

Edward Cluswell Farm
20130 Washco Rd. Dickerson
MAY 16/2019

Fothergill, Anne

From: Fothergill, Anne
Sent: Thursday, February 14, 2008 10:22 AM
To: 'stan.garber@montgomerycountymd.gov'
Cc: 'Hayes, Steve'
Subject: 2006 Violation

Mr. Garber:

I am writing regarding a Notice of Violation for 20130 Wasche Road, Dickerson that is signed by you and dated March 31, 2006. I am not sure what the status of this violation is but I wanted to let you know that, after being denied in 2007, the applicants have gotten approval from the Historic Preservation Commission for their Historic Area Work Permit. If this violation is still active, I believe they have complied with the corrective action required by the violation and can now proceed with getting the appropriate building permits and completing the work.

Montgomery County-DPWT owns this historic property and I am copying Steve Hayes on this email as he is the contact for this property. If you have any questions, please email or call me.

thanks,
Anne

Anne Fothergill
Planner Coordinator
Montgomery County Planning Department
Countywide Planning--Historic Preservation Section
1109 Spring Street, Suite 801
Silver Spring, MD 20910
301-563-3400 phone
301-563-3412 fax
<http://www.mc-mncppc.org/historic/>

19502 A LEGAL II-A



MONTGOMERY COUNTY
DEPARTMENT OF PERMITTING SERVICES
255 Rockville Pike, 2nd Floor
Rockville, Maryland 20850-4166

NOTICE OF VIOLATION

FOR MONTGOMERY COUNTY, MARYLAND the undersigned issuer, being duly authorized, states that:

On, 3/31/06 the recipient of this NOTICE, LEFT POSTED w/ STOP WORK ORDER
Date Recipient's Name

who represents the permittee/defendant, ROBERT HALNEY
Permittee's Name

is notified that a violation of Montgomery County Code, Section: 24-A-6(a)(2)
exists at: 20130 WASHINGTON ROAD DICKERSON MD (20130 WASCHE ROAD)
Location Case #

The violation is described as: 1 ALTERATIONS MADE TO THE ADDITION WITHOUT HISTORIC PRESERVATION (HEREAFTER "H.P.") APPROVAL
2 ORIGINAL WINDOWS REPLACED WITHOUT H.P. APPROVAL.

The following corrective action(s) must be performed immediately as directed, 1 CEASE WORK AND APPLY FOR A REVISION TO THE H.P. APPROVED PLANS. 2 INCLUDE THE CHANGES TO THE WINDOWS IN APPLICATION. SHOULD YOU BE DENIED RESTORE THE BUILDING TO THAT THAT WAS APPROVED IN ORDER TO CONTINUE WORK ON THE ADDITION.

See attached inspection Report(s) for additional violations and/or required corrective actions.

An inspection fee of \$ _____ is required in addition to any application fee(s).
Compliance Time: 30 DAYS Re-inspection Date(s): _____ Permit Number: 332470 Code/Edition: 332480

Failure to comply with this notice will result in the issuance of one or more \$500.00 civil citations.

A STOP WORK ORDER is also issued this date at the above referenced project. All construction activities on these premises must cease immediately. Only those activities required to correct violations may continue. Permission is required to resume construction.

ISSUED BY: Stan Green [Signature] 3/31/06
Printed Name Signature Date

Phone No. 301-370-3656

RECEIVED BY: LEFT POSTED 3/31/06 w/ S.W.O.
Printed Name Signature Date

Phone No. _____ Sent by Registered Mail/Return Receipt On: _____

RECIPIENT'S SIGNATURE ACKNOWLEDGES RECEIPT OF A COPY OF THIS NOTICE OF VIOLATION

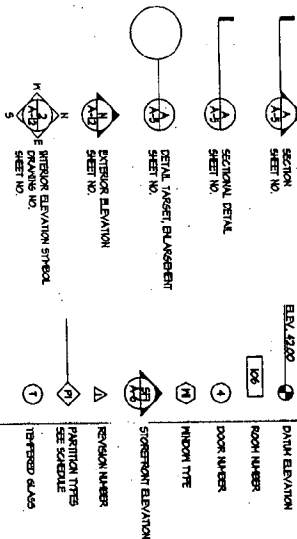
This Notice may be appealed to the Montgomery County Board of Appeals within 30 days of the issue date. The Board of Appeals is located in the Council Office Building, 100 Maryland Ave., Room 217, Rockville, MD 20850, telephone (240) 777-6600.

301-563-3412

CHISWELL FARM RESIDENCE

20130 WASCHE ROAD DICKERSON, MD 20842

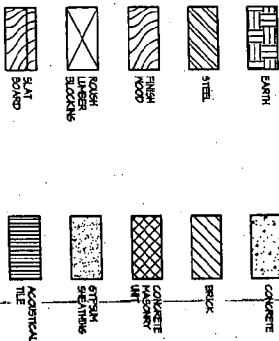
GRAPHIC SYMBOLS



LIST OF DRAWINGS

- CS COVER SHEET SPECIFICATIONS
- A1.0 FIRST FLOOR PLAN
- A1.1 SECOND FLOOR PLAN
- A1.2 ROOM PLAN
- A2.0 RIGHT SIDE ELEVATION
- A2.1 REAR ELEVATION
- A2.2 LEFT SIDE ELEVATION
- A3.0 BUILDING SECTIONS
- S1.0 FOUNDATION PLAN
- S1.1 FIRST FLOOR FINISHING PLAN
- S1.2 SECOND FLOOR FINISHING PLAN
- S1.3 ROOM FINISHING PLAN

MATERIAL SYMBOLS



ABBREVIATIONS

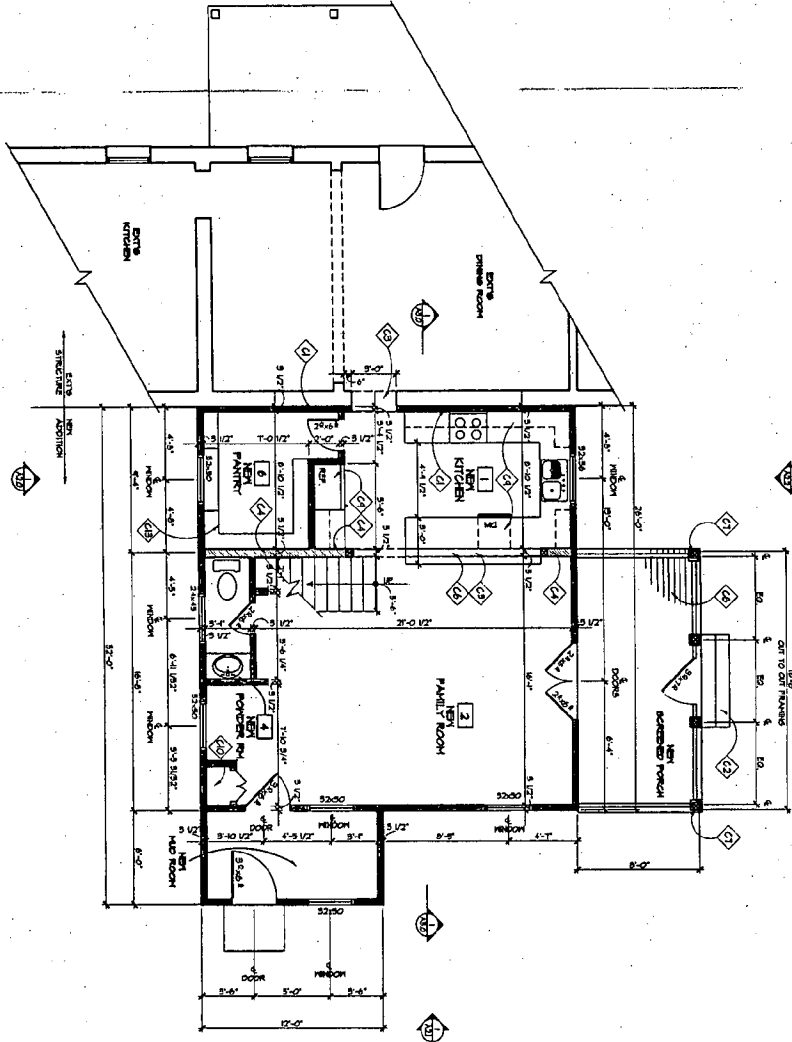
| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
|--------|---------------------|--------|---------------------|
| 1 | 1" = 1/8" SCALE | 1 | 1" = 1/8" SCALE |
| 2 | 2" = 1/4" SCALE | 2 | 2" = 1/4" SCALE |
| 3 | 3" = 3/8" SCALE | 3 | 3" = 3/8" SCALE |
| 4 | 4" = 1/2" SCALE | 4 | 4" = 1/2" SCALE |
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| 73 | 73" = 11 7/8" SCALE | 73 | 73" = 11 7/8" SCALE |
| 74 | 74" = 12" SCALE | 74 | 74" = 12" SCALE |

APPROVED
 Montgomery County
 Historic Preservation Commission
 2-14-08

Those match 2 permit sets (no 3rd set submitted)

| | |
|---|---|
| CHISWELL FARM 20130 WASCHE ROAD DICKERSON, MD 20842 COVER SHEET | GTMI ARCHITECTS 1015 ANNAPOLIS AVENUE ANNAPOLIS, MD 20704 PHONE: 410-291-1100 FAX: 410-291-1101 |
| DRAWN BY: DER CHECKED BY: GTH TITLE: AS NOTED DATE: 12.31.07 PROJECT NO: 2004-245 DRAWING NO: CS | REVISIONS: 1. REV. 02.23.07 2. REV. 03.07 3. REV. 04.01 4. REV. 04.01 |

1 FIRST FLOOR PLAN
 A1.0 SCALE 1/4"=1'-0"



CONSTRUCTION NOTES

- 1) FIN. GR. WALLS W/ 2"x4"s
- 2) NEW EXTERIOR ROOF SLAB TO BRIDGE OVER TIE AND 2"x4" IN FIELD
- 3) NEW GLASS WINDOW
- 4) 2x6 LATCH BRACING WALL
- 5) NOT SHOWN
- 6) NEW WALL BEYOND COUNTER
- 7) NEW WALL BEYOND COUNTER
- 8) NEW WALL BEYOND COUNTER
- 9) 1/2" PLASTER OVER 1/2" GYP. BOARD
- 10) 1/2" PLASTER OVER 1/2" GYP. BOARD
- 11) 1/2" PLASTER OVER 1/2" GYP. BOARD
- 12) 1/2" PLASTER OVER 1/2" GYP. BOARD
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NOTE:
 1) VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN THE FIELD
 2) VALUES INDICATED OTHERWISE DIMENSIONS ARE TO FACE OF FINISH

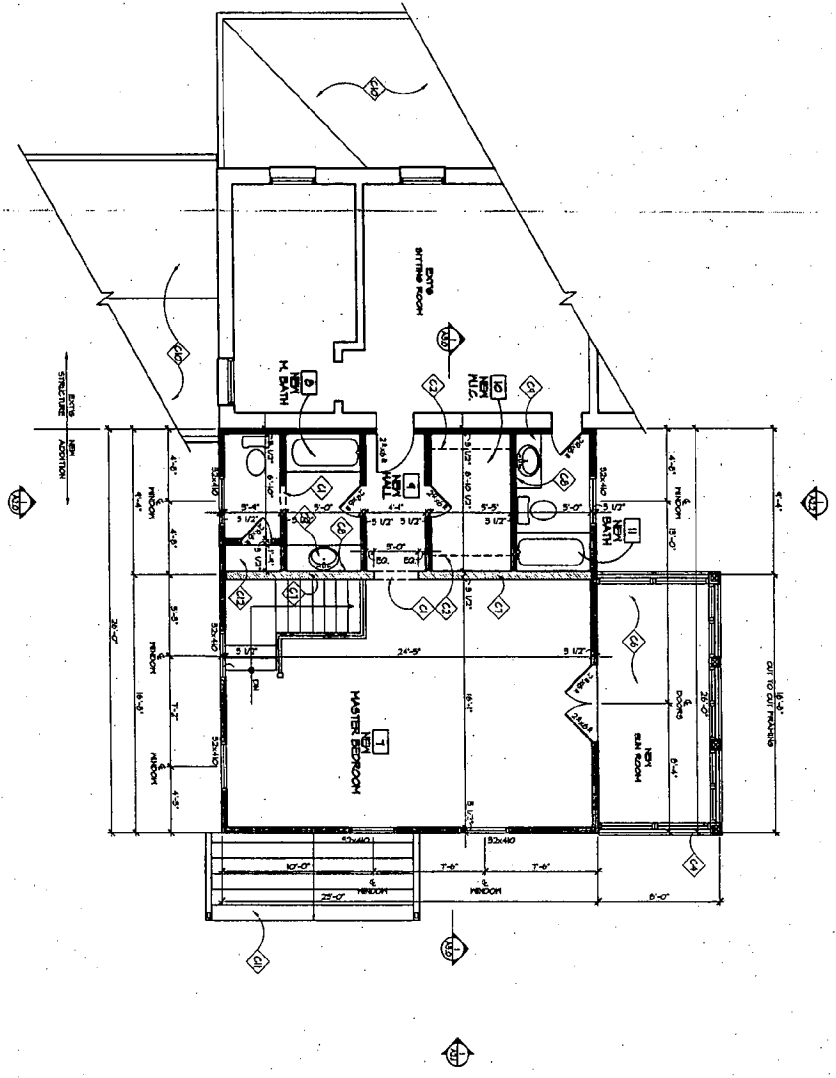
WALL TYPES

TYPICAL EXTERIOR WALL: 2"x4" ROOF STUDS @ 16" O.C. W/ R-6 INSULATION & W/ VAPOR BARRIER. 1/2" GYP. BOARD OVER STUDS. INTERIOR FINISH TO BE 5/8" DD. (1/2") INTERIOR FINISH TO BE 5/8" DD. (1/2").

TYPICAL INTERIOR PARTITION: 2"x4" STUDS @ 16" O.C. W/ 1/2" GYP. BOARD OVER STUDS. INTERIOR FINISH TO BE 5/8" DD. (1/2").

| | |
|---|--|
| <p>CHISWELL FARM</p> <p>20130 WASCHE ROAD DICKERSON, MD 20842</p> <p>FIRST FLOOR PLAN</p> | <p>GTMI ARCHITECTS</p> <p>1000 MARKET AVENUE SUITE 200 ROCKVILLE, MD 20850 (301) 761-2000</p> |
| <p>DATE: 12.21.07</p> <p>PROJECT NO.: 2004-1243</p> <p>DRAWING NO.: A1.0</p> | <p>DESIGNED BY: DMR</p> <p>DRAWN BY: GTH</p> <p>CHECKED BY: GTH</p> <p>SCALE: AS NOTED</p> |

II SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



CONSTRUCTION NOTES

- 1. NOT USED OPENING
- 2. QUADRY SHELVES - KNOX BY ORDER
- 3. FIBER OPTIC CABLE SYSTEM, SEE ELEVATIONS
- 4. FIBER OPTIC CABLE SYSTEM, SEE ELEVATIONS
- 5. CONTRACTOR TO PROVIDE 3/4" SILLAGE
- 6. NOT USED
- 7. THE FLOORING & FINISH MATERIAL, SEE 204 DRAWINGS
- 8. 204 DRAWINGS
- 9. THE FLOORING & FINISH MATERIAL, SEE 204 DRAWINGS
- 10. VANITY TO BE SELECTED
- 11. VANITY TO BE SELECTED
- 12. NOT USED
- 13. NOT USED
- 14. PROVIDE (3) ISOLATED SPRING MOUNTS

WALL TYPES

TYPICAL EXTERIOR WALL, 7'-4" WOOD STUDS @ 16" O.C. WITH 2" INSULATION & SHEATHING, TYPICAL STUDS & SHEATHING FOR ELEVATIONS. INTERIOR FINISH TO BE GYP. BO. (1/2").

TYPICAL INTERIOR PARTITION, 5/8" STUDS @ 16" O.C. WITH GYP. BO. EACH SIDE, INTERIOR FINISH TO BE GYP. BO. (1/2").

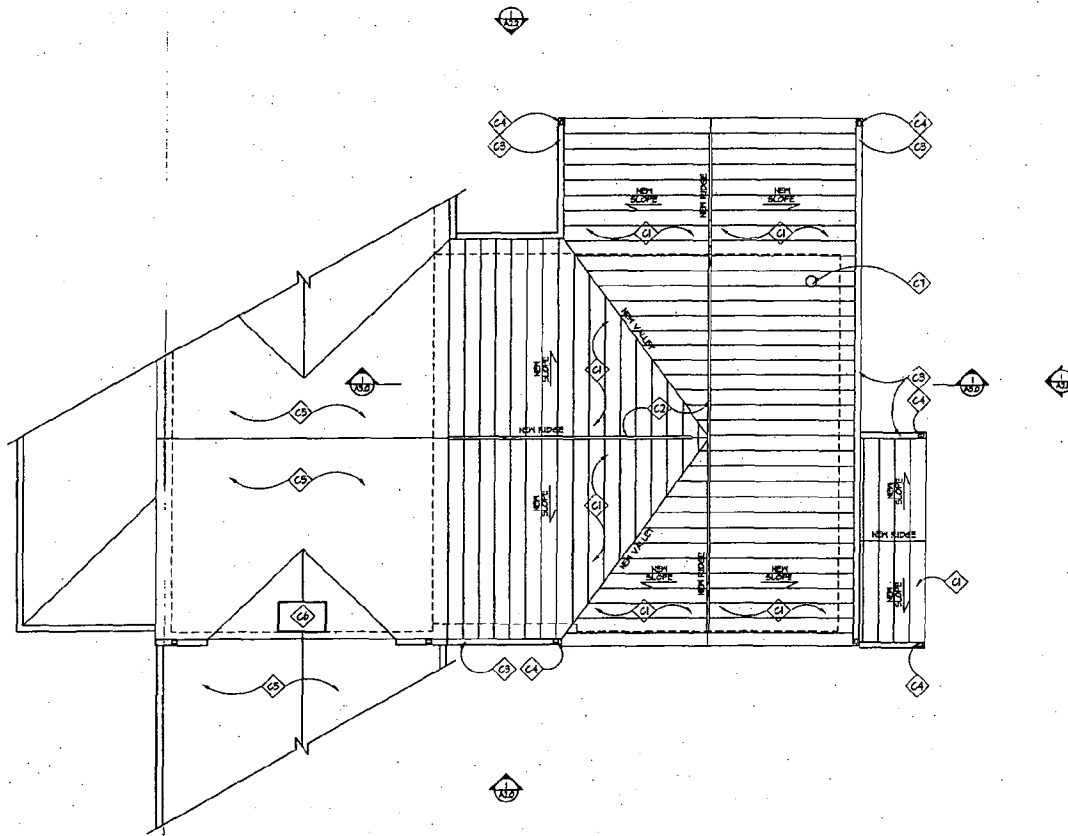
GTMI
ARCHITECTS
5015 ANNE ARUNDEL AVENUE
BETHESDA, MD 20814
301-461-9900

20130 WASCHE ROAD
DICKERSON, MD 20842
SECOND FLOOR PLAN

CHISWELL FARM

| | |
|--------------------|------|
| REVISIONS | DATE |
| 1. REV. 01.22.07 | |
| 2. REV. 02.13.07 | |
| 3. REV. 02.13.07 | |
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| 98. REV. 02.13.07 | |
| 99. REV. 02.13.07 | |
| 100. REV. 02.13.07 | |

A1.1



1 ROOF PLAN
A1.2 SCALE: 1/4"=1'-0"

ROOF NOTES

- ◇ C1 NEW STANDING SEAM METAL ROOF, T.B.S.
- ◇ C2 RIDGE VENTS BY "COR-A-VENT" OR APPROVED EQUAL.
- ◇ C3 NEW GUTTER, TO MATCH EXT'G
- ◇ C4 NEW DOWNSPOUT, TO MATCH EXT'G
- ◇ C5 EXISTING ROOF
- ◇ C6 EXISTING CHIMNEY
- ◇ C7 GAS FIREPLACE VENT

GTM
ARCHITECTS

1045 ARDURY AVENUE,
KENSINGTON, MD 20895
301-453-4000
301-453-8144 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
ROOF PLAN

**CHISWELL
FARM**

| REVISIONS: | |
|------------|---------------|
| △ | REV. 02.22.07 |
| △ | REV. 04.18.07 |
| △ | REV. 11.14.07 |

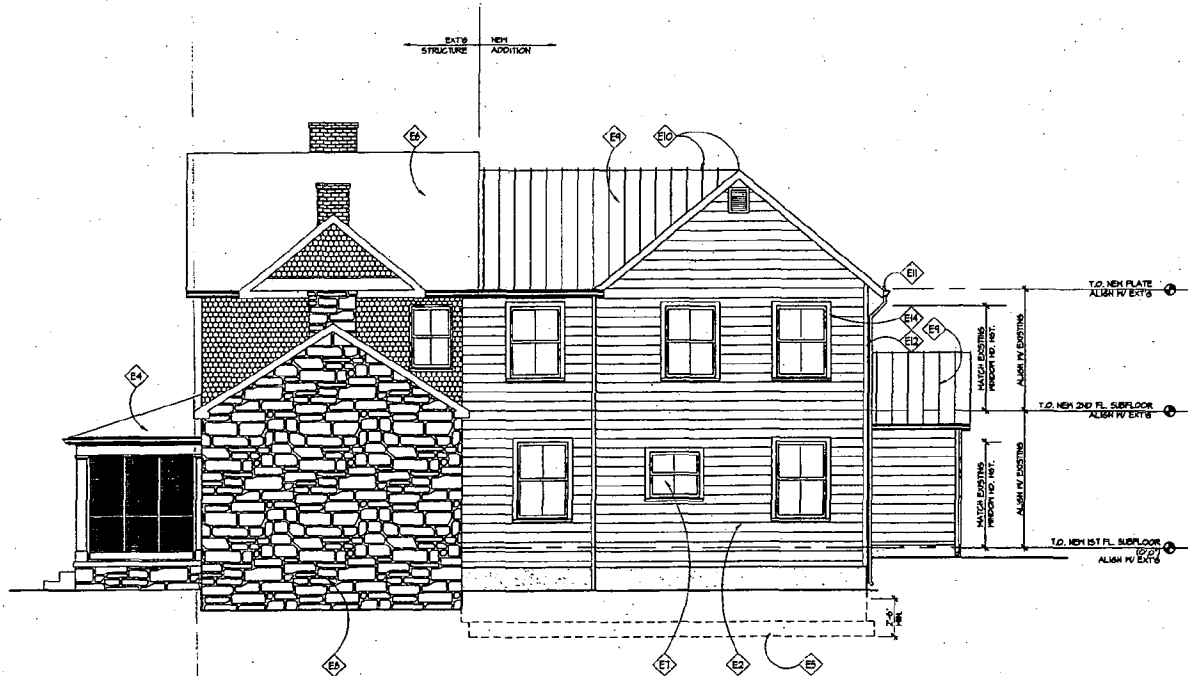
SCALE:

| | |
|--------------|----------|
| DRAWN BY: | DER |
| CHECKED BY: | GTM |
| SCALE: | AS NOTED |
| DATE: | 12.21.07 |
| PROJECT NO.: | 20041243 |
| DRAWING NO.: | |

A1.2

GENERAL ROOFING NOTES

1. PROVIDE WEATHER GUARD UNDERLAYMENT UNDER SINGLES @ ALL VALLEYS, @ ALL PERIMETER AREAS (3'-0" BACK FROM FASCIA), AND ON ALL AREAS W/ SLOPE LESS THAN 4:12.
2. SEE FRAMING PLANS FOR OVERBUILD AREAS.
3. INSTALL CHIMNEY ANCHORAGE STRAPS AS PER IBC, 2000 EDITION TABLE R1003.1 AND FIGURE R1003.1
4. INSTALL AND FLASH SKYLIGHTS PER MANUFAC.



A2.0 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- E1 NOT USED
- E2 NEW PTD. HARDY-PLANK, SMOOTH LAP SIDING
- E3 30 YEAR ASPHALT SHINGLES
- E4 EXISTING PORCH
- E5 LINE OF FOUNDATION
- E6 EXISTING SLATE ROOF
- E7 HOOD WINDOWS, MATCH EXTS. GRILL PATTERN
- E8 EXISTING STONE
- E9 STANDING SEAM METAL ROOF
- E10 RIDGE VENT, SEE ROOF PLAN
- E11 BUTTER 1 D.S., TO MATCH EXISTING
- E12 PTD. 5/4" x 4 CORNER BOARDS
- E13 NOT USED
- E14 PTD. 5/4" x 4 PORCH & DOOR TRIM
- E15 NOT USED
- E16 NOT USED

NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.

