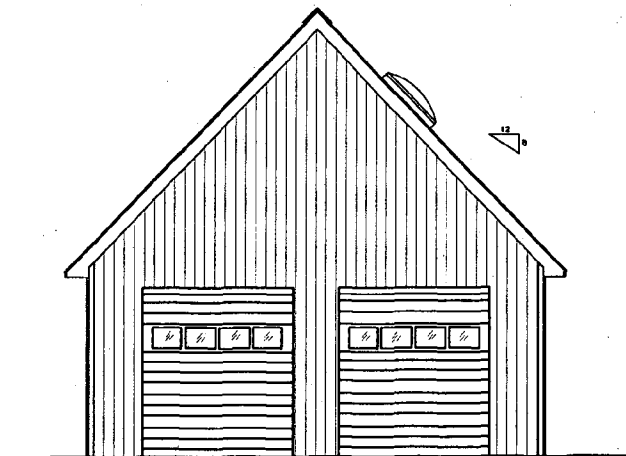
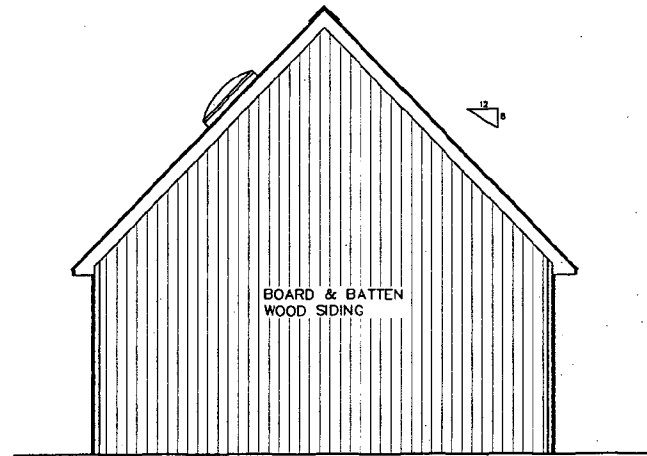


18/08-03C 19820 White Ground Road  
(Boyds Historic District)

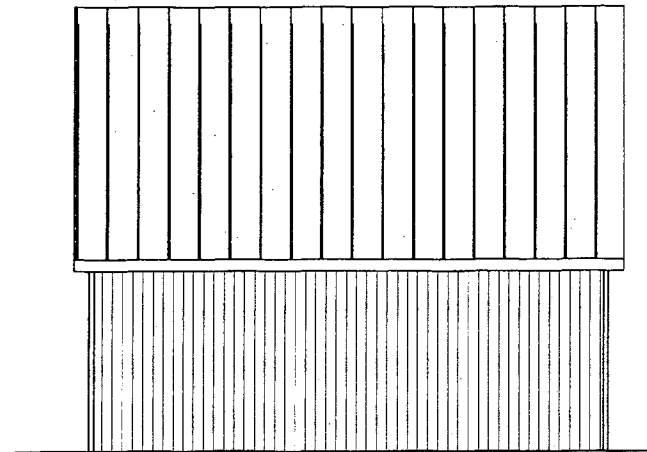
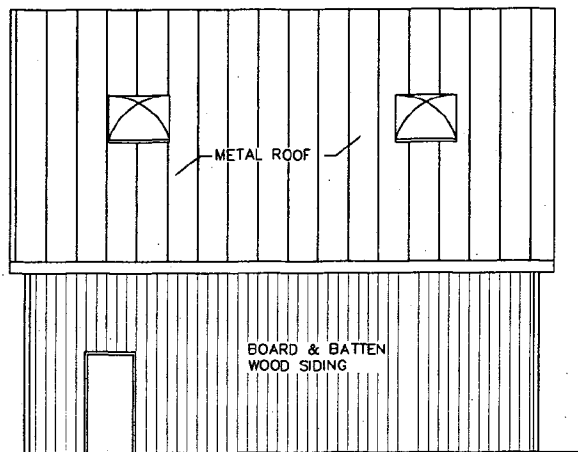
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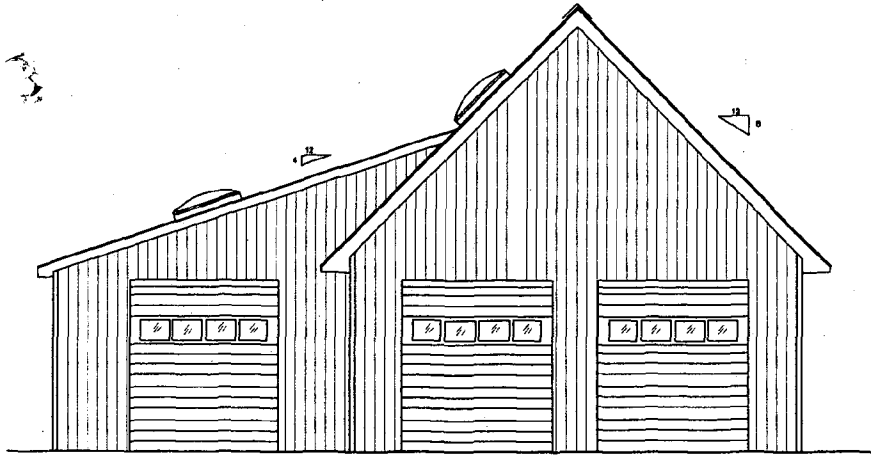
FRONT ELEVATION  
1/8" = 1'-0"



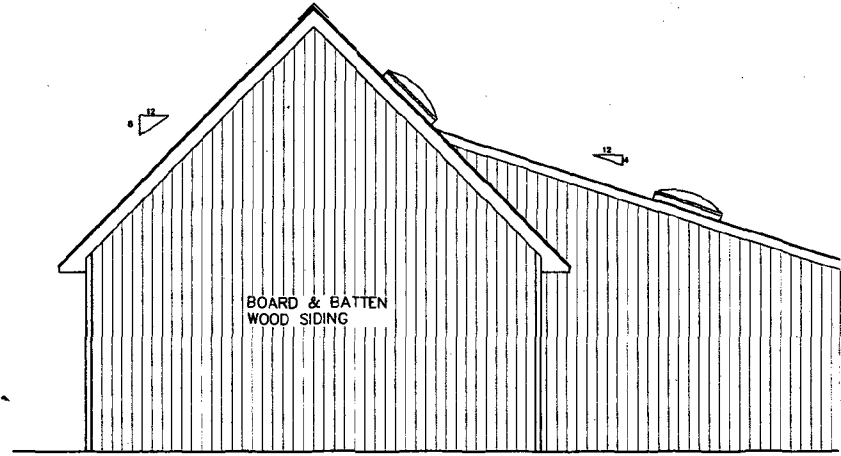
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1/8" = 1'-0"



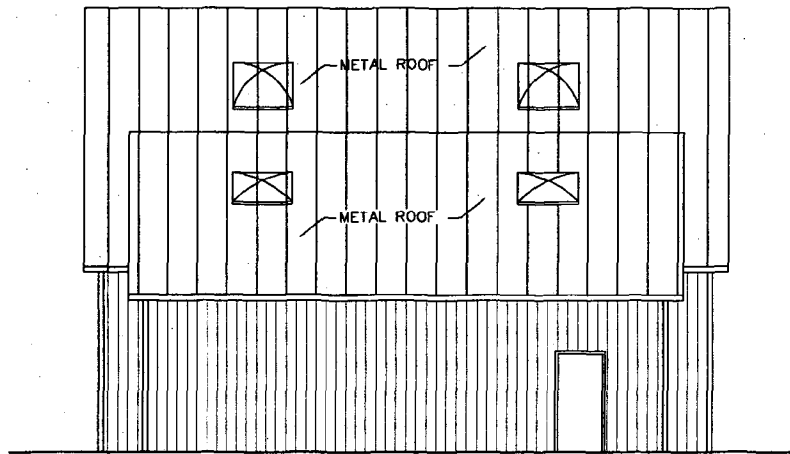
HPC  
 approved  
 these  
 height  
 changes @  
 2/25/04  
 mtg work session.



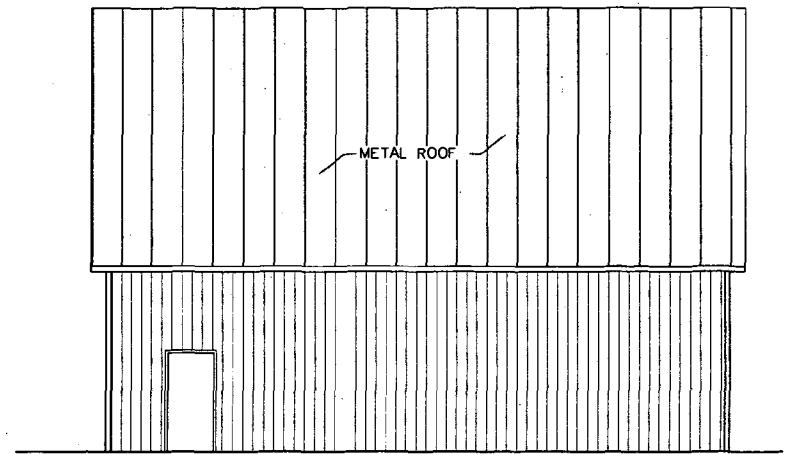
FRONT ELEVATION  
1/8" = 1'-0"



REAR ELEVATION  
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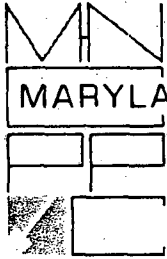


LEFT ELEVATION  
1/8" = 1'-0"



RIGHT ELEVATION  
1/8" = 1'-0"

HPC  
approved  
these height  
changes @ the 2/25/04 mtg workshop



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 4/25/03

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit

*OK*  
HAWP# 18/08-03C DPS# 0

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

X Approved

Approved with Conditions: \_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Paul Christian

Address: 19820 White Ground Road, Boyds MD

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.

JUN 30 03 11:14a

HISTORIC PRESERVATION

301563412

P. 7



DEPARTMENT OF PERMITTING SERVICES  
2580 SHAVILLE PIKE, SUITE 2000, BERKELEY, CA 94704  
947-27-0330

OPS - 08

**PDX**  
**301-563-3412**

**HISTORIC PRESERVATION COMMISSION**  
**301/563-3400**

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Paul Chretien  
Daytime Phone No: 301 299 7725

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: PAUL CHRETEN Daytime Phone No: 301 299 7725  
Address: 8533 HOLZESHE LA ROSELAND CA 94706 911 20854  
Contractor: OWNER Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

LOCATION OF BUILDING/REPAIR  
House Number: 19670 WHITE GROUND ROAD  
Town/City: ROSELAND Nearest Cross Street: N7 CLOPPER ROAD - CLARKSBURG ROAD  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

1A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  AC  Slat  Room Addition  Porch  Deck  Shed  
 Move  Install  Window/Door  Slat  Fireplace  Weatherstripping Slab  Single Family  
 Revision  Repair  Removable  Fence/Wall (complete Section 4)  Other: EXTRA TYPE STORAGE UTILITY POLE BUILDING  
1B. Construction cost estimate: \$ 35,000.-  
1C. If this is a revision of a previously approved action permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01  WSSC  Septic 03  Other: \_\_\_\_\_  
2B. Type of water supply: 01  WSSC  Well 03  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 30 feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/property line  Entirely on land of owner  On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Paul Chretien Signature of owner or authorized agent Date: 6-15-03

Approved: [Signature] For Chairperson, Historic Preservation Commission  
Date Approved: \_\_\_\_\_ Signature: [Signature] Date Filed: 6/25/03  
Application/Permit No: \_\_\_\_\_ Date Issued: \_\_\_\_\_

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

TWO WOOD SIDED BOARD & BATTEN  
 UTILITY BUILDINGS W/ STANDING SEAM  
 METAL ROOFS  
 → FARM BUILDING A WILL BE A 30x34  
 @ 25' FROM PROPERTY LINE W/ SIDE  
 DOOR TWO SKYLIGHTS & (2) ROLL-UP  
 METAL OVERHEAD DOORS  
 FARM BUILDING B WILL BE A 30x41  
 W/ AN ATTACHED 20x35 LEAN-TO-SIDED  
 W/ (3) OVERHEAD DOORS & A  
 TOTAL OF (4) SKYLIGHTS &  
 2 ENTRANCE DOORS  
 BOTH WILL HAVE CONCRETE  
 FOUNDATIONS

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district.

