16/02-04A 20130 Wasche Road Master Plan #16/02 Edw Chiswell

# Edward Chiswell Farm Staff Recommended Modifications to Retroactive Design

### Mudroom/Portico

- -Steeper pitched roof
- -Remove and replace door with a more appropriate wood door (Vernacular farmhouse form)
- -Needs more details in order to make it more compatible with the historic house and addition (staff will work with architect on these)

### Two-Story Screen Porch

- -Porch needs to be constructed as specified in approved design, including exterior doors, which lead into the house.
- -If an enclosed space is desired, there are glass systems that can be placed on the inside of the porch, after it is reconstructed back to its original design.

The 2/2 double hung windows on two-story section rear elevation that were replaced can remain installed in their present locations, but the windows in the 1-1/2 story section needs to be re-installed and rehabilitated. Also, the rest of the historic windows on the house need to be rehabilitated and remain in their current locations.

The addition needs to have the asphalt roof removed and a standing seam metal roof installed – as approved by the HPC in the original plans.

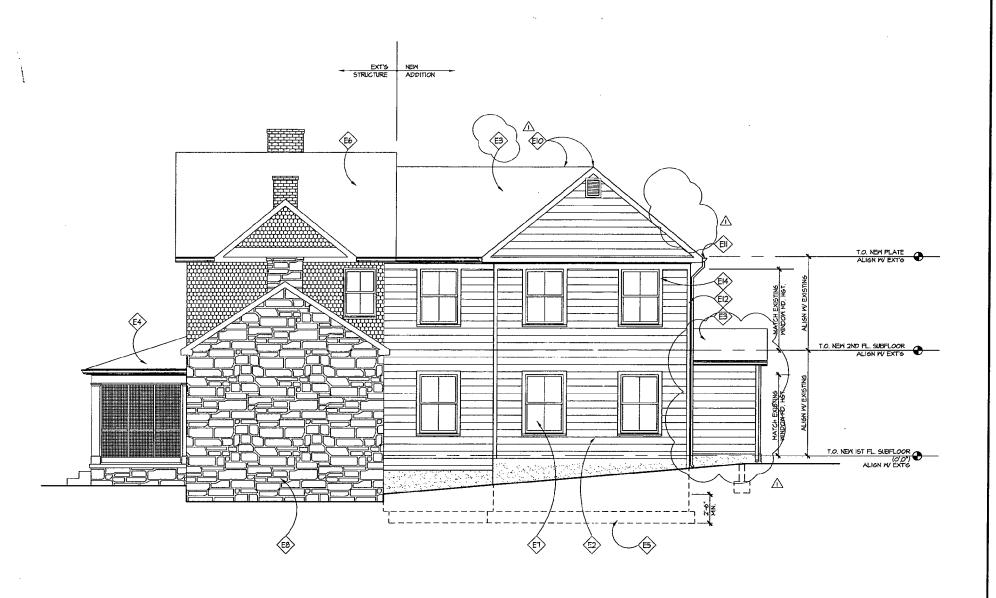
The addition needs to have details added to it to make it compatible with the historic resource (staff will work with the architect on these).

#### Well house:

- -The artificial concrete block needs to be removed and staff will work with Mr. Harney and/or the County to select stone, which is appropriate.
- -Roof of the well house needs to be reduced to cover the building only.

The ogee profile gutters and downspouts on the addition need to be replaced with ½ round profile metal gutters and round downspouts, as approved by the HPC in the original plans.





## **ELEVATION NOTES**

EI NOT USED

E2 NEW PTD. HARDI-PLANK SMOOTH LAP SIDING

E3 30 YEAR ASPHALT SHINGLES

E4 EXISTING PORCH

E5 LINE OF FOUNDATION

E6 EXISTING SLATE ROOF

WOOD WINDOWS, MATCH EXT'G GRILL PATTERN

NOTE; VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.

Eq NOT USED

EIO RIDGE VENT; SEE ROOF PLAN

EII SUTTER & D.S., TO MATCH EXISTING

EI3 NOT USED

EI4) PTD. 5/4" x 4 WINDOW & DOOR TRIM

EI6 NOT USED

20130 WASCHE ROAD DICKERSON, MD 20842 RIGHT SIDE ELEVATION

**ARCHITECTS** 

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CHISWELL FARM

⚠ REV. 02\_22\_01

DER

GTM AS NOTED

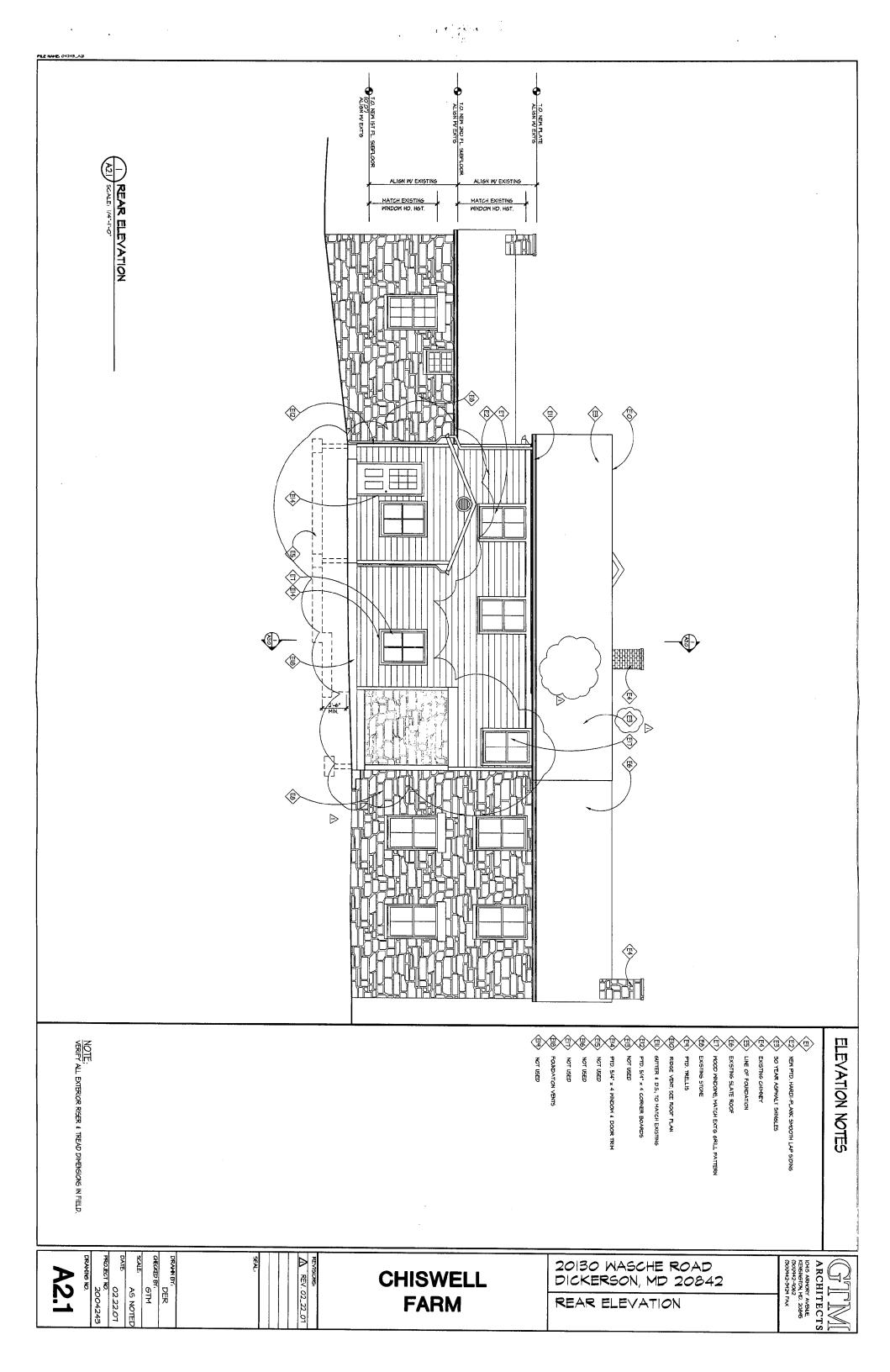
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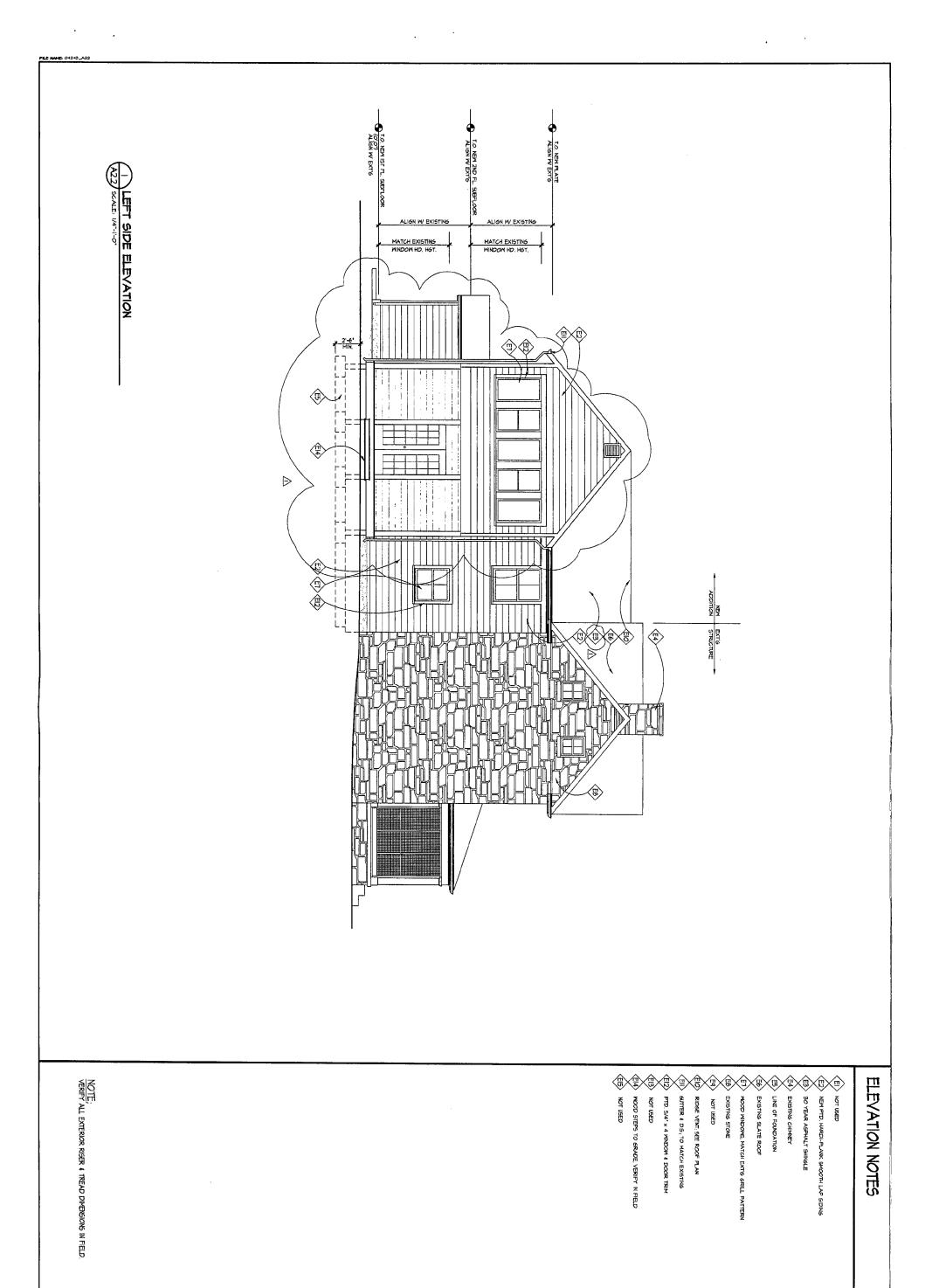
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RIGHT SIDE ELEVATION

SCALE: 1/4\*-1"-0"

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A2.2

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DER
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DATE 02.22.01
PROJECT NO.
2004243
DRAWING NO.

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LEFT SIDE ELEVATION

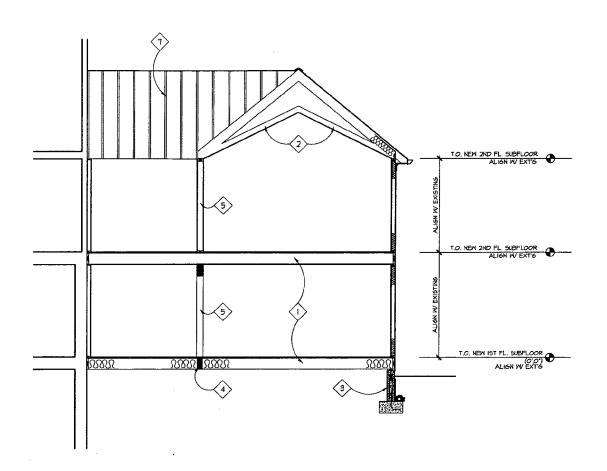
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LOUIS ARMORY AVENUE

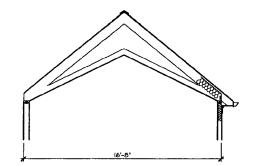
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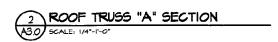
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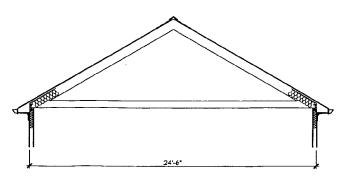
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3 ROOF TRUSS "B" SECTION

## CONSTRUCTION NOTES

FLOOR JOISTS, SEE FRAMING PLANS
2 TRUSG SYSTEM, SEE SECTION 2/A3,0
3 CMU FOUNDATION WALL
4 LVL BEAM, SEE FRAMING PLANS
5 2x6 LOAD BEARING WALL
6 BUILD UP AS REGD TO CREATE HIP ON ENDS

1 TRUSS SYSTEM; SEE SECTIONS 3/A3.0

20130 WASCHE ROAD DICKERSON, MD 20842 BUILDING SECTION

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> CHISWELL FARM

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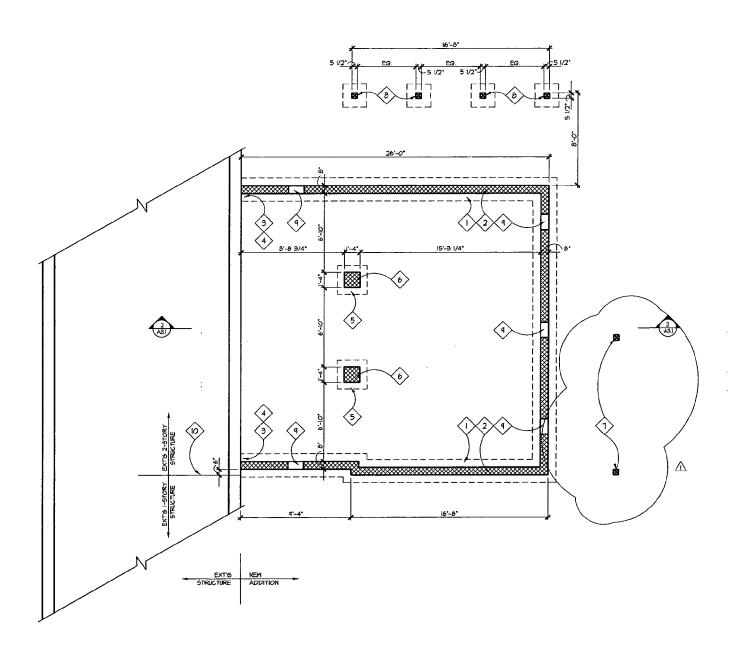
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PROJECT NO.

2004243

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3 DRILL & EPOXY (2)#5 DOWELS x 1'-6" W/ 7" EMBED INTO EXT'6 FT6.

4 MATCH BOTTOM OF EXT'S FTG.

CONC. FT6; 2'-6' x 2'-6" x 1'-0" W/ (3) #5 BARS EACH 3" FROM BOTTOM OF FT6.

6 16" CMU PIER, FILL SOLID

(1) 6x6 P.T. POSTS ON I'-4" x I'-4" x I'-0" DEEP CONC. FTG.

6x6 P.T. POSTS ON 2'-0" x 2'-0" x 1'-0" DEEP CONC. FTG.

8x16 CRAML SPACE VENT W INTEGRAL INSECT SCREEN

LINE INDICATES WHERE EXISTING STRUCTURE TRANSITIONS FROM A 2-STORY STRUCTURE TO A I-STORY STRUCTURE

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20130 MASCHE ROAD DICKERSON, MD 20842 FOUNDATION PLAN

CHISWELL FARM

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GENERAL NOTES

I, CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)

2. BOTTOM OF ALL FTG5 SHALL BE MIN OF 2'-6' BELOW FINISHED GRADES (TYP) OR AS SHOWN ON DRAWINGS.

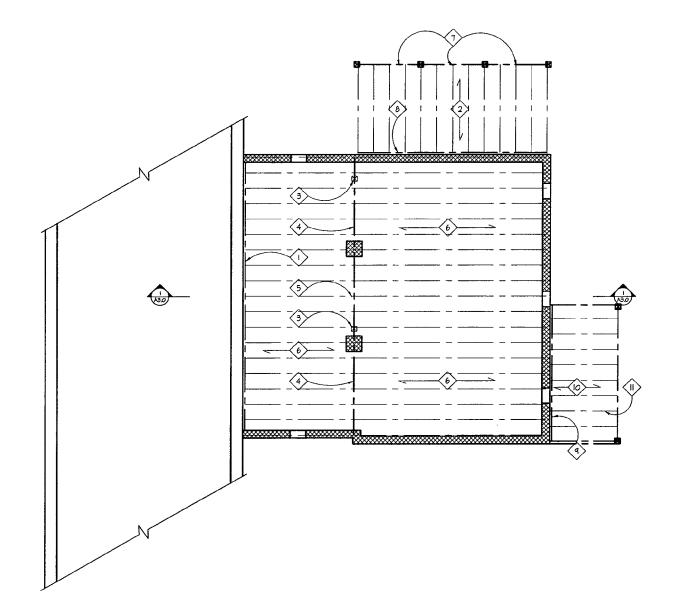
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FIRST FLOOR FRAMING PLAN

| SII | SCALE: 1/4"-1"-0"

## CONSTRUCTION NOTES

2xi2 P.T. LEDGER W/ 5/8" & BOLTS & 16" O.C. STAGGER

2 P.T. 2x10's @ 16" O.C.

3 POST FROM ABOVE

4 (5) 1-3/4" x 11-7/8" LVL IN SAME PLANE AS JOISTS

5 CMU PIER BELOW, SEE FOUNDATION PLAN

6 11-7/6" TJI'S # 16" O.C., OR 2x12'5

(3) 2xIO P.T. BEAM

8 2x10 P.T. LEDGER W 5/8" & BOLTS & 16" O.C. STAGGER

4 2x8 P.T. LEDGER W 5/8" \$ BOLTS \$ 16" O.C. STAGGER

10 P.T. 2x8's e 16° O.C.

(2) 2x8 P.T. BEAM

20130 WASCHE ROAD DICKERSON, MD 20842 FIRST FLOOR FRAMING FLAN

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CHISWELL FARM

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⚠ REV. 02\_22\_01

GENERAL NOTES

I, CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)

2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2-6" BELOW FINISHED GRADES (TYP) OR AS SHOWN ON DRAWINGS.

OR AS SHAFF OF PROPERTY OF SOURCE OF SHAFF AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL CONDECTORS SHALL BE PROFERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUFERCOMMENDATIONS.

PROVIDE SIMPSON H2.5 OR H3 UPLIFT CONNECTORS AT
 ALL RAFTERS, PROVIDE ST 292 STRAPS CONNECTING TOP
 OF SHEARWALL TO DOUBLE HEADER

5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1 OR LVL POST NO EVILT-UP STUDS ALLOWED.

6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS

 PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.

8. PROVIDE SQUASH BLOCKS & EACH SIDE OF TJI JOISTS & LOAD BEARING WALLS PER MANUFACTURER DETAILS.

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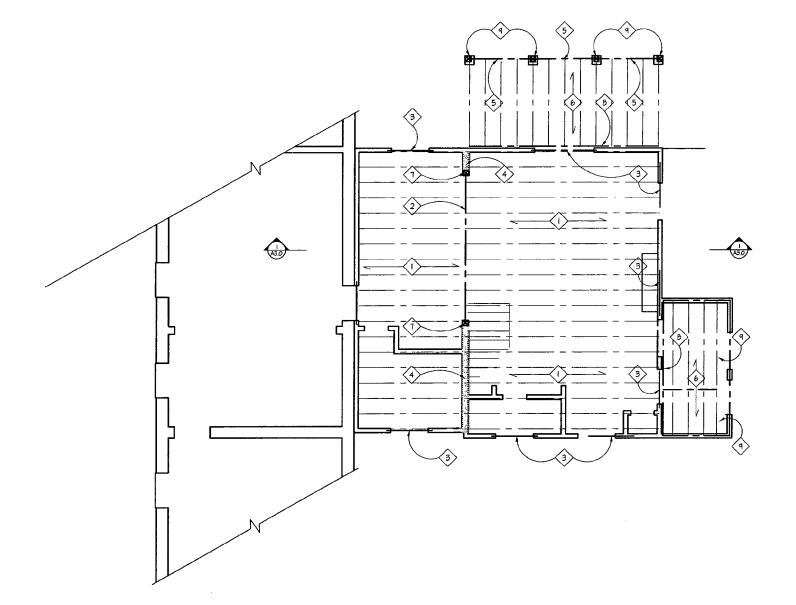
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CONSTRUCTION NOTES

12" TJI's, OR 2x12's e 16" O.C.

(3) 1-3/4" x 11-7/8" LVL BEAM BELOW JOISTS

2X6 @ 16" O.C. LOAD BEARING MALL BELOW

P.T. (9) 2x10 BEAM IN SAME PLANE AS JOISTS

P.T. 2x10's e 16" O.C.

5-1/4 × 5-1/4 PSL POST

2xIO P.T. LEDGER

6x6 POST

2x8's @ 16" O.C., RAFTERS & CEILING JOISTS

(2) 2x8's P.T. BEAM

10 A D 20084 20130 MASCHE R DICKERSON, MD 1 SECOND FLOOR FRAMING PLAN

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CHISWELL **FARM** 

REVISIONS: ⚠ REV. 02\_22\_01

SEAL:

GENERAL NOTES

1. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)

2. BOTTOM OF ALL FTSS SHALL BE MIN OF 2'-6' BELOM FINISHED GRADES (TYP) OR AS SHOWN ON DRAWINGS.

OR AS SHOWN ON DRAYINGS.

S. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EXILAL CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANIF RECOMMENDATIONS.

PROVIDE SIMPSON H2.5 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 242 STRAPS CONNECTING TOP OF SHEARMALL TO DOUBLE HEADER.

5, ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1 OR LVL POST NO BUILT-UP STUDS ALLOWED.

6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS

7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.

8. PROVIDE SQUASH BLOCKS & EACH SIDE OF TJI JOISTS & LOAD BEARING WALLS PER MANUFACTURER DETAILS. 9. INSTALL CHIMNEY ANCHORAGE STRAPS AS PER IRC, 2000 EDITION TABLE RICO3J AND FIGURE RICO3J

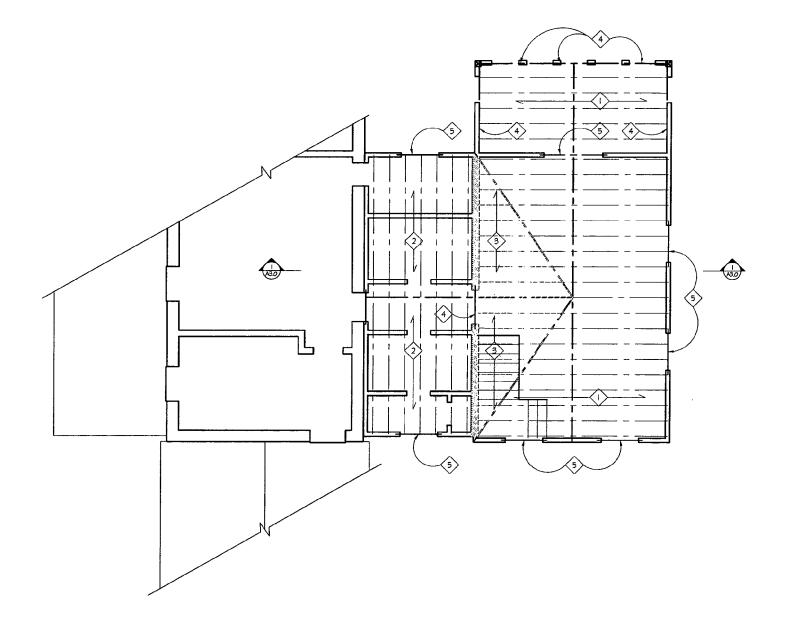
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PROJECT NO. 2004243 02.22.07

**S1.2** 

SECOND FLOOR FRAMING PLAN 512 SCALE: 1/4"-1'-0"



CONSTRUCTION NOTES

ROOF TRUSS A, SEE 2/A3.0

2 ROOF TRUSS B, SEE 3/A3.0

3 OVERBUILD

(3) 2x10 BEAM

5 (2) 2x10 HEADER

6 2x6 LOAD BEARING WALL BELOW

**ARCHITECTS** 

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ROAD 2084; 20130 WASCHE R DICKERSON, MD 11 ROOF FRAMING PLAN

CHISWELL FARM

⚠ REV. 02\_22\_01

## GENERAL NOTES

- I. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
- 2. BOTTOM OF ALL FT65 SHALL BE MIN OF 2'-6" BELOM FINISHED GRADES (TYP.) OR AS SHOWN ON DRAWINGS.
- ON AD STATEM ON MANAGEMENT, BEAMS AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL CONFLICTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF RECOMMENDATIONS.
- PROVIDE SIMPSON H2.5 OR H9 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 242 STRAPS CONNECTING TOP OF SHEARMALL TO DOUBLE HEADER.
- 5. ALL MOOD POSTS SHALL BE SOUTHERN PINE No.1 OR LVL POST NO BUILT-UP STUDS ALLOWED.
- 6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS
- PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.
- 8. PROVIDE SQUASH BLOCKS & EACH SIDE OF TJI JOISTS & LOAD BEARING WALLS PER MANUFACTURER DETAILS.
- INSTALL CHIMNEY ANCHORAGE STRAPS AS PER IRC, 2000 EDITION TABLE RICO3. AND FIGURE RICO3.

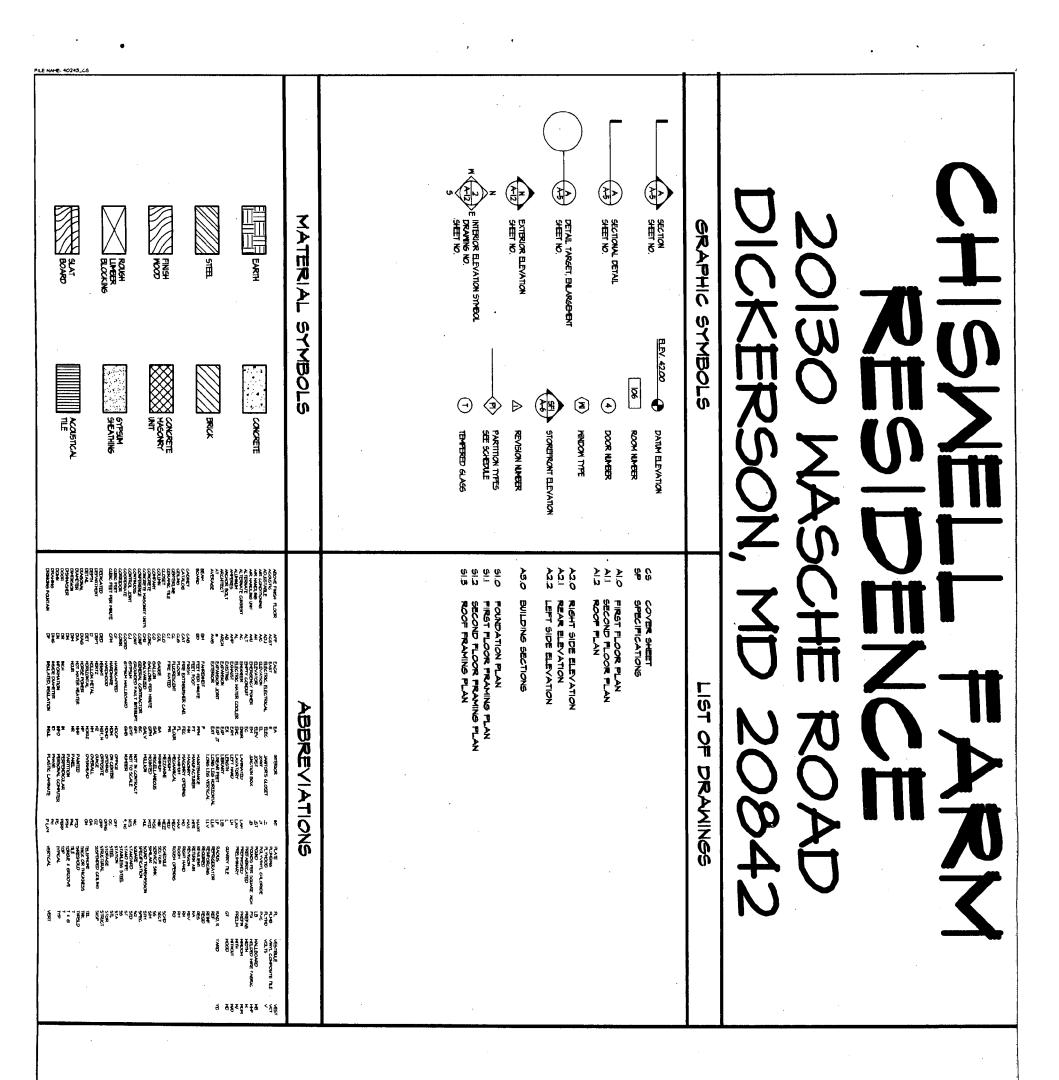
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DATE: 02.22.07 PROJECT NO. 2004243

**S1.3** 

ROOF FRAMING PLAN



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SCALE
AS NOTED

DATE:
02.22.01
PROJECT NO.
2004243
DRAWNE NO.

CHISWELL FARM

20130 WASCHE ROAD DICKERSON, MD 20842

COVER SHEET



#### SPECIFICATIONS FOR RESIDENTIAL CONSTRUCTION

The purpose of the fallowing specifications is to establish the level of quality required for both materials and workmaship. These notes are intended as a general authre, specific and additional requirements are indicated on the drawings. The contractor should also note that not all of the items mentioned below may apply to this project.

#### GENERAL REGUIREMENTS

. All work shall conform to the International Residential Code (IRC), 2000 edition and all replicable sections of the Montgamery County code for single family construction and all applicable building codes.

2. The General Contractor shall stake off area of new construction and designate trees and removal as required. Protect all landscaping beyond the areas of construction as

3. The General Contractor shall coordinate phasing and time limits for new construction with the oner so as to establish an acceptable payment schedule related to the status of the project.

f 4. Any permits required for the project shall be obtained by the General Contractor, unless ned otherwise by the Architect that the permit has been obtained 5. The General Contractor shall store materials and equipment in a safe and suitable place during

he construction process. The Owner is not responsible for any lasses of material. 6. All debris shall be periodically removed from the site sa as not to create a physical or visual

7. The General Contractor shall be licensed in Montgomery County, Maryland, and Shall guarantee the project, labor, and materials far a period of one year after the punch list is completed by the Architect and/or Owner, as per county laws.

8. The General Contractor shall provide competent daily supervision of the project.

 $\P$ . The General Contractor shall notify the related authorities for inspection of the work as related to the specific areas required by the county.

10. The General Contractor shall carry Workmen's Compensation insurance for every person employed by him on the premises and shall maintain such insurance in full force during the entire time of this contract. The Seneral Contractor shall carry Comprehensive General and Automotive Liability Insurance of \$25,000 to \$50,000 minimum. These requirements can be amended by the Owner if specified on the contract.

1. All drawings, specifications, and copies furnished by the Architect are the documents for the 11. At crumings, specifications, and capital not be used in any other circumstance.

12. The General Contractor shall confluily study the contract documents and report to the Architect any error, omission or inconsistency he may discover.

5. The General Contractor shall provide and pay for all labor, materials, equipment, tools, machinery and other facilities and services necessary for the proper execution and Completion of the Mark, and shall guarantee no mechanic ilens against the project at completion.
4. The Contract Sum is stated in the agreement and is the total amount payable by the Owner to

1994. The Contract sum is stated in the dependent and is the lotter that contract of such sold in the dependent of the work under the contract documents. A Change Order is a written order by the General Contractor, signed by the Owner, which designates the addition, deletion, or revision to the contract. The Change Order must also designate the change in the original contract sum.

5. At least seven days before the date of each progress payment established by the agreement, the General Contractor shall submit to the Architect and Owner on Itemized application designating which partian of the work has been completed.

#### DEMOLITION NOTES

I. Every care shall be taken during demolition to protect the house by means of temporary supports and braces as necessary to prevent any structural failure during removal and replacement of existing structural failure during removal and replacement of existing structural members.

2. Temporary walls and dust barriers shall be installed as necessary to prevent circulation of dirt and dust into partions of the house that are not part of the work.

3. All dashed walls, fixtures, windows, etc., are to be removed. See Demolition sheets for

4. Conduct all demolition aperations in compliance with applicable codes and ordinances. 5. Coordinate demolition with work of subcontractors.

6. Maintain the existing structure in a watertight condition or all times.

#### GENERAL STRUCTURAL NOTES

. Work shall be done in accordance with the IRC code, 2000 Edition.

 The design gravity live loads are as follows: Roof Load (snow) 30 LL + 15 DL = 45 PSF Living Spaces (1st Floor) 40 LL + 15 DL = 55 PSF

Steeping Spaces (2nd Floor) 30 LL + 15 DL = 45 PSF Exterior Decks 60 LL + 15 DL = 15 PSF Live Load Deflection Limitation for floors shall be L/360

Live Load Deflection Limitation for roofs shall be L/240

lacktriangledown . The foundation for the structure has been designed for the assumed bearing pressure of 2000 PSF. This is to be verified by the contractor prior to footings being poured. It is also assumed that there is no water condition present.

2. Bosement walls have been designed for an assumed equivalent fluid pressure of 55 PSF

3. Excavations for spread footings and continuous footings shall be cleaned and hand tamped to a

4. Slabs on grade shall be underlaid by a minimum of 4° of granular material having a maximum — sizes on grade snall be underliald by a minimum or 4 of granular material having a maximum aggregate size of 1.5 inches and no more than 2% fines. Prior to placing the granular material, the floor subgrade shall be properly compacted, proofrolled, iree of standing water, mud, and frazen sail. Before placement of concrete, a vapor barrier shall be placed on top of the granular fill.

5. Bottoms of all exterior factings shall be 2'-6" minimum below finished grade. Footings shall project a minimum of 12' Into undisturbed existing natural ground having allowable bearing capacity stated. Depths of footings subject to change if soil conditions are other than assumed.

#### MASONRY

. Brick shall conform to ASTM C-62. Mortar shall conform to federal specifications 55-C-101E-tupe 11. Lay brick only when outside temperature is 45 degrees (F) and rising. Protect all work from cold and frost and insure that mortar will cure without freezing. Calcium Chloride and antifreeze admixture will not be acceptable.

2. Bearing steel and wood beams shall be supported on solid masonry piers as indicated. Other structural members (Intels etc.) shall be supported on 8" of solid masonry. All beams and lintels shall have minimum harizontal bearing of 4".

3. Anchar bollts: Set anchor bolls or approved anchor straps as required. Bolls for wood sill plotes shall be 1/2" diameter and project 16" into masonry. Set bolls or straps 12" max. from end of

any plate.

4. Mosorry waits shall have harizontal wire joints reinforcement at least 16° O.C. vertically.

1. Idea of inlets on beams entering masorry party walls. 5. Provide 4" solid mosonry on all sides of jaists or beams entering mosonry party walls. 6. Brick Veneer:

Secure brick veneer with wall ties 16 GA zinc coated wall ties at 16" O.C. harizontally and

rerticulty. 3. Provide and set flashing at lintels, base courses, sills, spandrels, parapets and as nated on travings. Provide weep hales at the bottom of veneer and flashings at 24° O.C.

7. C.M.V.'s to have water repellent block admixture; Dry-Block' by W.R. Grace recommended. 8. Exterior mortar to have water repellent admixture.

#### ENERGY CONSERVATION

1. The following provisions for thermal resistance meet or exceed the requirements stipulated by the international Energy Conservation Code. These values are the minimum acceptable, see drawings for specific values required for the project.

Ceiling (of uppermost story) R-30 R-30 Vaulted Ceiling Frame Walls (with storm window or double glazing) Rim Joists Rim Joists Floors over unheated spaces (including floor overhangs)
Masonry Walls (enclosed heated R-30

living areas) Slab on grade (heated space) 24° perimeter insulation D.5.5 Double-Glozed Mindows Double-Glozed

3. Air Infiltration Windows: not exceeding five tenths (0.5) CFM of sosh crack.

A. Mindohis: not exceeding five tenths (0.5) CFM per fact of door area.

G. Skinging Doors: not exceeding rive tenths (0.5) CFM per fact of door area.

G. Skinging Doors: not exceeding one and twenty-five hundredths (1.25) CFM per square foo; of door area. Provide 1° fiberglass still sealer between foundation

D. Fill all construction (electrical and plumbing) holes, cracks, loose joints and spaces in rough froming and rough masonry with approved foam sealer or similar sealant.

#### CONCRETE

All concrete construction shall conform to the latest A.C.I. code 318

An concrete construction and continuit on the index Acts. Consider State.
 Concrete shall have notional sand. fine aggregates and normal weight coarse aggregates conforming to ASTM ISO, and shall have a minimum 28-day compressive strength(F/C) as follows:
 F/C = 2500 PSI for footings, interior states on grade and fill in concrete blacks.
 F/C = 3,000 PSI for foundation walls expased to weather.

F/C = 3500 PSI for drives, porches, walks, steps. F/C = 4,000 PSI for precast concrete units.

3. All poured in place concrete exposed to weather conditions, including the garage floor, shall be air we import on a price consider exposed to recurrent conditions, the training the garage floor, shall be entrained 6% of concrete volume. No calclim chloride or other admixtures shall be used except as approved in writing by the owner.

4. Slobs on grade, except where otherwise noted shall be min. 4" thick, reinforced with 6x6, 10/10 welded whire mesh to mesh 6'in each direction. Slabs shall be loid on a loyer of 6 mill pollyethylene over a 4' loyer of woshed grovel. Refer to drowings for location of thermal insulation. 5. Concrete finish: All exposed steps, stoops and slabs shall first have a steel trawel finish and then

6. Expansion joints: Non-propagic, owner approved, expansion joint material shall be cost in place where slabs abut masonry or concrete walls to prevent bonding between the two material

7. Curing: Exposed concrete surfaces shall be sealed with an approved chemical curing compound 8. Reinforcing steel: Reinforcing steel for the ties shall be intermediate grade deformed billet steel

conforming to ASTM spec. A615-40. All other retriforcing steel shall conform to ASTM spec. A615-60. Welded wire fabric to conform to ASTM A-105. Fabric shall be supplied in flot sheets and lapped to mesh at splices. All reinforcing shall be detailed, fabricated and installed in accordance with the latest detailina manual A.C.I. 315

¶. Reinforcement designated as "continuous" shall lap 36 bar diameters at splices unless nated

10. Harizantai footing reinforcement shall be continuous and shall have 40 degree bends and xtensions, or comer bars of equivalent size lapped 36 bar diameters, at corners and intersections

11. Faatings:

A. Battom of footings shall extend a minimum of 2"-6" below any surface subject to freezing: footings shall extend at least 12" into undisturbed soil or set on controlled compacted fill, Depth of footing subject to change if soil conditions are other than assumed. Bearing value of soil is assumed to be 2000 PSF with no water condition present. Minimum bearing value of contralled fill shall be certified by licenseo geotechnicol engineer.

12. Anchor boilts, set anchor boilts or approved straps as required. Balts for wood sill plates shall be 1/2" in diameter and project 8" into concrete; set straps or boilts 12" max from end of any plate and 4'-0" max 0.c. spacing.

#### HOOD & CARPENTRY

1. Unless otherwise noted on drawings, all structural wood members shall be #2 Southern Pine or equal,

the following combination of units stresses:

Extreme fiber stress in bending
Compression parollel to the grain
Compression parollel to the grain
Modulus of Elasticity Shear Stress
ISOO,000 psl

2. Manufactured roof and floor joists and trusses (if shown on drawings) must be designed and certified by a licensed engineer and submitted to the Architect and local building department for

approval.