GTM
ARCHITECTS

1045 ARMY AVE.
EDMONSTON, MD. 20842
301-442-4042
301-442-5424 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
RIGHT SIDE ELEVATION

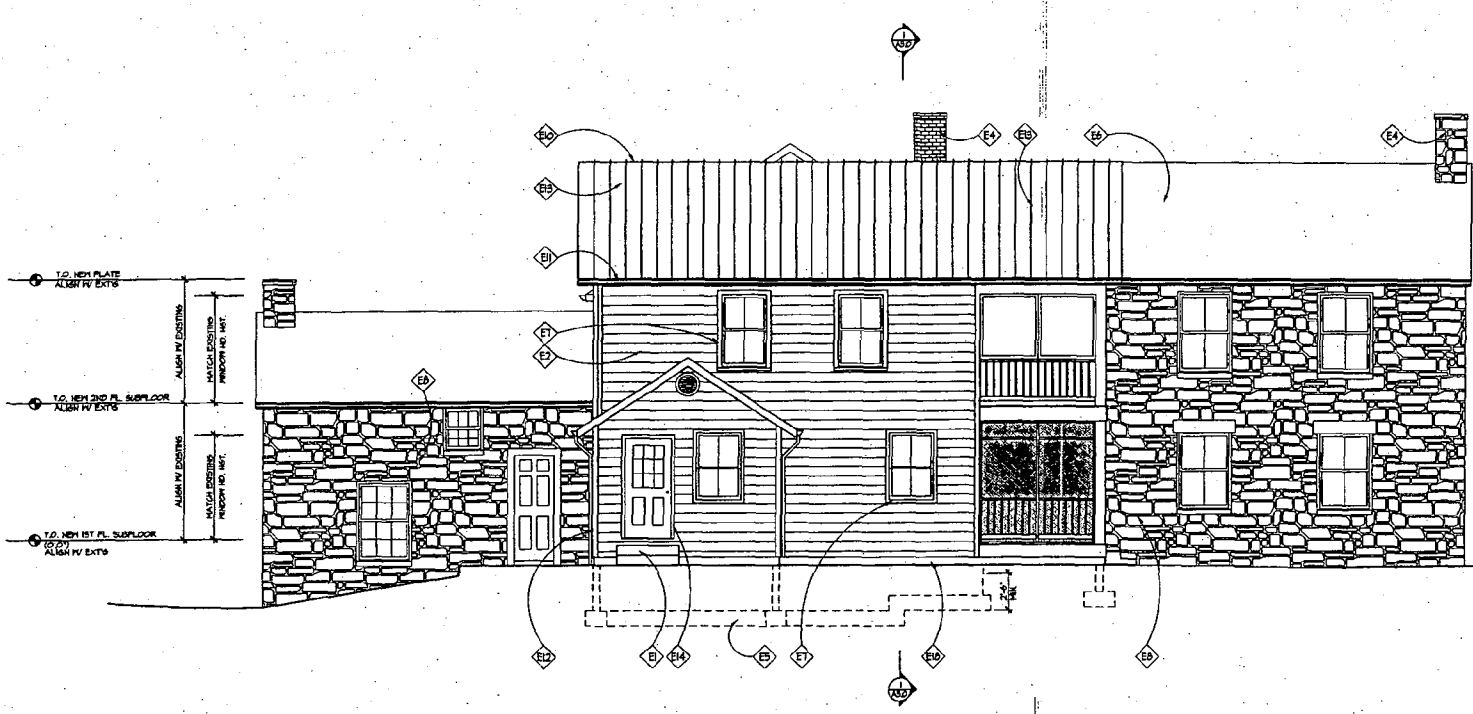
**CHISWELL
FARM**

| |
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| REVISIONS: |
| REV. 02_22_01 |
| REV. 04_18_01 |
| REV. 11_11_01 |

SEAL:

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| DRAWN BY: | DER |
| CHECKED BY: | GTM |
| SCALE: | AS NOTED |
| DATE: | 12.21.01 |
| PROJECT NO.: | 2004243 |
| DRAWING NO.: | |

A2.0



1 REAR ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- E1 NEW HOOD DOOR, T.B.S.
- E2 NEW PTD. HARD-PLANK SMOOTH LAP SIDING
- E3 30 YEAR ASPHALT SHINGLES
- E4 EXISTING CHIMNEY
- E5 LINE OF FOUNDATION
- E6 EXISTING SLATE ROOF
- E7 HOOD HINGERS, MATCH EXTS. GRILL PATTERN
- E8 EXISTING STONE
- E9 PTD. TRELLIS
- E10 RIDGE VENT; SEE ROOF PLAN
- E11 GUTTER # 0.5; TO MATCH EXISTING
- E12 PTD. 5/4" x 4 CORNER BOARDS
- E13 STANDING SEAM METAL ROOF, T.B.S.
- E14 PTD. 5/4" x 4 HINGERS # DOOR TRIM
- E15 NOT USED
- E16 NOT USED
- E17 NOT USED
- E18 FOUNDATION VENTS
- E19 NOT USED

GTM
ARCHITECTS

1048 ARCADE AVENUE,
ROCKINGTON, MD. 20840
(301)443-8822
(301)443-5134 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
REAR ELEVATION

**CHISWELL
FARM**

REVISIONS:

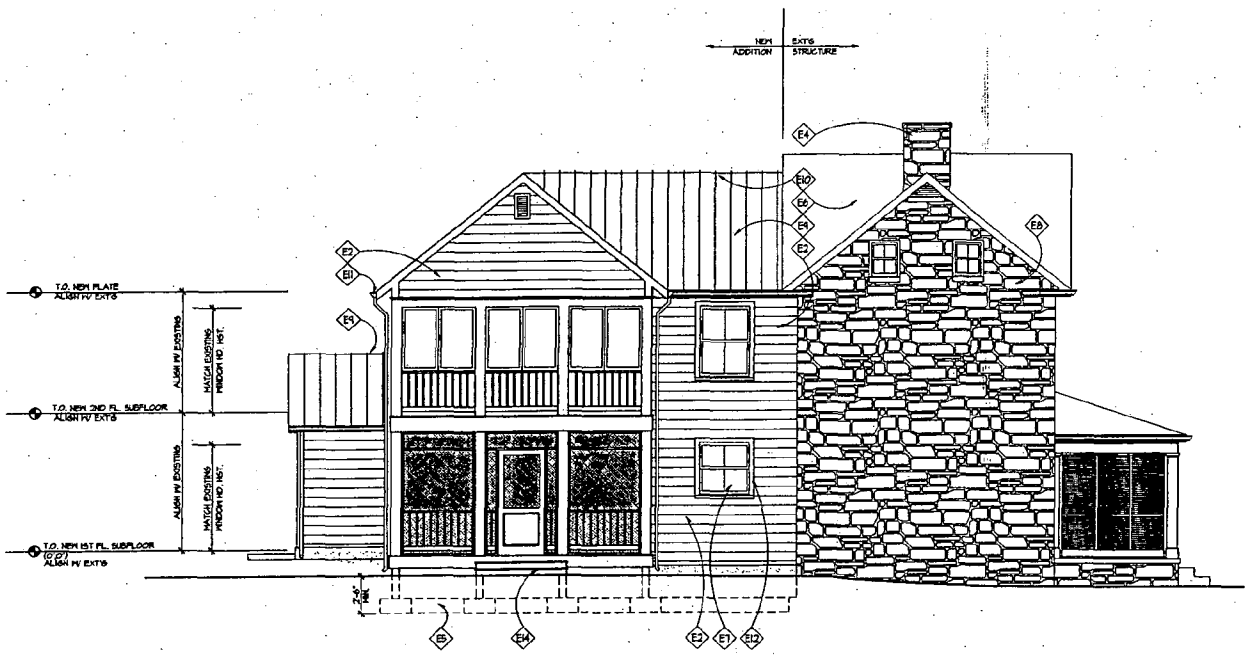
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| ▲ | REV. 11.11.01 |

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| DRAWN BY: | DER |
| CHECKED BY: | ETH |
| SCALE: | AS NOTED |
| DATE: | 12.21.01 |
| PROJECT NO.: | 200-4243 |
| DRAWING NO.: | |

A21

NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.



A2.2 LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

- E1 STANDING SEAM METAL ROOF
- E2 NEW FTD. HARDSH-PLANK SHOOK LAP SIDING
- E3 30 YEAR ASPHALT SHINGLE
- E4 EXISTING CHIMNEY
- E5 LINE OF FOUNDATION
- E6 EXISTING SLATE ROOF
- E7 MOOD WINDOWS, MATCH EXTS. GRILL PATTERN
- E8 EXISTING STONE
- E9 STANDING SEAM METAL ROOF, T.B.S.
- E10 RIDGE VENT; SEE ROOF PLAN
- E11 BUTTER 1 D.S.; TO MATCH EXISTING
- E12 FTD. 3/4" x 4" WINDOW & DOOR TRIM
- E13 NOT USED
- E14 MOOD STEPS TO GRADE, VERIFY IN FIELD
- E15 NOT USED

NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.

GTM
ARCHITECTS

1043 ARMOY AVENUE
KEESWICK, MD 20895
301-943-4062
301-943-3038 FAX

2030 WASCHE ROAD
DICKERSON, MD 20842
LEFT SIDE ELEVATION

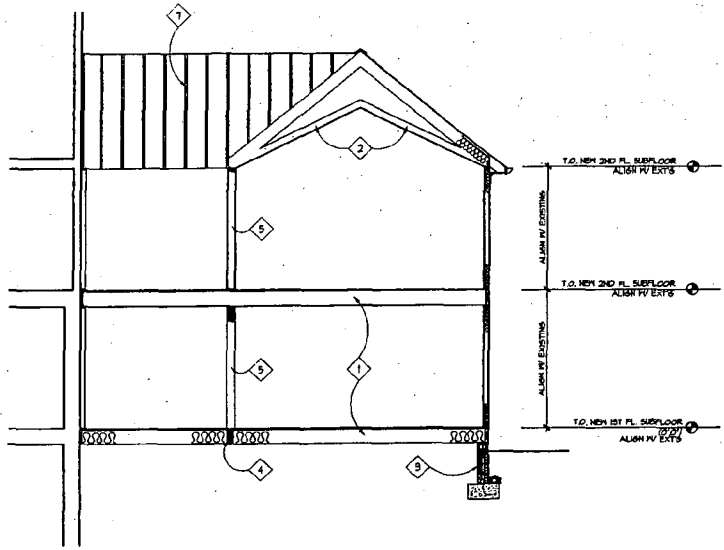
**CHISWELL
FARM**

| REVISIONS | |
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| ▲ | REV. 04_18_01 |
| ▲ | REV. 11_14_01 |

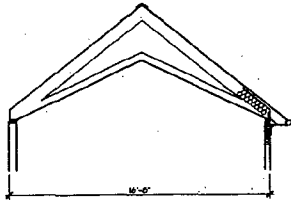
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| SCALE: | AS NOTED |
| DATE: | 12.21.01 |
| PROJECT NO.: | 2004243 |
| DRAWING NO.: | |

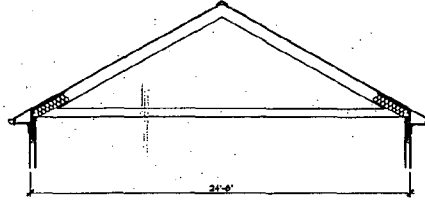
A2.2



1 BUILDING SECTION
AS.0 SCALE: 1/4"=1'-0"



2 ROOF TRUSS "A" SECTION
AS.0 SCALE: 1/4"=1'-0"



3 ROOF TRUSS "B" SECTION
AS.0 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- 1 FLOOR JOISTS, SEE FRAMING PLANS
- 2 TRUSS SYSTEM, SEE SECTION 2/A3.0
- 3 GFI FOUNDATION WALL
- 4 LVL. BEAM, SEE FRAMING PLANS
- 5 2x6 LOAD BEARING WALL
- 6 BUILD UP AS REQD. TO CREATE HP ON ENDS
- 7 TRUSS SYSTEM, SEE SECTION 2/A3.0

GTM
ARCHITECTS

10415 ARPHORY AVENUE
BENNINGTON, VT, 05209
(800)442-4063
(800)442-9824 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
BUILDING SECTION

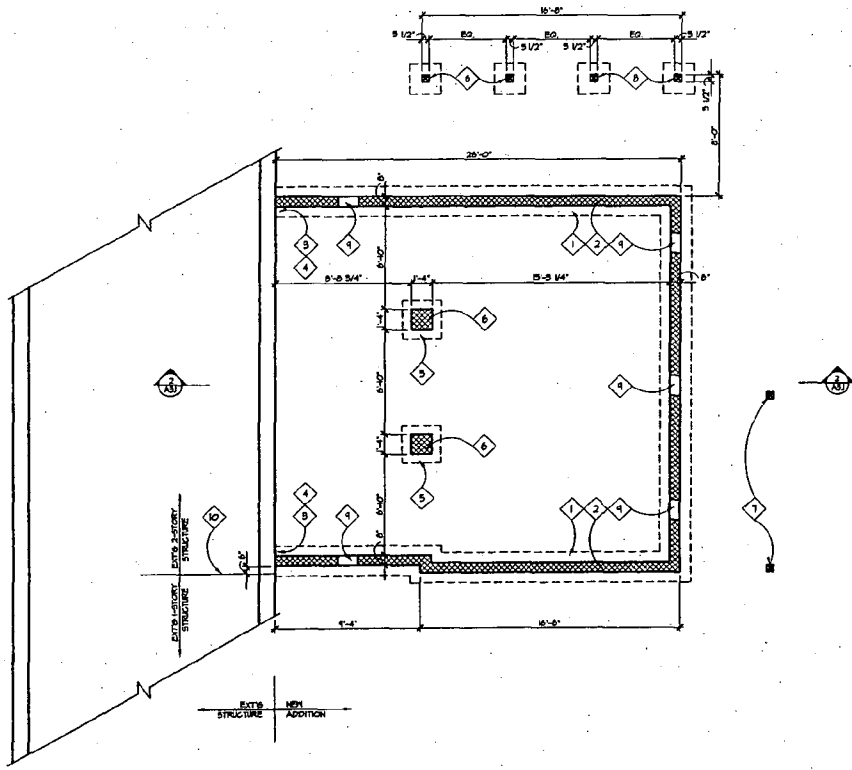
**CHISWELL
FARM**

| REVISIONS | |
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| A | REV. 02.22.01 |
| A | REV. 04.19.01 |
| A | REV. 11.14.01 |

SEAL:

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| DRAWN BY: | DER |
| CHECKED BY: | ETH |
| SCALE: | AS NOTED |
| DATE: | 12.21.01 |
| PROJECT NO.: | 2004243 |
| DRAWING NO.: | |

A3.0



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- 1 DOTTED LINE INDICATES NEW 2'-0" WIDE x 1'-0" DEEP CONC. FOOTING PROVIDE (2) #5 BARS CONC. STEP FOOTING AS INDICATED AND AS SHOWN ON ELEVATION DRAWINGS
- 2 8" CH WALLS W/ 1/2" VERT. BARS & 18" O.C. W/ NOVELL JOINT TRUSS REIN. & 8" SPACED CELLS & REBAR. EXTEND REIN. INTO CONC. FTG. - L&P BARS 3'-0" (TYP.)
- 3 DRILL 4 EPOXY (ZIPS DOBELS) x 1'-6" W/ 1" EMBED INTO EXT'G FTG.
- 4 MATCH BOTTOM OF EXT'G FTG.
- 5 CONC. FTG. 2'-6" x 2'-4" x 1'-0" W/ (8) #5 BARS EACH 3" FROM BOTTOM OF FTG.
- 6 18" CH PIER, FILL SOLID
- 7 6x6 P.T. POSTS ON 1'-4" x 1'-4" x 1'-0" DEEP CONC. FTG.
- 8 6x6 P.T. POSTS ON 2'-0" x 2'-0" x 1'-0" DEEP CONC. FTG.
- 9 6x6 CRANK SPACE VENT W/ INTERNAL INSECT SCREEN
- 10 LINE INDICATES WHERE EXISTING STRUCTURE TRANSITIONS FROM A 2-STORY STRUCTURE TO A 1-STORY STRUCTURE

GENERAL NOTES

- 1 CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP.)
- 2 BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-4" BELOW FINISHED GRADES (TYP.) OR AS SHOWN ON DRAWINGS.

GTM ARCHITECTS

10415 ARDORY AVENUE
ROCKHISTON, MD 20850
301442-4067
301442-3124 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
FOUNDATION PLAN

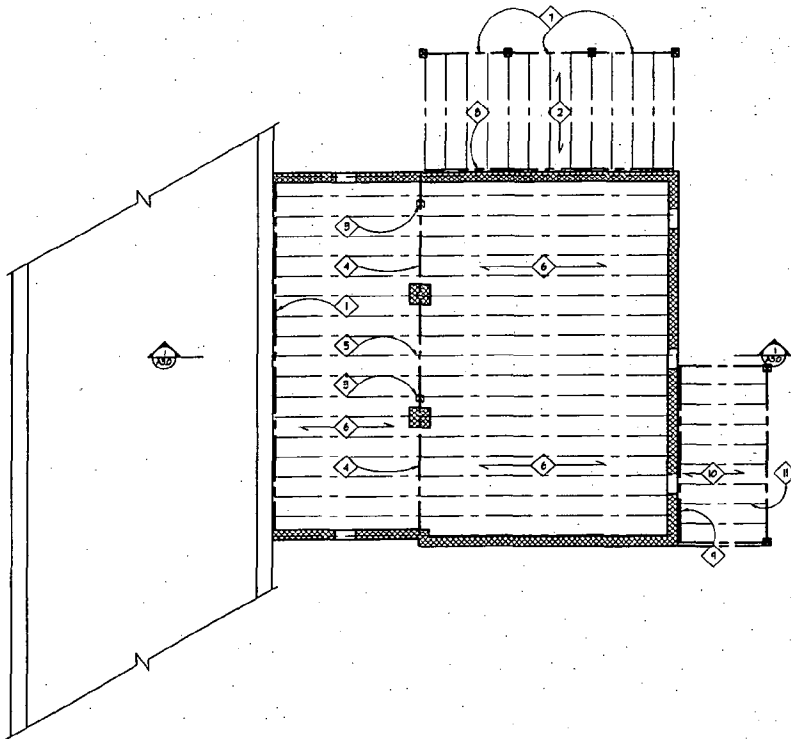
CHISWELL FARM

| | |
|------------|---------------|
| REVISIONS: | |
| ▲ | REV. 02_22_01 |
| ▲ | REV. 04_13_01 |
| ▲ | REV. 11_18_01 |

SCALE:

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| DRAWN BY: | DER |
| CHECKED BY: | GTM |
| SCALE: | AS NOTED |
| DATE: | 12.21.01 |
| PROJECT NO.: | 2004243 |
| DRAWING NO.: | |

S1.0



511 FIRST FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- 1 2x12 P.T. LEDGER W/ 5/8" ø BOLTS @ 16" O.C. STAGGER
- 2 P.T. 2x10's @ 16" O.C.
- 3 POST FROM ABOVE
- 4 (2) 1-1/4" x 11-1/2" LVL IN SAME PLANE AS JOISTS
- 5 CHU PIER BELOW, SEE FOUNDATION PLAN
- 6 11-1/2" LVL @ 16" O.C. OR 2x12's
- 7 (B) 2x10 P.T. BEAM
- 8 2x10 P.T. LEDGER W/ 5/8" ø BOLTS @ 16" O.C. STAGGER
- 9 2x10 P.T. LEDGER W/ 5/8" ø BOLTS @ 16" O.C. STAGGER
- 10 P.T. 2x8's @ 16" O.C.
- 11 (2) 2x8 P.T. BEAM

GENERAL NOTES

- 1. CENTER ALL PIERS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
- 2. BOTTOM OF ALL PTGS SHALL BE MIN OF 2x4" BELOW FINISHED GRADES (TYP) OR AS SHOWN ON DRWGINGS.
- 3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF. RECOMMENDATIONS.
- 4. PROVIDE SIMPSON HD3 OR HS UPLIFT CONNECTORS AT ALL PARTERS. PROVIDE 2x2 STRIPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER.
- 5. ALL MOOD POSTS SHALL BE SOUTHERN PINE NO.1 OR LVL POST. NO BUILT-UP STUDS ALLOWED.
- 6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CHU OR SIZED BEAM.
- 7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTORS.
- 8. PROVIDE SQUARE BLOCKS @ EACH SIDE OF 1x8 JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.

GTM ARCHITECTS

1045 ARBORY AVENUE
DICKERSON, MD 20842
301-472-4060
301-472-3028 FAX

20150 MASOHE ROAD
DICKERSON, MD 20842

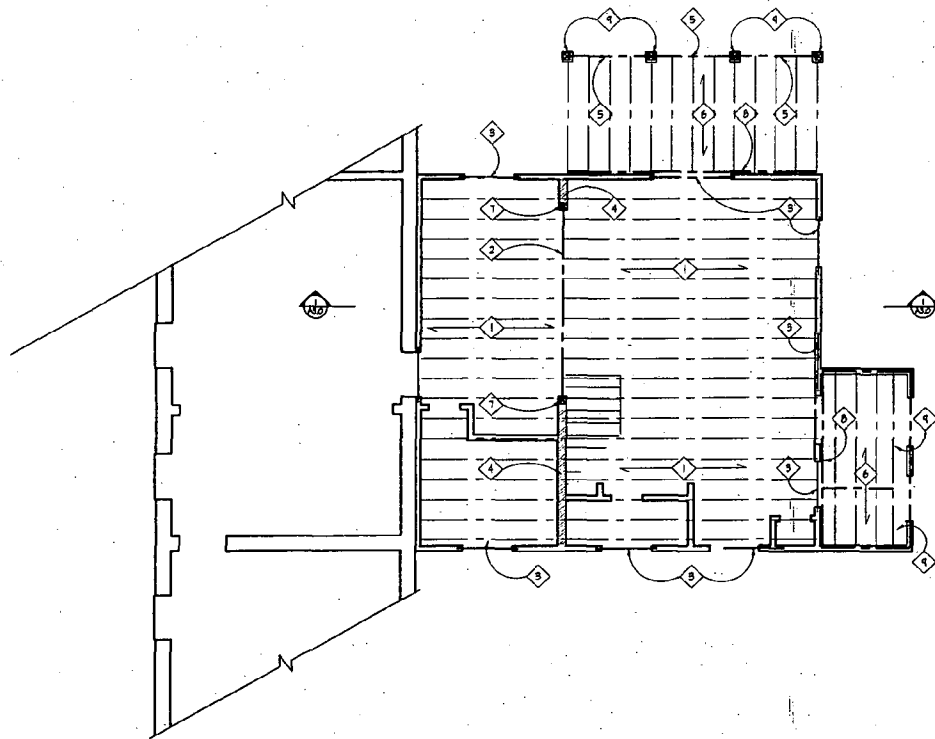
FIRST FLOOR
FRAMING PLAN

CHISWELL
FARM

| | |
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| REVISIONS: | |
| ▲ | REV. 02_22_01 |
| ▲ | REV. 04_13_01 |
| ▲ | REV. 11_14_01 |

SCALE:

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| DRWN BY: | DER |
| CHECKED BY: | GTM |
| SCALE: | AS NOTED |
| DATE: | 12.21.07 |
| PROJECT NO.: | 2004243 |
| DRAWING NO.: | S11 |



1 SECOND FLOOR FRAMING PLAN
S1.2 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- 1 12" T&B OR 2X12 @ 16" O.C.
- 2 (B) 4x4" x 8'-10" LVL BEAM BELOW JOISTS
- 3 2x6 HEADER
- 4 2x6 @ 16" O.C. LOAD BEARING WALL BELOW
- 5 P.T. (B) 2x10 BEAM IN SAME PLANE AS JOISTS
- 6 P.T. 2x10 @ 16" O.C.
- 7 3-1/4" x 3-1/4" PSL POST
- 8 2x6 P.T. LEDGER
- 9 3x6 POST
- 10 2x6 @ 16" O.C. RAFTERS & CEILING JOISTS
- 11 (B) 2x6 P.T. BEAM

GENERAL NOTES

- 1 CENTER ALL PILES AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
- 2 BOTTOM OF ALL PILES SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP) OR AS SHOWN ON DRAWINGS.
- 3 FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLLARS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPORTION SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO HANDBOOK RECOMMENDATIONS.
- 4 PROVIDE SIMPSON HES OR HS UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE 2X2 STRIPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER.
- 5 ALL WOOD POSTS SHALL BE SOUTHERN PINE No.1 OR LVL POST. NO BUILT-UP STDS ALLOWED.
- 6 PROVIDE BLOCKS UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CHD OR STEEL BEAMS.
- 7 PROVIDE SIMPSON POST CAP AND BASE CORN TYP AT ALL POSTS AND BEAM CONNECTIONS.
- 8 PROVIDE OSB/MSB BLOCKS @ EACH SIDE OF LVL JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.
- 9 INSTALL CHAIRY ANCHORAGE STRIPS AS PER IBC, 2000 EDITION TABLE 605.3 AND FIGURE 605.3.

