

18/08-03B 19921 White Ground Rd
(Boys Historic District)

III B
module 1

Dropsiding (Out.)

REV. T. DAVIS Richards
House

Queen Anne

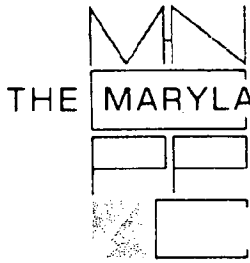
1880-1890

Naru, Michele

From: Duane Emmet [demmet@emmetinc.com]
Sent: Tuesday, July 06, 2004 12:19 PM
To: Naru, Michele
Cc: Dbemmet@aol.com; Mike Cavanaugh
Subject: 19921 White Ground

Hi Michele, as per our discussion today we are using cedar siding that is 7 1/4" with a 6" or 6 1/4" profile. The plans indicated a 9 1/4" hardie with an 8" profile. To integrate the cedar into the siding we decided to use it all on one side or on the gable ends and do the remaining in hardi siding with a profile to match the cedar. So the profile will be 6 or 6 1/4 depending on what size hardi has available. Please call me if you have any questions, Thanks

Duane M. Emmet, President
Associate Broker
Frank Emmet Real Estate, Inc., AMO
8609 Second Avenue, Suite 502
Silver Spring, MD 20910
301-589-6000 x115
301-589-4425 fax
demmet@emmetinc.com
1-888-589-6500 toll free



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 6/25/03

MEMORANDUM

TO: Robert Hubbard, Director
Department of Permitting Services

FROM: Gwen Wright, Coordinator
Historic Preservation

SUBJECT: Historic Area Work Permit

HPC # 18/08-03B

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

 Approved

X Approved with Conditions: Plant two, deciduous trees
with a minimum 2" caliper from the
Montgomery County Native Species list, somewhere
on the existing property.

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Duane + Bonnie Emmet

Address: 19921 White Ground Road, Boyds

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ permits.emontgomery.org prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
259 ROCKVILLE PIKE, 2ND FLOOR, ROCKVILLE, MD 20850
301/777-4370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: DIANE M. EMMET
Daytime Phone No.: 301 589 6000 x115
DEMNET@EMMETINC.COM

Tax Account No.: 00393267

Name of Property Owner: BONNIE + DUANE EMMET Daytime Phone No.: 301 589 6000 x115

Address: 19921 White Ground Rd, Boyds Md, 20841
Street Number City Street Zip Code

Contractor: MORTON BUILDINGS INC. Phone No.: 1-717-624-3331

Contractor Registration No.: MALC # 11784

Agent for Owner: N/A Daytime Phone No.: N/A

Address: _____

LOCATION OF BUILDING/PREMISE

House Number: 19921 Street: WHITE GROUND RD.

Town/City: BOYDS Nearest Cross Street: CLOPPER ROAD.

Lot: P276 Block: _____ Subdivision: JARNESTOWN OUTSIDE; LOT AT BOYDS

Liber: 9741 Folio: 97 Parcel: P276

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
- | | | | | | | | | |
|---|----------------------------------|--|--|------------------------------------|--|--|-------------------------------|-------------------------------|
| <input checked="" type="checkbox"/> Construct | <input type="checkbox"/> Extend | <input type="checkbox"/> Alter/Renovate | <input type="checkbox"/> A/C | <input type="checkbox"/> Slab | <input type="checkbox"/> Room Addition | <input type="checkbox"/> Porch | <input type="checkbox"/> Deck | <input type="checkbox"/> Shed |
| <input type="checkbox"/> Move | <input type="checkbox"/> Install | <input checked="" type="checkbox"/> Wreck/Reze | <input type="checkbox"/> Solar | <input type="checkbox"/> Fireplace | <input type="checkbox"/> Woodburning Stove | <input type="checkbox"/> Single Family | | |
| <input type="checkbox"/> Revision | <input type="checkbox"/> Repair | <input type="checkbox"/> Revocable | <input type="checkbox"/> Fence/Wall (complete Section 4) | | <input type="checkbox"/> Other: _____ | | | |

1B. Construction cost estimate: \$ _____

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/AUCTIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 | | Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 | | Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

- 3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

[Signature]
Signature of owner or authorized agent

6/2/03
Date

Approved: X w/condition For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: _____ Date: 6/25/03

Application/Permit No.: _____ Date Filed: _____ Date Issued: _____

SEE REVERSE SIDE FOR INSTRUCTIONS

(4)

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

- a. Description of existing structure(s) and environmental setting, including their historical features and significance:

Remove/Remove existing 2 story 14 x 26 BARN UNDER
HWAP issued in 1991/1992.
Construct new 2 story pole barn 36 x 55 with Gable end
facing White Ground Rd.
Siding of new construction to be either James Hardy vertically board
* better or cedar lap siding. Either product to be painted.

- b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- the scale, north arrow, and date;
- dimensions of all existing and proposed structures; and
- site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301/279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 19921 White Ground Road, Boyds **Meeting Date:** 06/25/03
Applicant: Duane and Bonnie Emmet **Report Date:** 06/18/03
Resource: Outstanding Resource **Public Notice:** 06/11/03
Boys Historic District
Master Plan Historic District #18/08
Review: HAWP **Tax Credit:** No
Case Number: 18/08-03B **Staff:** Michele Naru
PROPOSAL: New Barn Construction
RECOMMEND: Approve with Condition

STAFF RECOMMENDATION: Staff recommends that the Commission approve the this HAWP application with the condition that:

The applicant plant two, deciduous trees with a minimum 2” caliper from the Montgomery County Native Species List somewhere on the existing property.

PROJECT DESCRIPTION:

SIGNIFICANCE: Outstanding Resource within the Boys Historic District
STYLE: Queen Anne
DATE: 1880-1890

The Boys Historic District is a significant resource within Montgomery County because of its cohesive grouping of residential, religious, and commercial structures that are characteristic of a 19th century agricultural town. Founded by Col. James A. Boyd, the town was conveniently located for farmers along the B & O railroad who were transporting produce for shipment. As a result, railroad workers constructed many of the first dwellings in Boyds.

The design, setting, and building materials of the existing buildings in the district have not changed significantly since their original construction. The Boys Historic District, from its originally mill era buildings to eventually B & O railroad era buildings, very much recalls a sense of place circa 1900 as a rural Maryland agricultural community.

PROPOSAL:

The applicant is proposing to demolish an existing 2-story 14' x 26' barn (already approved under a HAWP issued in 1992 – see Circles 19-35), a small metal utility shed and small frame shed on the property (See Circle 6) and construct a new 2-story pole barn 36' x 55'. The barn will be sited so that the gable end (36' wide length) will face White Ground Road. The barn will be clad in painted, hardi-plank board and batten or painted cedar lap siding. The roof will be sheathed in a standing seam metal. The proposed windows for the barn will be vinyl clad, simulated divided light. The barn doors will be constructed of wood and designed to replicate historic barn doors (See Circle 15). The building will be located on a concrete slab foundation.

Additionally, the applicants are also proposing to remove two trees from the property: a walnut and persimmon – both trees are volunteer trees approx. 12" in diameter, which have been established after 1992 (See note in background section).

BACKGROUND:

The applicant already has an approved Historic Area Work Permit (HPC Case No. 18/08-92A) to demolish the existing 2-story 14' x 26' wood frame barn. Additionally, as part of this HAWP application, the applicant received approval to construct a 25' x 25' garage with two, roll-up doors (See Circles 29-33). At the time of this staff report in 1992, the only tree near the proposed site of the new barn was the cedar tree and its removal was approved as part of this HAWP application.

STAFF DISCUSSION:

Proposed new construction within the Boyds Historic District is reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

It is staff's opinion that this proposal demonstrates that if a structure is designed well, uses compatible materials and is sited significantly behind the historic house and with its most narrow side facing the street, a larger structure can be achievable within the boundaries of the Boyds Historic District.

The existing lot is approximately two acres in size – with the majority of the acreage to the rear of the historic house. Staff feels that the proposed construction of this building, given the depth of the lot will not negatively affect the perceived open space on the lot. Additionally, staff notes that the current lot contains a substantial amount of trees along its perimeter; the removal of the two, volunteer trees will not be detrimental to the landscape of the site. Staff would recommend as mitigation that the applicant plant two, deciduous trees with a minimum 2” caliper from the Montgomery County Native Species List somewhere on the existing property.

STAFF RECOMMENDATION:

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 25A-8(b) 3:

The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archaeological, architectural or cultural value of the historic site or historic district in which an historic resource is located.

and with the *Secretary of the Interior's Standards #2, #9 & #10:*

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

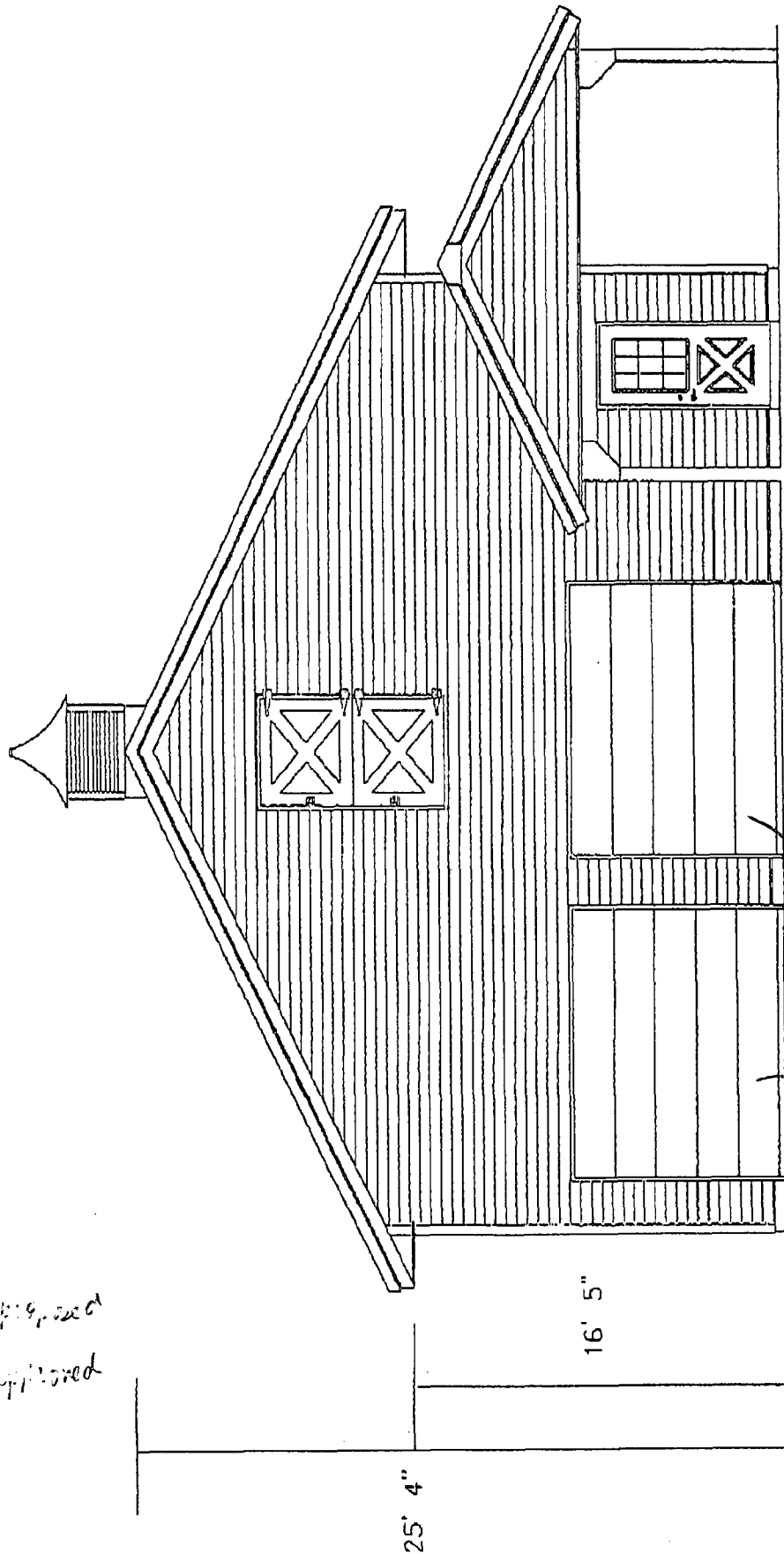
and with the condition that:

The applicant plant two, deciduous trees with a minimum 2” caliper from the Montgomery County Native Species List somewhere on the existing property.

with the general conditions applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work, and within two weeks following completion of work.

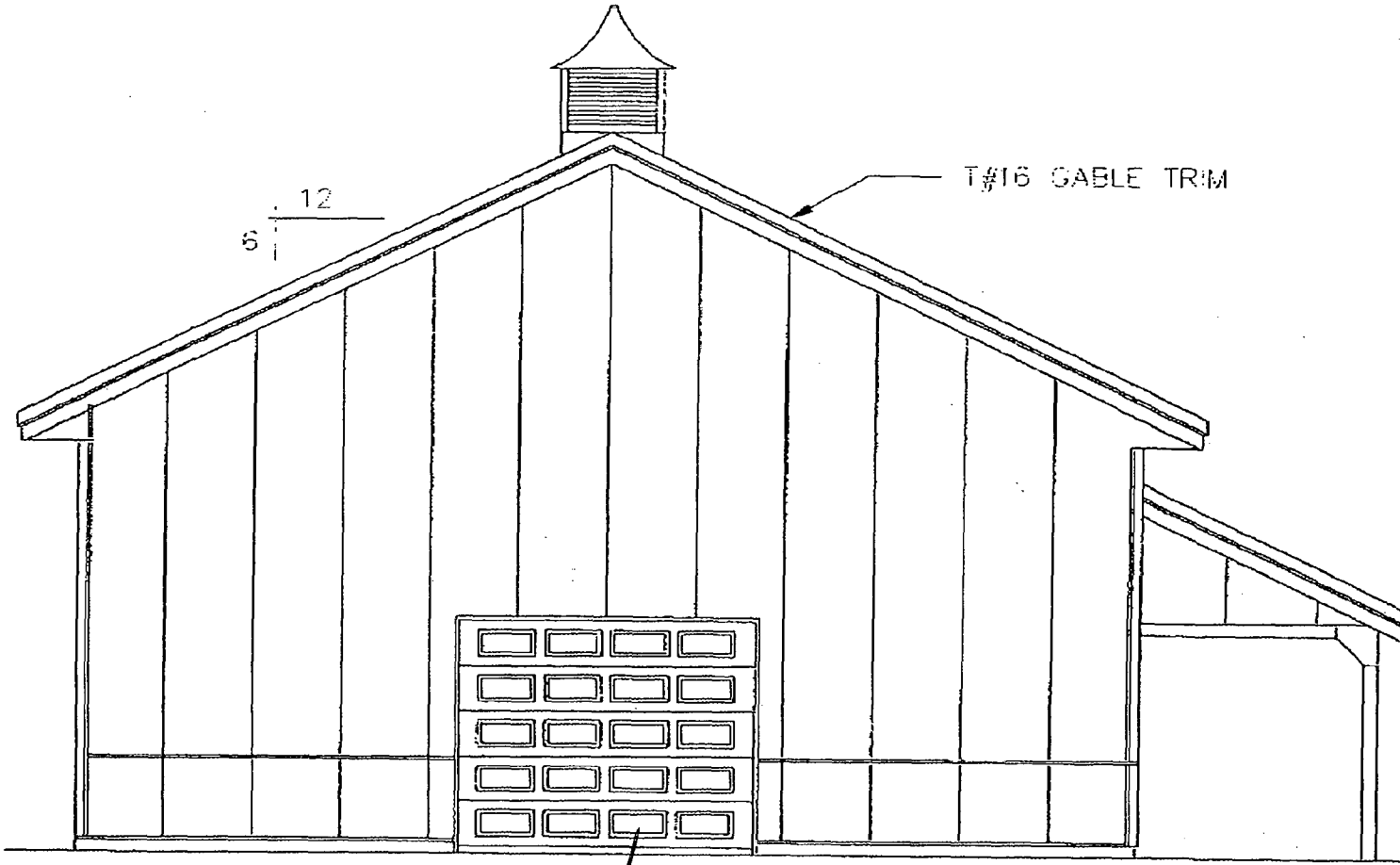
36' 4" x 48' + proposed
30' 4" x 55' - approved

2 1/2"



SEE DOOR DESIGN
FRONT ELEVATION (WEST)

SIDING SHOWN IN CEDAR LAP SIDING



SEE DOOR SPECS.

