

16/02-04A 20130 Wasche Road
Master Plan #16/02 Edw Chiswell

Edward Chiswell Farm
Staff Recommended Modifications to Retroactive Design

#1
#1
#2
#1
#2
#2

SEND LIST FOR RE-BUILD WINDOWS

- Mudroom/Portico
 - Steeper pitched roof
 - Remove and replace door with a more appropriate wood door (Vernacular farmhouse form)
 - Needs more details in order to make it more compatible with the historic house and addition (staff will work with architect on these)

- Two-Story Screen Porch
 - Porch needs to be constructed as specified in approved design, including exterior doors, which lead into the house.
 - If an enclosed space is desired, there are glass systems that can be placed on the inside of the porch, after it is reconstructed back to its original design.

- The 2/2 double hung windows on two-story section rear elevation that were replaced can remain installed in their present locations, but the windows in the 1-1/2 story section needs to be re-installed and rehabilitated. Also, the rest of the historic windows on the house need to be rehabilitated and remain in their current locations.

- The addition needs to have the asphalt roof removed and a standing seam metal roof installed – as approved by the HPC in the original plans.

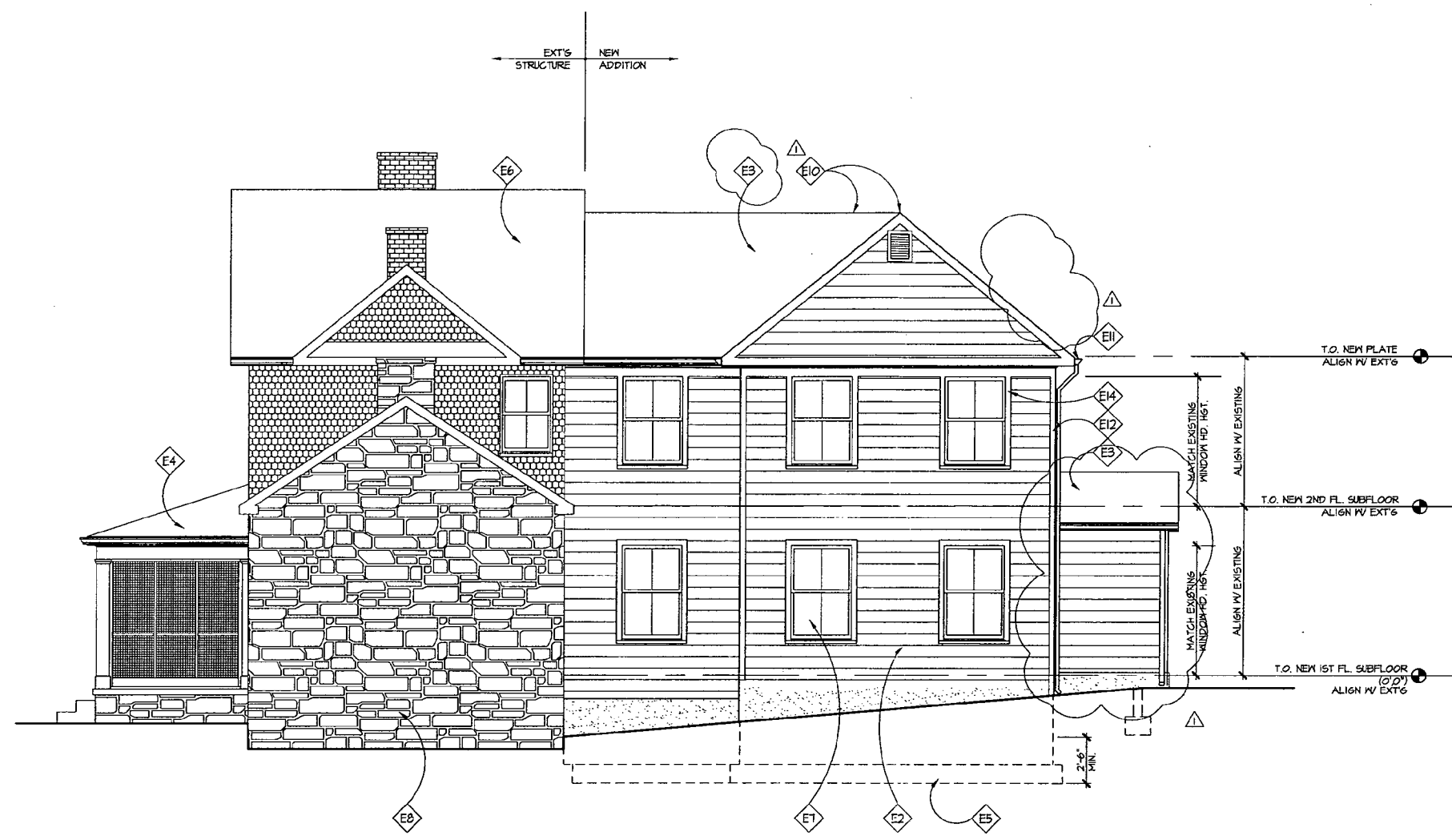
- The addition needs to have details added to it to make it compatible with the historic resource (staff will work with the architect on these).

- Well house:
 - The artificial concrete block needs to be removed and staff will work with Mr. Harney and/or the County to select stone, which is appropriate.
 - Roof of the well house needs to be reduced to cover the building only.

- The ogee profile gutters and downspouts on the addition need to be replaced with ½ round profile metal gutters and round downspouts, as approved by the HPC in the original plans.

ELEVATION NOTES

- ◊ E1 NOT USED
- ◊ E2 NEW PTD. HARDI-PLANK SMOOTH LAP SIDING
- ◊ E3 30 YEAR ASPHALT SHINGLES
- ◊ E4 EXISTING PORCH
- ◊ E5 LINE OF FOUNDATION
- ◊ E6 EXISTING SLATE ROOF
- ◊ E7 WOOD WINDOWS, MATCH EXT'S GRILL PATTERN
- ◊ E8 EXISTING STONE
- ◊ E9 NOT USED
- ◊ E10 RIDGE VENT; SEE ROOF PLAN
- ◊ E11 SUTTER & D.S.; TO MATCH EXISTING
- ◊ E12 PTD. 5/4" x 4 CORNER BOARDS
- ◊ E13 NOT USED
- ◊ E14 PTD. 5/4" x 4 WINDOW & DOOR TRIM
- ◊ E15 NOT USED
- ◊ E16 NOT USED



RIGHT SIDE ELEVATION
A2.0 SCALE: 1/4"=1'-0"

REVISIONS:
▲ REV. 02_22_07

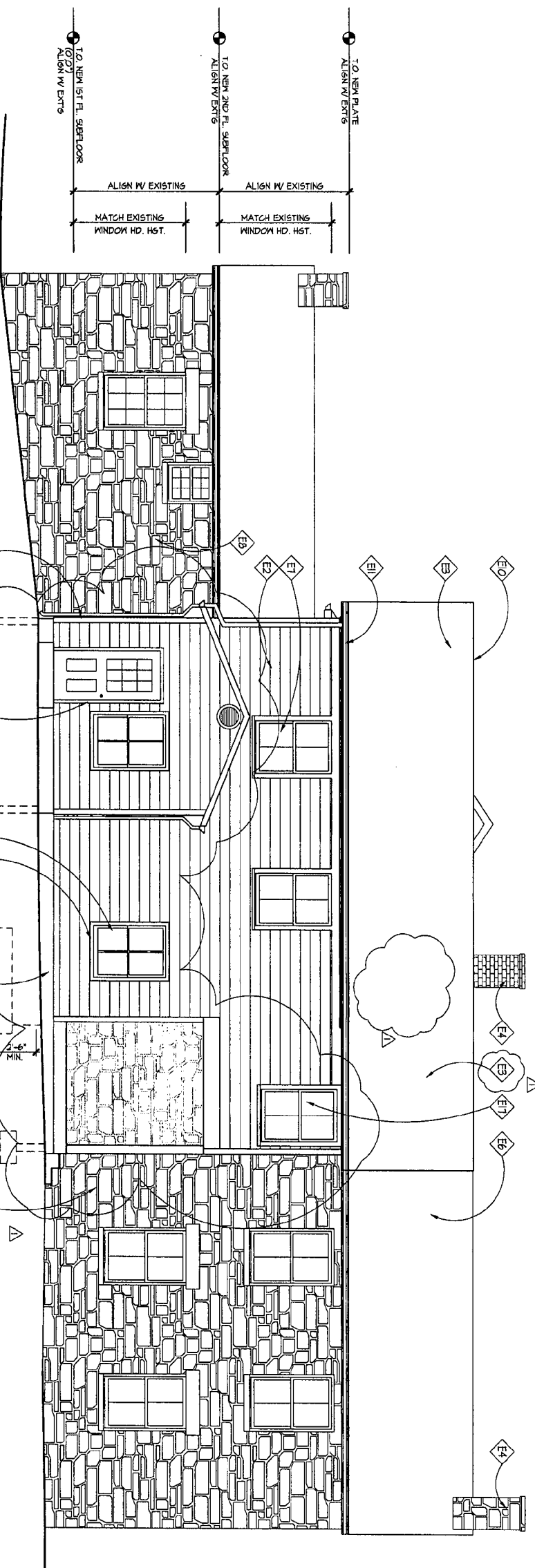
SEAL:

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 02.22.07
PROJECT NO: 2004243
DRAWING NO.

NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.

A2.0

FILE NAME: 02240_A2.0



1 REAR ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- E1 NEW PTD. HARD-PLANK SMOOTH LAP SIDING
- E2 30 YEAR ASPHALT SHINGLES
- E3 EXISTING CHIMNEY
- E4 LINE OF FOUNDATION
- E5 EXISTING SLATE ROOF
- E6 WOOD SHINGLES, MATCH EXTS. GRILL PATTERN
- E7 EXISTING STONE
- E8 PTD. TRELLIS
- E9 RIDGE VENT. SEE ROOF PLAN
- E10 GUTTER 1 D.S. TO MATCH EXISTING
- E11 PTD. 5/4" x 4 CORNER BOARDS
- E12 NOT USED
- E13 PTD. 5/4" x 4 WINDOW 1 DOOR TRIM
- E14 NOT USED
- E15 NOT USED
- E16 NOT USED
- E17 NOT USED
- E18 FOUNDATION VENTS
- E19 NOT USED

NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.

GTM
ARCHITECTS
1045 ARBOR AVENUE
KENSINGTON, MD 20845
(301)443-1062
(301)443-5424 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
REAR ELEVATION

CHISWELL FARM

REVISIONS:
Δ REV/ 02.22.01

SCALE:

DRAWN BY: DER

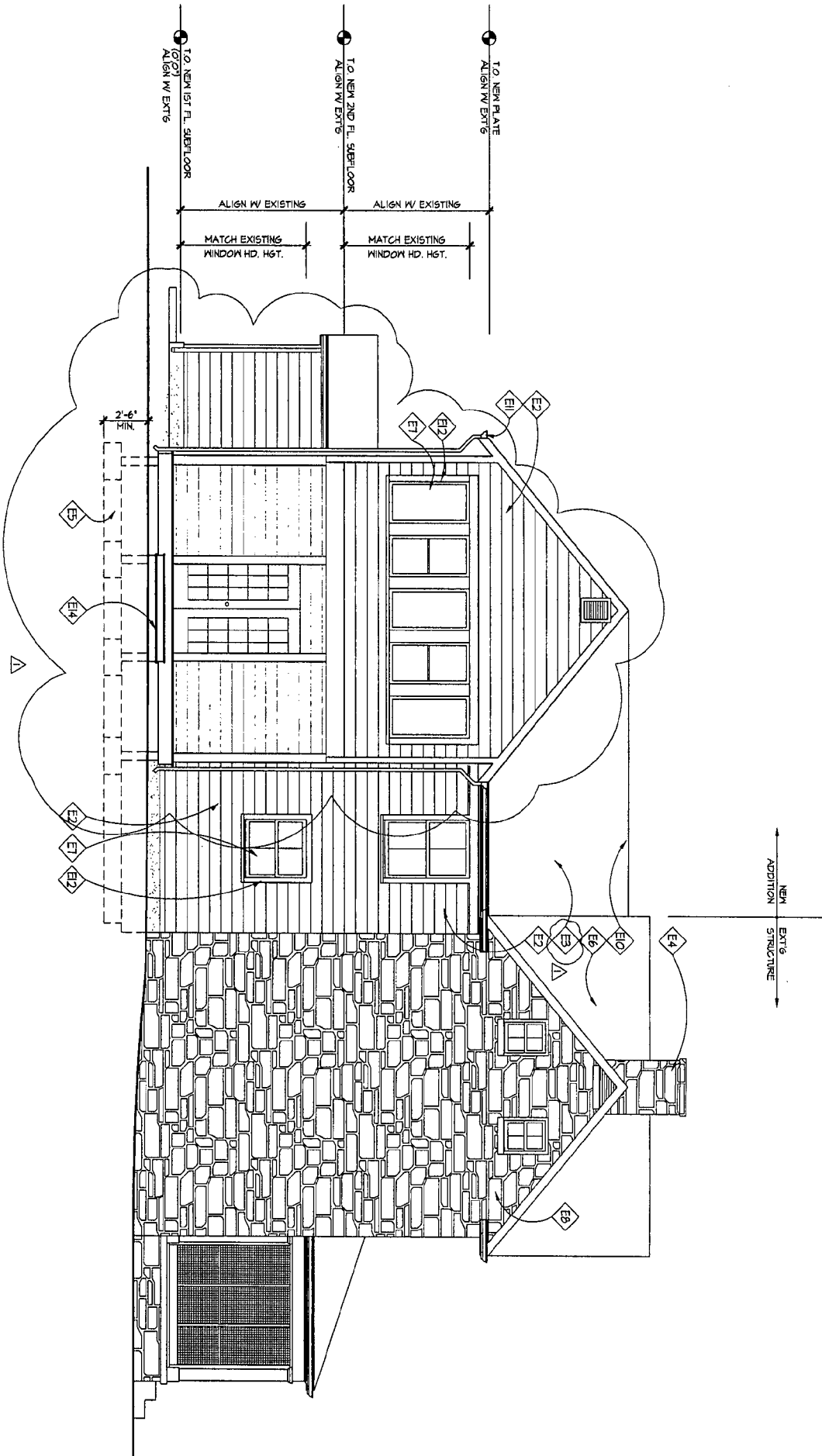
CHECKED BY: GTM

SCALE: AS NOTED

DATE: 02.22.01

PROJECT NO: 2004243

DRAWING NO: **A2.1**



1 LEFT SIDE ELEVATION
 A22 SCALE: 1/4"=1'-0"

ELEVATION NOTES

- ◊ E1 NOT USED
- ◊ E2 NEW PTD. HARCH-PLANK SMOOTH LAP SIDING
- ◊ E3 30 YEAR ASPHALT SHINGLE
- ◊ E4 EXISTING CHIMNEY
- ◊ E5 LINE OF FOUNDATION
- ◊ E6 EXISTING SLATE ROOF
- ◊ E7 WOOD WINDOWS, MATCH EXTS GRILL PATTERN
- ◊ E8 EXISTING STONE
- ◊ E9 NOT USED
- ◊ E10 RIDGE VENT; SEE ROOF PLAN
- ◊ E11 SUTTER & DS; TO MATCH EXISTING
- ◊ E12 PTD. 5/4" X 4 WINDOW & DOOR TRIM
- ◊ E13 NOT USED
- ◊ E14 WOOD STEPS TO GRADE; VERIFY IN FIELD
- ◊ E15 NOT USED

NOTE:
 VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.

GTM
 ARCHITECTS
 10415 ARMORY AVENUE
 KENNINGTON, MD 20845
 (301)442-4062
 (301)442-3028 FAX

20130 WASCHE ROAD
 DICKERSON, MD 20842
 LEFT SIDE ELEVATION

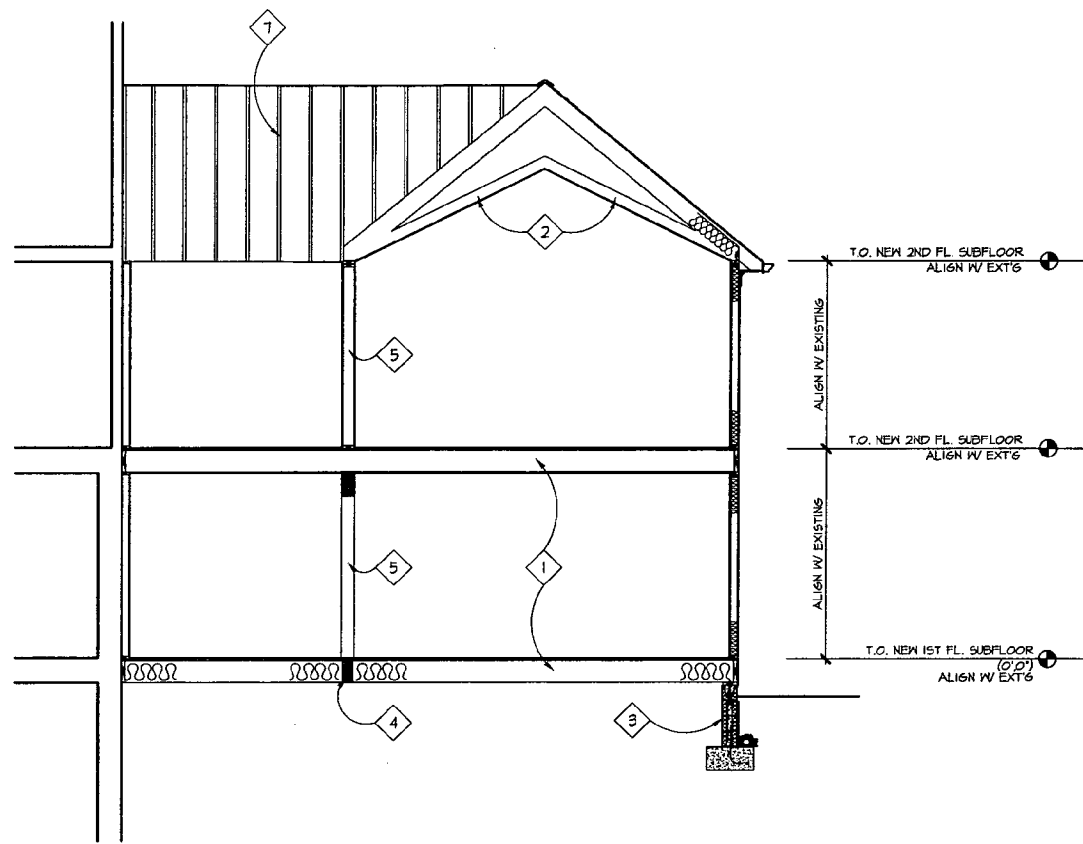
CHISWELL FARM

REVISIONS:
 Δ REV. 02.22.01

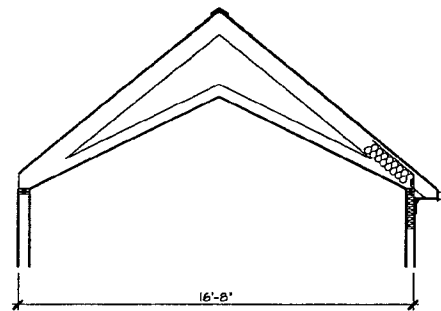
SEAL

DRAWN BY: DER
 CHECKED BY: GTM
 SCALE: AS NOTED
 DATE: 02.22.01
 PROJ. EST. NO. 2004243
 DRAWING NO.

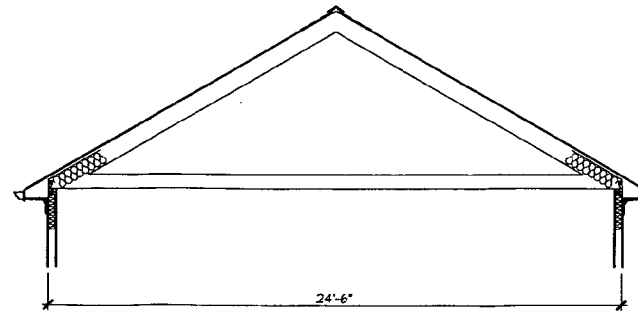
A22



1 BUILDING SECTION
A3.0 SCALE: 1/4"=1'-0"



2 ROOF TRUSS "A" SECTION
A3.0 SCALE: 1/4"=1'-0"



3 ROOF TRUSS "B" SECTION
A3.0 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- 1 FLOOR JOISTS, SEE FRAMING PLANS
- 2 TRUSS SYSTEM, SEE SECTION 2/A3.0
- 3 CMU FOUNDATION WALL
- 4 LVL BEAM, SEE FRAMING PLANS
- 5 2x6 LOAD BEARING WALL
- 6 BUILD UP AS REQ'D TO CREATE HIP ON ENDS
- 7 TRUSS SYSTEM, SEE SECTIONS 3/A3.0

GTM
ARCHITECTS
10415 ARMORY AVENUE,
KENSINGTON, MD 20845
(301)442-0662
(301)442-3422 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
BUILDING SECTION

**CHISWELL
FARM**

REVISIONS:
▲ REV. 02_22_01

SEAL:

DRAWN BY: DER

CHECKED BY: GTM

SCALE: AS NOTED

DATE: 02.22.01

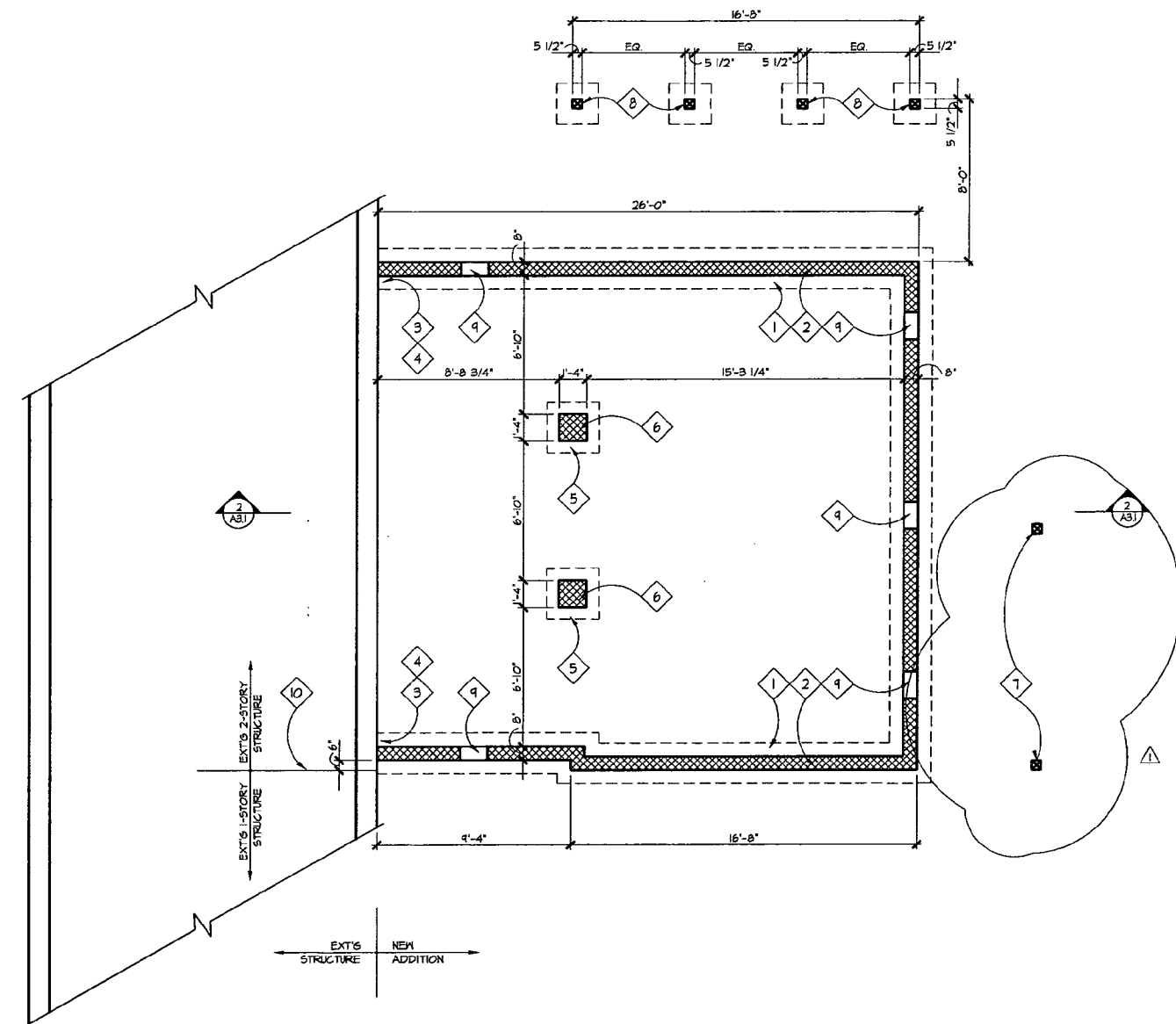
PROJECT NO: 2004243

DRAWING NO:

A3.0

CONSTRUCTION NOTES

- 1 DOTTED LINE INDICATES NEW 2'-0" WIDE x 1'-0" DEEP CONT. CONC. FOOTING; PROVIDE (2) #5 BARS CONT; STEP FOOTING AS INDICATED AND AS SHOWN ON ELEVATION DRAWINGS
- 2 8" CMU WALLS W/ #5 VERT. BARS @ 16" O.C. W/ HORIZ. JOINT TRUSS REINF. @ 8" GROUT CELLS @ REBAR; EXTEND REINF. INTO CONC. FTG. - LAP BARS 2'-0" (TYP.)
- 3 DRILL & EPOXY (2)#5 DOVEYS x 1'-6" W/ 7' EMBED INTO EXT'G FTG.
- 4 MATCH BOTTOM OF EXT'G FTG.
- 5 CONC. FTG.; 2'-6" x 2'-6" x 1'-0" W/ (3) #5 BARS EACH 3" FROM BOTTOM OF FTG.
- 6 16" CMU PIER, FILL SOLID
- 7 6x6 P.T. POSTS ON 1'-4" x 1'-4" x 1'-0" DEEP CONC. FTG.
- 8 6x6 P.T. POSTS ON 2'-0" x 2'-0" x 1'-0" DEEP CONC. FTG.
- 9 6x16 CRAWL SPACE VENT W/ INTEGRAL INSECT SCREEN
- 10 LINE INDICATES WHERE EXISTING STRUCTURE TRANSITIONS FROM A 2-STORY STRUCTURE TO A 1-STORY STRUCTURE



REVISIONS:
△ REV. 02_22_01

SEAL:

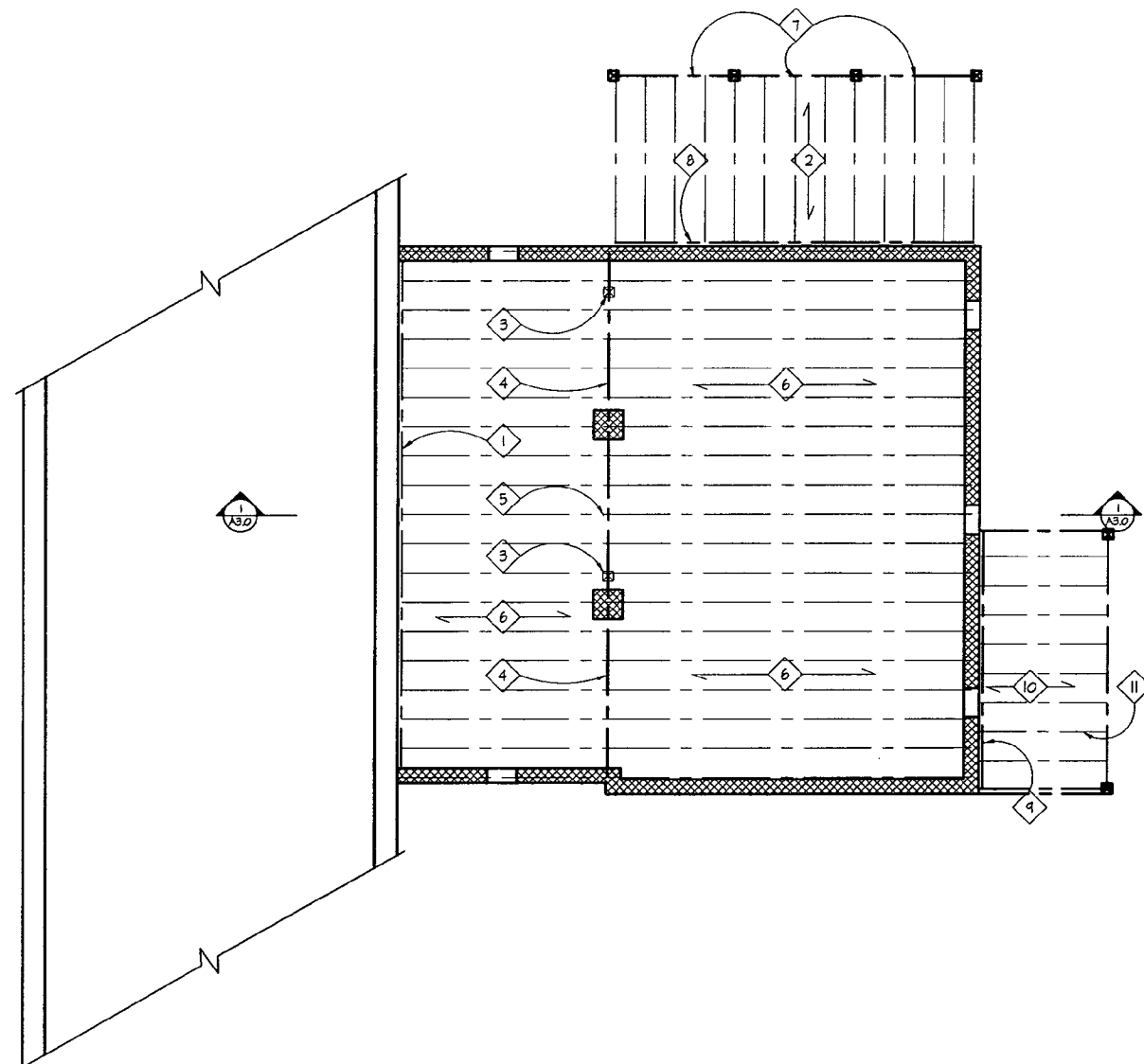
GENERAL NOTES

- 1. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
- 2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP.) OR AS SHOWN ON DRAWINGS.

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 02.22.01
PROJECT NO: 2004243
DRAWING NO:

S1.0

FOUNDATION PLAN
SCALE: 1/4"=1'-0"



FIRST FLOOR FRAMING PLAN
 S1.1 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- 1 2x12 P.T. LEDGER W/ 5/8" Ø BOLTS @ 16" O.C. STAGGER
- 2 P.T. 2x10's @ 16" O.C.
- 3 POST FROM ABOVE
- 4 (B) 1-3/4" x 11-7/8" LVL IN SAME PLANE AS JOISTS
- 5 CMU PIER BELOW, SEE FOUNDATION PLAN
- 6 11-7/8" T.J.'s @ 16" O.C. OR 2x12's
- 7 (B) 2x10 P.T. BEAM
- 8 2x10 P.T. LEDGER W/ 5/8" Ø BOLTS @ 16" O.C. STAGGER
- 9 2x8 P.T. LEDGER W/ 5/8" Ø BOLTS @ 16" O.C. STAGGER
- 10 P.T. 2x8's @ 16" O.C.
- 11 (2) 2x8 P.T. BEAM

GTM ARCHITECTS
 1045 ARMORY AVENUE
 KENNINGTON, MD. 20845
 (301)442-4062
 (301)442-3424 FAX

20130 WASCHE ROAD
 DICKERSON, MD 20842
 FIRST FLOOR
 FRAMING PLAN

CHISWELL FARM

REVISIONS:
 Δ REV. 02_22_07

SEAL:

GENERAL NOTES

1. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-0" BELOW FINISHED GRADES (TYP) OR AS SHOWN ON DRAWINGS.
3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLLIMS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF. RECOMMENDATIONS.
4. PROVIDE SIMPSON H2.5 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 2x2 STRAPS CONNECTING TOP OF SHEARMALL TO DOUBLE HEADER.
5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1 OR LVL POST. NO BUILT-UP STUDS ALLOWED.
6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS.
7. PROVIDE SIMPSON POST CAP AND BASE COIN TYP AT ALL POSTS AND BEAM CONNECTIONS.
8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF T-J JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.

DRAWN BY: DER
 CHECKED BY: GTM
 SCALE: AS NOTED
 DATE: 02.22.07
 PROJECT NO: 2004243
 DRAWING NO.

S1.1

CONSTRUCTION NOTES

- 1 12" TJI's, OR 2x12s @ 16" O.C.
- 2 (3) 1-3/4" x 11-7/8" LVL BEAM BELOW JOISTS
- 3 (3) 2x10 HEADER
- 4 2x6 @ 16" O.C. LOAD BEARING WALL BELOW
- 5 P.T. (3) 2x10 BEAM IN SAME PLANE AS JOISTS
- 6 P.T. 2x10's @ 16" O.C.
- 7 5-1/4 x 5-1/4 PSL POST
- 8 2x10 P.T. LEDGER
- 9 6x6 POST
- 10 2x8's @ 16" O.C., RAFTERS & CEILING JOISTS
- 11 (2) 2x8's P.T. BEAM

GTM
ARCHITECTS

1045 ARMORY AVENUE
KENSINGTON, MD, 20845
(301)442-4062
(301)442-3424 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842

SECOND FLOOR
FRAMING PLAN

**CHISWELL
FARM**

REVISIONS:
▲ REV. 02_22_07

SEAL:

DRAWN BY:
DER

CHECKED BY:
GTM

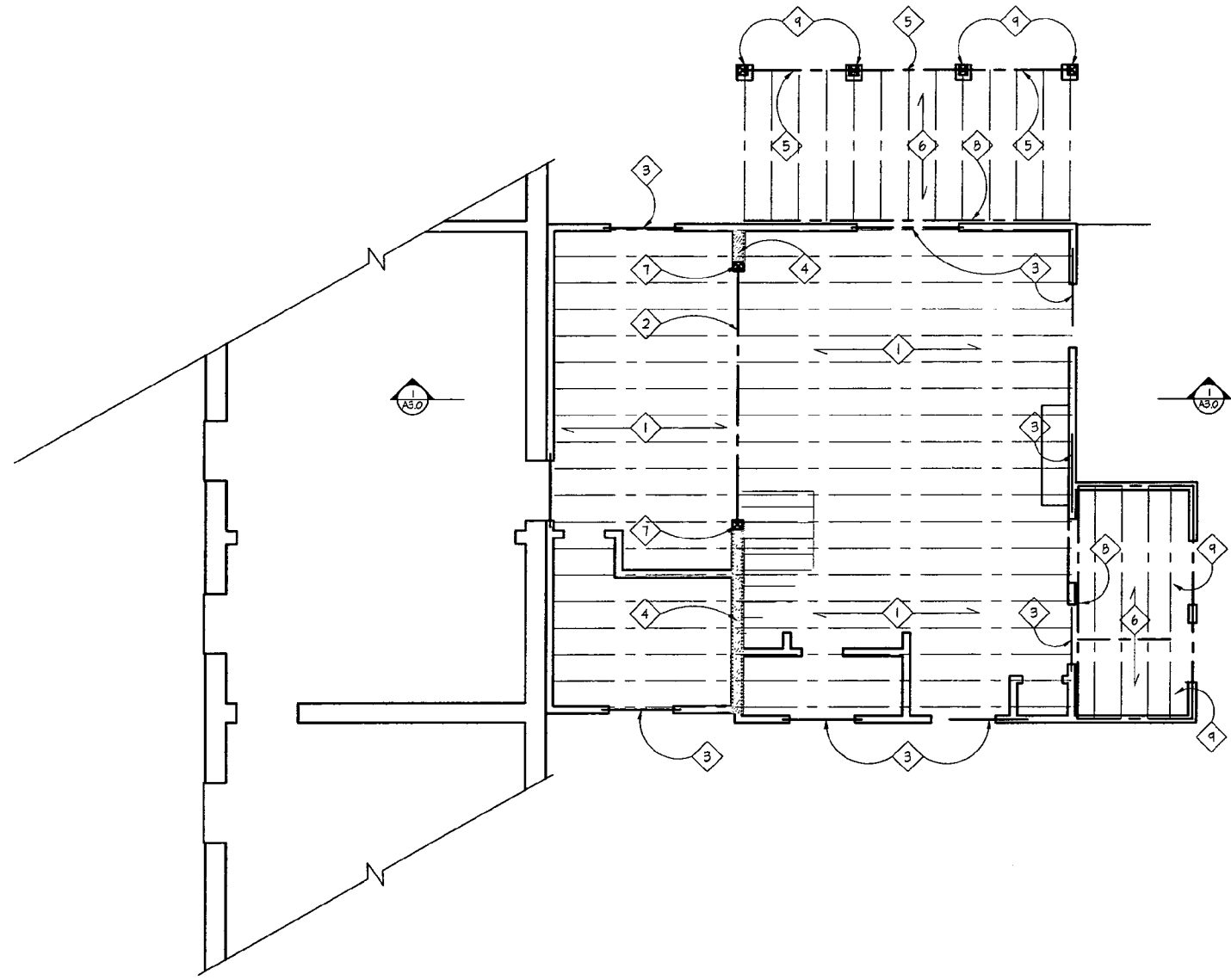
SCALE:
AS NOTED

DATE:
02.22.07

PROJECT NO.
2004243

DRAWING NO.

S1.2



GENERAL NOTES

- 1. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
- 2. BOTTOM OF ALL FTSS SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP) OR AS SHOWN ON DRAWINGS.
- 3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF. RECOMMENDATIONS.
- 4. PROVIDE SIMPSON H2.5 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 242 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER.
- 5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1 OR LVL POST. NO BUILT-UP STUDS ALLOWED.
- 6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS.
- 7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.
- 8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF TJI JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.
- 9. INSTALL CHIMNEY ANCHORAGE STRAPS AS PER IRC, 2000 EDITION TABLE R1003.1 AND FIGURE R1003.1

1 SECOND FLOOR FRAMING PLAN
51.2 SCALE: 1/4"=1'-0"

FILE NAME: 020705_02

CONSTRUCTION NOTES

- 1 ROOF TRUSS A, SEE 2/A3.0
- 2 ROOF TRUSS B, SEE 3/A3.0
- 3 OVERBUILD
- 4 (3) 2x10 BEAM
- 5 (2) 2x10 HEADER
- 6 2x6 LOAD BEARING WALL BELOW

GTM
ARCHITECTS
10415 ARMORY AVENUE
KENSINGTON, MD. 20845
(301)412-1062
(301)412-3424 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
ROOF
FRAMING PLAN

**CHISWELL
FARM**

REVISIONS:
▲ REV. 02_22_01

SEAL:

DRAWN BY:
DER

CHECKED BY:
GTM

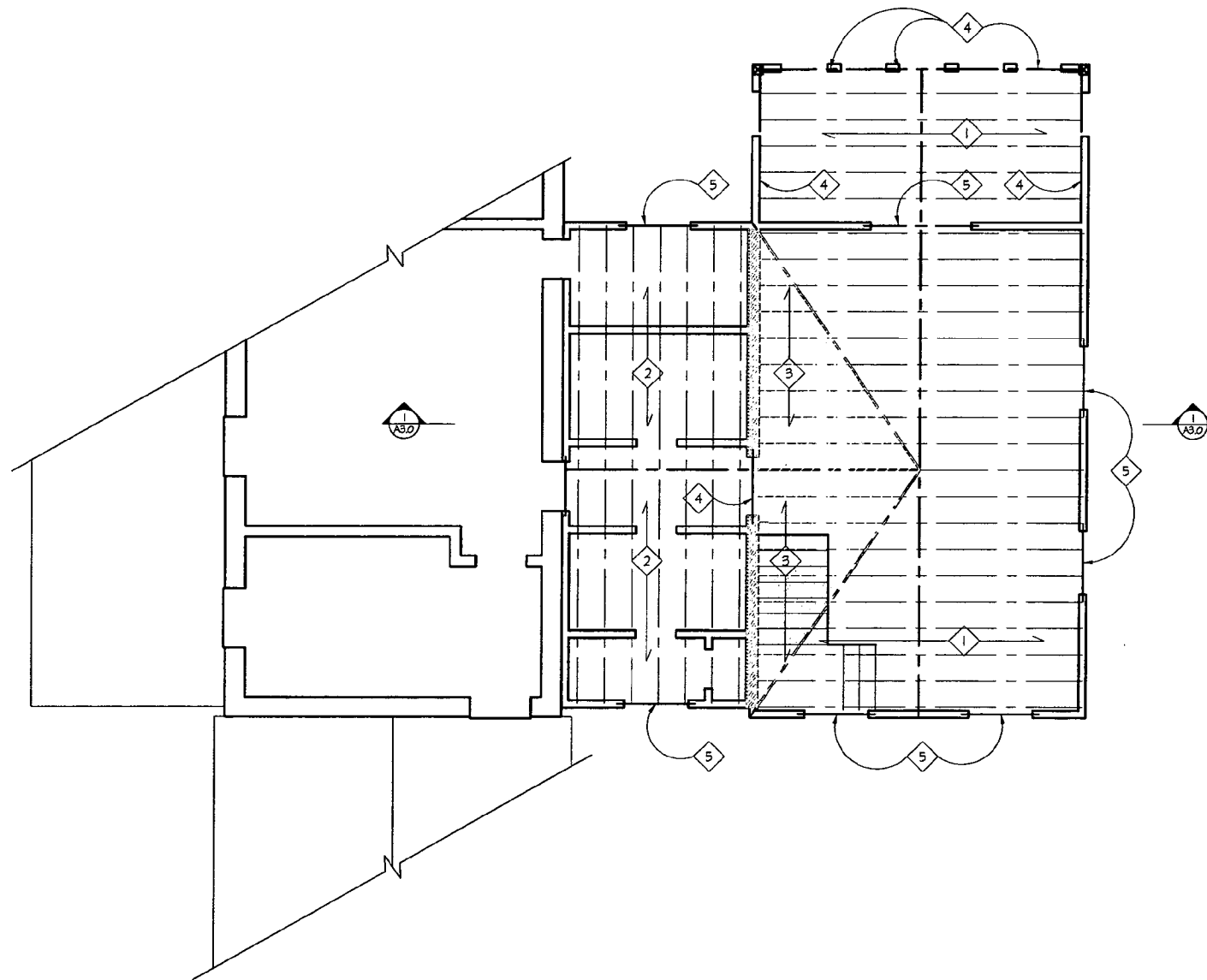
SCALE:
AS NOTED

DATE:
02.22.01

PROJECT NO.
2004243

DRAWING NO.

S1.3



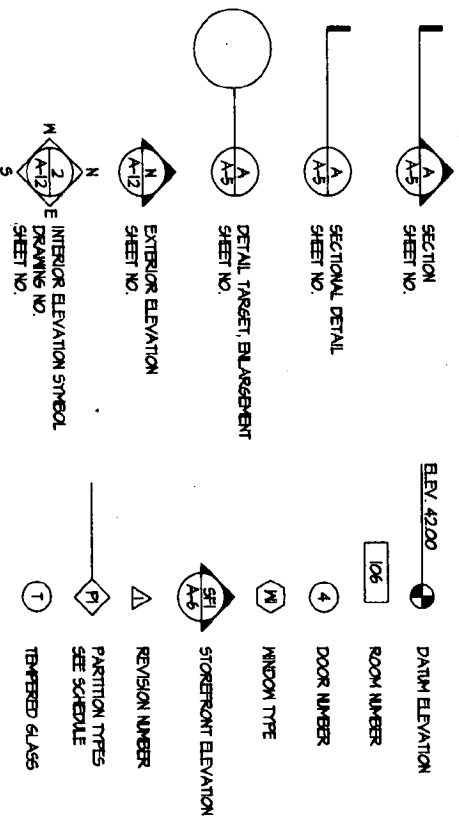
1 ROOF FRAMING PLAN
S1.3 SCALE: 1/4"=1'-0"

FILE NAME: 020205.S1.3

CHISWELL FARM RESIDENCE

20130 WASCHE ROAD DICKERSON, MD 20842

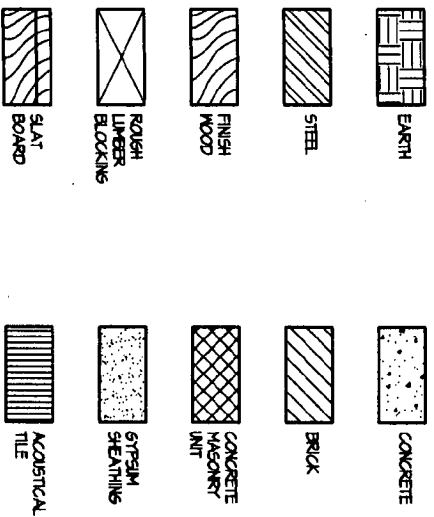
GRAPHIC SYMBOLS



LIST OF DRAWINGS

- CS COVER SHEET
- SP SPECIFICATIONS
- A10 FIRST FLOOR PLAN
- A11 SECOND FLOOR PLAN
- A12 ROOF PLAN
- A20 RIGHT SIDE ELEVATION
- A21 REAR ELEVATION
- A22 LEFT SIDE ELEVATION
- A30 BUILDING SECTIONS
- S10 FOUNDATION PLAN
- S11 FIRST FLOOR FRAMING PLAN
- S12 SECOND FLOOR FRAMING PLAN
- S13 ROOF FRAMING PLAN

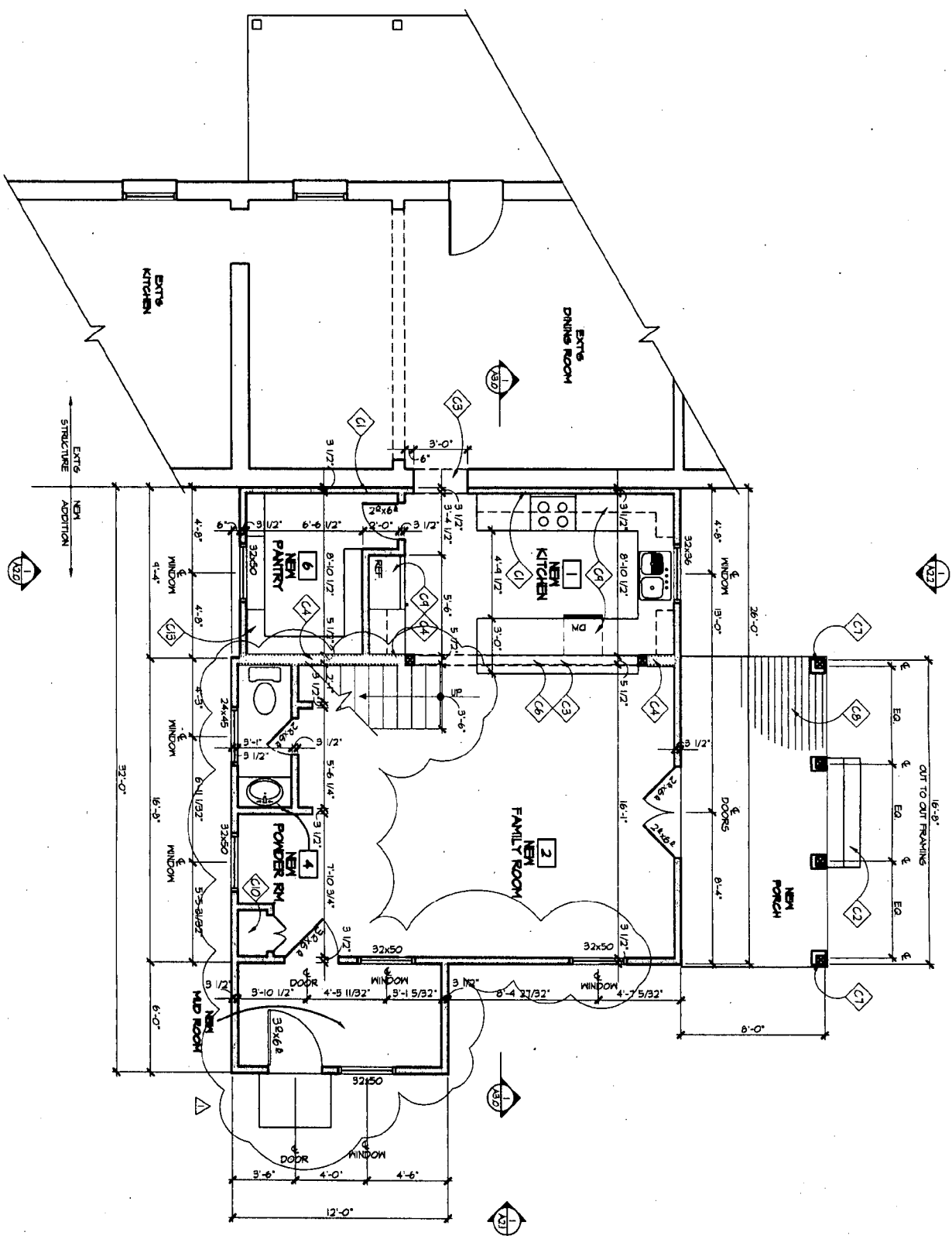
MATERIAL SYMBOLS



ABBREVIATIONS

ACOVE FRESH FLOOR	AF1	E20N	INTERIOR	AF	FLUTE	FLVD	CONTROL
ACRYLIC	AC	ELECTRICAL	JAMMER'S GLIDER	2	R/STOOD	R/STD	VALS
ADHESIVE	AD	ELECTRICAL TAPES	JOIST	3	R/OVER	R/OVR	WALLBOARD
ALUMINUM ANGLE	AL	EMERGENCY EXIT	JUNCTION BOX	4	R/TOUR	R/TOUR	WALL
ALUMINUM CHANNEL	ALC	EMERGENCY EXIT SIGN	LAMINATED	5	R/UNDER	R/UNDER	WALL
ALUMINUM CONCRETE	ALC	EMERGENCY EXIT SIGN	LEFT HAND	6	R/WALL	R/WALL	WALL
ANODIZED ALUMINUM	ALC	EMERGENCY EXIT SIGN	RIGHT HAND	7	R/WALL	R/WALL	WALL
ASPHALT	AS	EMERGENCY EXIT SIGN	BRACKET	8	R/WALL	R/WALL	WALL
AUTOMATIC SPRINKLER	AS	EMERGENCY EXIT SIGN	BRACKET	9	R/WALL	R/WALL	WALL
BEAM	BE	EMERGENCY EXIT SIGN	BRACKET	10	R/WALL	R/WALL	WALL
BOARD	BD	EMERGENCY EXIT SIGN	BRACKET	11	R/WALL	R/WALL	WALL
BURR	BU	EMERGENCY EXIT SIGN	BRACKET	12	R/WALL	R/WALL	WALL
CAD	CAD	EMERGENCY EXIT SIGN	BRACKET	13	R/WALL	R/WALL	WALL
CALUMINUM ANGLE	CAL	EMERGENCY EXIT SIGN	BRACKET	14	R/WALL	R/WALL	WALL
CALUMINUM CHANNEL	CAL	EMERGENCY EXIT SIGN	BRACKET	15	R/WALL	R/WALL	WALL
CALUMINUM CONCRETE	CAL	EMERGENCY EXIT SIGN	BRACKET	16	R/WALL	R/WALL	WALL
CALUMINUM VIBRATORY MAT	CAL	EMERGENCY EXIT SIGN	BRACKET	17	R/WALL	R/WALL	WALL
CALUMINUM ANGLE	CAL	EMERGENCY EXIT SIGN	BRACKET	18	R/WALL	R/WALL	WALL
CALUMINUM CHANNEL	CAL	EMERGENCY EXIT SIGN	BRACKET	19	R/WALL	R/WALL	WALL
CALUMINUM CONCRETE	CAL	EMERGENCY EXIT SIGN	BRACKET	20	R/WALL	R/WALL	WALL
CALUMINUM VIBRATORY MAT	CAL	EMERGENCY EXIT SIGN	BRACKET	21	R/WALL	R/WALL	WALL
CALUMINUM ANGLE	CAL	EMERGENCY EXIT SIGN	BRACKET	22	R/WALL	R/WALL	WALL
CALUMINUM CHANNEL	CAL	EMERGENCY EXIT SIGN	BRACKET	23	R/WALL	R/WALL	WALL
CALUMINUM CONCRETE	CAL	EMERGENCY EXIT SIGN	BRACKET	24	R/WALL	R/WALL	WALL
CALUMINUM VIBRATORY MAT	CAL	EMERGENCY EXIT SIGN	BRACKET	25	R/WALL	R/WALL	WALL
CALUMINUM ANGLE	CAL	EMERGENCY EXIT SIGN	BRACKET	26	R/WALL	R/WALL	WALL
CALUMINUM CHANNEL	CAL	EMERGENCY EXIT SIGN	BRACKET	27	R/WALL	R/WALL	WALL
CALUMINUM CONCRETE	CAL	EMERGENCY EXIT SIGN	BRACKET	28	R/WALL	R/WALL	WALL
CALUMINUM VIBRATORY MAT	CAL	EMERGENCY EXIT SIGN	BRACKET	29	R/WALL	R/WALL	WALL
CALUMINUM ANGLE	CAL	EMERGENCY EXIT SIGN	BRACKET	30	R/WALL	R/WALL	WALL
CALUMINUM CHANNEL	CAL	EMERGENCY EXIT SIGN	BRACKET	31	R/WALL	R/WALL	WALL
CALUMINUM CONCRETE	CAL	EMERGENCY EXIT SIGN	BRACKET	32	R/WALL	R/WALL	WALL
CALUMINUM VIBRATORY MAT	CAL	EMERGENCY EXIT SIGN	BRACKET	33	R/WALL	R/WALL	WALL
CALUMINUM ANGLE	CAL	EMERGENCY EXIT SIGN	BRACKET	34	R/WALL	R/WALL	WALL
CALUMINUM CHANNEL	CAL	EMERGENCY EXIT SIGN	BRACKET	35	R/WALL	R/WALL	WALL
CALUMINUM CONCRETE	CAL	EMERGENCY EXIT SIGN	BRACKET	36	R/WALL	R/WALL	WALL
CALUMINUM VIBRATORY MAT	CAL	EMERGENCY EXIT SIGN	BRACKET	37	R/WALL	R/WALL	WALL
CALUMINUM ANGLE	CAL	EMERGENCY EXIT SIGN	BRACKET	38	R/WALL	R/WALL	WALL
CALUMINUM CHANNEL	CAL	EMERGENCY EXIT SIGN	BRACKET	39	R/WALL	R/WALL	WALL
CALUMINUM CONCRETE	CAL	EMERGENCY EXIT SIGN	BRACKET	40	R/WALL	R/WALL	WALL
CALUMINUM VIBRATORY MAT	CAL	EMERGENCY EXIT SIGN	BRACKET	41	R/WALL	R/WALL	WALL
CALUMINUM ANGLE	CAL	EMERGENCY EXIT SIGN	BRACKET	42	R/WALL	R/WALL	WALL
CALUMINUM CHANNEL	CAL	EMERGENCY EXIT SIGN	BRACKET	43	R/WALL	R/WALL	WALL
CALUMINUM CONCRETE	CAL	EMERGENCY EXIT SIGN	BRACKET	44	R/WALL	R/WALL	WALL
CALUMINUM VIBRATORY MAT	CAL	EMERGENCY EXIT SIGN	BRACKET	45	R/WALL	R/WALL	WALL

FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



CONSTRUCTION NOTES

- C1 FIN. OUT WALLS W/ FULL 2x4'S
- C2 NEW EXTERIOR WOOD STAIR TO GRADE; VERIFY RISE AND RUN IN FIELD
- C3 NEW CASSED OPENING
- C4 2x6 LOAD BEARING WALL
- C5 NOT USED
- C6 HALF WALL BELOW COUNTER
- C7 NEAR 6x6 POST W/ 5/4" TRIM, OUTSIDE FINISH DIVISION: 8 3/4" SQUARE
- C8 11/6 FLOORING, MATERIAL T.B.S.
- C9 NEW KITCHEN CABINETS, APPLIANCES, COUNTER TOPS, ETC. TO BE SELECTED; SEE ALLOWANCES
- C10 CLOSET SHELVES + ROOFS BY OWNER
- C11 NOT USED
- C12 NOT USED
- C13 PTD. BUILT-IN SHELVES

NOTE:
1. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD
2. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING

WALL TYPES

TYPICAL EXTERIOR WALL: 2"x4" WOOD STUDS 16" O.C. W/ R-15 INSULATION + W/ VAPOR BARRIER, 1/2" OSB SHEATHING, TYVEK BUILDING WRAP, + SIDING PER ELEVATIONS
INTERIOR FINISH TO BE 6XP BD (1/2").