GTM ARCHITECTS

1045 AIRPORT AVENUE
KINGSTON, MD 20640
301-942-4000
301-942-4001 FAX

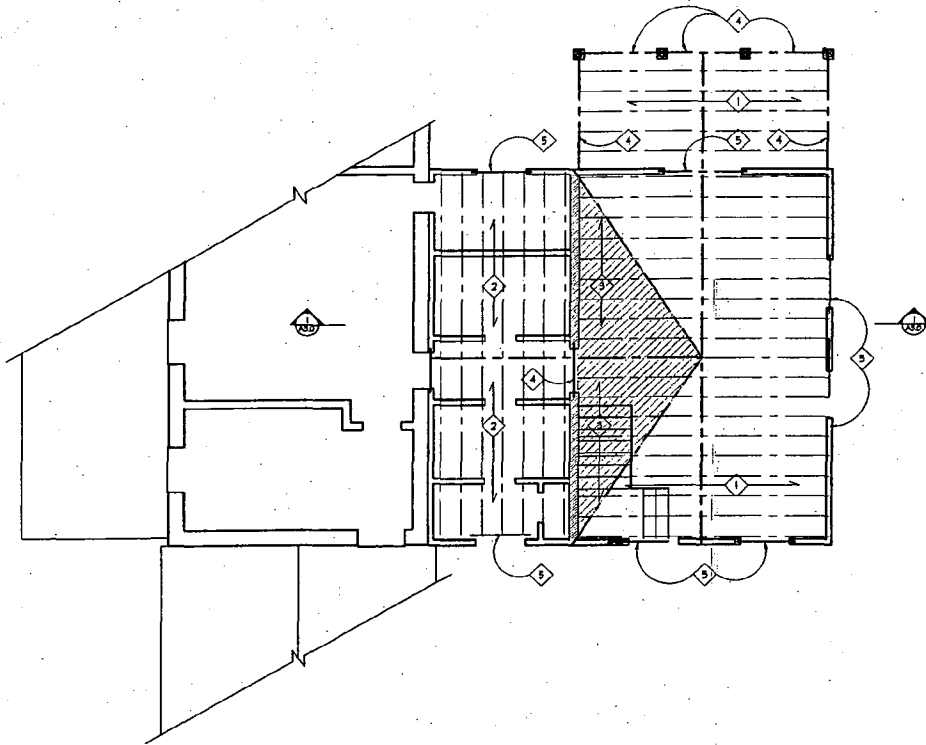
20130 WASCHE ROAD
DICKERSON, MD 20842
SECOND FLOOR
FRAMING PLAN

CHISWELL
FARM

| REVISIONS | |
|-----------|---------------|
| A | REV. 02.22.07 |
| B | REV. 04.18.07 |
| C | REV. 11.14.07 |

SCALE:

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| DRAWN BY: | DER |
| CHECKED BY: | GTH |
| SCALE: | AS NOTED |
| DATE: | 12.21.07 |
| PROJECT NO.: | 2004243 |
| DRAWING NO.: | S1.2 |



1 ROOF FRAMING PLAN
S1.3 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- 1 ROOF TRUSS A, SEE S1A5.0
- 2 ROOF TRUSS B, SEE S1A5.0
- 3 OVERBUILD
- 4 (1) 2x10 BEAM
- 5 (2) 2x10 HEADER
- 6 2x6 LOAD BEARING WALL BELOW

GENERAL NOTES

1. CENTER ALL PIER AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
2. BOTTOM OF ALL FISH SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP) OR AS SHOWN ON DRAWINGS.
3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLLARS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF. RECOMMENDATIONS.
4. PROVIDE SIMPSON H2.3 OR H8 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST 2x2 STRIPS CONNECTING TOP OF SHEARWALL TO DOCKLE HEADS.
5. ALL ROOF POSTS SHALL BE SOUTHERN PINE NO.1 OR LVL POST. NO EMULIF STUDS ALLOWED.
6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CHU OR STEEL BEAMS.
7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.
8. PROVIDE SQUARE BLOCKS @ EACH SIDE OF T.E. JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.
9. INSTALL CHIMNEY ANCHORAGE STRAPS AS PER (I.C. 2000 EDITION TABLE R1003) AND FIGURE R1003.

GTM ARCHITECTS

1048 ARBORY AVENUE
KIDDERMERE, MD 20842
301-443-1600
301-443-3281 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842

ROOF
FRAMING PLAN

CHISWELL
FARM

REVISIONS

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|---|---------------|
| Δ | REV. 02.22.07 |
| Δ | REV. 04.18.07 |
| Δ | REV. 11.19.07 |

SCALE:

DRAWN BY: DER
CHECKED BY: GTM
SCALE: AS NOTED
DATE: 12.21.07
PROJECT NO: 2004243
DRAWING NO:

S1.3



HISTORIC PRESERVATION COMMISSION

Isiah Leggett
County Executive

Jef Fuller
Chairperson

Date: 02/14/08

MEMORANDUM

TO: Carla Reid, Director
Department of Permitting Services

FROM: Anne Fothergill *AF*
Planner Coordinator
Historic Preservation Section-Planning Department
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #475351 - Rear addition and alterations to house

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the February 13, 2008 meeting.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Montgomery County Solid Waste (Robert Harney, Agent)
Address: 20130 Wasche Road, Dickerson

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made.





HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

475351

Contact Person: _____

Daytime Phone No.: _____

Tax Account No.: 36311

Name of Property Owner: MONTGOMERY Co. Solid Waste Daytime Phone No.: _____

Address: 101 MONROE STREET Rockville Md. 20850
Street Number City State Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: ROBERT B. HARNEY Daytime Phone No.: 301-365 7199

7218 BEACON TERR. BETHESDA, MD 20817

LOCATION OF BUILDING/PREMISE

House Number: 20136 Street: Wasche Road

Town/City: DICKERSON Nearest Cross Street: MARTINSBURG RD.

Lot: _____ Block: _____ Subdivision: _____

Liber: 18377 Folio: 0125 Parcel: P 405

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|---|--|---------------------------------------|---|---|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input checked="" type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input type="checkbox"/> Wreck/Reuse | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input checked="" type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Reversible | <input type="checkbox"/> Fence/Wall (complete Section 4) | <input type="checkbox"/> Other: _____ | | | | |

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # 332470

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Robert B. Harney
Signature of owner or authorized agent

JAN 7, 2008
Date

Approved: _____
Disapproved: _____ Signature _____ Date: 2-14-08

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION
STAFF REPORT

| | | | |
|---------------------|--|-----------------------|-----------------|
| Address: | 20130 Wasche Road, Dickerson | Meeting Date: | 2/13/08 |
| Resource: | <i>Master Plan</i> Site #16/2 Edward Chiswell Farm | Report Date: | 2/6/08 |
| Applicant: | Montgomery County DPWT-Solid Waste Services (Robert Harney, Lessee) | Public Notice: | 1/30/08 |
| Review: | HAWP | Tax Credit: | None |
| Case Number: | 16/2-08A / 16/2-04A RETROACTIVE/REVISION | Staff: | Anne Fothergill |
| PROPOSAL: | Rear addition and window replacement | | |

STAFF RECOMMENDATION

Staff is recommending that the Historic Preservation Commission approve this HAWP application.

BACKGROUND

This application has been reviewed by the Commission and staff numerous times since 2001.

2001: The owner (Montgomery County DPWT) received approval from the HPC to demolish a non-historic addition from the rear elevation of the house. The approval was granted with the understanding that the applicant would return to the Commission with a proposal to construct a new addition at the rear of the historic house.

2003: DPWT entered into a lease agreement with Robert Harney for the care and rehabilitation of the historic Edward Chiswell Farmstead. Under this lease agreement, Mr. Harney is made aware that the property is historic and some work will require approved Historic Area Work Permits.

May 2004: The HPC approved a HAWP application for a rear addition onto the house; in June 2004 staff reviewed and stamped the construction drawings for the addition. Approved plans in Circles 30-42.

December 2004: Mr. Harney returned to the Commission requesting to replace the windows on the original house. The Commission did not support the replacement, and told Mr. Harney that he could replace the completely non-repairable window frames on a case-by-case basis with staff review, but the sashes must be retained and rehabilitated, and only if there is a sash beyond repair, may it be replaced in-kind.

June 2005: Staff met with Mr. Harney regarding proposed replacement of irreparable sashes with true-divided light sash replacements.

January 2006: On site visit, staff found that original windows had been removed.

February-March 2006: Staff called DPWT contact person numerous times to discuss violations.

April 2006: Stop Work Order issued by Department of Permitting Services for violation of Historic Area Work Permit approval.

April-November 2006: Staff and Mr. Harney and DPWT discussed next steps.

March 2007: Mr. Harney and DPWT submitted a revised retroactive HAWP which the HPC denied due to incomplete and inaccurate plans.

July 2007: Staff met with Mr. Harney, DPWT, and two County Attorneys and all parties agreed to changes to be made to the addition and the house to be in compliance with the approved HAWP and agreed that these changes will come to the HPC for approval. See Circle 21 for summary of the agreement.

January 2008: The applicants submitted new plans and a new HAWP reflecting the July 2007 agreement.

ARCHITECTURAL DESCRIPTION/ HISTORIC CONTEXT

SIGNIFICANCE: Edward Chiswell Farm/Longview, *Master Plan* Site #16/02
DATE: North section: c1800; south section: c1868-90

Excerpt from Places in the Past:

The three-part stone and frame house represents an evolution of construction and is best known as the residence of Civil War officer Edward Jones Chiswell. Thomas Cooley built a 1-½ story stone house about 1800, replacing an early-1700s log house (Period 1). Located at the north end of the current dwelling, the structure is three-bays wide, built of undressed stone featuring keystone window lintels. The house had central entrances on front and back. Cooley operated his plantation with the help of 14 slaves. In 1814, Henry W. Talbott purchased the farm. He was a planter who was Justice of the Peace and member of the School Board. Talbott probably built the first level of the center section (Period 2), which is constructed of cut and dressed stone with central entrances on both facades. According to tradition, the house was used as a Union hospital during the Civil War.

In 1868, Edward Chiswell acquired the farm, which became known as Longview. During the war, Chiswell had served under relative and neighbor Col. Elijah Viers White of the Virginia Calvary. Chiswell was joined in Virginia by many Montgomery County residents who were locally known as "Chiswell's Exiles." During the war, Chiswell was wounded twice, led a mission across the icy Potomac to capture horses from an encampment, and surrendered in Edward's Ferry in 1865. Later that year he married Evalina Allnut. In 1868, they purchased this farm and probably soon thereafter built the southern section of the house, which is the three-bay block of undressed stone containing heavy stone window lintels and interior gable-end chimneys (Period 3). The Chiswells, who raised six children on the farm, expanded the center block with a second story addition in the late 1800s (Period 4). A cross gable roof and the fishscale shingle siding exhibit a Victorian era influence. Son Thomas continued to operate the farm after his father's death in 1906.

The environmental setting of the farm is a 20-acre plot of land within the larger parcel of 358.75 acres. The setting includes the main house, smoke house, ice house, garage/shed, corn crib, well/cistern/windmill, bank barn, small livestock barn, barn ruins, tenant house ruins and waterfall ruins.

PROPOSAL

The applicants are proposing to revise their previously-approved HAWP to reflect changes that were made during construction and to bring the plans into compliance with the July 2007 agreement. They are proposing the attached partially-retroactive plans in Circles 7-19 that include the following agreed-upon changes:

Rear elevation of addition

- Construct the 6' x 12' mudroom entry to the addition with a steeper roof
- Install a wood door to the mudroom

Left elevation of addition

- Construct the 16'8" x 8' two-story left side section of the rear addition with screened porch on first floor and sun room on second floor

Historic house--1 ½ story stone section

- Replace two simulated divided light windows with true-divided light wood windows to match those that were removed from the rear elevation

The applicant is also requesting approval of the following changes listed in the agreement which will be implemented as part of Phase Two:

1. Replace the ogee aluminum gutters with approved ½ round copper gutters
2. Replace the asphalt shingle roofing on the addition with a standing-seam metal roof as approved
3. Remove the concrete block around the well and select stone for new well house with assistance from staff; final plans to be reviewed and approved by HPC

APPLICABLE GUIDELINES

When reviewing alterations and new construction to Master Plan individually designated resources two documents are to be utilized as guidelines to assist the Commission in developing their decision. These documents include the *Montgomery County Code Chapter 24A (Chapter 24A)*, and the *Secretary of the Interior's Standards for Rehabilitation (Standards)*. The pertinent information in these documents is outlined below.

Montgomery County Code; Chapter 24A

A HAWP permit should be issued if the Commission finds that:

The proposal will not substantially alter the exterior features of a historic site or historic resource within a historic district.

The proposal is compatible in character and nature with the historical archaeological, architectural or cultural features of the historic site or the historic district in which a historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter.

Secretary of Interior's Standards for Rehabilitation

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, space and spatial relationships that characterize a property will be avoided.

5. Distinctive materials, features, finishes and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportions, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

STAFF DISCUSSION

The rear addition has already been approved by the HPC and this revised application reflects the changes agreed to by HPC staff and the County Attorneys for the HPC and DPWT (see Circle 21) to resolve the outstanding issues from a denied retroactive application – including changes that were made without HPC approval and proposed changes to the previously-approved plans.

The applicants are complying with the agreement, and staff recommends approval so the applicants can move forward with the completion of the almost-finished addition and the replacement of the windows that have unfortunately already been removed. The only small change they are proposing is that the second floor on the rear addition will have a sun room, not a screened porch as originally shown or a three-season room designed to look like a screen porch with glass panels inside as discussed in July 2007. However, this change is at the rear of an addition and the small section of the addition remains glazed. Staff supports this change as it will not have an adverse impact on the historic resource.

As can be seen in the Background section of this staff report, this is a long-standing and complicated case and overall a very unfortunate one. The applicants are now very aware of the HPC approval process and the HAWP requirements and there should not be a retroactive application for this property ever again. Once they receive HPC approval of these plans, the applicants will complete stage one of the agreement and they will begin stage two as funding becomes available. They will inform staff and the Commission when they are ready to proceed with the stage two plans.

STAFF RECOMMENDATION:

Staff recommends that the Commission **approve** the HAWP application as being consistent with Chapter 24A-8 (b) 2:

The proposal is compatible in character and nature with the historical, archeological, architectural or cultural features of the historic site or the historic district in which an historic resource is located and would not be detrimental thereto or to the achievement of the purposes of this chapter, and with the Secretary of the Interior's *Standards for Rehabilitation*,

and with the general condition applicable to all Historic Area Work Permits that **the applicant will present 3 permit sets of drawings to HPC staff for review and stamping prior to submission for permits (if applicable).**



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
 445 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
 301-777-5370

DPS - #8

HISTORIC PRESERVATION COMMISSION
 301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

475351

Contact Person: _____
 Daytime Phone No.: _____
 Tax Account No.: 36311
 Name of Property Owner: MONTGOMERY Co. Solid Waste Daytime Phone No.: _____
 Address: 101 MONROE STREET Rockville Md. 20850
Street Number City State Zip Code

Contractor: _____ Phone No.: _____
 Contractor Registration No.: _____

Agent for Owner: ROBERT B. HARNEY Daytime Phone No.: 301-365 7199
7218 BEACON TERR. BETHESDA, MD 20817

LOCATION OF BUILDING/PREMISE

House Number: 20136 Street: Wasche Road
 Town/City: DICKERSON Nearest Cross Street: MARTINSBURG RD.
 Lot: _____ Block: _____ Subdivision: _____
 Liber: 13377 Folio: A125 Parcel: P 405

PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:

- Construct
- Extend
- Alter/Renovate
- Move
- Install
- Wreck/Tear
- Revision
- Repair
- Revocable

CHECK ALL APPLICABLE:

- A/C
- Slab
- Floor Addition
- Porch
- Deck
- Shed
- Solar
- Fireplace
- Woodburning Stove
- Single Family
- Fence/Wall (complete Section 4)
- Other: _____

1B. Construction cost estimate: \$ _____
 1C. If this is a revision of a previously approved active permit, see Permit # 332470

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____
 2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches
 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
 On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Robert B. Harney
Signature of owner or authorized agent

JAN 7, 2008
Date

Approved: _____ For Chairperson, Historic Preservation Commission
 Disapproved: _____ Signature _____ Date: _____
 Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

Edt 6/2/99

SEE REVERSE SIDE FOR INSTRUCTIONS

5

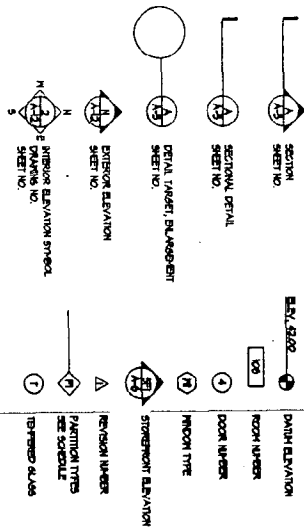
HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

| | |
|--|--|
| <p>Owner's mailing address MONTGOMERY Co. DEPARTMENT OF Public Works and TRANSPORTATION DIVISION OF SOLID WASTE SERVICES 101 MONROE ST. 6TH FLOOR ROCKVILLE, Md 20850</p> | <p>Owner's Agent's mailing address NA</p> |
| <p align="center">Adjacent and confronting Property Owners mailing addresses</p> | |
| <p>POTOMAC ELEC. POWER COMPANY Real Estate DEPT 703 1900 PENNSYLVANIA AVE NW. WASHINGTON D.C. 20006</p> | <p>NA</p> |
| <p>MONTGOMERY COUNTY DEPT. OF Public Works and TRANSPORTATION DIVISION OF SOLID WASTE SERVICE 101 MONROE ST. 6TH FLOOR ROCKVILLE, Md 20850</p> | <p>NA</p> |
| <p>M-NCPPC 9500 BRUNETT Ave Silver Spring, Md 20901</p> | <p>NA</p> |

CHISWELL FARM RESIDENCE

20130 WASCHE ROAD DICKERSON, MD 20842

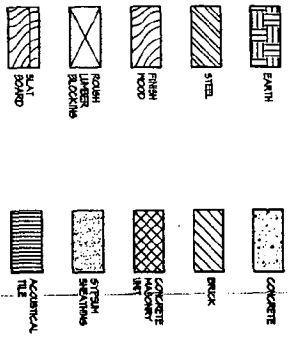
GRAPHIC SYMBOLS



LIST OF DRAWINGS

- CS COVER SHEET
- SP SPECIFICATIONS
- A1.0 FIRST FLOOR PLAN
- A1.1 SECOND FLOOR PLAN
- A1.2 ROOF PLAN
- A2.0 RIGHT SIDE ELEVATION
- A2.1 REAR ELEVATION
- A2.2 LEFT SIDE ELEVATION
- A3.0 BUILDING SECTIONS
- B1.0 FOUNDATION PLAN
- B1.1 FIRST FLOOR FINISHING PLAN
- B1.2 SECOND FLOOR FINISHING PLAN
- B1.3 ROOF FINISHING PLAN

MATERIAL SYMBOLS



ABBREVIATIONS

| SYMBOL | DESCRIPTION |
|--------|-----------------------------|
| CS | COVER SHEET |
| SP | SPECIFICATIONS |
| A1.0 | FIRST FLOOR PLAN |
| A1.1 | SECOND FLOOR PLAN |
| A1.2 | ROOF PLAN |
| A2.0 | RIGHT SIDE ELEVATION |
| A2.1 | REAR ELEVATION |
| A2.2 | LEFT SIDE ELEVATION |
| A3.0 | BUILDING SECTIONS |
| B1.0 | FOUNDATION PLAN |
| B1.1 | FIRST FLOOR FINISHING PLAN |
| B1.2 | SECOND FLOOR FINISHING PLAN |
| B1.3 | ROOF FINISHING PLAN |

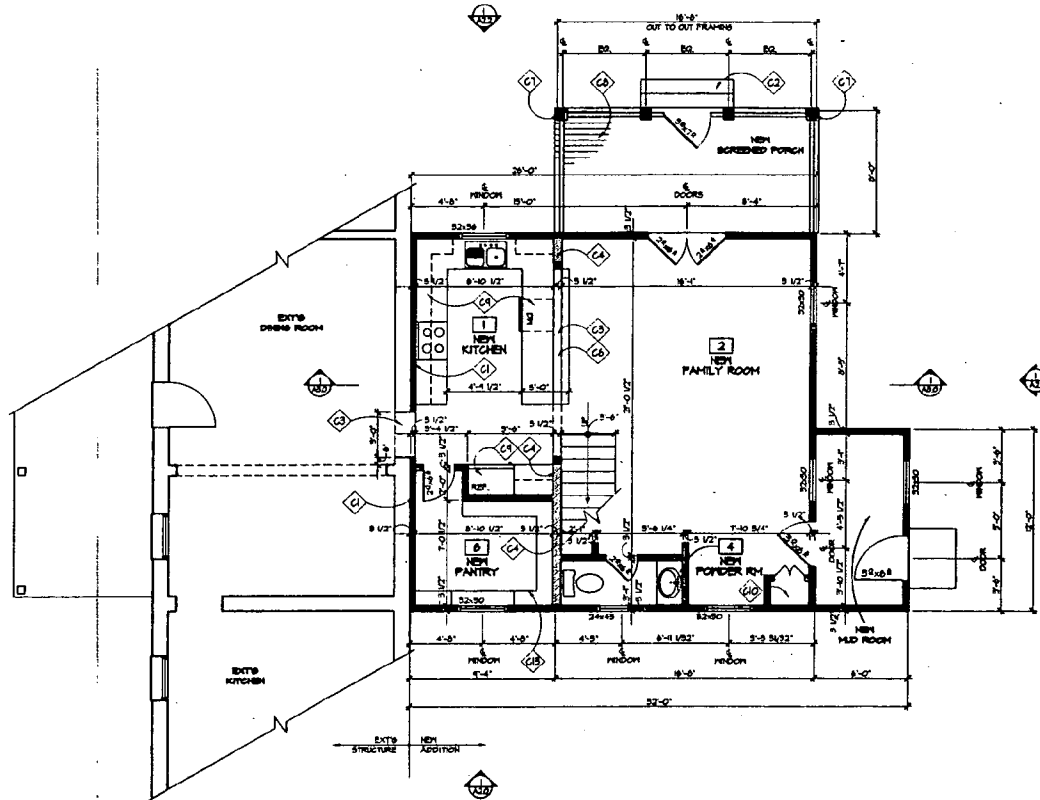
7

GT M
 ARCHITECTS
 1015 ANNE ARUNDEL
 ROAD SUITE 200
 ROCKVILLE, MD 20850
 (301) 251-9000 FAX

20130 WASCHE ROAD
 DICKERSON, MD 20842
 COVER SHEET

**CHISWELL
FARM**

| | | |
|--|---------------|-----|
| REVISIONS | DATE | BY |
| 1 | REV. 02.23.01 | STW |
| 2 | REV. 03.03.01 | STW |
| 3 | REV. 11.15.01 | STW |
| DRAWN BY: DER CHECKED BY: STW TITLE: AS NOTED DATE: 12.21.01 PROJECT NO.: 2004-443 DRAWING NO.: | | |
| CS | | |



CONSTRUCTION NOTES

- ① FUR OUT WALLS IN FULL 2x4'S
- ② NEW EXTERIOR WOOD STAIR TO GRADE, VERIFY RISE AND RUN IN FIELD
- ③ NEW LAGED OPENINGS
- ④ 2x8 LOAD BEARING WALL
- ⑤ NOT USED
- ⑥ HALF WALL BELOW COUNTER
- ⑦ WRAP 6x6 POST IN 5/4" TRIM, OUTSIDE FRESH DIMENSION, 5 3/4" SQUARE
- ⑧ T&G FLOORING, MATERIAL T.B.S.
- ⑨ NEW KITCHEN CABINETS, APPLIANCES + COUNTER TOPS, ETC. TO BE SELECTED, SEE ALLOWANCES
- ⑩ CLOSET SHELVES + RODS, BY OTHER
- ⑪ NOT USED
- ⑫ NOT USED
- ⑬ FTD, BUILT-IN SHELVES

NOTE:
 1. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD
 2. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING

WALL TYPES

TYPICAL EXTERIOR WALL 2"x4" WOOD STUDS 16" O.C., IN R-S INSULATION + IN VAPOR BARRIER 1/2" OSB SHEATHING, TYVEK BUILDING WRAP, 1 SIDING PER ELEVATIONS INTERIOR FINISH TO BE 6" P. BD. (1/2").

TYPICAL NON-BEARING INTERIOR PARTITION 2"x4" STUDS 16" O.C. IN 1/2" 6" P. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.