REAR ELEVATION (EAST)

SIDING SHOWN IN VEHICLE BOARD + BATTEN

OR JAMES HARVEY SIDING

18" x 9"

04 10

12:41

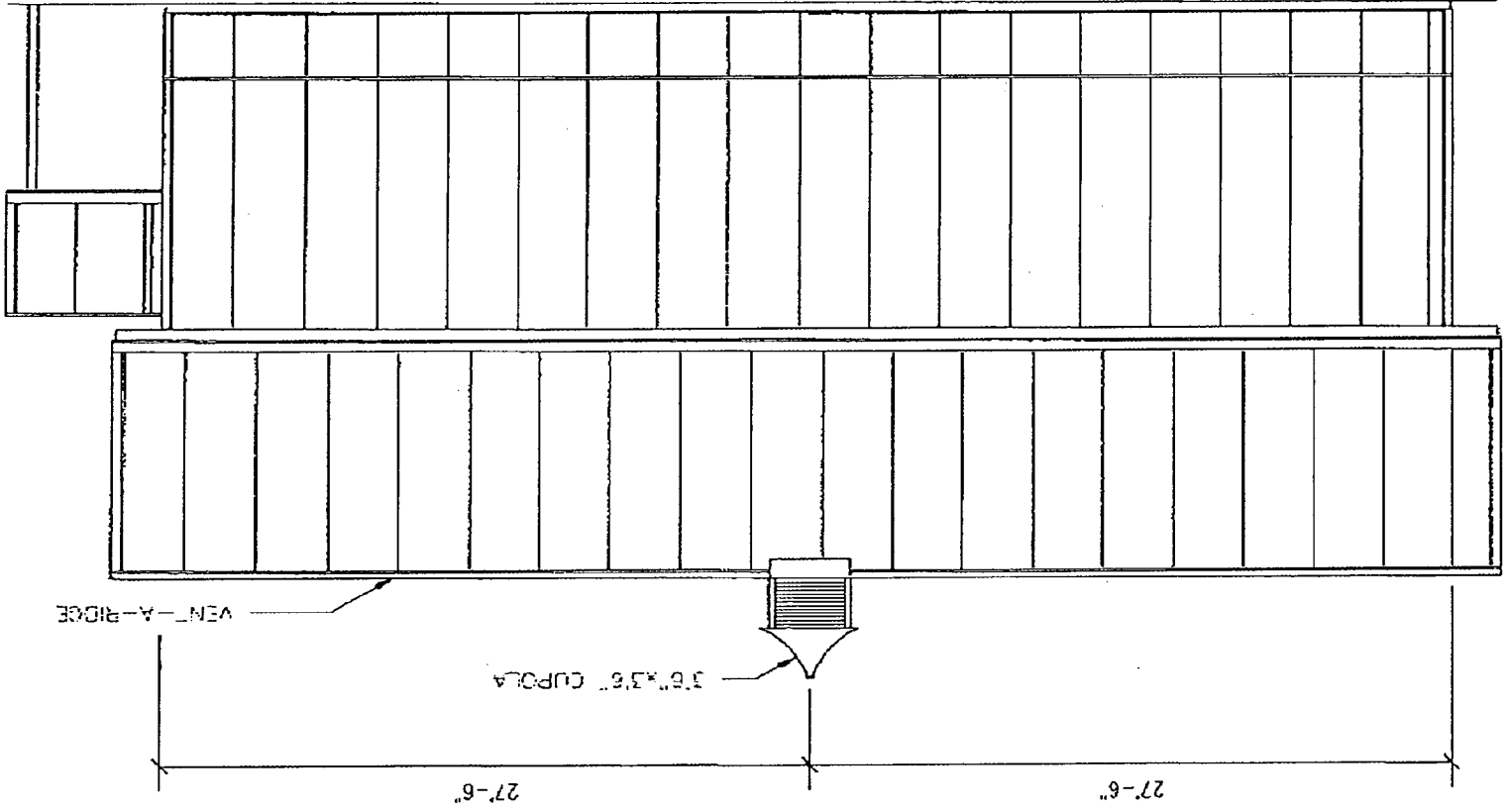
2024/08/28 09:00



JAMES HARDY VENTILE

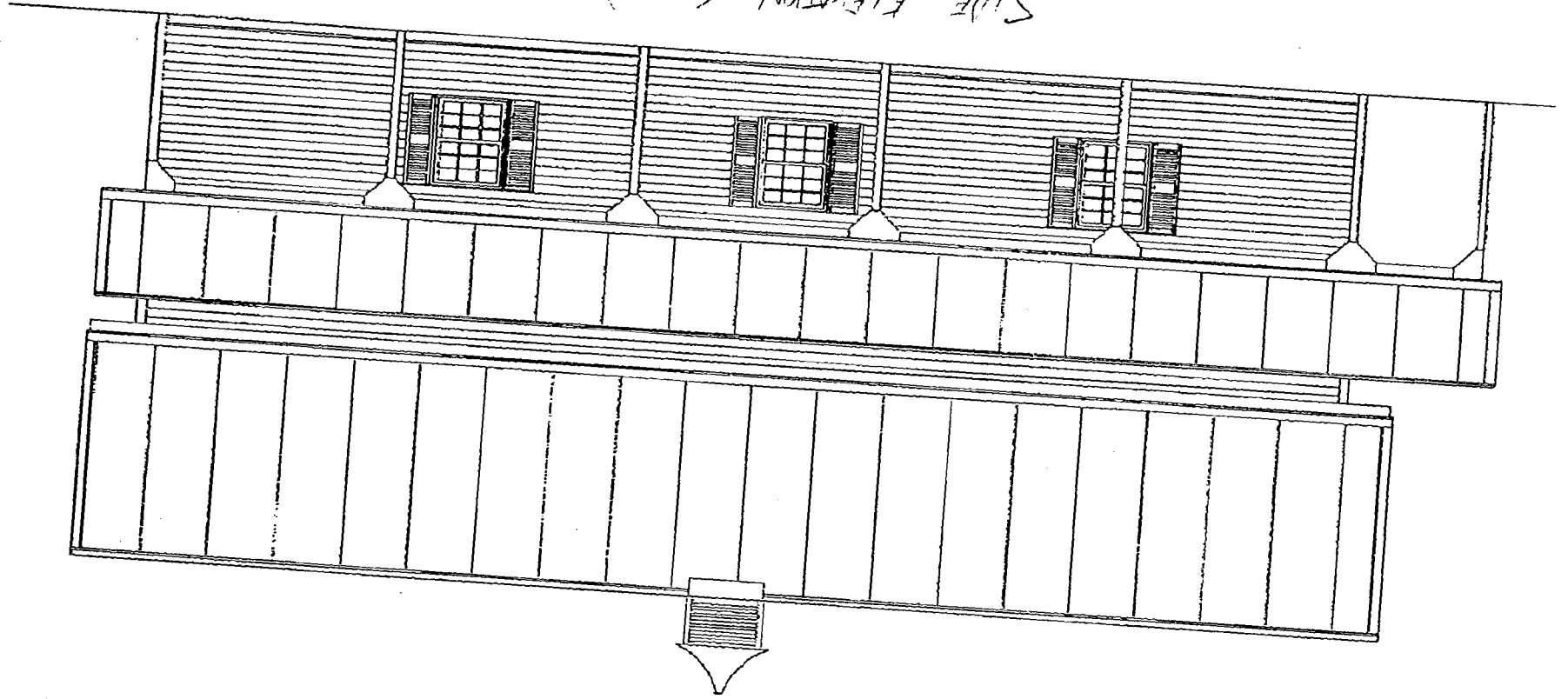
SIDING SHOWN IN VENTILE BOARD + BATTERY
ROOF + GUTTERS IN METAL

SIDE ELEVATION (NORTH)



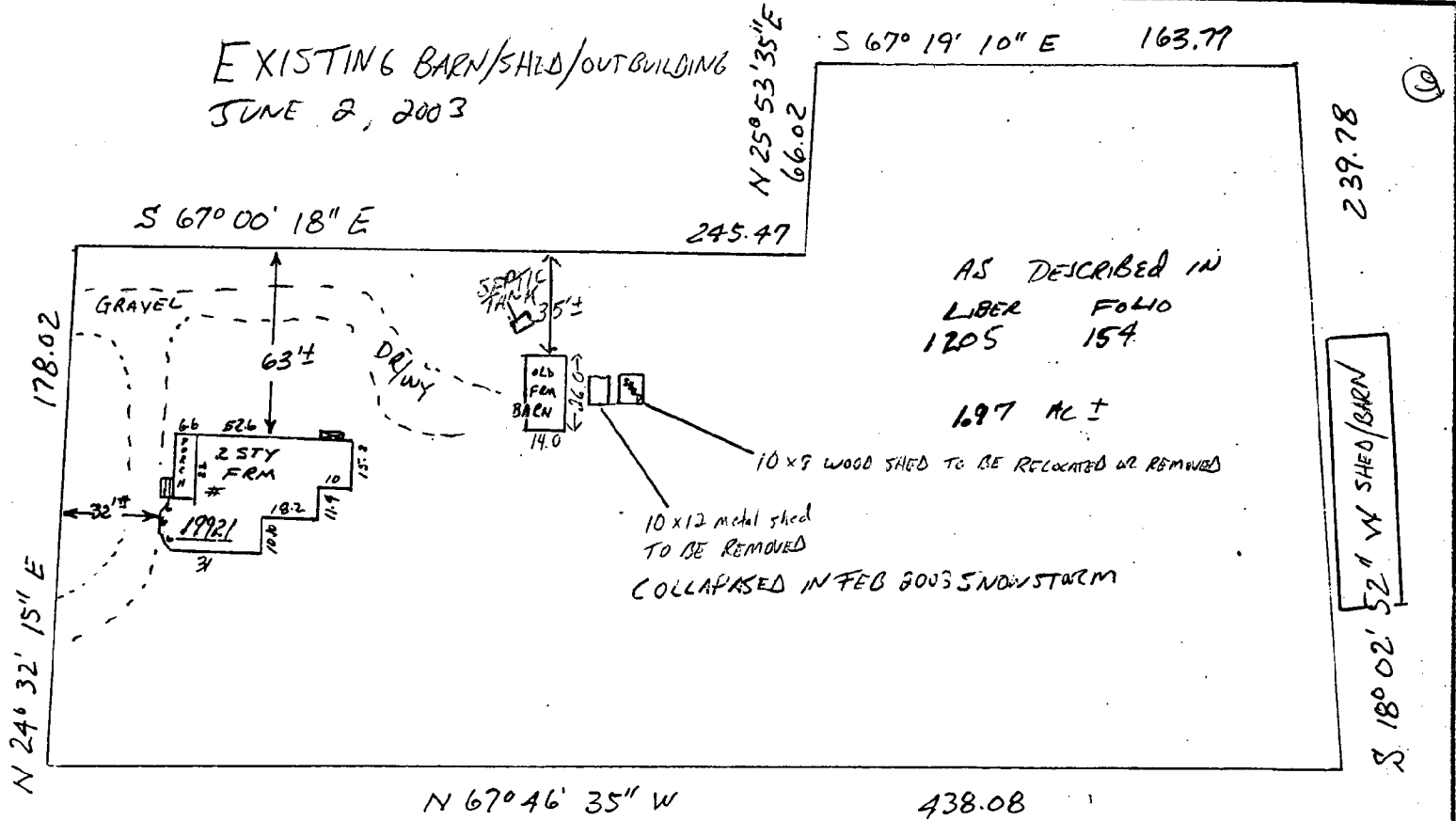
SHOWN IN CEDAR OR STAINES HARDY LAP SIDING
ROOF + GUTTERS IN METAL

SIDE ELEVATION (SOUTH)



EXISTING BARN/SHED/OUTBUILDING
JUNE 2, 2003

WHITE
GROUND
ROAD



AS DESCRIBED IN
LIBER FOLIO
1205 154

1.97 AC ±

10 X 9 WOOD SHED TO BE RELOCATED OR REMOVED
10 X 12 metal shed
TO BE REMOVED
COLLAPSED IN FEB 80'S SNOWSTORM

239.78
S 18° 02' 52" W SHED/BARN

Subject property is shown in Zone C
on the National Flood Insurance Program
Flood Insurance Rate Map of MONTGOMERY
County, Maryland. Panel # 0050 B
Community Panel # 240040-
Effective Date: 7-2-79

****OLD FENCING RUNS AROUND PROPERTY ****
****FENCING IS INDICATED BY # AND EQUIPPED WITH ACCESS POINT UNLESS OTHERWISE NOTED****

88,773
2 acres

This is to certify that I have surveyed the property
known as LOT # AS DESCRIBED IN L-1205 F-154
sheet of recorded BK- L-1205 PLT F-154 among the
Land Records of MONTGOMERY County, Maryland for the
purpose of locating the improvements thereon.



J. Carl Hudgins PLS#98

LOCATION SURVEY

19921 WHITE GROUND ROAD
6TH ELECTION DISTRICT
MONTGOMERY COUNTY MARYLAND

NTT ASSOCIATES, INC.
16205 Old Frederick Road
Mt. Airy, Maryland 21771
Phone 442-2031

Scale 1" = 60'
Date 3-4-92
Field By MITCH
Drawn By MITCH
Drawing #92-9152

THIS PLAT SHOWS ONLY THAT THE IMPROVEMENTS ARE
CONTAINED WITHIN THE OUTLINES OF THE LOT AND IS
NOT TO BE USED TO ESTABLISH PROPERTY LINES.

MORTON BUILDINGS GENERAL SPECIFICATIONS

LAMINATED COLUMNS - NO. 1 OR BETTER SOUTHERN YELLOW PINE NAIL LAMINATED 3 MEMBER S4S COLUMNS USED IN MORTON BUILDINGS ARE PRESSURE TREATED BELOW GRADE TO A RETENTION OF .8 POUNDS PER CUBIC FOOT WITH CHROMATED COPPER ARSENATE TYPE III, OXIDE TYPE, AS LISTED IN FEDERAL SPECIFICATION IT-W-571J THE TREATED PORTION OF THE COLUMN EMBEDDED IN GROUND SHALL BE LAMINATED WITH STAINLESS STEEL NAILS.

FOOTINGS AND ANCHORAGE - COLUMN HOLES ARE DUG 4 FEET DEEP MIN. DEPTH BELOW GRADE AND READY-MIX CONCRETE PADS OR DRY CONCRETE MIX PADS ARE POURED IN PLACE (NOTE PLANS FOR SIZE & TYPE). TWO GALVANIZED STEEL BASE ANCHORS ARE PLACED 1" FROM BOTTOM OF COLUMN OR 1/2" GALVANIZED STEEL ROD PLACED 2 1/2" FROM BOTTOM OF COLUMN. (SEE SECTION) ADDITIONAL CONCRETE IS MIX POURED AROUND BASE OF COLUMN THEN BACKFILLED WITH SOIL AND COMPACTED AT 8" INTERVALS.

ANCHORED ON CONCRETE - COLUMNS ARE ATTACHED TO CONCRETE BY USE OF 1/4" M.R. STEEL COLUMN SOCKETS. EACH SOCKET IS FASTENED TO THE CONCRETE BY TWO 1/2" DIA. x 8" PLATED ANCHOR BOLTS AND COLUMN IS FASTENED TO SOCKET BY FOUR 1/2 x 2 1/2" LAG SCREWS AND FOUR 20d R.S. NAILS.