3. Roof rafters and/or invises shall be connected at each bearing point with one prefab-90 psi galvanized rafter tie (hurricane clip) by Simpson or approved equal. Similarly, floor joists and trusses shall be connected with one prefabricated Joist hanger. Each anchor shall be 18 GA minimum thick .

f. Provide double joists under all parallel partitions, at joists that support headers, and at headers that support loists. Use loist hangers where applicable.

5. All joists and rafters shall be rigidly braced at intervals not exceeding 80°

6. Double studs at header bearing, double joists and rafters at all openings according to schedule below (unless noted otherwise an drawings):

Double 2 x 4 Up to 3'-0' Double 2 x 6 Up to 4'-0"
Double 2 x 8 Up to 5'-0"

Double 2 x 12 Up to 8'-0 All double headers and joists shall be fastened together with a minimum of two rows of 16 d nails 12"

7. Provide blocking, banding, crush blocks, stiffeners, or rim joists, as required, at jaist ends. 8. Floor joists shall have a minimum bearing of 2° on framed walls. All beams shall have minimum bearing of 4° bearing on all supports. Provide malsture protection to end of beams packeted into

4. Wood joists, studs, and beams shall not be cut or notched unless authorized by the architect. Drilled holes shall be centered at mid-depth of the member and the hole diameter shall not exceed 1/3 the actual depth of the member. No holes shall be drilled within 2' from the ends or within the middle 1/3 of the soon Fravide 4" clear between hales.

10. Existing conditions shall be verified by the contractor. Any existing damaged wood members shall dentified and replaced by the contractor II. Contractor shall be responsible for providing necessary bracing and sharing of existing members

and walls while altering the structure. 12. Provide 2x4 Intermediate blocking at all bearing and non-bearing partitions

13. All pliphoad shall be APA span rated. Use exterior grade plyhood wherever edge of face will be exposed to weather. Interior plyhood exposed to weather during construction shall be Exposure I

marurum. A. Exterior wall sheathing shall be 1/2° plywood valess noted atherwise. B. Subfloaring shall be 3/4° longue ( groove plywood, glued and screwed to the floor joists as per

C. Roof sheathing shall be 1/2" physicod (3/4" where roofing is Slate or Tile). Provide "H" clips at butt

joints of roof sheathing.

4. MICRO-LAM L.V.L. (laminated veneer lumber) beams shall be manufactured by Trus Joist MacMillian or approved equal. Beams shall be installed according to manufacturer's recommendations. When fastening two or more beams tagether, provide a minimum of two rows of 16d nails 12° on center.

5. TJI Floor Joists are to be manufactured by Trus Joist MacMillian or approved equa

6. Install as per monufacturer's recommendations

The following wood elements are to be pressure treated with preservative

A sill places resting on concrete or masonru walls Sill blotes resting on concrete stabs on grade

masonry walls and have less than 1/2"

D. Sili piaces results which enter concrete or mosonny walls cleanance on tops, sides, and ends. D. Sleepers resting directly on concrete slabs. E. Exterior parch and deck framing, decking, and stairs.

7. Exterior Trim:

11. Exterior from:
A. All exterior trim shall be clear pine or reducad.
B. All trim shall be primed on both sides prior to installation.
C. All outside corners shall be miltered. No butt joints will be accepted.

10. Siding:
A. Refer to drawings for siding material.
B. Prime siding front 4 back prior to installation. 19. Coordinate all floor and wall framing with ductwork. Refer to mechanical notes.

1. Structural steel shall conform to ASTM A36. 2. All steel angles, lintels, beams, columns, etc. are to be shop primed with red lead ar red oxide primer or approved equal. Structural steel at or below grade shall be pointed with two coals of an asphaltic base point and pratected with a minimum of 2° solid masonry or concrete.

3. For all openings or recesses in brick or brick-faced masonry walls not specifically detailed. provide one steel angle for each 4" of woil thickness. Provide lintels according to the schedule below:
Lintel Masonry Openina Min. Bearing

L 3-1/2 x 3-1/2 x 1/4	Up to 3'-0"	4*
L 3-1/2 x 3-1/2 x 5/16	3'-1' to 4'-0"	6.
L 4 x 3-1/2 x 1/4	4'-1" to 5'-0"	6"
L 4 x 3-1/2 x 5/16	5'-1" to 6'-0"	6"
L 5 x 3-1/2 x 5/16	6'-1" to 7'-0"	· 8*
L 6 x 4 x 3/8	7'-1" to 8'-0"	8*

Note: For openings greater than 8'-0", consult with architect and engineer

#### RADON DETECTION AND TREATMENT

1. The contractor shall provide a venting system consisting of a minimum of 3° diameter ABS, PVC or equivalent gas-tight plumbing pipe inserted into the sub-slab gravel base (at all new concrete slabe). A Tritting or equivalent method shall be used to ensure that the pipe opening remains within the sub-slab permedible moterial. The pipe shall terminate at least 12" above the high side of the roof penetration. Contractor shall coordinate location of pipe with architect prior to installing line pipe.

2. Install per IRC, 2000 edition, Appendix F Radon Control Methods.

3. The contractor shall provide any other measures as required by local cades

#### VENTILATION

1. Attle spaces are to be vented in one of the following ways (refer to drawings for specifics): A. Continuous ridge venting and continuous soffit venting. Ridge vent shall be by Cor-A-Vent or appraved equal. Continuous screened soffit vents shall be a minimum of 2" wide. Circular lower vents between each rafter may be used at the soffits if shawn on the drawings. Screened 'owers or vents with an open area equal to one square foot for every 300 square feet

2. Provide foundation vents for all crawl spaces. Refer to drawings for location

3. Venting for appliances and exhaust fons:

A Provide venting to the exterior as per manufacturer's recommendations for all appliances. Location of ductwork and vent on exterior shall be approved by

appliances. Location or authorized and vent on exterior shall be approved by architect prior to installation.

B. Provide exhaust fans for bothnooms, etc., as shown on drawings. Location of ductwork and vent on exterior shall be approved by architect prior to installation.

#### DRAINAGE, SEALANTS, & MOISTURE PROOFING

1. Appropriate scalants shall be selected for each substrate depending upon location (interior or exterior), humidity, moisture conditions, and traffic conditions. Use primers as required.

Color of coulking shall be coordinated with adjacent materials.

3. Joint fillers shall be used:

B. To control the depth of secilants in joints.

B. To meet the requirements for resillent separations in horizontal joints in floor, pavements, potios, sidewalks and other light traffic areas.

4. Bond breakers shall be used to prevent adhesion to more than two surfaces. 5. Masonru foundations shall be paraed to a thickness of 3\4" minimum.

6. Apply a waterproof membrane to all foundation walls.

7. Footing drains shall be a min. 4" in diameter and installed on the exterior of all All trackings shall be installed according to the hyliding code. An eave flashing strip of mineral surfaced roll roofing shall be applied to extend from the edge of the roof to a point 12° min. Inside the interior wall line of the structure.

4. All membrane roofing to be approved by architect prior to instaliation.

O. All roof shingles to be approved by architect ortor to installation

#### GYPSUM WALLBOARD:

I. Gypsum wallboard shall be ASTM C-36 as follows.

A. Requiar (1/2"): except where noted.

B. Water resistant (1/2") at bothroom cellings and walls that are not tiled

. Durock interior tile backer board (1/2") : at all surfaces that have tile. 2. Guosum boards shall have tapered edges to accommodate joint reinforcement. Provide edge corner beads, trim, toping, and joint compounds as required for the proper

completion of the job. Materials shall be by U.S. Supsum or approved equal

 Required finish:
 A at all joints and interior angles, apply tape embedded in joint compound, and apply three separate coots of joint compound over all joints, angles, fasterer heads, and accessories B. Leave surfaces smooth and free of tool marks and ridges.

#### HARDWOOD FLOORING:

Provide wood strip flooring where shown on the drawings.

have a minimum of two days to make a selection.

2. Wood strip flooring to be ook to motch existing in size and grain, and be "prime" graded in accordance with the National Oak Flooring Manufacturer's Association.

3. Install flooring in strict accordance with the recommendation of the National Oak Flooring Manufacturer's Association, 4. After the floors have been sanded, the flooring contractor shall apply a minimum of four stain and

#### CERAMIC TILE:

1. Provide ceramic tille and accessories in accordance with the Tille Council of America Specifications 137.1. in colors and patterns to be specified by the awner.

Setting materials comply with pertinent recommendations contained in the Tile Council of America Handbook for Ceramic Tile Installation

urethane samples in two look by two foot areas on the floor for the owner to review. The owner shall

3. Installation comply with ANSI AIOS.I, ANSI AIOS.2, and the "Handbook for Ceramic Tile installation" of the Tile Council of America.

A. Extend tile into recesses and under equipment and fixtures to form a complete

andibining tiles on floor, base, trim, and walls are the same size.

covering without interruptions.

B. Terminate tile neath, at obstruction, edges, and corners, without disruption of

D. Layout tile work and center the tile fleids in both directions in each space or on each wall area.

4. Replacement Reserve: Contractor shall furnish owner with one unopened box of additional tile for future repairs and maintenance

. All marble shall be cut, polished, and set according to the Italian Marble industry Standards.

edges to prevent edge follure. All intered and butt joints shall fix tight and require no filling. Tiles shall be set with ninlinal grout joints max 3/32". 2. Marble faces and all expased edges shall be palished. All carners shall be fully mitered with eased

3. Refer to finish schedule for marble type and style.

4. Tile shall be set according to the drawings with approved setting methad.

5. Replacement reserve: The contractor shall furnish to the Owner one unopened box of additional tiles for future repairs and maintenance work.

#### CARPET:

. Provide corpeting as shown on the drawings.

2. Contractor to provide an allowance of \$30.00/5Y for providing and Installing all corpet and padding. Contractor's lump sum to be adjusted up an down to reflect actual installed cost of corpeting to contractor, supported by invokes from supplier

#### VINYL TILE:

1. Installation of all vinyl composition tile (VCT) shall be done in a manner which conforms with the iollowing standards: A ASTM F 648

G ASTM F 662

2. Replacement reserve: Contractor to furnish owner with one unopened box of additional tille for future repairs and maintenance.

#### PAINT:

1. All paint and primers to be Benjamin Moare or approved equal. Refer to schedule for colors and

types. 2. All surfaces to be pointed shall receive one primer coat and two finish coats 3. All point shall be applied accordingly to manufacturer's recommendations.

#### ARCHITECTURAL WOODWORK AND TRIM:

. All millhork trim, and molding shall be installed accordingly to the quality standards of the Architectural Moodwork institute

2. All interior trim and millwork shall conform to AWI "custom standards"

3. Flat trim shall be clear pine or approved equal.

4. All corners of trim and siding are to be mittered. Exposed end grains will not be accepted. 5. All milliwork and trim shall be installed by craftsman with experience in work of this type. All work

shall be first class in every regard and consistent with the best practices of the trade

#### FIRE AND LIFE SAFETY

. Stairs: A. B 1/4" max rise

B. 4" min tread C. 6'-8" min head raom

D, 0 - 0 minimed tools.

D, Height of handralls shall be continuous, 30" (min) to 34" (max) above finished stair treads. Handralls required at stairs with 3 or more risers.

E. Guardralls shall be 36" (min) to 42" above finished floor.

2. Provide a clear window apening of 5.7 square feet with no less than 20° clear windo and 24° clear high for steeping area. The still of this window shall be no more than 44° above the finished

3. Provide safety glass in all exterior doors, storm doors, sliding glass doors, shower doors and tub enclosures where the gloss is closer than 18° to the floor and exceeds 6 sq. ft. in area.

4. Ground metal siding. 5. Smoke detectors shall be provided on every floor and integrated with the electrical system

6. Flues shall be class B except solid fuel flues which shall be class A. 7. Top of flue shall be 2'-0" minimum above any part of structure within 10'-0" of flue

8. Interior finish of walls and ceiling shall have a flame spread rating not greater than class III Corneling shall meet Federal regulation DOC FF-L 9. Prefab fireplaces shall be (UL) rated and installed according to manufacturers specifications.

ELECTRICAL & LIGHTING NOTES 1. Electrical contractor shall size and arrange all circuits in accordance with the Notional Electric Code os well as all local codes. Service to be upgraded as required.

2. Wall outlets are to be mounted 1'-6' above finished floor unless noted otherwise 3. Switches are to be mounted 4'-0' above finished floor unless noted otherwise. 4. Mounting heights are to the vertical center of the equipment to the finished elevation of the floor 5. All new switch t outlet styles are to be approved by owner prior to installation

#### 6. Provide hardwired smoke detectors on all floors, located as per Montgamery County Code

Edition, as well as all local codes

PLUMBING NOTES

MECHANICAL NOTES 1. All work shall be done in accordance with the International Residential Code (IRC), 2000 Edition, as well as all local codes.

1. All work shall be done in accordance with the International Residential Code (IRC), 2000

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ARCHITECTS

10415 ARMORY AVENUE

(301)942-9062

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(30) M42-3424 FAX

LENSINGTON, MD. 20845

# Ш CHISWI 霳

REVISIONS REV. 02\_22\_01

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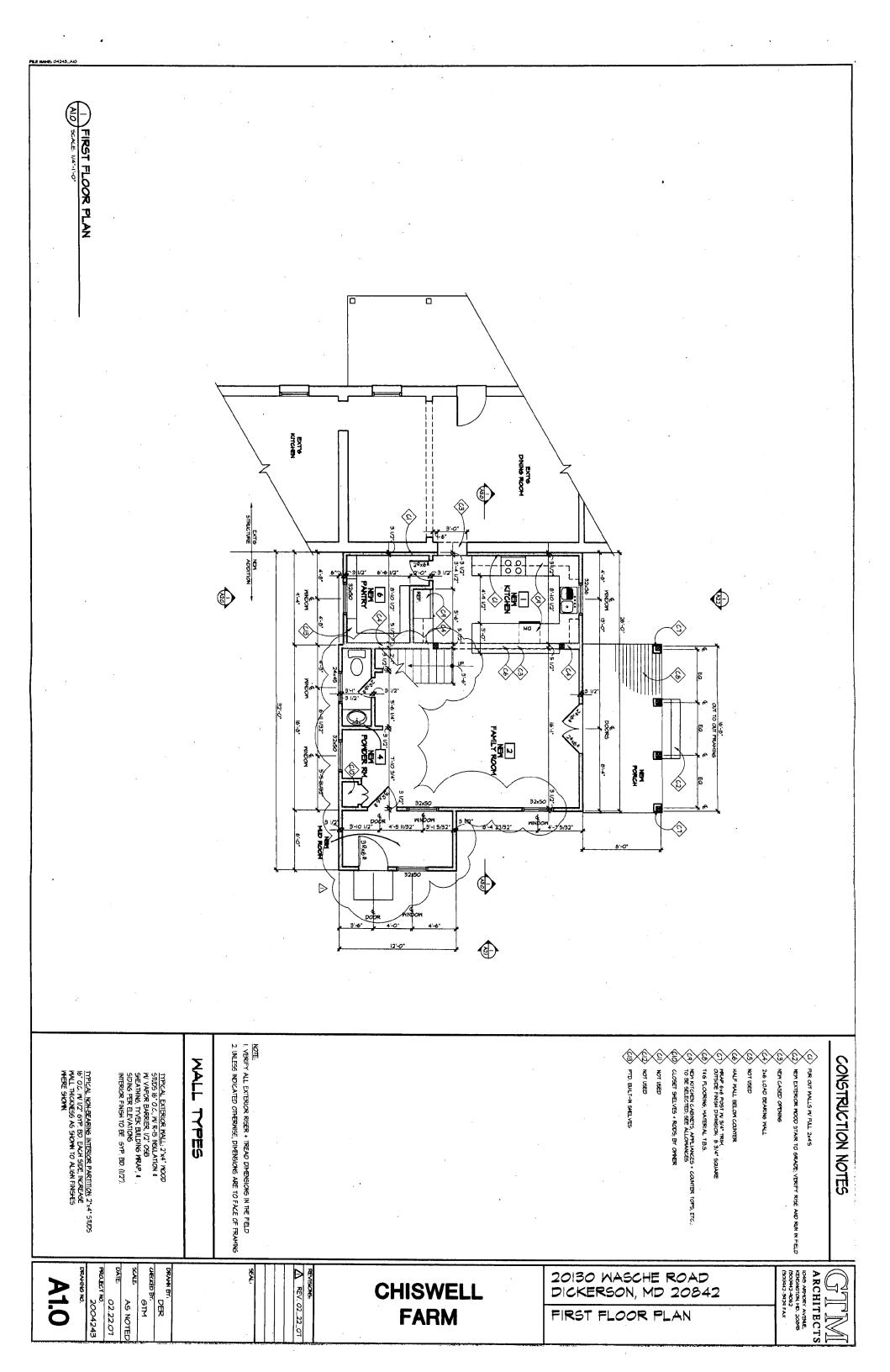
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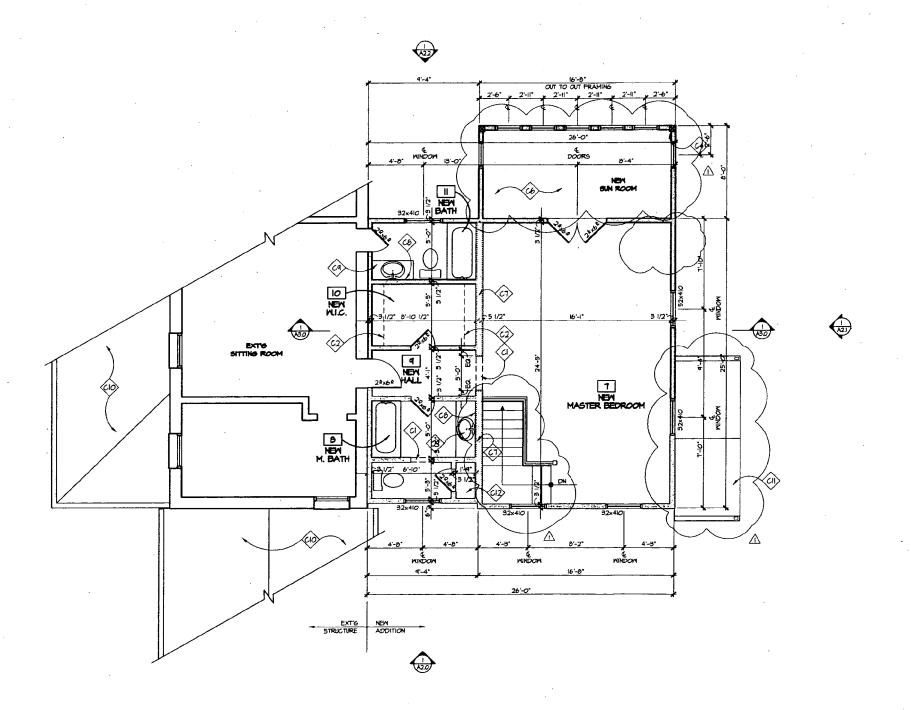
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DATE 02.22.07 PROJECT NO.

2004243 DRAWING NO

SP





SECOND FLOOR PLAN

A.I SCALE: 1/4"-1"-0"

## CONSTRUCTION NOTES

(C) NEW CASED OPENING C2 CLOSET SHELVES + RODS; BY OWNER (3) PTD. SMOOT RAILING SYSTEM; SEE ELEVATIONS WRAP 6x6 POST W 5/4" TRIM, OUTSIDE FINISH DIMINSION; 8 3/4" SQUARE

C5 NOT USED (6) TAS FLOORING & PORCH, MATERIAL T.B.S.

2x6 LOAD-BEARING WALL

NOT USED

PROVIDE (5) EQUALLY SPACED SHELVES

ARCHITECTS

10415 ARMORY AVENUE. KENGINGTON, MD. 20845 (301)442-4062 (301)442-3424 FAX

20130 WASCHE ROAD DICKERSON, MD 20842 SECOND FLOOR PLAN

CHISWELL FARM

REVISIONS:

⚠ REV. 02\_22\_01

WALL TYPES

TYPICAL EXTERIOR WALL; 2"x4" WOOD STUDS 16" O.C., W R-15 INSULATION & W VAPOR BARRIER 1/2" 098 SHEATHING, TYVEK BUILDING WRAP, & SIDING PER ELEVATIONS INTERIOR FINISH TO BE GYP. BD. (1/2").

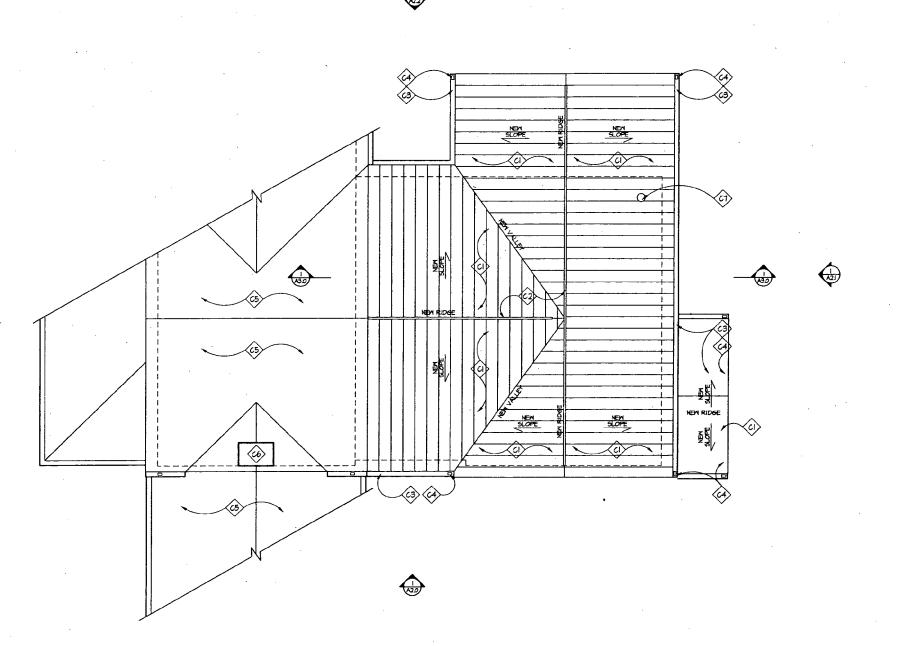
TYPICAL NON-BEARING INTERIOR PARTITION: 2°x4° STUDS 16° O.C. NV 1/2° 64°P. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.

GTM

SCALE: AS NOTED DATE 02.22.01

PROJECT NO. 2004243

**A1.1** 



ROOF PLAN
Al2 SCALE: 1/4"-1"-0"

ROOF NOTES

(CI) NEW METAL ROOF, T.B.S.

RIDGE VENTS BY "COR-A-VENT" OR APPROVED EQUAL.

3 NEW GUTTER, TO MATCH EXT'S

4) NEW DOWNSPOUT, TO MATCH EXT'S

(5) EXISTING ROOF

(6) EXISTING CHIMNEY

6AS FIREPLACE VENT

GTM

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20130 WASCHE ROAD DICKERSON, MD 20842 ROOF PLAN

> CHISWELL FARM

REVISIONS:

⚠ REV. 02\_22\_01

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GENERAL ROOFING NOTES

PROVIDE WEATHER GUARD UNDERLAYMENT UNDER SHINGLES & ALL VALLEYS, & ALL PERIMETER AREAS (3'-O' BACK FROM FASCIA), AND ON ALL AREAS W SLOPE LESS THAN 4:12.

2. SEE FRAMING PLANS FOR OVERBUILD AREAS.

 INSTALL CHIMNEY ANCHORAGE STRAPS AS PER IRC, 2000 EDITION TABLE RICO3,1 AND FIGURE RICO3.1

4. INSTALL AND FLASH SKYLIGHTS PER MANUFAC.

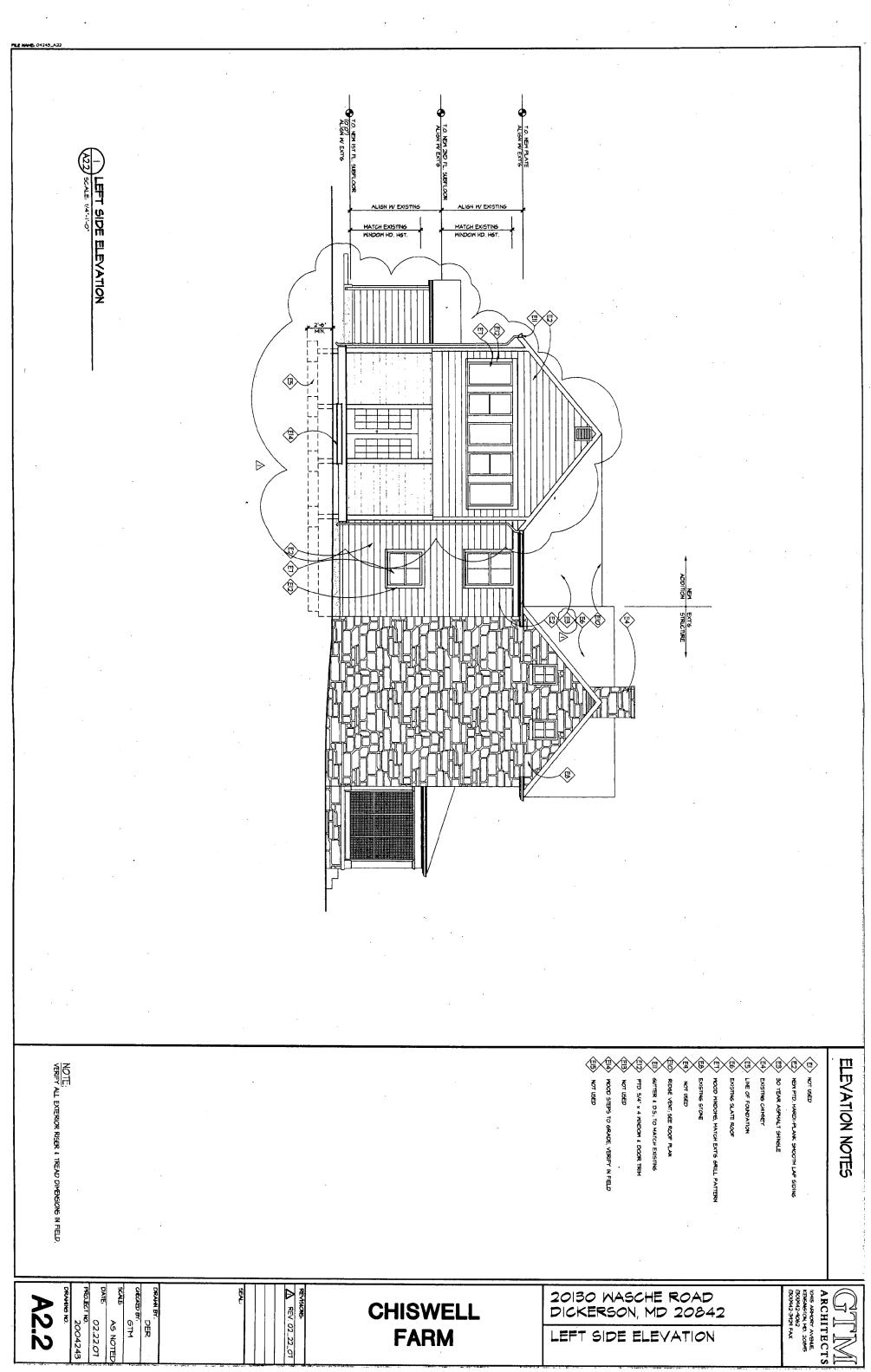
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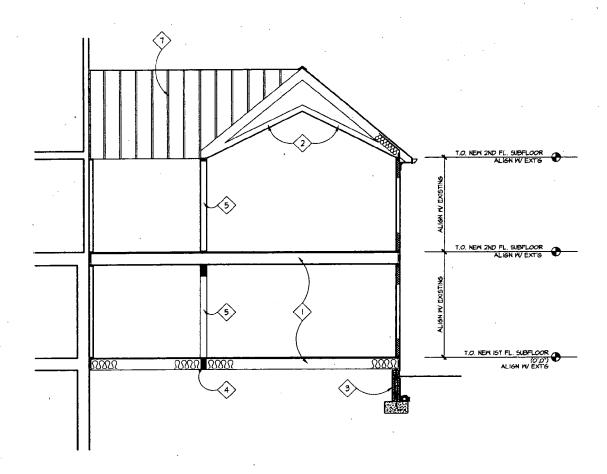
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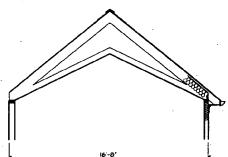
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A1.2





BUILDING SECTION
A30 SCALE: 1/4\*-1"-0"





## CONSTRUCTION NOTES

6 BUILD UP AS REOLD, TO CREATE HIP ON ENDS

1 TRUSS SYSTEM; SEE SECTIONS 3/A3.0

ARCHITECTS

10415 ARMORY AVENUE, KENSINGTON, MD. 20845 (301)442-9062 (301)442-3424 FAX

20130 WASCHE ROAD DICKERSON, MD 20842 BUILDING SECTION

CHISWELL FARM

A REV. 02\_22\_01

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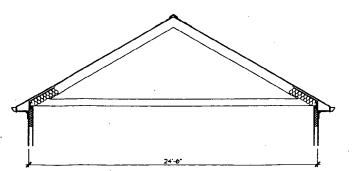
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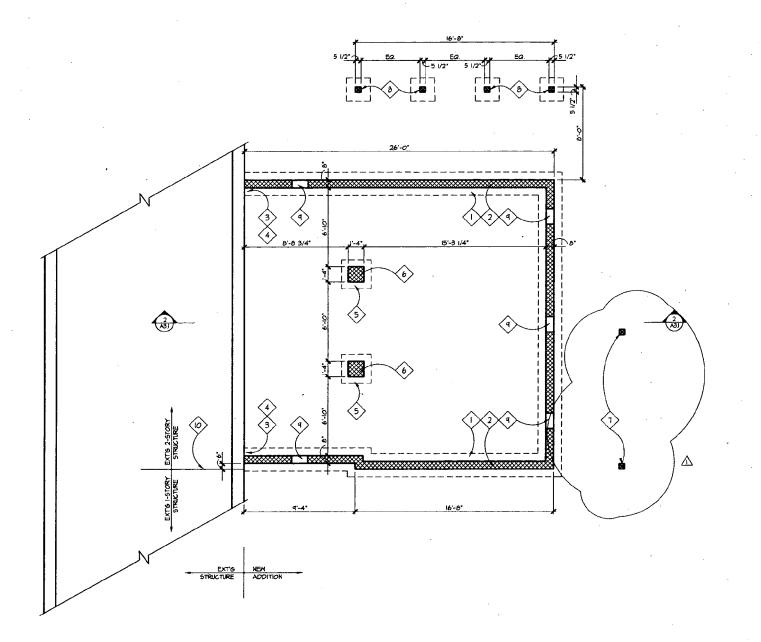
DATE: 02.22.01 PROJECT NO.

2004243

A3.0



2 ROOF TRUSS "A" SECTION
A3.0 SCALE: 1/4"-1"-0"



## CONSTRUCTION NOTES

DRILL & EPOXY (2)#5 DOWELS x 1'-6" W/ T' EMBED INTO EXT'S FTG.

MATCH BOTTOM OF EXT'S FTG.

16" CMU PIER, FILL SOLID

ARCHITECTS

10415 ARMORY AVENUE, KENGINGTON, MD. 20845 (301)442-4062 (301)442-3424 FAX

20130 WASCHE ROAD DICKERSON, MD 20842 FOUNDATION PLAN

CHISWELL FARM

⚠ REV. 02\_22\_01

GENERAL NOTES

I, CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)

2. BOTTOM OF ALL F165 SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP.) OR AS SHOWN ON DRAWINGS.

DER

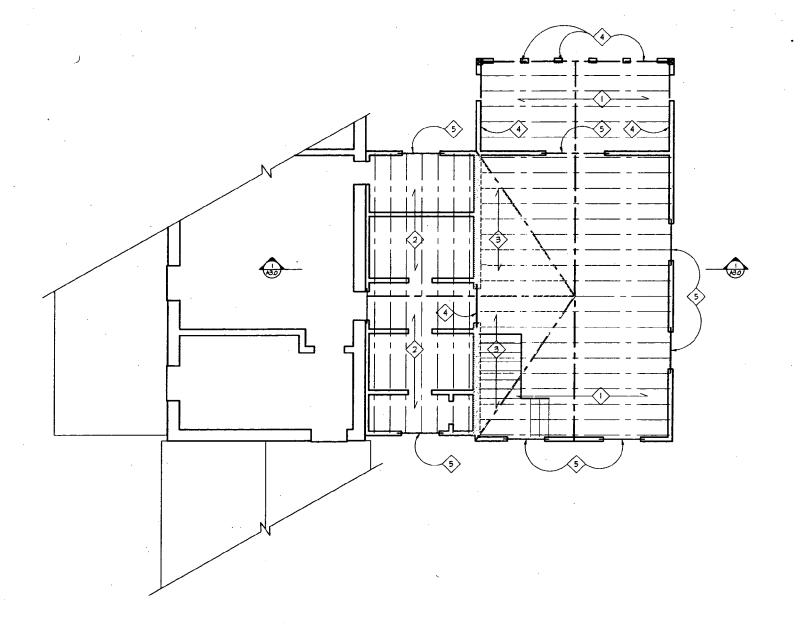
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DATE 02.22.07

2004243

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ROOF FRAMING PLAN

CONSTRUCTION NOTES

ROOF TRUSS A SEE 2/A3.0 ROOF TRUSS B, SEE 3/A3.0

OVERBUILD

(3) 2xIO BEAM

5 (2) 2xi0 HEADER

6 2x6 LOAD BEARING WALL BELOW

ARCHITECTS

10415 ARMORY AVENUE, KENGINGTON, MD. 20845 (301442-4062 (301442-3424 FAX

20130 WASCHE ROAD DICKERSON, MD 20842 ROOF FRAMING PLAN

CHISWELL FARM

⚠ REV. 02\_22\_01

## GENERAL NOTES

- I. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
- 2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-6' BELOW FINISHED GRADES (TYP.) OR AS SHOWN ON DRAWINGS.
- CR AS SHOWN ON DRAWINGS.

  SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL CONECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF RECOMMENDATIONS.
- PROVIDE SIMPSON H25 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS, PROVIDE ST 242 STRAPS CONNECTING TOP OF SHEARMALL TO DOUBLE HEADER.
- ALL MOOD POSTS SHALL BE SOUTHERN PINE No.1 OR LYL POST NO BUILT-UP STUDS ALLOWED.
- 6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS
- 1. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.
- 8. PROVIDE SQUASH BLOCKS & EACH SIDE OF TJI JOISTS & LOAD BEARING WALLS PER MANUFACTURER DETAILS.
- 9. INSTALL CHIMNEY ANCHORAGE STRAPS AS PER IRC, 2000 EDITION TABLE RICOGJ AND FIGURE RICOGJ.

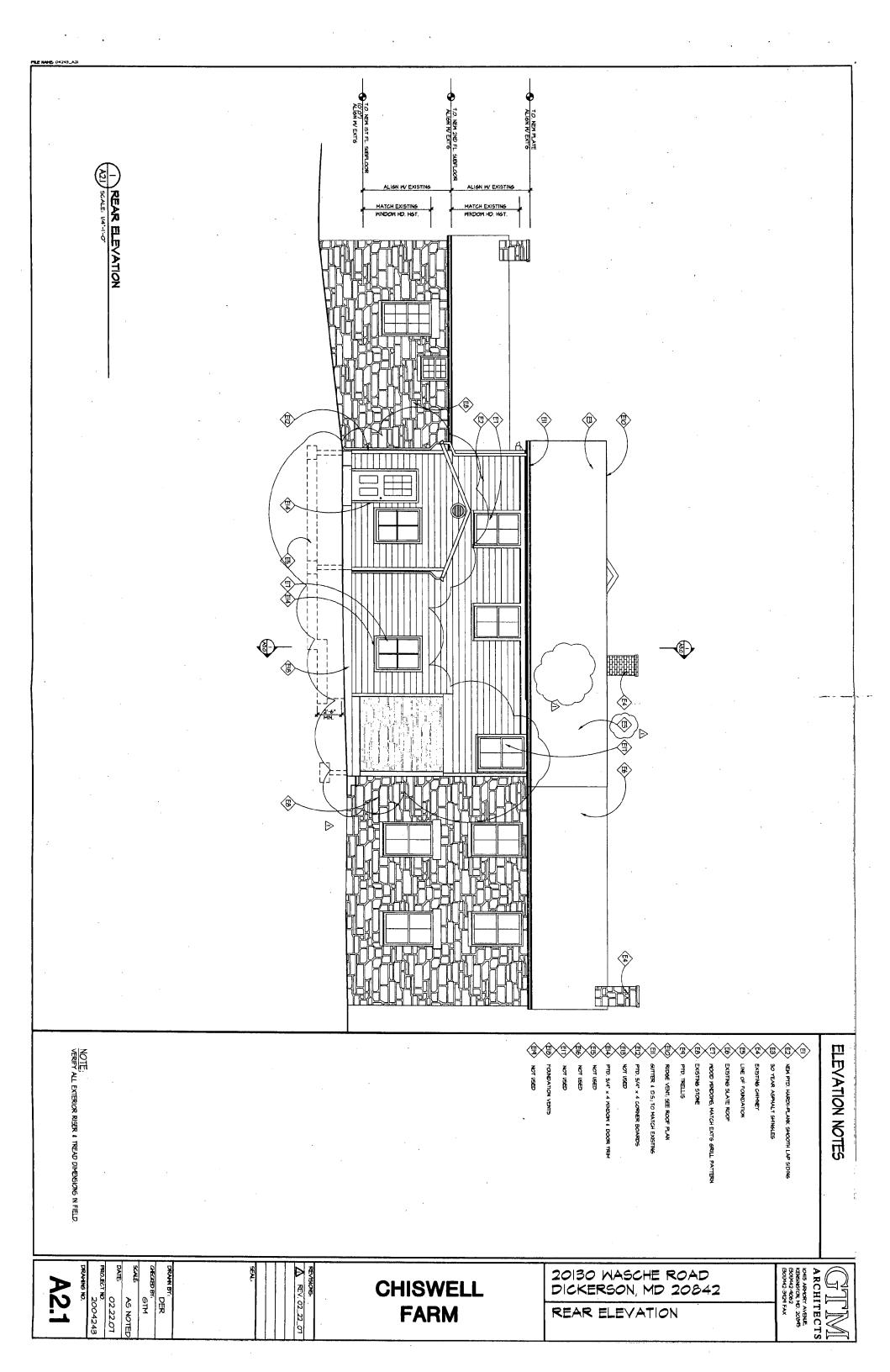
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AS NOTED

DATE 02.22.01

2004243

**S1.3** 



EN OT USED

EM PTD. HARDI-PLANK SMOOTH LAP SIDING

EM STUAR ASPINALT SHINGLES

EM ENISTING FORCH

ED LINE OF FOANDATION

ED LINE OF FOANDATION

ED ENISTING SLATE ROOF

ENISTING SLATE ROOF PLAN

ED ENISTING STONE

ENISTING FOO. TO MATCH ENISTING

ENISTING PTD. 5/4\* x 4 KINDOM & DOOR TRIM

ENISTING STONES

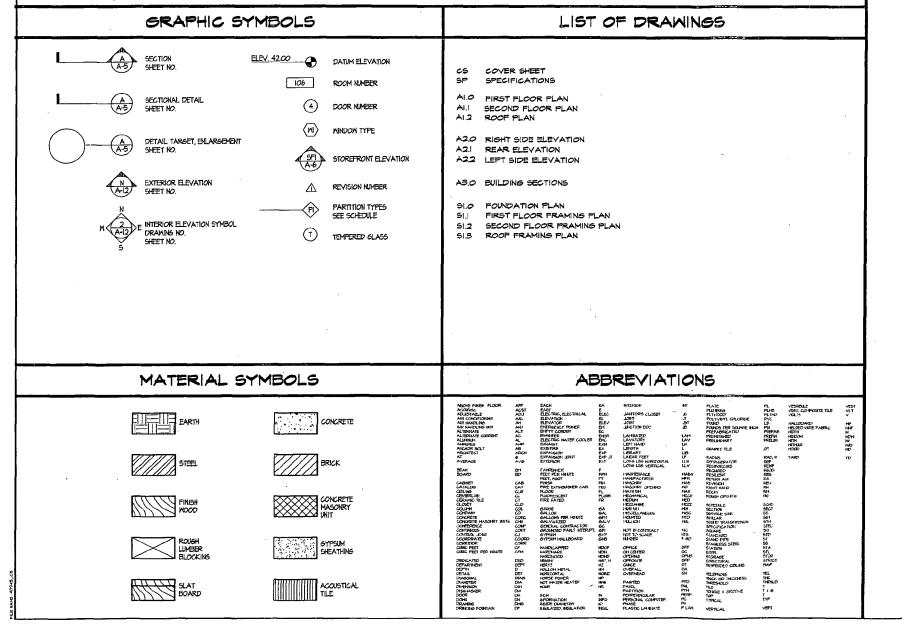
ENISTING STO **ELEVATION NOTES** NOTE; Veriey all exterior riser ( tread divensions in Field. ORAM BY:
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LOSS ABLORY NOBLE
LOSSINGTON NO 20095
(200142-002)
(200142-002) 20130 WASCHE ROAD DICKERSON, MD 20842 A2.0 **CHISWELL** AS NOTED 02.22.01 **FARM** RIGHT SIDE ELEVATION

# CHISNELL FARM RESIDENCE

20130 WASCHE ROAD DICKERSON, MD 20842



ARCHITECTS

10415 ARMORY AVENUE, KENSINGTON, MD. 20045 (301)442-4062 (301)442-8424 FAX

20130 WASCHE ROAD DICKERSON, MD 20041

CHISWELL FARM

REVISIONS:

DRAWN BY,

DER

CHECKED BY:

GTM

AS NOTED

DATE:

06.16.04

**APPROVED** 

**Montgomery County** 

76.16.04 PROJECT NO. 2004243

CS

#### SPECIFICATIONS FOR RESIDENTIAL CONSTRUCTION

The purpose of the following specifications is to establish the level of quality required for both materials and workmanship. These notes one intended as a general outline, specific and solition requirements one indicated on the drawings. The contractor should also note that not all of the

#### GENERAL REQUIREMENTS

I. All work shall conform to the International Residential Code (IRC), 2000 edition and all applicable sections of the Hantgomery County code for single family construction and all applicable hulland codes.