TYPICAL NON-BEARING INTERIOR PARTITION: 2"x4" STUDS 16" O.C. W/ 1/2" 6XP BD EACH SIDE INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN

GTM
ARCHITECTS
1048 ARNOTT AVENUE
DICKERSON, MD 20845
TEL: 301-424-3800
FAX: 301-424-3821

20130 WASCHE ROAD
DICKERSON, MD 20842
FIRST FLOOR PLAN

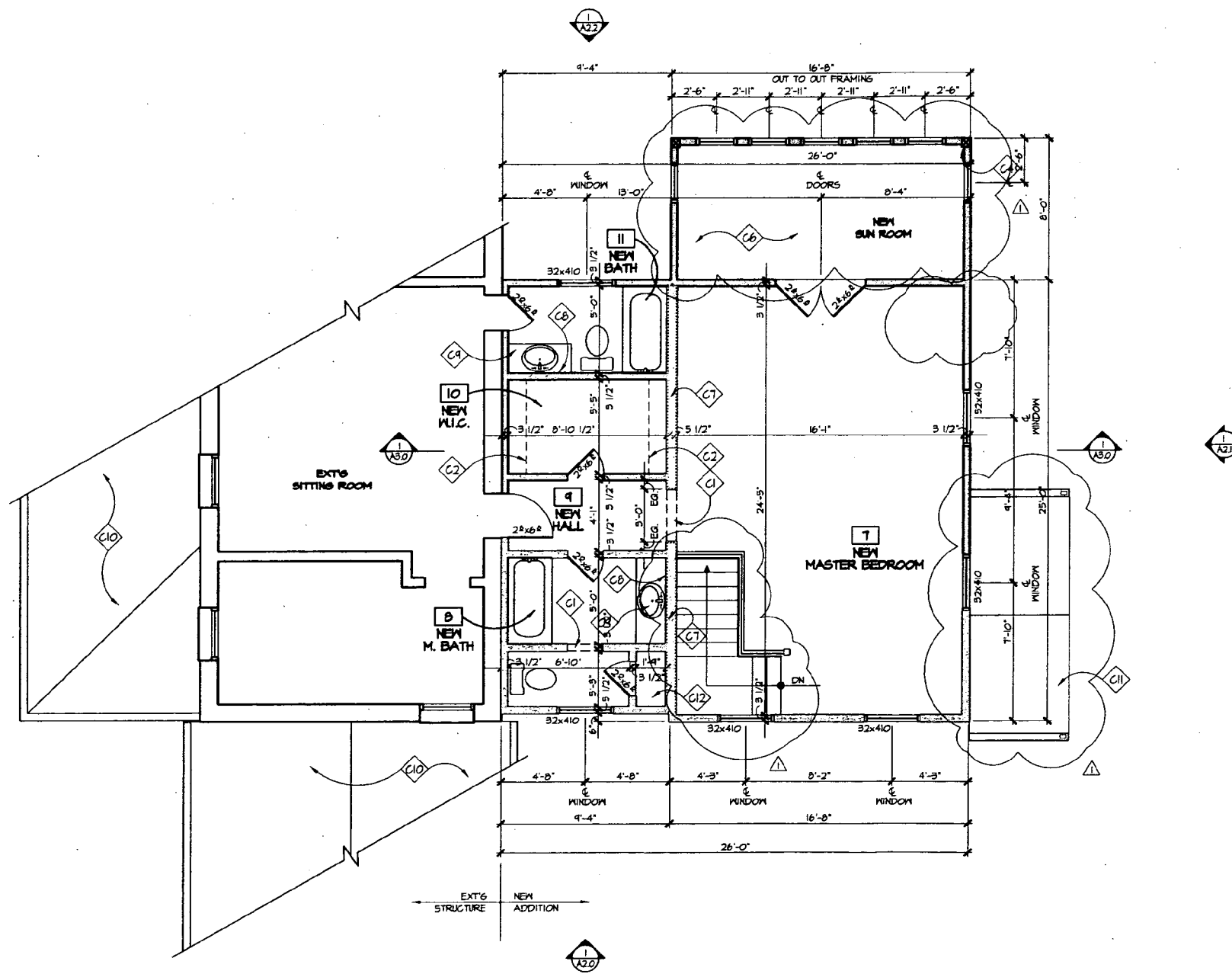
CHISWELL FARM

REVISIONS:
REV. 02.22.01

SCALE:

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 02.22.01
PROJECT NO: 2004243
DRAWING NO:

A1.0



SECOND FLOOR PLAN
 A1.1 SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES

- C1 NEW CASED OPENING
- C2 CLOSET SHELVES + RODS, BY OWNER
- C3 PTD. SMOOT RAILING SYSTEM; SEE ELEVATIONS
- C4 WRAP 6x6 POST W/ 5/4" TRIM, OUTSIDE FINISH DIMENSION; 8 3/4" SQUARE
- C5 NOT USED
- C6 T&G FLOORING @ PORCH MATERIAL T.B.S.
- C7 2x6 LOAD-BEARING WALL
- C8 1/4" PLATE GLASS MIRROR; SEE INTERIORS FOR EXTENT OF HEIGHT
- C9 VANITY; TO BE SELECTED
- C10 EXT'S ROOF BELOW
- C11 NOT USED
- C12 PROVIDE (5) EQUALLY SPACED SHELVES

GTM ARCHITECTS
 10415 ARMORY AVENUE
 KEESINGTON, MD. 20845
 (301)442-4062
 (301)442-3424 FAX

20130 WASCHE ROAD
 DICKERSON, MD 20842
 SECOND FLOOR PLAN

CHISWELL FARM

REVISIONS:
 Δ REV. 02_22_01

SEAL:

DRAWN BY: DER
 CHECKED BY: GTM
 SCALE: AS NOTED
 DATE: 02.22.01
 PROJECT NO: 2004243
 DRAWING NO.

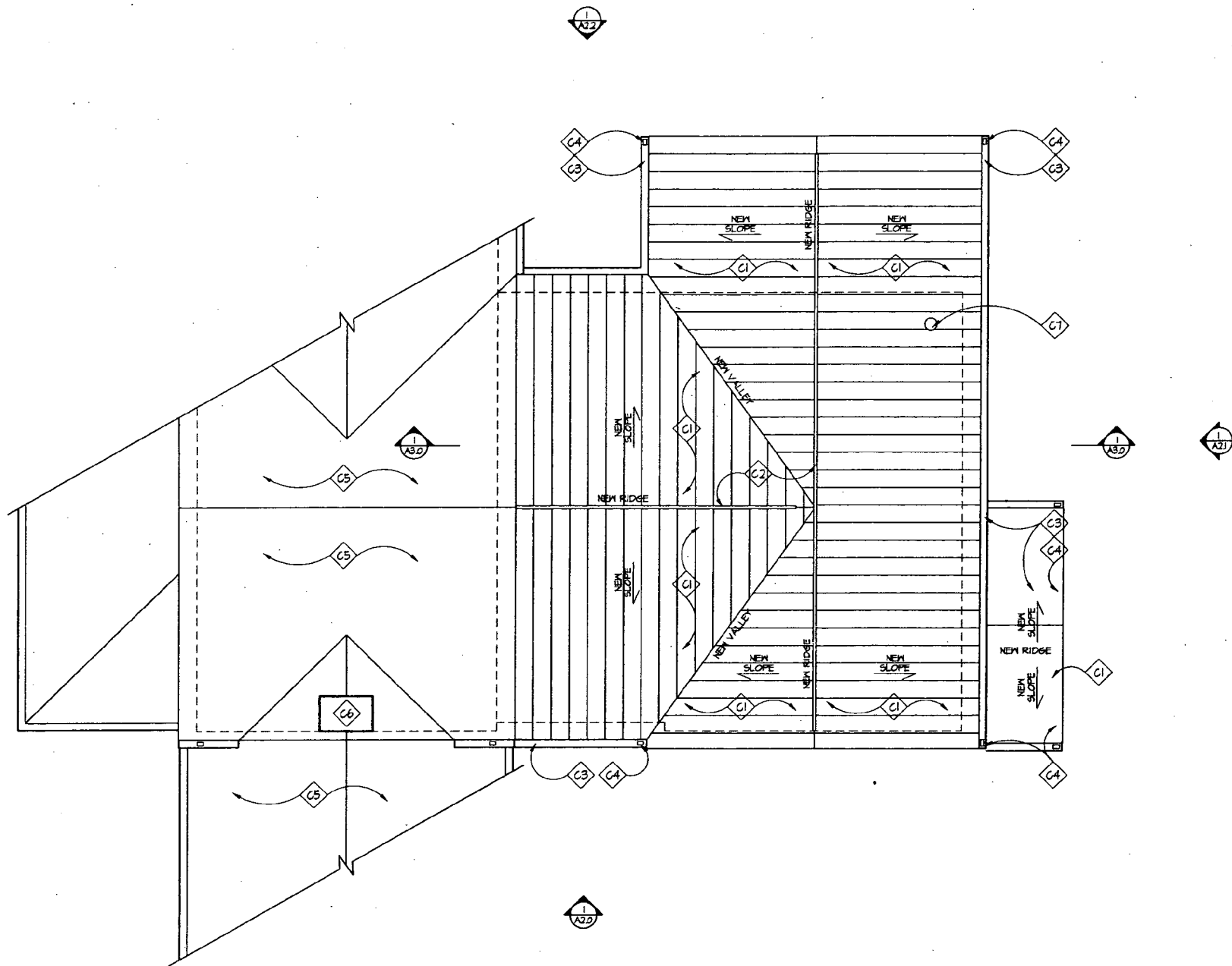
WALL TYPES

TYPICAL EXTERIOR WALL: 2"x4" WOOD STUDS 16" O.C., W/ R-15 INSULATION & W/ VAPOR BARRIER, 1/2" OSB SHEATHING, TYVEK BUILDING WRAP, & SIDING PER ELEVATIONS
 INTERIOR FINISH TO BE GYP. BD. (1/2").

TYPICAL NON-BEARING INTERIOR PARTITION: 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.

A1.1

ROOF PLAN
A1.2 SCALE: 1/4"=1'-0"



ROOF NOTES

- ◇ C1 NEW METAL ROOF, T.B.S.
- ◇ C2 RIDGE VENTS BY "COR-A-VENT" OR APPROVED EQUAL.
- ◇ C3 NEW GUTTER, TO MATCH EXT'S
- ◇ C4 NEW DOWNSPOUT, TO MATCH EXT'S
- ◇ C5 EXISTING ROOF
- ◇ C6 EXISTING CHIMNEY
- ◇ C7 GAS FIREPLACE VENT

GTM ARCHITECTS
10415 ARMORY AVENUE
KENSINGTON, MD. 20845
(301)442-4062
(301)442-3424 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
ROOF PLAN

CHISWELL FARM

REVISIONS:
△ REV. 02.22.07

SEAL:

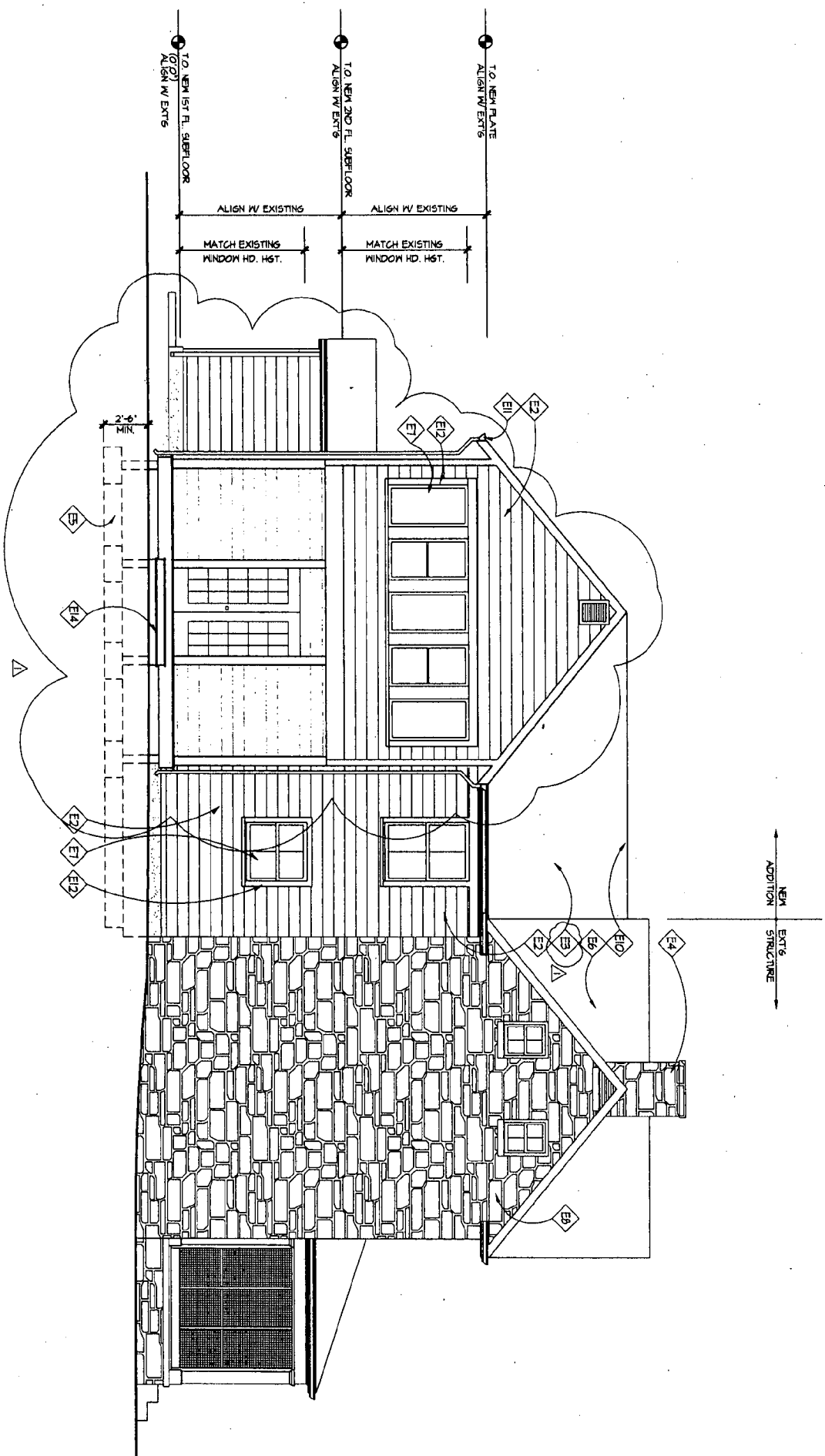
GENERAL ROOFING NOTES

1. PROVIDE WEATHER GUARD UNDERLAYMENT UNDER SHINGLES @ ALL VALLEYS, @ ALL PERIMETER AREAS (3'-0" BACK FROM FASCIA), AND ON ALL AREAS W/ SLOPE LESS THAN 4:12.
2. SEE FRAMING PLANS FOR OVERBUILD AREAS.
3. INSTALL CHIMNEY ANCHORAGE STRAPS AS PER IRC, 2000 EDITION TABLE R1003.1 AND FIGURE R1003.1
4. INSTALL AND FLASH SKYLIGHTS PER MANUFAC.

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 02.22.07
PROJECT NO. 2004243
DRAWING NO.

A1.2

FILE NAME: 01243_A1.2



1 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- E1 NOT USED
- E2 NEW PTD. HARD-PLANK SMOOTH LAP SIDING
- E3 30 YEAR ASPHALT SHINGLE
- E4 EXISTING CHIMNEY
- E5 LINE OF FOUNDATION
- E6 EXISTING SLATE ROOF
- E7 WOOD WINDOWS, MATCH EXTS. GRILL PATTERN
- E8 EXISTING STONE
- E9 NOT USED
- E10 RIDGE VENT SEE ROOF PLAN
- E11 GUTTER 1 D.S. TO MATCH EXISTING
- E12 PTD. 5/4" x 4 WINDOW 1 DOOR TRIM
- E13 NOT USED
- E14 WOOD STEPS TO GRADE, VERIFY IN FIELD
- E15 NOT USED

NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.

GTM
ARCHITECTS
1016 ARBERT AVENUE
DICKERSON, MD 20842
(301)423-4002
(301)423-3025 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
LEFT SIDE ELEVATION

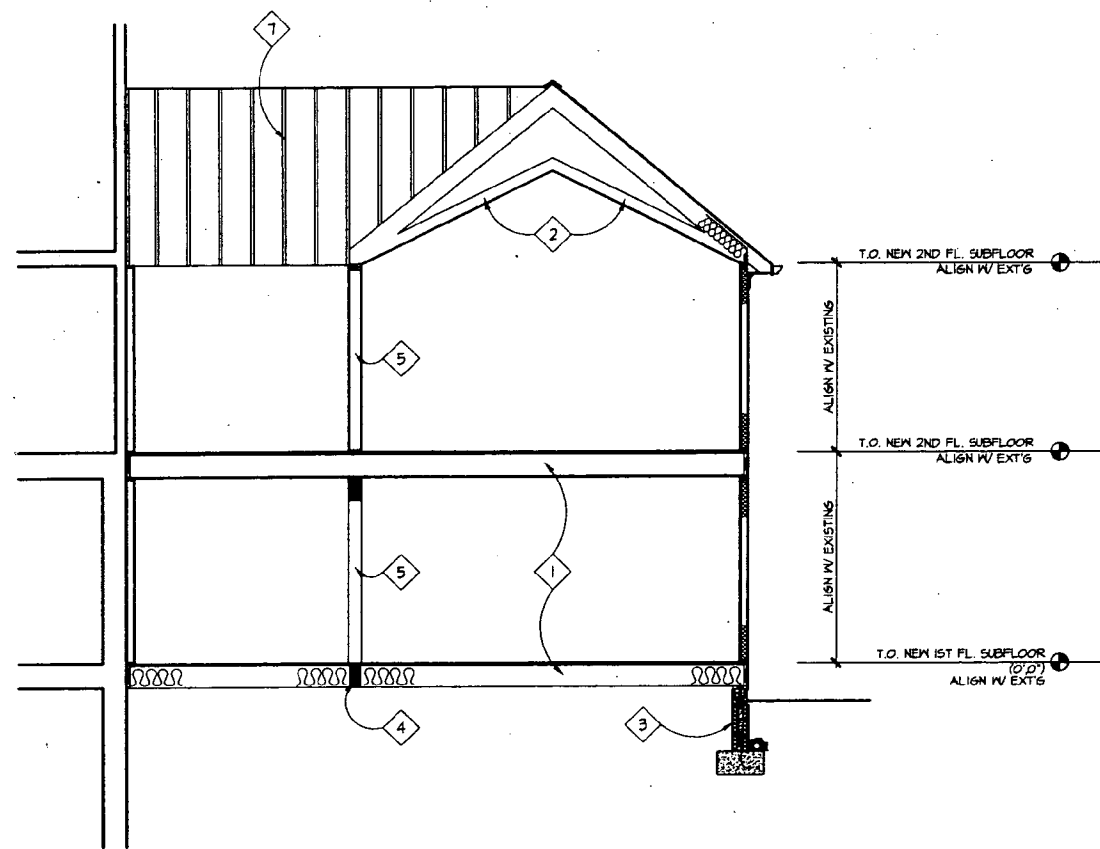
CHISWELL FARM

REVISIONS:
Δ REV. 02.23.01

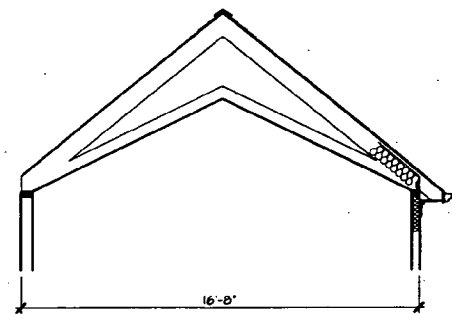
SEAL

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 02.22.01
PROJECT NO: 2004243
DRAWING NO:

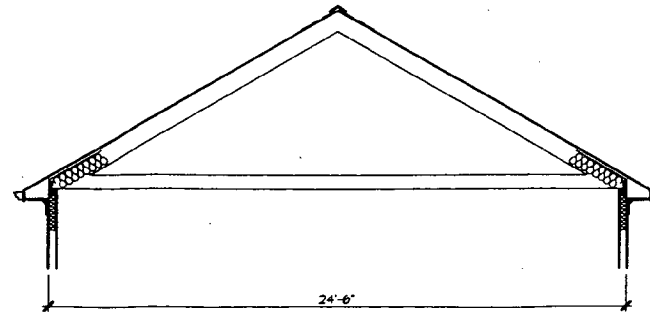
A2.2



1 BUILDING SECTION
A3.0 SCALE: 1/4"=1'-0"



2 ROOF TRUSS "A" SECTION
A3.0 SCALE: 1/4"=1'-0"



3 ROOF TRUSS "B" SECTION
A3.0 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- 1 FLOOR JOISTS, SEE FRAMING PLANS
- 2 TRUSS SYSTEM, SEE SECTION 2/A3.0
- 3 CMU FOUNDATION WALL
- 4 LVL. BEAM, SEE FRAMING PLANS
- 5 2x6 LOAD BEARING WALL
- 6 BUILD UP AS REQD. TO CREATE HIP ON ENDS
- 7 TRUSS SYSTEM, SEE SECTIONS 3/A3.0

GTM
ARCHITECTS
10415 ARMORY AVENUE,
KENSINGTON, MD. 20845
(301)442-1062
(301)442-3424 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
BUILDING SECTION

**CHISWELL
FARM**

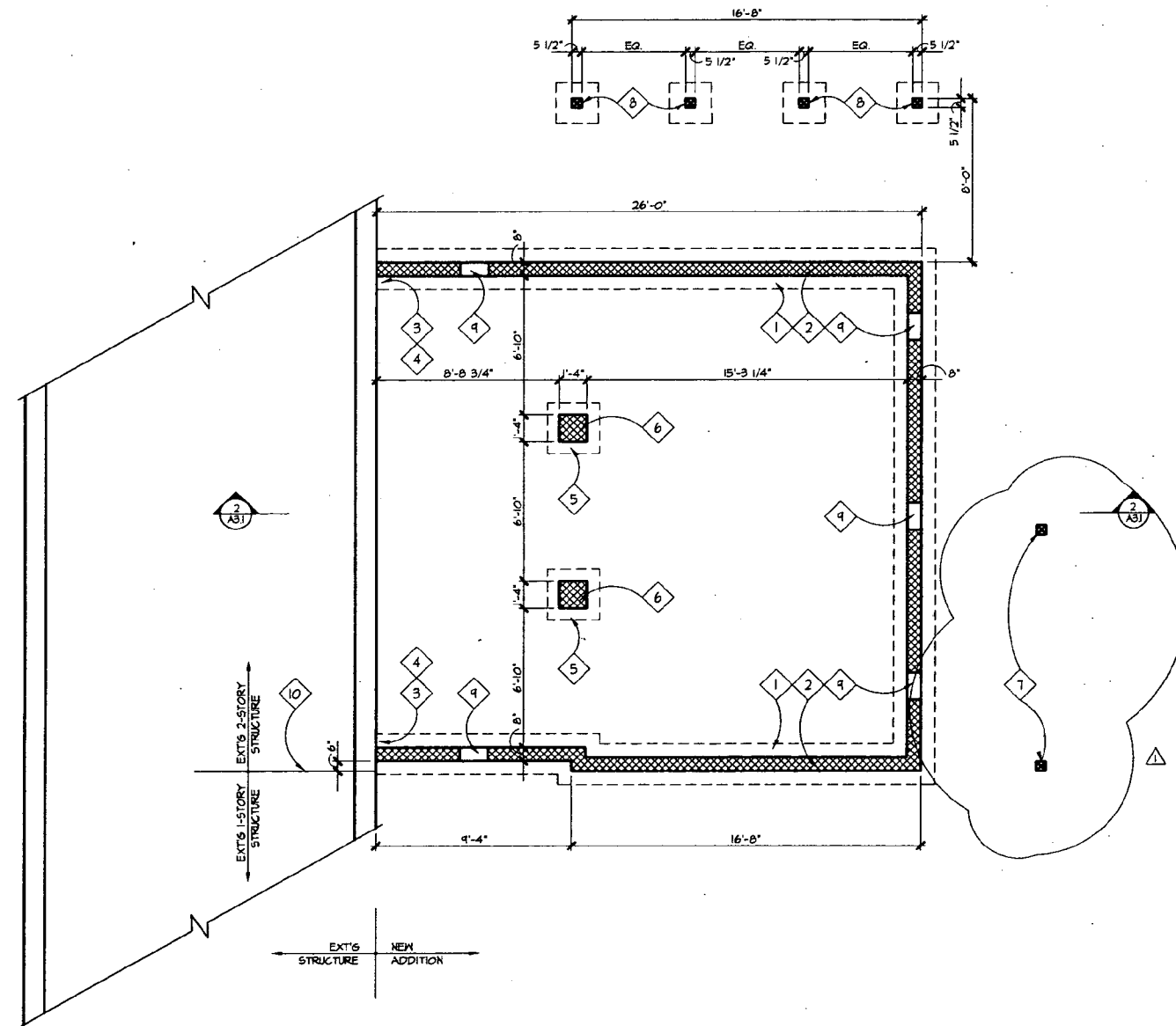
REVISIONS:
△ REV. 02_22_01

SEAL:

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 02.22.01
PROJECT NO: 2004243
DRAWING NO:

A3.0

FILE NAME: 04243_A3.0



CONSTRUCTION NOTES

- 1 DOTTED LINE INDICATES NEW 2'-0" WIDE x 1'-0" DEEP CONC. FOOTING; PROVIDE (2) #5 BARS CONC. STEP FOOTINGS AS INDICATED AND AS SHOWN ON ELEVATION DRAWINGS
- 2 8" CMU WALLS W/ #5 VERT BARS @ 16" O.C. W/ HORIZ. JOINT TRUSS REINF. @ 8" GROUT CELLS @ REBAR, EXTEND REINF. INTO CONC. FTG. - LAP BARS 2'-0" (TYP.)
- 3 DRILL & EPOXY (2)#5 DOWELS x 1'-6" W/ 1" EMBED INTO EXT'G FTG.
- 4 MATCH BOTTOM OF EXT'G FTG.
- 5 CONC. FTG.: 2'-6" x 2'-6" x 1'-0" W/ (3) #5 BARS EACH 3" FROM BOTTOM OF FTG.
- 6 16" CMU PIER, FILL SOLID
- 7 6x6 P.T. POSTS ON 1'-4" x 1'-4" x 1'-0" DEEP CONC. FTG.
- 8 6x6 P.T. POSTS ON 2'-0" x 2'-0" x 1'-0" DEEP CONC. FTG.
- 9 6x16 GRAHL SPACE VENT W/ INTEGRAL INSECT SCREEN
- 10 LINE INDICATES WHERE EXISTING STRUCTURE TRANSITIONS FROM A 2-STORY STRUCTURE TO A 1-STORY STRUCTURE

GTM
ARCHITECTS

10415 ARMORY AVENUE,
KENSINGTON, MD. 20845
(301)442-4062
(301)442-3424 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842

FOUNDATION PLAN

**CHISWELL
FARM**

REVISIONS:
△ REV. 02_22_07

SEAL:

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 02.22.07
PROJECT NO: 2004243
DRAWING NO:

GENERAL NOTES

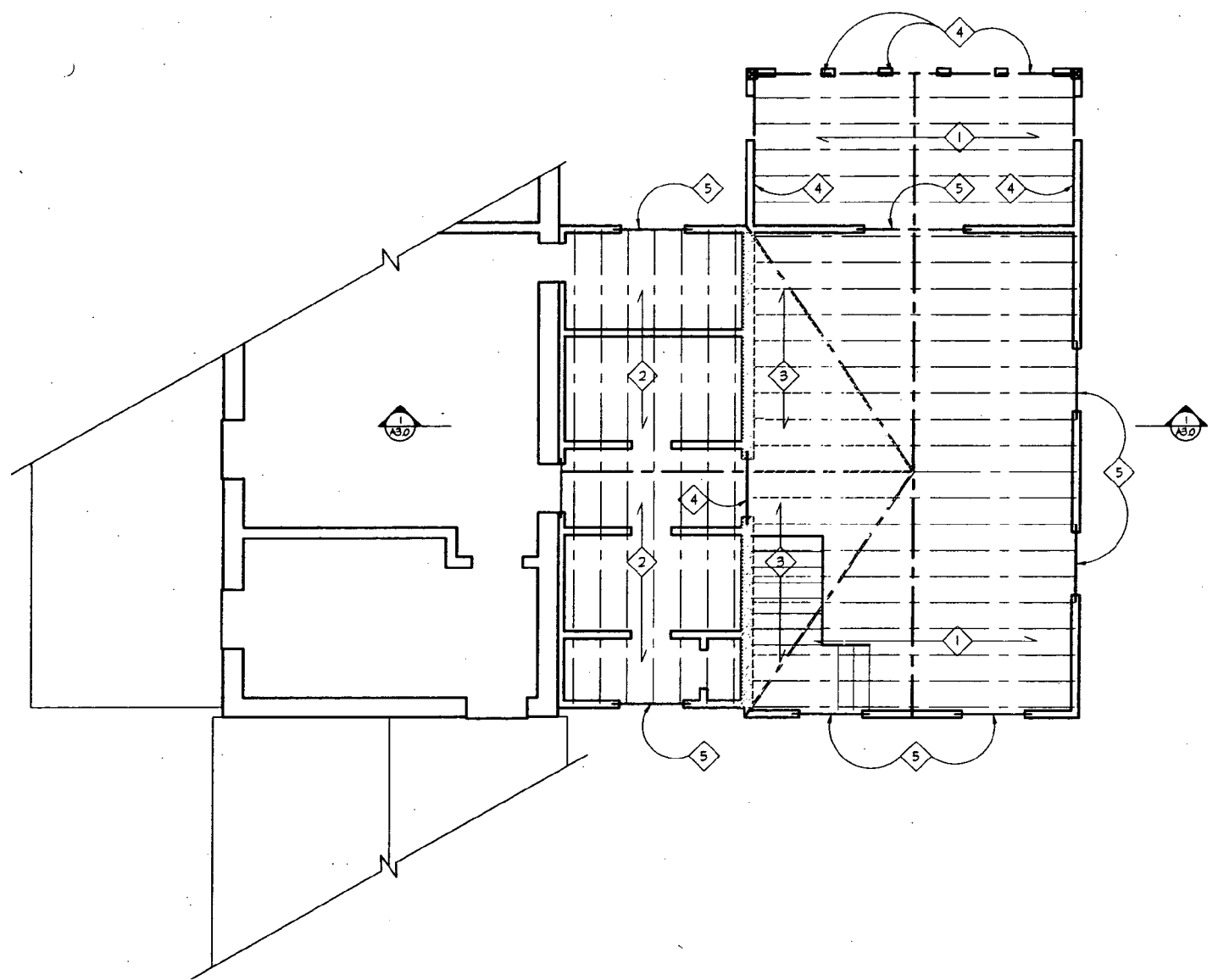
1. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP) OR AS SHOWN ON DRAWINGS.

FOUNDATION PLAN
SCALE: 1/4"=1'-0"

S1.0

CONSTRUCTION NOTES

- 1 ROOF TRUSS A, SEE 2/AB.0
- 2 ROOF TRUSS B, SEE 3/AB.0
- 3 OVERBUILD
- 4 (3) 2x10 BEAM
- 5 (2) 2x10 HEADER
- 6 2x6 LOAD BEARING WALL BELOW



ROOF FRAMING PLAN
S1.3 SCALE: 1/4"=1'-0"

GTM ARCHITECTS
10415 ARMORY AVENUE
KENSINGTON, MD. 20845
(301)442-4062
(301)442-3429 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
ROOF FRAMING PLAN

CHISWELL FARM

REVISIONS:
▲ REV. 02_22_01

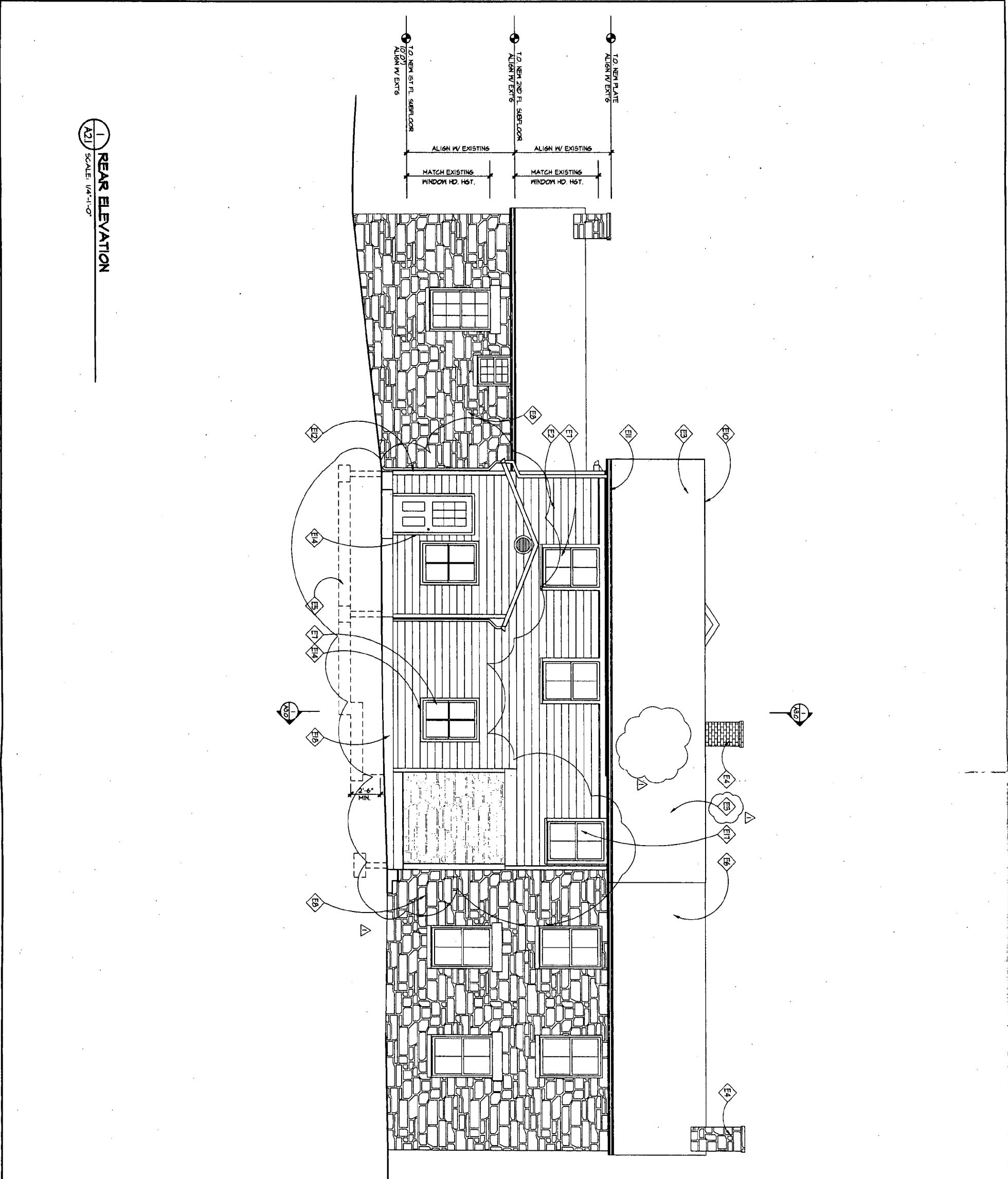
SEAL:

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 02.22.01
PROJECT NO: 2004243
DRAWING NO:

S1.3

GENERAL NOTES

1. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP).
2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP.) OR AS SHOWN ON DRAWINGS.
3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLLING SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF. RECOMMENDATIONS.
4. PROVIDE SIMPSON H2.5 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 2X2 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER.
5. ALL MOOD POSTS SHALL BE SOUTHERN PINE No.1 OR LVL POST NO BUILT-UP STUDS ALLOWED.
6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS.
7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.
8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF T.J. JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.
9. INSTALL CHIMNEY ANCHORAGE STRAPS AS PER IRC, 2000 EDITION TABLE R1003.1 AND FIGURE R1003.1



REAR ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- E1 NEW PTD. HARD-PLANK SMOOTH LAP SIDING
- E2 30 YEAR ASPHALT SHINGLES
- E3 EXISTING CHIMNEY
- E4 LINE OF FOUNDATION
- E5 EXISTING SLATE ROOF
- E6 WOOD WINDOWS, MATCH EXTS. GRILL PATTERN
- E7 EXISTING STONE
- E8 PTD. TRELLIS
- E9 RIDGE VENT: SEE ROOF PLAN
- E10 GUTTER 1 D.S.; TO MATCH EXISTING
- E11 PTD. 5/4" x 4 CORNER BOARDS
- E12 NOT USED
- E13 PTD. 5/4" x 4 WINDOW 1 DOOR TRIM
- E14 NOT USED
- E15 NOT USED
- E16 NOT USED
- E17 FOUNDATION VENTS
- E18 NOT USED
- E19 NOT USED

NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD

GTM
ARCHITECTS
1015 ASPEN AVENUE
BOWING, MD 20842
PHONE: 301-474-2000
BOWING, MD 20842
BOUWING, MD 20842

20130 WASCHE ROAD
DICKERSON, MD 20842
REAR ELEVATION

CHISWELL FARM

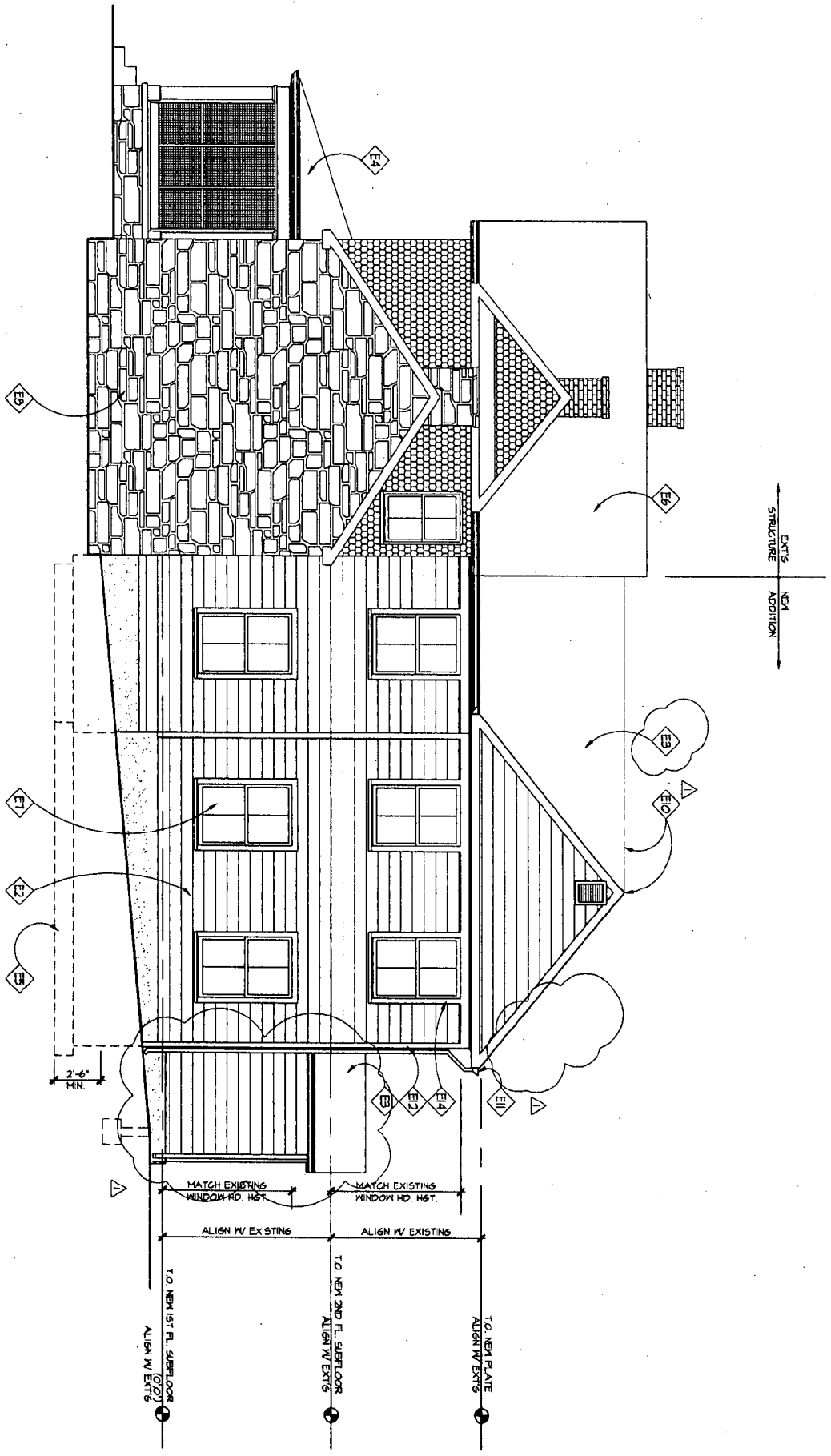
REVISIONS:
A REV. 02.22.07

SEAL

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 02.22.07
PROJECT NO: 2004243
DRAWING NO:

A2.1

1 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"



ELEVATION NOTES

- E1 NOT USED
- E2 NEW PTD. HARD-PLANK SMOOTH LAP SIDING
- E3 30 YEAR ASPHALT SHINGLES
- E4 EXISTING PORCH
- E5 LINE OF FOUNDATION
- E6 EXISTING SLATE ROOF
- E7 WOOD WINDOWS, MATCH EXTS GRILL PATTERN
- E8 EXISTING STONE
- E9 NOT USED
- E10 RIDGE VENT, SEE ROOF PLAN
- E11 GUTTER & DS. TO MATCH EXISTING
- E12 PTL. 5/4" x 4 CORNER BOARDS
- E13 NOT USED
- E14 PTL. 5/4" x 4 WINDOW & DOOR TRIM
- E15 NOT USED
- E16 NOT USED

NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.

GTM
ARCHITECTS
1015 ARBONET AVENUE
DICKERSON, MD 20845
(301)442-4062
(301)442-3004 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
RIGHT SIDE ELEVATION

CHISWELL FARM

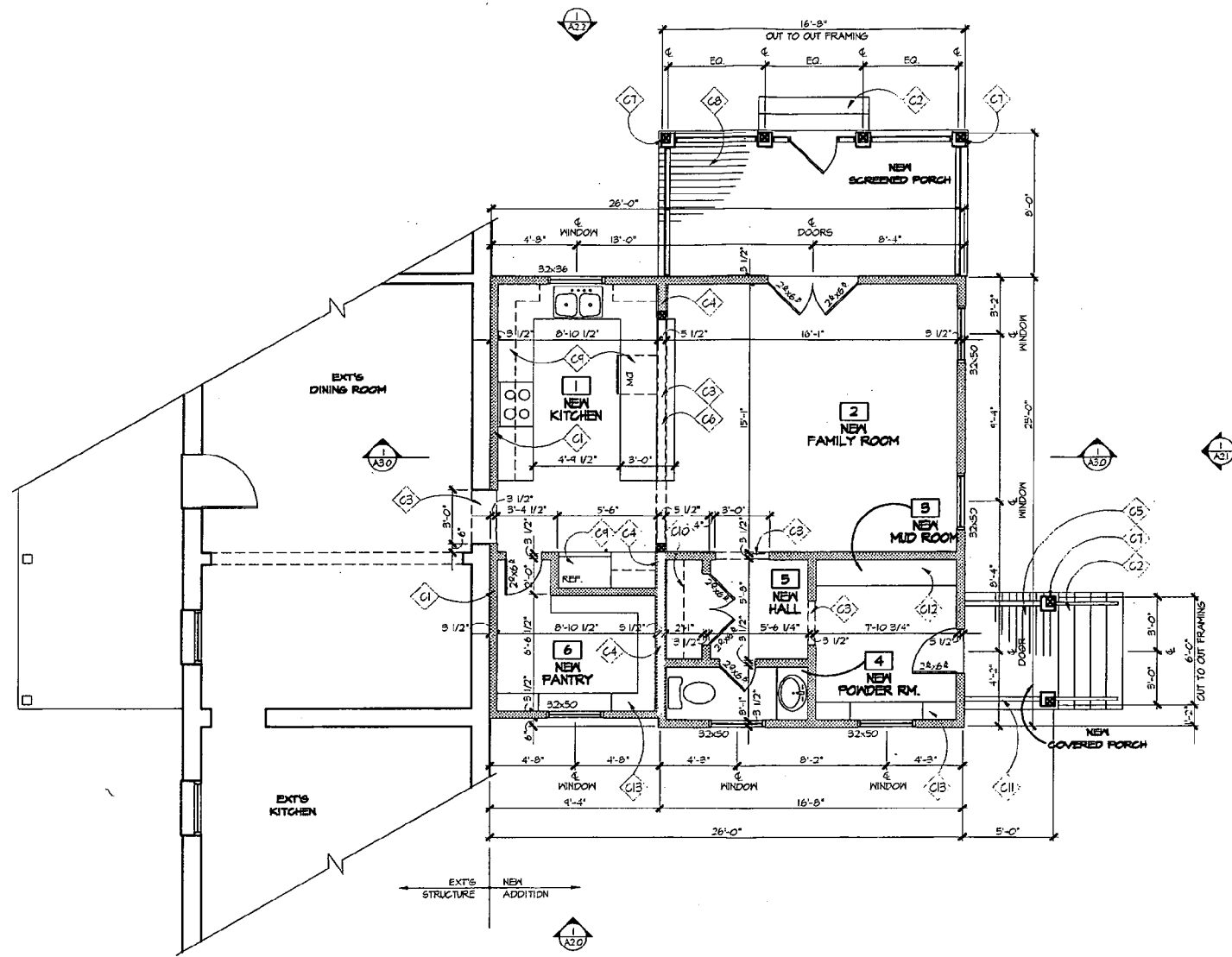
REVISIONS:
A REV 02.22.07

SEAL

DRAWN BY: DER
CHECKED BY: GTM

SCALE: AS NOTED
DATE: 02.22.07
PROJECT NO: 2004243
DRAWING NO:

A2.0



1 FIRST FLOOR PLAN
A1.0 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- C1 PUR OUT WALLS W/ FULL 2x4S
- C2 NEW EXTERIOR MOOD STAIR TO GRADE, VERIFY RISE AND RUN IN FIELD
- C3 NEW CASED OPENINGS
- C4 2x6 LOAD BEARING WALL
- C5 P.T. DECKING
- C6 HALF WALL BELOW COUNTER
- C7 WRAP 6x6 POST W/ 5/4" TRIM, OUTSIDE FINISH DIMENSION, Ø 3/4" SQUARE
- C8 T&G FLOORING, MATERIAL T.B.S.
- C9 NEW KITCHEN CABINETS, APPLIANCES + COUNTER TOPS, ETC., TO BE SELECTED, SEE ALLOWANCES
- C10 CLOSET SHELVES + RODS, BY OWNER
- C11 PTD. SMOOTH RAILING SYSTEM, SEE ELEVATIONS
- C12 PTD. BUILT-IN BENCH W/ HOOKS
- C13 PTD. BUILT-IN SHELVES

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley

NOTE:
1. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD
2. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING

WALL TYPES

TYPICAL EXTERIOR WALL, 2"x4" WOOD STUDS 16" O.C., W/ R-15 INSULATION + W/ VAPOR BARRIER, 1/2" OSB SHEATHING, TYVEK BUILDING WRAP, + SIDING PER ELEVATIONS
INTERIOR FINISH TO BE GYP. BD. (1/2")

TYPICAL NON-BEARING INTERIOR PARTITION, 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.