SPLASHBOARDS - SPLASHBOARDS ARE NO. 2 OR BETTER SOUTHERN YELLOW PINE 2"x8" S2S AND CENTER MATCHED, PRESSURE TREATED TO NET RETENTION OF .8 POUNDS PER CUBIC FOOT WITH CHROMATED COPPER ARSENATE TYPE III, OXIDE TYPE, IN ACCORDANCE WITH AMERICAN WOOD PRESERVERS' ASSOCIATION SPECIFICATION C2. ONE ROW IS FURNISHED FOR BUILDING ON A LEVEL SITE.

FRAMING LUMBER - SIDE NAILERS ARE 2"x4" S4S OR 2"x6" SPF NO.2 OR BETTER SPACED APPROXIMATELY 30" O.C. WITH ALL JOINTS STAGGERED AT ATTACHMENT TO COLUMNS. ROOF PURLINS ARE 2"x4" S4S NO. 2 OR BETTER ON EDGE SPACED APPROXIMATELY 24" O.C. ALL OTHER FRAMING LUMBER IS NO. 2 OR BETTER. (SEE SECTION

ROOF TRUSSES - FACTORY ASSEMBLED WITH 18 OR 20 GAUGE GALVANIZED STEEL TRUSS PLATES AS REQUIRED AND KILN DRIED LUMBER AS SPECIFIED. IN-PLANT QUALITY CONTROL INSPECTION IS CONDUCTED UNDER THE AUSPICES OF THE TPI INSPECTION BUREAU. TRUSSES ARE DESIGNED IN ACCORDANCE WITH CURRENT STANDARDS AND SPECIFICATIONS FOR THE STATED LOADING.

SIDING PANELS (KYNAR 500/HYLAR 5000) - ~~0.010" MIN., 600 GALVANIZED OR A255 GALVALUME, WITH AN ADDITIONAL BAKED-ON KYNAR 500/HYLAR 5000 FINISH. PAINT IS~~ NOW 1 MIL THICK ON EXTERIOR.

PAINTED, HARDI-PLANK T&G OR PAINTED, CEDAR LAP SIDING

ROOFING PANELS (FLUOROFLEX 2000 (TM)) - 0.019" MIN., A255 GALVALUME WITH AN ADDITIONAL BAKED-ON THICK POLYURETHANE PRIMER AND KYNAR 500/HYLAR 5000 TOPCOAT WITH A TOTAL MINIMUM PAINT THICKNESS OF 2 MILS.

TRIM - ~~5/8" SQUARE TRIM OF 0.010" MIN., 600 GALVANIZED OR A255 GALVALUME STEEL ON GABLES, RIDGES, CORNERS, BASE, WINDOWS, AND DOORS WITH SAME FINISH AS ROOFING OR SIDING PANELS.~~

WOOD TRIM

GUTTERS - 5" K-STYLE, .030 HIGH TENSILE ALUMINUM CUTTER, KYNAR 500/HYLAR 5000 FINISH TO MATCH TRIM, ON BOTH SIDES OF THE BUILDING.

ADDITIONAL NOTES

- 1.) ALL PLOT PLANS AND RELATED DETAILS SHALL BE PROVIDED BY OWNER UNLESS INCORPORATED AS PART OF THESE DRAWINGS.
- 2.) ALL INTERIOR PARTITIONS AND ROOM FINISHES IF NOT INCLUDED WITH THESE DRAWINGS SHALL BE PROVIDED BY OWNER. STANDARD FINISHES SHALL HAVE LESS THAN 200 FLAME SPREAD RATING AS REQUIRED BY ASTM E84 FOR ORDINARY CONDITIONS AND 25 OR LESS FOR EXITS, PASSAGEWAYS, AND CORRIDORS.
- 3.) FLOOR COVERINGS JUDGED TO REPRESENT AN UNUSUAL HAZARD SHALL MEET THE SAME TESTING PROCEDURES AS REQUIRED FOR WALL AND CEILING FINISHES.
- 4.) MORTON BUILDINGS GENERAL SPECIFICATIONS APPLY UNLESS INDICATED DIFFERENTLY ON SPECIFIC JOB DRAWINGS OR SUPPLEMENTAL INFORMATION.
- 5.) KYNAR 500 IS A REGISTERED TRADEMARK OF ELF ATOCHEM NORTH AMERICA, HYLAR 5000 IS A TRADEMARK OF AUSIMONT, USA.

Historic Preservation Commission
May 21, 1992
Page Two

The building is currently and has been damaged by termites, wood borers, carpenter ants and bees.

This condition appears to have occurred due to approximately 30 years of neglect and the lack of any structural maintenance.

Yours very truly,

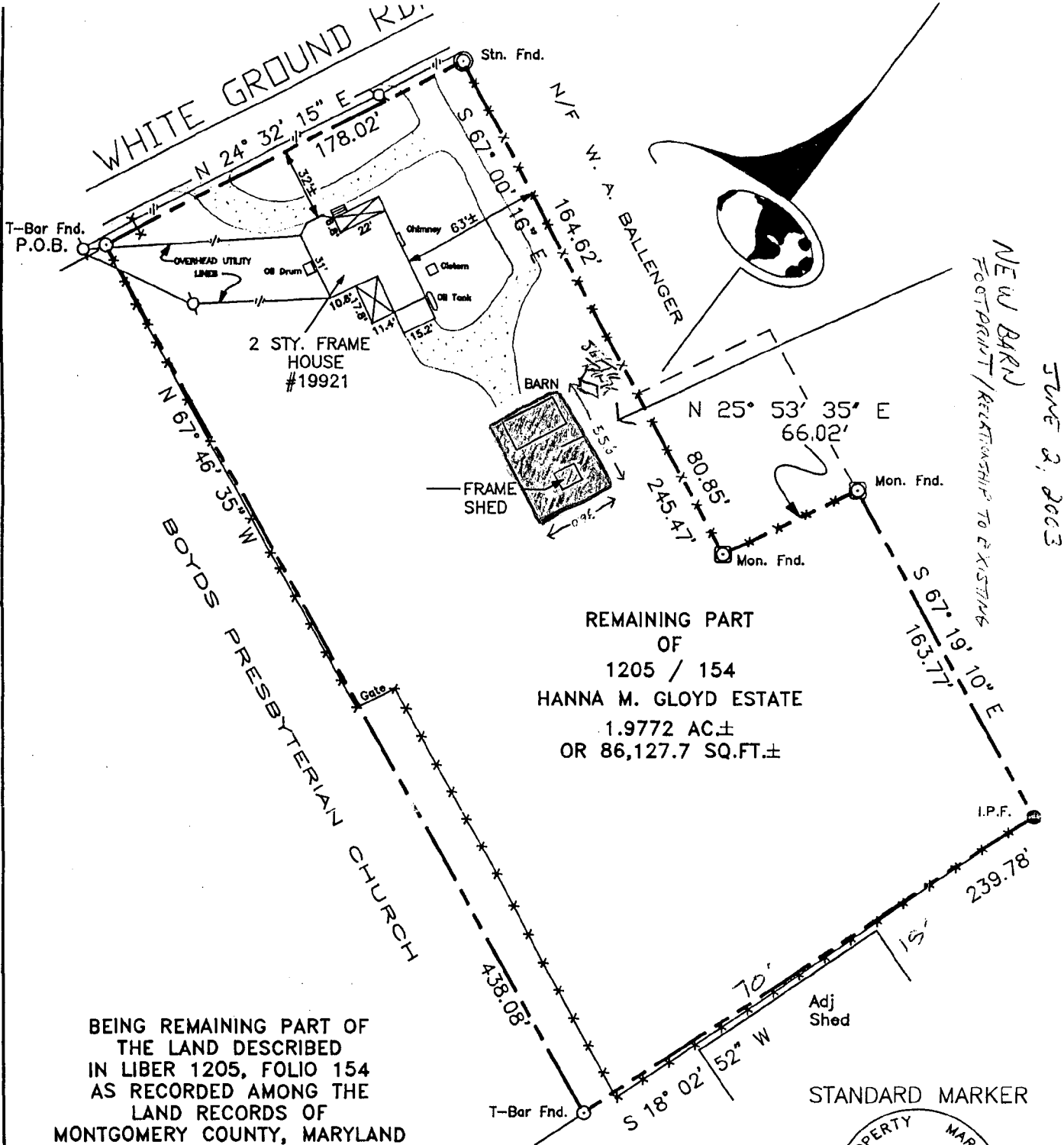


FRANKLIN J. DUANE, AIA

FJD/dml

cc: Mr. & Mrs. Duane Emmet

A:L0521MCH.MIS



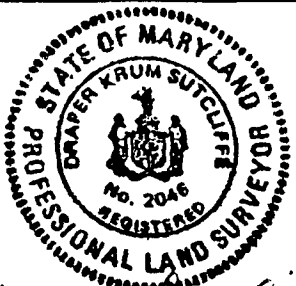
REMAINING PART
OF
1205 / 154
HANNA M. GLOYD ESTATE
1.9772 AC ±
OR 86,127.7 SQ.FT. ±

BEING REMAINING PART OF
THE LAND DESCRIBED
IN LIBER 1205, FOLIO 154
AS RECORDED AMONG THE
LAND RECORDS OF
MONTGOMERY COUNTY, MARYLAND

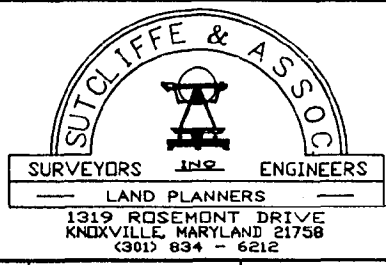
STANDARD MARKER



NEW BARN
FOOTPRINT / RELATIONSHIP TO EXISTING
JUNE 2, 2003



I HEREBY CERTIFY THAT I HAVE MADE A
BOUNDARY / LOCATION SURVEY OF THIS PROPERTY
FOR AND AT THE INSTANCE OF DUANE EMMET FOR GLOYD ESTATE
SITUATED 19921 WHITE GROUND ROAD
BARNESVILLE #11 ELECTION DISTRICT
MONTGOMERY COUNTY, MD.
AND HAVE LOCATED THE STRUCTURES AS
SHOWN HEREON.



Dr. K. Sutcliffe

DATE 3-5-91	SCALE 1' = 60'	PLAT NO. F2340-DE	DWG. BY: <i>CW</i>	CHK. BY: <i>G.B.C.</i>
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⑦

JUNE 2,

Cedar 14.64

Per. 80.82

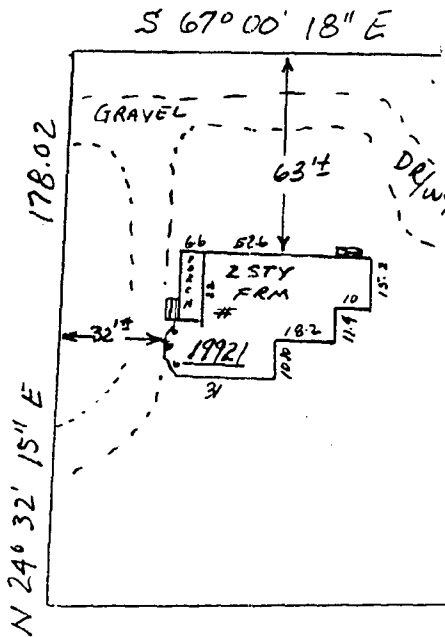
Walnut 13.37

S 67° 19' 10" E 163.77

66.02

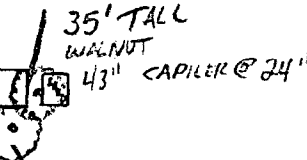
239.78

WHITE
GROUND
ROAD



AS DESCRIBED IN
LIBER FOLIO
1205 154

1.97 AC ±



#3 PERSIMMON
30' TALL
38" CALIPER @ 24"
4.5' ÷ π = Diameter
3.14

TREE SURVEY

N 67° 46' 35" W

438.08

S 18° 02' 52" W

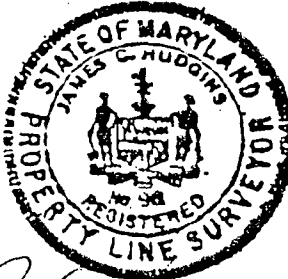
Subject property is shown in Zone C
on the National Flood Insurance Program
Flood Insurance Rate Map of MONTGOMERY
County, Maryland. Panel # 0050 B
Community Panel # 240049-
Effective Date: 7-2-70

**OLD FENCING RUNS AROUND PROPERTY **

FENCING IS INDICATED BY ~~—~~ AND EQUIPPED WITH ACCESS POINT UNLESS OTHERWISE NOTED

This is to certify that I have surveyed the property
known as LOT # AS DESCRIBED IN L-1205 F-154
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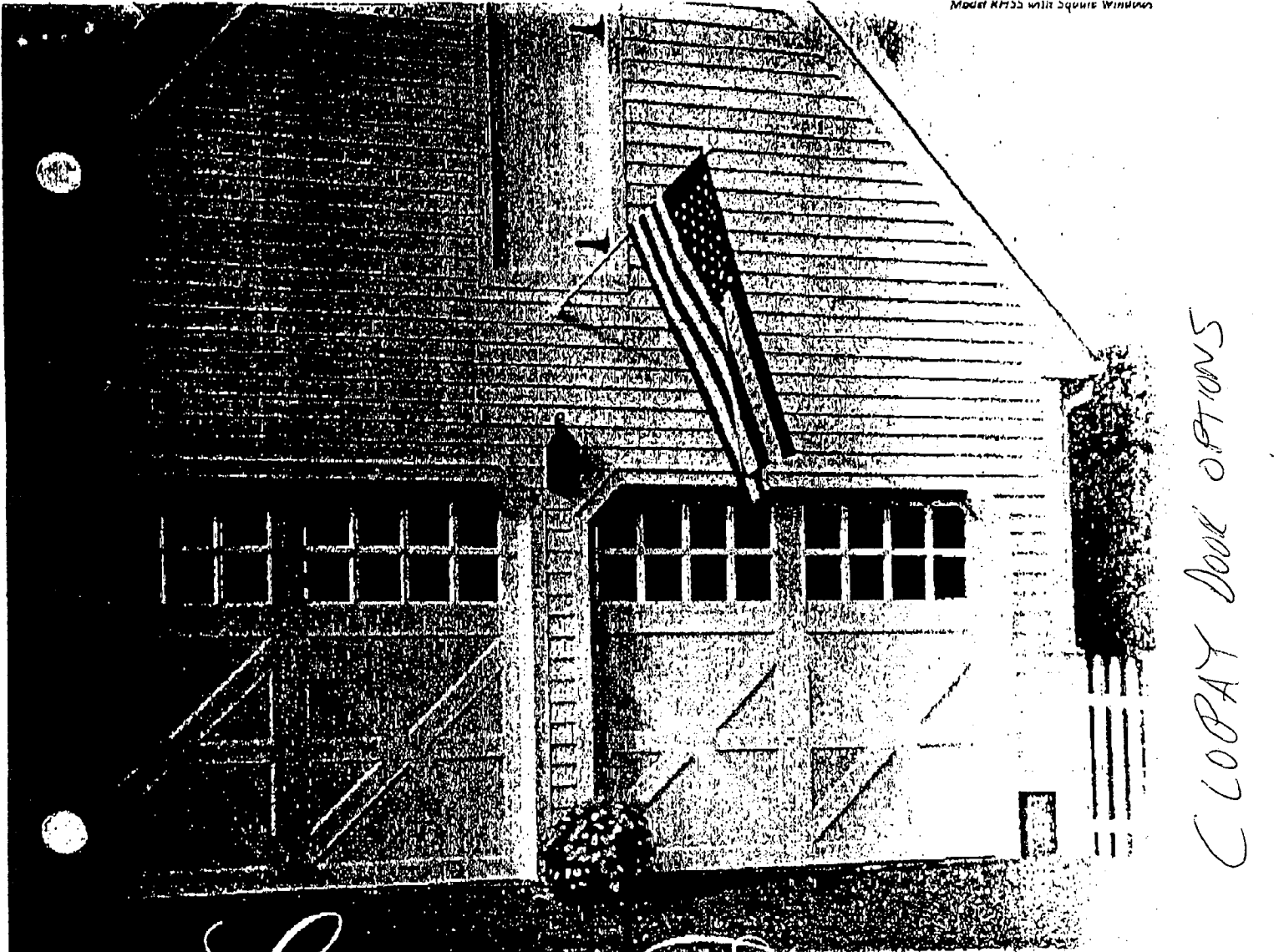
J. Carl Hudgins PLS#96