1045 AIRPORT AVENUE
 ROCKFORD, MD 20850
 (301)463-4032
 (301)463-0924 FAX

20180 WASCHE ROAD
 DICKERSON, MD 20842

FIRST FLOOR PLAN

CHISWELL FARM

| REVISIONS | |
|-----------|---------------|
| ▲ | REV. 02_22_01 |
| ▲ | REV. 04_18_01 |
| ▲ | REV. 11_18_01 |

SCALE:

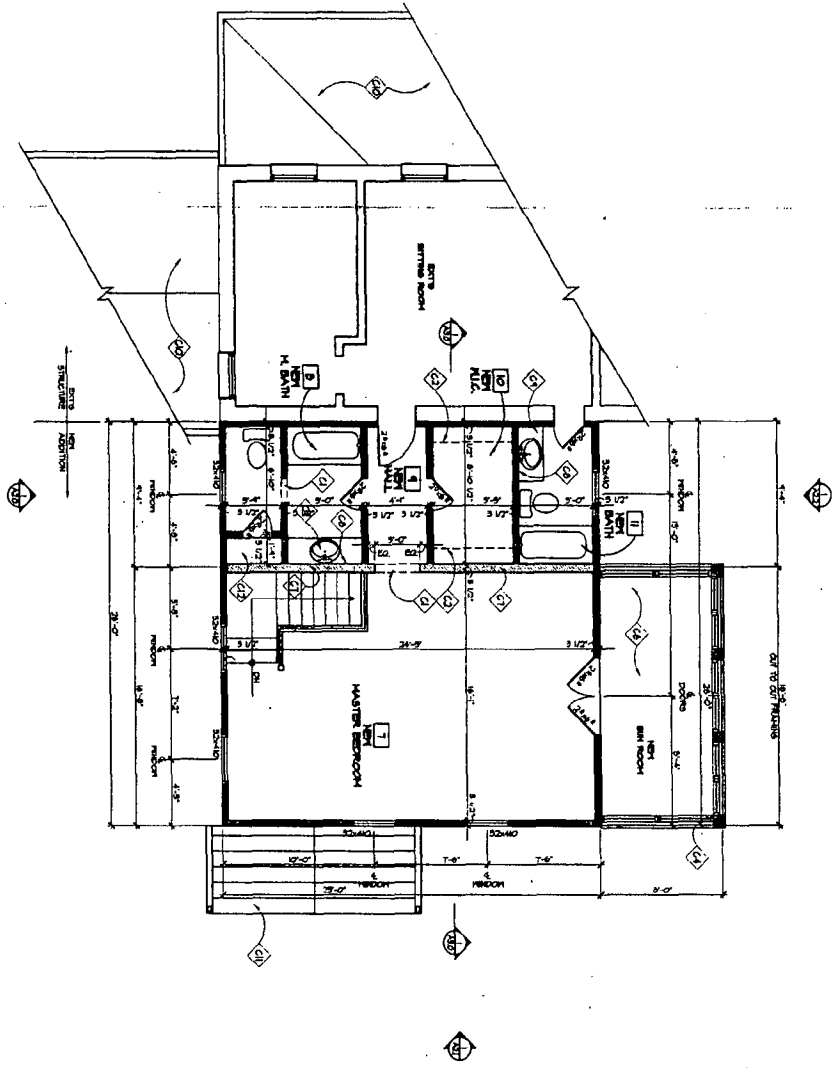
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| DRAWN BY: | DER |
| CHECKED BY: | GTM |
| SCALE: | AS NOTED |
| DATE: | 12.21.01 |
| PROJECT NO.: | 2004245 |
| DRAWING NO.: | |

A1.0

1 FIRST FLOOR PLAN
 A1.0 SCALE: 1/4"=1'-0"

4

SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



CONSTRUCTION NOTES

- 1. NON-COLORED GRANITE
- 2. CLOSET SHELVES - 1" X 3/4" BR. COVER
- 3. PRO. SMOOT WALLS, STAIRS, SEE ELEVATIONS
- 4. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 5. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 6. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 7. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 8. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 9. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 10. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 11. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 12. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 13. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 14. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 15. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 16. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 17. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 18. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 19. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS
- 20. 1/2" PLATE GLASS PARTITION SEE ELEVATIONS

WALL TYPES

TYPICAL EXTERIOR WALL: 3'-4" HCOB
STEPS 8" OC, 1" R-8 INSULATION
1" VAPOR BARRIER 1/2" OSB
SHEATHING, 1/2" X 6" BALKING PLANKS
SHEATHING, 1/2" X 6" BALKING PLANKS
SHEATHING FINISH TO BE 9" X 12" BR. (027)

TYPICAL INTERIOR PARTITION: 3'-4" STOPS
1/2" OC, 1" R-8 INSULATION
1" VAPOR BARRIER 1/2" OSB
SHEATHING, 1/2" X 6" BALKING PLANKS
SHEATHING FINISH TO BE 9" X 12" BR. (027)

| | |
|-------------|----------|
| DESIGNED BY | DER |
| DRAWN BY | 6TH |
| DATE | AS NOTED |
| PROJECT NO. | 200-1243 |
| DRAWING NO. | A1:1 |

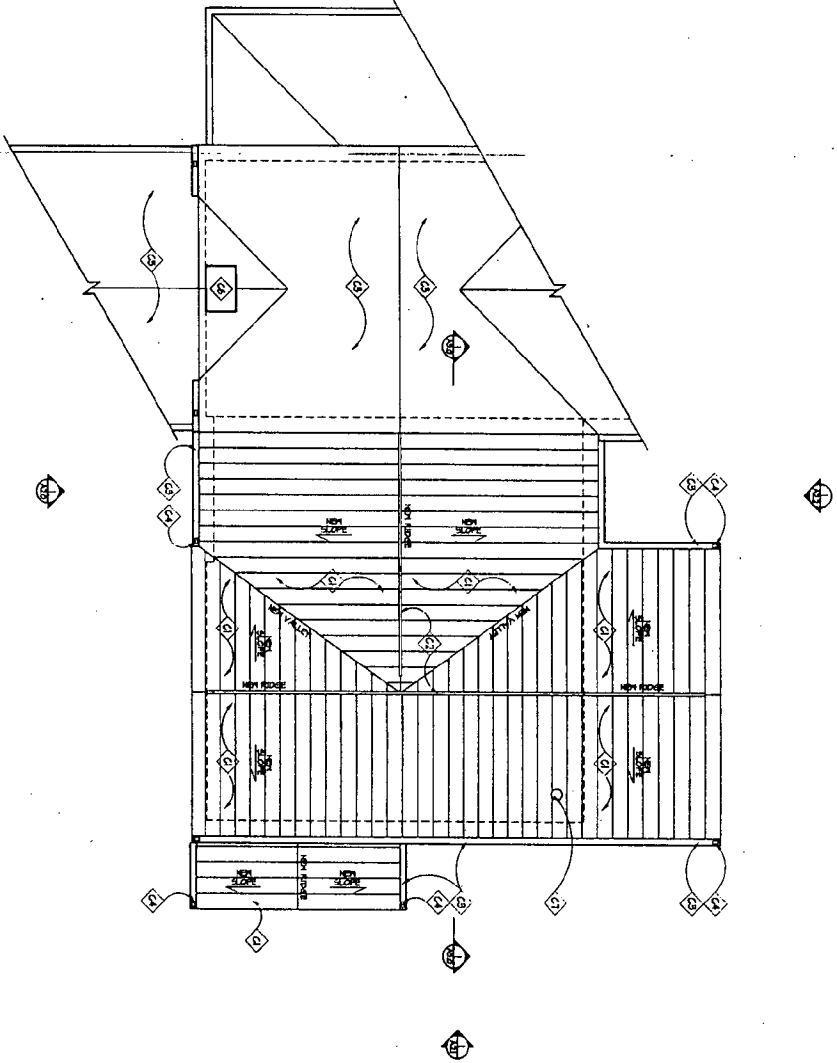
CHISWELL FARM

20130 WASCHE ROAD
DICKERSON, MD 20842
SECOND FLOOR PLAN

GTM
ARCHITECTS
1000 AVENUE
DICKERSON, MD 20842
PHONE: 301-271-1111
FAX: 301-271-1112

11

1
ROOF PLAN
SCALE: VARIOUS



ROOF NOTES

- 1 NEW SYMPHON SEAM-VENTIL. ROOF 18.5.
- 2 ROOF VENTS BY 'COR-A-VENT' OR APPROVED EQUIV.
- 3 NEW SALTER, TO MATCH EXIST.
- 4 NEW DOWNSPOUT, TO MATCH EXIST.
- 5 EXISTING ROOF
- 6 EXISTING CHIMNEY
- 7 6x6 FIBREGLASS VENT

GENERAL ROOFING NOTES

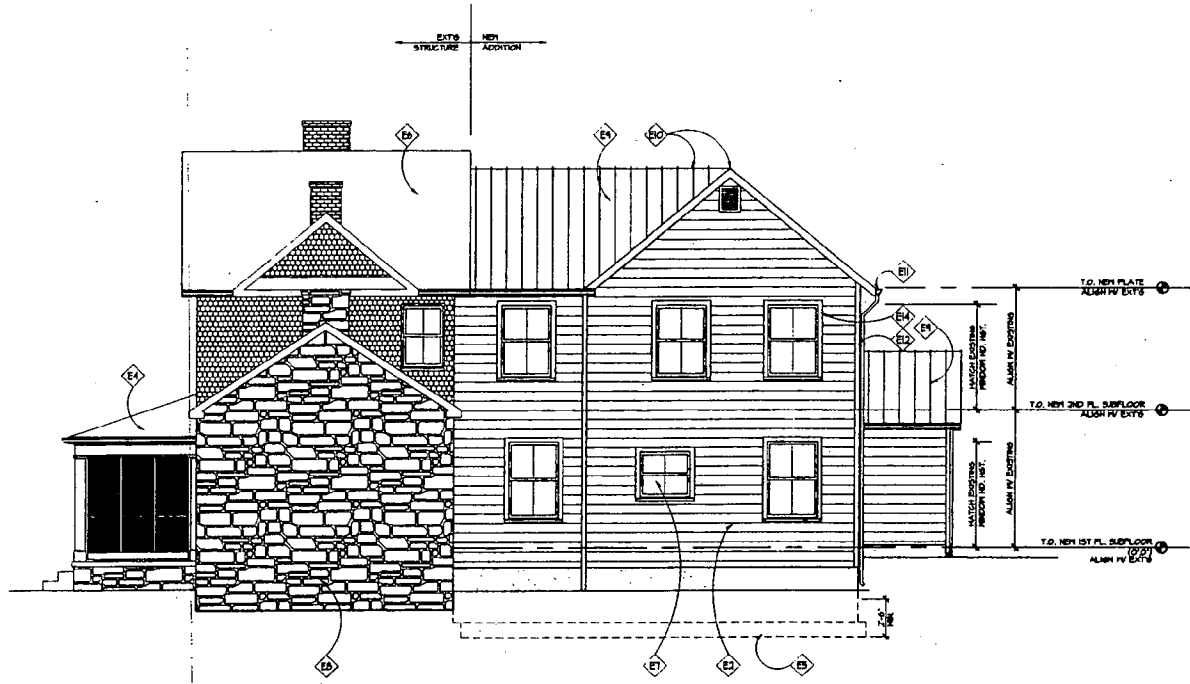
- 1 PROVIDE HEAVY GROUND UNDERLAYER OVER SHINGLES & ALL VALLEYS & ALL PERPENDICULAR 90° BACK FROM FLASHING AND ON ALL AREAS WITH SLOPE LESS THAN 4:12.
- 2 SEE FRAMING PLANS FOR OVERBUILD AREAS.
- 3 INSTALL GUTTERS AT ROOF EAVES AND MAKE FROM 2000 GUTTERS WITH TROUGH AND 2" DRAIN.
- 4 REPAIR AND FLASH EXISTING PERMANENT.

GTM
ARCHITECTS
2000
2004

20130 WASCHE ROAD
DICKERSON, MD 20842
ROOF PLAN

CHISWELL FARM

DATE: 12/1/07
PROJECT NO. 2004248
DRAWN BY: GJM
CHECKED BY: DER
SCALE: AS NOTED
A12



RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- ⊠ NOT USED
- ⊠ NEW PTD. HARDY-PLANK SMOOTH LAP SIDING
- ⊠ 30 YEAR ASPHALT SHINGLES
- ⊠ EXISTING PORCH
- ⊠ LINE OF FOUNDATION
- ⊠ EXISTING SLATE ROOF
- ⊠ FLOOD PROTECT. MATCH EXTS. BRILL. PATTERN
- ⊠ EXISTING STONE
- ⊠ STANDING SEAM METAL ROOF
- ⊠ RIDGE VENT; SEE ROOF PLAN
- ⊠ BUTTER & D.S.; TO MATCH EXISTING
- ⊠ PTD. 5/4" x 4 CORNER BOARDS
- ⊠ NOT USED
- ⊠ PTD. 5/4" x 4 PITCH & DOOR TRIM
- ⊠ NOT USED
- ⊠ NOT USED

GTM
ARCHITECTS

1045 ARBERRY AVENUE
FREDERICK, MD 20645
(301)442-8082
(301)442-9424 FAX

20150 WASCHE ROAD
DICKERSON, MD 20842
RIGHT SIDE ELEVATION

**CHISWELL
FARM**

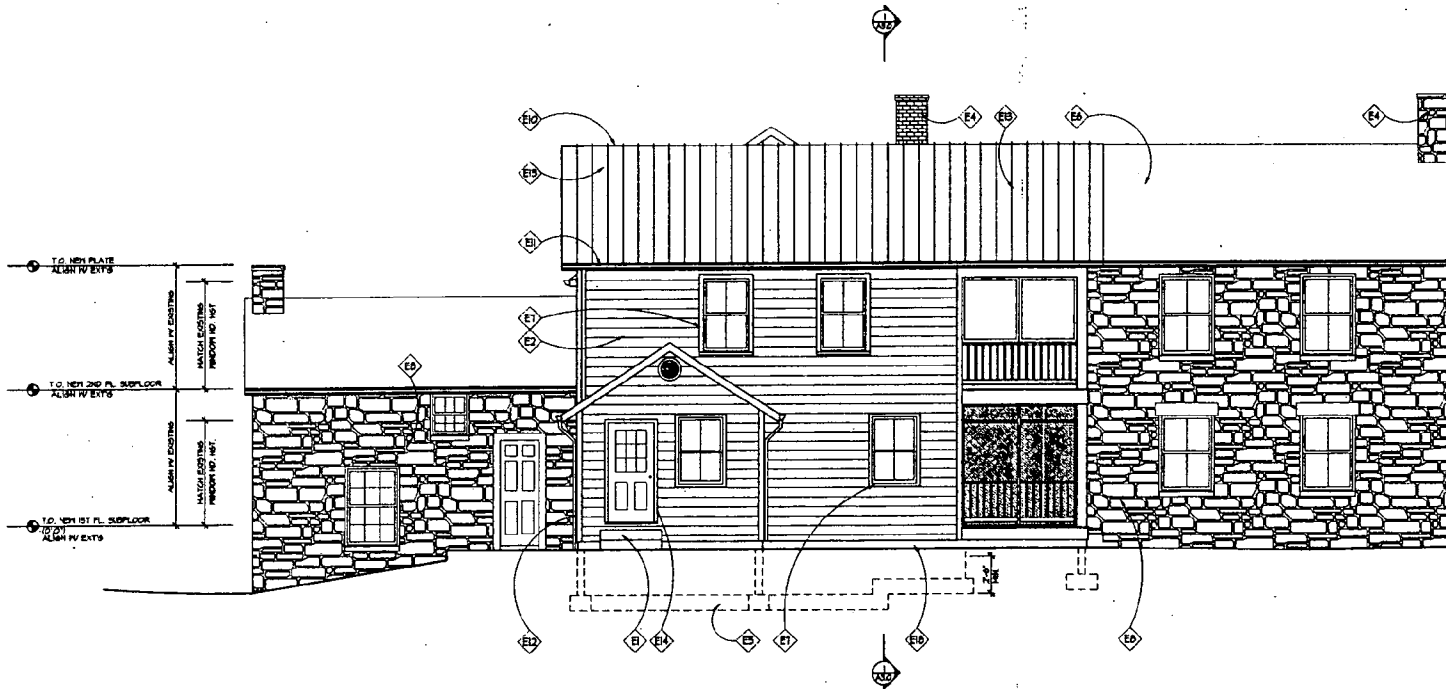
REVISIONS:

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|---|---------------|
| ⊠ | REV. 02_22_07 |
| ⊠ | REV. 04_19_07 |
| ⊠ | REV. 11_14_07 |

SEAL

| | |
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| DRAWN BY: | DER |
| CHECKED BY: | GTM |
| SCALE: | AS NOTED |
| DATE: | 12.21.07 |
| PROJECT NO.: | 2004243 |
| DRAWING NO.: | A2.0 |

NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.



ELEVATION NOTES

- E1 NEW HOOD DOOR, T.B.S.
- E2 NEW FTD. HORIZONTAL-PLANK SHROUD LAP SIDING
- E3 30 YEAR ASPHALT SHINGLES
- E4 EXISTING CHIMNEY
- E5 LINE OF FOUNDATION
- E6 EXISTING SLATE ROOF
- E7 HOOD FINISHES, MATCH EXTS GRILL PATTERN
- E8 EXISTING STONE
- E9 FTD. TRELLIS
- E10 RIDGE VENT; SEE ROOF PLAN
- E11 GUTTER & D.S.; TO MATCH EXISTING
- E12 FTD. 3/4" x 4 CORNER BOARDS
- E13 STANDING SEAM METAL ROOF, T.B.S.
- E14 FTD. 5/4" x 4 FINISH & DOOR TRIM
- E15 NOT USED
- E16 NOT USED
- E17 NOT USED
- E18 FOUNDATION VENTS
- E19 NOT USED

NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.

GTM
ARCHITECTS

1008 ARNOTT AVENUE
KENSINGTON, MD 20848
(301) 942-4052
(301) 942-9028 FAX

2030 WASCHE ROAD
DICKERSON, MD 20842
REAR ELEVATION

**CHISWELL
FARM**

| REVISIONS | |
|-----------|---------------|
| ▲ | REV. 03_22_07 |
| ▲ | REV. 04_18_07 |
| ▲ | REV. 11_14_07 |

SCALE:

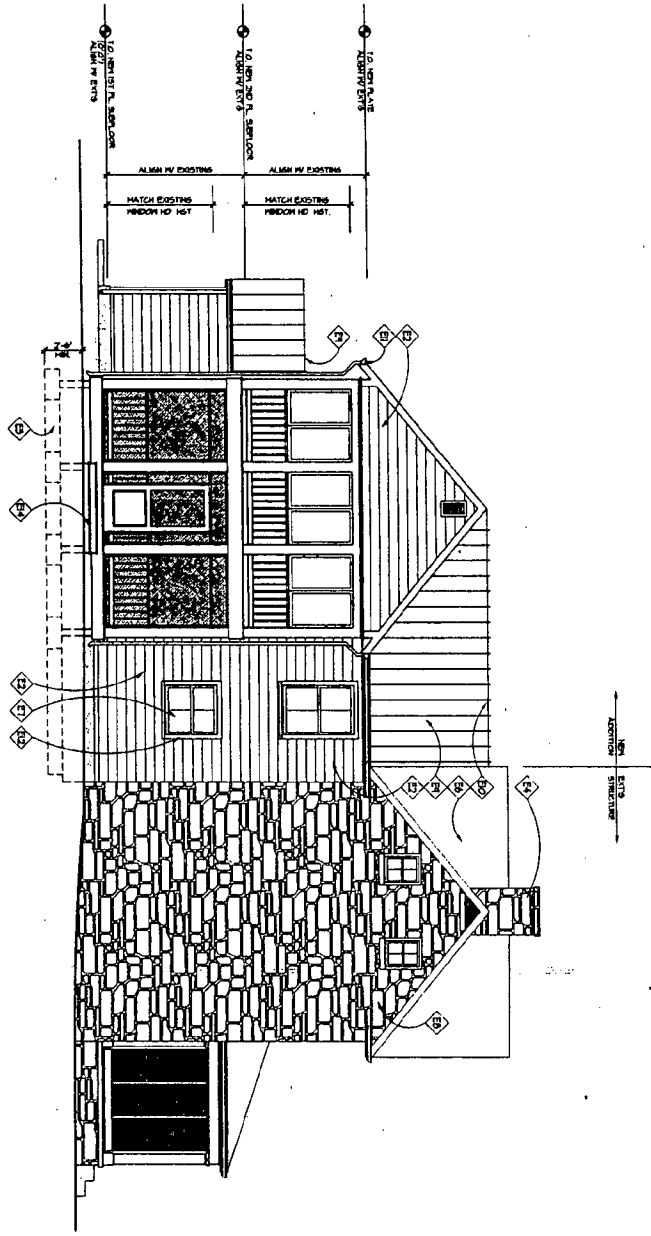
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| DRAWN BY: | DER |
| CHECKED BY: | GTH |
| SCALE: | AS NOTED |
| DATE: | 12.21.07 |
| PROJECT NO.: | 2004243 |
| DRAWING NO.: | |

A2.1

A2.1 REAR ELEVATION
SCALE: 1/4"=1'-0"

hl

1 LEFT SIDE ELEVATION
 1/32" SCALE, 1/4" = 1'-0"



ELEVATION NOTES

- ◊ B STAINING SHAM-NETAL. ROOF
- ◊ C NEW 1/2" X 1/2" X 1/2" SMOOTH LIP SIDING
- ◊ D TO TRIM ADJACENT SHEDS
- ◊ E SPOILING CORNER
- ◊ F LINE OF FOUNDATION
- ◊ G EXISTING SLATE ROOF
- ◊ H ROOF REWORK, MATCH EXIST. DETAIL, PATTERN
- ◊ I EXISTING SHOE
- ◊ J STAINING SHAM-NETAL. ROOF, 1.12.5
- ◊ K REMOVE VENT. SEE ROOF PLAN
- ◊ L GUTTER + D.S. TO MATCH EXISTING
- ◊ M PRO. SILL + J. WINDOW + DOOR TRIM
- ◊ N NEW SILL
- ◊ O ROOF SYSTEM TO MATCH VENTRI IN FIELD
- ◊ P NEW SILL

NOTE:
 VISIT: ALL EXTERIOR REFIN. + TRIM TO DIMENSIONS IN FIELD.

GTMI
 ARCHITECTS
 20130 WASCHE ROAD
 DICKERSON, MD 20842
 PHONE: 301-261-5000
 800-424-5000 FAX

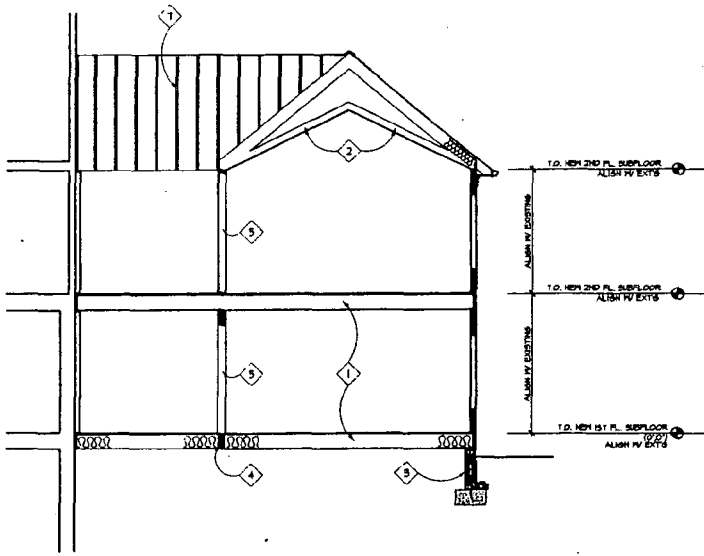
20130 WASCHE ROAD
 DICKERSON, MD 20842
 LEFT SIDE ELEVATION

CHISWELL FARM

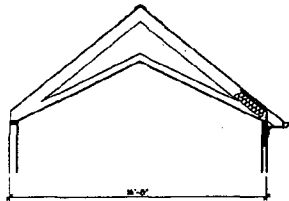
REVISIONS

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|---|---------------|
| A | REV. 03.21.01 |
| A | REV. 04.15.01 |
| A | REV. 11.14.01 |

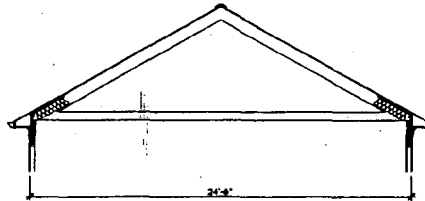
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| DRAWN BY: | DER |
| CHECKED BY: | GTM |
| DATE: | 12.21.01 |
| PROJECT NO.: | 2004243 |
| DRAWING NO.: | A2.2 |



1 BUILDING SECTION
A3.0 SCALE: 1/4"=1'-0"



2 ROOF TRUSS "A" SECTION
A3.0 SCALE: 1/4"=1'-0"



3 ROOF TRUSS "B" SECTION
A3.0 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES.

- 1 FLOOR JOISTS, SEE FRAMING PLANS
- 2 TRUSS SYSTEM, SEE SECTION 2/A3.0
- 3 CMU FOUNDATION WALL
- 4 LVL BEAM, SEE FRAMING PLANS
- 5 2ND LONG BEAMERS WALL
- 6 BUILD UP AS REQD. TO CREATE HP ON ENDS
- 7 TRUSS SYSTEM, SEE SECTIONS 2/A3.0

GTM
ARCHITECTS

1245 MEMORY AVENUE
REDFORD, MD. 20850
(301)442-4063
(301)442-0208 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
BUILDING SECTION

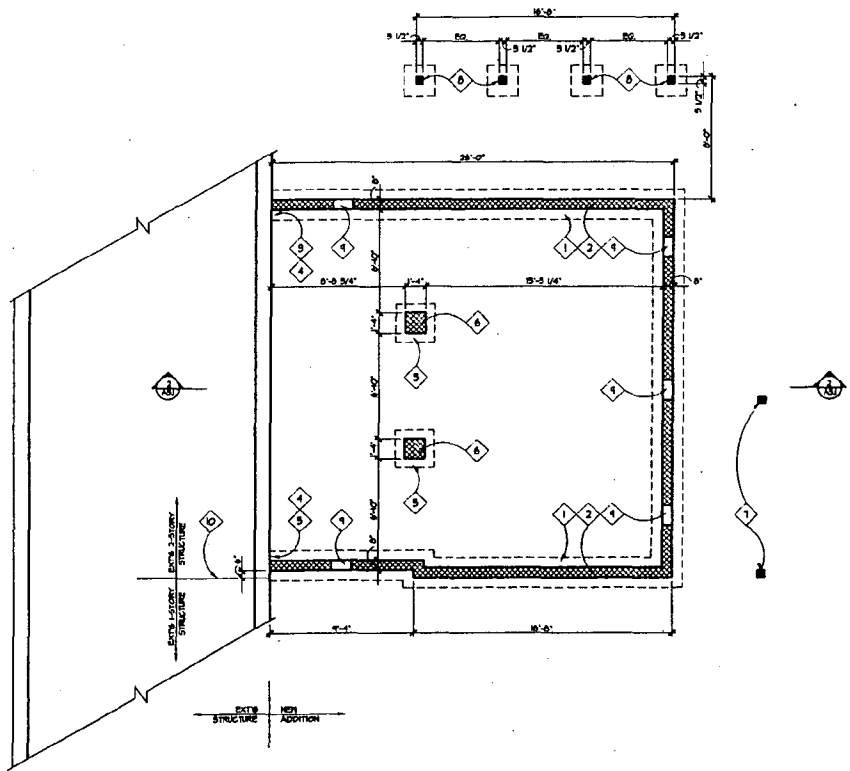
**CHISWELL
FARM**

| REVISIONS | |
|-----------|---------------|
| ▲ | REV. 02.22.01 |
| ▲ | REV. 04.13.01 |
| ▲ | REV. 11.14.01 |

SCALE

| | |
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| DESIGNED BY: | DER |
| CHECKED BY: | STH |
| SCALE: | AS NOTED |
| DATE: | 12.21.01 |
| PROJECT NO.: | 2004249 |
| DRAWING NO.: | |

A3.0



1 FOUNDATION PLAN
S1.0 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- 1 DOTTED LINE INDICATES MIN 2'-0" WIDE x 1'-0" DEEP CONC. FOOTING. FOOTING PROTECT TO 15 BARS CONC. EXT. FOOTING AS INDICATED AND AS SHOWN ON ELEVATION DRAWINGS
- 2 #4 CHAIRS TO BE VERT. BARS @ 18" O.C. IN HORIZ. DIRT TRUSS BEAM @ 3" SPAC. CELLS @ REGULAR EXTENS. REIN. INTO CONC. FTG. - LAP BARS 3'-0" (TYP.)
- 3 DRILL & EPOXY (2) 5 DONNELLS @ 1'-6" W/ 1" D-BED INTO EXTS. FTG.
- 4 MATCH BOTTOM OF EXTS. FTG.
- 5 CONC. FTG. 2'-8" x 3'-0" x 1'-0" W/ (2) #5 BARS EACH 3" FROM BOTTOM OF FTG.
- 6 #4 CHAIR, FULL SOLID
- 7 #6 P.T. POSTS ON 1'-4" x 1'-4" x 1'-0" DEEP CONC. FTG.
- 8 #6 P.T. POSTS ON 2'-0" x 2'-0" x 1'-0" DEEP CONC. FTG.
- 9 2x6 GRAVEL SPACE VENT W/ INTERNAL INSECT SCREEN
- 0 LINE INDICATES WHERE EXISTING STRUCTURE TRANSITIONS FROM A 2-STORY STRUCTURE TO A 1-STORY STRUCTURE

GENERAL NOTES

- 1 CENTER ALL PILES AND COLS WITH CENTER OF CONC. FOOTINGS (TYP.)
- 2 BOTTOM OF ALL FTGS SHALL BE MIN OF 2'-0" BELOW FINISHED GRADE (TYP.) OR AS SHOWN ON DRAWINGS.



