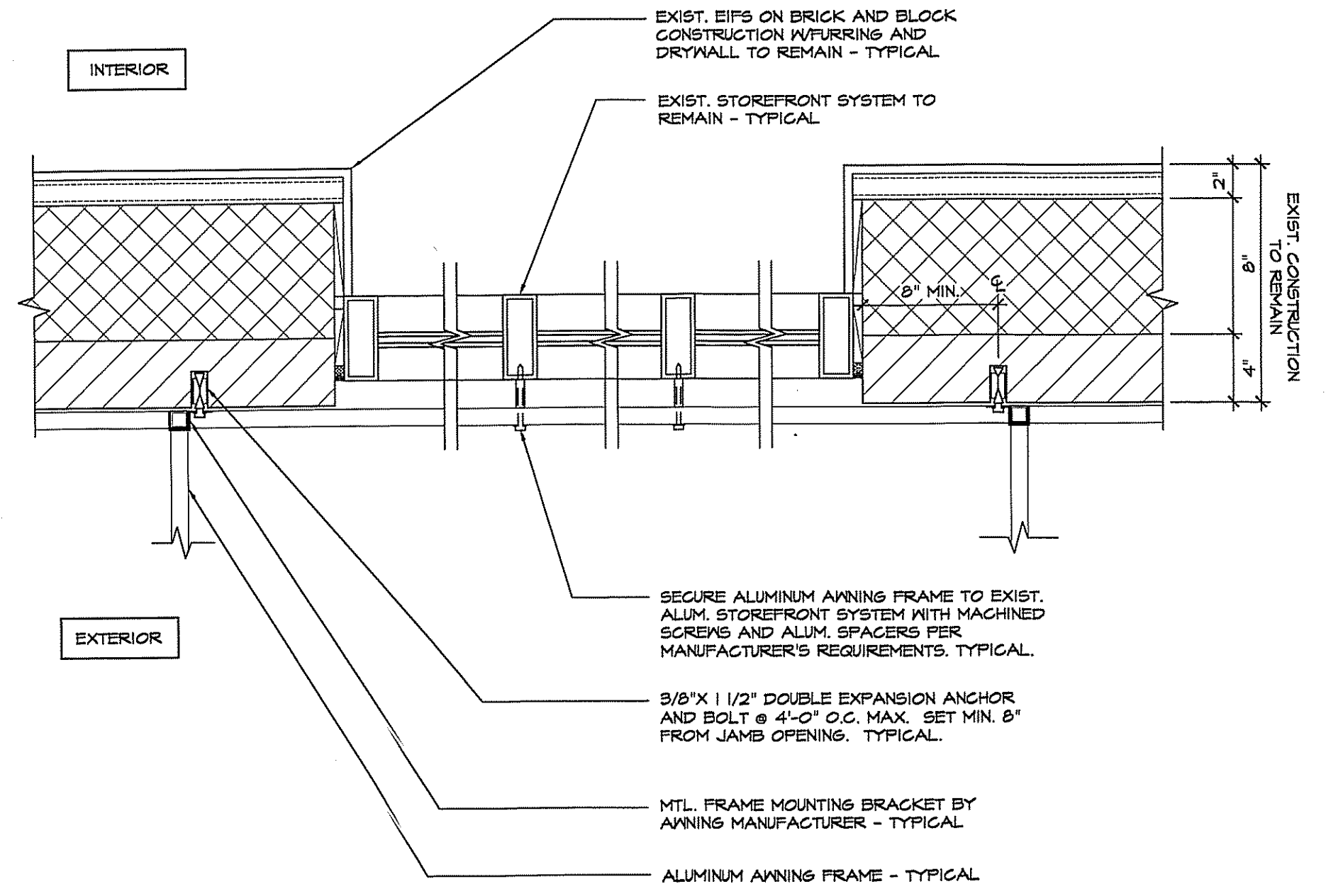
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**ELEVATIONS
- NEW WORK**