 In the General Contractor shall stake off area of new construction and designate trees and shrubs for removal as required. Protect all landscaping beyond the areas of construction as

shrups for removal to respect to the condinate phasing and time limits for new construction with the covers on a to establish an acceptable pagnent schedule related to the status of the project.

4. Any permits required for the project shall be obtained by the General Contractor, wiless informed otherwise by the Architect that the permit has been obtained.

Informed otherwise by the Architect that the permit has been obtained in a safe and suitable place during the construction process. The Owner is not responsible for any losses of instantial.

6. All debris shall be periodically removed from the site so as not to create a physical or visual

7. The General Contractor shall be licensed in Montgomery County, Maryland, and shall guarantee the project, labor, and materials for a period of one year after the punch list is completed by the Architect and/or Owner, as per county laws.

8. The General Contractor shall provide competent daily supervision of the projec-

4. The General Contractor shall notify be related authorities for impaction of the work as related to the specific areas required by the county.
1. The General Contractor shall notify the related of the specific areas required by the county.
1. The General Contractor shall carry Norkmen's Compensation insurance for every person employed by the nor the premises and shall notation such insurance in full force during the entire time of this contract. The General Contractor shall carry Comprehensive General and Automotive Llability, inwarrance of \$35,000 to \$50,000 minimum. These requirements can be amended by the Owner if specified on the contract.

II. All drawings, specifications, and copies furnished by the Architect are the documents for the construction of this project only and shall not be used in any other circumstance.

12. The General Contractor shall carefully study the contract documents and report to the

12. The General Contractor shall carefully study the contract documents and report to the Architect any error, anission or inconsistency the may also also are reported and pay for all labor, materials, equipment, tools, machinery and other facilities and services necessary for the proper execution and completion of the kork, and shall guarantee on methanic liens against the project at completion. If. The Contract Sum is stated in the agreement and is the total anount poughble by the Owner to the General Contractor for the performance of the work under the contract documents. A Change Order is a written order by the General Contractor, signed by the Owner, which designates the addition, deletion, or revision to the contract. The Change Order must also designate the change in the ordinal contract sum.

15. At least seven days before the date of each progress payment established by the agreement, the General Contractor shall submit to the Architect and Owner an Itemized application designating which parties of the work has been completed.

#### DEMOLITION NOTES

L. Every care shall be taken during demolition to protect the house by means of temporary supports and braces as necessary to prevent any structural failure during removal and replacement of existing structural members.

2. Temporary valls and dust barriers shall be installed as necessary to prevent circulation of dirt and dust into partions of the house that are not part of the work

3. All dashed rialis, fixtures, windows, etc., are to be removed. See Demolition sheets for

4. Conduct all demailition operations in compliance with applicable codes and ordinances. 5. Coordinate demolition with work of subcontractors.

6. Maintain the existing structure in a watertight condition at all times

#### GENERAL STRUCTURAL NOTES

CHMERAL SHALLFURAL NOTES

1. Mork shall be done in accordance with the IRC code, 2000 Edition.

2. The design gravity live loads are as follows:
Roof Load (snowl 30 LL + 15 DL = 45 PSF
Living Spaces (18 Hoor) 40 LL + 15 DL = 58 PSF
sleeping Spaces (2nd Floor) 30 LL + 15 DL = 45 PSF
Exterior Decks 60 LL + 15 DL = 75 PSF
Live Load Deflection Limitation for Floors shall be L/360 Live Load Deflection Limitation for roofs shall be L/240

#### **FOUNDATIONS**

 ${f l}_{\star}$  The faundation for the structure has been designed for the assumed bearing pressure of 2000. PSF. This is to be verified by the contractor prior to footings being pointed, it is also assumed that there is no enter condition present.

2. Bosement walls have been designed for an assumed equivalent fluid pressure of 55 PSF.

3. Excavations for spread footings and continuous footings shall be cleaned and hand tamped to a

4. Sides on grade shall be underlaid by a minimum of 4° of granular material having a maximum aggregate size of 15 inches and no more than 2% tines. Prior to placing the granular material, the floor subgrade shall be properly composted, properledled, free of standing ruders, maximum forces soil. Before placement of concrete, a vapor barrier shall be placed on top of the granular till.

5. Bottoms of cill exterior footings shall be 2.2-6" minimum below finished grade. Footings shall project a minimum or 12" into undisturbed existing natural ground having allowable bearing capacitable. Depths of footings subject to change if sall conditions are other than assumed.

1. Brick shall conform to ASTM C-62. Mortar shall conform to federal specifications 55-C-181E-type II. Lay brick only when outside temperature is 45 degrees (F) and rising. Protect all Nork from cold and Frast and insure that mortar will our e without freezing.

Protect all serk from cold and frost and insure that mortar still cure without Freezing.

Calcium Chikvide and antifreeze admixture still not be acceptable.

2. Bearing steel and nood beams shall be supported an soild masonry plens as indicated. Other structural members (intels etc.) shall be supported an 8° of soild masonry. All beams and lintels shall have minimum horizortal bearing of 4°.

3. Anchor bottos. Set anchor bottos an approved anchor straps as required. Botts for isod still plates shall be 1/2° diameter and project 16° into masonry. Set botts on straps 12° max, from end of most other sets.

any plate.

A Masonry Halls shall have nonizontal wire joints reinforcement at least 16° O.C. vertically

Pravide 4" solid masonry on all sides of joists or beams entering masonry party walls 6. Brick Venzer:

. Great verses: . Secure brick veneer with wall ties 16 GA zinc coated wall ties at 16° O.C. horizontally and

vertikally.

B. Provide and set Floshing at lintels, base courses, sills, spandrels, parapets and as noted on drawings. Provide weep holes at the bottom of veneer and floshings at 24° O.C.

7. CMIJ/s to have noter repellent block admixture; Dry-Block' by NR. Grace recommended.

8. Exterior mortar to have water repellent admixture.

#### ENERGY CONSERVATION

1. The following provisions for thermal resistance meet or exceed the requirements stipvialed by the International Energy Conservation Code. These values are the minimum acceptable, see drawings for specific values required for the project

Ceiling (of uppermost story)
Vaulted Ceiling
Frame Walls (with storm window or double glazing) Rim Joists Finans aver unheated spaces Floors over unheated spaces
(including floor overhungs)
Masomy Halls (enclosed heated
living oreas)
Slab on grade (heated space)
24" perimeter insulation
Windows
Doors
Doors R-30 R-55

. Windows: not exceeding five tenths (0.5) CFM of sash crack

3. Sliding Glass Doars: not exceeding five tenths (0.5) CFM per foot of door area. C. Skinging Doors: not exceeding one and thenty-five hundredths (1.25) CFM per square foot of door area. Provide I' liberglass sill sealer between foundation

No. Fill all construction (electrical and plumbing) holes, cracks, loose joints and spaces in rough Framing and rough masonry with approved foam sealer or similar sealant.

mle-Glazed

All concrete construction shall conform to the latest ACJL code 316.
 Concrete shall have natural sand fire aggregates and normal weight coarse aggregates conforming to ASTM 150, and shall have a minimum 22-day compressive strength/FC/) as follows:
 yid s 2,500 PSI ton foothings whereor shoes an grade and fill in concrete blocks.
 FIG 52,500 PSI ton foundation walls exposed to veather.
 FIG 53,000 PSI for drives, porches, walls, steps.
 FIG 54,000 PSI for drives, proches, walls, steps.
 FIG 54,000 PSI for advers, proches, walls, steps.
 S. All poured in place concrete exposed to veather conditions, including the garage floor, shall be air extrained 68 of concrete exposed to veather conditions, including the garage floor, shall be air extrained 68 of concrete exposed to veather conditions, including the garage floor, shall be air extrained 68 of concrete exposed to veather conditions, including the garage floor, shall be air extrained 68 of concrete exposed to veather conditions, including the garage floor, shall be air extrained 68 of concrete exposed to veather conditions, including the garage floor, shall be air extrained 68 of concrete exposed to veather conditions, including the garage floor, shall be air extrained 68 of concrete exposed to veather.
 Stabs on grade, except where otherwise noted, shall be min. 4" thick, reinforced with 6x6, iO/IC veathed with making pages of 6" in each direction. Slabs be shall be laid on a layer of 6 mill polleptimen.

welded whe mest, lop mest of in each direction. Stabs shall be laid on a layer of 6 nil polyothylene over a 4" layer of washed gravel. Refer to cravings for location of thermal insulation. 5. Concrete thinkin. All exposed steps, staops and stabs shall first have a steel travel finish and then

ery light broom finish.

6. Expansion Johns: Non-organic, owner approved, expansion joint material shall be cast in place where slabs abut masonry or concrete walls to prevent bonding between the two materials. Curing: Exposed concrete surfaces shall be sealed with an approved chemical curing compound

1. Coming Expressional resistances static to excite that an approval destructioning conjugates within one hour of the final traveling.
8. Reinforcing steel. Reinforcing steel for the Ites shall be intermediate grade deformed billet steel conforming to ASTM spec. AGIS-60. All other reinforcing steel shall conform to ASTM spec. AGIS-60. Relided vine Edoric to conform to ASTM -485. Fabric, shall be supplied in flat sheets and lapped to mesh at splices. All reinforcing shall be detailed, fobricated and installed in accordance with the latest detailbloomers.

mud AC L 3i5 9. Reinforcement designated as "continuous" shall lap 36 bar diameters at splices unless noted

10. Horizontal Footing reinforcement shall be continuous and shall have 90 degree bends and nsions, or comer bars of equivalent size tapped 36 for diameters, at corrers and intersection

extensions, or come that non-expression expressions are present in Footings.

A Bottom of Footings shall extend a minimum of 2% of below any surface subject to freezing, footings shall extend at least 12' into undisturbed soil or set on controlled compacted fill, Depth of Jooting subject to change if soil conditions are other than assumed. Bearing value of soil is assumed to be 2000 PSF with no index condition present. Himinum bearing value of controlled fill shall be certified by

2000 Per latin no latter containin present, riminant bearing stille or contained in stall be bettired by a licensed good-childial regimeer.

12. Anchor botts: set anchor botts or approved straps as required. Botts for sood still plates shall be UZ\* in diameter and project 8' like concrete; set straps or botts 12' max Frain and of any plate and 4-0' max OC. speaking.

#### WOOD & GARPENTRY

I. Unless otherwise noted on drawings, all structural wood members shall be \$2 Southern Pine or equal, with the following combination of unit stresses:

Extreme fiber stress in bending 1200 psi

Compression parallel to the gran 1000 psi Compression parallel to the grain
Compression perpendicular to the grain
Modillus af Elast kity Shear Stress
1,000 psi
1,000 psi
1,500,000 psi

2. Manifactured roof and floor joists and trusses (if sharn an drawings) must be designed and certified by a licensed engineer and submitted to the Architect and local building appartment for

approval.

3. Roof rafters and/or trieses shall be connected at each bearing point with one prefab-90 psi galvanized rafter bio (hurricano clip) by Simpson or approved equal Similarly, floor joists and trusses shall be connected with one prefabricated joist hanger. Each anchor shall be 18 GA minimum thick .

44. Provide double joilst under all partiller partitions, at joilsts that support headers, and at headers that support Joilsts Use joilst hangers where applicable.

5. All joilsts and rafters shall be rigidly braced at intervals not exceeding 6'0'.

6. Double stude at header bearing, double joists and rafters at all openings according to schedule

Double 2 x 12 th to 8'-0' All double headers and joists shall be fastened together with a minimum of two rows of 16 d nails 12"

7. Provide blocking, bonding, crush blocks, stiffeners, or rim joists, as required, at joist ends.

8. Floor joists shall have a minimum bearing of 2° on framed Halls. All beams shall have minimum bearing of 4° bearing on all supports. Provide moisture protection to end of beams pocketed in

masonry walls

4. Wood joists, studs, and beams shall not be cut or notched unless authorized by the architect. Drilled

h, lead jobbs, such actions shall not be use in action and weeks administrating the centered of mich-depth of the member and the hole dameter shall not exceed the actual depth of the member. No holes shall be drilled within 2 From the ends or within the middle 1/9 of the spon, Provide 4° clear between holes.

the span, Provide 4" clear between holes.

10. Entirity conditions shall be verified by the contractor. Any existing damaged wood members shall be identified and replaced by the contractor.

11. Contractor shall be responsible for providing necessary bracing and shoring of existing members and walls while aftering the structure.

12. Provide 2x4 intermediate blacking at all bearing and non-bearing partitions.

II. Provide 2x4 Intermediate blocking at all bearing and non-boaring partitions.
3. All plymood shall be AA span roted. Use exterior grade plymood sharever edge of face will be exposed to realther, interior plymood exposed to meather during construction shall be Exposure ! minimum.
A. Exterior hall sheathing shall be 1/2\* plymood unless noted otherwise.
B. Subtlooring shall be 3/4\* tangue 1 groove plymood, glued and screwed to the floor joists as per ABA accommendations.

B. Subflooring shall be 3/4" tongue 4 groove plywood, glved and screwad to the Floor joists as per APA recommendations. C. Roof shealthing shall be 1/2" plywood (3/4" where noofing is Slate or Tile). Provide "H" clips at but

joints of roof sheathing.

14. HICRO-LAM L.V.L. (laminated veneer lumber) beams shall be manufactured by Trus Joist MacMillan

or approved equal. Because shall be installed according to manifacturer's recommendations. When feetening but or innover because together, provide a minimum of two rouse of lifed nails 12" on center. 15, 1.11 Floor Joists are to be manifactured by time Josh Machillian or approved equal.

6. Install as per manufacturer's recommendations

per resource per manufacturer's recommendations the following leved elements are to be preserver treated with preservative: A. Sill plates resting on concrete a lobs on grade.

B. Sill plates resting on concrete slobs on grade.

C. Ends of plates with enter concrete or masonry walls and have less than 1/2" clearance on tops, sites, and ends

D. Siepper's esting alreating on concrete slobs.

E. Eterlor porch and deak framing, deaking, and stairs.

T. Exterior Trim.

T. Exterior Irm:
 A. All exterior trim shall be clear pine or reduced.
 B. All trim shall be primed an both sides prior to installation.
 C. All outside corners shall be mittered. No but I joints will be accepted.

16. Siding:

A. Refer to drawings for siding material.

B. Prime siding front & book prior to installation.

[4]. Coordinate all Floor and wall Framing with duction. Refer to mechanical notes.

Structural steel shall conform to ASTN A36.

1, Shockard steel shall conform to ASTN A36.
2. All steel angles, linkels, beams, columns, etc. are to be shop primed with red lead or red oxide primer or approved equal, structural steel at or belon grade shall be painted with two coats of an apphalite base paint and protected with a minimum of 2° solid masonry or concrete.
3. For all openings are recesses in brick or brick-forced masonry unlike not specifically detailed, provide one steel angle for each 4° of wall thickness Provide linkels according to the schedule below.

Linte	Masonry Opening	tiin, Bearing
L 3-1/2 x 3-1/2 x 1/4	Up to 3'-0"	4"
L 3-1/2 x 3-1/2 x 5/16	3'-1" to 4'-0"	6.
L 4 x 3-1/2 x 1/4	4'-1" to 5'-0"	6.
L 4 × 3-1/2 × 5/16	5'-1" to 6'-C"	6"
L 5 x 3-1/2 x 5/16	6'4" to 7'-0"	8"
L 6 × 4 × 3/8	7'-1" to 8'-0"	8"

tipte. For openings greater than 8'-0", consult with architect and engineer.

#### RADON DETECTION AND TREATMENT

The contractor shall provide a ventic gistem consisting of a minimum of 3° clameter ABS, PVC or equivalent gas-tight plumbing pipe inserted into the sub-side gravet base (at all new concrete slope). A Tititing or equivalent insertion shall be used to ensure that the pipe opening remains within the sub-side permedite material. The pipe shall terminate at least 12° devore the high side of the roof penetration, contractor shall coordinate location of pipe with artificient prior to installing the pipe.

2. Install per IRC, 2000 edition, Appendix F. Radon Central Hethods.

3. The contractor shall provide any other measures as required by tocal codes

#### VENTILATION

A. Attic spaces are to be vented in one of the following ways (refer to drawings for specifics):

A. Continuous ridge venting and continuous sortier working. Ridge vent shall be by

Car-A-Vent or approved equal. Continuous screened soffit vents shall be a minimum of 2" kide.

Carcia-Vent vents between each rather may be used at the soffits if shown on the drawings.

B. Screened lowers or vents with an open area equal to one square loot for every 300 square feet at the care.

Provide foundation vents for atticratel spaces. Refer to dratings for location

3. Venting for appliances and entanet fore: A Frankle venting to the exterior as per manufacturer's recommendations far all appliances. Location of dioctronic and vent on exterior shall be approved by

crichillect prior to installation.

B. Provide enhant fans for both rooms, etc., as shown on drawings, becation of ductiverik and vent on exterior shall be approved by architect prior to installable

#### DRAINAGE, SEALANTS, & MOISTURE PROOFING

Appropriate sealants shall be selected for each substrate depending upon location (interior or exterior), hundrity, maisture conditions, and traffic conditions. Use primers as required.

Color of caulking shall be coordinated with adjacent materials.

2. Color of colleng stall be coordinated stall adjusters where the stall a stall be seed.

A. To control the depth of sealants in joints.

B. To meet the requirements for resilient separations in horizontal joints in floor, powements, paties, activations and other light traffic areas.

4. Band breakers shall be used to prevent adhesion to more than two surfaces.

. Masanru foundations shall be paraed to a thickness of 3\4' minimum

 Apply a violenproof membrane to all foundation wills.
 Pooling drains shall be a min. 4° in diameter and installed on the exterior of all 8. All flashings shall be installed according to the building code. An eave flashing strip of mineral

surfaced roll raping shall be applied to extend from the edge of the roof to a paint 12° min inside the interior hall time of the structure.

Il membrane roofing to be approved by architect prior to installation O. All roof shingles to be approved by architect prior to installation

#### FINISHES

GYPSUM WALLBOARD

Gopsin inditional shall be ASTH C-56 as follows.
A Region (1/2") except where noted.
A Noter resistant (1/2") a bothcom ceilings and walls that are not tited.
C Durock interior tile backer board (1/2") at all surfaces that have tile.

2. Gupsum boards shaji have tapered edges to accommodate joint reinforcemen Provide edge corner beads, trim, toping, and joint compounds as required for the prope completion of the job. Materials shall be by U.S. Gyrsum or approved equal.

A. Required little.
A total joints and interior angles, apply tape embedded in joint compound, and apply three separate coals of joint compound over all joints, angles, fastener heads, and accessaries.
B. Leave surfaces smooth and free of I coil marks and ridges.

#### HARDWOOD FLOORING:

e wood strip flaoring where shown on the drawings

2. Mood strip Flooring to be call to match existing in size and grain, and the "prime" graded in accordance with the National Oak Flooring Manufacturer's Association.

3. Install flooring in strict accordance with the recommendation of the Hational Oak Flooring Manufactures's Association Promocurer's Association.

A. After the Boors have been sanded, the Flooring contractor shall apply a minimum of four stain and urathone sumples in two foot by two foot areas on the Floor for the owner to review. The owner shall have a minimum of two days to make a selection.

#### CERAMIC TILE:

Denotes that their land accessories in accordance with the Tile Council of America Specifications 13T1, in colors and potterns to be specified by the owner.

2. Setting materials: comply with pertivent recommendations contained in the Tile Council of America Handbook for Ceramic Tile installation:

increasors for Ceramic title installation.

3. Installation: comply with ANSI AIOB (ANSI AIOB2, and the "Handbook for Ceramic Title Installation" of the Title Council of America.

A. Estend tille, into recesses and vider equipment and Histures to Form a complete.

covering without interruptions. B. Terminate tile neatly at obstruction, edges, and corners, +ilthout disruption of

4. Replacement Reserve: Contractor shall familish owner with one unopened box of additional tille for future repairs and maintenance.

. All marble shall be cut, pollshed, and set according to the Italian Marble Industry Standards

2. Marble faces and all exposed edges shall be polished. All corners shall be fully mitered with eased edges to prevent edge failure. All misered and but joints shall fit tight and require no tilling. Tiles shall be set with minimal grout joints max 3/32°.

3. Refer to finish schedule for marble type and style.

4. Tile shall be set according to the drawings with approved setting method

Replacement reserve: The contractor shall furnish to the Owner one unopened box of additional tiles for future repoirs and maintenance work.

#### CARPEL

. Provide carpeting as shown on the drawings.

2. Contractor to provide an allowance of \$30,00/5Y for praviding and installing all carpet and packing. Contractors lamp sum to be adjusted up or down to reflect actual installed cost of carpet to contractor, supported up invokes from supplier.

#### YINYL TILE:

Installation of all vinyl composition the (VCT) shall be done in a manner which conforms with the following standards:

A. ASTME 648

B. ASTME 64

2. Replacement reserve: Contractor to furnish owner with one unopened box of additional tille far future repairs and maintenance.

. All paint and primers to be Benjamin Moore or approved equal. Refer to schedule for colors and

hipses. 2. All surfaces to be pointed shall receive one primer coat and two finish coats. 3. All paint shall be applied accordingly to manufacturer's recommendations

#### ARCHITECTURAL HOODWORK AND TRIM

A. All millivers, brim, and molding shall be installed accordingly to the quality standards of the Architectural Hoodwork Institute.

2. All interior trim and milli work shall conform to Ahll "custom standards".

3. Flat trim shall be clear pine or approved equal.
4. All corners of trim and siding are to be millered. Exposed end grains will not be accepted.

5. All millisorit and trim shall be installed by craftsman still experience in such of this type. All work shall be first class in every regard and consistent with the best practices of the trade FIRE AND LIFE SAFETY

1. States
A 8 1/4" max rise
B 4" min tread
C, 6-8" min head room
D. Height of hardralls shall be continuous, 30" (min) to 54" (max) above finished stain treads. Handralls required at states with 3 or more risers.
E Guardralis shall be 36" (min) to 42" above finished floor.

2. Frovide a clear kindox opening of 5.1 square feet with no tess than 20° clear kilde and 24° clear kilde for sleeping area. The still of this kildox shall be no mare than 44° above the finished

3. Provide safety glass in all exterior doors, storm doors, slicting ginss doors, shower doors and tub enclosures where the glass is closer than 18° to the floor and exceeds 6° sq. ft. in area 4. Ground metal siding.

Smoke detectors shall be provided on every floor and integrated with the electrical system. 6. Flues shall be class B except solid fuel flues which shall be class A.

7. Top of the shall be 2°0° minimum above any part of structure within 10°0° of flue.

8. Interior finish of Halls and ceiling shall have a flame spread rating not greater than class III.

Carpeting shall meet federal requiation DOC FF-1. ¶. Frefab fireplaces shall be (UL) rated and installed according to manufacturers specifications.

ELECTRICAL & LIGHTING NOTES 1. Electrical contractor shall size and arrange all circuits in accordance with the National Electric Code as well as all local codes. Service to be upgraded as required.

2. Intill audits are to be mounted 1-61 above finished floor values noted otherwise.

3. Suitches are to be mounted 4'-0' above finished floor unless noted otherwise.

4. Hounting heights are to the vertical center of the equipment to the finished elevation of the floor:

All new switch t outlet styles are to be approved by owner prior to installation
 Frovide handwired smake detectors on all Floors, located as per Hantgomery County Code

#### MECHANICAL NOTES

PLUMBING NOTES

All Hort shall be done in accordance with the International Residential Code (IRC), 2000.
 Edition, as well as all local codes.

All work shall be done in accordance with the International Residential Code (IRC), 2000 Edition, as well as all local codes.

**APPROVED** Montgomery County Historic Preservation Commission ula DMa

ARCHITECTS 10415 ARMORY AVENJE

KENSINGTON, MD. 20845 (501)442-4062 (301)442-3424 FAX

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DER CHECKED BY 6TM SAF

06.16.04 PROJECT NO.

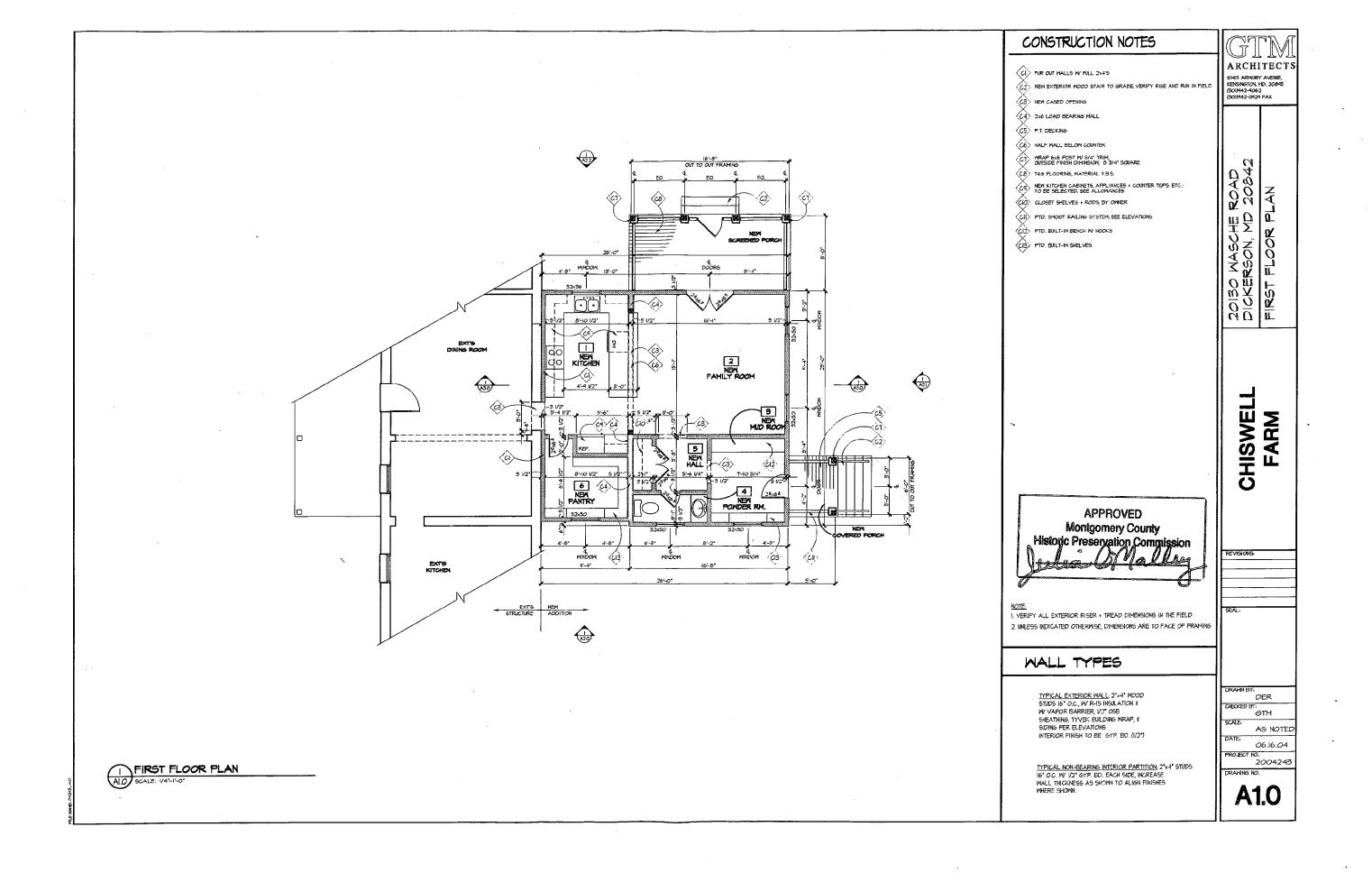
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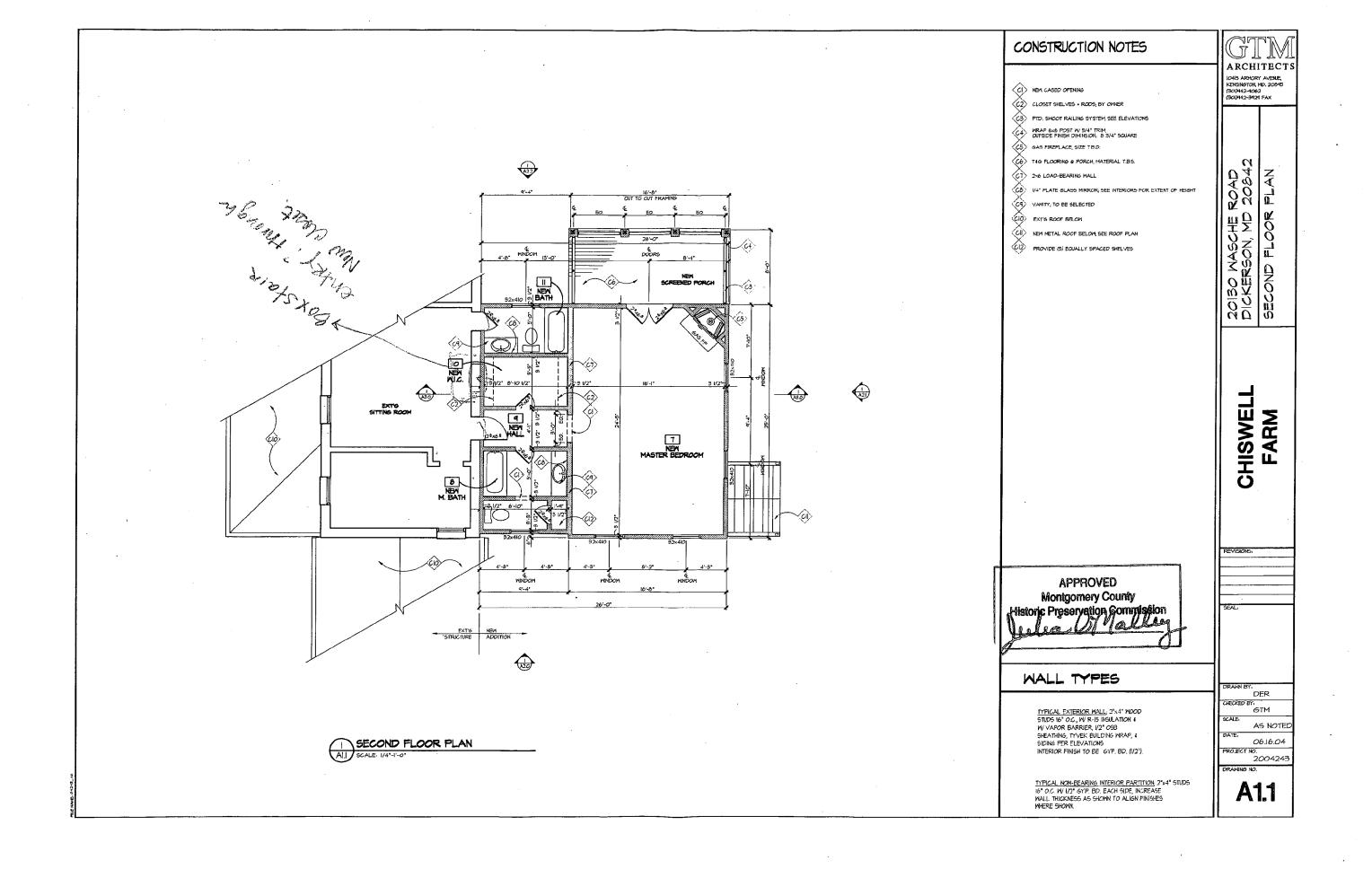
DEVISIONS.

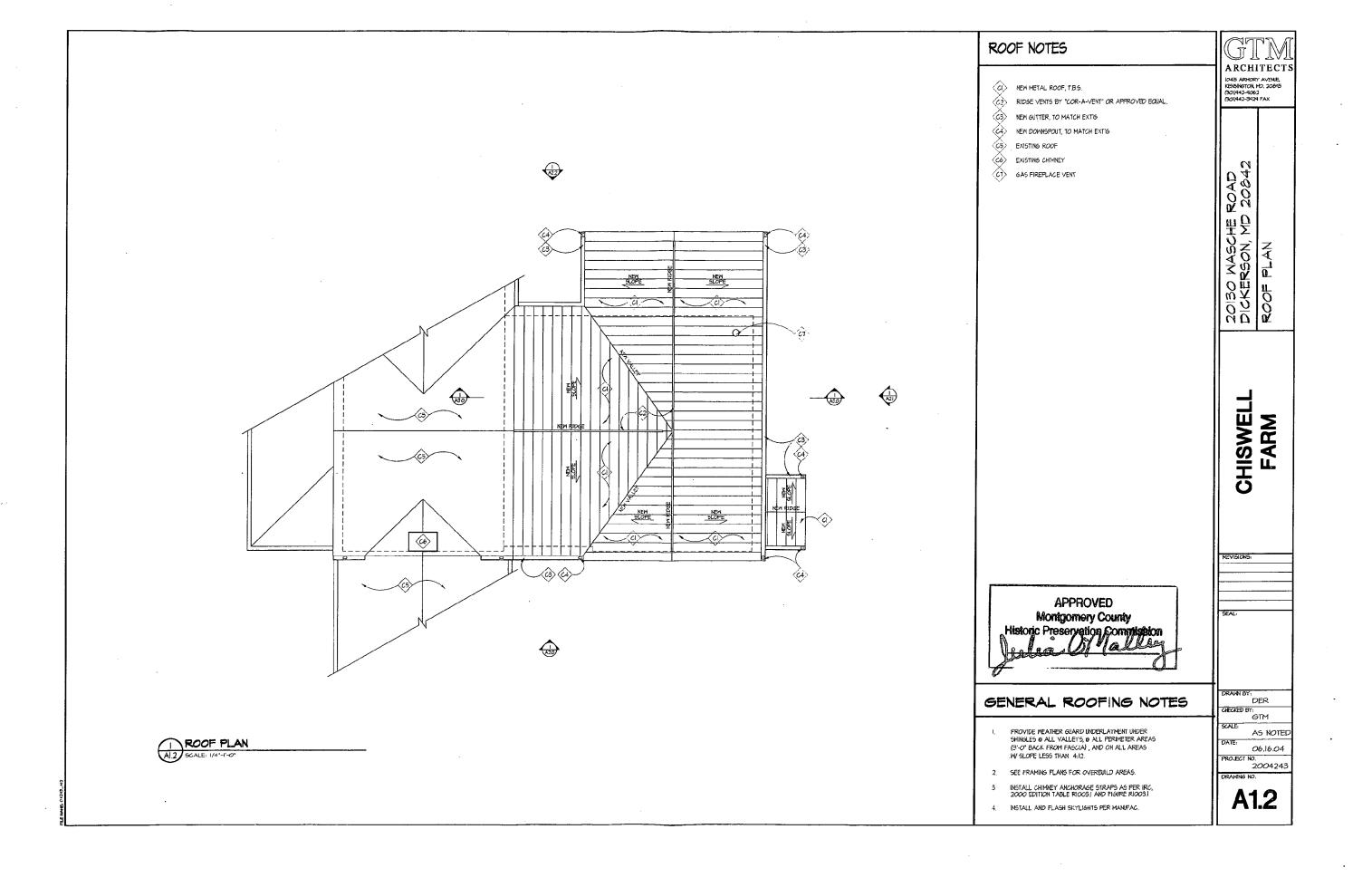
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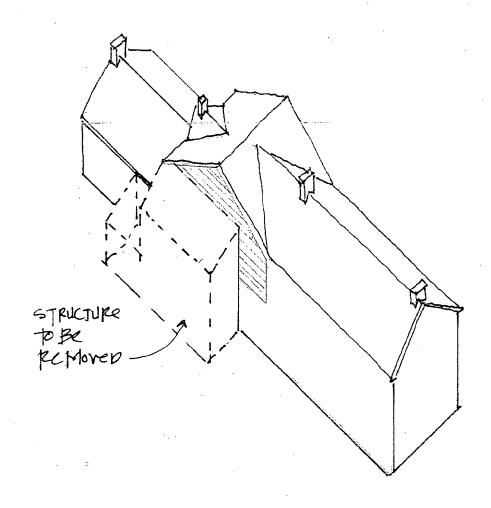
AS NOTED DATE

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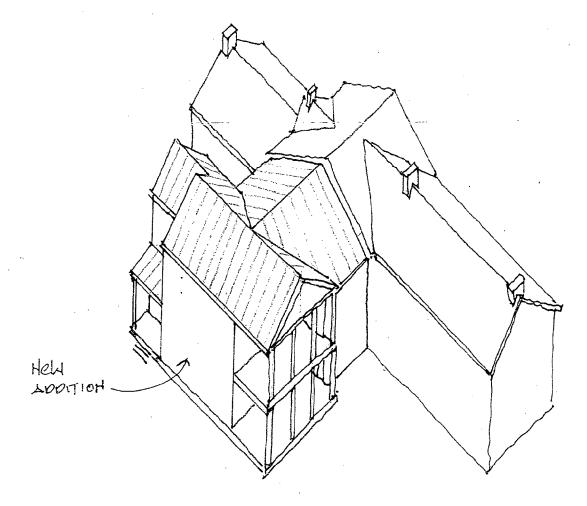








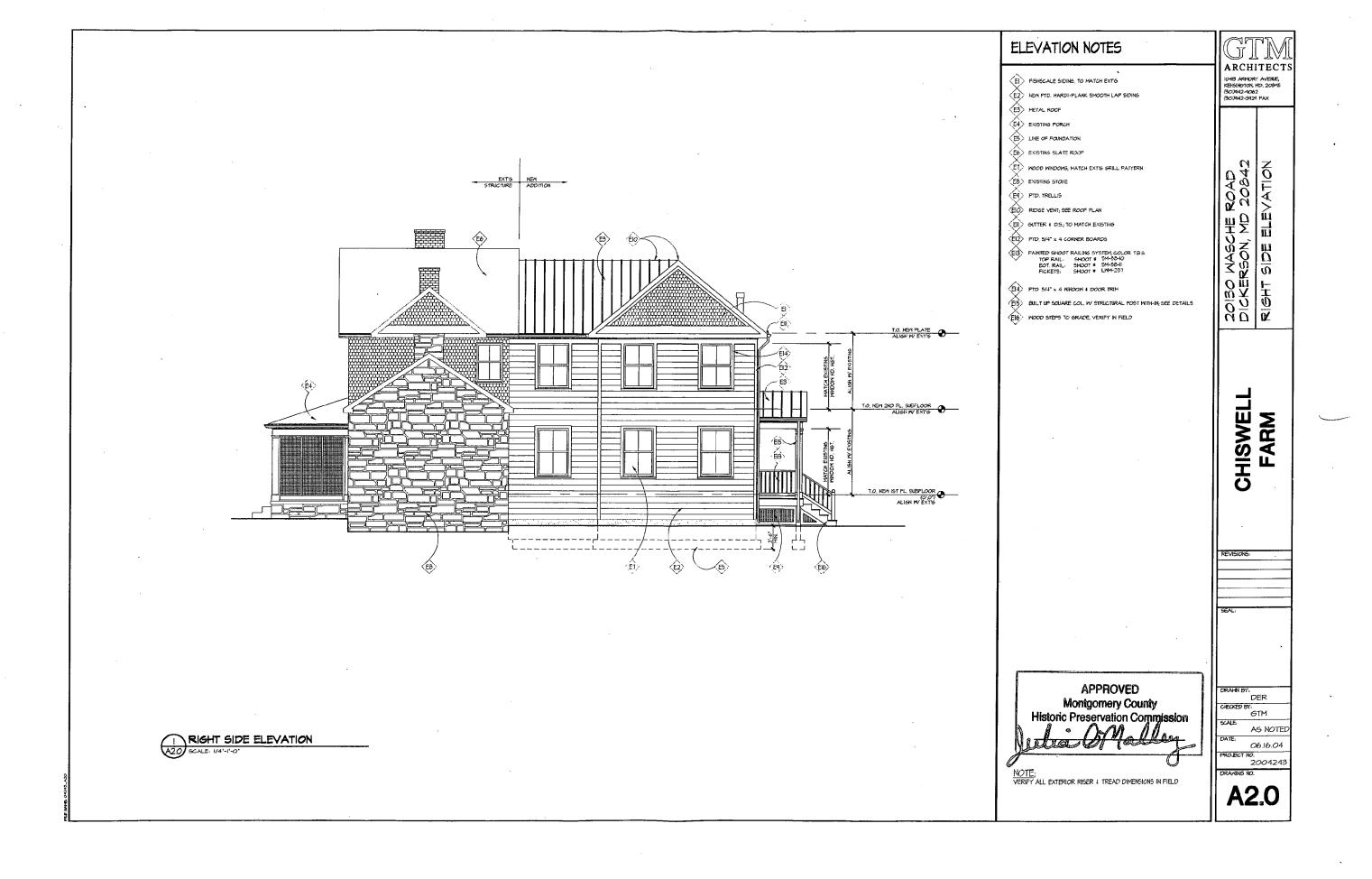
EXISTING MAGSING PLAGRAM



PROPOSED MASSING DIAGRAM.