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plan. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a formal folder (11" x 17" plans on 8 1/2" x 11" paper are preferred).

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other hard features of both the existing resource(s) and the proposed work.
- b. Elevations (facades) with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and textures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the back of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

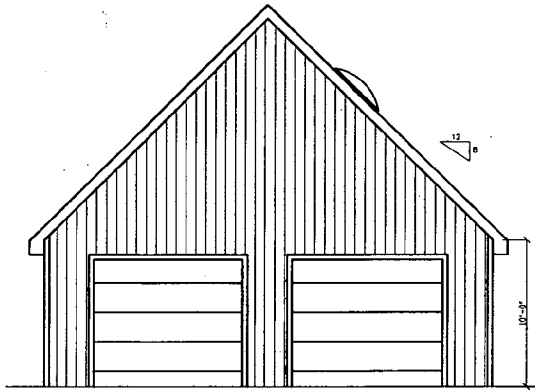
**6. TREE SURVEY**

If you are proposing construction adjacent to or within the crown of any tree 8" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the site, location, and species of each tree of at least that dimension.

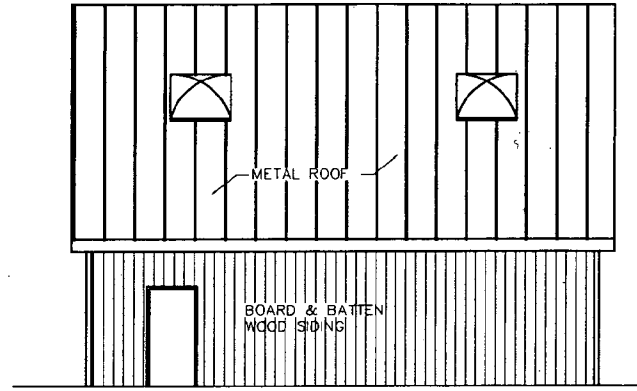
**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 61 Menlo Street, Redville, 1301/279-1325.

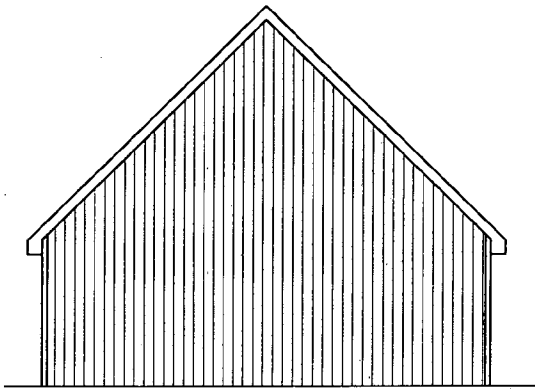
PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MARKING LABELS.



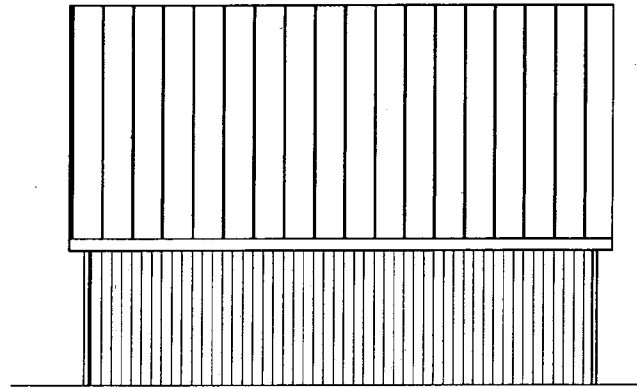
FRONT ELEVATION  
1/4" = 1'-0"



RIGHT ELEVATION  
1/4" = 1'-0"



REAR ELEVATION  
1/4" = 1'-0"

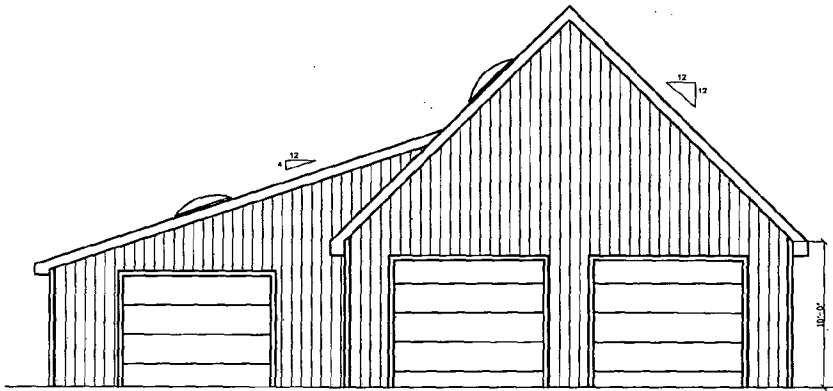


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1/4" = 1'-0"

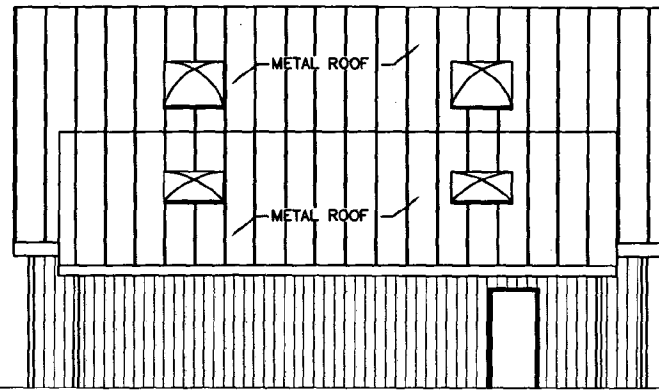
Farm Storage Building (A)

HPC APPROVED DWG  
6/25/03

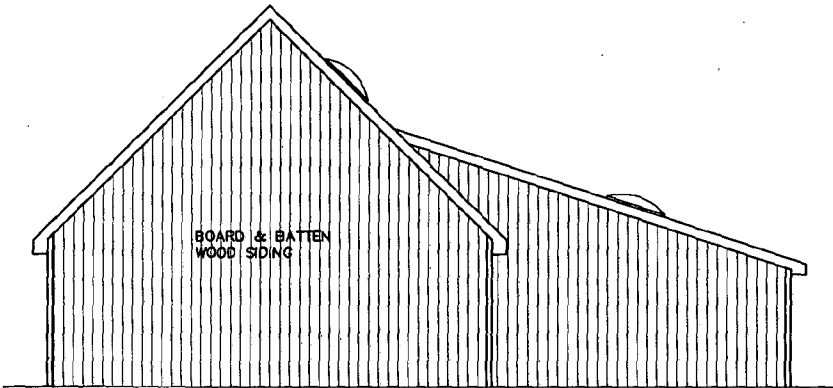
(A)



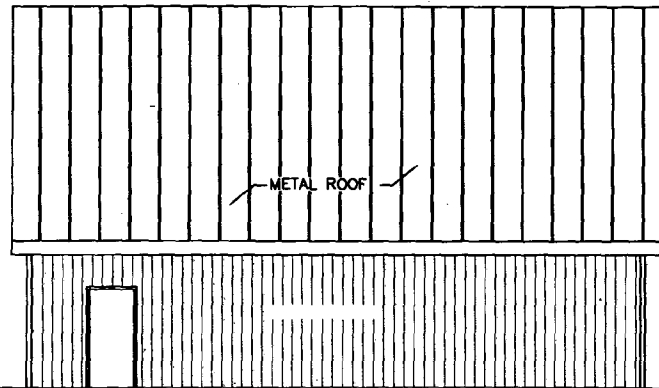
FRONT ELEVATION  
1/4" = 1'-0"



RIGHT ELEVATION  
1/4" = 1'-0"



REAR ELEVATION  
1/4" = 1'-0"



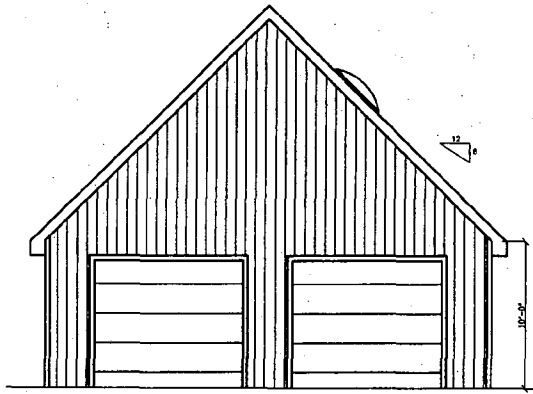
LEFT ELEVATION  
1/4" = 1'-0"

Farm Utility Storage (B)

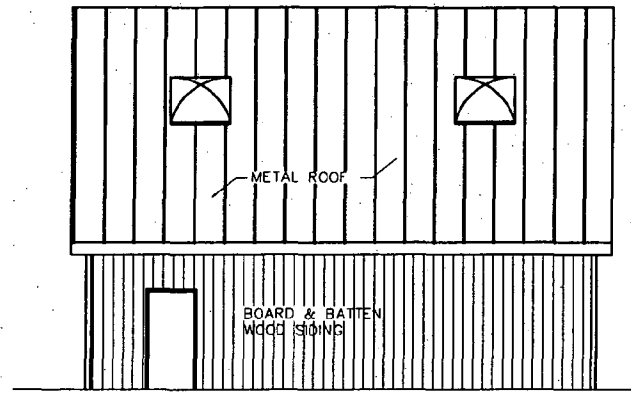
APC APPROVED DUG  
6/25/03

(A)