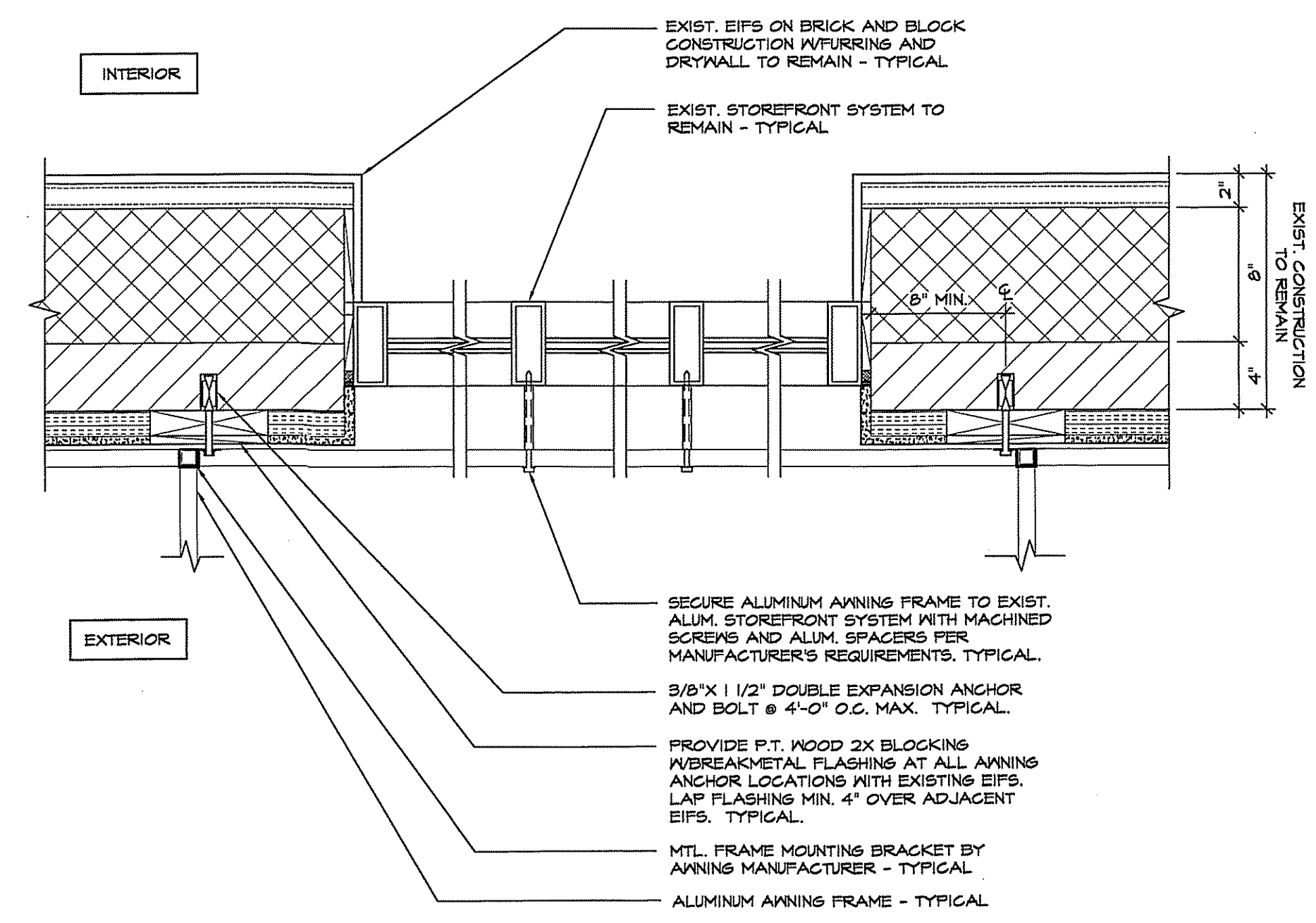
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