GTM ARCHITECTS
10415 ARBORWAY AVENUE
KENSINGTON, MD. 20815
(301)442-4062
(301)442-3421 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
FIRST FLOOR PLAN

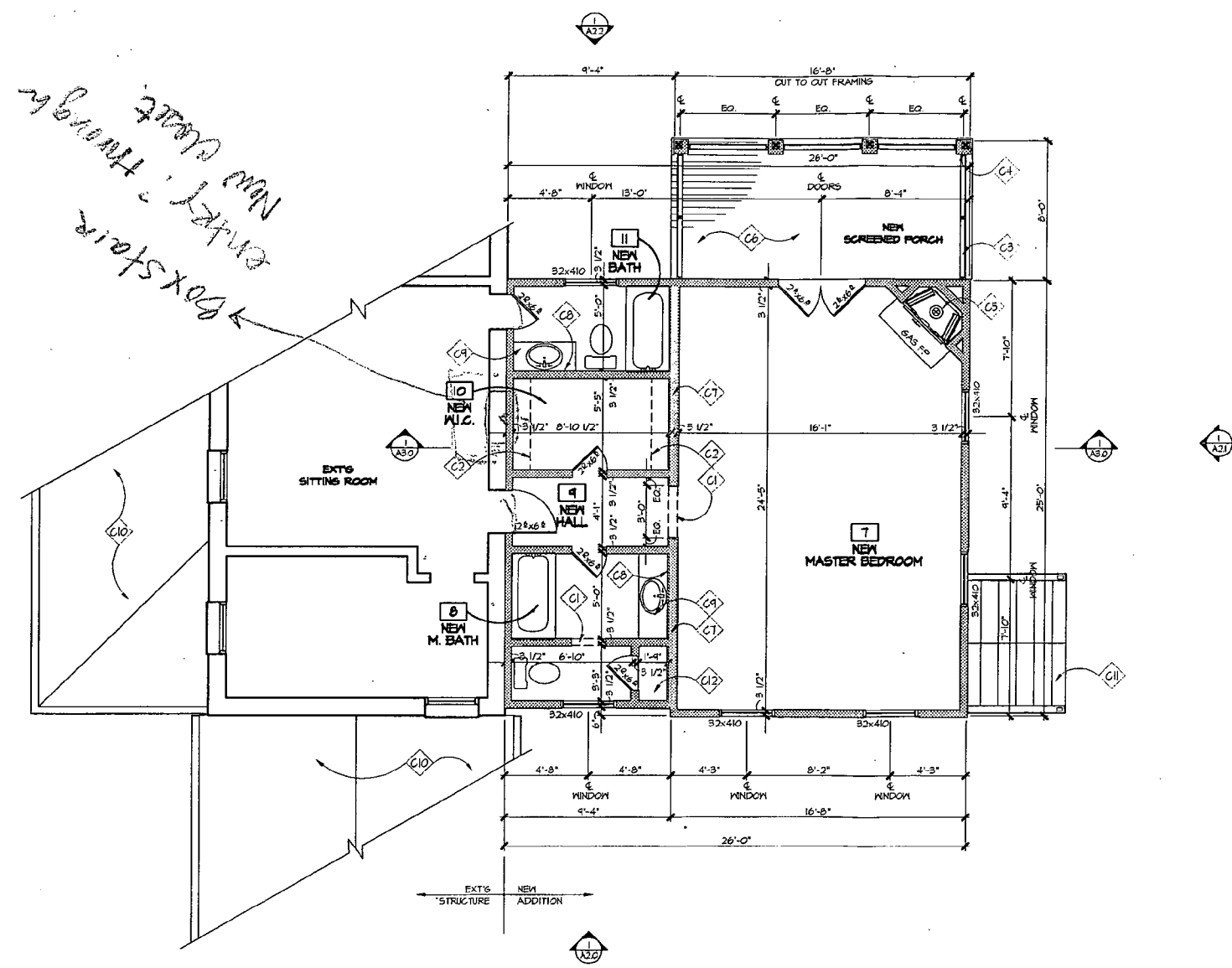
CHISWELL FARM

REVISIONS:

SEAL:

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 06.16.04
PROJECT NO.: 2004243
DRAWING NO.:

A1.0



1 SECOND FLOOR PLAN
 A1.1 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- C1 NEW CASING OPENING
- C2 CLOSET SHELVES + ROOS, BY OWNER
- C3 PTD. SMOOT RAILING SYSTEM, SEE ELEVATIONS
- C4 WRAP 6x6 POST W/ 5/4" TRIM, OUTSIDE FINISH DIMENSION, @ 3/4" SQUARE
- C5 GAS FIREPLACE, SIZE T.B.D.
- C6 T&G FLOORING @ PORCH, MATERIAL T.B.S.
- C7 2x6 LOAD-BEARING HALL
- C8 1/4" PLATE GLASS MIRROR, SEE INTERIORS FOR EXTENT OF HEIGHT
- C9 VANITY, TO BE SELECTED
- C10 EXT'S ROOF BELOW
- C11 NEW METAL ROOF BELOW, SEE ROOF PLAN
- C12 PROVIDE (5) EQUALLY SPACED SHELVES

GTM ARCHITECTS
 10415 ARROYO AVENUE,
 KENSINGTON, MD, 20849
 (301)443-4063
 (301)442-3421 FAX

20180 WASCHIE ROAD
 DICKERSON, MD 20842
SECOND FLOOR PLAN

CHISWELL FARM

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia D. Malley

WALL TYPES

TYPICAL EXTERIOR WALL, 2"x4" WOOD STUDS 16" O.C., W/ R-15 INSULATION + W/ VAPOR BARRIER, 1/2" OSB SHEATHING, TYVEK BUILDING WRAP, + SIDING PER ELEVATIONS
 INTERIOR FINISH TO BE GYP. BD. (1/2")

TYPICAL NON-BEARING INTERIOR PARTITION, 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.

REVISIONS:

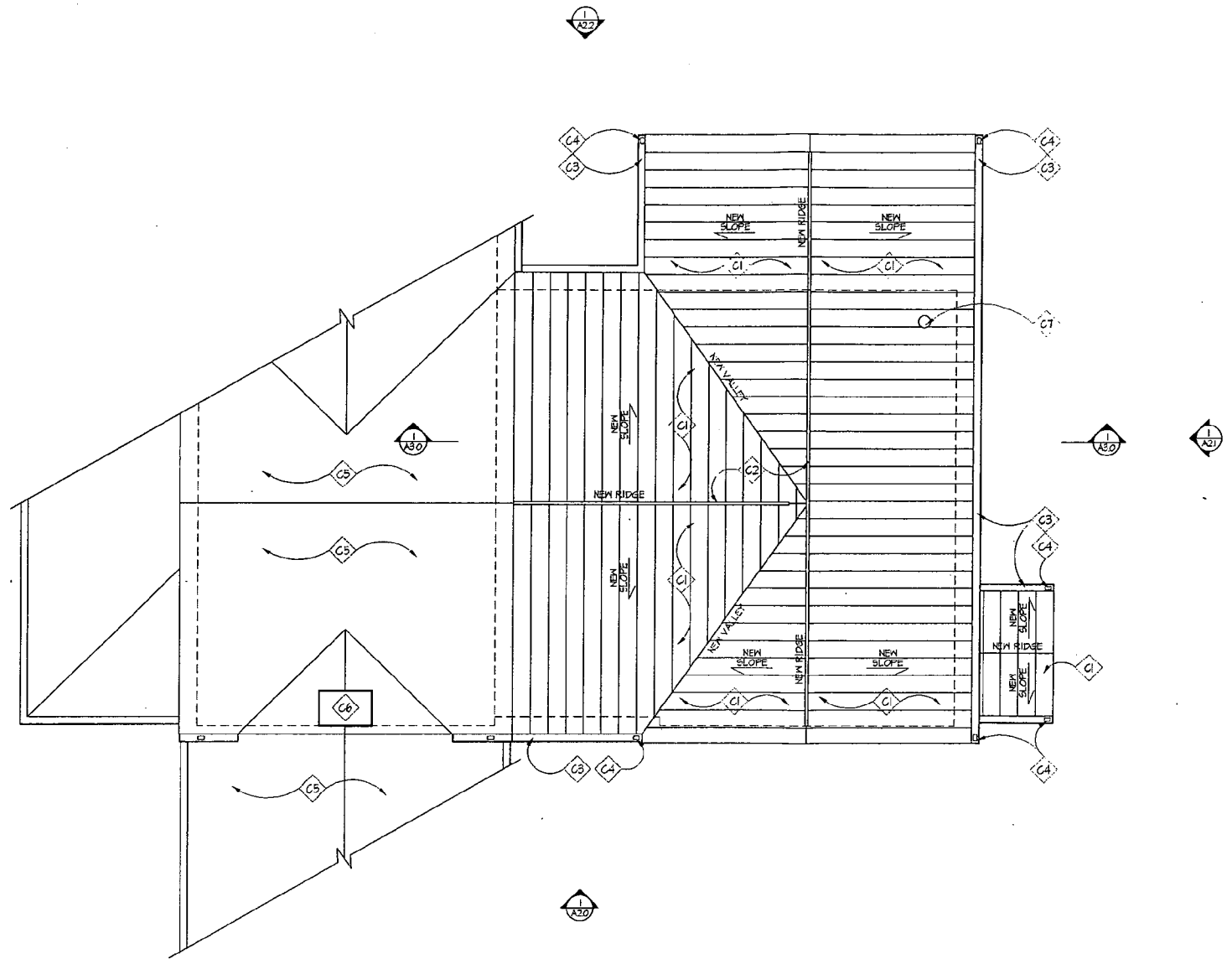
SEAL

DRAWN BY:	DER
CHECKED BY:	GTM
SCALE:	AS NOTED
DATE:	06.16.04
PROJECT NO.:	2004243
DRAWING NO.:	A1.1

A1.1

FILELINE: 04243_A1

1 ROOF PLAN
 A1.2 SCALE: 1/4"=1'-0"



ROOF NOTES

- (C1) NEW METAL ROOF, T.B.S.
- (C2) RIDGE VENTS BY "COR-A-VENT" OR APPROVED EQUAL.
- (C3) NEW GUTTER, TO MATCH EXT'G
- (C4) NEW DOWNSPOUT, TO MATCH EXT'G
- (C5) EXISTING ROOF
- (C6) EXISTING CHIMNEY
- (C7) GAS FIREPLACE VENT

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia O'Malley

GENERAL ROOFING NOTES

1. PROVIDE WEATHER GUARD UNDERLAYMENT UNDER SHINGLES @ ALL VALLEYS, @ ALL PERIMETER AREAS (3'-0" BACK FROM FASCIA), AND ON ALL AREAS W/ SLOPE LESS THAN 4:12.
2. SEE FRAMING PLANS FOR OVERBUILD AREAS.
3. INSTALL CHIMNEY ANCHORAGE STRAPS AS PER IRC, 2000 EDITION TABLE R1003.1 AND FIGURE R1003.1
4. INSTALL AND FLASH SKYLIGHTS PER MANFAC.

GTM
 ARCHITECTS

10415 ARMORY AVENUE,
 KENSINGTON, MD. 20845
 (301)442-4062
 (301)442-3424 FAX

20130 WASCHE ROAD
 DICKERSON, MD 20842

ROOF PLAN

**CHISWELL
 FARM**

REVISIONS:

SEAL:

DRAWN BY: DER

CHECKED BY: GTM

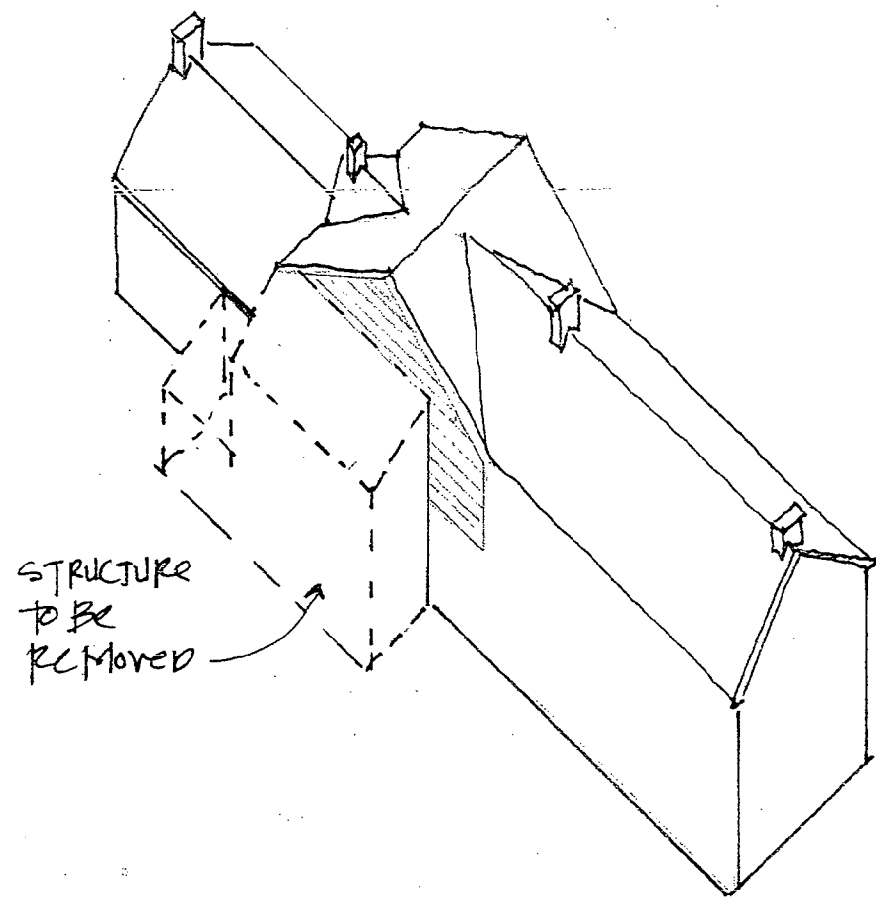
SCALE: AS NOTED

DATE: 06.16.04

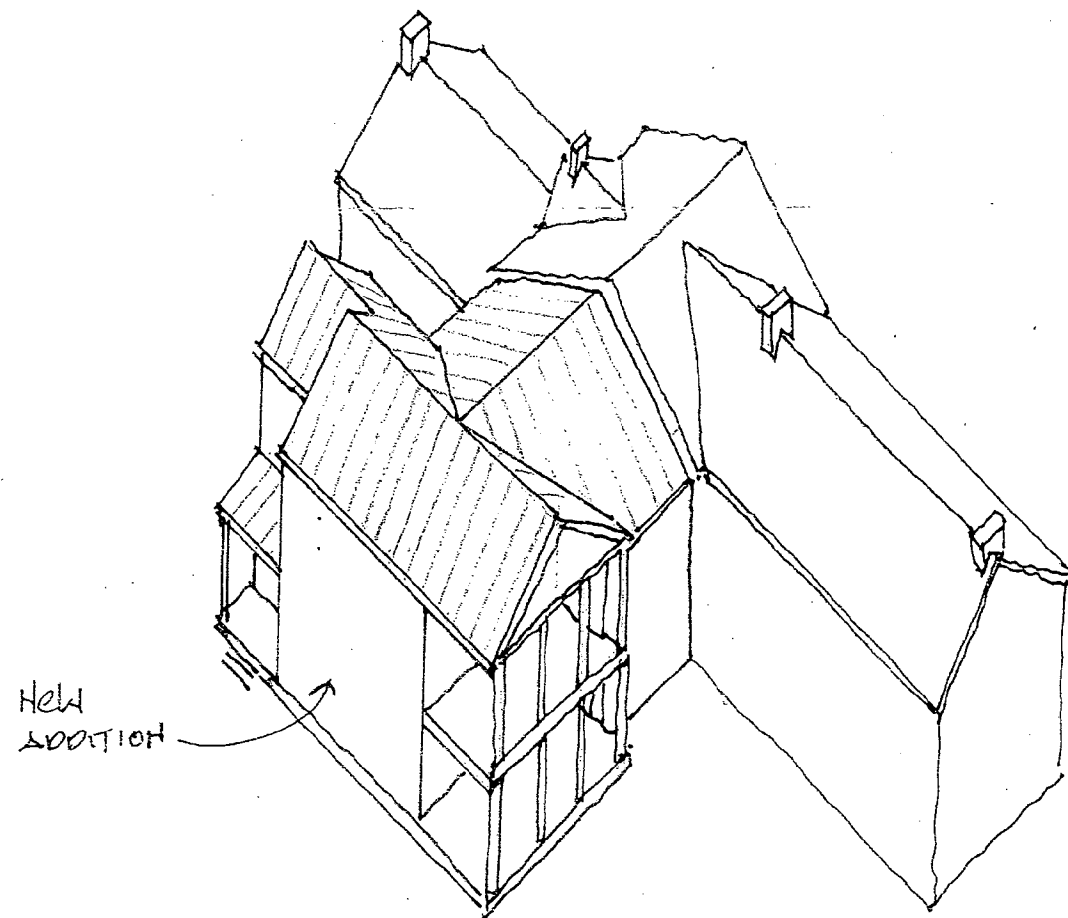
PROJECT NO: 2004243

DRAWING NO:

A1.2



EXISTING MASSING DIAGRAM

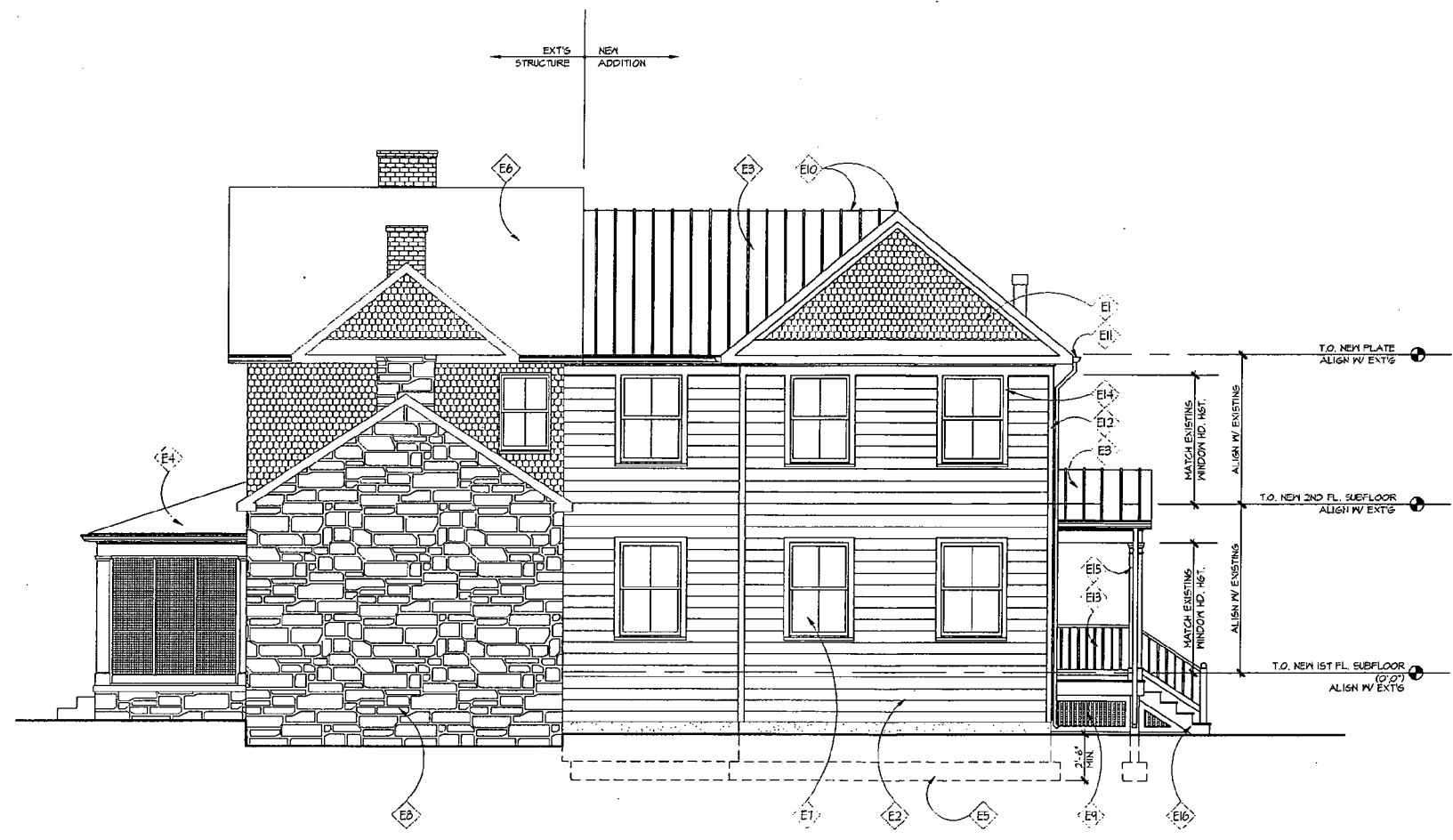


PROPOSED MASSING DIAGRAM.

CHISWELL FARM

GTM ARCHITECTS, INC.
10415 Armory Ave.
KENSINGTON, MD 20895
301-942-9062

4.7.04.



RIGHT SIDE ELEVATION
 SCALE: 1/4"=1'-0"

ELEVATION NOTES

- E1 FISHSCALE SIDING, TO MATCH EXT'G
- E2 NEW PTD. HARDI-PLANK SMOOTH LAP SIDING
- E3 METAL ROOF
- E4 EXISTING PORCH
- E5 LINE OF FOUNDATION
- E6 EXISTING SLATE ROOF
- E7 WOOD WINDOWS, MATCH EXT'G GRILL PATTERN
- E8 EXISTING STONE
- E9 PTD. TRELLIS
- E10 RIDGE VENT; SEE ROOF PLAN
- E11 GUTTER & D.S.; TO MATCH EXISTING
- E12 PTD. 5/4" x 4 CORNER BOARDS
- E13 PAINTED SHOOT RAILING SYSTEM, COLOR T.B.S.
 TOP RAIL: SHOOT # 54-23-10
 BOT. RAIL: SHOOT # 54-23-11
 PICKETS: SHOOT # LHM-237
- E14 PTD. 5/4" x 4 WINDOW & DOOR TRIM
- E15 BUILT UP SQUARE COL. W/ STRUCTURAL POST WITH-IN; SEE DETAILS
- E16 WOOD STEPS TO GRADE, VERIFY IN FIELD

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia O'Malley

NOTE:
 VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD

GTM ARCHITECTS
 10415 ARNOLD AVENUE,
 KENSINGTON, MD, 20848
 (301)442-4063
 (301)442-3424 FAX

20130 WASCHE ROAD
 DICKERSON, MD 20842
 RIGHT SIDE ELEVATION

CHISWELL FARM

REVISIONS:

SEAL:

DRAWN BY:	DER
CHECKED BY:	GTM
SCALE:	AS NOTED
DATE:	06.16.04
PROJECT NO.:	2004243

DRAWING NO.
A2.0

Oaks, Michele

From: Oaks, Michele
Sent: Wednesday, July 18, 2007 1:44 PM
To: 'robert_harney@verizon.net'
Cc: George Myers (E-mail); Mac Spicer (E-mail); Pete Hrycak (E-mail); Jim Savage (E-mail); 'eileen.basaman@montgomerycountymd.gov'; 'nowelle.ghahhari@montgomerycountymd.gov'; 'Steve.Hayes@montgomerycountymd.gov'; 'Cynthia.Brenneman@montgomerycountymd.gov'; Wright, Gwen
Subject: Edwrd Chiswell Farm

Mr. Harney,

As per our conversation yesterday, I am sending a list of staff recommended modifications to the retroactive design for the historic area work permit submittal. It is my understanding from our conversation that you have contracted with architect, George Myers. As I stated, I would like to work with George, so we can get the details refined and hopefully have a design submitted that the HPC will approve.

Let me know if you need any additional information. I have also attached a cut sheet from another jurisdiction's design guidelines that has a photo of the porch enclosure I was referring to in my discussions with Eileen and Steve at the meeting. This would provide you the needed "three-season" room, while still enabling us to have the design that was originally approved for the two-story porch.

Michele



Enclosingporches.p
df



EdChisStaffRecomR
etroDesign.07...

Michele Oaks, Planner Coordinator
Historic Preservation Section
Montgomery County Department of Planning
Maryland-National Capital Park and Planning Commission
1109 Spring Street, Suite 801
Silver Spring, MD 20910
(301) 563-3400 (phone)
(301) 563-3412 (fax)
michele.oaks@mncppc-mc.org
www.montgomeryplanning.org



The large areas of screening on this porch make it appear more like a porch than an enclosed room. It is recommended that the white screen enclosure framing be painted a darker color, similar to the screen color, to minimize its visibility.

ENCLOSING PORCHES

Porches were meant to be open exterior spaces. Enclosing a front porch is a radical change to the building and its visual perception from the streetscape. If considering porch enclosure, it is recommended that this occur only at a side or rear elevation porch. If enclosing a porch, it is recommended that the finished space look more like a porch than an enclosed room.

The HPC encourages:

- Retaining porch elements in place and constructing enclosure framing inside of porch columns and railings
- Temporary enclosure systems, such as screens or glazing that can be removed seasonally
- Reversible enclosure systems that do not damage decorative or unique historic building fabric
- Translucent enclosure systems, with large screened or glazed openings
- Vertical and horizontal framing members that align behind porch elements like columns and railings



Porch enclosures that are attached to existing decorative porch elements such as this column can cause damage that is both difficult and costly to repair.



This porch enclosure is located behind the porch columns and decorative balustrade, is as translucent as possible, and is reversible. Major framing members are also located behind columns and the balustrade, minimizing their visibility.



This project has been financed in part with Federal funds from the National Park Service, U.S. Department of the Interior, and administered by the New Jersey Department of Environmental Protection, Historic Preservation Office. The contents and opinions do not necessarily reflect the views or policies of the U.S. Department of the Interior, nor does the mention of trade names or commercial products constitute endorsement or recommendation by the Department of the Interior.

This program receives Federal financial assistance for identification and protection of historic properties. Under Title VI of the Civil Rights Act of 1964, Section 504 of the Rehabilitation Act of 1973, and the Age Discrimination Act of 1975, as amended, the U.S. Department of the Interior prohibits discrimination on the basis of race, color, national origin, disability or age in federally assisted programs. If you believe that you have been discriminated against in any program, activity, or facility as described above, or if you desire further information, please write to: Office of Equal Opportunity; National Park Service; 1849 C Street, N.W.; (NC200) Washington, DC 20240.

Dominique M. Hawkins, AIA, of Preservation Design Partnership in Philadelphia, PA, prepared this publication.

6/5/07

④ - Standing seam roof
- Return detail

⑥ - wellhouse/
- well block

→ Pictures →
PORCH glass enclosures

② - Roof.
Mudroom → 2 story Screen porch.

* 1 1/2 story windows → Need to fix.
Removal ones taken out.

* 2-story section - OK to keep.

③ → rest of windows need to be rehab.

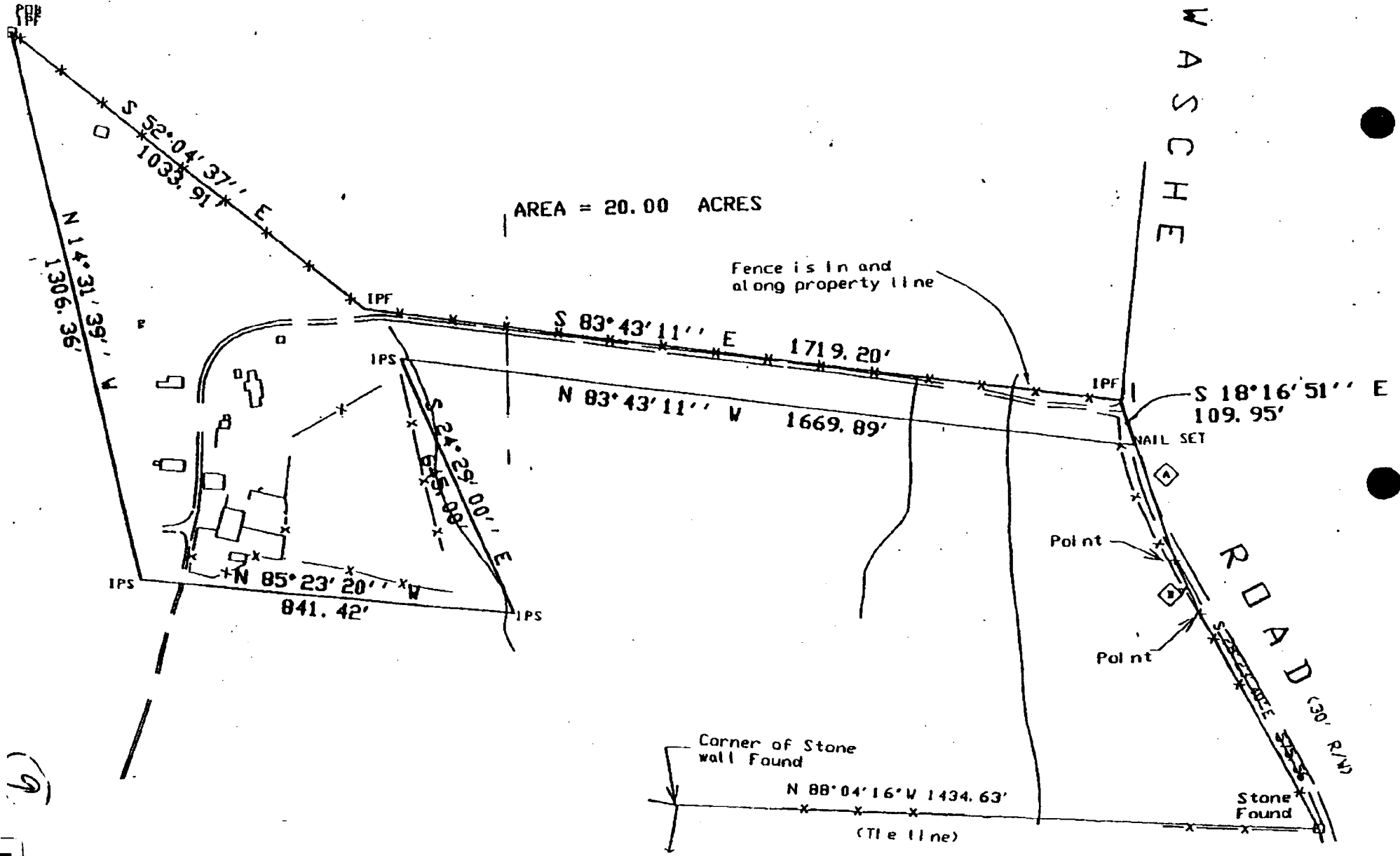
① → ^{Mudroom} porch - Steeper pitched roof
glassed in porch
exterior porch → enclosed.
Shed roof more appropriate.
open porch.

County priority is not managing
is assets -

⑤ details.

⑦ gutters.

EDWARD CHISWELL FARM (Longview) (Allison's Adventure)



(9)



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: June 24, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Michele Naru, Senior Planner
Historic Preservation Section

SUBJECT: Historic Area Work Permit # 332480, for a rear addition to Master Plan Site #16/02,
Edward Chiswell Farm

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED with condition**. The HPC staff has reviewed and stamped the attached construction drawings. The condition of approval is:

The addition's design will be modified so that the new massing will not visibly encroach on the historic 1-1/2 story section.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Montgomery County Solid Waste (Robert Harney, Leasee)

Address: 20130 Washe Road, Dickerson

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work.



DEPARTMENT OF PERMITTING SERVICES
288 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
240/774-8170

DPS - 111

permit #
332480

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: _____

Daytime Phone No.: _____

Tax Account No.: 36311

Name of Property Owner: MONTGOMERY COUNTY, SOLID WASTE SVCS Daytime Phone No.: _____

Address: 101 MONROE STREET - ROCKVILLE, MARYLAND 20850
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: ROBERT B. HARNEY Daytime Phone No.: 301-365-7199 OR 301-526-3713 (CEL.)

Address: 7310 BEACON TERR. BETHESDA, MARYLAND 20817
LOCATION OF BUILDING/PREMISE

House Number: 20130 Street: WASCHE ROAD

Town/City: DICKERSON Nearest Cross Street: MARTINSBURG ROAD

Lot: _____ Block: _____ Subdivision: _____

Liber: 13377 Folio: 0125 Parcel: P 405

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Teare
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- AC
- Stair
- Room Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # NA

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line
- Entirely on land of owner
- On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Robert B. Harney
Signature of owner or authorized agent

Date

Approved: X For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: Julia O'Malley Date: 10/24/04

Application/Permit No.: 332480 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

HISTORIC FARMSTEAD

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

PROPOSING TO ADD A 2-STORY REAR
ADDITION W/ 2-STORY PORCH
FRAME CONSTRUCTION, STANDING SEAM METAL
ROOF.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans*, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the drieline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address

Owner's Agent's mailing address

Adjacent and confronting Property Owners mailing addresses



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: June 24, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Michele Naru, Senior Planner
Historic Preservation Section

SUBJECT: Historic Area Work Permit # 332480, for a rear addition to Master Plan Site #16/02,
Edward Chiswell Farm

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED with condition**. The HPC staff has reviewed and stamped the attached construction drawings. The condition of approval is:

The addition's design will be modified so that the new massing will not visibly encroach on the historic 1-1/2 story section.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Montgomery County Solid Waste (Robert Harney, Leasee)

Address: 20130 Washe Road, Dickerson

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work.



388 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20880
240/777-8370

DPS - #11

HISTORIC PRESERVATION COMMISSION
301/563-3400

Permit #
332480

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: _____

Daytime Phone No.: _____

Tax Account No.: 36311

Name of Property Owner: MONTGOMERY COUNTY, SOLID WASTE SVCS Daytime Phone No.: _____

Address: 101 MONROE STREET - ROCKVILLE, MARYLAND 20850
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: ROBERT B. HARNEY Daytime Phone No.: 301-365-7199 OR 301-526-3713 (cell)

Address: 7810 BEACON TERR, BETHESDA, MARYLAND 20817
LOCATION OF BUILDING/PREMISE

House Number: 20130 Street: WASCHE ROAD

Town/City: DICKERSON Nearest Cross Street: MARTINSBURG ROAD

Lot: _____ Block: _____ Subdivision: _____

Liter: 13377 Folio: 0125 Parcel: P 405

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|---|--|------------------------------------|--|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC | <input type="checkbox"/> Stb | <input checked="" type="checkbox"/> Nonin Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Tear | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Reversible | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # NA

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Robert B. Harney
Signature of owner or authorized agent

Date _____

Approved: X For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: Julia O'Malley Date: 6/24/04

Application/Permit No.: 332480 Date Filed: _____ Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

HISTORIC FARMSTEAD

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

PROPOSING TO ADD A 2-STORY PORCH
ADDITION W/ 2-STORY PORCH
FRAME CONSTRUCTION, STANDING SEAM METAL
ROOF.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the decline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE. AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: May 12, 2004

MEMORANDUM

To: HPC Commissioners

FROM: Michele Naru, Senior Planner

SUBJECT: Case No. 16/02-04A, Master Plan Site # 16/02, **Edward Chiswell Farm/Longview**

This case was continued at the last meeting due to lack of attendance from the Leasee, Mr. Harney and the applicant, Montgomery County Solid Waste.

George Myers has re-designed the drawings reflecting the comments and recommendations in the Staff Report and will be handing them out for review at tonight's meeting.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 20130 Wasche Road, Dickerson **Meeting Date:** 04/28/04
Resource: *Master Plan* Site #16/02 **Report Date:** 04/21/04
 Edward Chiswell Farm/Longview
Review: HAWP **Public Notice:** 04/14/04
Case Number: 16/02-04A **Tax Credit:** None
Applicant: Montgomery County Solid Waste Services **Staff:** Michele Naru
 (Robert Harney, Leasee)

PROPOSAL: Construction of Rear Addition

RECOMMEND: Approve w/ condition

1. The addition's design will be modified so that the new massing will not visibly encroach on the historic 1-1/2 story section.

PROJECT DESCRIPTION

SIGNIFICANCE: Edward Chiswell Farm/Longview, *Master Plan* Site #16/02
DATE: North section: c1800; south section: c1868-90

The three-part stone and frame house represents an evolution of construction and is best known as the residence of Civil War officer Edward Jones Chiswell. Thomas Cooley built a 1 ½ story stone house about 1800, replacing an early-1700s log house (Period 1). Located at the north end of the current dwelling, the structure is three-bays wide, built of undressed stone featuring keystone window lintels. The house had central entrances on front and back. Cooley operated his plantation with the help of 14 slaves. In 1814, Henry W. Talbott purchased the farm. He was a planter who was Justice of the Peace and member of the School Board. Talbott probably built the first level of the center section (Period 2), which is constructed of cut and dressed stone with central entrances on both facades. According to tradition, the house was used as a Union hospital during the Civil War.

In 1868, Edward Chiswell acquired the farm, which became known as Longview. During the war, Chiswell had served under relative and neighbor Col. Elijah Viers White of the Virginia Calvary. Chiswell was joined in Virginia by many Montgomery County residents who were locally known as "Chiswell's Exiles." During the war, Chiswell was wounded twice, led a mission across the icy Potomac to capture horses from an encampment, and surrendered in Edward's Ferry in 1865. Later that year he married Evalina Allnut. In 1868, they purchased this farm and probably soon thereafter built the southern section of the house. The three-bay block of

undressed stone has heavy stone window lintels and interior gable-end chimneys (Period 3). The Chiswell's, who raised six children on the farm, expanded the center block with a second story addition in the late 1800s (Period 4). A cross gable roof and fishscale shingle siding exhibit Victorian era influence. Son Thomas continued to operate the farm after his father's death in 1906.

The environmental setting of the farm is a 20-acre plot of land within the larger parcel of 358.75 acres. The setting includes the main house, smoke house, ice house, garage/shed, corn crib, well/cistern/windmill, bank barn, small livestock barn, barn ruins, tenant house ruins and waterfall ruins.

BACKGROUND:

In October of 2001, the applicant received approval from the Commission to demolish a non-historic, frame rear addition. The 1930's addition measured 30' long by 10' wide. The addition was constructed to provide indoor plumbing to the house. It contained two bathrooms, a pantry and access to the attic of the Period 2 massing. This approval was granted with the understanding that the applicant would return to the Commission with a proposal to construct a new rear addition to house all of the plumbing (i.e. kitchen and bathrooms) for the historic house. This proposal is the result of several meetings and revisions with the applicant.

PROPOSAL:

The applicant is proposing to construct a two story, rear frame addition to house a new kitchen, family room, screened porch and mudroom/powder room on the first story and a master bedroom, and two full bathrooms on the second story. The material specifications are a standing seam metal roof, horizontal, painted hardi-plank siding, wood, fishscale shingles, wood trim and porch details, and wood, true-divided light windows and doors.

STAFF DISCUSSION

Proposed new construction to Master Plan individually designated resources are reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

#2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

After over two years of work and the unbelievable patience on the part of the lessee, the County has finalized its lease agreement with Mr. Robert Harney. The County and the Commission's staff are excited to see this project come into fruition.

Staff generally feels that this proposed design is very sympathetic to the existing historic resource. The main area of concern is the second story of the mudroom/closet massing. The closet placement is problematic because of its relationship to the original massing. Due to the existing, historic (Period I) massing's location, the second story of the proposed new addition will be visible from the front façade. Staff does note that the addition will be set back 10' from the historic rear elevation and the existing front yard has a significant slope, which will reduce the new addition's visibility from the front elevation. Finally, the existing house is setback considerably from the road and the current front elevation is not visible from the street and only moderately visible from the driveway approach.

Staff's recommendation is to move the entire massing to the west elevation of the proposed family room/master bedroom (see circle) or flip the entire addition so it is a mirror image of the existing, which will put the mudroom/closet massing on the opposite side of the addition where there is currently an existing two-story extension (see circle). Finally, another option could be to mirror image the addition and reverse the locations of the mudroom and the porches. This solution would retain the location of the screen porch in its current configuration – which looks out at the beautiful farm and its outbuildings (see circle).

Staff commends the applicant's desire to use compatible building materials for this project. The Commission appreciates reviewing projects where the applicant is specifying the use of quality materials. Although the Commission generally supports the use of Hardi-plank siding on rear additions, staff would ask the applicant to consider the use of cedar, horizontal siding.

STAFF RECOMMENDATIONS

Staff recommends that the Commission **approve with the above-stated condition** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



DPS - #11

permit # 332480

HISTORIC PRESERVATION COMMISSION 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: _____

Daytime Phone No.: _____

Tax Account No.: 36311

Name of Property Owner: MONTGOMERY County, Solid Waste Svcs - Steve Hayes Daytime Phone No.: _____

Address: 101 MONROE STREET - ROCKVILLE, MARYLAND 20850
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: ROBERT B. HARNEY Daytime Phone No.: 301-365-7199 OR 301-526-3713 (CEL.)

Address: 7810 BEACON TERR BETHESDA, MARYLAND 20817

LOCATION OF BUILDING/FILM SITE

House Number: 20130 Street: WASCHE ROAD

Town/City: DICKERSON Nearest Cross Street: MARTINSBURG ROAD

Lot: _____ Block: _____ Subdivision: _____

Lotter: 13377 Folio: 0125 Parcel: P 405

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|---|--|------------------------------------|---|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC | <input type="checkbox"/> Stab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Store | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Reversible | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # NA

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Robert B. Harney
Signature of owner or authorized agent

_____ Date

Approved: _____ For Chairperson, Historic Preservation Commission

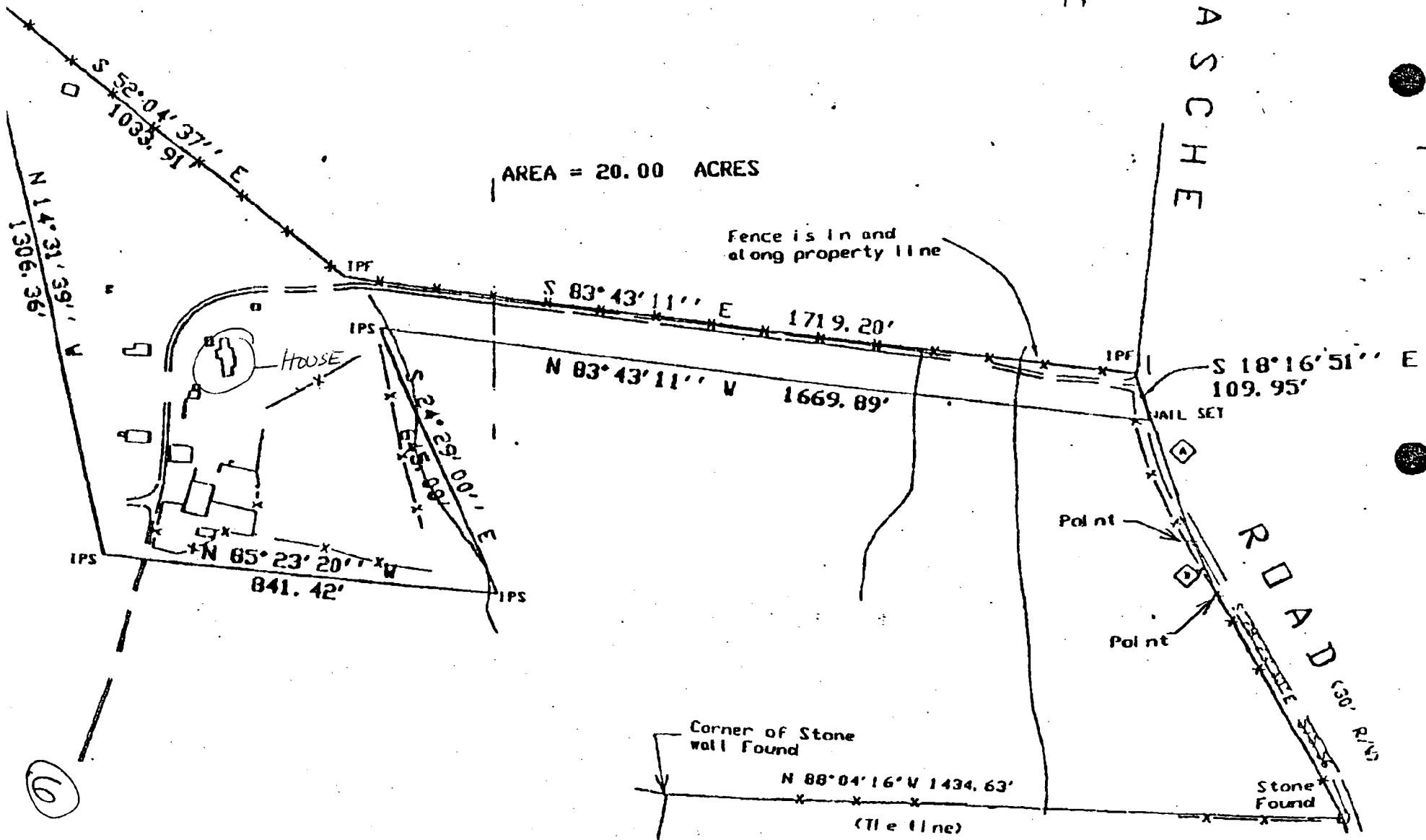
Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 332480 Date Filed: _____ Date Issued: _____

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

<p>Owner's mailing address</p> <p>Montgomery County Department of Public Works and Transportation Division of Solid Waste Services 101 Monroe Street, 6th Floor Rockville, MD 20850</p>	<p>Owner's Agent's mailing address</p> <p>NA</p>
<p align="center">Adjacent and confronting Property Owners mailing addresses</p>	
<p>Potomac Electric Power Company Real Estate Dept. #703 1900 Pennsylvania Avenue, N.W. Washington, DC 20006</p>	<p>NA</p>
<p>Montgomery County Dept. of Public Works and Transportation Division of Solid Waste Services 101 Monroe Street, 6th Floor Rockville, Maryland 20850</p>	<p>NA</p>
<p>M-NCEPC 9500 Brunett Avenue Silver Spring, Maryland 20901</p>	<p>NA</p>

**EDWARD CHISWELL FARM
(Longview)
(Allison's Adventure)**



AREA = 20.00 ACRES

Fence is in and along property line

WASSCHE

ROAD 630' R/W

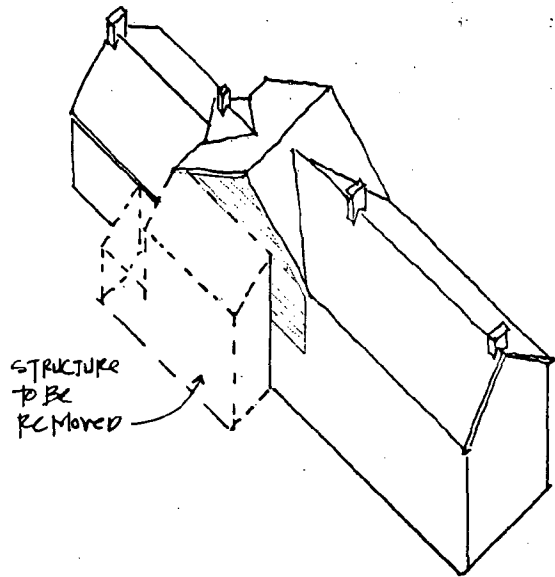
Corner of Stone wall Found

N 88° 04' 16" W 1434.63'

(Tie line)

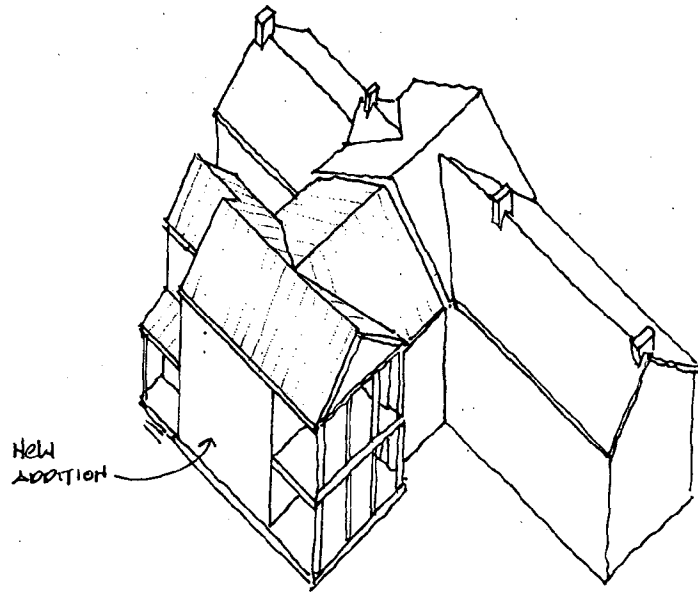
Stone Found

(6)



STRUCTURE
TO BE
REMOVED

EXISTING MASSING DIAGRAM



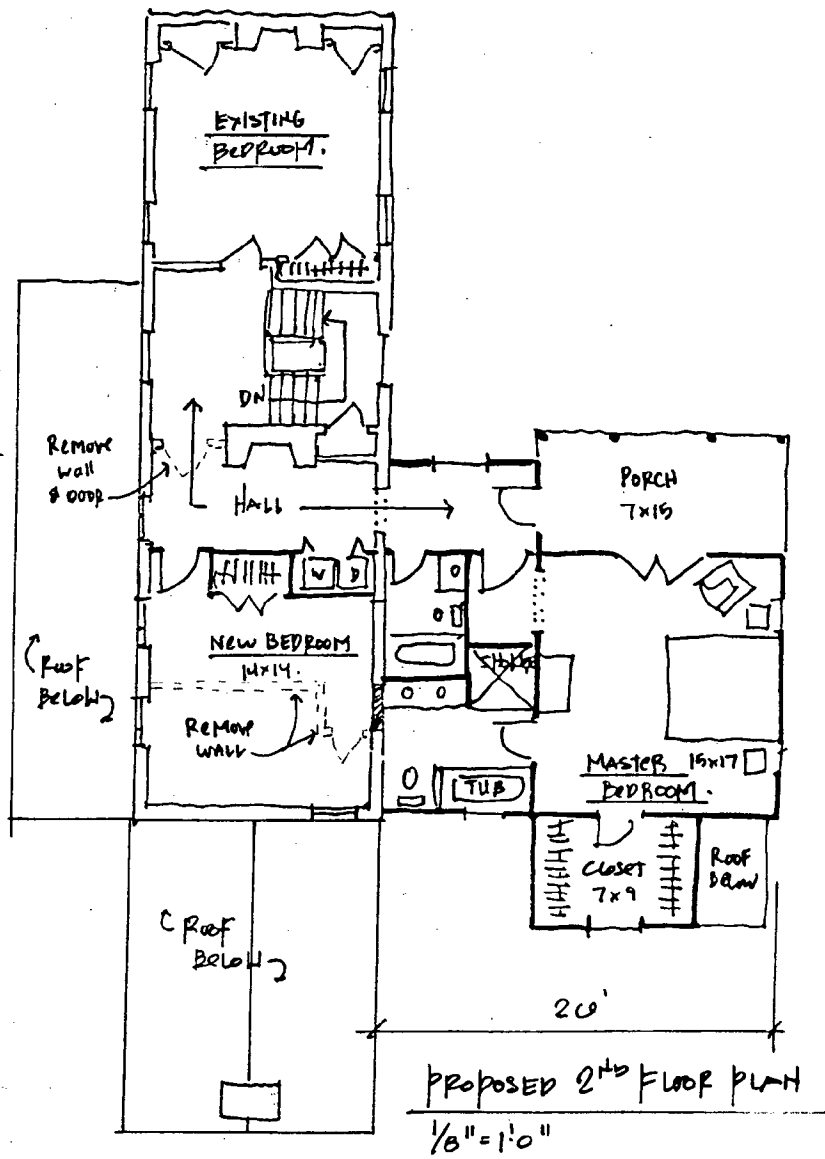
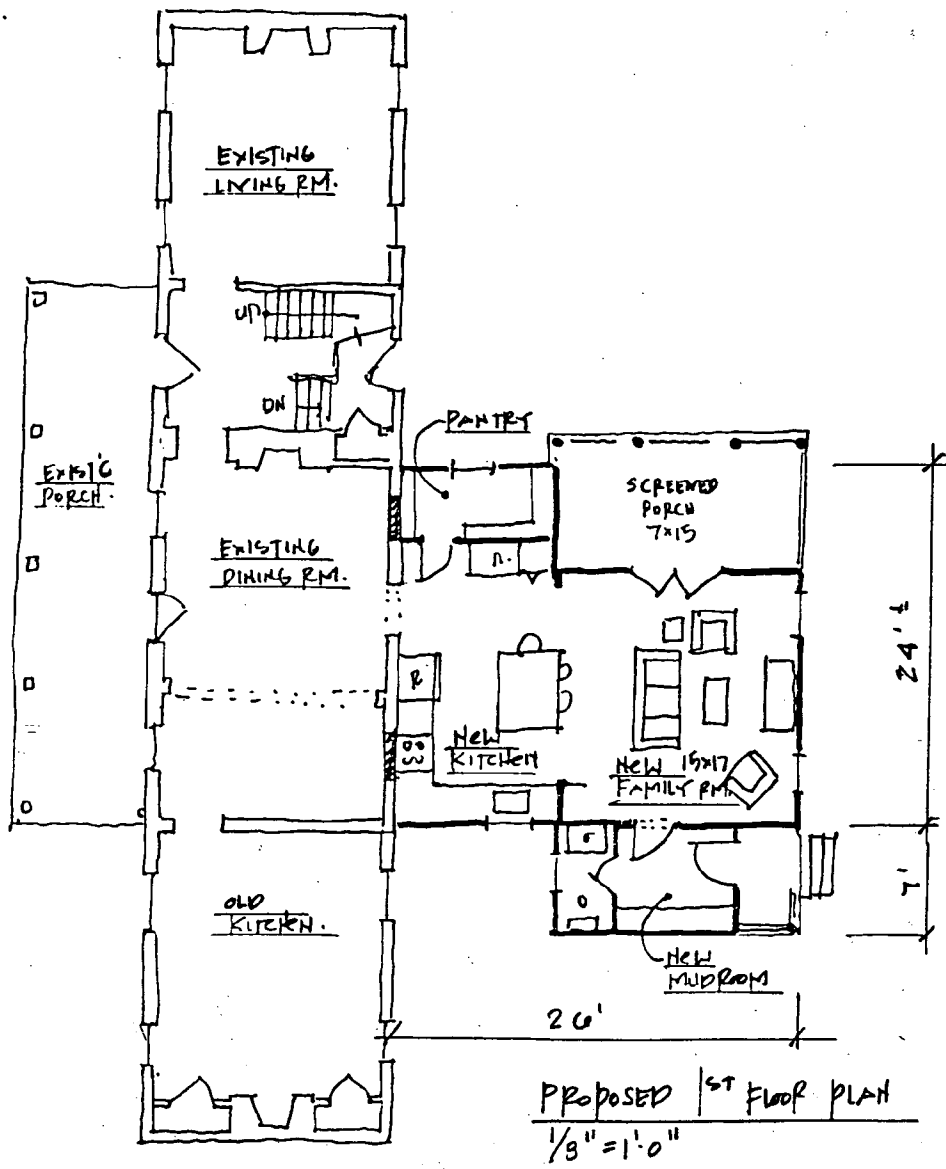
NEW
ADDITION

PROPOSED MASSING DIAGRAM.