GTM ARCHITECTS, INC. 10415 Armory Ave. KENSINGTON, MD 20895 301-942-9062

4.7.04.



#### Oaks, Michele

From:

Oaks, Michele

Sent:

Wednesday, July 18, 2007 1:44 PM

To:

'robert harney@verizon.net'

Cc:

George Myers (E-mail); Mac Spicer (E-mail); Pete Hrycak (E-mail); Jim Savage (E-mail);

'eileen.basaman@montgomerycountymd.gov';

'nowelle.ghahhari@montgomerycountymd.gov'; 'Steve.Hayes@montgomerycountymd.gov';

'Cynthia.Brenneman@montgomerycountymd.gov'; Wright, Gwen

Subject:

Edwrd Chiswell Farm

Mr. Harney,

As per our conversation yesterday, I am sending a list of staff recommended modifications to the retroactive design for the historic area work permit submittal. It is my understanding from our conversation that you have contracted with architect, George Myers. As I stated, I would like to work with George, so we can get the details refined and hopefully have a design submitted that the HPC will approve.

Let me know if you need any additional information. I have also attached a cut sheet from another jurisdiction's design guidelines that has a photo of the porch enclosure I was referring to in my discussions with Eileen and Steve at the meeting. This would provide you the needed "three-season" room, while still enabling us to have the design that was originally approved for the two-story porch.

#### Michele





Enclosingporches.p EdChisStaffRecomR df etroDesign.07...

Michele Oaks, Planner Coordinator
Historic Preservation Section
Montgomery County Department of Planning
Maryland-National Capital Park and Planning Commission
1109 Spring Street, Suite 801
Silver Spring, MD 20910
(301) 563-3400 (phone)
(301) 563-3412 (fax)
michele.oaks@mncppc-mc.org
www.montgomeryplanning.org



The large areas of screening on this porch make it appear more like a porch than an enclosed room. It is recommended that the white screen enclosure framing be painted a darker color, similar to the screen color, to minimize its visibility.

#### **ENCLOSING PORCHES**

Porches were meant to be open exterior spaces. Enclosing a front porch is a radical change to the building and its visual perception from the streetscape. If considering porch enclosure, it is recommended that this occur only at a side or rear elevation porch. If enclosing a porch, it is recommended that the finished space look more like a porch than an enclosed room.

#### The HPC encourages:

- Retaining porch elements in place and constructing enclosure framing inside of porch columns and railings
- · Temporary enclosure systems, such as screens or glazing that can be removed seasonally
- · Reversible enclosure systems that do not damage decorative or unique historic building fabric
- Translucent enclosure systems, with large screened or glazed openings
- · Vertical and horizontal framing members that align behind porch elements like columns and railings



Porch enclosures that are attached to existing decorative porch elements such as this column can cause damage that is both difficult and costly to repair.



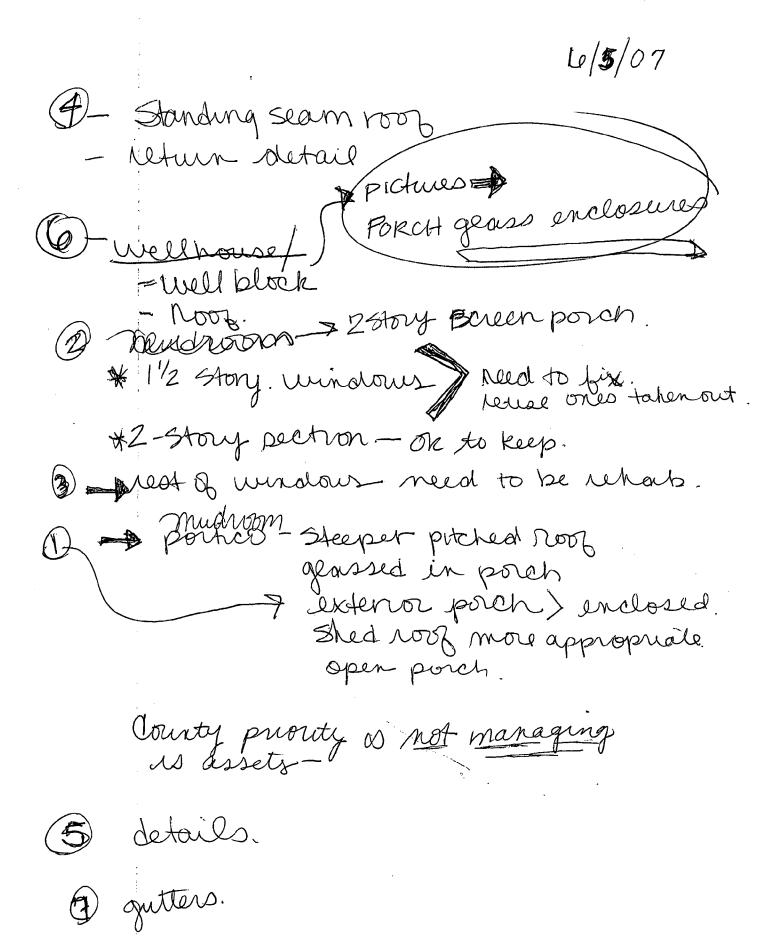
This porch enclosure is located behind the porch columns and decorative balustrade, is as translucent as possible, and is reversible. Major framing members are also located behind columns and the balustrade, minimizing their visibility.



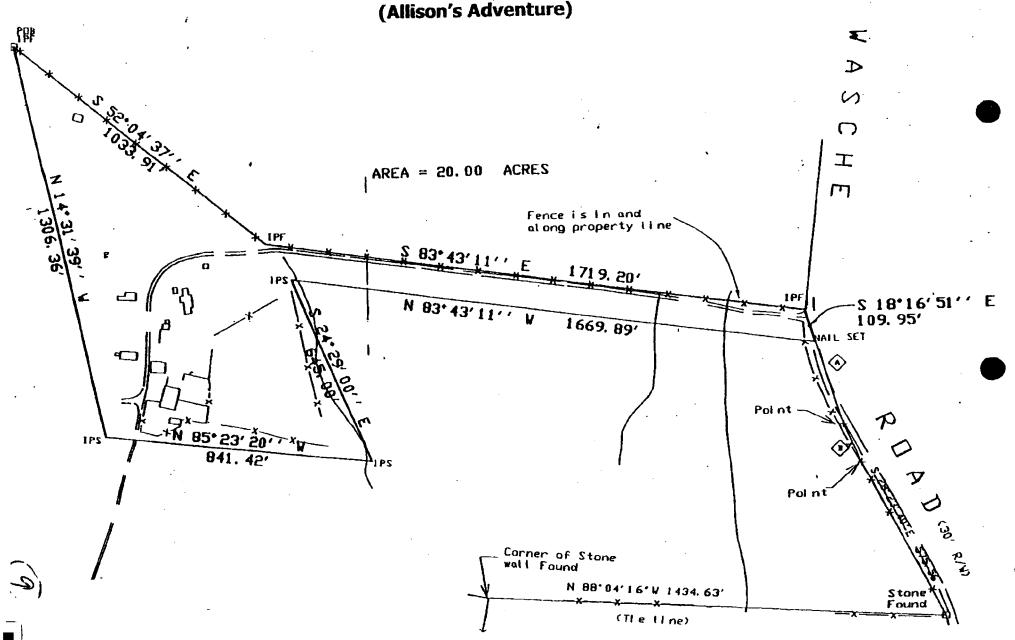
This project has been financed in part with Federal funds from the National Park Service, U.S. Department of the Interior, and administered by the New Jersey Department of Environmental Protection, Historic Preservation Office. The contents and opinions do not necessarily reflect the views or policies of the U.S. Department of the Interior, nor does the mention of trade names commercial products endorsement or recommendation by the OFFICE Department of the Interior.

receives Federal financial assistance for This program identification and protection of historic properties. Under Title VI of the Civil Rights Act of 1964, Section 504 of the Rehabilitation Act of 1973, and the Age Discrimination Act of 1975, as amended, the U.S. Department of the Interior prohibits discrimination on the basis of race, color, national origin, disability or age in federally assisted programs. If you believe that you have been discriminated against in any program, activity, or facility as described above, or if you desire further information, please write to: Office of Equal Opportunity; National Park Service; 1849 C Street, N.W.; (NC200) Washington, DC 20240.

Dominique M. Hawkins, AIA, of Preservation Design Partnership in Philadelphia, PA, prepared this publication.



# EDWARD CHISWELL FARM (Longview) (Allison's Adventure)





Date: June 24, 2004

### **MEMORANDUM**

TO:

Robert Hubbard, Director

FROM:

Michele Naru, Senior Planner

Historic Preservation Section

SUBJECT:

Historic Area Work Permit # 332480, for a rear addition to Master Plan Site #16/02,

**Edward Chiswell Farm** 

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED with condition**. The HPC staff has reviewed and stamped the attached construction drawings. The condition of approval is:

The addition's design will be modified so that the new massing will not visibly encroach on the historic 1-1/2 story section.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant:

Montgomery County Solid Waste (Robert Harney, Leasee)

Address:

20130 Washe Road, Dickerson

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at http://permits.emontgomery.org prior to commencement of work <u>and</u> not more than two weeks following completion of work.





HISTORIC PRESERVATION COMMISSION 301/563-3400

permit# 332480

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contactiveison	
Daytime Phone No.:	
Tax Account No.: 36311	
Name of Property Owner: MONTGOMERY COUNTY, Solld WASTE Daytime Phone No.:	
101 Marione Steer - Rossille Modulano 20850	
Address: 101 MONROE STREET - ROCKY, ILE, MARYLAND 20850 Sheel Number Sheel Process	
Contacton: Pfrone No.:	
Contractor Registration No.:	
Agent for Owner: ROBERT B. HARNEY Daylinne Phone No.: 301-3657199 DR. 301	526 3713 (GEL)
Address: 7818 BEACON TERR BETHERDIA, MARLIAND GUE!	
TOCATION OF BUILDING/PHEMISE	
House Number: R0130 Street: WASCHE KORD	
Town/City: DICKERSON Nearest Closs Sueet: MARTINSBURG ROAD	
Lot: Block: Subdivision:	
Liber: 13377 Folio: 0125 Parcel: P 405	
PART ONE: TYPE OF PERMIT ACTION AND USE	•
TAL CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:	
St. Construct   Extend   O Alter/Renovate   CFAC   CF State   M. Roman Addition   O Porch   O Deck   Shed	
[] Move [] install [] Wreck/Naze [] Solar [] Fingulace [] Wondhurning Stove 💢 Single Family	
[1] Revision [1] Repair [2] Revocable [1] Conce/Wall (complete Section 4) [2] Other:	•
1B, Construction cost estimate: \$	•
tC. If this is a revision of a previously approved active permit, see Permit # 12A	
·	
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENDIADDITIONS	
2A. Type of sewage disposal; 01 LJ WSSC 02 & Septic 03 (1 Other:	
2B. Type of water supply: 01 [] WSSC 02 04 Well 03 1 f Other;	
PART THREE; COMPLETE ONLY FOR FENCE/RETAINING WALL	••
3A. Heightteetinches	
3B. Indicate whether the lence or retaining wall is to be constructed on one of the following locations:	
(3) On party line/property, line (2) Entirely on land of owner (3) On public right of way/essement	
	•
I hereby certify that I have the authority to make the foregoing apulication, that the application is course, and that the construction will comply with plans approved by all agencies listed and I haveby acknowledge and accept this to be a condition by the issuance of this permit.	
Kofat/ 5 Harnery	
Signature of owner or Ethnerited agost	
Approved:	
Disapproved: Signature: Date: U/QL/OL	
Application/Pernit No.: Date Issued: Date Issued:	

## THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

#### WRITTEN DESCRIPTION OF PROJECT

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ral descrip	otion of project and it	s effect on the l	historic resource(s)	, the environmental	setting, and, where	applicable, t	he historic di	istrict:
ral descrip	otion of project and it	s effect on the	historic resource(s)			<u> </u>	he historic di	istrict:
ral descrip	prion of project and it	s effect on the	historic resource(s)	- 2510	my Rox	<u> </u>	he historic di	istrict:
PRO	DITION	s effect on the	ADD A		MY POY	VZ_		

#### L. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

#### 3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17", Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context.
  All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

#### 4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

#### 5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

#### 6. TREE SURVEY

If you are proposing construction adjacent to or within the cricline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

### 7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY DWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the carcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

## HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Adjacent and confronting	Property Owners mailing addresses
•	



Date: June 24, 2004

# **MEMORANDUM**

TO:

Robert Hubbard, Director

FROM:

Michele Naru, Senior Planner

Historic Preservation Section

SUBJECT:

Historic Area Work Permit # 332480, for a rear addition to Master Plan Site #16/02,

**Edward Chiswell Farm** 

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was <u>APPROVED with condition</u>. The HPC staff has reviewed and stamped the attached construction drawings. The condition of approval is:

The addition's design will be modified so that the new massing will not visibly encroach on the historic 1-1/2 story section.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant:

Montgomery County Solid Waste (Robert Harney, Leasee)

Address:

20130 Washe Road, Dickerson

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at http://permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.





HISTORIC PRESERVATION COMMISSION 301/563-3400

permit# 332480

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person:	
Daytime Phone No.:	
Tax Account No.: 36311	
Name of Property Owner: MONTGOMERY COUNTY, Solid WASTE Daylines Phone No.:	
Admin 101 MONORE STORE - ROLLING MODULAND 20850	
·	•
Conbacton: Prione No.:	
Agent for Owner: ROBERT B. HARNEY Daytime Phone No.: 301-3657199	-2 00 004 2012 (15)
Address: 7218 BERCON TERR BETHESDA, MARYLAND 201	_
LOCATION OF DUILDING PHEMISE	
House Number: 20130 Street WASCHE ROAD	
Town/City: DICKERSON Nearest Cross Street: MARTINS BURG ROAD	<del></del>
Lot: Block: Subdivision:	
Litter: 13377 Folio: 0125 Parcel: P 405	
PART ONE: TYPE OF PERMIT ACTION AND USE	·
TAL CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:	
St. Constituci   Extend   After/Renovate   C.J. A/C   C.J. Sinb   XI, Roman Addition   Porch   Deck	☐ Shed
☐ Move ☐ Install ☐ Wreck/Naze ☐ Solar ☐ Fixeplace ☐ Wondburning Stove 💢 Singl	le Family
[] Revision [] Repair     Revocable	Marina
1B. Construction cost estimate; \$	·
1C. If this is a revision of a previously approved active memit, see flormit # NA	
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTENDIADDITIONS	
ZA. Type of sewage disposal: 01 L3 WSSC 02 QC Septic 03 1 1 Other:	
2B. Type of water supply: 01 (1) WSSC 02 (Well 03 ! 1 Office:	
PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL	
	·
3A. Height feet inches	
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following incations:  (3) On party line/property line  [3] Entirely on land of owner  [4] On mithic right of way/easament	
() On party line/property, line   [_] Entirely on land of owner   [_] On public right of way/easament	
I hereby certify that I have the nuthority to make the foregoing equilibration, that the equilibration is caused, and that the construction will comply approved by all agencies distant and I haveby acknowledge and accept this to be a condition for the issuance of this permit.  **Label Harmony**  Signature of commercer extensived ages:  **Option**  Onto	with plans
Approved:  Disapproved:  Signature:  Date: U/QL/  Application/Pernit No.: 33245  Date Issued:	los

# THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.

## WRITTEN DESCRIPTION OF PROJECT

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neral desc	ription of project and in	s effect on the	historic resource	s), the environment	tal setting, and, whe	re applicable, t	he historic d	istrict:
neral desc		is effect on the	historic resource				he historic d	istrict:
neral desc		is effect on the	historic resource		tal setting, and, who		he historic d	istrict:
PK	ription of project and in	10 W 2	ADD 1	4 2-51 Y POK	WY RE	AK		
PK		10 W 2	ADD 1	4 2-51 Y POK	WY RE	AK		

#### . SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
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Date: May 12, 2004

# **MEMORANDUM**

To:

**HPC Commissioners** 

FROM:

Michele Naru, Senior Planner

SUBJECT:

Case No. 16/02-04A, Master Plan Site # 16/02, Edward Chiswell Farm/Longview

This case was continued at the last meeting due to lack of attendance from the Leasee, Mr. Harney and the applicant, Montgomery County Solid Waste.

George Myers has re-designed the drawings reflecting the comments and recommendations in the Staff Report and will be handing them out for review at tonight's meeting.

# HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:

20130 Wasche Road, Dickerson

**Meeting Date:** 

04/28/04

Resource:

Master Plan Site #16/02

**Report Date:** 

04/21/04

**Edward Chiswell Farm/Longview** 

Review:

HAWP

**Public Notice:** 

04/14/04

**Case Number:** 16/02-04A

Tax Credit: None

Applicant:

Montgomery County Solid Waste Services Staff: Michele Naru

(Robert Harney, Leasee)

**PROPOSAL:** Construction of Rear Addition

**RECOMMEND:** Approve w/ condition

1. The addition's design will be modified so that the new massing will not visibly encroach on the historic 1-1/2 story section.

# **PROJECT DESCRIPTION**

SIGNIFICANCE:

Edward Chiswell Farm/Longview, Master Plan Site #16/02

DATE:

North section: c1800; south section: c1868-90

The three-part stone and frame house represents an evolution of construction and is best known as the residence of Civil War officer Edward Jones Chiswell. Thomas Cooley built a 1 ½ story stone house about 1800, replacing an early-1700s log house (Period 1). Located at the north end of the current dwelling, the structure is three-bays wide, built of undressed stone featuring keystone window lintels. The house had central entrances on front and back. Cooley operated his plantation with the help of 14 slaves. In 1814, Henry W. Talbott purchased the farm. He was a planter who was Justice of the Peace and member of the School Board. Talbott probably built the first level of the center section (Period 2), which is constructed of cut and dressed stone with central entrances on both facades. According to tradition, the house was used as a Union hospital during the Civil War.

In 1868, Edward Chiswell acquired the farm, which became known as Longview. During the war, Chiswell had served under relative and neighbor Col. Elijah Viers White of the Virginia Calvary. Chiswell was joined in Virginia by many Montgomery County residents who were locally known as "Chiswell's Exiles." During the war, Chiswell was wounded twice, led a mission across the icy Potomac to capture horses from an encampment, and surrendered in Edward's Ferry in 1865. Later that year he married Evalina Allnut. In 1868, they purchased this farm and probably soon thereafter built the southern section of the house. The three-bay block of undressed stone has heavy stone window lintels and interior gable-end chimneys (Period 3). The Chiswell's, who raised six children on the farm, expanded the center block with a second story addition in the late 1800s (Period 4). A cross gable roof and fishscale shingle siding exhibit Victorian era influence. Son Thomas continued to operate the farm after his father's death in 1906.

The environmental setting of the farm is a 20-acre plot of land within the larger parcel of 358.75 acres. The setting includes the main house, smoke house, ice house, garage/shed, corn crib, well/cistern/windmill, bank barn, small livestock barn, barn ruins, tenant house ruins and waterfall ruins.

# **BACKGROUND:**

In October of 2001, the applicant received approval from the Commission to demolish a non-historic, frame rear addition. The 1930's addition measured 30' long by 10' wide. The addition was constructed to provide indoor plumbing to the house. It contained two bathrooms, a pantry and access to the attic of the Period 2 massing. This approval was granted with the understanding that the applicant would return to the Commission with a proposal to construct a new rear addition to house all of the plumbing (i.e. kitchen and bathrooms) for the historic house. This proposal is the result of several meetings and revisions with the applicant.

# **PROPOSAL**:

The applicant is proposing to construct a two story, rear frame addition to house a new kitchen, family room, screened porch and mudroom/powder room on the first story and a master bedroom, and two full bathrooms on the second story. The material specifications are a standing seam metal roof, horizontal, painted hardi-plank siding, wood, fishscale shingles, wood trim and porch details, and wood, true-divided light windows and doors.

## STAFF DISCUSSION

Proposed new construction to Master Plan individually designated resources are reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

#2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.



#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

After over two years of work and the unbelievable patience on the part of the lessee, the County has finalized its lease agreement with Mr. Robert Harney. The County and the Commission's staff are excited to see this project come into fruition.

Staff generally feels that this proposed design is very sympathetic to the existing historic resource. The main area of concern is the second story of the mudroom/closet massing. The closet placement is problematic because of its relationship to the original massing. Due to the existing, historic (Period I) massing's location, the second story of the proposed new addition will be visible from the front façade. Staff does note that the addition will be set back 10' from the historic rear elevation and the existing front yard has a significant slope, which will reduce the new addition's visibility from the front elevation. Finally, the existing house is setback considerably from the road and the current front elevation is not visible from the street and only moderately visible from the driveway approach.

Staff's recommendation is to move the entire massing to the west elevation of the proposed family room/master bedroom (see circle ) or flip the entire addition so it is a mirror image of the existing, which will put the mudroom/closet massing on the opposite side of the addition where there is currently an existing two-story extension (see circle ). Finally, another option could be to mirror image the addition and reverse the locations of the mudroom and the porches. This solution would retain the location of the screen porch in its current configuration – which looks out at the beautiful farm and its outbuildings (see circle ).

Staff commends the applicant's desire to use compatible building materials for this project. The Commission appreciates reviewing projects where the applicant is specifying the use of quality materials. Although the Commission generally supports the use of Hardi-plank siding on rear additions, staff would ask the applicant to consider the use of cedar, horizontal siding.

## STAFF RECOMMENDATIONS

Staff recommends that the Commission approve with the above-stated condition the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines.

with the general condition applicable to all Historic Area Work Permits that the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 or online at <a href="https://www.permits.emontgomery.org">www.permits.emontgomery.org</a> prior to commencement of work and not more than two weeks following completion of work.







HISTORIC PRESERVATION COMMISSION 301/563-3400

permit# 332480

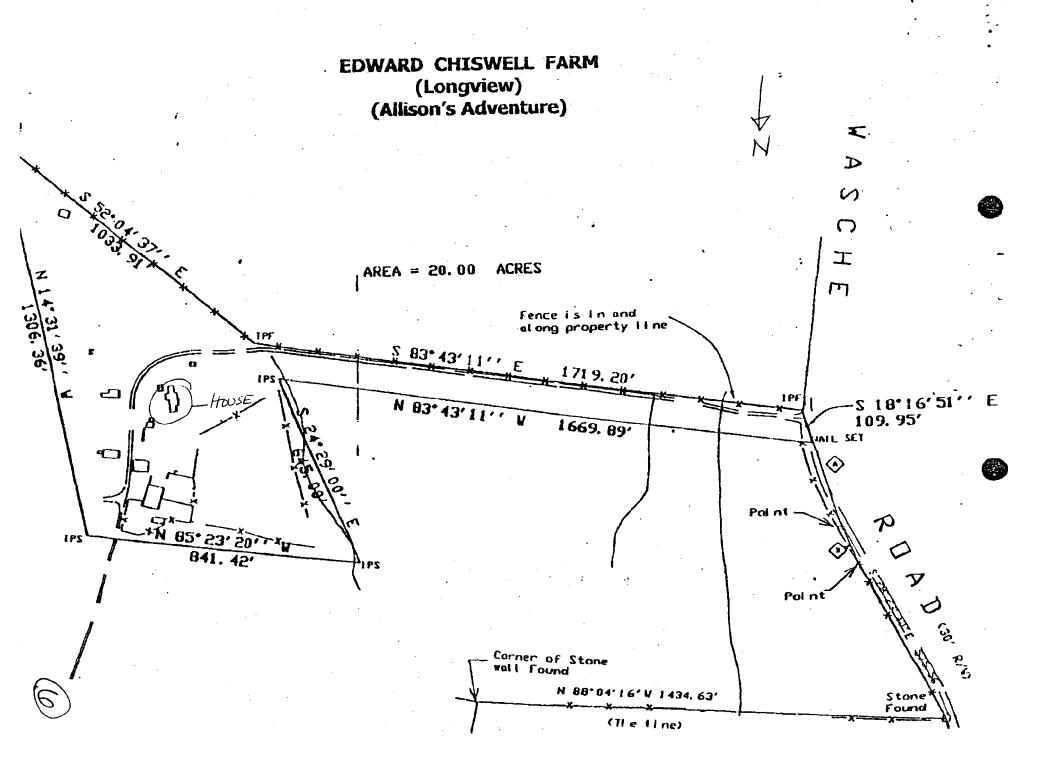
# APPLICATION FOR HISTORIC AREA WORK PERMIT

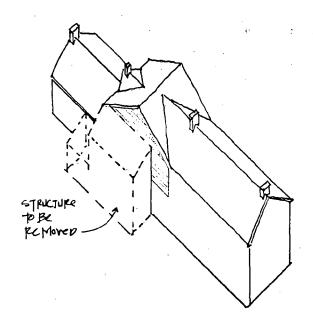
Contact Person;	
Daytime Phone No.:	,
** Account No.: 36311 Suce Steve Hayes	
Name of Property Owner: MONTGOMERY COUNTY Solld WASTE Daylinine Phone No.:	
Address: 101 MONROE STREET - ROCKY, ILE, MARYLAND ZOB 50 Lity Street Number in Code	
Conbactor: Plipne No.:	
Contractor Registration No.:	1 526 3713 (CEL.)
Address: 7218 BEACON TERR BETHERDA MARYLAND 20817	
House Number: 60130 Street WASCHE ROAD	
Townscity: DICKERSON Nemest Class Street: MARTINSBURG ROAD	
Lot: Block: Subdivision:	
Litter: 13377 Folio: 0125 Parcel: P 405	
PANT ONE: TYPE OF PERIMIT ACTION AND USE	,
IA. CHECK ALL APPLICABLE: CHECK ALL APPLICABLE:	•
5% Construct   Extend   After/Meriovate   CLA/C   El Slab   XQ Roome Addition   Porch   Deck   Shed	
☐ Move ☐ Install ☐ Wreck/Raze ☐ Solar ☐ Fireplace ☐ Woodhurning Stove 🖼 Single Family	
[] Revision [] Repair [] Revocable [1] Fence/Wall (complete Section 4) [] Other:	
1G. Construction cost estimate: 8	•
IC. If this is a revision of a previously approved active parmit, see Permit # NA	
PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS	
ZA. Type of sewage disposel; O1 (3 WSSC 02 DK Septie 03 1 1 Other:	
2B. Type of water supply: 01 [] WSSC 02 K Well 03 1 [ Other:	•
DART TURKE. COMPLETE ONLY LODGE REALISING WALL	• .,
PART THREE; COMPLETE ONLY FOR FENCE/RETAINING WALL	
3A. Heightfeetinches	
38. Indicate whether the lence or retaining wall is to be constructed on one of the following locations:	
[] On perty line/property, line	
I hereby certify that I have the nationally to make the talegoing application, that the application is correct, and that the construction will comply with plans approved by all agencies tisted and I hereby acknowledge and accept this to be a condition for the issuance of this permit.  **Losses**	
Approved: For Chairperson, ilistoric Preservation Commission	
Disapproved: Signature: Date:	
Application/Permit No.: Date filed: Date filed: Date filed:	(II)

# HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

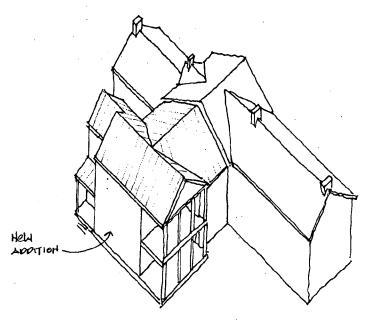
Owner's mailing address	Owner's Agent's m	ailing address
Montgomery County Department of Public Works and Transportation Division of Solid Waste Services 101 Monroe Street, 6th Floor Rockville, MD 20850	N <b>A</b>	
Adjacent and confronting Pro	perty Owners mailin	g addresses
Potomac Electric Power Company Real Estate Dept. #703 1900 Pennsylvania Avenue, N.W. Washington, DC 20006	NA.	
Montgomery County Dept. of Public Works and Transportation Division of Solid Waste Services 101 Monroe Street, 6th Floor Rockville, Maryland 20850	NA.	
M-NCPPC 9500 Brunett Avenue Silver Spring, Maryland 20901	NA NA	
. •		







EXISTING MASSING PLAGRAM

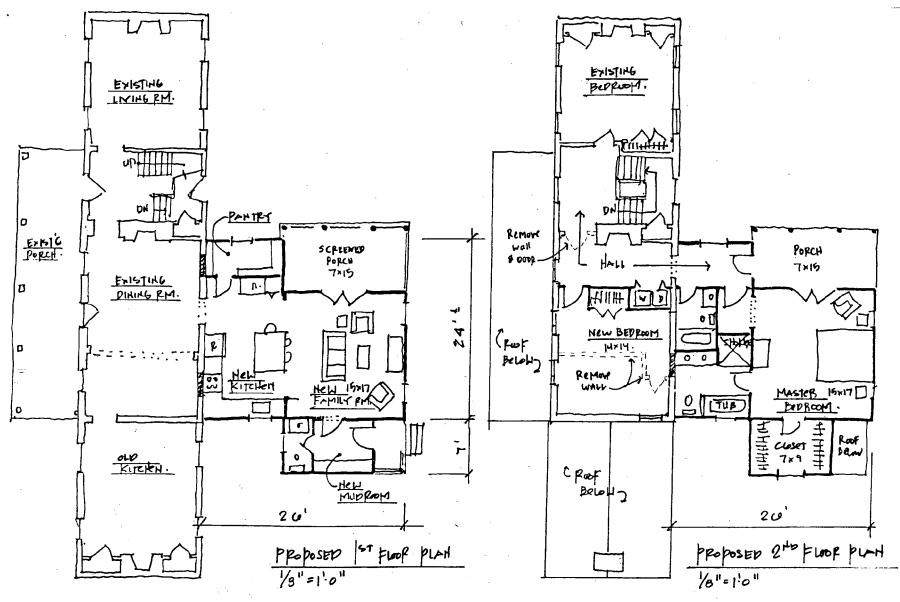


PROPOSED MASSING DIAGRAM.

# CHISHELL FARM

GTM ARCHITECTS, INC. 10415 Armory Ave. KENSINGTON, MD 20895 301-942-9062

4.7.04.

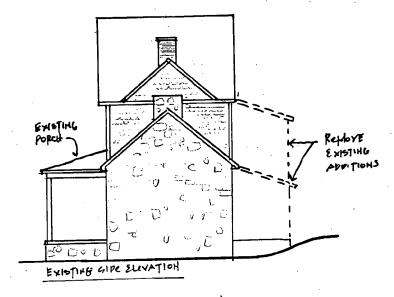


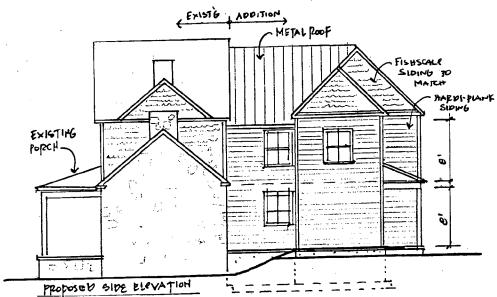
GTM ARCHITECTS, INC. 10415 Armory Ave. KENSINGTON, MD 20895 301-942-9062

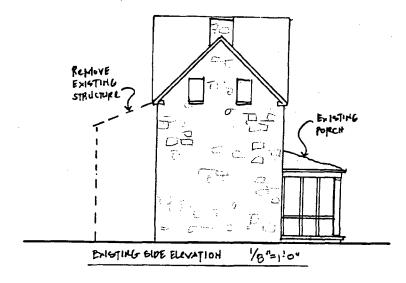


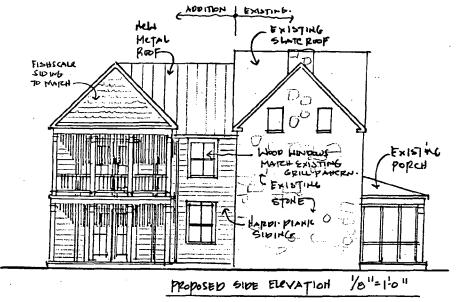
4.7.04





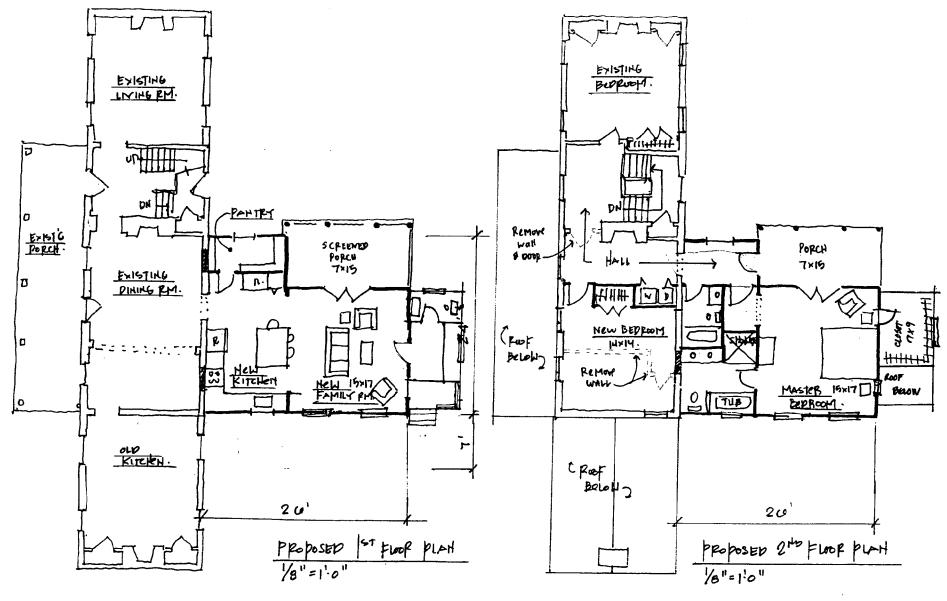




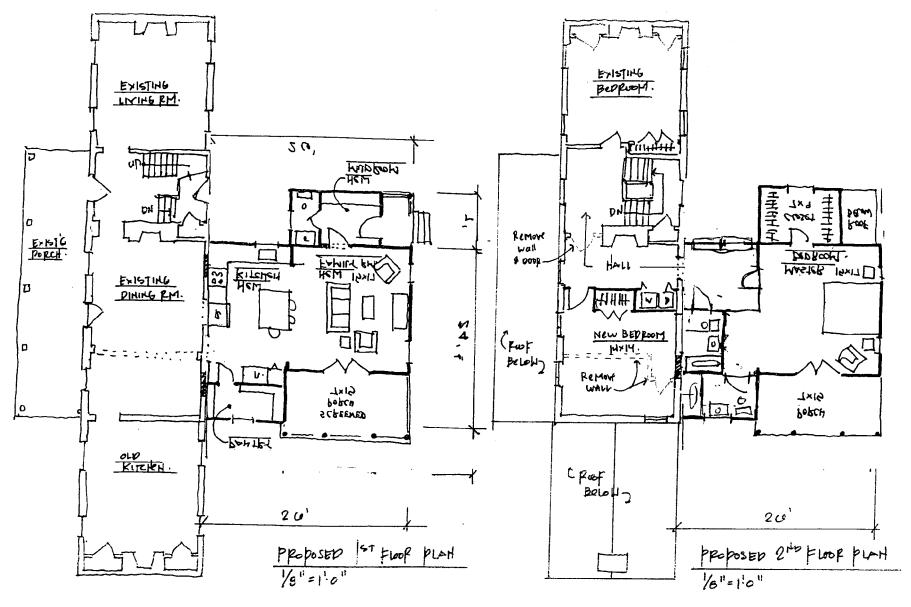


4.7.04.





STAPF SUGGESTION # 1



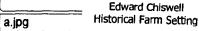
# STAFF SUGGESTION #2

GTM ARCHITECTS, INC. 10415 Armory Ave. KENSINGTON, MD 20895 301-942-9062



# **Edward Chiswell Farm**



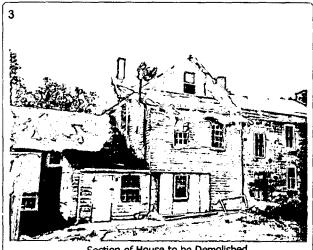


c.jp(

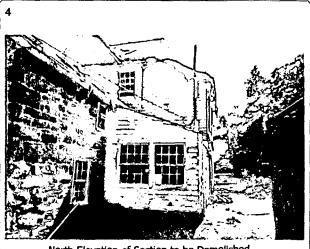
e.jpg



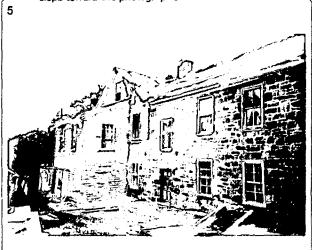
b.jpg West Elevation of Farmhouse



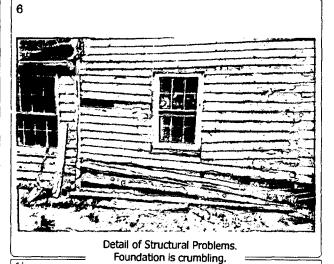
Section of House to be Demolished
Includes the one-story space and the two-story space
immediately to its right. Both spaces have flat roofs that
slope toward the photographer. Windows will be saved.



North Elevation of Section to be Demolished
Windows will be saved.

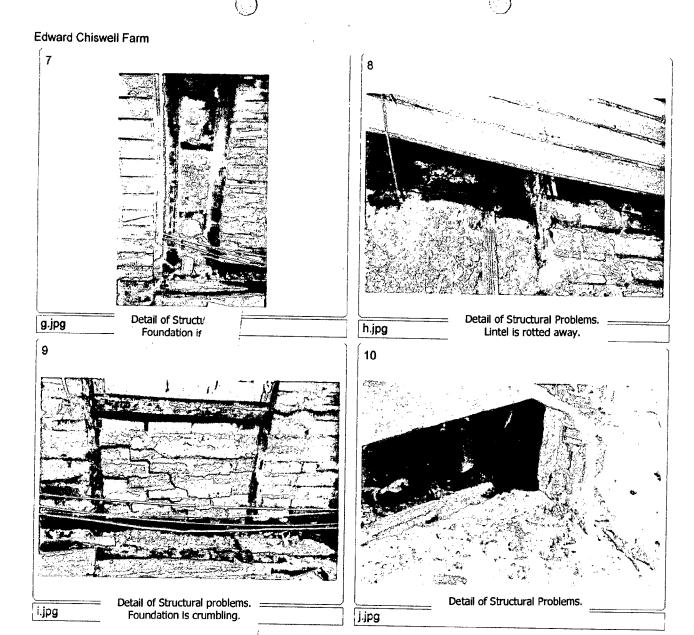


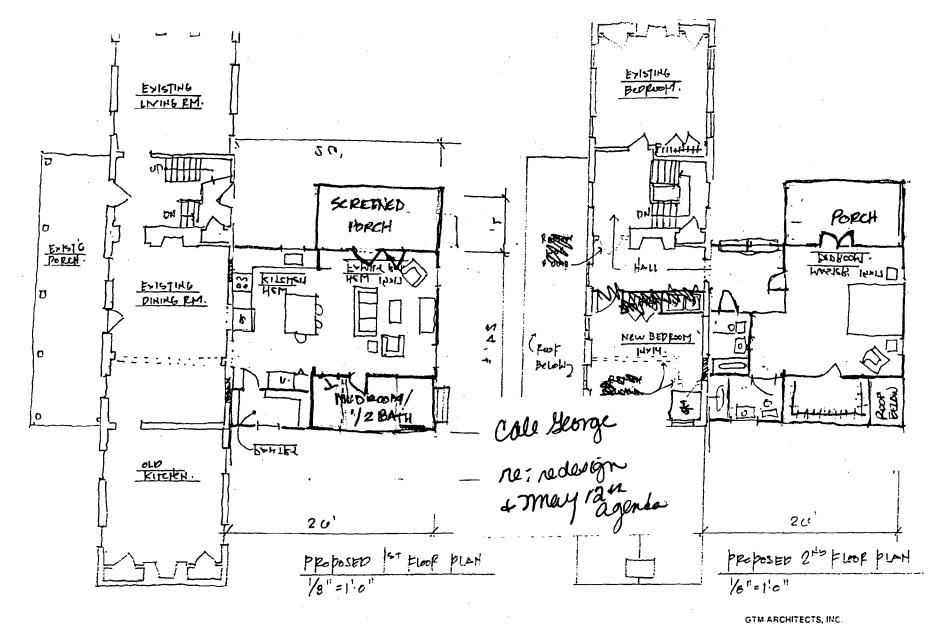
South/West Elevation
Section to be demolished has flat roof.
Window will be saved.



f.jpg

60





STAPF RECOMMENDATION 301.922.9062

(F)

a.