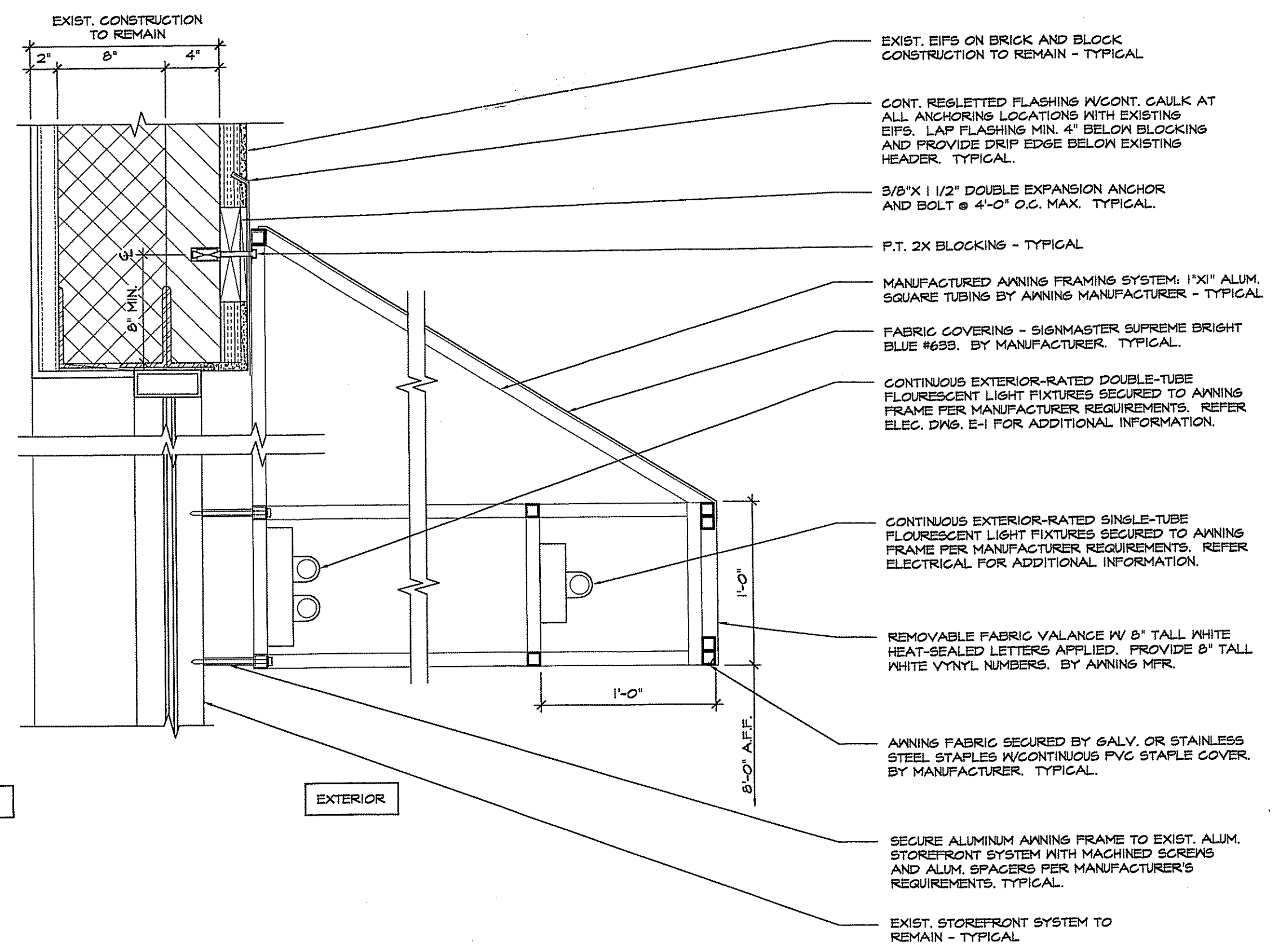
NOTE: REFER ELECTRICAL DRAWING E-1 FOR ADDITIONAL INFORMATION