CHISWELL FARM

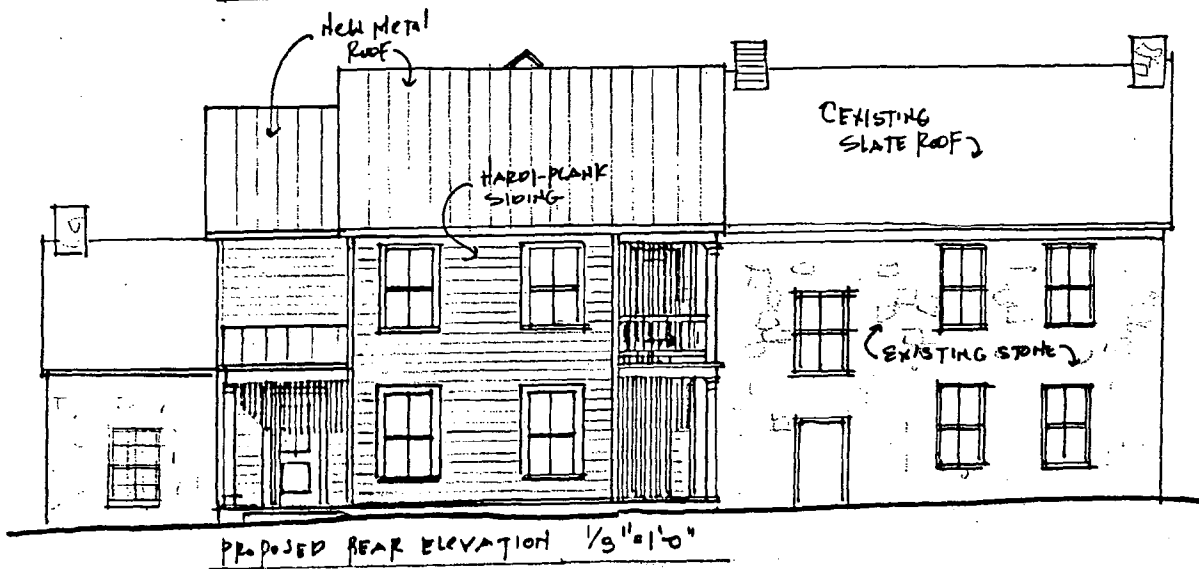
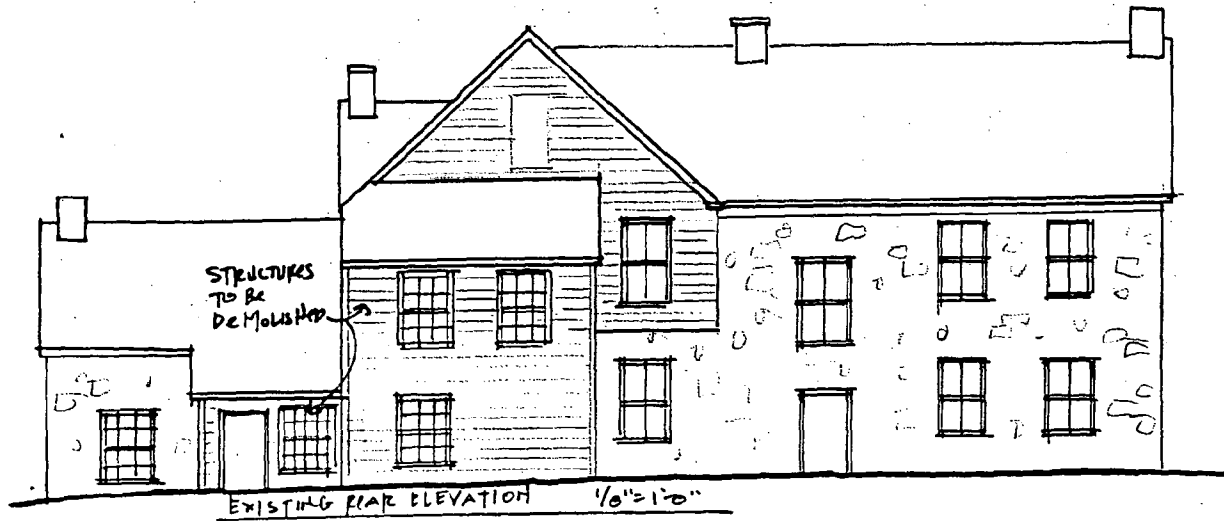
GTM ARCHITECTS, INC.
10415 Armory Ave.
KENSINGTON, MD 20895
301-942-9062

4.7.04.



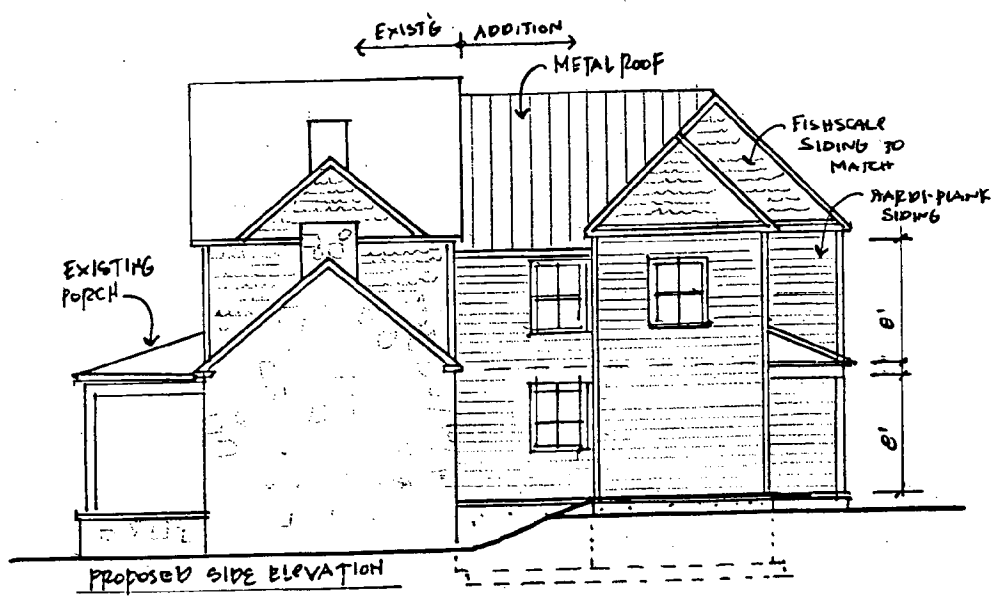
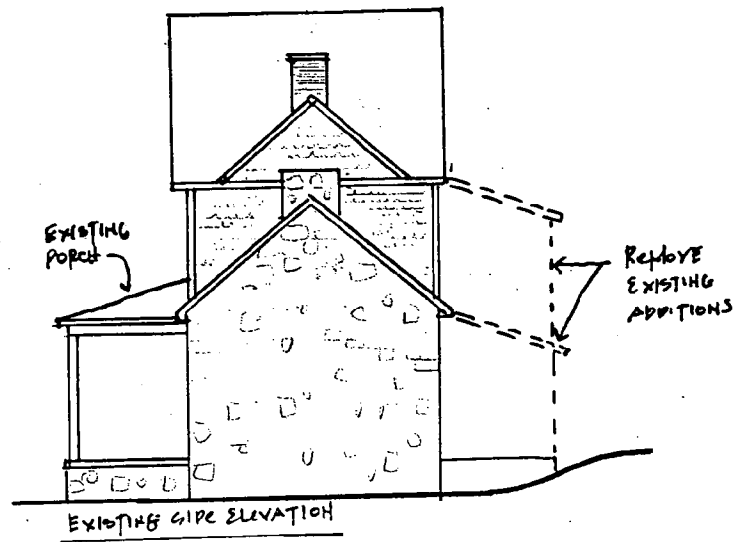
GTM ARCHITECTS, INC.
 10415 Armory Ave.
 KENSINGTON, MD 20895
 301-942-9062

8



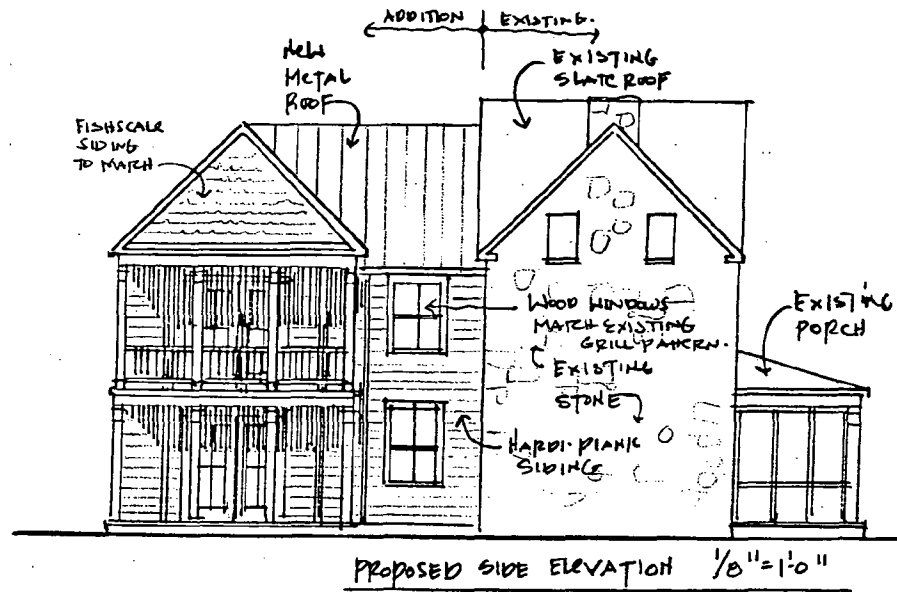
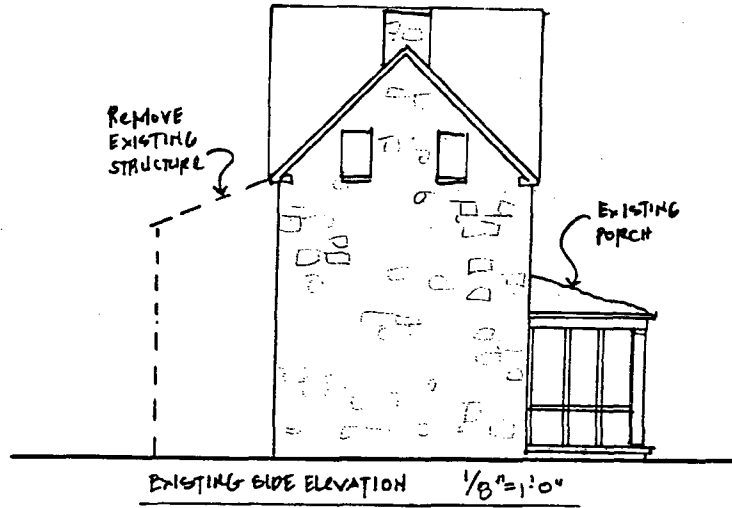
GTM ARCHITECTS, INC.
 10415 Army Ave.
 KENSINGTON, MD 20895
 301-942-9062

4.7.04



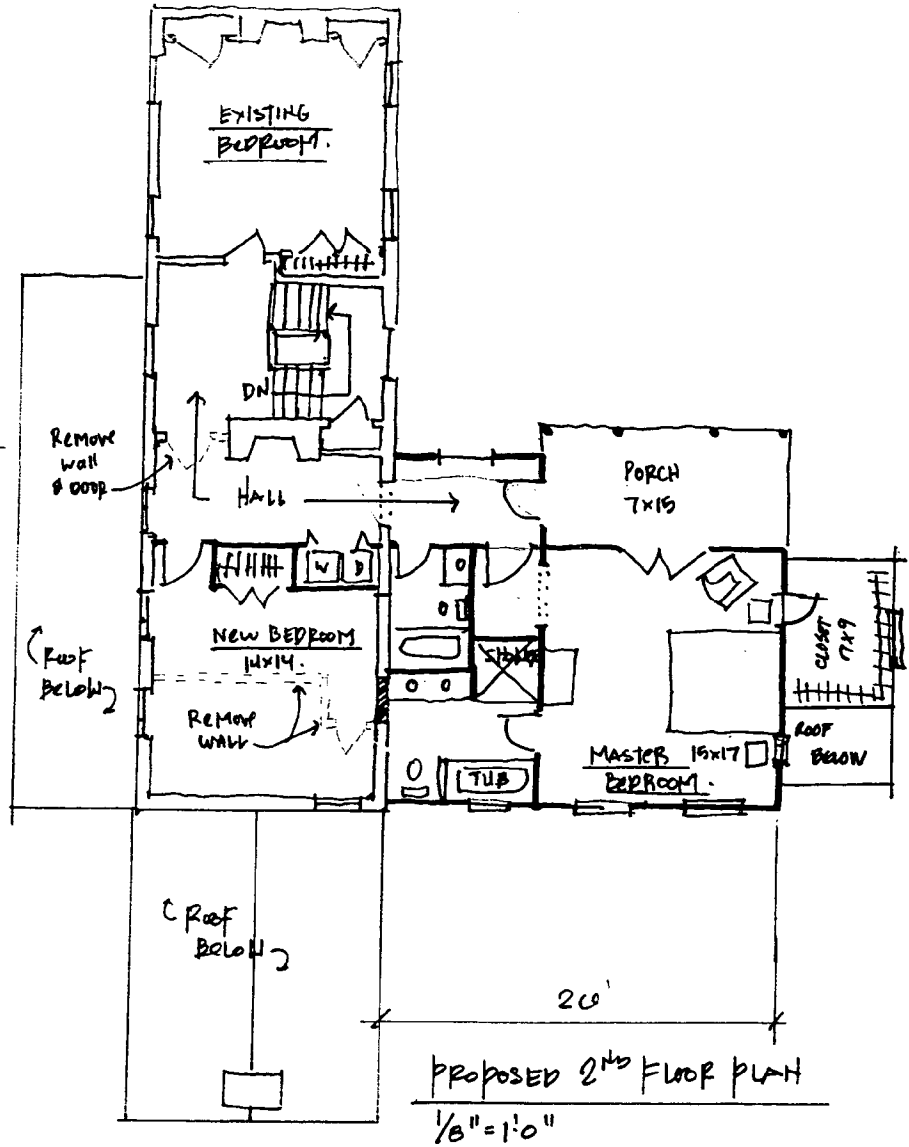
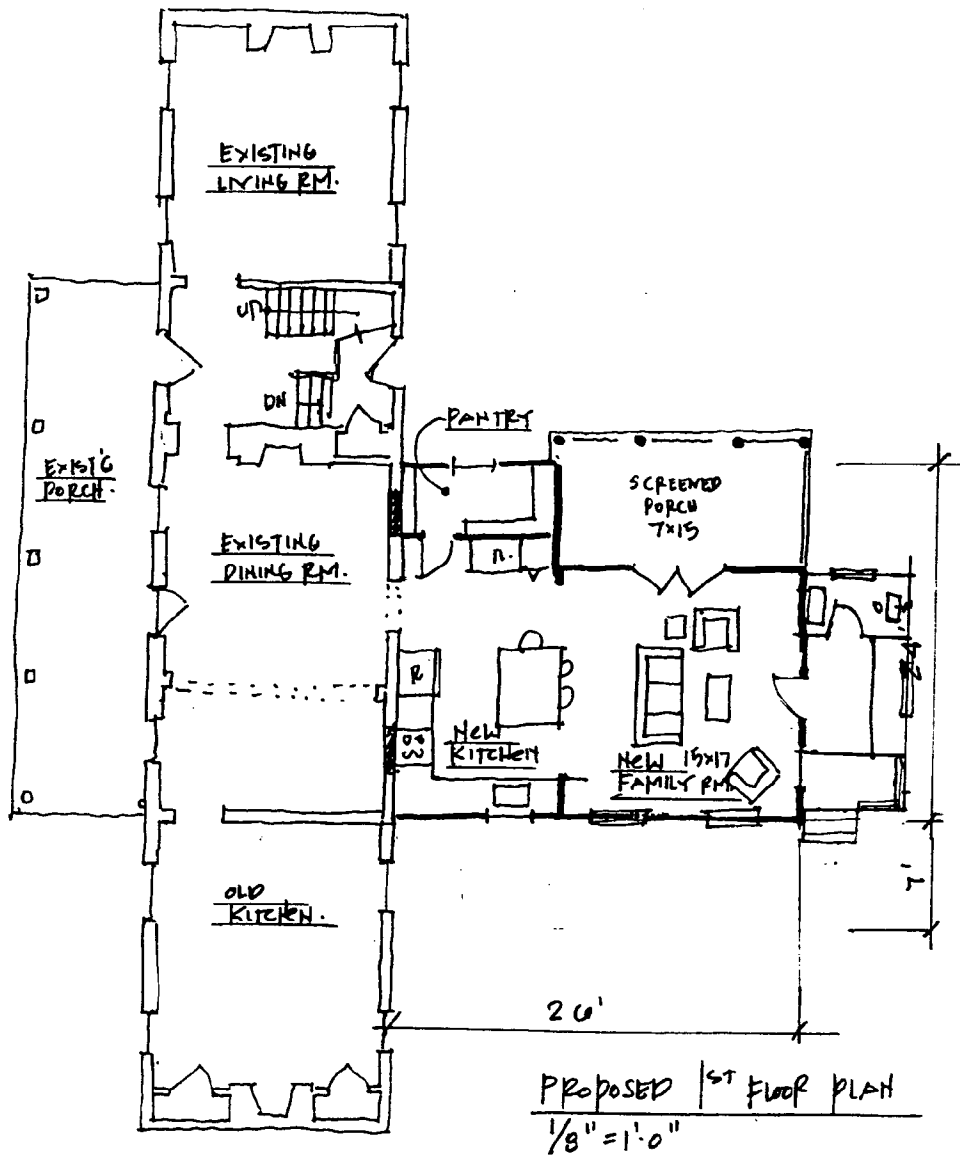
GTM ARCHITECTS, INC.
 10415 Armory Ave.
 KENSINGTON, MD 20895
 301-942-9062

10



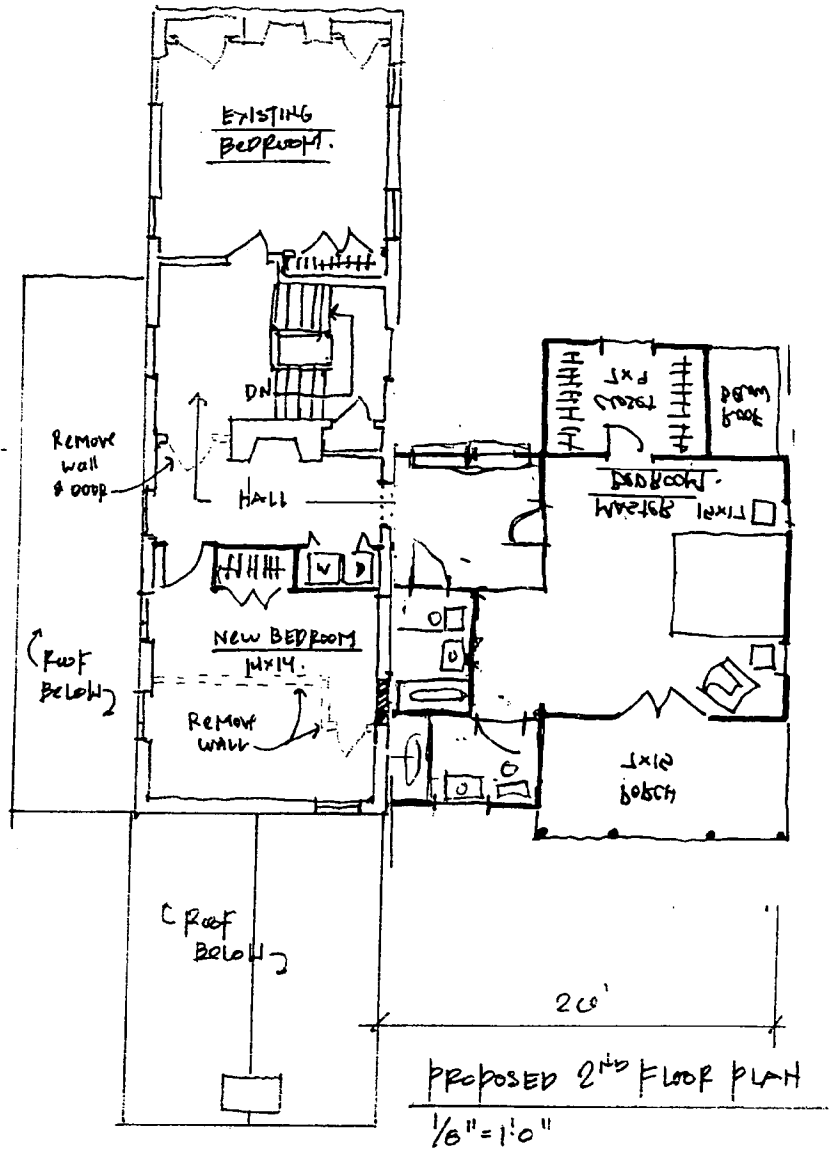
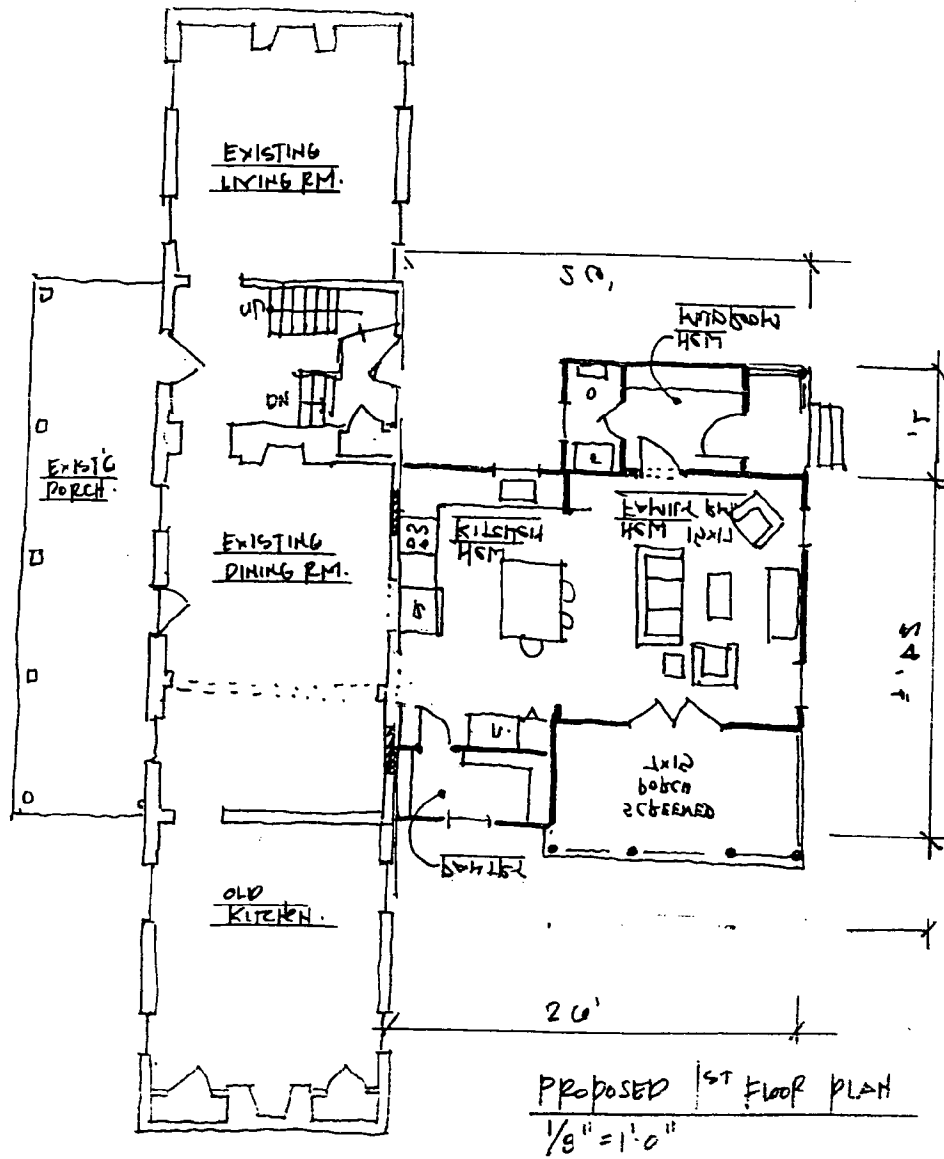
GTM ARCHITECTS, INC.
 10415 Armory Ave.
 KENSINGTON, MD 20895
 301-942-9062

4.7.04.



GTM ARCHITECTS, INC.
10415 Armory Ave.
KENSINGTON, MD 20895
301-942-9062

STAFF SUGGESTION
#1



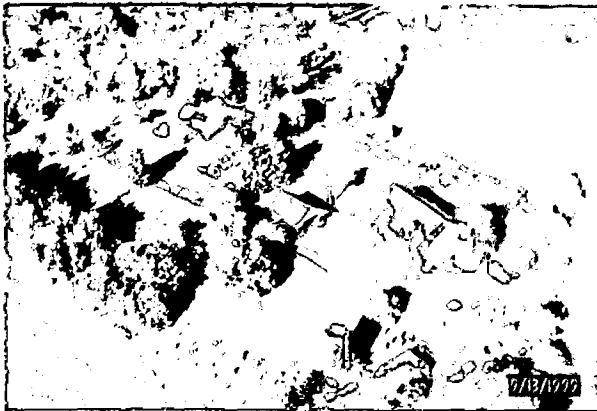
STAFF SUGGESTION #2

GTM ARCHITECTS, INC.
10415 Armory Ave.
KENSINGTON, MD 20895
301-942-9062

13

Edward Chiswell Farm

1



Edward Chiswell
Historical Farm Setting

a.jpg

2



West Elevation of Farmhouse

b.jpg

3



Section of House to be Demolished
Includes the one-story space and the two-story space
immediately to its right. Both spaces have flat roofs that
slope toward the photographer. Windows will be saved.

c.jpg

4



North Elevation of Section to be Demolished
Windows will be saved.

d.jpg

5



South/West Elevation
Section to be demolished has flat roof.
Window will be saved.

e.jpg

6



Detail of Structural Problems.
Foundation is crumbling.

f.jpg

Edward Chiswell Farm

7



g.jpg

Detail of Structure
Foundation is

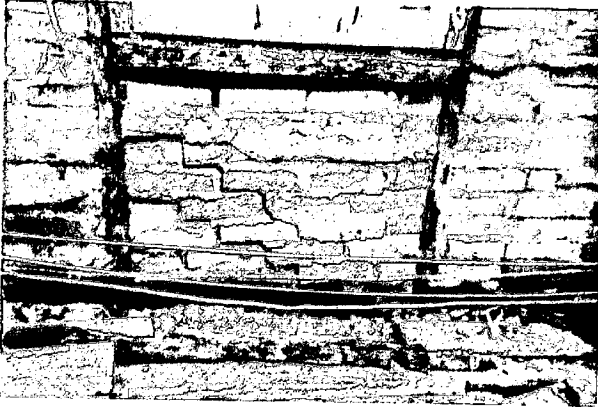
8



h.jpg

Detail of Structural Problems.
Lintel is rotted away.

9



i.jpg

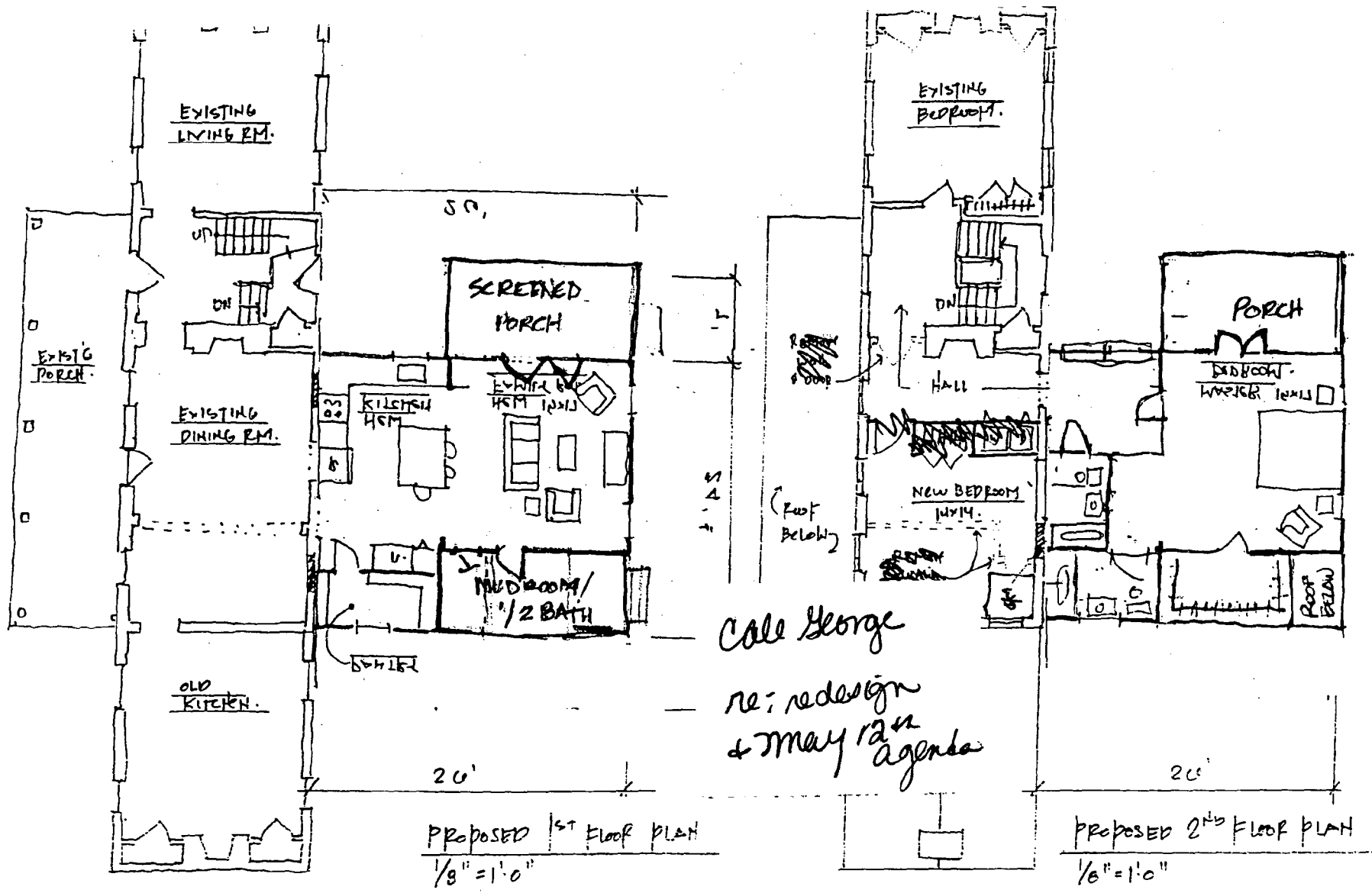
Detail of Structural problems.
Foundation is crumbling.

10



j.jpg

Detail of Structural Problems.



GTM ARCHITECTS, INC.
 10415 Armon Ave.
 KENSINGTON, MD 20895
 301-942-9062

STAFF RECOMMENDATION

#3

(71)



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: May 12, 2004

MEMORANDUM

To: HPC Commissioners

FROM: Michele Naru, Senior Planner

SUBJECT: Case No. 16/02-04A, Master Plan Site # 16/02, **Edward Chiswell Farm/Longview**

This case was continued at the last meeting due to lack of attendance from the Leasee, Mr. Harney and the applicant, Montgomery County Solid Waste.

George Myers has re-designed the drawings reflecting the comments and recommendations in the Staff Report and will be handing them out for review at tonight's meeting.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 20130 Wasche Road, Dickerson **Meeting Date:** 04/28/04
Resource: *Master Plan* Site #16/02 **Report Date:** 04/21/04
 Edward Chiswell Farm/Longview
Review: HAWP **Public Notice:** 04/14/04
Case Number: 16/02-04A **Tax Credit:** None
Applicant: Montgomery County Solid Waste Services **Staff:** Michele Naru
 (Robert Harney, Leasee)

PROPOSAL: Construction of Rear Addition

RECOMMEND: Approve w/ condition

1. The addition's design will be modified so that the new massing will not visibly encroach on the historic 1-1/2 story section.

PROJECT DESCRIPTION

SIGNIFICANCE: Edward Chiswell Farm/Longview, *Master Plan* Site #16/02
DATE: North section: c1800; south section: c1868-90

The three-part stone and frame house represents an evolution of construction and is best known as the residence of Civil War officer Edward Jones Chiswell. Thomas Cooley built a 1 ½ story stone house about 1800, replacing an early-1700s log house (Period 1). Located at the north end of the current dwelling, the structure is three-bays wide, built of undressed stone featuring keystone window lintels. The house had central entrances on front and back. Cooley operated his plantation with the help of 14 slaves. In 1814, Henry W. Talbott purchased the farm. He was a planter who was Justice of the Peace and member of the School Board. Talbott probably built the first level of the center section (Period 2), which is constructed of cut and dressed stone with central entrances on both facades. According to tradition, the house was used as a Union hospital during the Civil War.

In 1868, Edward Chiswell acquired the farm, which became known as Longview. During the war, Chiswell had served under relative and neighbor Col. Elijah Viers White of the Virginia Calvary. Chiswell was joined in Virginia by many Montgomery County residents who were locally known as "Chiswell's Exiles." During the war, Chiswell was wounded twice, led a mission across the icy Potomac to capture horses from an encampment, and surrendered in Edward's Ferry in 1865. Later that year he married Evalina Allnut. In 1868, they purchased this farm and probably soon thereafter built the southern section of the house. The three-bay block of

undressed stone has heavy stone window lintels and interior gable-end chimneys (Period 3). The Chiswell's, who raised six children on the farm, expanded the center block with a second story addition in the late 1800s (Period 4). A cross gable roof and fishscale shingle siding exhibit Victorian era influence. Son Thomas continued to operate the farm after his father's death in 1906.

The environmental setting of the farm is a 20-acre plot of land within the larger parcel of 358.75 acres. The setting includes the main house, smoke house, ice house, garage/shed, corn crib, well/cistern/windmill, bank barn, small livestock barn, barn ruins, tenant house ruins and waterfall ruins.

BACKGROUND:

In October of 2001, the applicant received approval from the Commission to demolish a non-historic, frame rear addition. The 1930's addition measured 30' long by 10' wide. The addition was constructed to provide indoor plumbing to the house. It contained two bathrooms, a pantry and access to the attic of the Period 2 massing. This approval was granted with the understanding that the applicant would return to the Commission with a proposal to construct a new rear addition to house all of the plumbing (i.e. kitchen and bathrooms) for the historic house. This proposal is the result of several meetings and revisions with the applicant.

PROPOSAL:

The applicant is proposing to construct a two story, rear frame addition to house a new kitchen, family room, screened porch and mudroom/powder room on the first story and a master bedroom, and two full bathrooms on the second story. The material specifications are a standing seam metal roof, horizontal, painted hardi-plank siding, wood, fishscale shingles, wood trim and porch details, and wood, true-divided light windows and doors.

STAFF DISCUSSION

Proposed new construction to Master Plan individually designated resources are reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

#2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.

#9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

#10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

After over two years of work and the unbelievable patience on the part of the lessee, the County has finalized its lease agreement with Mr. Robert Harney. The County and the Commission's staff are excited to see this project come into fruition.

Staff generally feels that this proposed design is very sympathetic to the existing historic resource. The main area of concern is the second story of the mudroom/closet massing. The closet placement is problematic because of its relationship to the original massing. Due to the existing, historic (Period I) massing's location, the second story of the proposed new addition will be visible from the front façade. Staff does note that the addition will be set back 10' from the historic rear elevation and the existing front yard has a significant slope, which will reduce the new addition's visibility from the front elevation. Finally, the existing house is setback considerably from the road and the current front elevation is not visible from the street and only moderately visible from the driveway approach.

Staff's recommendation is to move the entire massing to the west elevation of the proposed family room/master bedroom (see circle) or flip the entire addition so it is a mirror image of the existing, which will put the mudroom/closet massing on the opposite side of the addition where there is currently an existing two-story extension (see circle). Finally, another option could be to mirror image the addition and reverse the locations of the mudroom and the porches. This solution would retain the location of the screen porch in its current configuration – which looks out at the beautiful farm and its outbuildings (see circle).

Staff commends the applicant's desire to use compatible building materials for this project. The Commission appreciates reviewing projects where the applicant is specifying the use of quality materials. Although the Commission generally supports the use of Hardi-plank siding on rear additions, staff would ask the applicant to consider the use of cedar, horizontal siding.

STAFF RECOMMENDATIONS

Staff recommends that the Commission **approve with the above-stated condition** the HAWP application as being consistent with Chapter 24A-8(b)2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter,

and with the Secretary of the Interior Guidelines.

with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits.** After issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant will arrange for a field inspection by calling the DPS Field Services Office at 240-777-6370 or online at www.permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



DPS - #11

Permit # 332480

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: _____

Daytime Phone No.: _____

Tax Account No.: 36311

Name of Property Owner: MONTGOMERY County, Solid Waste Svcs - Steve Hayes Daytime Phone No.: _____

Address: 101 MONROE STREET - ROCKVILLE, MARYLAND 20850
Street Number City State Zip Code

Contact: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: ROBERT B. HARNEY Daytime Phone No.: 301-3657199 OR 301-526-3713 (CEL.)

Address: 7810 BEACON TERR BETHESDA, MARYLAND 20817
LOCATION OF BUILDING/PREMISE

House Number: 20130 Street: WASCHE ROAD

Town/City: DICKERSON Nearest Cross Street: MARTINSBURG ROAD

Lot: _____ Block: _____ Subdivision: _____

Lotter: 13377 Folio: 0125 Parcel: P 405

PART ONE: TYPE OF PERMIT ACTION AND USE

- IA. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|---|--|---------------------------------------|--|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> AC | <input type="checkbox"/> Stair | <input checked="" type="checkbox"/> Nonin Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Reuse | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Reversible | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: _____ | | | | |

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # NA

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Robert B. Harney
Signature of owner or authorized agent

_____ Date

Approved: _____ For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: _____

Application/Permit No.: 332480 Date Filed: _____ Date Issued: _____

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING

[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address	Owner's Agent's mailing address
Montgomery County Department of Public Works and Transportation Division of Solid Waste Services 101 Monroe Street, 6th Floor Rockville, MD 20850	NA
Adjacent and confronting Property Owners mailing addresses	
Potomac Electric Power Company Real Estate Dept. #703 1900 Pennsylvania Avenue, N.W. Washington, DC 20006	NA
Montgomery County Dept. of Public Works and Transportation Division of Solid Waste Services 101 Monroe Street, 6th Floor Rockville, Maryland 20850	NA
M-NCPPC 9500 Brunett Avenue Silver Spring, Maryland 20901	NA

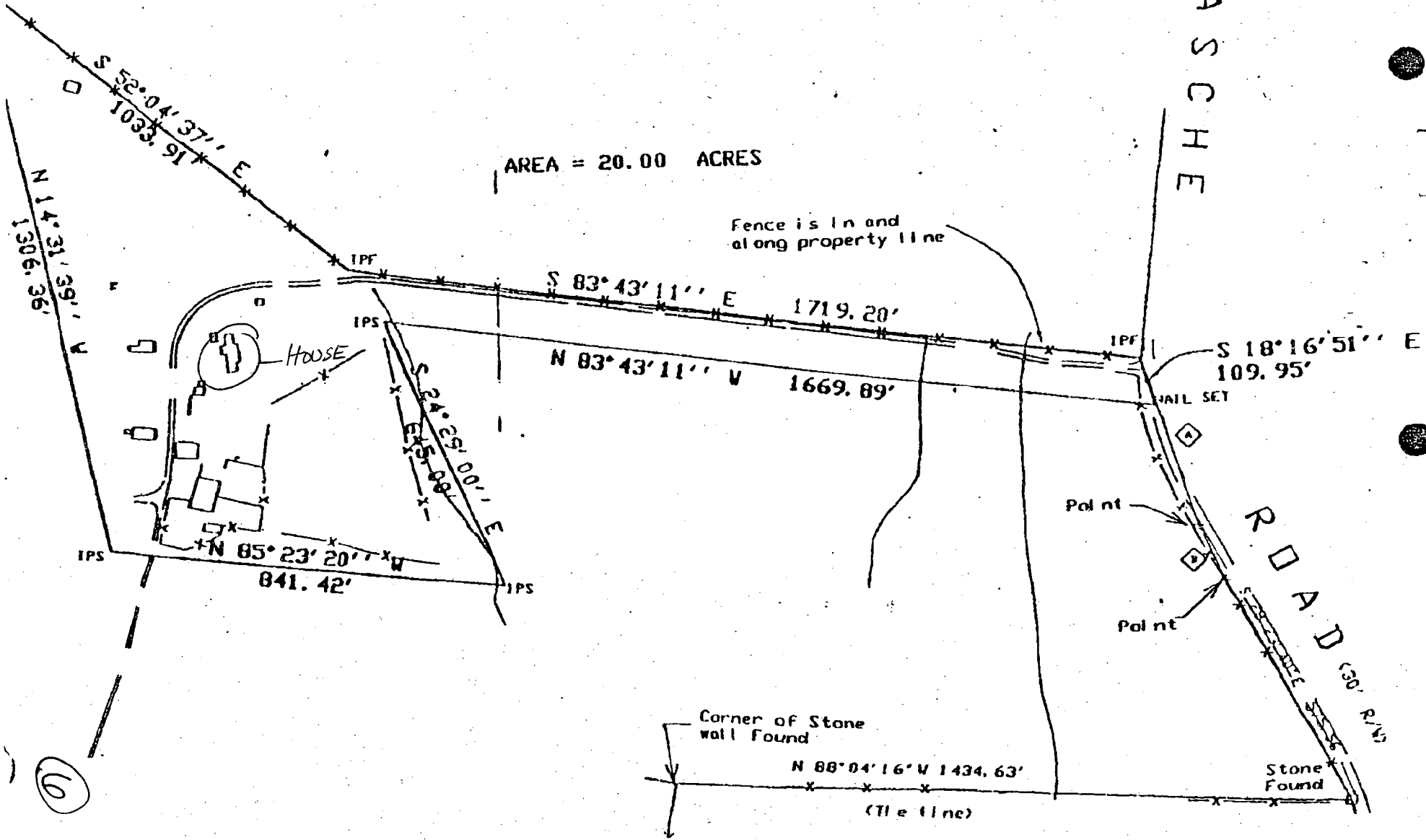
**EDWARD CHISWELL FARM
(Longview)
(Allison's Adventure)**

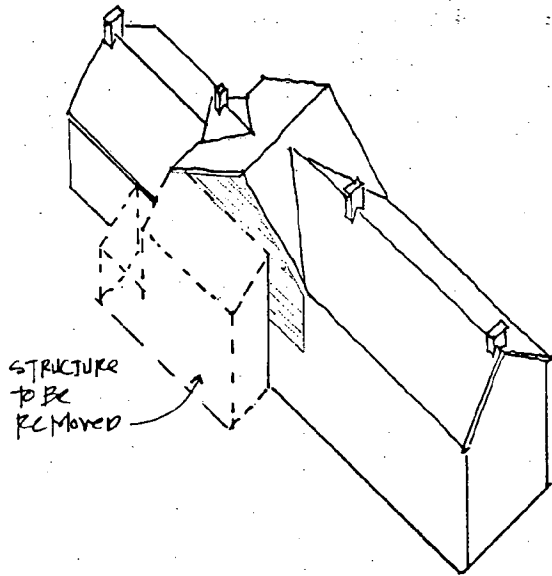


W A S C H E

AREA = 20.00 ACRES

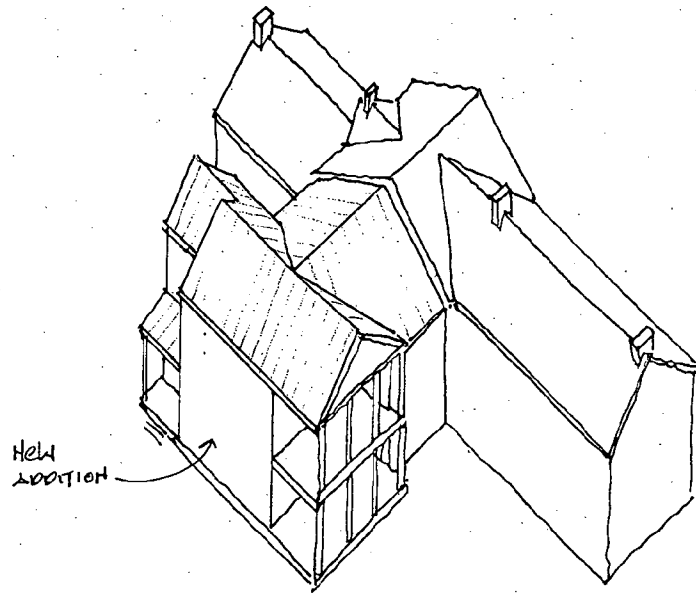
Fence is in and along property line





STRUCTURE
TO BE
REMOVED

EXISTING MASSING DIAGRAM



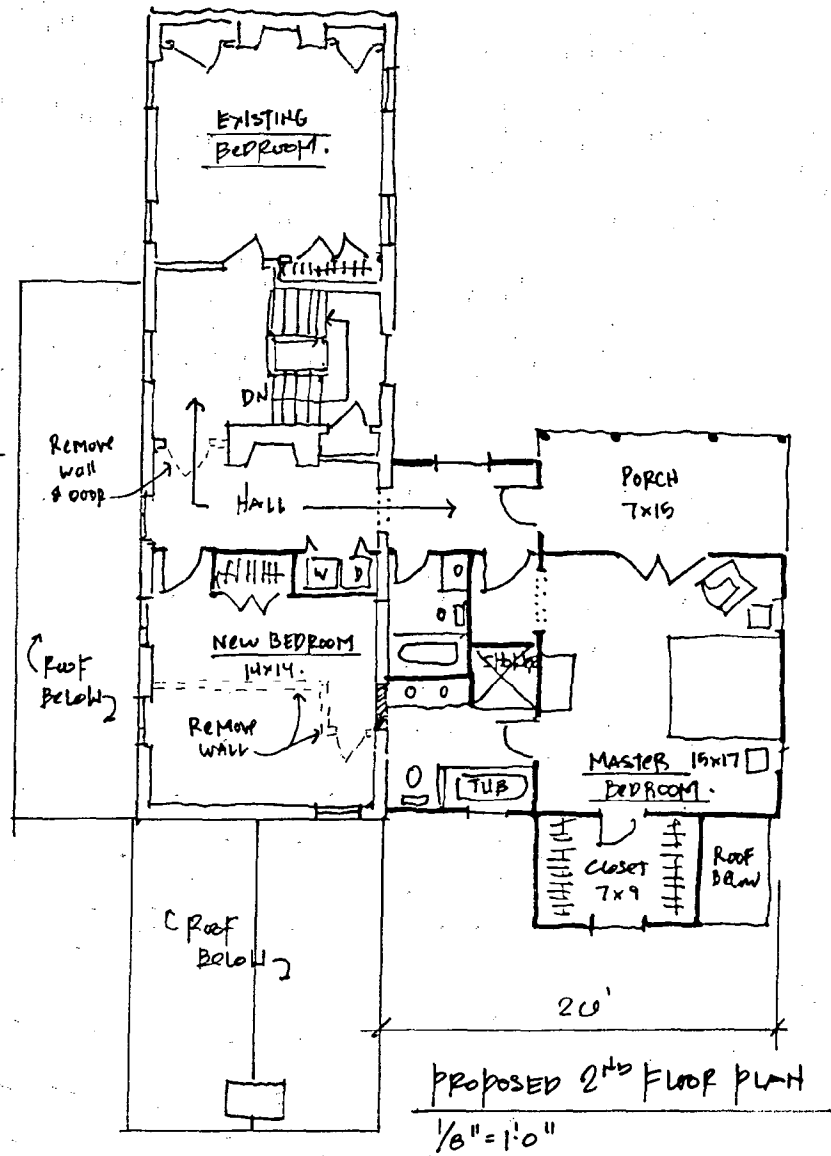
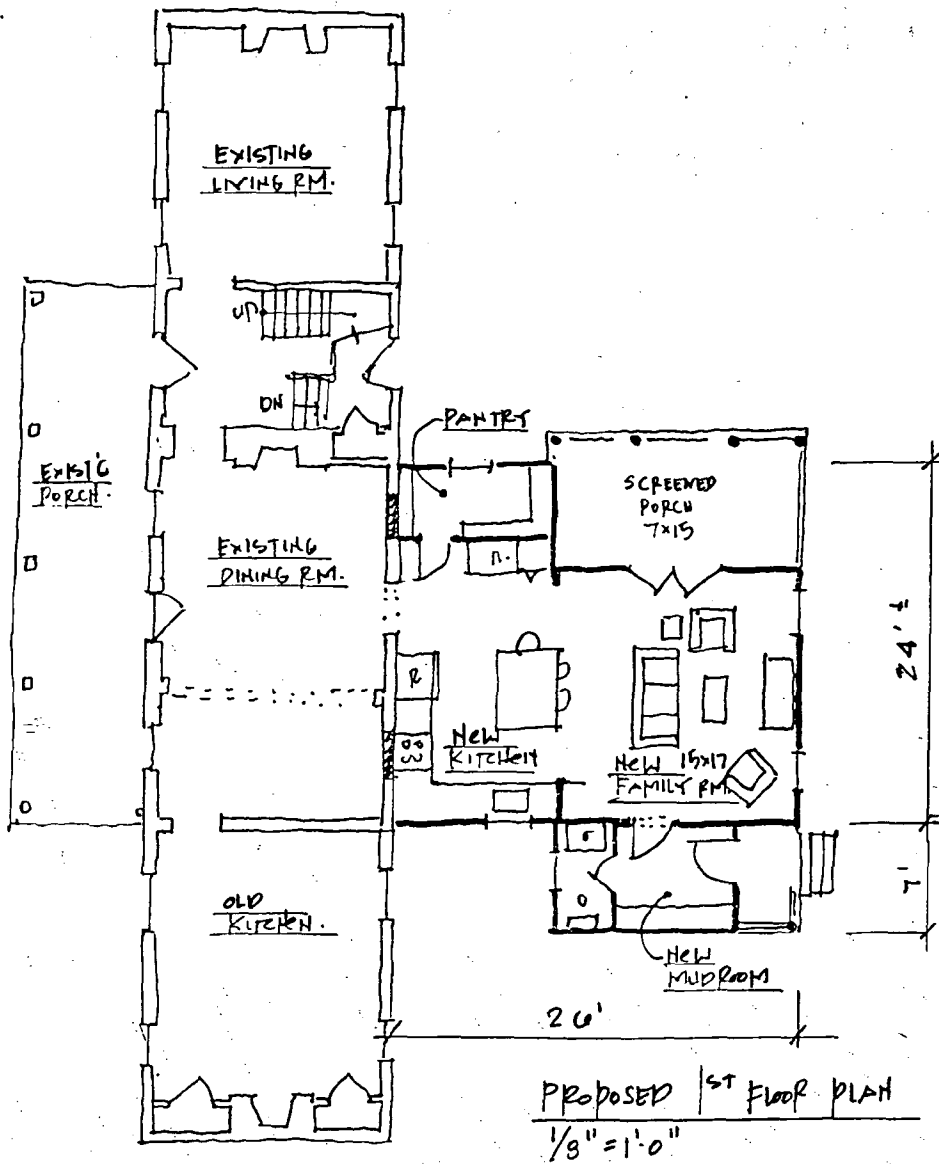
NEW
ADDITION

PROPOSED MASSING DIAGRAM.