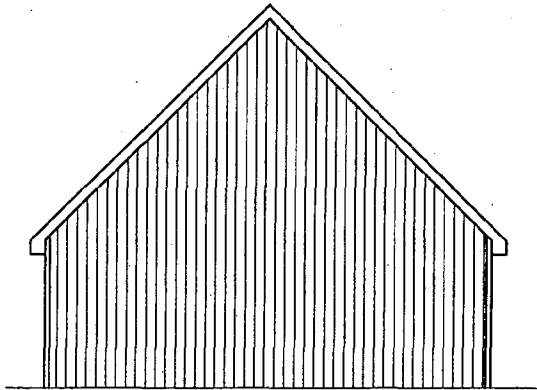




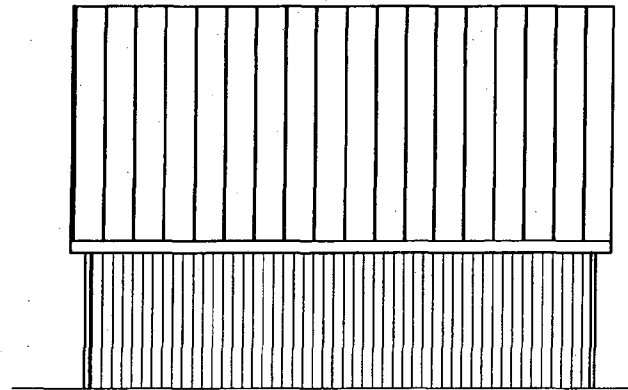
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RIGHT ELEVATION  
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REAR ELEVATION  
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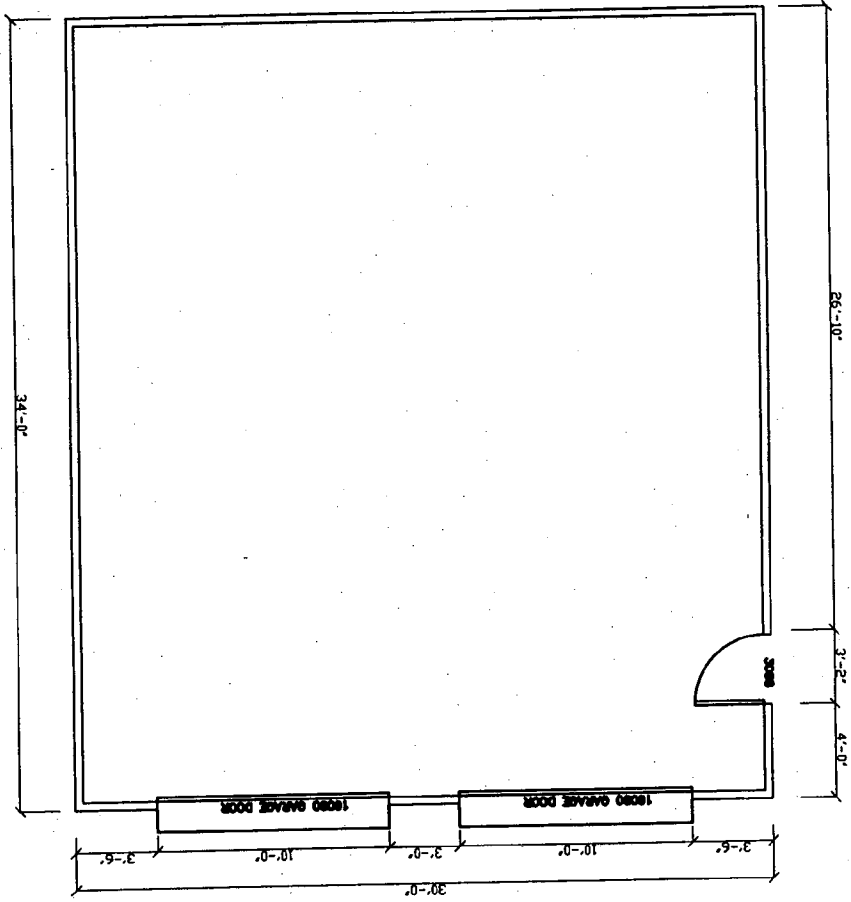


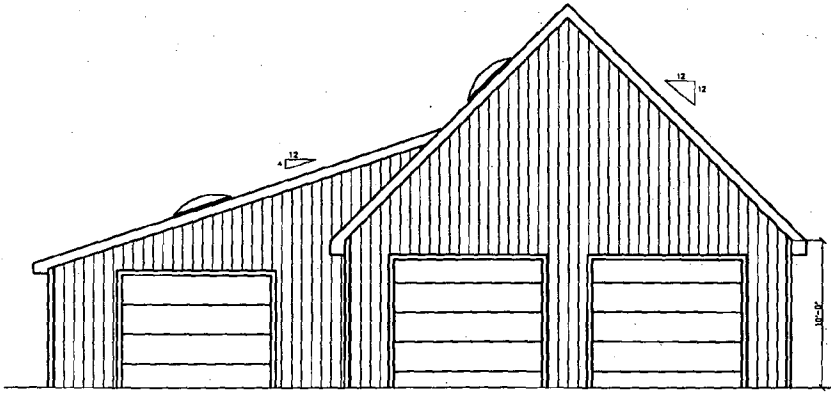
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1/4" = 1'-0"

Farm Storage Building (A)

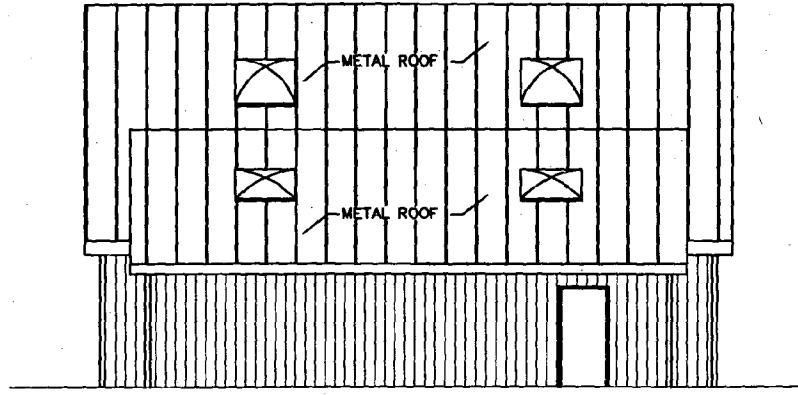
(A)

FLOOR PLAN - Farm Storage Building  $\frac{1}{4"} = 1'-0"$  A

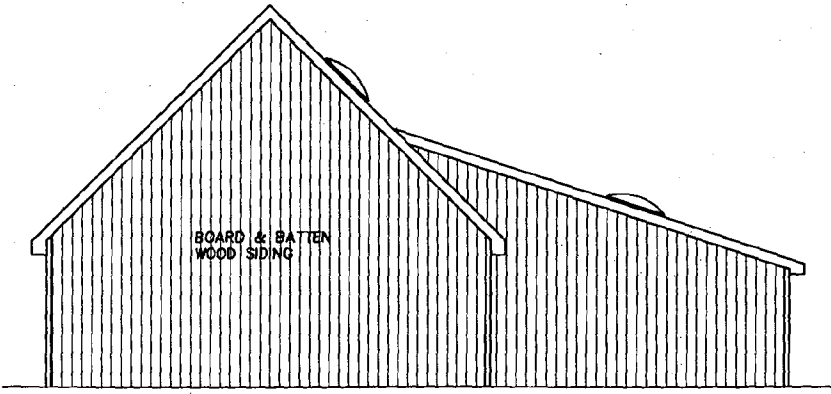




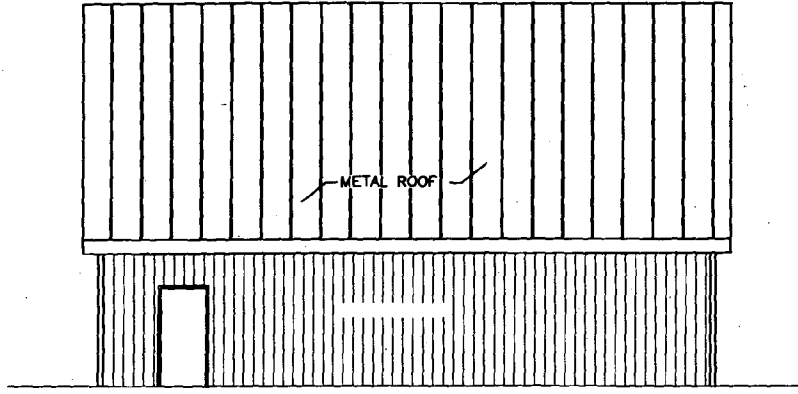
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RIGHT ELEVATION  
1/4" = 1'-0"



REAR ELEVATION  
1/4" = 1'-0"

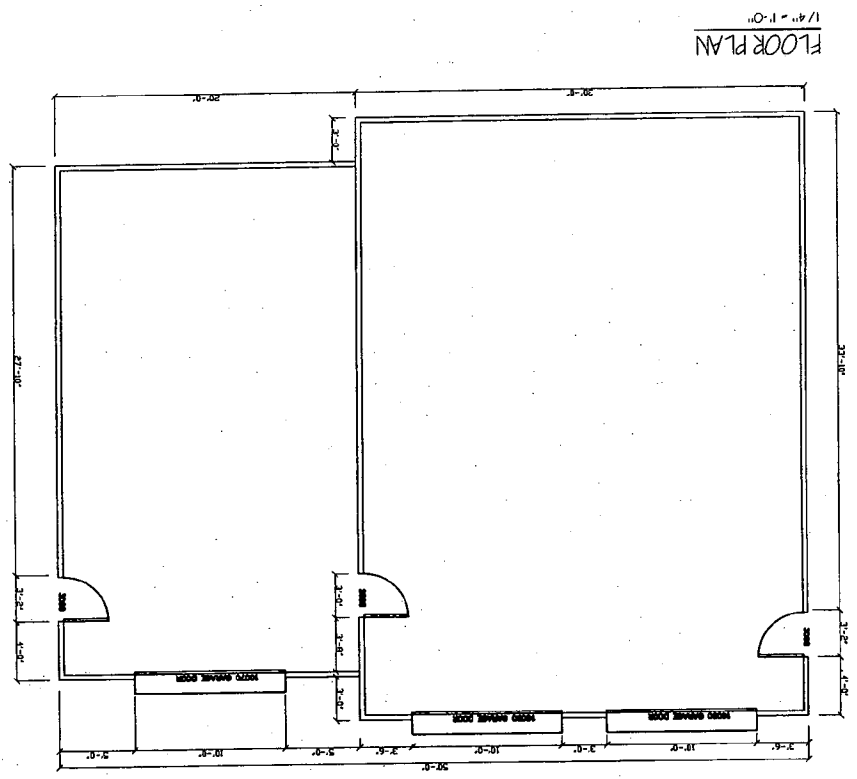


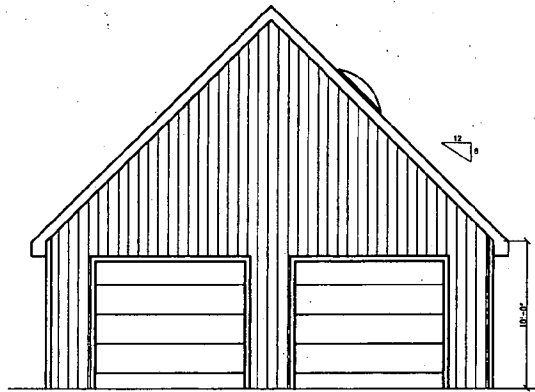
LEFT ELEVATION  
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Farm Utility Storage (B)

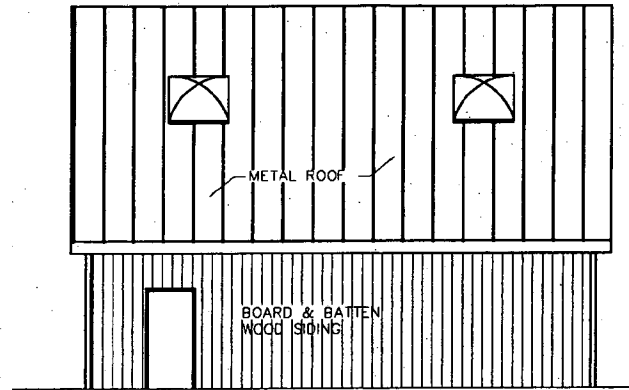
(A)