LOCATION SURVEY

19921 WHITE GROUND ROAD
6TH ELECTION DISTRICT
MONTGOMERY COUNTY MARYLAND

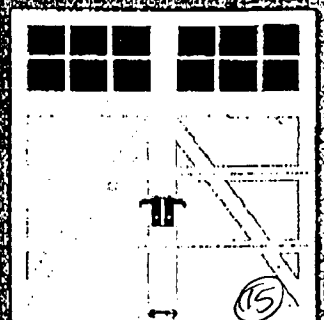
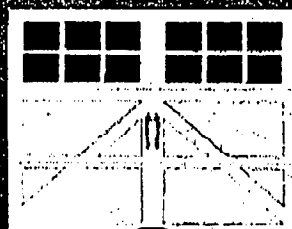
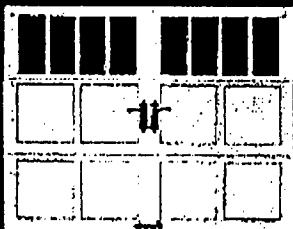
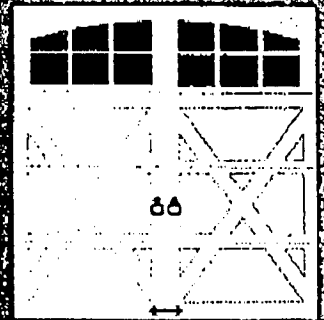
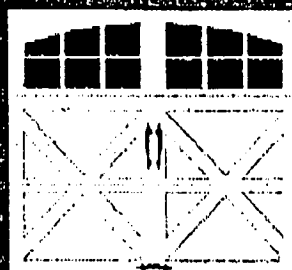
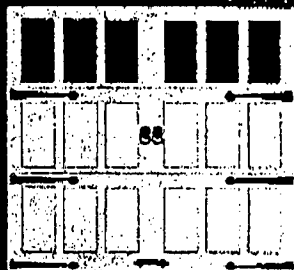
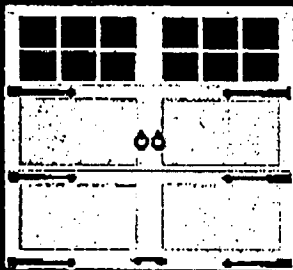
NTI ASSOCIATES, INC.
16205 Old Frederick Road
Mt. Airy, Maryland 21771
Phone 442-2031

Scale 1" = 60'
Date 3-4-92
Field BY MITCH
Drawn BY MITCH
Drawing #92-9152



CLOPPY DOOR OPTIONS

Get the Look you want and the Case of operation you require.



Design 70: Height Arch Windows

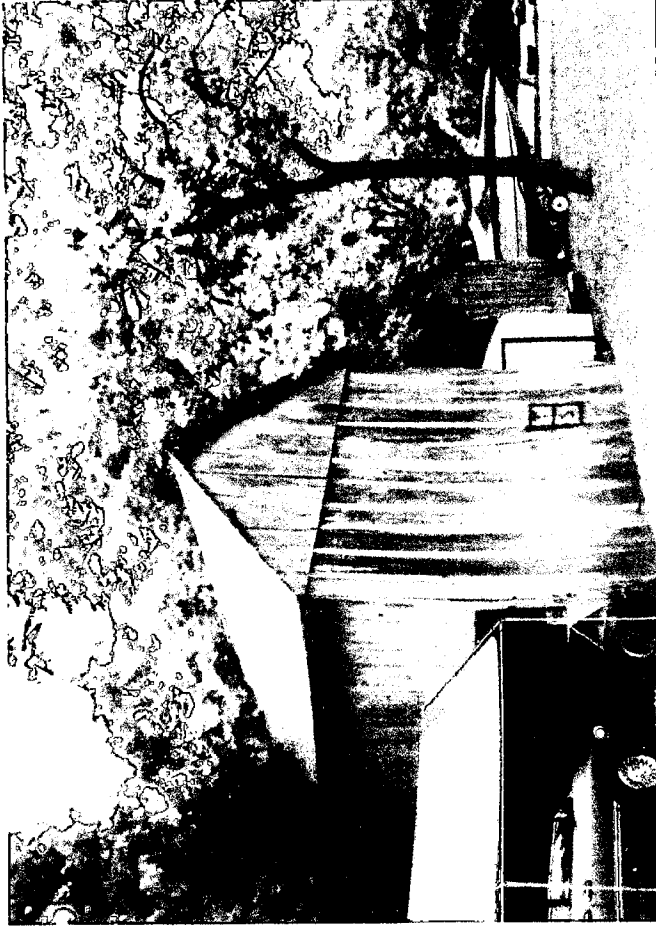
Design 80: Height Arch Windows

Design 88: Height Arch Windows

Design 11: Height Square Windows

Design 15: Height Square Windows

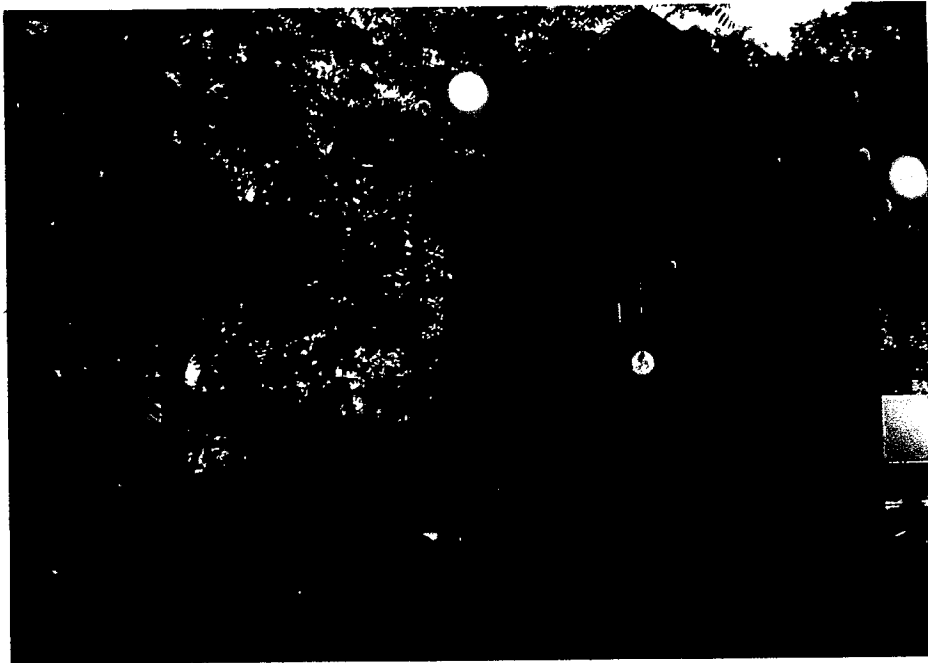
6/3/03 VIEW FROM FRONT
HOUSE VIEW



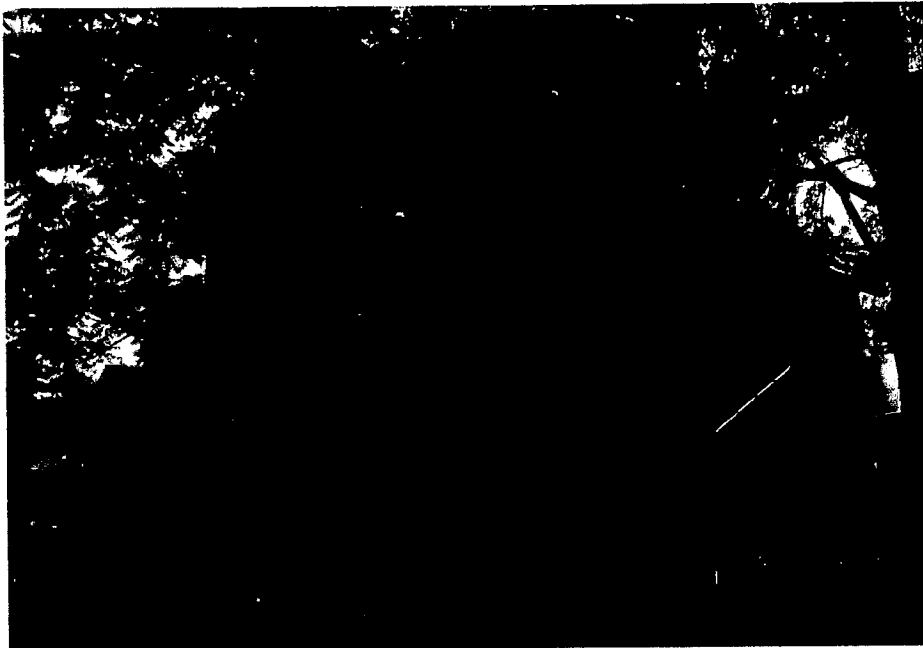
6/3/03 VIEW FROM SOUTH



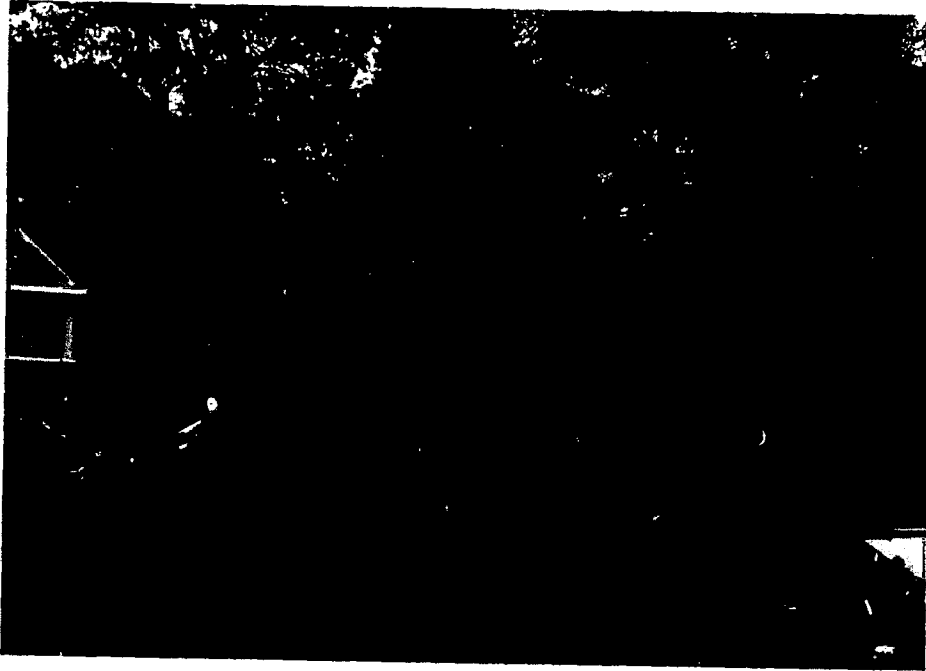
6/3/2003 VIEW FROM ~~FRONT~~
NORTH



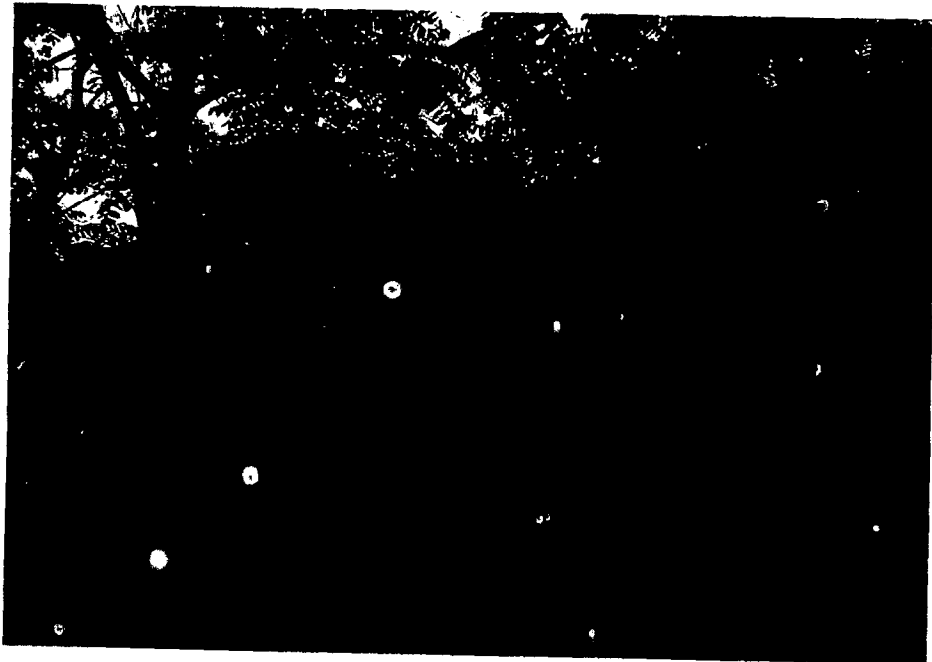
6/3/2003 VIEW FROM ~~FRONT~~
FRONT



6/3/03 VIEW FROM REAR (EAST)



6/3/03 Rear/ACT. VIEW (EAST)





DUANE, CAHILL, MULLINEAUX & MULLINEAUX, P.A.

Architecture, Planning, Interiors, Consulting

Franklin J. Duane, AIA
John C. Cahill, RA
Susan Young Mullineaux, AIA
Richard C. Mullineaux, AIA

Rudy J. Klavik, AIA
Kay Carrington, AIA
Eric McDermott

May 21, 1992

Historic Preservation Commission
Montgomery County
Suite 1001
51 Monroe Street
Rockville, Maryland 20850

Reference: Existing Barn Structure - Emmet Property
Rear 19921 White Ground Road
Boys, Maryland

Pursuant to the request of the new property owner, we visited the subject project and inspected the condition of the existing barn structure.

The barn is out of plumb vertically and horizontally. The roof structure is deformed and the ridge line is severely distorted and depressed at approximately the mid-point. The interior vertical support members are damaged, rotted and deformed.

The building corners are bowed and distorted, and there is differential settlement in the perimeter foundation walls. The roof rafters are creating unequal thrust loads on the damaged exterior walls, due to deformation of the wall bearing surfaces.