Date: May 12, 2004

# **MEMORANDUM**

To:

**HPC Commissioners** 

FROM:

Michele Naru, Senior Planner

SUBJECT:

Case No. 16/02-04A, Master Plan Site # 16/02, Edward Chiswell Farm/Longview

This case was continued at the last meeting due to lack of attendance from the Leasee, Mr. Harney and the applicant, Montgomery County Solid Waste.

George Myers has re-designed the drawings reflecting the comments and recommendations in the Staff Report and will be handing them out for review at tonight's meeting.

# HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address:

20130 Wasche Road, Dickerson

**Meeting Date:** 

04/28/04

Resource:

*Master Plan* Site #16/02

**Report Date:** 

04/21/04

Edward Chiswell Farm/Longview

**Review:** 

**HAWP** 

**Public Notice:** 

04/14/04

**Case Number: 16/02-04A** 

Tax Credit: None

Applicant:

Montgomery County Solid Waste Services Staff: Michele Naru

(Robert Harney, Leasee)

PROPOSAL: Construction of Rear Addition

**RECOMMEND:** Approve w/ condition

1. The addition's design will be modified so that the new massing will not visibly encroach on the historic 1-1/2 story section.

# PROJECT DESCRIPTION

SIGNIFICANCE:

Edward Chiswell Farm/Longview, Master Plan Site #16/02

DATE:

North section: c1800; south section: c1868-90

The three-part stone and frame house represents an evolution of construction and is best known as the residence of Civil War officer Edward Jones Chiswell. Thomas Cooley built a 1 ½ story stone house about 1800, replacing an early-1700s log house (Period 1). Located at the north end of the current dwelling, the structure is three-bays wide, built of undressed stone featuring keystone window lintels. The house had central entrances on front and back. Cooley operated his plantation with the help of 14 slaves. In 1814, Henry W. Talbott purchased the farm. He was a planter who was Justice of the Peace and member of the School Board. Talbott probably built the first level of the center section (Period 2), which is constructed of cut and dressed stone with central entrances on both facades. According to tradition, the house was used as a Union hospital during the Civil War.

In 1868, Edward Chiswell acquired the farm, which became known as Longview. During the war, Chiswell had served under relative and neighbor Col. Elijah Viers White of the Virginia Calvary. Chiswell was joined in Virginia by many Montgomery County residents who were locally known as "Chiswell's Exiles." During the war, Chiswell was wounded twice, led a mission across the icy Potomac to capture horses from an encampment, and surrendered in Edward's Ferry in 1865. Later that year he married Evalina Allnut. In 1868, they purchased this farm and probably soon thereafter built the southern section of the house. The three-bay block of undressed stone has heavy stone window lintels and interior gable-end chimneys (Period 3). The Chiswell's, who raised six children on the farm, expanded the center block with a second story addition in the late 1800s (Period 4). A cross gable roof and fishscale shingle siding exhibit Victorian era influence. Son Thomas continued to operate the farm after his father's death in 1906.

The environmental setting of the farm is a 20-acre plot of land within the larger parcel of 358.75 acres. The setting includes the main house, smoke house, ice house, garage/shed, corn crib, well/cistern/windmill, bank barn, small livestock barn, barn ruins, tenant house ruins and waterfall ruins.

## **BACKGROUND:**

In October of 2001, the applicant received approval from the Commission to demolish a non-historic, frame rear addition. The 1930's addition measured 30' long by 10' wide. The addition was constructed to provide indoor plumbing to the house. It contained two bathrooms, a pantry and access to the attic of the Period 2 massing. This approval was granted with the understanding that the applicant would return to the Commission with a proposal to construct a new rear addition to house all of the plumbing (i.e. kitchen and bathrooms) for the historic house. This proposal is the result of several meetings and revisions with the applicant.

# **PROPOSAL**:

The applicant is proposing to construct a two story, rear frame addition to house a new kitchen, family room, screened porch and mudroom/powder room on the first story and a master bedroom, and two full bathrooms on the second story. The material specifications are a standing seam metal roof, horizontal, painted hardi-plank siding, wood, fishscale shingles, wood trim and porch details, and wood, true-divided light windows and doors.

# **STAFF DISCUSSION**

Proposed new construction to Master Plan individually designated resources are reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

#2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.



#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

After over two years of work and the unbelievable patience on the part of the lessee, the County has finalized its lease agreement with Mr. Robert Harney. The County and the Commission's staff are excited to see this project come into fruition.

Staff generally feels that this proposed design is very sympathetic to the existing historic resource. The main area of concern is the second story of the mudroom/closet massing. The closet placement is problematic because of its relationship to the original massing. Due to the existing, historic (Period I) massing's location, the second story of the proposed new addition will be visible from the front façade. Staff does note that the addition will be set back 10' from the historic rear elevation and the existing front yard has a significant slope, which will reduce the new addition's visibility from the front elevation. Finally, the existing house is setback considerably from the road and the current front elevation is not visible from the street and only moderately visible from the driveway approach.

Staff's recommendation is to move the entire massing to the west elevation of the proposed family room/master bedroom (see circle ) or flip the entire addition so it is a mirror image of the existing, which will put the mudroom/closet massing on the opposite side of the addition where there is currently an existing two-story extension (see circle ). Finally, another option could be to mirror image the addition and reverse the locations of the mudroom and the porches. This solution would retain the location of the screen porch in its current configuration – which looks out at the beautiful farm and its outbuildings (see circle ).

Staff commends the applicant's desire to use compatible building materials for this project. The Commission appreciates reviewing projects where the applicant is specifying the use of quality materials. Although the Commission generally supports the use of Hardi-plank siding on rear additions, staff would ask the applicant to consider the use of cedar, horizontal siding.

## **STAFF RECOMMENDATIONS**

Staff recommends that the Commission approve with the above-stated condition the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines.

with the general condition applicable to all Historic Area Work Permits that the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits. After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 or online at <a href="www.permits.emontgomery.org">www.permits.emontgomery.org</a> prior to commencement of work and not more than two weeks following completion of work.





# Bennya Carro

HISTORIC PRESERVATION COMMISSION 301/563-3400

permit# 332480

# APPLICATION FOR HISTORIC AREA WORK PERMIT

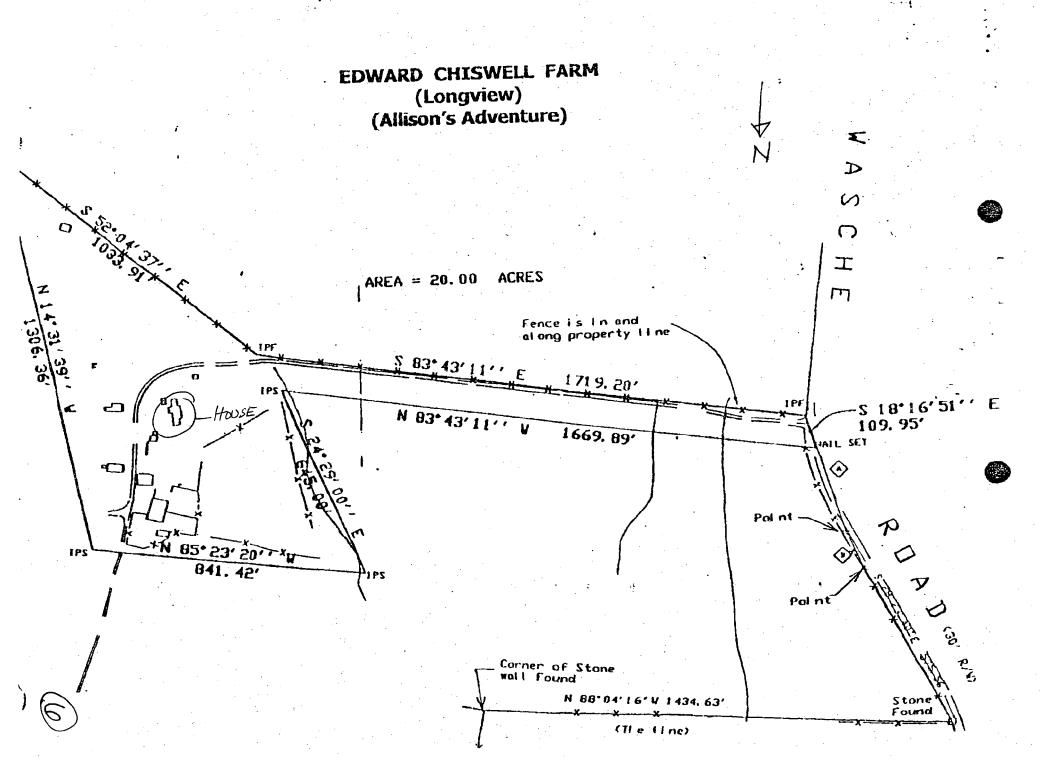
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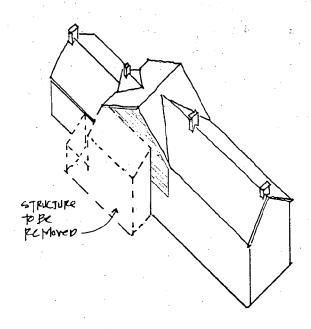
# HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

wner's mailing address	Owner's Agent's mailing address	
Montgomery County Department of Public Works and Transportation Division of Solid Waste Services 101 Monroe Street, 6th Floor Rockville, MD 20850	NA.	
Adjacent and confronting Pro	perty Owners mailing addresses	
Potomac Electric Power Company Real Estate Dept. #703	NA.	
1900 Pennsylvania Avenue, N.W. Washington, DC 20006		
Montgomery County Dept. of Public Works and	NA	
Transportation		
Transportation Division of Solid Waste Services 101 Monroe Street, 6th Floor Rockville, Maryland 20850		
Division of Solid Waste Services 101 Monroe Street, 6th Floor		
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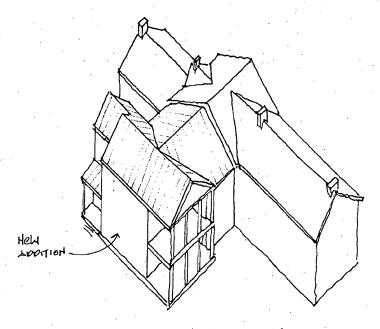
gladdresses) noticing table







EXISTING MASSING PLAGRAM

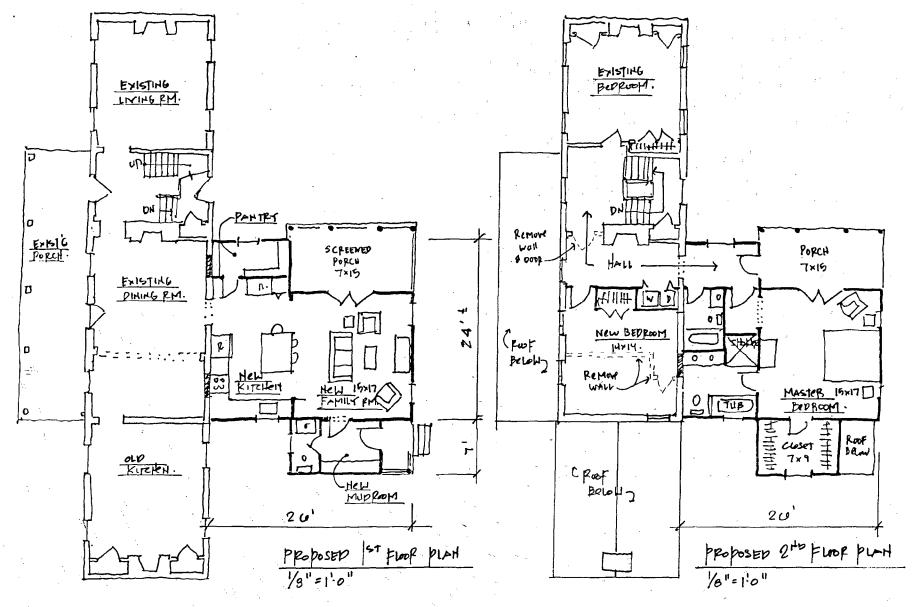


PROPOSED MASSING DIAGRAM.

# CHISHELL FARM

GTM ARCHITECTS, INC. 10415 Armory Ave. KENSINGTON, MD 20895 301-942-9062

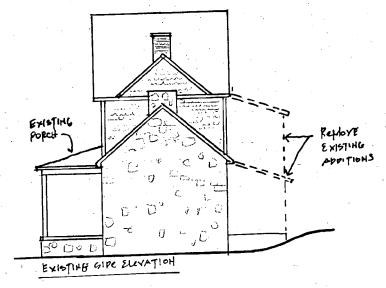
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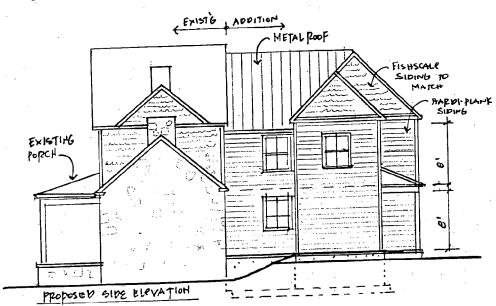


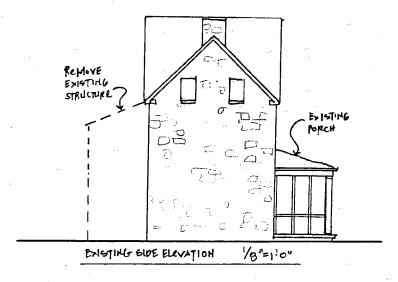
GTM ARCHITECTS, INC. 10415 Aminory Ave. KENSINGTON, MD 20895 301-942-9062

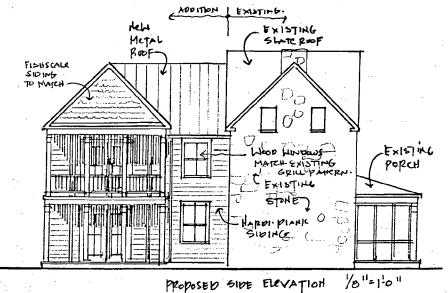


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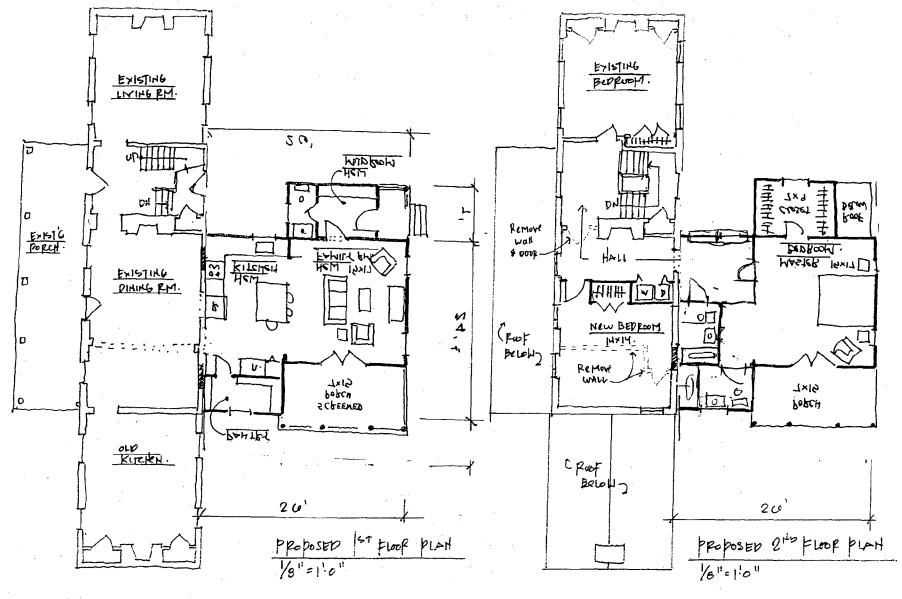






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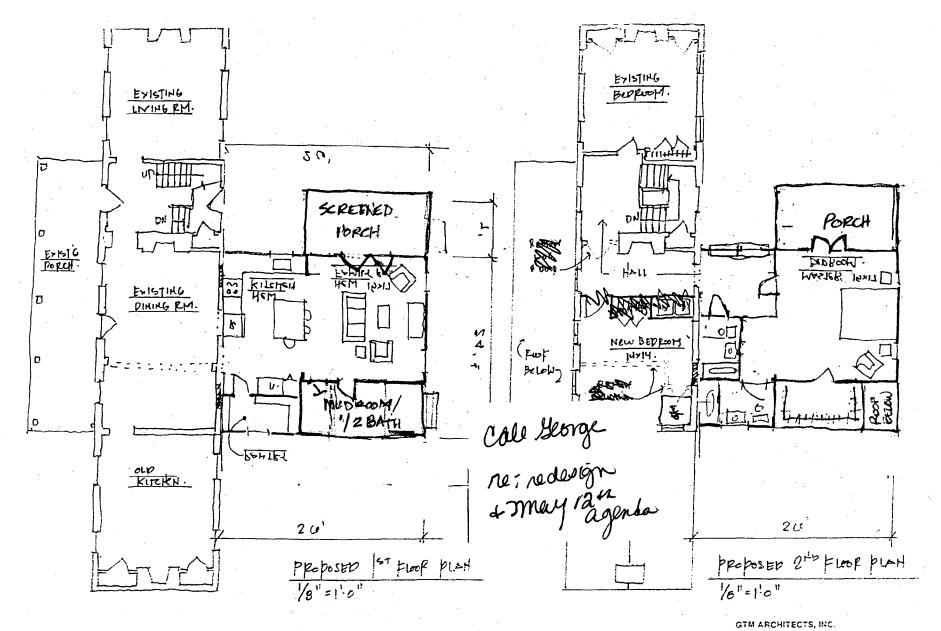




STAFF SUGGESTION #2

GTM ARCHITECTS, INC. 10415 Armory Ave. KENSINGTON, MD 20895 301-942-9062





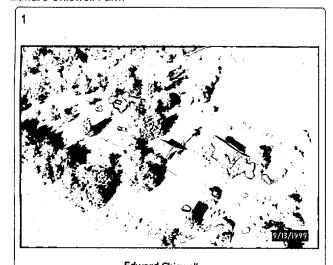
STAPF RECOMMENDATION MD 20895 301-942-9062

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# **Edward Chiswell Farm**

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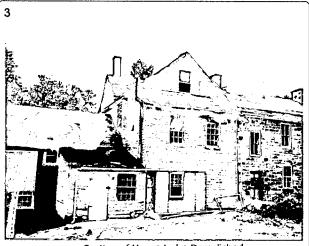
e.jpg



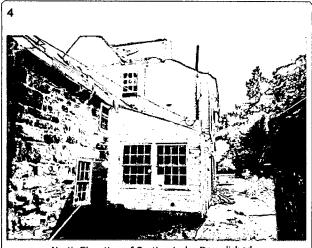
**Edward Chiswell** Historical Farm Setting a.jpg



West Elevation of Farmhouse b.jpg



Section of House to be Demolished
Includes the one-story space and the two-story space
immediately to its right. Both spaces have flat roofs that
slope toward the photographer. Windows will be saved.



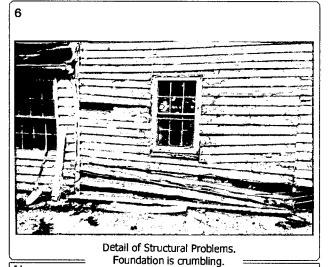
North Elevation of Section to be Demolished Windows will be saved.

d.jpg

f.jpg



South/West Elevation
Section to be demolished has flat roof. Window will be saved.



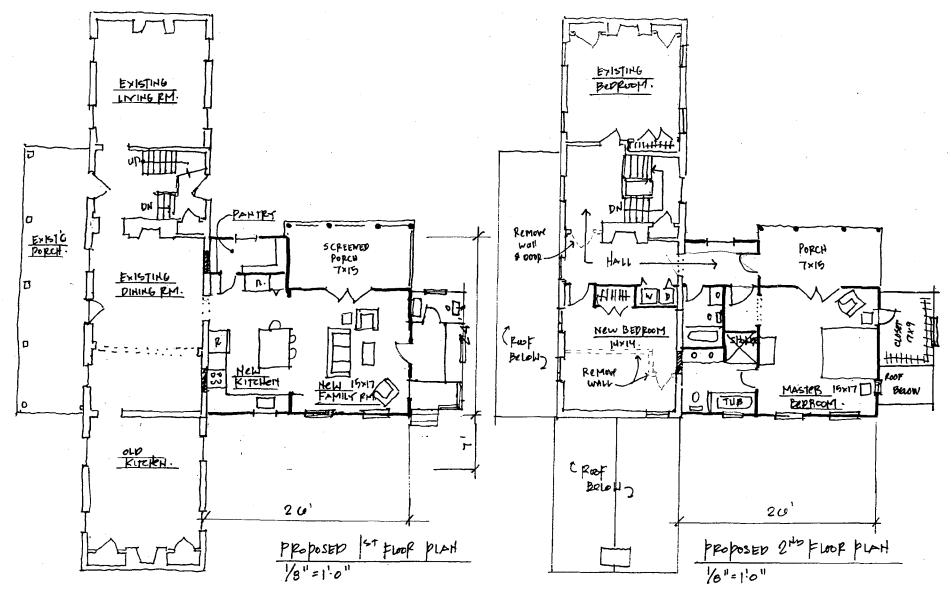
# Edward Chiswell Farm 8 9 ipg Detail of Structural Problems. Lintel is rotted away.

j.jpg

Detail of Structural problems. = Foundation is crumbling.

i.jpg

Detail of Structural Problems.



GTM ARCHITECTS, INC. 10415 Armory Ave. KENSINGTON, MD 20895 301-942-9062

# STAPF SOCGESTION #1



## HISTORIC PRESERVATION COMMITTEE

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2				
3				
4	HISTORIC AREA WORK PERMIT - :	HPC Case No. 16/02-04A		
5	20130 Wasche Road :			
6	HISTORIC AREA WORK PERMIT - : 10314 Fawcett Street :	HPC Case No. 31/06-01J		
7 8	HISTORIC AREA WORK PERMIT - : 10537 Saint Paul Street :	·		
9	x HISTORIC AREA WORK PERMIT - : 7315 Baltimore Avenue :	HPC Case No. 37/03-04V		
11	X HISTORIC AREA WORK PERMIT - : 1901 Brighton Dam :			
13	HISTORIC AREA WORK PERMIT - : 5 Grafton Street :	HPC Case No. 35/13-03X		
14 15	PRELIMINARY CONSULTATION - : 3914 Washington Street :	Kensington Historic District		
16 17	PRELIMINARY CONSULTATION - : 10937 Montrose Avenue :	Garrett Park Historic District		
18	SUBDIVISION :	Claggettsville Historic District		
19	x			
20				
21	A meeting in the above-entitled matter was held on May 12			
22	2004, commencing at 7:53 p.m. at 8787 Georgia Avenue, Silver			
23	Spring, Maryland, before:			

COMMITTEE CHAIRMAN
Julia O'Malley

24

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Deposition Services, Inc. 6245 Executive Boulevard Rockville, MD 20852 (301)881-3344



24

25

today.

forms were on the back table. Have these work permits been 1 2 duly advertised? 3 MS. FOTHERGILL: They were on April 28, 2004. MS. O'MALLEY: Thank you. Is there anyone here to 4 speak in opposition to case C, 9715 Capitol View Avenue; Case D, 10012 Capitol View Avenue; case F, Frederick Road in 6 7 Clapsburg (indiscernible); case G, Noyes Drive in Silver Spring, case I on Jones Bridge Road in Chevy Chase; case K on 8 Washington Street in Kensington; case L on Riggs Hill Way in 9 10 Brookeville? 11 Madame Chair, here and now I move that MR. FULLER: we approve case 31/07-04B, case 31/07-04C, case 13/10-04A, case 12 13 36/04-04A, case 35/54-04B, case 31/06-04I, and case 23/148-04A14 based on the recommendations of the staff report. 15 MS. WILLIAMS: Second. 16 MS. O'MALLEY: All in favor? It's unanimous. of those were your cases, you're free to go home. You can 17 check with staff, please. Thank you for doing such fine work 18 19 on your applications. 20 Should we go ahead and start with case A? This is 21 the continuation. Do you have the staff reports? 22 Just briefly, I would also like to MS. NARU: Yes. note that we've just been handed the revised drawings. A 23

little background on this just so we'll all know where we are

This property at the Edward Chiswell Farm is part of the agreement that the county had given Mr. Harney to lease the property to also, and part of that lease agreement is to rehabilitate the site. And you will note that, gosh, it was almost a year ago now, I believe, we approved the demolition of a non-contributing addition on the rear of the structure noting that, at that time, we were going to see a new construction of a new addition in the future.

And, tonight, we have in front of us a revised plan of the plans that were in the original staff report that was to be heard last week that, or two weeks ago that was not actually heard. So, you know, upon examination of this new plan, this is exactly what staff had recommended, as part of the staff report, in terms of the direction we'd like to see the changes to the addition. So, with that said, we recommend approval based upon the staff report.

The applicant and his architect is here this evening if you'd like to ask any questions. And I do have a bold Power Point to show you what the conditions of the building was when we first laid eyes on it, if you'd like to see that. It'll be existing additions that were previously removed. So, would you like to see that --

MS. O'MALLEY: Sure.

MS. NARU: This is a 1999 view of the site. I'll give you a point of reference. The historic house is here, the

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corn crib, and the back barn are here. This is their ruins of a dairy barn at one time. And right here you can't really see is the historic cistern that's still on the property. And right next to the house, again, you cannot see very well, is the dairy, or the spring house, or, I'm sorry, the smoke house. I'm not sure we decided what that was for sure. And, then, the spring house is farther down in, kind of in the woods. Next slide.

This is the setting, the condition it was in before any work was done. Subsequent to this picture, Park and, or, I'm sorry, Montgomery County, not Park and Planning, put a new slate roof on the, the three periods of the site, and, also, this front part's just been reopened, and the windows also are pretty much back in, in tact, or these have been opened up. Next slide.

This is a view of the porch, and you can see the two of the two windows that were in tact. Next slide.

And the one and a half story section is the great shadow of the original door. Next section.

And this was the frame addition that you approved for a demolition back in 2001. Next slide.

Another view of it. And see the severity of the deterioration of it. It's pretty severe. Next slide. Again.

Next slide.

This is the -- starting to work on the property.

Next.

17.

So, as you can see, we've come a long way from where we were. Unfortunately, we still have a long way to go, so, and like I said the applicant is here this evening.

MS. O'MALLEY: Are there any questions for staff? Would the applicant like to come forward? Did you have anything you wanted to add?

MR. HARNEY: No, I think we're in agreement with, with Michelle on this, and we've talked to her a few times, so I think that we're, you know, we're happy with the staff report if you are.

MS. O'MALLEY: Are there any questions? Take a little time to look at the new plans.

MR. HARNEY: The new plans were just done today at the, Michelle had some suggestions in terms of taking some masking that we originally had towards the year. There's a one and a half story portion, and we kind of just slid the gable forward, and had the port project forward as based on comments from staff which we're okay with. It doesn't seem to affect as much either way. The addition is designed, obviously, to, to fit in, but, nevertheless, they'll be clearly distinct there so you can see that the gable steps down just enough, and the roof materials are different, and the siding's a little different, so --

MS. O'MALLEY: Looks very sympathetic.

1	MS. NARU: We all know that this has kind of been ar		
2	ongoing project, and the staff has been really involved, and		
3	we'll continue to be really involved with Mr. Harney as his		
4	building and structure, and probably have bi-weekly site		
5	visits, et cetera, work with him on it since it's a county		
6	property.		
7	MR. FULLER: Looks good to me. I'd make a motion		
8	that we approve the addition, and we eliminate the staff		
9	condition, and we approve it based on new design. I'd submit		
10	it.		
1,1	MS. WATKINS: Second that.		
12	MS. O'MALLEY: Any discussion? All in favor?		
13	(Vote.)		
14	MS. O'MALLEY: It's unanimous. Thank you. Been		
15	working on that one.		
16	MS. NARU: Thank you, Mr. Harney. We'll talk		
17	tonight.		
18	MS. O'MALLEY: The next case, case B. Got a staff		
19	report?		
20	MS. NARU: Very brief on this project. It's for		
21	10314 Fawcett Street in Kensington, a primary resource one		
22	within the Kensington historic district. The applicant is		
23	proposing to extend the existing driveway to create a		
24	turnaround circle on the property, to install an 18 inch high		

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#### HISTORIC PRESERVATION COMMITTEE

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3		v		
4	HISTORIC AREA WORK PERMIT - 20130 Wasche Road	: HPC Ca	se No. 16/02-0	)4A
5				
6	HISTORIC AREA WORK PERMIT - 10314 Fawcett Street	:	se No. 31/06-0	)1J
7 8	HISTORIC AREA WORK PERMIT -	: HPC Ca	se No. 31/06-0	)4H
	10537 Saint Paul Street			
9 10	HISTORIC AREA WORK PERMIT - 7315 Baltimore Avenue	: HPC Ca	se No. 37/03-0	)4V
	<b></b>	x	N- N- 02/060	0.47
11	HISTORIC AREA WORK PERMIT - 1901 Brighton Dam	:	ise No. 23/069-	-04A
13	HISTORIC AREA WORK PERMIT - 5 Grafton Street	: HPC Ca	ase No. 35/13-0	)3X
14 15	PRELIMINARY CONSULTATION - 3914 Washington Street	: Kensin		
16	PRELIMINARY CONSULTATION -		t Park	
· 17	10937 Montrose Avenue	: Histor x	ric District	
18	SUBDIVISION		ettsville ric District	
19	·	X		•
20				
21	A meeting in the above-entitled matter was held on May 12,			n May 12,
22	2004, commencing at 7:53 p.m. at 8787 Georgia Avenue, Silver			Silver
23	Spring, Maryland, before:			
- 1				

COMMITTEE CHAIRMAN
Julia O'Malley

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Deposition Services, Inc. 6245 Executive Boulevard Rockville, MD 20852 (301)881-3344



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forms were on the back table. Have these work permits been duly advertised?

MS. FOTHERGILL: They were on April 28, 2004.

MS. O'MALLEY: Thank you. Is there anyone here to speak in opposition to case C, 9715 Capitol View Avenue; Case D, 10012 Capitol View Avenue; case F, Frederick Road in Clapsburg (indiscernible); case G, Noyes Drive in Silver Spring, case I on Jones Bridge Road in Chevy Chase; case K on Washington Street in Kensington; case L on Riggs Hill Way in Brookeville?

Madame Chair, here and now I move that MR. FULLER: we approve case 31/07-04B, case 31/07-04C, case 13/10-04A, case 36/04-04A, case 35/54-04B, case 31/06-04I, and case 23/148-04Abased on the recommendations of the staff report.

> MS. WILLIAMS: Second.

MS. O'MALLEY: All in favor? It's unanimous. If any of those were your cases, you're free to go home. check with staff, please. Thank you for doing such fine work on your applications.

Should we go ahead and start with case A? the continuation. Do you have the staff reports?

Just briefly, I would also like to MS. NARU: Yes. note that we've just been handed the revised drawings. A little background on this just so we'll all know where we are today.

# RENOVATION AND CARETAKER LEASE AGREEMENT BETWEEN MONTGOMERY COUNTY, MARYLAND AND ROBERT B. HARNEY

THIS RENOVATION AND CARETAKER LEASE AGREEMENT ("Agreement") is						
made this day of October, 2003, by and between MONTGOMERY COUNTY,						
MARYLAND, a body corporate and politic, hereinafter referred to as the County, and ROBERT						
B. HARNEY located at 7218 Beaco Terr and referred to as the "Caretaker".						
WITNESSETH:						

WHEREAS, the County is the owner of certain property known as the Chiswell Farm, comprising approximately 20 acres of land and several structures located at 20130. Wasche Road, Dickerson, Montgomery County, Maryland, (as more particularly shown on Exhibit A attached hereto and referred to as the "Property") which Property was purchased by the County in connection with the Site 2 landfill, and

WHEREAS, pursuant to Section 3.3.1.6 of the Montgomery County Comprehensive Solid Waste Management Plan for the Years 1998-2007, the Site 2 land is held in reserve for solid waste disposal if out-of-county disposal is no longer feasible, and

WHEREAS, the Property is improved with select historic structures that the County desires to have preserved. Structures on (and included in) the Property include a house constructed in the late 1700s (the "House"), a barn, corn crib, bank barn and other structures, some of which have been designated as having historic significance, and all of which are in need of substantial renovation and repair, and

WHEREAS, the County wants to save the Property from further destruction and disrepair by entering into an agreement for repair, renovation, maintenance and upkeep that will in the short run secure and weather proof the structures, and in the long run, repair and restore and aesthetically improve the Property into a site that will 1) restore the House and make agricultural use of the Property; and 2) offer educational opportunities to the community to appreciate the historic and agricultural resources on the Property.

WHEREAS, the County desires to have the Property repaired, renovated, maintained and cared for in a manner that is consistent with and protective of those portions of the Property that

are of historic significance and in a manner that is consistent with the surrounding agricultural and residential uses, and

WHEREAS, pursuant to Executive Regulation 67-91AM, Executive Order No. 28-98 was issued on February 27, 1998, wherein the County Executive determined that the Property is surplus to County needs, and may therefore be disposed of, and

WHEREAS, pursuant to said Executive Order the County issued a public request for proposals from individuals and organizations willing to accept the Property on an as is basis, and to undertake the needed renovations and repairs, with private funds and financial assistance from the County, and

WHEREAS, as a result of said public request, a number of proposals were received by the County, and were evaluated by a Selection Committee composed of representatives from the County's Department of Public Works and Transportation, the Facilities Implementation Group, and the Sugarloaf Citizens Association, and

WHEREAS, Paul Harney and Robert Harney submitted the proposal attached hereto and incorporated herein as Exhibit B (the "Proposal"), which proposal was selected by the Committee for the repair, renovation, maintenance and caretaking of the Property and in exchange therefore the County agrees to enter into this Agreement, subject to certain terms and conditions as hereinafter set forth (n.b., to the extent that there is any conflict between the Proposal and this Agreement, including, but not limited to the interest hereby created, this Agreement controls), and

WHEREAS, the Caretaker is to do the renovation work described in Exhibit B and is to do the ongoing maintenance, renovation, and caretaker work on the Property as described herein.

NOW, THEREFORE, in consideration of the sum of ten (\$10.00) dollars, the receipt of which is hereby acknowledged by the County, and for other good and valuable consideration as hereinafter set forth, the parties hereto agree as follows:

1. <u>PROPERTY</u>: The Property is shown as the area outlined in red on page 1 of <u>Exhibit A</u> attached hereto and incorporated herein by reference, and as further identified in the narrative metes and bounds description attached hereto as pages 2 and 3 of <u>Exhibit A</u>, being a portion of Parcel 405, Tax Map BU located at 20130 Wasche Road, in Dickerson, Montgomery

County, Maryland. Caretaker acknowledges that this agreement is a Renovation and Caretaker Lease Agreement and that Caretaker accepts the Property in an "as is" condition. The County is not responsible for, nor is it required to make, any repairs or to perform any maintenance upon the Property, except as expressly provided for herein. Caretaker agrees that he will not move into the residence (nor allow anyone else permitted to occupy the residence as provided herein to move into the residence) on the Property until the House is sufficiently complete that it is safe, clean and habitable, a certificate of occupancy has been issued, and the County, in its capacity as owner of the House, has approved the renovated House for occupancy. Neither the County, nor this Agreement, is subject to the requirements of Montgomery County Code 1994 as amended, Chapter 29 and Caretaker acknowledges that the primary purpose of this Agreement is to complete renovation work on the Property and to ensure that the Property is properly maintained and cared for so that it is an asset to the community consistent with its historic and agricultural significance.

2. TERM: The term of this Agreement shall begin on the above stated date (the "Commencement Date"). The term shall continue for a period of five (5) years, ending on the 5th anniversary of the Commencement Date. Notwithstanding the foregoing, in the event that all or a portion of the Property is needed for public purposes, or if any of the work hereunder is not being prosecuted and completed to the satisfaction of the County (in its sole, but reasonable discretion), the County may terminate this Agreement as to all or a portion of the Property upon not less than 30 days notice to the Caretaker. Caretaker acknowledges and agrees that if the County terminates the Agreement, Caretaker is not entitled to any compensation for such termination. Caretaker may, however, where the Agreement is terminated for a portion of the Property, elect to have the termination apply to the entirety of the Property. Caretaker must notify the County in writing of this election within 30 days of the notice from the County. Caretaker may at its election, terminate this Agreement term upon thirty (30) days advance written notice to the County. Caretaker (and anyone occupying the residence permissively with the Caretaker as provided herein) must by the date given in the applicable notice vacate and terminate its use of, and/or presence upon, the portion of the Property for which the Agreement is being terminated in accordance with the provisions of Section 15.

#### 3. USE OF THE PROPERTY:

- A. The Property will be used by the Caretaker solely as a single family residence and farm, in a manner that is (i) compatible with the historic and agricultural character of the surrounding area, (ii) consistent with the property's zoning, and (iii) approved by the County. The House is the only structure that may be used as a residence and may only be occupied by Robert B. Harney. Notwithstanding the foregoing, provided that Caretaker is an occupant of the House, he may have one roommate live in the dwelling with him. Prior to any such roommate moving into the House, he or she must deliver to the County, in form and substance acceptable to the County, a binding written commitment to abide by the terms and conditions of this Agreement.
- B. Caretaker will not use the Property, nor permit the Property to be used, for any disorderly or unlawful purposes or in any manner offensive to others and will comply with all applicable Federal, State, County and local laws and ordinances. Caretaker expressly agrees not to allow or permit controlled dangerous substances of any type, or paraphernalia used in connection with controlled dangerous substances, on the Property.
- C. The Caretaker will make the Property (excluding the House) available from time to time to members of the public, for the purpose of holding farm visits, educational field trips and similar low intensity events, provided such low-intensity events do not result in more than 40 persons being on the Property at one time.
- D. The Property may not be used by the Caretaker or anyone other than the County to generate revenue unless the County has first approved such use and any revenue generate by such approved use shall belong to the County. The County may agree in its approval of any such use to allow Caretaker to recoup approved costs that it incurs in connection with such revenue generating use.
- E. Caretaker and any roommate as provided above may keep their personal horses on the Property, but may not use the Property for public horseback riding or for-profit horseback riding, or stabling purposes.

4. <u>CONSIDERATION</u>: The parties are entering into this Agreement in consideration of the mutual undertakings provided for herein, each of which is deemed to be material and significant consideration. It is a material inducement to the County that the Caretaker shall manage, arrange for and perform the work described in the Exhibit attached hereto and incorporated herein as Exhibit C in accordance with the schedule attached and incorporated herein as Exhibit D and that the Caretaker take care of and maintain the Property in a good, safe, clean and neat condition in accordance with the terms of this Agreement, and that Caretaker perform the repairs, renovations, and ongoing maintenance provided for herein. Failure to repair, maintain or renovate the Property in accordance with the Agreement is a material breach and grounds for termination of the Agreement.

#### 5. RENOVATION, REPAIR, MAINTENANCE AND CARETAKER SERVICES:

- A. House. The work to be provided by Caretaker consists of providing the design, construction, management and oversight of the renovation work to the House. Any additional repairs or costs beyond such amount shall be borne by the Caretaker. The County approves the concept plan for such renovation work attached and incorporated herein as Exhibit C. Caretaker shall within thirty (30) days of execution of this Agreement provide the County, for its approval, detailed plans and cost estimates for the renovation work for the House (the approved plans are the "Renovation Plans"). Caretaker shall apply for and obtain all permits and approvals, including historic work permits, required for any work on the Property. Caretaker may not make any changes to the House other than as shown on the Renovation Plans. The work on the Renovation Plans must be completed in accordance with the schedule attached and incorporated herein as Exhibit D, which work must be completed by Caretaker no later than September 1, 2004.
- B. Barn. Caretaker has obtained several bids for the stabilization of the main structure of the bank barn and the repair of its roof system. The County has approved the proposal from Cornerstone, Inc dated April 29, 2003, a copy of which is attached hereto as Exhibit E. Caretaker shall promptly engage Cornerstone, Inc. (provided that it 1. is a duly qualified and licensed contractor; 2. has provided insurance coverage in form and substance acceptable to the County and naming the County as an additional insured with provision that such coverage shall not be terminated nor materially modified without 60 days advance notice to the County; 3. obtained and indemnification of the County from the contractor in form and substance reasonably acceptable to the County; and 4. entered into a binding contract with Caretaker for the work

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described in Exhibit E -- including obtaining any necessary permits) to perform the work described in Exhibit E. The County will pay Caretaker for such work in accordance with the provisions of section 8 below.