# Farm Utility Storage B

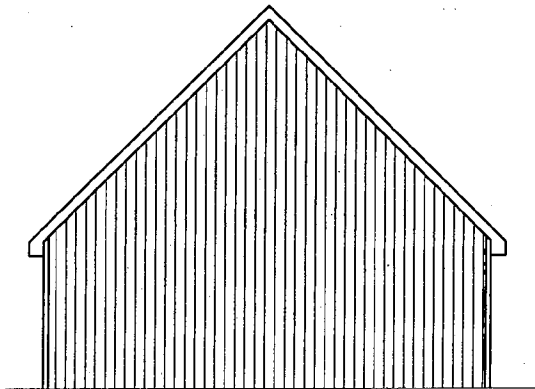




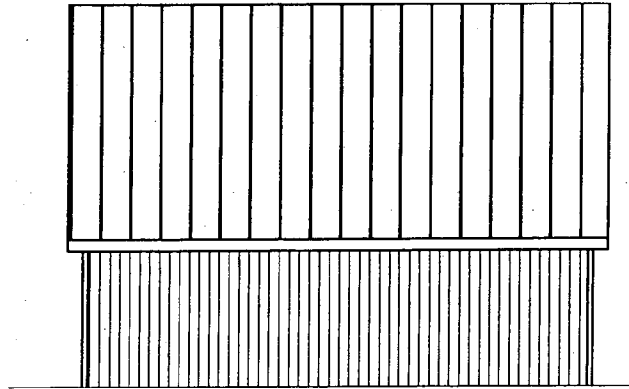
FRONT ELEVATION  
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RIGHT ELEVATION  
1/4" = 1'-0"



REAR ELEVATION  
1/4" = 1'-0"

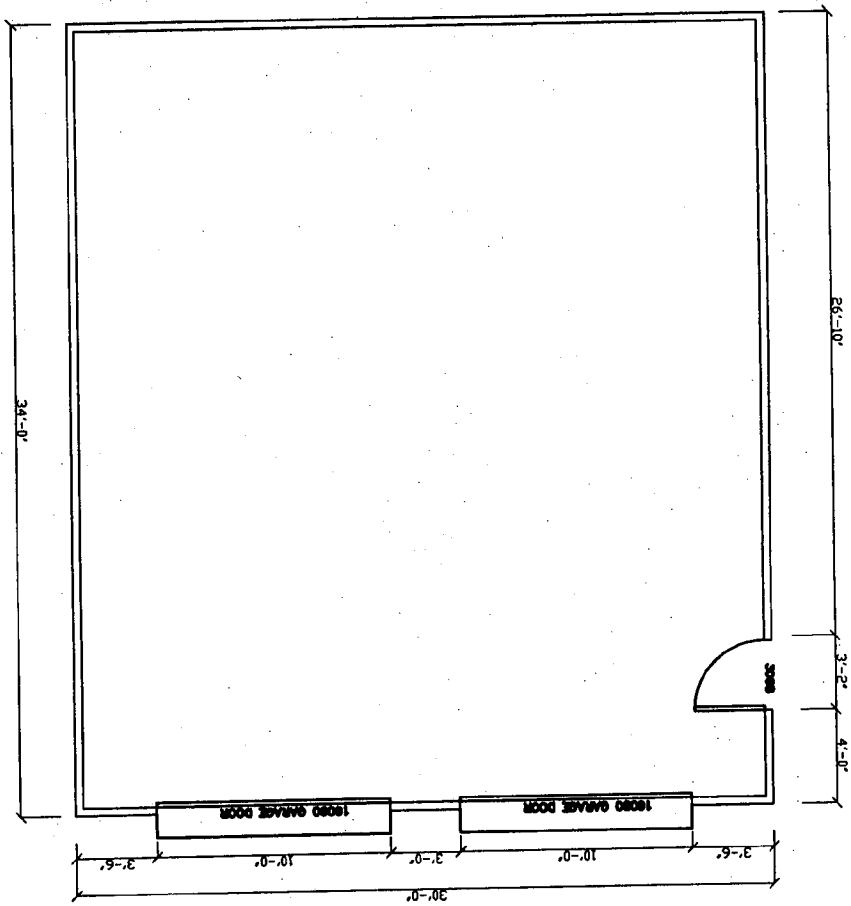


LEFT ELEVATION  
1/4" = 1'-0"

Farm Storage Building (A)

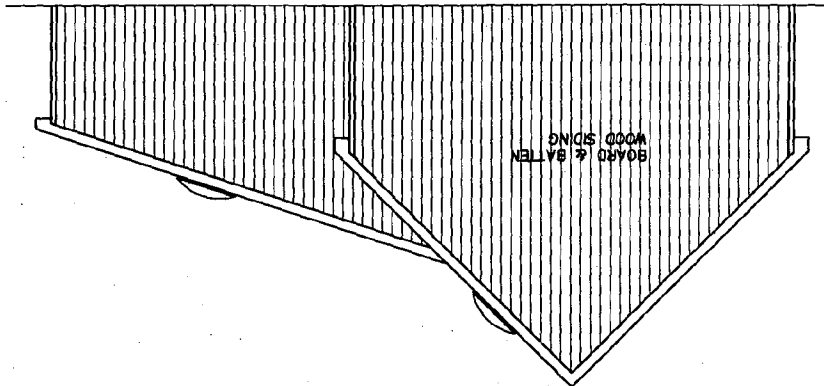
(A)

FLOOR PLAN - Farm Storage Building ④  
1/4" = 1'-0"

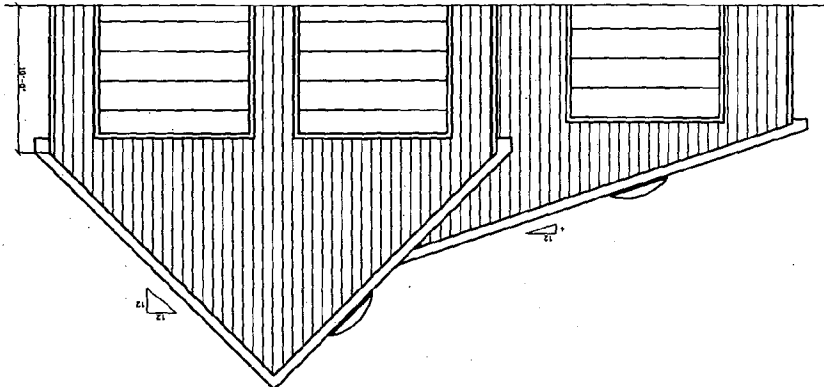


Form Utility Storage (B)

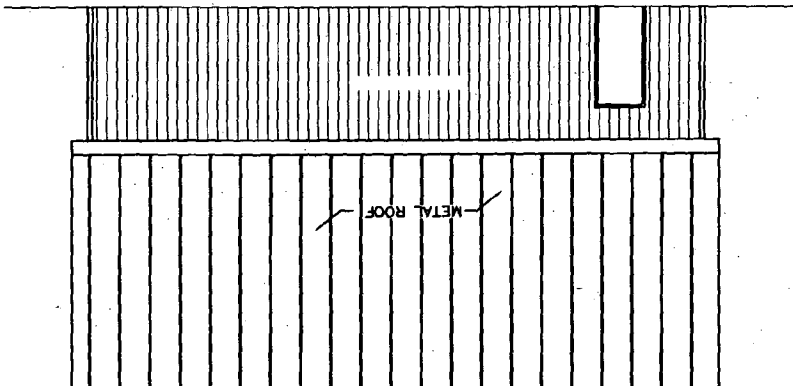
REAR ELEVATION  
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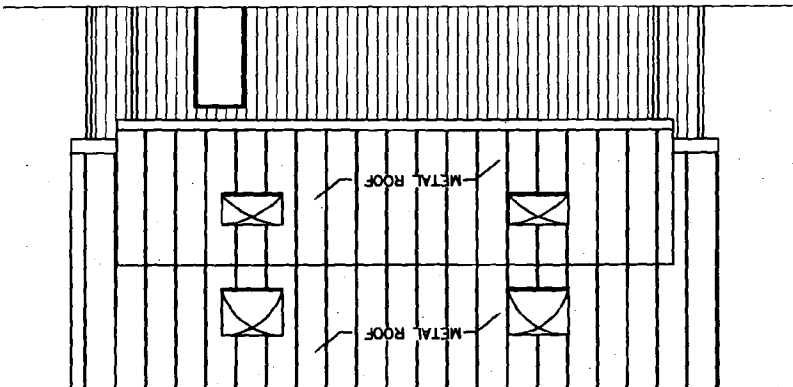
FRONT ELEVATION  
1/4" = 1'-0"



LEFT ELEVATION  
1/4" = 1'-0"



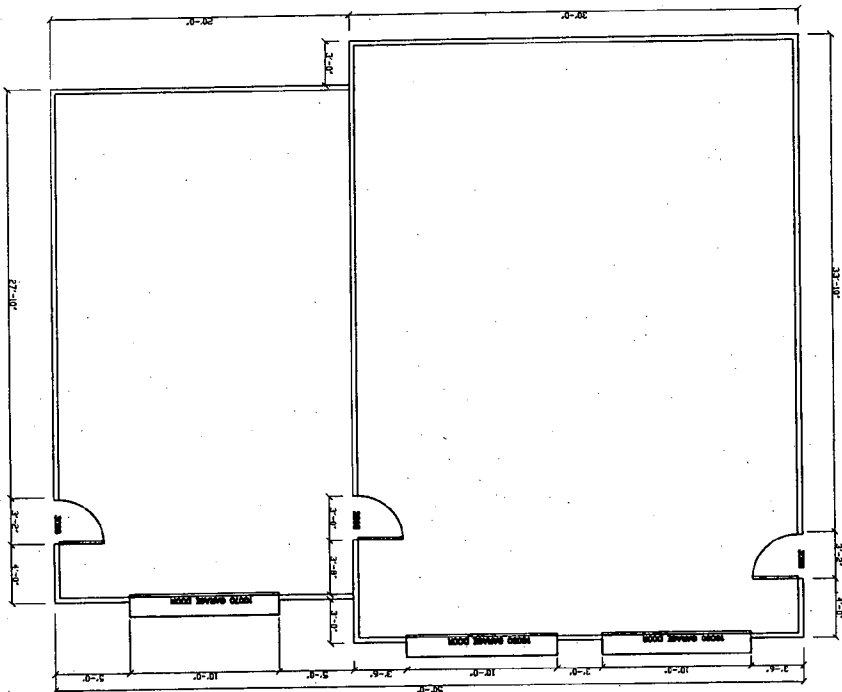
RIGHT ELEVATION  
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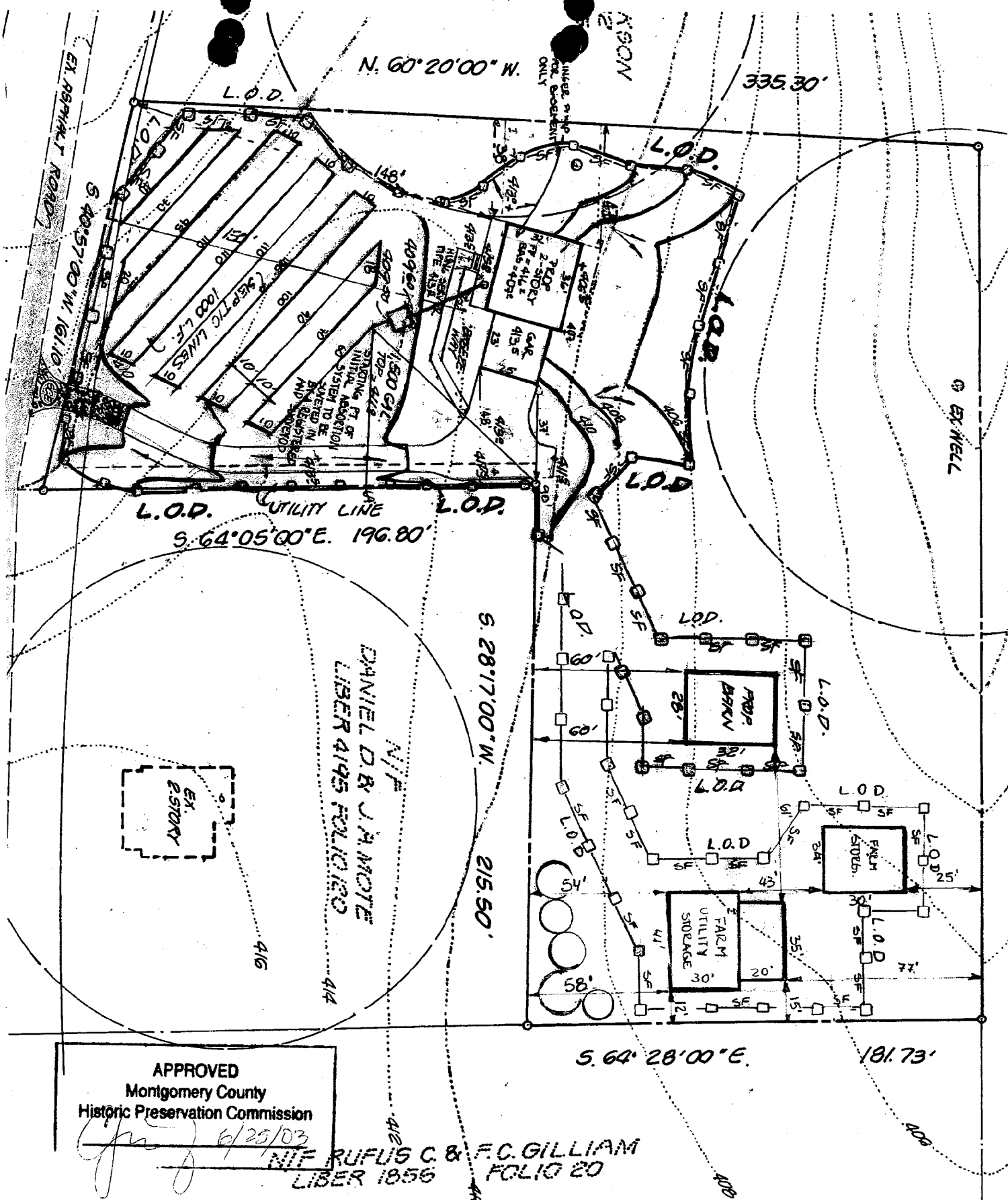
3