The structural system (walls and roof) are damaged, unstable and the building is not safe for any type of utilization and should be demolished.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING
 [Owner, Owner's Agent, Adjacent and Confronting Property Owners]

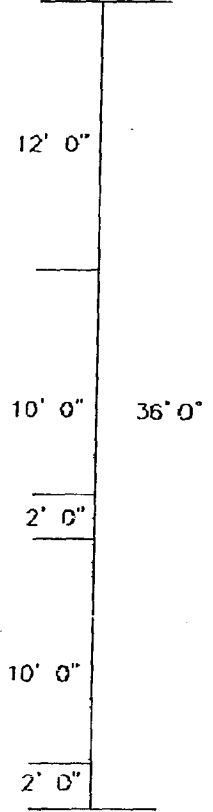
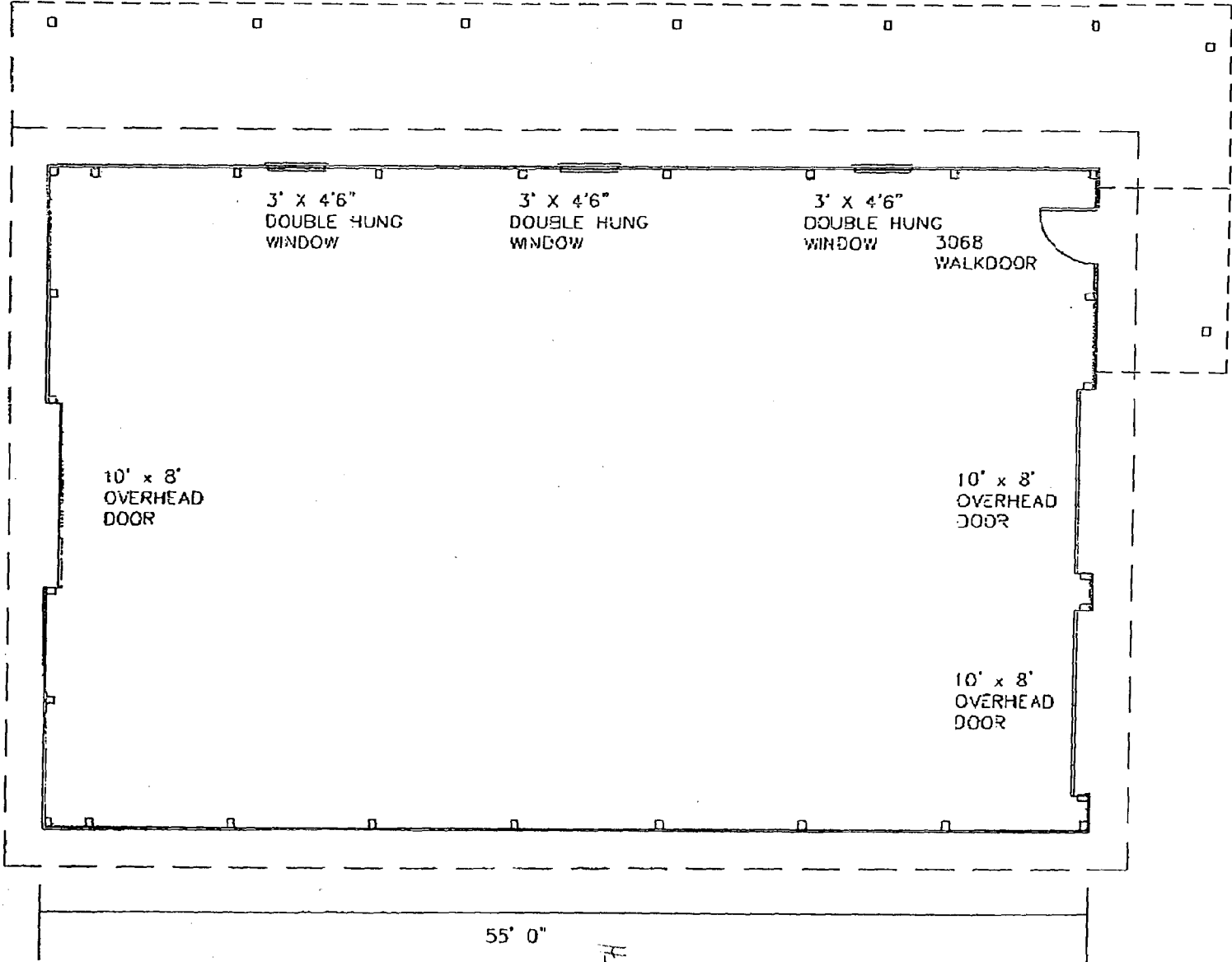
Owner's mailing address	Owner's Agent's mailing address
BONNIE + DUANE EMMETT 19921 WHITE GROUND RD. BOYDS MD. 20841	N/A
Adjacent and confronting Property Owners mailing addresses	
JOHN S. KING JR + MARIA C. JACKSON 19924 WHITE GROUND RD. BOYDS MD 20841	MABEL M. BALLENGER 19925 WHITE GROUND RD. BOYDS MD 20841
MICHAEL L. ABRAHAMIS + SUSAN G. WHITE 19920 WHITE GROUND RD. BOYDS MD 20841	STEVE + GINGER GIBSON 19916 WHITE GROUND RD. BOYDS MD 20841
BOYDS PRESBYTERIAN CHURCH 19901 WHITE GROUND RD. BOYDS MD 20841	CAROL LANTZ + REMUS HUNTERFORD 15016 CLOPPER RD. BOYDS MD 20841
ROBERT C. + ELIZABETH P. SCHLEICHERT 15010 CLOPPER RD. BOYDS MD. 20841	SHARON A. MILLER 15030 CLOPPER RD BOYDS MD 20841

g addresses noticing table

01

EAST

SOUTH



WEST - FARMING WHITE GROUND RD.



SHOWN IN KODAK AND EXTERIOR DETAILS
NORTH FREEDOM, WI
SAMPLE EXISTING PLAN

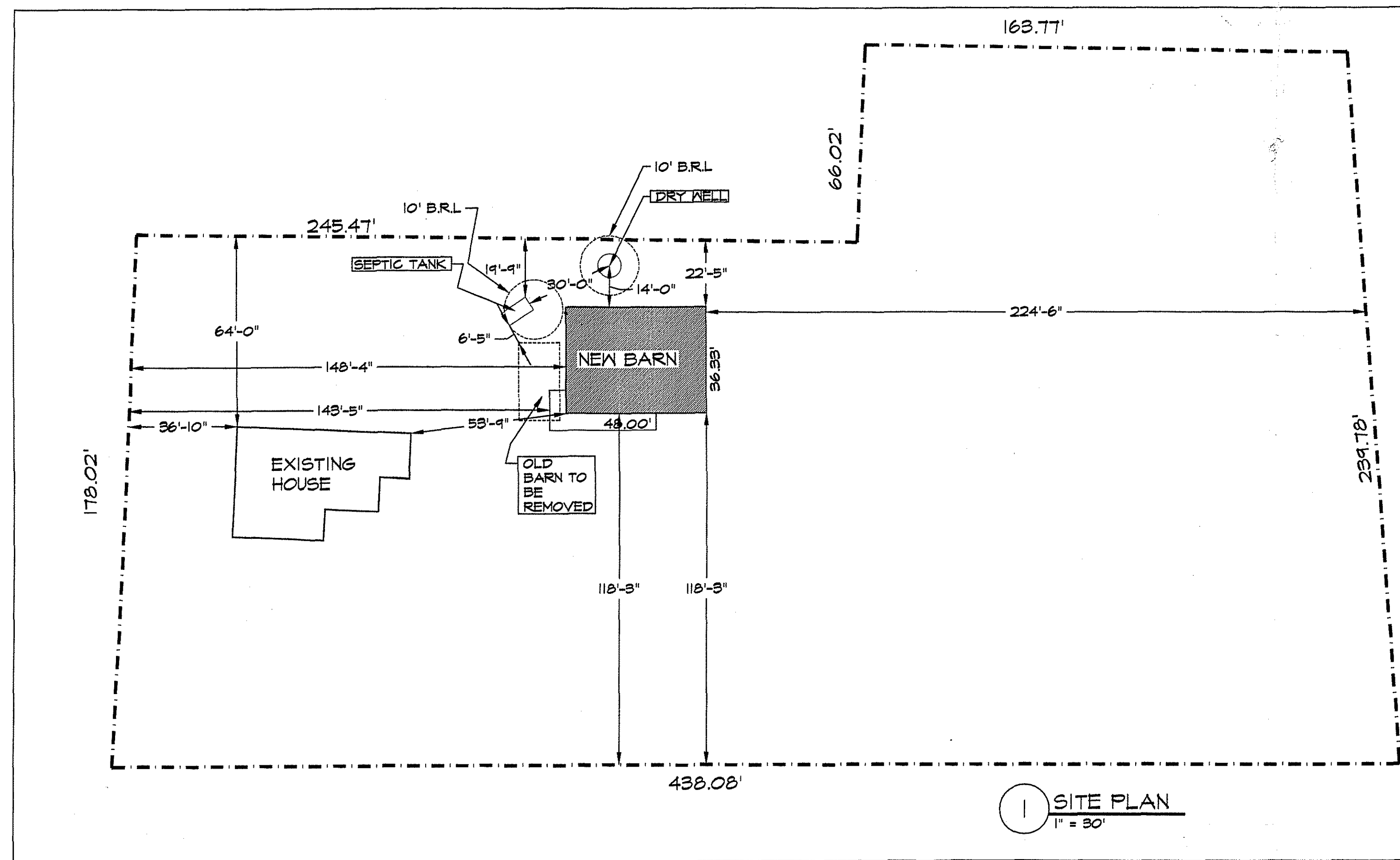
EMMET RESIDENCE 19921 WHITE GROUND RD. BOYDS, MD 20841

A1

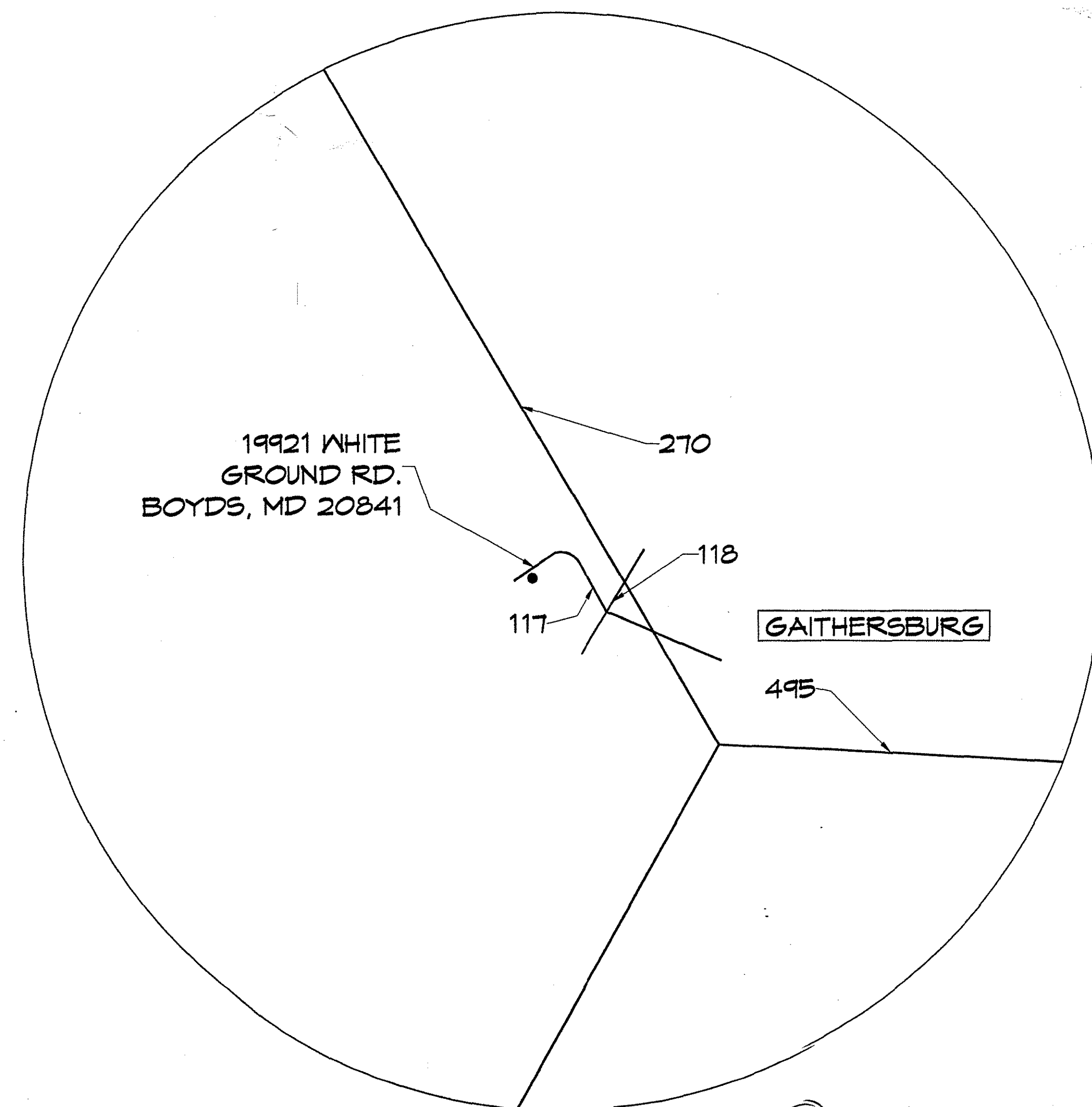
REVISIONS	DATE
REVIEW	9-11-03
REVIEW	9-17-03
REVIEW	9-29-03
PRICING	10-2-03
PERMIT	

DRAWING CONTENTS

- A1 - SITE PLAN & DRAWING CONTENTS
- A2 - FOUNDATION & FLOOR PLANS
- A3 - FLOOR & ROOF FRAMING
- A4 - SECTIONS & DETAILS
- A5 - ELEVATIONS
- A6 - ELECTRICAL PLANS



1 SITE PLAN
1" = 30'



2 VICINITY MAP
NTS

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]
10/10/03

GENERAL NOTES

CODES: ALL MATERIALS AND WORK SHALL CONFORM TO ALL BUILDING CODES AND ORDINANCES OF GOVERNING JURISDICTIONS AND THE 1995 EDITION OF THE ONE AND TWO FAMILY DWELLING CODE (CABO)-#/OR 2000 IRC CODE.

LIVE LOADS: FLOORS- 40 PSF, STAIRS- 40 PSF, ROOF- 30 PSF, DECK- 40 PSF. TYPICAL DEAD LOAD 10 PSF

SOIL BEARING: ASSUMED TO BE 2000 PSF BEARING CAPACITY- FIELD VERIFY.

CONCRETE: ALL CONCRETE CONSTRUCTION SHALL CONFORM TO ACI CODE 318-89. TWENTY-EIGHT DAY CONCRETE STRENGTH FOR ALL CAST IN PLACE CONCRETE SHALL BE $F_c=3000$, EXCEPT EXTERIOR SLABS ON GRADE SHALL BE $F_c=3500$ PSI.

REINFORCEMENT: ALL REINFORCING STEEL SHALL CONFORM TO ASTM A615, GRADE 60, WELDED WIRE MESH TO CONFORM TO ASTM A185. REINFORCEMENT IN CONCRETE POURED AGAINST THE EARTH SHALL HAVE 3" MINIMUM COVERAGE. SLAB ON GRADE TO HAVE REINFORCEMENT AT MID-DEPTH.

FOOTINGS: ALL FOOTINGS SHALL EXTEND INTO UNDISTURBED EARTH AND NO LESS THAN 2'-0" BELOW FINISHED GRADE

CONCRETE SLAB ON GRADE: EXCEPT AS NOTED, SHALL BE 4" THICK, REINFORCED WITH 6" X 6" W1.4 X W1.4 W/W. LAP REINFORCEMENT 6" IN EACH DIRECTION. PROVIDE CONTROL JOINTS AT 15'-0" O.C. EACH WAY IN ALL EXTERIOR SLABS ON GRADE. PLACE INTERIOR SLAB CONTROL JOINTS AT 30'-0" O.C. SLABS SHALL BE PLACED ON A LAYER OF 6 MIL POLYETHYLENE OVER 4" LAYER OF WASHED GRAVEL.

CONCRETE FOUNDATION WALLS: FOR SM TYPE FILL WHERE MORE THAN 7'-0" IS BELOW GRADE USE 10" POURED CONCRETE WALL USING 3,000 PSI CONCRETE WITH (3) #4 CONTINUOUS REINFORCING BARS HORIZONTALLY PER CODE. FOR SM TYPE FILL WHERE 7'-0" OR LESS IS BELOW GRADE USE 8" POURED CONCRETE WALL, USING 3,000 PSI CONCRETE WITH (3) #4 CONTINUOUS REINFORCING BARS HORIZONTALLY PER CODE.

MASONRY: MASONRY UNITS SHALL BE GRADE NI CONFORMING TO ASTM C-90. ALL MORTAR SHALL BE TYPE N CONFORMING TO ASTM C-270. PROVIDE A MINIMUM OF 3 COURSES OF SOLID BRICK OR ONE COURSE 100% BLOCK UNDER WALL BEARING END OF ALL JOISTS, FULL WIDTH OF THE WALL UNLESS NOTED. PROVIDE 100% SOLID MASONRY DOWN TO EXISTING BEARING UNDER ALL BEAMS BEARING ON MASONRY. PROVIDE HORIZONTAL MASONRY REINFORCING (TRUSS TYPE) EVERY COURSE BELOW GRADE, AND EVERY OTHER COURSE ABOVE GRADE IN ALL MASONRY WALLS.