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assign this Agreement, nor sublease or license or allow the use of the Property or any part thereof without the County's written approval. Prior to execution of any license, assignment or use agreement for the Property, the Caretaker must first obtain the County's written consent, which consent may be withheld or granted in the County's sole discretion. In order to receive County consent to a prospective license, use agreement or assignment, the Caretaker shall submit to the County copies of the proposed license, use or assignment agreement, a description of the activities of the proposed user, licensee or assignee, and any other information pertinent to the proposed use. The County shall respond in writing within 30 days of receipt of the above materials. No response on the part of the County shall be deemed a denial. In the event this Agreement is assigned or any portion of the Property is licensed by the Caretaker, the Caretaker shall nonetheless remain responsible for the performance of all obligations required of the Caretaker under this Agreement.

#### 7. MAINTENANCE AND OPERATION OBLIGATIONS OF THE CARETAKER:

A. Caretaker is acting as a caretaker of the Property and is fully responsible, at Caretaker's sole risk and expense, to perform all maintenance, repair, and/or replacement necessary for the Property to be in a good, safe condition. As consideration for entering into this agreement, Caretaker expressly agrees to invest a minimum amount of \$1500 per month into the repair, restoration and maintenance of the Property. This amount may be established by receipts for labor and material provided in the provision of Caretaker services, or by providing acceptable evidence of the performance and value of work done to the Property. By the 15th of each month during this Agreement, Caretaker will provide the County with a listing of the repair, renovation and maintenance work which will be performed on the Property during the following month and the estimated cost and time involved with such work. Caretaker shall also provide the County with receipts and a full statement of the repair, renovation and maintenance work performed on the Property during the previous month,

The County shall review the repair, renovation and maintenance work proposed for the upcoming month and promptly advise the Caretaker whether any additional repair, renovation or maintenance is required during the upcoming month restore the Property to a good, safe condition or to protect the Property from damage or deterioration.

- B. As substantial consideration for the right to occupy the Property, Caretaker assumes, at Caretaker's exclusive risk and expense, full responsibility for the maintenance and repair of, including but not limited to, the building and equipment, fixtures, roof, windows, floors, walls, electrical systems, heating and air conditioning systems, and plumbing systems.
- C. The Caretaker is fully responsible at Caretaker' sole risk and expense, for all operating expenses for the Property, including, but not limited to, utility bills and expenses, trash removal, pest control, grounds maintenance, preventative maintenance, day-to-day minor and major maintenance, tree removal (but only with County consent), fence repair and/or replacement, repair or replacement of equipment and security of the Property.

### 8. INITIAL REPAIRS, RENOVATIONS AND CAPITAL IMPROVEMENTS:

- A. <u>General</u>: Caretaker must complete, at Caretaker's risk and expense, all repairs and renovations to the Property, in accordance with <u>Exhibits B and C</u>. Failure to complete such repairs and renovations in accordance with the schedule set out in <u>Exhibit D</u> and in a good and workmanlike manner shall be grounds for terminating this Agreement. County has the right to inspect, review and approve all work, materials and contractors being used on the Property. Caretaker's work is subject to the following conditions:
  - Caretaker must perform or cause to be performed all repairs, renovations and other work permitted hereunder in a good, safe, workmanlike manner.
  - ii. Caretaker must immediately pay and discharge all invoices and bills incurred in connection with any repairs or renovations or other

work performed hereunder, subject to payments by the County as set forth in subsection 8 D and E.

- iii. Caretaker must not allow any liens to attach to the Property.
- B. Applicable Laws and Regulations: The Caretaker shall be responsible for observing any and all laws, rules, regulations, codes and statutes relating to the work to be performed on the Property, and shall be responsible for obtaining all necessary work, building and historic area permits as required to complete the work. Recognizing that certain structures on the Property have been designated as having historic significance, the Caretaker shall observe the Secretary of the Interior's Standards for Historic Preservation Projects; Montgomery County Code Chapter 24A, entitled Preservation of Historic Resources; guidelines and regulations issued by the Montgomery County Historic Preservation Commission, and any other applicable laws, standards, codes and regulations relating to the renovation and preservation of historic structures.
- C. Hazardous Materials: Due to the age of some of the structures on the Property, Caretaker acknowledges that lead based paint, asbestos, and other hazardous materials may exist within the Property. The Caretaker shall be responsible for compliance with all applicable codes, rules, laws and regulations relating to the removal, mitigation or encapsulation of any such materials, at the Caretaker's risk and expense. Upon discovering any such material, Caretaker shall immediately provide the County with written notice of the presence of such material. Any removal, handling or encapsulation of such material must be in accordance with a plan first approved by the County. Caretaker shall also take all necessary measures to protect any individuals who may be exposed to such materials while on the Property, during or following the renovation period.
- D. <u>County's Contribution</u>: The County shall make a contribution toward the renovation and restoration of the Property and all structures thereon (including the barn), in an amount not to exceed THREE HUNDRED THOUSAND DOLLARS (\$300,000.00), of which amount an amount not

ceed \$240,000 shall be for restoration and repairs to the house and an amount not to exceed \$60,000 shall be for repairs to the barn per Exhibit E. With the approval of the County, amounts can be shifted between the House and the Barn. All project costs exceeding the County's contribution, as set forth hereinabove, shall be the responsibility of the Caretaker. The County and Caretaker acknowledge that the total cost of completing the full Scope of Requirements attached as Exhibits B, C and E is likely to exceed the County's contribution as herein set forth. It is the intent of the County and Caretaker that the Caretaker will generate the additional resources needed to complete the project through a variety of means, including donated or volunteer resources, private fund raising, and other sources identified by the Caretaker.

- E. <u>Disbursement of Funds</u>: Exhibits B and C set forth estimates of the cost of completing each of the project milestones. The County shall disburse its contribution Payment for restoration and repair work as provided herein. No portion of the County's funds may be used for equipment or tools to be used in connection with work on the Property. The County will pay only for the fair and reasonable costs of repair and renovation work that it expressly authorizes to be performed in a notice to proceed containing a not to exceed amount for such work. Payments will be made only for work that 1) is actually completed and not defective; 2) has been approved by the County; and 3) for which waivers of liens have been provided by the Caretaker and its subcontractors or materialmen providing work on the Property. Caretaker shall use best efforts to comply with the County's MFD requirements. The County will use good faith efforts to process payment for each completed task within thirty (30) days following its inspection and approval of the completed work.
  - i. Caretaker will not be entitled to any disbursement or contribution from the County for any finance charges, administrative costs, contractor fees other than for third party work, operating, routine maintenance or routine repair expenses, or any other ancillary costs except the actual cost of design, engineering and construction and/or costs directly related to the work specified in Exhibits B, C and E, which costs must be fully documented by Caretaker and must not exceed the amount allocated for the tasks as set out in Exhibits B, C and E (unless the County approves such excess amount in writing in which event the remaining available

contribution will be reduced by a like amount). In no event will the County be obligated to pay for anything for which it has not appropriated funds.

- Repairs or improvements completed by Caretaker without the prior knowledge or written approval of the County will not be approved for disbursement.
- iii. In the event the work performed is not in compliance with the plans and specifications previously approved by the County, Caretaker will immediately undertake any necessary corrections at Caretaker's sole cost and expense. Corrective measures are not eligible for disbursement or reimbursement by the County. In the event Caretaker fails to take necessary corrective actions, if they are required by the County to correct deficiencies in work performed by Caretaker, any provision by the County for further disbursement of funds will be terminated, the Caretaker shall be considered to be in material breach of this agreement, and the County may proceed to terminate this Agreement, and pursue any and all other remedies available to the County under the law.
- iv. The County will not disburse funds in the event of default by Caretaker of any of the terms and conditions of this Agreement.
- F. Future Changes or Improvements to Property: Caretaker must obtain the prior written consent of the County for all changes or improvements to the Property. Caretaker must submit complete plans, drawing, and specifications at least 45 days prior to beginning work. Caretakers's submittal must be of sufficient detail and content to permit the County to fully evaluate Caretaker's anticipated project. The County will respond in writing to Caretaker's submission within 45 days of the receipt of all required documentation. The County reserves the right to deny approval of any and all improvements proposed by Caretaker.

#### 9. CONDITION OF THE PROPERTY:

- A. The Caretaker accepts the Property in its "as is" condition. The County makes no representation or warranties as to habitability or fitness for a particular purpose. Caretaker agrees that it has no claim for breach of any covenant of quiet enjoyment or habitability arising out of the condition of the Property. The Caretaker agrees to maintain the Property in good condition and state of repair and free of clutter throughout the term of this Agreement and any extensions thereof. The Caretaker agrees to keep the Property clean and neat in appearance at all times. The Caretaker shall not suffer or commit any waste to, in or upon said Property or fixtures, nor commit waste with regard to utilities furnished by the County. The Caretaker shall be liable for and make repairs to the Property, fixtures and appliances belonging thereto, resulting from damage by misuse or neglect of the Caretaker, the Caretaker's agents, servants or invitees. No improvement or alteration of the Property shall be made without the prior written consent of the County. The County shall not be responsible for any work or materials furnished on or to said Property, and Caretaker has no authority to incur any debt or make any charge against the County or to create any lien upon said Property for any work or materials furnished to the Property. The Caretaker shall give the County prompt notice of any defects in or accidents to the structures, plumbing, electrical wiring, heating or air conditioning apparatus or any other part of said Property in order that the same can be repaired with due diligence.
- B. Excavation Prohibited: Without the express written consent of the County, the Caretaker shall not cause, permit or suffer any grading, alteration, excavation, subsoiling, drainage improvement, or other undertaking which would materially disturb the surface or subsurface of the ground on the Property. Nothing herein contained, however, shall be construed so as to prohibit ordinary and customary agricultural practices on the Property, according to sound land management practices established by the American Soil Conservation Service.

#### 10. **INSURANCE**:

- A. Caretaker agrees to obtain and maintain, during the full term of this Agreement, a, policy of liability insurance with a minimum limit for bodily injury and property damage in the amount of one million dollars (\$1,000,000.00) per occurrence issued by an insurance company licensed in the State of Maryland and acceptable to the County. Montgomery County Government shall be named an additional insured under this policy.
- B. Caretaker agrees to obtain and maintain, during the term of this Agreement, a policy of All Risk Property insurance on the single family residence covering one hundred percent (100%) of the value of the improvements. The maximum deductible under this policy shall not exceed five hundred dollars (\$500.00). Montgomery County Government shall be named as loss payee under this policy. Caretaker agrees to include in any caretaker agreement a provision requiring that the caretaker obtain and maintain during the term of the caretaker agreement renter's insurance covering his or her personal property on the Property and general liability.
- C. In the event that work is done at the request of Caretaker, by persons who could make a claim against Caretaker, Workmans' Compensation Insurance Policy, if one is in effect, Caretaker must provide such coverage in amounts required by law.
- D. <u>Additional Insured</u>: Montgomery County Government must be named as an additional insured on all liability policies.
- E. <u>Policy Cancellation</u>: Forty-five (45) days written notice of cancellation or material change of any of the policies is required.
- F. <u>Certificate Holder</u>: The Certificate Holder on all insurance policies shall be Montgomery County Government, Department of Public Works and Transportation, 101 Monroe Street, Rockville, Maryland 20850.

G. The Caretaker shall, no later than ten (10) days from the execution term of this Agreement pursuant to Paragraph 2 hereof, deliver to the County the said policies or certificates of insurance evidencing the coverage hereinabove stated. The Caretaker has the obligation to assure that the County has a valid unexpired certificate of insurance.

#### 11. **DEFAULT**:

- A. Caretaker shall be considered in default of this Agreement upon the occurrence of any of the following:
  - i. Failure to perform under any term, covenant or condition of this Agreement ("breach") and the continuance thereof for thirty (30) days after written notice from the County specifying said failure, unless the exigencies of the circumstances require a shorter time for rectifying the breach.
  - ii The commencement of any action or proceeding for the dissolution or liquidation of Caretaker, or for the appointment of a receiver or trustee of Caretaker's property, and the failure to discharge any such action within thirty (30) days.
  - iii The making of any assignment for the benefit of Caretaker's creditors.
  - iv. The abandonment of the Property by Caretaker.
- B. In the event that the Caretaker shall be in default as hereinabove stated, and shall fail to cure the breach within thirty (30) days (or such shorter time as the exigencies of the circumstances may require) after written notice from the County (or such period as may be reasonably required to correct the breach with exercise of due diligence), then and in every such case thenceforth, at the option of the County or the County's assigns, the Caretaker's right of use and possession shall thereupon end, and the County may proceed to recover possession under the laws of the State of Maryland (free and clear of Caretaker and his roommate) and seek any

- In the event of an emergency need for major repair or improvement, Caretaker will notify the County immediately, and the County will respond within an appropriate period of time, as dictated by the emergency situation and by the requirements of this Agreement.
- ii. The County has the right to inspect all work and materials before, during and after construction.
- iii. The total cost of all such changes or improvements will be borne solely by Caretaker. Caretaker will be solely responsible for obtaining all permits and licenses from all appropriate County, State, and/or municipal authorities.
- G. Audit: The County has the right to audit all construction or other costs for which Caretaker requests payment. The Caretaker certifies that all information it has provided or will provide to the County is true and correct and can be relied upon by the County in entering into this Agreement, in making payments provided for herein, or in taking any other action with respect to this Agreement. Any false or misleading information provided by Caretaker is a material breach of this Agreement. The Caretaker certifies that its accounting system conforms with generally accepted accounting principles, is sufficient to produce reliable financial information. The County may examine the Caretaker's and its contractors' and subcontractors' records to determine and verify compliance with this Agreement and to verify the proper expenditure and use of funds upon and for the Property. The Caretaker, its contractors and subcontractors must grant the County access to these records at all reasonable time during the Agreement and for three years after the termination of the Agreement. The Caretaker must include conforming language to the requirements of this section in all of its contracts and subcontracts for work on and about and for the Property.
- 8. <u>UTILITIES</u>: The Caretaker shall be responsible for the payment of all utilities, including electricity, water, fuel, and telephone.

other remedy to which the County may be entitled under this Agreement and under the laws of the State of Maryland.

- 12. <u>NON-DISCRIMINATION</u>: Caretaker agrees to comply with the non-discrimination and employment policies in County contracts as required by Section 11B-33 and Section 27-19 of the Montgomery County Code, 1994, as amended, as well as all other applicable state and federal laws and regulations regarding employment discrimination and housing discrimination. The Caretaker assures the County that in accordance with applicable law, it does not, and agrees that it will not, discriminate in any manner on the basis of age, color, creed, national origin, race, religious belief, sexual preference or handicap.
- 13. <u>COUNTY NOT A PARTNER</u>: It is expressly understood that the County shall not be construed or held to be a partner or associate of the Caretaker in the conduct of Caretaker's business; it being expressly understood that the relationship between the parties hereto is and shall remain at all times that of County and Caretaker.
- 14. <u>CONTRACT SOLICITATION</u>: The Caretaker represents that the Caretaker has not retained anyone to solicit or secure this Agreement from Montgomery County, Maryland, upon an agreement or understanding for a commission, percentage, brokerage or contingent fee, excepting for bona fide employees or bona fide established commercial, selling or leasing agencies maintained by the Caretaker for the purpose of securing business or an attorney rendering professional legal services consistent with applicable canons of ethics.
- 15. SURRENDER OF POSSESSION: Caretaker covenants, at the expiration or other termination of this Agreement, or upon the County's recovery of possession of the Property, to remove all personal property from the Property not the property of the County, and to yield up to the County the Property and all keys, locks and other fixtures connected therewith (except furnishings belonging to Caretaker) in good repair, order and condition in all respects, reasonable wear and use thereof and damage by fire or other casualty and damage from any risk with respect to which Caretaker is not herein expressly made liable excepted. All improvements made upon and fixtures installed upon the Property will be the property of the County.
- 16. <u>ACCESS</u>: The Caretaker shall allow the County and the County's employees or agents to have access to the Property at all reasonable times, during normal working hours for the

purpose of inspection, or in the event of fire or other property damage, or for the purpose of performing any work which the County considers necessary or desirable, or for any other purpose pursuant to the reasonable protection of the Property. The Caretaker and any occupant shall allow access by the County to the single family residence in accordance with applicable law. The Caretaker shall not alter or change the exterior locks installed on the Property, and in the event of an approved change, shall provide the County with keys to the facility, said keys to be used by the County to obtain access to the Property in emergency situations.

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- 17. <u>STANDING</u>: The Caretaker hereby agrees that it will not rely on its interests in real property created by this Agreement to establish its standing to pursue either administrative or judicial remedies with regard to any solid waste or recycling facility of the County, either existing, proposed or proposed in the future.
- 18. FORCE MAJEURE: Anything in this Agreement to the contrary notwithstanding, providing such cause is not due to the willful act or a neglect of either party, neither party shall be deemed in default with respect to the performance of any of the terms, covenants and conditions of this Agreement if the same shall be due to any strike, lockout, civil commotion, warlike operation, invasion, rebellion, hostilities, military or upsurged power, sabotage, government regulations or controls, inability to obtain any material, service or financing, through an act of God or other cause beyond the control of either party. In the event that any of the above events beyond the control of either party shall render the Property uninhabitable or shall frustrate the caretaking and restoration purposes of this agreement, either party shall have the right to terminate this Agreement by providing thirty (30) days notice to the other.
- 19. <u>HOLD HARMLESS</u>: Caretaker agrees to protect, indemnify and hold harmless the County, its officers, employees and agents (the "Indemnified Parties") from and against all liabilities, actions, damages, claims, demands, judgments, losses, costs, expenses, liens, encumbrances, suits or actions and attorneys' fees, and the cost of the defense of the Indemnified Parties in any suit, including appeals, for personal injury to, or death of, any person or persons, or loss or damage to property caused by any act, intentional or negligent of the Caretaker, its agents, roommates, licensees, invitees, contractors, subcontractors or employees, at or upon the Property or any part thereof, or in connection with or as a result of this Agreement any use or rights hereunder, or the performance by the Caretaker of its obligations hereunder, except to the extent that the injury, death, loss or damage was the result of the willful misconduct or negligent acts,

errors or omissions of such Indemnified Party. The foregoing indemnification also applies to any liabilities or penalties arising out of any violation of any law, ordinance regulation or permit. These indemnification provisions are for the protection of the Indemnified Parties only and must not establish, of themselves, any liability to third parties.

- 20. <u>RESPONSIBILITIES OF CARETAKER</u>: Caretaker covenants and agrees as follows:
  - A. Caretaker shall not strip, overload, damage or deface the Property, hallways, stairways or other approaches thereto or the fixtures thereupon or used therewith, nor suffer or permit any waste in or upon said Property.
  - B. Caretaker shall not keep gasoline or other flammable material or any explosive within the Property which will increase the rate of all risk insurance on the Property beyond the ordinary risk established for the type of operations described herein. Any such increase in the insurance rate due to the above, or due to Caretaker's special operations within the Property, shall be borne by Caretaker. Caretaker shall not willfully do any act or thing in or about the Property which may make void or voidable any insurance on the Property, and Caretaker agrees to conform to all rules and regulations established from time to time by the County, the Maryland Insurance Rating Bureau, or any other authority having jurisdiction over such matters.
  - C. Caretaker shall not use the Property or allow the Property to be used or any part thereof for any illegal, unlawful or improper purpose or for any activity which will constitute a public or private nuisance to adjacent properties or the adjacent neighborhood.
  - D. Caretaker shall not place upon the Property any placard, sign, lettering or awning except such, and in such place and manner as shall have been first approved in writing by the County, and provided that the Caretaker complies with all relevant local ordinances and regulations.
  - E. Caretaker acknowledges that all responsibilities of Caretaker relating to the use or misuse of the Property and anything therein shall be construed

to include use or misuse thereof by Caretaker's agents, employees, contractors, subcontractors, roommates and invitees.

F. Caretaker shall comply with all reasonable rules and regulations with regard to the use of the Property that may be from time to time promulgated by the County and any violation of said rules and regulations shall be deemed to constitute a violation of this Agreement. It is understood that such rules and regulations shall not unreasonably interfere or prevent the intended uses of the Property as set forth in this Agreement.

## 21. <u>DESTRUCTION OF PROPERTY</u>:

- A. In the event the Property is destroyed or damaged from whatever cause so as to render all or a substantial portion of the Property unfit for the purposes for which the Property is used, and the repair of said destruction or damage cannot reasonably be accomplished within available insurance proceeds within ninety (90) days from the date of such damage, Caretaker and the County shall each be entitled to terminate this Agreement by written notice to the other within thirty (30) days after the destruction or damage occurred.
- B. In the event that the County or Caretaker as their interests may appear, are able to undertake the repair of the Property, they shall complete said repairs within ninety (90) days or within a reasonable time, given the circumstances of the necessary repairs, from the date of destruction or damage and this Agreement shall not be affected.
- C. In the event that parties are not able to repair the Property as hereinabove provided, this Agreement shall terminate immediately upon notice from the County and Caretaker shall not be entitled to any compensation or payment from the County for the value of any remaining term of the Agreement.

- D. All insurance proceeds (except "renter" insurance proceeds specifically covering Caretaker's personal belongings) shall be immediately paid to the County.
- 22. <u>NOTICE OF DEFECTS</u>: Caretaker shall give to the County prompt written notice of accidents in or damages to the Property.
- between the parties hereto that Caretaker, at Caretaker's expense, will promptly comply with, observe and perform all of the requirements of all of the statutes, ordinances, rules, orders and regulations now in effect or hereinafter promulgated whether required by the Federal Government, State of Maryland, Montgomery County Government, Montgomery County Department of Environmental Protection, Montgomery County Department of Public Works and Transportation, Montgomery County Health Department or Montgomery County Fire Marshal's Office. The foregoing shall not be construed to preclude the Caretaker from exercising its legal right to contest the validity of legislation through judicial process, provided that the Caretaker shall continue to fully comply with the provisions of this Paragraph pending the outcome of the Caretaker's efforts.
- 24. PARTIAL INVALIDITY: In case any provision or any part of any provision contained in this Agreement shall for any reason be held to be invalid, illegal or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect any other provision or remaining part of the affected provision of this Agreement, but this Agreement shall be construed as if such invalid, illegal or unenforceable provision or part thereof had never been contained herein but only to the extent it is invalid, illegal or unenforceable. In the event that any such provision may be construed so as to overcome any such potential invalidity, illegality or unenforceability, then a liberal interpretation shall be applied and the Agreement shall be interpreted in such a manner favorable to its validity, legality and enforceability, it being the express intention of the parties hereto to fully perform the obligations contained herein and the purposes sought hereby. And it is also the intention of the both parties that in lieu of each clause or provision that is illegal, invalid or unenforceable, there be added, as a part of this Agreement, a clause or provision as similar in terms to such invalid, illegal or unenforceable clause or provision as may be possible and be valid, legal and enforceable.

- 25. <u>WAIVER</u>: The failure of either party to insist on any occasion upon the strict performance of any covenant, condition or agreement herein contained shall not constitute or operate as a waiver of such covenant, condition or agreement on that occasion or any subsequent occasion. No mention in this Agreement of any specific right or remedy shall preclude either party from exercising any other right or from having any other remedy or from maintaining any action to which it may otherwise be entitled either at law or in equity. The County specifically does not waive its police powers or any authority to enact legislation or administer or enforce its legal rights or obligations.
- 26. <u>PUBLIC EMPLOYMENT</u>: Caretaker understands that unless authorized under Section 11B-52 and Chapter 19A of the Montgomery County Code (1994), as amended, it is unlawful for any person transacting business with Montgomery County, Maryland, to employ a public employee for employment contemporaneous with his or her public employment.
- 27. <u>HOLDOVER</u>: In the event that the Caretaker shall continue to occupy the Property or any part thereof after the conclusion of the term of this Agreement, or any extensions thereof, with prior written authorization of the County the tenancy thus created shall be deemed to be upon a month-to-month basis and may be terminated by either party giving the other not less than thirty (30) days written notice, to expire on the day of the month from which the tenancy commenced. During any month-to-month tenancy, both parties shall continue to observe all agreements, covenants and conditions contained in this Agreement.
- 28. <u>PROHIBITION OF HAZARDOUS SUBSTANCES</u>: The Caretaker agrees not to store or bring hazardous substances onto the Property. The Caretaker shall be responsible for and shall indemnify and defend the County against any and all claims of any personal injuries or personal and real property damage as a result of any hazardous substance being brought on the Property by the Caretaker, its agents, contractors, subcontractors, employees, roommate, or invitees.
- 29. <u>NON-APPROPRIATION:</u> This Agreement and expenditures hereunder are subject to the annual appropriation of funds. The County shall give Caretaker at least thirty (30) days written notice of the lack of appropriation and either party may terminate this Agreement due to such non-appropriation.

30. MAILING NOTICES: Unless otherwise provided herein, whenever notice is to be given under the terms of this Agreement, such notice shall be deemed to have been given three (3) United States Postal Service working days after enclosed in an envelope having the proper postage, addressed to the party, and deposited at the United States Post Office or mailbox. Any such notice shall be in the form of Certified Mail, Return Receipt Requested. Notices to the respective parties shall be addressed as follows:

### COUNTY:

Montgomery County Executive 101 Monroe Street Rockville, Maryland 20850

With a copy by First-Class Mail to:
County Attorney for Montgomery County, Third Floor
101 Monroe Street
Rockville, Maryland 20850
and
Montgomery County
Department of Public Works
and Transportation
Chief, Division of Solid Waste
101 Monroe Street, Tenth Floor
Rockville, Maryland 20850

## CARETAKER:

Robert B. Harney
7218 Beacon Terrace
Bethesda, Maryland 20817

- 31. <u>GENERAL PROVISIONS</u>: This document represents the entirety of the Agreement between the parties hereto with respect to the subject matter hereof and shall not be amended, altered or modified except by writing duly executed by each of the parties hereto. This Agreement shall be binding upon the parties and their respective successors and assigns. This Agreement and its provisions shall be governed and construed in accordance with the laws of the State of Maryland.
- 32. <u>VENUE</u>: This Agreement covers property in Montgomery County, Maryland. Any suit filed meeting the jurisdictional requirements of the Circuit Court for Montgomery County must be filed in that forum and the parties expressly agree to a waiver of jury trial in any such proceedings.

- 33. ASSIGNMENT: This Agreement is not assignable.
- 34. <u>APPROVALS</u>: In each instance in this Agreement requiring County approval or consent, such consent or approval must be in writing signed by a duly authorized representative of the County. Caretaker may not rely upon verbal approval or consent.
- CONDEMNATION: In the event that the Property, or any part thereof, is taken or condemned for public use or purpose by any competent authority, Caretaker shall have no claim against the Landlord and shall not have any claim or right to any portion of the amount that may be awarded as damages or paid as a result of any such condemnation; and all rights of the Caretaker to damages therefore, if any, are hereby assigned by the Caretaker to the Landlord. Upon such condemnation or taking, the term of this Agreement shall, at the option of either party, cease and terminate from the date of such governmental taking or condemnation and the Caretaker shall have no claim against the Landlord for the value of any unexpired term of this Agreement. The foregoing notwithstanding, Caretaker shall be entitled to claim in a separate proceeding and to prove and receive in such separate proceeding such award as may be allowed for relocation expenses.

## 36. TERMINATION FOR CONVENIENCE OF THE GOVERNMENT:

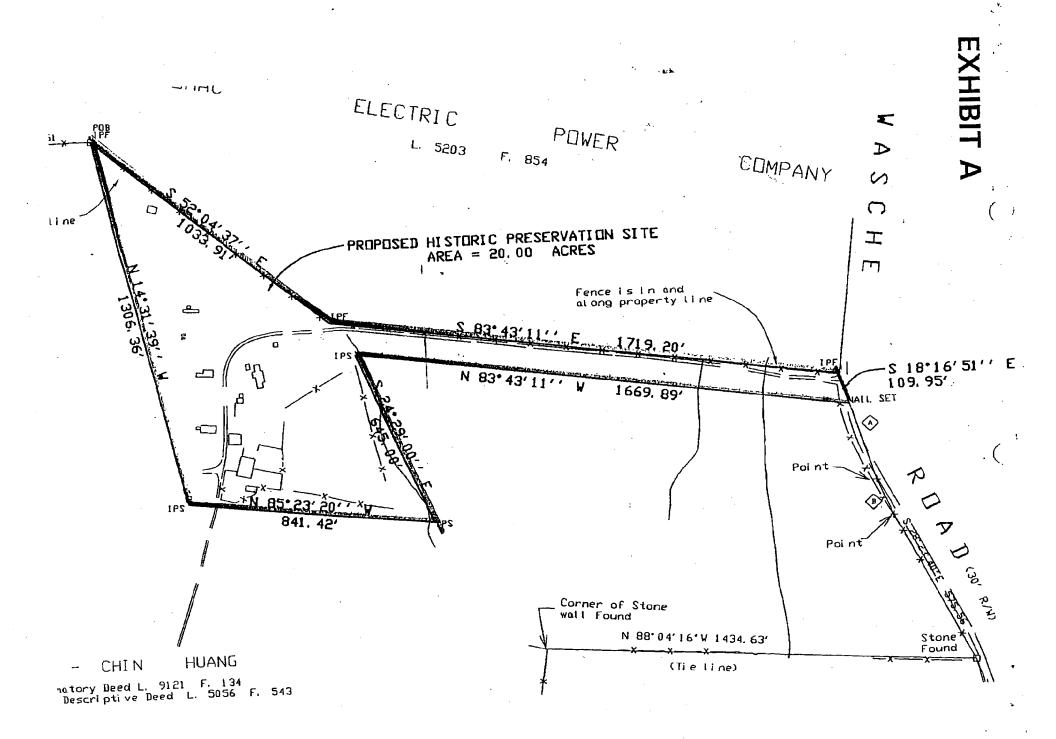
Performance under this agreement may be terminated in whole or in part, whenever the Chief Administrative Officer of Montgomery County shall determine that termination of this Agreement is in the best interest of Montgomery County. In the event of termination, the County shall be liable for performance due or becoming due prior to the effective date of termination. Termination hereunder shall be effected by delivery to the Lessee of written Notice of Termination, upon which date the termination shall become effective.

37. <u>INCORPORATION OF RECITALS</u>: The recitals are incorporated into this Agreement as if fully set forth herein.

SIGNATURE PAGE TO FOLLOW

IN WITNESS WHEREOF, the parties hereto have caused this agreement to be properly executed.

WITNESS:	COUNTY: MONTGOMERY COUNTY, MARYLAND
By: Robecca & Domaruk	By: William M. Mooney, Jr., Assistant Chief Administrative Officer
Date: 0ct, 10, 2003	Date: 10/23/03
WITNESS:	CARETAKER: ROBERT B. HARNEY
By Shuffings	By: Kope & Harring
Date: 10./7-03	Date: 10-13-03-
APPROVED AS TO FORM & LEGALITY OFFICE OF THE COUNTY ATTORNE  By:	RECOMMENDED  By: Starley  Date: (0. (3-03)

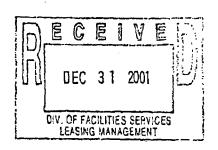


Proposal for the Leasing
And Restoration
Of
The Edward Chiswell Farm Property

20130 Wasche Rd. Dickerson, MD 20842

Prepared by:
Paul Harney and Robert Harney
17553 Kohlhoss Rd.
Poolesville, MD 20837
301-972-7510 phone
240-255-0726 fax
301-717-1577 cell

EXHIBIT B



December 2001

Mr. Steve Hayes
Montgomery County Division of Facilities and Services
101 Orchard Ridge Dr., 2<sup>nd</sup> Floor
Gaithersburg, MD 20878

Dear Steve,

I would like to thank you for the opportunity to submit a proposal to Lease and Restore the Chiswell Property in Dickerson. As long time Poolesville / upper Montgomery County residents for over 20 years, we have a great appreciation for what this area has to offer. The county is filled with treasures from the past, some well known, and others not. We feel it would be a great asset to the surrounding area, to have access to, as well as a more thorough knowledge of the Chiswell Property.

On the pages that follow, I have presented a plan that we feel would be in the best interest of the property as well as the county.

If our proposal were not "individually" accepted, we would like to be considered as a part of a co-tenant or sub-lease situation. We may not have the financial backing or reserves required to satisfy the County requirements for taking on the entire project, but we have a great deal of experience (over 40 years) in assisting on a Restoration of the Chiswell Property. I have also been doing a great deal of research into the grants, donations and low-interest loans that are available for such a project.

Thank you in advance for your consideration in the approval process.

Sincerely,

Paul Hamey and Family

Our plan is to initially keep the structure the size that it is now (without the addition), and be able to utilize the space it currently offers, to house a family of 5. This would greatly reduce the funds needed for the first phase of the project, as well as drastically reduce the time needed to complete it. Future plans could include an addition onto the property by use of grants, loans, donations and fund-raising dollars. Our estimate of the costs needed to complete the main house, as well as some of the important structural work on the large barn, fall within the available county funds that will remain after the work being done now.

The figures below assume that the major systems, already begun by the county, will be completed – Roof, gutters, heating/cooling, main electrical system and an operational well and septic system.

2 bathrooms @ 5000.00 each	10,000.00
Full Kitchen	15,000.00
New windows, frames and trim	10,000.00
Plaster, drywall and finish work	10,000.00
Carpet, woodwork and flooring	15,000.00
Plumbing and electrical finish work	15,000.00
Paint (int. & ext.) repairs and finish work	10,000.00
Main house subtotal =	85,000.00
Stabilize main structure of Bank Barn	
And repair roof system	20,000.00

Total first phase dollars estimate = 105,000.00

The above items would be completed on an 18-24 month schedule.

After the short-term, immediate needs above, we would concentrate on the remainder of the out buildings, as well as maintenance and upkeep.

Once we can fully occupy the property, we will have 1200-1500.00/month available for the maintenance and upkeep of the home, out buildings and land as needed. It is our goal that the main house would be occupied full-time in a 9-12 month time frame, or sooner if possible. This would ensure that the home and property would be overseen and maintained on a continuous basis since it would become our primary residence. With our proximity to the property now (4 miles from our home in Poolesville) it would permit frequent ongoing visits to monitor progress, perform work etc...

# CHISWELL FARM SCHEDULE OF WORK

# Schedule of work to be done on existing main house:

- 1. Install proper basement storm cellar door.
- 2. Remove all plaster ceilings and wood lath.
- 3. Remove existing floor in original kitchen area.
- 4. Point up and repair all plaster walls as needed.
- 5. Install chair rail and 33" wainscot in dining area.
- 6. Sand and refinish all existing wood doors and wood trim.
- 7. Refurbish all door locks and hinges.
- 8. Run all new electric to code.
- 9. Run a new heating system in all rooms. (Not sure if it will be hot water baseboard or electric baseboard with thermostat in each room).
- 10. Refinish or replace all windows.
- 11. Repair or replace wood floors where possible.
- 12. Sand and refinish all wood floors as needed.
- 13. Repair air vent windows in basement area.
- 14. Repair front porch; sand and paint floor; repair, sand and paint ceiling; refinish all other woodwork on porch and paint.
- 15. Paint all walls and ceilings in house.

# CHISWELL FARM SCHEDULE OF WORK

## Time Element For Job:

## Existing House:

- 1. Demolition will be done first.
- Electrical and plumbing rough-in. All times for work will depend upon sub-2. contractor's schedule.
- 3. Point up of all plaster walls.
- 4. Install chair rails and wainscoting.
- 5. Refurbish all doors and woodwork.
- 6. Refurbish all windows.
- 7. Install all drywall ceilings and finish ready for paint.
- 8.<sub>5</sub> Paint all walls, ceilings, doors and woodwork.
- Refinish all floors.
- 10. Refinish front porch.

The time element from start to finish for existing house will be 18 to 24 months.

## New Addition:

The time element for the new addition, from start to finish after approved plans and building permit, will be 12 months, weather permitting. All work will progress in order of normal building practices, and county building in sections.

# CHISWELL FARM SCHEDULE OF WORK

## New Addition:

1. Construction of a new, two-story addition on rear of house - size to be 25' x 26' approximately - to include kitchen, powder room, and family room on first floor. On second floor a master bedroom with two closets, a master bath, a bathroom with shower for the existing house, and a porch on the second floor.

All finishes according to approved plans. Plans are to be approved by the historical society.

FROM BOB-HARNEY

FAX NO. : 3013657199

22 2023 10:0BAM P2



# Cornerstone, Inc.

P.O. Box 6 Bealisville, MD 20839 (301)972-8700 Fax (301)426-8032

# Proposal

Date: April 29, 2003

To: Bob Harmey

From: Rom Magaha

metal

(3)

RE: Chiswell Farm - 20130 Wasche Road

45' x 72' Bank Barn

(1) Shore up under barn - move barn floor back and straighten main beams - replace main support posts under beams and set

main support posts under beams and met on concrete footers

\$ 32,000.00

(2) Shore up main doors up stairs and replace with new sliding doors

Tear off and replace roof with colored

18,000.00

8,000.00

TOTAL COST

\$ 58,000,00

EXHIBIT E





## **FAX TRANSMITTAL SHEET**

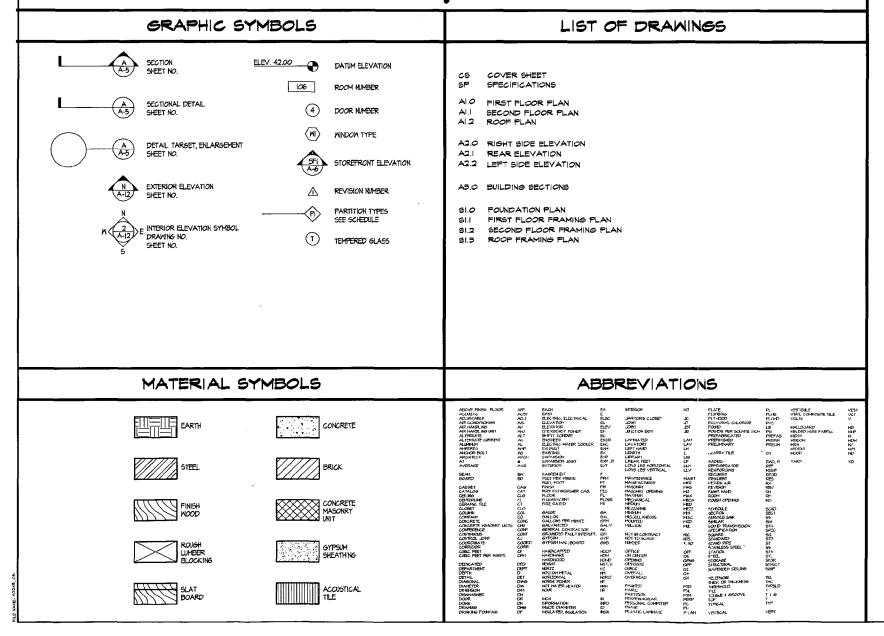
# Historic Preservation Office Department of Park & Planning

Telephone Number: (301) 563-3400 Fax Number: (301)-563-3412

TO: Leonge Myers FAX NUMBER: 301-942 3929
FROM: Michele Nary
DATE: 5/5/04
NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 2
NOTE: GEORGE,
NO LANGHING @ THESE SKETCHES!
THESE ARE THE MODIFICATIONS
THAT ME HARNEY + 1 DECUSSED
THE AM. AS I SAID ON THE PHONE
I DON'T NEED MODIFIED DWGS TIL THE
NIGHT OF THE 12TH -
THANKS AGMIN FOR YOUR
HELP WITHIS PROJECT.

# CHISMELL FARM RESIDENCE

20130 WASCHE ROAD DICKERSON, MD 20842



GTM ARCHITECTS

10415 ARMORY AVENUE, KENSINGTON, MD. 20845 (301/442-4062 (301/442-3424 FAX

20130 WASCHE ROAD DICKERSON, MD 20842 COVER SHEET

CHISWELL

REVISIONS:

GFAL.

RAWN BY:

DER

ECKED BY:

GTM

**APPROVED** 

Montgomery County
Historic Preservation Commission

AS NOTED ATE: 06.16.04

2004243

CS

#### SPECIFICATIONS FOR RESIDENTIAL CONSTRUCTION

The purpose of the fallowing specifications is to establish the level of quality required for bothon materials and workmarship. These notes are intended as a general authie, specific and additional requirements are indicated on the drawings. The confractor should also note that not all of the s mentioned below may apply to this project

#### GENERAL REQUIREMENTS

. All work shall conform to the International Residential Code (IRC), 2000 edition and all applicable sections of the Mantgamery County code for single family construction and all a hybrid to code.