Farm Utility Storage 3

FLOOR PLAN  
1/4" = 1'-0"







APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]* 6/25/03  
 NIF RUFUS C. & F.C. GILLIAM  
 LIBER 1856 FOLIO 20

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SECTION A  
 JOIN

1. Fence DC

**HISTORIC PRESERVATION COMMISSION STAFF REPORT**

<b>Address:</b>	19820 White Ground Road	<b>Meeting Date:</b>	06/25/03
<b>Applicant:</b>	Paul Chretien	<b>Report Date:</b>	06/18/03
<b>Resource:</b>	Boys Historic District	<b>Public Notice:</b>	06/11/03
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	No
<b>Case Number:</b>	18/08-03C	<b>Staff:</b>	Corri Jimenez
<b>PROPOSAL:</b>	Construction of two utility buildings		
<b>RECOMMEND:</b>	Approve		

---

**PROJECT DESCRIPTION**

**SIGNIFICANCE:** Boyds Historic District, *Master Plan Historic District #18/08*  
**STYLE:** 19<sup>th</sup> century vernacular  
**DATE:** c. 1850-1936

The Boyds Historic District is a significant site within Montgomery County because of its cohesive grouping of residential, religious, and commercial structures that are characteristic of a 19<sup>th</sup> century agricultural town. Founded by Col. James A. Boyd, the town was conveniently located for farmers along the B & O railroad who were transporting produce for shipment, and in addition, many of the first dwellings in Boyds were these railroad workers.

The design, setting, and building materials of the existing buildings in the district have not changed significantly since their original construction. The Boyds Historic District, from its originally mill era buildings to eventually B & O railroad era buildings, very much recalls a sense of place circa 1900 as a rural Maryland agricultural community.

**PROPOSAL**

The applicant owns an L-shaped lot that is 88,000 square feet (2 acres) in size, and partially located behind an existing c. 1900 2-story farmhouse. The applicant is proposing construction of two wood-sided, board-and-batten utility buildings with standing seam metal roofs.

- Farm storage building (A) will be 30' x 34' and be located 25' from the back property line (see Circle 4). This building will have a side door, two skylights facing away from the historic district as well as two roll-up metal overhead doors (see Circle 5).
- Farm utility building (B), the second building, will also be made of board-and-batten with a standing seam metal roof, although will be larger (see Circle 7-8). This building will be 30' x 41' with an attached 20' x 35' lean-to shed addition that is not as wide as the main part of the building. Like the other building, this one will also have metal roll-up overhead doors – a total of three – and a total of four skylights facing away from the road/adjoining property. Single entry doors will be located on two sides of the building.

Both buildings will be situated on concrete slab foundations. All the skylights punctuating the roofs of the buildings will face away from the historic scenic right-of-way.

## **BACKGROUND**

The applicant was approved in March 2002 for a Historic Area Work Permit (HPC Cases No. 18/08-02A, 18/08-02C) to construct a 2-story house with a side 1-½ addition as well as a 28'x 32' 2-story barn. The Montgomery County Board of Appeals heard this case in September 2002 where the design was finalized.

On April 23<sup>rd</sup>, the applicant proposed to construct a 41'x 66' metal-sheathed, utility farming building that would be placed on a poured concrete slab foundation with a standing seam metal roof. The HPC approved it with conditions stating that the building be no larger than 20'x 30', and be constructed with wood board-and-batten siding with a standing seam metal roof (HPC Case No. 18/08-03A). After the hearing, the application went through a reconsideration by the applicant to the HPC on May 28<sup>th</sup> for the same construction, though the reconsideration was denied by the commission (see minutes, Circle 9-28). During this meeting, the commission asked the applicant to rearrange his design into smaller buildings that enable him to get his needed square footage, instead of designing one large building.

After the hearing, the applicant met with HPC staff on June 4<sup>th</sup> to review possible designs of historic farm buildings. HPC staff showed the applicant various historic farm building types with roof designs from shed to gable (see Circle 29-32). What the applicant is proposing in this Historic Area Work Permit is the product from that meeting.

## **STAFF DISCUSSION**

The Boyds Historic District is an excellent example of a traditional Maryland agricultural community. Staff finds what the applicant is proposing acceptable as new construction within the historic district, as the buildings are very simplistic and modest.

In addition, grouping the two buildings currently proposed with the previously approved barn, creates a grouping of outbuildings that is historically typical in farming areas.

According to the Secretary of the Interior's *Standards for Rehabilitation*, these guidelines state that new construction should be "differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment." Staff finds this project appropriate since it the new utility buildings that are proposed include details (such as the skylights) that separate them from other historic buildings within the district.

Overall, the two new outbuildings are a substantial improvement compared to what the applicant originally submitted in April with a 41'x 66' metal utility building. The building materials chosen are found currently in the district, omitting the metal roll-up overhead doors and skylights. During the June 4<sup>th</sup> meeting, the applicant asked if skylights would be acceptable, and HPC staff replied that they would need to face away from the scenic right-of-way.

#### **STAFF RECOMMENDATION**

Staff recommends that the Commission *approve* the HAWP application as being consistent with Chapter 24A-8(b) 3:

The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archaeological, architectural or cultural value of the historic site or historic district in which an historic resource is located.

and with the Secretary of the Interior's *Standards #9 & 10*:

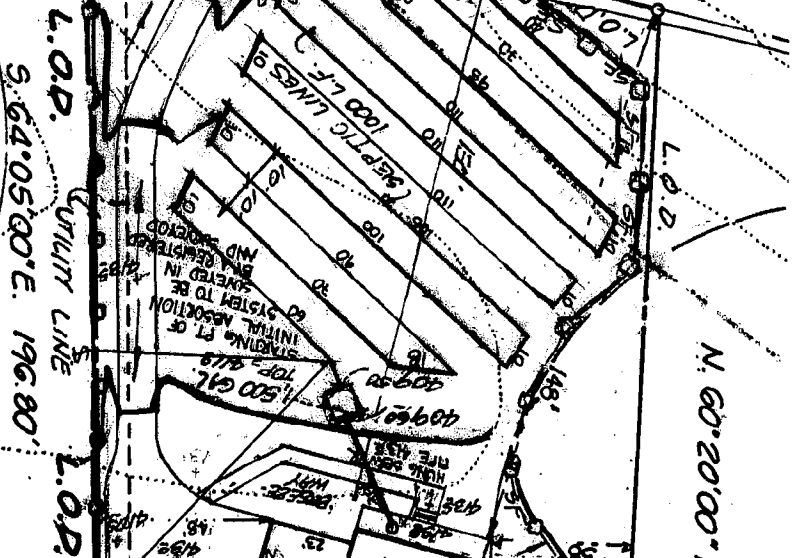
New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the general conditions applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work, and within two weeks following completion of work.

(17)

EX REPAIR T ROAD  
9.40°57'00"W 161.10'



N. 60° 20' 00\" W. 335.30'

SECTION  
N. 60° 20' 00\" W. 196.80'

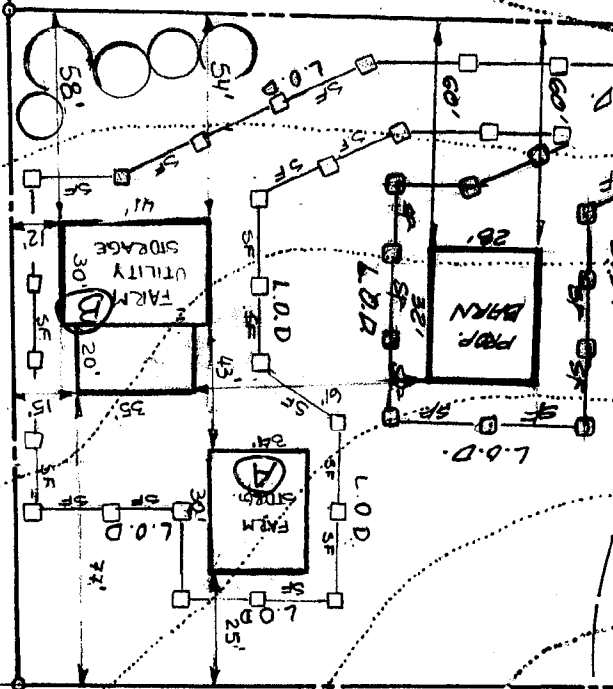
L.O.D. UNWIN LINE L.O.D.  
S. 64° 05' 00\" E. 196.80'

S. 28° 17' 00\" W. 215.50'

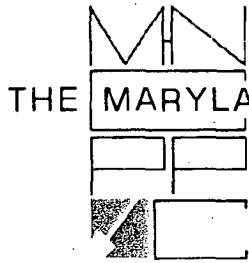
N/P RUFUS C & F. C. GILLIAM  
LIBER 1856 FOLIO 20

S. 64° 28' 00\" E.

181.73'



1. L. F. 1.
2. & 3. CO. 2. & 3.
4. S.D. 4. S.D.
5. S. 5. S.
6. LOC. 6. LOC.
7. S.D. 7. S.D.
8. S. 8. S.
9. FENCE PC. 9. FENCE PC.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 6/25/03

MEMORANDUM

TO: Historic Area Work Permit Applicants

FROM: Gwen Wright, Coordinator  
Historic Preservation Section

HAWP# 18/08-03C  
DPS# 0

SUBJECT: Historic Area Work Permit Application - Approval of Application/Release of Other Required Permits

Enclosed is a copy of your Historic Area Work Permit application, approved by the Historic Preservation Commission at its recent meeting, and a transmittal memorandum stating conditions (if any) of approval.