CHISWELL FARM

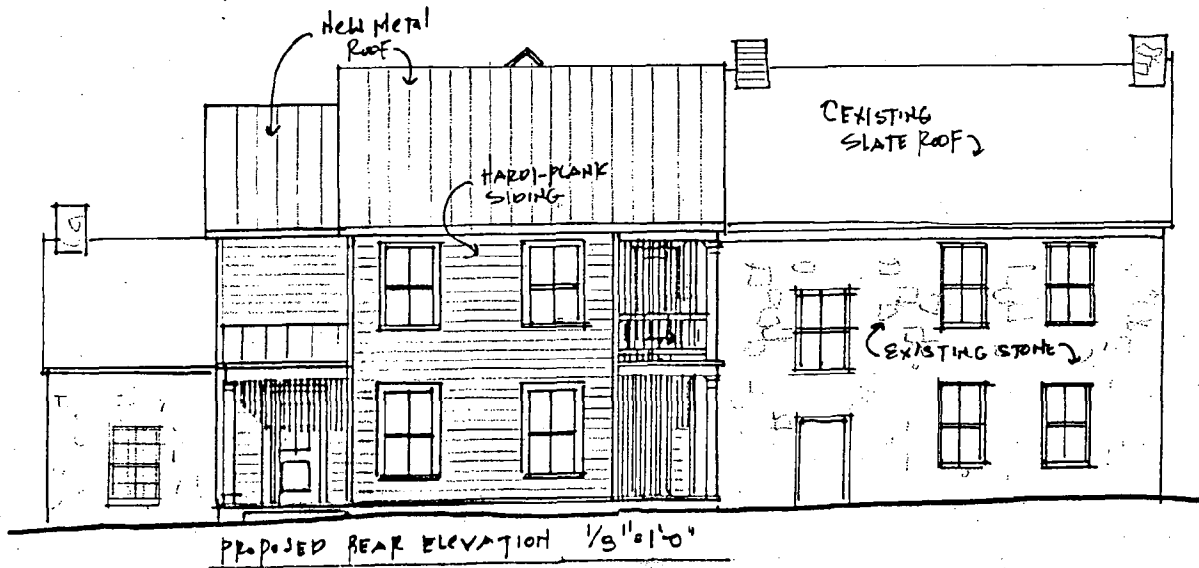
GTM ARCHITECTS, INC.
10415 Armory Ave.
KENSINGTON, MD 20895
301-942-9062

4.7.04.



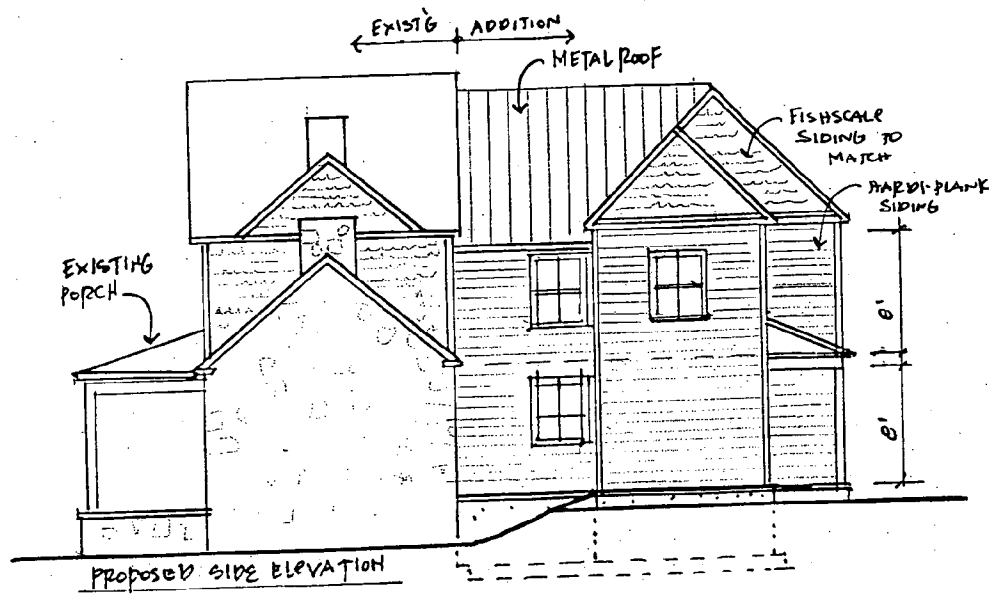
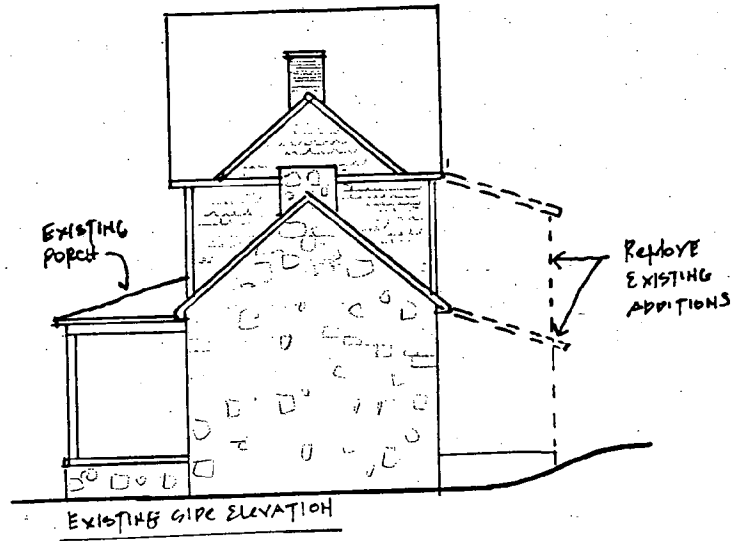
GTM ARCHITECTS, INC.
10415 Armory Ave.
KENSINGTON, MD 20895
301-942-9062

8

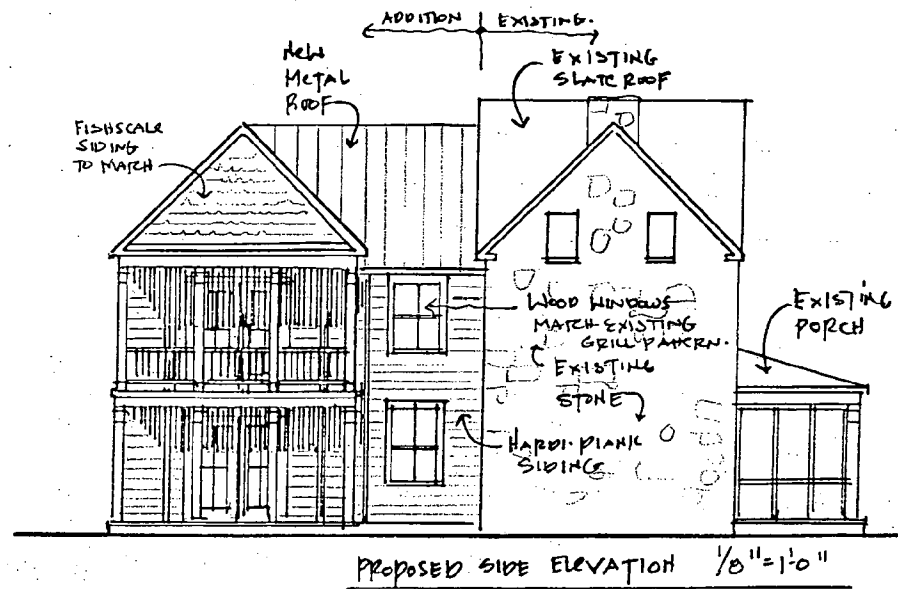
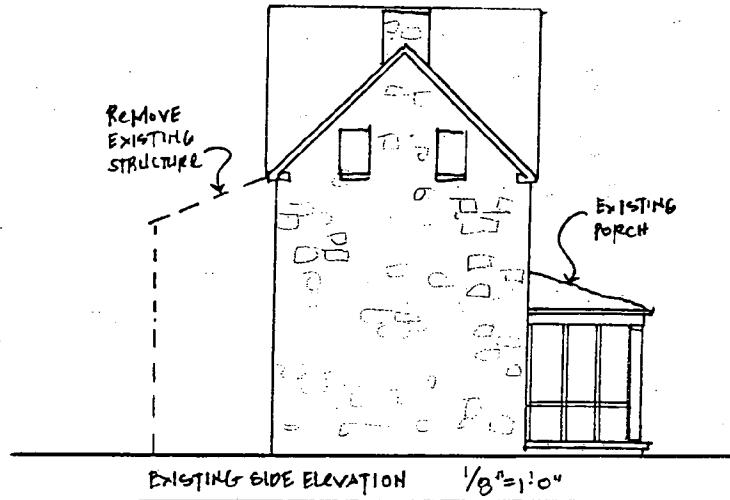


GTM ARCHITECTS, INC.
10415 Armory Ave.
KENSINGTON, MD 20895
301-942-9062

4.7.04



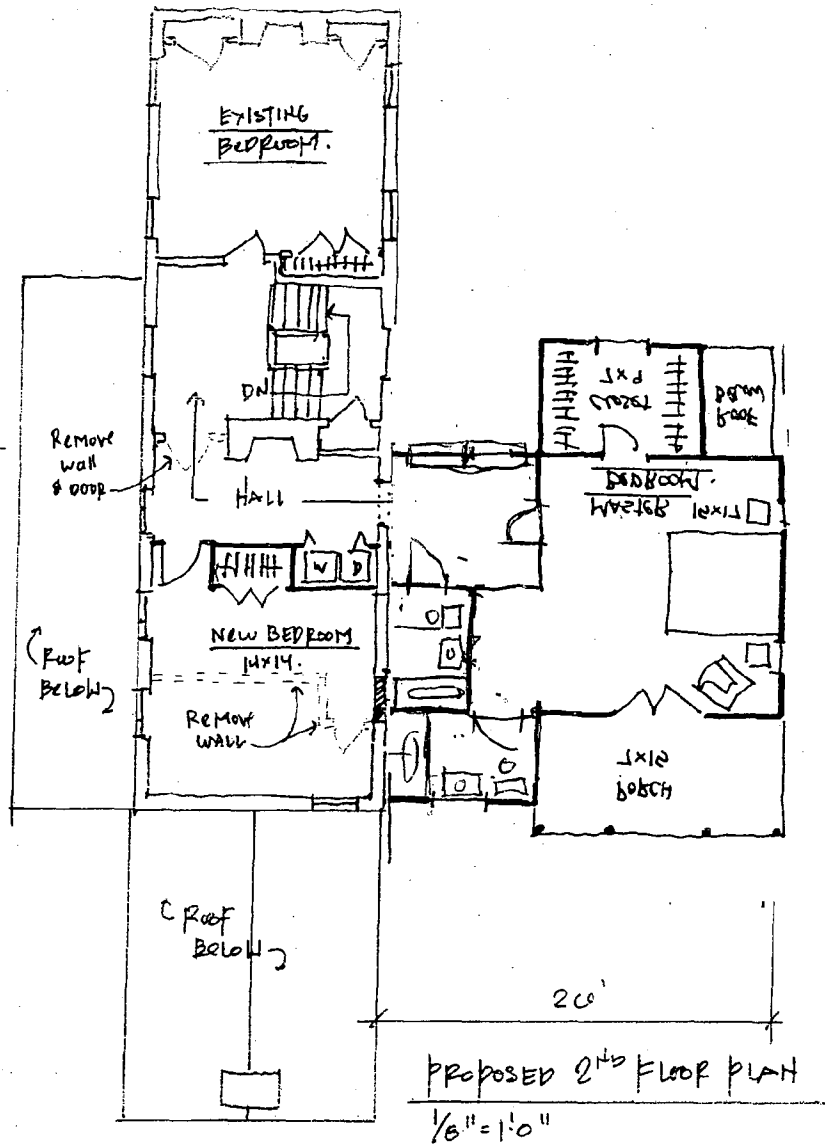
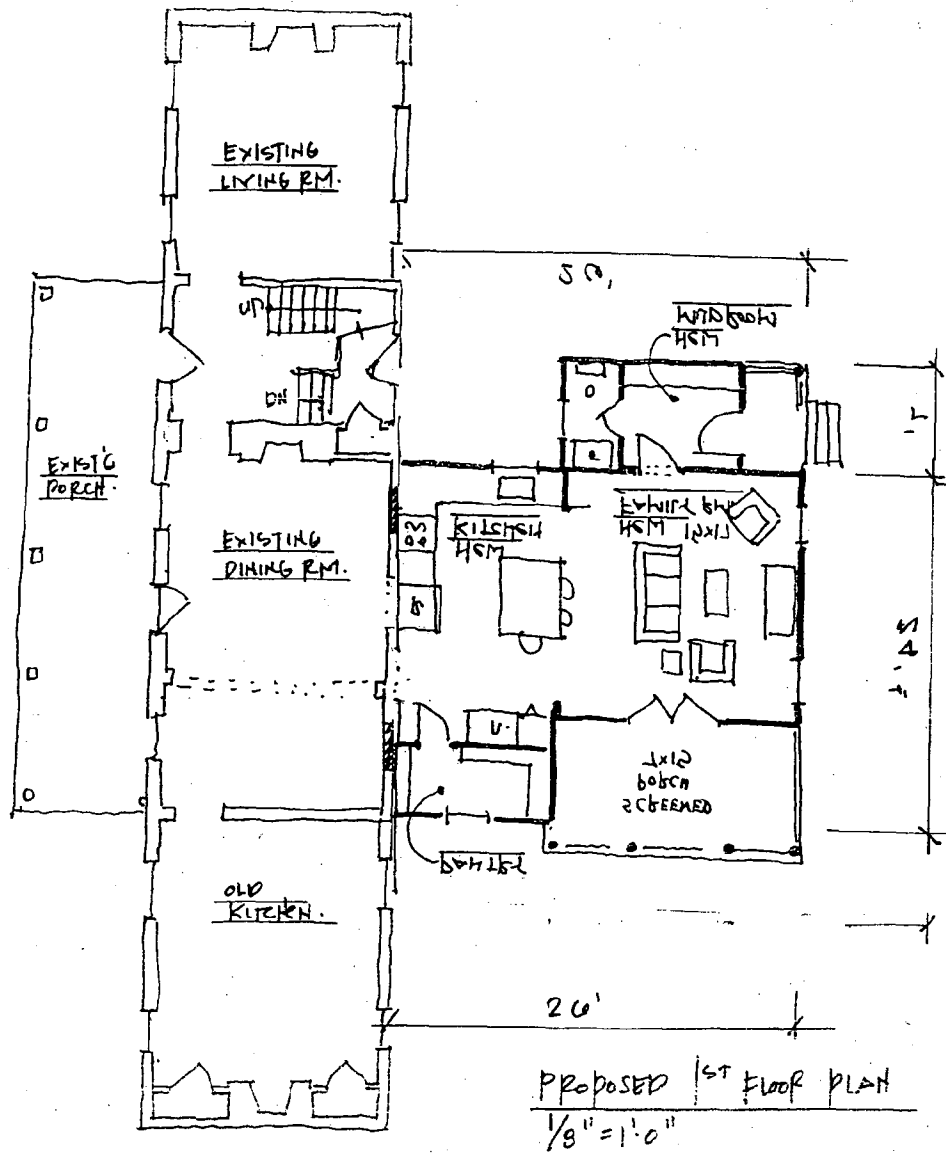
GTM ARCHITECTS, INC.
 10415 Armory Ave.
 KENSINGTON, MD 20895
 301-942-9062



GTM ARCHITECTS, INC.
 10415 Armory Ave.
 KENSINGTON, MD 20895
 301-942-9062

4-7-04

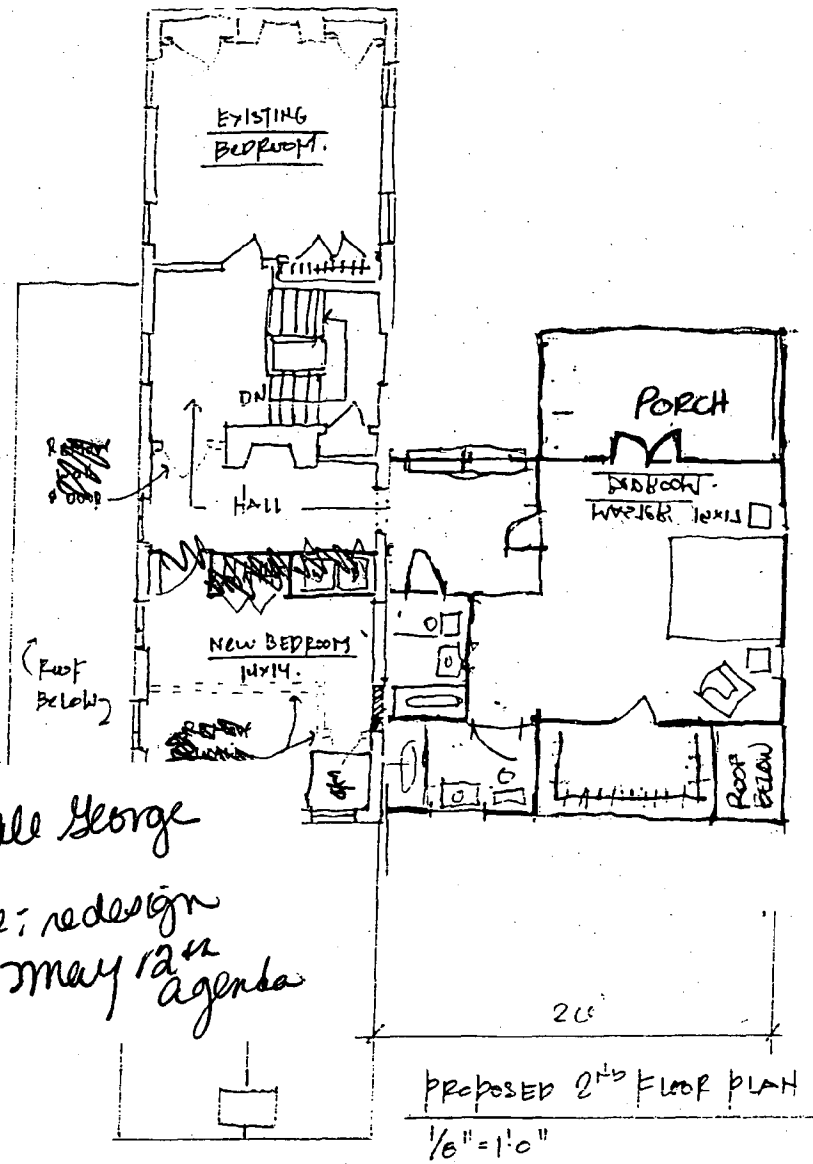
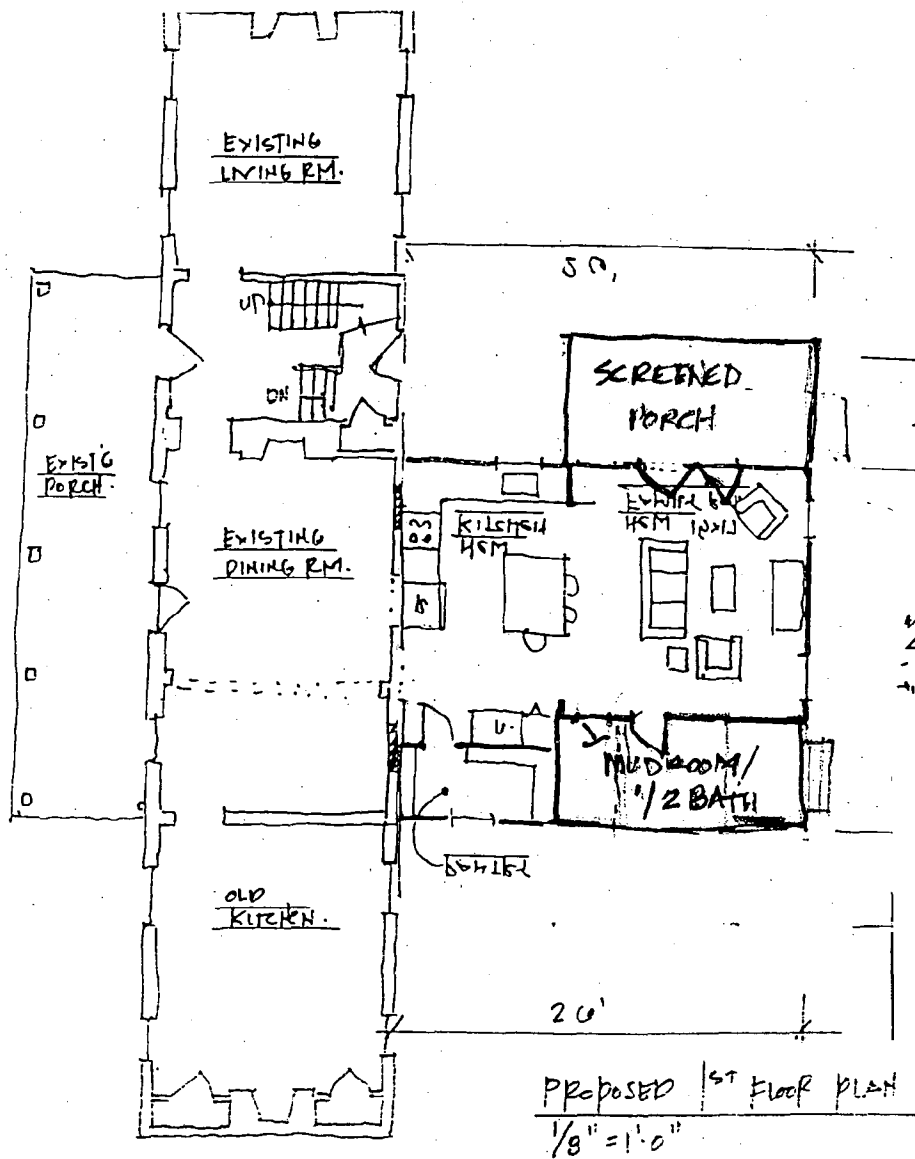
11



**STAFF SUGGESTION
#2**

GTM ARCHITECTS, INC.
10415 Armory Ave.
KENSINGTON, MD 20895
301-942-9062

13



Call George
 re: redesign
 + May 12th
 agenda

STAFF RECOMMENDATION

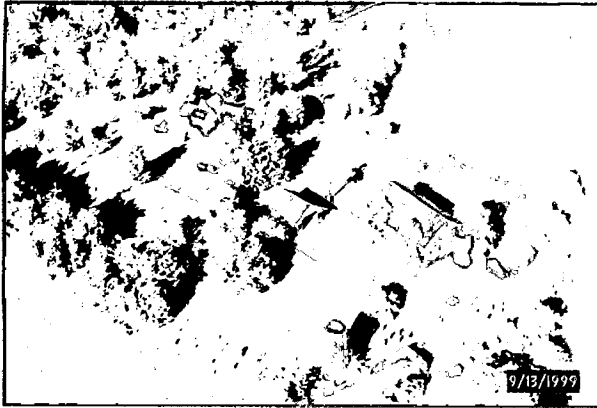
#3

GTM ARCHITECTS, INC.
 10415 Armory Ave.
 KENSINGTON, MD 20891
 301-942-9062

(11)

Edward Chiswell Farm

1



a.jpg Edward Chiswell
Historical Farm Setting

2



b.jpg West Elevation of Farmhouse

3



c.jpg Section of House to be Demolished
Includes the one-story space and the two-story space
immediately to its right. Both spaces have flat roofs that
slope toward the photographer. Windows will be saved.

4



d.jpg North Elevation of Section to be Demolished
Windows will be saved.

5



e.jpg South/West Elevation
Section to be demolished has flat roof.
Window will be saved.

6



f.jpg Detail of Structural Problems.
Foundation is crumbling.

7



g.jpg

Detail of Structure
Foundation is

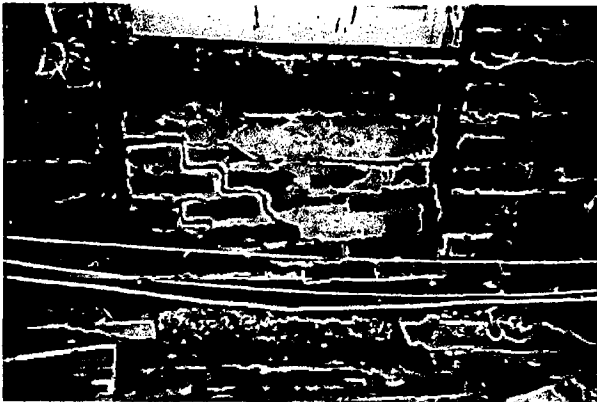
8



h.jpg

Detail of Structural Problems.
Lintel is rotted away.

9



i.jpg

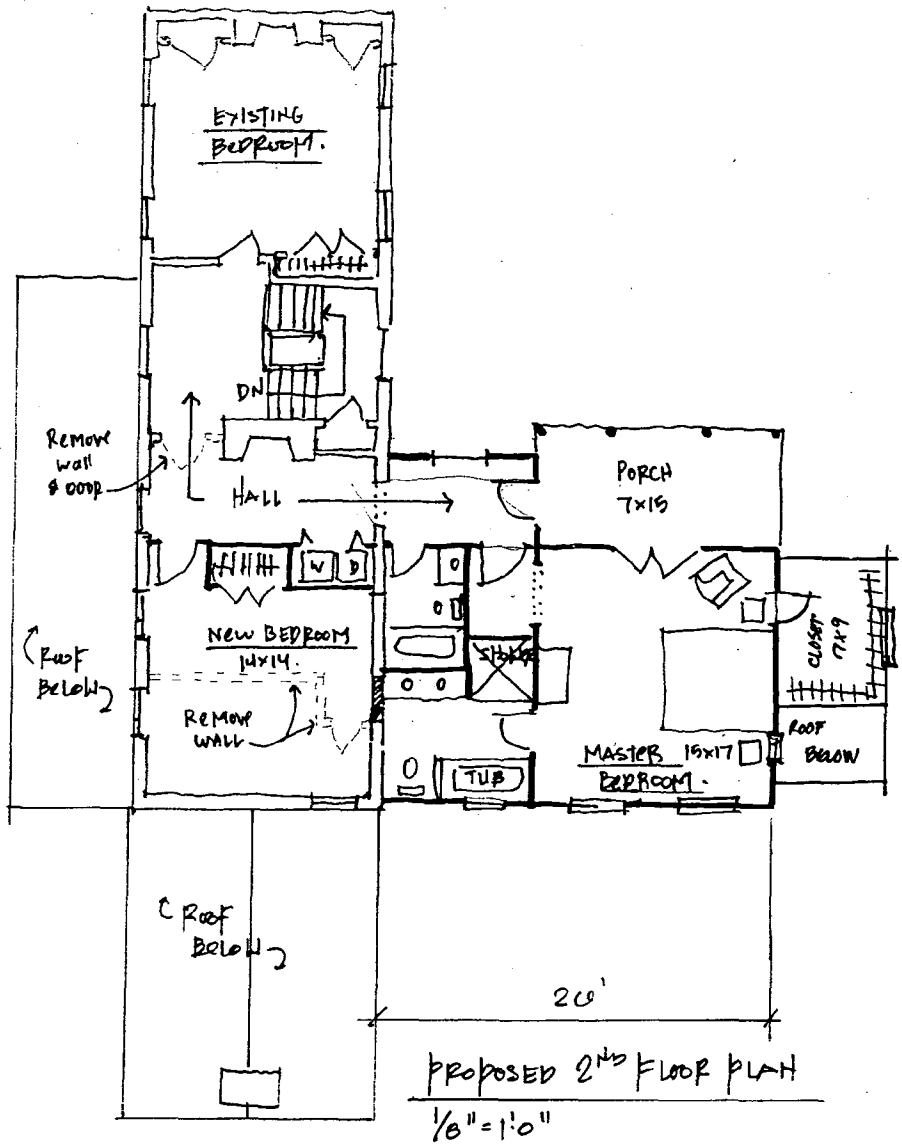
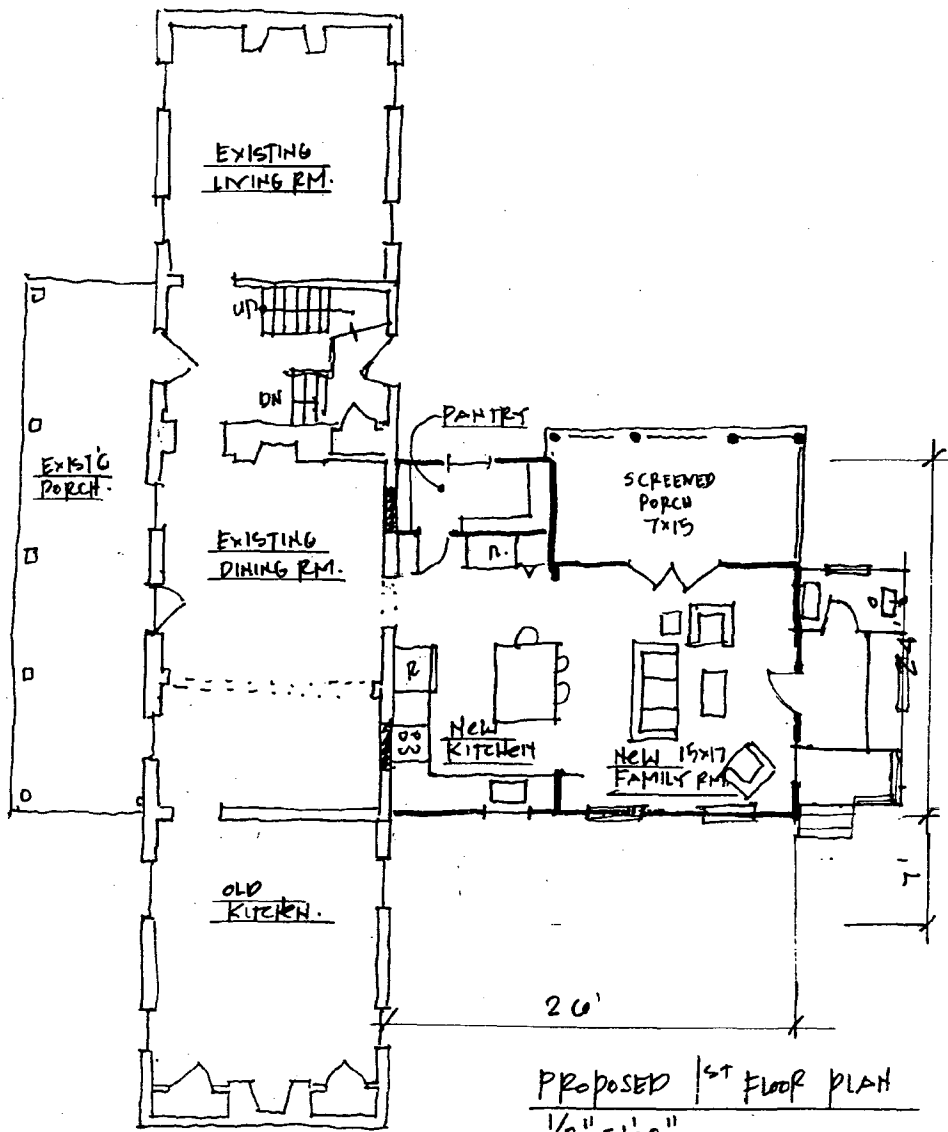
Detail of Structural problems.
Foundation is crumbling.

10



j.jpg

Detail of Structural Problems.



GTM ARCHITECTS, INC.
 10415 Armory Ave.
 KENSINGTON, MD 20895
 301-942-9062

STAFF SUGGESTION

#1

12

HISTORIC PRESERVATION COMMITTEE

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25

-----X
HISTORIC AREA WORK PERMIT - : HPC Case No. 16/02-04A
20130 Wasche Road :
-----X
HISTORIC AREA WORK PERMIT - : HPC Case No. 31/06-01J
10314 Fawcett Street :
-----X
HISTORIC AREA WORK PERMIT - : HPC Case No. 31/06-04H
10537 Saint Paul Street :
-----X
HISTORIC AREA WORK PERMIT - : HPC Case No. 37/03-04V
7315 Baltimore Avenue :
-----X
HISTORIC AREA WORK PERMIT - : HPC Case No. 23/069-04A
1901 Brighton Dam :
-----X
HISTORIC AREA WORK PERMIT - : HPC Case No. 35/13-03X
5 Grafton Street :
-----X
PRELIMINARY CONSULTATION - : Kensington Historic
3914 Washington Street : District
-----X
PRELIMINARY CONSULTATION - : Garrett Park
10937 Montrose Avenue : Historic District
-----X
SUBDIVISION : Claggettsville
: Historic District
-----X

A meeting in the above-entitled matter was held on May 12,
2004, commencing at 7:53 p.m. at 8787 Georgia Avenue, Silver
Spring, Maryland, before:

COMMITTEE CHAIRMAN
Julia O'Malley

Deposition Services, Inc.
6245 Executive Boulevard
Rockville, MD 20852
(301)881-3344

ORIGINAL

1 forms were on the back table. Have these work permits been
2 duly advertised?

3 MS. FOTHERGILL: They were on April 28, 2004.

4 MS. O'MALLEY: Thank you. Is there anyone here to
5 speak in opposition to case C, 9715 Capitol View Avenue; Case
6 D, 10012 Capitol View Avenue; case F, Frederick Road in
7 Clapsburg (indiscernible); case G, Noyes Drive in Silver
8 Spring, case I on Jones Bridge Road in Chevy Chase; case K on
9 Washington Street in Kensington; case L on Riggs Hill Way in
10 Brookeville?

11 MR. FULLER: Madame Chair, here and now I move that
12 we approve case 31/07-04B, case 31/07-04C, case 13/10-04A, case
13 36/04-04A, case 35/54-04B, case 31/06-04I, and case 23/148-04A
14 based on the recommendations of the staff report.

15 MS. WILLIAMS: Second.

16 MS. O'MALLEY: All in favor? It's unanimous. If any
17 of those were your cases, you're free to go home. You can
18 check with staff, please. Thank you for doing such fine work
19 on your applications.

20 Should we go ahead and start with case A? This is
21 the continuation. Do you have the staff reports?

22 MS. NARU: Yes. Just briefly, I would also like to
23 note that we've just been handed the revised drawings. A
24 little background on this just so we'll all know where we are
25 today.

1 This property at the Edward Chiswell Farm is part of
2 the agreement that the county had given Mr. Harney to lease the
3 property to also, and part of that lease agreement is to
4 rehabilitate the site. And you will note that, gosh, it was
5 almost a year ago now, I believe, we approved the demolition of
6 a non-contributing addition on the rear of the structure noting
7 that, at that time, we were going to see a new construction of
8 a new addition in the future.

9 And, tonight, we have in front of us a revised plan
10 of the plans that were in the original staff report that was to
11 be heard last week that, or two weeks ago that was not actually
12 heard. So, you know, upon examination of this new plan, this
13 is exactly what staff had recommended, as part of the staff
14 report, in terms of the direction we'd like to see the changes
15 to the addition. So, with that said, we recommend approval
16 based upon the staff report:

17 The applicant and his architect is here this evening
18 if you'd like to ask any questions. And I do have a bold Power
19 Point to show you what the conditions of the building was when
20 we first laid eyes on it, if you'd like to see that. It'll be
21 existing additions that were previously removed. So, would you
22 like to see that --

23 MS. O'MALLEY: Sure.

24 MS. NARU: This is a 1999 view of the site. I'll
25 give you a point of reference. The historic house is here, the

1 corn crib, and the back barn are here. This is their ruins of
2 a dairy barn at one time. And right here you can't really see
3 is the historic cistern that's still on the property. And
4 right next to the house, again, you cannot see very well, is
5 the dairy, or the spring house, or, I'm sorry, the smoke house.
6 I'm not sure we decided what that was for sure. And, then, the
7 spring house is farther down in, kind of in the woods. Next
8 slide.

9 This is the setting, the condition it was in before
10 any work was done. Subsequent to this picture, Park and, or,
11 I'm sorry, Montgomery County, not Park and Planning, put a new
12 slate roof on the, the three periods of the site, and, also,
13 this front part's just been reopened, and the windows also are
14 pretty much back in, in tact, or these have been opened up.
15 Next slide.

16 This is a view of the porch, and you can see the two
17 of the two windows that were in tact. Next slide.

18 And the one and a half story section is the great
19 shadow of the original door. Next section.

20 And this was the frame addition that you approved for
21 a demolition back in 2001. Next slide.

22 Another view of it. And see the severity of the
23 deterioration of it. It's pretty severe. Next slide. Again.
24 Next slide.

25 This is the -- starting to work on the property.

1 Next.

2 So, as you can see, we've come a long way from where
3 we were. Unfortunately, we still have a long way to go, so,
4 and like I said the applicant is here this evening.

5 MS. O'MALLEY: Are there any questions for staff?
6 Would the applicant like to come forward? Did you have
7 anything you wanted to add?

8 MR. HARNEY: No, I think we're in agreement with,
9 with Michelle on this, and we've talked to her a few times, so
10 I think that we're, you know, we're happy with the staff report
11 if you are.

12 MS. O'MALLEY: Are there any questions? Take a
13 little time to look at the new plans.

14 MR. HARNEY: The new plans were just done today at
15 the, Michelle had some suggestions in terms of taking some
16 masking that we originally had towards the year. There's a one
17 and a half story portion, and we kind of just slid the gable
18 forward, and had the port project forward as based on comments
19 from staff which we're okay with. It doesn't seem to affect as
20 much either way. The addition is designed, obviously, to, to
21 fit in, but, nevertheless, they'll be clearly distinct there so
22 you can see that the gable steps down just enough, and the roof
23 materials are different, and the siding's a little different,
24 so --

25 MS. O'MALLEY: Looks very sympathetic.

1 MS. NARU: We all know that this has kind of been an
2 ongoing project, and the staff has been really involved, and
3 we'll continue to be really involved with Mr. Harney as his
4 building and structure, and probably have bi-weekly site
5 visits, et cetera, work with him on it since it's a county
6 property.

7 MR. FULLER: Looks good to me. I'd make a motion
8 that we approve the addition, and we eliminate the staff
9 condition, and we approve it based on new design. I'd submit
10 it.

11 MS. WATKINS: Second that.

12 MS. O'MALLEY: Any discussion? All in favor?

13 (Vote.)

14 MS. O'MALLEY: It's unanimous. Thank you. Been
15 working on that one.

16 MS. NARU: Thank you, Mr. Harney. We'll talk
17 tonight.

18 MS. O'MALLEY: The next case, case B. Got a staff
19 report?

20 MS. NARU: Very brief on this project. It's for
21 10314 Fawcett Street in Kensington, a primary resource one
22 within the Kensington historic district. The applicant is
23 proposing to extend the existing driveway to create a
24 turnaround circle on the property, to install an 18 inch high
25 stacked stone wall along the front property and around the

1 MS. NARU: We all know that this has kind of been an
2 ongoing project, and the staff has been really involved, and
3 we'll continue to be really involved with Mr. Harney as his
4 building and structure, and probably have bi-weekly site
5 visits, et cetera, work with him on it since it's a county
6 property.

7 MR. FULLER: Looks good to me. I'd make a motion
8 that we approve the addition, and we eliminate the staff
9 condition, and we approve it based on new design. I'd submit
10 it.

11 MS. WATKINS: Second that.

12 MS. O'MALLEY: Any discussion? All in favor?

13 (Vote.)

14 MS. O'MALLEY: It's unanimous. Thank you. Been
15 working on that one.

16 MS. NARU: Thank you, Mr. Harney. We'll talk
17 tonight.

18 MS. O'MALLEY: The next case, case B. Got a staff
19 report?

20 MS. NARU: Very brief on this project. It's for
21 10314 Fawcett Street in Kensington, a primary resource one
22 within the Kensington historic district. The applicant is
23 proposing to extend the existing driveway to create a
24 turnaround circle on the property, to install an 18 inch high
25 stacked stone wall along the front property and around the

1 Next.

2 So, as you can see, we've come a long way from where
3 we were. Unfortunately, we still have a long way to go, so,
4 and like I said the applicant is here this evening.

5 MS. O'MALLEY: Are there any questions for staff?
6 Would the applicant like to come forward? Did you have
7 anything you wanted to add?

8 MR. HARNEY: No, I think we're in agreement with,
9 with Michelle on this, and we've talked to her a few times, so
10 I think that we're, you know, we're happy with the staff report
11 if you are.

12 MS. O'MALLEY: Are there any questions? Take a
13 little time to look at the new plans.

14 MR. HARNEY: The new plans were just done today at
15 the, Michelle had some suggestions in terms of taking some
16 masking that we originally had towards the year. There's a one
17 and a half story portion, and we kind of just slid the gable
18 forward, and had the port project forward as based on comments
19 from staff which we're okay with. It doesn't seem to affect as
20 much either way. The addition is designed, obviously, to, to
21 fit in, but, nevertheless, they'll be clearly distinct there so
22 you can see that the gable steps down just enough, and the roof
23 materials are different, and the siding's a little different,
24 so --

25 MS. O'MALLEY: Looks very sympathetic.

1 corn crib, and the back barn are here. This is their ruins of
2 a dairy barn at one time. And right here you can't really see
3 is the historic cistern that's still on the property. And
4 right next to the house, again, you cannot see very well, is
5 the dairy, or the spring house, or, I'm sorry, the smoke house.
6 I'm not sure we decided what that was for sure. And, then, the
7 spring house is farther down in, kind of in the woods. Next
8 slide.

9 This is the setting, the condition it was in before
10 any work was done. Subsequent to this picture, Park and, or,
11 I'm sorry, Montgomery County, not Park and Planning, put a new
12 slate roof on the, the three periods of the site, and, also,
13 this front part's just been reopened, and the windows also are
14 pretty much back in, in tact, or these have been opened up.
15 Next slide.

16 This is a view of the porch, and you can see the two
17 of the two windows that were in tact. Next slide.

18 And the one and a half story section is the great
19 shadow of the original door. Next section.

20 And this was the frame addition that you approved for
21 a demolition back in 2001. Next slide.

22 Another view of it. And see the severity of the
23 deterioration of it. It's pretty severe. Next slide. Again.
24 Next slide.

25 This is the -- starting to work on the property.

1 This property at the Edward Chiswell Farm is part of
2 the agreement that the county had given Mr. Harney to lease the
3 property to also, and part of that lease agreement is to
4 rehabilitate the site. And you will note that, gosh, it was
5 almost a year ago now, I believe, we approved the demolition of
6 a non-contributing addition on the rear of the structure noting
7 that, at that time, we were going to see a new construction of
8 a new addition in the future.

9 And, tonight, we have in front of us a revised plan
10 of the plans that were in the original staff report that was to
11 be heard last week that, or two weeks ago that was not actually
12 heard. So, you know, upon examination of this new plan, this
13 is exactly what staff had recommended, as part of the staff
14 report, in terms of the direction we'd like to see the changes
15 to the addition. So, with that said, we recommend approval
16 based upon the staff report.

17 The applicant and his architect is here this evening
18 if you'd like to ask any questions. And I do have a bold Power
19 Point to show you what the conditions of the building was when
20 we first laid eyes on it, if you'd like to see that. It'll be
21 existing additions that were previously removed. So, would you
22 like to see that --

23 MS. O'MALLEY: Sure.

24 MS. NARU: This is a 1999 view of the site. I'll
25 give you a point of reference. The historic house is here, the

HISTORIC PRESERVATION COMMITTEE

1
2
3
4
5
6
7
8
9
10
11
12
13
14
15
16
17
18
19
20
21
22
23
24
25

- X
- HISTORIC AREA WORK PERMIT - : HPC Case No. 16/02-04A
20130 Wasche Road :
- X
- HISTORIC AREA WORK PERMIT - : HPC Case No. 31/06-01J
10314 Fawcett Street :
- X
- HISTORIC AREA WORK PERMIT - : HPC Case No. 31/06-04H.
10537 Saint Paul Street :
- X
- HISTORIC AREA WORK PERMIT - : HPC Case No. 37/03-04V
7315 Baltimore Avenue :
- X
- HISTORIC AREA WORK PERMIT - : HPC Case No. 23/069-04A
1901 Brighton Dam :
- X
- HISTORIC AREA WORK PERMIT - : HPC Case No. 35/13-03X
5 Grafton Street :
- X
- PRELIMINARY CONSULTATION - : Kensington Historic
3914 Washington Street : District
- X
- PRELIMINARY CONSULTATION - : Garrett Park
10937 Montrose Avenue : Historic District
- X
- SUBDIVISION : Claggettville
: Historic District
- X

A meeting in the above-entitled matter was held on May 12, 2004, commencing at 7:53 p.m. at 8787 Georgia Avenue, Silver Spring, Maryland, before:

COMMITTEE CHAIRMAN
Julia O'Malley

Deposition Services, Inc.
6245 Executive Boulevard
Rockville, MD 20852
(301) 881-3344

ORIGINAL

1 forms were on the back table. Have these work permits been
2 duly advertised?

3 MS. FOTHERGILL: They were on April 28, 2004.

4 MS. O'MALLEY: Thank you. Is there anyone here to
5 speak in opposition to case C, 9715 Capitol View Avenue; Case
6 D, 10012 Capitol View Avenue; case F, Frederick Road in
7 Clapsburg (indiscernible); case G, Noyes Drive in Silver
8 Spring, case I on Jones Bridge Road in Chevy Chase; case K on
9 Washington Street in Kensington; case L on Riggs Hill Way in
10 Brookeville?