2. The General Contractor shall stake off area of new construction and designate trees and thrubs for removal as required. Protect all landscaping beyand the areas of construction as

3. The General Contractor shall coordinate phasing and time limits for new construction with the The desireral contractor shall coordance praising and time limits for new construction with the covers so as to establish on acceptable payment schedule related to the status of the project.
Any permits required for the project shall be obtained by the General Contractor, unless informed otherwise by the Architect that the permit has been obtained.
The General Contractor shall stone materials and equipment in a safe and suitable place during the construction process. The Covers is not responsible for any losses of materials.
All debrie shall be periodically removed from the site so as not to create a physical or visual.

7. The General Contractor shall be licensed in Montgamery County, Maryland, and shall guarantee the project labor, and materials for a period of one year after the punch list is completed by the Architect and/or Owner, as per county laws.

8. The General Contractor shall provide competent daily supervision of the project.

9. The General Contractor shall notify the related authorities for inspection of the work as related

•• The General Contractor shall notify the related authorities for inspection or the viork of related to the specific areas required by the county.
10. The General Contractor shall corry blorkmen's Compensation insurance for every person employed by tim on the premises and shall motifation such insurance in full force during the entire time of this contract. The General Contractor shall carry Comprehensive General and Automotive Librarius insurance of \$35,000 to \$50,000 minimum. These requirements can be amended by the Owner if specified on the contract.

11. All drawings, specifications, and copies furnished by the Architect are the documents for the

All ordings, specific actors, and copies rumshed by the invariance in a time accurrents for the construction of this project anily and shall not be used in any other circumstance.
 The General Contractor shall carefully study the contract documents and report to the Architect any error, amission or inconsistency he may discover.
 The General Contractor shall provide and pay for all latour, materials, equipment, tools, machinery and other facilities and services necessary for the proper execution and completion of the Verk, and shall guarantee on mechanic liens against the project of completion.

14. The Contract 5um is stated in the agreement and is the total amount payable by the Owner to the General Contractor for the performance of the work under the contract documents. A Change Order is a written arder by the General Contractor, signed by the Owner, which designates the adultion, deletion, or revision to the contract. The Change Order must also designate the change in the original contract sum.

15. At least seven days before the date of each progress payment established by the agreement, the General Contractor shall submit to the Architect and Owner on Itemized application designating which portion of the work has been completed.

1. Every care shall be taken during demalition to protect the house by means of temporary supports and braces as necessary to prevent any structural failure during removal and replacement at existing structural members.

2. Temporary walls and dust barriers shall be installed as necessary to prevent circulation of dirt dust into partions of the house that are not part of the work. 3. All dashed walls, fixtures, windows, etc., are to be removed. See Demolition sheets for

4. Conduct all demolition operations in compliance with applicable codes and ordinance

5. Coordinate demolition with work of subcontractors.

6. Maintain the existing structure in a watertight condition at all times.

## GENERAL STRUCTURAL NOTES

 Work shall be done in accordance with the IRC code, 2000 Edition.
 The design gravity live loads are as fallows: Roof Load (snav) 30 LL + 15 DL = 45 PSF Living Spaces (1st Floar) 40 LL + 15 DL = 55 PSI Living spaces (shi i loan) 40 LL + 13 DL = 93 FSF Sleeping Spaces (2nd Flaor) 30 LL + 15 DL = 45 PSF Exterior Decks 60 LL + 15 DL = 75 PSF Live Load Deflection Limitation for floors shall be L/360

Live Load Deflection Limitation for roofs shall be L/240

The foundation for the structure has been designed for the assumed bearing pressure of 2000 PSF. This is to be verified by the contractor prior to footings being poured. It is also assumed that

there is no water condition present.

2. Basement walls have been designed for an assumed equivalent fluid pressure of 55 PSF.

 $oldsymbol{3}$ . Excavations for spread footings and continuous footings shall be cleaned and hand tamped to a

4. States on grode shall be underlaid by a minimum of 4" of granular material having a maximum aggregate size of 15 linches and no more than 28 fines. Prior to placing the granular material, the libor subgrade shall be properly compacted, proofralted, free of standing vater, mud, and frozen soil. Before placement of concrete, a vapor barrier shall be placed on top of the granular fill.

5. Bottoms of all exterior footings shall be 2-6" minimum below finished grade. Footings shall project a minimum of 12" into unalisturbea existing natural ground having allowable bearing capacity stated. Depths of factings subject to change it soil canditions are other than assumed.

1. Brick shall conform to ASTM C-62 Mortan shall conform to federal specifications 1. Brick shall conform to ASTM C-62. Morter shall conform to Tederal specifications 55-C-181E-type 11, Lay brick only when outside temperature is 45 degrees (F) and rising. Protect all work from cold and frost and insure that morter will are without freezing. Calcium Chloride and cartifreeze admixture will not be acceptable.

2. Bearing steel and wand beams shall be supported an solid masonry plers as indicated. Other structural members (lintels etc.) shall be supported an 8° of solid masonry. All beams and lintels shall have minimum horizontal bearing of 4°.

3. Anchor holls: Set anchor botts or approved anchor straps as required. Botts far wood still plates shall be 1/2° alameter and project 16° into masonry. Set botts or suraps 12° max, from end at any later.

any plate.

4. Masonry walls shall have horizontal wire joints reinforcement at least 16° O.C. vertically. 5. Pravide 1' solid masonry on all sides of joists or beans entering masonry party walk

6. Brick Venser: Secure brick veneer with wall ties 16 GA zinc coated wall ties at 16" O.C. horizontally and

retrically.

B. Provide and set floshing at lintels, base courses, sills, spondrels, parapets and as noted on crossings. Provide weep holes at the bottom of veneer and floshings at 24\* 0.6.

7. CMU's to have noter repellent block admixture; Dry-Block' by W.P. Grace recommended.

8. Exterior mortar to have water repellent admixture.

I. The following provisions for thermal resistance meet or exceed the requirements stipulated by the international Energy Conservation Code. These values are the minimum acceptable, see drawings for specific values required for the project.

Celling (at uppermost story)
Vaulted Celling
Frame Walls (with storm

window or double glazing) Rım Joists Flaors over unheated spaces R-30 (Including floar overhangs) Masonry Walls (enclased heated

Slab on grade (heated space) 24" perimeter insulation Dauble-Glazed

3. Air Infiltration

3. An Intilitration.
A. Phidosis, not exceeding five tentle (0.5) CFM of sosh crack.
B. Siloing Glass Doors: not exceeding five tenths (0.5) CFM per toot of door area.
C. Skiloing Doors: not exceeding one and tently-live inhardedths (1.25) CFM per square foot of door area. Provice I' fibergless still sector between foundation wat and all still plates.
Q. Fill all construction (electrical and plumbing) holes, cracks, toose joints and spaces in rough framing and rough masonry with approved faam soaler or climitar seatant.

All concrete construction shall conform to the lotest A.C.L. cade 319.

 Concrete shall have natural sand fine aggregates and normal weight coarse aggregates conforming to ASTM C33, Type I Portland Cement conforming to ASTM ISO, and shall have a minimum 28-day compressive strength/R/O as follaws:

FK =2200 P91 for lootings, Miertor slobes or grade and fill in concrete blocks.

FK =3500 P91 for industrial valle expected to seather.

FK =3500 P91 for drives, proches wolks, steps.

FK =4000 P91 for precast concrete with.

3. All paired in place concrete exposed to weather conditions, including the garage floor, shall be an entrained 6% of concrete volume. No coloum chloride or other admixtures shall be used except as approved in writing by the owner.

approved in writing by the owner.

4. Slabs on grade except where otherwise nated, shall be min. 4\* thick, reinforced with 6x6, 10/10 wedded wher mesh log mesh 6 in each direction. Slabs shall be laid on a layer of 6 mill polyethylene over a 4\* loger of washed grovel. Refer to drawing for location of thermal insulation.

5. Concrete this A. All exposed steps, stoops and slabs shall first have a steet travel finish and then

6. Expansion jaints: Non-organic, owner approved, expansion joint material shall be cast in place

7. Expossion joints: Instructioning, deven approved, apparature per little and the second where states down masoning or concrete will be prevent bonding between the two materials.

7. Curing: Exposed concrete surfaces shall be sealed with an approved chemical curing compound within one hair of the final traveling.

Nation one had of the intol troubling.

A. Rainforcing steel. Reinforching steel for the ties shall be intermediate grade deformed billet steel conforming to ASTM spec. A615-60. All other reinforcing steel shall conform to ASTM ASTM. A615-60. Nelided wher stable to a conform to ASTM A-185. Fabric shall be supplied in flot sheets and lapped to mesh at spilles. All reinforcing shall be detailed, flobricated and installed in accordance with the latest detailed in any ASTM.

Reinforcement designated as "continuous" shall lap 36 bar diameters at splices unless noted

10. Harizontal footing reinforcement shall be continuous and shall have 90 degree bends and extensions, or corner bars of equivalent size lapped 36 bar diameters, at comers and interse

nt rootkigs: A. Bottom of factings shall extend a minimum of 2~6" below any surface subject to freezing: feetings As bottom or founding stain evolution of the controlled composited in the state of the controlled composited in the state of soil or set on controlled composited in beginning subject to change if soil conditions are other than assumed. Bearing value of soil is assumed to be 2000 PSF with no notice condition present. Histiams bearing value of controlled in It shall be certified by a licensed geotechnical engineer.

12. Anchor bottles set andor bottle or approved straps as required, Bottle for wood still plates shall be

1/2" in diameter and project 8" into concrete; set straps or bolts 12" max from end of any plate and 4"-0" max 0.C. spacing.

#### WOOD & GARPENTRY

L. Inless other-lise noted on drawlings, all structural Hood members shall be #2 Southern Pine or equal, with the following combination of unit stressess:

Extreme Fiber stress in breading

(200 psi

Compression parallel to the grain

Compression parallel are to the grain

Hood by G. Both Stress

(500 pool psi

Hood By G. Both S

Procures at Elosticity after stress ISOULOOD PSI

2. Manufactured rate and littor felists and trusses (if shown an drawings) must be designed and certified by a licensed engineer and submitted to the Architect and local building department for

3. Roof rafters and/or trusses shall be connected at each bearing paint with one prefab-90 psi Roof rafters and/or trusses shall be connected at each bearing paint with one pretice-40 psi
gaivanized rafter te fluriticians clip) by Simpson or upproved equal. Similarly, floor joists and trusses
shall be connected with one pretabricated joist hanger. Each anchor shall be 18 GA minimum thick.
 Provide aduble, joists under all parallel partitions, at joists that support headers, and at headers
that support, joists. We joist hangers where applicable.
 All joists and rafters shall be rigidly braced at intervals not exceeding 8'0'.

5. All joists and rathers shall be rigidly braced at intervals not exceeding 6°0°.
6. Double studs at header bearing, abovele joists and rafters at all openings according to schedule below (inless noted otherwise on drawings):
Double 2 x 4 by to 3°-0°
Double 2 x 6 by to 4°-0°
Double 2 x 6 by to 5°-0°
Double 2 x 8 by to 5°-0°
Double 2 x 10 by to 7°-0°
Double 2 x 10 by to 8°-0°
All double headers and joists shall be fastened together with a minimum of two raws of 16° a nalls 12° on earlier.

. Provide blocking, banding, crush blocks, stiffeners, or rim joists, as required, at joist ends. 8. Floor joists shall have a minimum bearing of 2° an framed walls. All beams shall have minimum bearing at 4° bearing an all supports. Provide moisture protection to end of beams packeted into

becoming at 3" becoming an all supports. Provide moisture protection to end or become pecticeal into misoning yield.

9. Neod joists, studis, and became shall not be out or notiched unless authoritized by the architect. Drilled holes shall be centered at mid-depth of the member and the hole diameter shall not exceed 1/3 the actual depth of the member. No holes shall be drilled within 2" From the ends or within the middle 1/3 of the span. Provide 4" claser between holes.

10. Esisting conditions shall be verified by the contractor. Any existing damaged wood members shall be verified by the contractor.

identified and replaced by the contractor.

11. Contractor shall be responsible for providing necessary bracing and shoring of existing members and walls while altering the structure.

12. Provide 2x4 intermediate blocking at all bearing and non-bearing partitions. 3. All plywood shall be APA span rated. Use exterior grade plywood sherever edge of face will be exposed to weather, interior plywood exposed to weather during construction shall be Exposer I

minimum. A. Exterior wall sherithing shall be 1/2° plyhaod unless noted otherwise. B. Subtlooring shall be 3/4° tongue & groove plyhood, glued and screhed to the floor joists as pe

C. Roof sheathing shall be 1/2" phywood (3/4" where roofing is State or Tite). Provide "H" clips at built

joints of roof sheathing.

4. MICRO-LAM L.V.L. (faminated veneer lumber) beams shall be manufactured by Trus Joist MacMillan

approved equal. Beams shall be installed according to manufacturer's recommendations. When stening two or mare beams together, provide a minimum of two rows of 16d nails 12" on center. 5. T.J. Floor Joists are to be manufactured by Trus Joist MacMillon or approved equal

(b), install as per manufacturer's recommendations.
The fallowing wood elements are to be pressure treated with preservatives.
A. SII plates resting an anamete or masoning walls.
B. SII plates resting an anamete subso on grade.
C. Ends of jlatos which enter coursele or masoning walls and have less than 1/2" elearnace on tops, sides, and ends.
D. Sieepper resting directly on courseles slobs.
E. Esterior parch and deak froming, decking, and stains.
T. Evbelerin Time.

Existence pour and beaut morning, decking, and stains.

A. All exterior trims shall be clear pine or recknaped.

B. All trim shall be primed an both sides prior to installation.

C. All autside comers shall be mitered. No built joints will be accepted.

Siding:
 A. Refer to drawings for siding material.
 B. Prime siding front 4 back prior to installation.

4. Coordinate all floor and wall framing with ductwork. Refer to mechanical notes.

#### STEEL.

, Structural steel shall conform to ASTM A36.

1. Structural steel shall conform to ASTM A36.

2. All steel angles, lintels, beams, columns, etc. are to be shop primed with red lead or red oxide primer or approved equal. Structural steel at on below grade shall be painted with two coats of an exploitic base point and protected with a minimum of 2° solld masonry and concrete.

3. For all apenings or recesses in brictic or bruct-faced masonry walls not specifically detailed, provide one steel angle for each 4° of wall thickness. Provide lintels according to the schedule below.

Lintel

Note: For openings greater than 8'-0", consult with orchitect and engineer,

### RADON DETECTION AND TREATMENT

The contractor shall provide a venting system consisting of a minimum of 3' diameter ABS, PVC or equivalent, gas-tight plumbing pipe inserted into the sub-slab gravel base (at all new concrete slabs). A "if fitting or equivalent method shall be used to ensure that the pipe opening remains within the sub-slab permedale method the period between the sub-slab permedale method that period between the sub-slab permedale method that the s

2. Install per IRC, 2000 edition, Appendix F Radon Control Methods.
3. The contractor shall provide any other measures as required by local codes.

#### VENTILATION

Attic spaces are to be vented in one of the following ways (refer to drawings for specifics):

A Continuous ridge venting and continuous saffit venting. Ridge vent shall be by Car-A-Vent ar approved equal. Continuous screened soffit vents shall be a minimum of 2° kide. Creature lauver vents between erch rafter may be used at the saffits is shown on the drawings. B. Screened lauvers or vents kilth an open area equal to one square foot for every 300 square feet.

2. Pravide foundation vents for all crawl spaces. Refer to drawings for location

3. Venting for appliances and exhaust fors: venturing ran appriences and exhaust take:
A. Frovide venting to the exterior as per manufacturer's recommendations for all applicances. Location of disclusive and vention exterior shall be approved by architect prior to installation.

B. Provide exhaust fans for bothrooms, etc., as shown on drawings, Location of ductivark and vention.

#### exterior shall be approved by architect orior to installation DRAINAGE SEALANTS & MOISTURE PROOFING

 Appropriate scalants shall be selected for each substrate depending upon location (interior or exterior), humidity, moisture conditions, and traffic conditions. Use primers as required. 2. Color of coulking shall be coordinated with adjacent materials

2. Cotor of coulting shall be coordinated with adjacent materials.

3. Joint fillers shall be used:

A. To control the aepth of sealants in joints.

B. To meet the requirements for resillent separations in horizontal joints in floor, powements, poticis, side-waits and other light traffic areas.

4. Bond breakers shall be used to prevent adhesion to more than two surfaces.

Masonry foundations shall be parged to a thickness of 3\4" minimum.
 Apply a waterproof membrane to all foundation Halls.

7. Footing drains shall be a min. 4" in diameter and installed on the exterior of all

To holders.

3. All Hosbings shall be installed according to the building code. An eave floshing strip of inheral surfaced not noting shall be applied to extend from the edge of the noof to a paint 12° min inside the literia wall line of the structure.

4. All membrane noting to be approved by architect prior to installation.

10. All roof shingles to be approved by architect prior to installation.

## GYPSUM WALLBOARD:

1. Cypsim valibored shall be ASTM C-86 as follows.
A Regalar (1/2\*) except where noted.
B. Kater resistant (1/2\*) at bothroom ceilings and walls that are not tiled.
C. Darack interior tile backer board (1/2\*): at all serfaces that have tile.

Gupsum boards shall have tapered edges to accommodate joint reinforcement

A. At all joints and interior angles, apply tape embedded in joint compound, and apply three separate coots of joint compound over all joints, angles, fastener heads, and accessorie: B. Leave surfaces smooth and free at tool marks and ridges.

## HARDWOOD FLOORING:

Provide wood strip flooring where shown on the drawings. 2. Wood strip flooring to be colk to match existing in size and grain, and be "prime" graded in accordance with the National Oak Flooring Manufacturer's Association.

3. Install Horning in strict accordance with the recommendation of the National Oak Flooring Manufacturer's Association.

A After the Hoers have been sanced, the Flooring contractor shall apply a minimum of four stain and wethere samples in two foot by two foot areas on the Floor for the awner to review. The owner shall have a minimum of two days to make a selection

## CERAMIC TILE:

avide ceramic tile and accessories in accordance with the Tile Council of America Specifications 1. Provide ceramic tile and accessories in accordance with the Tile Council of America Specifications 1371, in colors and patterns to be specified by the owner.

2. Setting materials: comply with partinent recommendations contained in the Tile Council of America Handbook for Ceramic Tile Installation.

increases for Ceramic Title Installation

3. Installation: comply with ANSI AIOB, ANSI AIOB2, and the "Handbook for Ceramic Title Installation" of
the Title Council of America.

A. Extend till into recesses and under equipment and fixtures to form a complete

covering without interruptions.

B. Terminate tile neatty at obstruction, edges, and corners, without disruption of

pottern or joint allignment.

6. Allign joints when adjoining tiles on floor, base, trim, and walls are the same size.

1. Laguit the work and dealer the till fields in both of ections in each space or on each кall area.

4. Replacement Reserve: Contractor shall furnish owner with one unopened box of

#### MARBLE TILE:

. All marble shall be cut, polished, and set according to the Italian Marble Industry Standards 2. Narrish faces and all exposed edges shall be polished. All camers shall be fully mitered with eased edges to prevent edge failure. All mittered and but joints shall fit tight and require no filling. Tiles shall be set with milinari grout joints max 3732.

3. Refer to linish schedule for marble type and style.

Tile shall be set according to the challings with approved setting method.
 Replacement reserve: The contractor shall furnish to the Owner one unopened box of additional

VANUE or peting as shown on the drawings.

2. Contractor to provide an allowance of \$30.00/SY for providing and histalling all corpet and padding, Contractor's lump sum to be adjusted up an down to reflect actual histolical cost of competing to contractor, supported by livolices from supplier.

VINYL TILE: I. Installation of all vinyl composition tile (VCT) shall be done in a monner which conforms with the føllowing standards: A. A5TM E 648

2. Replacement reserve: Contractor to furnish owner with one unopened box of additional tile for future repairs and maintenance.

I. All point and primers to be Benjamin Moore or approved equal. Refer to schedule for coors and

tupes.

2. All surfaces to be painted shall receive one primer coat and two finish coats. 3. At paint shall be applied accordingly to manufacturer's recommendations

ARCHITECTURAL WOODWORK AND TRIM

All millisors, trim, and molding shall be installed accordingly to the quality standards of the Architectural Moodwork Institute.

All interior trim and milliorik shall conform to ANI "custom standards".

 Flat trim shall be clear pine or approved equal.
 All corners at trim and siding are to be miltered. Exposed end grains will not be occepted. 5. All millisorit and trim shall be installed by profitsman with experience in work of this type. All work shall be first class in every regard and consistent with the best practices of the trade.

#### FIRE AND LIFE SAFETY

A. 6 V4\* max rise
B. 9\* min tread
C. 6+8\* min head room
D. Height of handralis shall be continuous, 30\* (min) to 34\* (max) above finished stair treads. Handralis required at stairis with 3 or more risers.
E. Guardralis shall be 56\* (min) to 42\* above finished floor.

 ${\bf 2.}$  Provide a clear window opening of 5.1 square feet with no less than 20° clear. Wide and 24° clear high for sleeping area. The still of this window shall be no more than 44° above the finished

100r.

3. Provide safety gloss in all exterior doors, starm doors, stiding gloss abors, shower again and the enclosures where the gloss is closer than 18° to the floor and exceeds 6 92, ft. in area 4. Ground metal siding.

5. Smoke detectors shall be provided an every floor and misgrated with the electrical system.

6. Flues shall be class B except solld fuel flues which shall be class A.

7. Top of five shott be 2-07 minimum above any part of structure sithin 10-0° of five.

8. Interior finish of walls and celling shall have a frame spread rating not greater than class III. Corpeting shall meet federal regulation DOC FF-1.

9. Pretab fireplaces shall be (U.L.) rated and installed according to manufacturers specifications.

ELECTRICAL & LIGHTING NOTES 1. Electrical contractor shall size and arrange all circuits in accordance with the National Electric Code as well as all local codes. Service to be upgraded as required.

2. Mail outlets are to be mounted 1-6° above limished floor unless noted atherwise.

3. Switches are to be mounted 4'-0' above finished floor unless noted atherwise Mounting heights are to the vertical center of the equipment to the finished elevation of the floar.

All new switch & outlet states are to be approved by owner order to installation.

# 6. Provide hardwired smoke detectors on all floors, lacated as per Montgomery County Code

I. All work shall be done in accordance with the international Residential Code (IRC), 2000 Edition, as well as all local codes. I. All work shall be done in accordance with the International Residential Cade (IRC), 2000 Edition, as well as all lacal cades.

> **APPROVED** Montgomery County Historic Preservation Commission Julia OMa

ARCHITECTS 10415 ARMORY AVENUE, KENSINGTON, MD. 20845 (301)442-4062 (301)442-3424 FAX

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ARM SW ш

REVISIONS:

DER CHECKED BY. STM SCALE:

DATE

PROJECT NO.

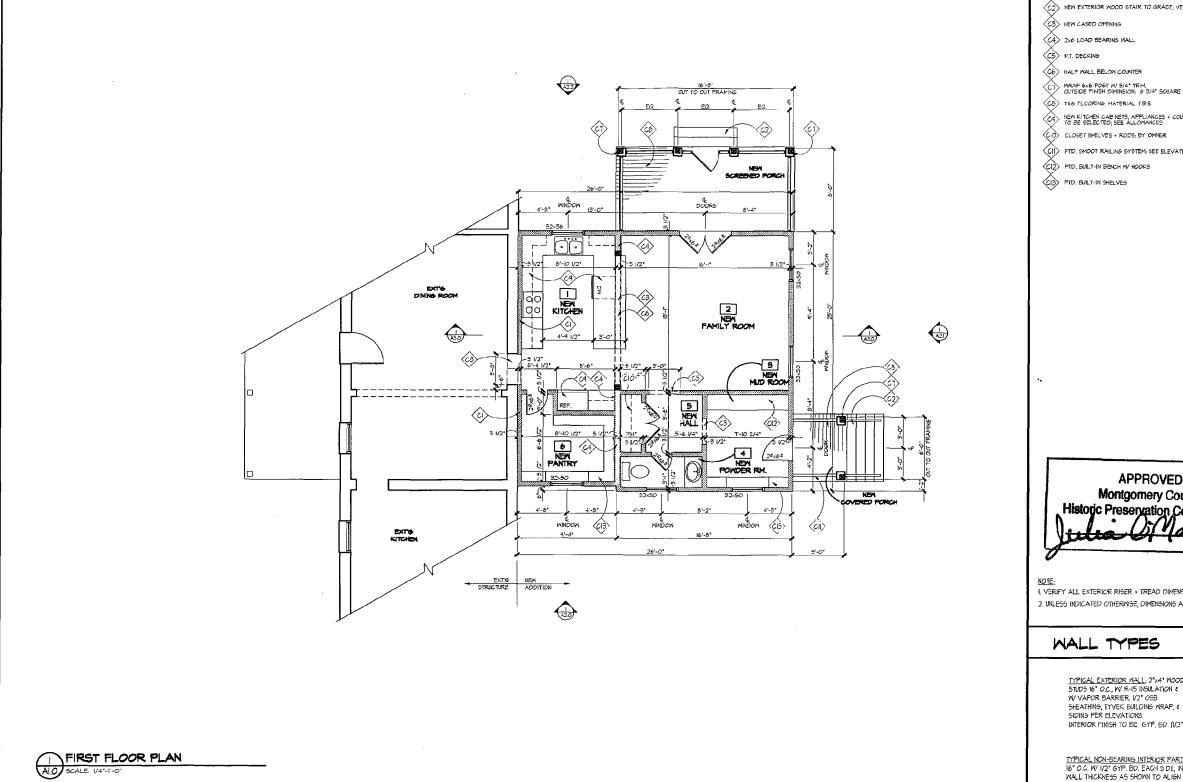
AS NOTED

06.16.04

2004243

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# CONSTRUCTION NOTES

CI) FUR OUT MALLS NV FULL 2x4'S

(C2) NEW EXTERIOR WOOD STAIR TO GRADE; VERIFY RISE AND RUN IN FIELD

C8 T46 FLCORING, MATERIAL T.B.S.

Cq NEW KITCHEN CAB NETS, APPLIANCES + COUNTER TOPS, ETC.; TO BE SELECTED; SEE ALLOWANCES

CO CLOSET SHELVES + RODS; BY OWNER

(CI) FTD. SMOOT RAILING SYSTEM; SEE ELEVATIONS

(CI2) PTD. BUILT-IN BENCH W HOOKS

ARCHITECTS

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20130 WASCHE ROAD DICKERSON, MD 20842 FIRST FLOOR PLAN

CHISWELL FARM

DER CHECKED BY:

AS NOTED DATE: 06.16.04

PROJECT NO. 2004243

A1.0

**APPROVED Montgomery County** Historic Preservation Commission

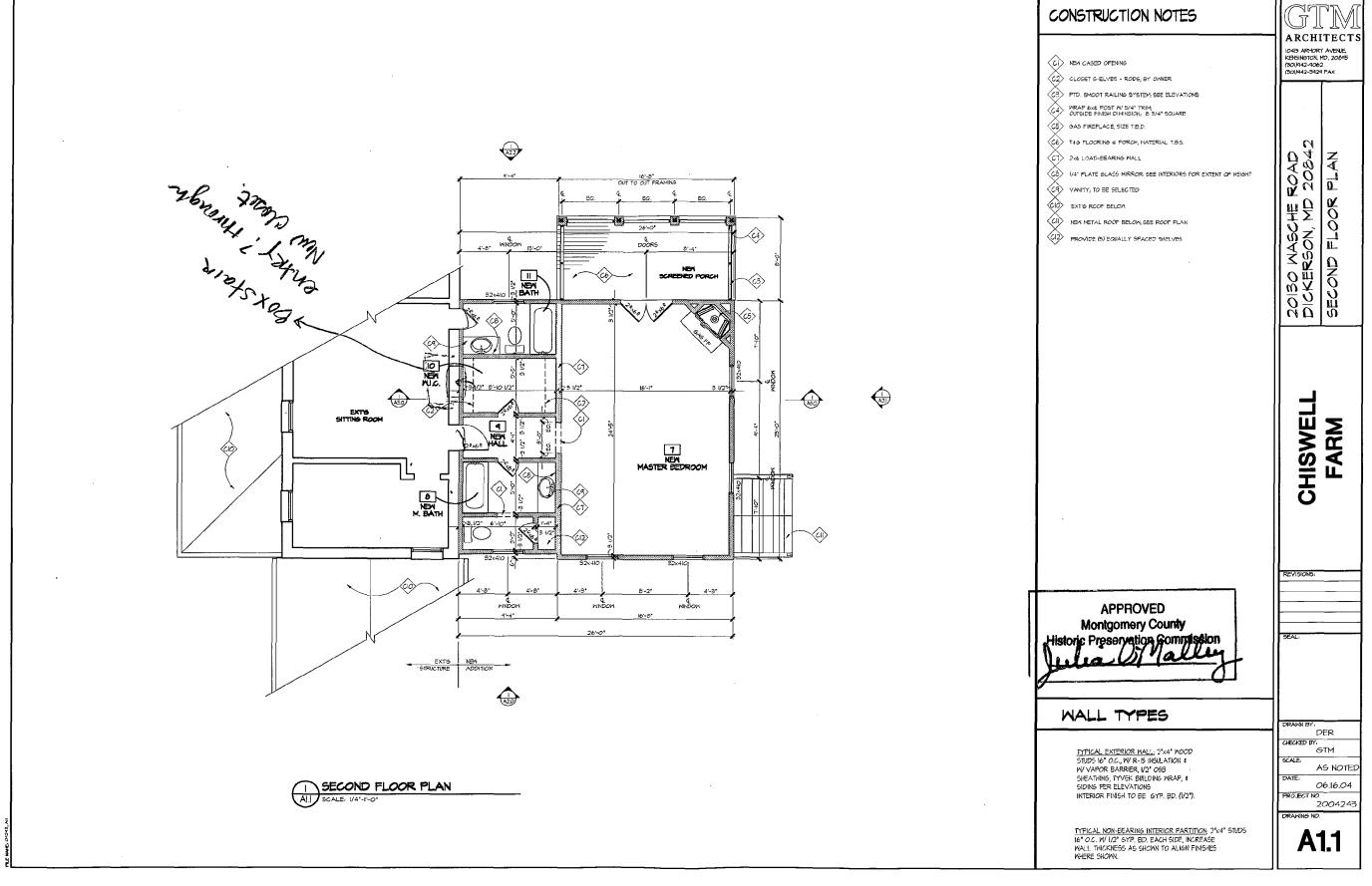
I, VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD

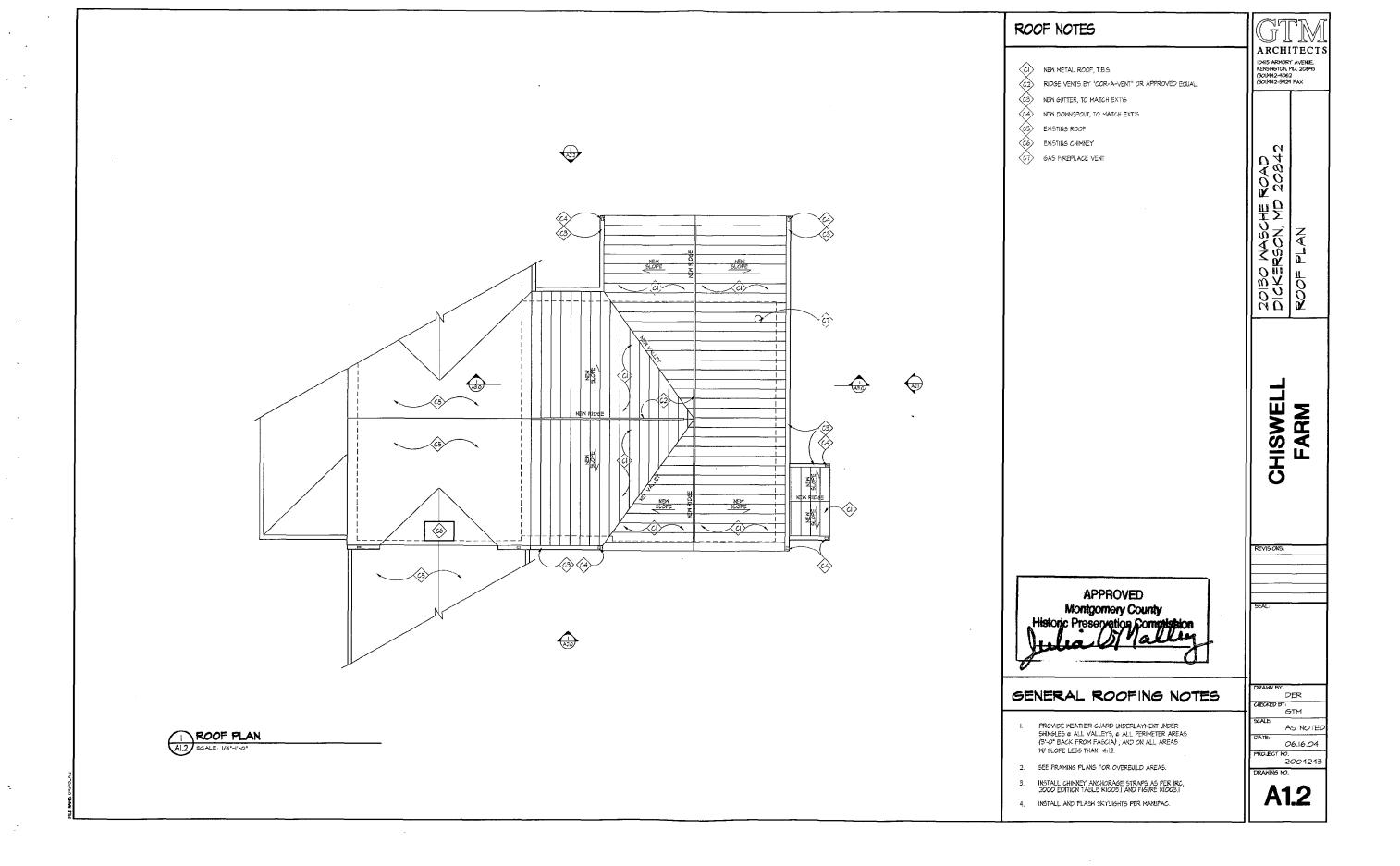
2. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMINS

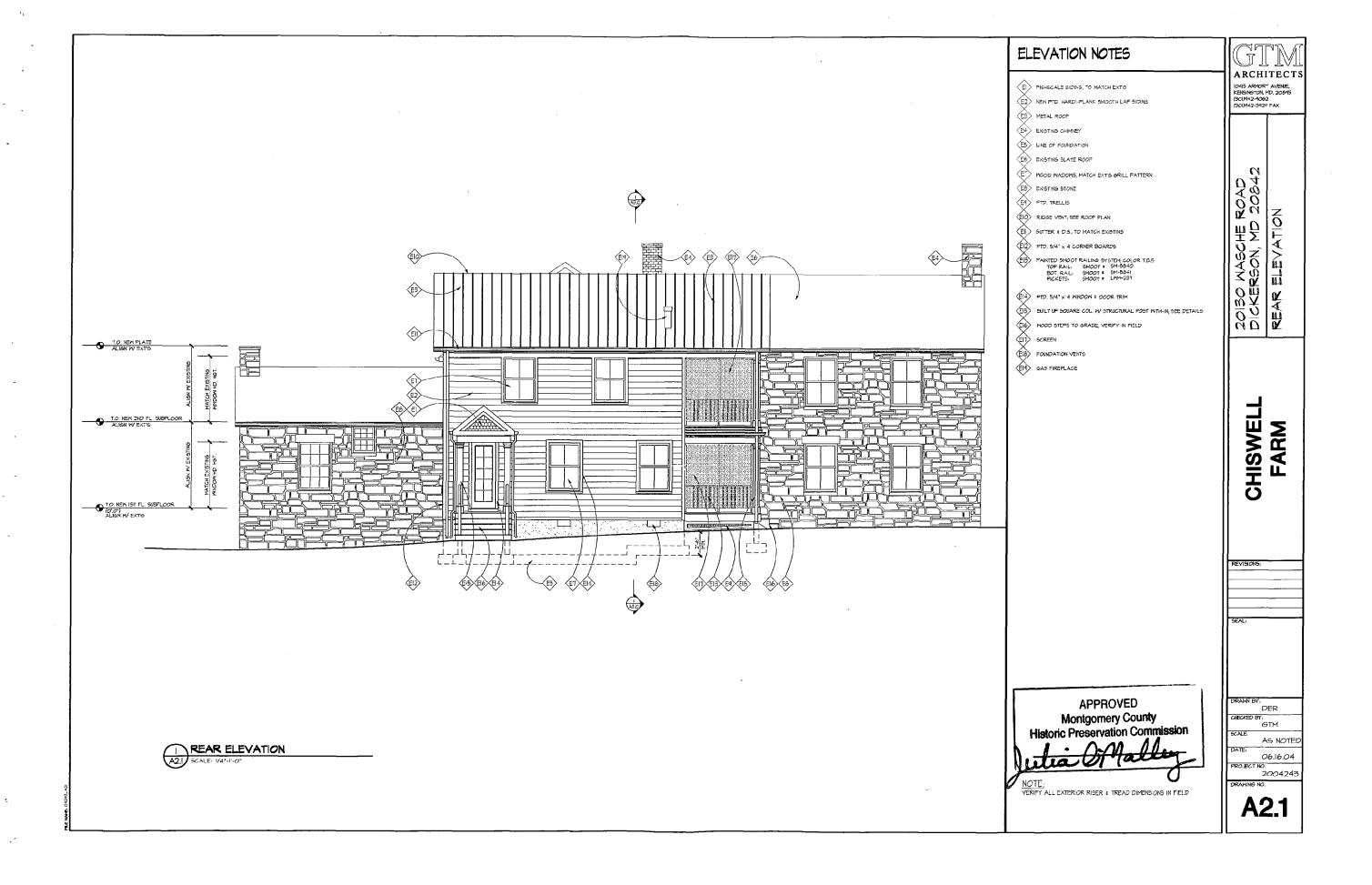
# WALL TYPES

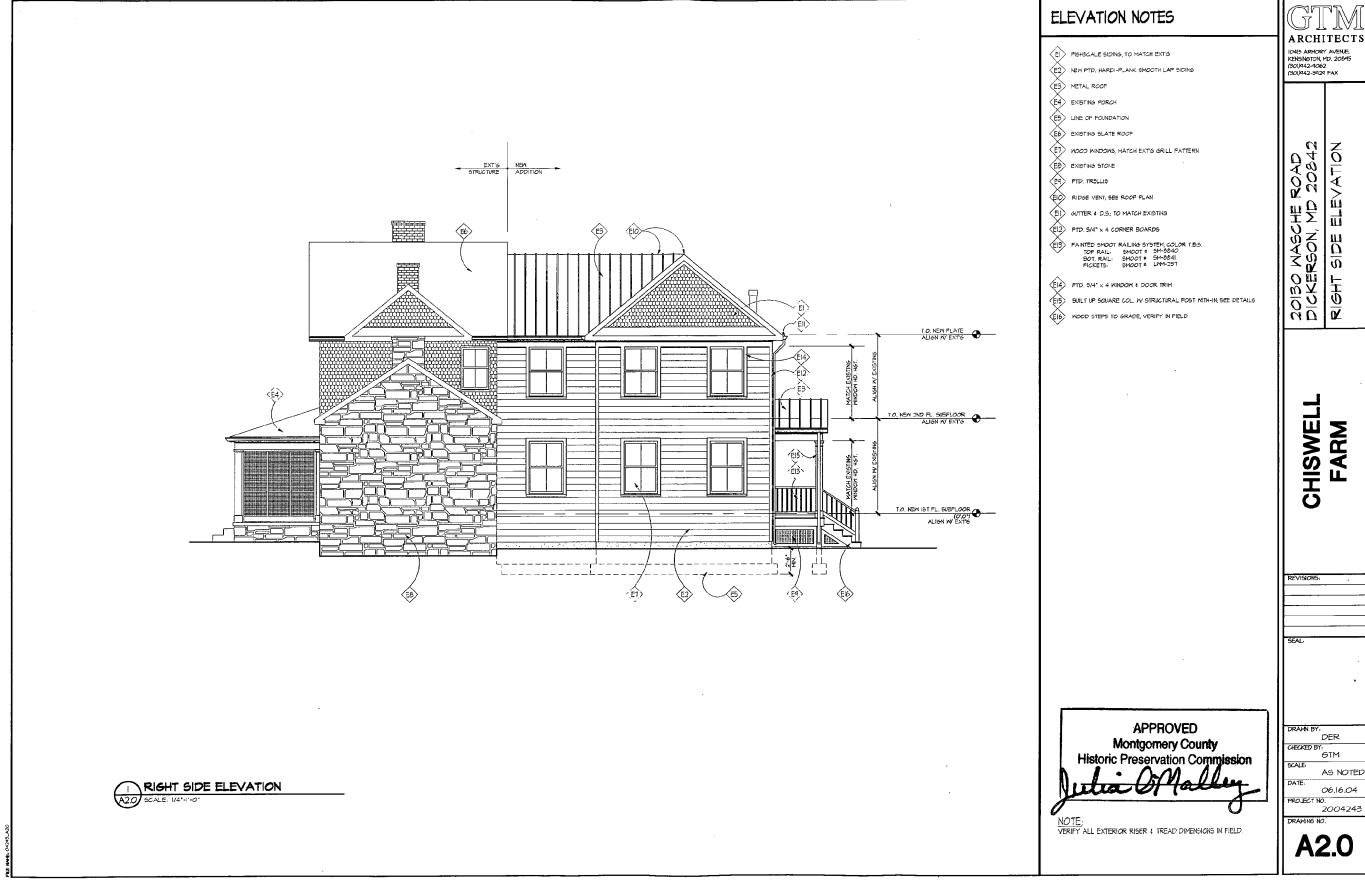
TYPICAL EXTERIOR MALL; 2"x4" MOOD STUDS 16" O.C., W/ R-15 INSULATION & W VAPOR BARRIER, V2" 05B SHEATHING, TYVEK BUILDING WRAP, & SIDING PER ELEVATIONS INTERIOR FINISH TO BE GYP. BD. (1/2").