You may now apply for a county building permit from the Department of Permitting Services (DPS) at 255 Rockville Pike, second floor, in Rockville. Please note that although your work has been approved by the Historic Preservation Commission, it must also be approved by DPS before work can begin.

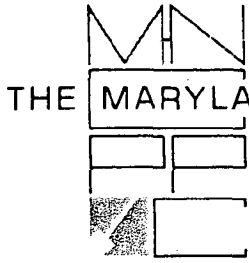
When you file for your building permit at DPS, you must take with you the enclosed forms, as well as the Historic Area Work Permit that will be mailed to you directly from DPS. These forms are proof that the Historic Preservation Commission has reviewed your project. For further information about filing procedures or materials for your county building permit review, please call DPS at 240-777-6370.

If your project changes in any way from the approved plans, either before you apply for your building permit or even after the work has begun, please contact the Historic Preservation Commission staff at 301-563-3400.

Please also note that you must arrange for a field inspection for conformance with your approved HAWP plans. Please inform DPS/Field Services at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) of your anticipated work schedule.

Thank you very much for your patience and good luck with your project!

C:\hawpapr.wpd



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

Date: 6/25/03

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

*GW*

SUBJECT: Historic Area Work Permit

HAWP # 1808-03C DPS# 0

The Montgomery County Historic Preservation Commission has reviewed the attached application for an Historic Area Work Permit. This application was:

X Approved

Approved with Conditions: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

and HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS; and

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Paul Christian

Address: 19820 White Ground Road, Boyds MD

and subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online @ [permits.emontgomery.org](http://permits.emontgomery.org) prior to commencement of work and not more than two weeks following completion of work.

Jun 30 03 11:14

HISTORIC PRESERVATION

3015633412

P. 1



DEPARTMENT OF PERMITTING SERVICES  
2580 CHURCHVILLE PIKE, 2ND FLOOR, ROCKY HILL, MD 20851  
246-771-6337

DPS-08

FOX  
301-563-3412

HISTORIC PRESERVATION COMMISSION  
301/563-3400

# APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Paul Chretien  
Daytime Phone No.: 301 299 7725

Tax Account No.: \_\_\_\_\_  
Name of Property Owner: Paul Chretien Daytime Phone No.: 301 299 7725  
Address: 8533 HOLSESIDE LA POTOMAC MD 20854  
Street Number City State Zip Code  
Contractor: owner Phone No.: \_\_\_\_\_  
Contractor Registration No.: \_\_\_\_\_  
Agent for Owner: \_\_\_\_\_ Daytime Phone No.: \_\_\_\_\_

LOCATION OF BUILDING/PREMISES  
House Number: 19870 WHITE GROUND ROAD Street  
Town/City: BELTS Nearest Cross Street: 17 CLOPPER ROAD - CLARKSBURG ROAD  
Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_  
Liber: \_\_\_\_\_ Folio: \_\_\_\_\_ Parcel: \_\_\_\_\_

### PART ONE: TYPE OF PERMIT ACTION AND USE

A. CHECK ALL APPLICABLE:  
 Construct  Extend  Alter/Renovate  AC  Silt  Room Addition  Porch  Deck  Shed  
 Move  Install  Wood/Frame  Solar  Fireplace  Woodburning Stove  Single Family  
 Revision  Repair  Revoke/Re  Fence/Wall (complete Section 4)  Other: EXIST TYPE STORAGE UTILITY POLE BUILDING

B. Construction cost estimate: \$ 35,000.-

C. If this is a revision of a previously approved action permit, see Permit # \_\_\_\_\_

### PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: U1  WSSC  Septic  Other: \_\_\_\_\_  
2B. Type of water supply: D1  WSSC  Well  Other: \_\_\_\_\_

### PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height 30 feet \_\_\_\_\_ inches  
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:  
 On party line/private use  Entirely on land of owner  On public right of way/ easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by the agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Paul Chretien Signature of owner or authorized agent  
Date: 6-15-03

Approved: [Signature] For Chairperson, Historic Preservation Commission  
Date Approved: \_\_\_\_\_ Signature: [Signature] Date Filed: 6/25/03  
Application/Permit No.: \_\_\_\_\_ Date Issued: \_\_\_\_\_



**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

**1. WRITTEN DESCRIPTION OF PROJECT**

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

TWO WOOD SIDED BOARD & BASTEN  
UTILITY BUILDINGS W/ STANOWNG SEAM  
METAL ROOFS  
→ FURN BUILDING A WILL BE A 30x34  
@ 25' FROM PROPERTY LINE W/ SIDE  
DOOR TWO SKYLIGHTS & (2) FOU-UP  
METAL OVERHEAD DOORS  
FURN BUILDING B WILL BE A 30x41

b. General description of project and its effect on the historic resource(s), the environmental setting and, where applicable, the historic district.

W/ AN ATTACHED 20x35 LEAN-TO-SIDED  
W/ (3) OVERHEAD DOORS & A  
TOTAL OF (4) SKYLIGHTS 1  
2 ENTRANCE DOORS  
BOTH WILL HAVE CONCRETE SLAB  
FOUNDATIONS

**2. SITE PLAN**

Site and environmental setting, drawn to scale. You may use your plot. Your site plan must include:

- a. the scale, north arrow, and date;
- b. dimensions of all existing and proposed structures; and
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping.

**3. PLANS AND ELEVATIONS**

You must submit 2 copies of plans and elevations in a formal 1/4" x 11" x 17" frame on 8 1/2" x 11" paper, all preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other facial features of both the existing resource(s) and the proposed work.
- b. Elevations (facades) with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and finishes proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

**4. MATERIALS SPECIFICATIONS**

General description of materials and manufacturers names proposed for incorporation in the work of the project. This information may be included on your design drawings.

**5. PHOTOGRAPHS**

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

**6. TREE SURVEY**

If you are performing construction adjacent to or within the decline of any tree 8" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

**7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS**

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 61 Marina Street, Rockville, (301) 279-1323.

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.  
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

**MEMORANDUM**

DATE: 6/25/03

TO: Local Advisory Panel/Town Government

FROM: Historic Preservation Section, M-NCPPC  
Michele Naru, Historic Preservation Planner  
Anne Fothergill, Historic Preservation Planner  
Corri Jimenez, Historic Preservation Planner *CF*

SUBJECT: Historic Area Work Permit Applications - HPC Decision

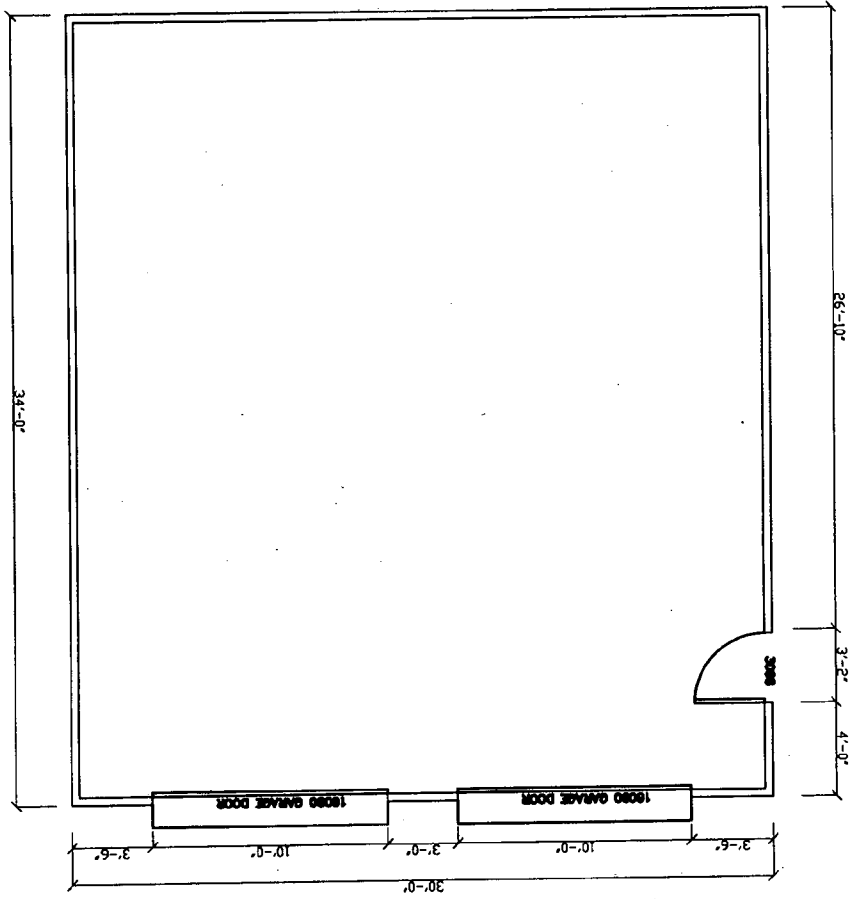
*HAWP# 18/08-03C  
DPS# 0*

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The Historic Preservation Commission reviewed this project on 19820 White Ground Rd  
A copy of the HPC decision is enclosed for your information. *Boyd*

Thank you for providing your comments to the HPC.. Community involvement is a key component of historic preservation in Montgomery County. If you have any questions, please do not hesitate to call this office at (301)563-3400.

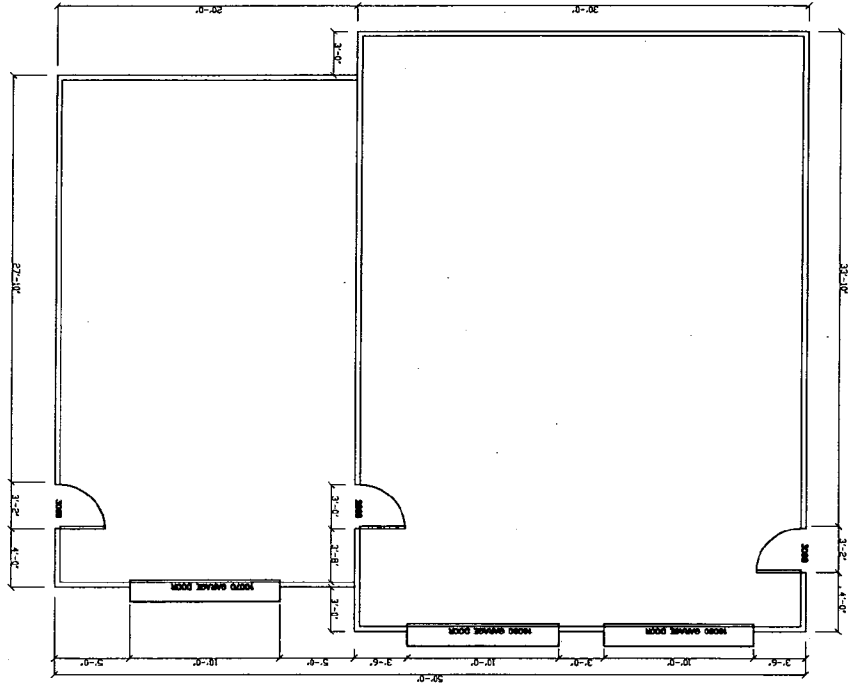
FLOOR PLAN - Farm Storage Building ④  
1/4" = 1'-0"

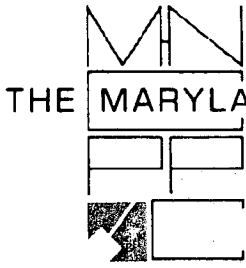


③

Form Utility Storage ③

FLOOR PLAN  
1/4" = 1'-0"





THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION

8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

(301) 495-4605

Montgomery County Planning Board  
Office of the Chairman

May 28, 2003

**MEMORANDUM**

TO: Robert Hubbard, Director  
Department of Permitting Services

FROM: Gwen Wright, Coordinator  
Historic Preservation

SUBJECT: Historic Area Work Permit 18/08-03A RECONSIDERATION  
DPS No. 301668

---

The Montgomery County Historic Preservation Commission has reviewed the attached application for a Historic Area Work Permit. This application was:

Approved       Denied       Approved with Conditions:

and subject to the general conditions that 1) **HPC Staff will review and stamp the construction drawings prior to the applicant's applying for a building permit with DPS.**

**THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).**

Applicant: Paul Chretien  
8533 Horseshoe Lane  
Potomac, MD 20854

1 me. I think the fact that you can reuse the windows and  
2 then rebuilt the doors to the same style seems like it would  
3 work. So, I'd like to make a motion that -- let's see, for  
4 the reconsideration we will agree with Staff on the  
5 suggestion that you would rebuild the doors as they were  
6 with -- reusing the windows, but you'll rebuild the doors  
7 with new wood.