11 MR. FULLER: Madame Chair, here and now I move that
12 we approve case 31/07-04B, case 31/07-04C, case 13/10-04A, case
13 36/04-04A, case 35/54-04B, case 31/06-04I, and case 23/148-04A
14 based on the recommendations of the staff report.

15 MS. WILLIAMS: Second.

16 MS. O'MALLEY: All in favor? It's unanimous. If any
17 of those were your cases, you're free to go home. You can
18 check with staff, please. Thank you for doing such fine work
19 on your applications.

20 Should we go ahead and start with case A? This is
21 the continuation. Do you have the staff reports?

22 MS. NARU: Yes. Just briefly, I would also like to
23 note that we've just been handed the revised drawings. A
24 little background on this just so we'll all know where we are
25 today.

RENOVATION AND CARETAKER LEASE AGREEMENT
BETWEEN
MONTGOMERY COUNTY, MARYLAND
AND
ROBERT B. HARNEY

THIS RENOVATION AND CARETAKER LEASE AGREEMENT ("Agreement") is made this ____ day of October, 2003, by and between MONTGOMERY COUNTY, MARYLAND, a body corporate and politic, hereinafter referred to as the County, and ROBERT B. HARNEY located at 7218 Beacon Terr and referred to as the "Caretaker".

WITNESSETH:

WHEREAS, the County is the owner of certain property known as the Chiswell Farm, comprising approximately 20 acres of land and several structures located at 20130 Wasche Road, Dickerson, Montgomery County, Maryland, (as more particularly shown on Exhibit A attached hereto and referred to as the "Property") which Property was purchased by the County in connection with the Site 2 landfill, and

WHEREAS, pursuant to Section 3.3.1.6 of the Montgomery County Comprehensive Solid Waste Management Plan for the Years 1998-2007, the Site 2 land is held in reserve for solid waste disposal if out-of-county disposal is no longer feasible, and

WHEREAS, the Property is improved with select historic structures that the County desires to have preserved. Structures on (and included in) the Property include a house constructed in the late 1700s (the "House"), a barn, corn crib, bank barn and other structures, some of which have been designated as having historic significance, and all of which are in need of substantial renovation and repair, and

WHEREAS, the County wants to save the Property from further destruction and disrepair by entering into an agreement for repair, renovation, maintenance and upkeep that will in the short run secure and weather proof the structures, and in the long run, repair and restore and aesthetically improve the Property into a site that will 1) restore the House and make agricultural use of the Property; and 2) offer educational opportunities to the community to appreciate the historic and agricultural resources on the Property.

WHEREAS, the County desires to have the Property repaired, renovated, maintained and cared for in a manner that is consistent with and protective of those portions of the Property that

are of historic significance and in a manner that is consistent with the surrounding agricultural and residential uses, and

WHEREAS, pursuant to Executive Regulation 67-91AM, Executive Order No. 28-98 was issued on February 27, 1998, wherein the County Executive determined that the Property is surplus to County needs, and may therefore be disposed of, and

WHEREAS, pursuant to said Executive Order the County issued a public request for proposals from individuals and organizations willing to accept the Property on an as is basis, and to undertake the needed renovations and repairs, with private funds and financial assistance from the County, and

WHEREAS, as a result of said public request, a number of proposals were received by the County, and were evaluated by a Selection Committee composed of representatives from the County's Department of Public Works and Transportation, the Facilities Implementation Group, and the Sugarloaf Citizens Association, and

WHEREAS, Paul Harney and Robert Harney submitted the proposal attached hereto and incorporated herein as Exhibit B (the "Proposal"), which proposal was selected by the Committee for the repair, renovation, maintenance and caretaking of the Property and in exchange therefore the County agrees to enter into this Agreement, subject to certain terms and conditions as hereinafter set forth (n.b., to the extent that there is any conflict between the Proposal and this Agreement, including, but not limited to the interest hereby created, this Agreement controls), and

WHEREAS, the Caretaker is to do the renovation work described in Exhibit B and is to do the ongoing maintenance, renovation, and caretaker work on the Property as described herein.

NOW, THEREFORE, in consideration of the sum of ten (\$10.00) dollars, the receipt of which is hereby acknowledged by the County, and for other good and valuable consideration as hereinafter set forth, the parties hereto agree as follows:

1. **PROPERTY:** The Property is shown as the area outlined in red on page 1 of Exhibit A attached hereto and incorporated herein by reference, and as further identified in the narrative metes and bounds description attached hereto as pages 2 and 3 of Exhibit A, being a portion of Parcel 405, Tax Map BU located at 20130 Wasche Road, in Dickerson, Montgomery

County, Maryland. Caretaker acknowledges that this agreement is a Renovation and Caretaker Lease Agreement and that Caretaker accepts the Property in an "as is" condition. The County is not responsible for, nor is it required to make, any repairs or to perform any maintenance upon the Property, except as expressly provided for herein. Caretaker agrees that he will not move into the residence (nor allow anyone else permitted to occupy the residence as provided herein to move into the residence) on the Property until the House is sufficiently complete that it is safe, clean and habitable, a certificate of occupancy has been issued, and the County, in its capacity as owner of the House, has approved the renovated House for occupancy. Neither the County, nor this Agreement, is subject to the requirements of Montgomery County Code 1994 as amended, Chapter 29 and Caretaker acknowledges that the primary purpose of this Agreement is to complete renovation work on the Property and to ensure that the Property is properly maintained and cared for so that it is an asset to the community consistent with its historic and agricultural significance.

2. TERM: The term of this Agreement shall begin on the above stated date (the "Commencement Date"). The term shall continue for a period of five (5) years, ending on the 5th anniversary of the Commencement Date. Notwithstanding the foregoing, in the event that all or a portion of the Property is needed for public purposes, or if any of the work hereunder is not being prosecuted and completed to the satisfaction of the County (in its sole, but reasonable discretion), the County may terminate this Agreement as to all or a portion of the Property upon not less than 30 days notice to the Caretaker. Caretaker acknowledges and agrees that if the County terminates the Agreement, Caretaker is not entitled to any compensation for such termination. Caretaker may, however, where the Agreement is terminated for a portion of the Property, elect to have the termination apply to the entirety of the Property. Caretaker must notify the County in writing of this election within 30 days of the notice from the County. Caretaker may at its election, terminate this Agreement term upon thirty (30) days advance written notice to the County. Caretaker (and anyone occupying the residence permissively with the Caretaker as provided herein) must by the date given in the applicable notice vacate and terminate its use of, and/or presence upon, the portion of the Property for which the Agreement is being terminated in accordance with the provisions of Section 15.

3. USE OF THE PROPERTY:

- A. The Property will be used by the Caretaker solely as a single family residence and farm, in a manner that is (i) compatible with the historic and agricultural character of the surrounding area, (ii) consistent with the property's zoning, and (iii) approved by the County. The House is the only structure that may be used as a residence and may only be occupied by Robert B. Harney. Notwithstanding the foregoing, provided that Caretaker is an occupant of the House, he may have one roommate live in the dwelling with him. Prior to any such roommate moving into the House, he or she must deliver to the County, in form and substance acceptable to the County, a binding written commitment to abide by the terms and conditions of this Agreement.
- B. Caretaker will not use the Property, nor permit the Property to be used, for any disorderly or unlawful purposes or in any manner offensive to others and will comply with all applicable Federal, State, County and local laws and ordinances. Caretaker expressly agrees not to allow or permit controlled dangerous substances of any type, or paraphernalia used in connection with controlled dangerous substances, on the Property.
- C. The Caretaker will make the Property (excluding the House) available from time to time to members of the public, for the purpose of holding farm visits, educational field trips and similar low intensity events, provided such low-intensity events do not result in more than 40 persons being on the Property at one time.
- D. The Property may not be used by the Caretaker or anyone other than the County to generate revenue unless the County has first approved such use and any revenue generate by such approved use shall belong to the County. The County may agree in its approval of any such use to allow Caretaker to recoup approved costs that it incurs in connection with such revenue generating use.
- E. Caretaker and any roommate as provided above may keep their personal horses on the Property, but may not use the Property for public horseback riding or for-profit horseback riding, or stabling purposes.

4. CONSIDERATION: The parties are entering into this Agreement in consideration of the mutual undertakings provided for herein, each of which is deemed to be material and significant consideration. It is a material inducement to the County that the Caretaker shall manage, arrange for and perform the work described in the Exhibit attached hereto and incorporated herein as Exhibit C in accordance with the schedule attached and incorporated herein as Exhibit D and that the Caretaker take care of and maintain the Property in a good, safe, clean and neat condition in accordance with the terms of this Agreement, and that Caretaker perform the repairs, renovations, and ongoing maintenance provided for herein. Failure to repair, maintain or renovate the Property in accordance with the Agreement is a material breach and grounds for termination of the Agreement.

5. RENOVATION, REPAIR, MAINTENANCE AND CARETAKER SERVICES:

A. House. The work to be provided by Caretaker consists of providing the design, construction, management and oversight of the renovation work to the House. Any additional repairs or costs beyond such amount shall be borne by the Caretaker. The County approves the concept plan for such renovation work attached and incorporated herein as Exhibit C. Caretaker shall within thirty (30) days of execution of this Agreement provide the County, for its approval, detailed plans and cost estimates for the renovation work for the House (the approved plans are the "Renovation Plans"). Caretaker shall apply for and obtain all permits and approvals, including historic work permits, required for any work on the Property. Caretaker may not make any changes to the House other than as shown on the Renovation Plans. The work on the Renovation Plans must be completed in accordance with the schedule attached and incorporated herein as Exhibit D, which work must be completed by Caretaker no later than September 1, 2004.

B. Barn. Caretaker has obtained several bids for the stabilization of the main structure of the bank barn and the repair of its roof system. The County has approved the proposal from Cornerstone, Inc dated April 29, 2003, a copy of which is attached hereto as Exhibit E. Caretaker shall promptly engage Cornerstone, Inc. (provided that it 1. is a duly qualified and licensed contractor; 2. has provided insurance coverage in form and substance acceptable to the County and naming the County as an additional insured with provision that such coverage shall not be terminated nor materially modified without 60 days advance notice to the County; 3. obtained and indemnification of the County from the contractor in form and substance reasonably acceptable to the County; and 4. entered into a binding contract with Caretaker for the work

described in Exhibit E -- including obtaining any necessary permits) to perform the work described in Exhibit E. The County will pay Caretaker for such work in accordance with the provisions of section 8 below.

6. ASSIGNMENT OR LICENSING OF THE PROPERTY: Caretaker shall not assign this Agreement, nor sublease or license or allow the use of the Property or any part thereof without the County's written approval. Prior to execution of any license, assignment or use agreement for the Property, the Caretaker must first obtain the County's written consent, which consent may be withheld or granted in the County's sole discretion. In order to receive County consent to a prospective license, use agreement or assignment, the Caretaker shall submit to the County copies of the proposed license, use or assignment agreement, a description of the activities of the proposed user, licensee or assignee, and any other information pertinent to the proposed use. The County shall respond in writing within 30 days of receipt of the above materials. No response on the part of the County shall be deemed a denial. In the event this Agreement is assigned or any portion of the Property is licensed by the Caretaker, the Caretaker shall nonetheless remain responsible for the performance of all obligations required of the Caretaker under this Agreement.

7. MAINTENANCE AND OPERATION OBLIGATIONS OF THE CARETAKER:

- A. Caretaker is acting as a caretaker of the Property and is fully responsible, at Caretaker's sole risk and expense, to perform all maintenance, repair, and/or replacement necessary for the Property to be in a good, safe condition. As consideration for entering into this agreement, Caretaker expressly agrees to invest a minimum amount of \$1500 per month into the repair, restoration and maintenance of the Property. This amount may be established by receipts for labor and material provided in the provision of Caretaker services, or by providing acceptable evidence of the performance and value of work done to the Property. By the 15th of each month during this Agreement, Caretaker will provide the County with a listing of the repair, renovation and maintenance work which will be performed on the Property during the following month and the estimated cost and time involved with such work. Caretaker shall also provide the County with receipts and a full statement of the repair, renovation and maintenance work performed on the Property during the previous month.

The County shall review the repair, renovation and maintenance work proposed for the upcoming month and promptly advise the Caretaker whether any additional repair, renovation or maintenance is required during the upcoming month restore the Property to a good, safe condition or to protect the Property from damage or deterioration.

- B. As substantial consideration for the right to occupy the Property, Caretaker assumes, at Caretaker's exclusive risk and expense, full responsibility for the maintenance and repair of, including but not limited to, the building and equipment, fixtures, roof, windows, floors, walls, electrical systems, heating and air conditioning systems, and plumbing systems.
- C. The Caretaker is fully responsible at Caretaker's sole risk and expense, for all operating expenses for the Property, including, but not limited to, utility bills and expenses, trash removal, pest control, grounds maintenance, preventative maintenance, day-to-day minor and major maintenance, tree removal (but only with County consent), fence repair and/or replacement, repair or replacement of equipment and security of the Property.

8. INITIAL REPAIRS, RENOVATIONS AND CAPITAL IMPROVEMENTS:

- A. General: Caretaker must complete, at Caretaker's risk and expense, all repairs and renovations to the Property, in accordance with Exhibits B and C. Failure to complete such repairs and renovations in accordance with the schedule set out in Exhibit D and in a good and workmanlike manner shall be grounds for terminating this Agreement. County has the right to inspect, review and approve all work, materials and contractors being used on the Property. Caretaker's work is subject to the following conditions:
 - i. Caretaker must perform or cause to be performed all repairs, renovations and other work permitted hereunder in a good, safe, workmanlike manner.
 - ii. Caretaker must immediately pay and discharge all invoices and bills incurred in connection with any repairs or renovations or other

work performed hereunder, subject to payments by the County as set forth in subsection 8 D and E.

- iii. Caretaker must not allow any liens to attach to the Property.
- B. Applicable Laws and Regulations: The Caretaker shall be responsible for observing any and all laws, rules, regulations, codes and statutes relating to the work to be performed on the Property, and shall be responsible for obtaining all necessary work, building and historic area permits as required to complete the work. Recognizing that certain structures on the Property have been designated as having historic significance, the Caretaker shall observe the Secretary of the Interior's Standards for Historic Preservation Projects; Montgomery County Code Chapter 24A, entitled Preservation of Historic Resources; guidelines and regulations issued by the Montgomery County Historic Preservation Commission, and any other applicable laws, standards, codes and regulations relating to the renovation and preservation of historic structures.
- C. Hazardous Materials: Due to the age of some of the structures on the Property, Caretaker acknowledges that lead based paint, asbestos, and other hazardous materials may exist within the Property. The Caretaker shall be responsible for compliance with all applicable codes, rules, laws and regulations relating to the removal, mitigation or encapsulation of any such materials, at the Caretaker's risk and expense. Upon discovering any such material, Caretaker shall immediately provide the County with written notice of the presence of such material. Any removal, handling or encapsulation of such material must be in accordance with a plan first approved by the County. Caretaker shall also take all necessary measures to protect any individuals who may be exposed to such materials while on the Property, during or following the renovation period.
- D. County's Contribution: The County shall make a contribution toward the renovation and restoration of the Property and all structures thereon (including the barn), in an amount not to exceed THREE HUNDRED THOUSAND DOLLARS (\$300,000.00), of which amount an amount not

ceed \$240,000 shall be for restoration and repairs to the house and an amount not to exceed \$60,000 shall be for repairs to the barn per Exhibit E. With the approval of the County, amounts can be shifted between the House and the Barn. All project costs exceeding the County's contribution, as set forth hereinabove, shall be the responsibility of the Caretaker. The County and Caretaker acknowledge that the total cost of completing the full Scope of Requirements attached as Exhibits B, C and E is likely to exceed the County's contribution as herein set forth. It is the intent of the County and Caretaker that the Caretaker will generate the additional resources needed to complete the project through a variety of means, including donated or volunteer resources, private fund raising, and other sources identified by the Caretaker.

E. Disbursement of Funds: Exhibits B and C set forth estimates of the cost of completing each of the project milestones. The County shall disburse its contribution Payment for restoration and repair work as provided herein. No portion of the County's funds may be used for equipment or tools to be used in connection with work on the Property. The County will pay only for the fair and reasonable costs of repair and renovation work that it expressly authorizes to be performed in a notice to proceed containing a not to exceed amount for such work. Payments will be made only for work that 1) is actually completed and not defective; 2) has been approved by the County; and 3) for which waivers of liens have been provided by the Caretaker and its subcontractors or materialmen providing work on the Property. Caretaker shall use best efforts to comply with the County's MFD requirements. The County will use good faith efforts to process payment for each completed task within thirty (30) days following its inspection and approval of the completed work.

- i. Caretaker will not be entitled to any disbursement or contribution from the County for any finance charges, administrative costs, contractor fees other than for third party work, operating, routine maintenance or routine repair expenses, or any other ancillary costs except the actual cost of design, engineering and construction and/or costs directly related to the work specified in Exhibits B, C and E, which costs must be fully documented by Caretaker and must not exceed the amount allocated for the tasks as set out in Exhibits B, C and E (unless the County approves such excess amount in writing in which event the remaining available

contribution will be reduced by a like amount). In no event will the County be obligated to pay for anything for which it has not appropriated funds.

- ii. Repairs or improvements completed by Caretaker without the prior knowledge or written approval of the County will not be approved for disbursement.
- iii. In the event the work performed is not in compliance with the plans and specifications previously approved by the County, Caretaker will immediately undertake any necessary corrections at Caretaker's sole cost and expense. Corrective measures are not eligible for disbursement or reimbursement by the County. In the event Caretaker fails to take necessary corrective actions, if they are required by the County to correct deficiencies in work performed by Caretaker, any provision by the County for further disbursement of funds will be terminated, the Caretaker shall be considered to be in material breach of this agreement, and the County may proceed to terminate this Agreement, and pursue any and all other remedies available to the County under the law.
- iv. The County will not disburse funds in the event of default by Caretaker of any of the terms and conditions of this Agreement.

F. Future Changes or Improvements to Property: Caretaker must obtain the prior written consent of the County for all changes or improvements to the Property. Caretaker must submit complete plans, drawing, and specifications at least 45 days prior to beginning work. Caretakers's submittal must be of sufficient detail and content to permit the County to fully evaluate Caretaker's anticipated project. The County will respond in writing to Caretaker's submission within 45 days of the receipt of all required documentation. The County reserves the right to deny approval of any and all improvements proposed by Caretaker.

10/20/00 10:00 PM 270 111 1110 DIST. DIRECTOR S. DFC 2010

9. CONDITION OF THE PROPERTY:

- A. The Caretaker accepts the Property in its "as is" condition. The County makes no representation or warranties as to habitability or fitness for a particular purpose. Caretaker agrees that it has no claim for breach of any covenant of quiet enjoyment or habitability arising out of the condition of the Property. The Caretaker agrees to maintain the Property in good condition and state of repair and free of clutter throughout the term of this Agreement and any extensions thereof. The Caretaker agrees to keep the Property clean and neat in appearance at all times. The Caretaker shall not suffer or commit any waste to, in or upon said Property or fixtures, nor commit waste with regard to utilities furnished by the County. The Caretaker shall be liable for and make repairs to the Property, fixtures and appliances belonging thereto, resulting from damage by misuse or neglect of the Caretaker, the Caretaker's agents, servants or invitees. No improvement or alteration of the Property shall be made without the prior written consent of the County. The County shall not be responsible for any work or materials furnished on or to said Property, and Caretaker has no authority to incur any debt or make any charge against the County or to create any lien upon said Property for any work or materials furnished to the Property. The Caretaker shall give the County prompt notice of any defects in or accidents to the structures, plumbing, electrical wiring, heating or air conditioning apparatus or any other part of said Property in order that the same can be repaired with due diligence.
- B. Excavation Prohibited: Without the express written consent of the County, the Caretaker shall not cause, permit or suffer any grading, alteration, excavation, subsoiling, drainage improvement, or other undertaking which would materially disturb the surface or subsurface of the ground on the Property. Nothing herein contained, however, shall be construed so as to prohibit ordinary and customary agricultural practices on the Property, according to sound land management practices established by the American Soil Conservation Service.

10. INSURANCE:

- A. Caretaker agrees to obtain and maintain, during the full term of this Agreement, a policy of liability insurance with a minimum limit for bodily injury and property damage in the amount of one million dollars (\$1,000,000.00) per occurrence issued by an insurance company licensed in the State of Maryland and acceptable to the County. Montgomery County Government shall be named an additional insured under this policy.
- B. Caretaker agrees to obtain and maintain, during the term of this Agreement, a policy of All Risk Property insurance on the single family residence covering one hundred percent (100%) of the value of the improvements. The maximum deductible under this policy shall not exceed five hundred dollars (\$500.00). Montgomery County Government shall be named as loss payee under this policy. Caretaker agrees to include in any caretaker agreement a provision requiring that the caretaker obtain and maintain during the term of the caretaker agreement renter's insurance covering his or her personal property on the Property and general liability.
- C. In the event that work is done at the request of Caretaker, by persons who could make a claim against Caretaker, Workmans' Compensation Insurance Policy, if one is in effect, Caretaker must provide such coverage in amounts required by law.
- D. Additional Insured: Montgomery County Government must be named as an additional insured on all liability policies.
- E. Policy Cancellation: Forty-five (45) days written notice of cancellation or material change of any of the policies is required.
- F. Certificate Holder: The Certificate Holder on all insurance policies shall be Montgomery County Government, Department of Public Works and Transportation, 101 Monroe Street, Rockville, Maryland 20850.

- G. The Caretaker shall, no later than ten (10) days from the execution term of this Agreement pursuant to Paragraph 2 hereof, deliver to the County the said policies or certificates of insurance evidencing the coverage hereinabove stated. The Caretaker has the obligation to assure that the County has a valid unexpired certificate of insurance.

11. DEFAULT:

- A. Caretaker shall be considered in default of this Agreement upon the occurrence of any of the following:
- i. Failure to perform under any term, covenant or condition of this Agreement ("breach") and the continuance thereof for thirty (30) days after written notice from the County specifying said failure, unless the exigencies of the circumstances require a shorter time for rectifying the breach.
 - ii. The commencement of any action or proceeding for the dissolution or liquidation of Caretaker, or for the appointment of a receiver or trustee of Caretaker's property, and the failure to discharge any such action within thirty (30) days.
 - iii. The making of any assignment for the benefit of Caretaker's creditors.
 - iv. The abandonment of the Property by Caretaker.
- B. In the event that the Caretaker shall be in default as hereinabove stated, and shall fail to cure the breach within thirty (30) days (or such shorter time as the exigencies of the circumstances may require) after written notice from the County (or such period as may be reasonably required to correct the breach with exercise of due diligence), then and in every such case thenceforth, at the option of the County or the County's assigns, the Caretaker's right of use and possession shall thereupon end, and the County may proceed to recover possession under the laws of the State of Maryland (free and clear of Caretaker and his roommate) and seek any

- i. In the event of an emergency need for major repair or improvement, Caretaker will notify the County immediately, and the County will respond within an appropriate period of time, as dictated by the emergency situation and by the requirements of this Agreement.
- ii. The County has the right to inspect all work and materials before, during and after construction.
- iii. The total cost of all such changes or improvements will be borne solely by Caretaker. Caretaker will be solely responsible for obtaining all permits and licenses from all appropriate County, State, and/or municipal authorities.

G. Audit: The County has the right to audit all construction or other costs for which Caretaker requests payment. The Caretaker certifies that all information it has provided or will provide to the County is true and correct and can be relied upon by the County in entering into this Agreement, in making payments provided for herein, or in taking any other action with respect to this Agreement. Any false or misleading information provided by Caretaker is a material breach of this Agreement. The Caretaker certifies that its accounting system conforms with generally accepted accounting principles, is sufficient to produce reliable financial information. The County may examine the Caretaker's and its contractors' and subcontractors' records to determine and verify compliance with this Agreement and to verify the proper expenditure and use of funds upon and for the Property. The Caretaker, its contractors and subcontractors must grant the County access to these records at all reasonable time during the Agreement and for three years after the termination of the Agreement. The Caretaker must include conforming language to the requirements of this section in all of its contracts and subcontracts for work on and about and for the Property.

8. UTILITIES: The Caretaker shall be responsible for the payment of all utilities, including electricity, water, fuel, and telephone.

other remedy to which the County may be entitled under this Agreement and under the laws of the State of Maryland.

12. NON-DISCRIMINATION: Caretaker agrees to comply with the non-discrimination and employment policies in County contracts as required by Section 11B-33 and Section 27-19 of the Montgomery County Code, 1994, as amended, as well as all other applicable state and federal laws and regulations regarding employment discrimination and housing discrimination. The Caretaker assures the County that in accordance with applicable law, it does not, and agrees that it will not, discriminate in any manner on the basis of age, color, creed, national origin, race, religious belief, sexual preference or handicap.

13. COUNTY NOT A PARTNER: It is expressly understood that the County shall not be construed or held to be a partner or associate of the Caretaker in the conduct of Caretaker's business; it being expressly understood that the relationship between the parties hereto is and shall remain at all times that of County and Caretaker.

14. CONTRACT SOLICITATION: The Caretaker represents that the Caretaker has not retained anyone to solicit or secure this Agreement from Montgomery County, Maryland, upon an agreement or understanding for a commission, percentage, brokerage or contingent fee, excepting for bona fide employees or bona fide established commercial, selling or leasing agencies maintained by the Caretaker for the purpose of securing business or an attorney rendering professional legal services consistent with applicable canons of ethics.

15. SURRENDER OF POSSESSION: Caretaker covenants, at the expiration or other termination of this Agreement, or upon the County's recovery of possession of the Property, to remove all personal property from the Property not the property of the County, and to yield up to the County the Property and all keys, locks and other fixtures connected therewith (except furnishings belonging to Caretaker) in good repair, order and condition in all respects, reasonable wear and use thereof and damage by fire or other casualty and damage from any risk with respect to which Caretaker is not herein expressly made liable excepted. All improvements made upon and fixtures installed upon the Property will be the property of the County.

16. ACCESS: The Caretaker shall allow the County and the County's employees or agents to have access to the Property at all reasonable times, during normal working hours for the

purpose of inspection, or in the event of fire or other property damage, or for the purpose of performing any work which the County considers necessary or desirable, or for any other purpose pursuant to the reasonable protection of the Property. The Caretaker and any occupant shall allow access by the County to the single family residence in accordance with applicable law. The Caretaker shall not alter or change the exterior locks installed on the Property, and in the event of an approved change, shall provide the County with keys to the facility, said keys to be used by the County to obtain access to the Property in emergency situations.

17. STANDING: The Caretaker hereby agrees that it will not rely on its interests in real property created by this Agreement to establish its standing to pursue either administrative or judicial remedies with regard to any solid waste or recycling facility of the County, either existing, proposed or proposed in the future.

18. FORCE MAJEURE: Anything in this Agreement to the contrary notwithstanding, providing such cause is not due to the willful act or a neglect of either party, neither party shall be deemed in default with respect to the performance of any of the terms, covenants and conditions of this Agreement if the same shall be due to any strike, lockout, civil commotion, warlike operation, invasion, rebellion, hostilities, military or upsurged power, sabotage, government regulations or controls, inability to obtain any material, service or financing, through an act of God or other cause beyond the control of either party. In the event that any of the above events beyond the control of either party shall render the Property uninhabitable or shall frustrate the caretaking and restoration purposes of this agreement, either party shall have the right to terminate this Agreement by providing thirty (30) days notice to the other.

19. HOLD HARMLESS: Caretaker agrees to protect, indemnify and hold harmless the County, its officers, employees and agents (the "Indemnified Parties") from and against all liabilities, actions, damages, claims, demands, judgments, losses, costs, expenses, liens, encumbrances, suits or actions and attorneys' fees, and the cost of the defense of the Indemnified Parties in any suit, including appeals, for personal injury to, or death of, any person or persons, or loss or damage to property caused by any act, intentional or negligent of the Caretaker, its agents, roommates, licensees, invitees, contractors, subcontractors or employees, at or upon the Property or any part thereof, or in connection with or as a result of this Agreement any use or rights hereunder, or the performance by the Caretaker of its obligations hereunder, except to the extent that the injury, death, loss or damage was the result of the willful misconduct or negligent acts,

errors or omissions of such Indemnified Party. The foregoing indemnification also applies to any liabilities or penalties arising out of any violation of any law, ordinance regulation or permit. These indemnification provisions are for the protection of the Indemnified Parties only and must not establish, of themselves, any liability to third parties.

20. RESPONSIBILITIES OF CARETAKER: Caretaker covenants and agrees as follows:

- A. Caretaker shall not strip, overload, damage or deface the Property, hallways, stairways or other approaches thereto or the fixtures thereupon or used therewith, nor suffer or permit any waste in or upon said Property.
- B. Caretaker shall not keep gasoline or other flammable material or any explosive within the Property which will increase the rate of all risk insurance on the Property beyond the ordinary risk established for the type of operations described herein. Any such increase in the insurance rate due to the above, or due to Caretaker's special operations within the Property, shall be borne by Caretaker. Caretaker shall not willfully do any act or thing in or about the Property which may make void or voidable any insurance on the Property, and Caretaker agrees to conform to all rules and regulations established from time to time by the County, the Maryland Insurance Rating Bureau, or any other authority having jurisdiction over such matters.
- C. Caretaker shall not use the Property or allow the Property to be used or any part thereof for any illegal, unlawful or improper purpose or for any activity which will constitute a public or private nuisance to adjacent properties or the adjacent neighborhood.
- D. Caretaker shall not place upon the Property any placard, sign, lettering or awning except such, and in such place and manner as shall have been first approved in writing by the County, and provided that the Caretaker complies with all relevant local ordinances and regulations.
- E. Caretaker acknowledges that all responsibilities of Caretaker relating to the use or misuse of the Property and anything therein shall be construed

to include use or misuse thereof by Caretaker's agents, employees, contractors, subcontractors, roommates and invitees.

- F. Caretaker shall comply with all reasonable rules and regulations with regard to the use of the Property that may be from time to time promulgated by the County and any violation of said rules and regulations shall be deemed to constitute a violation of this Agreement. It is understood that such rules and regulations shall not unreasonably interfere or prevent the intended uses of the Property as set forth in this Agreement.

21. DESTRUCTION OF PROPERTY:

- A. In the event the Property is destroyed or damaged from whatever cause so as to render all or a substantial portion of the Property unfit for the purposes for which the Property is used, and the repair of said destruction or damage cannot reasonably be accomplished within available insurance proceeds within ninety (90) days from the date of such damage, Caretaker and the County shall each be entitled to terminate this Agreement by written notice to the other within thirty (30) days after the destruction or damage occurred.
- B. In the event that the County or Caretaker as their interests may appear, are able to undertake the repair of the Property, they shall complete said repairs within ninety (90) days or within a reasonable time, given the circumstances of the necessary repairs, from the date of destruction or damage and this Agreement shall not be affected.
- C. In the event that parties are not able to repair the Property as hereinabove provided, this Agreement shall terminate immediately upon notice from the County and Caretaker shall not be entitled to any compensation or payment from the County for the value of any remaining term of the Agreement.

D. All insurance proceeds (except "renter" insurance proceeds specifically covering Caretaker's personal belongings) shall be immediately paid to the County.

22. NOTICE OF DEFECTS: Caretaker shall give to the County prompt written notice of accidents in or damages to the Property.

23. COMPLIANCE WITH LAWS: It is understood, agreed and covenanted by and between the parties hereto that Caretaker, at Caretaker's expense, will promptly comply with, observe and perform all of the requirements of all of the statutes, ordinances, rules, orders and regulations now in effect or hereinafter promulgated whether required by the Federal Government, State of Maryland, Montgomery County Government, Montgomery County Department of Environmental Protection, Montgomery County Department of Public Works and Transportation, Montgomery County Health Department or Montgomery County Fire Marshal's Office. The foregoing shall not be construed to preclude the Caretaker from exercising its legal right to contest the validity of legislation through judicial process, provided that the Caretaker shall continue to fully comply with the provisions of this Paragraph pending the outcome of the Caretaker's efforts.

24. PARTIAL INVALIDITY: In case any provision or any part of any provision contained in this Agreement shall for any reason be held to be invalid, illegal or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect any other provision or remaining part of the affected provision of this Agreement, but this Agreement shall be construed as if such invalid, illegal or unenforceable provision or part thereof had never been contained herein but only to the extent it is invalid, illegal or unenforceable. In the event that any such provision may be construed so as to overcome any such potential invalidity, illegality or unenforceability, then a liberal interpretation shall be applied and the Agreement shall be interpreted in such a manner favorable to its validity, legality and enforceability, it being the express intention of the parties hereto to fully perform the obligations contained herein and the purposes sought hereby. And it is also the intention of the both parties that in lieu of each clause or provision that is illegal, invalid or unenforceable, there be added, as a part of this Agreement, a clause or provision as similar in terms to such invalid, illegal or unenforceable clause or provision as may be possible and be valid, legal and enforceable.

25. WAIVER: The failure of either party to insist on any occasion upon the strict performance of any covenant, condition or agreement herein contained shall not constitute or operate as a waiver of such covenant, condition or agreement on that occasion or any subsequent occasion. No mention in this Agreement of any specific right or remedy shall preclude either party from exercising any other right or from having any other remedy or from maintaining any action to which it may otherwise be entitled either at law or in equity. The County specifically does not waive its police powers or any authority to enact legislation or administer or enforce its legal rights or obligations.

26. PUBLIC EMPLOYMENT: Caretaker understands that unless authorized under Section 11B-52 and Chapter 19A of the Montgomery County Code (1994), as amended, it is unlawful for any person transacting business with Montgomery County, Maryland, to employ a public employee for employment contemporaneous with his or her public employment.

27. HOLDOVER: In the event that the Caretaker shall continue to occupy the Property or any part thereof after the conclusion of the term of this Agreement, or any extensions thereof, with prior written authorization of the County the tenancy thus created shall be deemed to be upon a month-to-month basis and may be terminated by either party giving the other not less than thirty (30) days written notice, to expire on the day of the month from which the tenancy commenced. During any month-to-month tenancy, both parties shall continue to observe all agreements, covenants and conditions contained in this Agreement.

28. PROHIBITION OF HAZARDOUS SUBSTANCES: The Caretaker agrees not to store or bring hazardous substances onto the Property. The Caretaker shall be responsible for and shall indemnify and defend the County against any and all claims of any personal injuries or personal and real property damage as a result of any hazardous substance being brought on the Property by the Caretaker, its agents, contractors, subcontractors, employees, roommate, or invitees.

29. NON-APPROPRIATION: This Agreement and expenditures hereunder are subject to the annual appropriation of funds. The County shall give Caretaker at least thirty (30) days written notice of the lack of appropriation and either party may terminate this Agreement due to such non-appropriation.

30. MAILING NOTICES: Unless otherwise provided herein, whenever notice is to be given under the terms of this Agreement, such notice shall be deemed to have been given three (3) United States Postal Service working days after enclosed in an envelope having the proper postage, addressed to the party, and deposited at the United States Post Office or mailbox. Any such notice shall be in the form of Certified Mail, Return Receipt Requested. Notices to the respective parties shall be addressed as follows:

COUNTY:

Montgomery County Executive
101 Monroe Street
Rockville, Maryland 20850

CARETAKER:

Robert B. Harney
7218 Beacon Terrace

Bethesda, Maryland 20817

With a copy by First-Class Mail to:
County Attorney for Montgomery County, Third Floor
101 Monroe Street
Rockville, Maryland 20850
and

Montgomery County
Department of Public Works
and Transportation
Chief, Division of Solid Waste
101 Monroe Street, Tenth Floor
Rockville, Maryland 20850

31. GENERAL PROVISIONS: This document represents the entirety of the Agreement between the parties hereto with respect to the subject matter hereof and shall not be amended, altered or modified except by writing duly executed by each of the parties hereto. This Agreement shall be binding upon the parties and their respective successors and assigns. This Agreement and its provisions shall be governed and construed in accordance with the laws of the State of Maryland.

32. VENUE: This Agreement covers property in Montgomery County, Maryland. Any suit filed meeting the jurisdictional requirements of the Circuit Court for Montgomery County must be filed in that forum and the parties expressly agree to a waiver of jury trial in any such proceedings.

33. ASSIGNMENT: This Agreement is not assignable.

34. APPROVALS: In each instance in this Agreement requiring County approval or consent, such consent or approval must be in writing signed by a duly authorized representative of the County. Caretaker may not rely upon verbal approval or consent.

35. CONDEMNATION: In the event that the Property, or any part thereof, is taken or condemned for public use or purpose by any competent authority, Caretaker shall have no claim against the Landlord and shall not have any claim or right to any portion of the amount that may be awarded as damages or paid as a result of any such condemnation; and all rights of the Caretaker to damages therefore, if any, are hereby assigned by the Caretaker to the Landlord. Upon such condemnation or taking, the term of this Agreement shall, at the option of either party, cease and terminate from the date of such governmental taking or condemnation and the Caretaker shall have no claim against the Landlord for the value of any unexpired term of this Agreement. The foregoing notwithstanding, Caretaker shall be entitled to claim in a separate proceeding and to prove and receive in such separate proceeding such award as may be allowed for relocation expenses.

36. TERMINATION FOR CONVENIENCE OF THE GOVERNMENT:

Performance under this agreement may be terminated in whole or in part, whenever the Chief Administrative Officer of Montgomery County shall determine that termination of this Agreement is in the best interest of Montgomery County. In the event of termination, the County shall be liable for performance due or becoming due prior to the effective date of termination. Termination hereunder shall be effected by delivery to the Lessee of written Notice of Termination, upon which date the termination shall become effective.

37. INCORPORATION OF RECITALS: The recitals are incorporated into this Agreement as if fully set forth herein.

SIGNATURE PAGE TO FOLLOW

IN WITNESS WHEREOF, the parties hereto have caused this agreement to be properly executed.

WITNESS:

COUNTY:

MONTGOMERY COUNTY, MARYLAND

By: Rebecca J. Domaruk

By: William M. Mooney, Jr.
William M. Mooney, Jr., Assistant
Chief Administrative Officer

Date: Oct, 10, 2003

Date: 10/23/03

WITNESS:

CARETAKER:

ROBERT B. HARNEY

By: [Signature]

By: Robert B. Harney

Date: 10.17.03

Date: 10-13-03

APPROVED AS TO FORM & LEGALITY
OFFICE OF THE COUNTY ATTORNE

RECOMMENDED

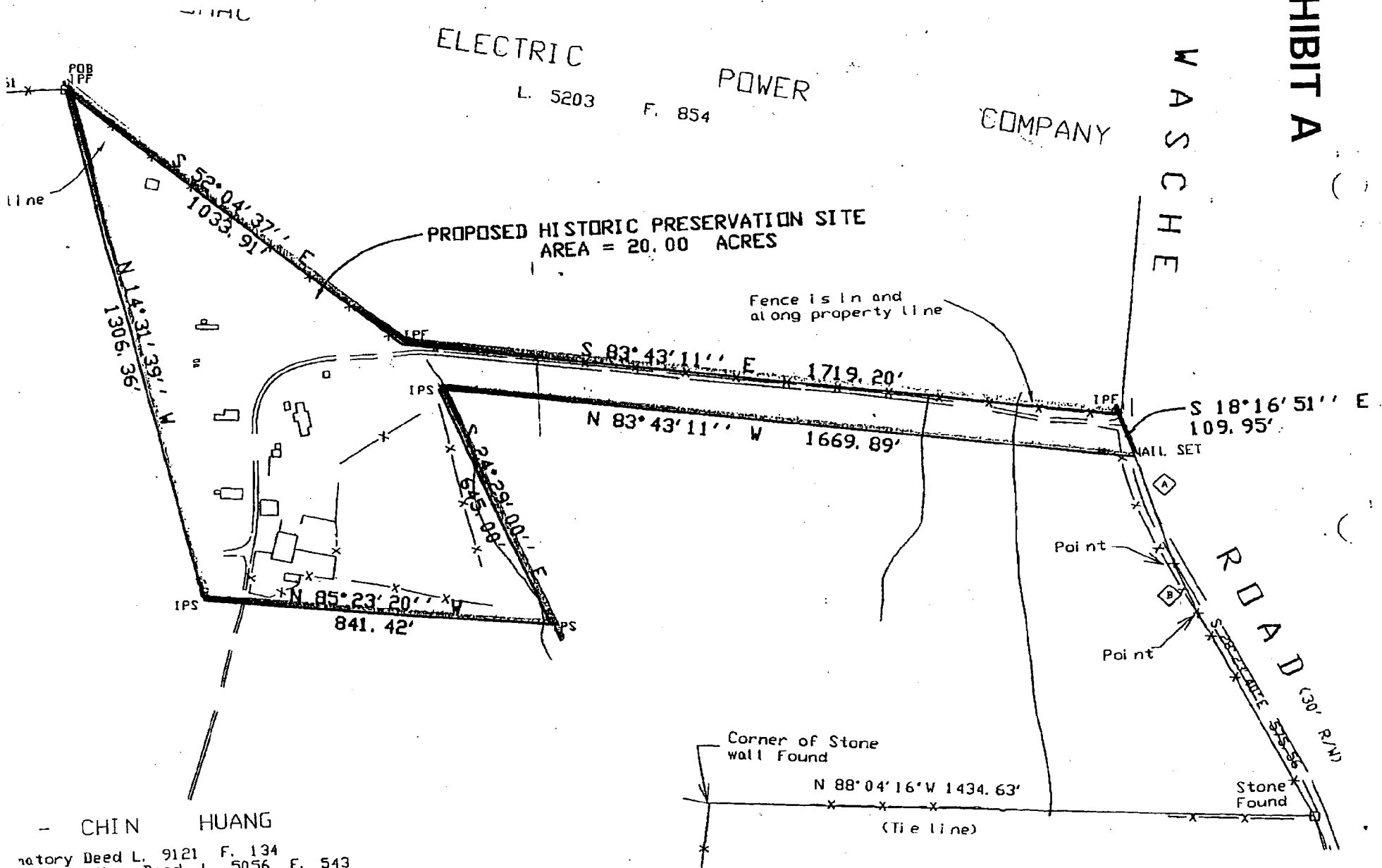
By: Deane R. A. Jones

By: [Signature]

Date: 10/16/2003

Date: 10.13.03

EXHIBIT A



notary Deed L. 9121 F. 134
 Descriptive Deed L. 5056 F. 543

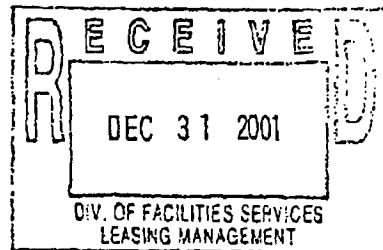
Proposal for the Leasing
And Restoration
Of
The Edward Chiswell Farm Property

20130 Wasche Rd.
Dickerson, MD 20842

Prepared by:

Paul Harney and Robert Harney
17553 Kohlhoss Rd.
Poolesville, MD 20837
301-972-7510 phone
240-255-0726 fax
301-717-1577 cell

EXHIBIT B



December 2001

Mr. Steve Hayes
Montgomery County Division of Facilities and Services
101 Orchard Ridge Dr., 2nd Floor
Gaithersburg, MD 20878

Dear Steve,

I would like to thank you for the opportunity to submit a proposal to Lease and Restore the Chiswell Property in Dickerson. As long time Poolesville / upper Montgomery County residents for over 20 years, we have a great appreciation for what this area has to offer. The county is filled with treasures from the past, some well known, and others not. We feel it would be a great asset to the surrounding area, to have access to, as well as a more thorough knowledge of the Chiswell Property.

On the pages that follow, I have presented a plan that we feel would be in the best interest of the property as well as the county.

If our proposal were not "individually" accepted, we would like to be considered as a part of a co-tenant or sub-lease situation. We may not have the financial backing or reserves required to satisfy the County requirements for taking on the entire project, but we have a great deal of experience (over 40 years) in assisting on a Restoration of the Chiswell Property. I have also been doing a great deal of research into the grants, donations and low-interest loans that are available for such a project.

Thank you in advance for your consideration in the approval process.

Sincerely,

Paul Harney and Family

Our plan is to initially keep the structure the size that it is now (without the addition), and be able to utilize the space it currently offers, to house a family of 5. This would greatly reduce the funds needed for the first phase of the project, as well as drastically reduce the time needed to complete it. Future plans could include an addition onto the property by use of grants, loans, donations and fund-raising dollars. Our estimate of the costs needed to complete the main house, as well as some of the important structural work on the large barn, fall within the available county funds that will remain after the work being done now.

The figures below assume that the major systems, already begun by the county, will be completed - Roof, gutters, heating/cooling, main electrical system and an operational well and septic system.

2 bathrooms @ 5000.00 each	10,000.00
Full Kitchen	15,000.00
New windows, frames and trim	10,000.00
Plaster, drywall and finish work	10,000.00
Carpet, woodwork and flooring	15,000.00
Plumbing and electrical finish work	15,000.00
<u>Paint (int. & ext.) repairs and finish work</u>	<u>10,000.00</u>
Main house subtotal =	85,000.00
Stabilize main structure of Bank Barn	
<u>And repair roof system</u>	<u>20,000.00</u>
Total first phase dollars estimate =	105,000.00

The above items would be completed on an 18-24 month schedule.

After the short-term, immediate needs above, we would concentrate on the remainder of the out buildings, as well as maintenance and upkeep.

Once we can fully occupy the property, we will have 1200-1500.00/month available for the maintenance and upkeep of the home, out buildings and land as needed. It is our goal that the main house would be occupied full-time in a 9-12 month time frame, or sooner if possible. This would ensure that the home and property would be overseen and maintained on a continuous basis since it would become our primary residence. With our proximity to the property now (4 miles from our home in Poolesville) it would permit frequent ongoing visits to monitor progress, perform work etc...

CHISWELL FARM
SCHEDULE OF WORK

Schedule of work to be done on existing main house:

1. Install proper basement storm cellar door.
2. Remove all plaster ceilings and wood lath.
3. Remove existing floor in original kitchen area.
4. Point up and repair all plaster walls as needed.
5. Install chair rail and 33" wainscot in dining area.
6. Sand and refinish all existing wood doors and wood trim.
7. Refurbish all door locks and hinges.
8. Run all new electric to code.
9. Run a new heating system in all rooms. (Not sure if it will be hot water baseboard or electric baseboard with thermostat in each room).
10. Refinish or replace all windows.
11. Repair or replace wood floors where possible.
12. Sand and refinish all wood floors as needed.
13. Repair air vent windows in basement area.
14. Repair front porch; sand and paint floor; repair, sand and paint ceiling; refinish all other woodwork on porch and paint.
15. Paint all walls and ceilings in house.

EXHIBIT C

CHISWELL FARM
SCHEDULE OF WORK

Time Element For Job:

Existing House:

1. Demolition will be done first.
2. Electrical and plumbing rough-in. All times for work will depend upon sub-contractor's schedule.
3. Point up of all plaster walls.
4. Install chair rails and wainscoting.
5. Refurbish all doors and woodwork.
6. Refurbish all windows.
7. Install all drywall ceilings and finish ready for paint.
8. Paint all walls, ceilings, doors and woodwork.
9. Refinish all floors.
10. Refinish front porch.

The time element from start to finish for existing house will be 18 to 24 months.

New Addition:

The time element for the new addition, from start to finish after approved plans and building permit, will be 12 months, weather permitting. All work will progress in order of normal building practices, and county building in sections.

EXHIBIT D

CHISWELL FARM
SCHEDULE OF WORK

New Addition:

1. Construction of a new, two-story addition on rear of house - size to be 25' x 26' approximately - to include kitchen, powder room, and family room on first floor. On second floor a master bedroom with two closets, a master bath, a bathroom with shower for the existing house, and a porch on the second floor.

All finishes according to approved plans. Plans are to be approved by the historical society.

FROM: BOB-HARNEY

FAX NO. : 3013657199

22 2023 10:08AM P2
P. 01



Cornerstone, Inc.

P.O. Box 6
Beallsville, MD 20839
(301)972-8700 Fax (301)428-8032

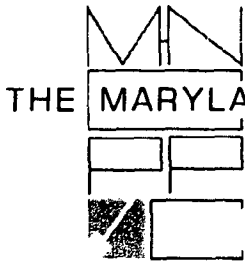
Proposal

Date: April 29, 2003
To: Bob Harney
From: Ron Magaha
RE: Chiswell Farm - 20130 Wascha Road
45' x 72' Bank Barn

(1)	Shore up under barn - move barn floor back and straighten main beams - replace main support posts under beams and set on concrete footers	\$ 32,000.00
(2)	Shore up main doors up stairs and replace with new sliding doors	8,000.00
(3)	Tear off and replace roof with colored metal	18,000.00
		<hr/>
	TOTAL COST	<u>\$ 58,000.00</u>

EXHIBIT E





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

FAX TRANSMITTAL SHEET

Historic Preservation Office
Department of Park & Planning

Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

TO: George Myers FAX NUMBER: 301-942 3929

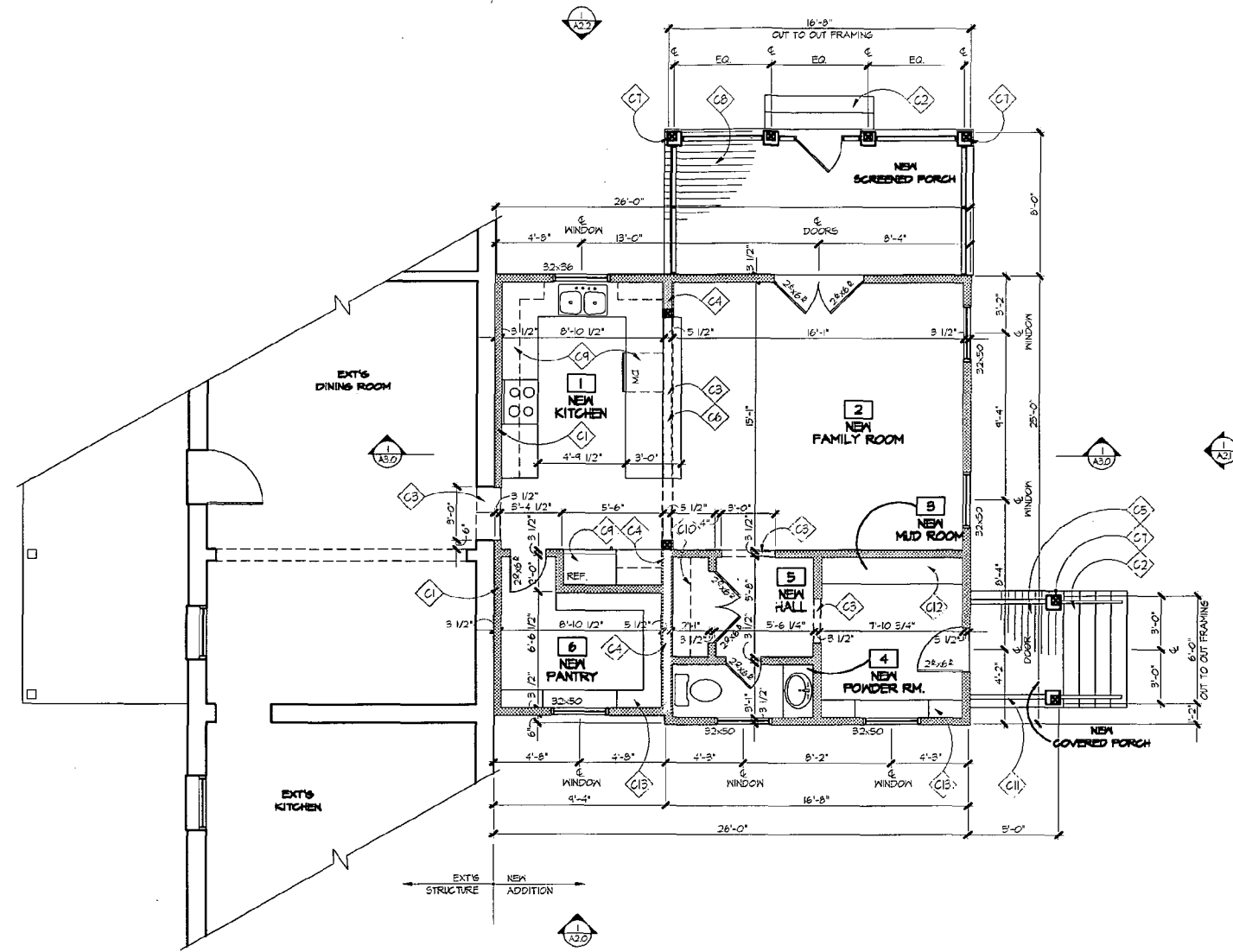
FROM: Michele Harney

DATE: 5/5/04

NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 2

NOTE: GEORGE,
NO LAUGHING @ THESE SKETCHES!
THESE ARE THE MODIFICATIONS
THAT MR HARNEY + I DISCUSSED
THIS AM. AS I SAID ON THE PHONE,
I DON'T NEED MODIFIED DWGS 'TIL THE
NIGHT OF THE 12TH —

THANKS AGAIN FOR YOUR
HELP W/ THIS PROJECT.



FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- C1 PUR. OUT WALLS W/ FULL 2x4'S
- C2 NEW EXTERIOR WOOD STAIR TO GRADE, VERIFY RISE AND RUN IN FIELD
- C3 NEW CASSED OPENINGS
- C4 2x6 LOAD BEARING WALL
- C5 P.T. DECKING
- C6 HALF WALL BELOW COUNTER
- C7 WRAP 6x6 POST W/ 5/4" TRIM, OUTSIDE FINISH DIMENSION: 8 3/4" SQUARE
- C8 T&G FLOORING, MATERIAL T.B.S
- C9 NEW KITCHEN CABINETS, APPLIANCES + COUNTER TOPS, ETC., TO BE SELECTED, SEE ALLOWANCES
- C10 CLOSET SHELVES + RODS, BY OWNER
- C11 PTD. SMOOT RAILING SYSTEM, SEE ELEVATIONS
- C12 PTD. BUILT-IN BENCH W/ HOOKS
- C13 PTD. BUILT-IN SHELVES

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley

- NOTE:
1. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD
 2. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING

WALL TYPES

TYPICAL EXTERIOR WALL: 2"x4" WOOD STUDS 16" O.C., W/ R-15 INSULATION + W/ VAPOR BARRIER, 1/2" OSB SHEATHING, TYVEK BUILDING WRAP, & SIDING PER ELEVATIONS
INTERIOR FINISH TO BE GYP. BD. (1/2")

TYPICAL NON-BEARING INTERIOR PARTITION: 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.

GTM
ARCHITECTS
10415 ARDMORE AVENUE
KENSINGTON, MD. 20845
(301)442-4062
(301)442-3421 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
FIRST FLOOR PLAN

CHISWELL FARM

REVISIONS:

SEAL:

DRAWN BY: DER

CHECKED BY: GTM

SCALE: AS NOTED

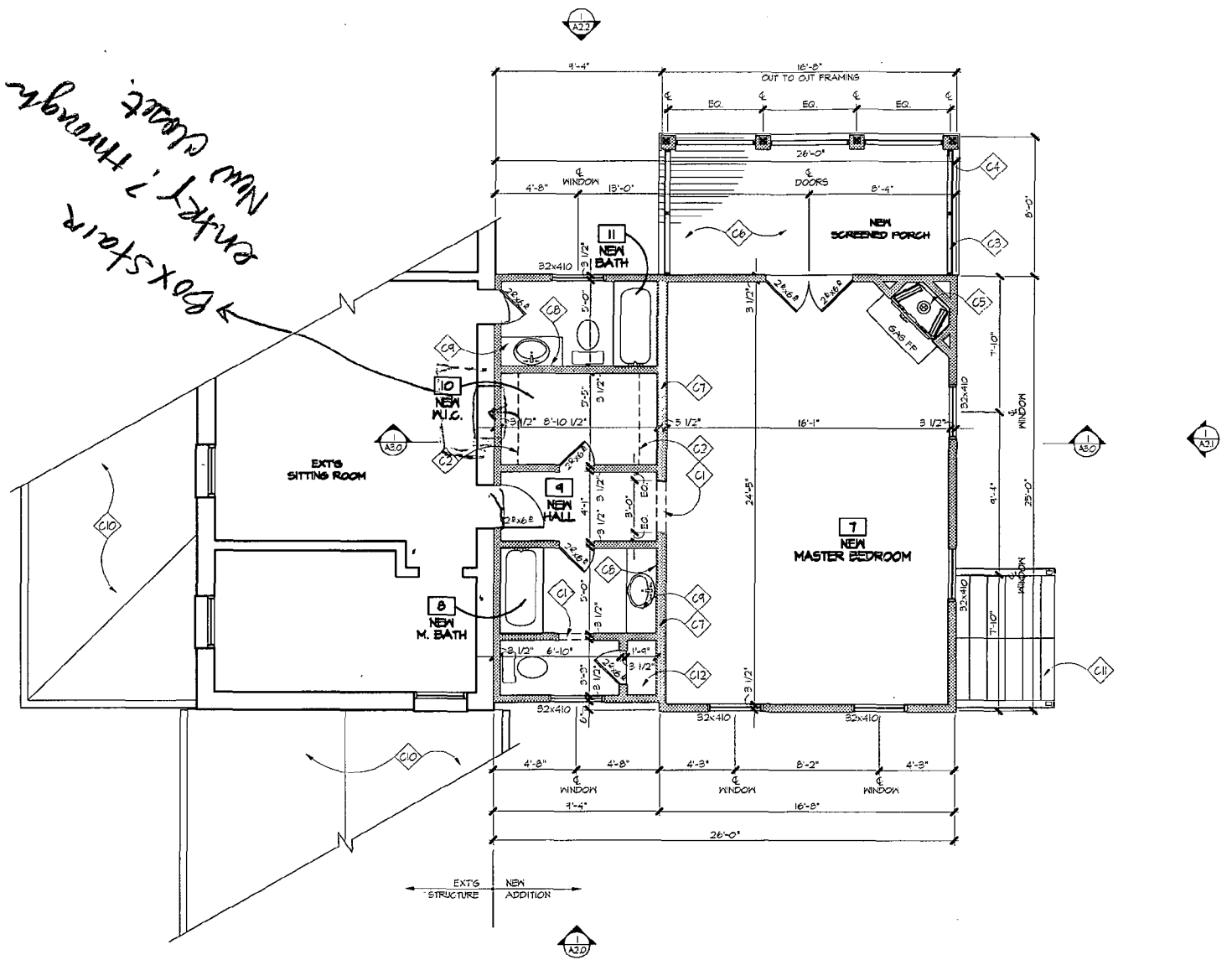
DATE: 06.16.04

PROJECT NO. 2004243

DRAWING NO.

A1.0

Box stair
entry through
NW closet



1 SECOND FLOOR PLAN
A1.1 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- C1 NEW CASSED OPENING
- C2 CLOSET SHELVES + RODS, BY OWNER
- C3 FTD. SMOOT RAILING SYSTEM, SEE ELEVATIONS
- C4 WRAP 6x6 POST W/ 5/4" TRIM, OUTSIDE FINISH DIMENSION: 8 3/4" SQUARE
- C5 GAS FIREPLACE, SIZE T.B.D.
- C6 T&G FLOORING @ PORCH, MATERIAL T.B.S.
- C7 2x6 LOAD-BEARING WALL
- C8 1/4" PLATE GLASS MIRROR, SEE INTERIORS FOR EXTENT OF HEIGHT
- C9 VANITY, TO BE SELECTED
- C10 EXTS ROOF BELOW
- C11 NEW METAL ROOF BELOW, SEE ROOF PLAN
- C12 PROVIDE (8) EQUALLY SPACED SHELVES

GTM ARCHITECTS

1045 ARDORY AVENUE
KEESINGTON, MD. 20895
(301)442-4062
(301)442-3424 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
SECOND FLOOR PLAN

CHISWELL FARM

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley

WALL TYPES

TYPICAL EXTERIOR WALL: 2"x4" WOOD STUDS 16" O.C., W/ R-15 INSULATION & W/ VAPOR BARRIER, 1/2" OSB SHEATHING, TYVEK BUILDING WRAP, & SIDING PER ELEVATIONS
INTERIOR FINISH TO BE 6TP. BD. (1/2")

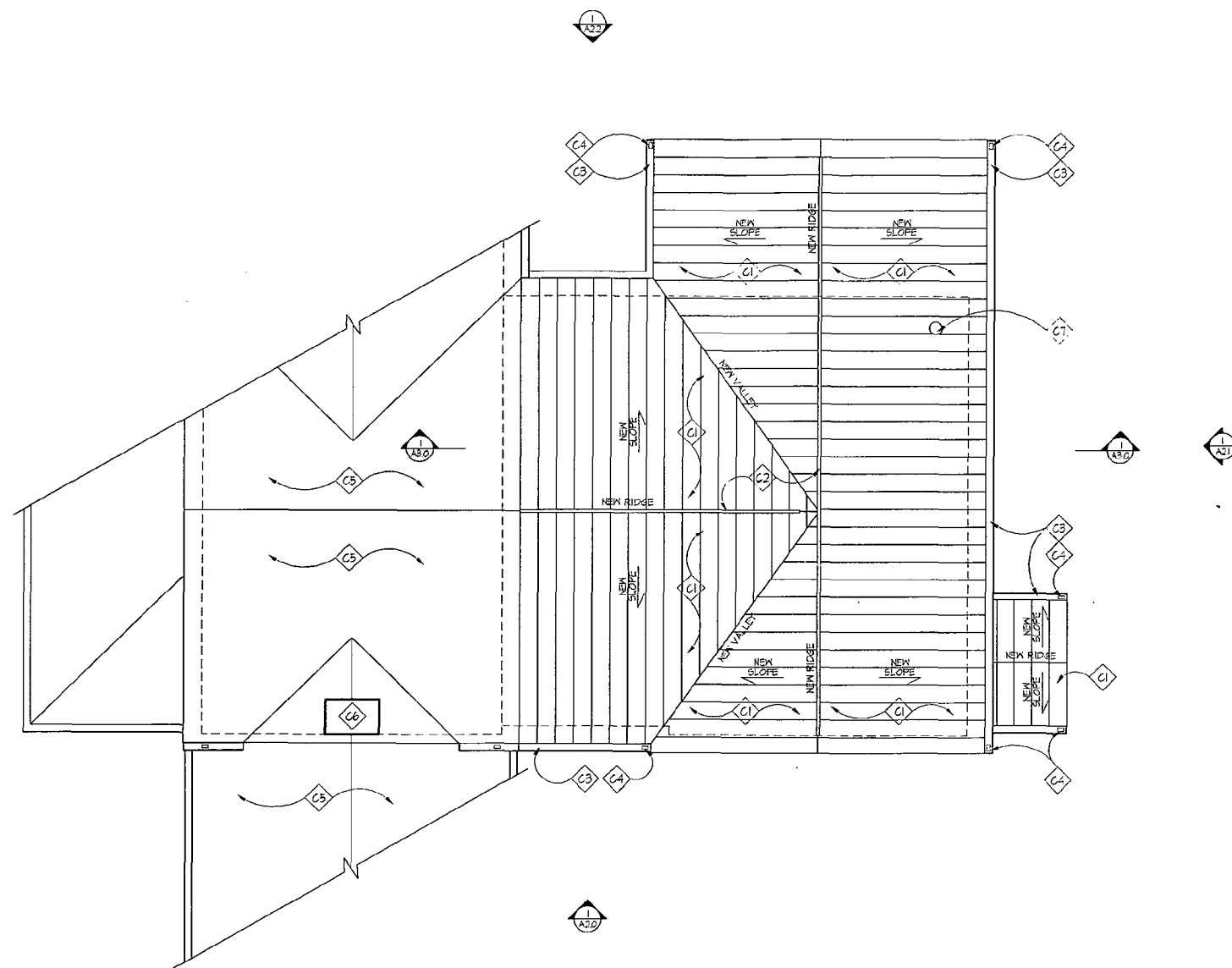
TYPICAL NON-BEARING INTERIOR PARTITION: 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.

REVISIONS:

SEAL:

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 06.16.04
PROJECT NO: 2004243
DRAWING NO:

A1.1



1 ROOF PLAN
 A1.2 SCALE: 1/4"=1'-0"

ROOF NOTES

- C1 NEW METAL ROOF, T.B.S.
- C2 RIDGE VENTS BY "COR-A-VENT" OR APPROVED EQUAL.
- C3 NEW GUTTER, TO MATCH EXT'G
- C4 NEW DOWNSPOUT, TO MATCH EXT'G
- C5 EXISTING ROOF
- C6 EXISTING CHIMNEY
- C7 GAS FIREPLACE VENT

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia O'Malley

GENERAL ROOFING NOTES

1. PROVIDE WEATHER GUARD UNDERLAYMENT UNDER SHINGLES @ ALL VALLEYS, @ ALL PERIMETER AREAS (3'-0" BACK FROM FASCIA), AND ON ALL AREAS W/ SLOPE LESS THAN 4:12.
2. SEE FRAMING PLANS FOR OVERBUILD AREAS.
3. INSTALL CHIMNEY ANCHORAGE STRAPS AS PER IRC, 2000 EDITION TABLE R1005.1 AND FIGURE R1005.1
4. INSTALL AND FLASH SKYLIGHTS PER MANUFAC.

GTM
 ARCHITECTS
 10415 ARKORY AVENUE
 KENSINGTON, MD, 20898
 (301)442-4062
 (301)442-3424 FAX

20180 WASCHE ROAD
 DICKERSON, MD 20842
 ROOF PLAN

**CHISWELL
 FARM**

REVISIONS:

SEAL:

DRAWN BY:	DER
CHECKED BY:	GTM
SCALE:	AS NOTED
DATE:	06.16.04
PROJECT NO.:	2004243
DRAWING NO.:	

A1.2

FILE NAME: 0-000-A1

REVISIONS:

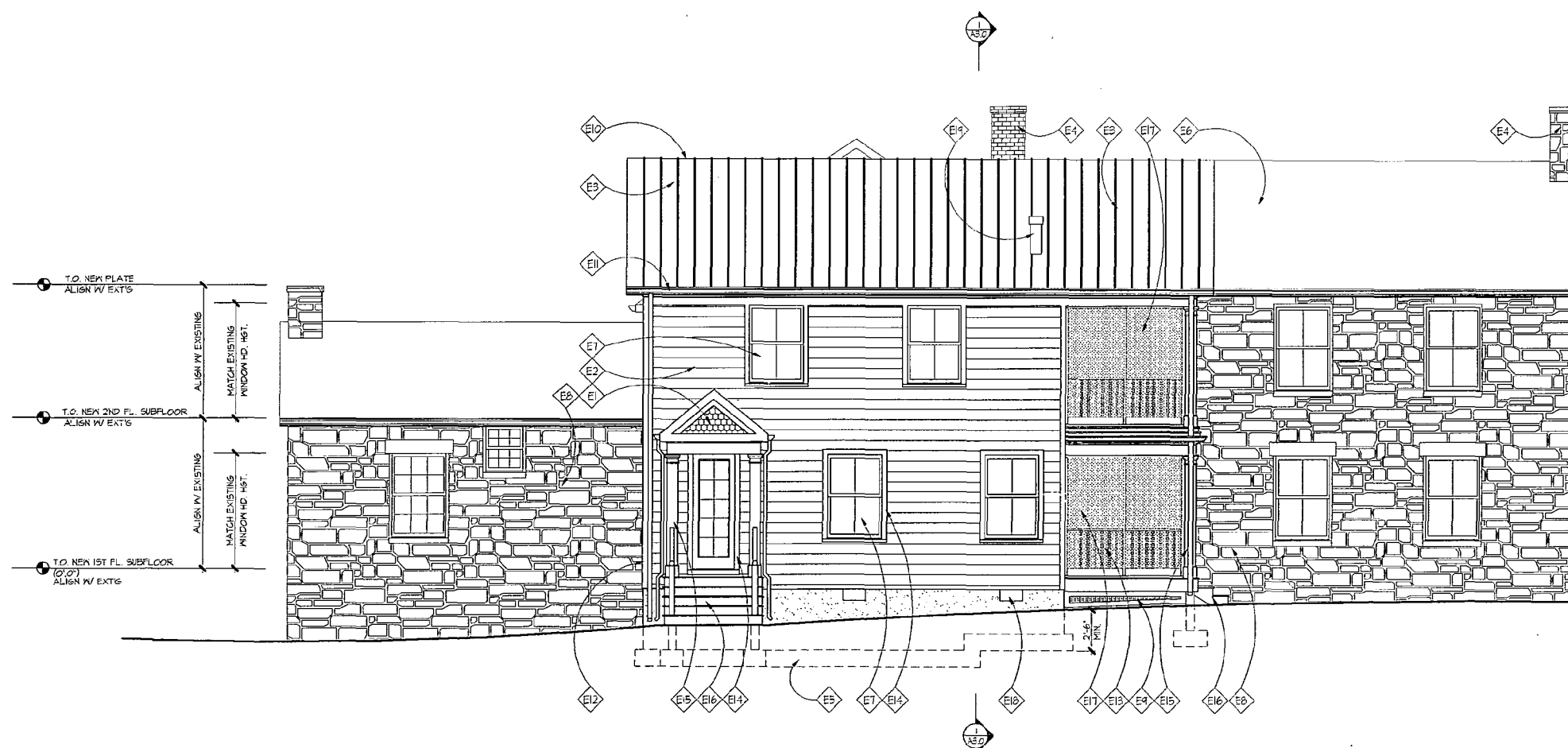
SEAL:

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 06.16.04
PROJECT NO: 2004243
DRAWING NO:

A2.1

ELEVATION NOTES

- E1 FISHSCALE SIDING, TO MATCH EXTG
- E2 NEW PTD. HARDI-PLANK SHOOOTH LAF SIDING
- E3 METAL ROOF
- E4 EXISTING CHIMNEY
- E5 LINE OF FOUNDATION
- E6 EXISTING SLATE ROOF
- E7 WOOD WINDOWS, MATCH EXTG'S GRILL PATTERN
- E8 EXISTING STONE
- E9 PTD. TRELLIS
- E10 RIDGE VENT, SEE ROOF PLAN
- E11 GUTTER & D.S., TO MATCH EXISTING
- E12 PTD. 5/4" x 4 CORNER BOARDS
- E13 PAINTED SHOOT RAILING SYSTEM COLOR T.B.S.
TOP RAIL: SMOOT # SM-8840
BOT. RAIL: SMOOT # SM-8841
PICKETS: SMOOT # LWM-237
- E14 PTD. 5/4" x 4 WINDOW & DOOR TRIM
- E15 BUILT UP SQUARE COL. W/ STRUCTURAL POST WITH-IN, SEE DETAILS
- E16 WOOD STEPS TO GRADE, VERIFY IN FIELD
- E17 SCREEN
- E18 FOUNDATION VENTS
- E19 GAS FIREPLACE



REAR ELEVATION
SCALE: 1/4"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley
NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD



1 RIGHT SIDE ELEVATION
A2.0 SCALE: 1/4"=1'-0"

ELEVATION NOTES

- E1 FISHSCALE SIDING, TO MATCH EXT'S
- E2 NEW PTD. HARD-UP_PANK SMOOTH LAP SIDING
- E3 METAL ROOF
- E4 EXISTING PORCH
- E5 LINE OF FOUNDATION
- E6 EXISTING SLATE ROOF
- E7 WOOD WINDOWS, MATCH EXT'S GRILL PATTERN
- E8 EXISTING STONE
- E9 PTD. TRELLIS
- E10 RIDGE VENT, SEE ROOF PLAN
- E11 GUTTER & D.S.; TO MATCH EXISTING
- E12 PTD. 5/4" x 4 CORNER BOARDS
- E13 PAINTED SMOOT RAILING SYSTEM, COLOR T.B.S.
TOP RAIL: SMOOT # SM-8840
BOT. RAIL: SMOOT # SM-8841
PICKETS: SMOOT # LHM-257
- E14 PTD. 5/4" x 4 WINDOW & DOOR TRIM
- E15 BUILT UP SQUARE COL. W/ STRUCTURAL POST WITHIN SEE DETAILS
- E16 WOOD STEPS TO GRADE, VERIFY IN FIELD

GTM
ARCHITECTS
10415 ARMORY AVENUE
KENSINGTON, MD. 20845
(301)442-1062
(301)442-3421 FAX

2030 WASCHE ROAD
DICKERSON, MD 20842

RIGHT SIDE ELEVATION

**CHISWELL
FARM**

REVISIONS:

SEAL:

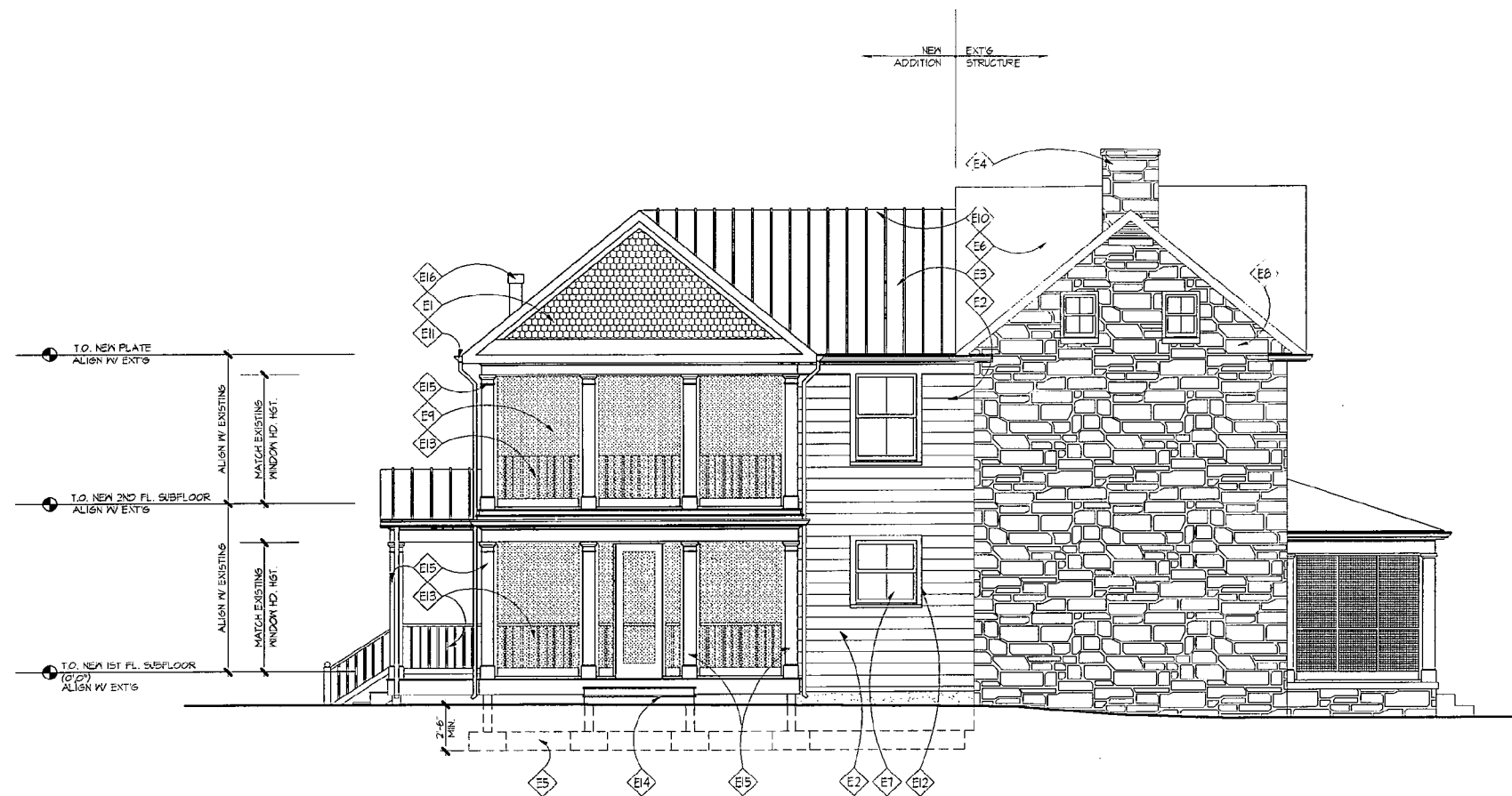
APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley

NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.

DRAWN BY:	DER
CHECKED BY:	GTM
SCALE:	AS NOTED
DATE:	06.16.04
PROJECT NO.:	2004243
DRAWING NO.:	

A2.0

FILE NAME: 040505.DWG



1 LEFT SIDE ELEVATION
A2.2 SCALE: 1/4"=1'-0"

ELEVATION NOTES

- E1 FISHSCALE SIDING, TO MATCH EXT'S
- E2 NEW PTD. HARDI-PLANK SMOOTH LAP SIDING
- E3 METAL ROOF
- E4 EXISTING CHIMNEY
- E5 LINE OF FOUNDATION
- E6 EXISTING SLATE ROOF
- E7 WOOD WINDOWS, MATCH EXT'S GRILL PATTERN
- E8 EXISTING STONE
- E9 SCREEN
- E10 RIDGE VENT, SEE ROOF PLAN
- E11 GUTTER & D.S.; TO MATCH EXISTING
- E12 PTD. 5/4" x 4 WINDOW & DOOR TRIM
- E13 PAINTED SHOOD RAILING SYSTEM, COLOR T.B.S.
TOP RAIL: SMOOT # SM-88-0
BOT. RAIL: SMOOT # SM-88-1
PICKETS: SMOOT # LPM-251
- E14 WOOD STEPS TO GRACE, VERIFY IN FIELD
- E15 BUILT UP SQUARE COL. W/ STRUCTURAL POST WITH-IN SEE DETAILS
- E16 GAS FIREPLACE

GTM
ARCHITECTS
10415 ARDOR AVENUE,
KENSINGTON, MD. 20845
(301)442-4062
(301)442-9424 FAX

2030 WASCHE ROAD
DICKERSON, MD 20842
LEFT SIDE ELEVATION

**CHISWELL
FARM**

REVISIONS:

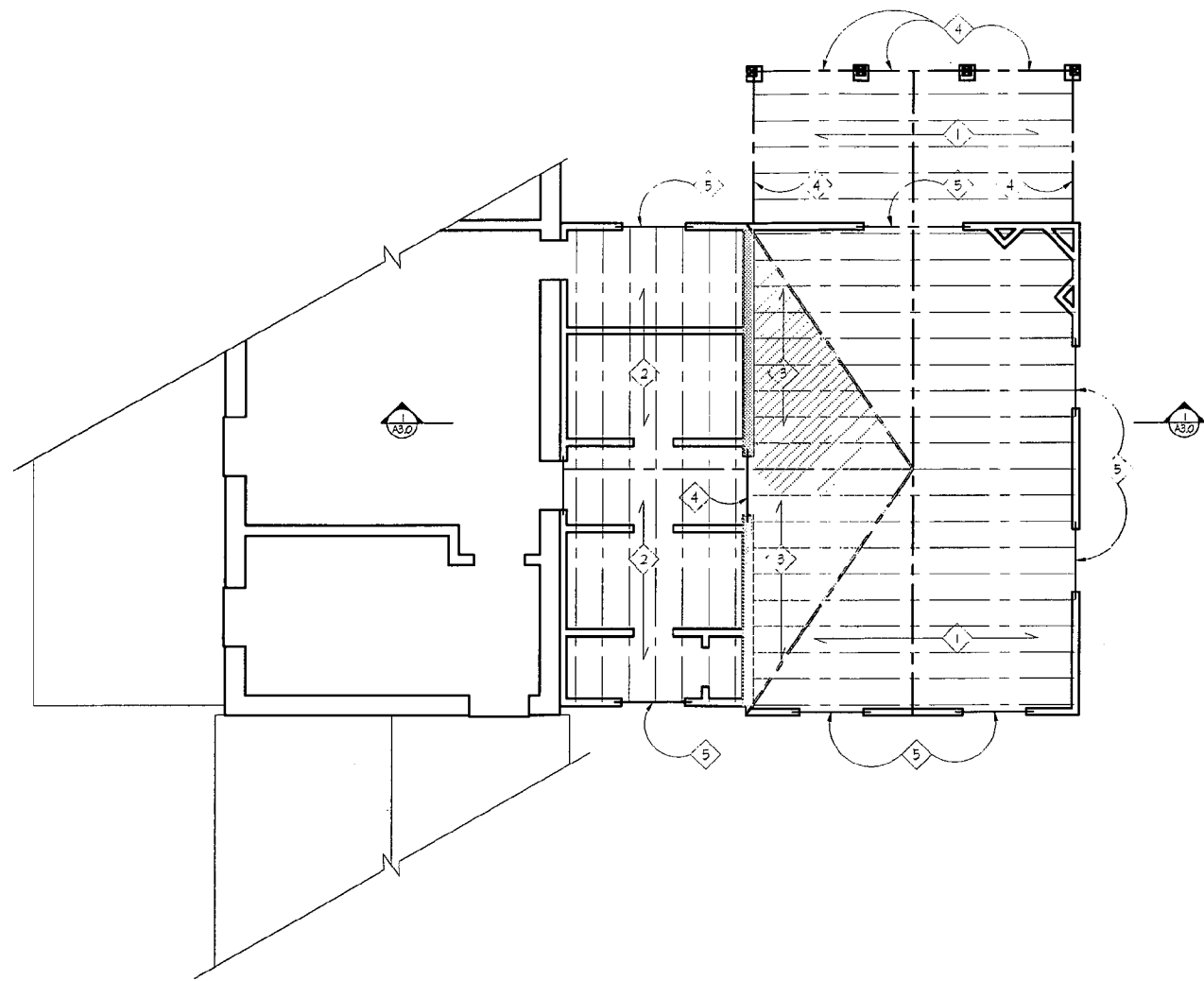
SEAL:

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley

NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 06.16.04
PROJECT NO: 2004243
DRAWING NO:

A2.2



1 ROOF FRAMING PLAN
S1.3 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- 1 ROOF TRUSS A SEE 2/A3.0
- 2 ROOF TRUSS B, SEE 3/A3.0
- 3 OVERBUILD
- 4 (3) 2x10 BEAM
- 5 (2) 2x10 HEADER
- 6 2x6 LOAD BEARING WALL BELOW

APPROVED
Montgomery County
Historic Preservation Commission
Julia D. Malley

GENERAL NOTES

- 1. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
- 2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP.) OR AS SHOWN ON DRAWINGS.
- 3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLLINS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF. RECOMMENDATIONS.
- 4. PROVIDE SIMPSON H2.5 OR H2 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 2x2 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER.
- 5. ALL FLOOR POSTS SHALL BE SOUTHERN PINE No.1 OR LVL POST. NO BUILT-UP STUDS ALLOWED.
- 6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS.
- 7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.
- 8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF TJI JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.
- 9. INSTALL CHIMNEY ANCHORAGE STRAPS AS PER IRC, 2000 EDITION TABLE R1003.1 AND FIGURE R1003.1.

GTM
ARCHITECTS
12415 ARMORY AVENUE
KENSINGTON, MD. 20845
(301)442-4082
(301)442-3424 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
ROOF
FRAMING PLAN

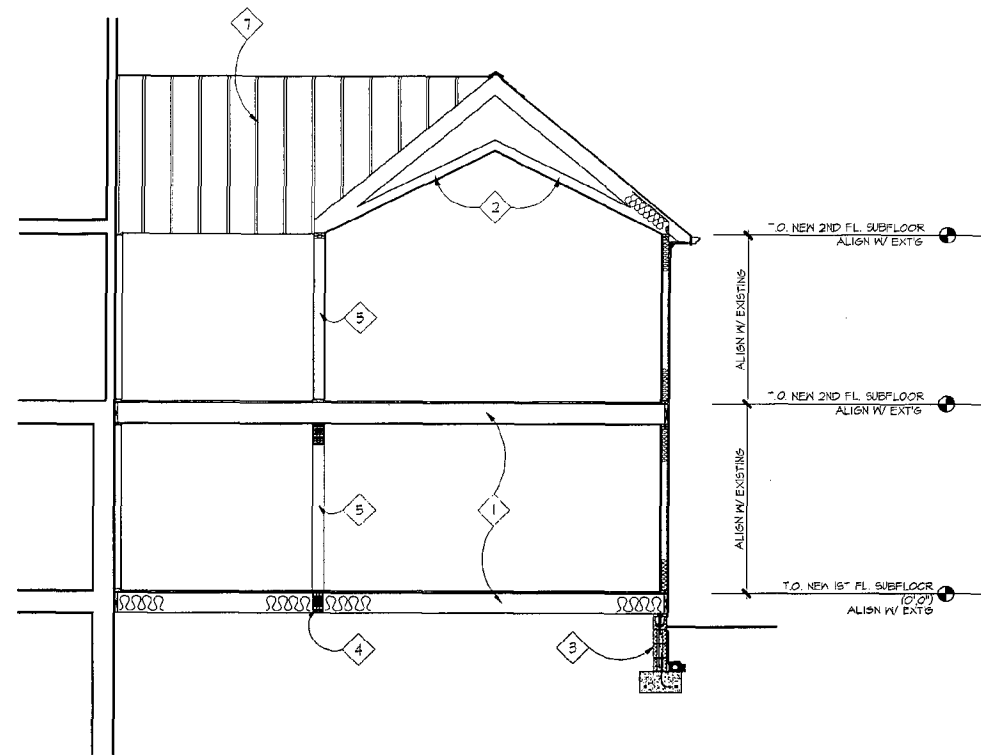
**CHISWELL
FARM**

REVISIONS:

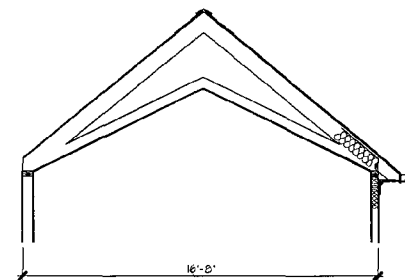
SEAL:

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 06.16.04
PROJECT NO: 2004243
DRAWING NO:

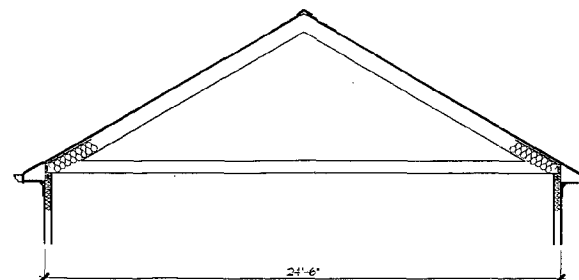
S1.3



1 BUILDING SECTION
A3.0 SCALE: 1/4"=1'-0"



2 ROOF TRUSS "A" SECTION
A3.0 SCALE: 1/4"=1'-0"



3 ROOF TRUSS "B" SECTION
A3.0 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- 1 FLOOR JOISTS, SEE FRAMING PLANS
- 2 TRUSS SYSTEM, SEE SECTION 2/A3.0
- 3 CMU FOUNDATION WALL
- 4 LVL BEAM, SEE FRAMING PLANS
- 5 2x6 LOAD BEARING WALL
- 6 BUILD UP AS REQD. TO CREATE HIP ON ENDS
- 7 TRUSS SYSTEM, SEE SECTIONS 3/A3.0

GTM
ARCHITECTS
10415 ARMORY AVENUE
KENSINGTON, MD, 20845
(301)442-4062
(301)442-3424 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
BUILDING SECTION

**CHISWELL
FARM**

REVISIONS:

SEAL:

DRAWN BY: DER

CHECKED BY: GTM

SCALE: AS NOTED

DATE: 06.16.04

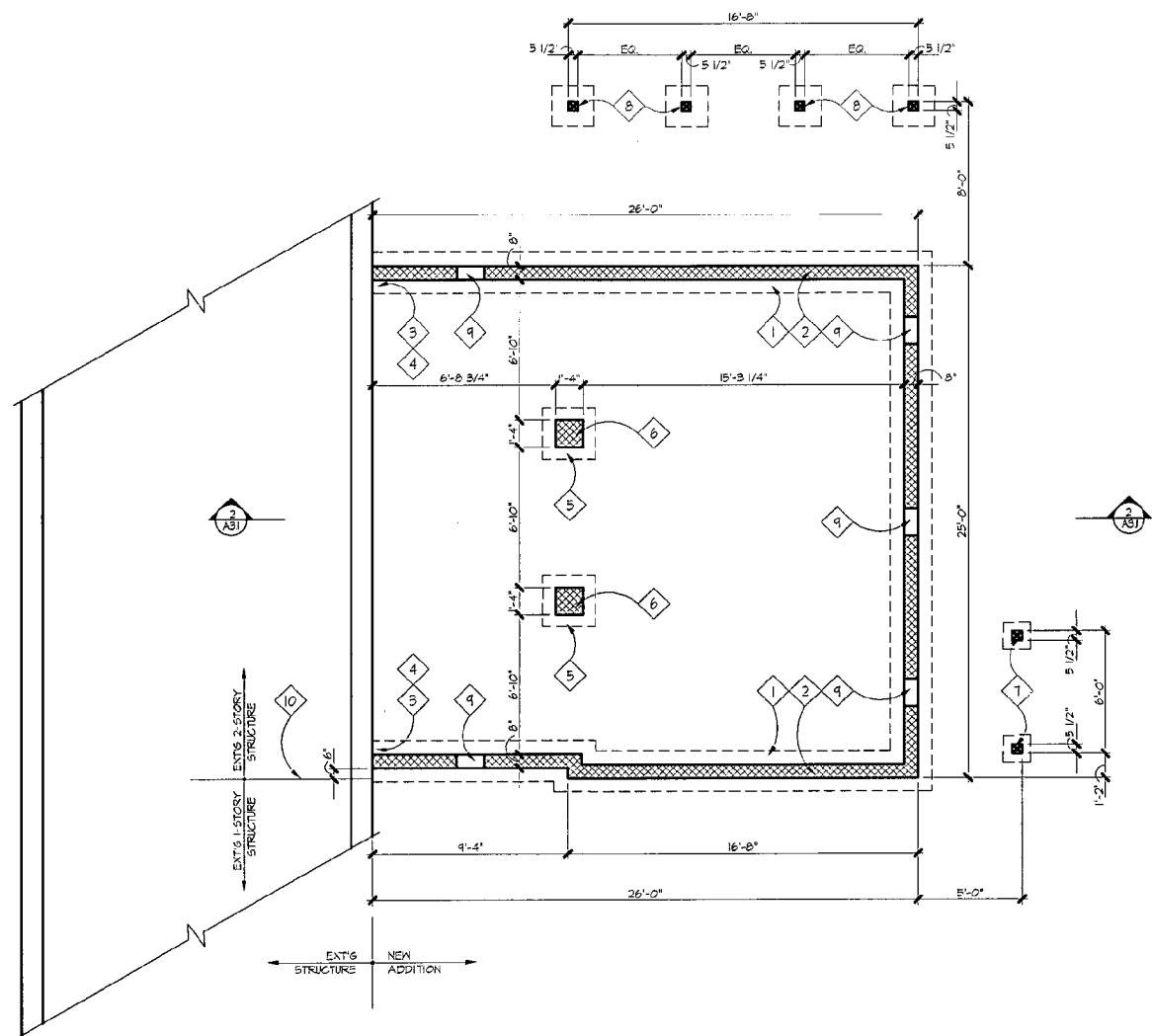
PROJECT NO: 2004243

DRAWING NO:

APPROVED
Montgomery County
Historic Preservation Commission

Julia O'Malley

A3.0



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- 1 DOTTED LINE INDICATES NEW 2'-0" WIDE X 1'-0" DEEP CONT. CONC. FOOTING; PROVIDE (2) #5 BARS CONC. STEP FOOTING AS INDICATED AND AS SHOWN ON ELEVATION DRAWINGS
- 2 8" CMU WALLS W/ #5 VERT. BARS @ 16" O.C. W/ HORIZ. JOINT TRUSS REINF. @ 8" GROUT CELLS @ REBAR, EXTEND REINF. INTO CONC. FTG. - LAP BARS 2'-0" (TYP.)
- 3 DRILL & EPOXY (2) #5 DOWELS X 1'-6" W/ 1" EMBED INTO EXT'G FTG.
- 4 MATCH BOTTOM OF EXT'G FTG.
- 5 CONC. FTG. 2'-6" X 2'-6" X 1'-0" W/ (8) #5 BARS EACH 3" FROM BOTTOM OF FTG.
- 6 16" CMU PIER, FILL SOLID
- 7 6x6 P.T. POSTS ON 1'-4" X 1'-4" X 1'-0" DEEP CONC. FTG.
- 8 6x6 P.T. POSTS ON 2'-0" X 2'-0" X 1'-0" DEEP CONC. FTG.
- 9 6x16 CRANK SPACE VENT W/ INTEGRAL INSECT SCREEN
- 10 LINE INDICATES WHERE EXISTING STRUCTURE TRANSITIONS FROM A 2-STORY STRUCTURE TO A 1-STORY STRUCTURE

GTM ARCHITECTS
10415 ARMORY AVENUE,
KENSINGTON, MD, 20845
(301)442-1062
(301)442-9024 FAX

2030 WASCHE ROAD
DICKERSON, MD 20842
FOUNDATION PLAN

CHISWELL FARM

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley

GENERAL NOTES

1. CENTER ALL PIERS AND COLUMNS WITH CENTER OF CONC. FOOTINGS (TYP.)
2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-0" BELOW FINISHED GRADES (TYP.) OR AS SHOWN ON DRAWINGS.

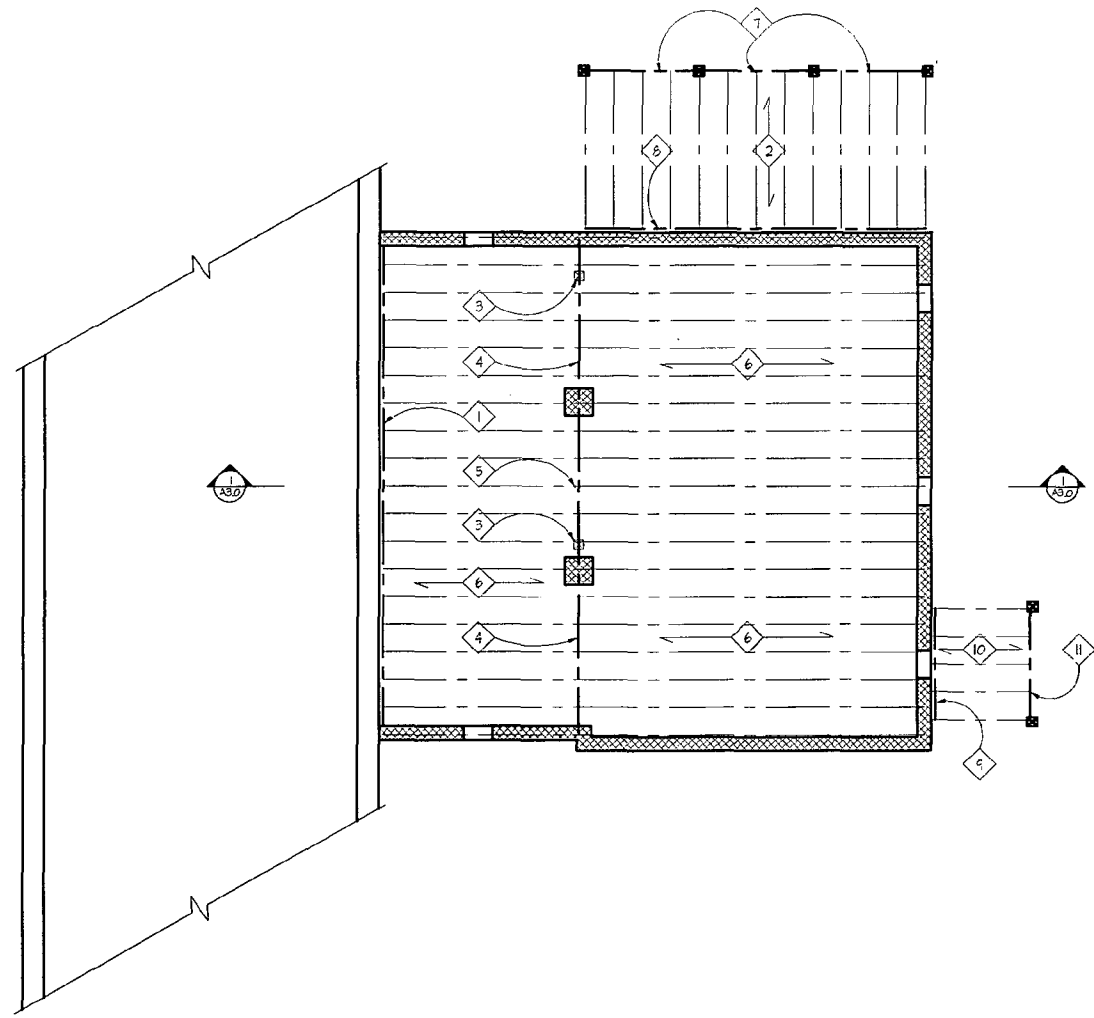
REVISIONS:

SEAL:

DRAWN BY:	DER
CHECKED BY:	STM
SCALE:	AS NOTED
DATE:	06.16.04
PROJECT NO.:	2004243
DRAWING NO.:	S1.0

S1.0

FILE NAME: 040505.DWG



FIRST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- 1 2x12 P.T. LEDGER W/ 5/8" Ø BOLTS @ 16" O.C. STAGGER
- 2 P.T. 2x10's @ 16" O.C.
- 3 POST FROM ABOVE
- 4 (3) 1-3/4" x 11-7/8" LVL IN SAME PLANE AS JOISTS
- 5 CMU PIER BELOW, SEE FOUNDATION PLAN
- 6 11-7/8" T.J.'s @ 16" O.C., OR 2x10's
- 7 (2) 2x10 P.T. BEAM
- 8 2x0 P.T. LEDGER W/ 5/8" Ø BOLTS @ 16" O.C. STAGGER
- 9 2x8 P.T. LEDGER W/ 5/8" Ø BOLTS @ 16" O.C. STAGGER
- 10 P.T. 2x8's @ 16" O.C.
- 11 (2) 2x8 P.T. BEAM

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley

GENERAL NOTES

- 1. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
- 2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP) OR AS SHOWN ON DRAWINGS.
- 3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANTP RECOMMENDATIONS.
- 4. PROVIDE SIMPSON H25 OR H3 SPLITT CONNECTORS AT ALL RAFTERS. PROVIDE ST 2x2 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER.
- 5. ALL ROOF POSTS SHALL BE SOUTHERN PINE No.1 OR LVL POST. NO BUILT-UP STUDS ALLOWED.
- 6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAMS.
- 7. PROVIDE SIMPSON POST CAP AND BASE COAN TYP AT ALL POSTS AND BEAM CONNECTIONS.
- 8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF T.J. JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.