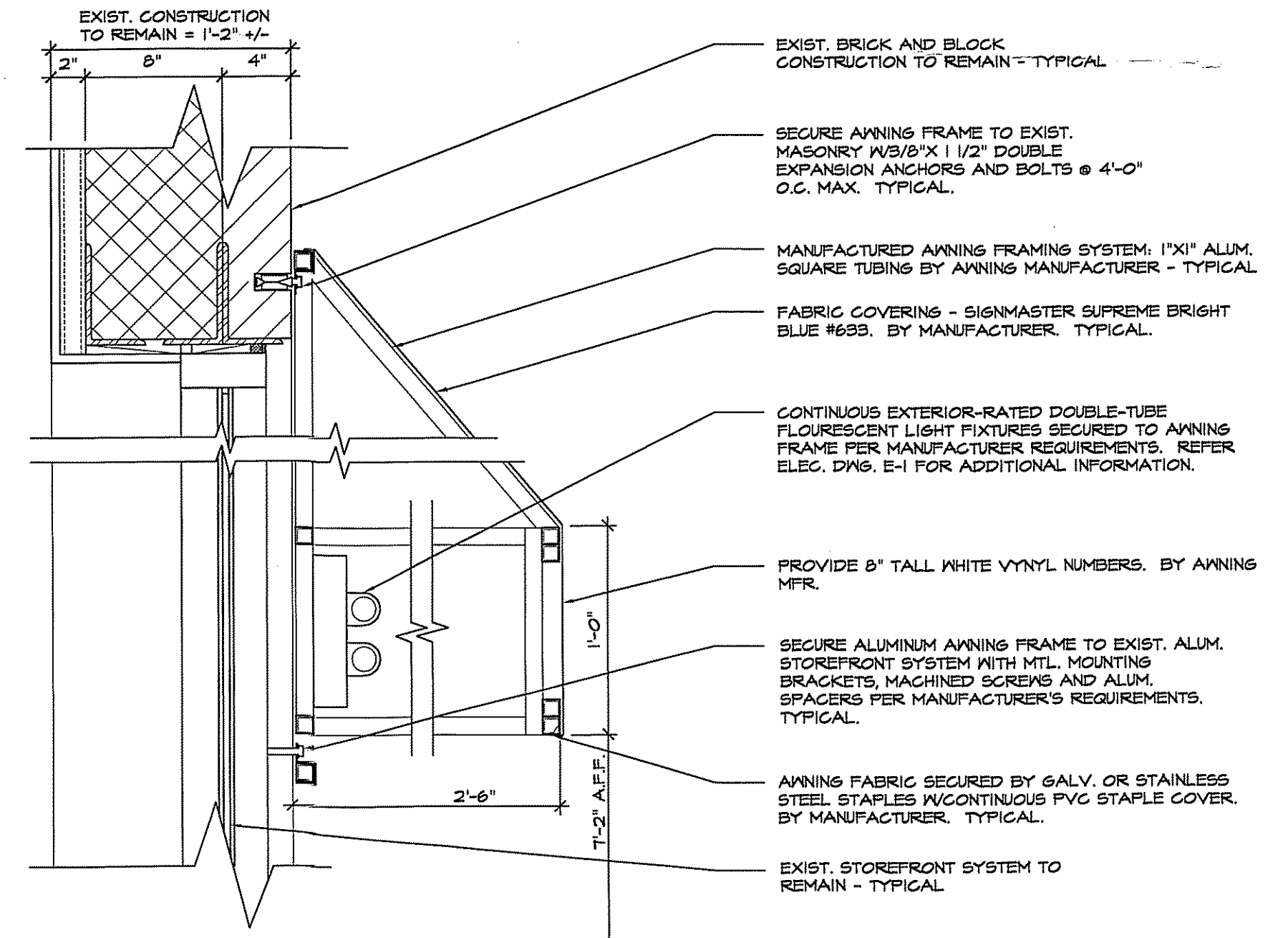
PLAN VIEW



PLAN VIEW



SECTION DETAIL



SECTION DETAIL

1
A-6
AWNING DETAILS AT NORTHEAST ELEVATION
SCALE: 1/2" = 1'-0"

2
A-6
AWNING DETAILS AT SOUTHWEST ELEVATION
SCALE: 1/2" = 1'-0"

PROJECT:

AWNING WORK AT
7014 WESTMORELAND AVE.
TAKOMA PARK, MD
20912

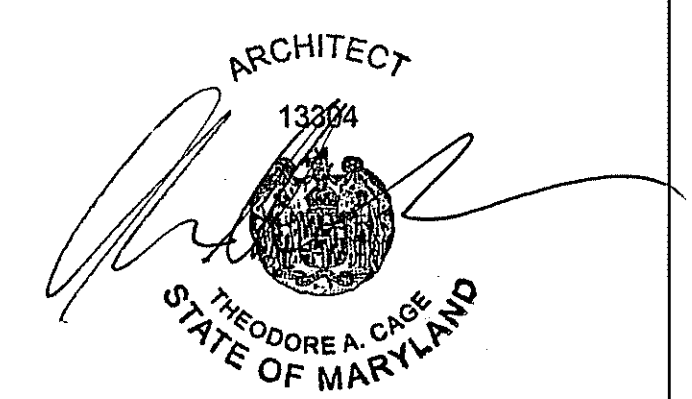
OWNER:

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551 WISCONSIN AVE, N.W., SUITE 501
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ISSUED FOR:	PERMIT SUBMISSION	10/31/07