1040 ARDREY AVENUE
KIDDERINGTON, MD 20895
PHONE: 301-303-1003
FAX: 301-303-1004

20130 WASCHE ROAD
DICKERSON, MD 20842
FOUNDATION PLAN

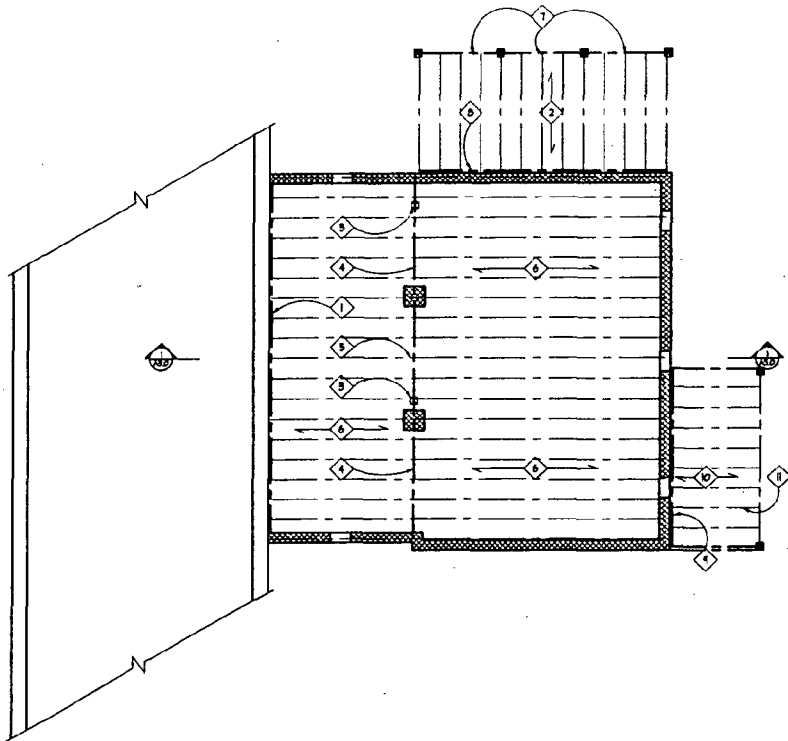
CHISWELL
FARM

| REVISIONS |
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| REV. 02_22_07 |
| REV. 04_13_07 |
| REV. 11_18_07 |

SCALE:

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| DESIGN BY: | DER |
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| SCALE: | AS NOTED |
| DATE: | 12.21.07 |
| PROJECT NO.: | 2004243 |
| DRAWING NO.: | S1.0 |

16



51 FIRST FLOOR FRAMING PLAN
SCALE: 1/8"=1'-0"

CONSTRUCTION NOTES

- 1 2x10 P.T. LEDGER W/ 5/8" Ø BOLTS @ 16" O.C. STAGGER
- 2 P.T. 2x10'S @ 16" O.C.
- 3 POST FROM ABOVE
- 4 (B) 11-5/4" x 11-1/8" LVL IN SAME PLANE AS JOISTS
- 5 CHU PIER BELOW SEE FOUNDATION PLAN
- 6 11-1/8" L.V.S @ 16" O.C. OR 2x12'S
- 7 (B) 2x10 P.T. BEAM
- 8 2x10 P.T. LEDGER W/ 5/8" Ø BOLTS @ 16" O.C. STAGGER
- 9 2x10 P.T. LEDGER W/ 5/8" Ø BOLTS @ 16" O.C. STAGGER
- 10 P.T. 2x10'S @ 16" O.C.
- 11 (B) 2x10 P.T. BEAM

GENERAL NOTES

- 1. CENTER ALL PIERS AND COLUMNS WITH CENTER OF CONC. FOOTINGS (TYP)
- 2. BOTTOM OF ALL PTBS SHALL BE MIN OF 2" BELOW FINISHED GRADES (TYP) OR AS SHOWN ON DRAMPINGS.
- 3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLUMNS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
- 4. PROVIDE SIMPSON IZLS OR IS UPLIFT CONNECTORS AT ALL BAYERS. PROVIDE 3" x 2" STUDS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER.
- 5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No. 1 OR LVL POST. NO BUILT-UP STUDS ALLOWED.
- 6. PROVIDE BLOCKS UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CHU OR STEEL BEAMS.
- 7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTORS.
- 8. PROVIDE SQUARE BLOCKS @ EACH SIDE OF T.J. JOISTS @ LONG BEARING WALLS PER MANUFACTURER DETAILS.

GTM
ARCHITECTS

1040 ARDREY AVENUE
KIDDERSTON, MD 20842
(301)412-4022
(301)412-9024 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
FIRST FLOOR
FRAMING PLAN

**CHISWELL
FARM**

| REVISIONS | |
|-----------|---------------|
| ▲ | REV. 02_22_01 |
| ▲ | REV. 04_18_01 |
| ▲ | REV. 11_14_01 |

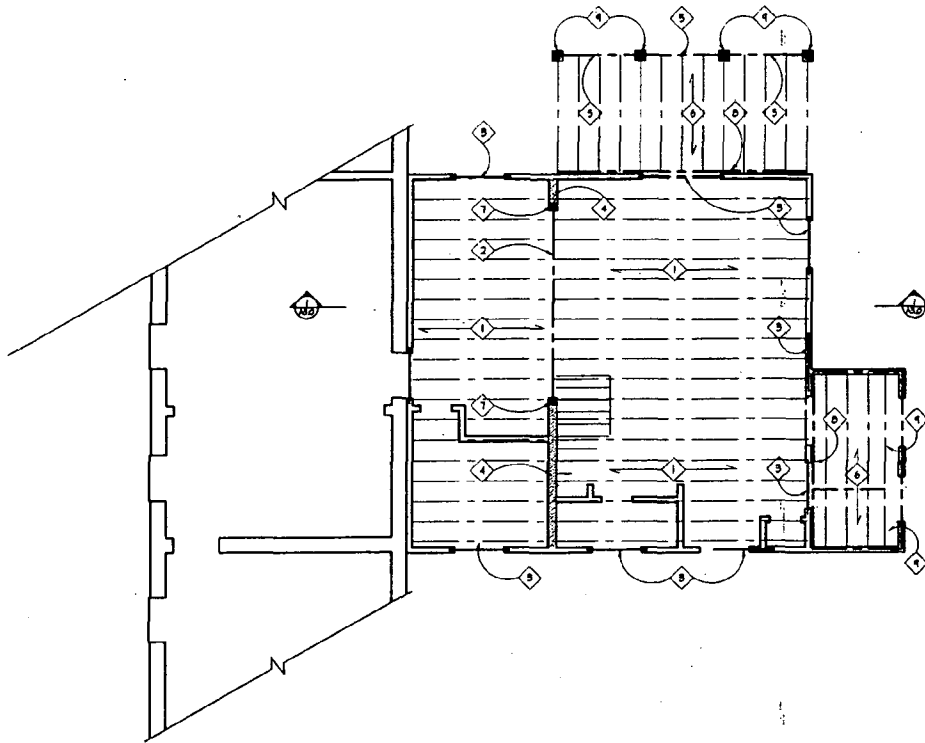
SDJL

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| DRAWN BY: | DER |
| CHECKED BY: | GTM |
| SCALE: | AS NOTED |
| DATE: | 12.21.01 |
| PROJECT NO.: | 2004243 |

DRAWING NO.

S1.1

17



SECOND FLOOR FRAMING PLAN
SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- 1" T&G OR 2x12 @ 16" O.C.
- (1) 1-2x14" x 11-1/2" LVL BEAM BELOW JOISTS
- (3) 2x10 HEADER
- 2x8 @ 16" O.C. LOAD BEARING WALL BELOW
- P.F. (2) 2x10 BEAM IN SAME PLANE AS JOISTS
- P.F. 2x10 @ 16" O.C.
- 3-1/4" x 3-1/4" PSL POST
- 2x10 P.F. LEDGER
- 6x8 POST
- 2x8 @ 16" O.C. RAFTERS & CEILING JOISTS
- (2) 2x8 P.F. BEAM

GENERAL NOTES

1. CENTER ALL PINS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
2. BOTTOM OF ALL PINS SHALL BE MIN OF 2'-6" BELOW FINISHED GRADES (TYP) OR AS SHOWN ON DRAWINGS.
3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLLARS SHALL BE BY SHIPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF. RECOMMENDATIONS.
4. PROVIDE SHIPSON H23 OR H3 UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE SHIPSON STRAPS CONNECTING TOP OF SHIPSON WALL TO DOUBLE HEADER.
5. ALL POSTS SHALL BE SOUTHWEST PINE No.1 OR LVL. POST NO BULK-UP STUDS ALLOWED.
6. PROVIDE BLOCKS UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CHL OR STEEL BEAMS
7. PROVIDE SHIPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTIONS.
8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF T&G JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.
9. INSTALL CORNER ANCHORAGE STRAPS AS PER IBC, 2000 EDITION (TABLE 605.3) AND FINISH FLOOR!



1045 ARNORY AVENUE
RODRIGONIA, MD. 20849
(301)443-1022
(301)443-3028 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842
SECOND FLOOR
FRAMING PLAN

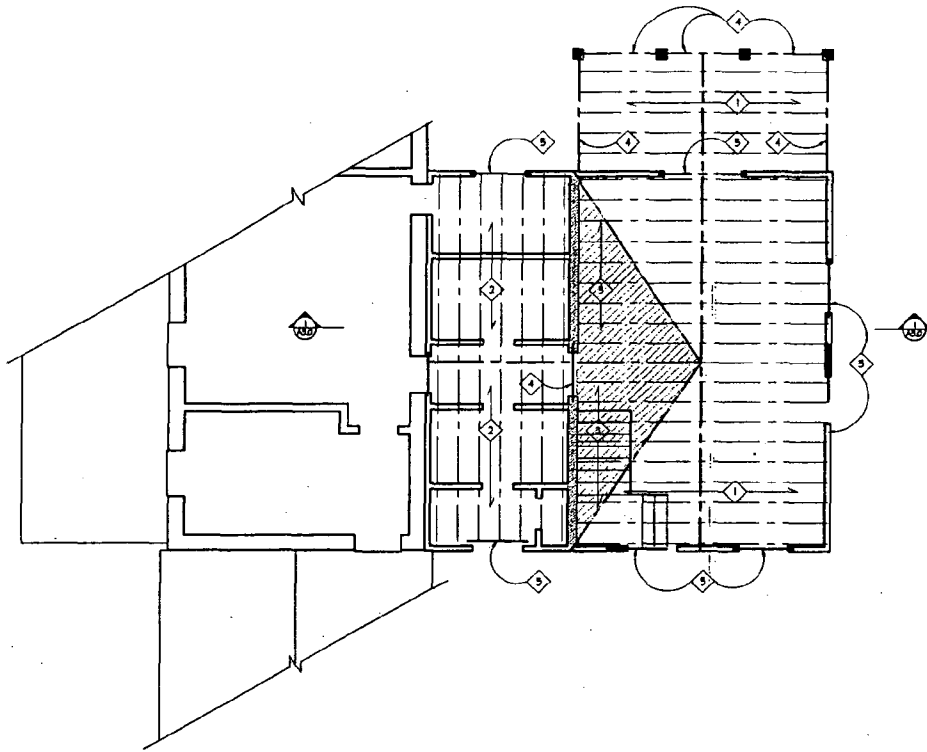
CHISWELL
FARM

| REVISIONS |
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| REV. 02_22_07 |
| REV. 04_18_07 |
| REV. 11_14_07 |

SCALE:

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| DRAWN BY: | DER |
| CHECKED BY: | GTM |
| SCALE: | AS NOTED |
| DATE: | 12.21.07 |
| PROJECT NO.: | 2004243 |
| DRAWING NO.: | |

S12



1 ROOF FRAMING PLAN
S13 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- 1 ROOF TRUSS A, SEE S/A3.0
- 2 ROOF TRUSS B, SEE S/A3.0
- 3 OVERBUILD
- 4 (B) 2x10 BEAM
- 5 (C) 2x10 HEADER
- 6 2x6 LOAD BEARING WALL BELOW

GENERAL NOTES

1. CENTER ALL PIERIS AND COLS WITH CENTER OF CONC. FOOTINGS (TYP)
2. BOTTOM OF ALL PIRIS SHALL BE MIN OF 2'-4" BELOW FINISHED GRADES (TYP) OR AS SHOWN ON DRAPINGS.
3. FRAMING CONNECTORS FOR JOISTS, BEAMS AND COLLARS SHALL BE BY SIMPSON STRONG-TIE COMPANY OR EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES AND INSTALLED ACCORDING TO MANUF. RECOMMENDATIONS.
4. PROVIDE SIMPSON ICS OR IS UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE S1 2x2 STRIPS CONNECTING TOP OF SHEARWALL TO DOUBLE HEADER.
5. ALL WOOD POSTS SHALL BE SOUTHERN PINE No. 1 OR LVL POST. NO BUILT-UP STUDS ALLOWED.
6. PROVIDE BLOCKING UNDER POSTS BETWEEN FLOORS DOWN TO TOP OF CHAI OR STEEL BEAMS.
7. PROVIDE SIMPSON POST CAP AND BASE CONN TYP AT ALL POSTS AND BEAM CONNECTORS.
8. PROVIDE SQUASH BLOCKS @ EACH SIDE OF T.S. JOISTS @ LOAD BEARING WALLS PER MANUFACTURER DETAILS.
9. INSTALL CHIMNEY ANCHORAGE STRAPS AS PER IBC 2000 EDITION TABLE R605.1 AND FIGURE R605.1

GTM ARCHITECTS

1045 ARBORWAY AVENUE
KENSINGTON, MD 20895
301-442-9000
301-442-9001 FAX

20130 WASCHE ROAD
DICKERSON, MD 20842

ROOF FRAMING PLAN

CHISWELL FARM

| REVISIONS | |
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| ▲ | REV. 02_23_01 |
| ▲ | REV. 04_18_01 |
| ▲ | REV. 11_14_01 |

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| SCALE: | AS NOTED |
| DATE: | 12.21.01 |
| PROJECT NO.: | 2004243 |
| DRAWING NO.: | S13 |

19

*Robert B. Harney
7218 Beacon Terrace
Bethesda, Maryland 20817*

January 23, 2008

Ms. Anne Fothergill
Historic Preservation Planner
M-NCPPC
1109 Spring Street
Suite 801
Silver Spring, Maryland 20910

Dear Ms. Fothergill:

Per our conversation during the meeting on Wednesday, January 16, 2008 with myself, Steve Hayes and you, I am currently in the process of working with my window supplier to research design, price, and materials for two windows to replace the two new windows presently on the back of the original one and one half story house. These windows will match the existing windows on the front of the one and one half story house.

Sincerely,



Robert B. Harney

RBH:sp

July 2007 Agreement – Edward Chiswell Farm

Meeting attendees:

Steve Hayes—DPWT

Robert Harney—Lessee of Edward Chiswell Farm

Eileen Baseman—County Attorney for DPWT

Michele Oaks and Anne Fothergill—HPC Staff

Noelle Ghahhari and Jim Savage—County Attorneys for HPC

Phase One

Rear elevation of new addition

1. Construct the 6' x 12' mudroom entry to the addition with a steeper roof
2. Install a wood, paneled door to the mudroom

Left elevation of addition

1. Construct the 16'8" x 8' two-story side section of rear addition with screened porch at first floor and 3-season room on second floor

Main House--1 ½ story stone section

1. Replace two simulated divided light windows with true-divided light wood windows to match those that were removed from the rear elevation

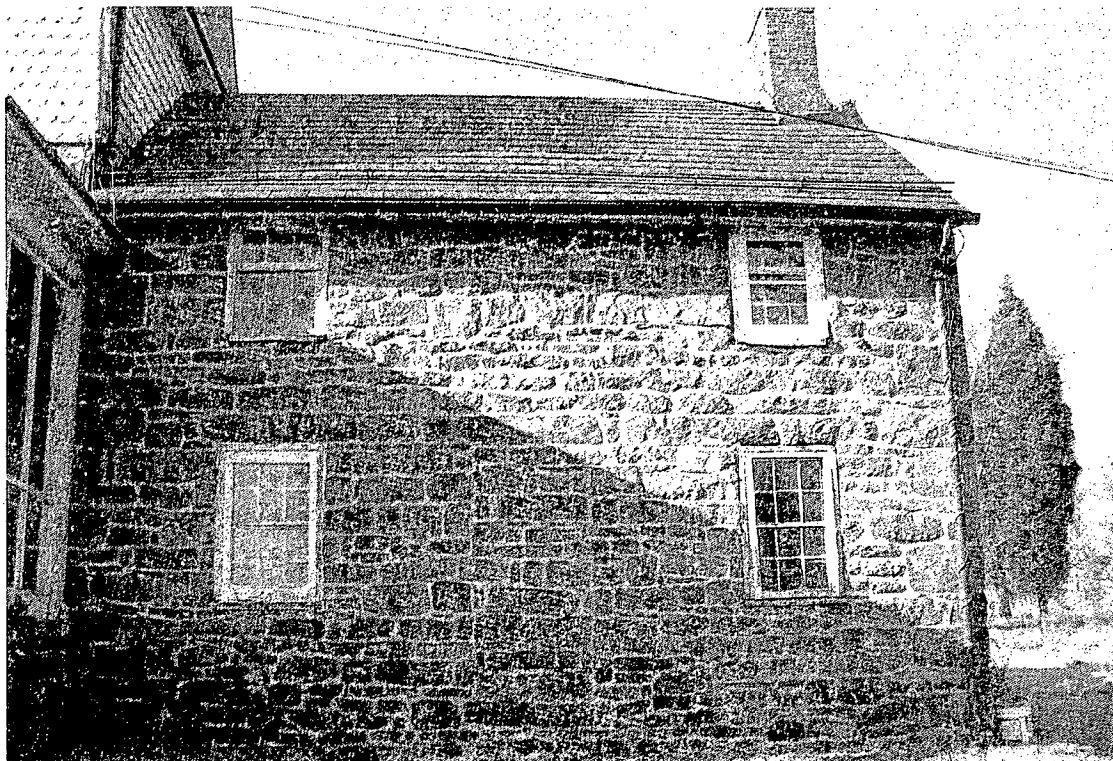
Phase Two

1. Remove the concrete block around the well and select stone for new well house with assistance from staff
2. Replace the ogee aluminum gutters with the approved ½ round copper gutters
3. Replace the asphalt shingle roofing on the addition with approved standing-seam metal roof