GTM ARCHITECTS
10415 ARMORY AVENUE
KENSINGTON, MD. 20845
(301)442-1062
(301)442-3424 FAX

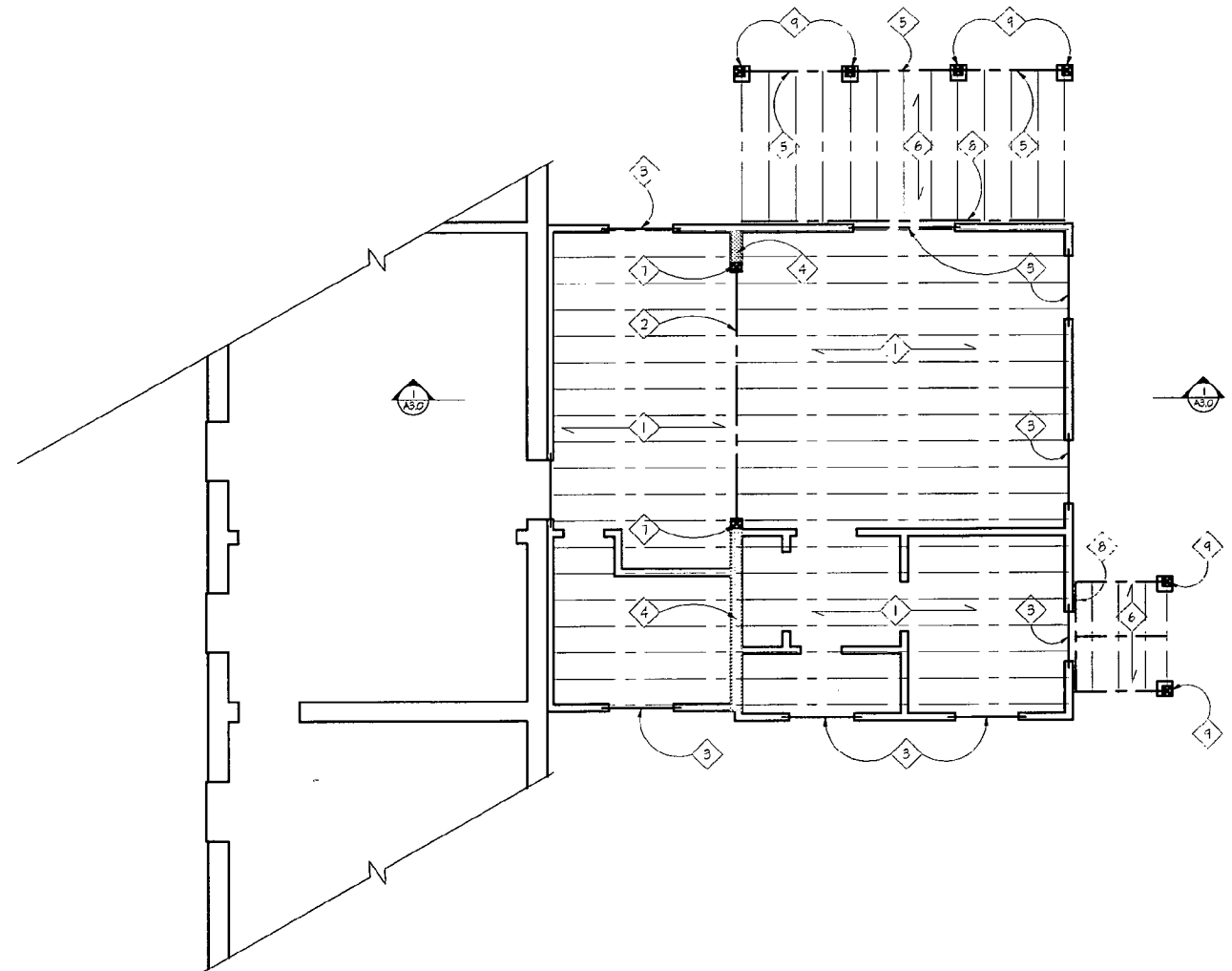
20130 WASCHE ROAD
DICKERSON, MD 20842
FIRST FLOOR
FRAMING PLAN

CHISWELL FARM

REVISIONS:	
SEAL:	
DRAWN BY:	DER
CHECKED BY:	GTM
SCALE:	AS NOTED
DATE:	06.16.04
PROJECT NO:	2004243
DRAWING NO:	

S1.1

1 SECOND FLOOR FRAMING PLAN
S1.2 SCALE: 1/4"=1'-0"



CONSTRUCTION NOTES

- 1 12" TJ's, OR 2x12's @ 16" O.C.
- 2 (B) 1-3/4" x 11-1/8" LVL BEAM BELOW JOISTS
- 3 (B) 2x10 HEADER
- 4 2x6 @ 16" O.C. LOAD BEARING WALL BELOW
- 5 P.T. (B) 2x10 BEAM IN SAME PLANE AS JOISTS
- 6 P.T. 2x10's @ 16" O.C.
- 7 5-1/4 x 5-1/4 PSL POST
- 8 2x10 P.T. LEDGER
- 9 6x6 POST
- 10 2x8's @ 16" O.C., RAFTERS & CEILING JOISTS
- 11 (2) 2x8's P.T. BEAM

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley

GENERAL NOTES

- 1. CENTER ALL PIERS AND COLUMNS WITH CENTER OF CONC. FOOTINGS (TYP)
- 2. BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP) OR AS SHOWN ON DRAWINGS.
- 3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF. RECOMMENDATIONS.
- 4. PROVIDE SIMPSON H2.5 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 2x2 STRAPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER.
- 5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1 OR LVL POST. NO BUILT-UP STUDS ALLOWED.
- 6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CMU OR STEEL BEAM.
- 7. PROVIDE SIMPSON POST CAP AND BASE CONN. TYP AT ALL POSTS AND BEAM CONNECTIONS.
- 8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF TJ JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.
- 9. INSTALL CHIMNEY ANCHORAGE STRAPS AS PER IBC, 2000 EDITION TABLE R1002.1 AND FIGURE R1002.1

GTM ARCHITECTS
10415 ARMORY AVENUE
KENSINGTON, MD. 20845
(301)442-4062
(301)442-3424 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
SECOND FLOOR
FRAMING PLAN

CHISWELL FARM

REVISIONS:

SEAL:

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 06.16.04
PROJECT NO: 2004243
DRAWING NO:

S1.2



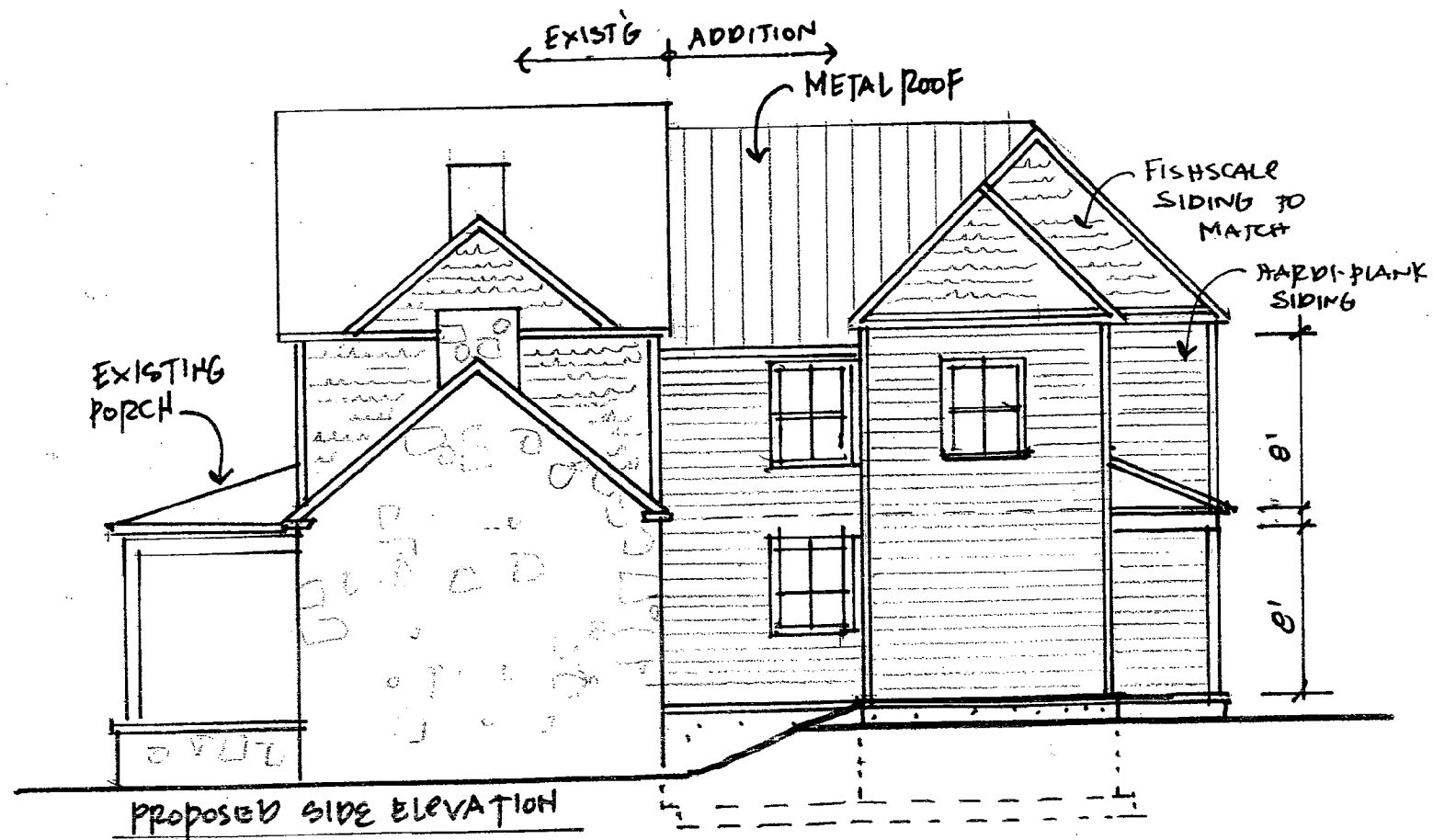
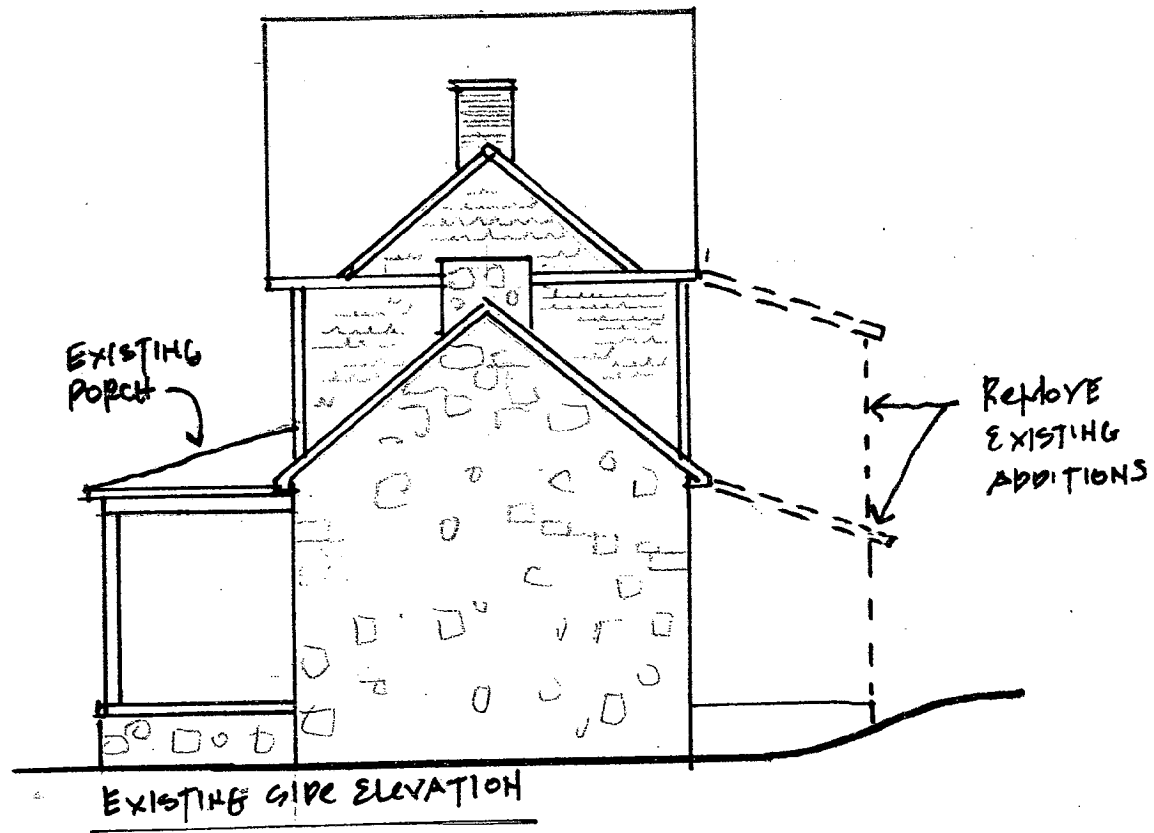
EXISTING REAR ELEVATION 1/8"=1'-0"

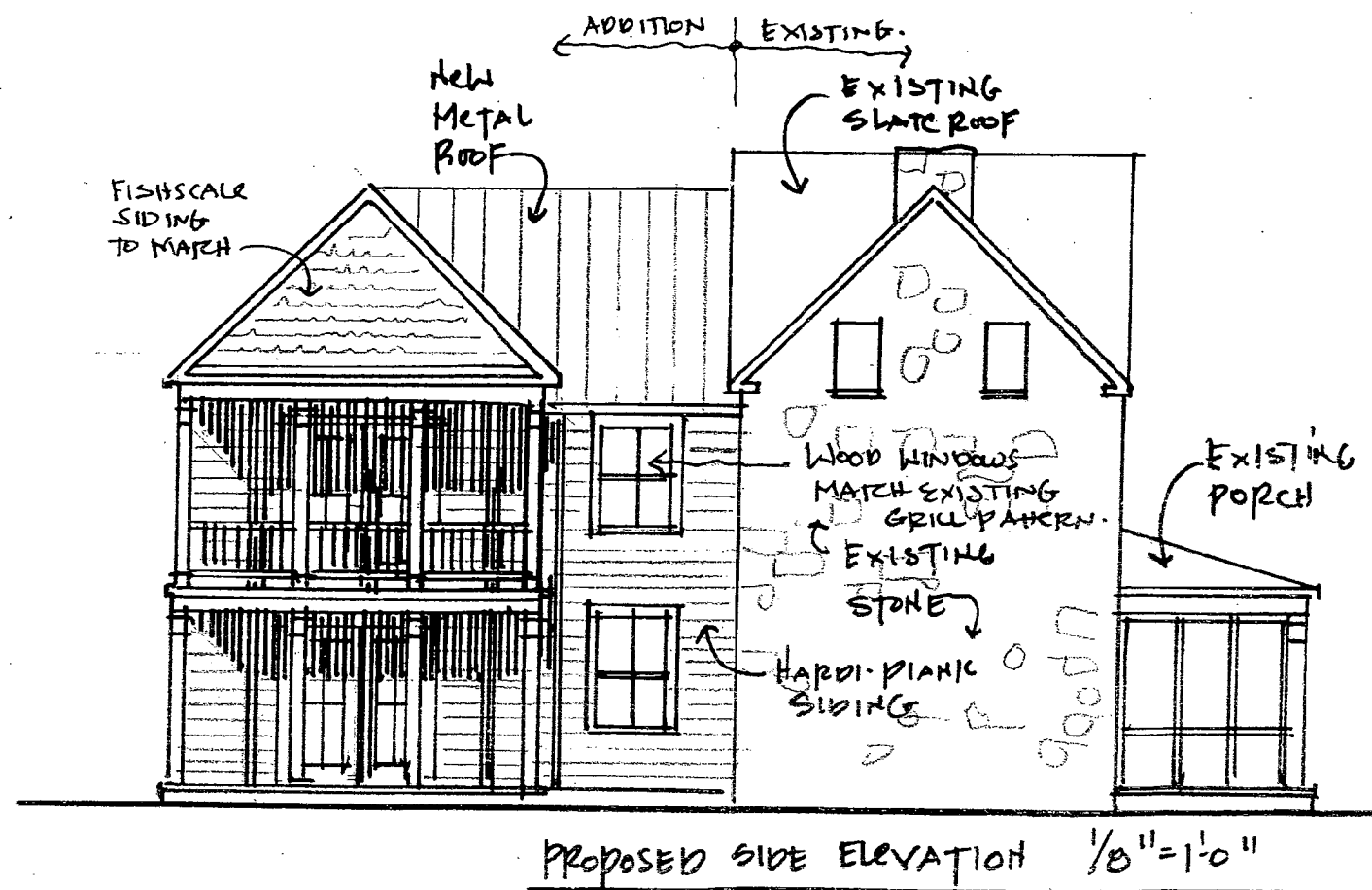
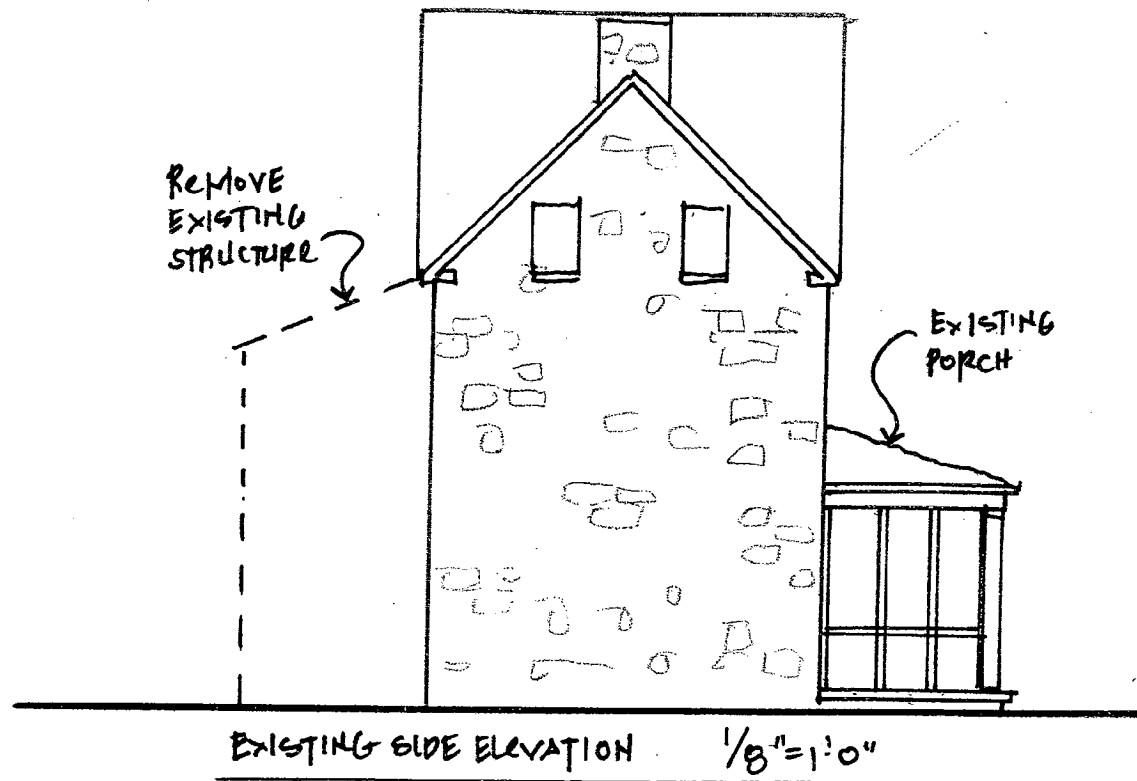


PROPOSED REAR ELEVATION 1/8"=1'-0"

GTM ARCHITECTS, INC.
 10415 Armory Ave.
 KENSINGTON, MD 20895
 301-942-9062

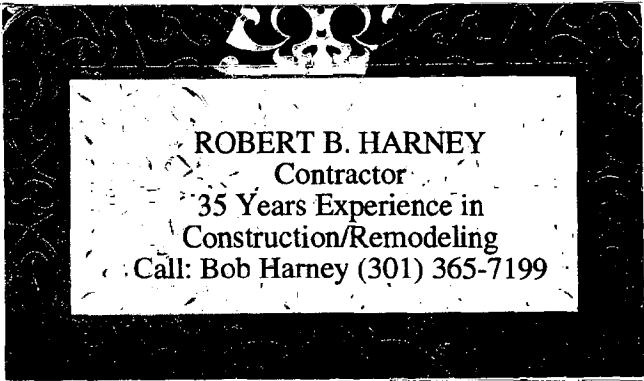
4.7.04





GTM ARCHITECTS, INC.
 10415 Armory Ave.
 KENSINGTON, MD 20895
 301-942-9062

4.7.04.



ROBERT B. HARNEY
Contractor
35 Years Experience in
Construction/Remodeling
Call: Bob Harney (301) 365-7199

Howard Dennis

7218 BEACON TERR

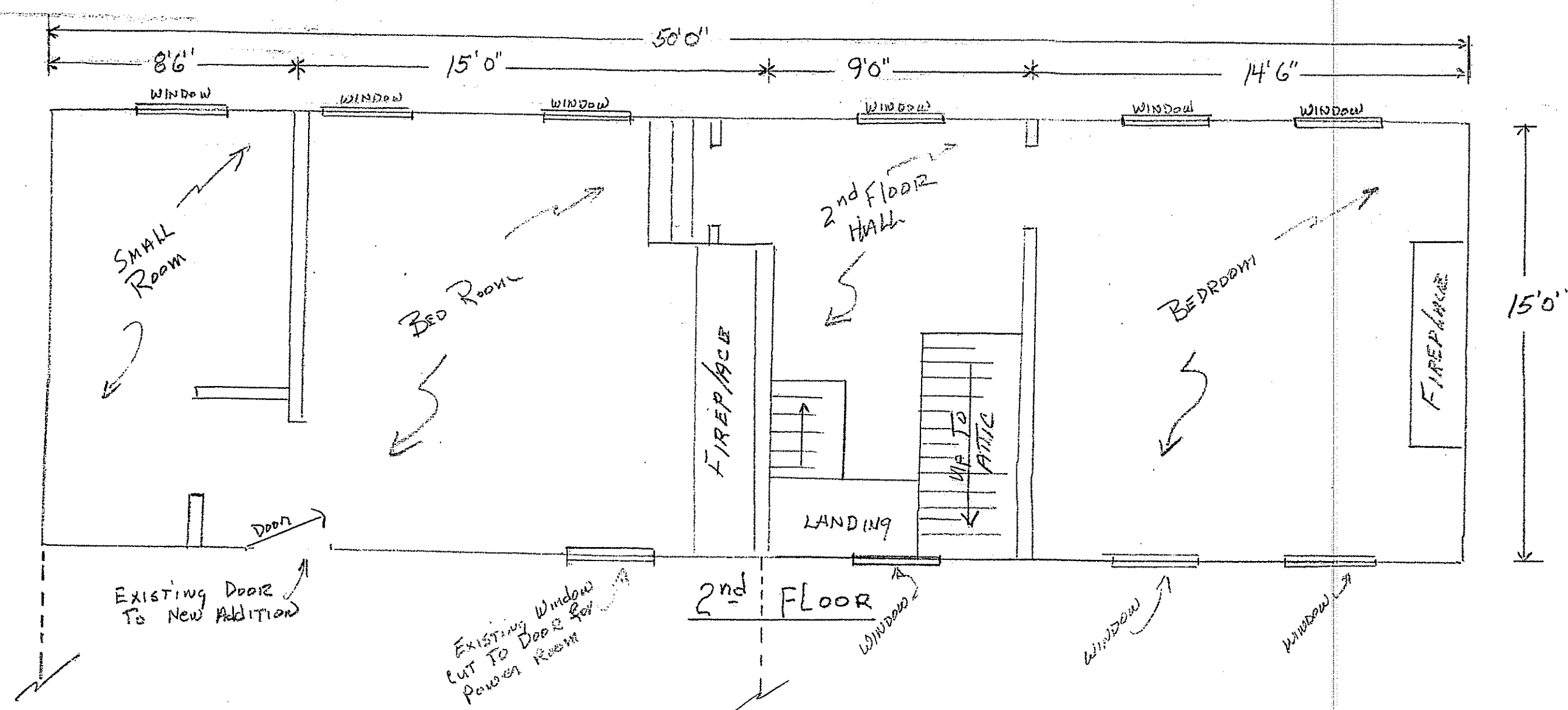
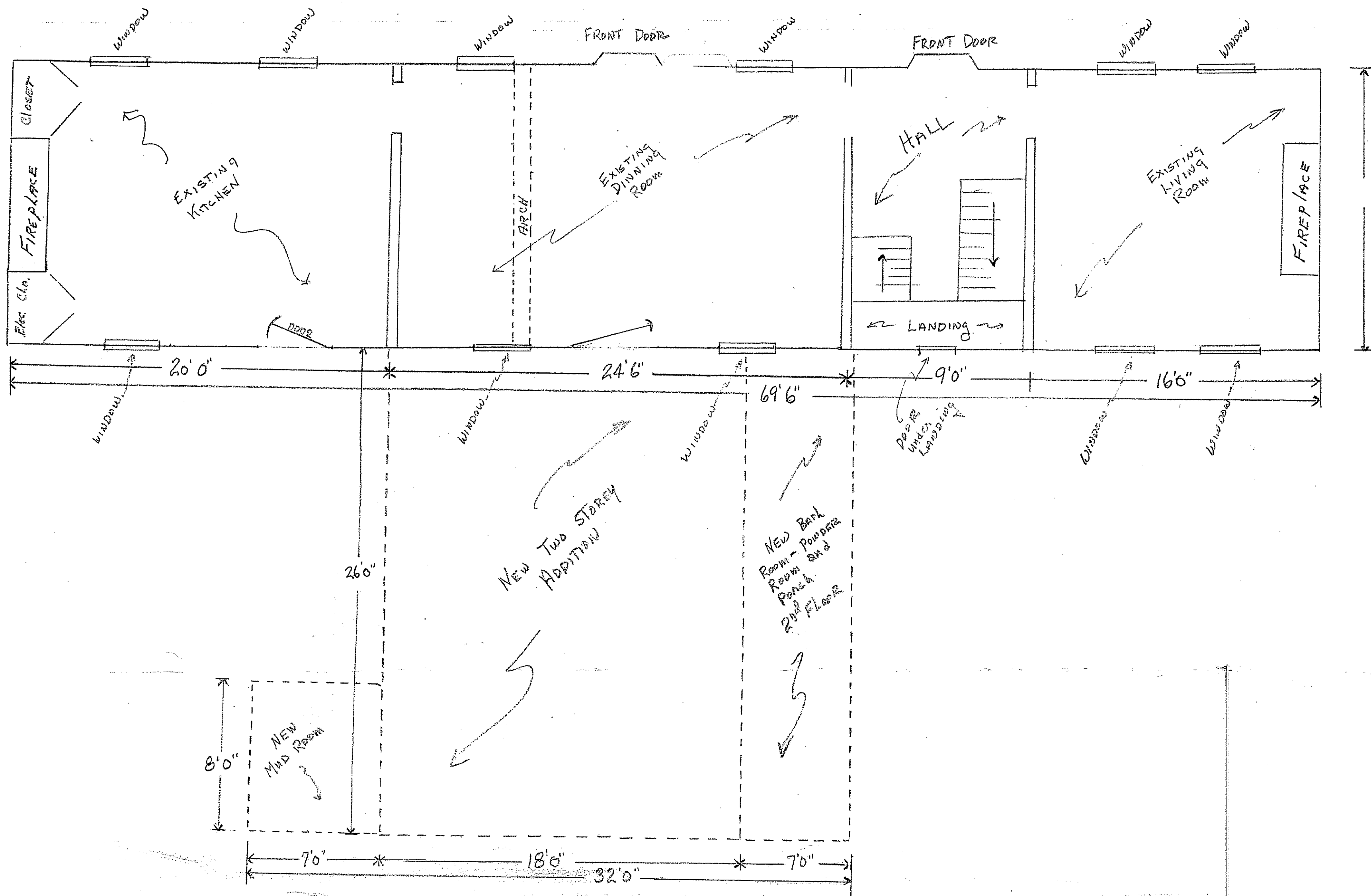
BETHESDA, MD

20817

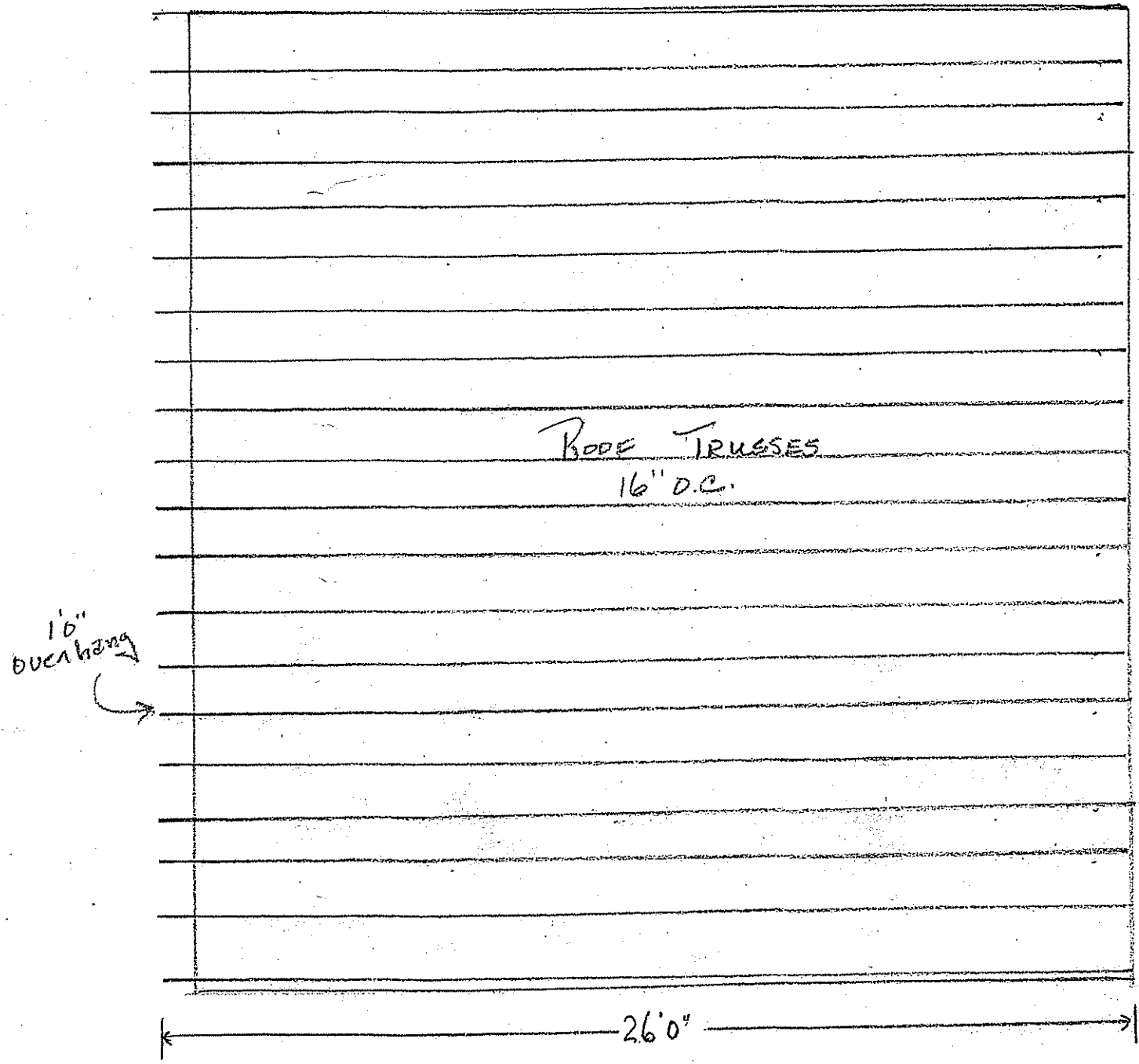
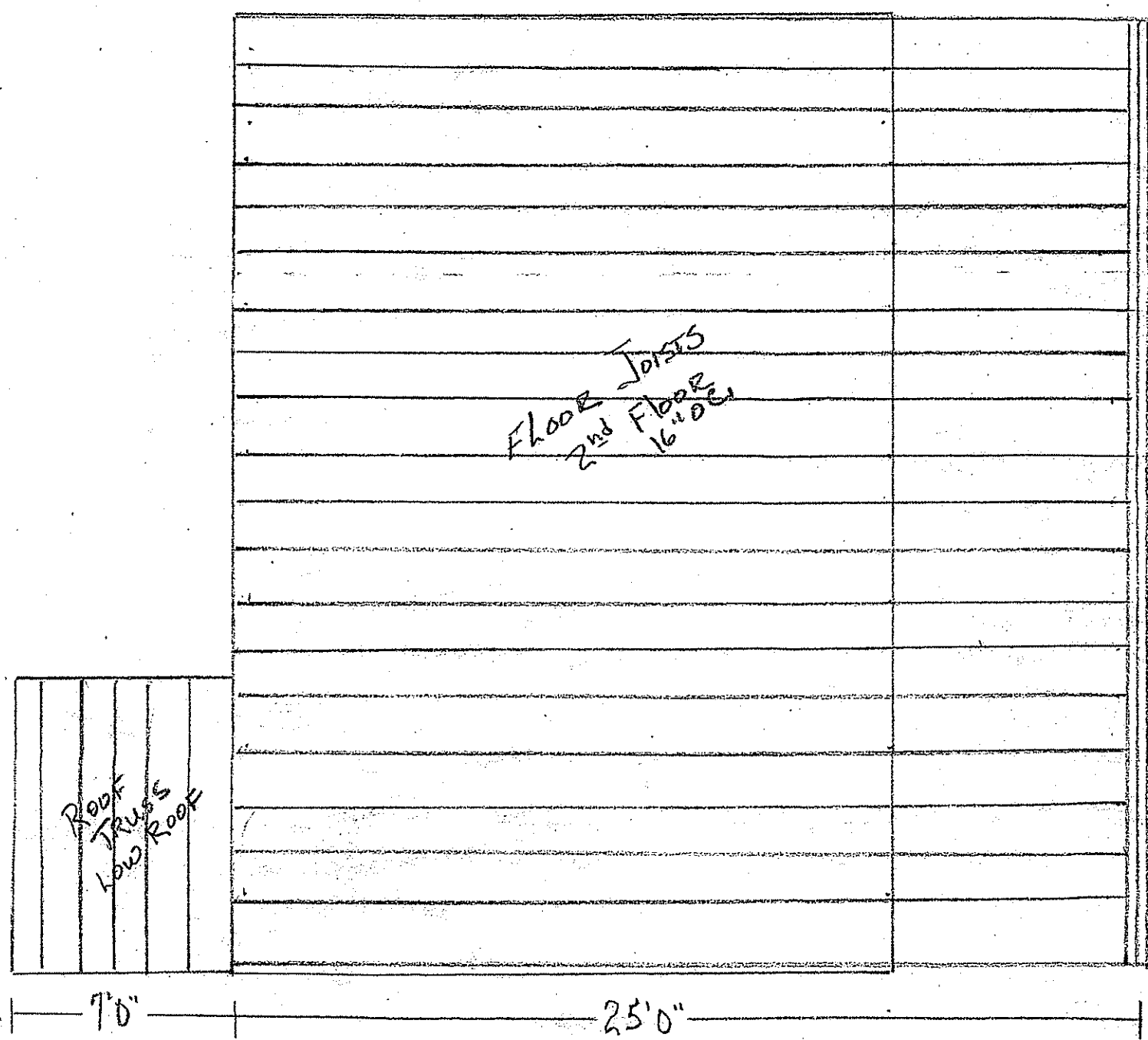
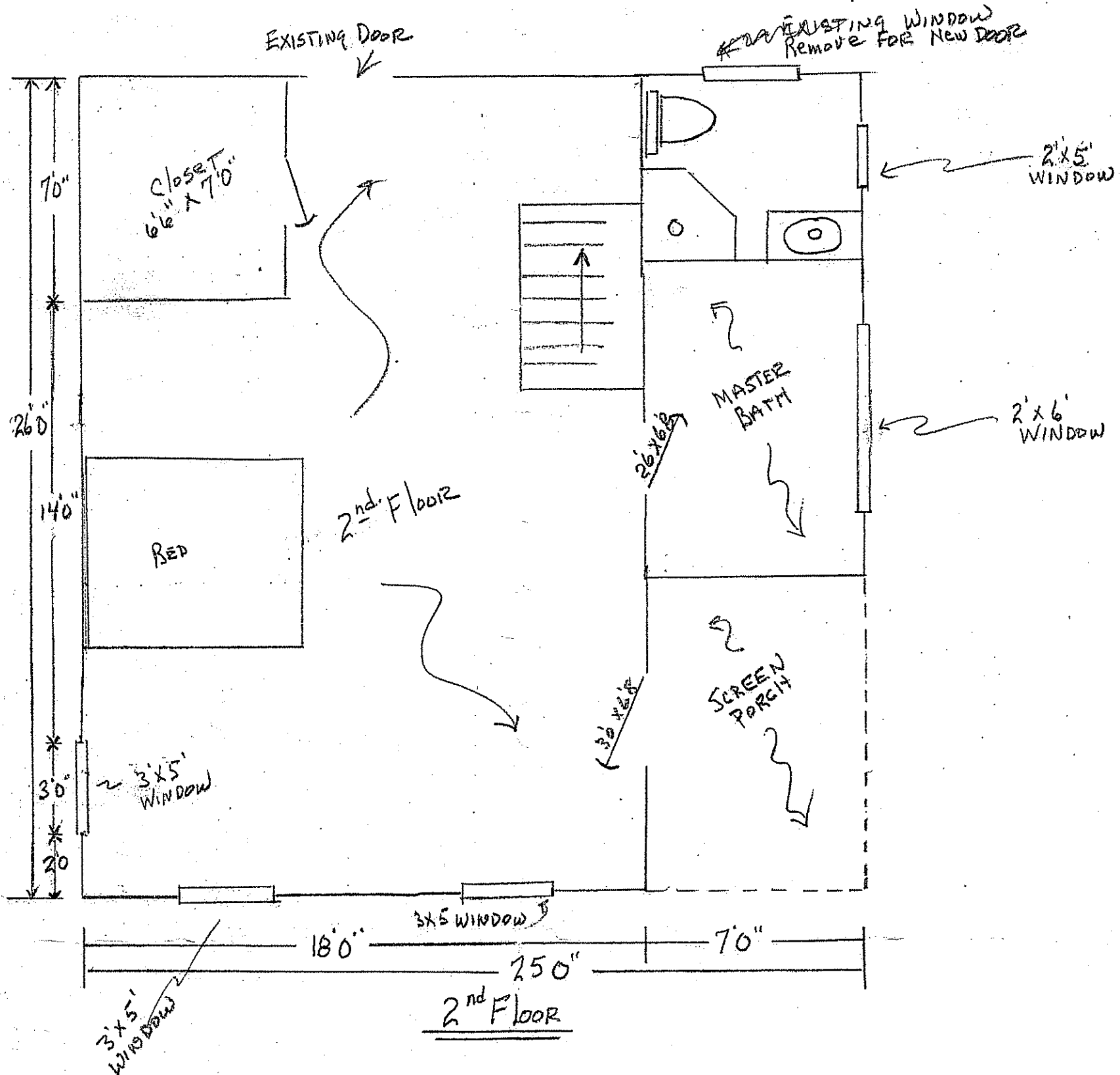
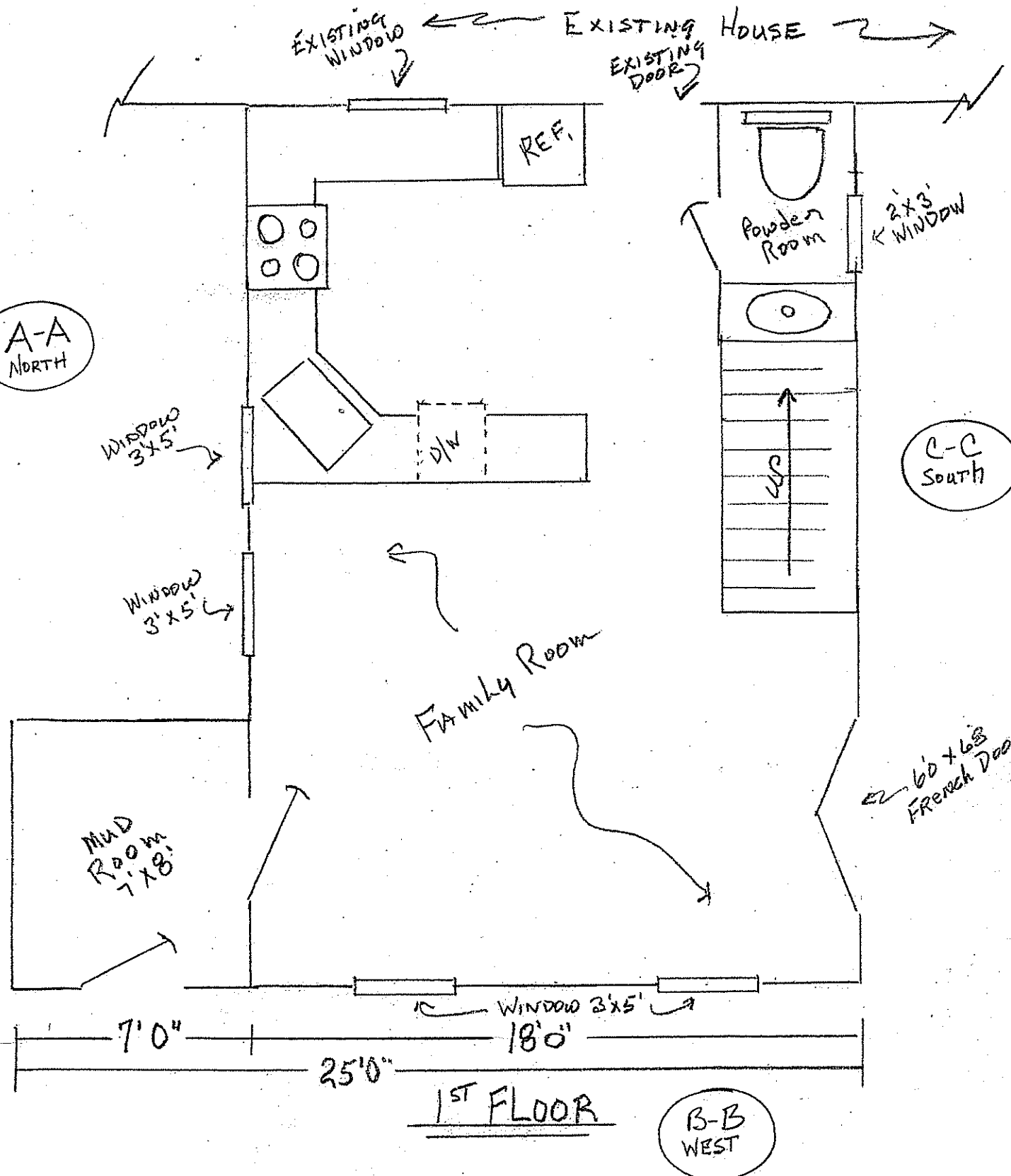
Godfrey -

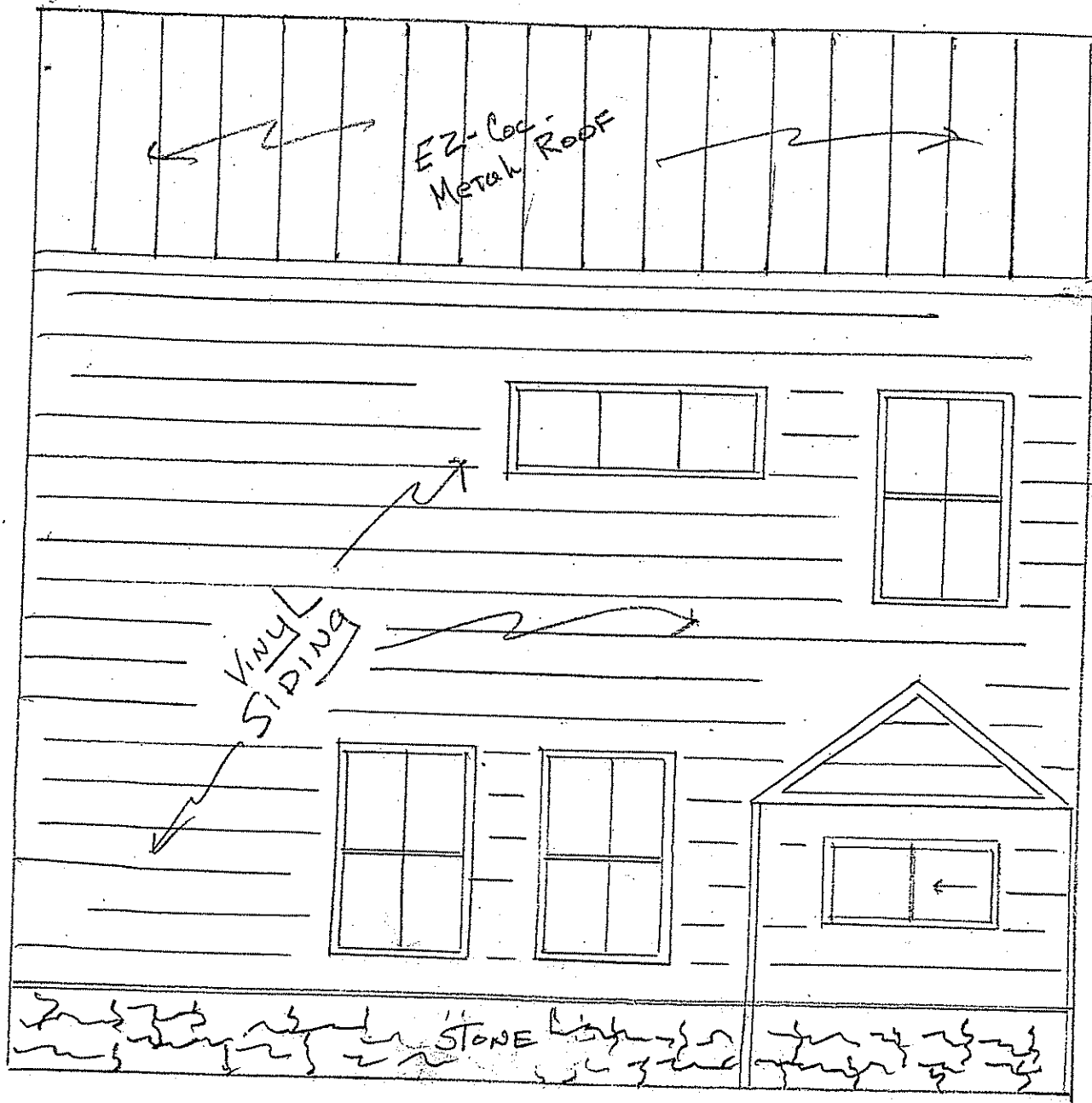
240-777-6483 or 6495

Schultz
Diane Jones
Co. 4113

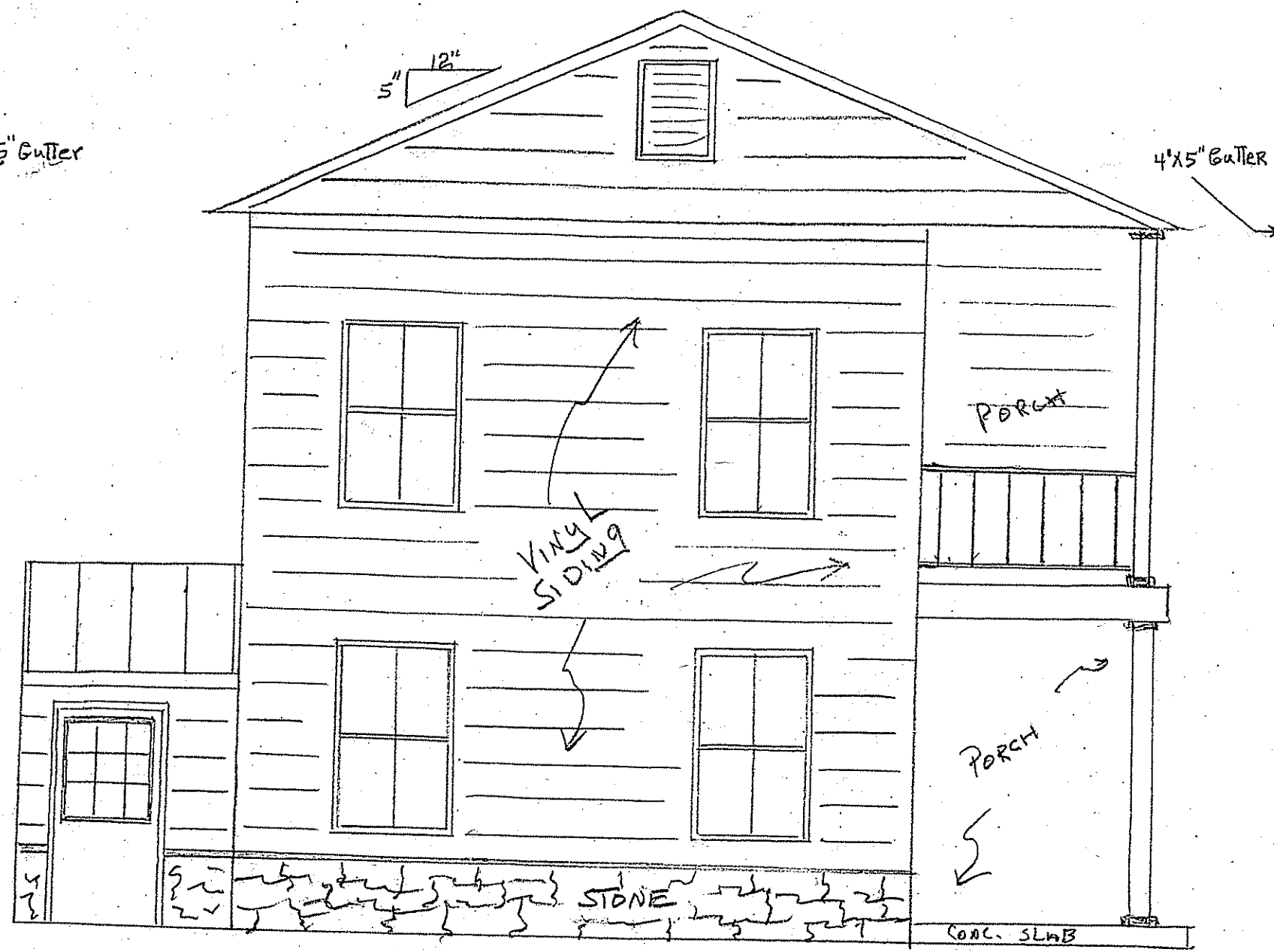


PAGE 1 of 3
 CHISWELL FARM
 SCALE 1/4" = 1'0"
 DRAWN BY - R. HARNEY
 NOVEMBER 2002

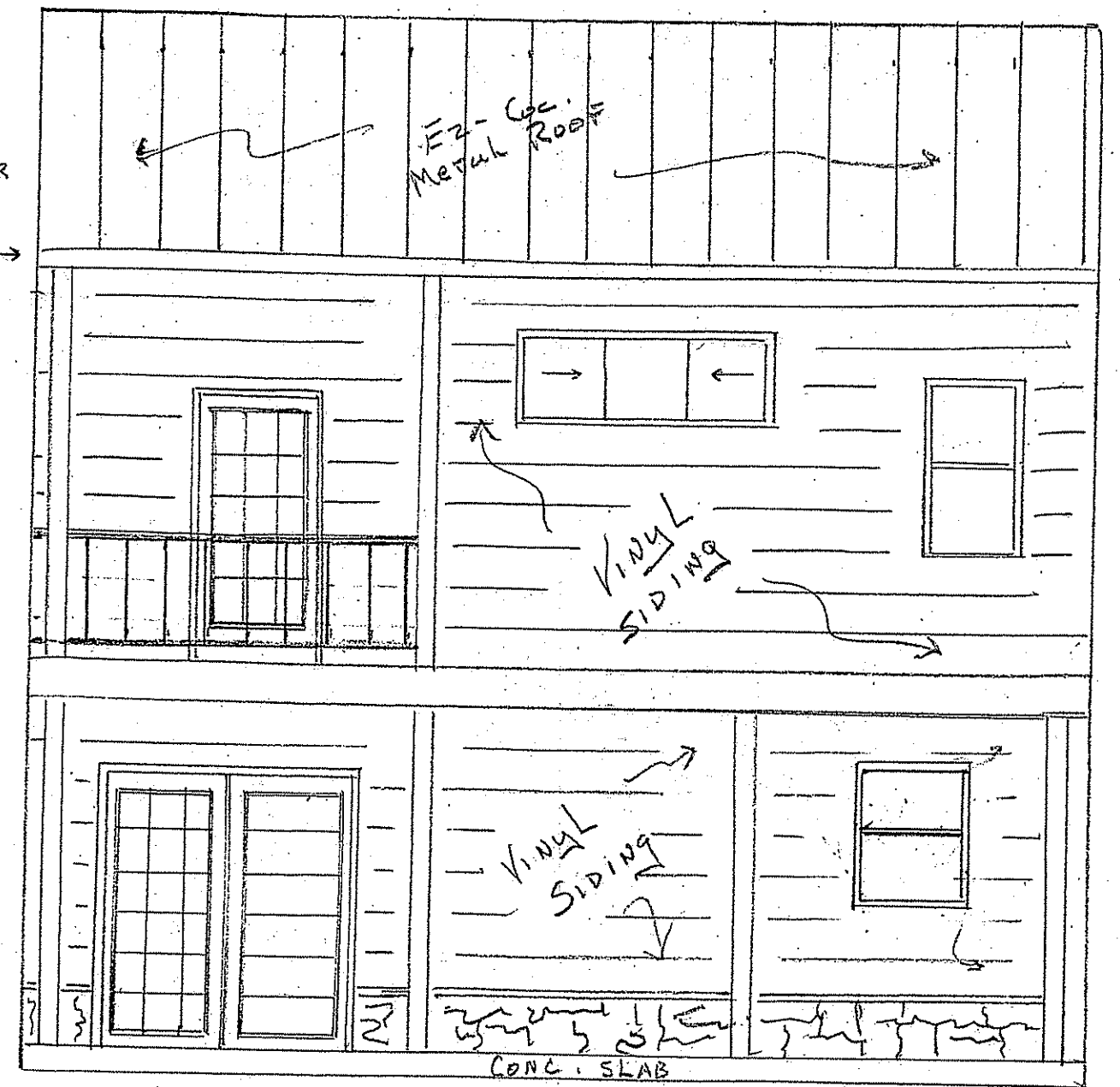




A-A
NORTH



B-B
WEST



C-C
SOUTH