DRAWING TITLE
ELEVATIONS
- NEW WORK

DRAWING NUMBER

A-6

GENERAL NOTES

- G1. THE SCOPE OF WORK CONSISTS OF THE FURNISHING AND INSTALLING OF A COMPLETE ELECTRICAL SYSTEM AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN. THE CONTRACTOR SHALL PROVIDE ALL SUPERVISION, LABOR, MATERIALS, EQUIPMENT, MACHINERY, AND ALL OTHER ITEMS NECESSARY TO COMPLETE THE SYSTEM. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL EQUIPMENT AS INDICATED ON THE DRAWINGS AND/OR AS REQUIRED FOR A FUNCTIONING ELECTRICAL SYSTEM.
- G2. THE ELECTRICAL BUILD CONTRACTOR SHALL EXAMINE THE DRAWINGS, SPECIFICATIONS AND JOB SITE AND FULLY INFORM HIMSELF OF ALL EXISTING CONDITIONS AND WORK REQUIRED BY THE DRAWINGS AND SPECIFICATIONS.
- G3. THE ENTIRE ELECTRICAL INSTALLATION SHALL CONFORM TO THE 2002 EDITION OF THE NATIONAL ELECTRICAL CODE, LOCAL JURISDICTION REQUIREMENTS, AND LOCAL STATE CODE REQUIREMENTS.
- G4. ALL ELECTRICAL EQUIPMENT SHALL BEAR THE UNDERWRITER'S LABORATORIES LABEL PRIOR TO THE PURCHASE OF EQUIPMENT AND MATERIALS.
- G5. SUBMIT TO THE ARCHITECT FOR APPROVAL, SIX COPIES OF SHOP DRAWINGS/PRODUCT DATA FOR THE FOLLOWING ITEMS:
 - A. WIRING DEVICES
 - B. DISCONNECT SWITCHES
 - C. PANELBOARDS
 - E. WIRE/CABLE
 - F. WIRES
- G6. ELECTRICAL CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR ELECTRICAL WORK.
- G7. PROVIDE TEMPORARY SERVICE AS NECESSARY FOR LIGHTING AND POWER EQUIPMENT (DRILLS, SAWS, ETC.). VERIFY TEMPORARY REQUIREMENTS WITH GENERAL CONTRACTOR. TEMPORARY LIGHTING AND POWER SHALL MEET OSHA REQUIREMENTS AND LOCAL CODES. TEMPORARY POWER SHALL BE DIRECTED BY COORDINATED WITH THE APARTMENT OFFICE MANAGER OR OWNER.
- G8. ADVANCE NOTICE SHALL BE GIVEN TO THE OWNER BEFORE COMMENCEMENT OF WORK, WHETHER OR NOT AN OUTAGE IS REQUIRED.
- G9. ALL CIRCUITRY, EQUIPMENT, DEVICES, ETC., SHALL BE NEW UNLESS SPECIFICALLY NOTED ON THE PLANS.
- G10. ALL WORK SHALL BE PERFORMED DURING NORMAL WORKING HOURS, MONDAY THROUGH FRIDAY (7 AM TO 5 PM). IF WORK CANNOT BE PERFORMED DURING NORMAL WORKING HOURS THE OWNER SHALL BE NOTIFIED PRIOR TO THE SIGNING OF THE CONTRACT.
- G11. THE ELECTRICAL CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING NECESSARY FOR THE SYSTEMS AND EQUIPMENT INSTALLATION. PATCHING SHALL BE UNIFORM IN APPEARANCE AND SHALL MATCH THE SURROUNDING SURFACES.
- G12. THE ELECTRICAL CONTRACTOR SHALL MAINTAIN ACCURATE RECORD DRAWINGS OF ALL WORK AS ACTUALLY INSTALLED. ON COMPLETION OF THE PROJECT TWO (2) COMPLETE SETS OF REPRODUCIBLE DRAWINGS SHALL BE DELIVERED TO THE OWNER AND ONE (1) SET OF DRAWING TO THE A/E/FIRM.
- G13. FINAL TESTING: AT THE TIME OF FINAL INSPECTION AND TEST, ALL CONNECTIONS AT PANELBOARDS, DEVICES AND EQUIPMENT, AND ALL SPLICES MUST BE COMPLETED. EACH BRANCH CIRCUIT AND ITS RESPECTIVE CONNECTED EQUIPMENT MUST TEST FREE OF SHORT CIRCUITS. UPON COMPLETION OF THE WORK, CLEAN AND POLISH ALL EXPOSED SURFACES IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- G14. ALL WIRING SHALL BE INSTALLED IN CONCEALED. COORDINATE WITH THE GENERAL CONTRACTOR ON CHANNELING LOCATION ON FINISH AREA NOT AFFECTED BY RENOVATION.

DEMOLITION

- D1. REQUIRED DEMOLITION WORK SHALL NOT BE LIMITED TO THAT PORTION SHOWN ON PLANS ALONE, BUT SHALL INCLUDE ALL NECESSARY WORK TO BE OBTAINED BY THIS CONTRACTOR AFTER VISITING THE SITE PRIOR TO COMMENCE WORK. CONTRACTOR SHALL GATHER ALL THE INFORMATION AND COORDINATE WITH THE NEW OR MODIFIED WORK AS INDICATED ON THE DRAWINGS. ANY MAJOR DISCREPANCIES FOUND ON THE DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ENGINEERS ATTENTION IN WRITING.
- D2. THE SCHEDULING OF DEMOLITION WORK SHALL BE COORDINATED BY THIS CONTRACTOR WITH THE OWNER'S REPRESENTATIVE PRIOR TO PERFORMING THE WORK.
- D3. CONTRACTOR SHALL VISIT JOB SITE TO ASCERTAIN CONDITIONS WHICH MAY AFFECT HIS WORK, AND HE SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL REQUIRED DEMOLITION IN AREAS UNDERGOING MODIFICATION WHETHER OR NOT SUCH WORK IS INDICATED ON PLANS OR NOTES.
- D4. CONTRACTOR SHALL EXAMINE ARCHITECTURAL DRAWINGS FOR ADDITIONAL DEMOLITION NOTES.
- D5. CONTRACTOR SHALL REMOVE ALL EXISTING OUTDOOR WALL LIGHTING FIXTURES AS INDICATED ON THE ARCHITECTURAL DRAWINGS. UTILIZE EXISTING BRANCH CIRCUITS TO ACCOMMODATE POWER TO NEW LIGHTING FIXTURES. PROVIDE COVERS FOR ALL EXISTING JUNCTION BOXES.

CONTRACTOR SHALL COORDINATE THE FOLLOWING WORK:

- A. LOCATION OF EXISTING LIGHT FIXTURES AT THE FIELD. THE FINAL WORK SHALL COMPLY WITH THE INTENT AS SHOWN ON THE DRAWINGS.

ELECTRICAL WORK:

- 1. CONTRACTOR SHALL CLEAN THE PROJECT SITE AT THE END OF EACH WORKING DAY. AFTER REMOVAL OF ALL DEVICES CONTRACTOR SHALL TURN ALL DEVICES OVER TO OWNER'S REPRESENTATIVE FOR HIM TO INSPECT. AFTER INSPECTED BY THE OWNER'S REPRESENTATIVE CONTRACTOR SHALL REMOVE ALL UNNECESSARY DEVICES OR MATERIALS FROM THE SITE.
- 2. CONTRACTOR SHALL RESTORE ALL AREAS AND SYSTEMS AND ASSOCIATED DEVICES, COMPONENTS, ETC., DISTURBED BY HIS WORK TO THE SATISFACTION OF THE OWNER, ARCHITECTS, AND ENGINEERS.