8 MR. HARBIT: Second.

9 MS. VELASQUEZ: All right, any discussion? All  
10 those in favor, please raise your right hand. The motion  
11 passes unanimously. Thank you.

12 MR. MILLS: Thanks.

13 MS. VELASQUEZ: The next case on the agenda is  
14 Case D, another reconsideration. Is there a Staff report on  
15 it?

16 MS. JIMENEZ: Yes. Just to give the heads-up to  
17 the Staff report, I have included my orig -- since this is a  
18 reconsideration, I included my original Staff report as well  
19 as the minutes that happened previously. The only concern  
20 that has been stressed by actual residents in the  
21 neighborhood is that they testified at the last HPC meeting  
22 on April 23rd and wanted to make sure that their voice was  
23 heard during this reconsideration.

24 I have some physical pictures, if I could find my  
25 disk. This is just those doors we just saw. The case that

1 we're hearing is a new utility building at 19820 White  
2 Ground Road. Again, the Staff report says everything as  
3 well as the minutes. I hope all the Commissioners saw it.  
4 This is just to give you a visual big picture screen of what  
5 the area looks like. This is the lot. Previously, a new  
6 house and two-story garage has been approved for this  
7 particular property, and now he wants to construct a utility  
8 building. I've handed out new information that the  
9 applicant has provided Staff and I hope that you have time  
10 to look through that.

11 This is the Hyattstown Volunteer Fire Department.  
12 That was a project that was approved in 1996. One thing  
13 that I noticed that the applicant was -- disagreed with me  
14 with was that I was basically showing the footprint of this  
15 building not as much as height. I know that it's a lot  
16 larger than what he's proposing. And this is a historic  
17 building located in Boyds Historic District that we were  
18 using as an example of something that would be more  
19 compatible than the metal building that he is proposing.

20 These are adjacent properties within the historic  
21 district that sandwich his lot. This is -- if you're  
22 looking at the lot, this is the building on the left and  
23 then this is the house on the right. This is the rear of it  
24 and this -- the back of his property will be looking out at  
25 this outbuilding. And, again, I want to stress that it's a

1 metal outbuilding that's 41 feet by 66. And I think the  
2 applicant is here to testify or give you any comments.

3 MS. VELASQUEZ: Great. Any questions of Staff?  
4 Will the applicant like to step forward, please? Hi, how  
5 are you today?

6 MR. CHRETIEN: Fine, thank you. How are you all?

7 MS. VELASQUEZ: Have a seat and please state your  
8 name for the record.

9 MR. CHRETIEN: Paul Chretien.

10 MS. VELASQUEZ: Thank you. You heard the Staff  
11 report and we are in receipt of the letter you just  
12 submitted -- the Commission is. What do you have to add,  
13 what comments do you want to say about Staff's report?

14 MR. CHRETIEN: Okay, about the Staff report,  
15 should we go over the letter, because I pretty much have it  
16 all in the letter, if you want me to read the letter --

17 MS. VELASQUEZ: If you would not read it  
18 completely; yes, because most of us have just browsed it.

19 MR. CHRETIEN: Okay, do you want me to read --

20 MS. VELASQUEZ: Just hit -- why don't you hit your  
21 high points and tell us what you really want us to remember.

22 MR. CHRETIEN: Okay, I mean I guess the high  
23 points are that I really need this accessory building, which  
24 is sort of like a -- it's going to be a garage, but it's not  
25 going to be a garage that I'm going to have close to my



1 house where I can access it every day. It's more of a  
2 storage building that I need to put my, you know, mechanical  
3 and personal and material things. Sort of like I've got  
4 woodworking tools, I have metalworking tools, I've got  
5 lawnmowing equipment, I've got a compact tractor, I've got  
6 motorcycles, I've got compact cars, I've got SUV's, I've got  
7 pick-up trucks, I've got antique race cars, and I've got a  
8 fishing boat. So, I've got a bunch of stuff.

9 All the stuff I have is worth more than the house  
10 that I want to build, so that's basically the idea for my  
11 little -- well, it's not that little. It's a utility  
12 building, and I've furnished a picture of the exact size of  
13 the utility building, which is on Falls Road in Potomac,  
14 Maryland that they're using to house 25 golf carts. This  
15 building is 41 by 66. It's the exact same building.

16 MS. VELASQUEZ: Where is this building located?

17 MR. CHRETIEN: This is on Falls Road --

18 MS. VELASQUEZ: Is it on a private residential  
19 property?

20 MR. CHRETIEN: No, it's the Falls Road Golf  
21 Course; the building to house the golf carts.

22 MS. VELASQUEZ: Okay, thank you.

23 MR. CHRETIEN: If you look at it, you can see the  
24 golf carts, you know, in the little opening right there.

25 And I've done this building pretty much on the

1 property 12 feet from the fence. So, this is what it looks  
2 like after it gets built, you know, maybe with a couple of  
3 windows in it, and 12 feet from the fence with no leland  
4 cypress trees or nothing.

5 And the last picture here is -- if you're putting  
6 like six-foot high cypress trees on it, this thing is going  
7 to get hidden within a year. So, no neighbor is going to  
8 see it. This was really -- this is what the building is  
9 going to look like I'd say about a year or two down the  
10 road.

11 Continuing on, where I'm planning on putting this  
12 building is in a gully, so I've got a picture of what it  
13 looks like from the neighbor's property -- of what it will  
14 look like. This is a picture taken from the neighbor's  
15 yard. It's completely hidden and right there through the  
16 opening, there's a bunch of logs that I've piled there  
17 basically to be cleared. I think we had a little run-in  
18 where I took down some trees which I wouldn't -- which,  
19 basically I'm not disputing that I took down trees in order  
20 to build a house and the barn, but they're there and that's  
21 pretty much where the building would go. It's -- you can't  
22 even see the area from the neighbor's house where this  
23 building would go. It's completely covered. It's about 250  
24 feet away.

25 MS. VELASQUEZ: This little building that's here

1 now.

2 MR. CHRETIEN: That is on the neighbor's property.

3 This is --

4 MS. VELASQUEZ: That is the neighbor's property.

5 MR. CHRETIEN: That is their barn. There's a  
6 little area right here where my finger is --

7 MS. VELASQUEZ: In the -- basically in the white  
8 spot that looks like a little -- area --

9 MR. CHRETIEN: There's about 10 logs right  
10 there --

11 MS. VELASQUEZ: I see.

12 MR. CHRETIEN: -- and that's where the building  
13 would go. It's in that little opening that you can  
14 basically see --

15 MS. VELASQUEZ: And this picture was taken from  
16 the neighbor's property --

17 MR. CHRETIEN: Today. I took this picture today.

18 MS. VELASQUEZ: I'm just trying to get the  
19 perspective.

20 MR. CHRETIEN: Right. Also, where this building  
21 is going to go is about 10 feet or 15 feet down the hill in  
22 the gully in a gorge. So, it's not -- it's not going to be  
23 a high monstrous building like taking a picture of the fire  
24 station that Corrie used as her comparison. This building  
25 has walls that are 20 feet tall. It's 27 feet tall in the

1 center. And the very first picture here; this is the  
2 building and there's a little side building attached to the  
3 building that you guys approved. This has eight-foot tall  
4 walls right here. So, there's a big difference between an  
5 eight-foot tall wall, which is what mine's going to have,  
6 and these 20-foot tall walls of this -- of this fire  
7 station.

8 So, I think looking at this one -- at the fire  
9 station, you can see where the windows are. The windows are  
10 eight feet. That's the height of my building, where these  
11 windows are. So, it's not like I'm building this huge  
12 monstrous skyscraper in everybody's backyard. Nobody's  
13 going to be able to see this building; especially from the  
14 street. And the only neighbors that are going to be  
15 affected are the ones where I took that picture today. So,  
16 it's going to be completely in the gully. They're going to  
17 be looking over the top of it. If they're worried about  
18 their vista, they're not going to have anything ruined  
19 whatsoever.

20 So, basically what I'm trying to say here is that  
21 I definitely need a building to put my stuff in. I have --  
22 right now I've got eight personal vehicles. That -- you  
23 know, I'm down to one vehicle because every single one of  
24 them is in the shop. And I'm in the construction business.  
25 I need a vehicle to drive around in, and I have all these

1 other cars sort of like as spares. I don't have a new car.  
2 They're all used and I do have a collection of antique race  
3 cars and motorcycles and, you know, this and that and I want  
4 to house them all there under roof. I don't want to have to  
5 be forced to keep this stuff outside. That's kind of  
6 ridiculous, you know, to be able to keep my stuff outside.

7 I mean, I don't mind keeping a tractor under a  
8 tarp, but my valuable possessions, and that's what I -- you  
9 know, that's really why I want to build this building. I  
10 have no intention of storing construction equipment, lumber,  
11 delivery trucks, any of this other stuff inside this  
12 building. I'm not going to be running a construction  
13 company out of this site. This is going to be my house  
14 where I'm going to be living and I want peace and quiet just  
15 like everybody else. I want to be able to ride horses  
16 again, which I used to do in my youth. And that's basically  
17 where I'm coming from.

18 So, I've written this letter to counter, you know,  
19 the uproar of the neighborhood. They're thinking that I'm  
20 going to be building some kind of a -- a lumber storage  
21 facility/building which is not the case. This is just to  
22 store my cars and my woodworking tools and my -- and really  
23 if you're looking at this building here, it's a pretty small  
24 building in comparison to the site. I have an 88,000 square  
25 foot lot. The building I'm talking about building is 41 by

1 66. If you take the number -- if you can calculate that,  
2 the numbers come out to 2.8 percent of the 88,000 square  
3 feet. Two point eight percent. That is nothing. That is  
4 absolutely nothing.

5 Today's developers -- builders are taking postage  
6 stamp lots in Arlington, Bethesda, Chevy Chase, Vienna --  
7 you name it -- and they're putting huge mansions on them and  
8 they're covering 35 percent area of the lot. All my  
9 buildings combined; the house, the barn, and the garage I'm  
10 not even going to be covering five percent of the land. I'm  
11 not covering anything. Basically, this is an uproar over  
12 nothing. I'm not covering any area. I just want to be able  
13 to store my stuff and that's it.