BACKFILLING: DO NOT BACKFILL AGAINST FOUNDATION WALLS UNTIL FLOOR FRAMING IS IN PLACE. TAKE ALL NECESSARY PRECAUTIONS TO BRACE AND PROTECT FOUNDATION WALLS WHEN BACKFILLING. BACKFILL MATERIAL SHALL BE CLEAN MATERIAL FREE OF DEBRIS.

WATERPROOFING: EXTERIOR FOUNDATION WALLS TO HAVE ASPHALTIC WATERPROOFING FOR CONCRETE OR CEMENTITIOUS FOR MASONRY TO EXTEND TO FINISH GRADE FROM THE TOP OF THE FOOTING AT AREAS WHERE EXTERIOR GRADE EXCEEDS THE INTERIOR ELEVATION.

STRUCTURAL STEEL: SHALL CONFORM TO ASTM A36 AND AISC "MANUAL OF STEEL CONSTRUCTION FOR FABRICATION AND ERECTION. ALL WELDS SHALL CONFORM TO AMERICAN WELDING SOCIETY CODE.

STEEL ANGLE LINTEL SCHEDULE: LINTELS SUPPORTING MASONRY

SIZE OF ANGLE	4 X 3 X 1/4	5 X 3 1/2 X 1/4
ALLOWABLE SPAN	8'-0" W/ ROOF ABOVE	14'-0"
	5'-0" W/ ONE STORY ABV.	8'-0"
	3'-0" W/ TWO STORIES ABV.	3'-6"

LONG LEG OF THE ANGLE SHALL BE PLACED VERTICALLY

WOOD LINTEL SCHEDULE: PROVIDE LINTELS FOR ALL OPENINGS IN STUD WALLS FOR THE LISTED WALL THICKNESS
FOR OPENINGS UP TO 4'-0" PROVIDE (2)- 2 X 8'S FOR 4"; (3)- 2 X 8'S FOR 6"
FOR OPENINGS 4'-0" TO 5'-11" PROVIDE (2)- 2 X 10'S FOR 4"; (3)- 2 X 10'S FOR 6"
FOR OPENINGS 6'-0" TO 7'-11" PROVIDE (2)- 2 X 12'S FOR 4"; (3)- 2 X 12'S FOR 6"

WOOD FRAMING: ALL FRAMING MEMBERS SHALL BE HEM FIR NO. 2 OR NO. 2 SOUTHERN PINE WITH $F_b=850$ PSI AND $E=1,800,000$ PSI MINIMUM. JOISTS SHALL HAVE MINIMUM 4" BEARING ON MASONRY. WOOD PLATES RECEIVING ROOF TRUSSES OR JOISTS ON MASONRY WALL TO BE BOLTED TO WALL W/ 1/2" X 16" ANCHOR BOLTS @ 4' O.C. PROVIDE JOIST BRIDGING AT 8' O.C. PROVIDE MINIMUM (2)- 2 X 4 STOPS AT EACH END OF BEAM. UNLESS OTHERWISE NOTED, ALL INTERIOR PARTITIONS NOT NOTED ARE 2 X 4 WOOD STUDS AT 24" O.C. UNLESS OTHERWISE NOTED, ALL BEARING PARTITIONS ARE 2 X 4 STUDS AT 16" O.C. UNLESS OTHERWISE NOTED, ALL EXTERIOR WALLS ABOVE THE FOUNDATION WALLS ARE 2 X 4 (OR AS NOTED) STUDS AT 16" O.C.

LVL BEAMS: SHALL BE $F_b=2600$ PSI, $E=1,900,000$ PSI. INSTALLATION AS RECOMMENDED BY THE MANUFACTURER.

WOOD ROOF TRUSSES: SHALL BE DESIGNED AND SPECIFIED BY MANUFACTURER TO CARRY THE LISTED DESIGN LOADS WITH L/360 SPAN DEFLECTION. MANUFACTURER SHALL SUBMIT SHOP DRAWINGS AND CALCULATIONS SEALED BY A STRUCTURAL ENGINEER CERTIFIED BY THE STATE OF MARYLAND.

THESE PLANS HAVE BEEN PREPARED BY MC DESIGN BUILD SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY OTHER PARTIES.

EMMET RESIDENCE
19921 WHITE GROUND RD.
BOYDS, MD 20841
MONTGOMERY COUNTY

SCALE: VARIES

ALL CONDITIONS AND DIMENSIONS CONTAINED HEREIN ARE APPROXIMATE AND SUBJECT TO CHANGE WITHOUT NOTICE. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND OBTAIN THE ATTENTION OF THE DESIGNER AND PROPERTY OWNER.
DO NOT SCALE DRAWING
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MC DESIGN BUILD
6 GEORGE STREET
GAITHERSBURG, MD 20877
OFFICE-301/527-0700
MOBILE-301/461-9644

MHC LICENSE 76722

AB

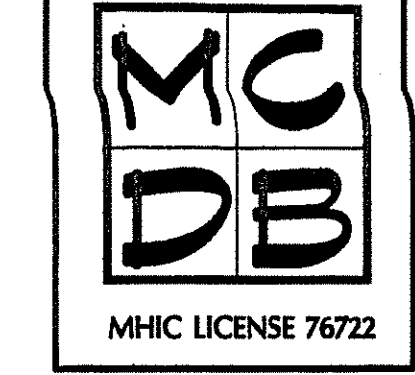
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REVIEW	4-17-03
REVIEW	4-23-03
PRICING	10-2-03
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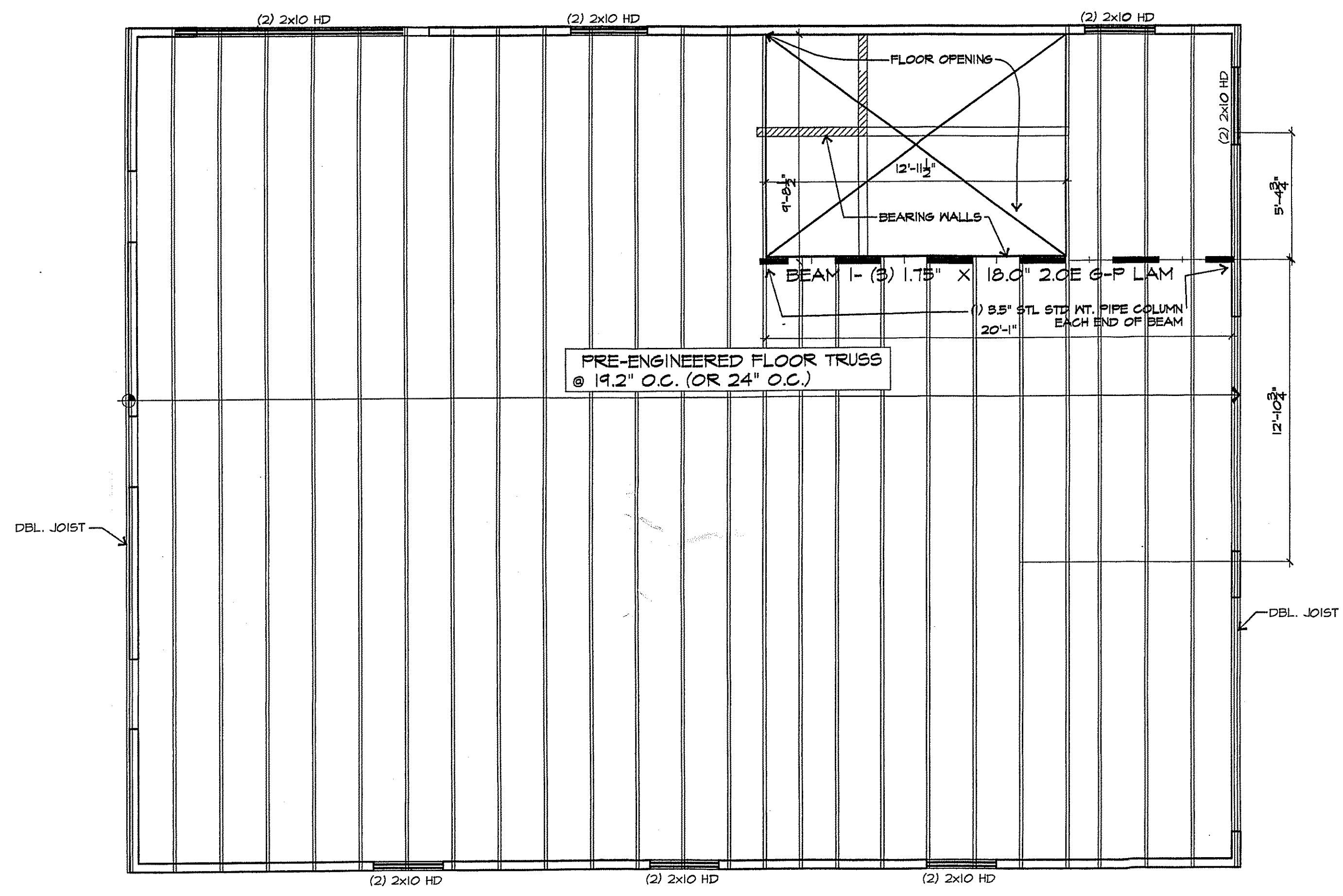
BARN PROJECT

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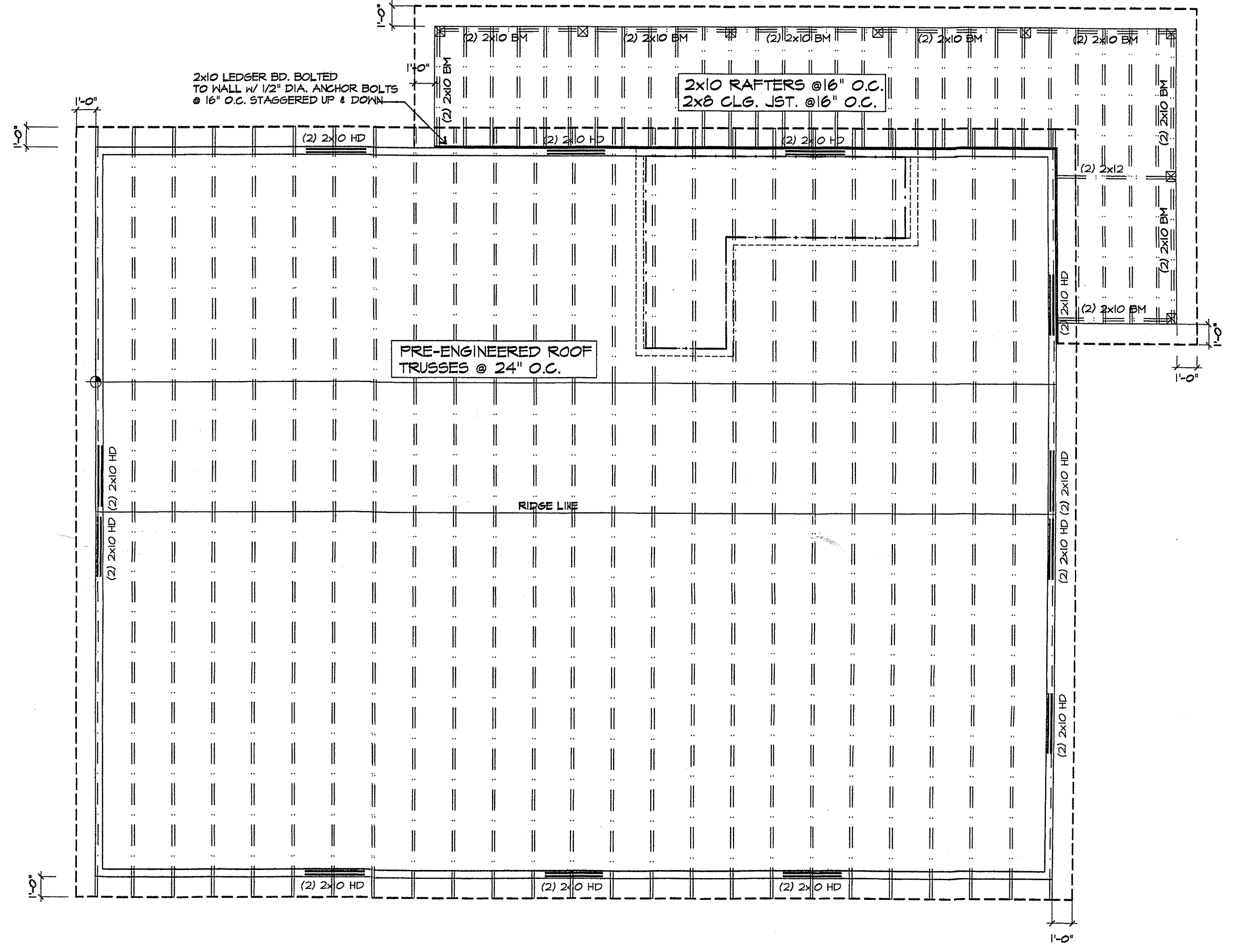
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MC DESIGN BUILD
 6 GEORGE STREET
 GAITHERSBURG, MD 20878
 OFFICE-301/527-0700
 MOBILE-301/461-9644