SYMBOLS LIST

- FLUORESCENT FIXTURE, PROGRESS # 1x4 232T8 F LAMP SURFACE MOUNTED 120V
- FLUORESCENT FIXTURE, PROGRESS # 1x4 131T8 F LAMP SURFACE MOUNTED 120V
- WIRING CONCEALED IN WALL OR CEILINGS.
- HOMERUN TO HOUSE PANELBOARD

NOTES: ALL FIXTURES SHALL BE COORDINATED W/ARCHITECT PRIOR TO PURCHASE AND INSTALLATION.

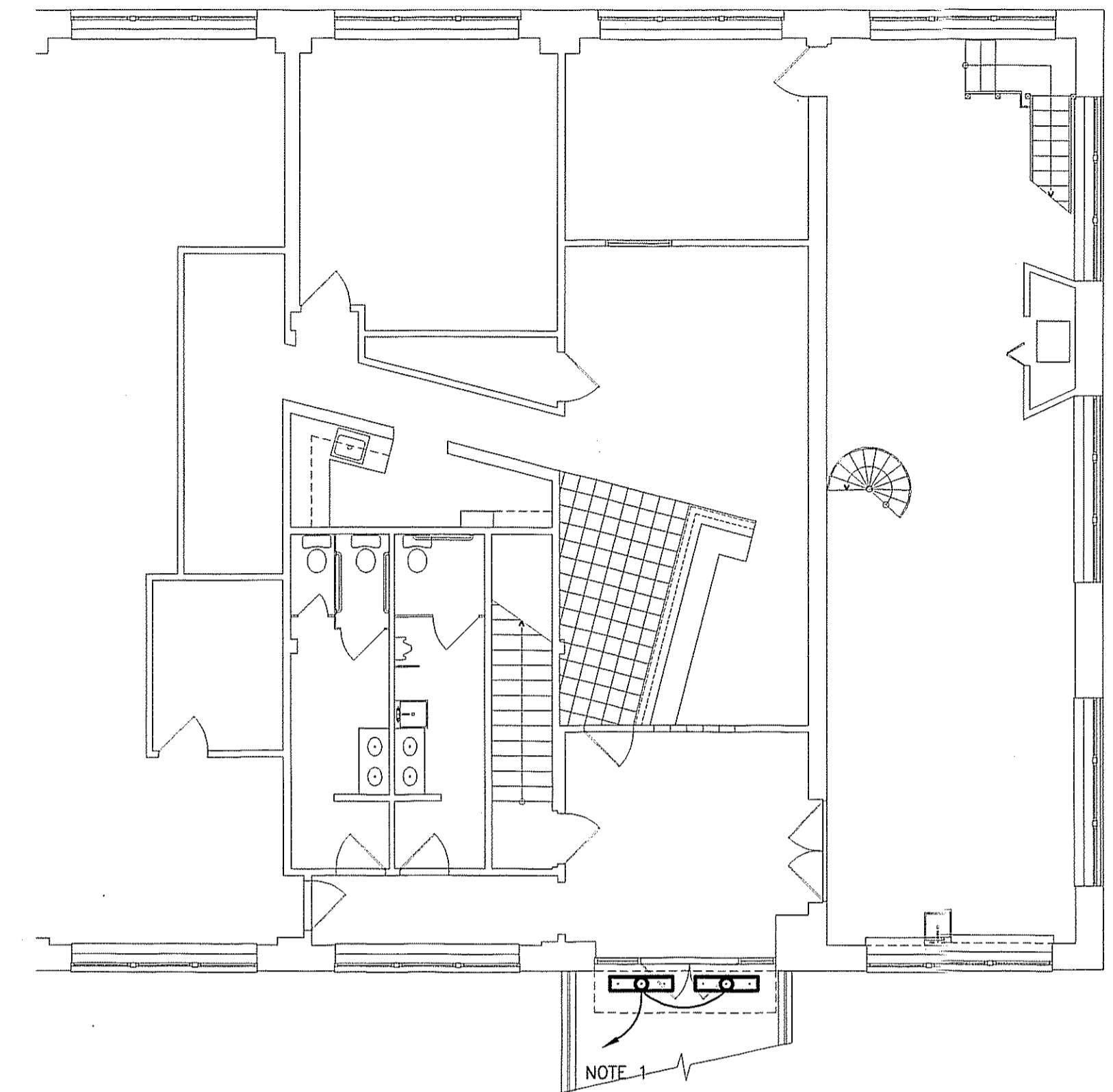
- GROUNDING AND BONDING**
- 1. ALL REQUIRED GROUNDING SHALL BE IN ACCORDANCE WITH NEC.
- ELECTRICAL IDENTIFICATION**
- 1. COLOR-CODING CONDUCTOR TAPE: COLORED, SELF-ADHESIVE VINYL TAPE NOT LESS THAN 3 MILS THICK BY 1 TO 2 INCHES WIDE.
 - 2. EQUIPMENT IDENTIFICATION LABELS SHALL BE ENGRAVED, LAMINATED ACRYLIC OR MELAMINE LABEL: PUNCHED OR DRILLED FOR SCREW MOUNTING. WHITE LETTERS ON A DARK-GRAY BACKGROUND. MINIMUM LETTER HEIGHT SHALL BE 3/8 INCH.