Front

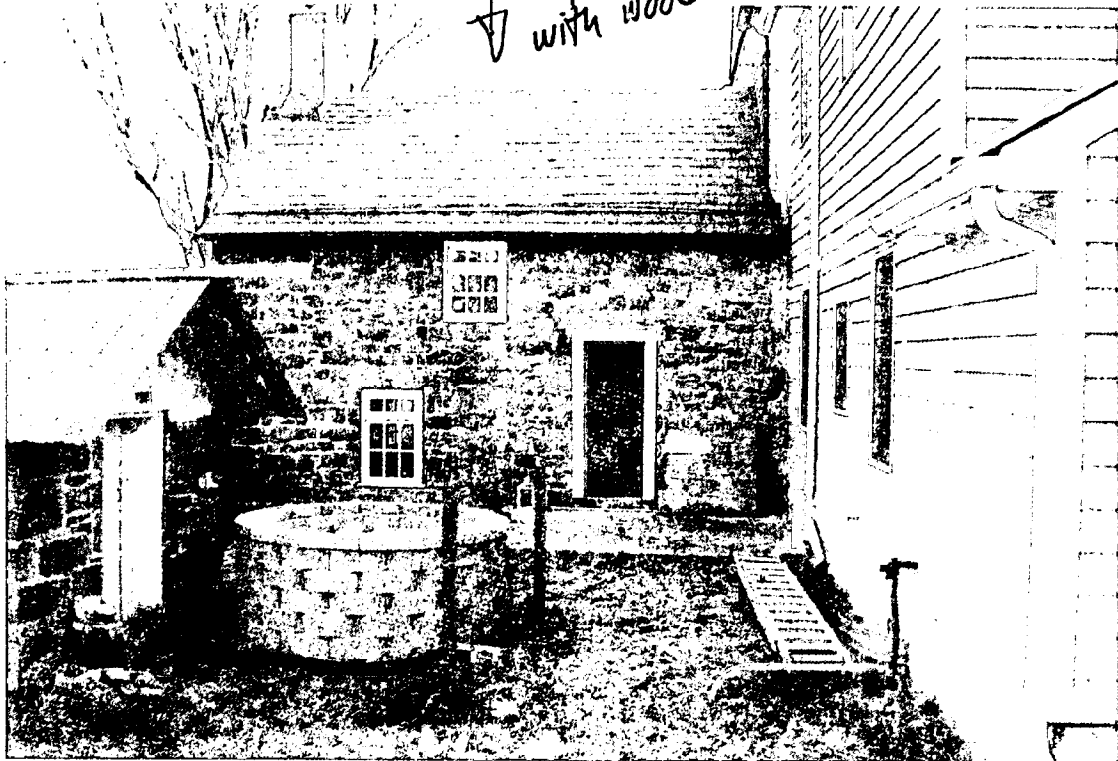


Front



Rear

two windows to be replaced with wood TDL windows

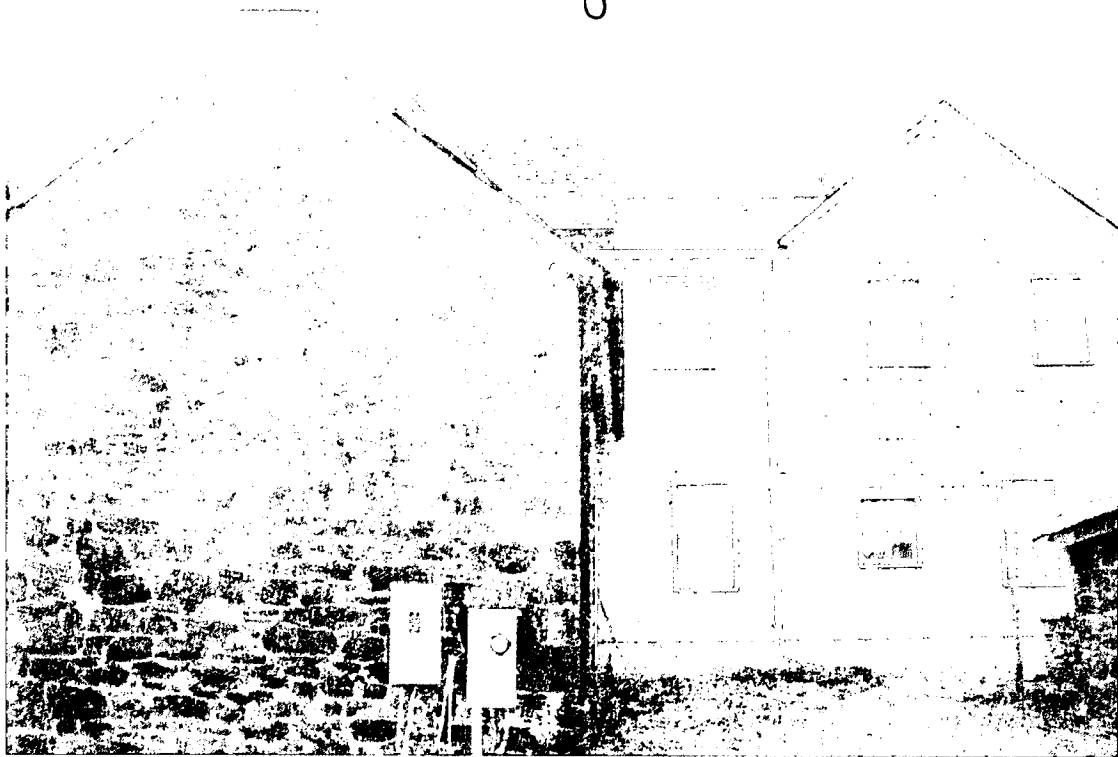


Rear addition





Right side

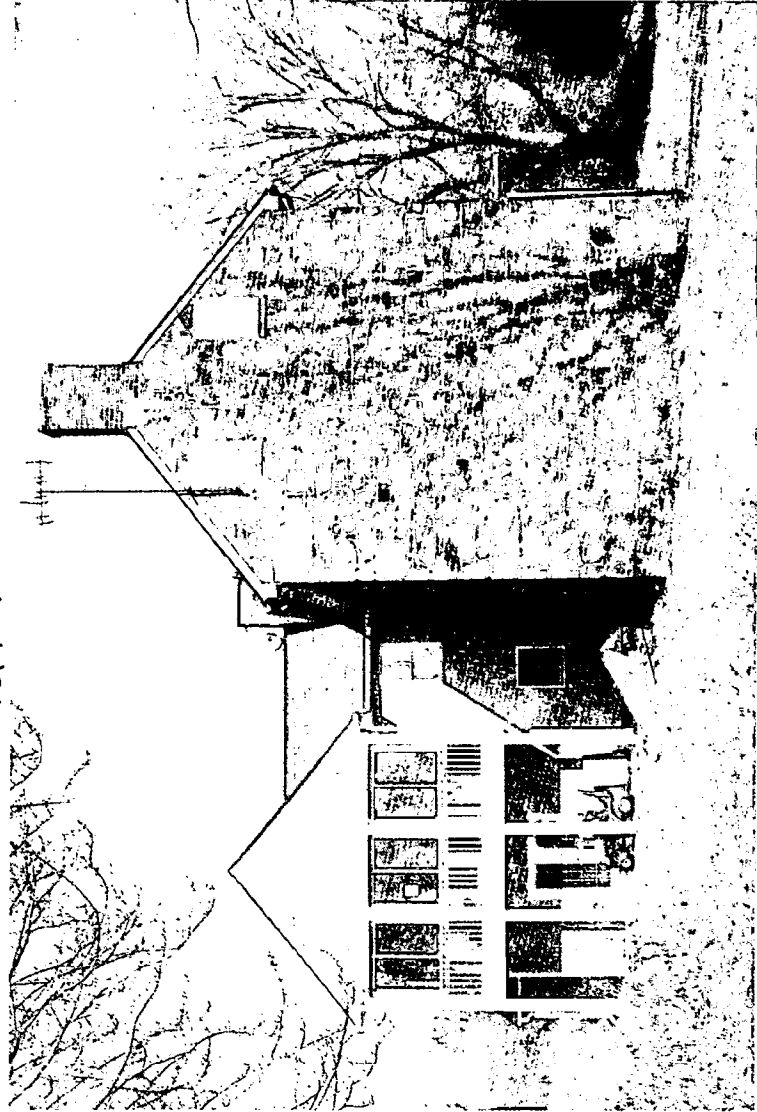


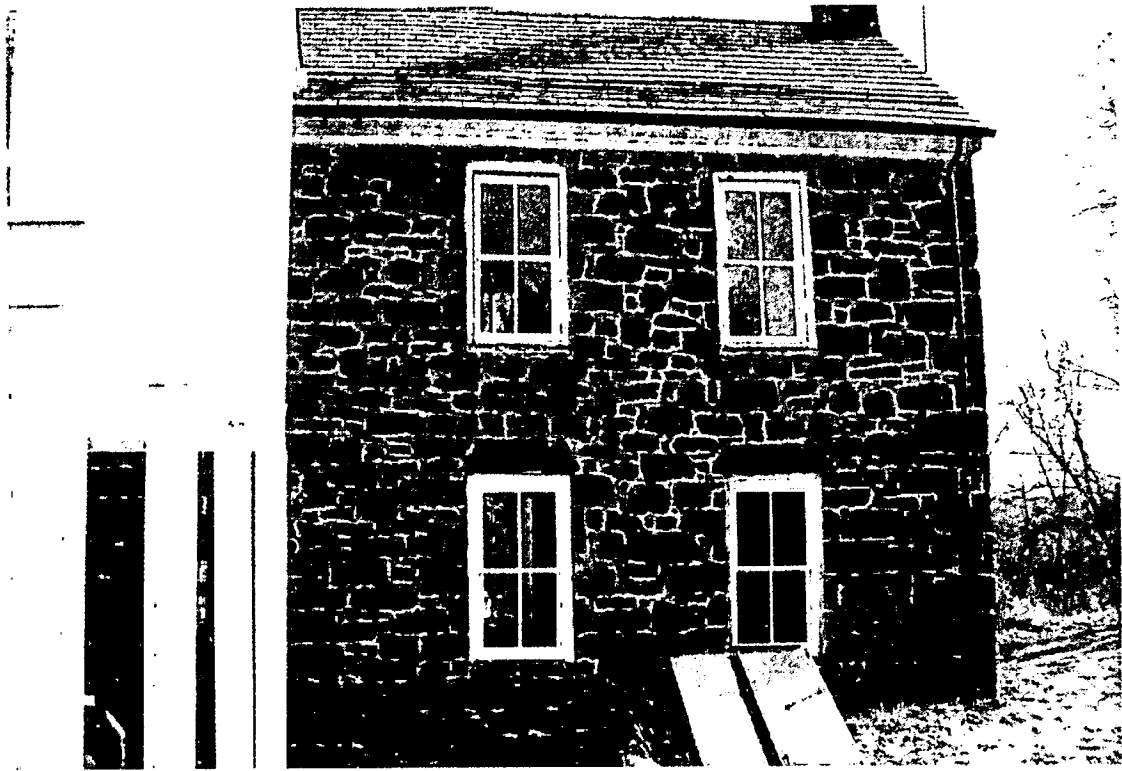


Barn



left side



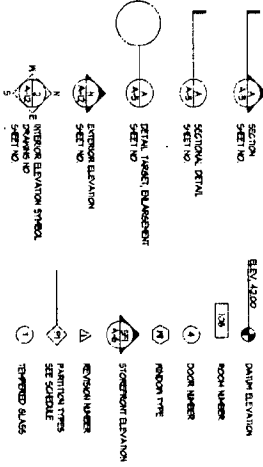


rear

CHISWELL FARM RESIDENCE

20130 WASSCHE ROAD DICKERSON, MD 20842

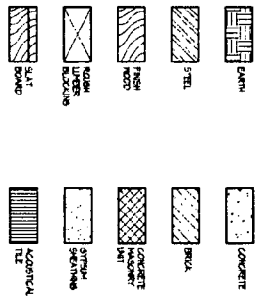
GRAPHIC SYMBOLS



LIST OF DRAWINGS

- CS COVER SHEET
- SP SPECIFICATIONS
- A10 WEST FLOOR PLAN
- A11 SECOND FLOOR PLAN
- A12 ROOM PLAN
- A30 RIGHT SIDE ELEVATION
- A31 LEFT SIDE ELEVATION
- A32 LEFT SIDE ELEVATION
- A33 BUILDING SECTIONS
- S10 FOUNDATION PLAN
- S11 FIRST FLOOR FINISHING PLAN
- S12 SECOND FLOOR FINISHING PLAN
- S13 ROOF FINISHING PLAN

MATERIAL SYMBOLS



ABBREVIATIONS

| SYMBOL | ABBREVIATION | DESCRIPTION |
|--------|-----------------------------|-------------|
| CS | COVER SHEET | |
| SP | SPECIFICATIONS | |
| A10 | WEST FLOOR PLAN | |
| A11 | SECOND FLOOR PLAN | |
| A12 | ROOM PLAN | |
| A30 | RIGHT SIDE ELEVATION | |
| A31 | LEFT SIDE ELEVATION | |
| A32 | LEFT SIDE ELEVATION | |
| A33 | BUILDING SECTIONS | |
| S10 | FOUNDATION PLAN | |
| S11 | FIRST FLOOR FINISHING PLAN | |
| S12 | SECOND FLOOR FINISHING PLAN | |
| S13 | ROOF FINISHING PLAN | |

APPROVED
 Historic Preservation Commission
 Montgomery County
[Signature]
 11/21/14

20130 WASSCHE ROAD
 DICKERSON, MD 20842
 COVER SHEET



CHISWELL FARM

| | |
|----------|--|
| DATE | |
| TITLE | |
| PROJECT | |
| OWNER | |
| DESIGNER | |
| SCALE | |
| DATE | |
| PROJECT | |
| OWNER | |
| DESIGNER | |
| SCALE | |
| DATE | |
| PROJECT | |
| OWNER | |
| DESIGNER | |
| SCALE | |
| DATE | |

#30

May 2004 HPC-Approved Plans (through circle #2)

PROVISIONS FOR RESIDENTIAL CONSTRUCTION

GENERAL REQUIREMENTS

1. All construction shall conform to the applicable provisions of the International Building Code, International Residential Code, and other applicable codes and standards.
2. The contractor shall be responsible for obtaining all necessary permits and licenses for the construction work.
3. The contractor shall maintain access to all adjacent properties at all times during the construction process.
4. The contractor shall be responsible for the safe removal and disposal of all construction waste and debris.
5. The contractor shall be responsible for the protection of all existing utilities and structures on the site.
6. The contractor shall be responsible for the protection of the environment and the surrounding community.
7. The contractor shall be responsible for the safety of all workers and the public during the construction process.
8. The contractor shall be responsible for the maintenance of the site and the surrounding area during the construction process.
9. The contractor shall be responsible for the completion of all construction work in a timely and efficient manner.
10. The contractor shall be responsible for the final inspection and certification of the completed work.

FOUNDATION

1. Foundations shall be constructed in accordance with the provisions of the International Residential Code.
2. Foundations shall be constructed on a firm, stable base.
3. Foundations shall be constructed with a minimum depth of 4 feet below the finished ground level.
4. Foundations shall be constructed with a minimum width of 12 inches.
5. Foundations shall be constructed with a minimum concrete strength of 3000 psi.
6. Foundations shall be constructed with a minimum reinforcement of #4 bars spaced at 18 inches on center.
7. Foundations shall be constructed with a minimum embedment of 6 inches into the base.
8. Foundations shall be constructed with a minimum embedment of 6 inches into the wall.
9. Foundations shall be constructed with a minimum embedment of 6 inches into the floor.
10. Foundations shall be constructed with a minimum embedment of 6 inches into the ceiling.

GENERAL STRUCTURAL NOTES

1. All structural work shall conform to the provisions of the International Building Code.
2. All structural work shall be constructed in accordance with the approved construction documents.
3. All structural work shall be constructed with a minimum safety factor of 1.5.
4. All structural work shall be constructed with a minimum design life of 50 years.
5. All structural work shall be constructed with a minimum design wind speed of 100 mph.
6. All structural work shall be constructed with a minimum design snow load of 30 psf.
7. All structural work shall be constructed with a minimum design seismic hazard level of 0.2.
8. All structural work shall be constructed with a minimum design fire resistance rating of 1 hour.
9. All structural work shall be constructed with a minimum design fire resistance rating of 2 hours.
10. All structural work shall be constructed with a minimum design fire resistance rating of 3 hours.

CONCRETE

1. All concrete work shall conform to the provisions of the International Building Code.
2. All concrete work shall be constructed in accordance with the approved construction documents.
3. All concrete work shall be constructed with a minimum concrete strength of 3000 psi.
4. All concrete work shall be constructed with a minimum reinforcement of #4 bars spaced at 18 inches on center.
5. All concrete work shall be constructed with a minimum embedment of 6 inches into the base.
6. All concrete work shall be constructed with a minimum embedment of 6 inches into the wall.
7. All concrete work shall be constructed with a minimum embedment of 6 inches into the floor.
8. All concrete work shall be constructed with a minimum embedment of 6 inches into the ceiling.
9. All concrete work shall be constructed with a minimum embedment of 6 inches into the foundation.
10. All concrete work shall be constructed with a minimum embedment of 6 inches into the structure.

WOOD & CEMENT

1. All wood and cement work shall conform to the provisions of the International Building Code.
2. All wood and cement work shall be constructed in accordance with the approved construction documents.
3. All wood and cement work shall be constructed with a minimum safety factor of 1.5.
4. All wood and cement work shall be constructed with a minimum design life of 50 years.
5. All wood and cement work shall be constructed with a minimum design wind speed of 100 mph.
6. All wood and cement work shall be constructed with a minimum design snow load of 30 psf.
7. All wood and cement work shall be constructed with a minimum design seismic hazard level of 0.2.
8. All wood and cement work shall be constructed with a minimum design fire resistance rating of 1 hour.
9. All wood and cement work shall be constructed with a minimum design fire resistance rating of 2 hours.
10. All wood and cement work shall be constructed with a minimum design fire resistance rating of 3 hours.

ROOFING

1. All roofing work shall conform to the provisions of the International Building Code.
2. All roofing work shall be constructed in accordance with the approved construction documents.
3. All roofing work shall be constructed with a minimum safety factor of 1.5.
4. All roofing work shall be constructed with a minimum design life of 50 years.
5. All roofing work shall be constructed with a minimum design wind speed of 100 mph.
6. All roofing work shall be constructed with a minimum design snow load of 30 psf.
7. All roofing work shall be constructed with a minimum design seismic hazard level of 0.2.
8. All roofing work shall be constructed with a minimum design fire resistance rating of 1 hour.
9. All roofing work shall be constructed with a minimum design fire resistance rating of 2 hours.
10. All roofing work shall be constructed with a minimum design fire resistance rating of 3 hours.

MECHANICAL

1. All mechanical work shall conform to the provisions of the International Building Code.
2. All mechanical work shall be constructed in accordance with the approved construction documents.
3. All mechanical work shall be constructed with a minimum safety factor of 1.5.
4. All mechanical work shall be constructed with a minimum design life of 50 years.
5. All mechanical work shall be constructed with a minimum design wind speed of 100 mph.
6. All mechanical work shall be constructed with a minimum design snow load of 30 psf.
7. All mechanical work shall be constructed with a minimum design seismic hazard level of 0.2.
8. All mechanical work shall be constructed with a minimum design fire resistance rating of 1 hour.
9. All mechanical work shall be constructed with a minimum design fire resistance rating of 2 hours.
10. All mechanical work shall be constructed with a minimum design fire resistance rating of 3 hours.

ELECTRICAL

1. All electrical work shall conform to the provisions of the International Building Code.
2. All electrical work shall be constructed in accordance with the approved construction documents.
3. All electrical work shall be constructed with a minimum safety factor of 1.5.
4. All electrical work shall be constructed with a minimum design life of 50 years.
5. All electrical work shall be constructed with a minimum design wind speed of 100 mph.
6. All electrical work shall be constructed with a minimum design snow load of 30 psf.
7. All electrical work shall be constructed with a minimum design seismic hazard level of 0.2.
8. All electrical work shall be constructed with a minimum design fire resistance rating of 1 hour.
9. All electrical work shall be constructed with a minimum design fire resistance rating of 2 hours.
10. All electrical work shall be constructed with a minimum design fire resistance rating of 3 hours.

PLUMBING

1. All plumbing work shall conform to the provisions of the International Building Code.
2. All plumbing work shall be constructed in accordance with the approved construction documents.
3. All plumbing work shall be constructed with a minimum safety factor of 1.5.
4. All plumbing work shall be constructed with a minimum design life of 50 years.
5. All plumbing work shall be constructed with a minimum design wind speed of 100 mph.
6. All plumbing work shall be constructed with a minimum design snow load of 30 psf.
7. All plumbing work shall be constructed with a minimum design seismic hazard level of 0.2.
8. All plumbing work shall be constructed with a minimum design fire resistance rating of 1 hour.
9. All plumbing work shall be constructed with a minimum design fire resistance rating of 2 hours.
10. All plumbing work shall be constructed with a minimum design fire resistance rating of 3 hours.

PAINT

1. All paint work shall conform to the provisions of the International Building Code.
2. All paint work shall be constructed in accordance with the approved construction documents.
3. All paint work shall be constructed with a minimum safety factor of 1.5.
4. All paint work shall be constructed with a minimum design life of 50 years.
5. All paint work shall be constructed with a minimum design wind speed of 100 mph.
6. All paint work shall be constructed with a minimum design snow load of 30 psf.
7. All paint work shall be constructed with a minimum design seismic hazard level of 0.2.
8. All paint work shall be constructed with a minimum design fire resistance rating of 1 hour.
9. All paint work shall be constructed with a minimum design fire resistance rating of 2 hours.
10. All paint work shall be constructed with a minimum design fire resistance rating of 3 hours.

FINISHES

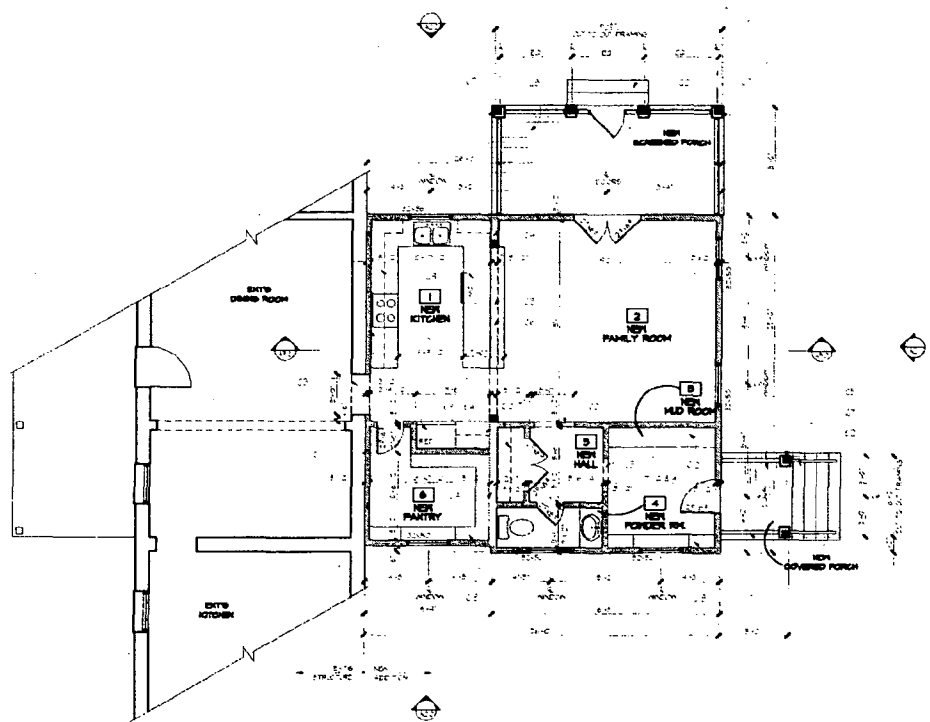
1. All finish work shall conform to the provisions of the International Building Code.
2. All finish work shall be constructed in accordance with the approved construction documents.
3. All finish work shall be constructed with a minimum safety factor of 1.5.
4. All finish work shall be constructed with a minimum design life of 50 years.
5. All finish work shall be constructed with a minimum design wind speed of 100 mph.
6. All finish work shall be constructed with a minimum design snow load of 30 psf.
7. All finish work shall be constructed with a minimum design seismic hazard level of 0.2.
8. All finish work shall be constructed with a minimum design fire resistance rating of 1 hour.
9. All finish work shall be constructed with a minimum design fire resistance rating of 2 hours.
10. All finish work shall be constructed with a minimum design fire resistance rating of 3 hours.

GENERAL NOTES

1. All construction shall conform to the provisions of the International Building Code.
2. All construction shall be constructed in accordance with the approved construction documents.
3. All construction shall be constructed with a minimum safety factor of 1.5.
4. All construction shall be constructed with a minimum design life of 50 years.
5. All construction shall be constructed with a minimum design wind speed of 100 mph.
6. All construction shall be constructed with a minimum design snow load of 30 psf.
7. All construction shall be constructed with a minimum design seismic hazard level of 0.2.
8. All construction shall be constructed with a minimum design fire resistance rating of 1 hour.
9. All construction shall be constructed with a minimum design fire resistance rating of 2 hours.
10. All construction shall be constructed with a minimum design fire resistance rating of 3 hours.

APPROVED
Montgomery County
Historic Preservation Commission
Jessica D. McCallister

| | | |
|-----------------------------|---|---|
| <p>CHISWELL FARM</p> | <p>20130 WASCHE ROAD DICKERSON, MD 20842</p> | <p>GTM ARCHITECTS 1000 WOODBURN AVENUE DICKERSON, MD 20842</p> |
| | <p>DATE: 10/15/13 TIME: 10:00 AM PROJECT: 20130 WASCHE ROAD</p> | |



FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

CONSTRUCTION NOTES

- 01 FLOOR FINISH AS SHOWN
- 02 INTERIORS NOT TO BE FINISHED WITH THIS FINISH UNLESS SPECIFIED
- 03 SEE NOTES FOR FINISHES
- 04 SEE NOTES FOR FINISHES
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- 100 SEE NOTES FOR FINISHES

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia C. Malley

NOTE:
 1. SEE ALL NOTES ON SHEETS PREVIOUS TO THIS SHEET.
 2. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE TO FACE UNLESS NOTED OTHERWISE.

WALL TYPES

TYPICAL EXTERIOR WALL CONSTRUCTION:
 1. 8" CMU WITH WEATHER RESISTIVE BARRIER
 2. 1/2" GYP BOARD
 3. WEATHER RESISTIVE BARRIER
 4. 1/2" GYP BOARD
 5. FINISH PLASTER OR PAINT

TYPICAL INTERIOR WALL CONSTRUCTION:
 1. 5/8" GYP BOARD
 2. FINISH PLASTER OR PAINT

GTM
 ARCHITECTS
 1000 W. WASHINGTON AVE.
 SUITE 200
 ROCKVILLE, MD 20854
 (301) 761-1111

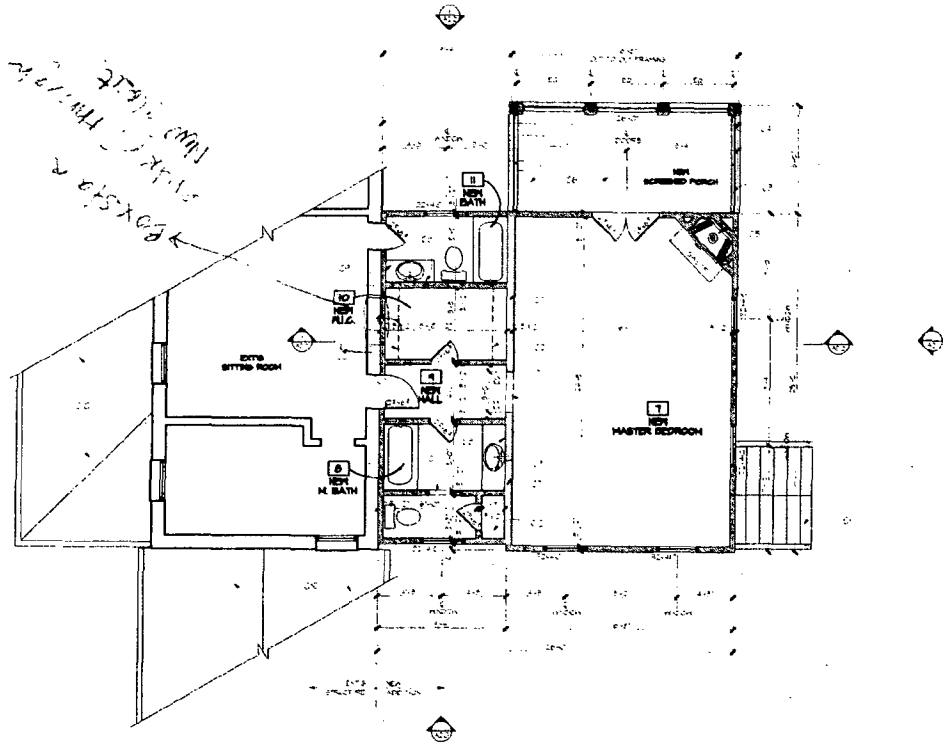
20130 WASCHE ROAD
 DICKERSON, MD 20842
 FIRST FLOOR PLAN

CHISWELL
 FARM

| | |
|--------------|------------|
| DATE: | 01-10-2011 |
| PROJECT NO.: | 200-4243 |
| DRAWN BY: | |
| CHECKED BY: | |
| SCALE: | AS NOTED |
| DATE: | 01-10-2011 |
| PROJECT NO.: | 200-4243 |
| DRAWN BY: | |

A1.0

119
 32



1 SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

CONSTRUCTION NOTES

- C1 NEW FLOOR FINISH
- C2 FLOOR JOIST - 2x10 @ 16" ON CENTER
- C3 FLOOR FINISH - 3/4" TYPICAL
- C4 2x6 JOIST - 16" ON CENTER
- C5 2x6 JOIST - 16" ON CENTER
- C6 2x6 JOIST - 16" ON CENTER
- C7 2x6 JOIST - 16" ON CENTER
- C8 2x6 JOIST - 16" ON CENTER
- C9 2x6 JOIST - 16" ON CENTER
- C10 2x6 JOIST - 16" ON CENTER
- C11 2x6 JOIST - 16" ON CENTER
- C12 2x6 JOIST - 16" ON CENTER

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Historic Preservation Commission
Julia D. Malley

WALL TYPES

1. EXTERIOR WALL - 8" CMU
2. INTERIOR WALL - 5/8" GYP BOARD
3. CEILING - 5/8" GYP BOARD
4. FLOOR - 3/4" TYPICAL
5. ROOF - 2" POLYSTYRENE INSULATION
6. ROOF - 2" POLYSTYRENE INSULATION

7. EXTERIOR WALL - 8" CMU
8. INTERIOR WALL - 5/8" GYP BOARD
9. CEILING - 5/8" GYP BOARD
10. FLOOR - 3/4" TYPICAL
11. ROOF - 2" POLYSTYRENE INSULATION
12. ROOF - 2" POLYSTYRENE INSULATION