1 SECOND FLR. FRAMING
 1/4" = 1'-0"



2 ROOF FRAMING PLAN
 1/4" = 1'-0"

REVISIONS	DATE
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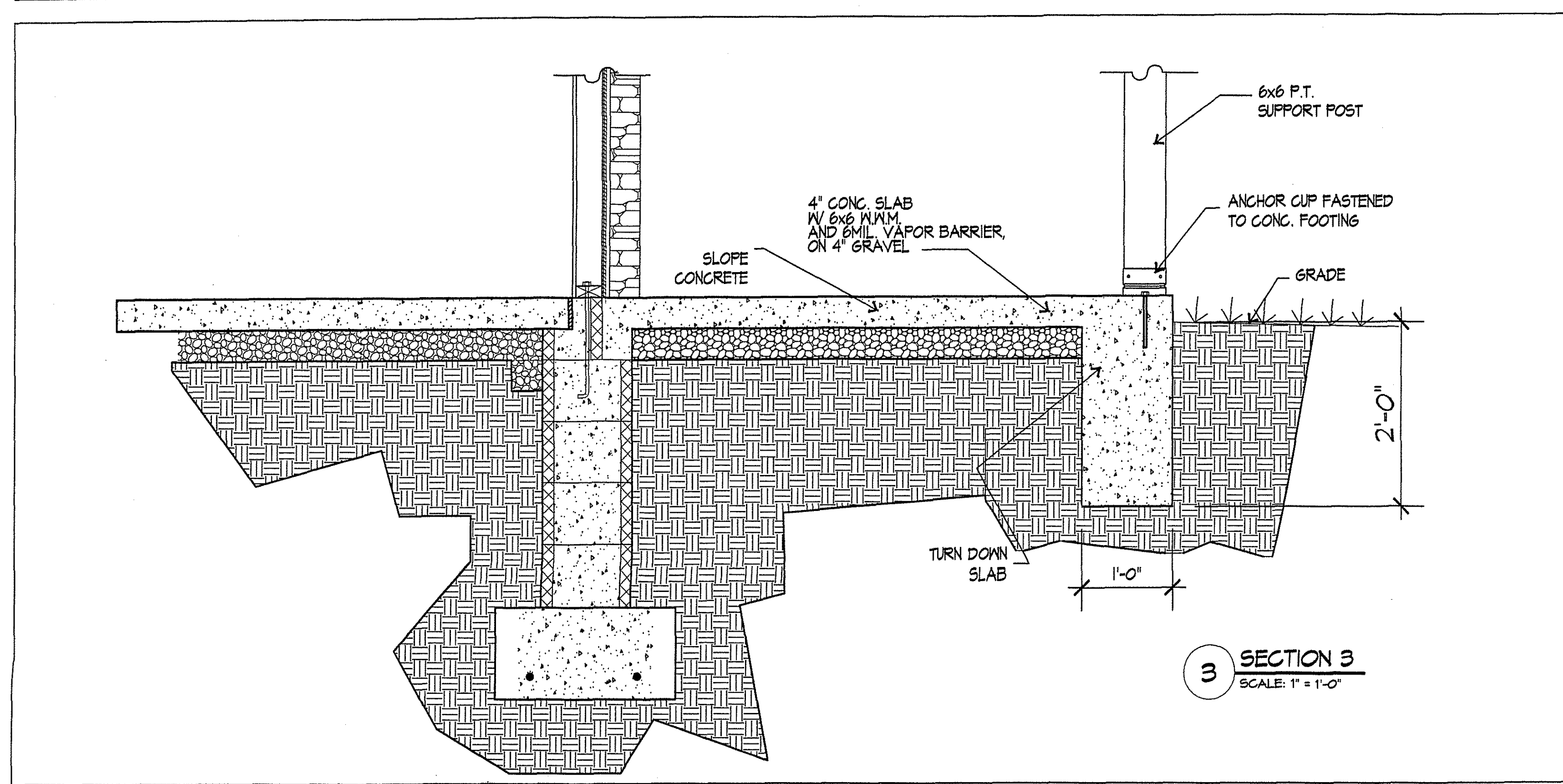
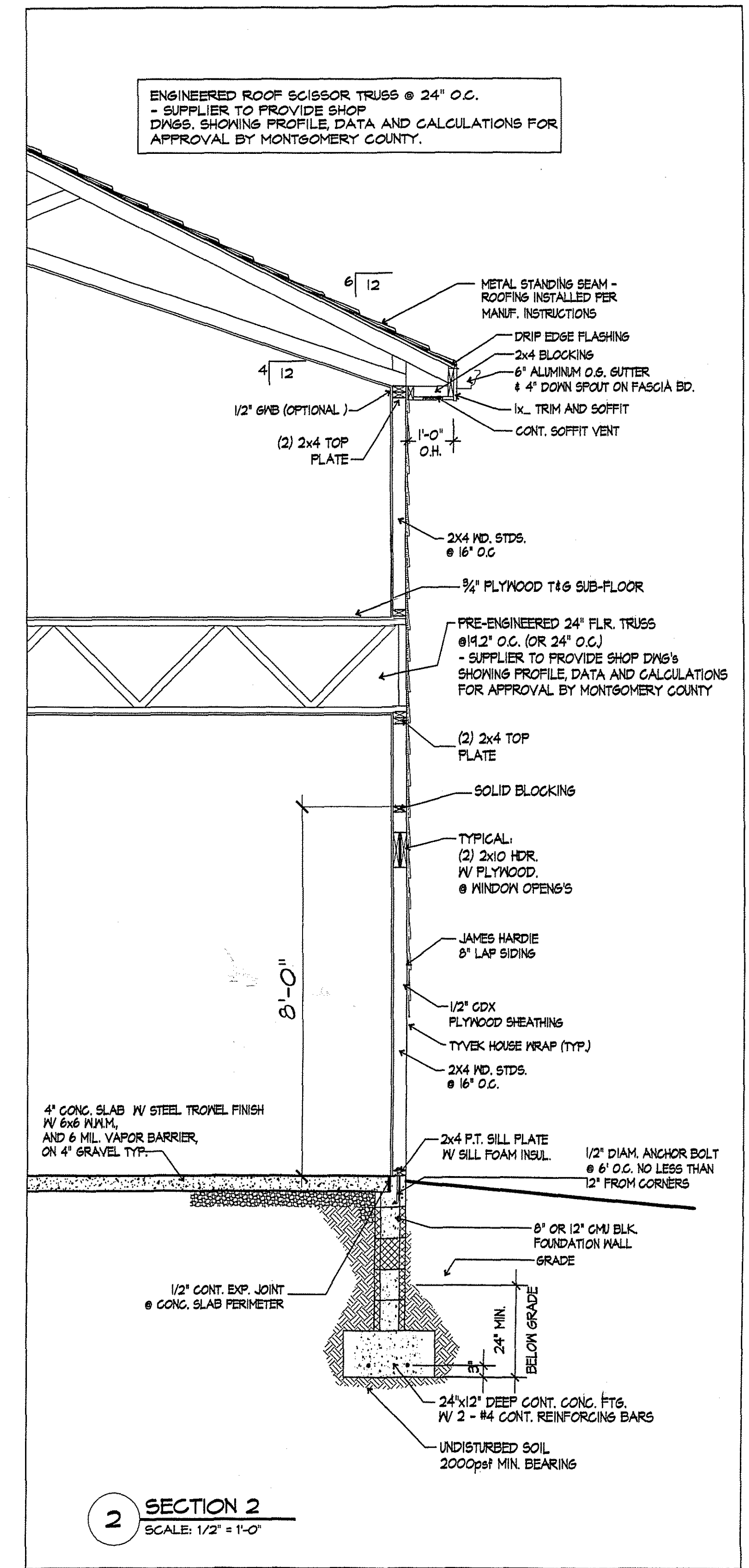
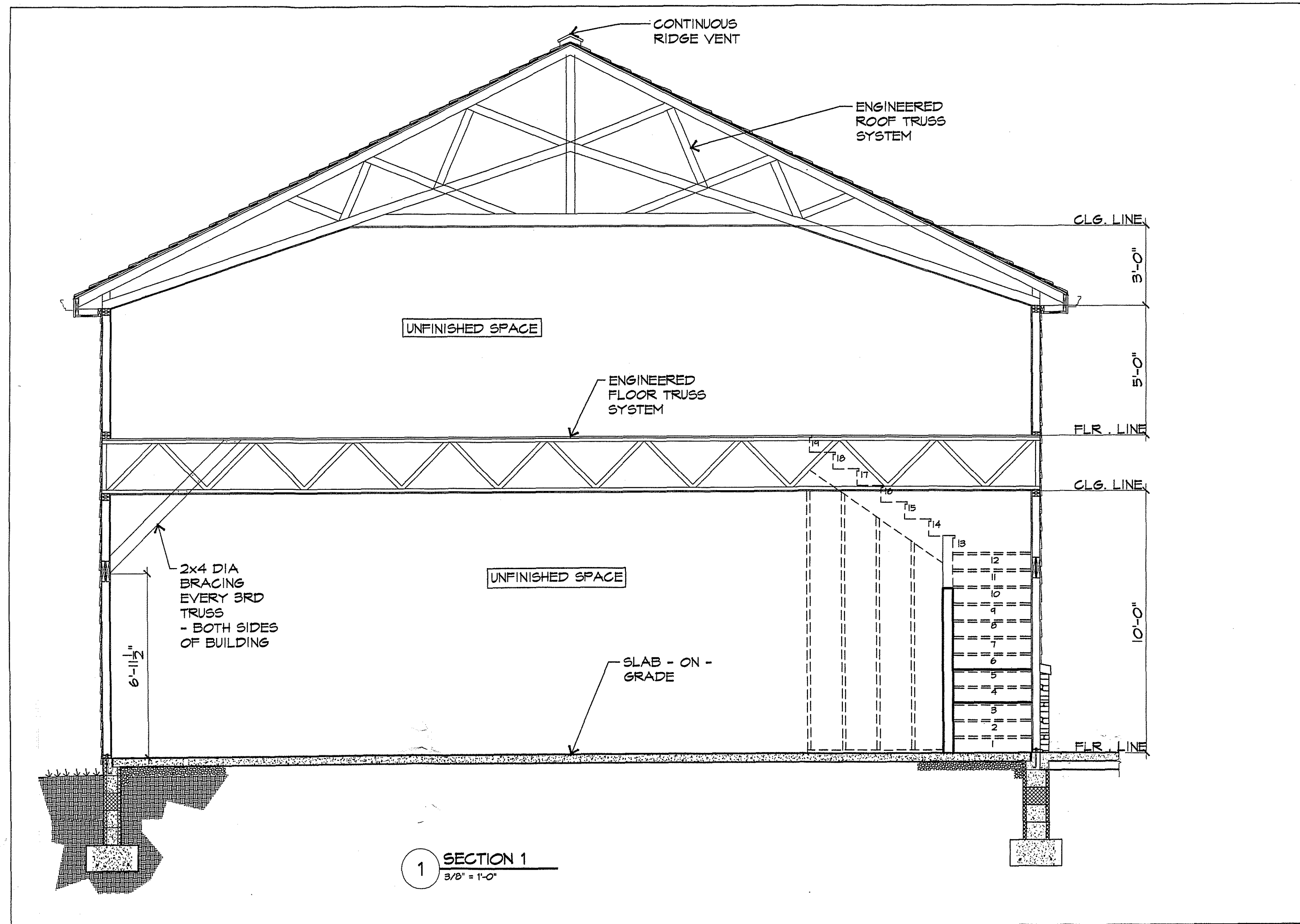
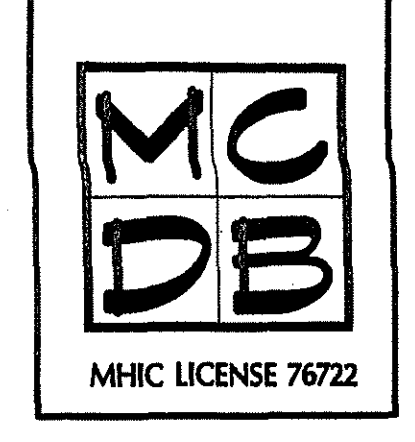
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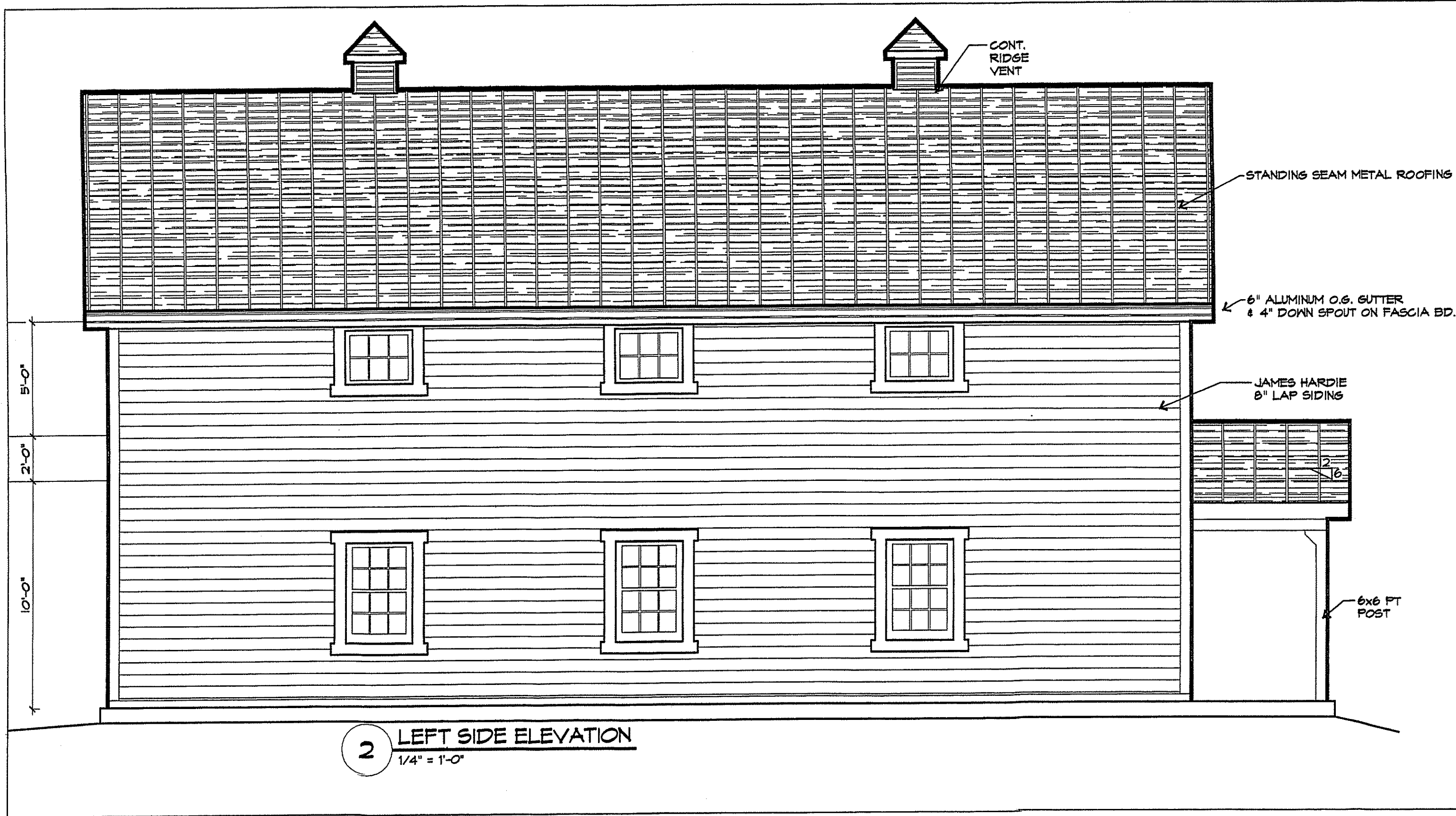
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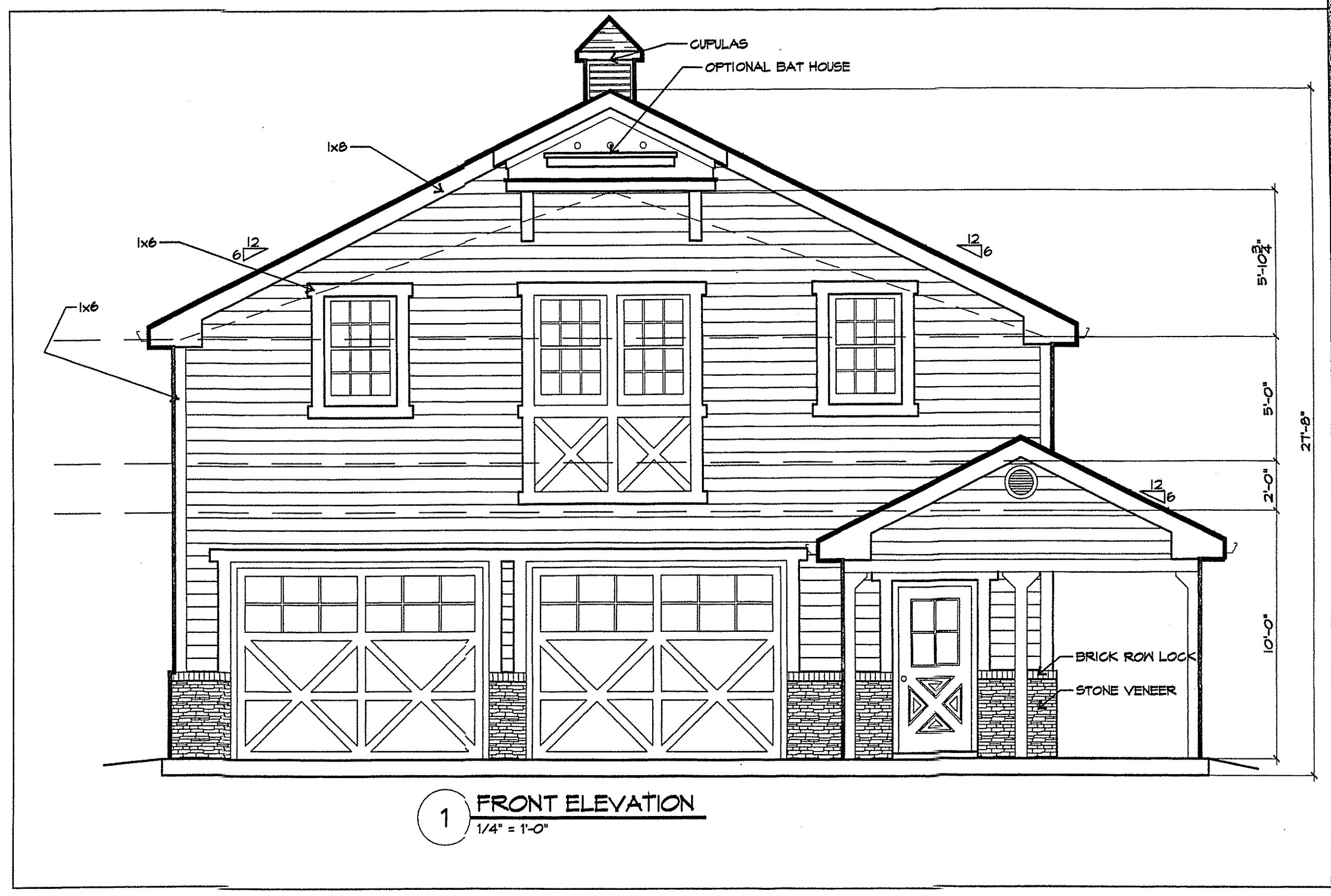
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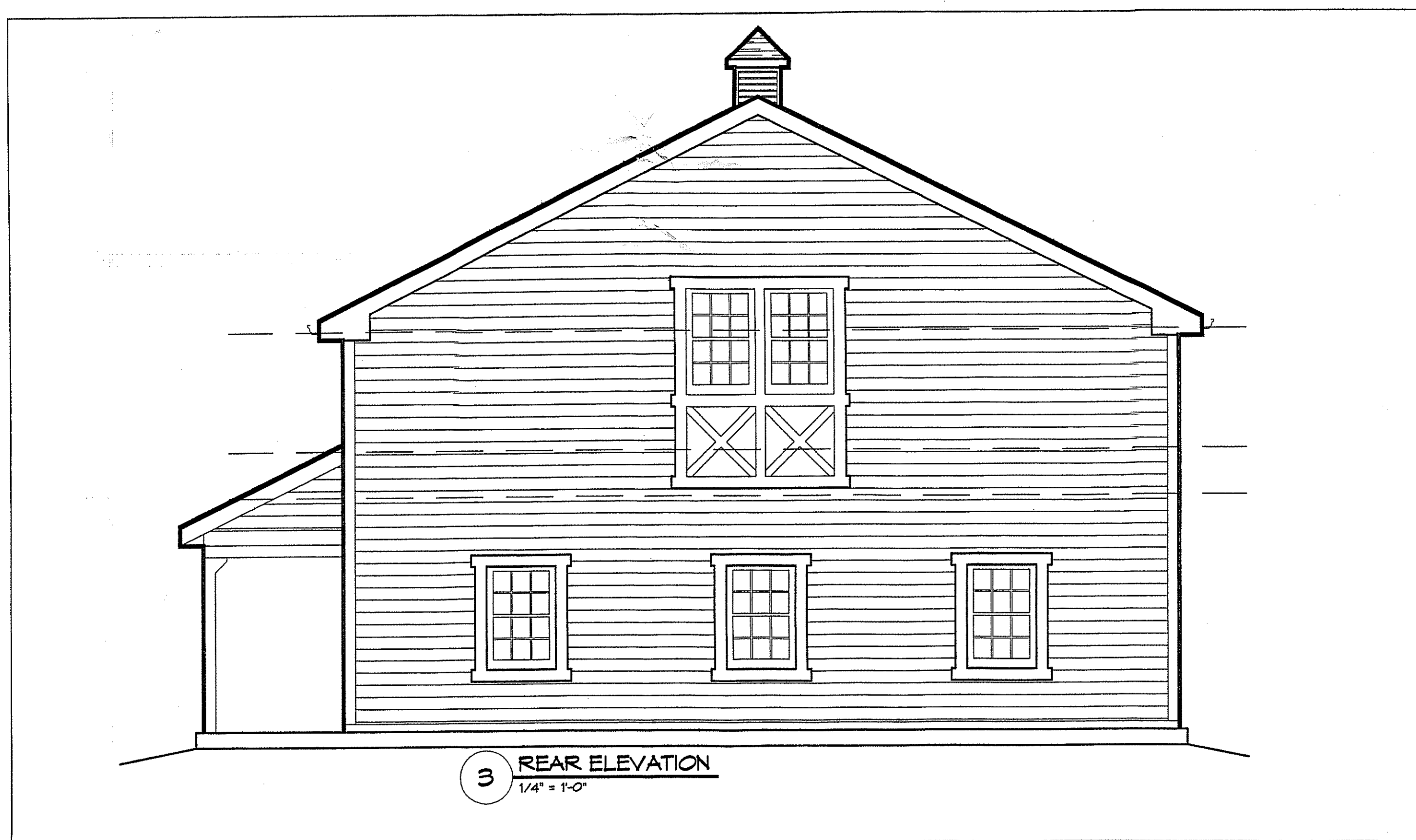