- CONDUCTORS AND CABLE**
- 1. ALL CONDUCTORS SHALL BE SOFT DRAWN COPPER WIRE HAVING A CONDUCTIVITY OF NOT LESS THAN 98% OF THAT OF PURE COPPER WITH A 600 VOLT RATING. WIRE #10 AND SMALLER SHALL BE SOLID, AND LARGER THAN #10 SHALL BE STRANDED. ALUMINUM CONDUCTORS ARE NOT ACCEPTABLE.
 - 2. BRANCH CIRCUITS SHALL BE TYPE THHN OR THWN.
 - 3. CONNECTORS SHALL BE FACTORY-FABRICATED AND SPLICES SHALL BE OF SIZE, AMPACITY RATING, MATERIAL, TYPE, AND CLASS FOR APPLICATION AND SERVICE INDICATED.
 - 4. IN AREAS NOT SUBJECTED TO DAMAGE AND PERMITTED BY NEC, FOR BRANCH CIRCUITS, METAL CLAD BX (ARMORED CABLE) CABLE MAY BE USED SUBJECT TO APPROVAL BY THE AUTHORITY HAVING JURISDICTION.

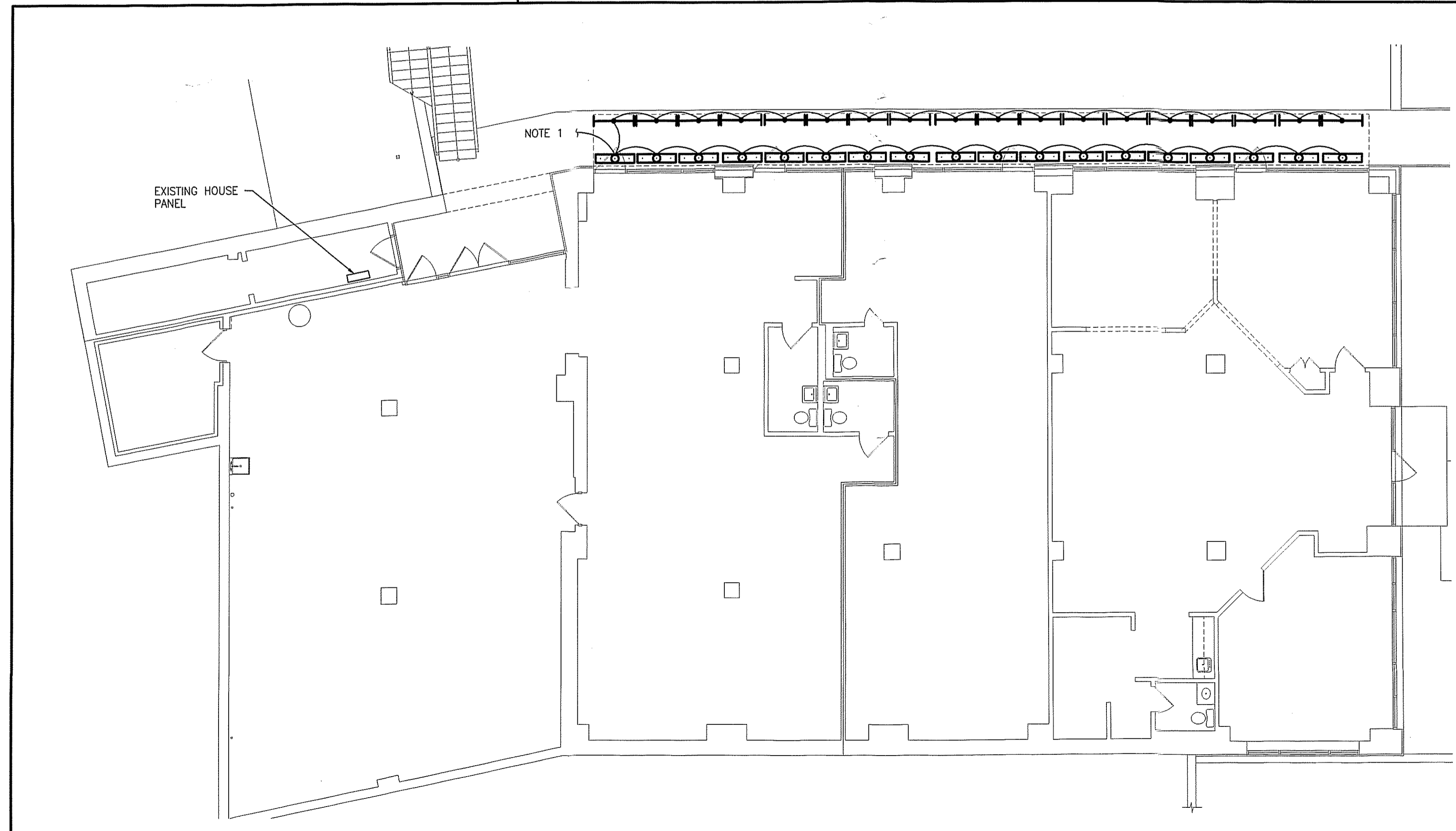
- RACEWAYS AND BOXES**
- 1. ELECTRICAL METALLIC TUBING (EMT): MINIMUM SIZE SHALL BE 3/4", UON.
 - 2. FITTINGS SHALL BE PER UL 514B AND COMPATIBLE WITH TYPE OF CONDUIT AND TUBING USED.
 - 3. FLEXIBLE METAL CONDUIT SHALL BE GALVANIZED STEEL. FLEXIBLE CONDUIT LOCATED AT WET LOCATIONS SHALL BE THE LIQUID-TIGHT TYPE. MAXIMUM 6' OF LIQUID-TIGHT FLEXIBLE CONDUIT SHALL BE USED FOR THE CONNECTION OF ALL MOTORS AND VIBRATING EQUIPMENT. THE FLEXIBLE METAL CONDUIT SHALL BE THE TYPE APPROVED FOR CONTINUOUS GROUNDING.
 - 4. JUNCTION AND PULL BOXES SHALL HAVE SUFFICIENT VOLUME TO ACCOMMODATE THE NUMBER OF CONDUCTORS ENTERING THE BOX IN ACCORDANCE WITH THE REQUIREMENTS OF NFPA 70, ARTICLE 370. PULL AND JUNCTION BOXES SHALL BE FURNISHED WITH SCREW FASTENED COVERS.
 - 6. ALL PENETRATIONS OF FLOOR AND WALL SHALL BE FIRE STOPPED IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES, NEC, AND NFPA.