GTM
ARCHITECTS
1000 WASHINGTON AVENUE
COLUMBIA, MD 21046
(410) 528-1234
WWW.GTMARCHITECTS.COM

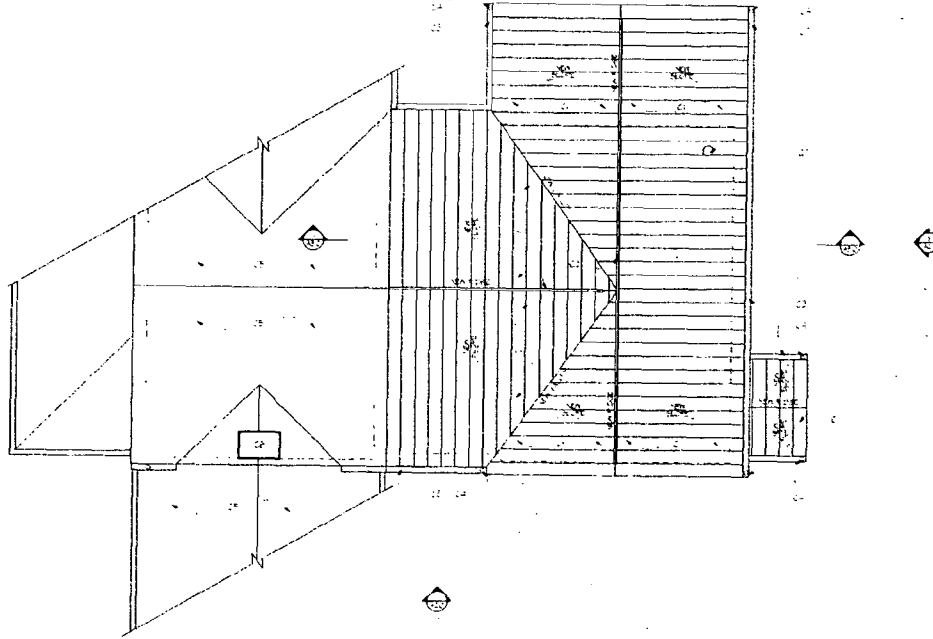
2030 WASCHE ROAD
DICKERSON, MD 20842
SECOND FLOOR PLAN

CHISWELL
FARM

| | |
|-------------|----------|
| REVISION | |
| DATE | |
| TOTAL | |
| DESIGNED BY | DER |
| DRAWN BY | STN |
| SCALE | AS NOTED |
| DATE | 06-16-21 |
| PROJECT NO. | 2004243 |
| DRAWING NO. | A11 |

33
120

1 ROOF PLAN
A12 SCALE 1/4" = 1'-0"



ROOF NOTES

- 1. NEW GALV ROOF FEE
- 2. ROOF GABLE EXTERIOR FINISH APPLICABLE
- 3. NEW GUTTER SYSTEM
- 4. NEW DRAINAGE MANAGEMENT
- 5. EXISTING ROOF
- 6. EXISTING WALL
- 7. NEW FLOOR LINE

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Historic Preservation Commission
Julia D. Malley

GENERAL ROOFING NOTES

- 1. ALL WEATHER BARS CONNECTIONS UNLESS NOTED TO THE CONTRARY SHALL BE 1/2\"/>
- 2. SEE NOTES REGARDING DRAINAGE AREAS
- 3. INSTALL DRAINAGE STRIPS AND STRAP TO STEPS TO DIRECT WATER AWAY FROM ROOF AND WALLS
- 4. INSTALL AND FLASH DRAINAGE PER MANUFACTURER'S INSTRUCTIONS

GTM
ARCHITECTS
1500 MARKET AVENUE
BETHESDA, MD 20814
(301) 318-0000
COMMERCIAL TAX

20130 WASCHE ROAD
DICKERSON, MD 20842
ROOF PLAN

CHISWELL
FARM

DATE:

SCALE:

DRAWN BY: DER

CHECKED BY: GTM

DATE: AS NOTED

DATE: 08.16.14

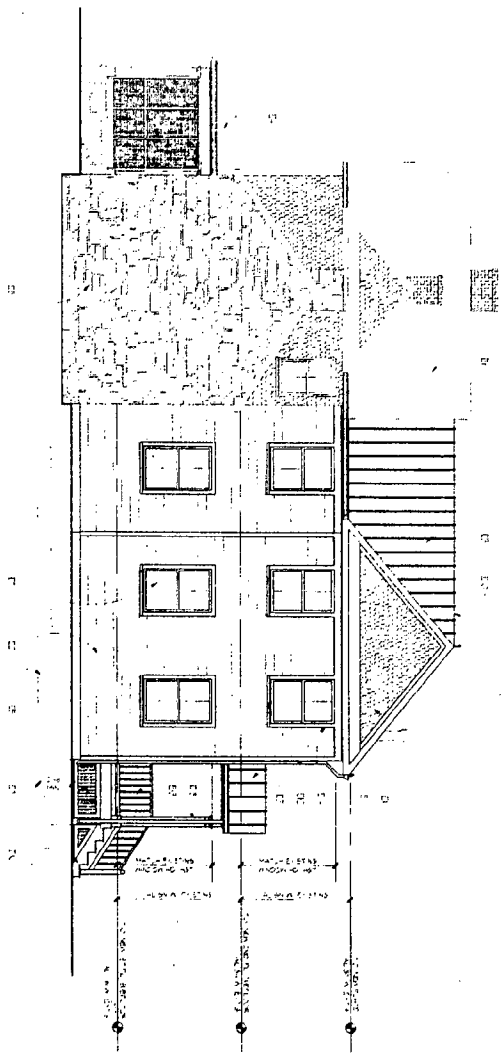
PROJECT NO: 2004241A

SCALE: A12

Handwritten: 124 (54)

122
35

RIGHT SIDE ELEVATION



ELEVATION NOTES

- E. MATERIALS TO BE USED
- F. COLOR TO BE USED
- G. FINISHES
- H. LIGHT FIXTURES
- I. PAINTS TO BE USED
- J. ROOFING TO BE USED
- K. FLOORING TO BE USED
- L. INTERIORS TO BE USED
- M. EXTERIOR LIGHTING
- N. EXTERIOR WALLS
- O. EXTERIOR ROOFING
- P. EXTERIOR STAIRS
- Q. EXTERIOR PORCHES
- R. EXTERIOR PATIOS
- S. EXTERIOR WALLS
- T. EXTERIOR ROOFING
- U. EXTERIOR STAIRS
- V. EXTERIOR PORCHES
- W. EXTERIOR PATIOS

APPROVED
Montgomery County
Historic Preservation Commission
Judith O'Malley

| | | | |
|-----------------------------|--|---|-----------------------|
| <p>CHISWELL FARM</p> | <p>20130 NASCHE ROAD DICKERSON MD 20842 RIGHT SIDE ELEVATION</p> | <p>GTMA ARCHITECTS A REGISTERED ARCHITECT CORPORATION 10000 ROCKVILLE PIKE SUITE 100 ROCKVILLE, MD 20850 TEL: 301-981-1100 WWW.GTMA-ARCHITECTS.COM</p> | <p>COUNTY: CHS</p> |
| | | | <p>DATE: 6/14</p> |
| <p>PROJECT: A2.0</p> | <p>DATE: 06/16/14</p> | <p>PROJECT: 2004243</p> | <p>DATE: 06/16/14</p> |

GTM
ARCHITECTS

1000 MONTGOMERY AVENUE
KENSINGTON, MD 20746
301-455-9997
3000-3-000-0000

20130 MASCHKE ROAD
DICKERSON, MD 20842

REAR ELEVATION

CHISWELL
FARM

| | |
|--------------|----------|
| DATE: | |
| SCALE: | |
| PROJECT NO: | 2004-242 |
| DATE: | 06.16.04 |
| SCALE: | AS NOTED |
| CHECKED BY: | DER |
| DESIGNED BY: | AS NOTED |
| DATE: | 06.16.04 |
| PROJECT NO: | 2004-242 |

ELEVATION NOTES

- D1: FINISH SEE NOTES TO THE END
- E1: NEWLY FINISH PLUMB WITH MATCHING
- E2: NEW GLASS
- E3: EXISTING FRAME
- E4: EXISTING FRAME
- E5: EXISTING FRAME
- E6: EXISTING FRAME
- E7: NEW AND/OR MATCH EXISTING MATERIAL
- E8: EXISTING FRAME
- E9: EXISTING FRAME
- E10: EXISTING FRAME
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- E100: EXISTING FRAME

APPROVED
Montgomery County
Historic Preservation Commission

Julia O'Malley

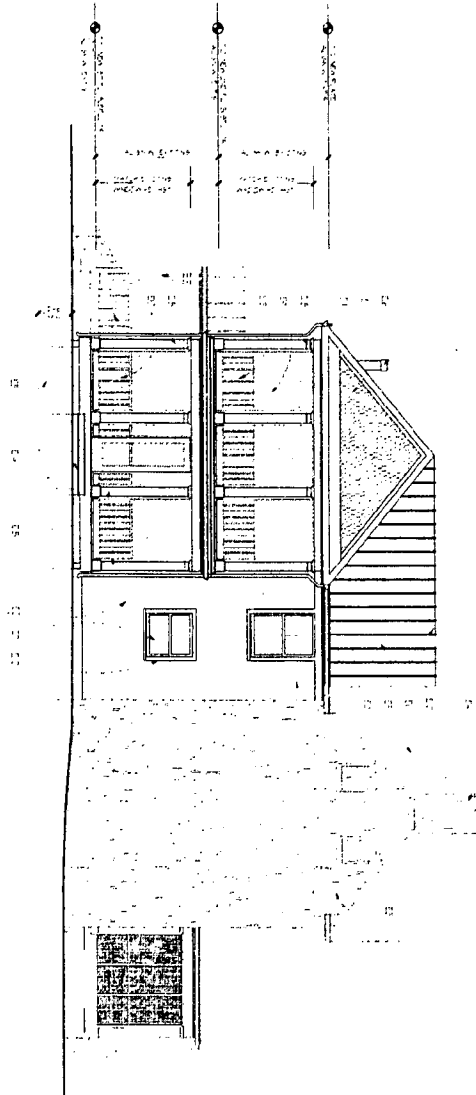
DATE: 06.16.04
PROJECT NO: 2004-242
DRAWING BY: A21

REAR ELEVATION
SCALE: 1/8" = 1'-0"

2/22
36

1221
 (32)

1
 32
 LEFT SIDE ELEVATION



ELEVATION NOTES

- 1. FINISH LIST ON SHEET 1221
- 2. SEE PLAN FOR WINDOW SIZES AND SPACING
- 3. SEE PLAN FOR DOOR SIZES
- 4. EXTERIOR FINISHES
- 5. INTERIOR FINISHES
- 6. SEE PLAN FOR LIGHT FIXTURES
- 7. SEE PLAN FOR CLOSET LOCATIONS
- 8. SEE PLAN FOR STAIR LOCATIONS
- 9. SEE PLAN FOR PORCH LOCATIONS
- 10. SEE PLAN FOR PATIO LOCATIONS
- 11. SEE PLAN FOR DRIVEWAY LOCATIONS
- 12. SEE PLAN FOR GARAGE LOCATIONS
- 13. SEE PLAN FOR FENCE LOCATIONS
- 14. SEE PLAN FOR LANDSCAPE LOCATIONS
- 15. SEE PLAN FOR UTILITY LOCATIONS
- 16. SEE PLAN FOR MECHANICAL LOCATIONS
- 17. SEE PLAN FOR ELECTRICAL LOCATIONS
- 18. SEE PLAN FOR PLUMBING LOCATIONS
- 19. SEE PLAN FOR GAS LOCATIONS
- 20. SEE PLAN FOR WATER LOCATIONS
- 21. SEE PLAN FOR SEWER LOCATIONS
- 22. SEE PLAN FOR RADIANT HEATING LOCATIONS
- 23. SEE PLAN FOR AIR CONDITIONING LOCATIONS
- 24. SEE PLAN FOR SMOKE DETECTORS LOCATIONS
- 25. SEE PLAN FOR CARBON MONOXIDE DETECTORS LOCATIONS
- 26. SEE PLAN FOR FIRE ALARMS LOCATIONS
- 27. SEE PLAN FOR SECURITY LOCATIONS

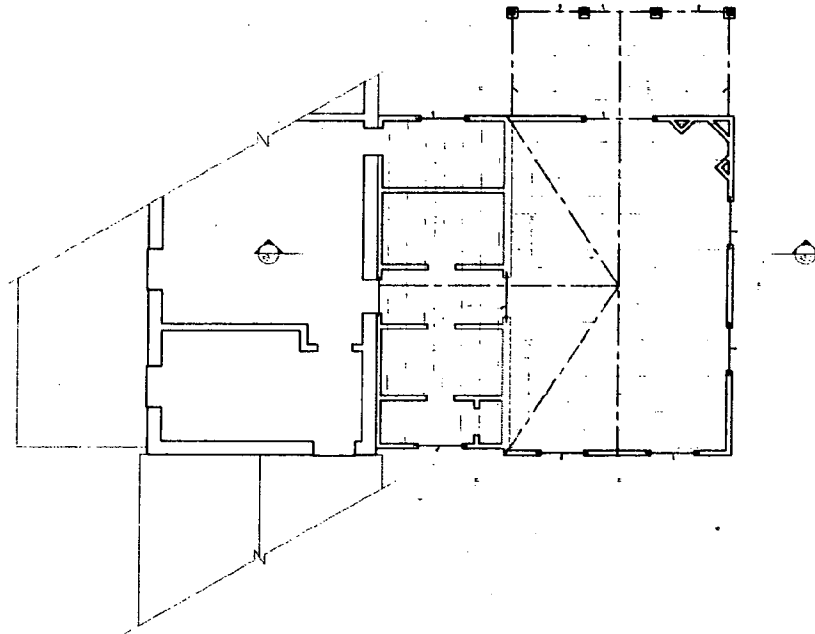
APPROVED
 Montgomery County
 Planning & Zoning Commission
Maria G. Pappalardo
 Planning & Zoning Commission
 12/15/2014

PROJECT: CHISWELL FARM
 ADDRESS: 20130 WASCHE ROAD
 DATE: 12/15/2014
 DRAWING NO: A2.2

CHISWELL FARM

20130 WASCHE ROAD
 DICKERSON, MD 20842
 LEFT SIDE ELEVATION






ROOF FRAMING PLAN
 DATE: 11/11/13

CONSTRUCTION NOTES

1. ALL TRUSSES TO BE 2x12
2. ALL JOISTS TO BE 2x12 @ 16" O.C.
3. ALL DIMS TO FACE UNLESS NOTED
4. ALL DIMS TO FACE UNLESS NOTED
5. ALL DIMS TO FACE UNLESS NOTED
6. ALL DIMS TO FACE UNLESS NOTED
7. ALL DIMS TO FACE UNLESS NOTED

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia D. Valley

GENERAL NOTES

1. DATE: 11/11/13
2. DATE: 11/11/13
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4. DATE: 11/11/13
5. DATE: 11/11/13
6. DATE: 11/11/13
7. DATE: 11/11/13
8. DATE: 11/11/13
9. DATE: 11/11/13
10. DATE: 11/11/13

GTM
ARCHITECTS
 1000 ANDERSON AVENUE
 FARMERSVILLE, MD 20842
 301.477.1111
 WWW.GTMARCHITECTS.COM

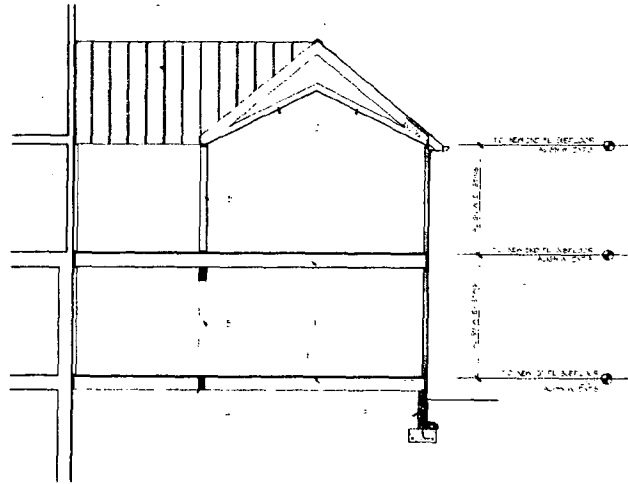
20130 MASCHKE ROAD
 DICKERSON, MD 20842
ROOF FRAMING P-AN

CHISWELL FARM

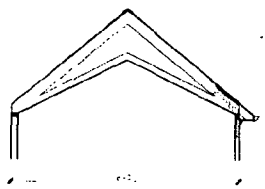
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| NO. OF SHEETS | 1 |
| TOTAL | 1 |
| DATE | 11/11/13 |
| CREATED BY | DEE |
| CHECKED BY | STN |
| DATE | 11/11/13 |
| TITLE | ROOF FRAMING PLAN |
| PROJECT NO. | 20130 MASCHKE ROAD |

S13

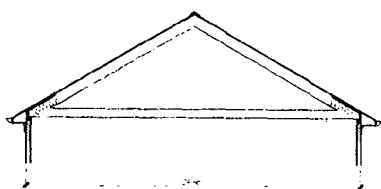
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 11/11/13



1 BUILDING SECTION
A3.0



2 ROOF TRUSS 'A' SECTION
A3.0



3 ROOF TRUSS 'B' SECTION
A3.0

CONSTRUCTION NOTES

- 1. FLOOR JOISTS SEE TRUSS PLAN
- 2. ROOF TRUSS SEE TRUSS PLAN
- 3. GUTTER AND DOWNSPOUT
- 4. GUTTER SEE TRUSS PLAN
- 5. GUTTER SEAM AND FLASH
- 6. FLASH FLASHING SEE TRUSS PLAN
- 7. FLASHING SEE TRUSS PLAN

GTM
ARCHITECTS

4100 AMER. BLVD. SUITE 100
DICKERSON, MD 20842
301.281.1232
301.281.1233 FAX

2030 WASCHE ROAD
DICKERSON, MD 20842
BUILDING SECTION

**CHISWELL
FARM**

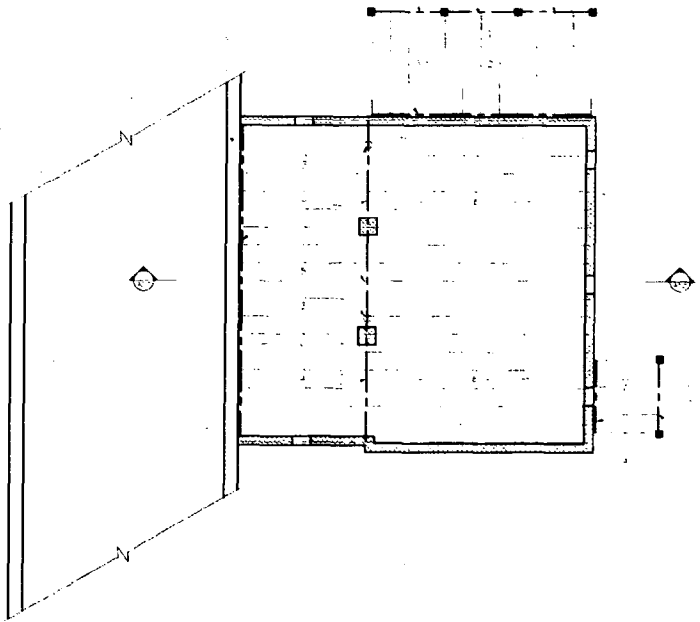
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| REVISION |
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|--------------|----------|
| DESIGNED BY | CER |
| DRAWN BY | GTM |
| SCALE | AS NOTED |
| DATE | 06.10.14 |
| PROJECT NO. | 2004242 |
| DATE PLOTTED | 06.10.14 |

APPROVED
Montgomery County
Historic Preservation Commission
Julia O'Malley

A3.0

1220
69



51 FIRST FLOOR FRAMING PLAN

CONSTRUCTION NOTES

1. FLOOR JOISTING PER STATE APPROVED DETAILS
2. FLOOR SLABS PER STATE APPROVED DETAILS
3. EXTERIOR WALLS PER STATE APPROVED DETAILS
4. EXTERIOR FINISHES PER STATE APPROVED DETAILS
5. WINDOW AND DOOR THRESHOLDS PER STATE APPROVED DETAILS
6. EXTERIOR FINISHES PER STATE APPROVED DETAILS
7. EXTERIOR WALLS PER STATE APPROVED DETAILS
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12. EXTERIOR FINISHES PER STATE APPROVED DETAILS
13. EXTERIOR WALLS PER STATE APPROVED DETAILS
14. EXTERIOR FINISHES PER STATE APPROVED DETAILS

APPROVED
Montgomery County
Historic Preservation Commission
Julia A. Malley

GENERAL NOTES

1. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND SPECIFICATIONS.
2. ALL MATERIALS SHALL BE OF QUALITY AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
3. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
5. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.
7. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND SPECIFICATIONS.
8. ALL MATERIALS SHALL BE OF QUALITY AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
9. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
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20. ALL MATERIALS SHALL BE OF QUALITY AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
21. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
23. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
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25. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES AND SPECIFICATIONS.
26. ALL MATERIALS SHALL BE OF QUALITY AND SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
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28. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
29. ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT CONSTRUCTION.
30. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.



20130 WASCHE ROAD
DICKERSON, MD 20842
FIRST FLOOR
FRAMING PLAN

CHISWELL
FARM

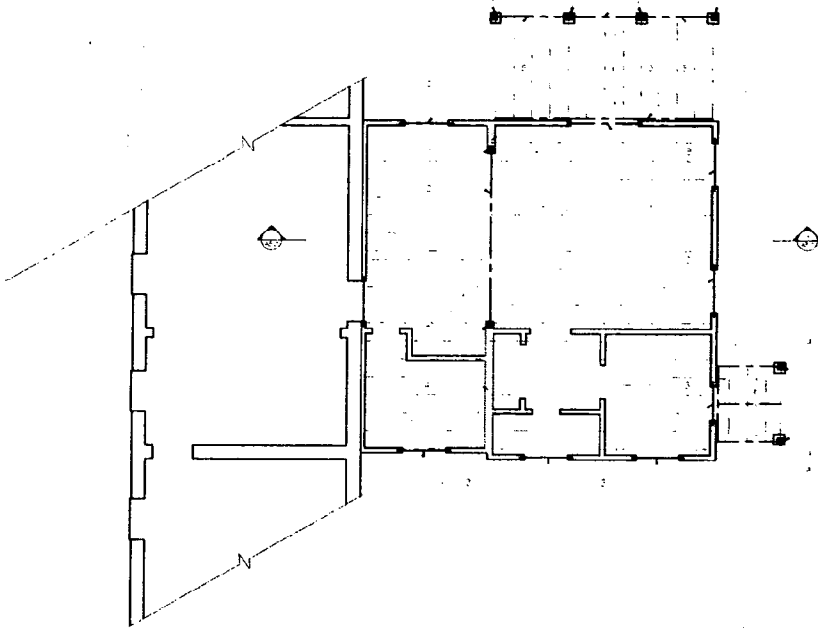
REVISIONS:

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| NO. | DESCRIPTION |
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| CREATED BY: | DER |
| DATE: | 6/11/2024 |
| SCALE: | AS NOTED |
| DATE: | 6/11/24 |
| PROJECT NO.: | 20240613 |
| DATE: | 6/11/24 |

S1.1

128
M



SECOND FLOOR FRAMING PLAN

CONSTRUCTION NOTES

1. SEE PLAN FOR ALL DIMENSIONS
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
3. ALL WALLS ARE 8" THICK
4. ALL WALLS TO BE CONCRETE ON GRADE
5. ALL WALLS TO BE CONCRETE ON GRADE
6. ALL WALLS TO BE CONCRETE ON GRADE
7. ALL WALLS TO BE CONCRETE ON GRADE
8. ALL WALLS TO BE CONCRETE ON GRADE
9. ALL WALLS TO BE CONCRETE ON GRADE
10. ALL WALLS TO BE CONCRETE ON GRADE

APPROVED
 Montgomery County
 Historic Preservation Commission
Julia D. Malley

GENERAL NOTES

1. GENERAL NOTES TO BE OBSERVED THROUGHOUT THE ENTIRE PROJECT
2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE
3. ALL WALLS ARE 8" THICK
4. ALL WALLS TO BE CONCRETE ON GRADE
5. ALL WALLS TO BE CONCRETE ON GRADE
6. ALL WALLS TO BE CONCRETE ON GRADE
7. ALL WALLS TO BE CONCRETE ON GRADE
8. ALL WALLS TO BE CONCRETE ON GRADE
9. ALL WALLS TO BE CONCRETE ON GRADE
10. ALL WALLS TO BE CONCRETE ON GRADE

GTM
 ARCHITECTS
 1000 ARCADE AVENUE
 FORT MYERS, FL 33901
 (888) 444-7777

20180 MASCHKE ROAD
 DICKERSON, MD 20842
 SECOND FLOOR
 FRAMING PLAN

**CHISWELL
 FARM**

DATE: _____
 SCALE: _____
 DRAWN BY: DER
 CHECKED BY: GJM
 SCALE: AS NOTED
 DATE: 06.16.14
 PROJECT NO: 2009-243
 DRAWING NO: **S12**

1229
 (12)