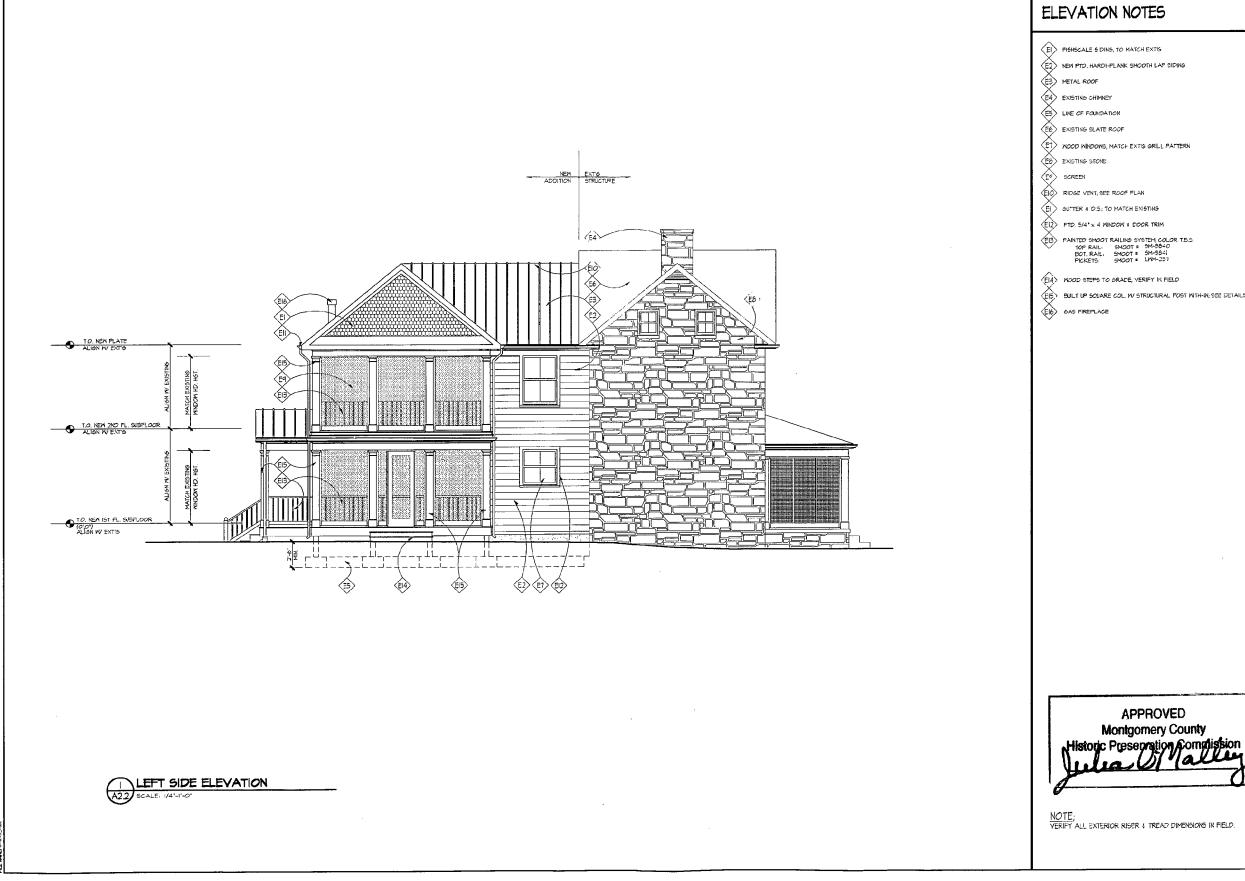
TYPICAL NON-BEARING INTERIOR PARTITION, 2"x4" STUDS 16" O.C. W 1/2" GYP. BD. EACH 9 DE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES YMERE SHOWN.











EI5> BUILT UP SOUARE COL. W STRUCTURAL POST WITH-IN; SEE DETAILS

ARCHITECTS

10415 ARMORY AVENUE, KENSINGTON, MD. 20845 (301)442-4062 (301)442-3424 FAX

20130 WASCHE ROAD DICKERSON, MD 20842 LEFT SIDE ELEVATION

CHISWELL FARM

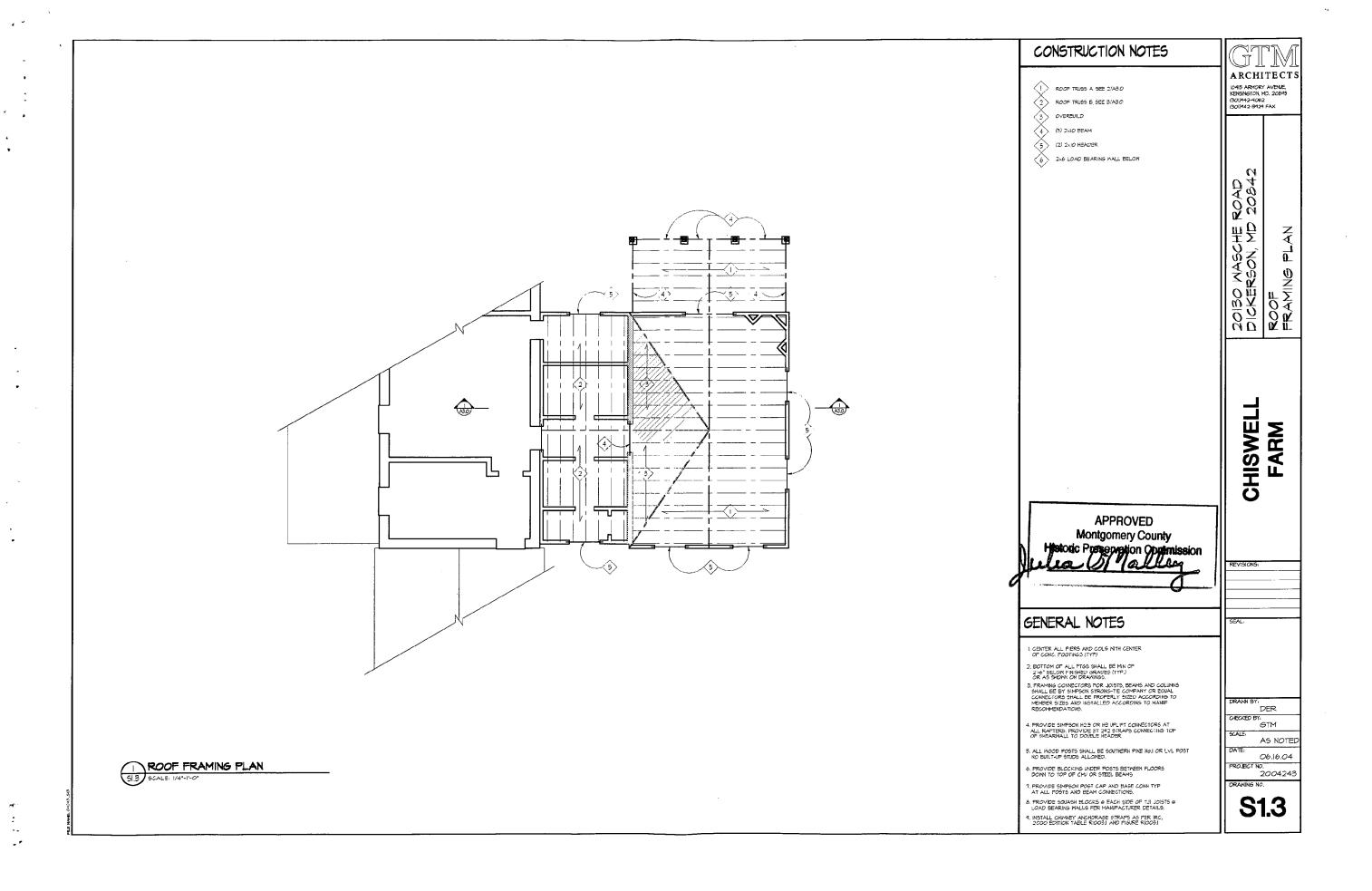
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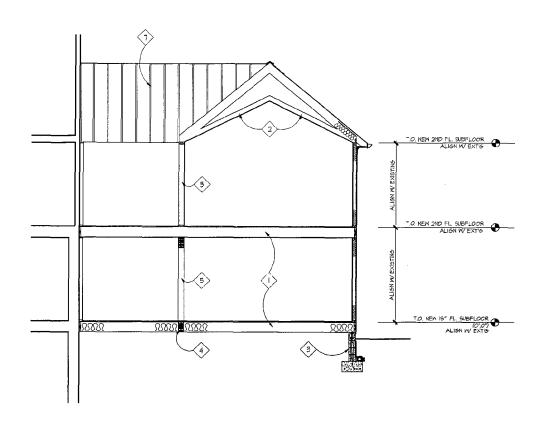
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PROJECT NO. 2004243

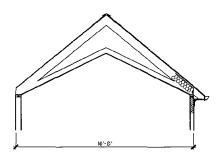
**A2.2** 



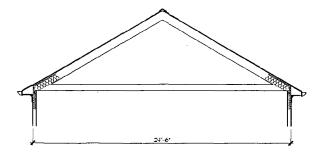


BUILDING SECTION

A3.0 SCALE: I/4\*-I'-0\*







3 ROOF TRUSS "B" SECTION

# CONSTRUCTION NOTES

FLOOR JOISTS; SEE FRAMING PLANS

2 TRUSS SYSTEM; SEE SECTION 2/A3.0 (3) CMU FOUNDATION WALL

4 LVL BEAM, SEE FRAMING FLANS

5 2x6 LOAD BEARING WALL

6 BUILD UP AS REGD. TO CREATE HIP ON ENDS

TRUSS SYSTEM; SEE SECTIONS 3/A3.0

ARCHITECTS

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20130 WASCHE ROAD DICKERSON, MD 20842 BUILDING SECTION

CHISWELL FARM

GECKED BY:

APPROVED

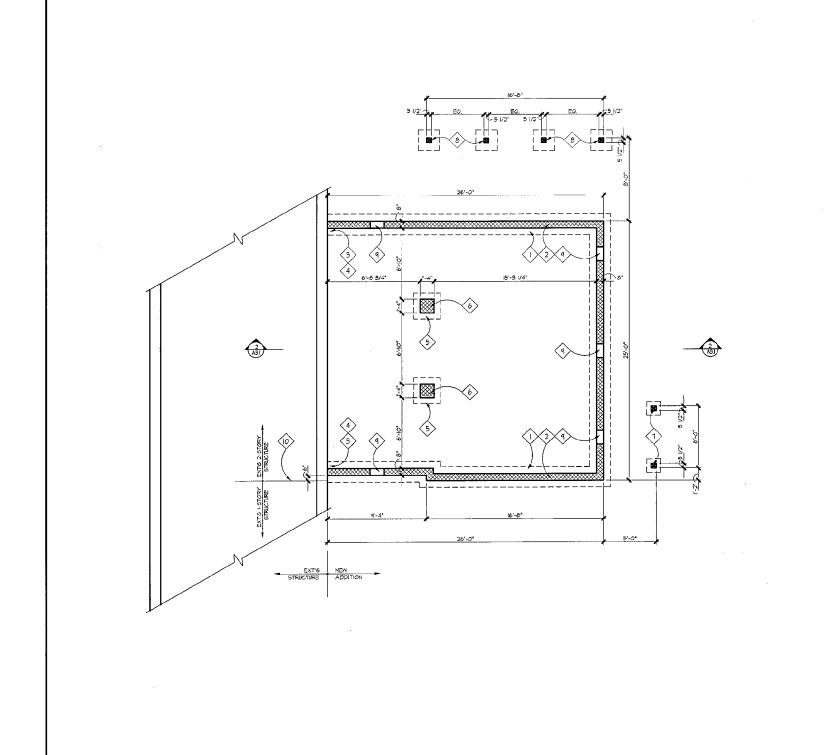
Montgomery County

Historic Preservation Commission

AS NOTED DATE: 06.16.04

PROJECT NO. 2004243

**A3.0** 



FOUNDATION PLAN

CONSTRUCTION NOTES

3 DRILL 4 EPCXY (2)#5 DOWELS X 1-6" W/ 7" EMBED INTO EXT'S FTG. MATCH BOTTOM OF EXT'S FTG.

CONC. FTG.; 2'-6'  $\times$  2'-6"  $\times$  |'-C" W(3) #5 BARS EACH 3" FROM BOTTOM OF FTG.

6 16' CMU FIER, FILL SOLID

6x6 P.T. POSTS ON 1'-4"  $\times$  '-4"  $\times$  1'-0" DEEP CONC. FT6.

6x6 P.T. FOSTS ON 2'-0" x 2'-0" x ('-0" DEEP CONC. FTG.

9 8x16 CRAWL SPACE VENT W INTEGRAL INSECT SCREEN

LINE INDICATES WHERE EXISTING STRUCTURE TRANSITIONS
FROM A 2-STORY STRUCTURE TO A 1-STORY STRUCTURE

ARCHITECTS

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20130 WASCHE ROAD DICKERSON, MD 20842 FOUNDATION PLAN

CHISWELL FARM

GENERAL NOTES

**APPROVED** 

Montgomery County
Historic Preservation Commission

1. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)

BOTTOM OF ALL FTSS SHALL BE MIN OF 2'-5" BELOW FINISHED GRADES (TYP.) OR AS SHOWN ON DRAWINSS.

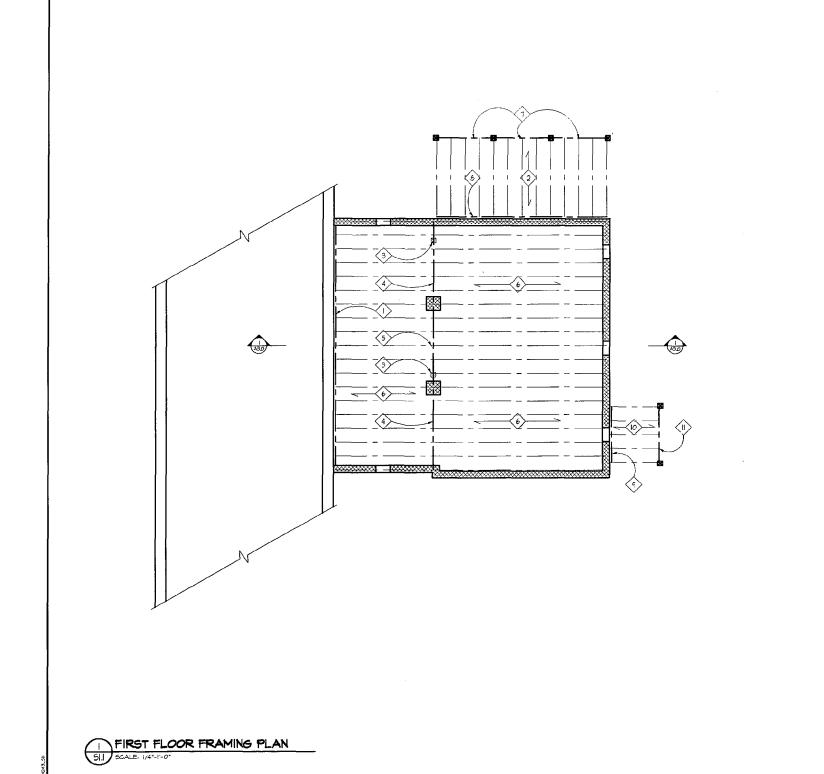
DER

STM AS NOTED

06.16.04

PROJECT NO. 2004243

**S1.0** 



CONSTRUCTION NOTES

2xi2 P.T. LEDGER W/ 5/8\* # BOLTS & 16\* O.C. STAGGER

2 P.T. 2×10% @ 16\* o.c.

3 POST FROM ABOVE

4 (3) 1-3/4" x II-7/8" LVL IN SAME FLANE AS JOISTS

5 CMU PIER BELOW, SEE FOUNDATION FLAN

6 11-7/8" TJI'S # 16" O.C., OR 2x12'S

(3) 3×10 P.T. BEAM

8 2x0 P.T. LEDGER W 5/8" \$ BOLTS & 16" O.C. STAGGER

9 2x8 P.T. LEDGER W 5/8" 4 BOLTS 9 16" O.C. STAGGER

(0) P.T. 2x8's @ 16" O.C.

(2) 2x8 P.T. BEAM

ARCHITECTS

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ROAD 20042 2030 MASCHER DICKERSON, MD 1 FIRST FLOOR FRAMING FLAN

CHISWELL FARM

GENERAL NOTES

**APPROVED Montgomery County** Historic Preservation Commission

I. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)

CF CONC. FOUR STITES (TIP)

2-6\* PELON FINISHED ORADES (TYP)

2-6\* PELON FINISHED ORADES (TYP)

2-6\* PELON FINISHED ORADES (TYP)

3- FRANING CONNECTORS FOR JOSTO, BEANS AND COLUMNS

5-FRANING CONNECTORS FOR JOSTO, BEANS AND COLUMNS

5-FRANING FOR SHIPSON, STRONGS-TIE COMPANY OR BOULA

CONNECTORS SHALL BE FROMERLY SIZED ACCORDING TO

MEMBER SIZES AND INSTALLED ACCORDING TO MANY

RECOMMENDATIONS.

PROVIDE SIMPSON H25 OR H3 UPLIFT CONNECTORS AT ALL RAPTERS. PROVIDE ST 29.2 STRAPS CONNECTING TOP OF SHEARMALL TO DOUBLE HEADER.

5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1 OR LVL POST NO BUILT-UP STUDS ALLOWED.

6. PROVIDE BLOCKING INDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMI OR STEEL BEAMS

1, PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.

8. PROVIDE SQUASH BLOCKS & EACH SIDE OF TJI JOISTS & LOAD BEARING WALLS PER MANUFACTURER DETAILS.

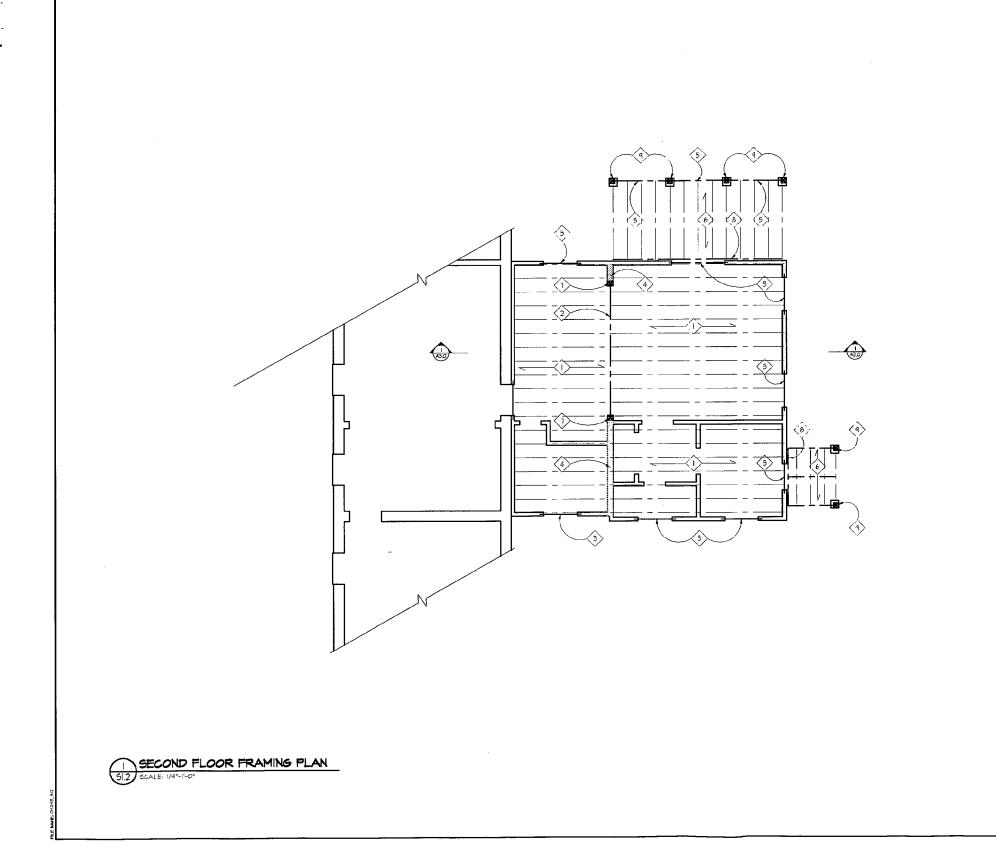
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CHECKED BY: GTM SCALE: AS NOTEL

06.16.04

PROJECT NO. 2004243

**S1.1** 



# CONSTRUCTION NOTES

12" TJI's, OR 2x12's @ 16" O.C.

(3) 1-3/4" x 11-7/8" LVL BEAM BELOW JOISTS

3 (9) 2x10 HEADER

2X6 6 16" O.C. LOAD BEARING WALL BELOW

5 P.T. (3) 2xIO BEAM IN SAME FLANE AS JOISTS

6 PT. 2x10's @ 16" OC.

7 5-1/4 x 5-1/4 PSL POST

8 2x10 P.T. LEDGER

9 6x6 POST

2x8's 6 16" O.C., RAFTERS & CEILING JOISTS

(2) 2x8's P.T. BEAM

ARCHITECTS

10415 ARMORT AVENUE, KENSINGTON, MD. 20845 (301/442-9062 (301/442-3424 FAX

ROAD 20842 SECOND FLOOR

CHISWELL FARM

**APPROVED Montgomery County** 

GENERAL NOTES

I, CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)

2. BOTTON OF ALL TTGS SHALL BE MIN OF 2'-0' BELOW FINISHED GRADE'S (TP) OF AS SHOWN ON DRAINING.

3. FRANING CONSECTORS FOR JUISTS, BEAMS AND COLUMNS SHALL BE BY SIMPSON SHRONS-THE COMPANY OR EQUAL CONSECTORS SHALL BE FROMERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF RECOMMENDATIONS.

PROVIDE SIMPSON H25 OR H2 UPLIFT CONNECTING AT ALL RAPTERS, PROVIDE ST 242 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER.

ALL MOOD POSTS SHALL SE SOUTHERN PINE No.1 OR LVL POST NO BUILT-UP STUDS ALLONED.

6. PROVIDE BLOCKING UNDER FOSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS

1, PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.

8. FROVIDE SQUASH BLOCKS @ EACH SIDE OF TJI JOISTS @ LOAD BEARING MALLS PER MANUFACTURER DETAILS.

9. INSTALL CHIMNEY ANCHORAGE STRAPS AS PER IRC, 2000 EDITION TABLE RICOB! AND FIGURE RICOB!

DER

CHECKED BY: GTM AS NOTED

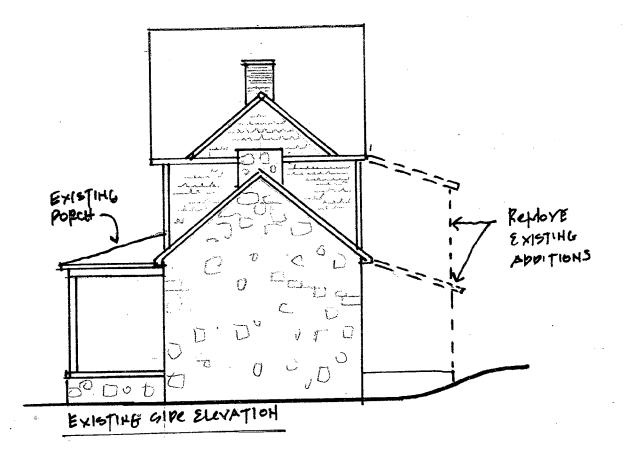
06.16.04

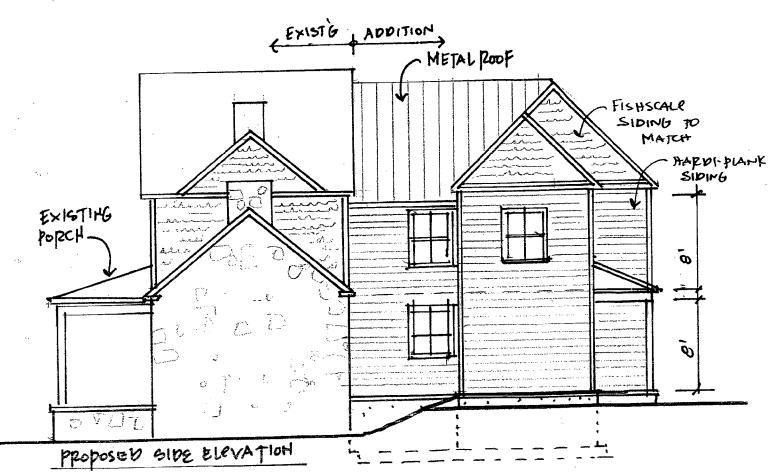
PROJECT NO. 2004243

**S1.2** 

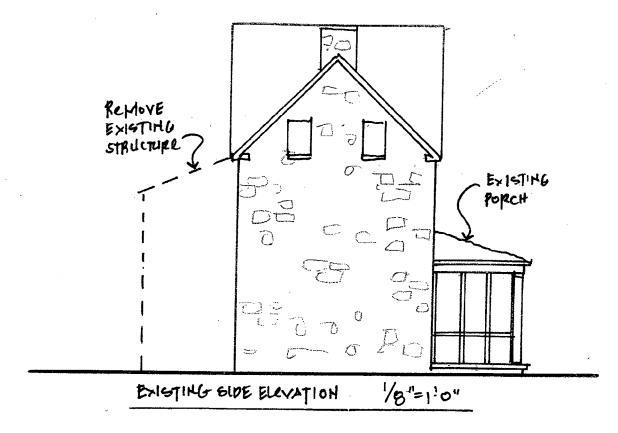


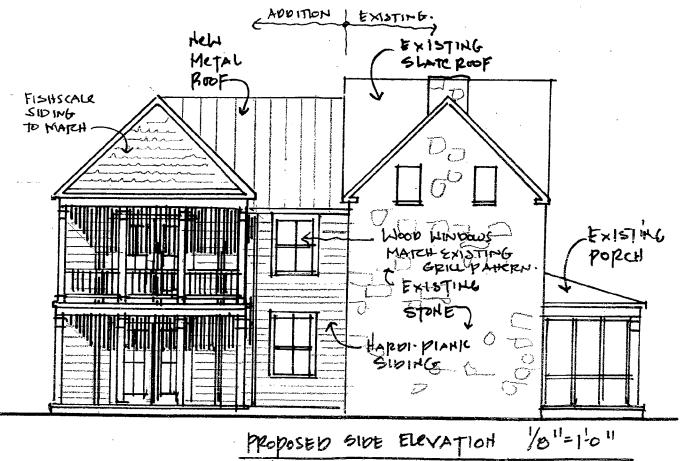
GTM ARCHITECTS, INC. 10415 Armory Ave. KENSINGTON, MD 20895 301-942-9062





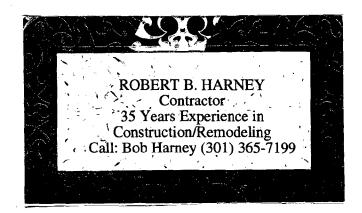
GTM ARCHITECTS, INC. 10415 Armory Ave. KENSINGTON, MD 20895 301-942-9062





# GTM ARCHITECTS, INC.

10415 Armory Ave. KENSINGTON, MD 20895 **301-942-9062** 

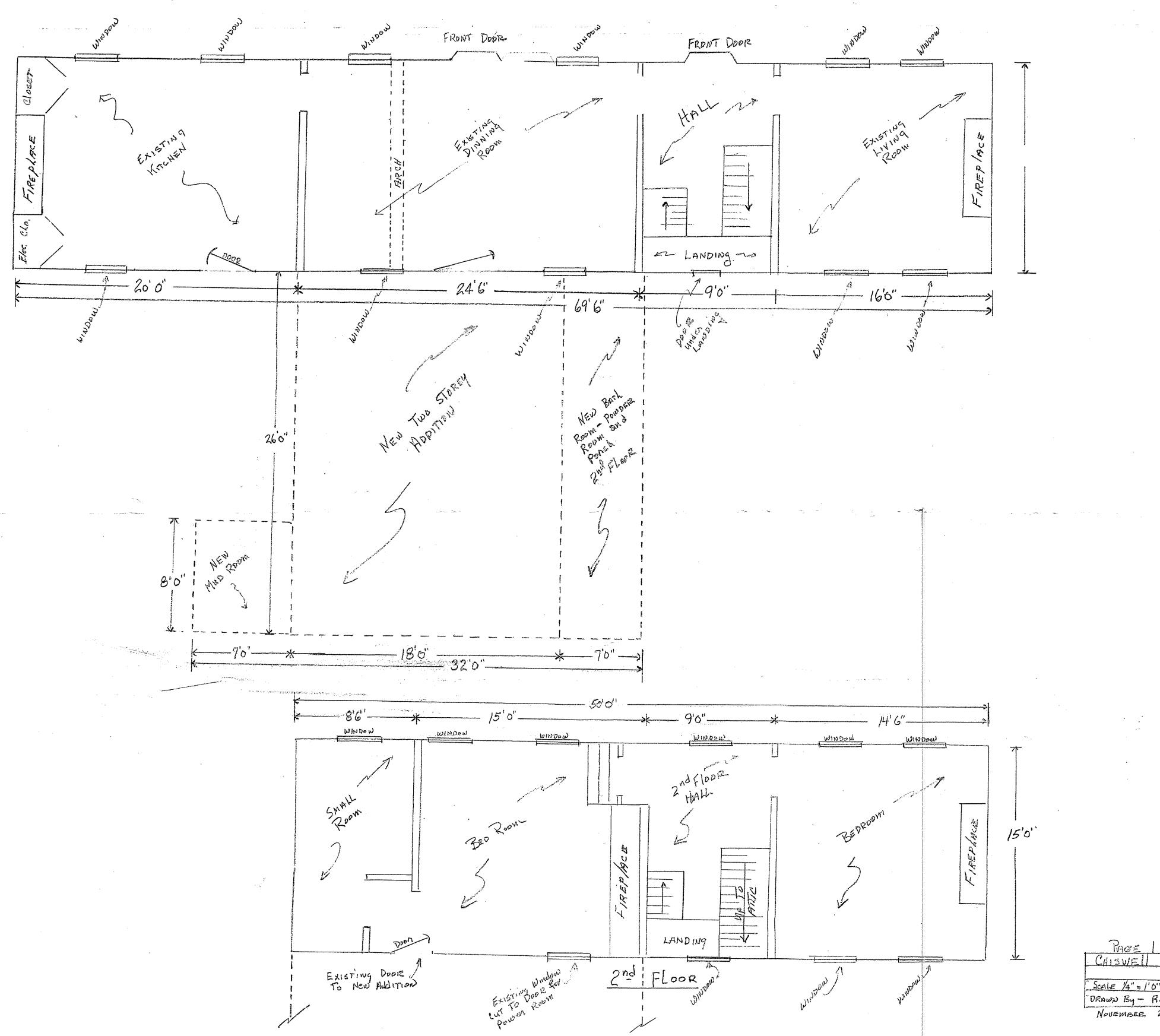


7218 BEALON TEXE

BETHESDA, Md 44, 5

20817 - 408

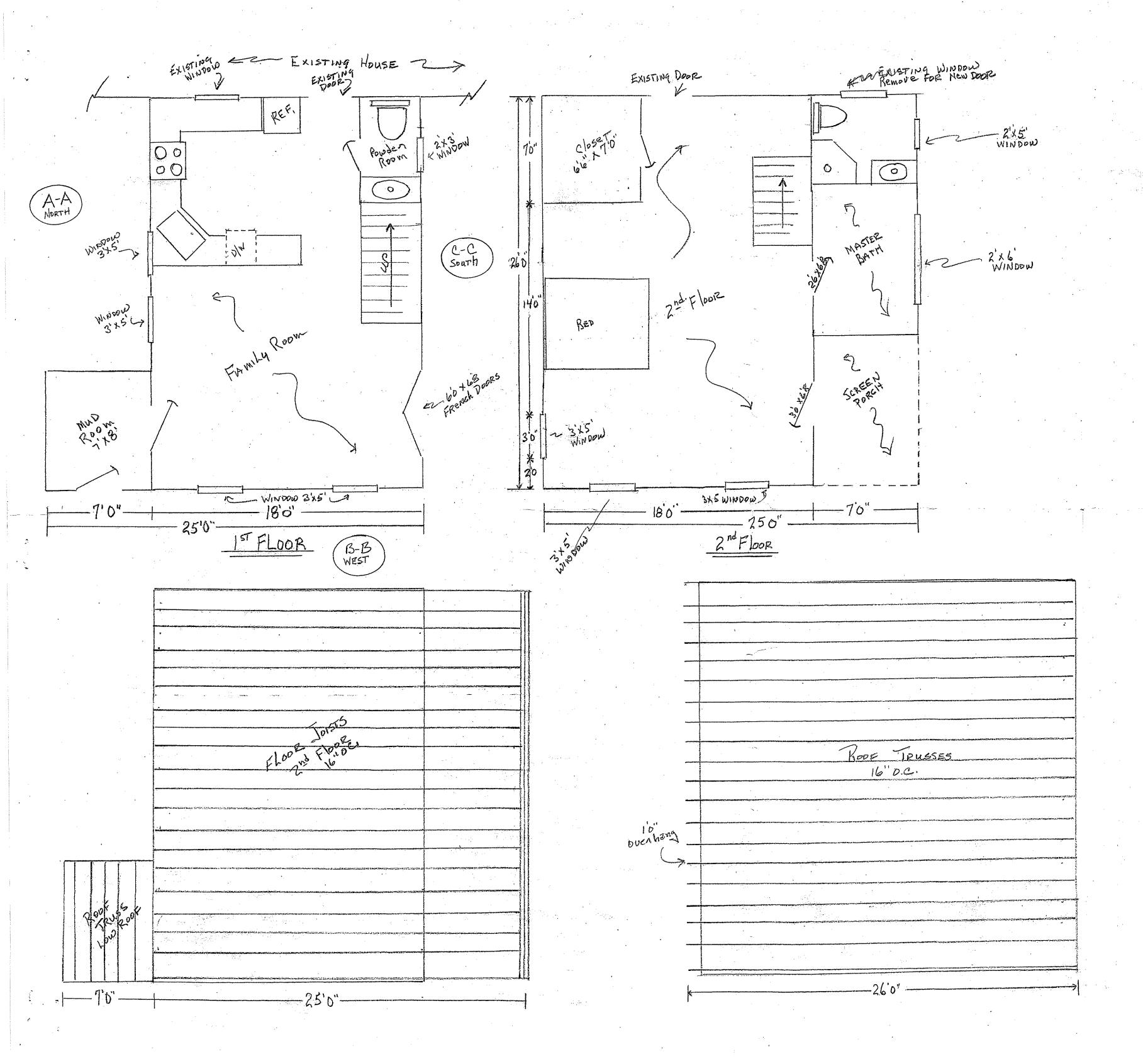
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PAGE 1 & 3 CHISWELL FORM Scale 1/4"=1'0"

DRAWN BY - R. HARNEY

NOVEMBER 2002



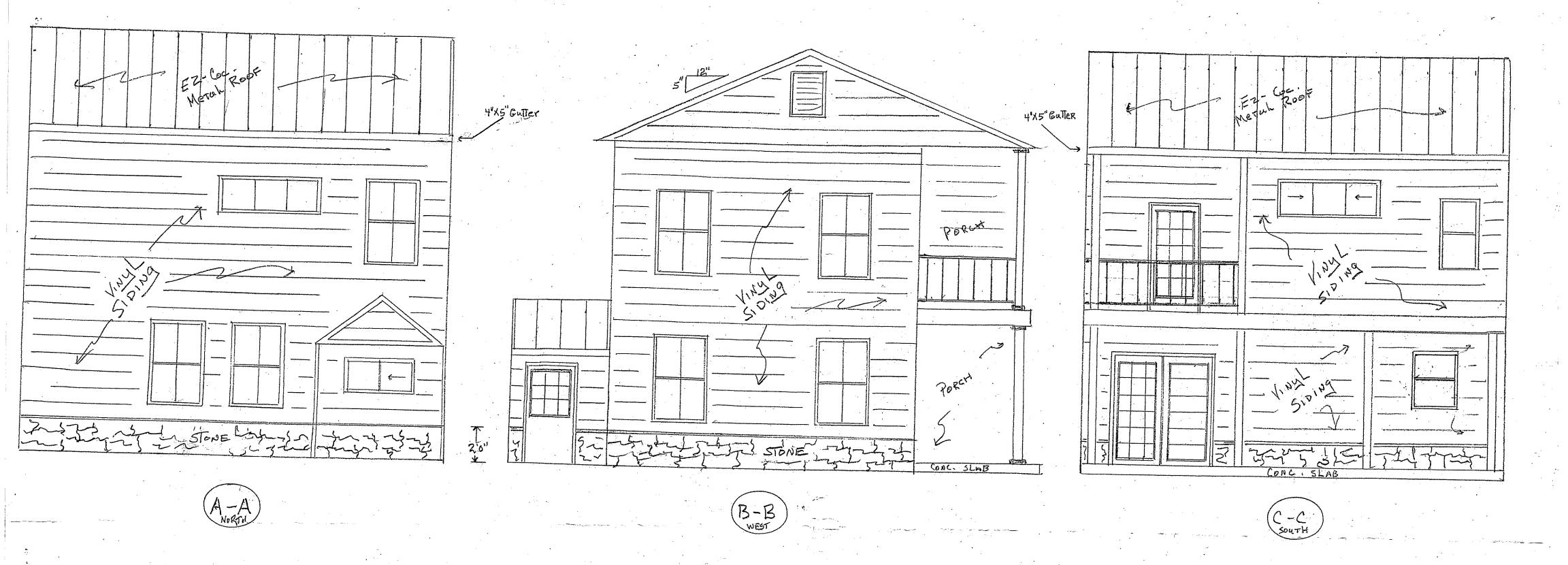
PAGE 2 of 3

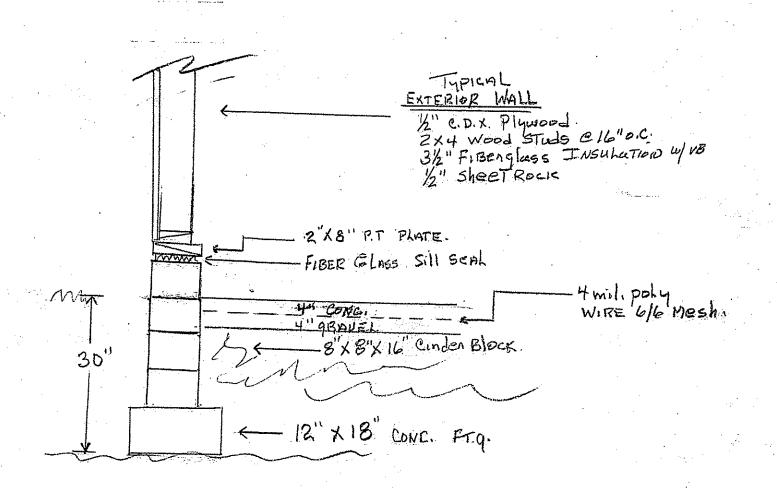
CHISWELL FARM

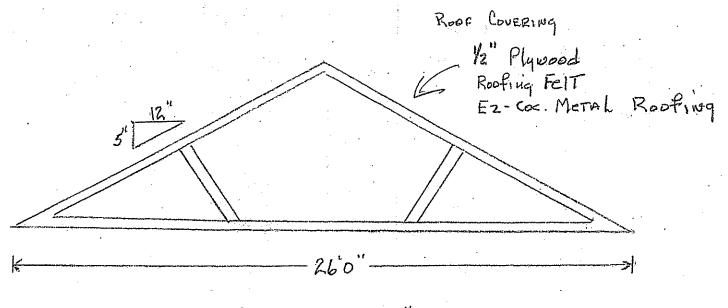
SCALE 1/4" = 1"0"

DRAWN BY R. HARNEY

NOVEMBER 200"2







Roof TRUSSES @ 16" D.C.