2 LEFT SIDE ELEVATION
1/4" = 1'-0"



1 FRONT ELEVATION
1/4" = 1'-0"



3 REAR ELEVATION
1/4" = 1'-0"



4 RIGHT SIDE ELEVATION
1/4" = 1'-0"

TYPICAL EXTERIOR NOTES:
 SIDING - JAMES HARDIE, HARDIPLANK, SELECT CEDARMILL 9 1/4" (8" EXPOSURE)
 TRIM BOARDS - JAMES HARDIE, HARDITRIM HDL RUSTIC GRAIN, 4-8" AS NEEDED
 SOFFIT - JAMES HARDIE, HARDISOFFIT (VENTED), SELECT CEDARMILL,
 DOORS - TBD
 WINDOWS - TBD
 GARAGE DOORS - CLOPAY - TBD
 ROOFING - PAINTED METAL STANDING SEAM - TBD

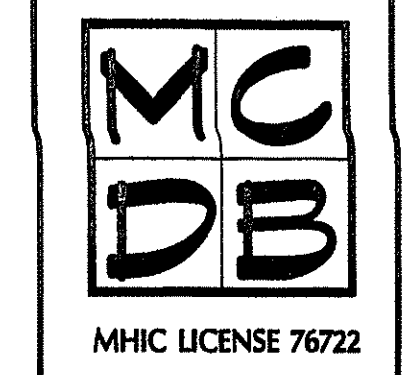
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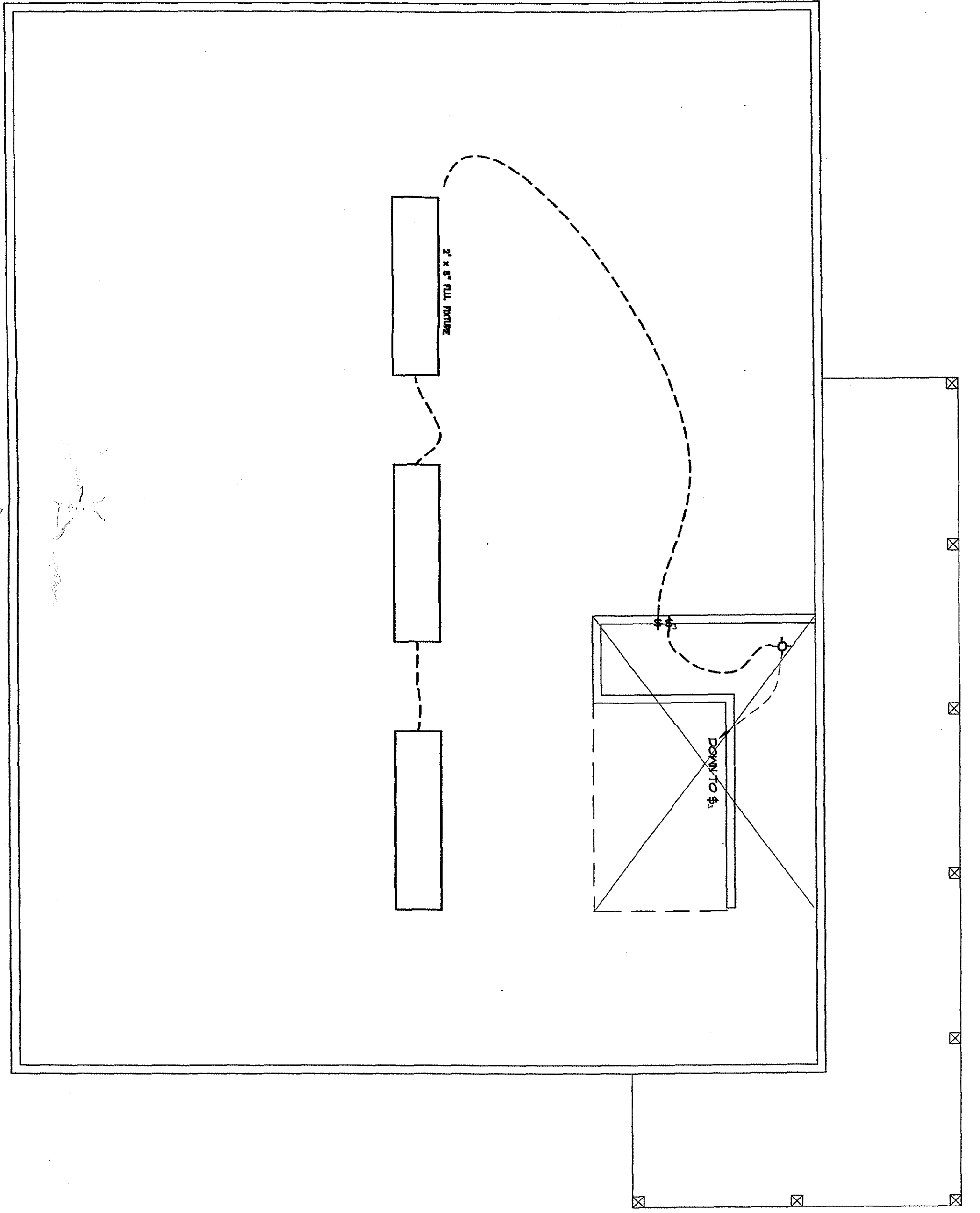
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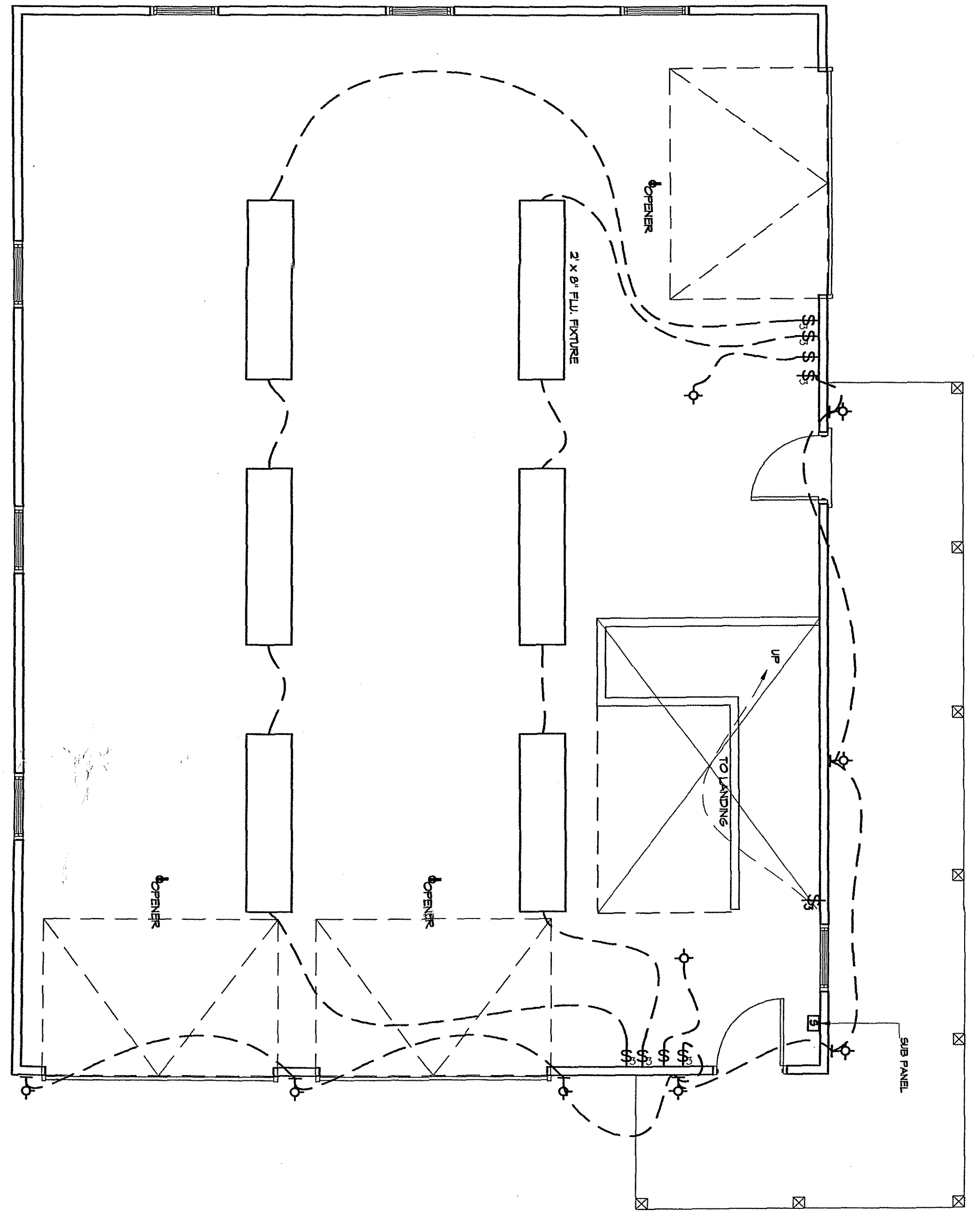
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 6 GEORGE STREET
 GAITHERSBURG, MD 20878
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 MOBILE-301/461-8644



MHIC LICENSE 76722



2 SECOND FLOOR ELECTRICAL
1/4" = 1'-0"

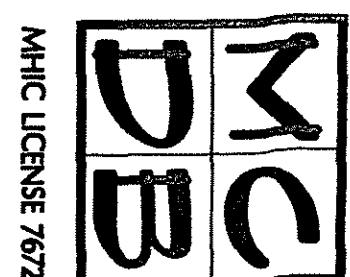


1 FIRST FLOOR ELECTRICAL
1/4" = 1'-0"

ELECTRICAL SCHEDULE

⊕	= SWITCH	□	= FLU. CLG. FIXTURE
⊕	= 3-WAY SWITCH	⊕	= DUPLEX RECEPTACLE (N/GR)
⊕	= SUB PANEL	⊕	
⊕	= GARAGE OPENER		
⊕	= CEILING LIGHT FIXTURE		
⊕	= WALL MOUNT LIGHT FIXTURE		

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 MC DESIGN BUILD 6 GEORGE STREET GAITHERSBURG, MD 20871 OFFICE-301/827-0700 MOBILE-301/461-8644	ALL CONDITIONS AND DIMENSIONS CONTAINED HEREIN ARE APPROXIMATE. ALL TRADES PERSONS INVOLVED WITH THE WORK MUST FIELD VERIFY ALL PERTINENT INFORMATION, CONDITIONS AND DIMENSIONS. SEVERE DIFFERENCES SHALL BE BROUGHT TO THE ATTENTION OF MC DESIGN BUILD AND PROPERTY OWNER. DO NOT SCALE DRAWINGS. INFORMATION SHOWN ON THIS DOCUMENT INCORPORATES PROPRIETARY RIGHTS AND IS NOT TO BE DUPLICATED WHOLLY OR IN PART WITHOUT THE EXPRESS PERMISSION OF MC DESIGN BUILD.	EMMET RESIDENCE 19921 WHITE GROUND RD. BOYDS, MD 20841 MONTGOMERY COUNTY SCALE: VARIES	BARN PROJECT	<table border="1"> <thead> <tr> <th>REVISIONS</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>REVIEW</td> <td>4-11-03</td> </tr> <tr> <td>REVIEW</td> <td>4-17-03</td> </tr> <tr> <td>REVIEW</td> <td>4-23-03</td> </tr> <tr> <td>PRICING</td> <td>10-2-03</td> </tr> <tr> <td>PERMIT</td> <td></td> </tr> </tbody> </table>	REVISIONS	DATE	REVIEW	4-11-03	REVIEW	4-17-03	REVIEW	4-23-03	PRICING	10-2-03	PERMIT		<div style="border: 1px solid black; padding: 5px; font-size: 2em; text-align: center;">A6</div>
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