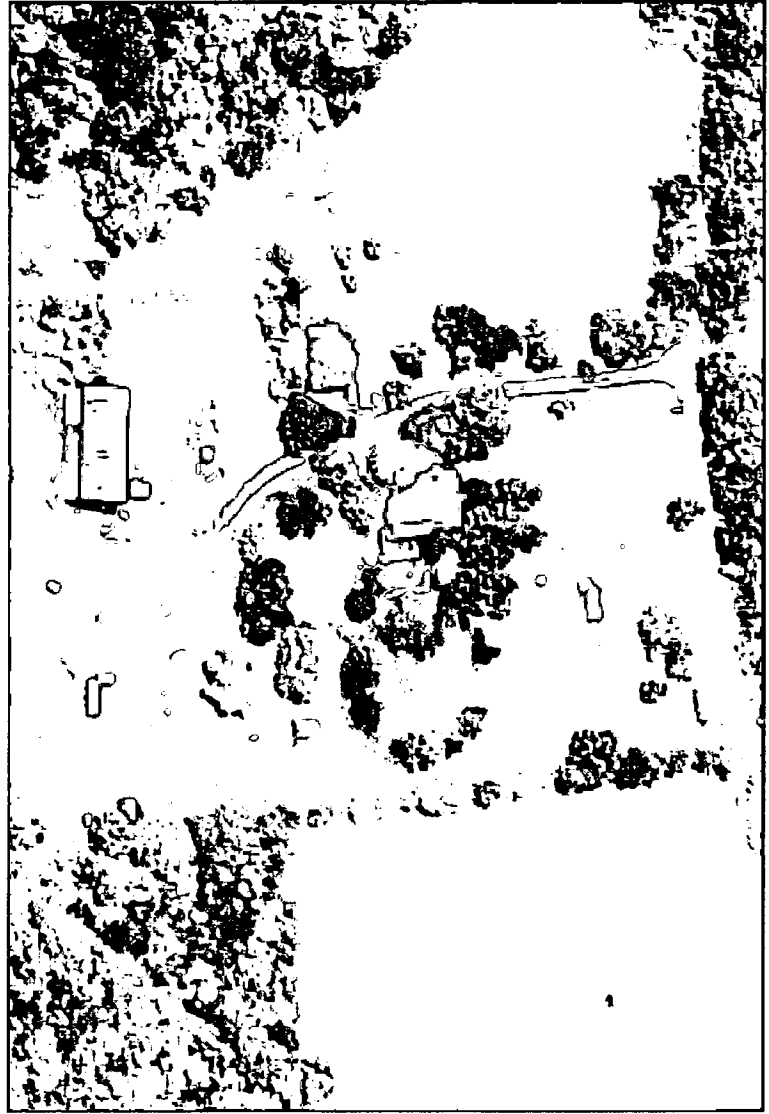
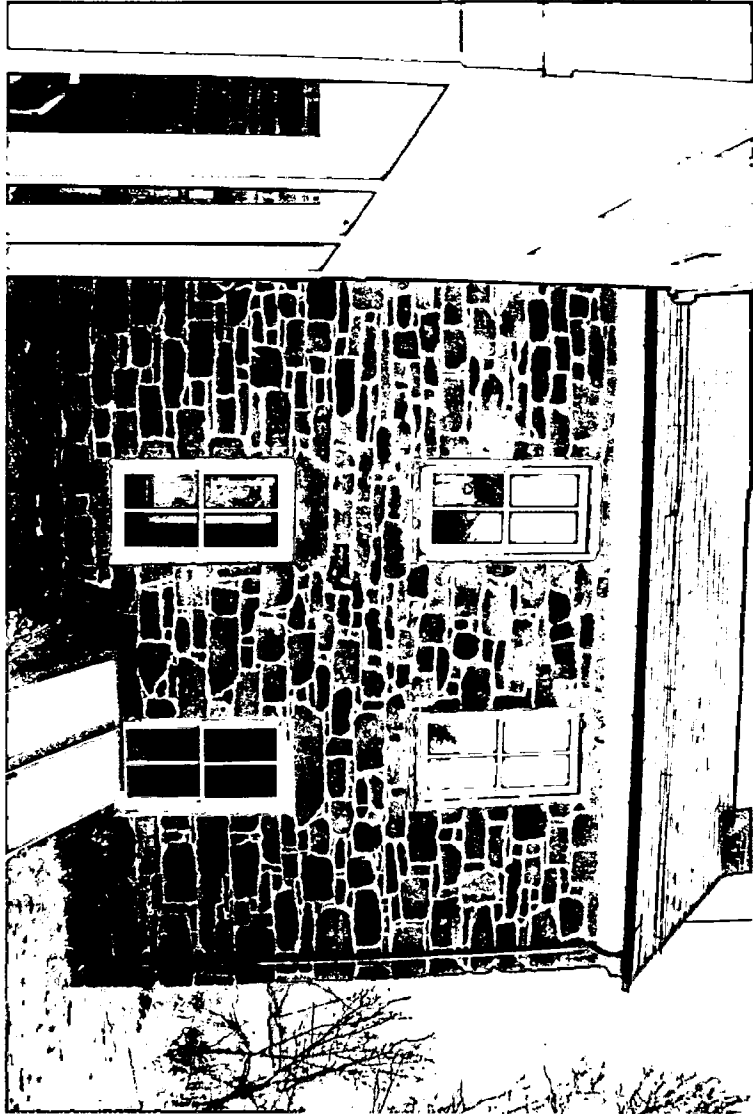


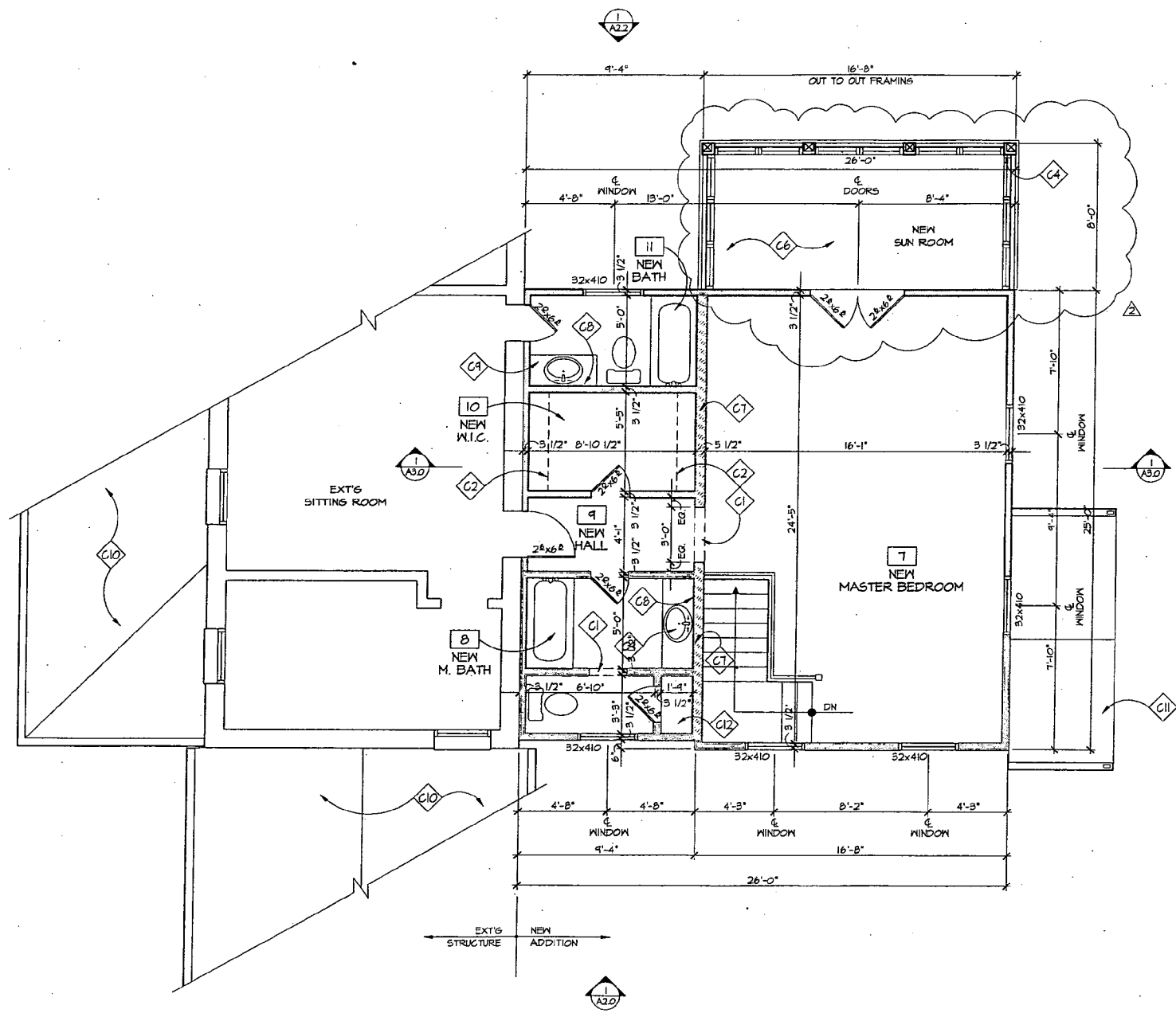












SECOND FLOOR PLAN
 A1.1 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- C1 NEW CASING OPENING
- C2 CLOSET SHELVES + RODS, BY OWNER
- C3 PTD. SMOOT RAILING SYSTEM, SEE ELEVATIONS
- C4 WRAP 6x6 POST W/ 5/4" TRIM, OUTSIDE FINISH DIMENSION; Ø 3/4" SQUARE
- C5 NOT USED
- C6 T&G FLOORING @ PORCH, MATERIAL T.B.S.
- C7 2x6 LOAD-BEARING WALL
- C8 1/4" PLATE GLASS MIRROR, SEE INTERIORS FOR EXTENT OF HEIGHT
- C9 VANITY, TO BE SELECTED
- C10 EXT'S ROOF BELOW
- C11 NOT USED
- C12 PROVIDE (5) EQUALLY SPACED SHELVES

GTM ARCHITECTS

10415 ARMORY AVENUE,
 KENSINGTON, MD, 20845
 (301)442-4062
 (301)442-3424 FAX

20130 WASCHE ROAD
 DICKERSON, MD 20842
 SECOND FLOOR PLAN

CHISWELL FARM

REVISIONS:

| | |
|---|---------------|
| △ | REV. 02_22_07 |
| △ | REV. 09_13_07 |

SEAL:

WALL TYPES

TYPICAL EXTERIOR WALL: 2"x4" WOOD STUDS 16" O.C., W/ R-15 INSULATION & W/ VAPOR BARRIER, 1/2" OSB SHEATHING, TYVEK BUILDING WRAP, & SIDING PER ELEVATIONS
 INTERIOR FINISH TO BE 6TP. BD. (1/2").

TYPICAL NON-BEARING INTERIOR PARTITION: 2"x4" STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.

| | |
|-------------|----------|
| DRAWN BY: | DER |
| CHECKED BY: | GTM |
| SCALE: | AS NOTED |
| DATE: | 09.13.07 |
| PROJECT NO. | 2004243 |

DRAWING NO.

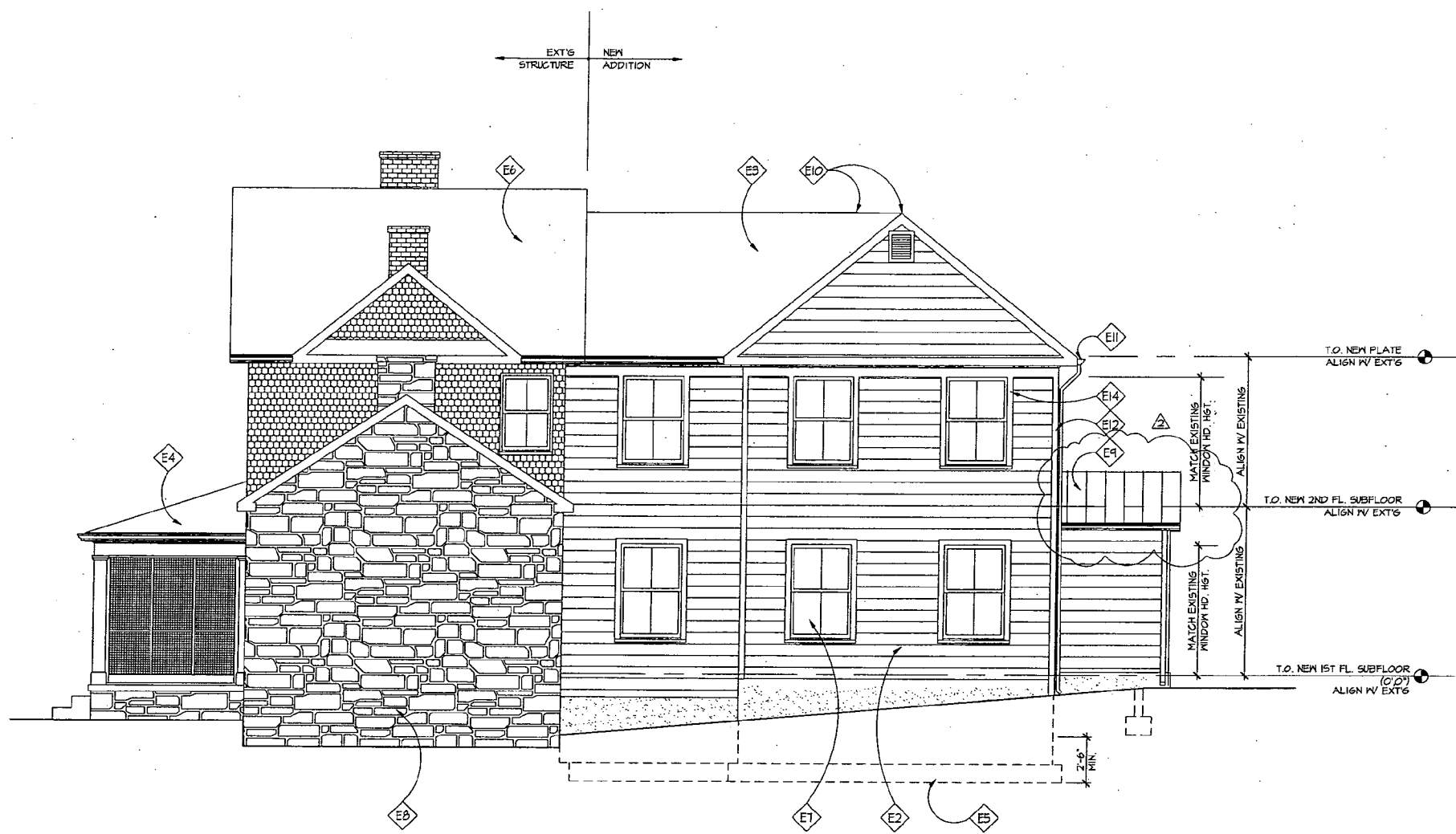
A1.1

20130 WASCHE ROAD
DICKERSON, MD 20842
RIGHT SIDE ELEVATION

**CHISWELL
FARM**

ELEVATION NOTES

- ◇ E1 NOT USED
- ◇ E2 NEW FTD. HARDI-PLANK SMOOTH LAP SIDING
- ◇ E3 30 YEAR ASPHALT SHINGLES
- ◇ E4 EXISTING PORCH
- ◇ E5 LINE OF FOUNDATION
- ◇ E6 EXISTING SLATE ROOF
- ◇ E7 WOOD WINDOWS, MATCH EXT'G GRILL PATTERN
- ◇ E8 EXISTING STONE
- ◇ E9 STANDING SEAM METAL ROOF
- ◇ E10 RIDGE VENT; SEE ROOF PLAN
- ◇ E11 GUTTER 4 D.S.; TO MATCH EXISTING
- ◇ E12 FTD. 5/4" x 4 CORNER BOARDS
- ◇ E13 NOT USED
- ◇ E14 FTD. 5/4" x 4 WINDOW & DOOR TRIM
- ◇ E15 NOT USED
- ◇ E16 NOT USED



1 RIGHT SIDE ELEVATION
A2.0 SCALE: 1/4"=1'-0"

REVISIONS:

| | |
|---|---------------|
| △ | REV. 02_22_07 |
| △ | REV. 04_13_07 |

SEAL:

| | |
|--------------|----------|
| DRAWN BY: | DER |
| CHECKED BY: | GTM |
| SCALE: | AS NOTED |
| DATE: | 09.13.07 |
| PROJECT NO.: | 2004243 |

NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.

DRAWING NO.
A2.0

ELEVATION NOTES

- ◊ E1 NEW WOOD DOOR, T.B.S. ▲
- ◊ E2 NEW PTD. HARDI-PLANK SMOOTH LAP SIDING
- ◊ E3 30 YEAR ASPHALT SHINGLES
- ◊ E4 EXISTING CHIMNEY
- ◊ E5 LINE OF FOUNDATION
- ◊ E6 EXISTING SLATE ROOF
- ◊ E7 WOOD WINDOWS, MATCH EXT'S GRILL PATTERN
- ◊ E8 EXISTING STONE
- ◊ E9 PTD. TRELLIS
- ◊ E10 RIDGE VENT; SEE ROOF PLAN
- ◊ E11 GUTTER & D.S.; TO MATCH EXISTING
- ◊ E12 PTD. 5/4" x 4 CORNER BOARDS
- ◊ E13 NOT USED
- ◊ E14 PTD. 5/4" x 4 WINDOW & DOOR TRIM
- ◊ E15 NOT USED
- ◊ E16 NOT USED
- ◊ E17 NOT USED
- ◊ E18 FOUNDATION VENTS
- ◊ E19 NOT USED

REVISIONS:

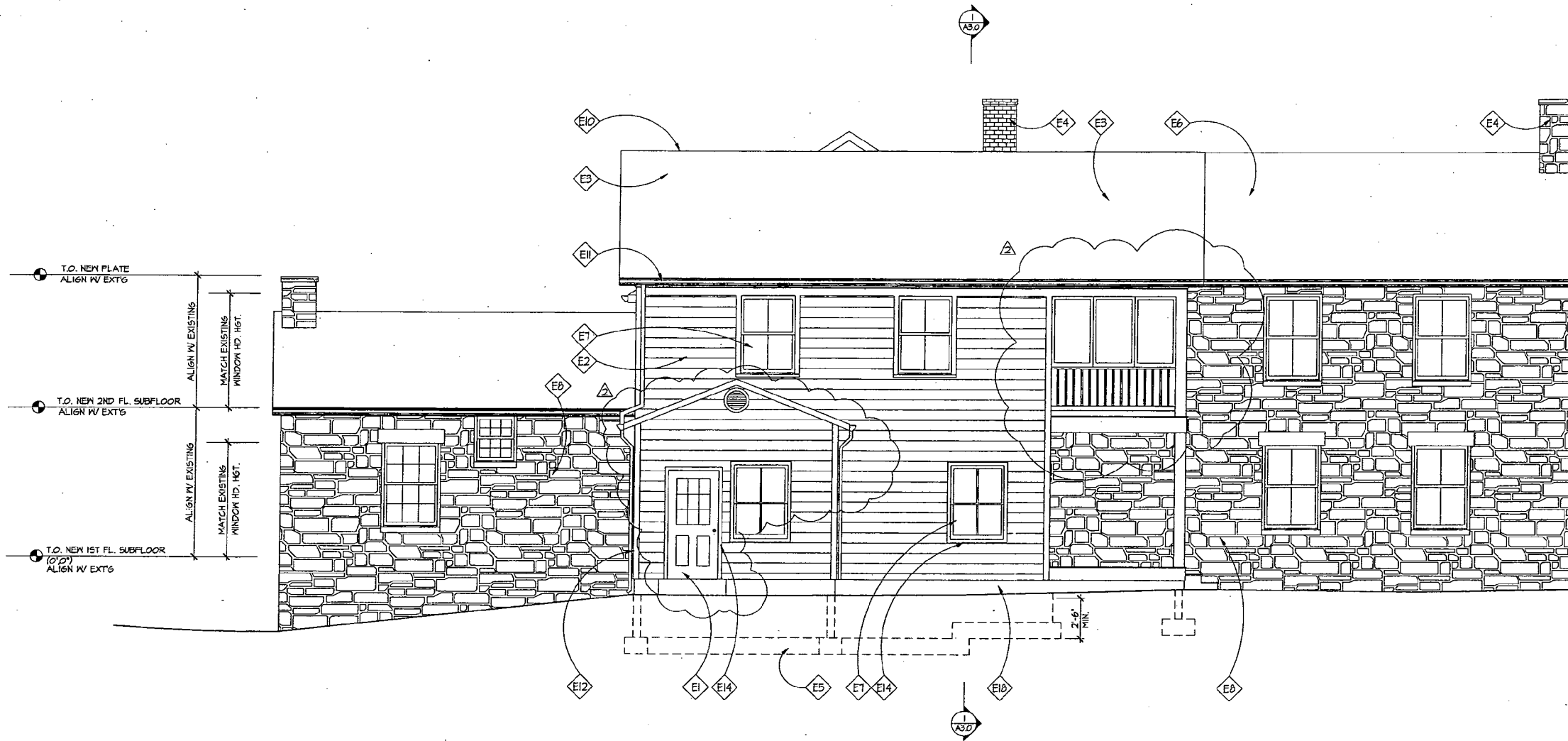
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|---|---------------|
| ▲ | REV. 02_22_07 |
| ▲ | REV. 09_13_07 |

SEAL:

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|-------------|----------|
| DRAWN BY: | DER |
| CHECKED BY: | GTM |
| SCALE: | AS NOTED |
| DATE: | 09.13.07 |
| PROJECT NO. | 2004243 |
| DRAWING NO. | |

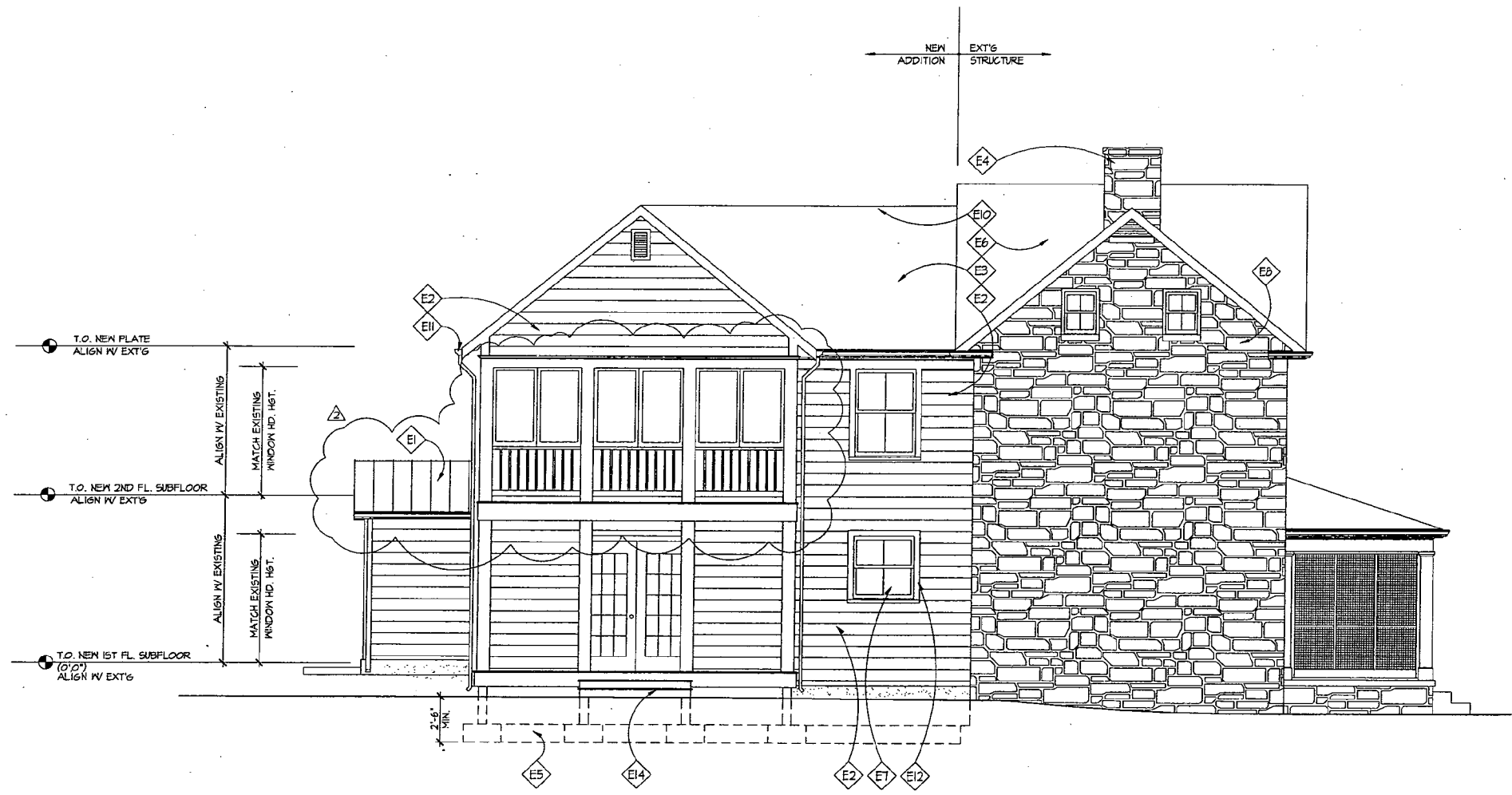
NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.

REAR ELEVATION
A2.1 SCALE: 1/4"=1'-0"



ELEVATION NOTES

- ◊ E1 STANDING SEAM METAL ROOF
- ◊ E2 NEW PTD. HARD-PLANK SMOOTH LAP SIDING
- ◊ E3 30 YEAR ASPHALT SHINGLE
- ◊ E4 EXISTING CHIMNEY
- ◊ E5 LINE OF FOUNDATION
- ◊ E6 EXISTING SLATE ROOF
- ◊ E7 WOOD WINDOWS, MATCH EXT'G GRILL PATTERN
- ◊ E8 EXISTING STONE
- ◊ E9 NOT USED
- ◊ E10 RIDGE VENT; SEE ROOF PLAN
- ◊ E11 GUTTER & D.S.; TO MATCH EXISTING
- ◊ E12 PTD. 5/4" x 4 WINDOW & DOOR TRIM
- ◊ E3 NOT USED
- ◊ E4 WOOD STEPS TO GRADE, VERIFY IN FIELD
- ◊ E5 NOT USED



1 LEFT SIDE ELEVATION
A2.2 SCALE: 1/4"=1'-0"

REVISIONS:

| | |
|---|---------------|
| △ | REV. 02_22_07 |
| △ | REV. 04_13_07 |

SEAL:

| | |
|-------------|----------|
| DRAWN BY: | DER |
| CHECKED BY: | GTM |
| SCALE: | AS NOTED |
| DATE: | 04.13.07 |
| PROJECT NO: | 2004243 |
| DRAWING NO: | |

NOTE:
VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD.

A2.2

10-18-07

new/Steve Hays + Robert Hany

now plans not accurate

and room roof not steeper

but appears inaccurate

compared to photo

2-story screened porch not on plans
metal roof not on plans

window replacement to be submitted

GTM needs photos/site visit!

They will revise + return

using Michele's list!

12-12-07

Plans looked better but ex. conditions still wrong.
Mr. Hany took photos to show GTM so they
can reconcile.

They will submit now HAP for HPC review
in Jan.

1-12-08

need current photos
window rehab plan