DRAWING NOTES

- ① CONNECT TO EXISTING HOUSE PANEL WITH 2#12-1#12G, 3/4" CONDUIT VIA EXISTING TIME SWITCH AND NEW PHOTOCCELL. UTILIZE EXISTING 20A/1P CIRCUIT BREAKER WHICH BECOME SPARE AFTER DEMOLITION OF EXISTING LIGHTING SYSTEM IN THE AREA. IN ANY CASE, NEW CIRCUIT WHERE ADDED UNDER THIS RENOVATION. CONTRACTOR WILL PROVIDE NEW 20A/1P CIRCUIT BREAKER UTILIZING AVAILABLE SPACES OR PROVISION. CIRCUIT-BREAKER SHALL MATCH EXISTING PANELBOARD BRAND & TYPE.



1ST FLOOR PLAN SCALE: 1/8" = 1'-0"



BASEMENT FLOOR PLAN SCALE: 1/8" = 1'-0"

PROJECT:

AWNING WORK AT
7014 WESTMORELAND AVE.
TAKOMA PARK, MD
20912

OWNER:

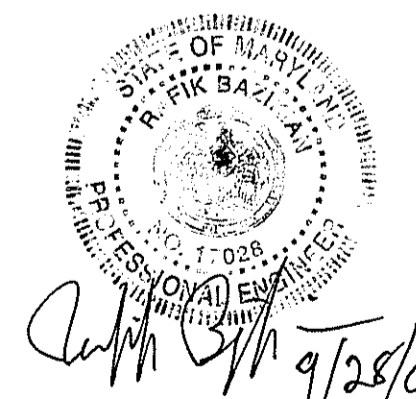
TAKOMA WESTMORELAND LLC.
331 WISCONSIN AVE, N.W., SUITE 301
WASHINGTON, DC 20008

ARCHITECT:

THEODORE A. CAGE, ARCHITECT
2745 29TH ST, N.W. NO. 605
WASHINGTON, DC 20008

202-716-3878 (T)
 202-234-3975 (F)

ISSUED FOR: PERMIT SET 10-01-07



"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under laws of the State of Maryland, License No. 17028, Expiration Date: Jun 2009."

RK CONSULTING, LLC
 MECHANICAL/ELECTRICAL CONSULTANTS
 18503 N. Frederick Ave.
 Gaithersburg, MD 20879
 TEL. (301) 948-2808
 FAX. (301) 947-7777
 CONTACT PERSON: RUBIC MOYESIAN

DRAWING TITLE

BASEMENT AND 1ST FLOOR PLANS

DRAWING NUMBER

E-1