14 MS. ANAHTAR: Excuse me. Can I say something?

15 MS. VELASQUEZ: Yes.

16 MS. ANAHTAR: I think the point is not the size of  
17 the building, but rather what the look. It looks too  
18 industrial for -- historic --

19 MR. CHRETIEN: Okay, now I have no problem -- I  
20 have no problems with changing the looks of it, but it did  
21 turn out to be this size because in the past it was  
22 recommended that I build a 20 by 30. You can't even park  
23 one car in a 20-foot depth building. So, you're talking  
24 about three cars that have to be very compact by the time  
25 you take -- for the walls and everything, you're talking

1 about parking three VW's in there.

2 MS. ANAHTAR: Yeah, but with this design and  
3 proportions, it looks big.

4 MR. CHRETIEN: Right.

5 MS. ANAHTAR: And it's not pleasing at all.

6 MR. CHRETIEN: Okay. Yeah, I understand. But it  
7 will be completely covered and nobody will see it. It will  
8 be in the gully. It will be in the gorge. And if you want  
9 -- you know, I don't mind to going to more expensive type  
10 siding or whatever, you know. Metal happened to --

11 MR. HARBIT: What I hear you saying is that you  
12 don't have a problem with the material selection --

13 MR. CHRETIEN: I do have a problem, but in order  
14 to -- I understand that I'm in a historic district even  
15 though there's nothing there yet. I haven't put anything  
16 there yet. I'm just trying to get permission to build this  
17 thing in order to be able to house my equipment -- my  
18 vehicles and my equipment.

19 Now, metal happens to be the cheapest way to go,  
20 you know. Putting something like out of oak, you're talking  
21 about a lot of money because it's a lot more labor intensive  
22 and the materials cost a lot more. But I'm willing to  
23 listen to reason in order to be able to get, you know, what  
24 I want, which is --

25 MR. BURSTYN: That's kind of the line. I'm Lee

1     Burstyn; I'm new to the Commission so I wasn't here when you  
2     were here before in April, so I'm hearing this new and what  
3     I'm hearing from you is that you've got a lot of important  
4     stuff to store. And when I look at this shed -- and I can  
5     ask you, and since it's automobiles -- is this a Ferrari-  
6     type shed or is this a Kia-type shed, and to me it looks  
7     more like the Kia-type shed. And you have the opportunity,  
8     since you're in the construction business, to really do a  
9     nice building that conforms to the area if you chose to do  
10    so and it would be more of a showplace instead of something  
11    behind the bushes.

12                 MR. CHRETIEN: Well, the problem with wood -- and  
13    I'll be perfectly frank with you -- it looks great when it's  
14    first put up, but if it's not maintained, it looks like you  
15    know what, and I don't want to use that word tonight. But  
16    it starts to deteriorate as far as the -- the attractiveness  
17    is concerned. So, that's why most buildings like this are  
18    metal. But I'm willing to listen to the Commission tonight  
19    and -- I don't have any choice basically. I'm planning on  
20    building in an area that's protected by the Historic  
21    Preservation Committee, so I have to listen. And I'm  
22    willing to basically do it out of wood. It's a lot more  
23    expensive for me to put it -- to put the building in out of  
24    wood. A lot more. We're not talking about \$1,000 here or  
25    \$2,000 --



1 MR. BURSTYN: You also have important things in  
2 there. Like I said you're concerned about not just want it  
3 looks like when it's brand new, but how it's going to look  
4 in the future and how it's going to enhance the historic  
5 area instead of subtract from it.

6 MR. CHRETIEN: I understand.

7 MR. BURSTYN: And it's your choice and as  
8 especially a contractor to pick something that is compatible  
9 with the area like I said is very nice to keep your nice  
10 stuff.

11 MR. CHRETIEN: Yeah, I've got nice stuff, but a  
12 lot of this nice stuff gets manufactured in metal buildings,  
13 believe it or not. The metal buildings are the most  
14 economical way to get the square footage, and they're not  
15 using wood buildings in order to manufacture these expensive  
16 items. So, we're trying to protect these items from the  
17 elements. Moisture is really a damaging factor and if  
18 you're building something out of board-and-batten, you have  
19 moisture penetration, so you have to put a sub-sheathing  
20 with a vapor barrier before you put the board-and-batten on,  
21 so you've got three layers versus just the metal --

22 MR. BURSTYN: Well --

23 MS. VELASQUEZ: Excuse me just for a second. I  
24 think we're getting off track here. This is a  
25 reconsideration of a denial to build a building in the first

1 place.

2 MR. CHRETIEN: Right, that's correct.

3 MS. VELASQUEZ: I do not think we're even close to  
4 a stage as to what it should be made of, since at this point  
5 it is legally not going to be made, okay?

6 Now, can we address whether or not this building  
7 is appropriate for this site, given our previous hearings on  
8 it.

9 MS. WATKINS: I have one more item to add; that  
10 we're not allowed to take into consideration any plantings  
11 that you would use as screenings, because they -- the trees  
12 could die or whatever could happen to them. So, we really  
13 have to look at it as if there are -- there is no screening  
14 there from the neighbors.

15 MR. CHRETIEN: Yeah, what if, you know, any trees  
16 that got -- that were dead would die within two or three  
17 years got replaced? I mean --

18 MS. WATKINS: Well, we just can't --

19 MS. WILLIAMS: We're judging the building -- value  
20 of the building; not how it's well hidden behind --

21 MR. FULLER: From my perspective, I mean Boyds is  
22 an area you have houses, you have working people, and you  
23 had a lot of their places where they worked side by side.  
24 The size of the building doesn't bother me too badly. It is  
25 an issue of what -- the design and the way it feels. So, if

1 the fact that if you feel you need a 40 by 60 facility, I  
2 don't really have a major problem with that so long as it's  
3 set appropriately on the property and that it looks like  
4 it's harmonious with the neighborhood.

5 I don't disagree with the Commissioners that a  
6 metal skinned building probably is not necessarily the right  
7 thing. I don't have a problem with a metal roof per se, but  
8 I really think it's the design of the building that I'm not  
9 happy with the way it's being proposed right now. It's a  
10 very streamlined ranch looking facility stuck in behind your  
11 property. You know, it could even be more prominent and  
12 made a feature of the overall property. I don't have a  
13 problem -- I don't feel it has to be hidden. I just think  
14 that it has to be something that feels like it fits together  
15 with the overall property, and I don't think we're there  
16 right now.

17 MR. HARBIT: I would agree. I don't think we're  
18 trying to deny you the use of your property. What we are  
19 trying to do is to make sure that the scale and massing of  
20 what gets built there and the materials that are used are  
21 appropriate for a historic district. A long wide flat  
22 narrow metal shed doesn't work in this neighborhood in this  
23 historic district.

24 I think we would be open to considering a  
25 different scale and massing, as Staff has recommended, and

1 that the material be wood, which is consistent with the  
2 historic district. But what I hear you saying is that you  
3 are requesting that we reconsider our denial of the Quonset  
4 hut style metal building/garage that you had proposed.

5 Is that right?

6 MR. CHRETIEN: The only -- the only --

7 MR. HARBIT: So that the request is that we  
8 reconsider that denial.

9 MS. WILLIAMS: Correct.

10 MS. VELASQUEZ: That's correct. You're asking  
11 that we reconsider the denial of that particular  
12 application, is that correct?

13 MR. CHRETIEN: I don't know if I --

14 MS. VELASQUEZ: I mean, you are not submitting a  
15 new application tonight. You are saying --

16 MR. CHRETIEN: No, I --

17 MS. VELASQUEZ: -- this is the application I  
18 submitted before --

19 MR. CHRETIEN: Right.

20 MS. VELASQUEZ: -- and your answer didn't make me  
21 happy, so could you revisit this, is that correct?

22 MR. CHRETIEN: The only -- I don't mind  
23 redesigning any way you'd like it with any type of skin you  
24 like it, but I do need the square footage, and the 20 by 30  
25 that was proposed is completely unacceptable.

1 MR. HARBIT: I would suggest that you work with  
2 Staff to figure out how much floor area of storage you need  
3 and work with Staff to come up with a building or a  
4 collection of buildings that are appropriately placed and  
5 appropriately scaled and built out of the appropriate  
6 materials for this historic district. And --

7 MS. WILLIAMS: And then --

8 MR. HARBIT: -- bring that application --

9 MS. VELASQUEZ: And that would be a new  
10 application.

11 MR. HARBIT: Because then we'll have --

12 MS. VELASQUEZ: It would be a whole new  
13 application.

14 MR. HARBIT: Then we'll have something that you  
15 could --

16 MS. VELASQUEZ: And then your neighbors would have  
17 a chance to speak to that again, as they did the last time.

18 MR. CHRETIEN: All right, I don't follow what I'm  
19 -- what you're requesting. I need -- I need --

20 MS. VELASQUEZ: Okay, what we need to do -- okay,  
21 let's take this in order. First of all, we need a motion on  
22 this request for reconsideration and then we can go on with  
23 further ideas for the applicant.

24 MR. FULLER: I'll make a motion to deny the  
25 request.

1 MS. WILLIAMS: Second.

2 MS. VELASQUEZ: All right, those in favor of the  
3 motion, please raise your right hand. The motion passes  
4 unanimately.

5 Now, I think what we were hearing is if you would  
6 like to work with Staff or your own architect or whoever to  
7 come up with a different plan for a different building on  
8 your property, you can submit a new application for  
9 something that you think would be more acceptable to the  
10 Commission and the neighbors.

11 MR. CHRETIEN: Now, am I hearing that the size is  
12 a problem? Is that what I'm hearing or is it --

13 MS. VELASQUEZ: The design, the siding, just about  
14 everything is wrong with that from what I heard all the  
15 Commissions stating --

16 MS. WRIGHT: I think what I am hearing is the  
17 Commissioners are saying they can foresee a design where the  
18 site -- a design where the size, the square footage you're  
19 looking for, might be doable. But it needs to be a  
20 differently designed building. I mean, maybe it's an L-  
21 shaped building. Maybe it's two buildings. But it isn't  
22 necessarily one -- the one building you proposed to date.  
23 The square footage doesn't seem to be the problem.

24 MS. WILLIAMS: Well, I wouldn't say that  
25 necessarily. It may not be a problem, but it could very

1 well also be a problem. I mean, we can't judge it on what  
2 you've given us today, because it's not appropriately  
3 designed. But if you come back with something more  
4 appropriately designed -- a larger scale building than what  
5 we had recommended at the last hearing -- maybe it's  
6 acceptable, but it may not be acceptable as well.

7 MS. VELASQUEZ: Okay, I think we've given you some  
8 guidance. Staff is usually always ready to help you and I  
9 think you'll find they're an enormous wealth --

10 MR. CHRETIEN: Right. I don't -- I don't follow  
11 exactly where we're going to go with this, as far as the  
12 style of the building is going to be concerned. I'm willing  
13 to redesign the building, you know, to try to satisfy all of  
14 you, but -- but --

15 MS. VELASQUEZ: You just have to satisfy most of  
16 us.

17 MS. WILLIAMS: One thing you need to keep in mind,  
18 too, is that this was previously unimproved property within  
19 a historic district. You came before us for construction of  
20 a new house, which we approved with some conditions. You're  
21 coming to us again with now a barn -- or, a storage facility  
22 that's bigger than the house that we approved. How many  
23 more applications are you going to present on this  
24 previously rural open space. It should have been presented  
25 as a master plan so that we know what we're looking at. And

1 it's not part -- it's not in keeping with the historic  
2 character of the neighborhood.

3 MS. NARU: Ms. Williams, I'd like to clarify. He  
4 got approval for a house and a barn --

5 MS. VELASQUEZ: Right.

6 MS. NARU: -- both of which were approved.

7 MR. CHRETIEN: Right, and no garage, no storage  
8 area, nothing.

9 MS. WILLIAMS: Because you converted your garage  
10 into a living room.

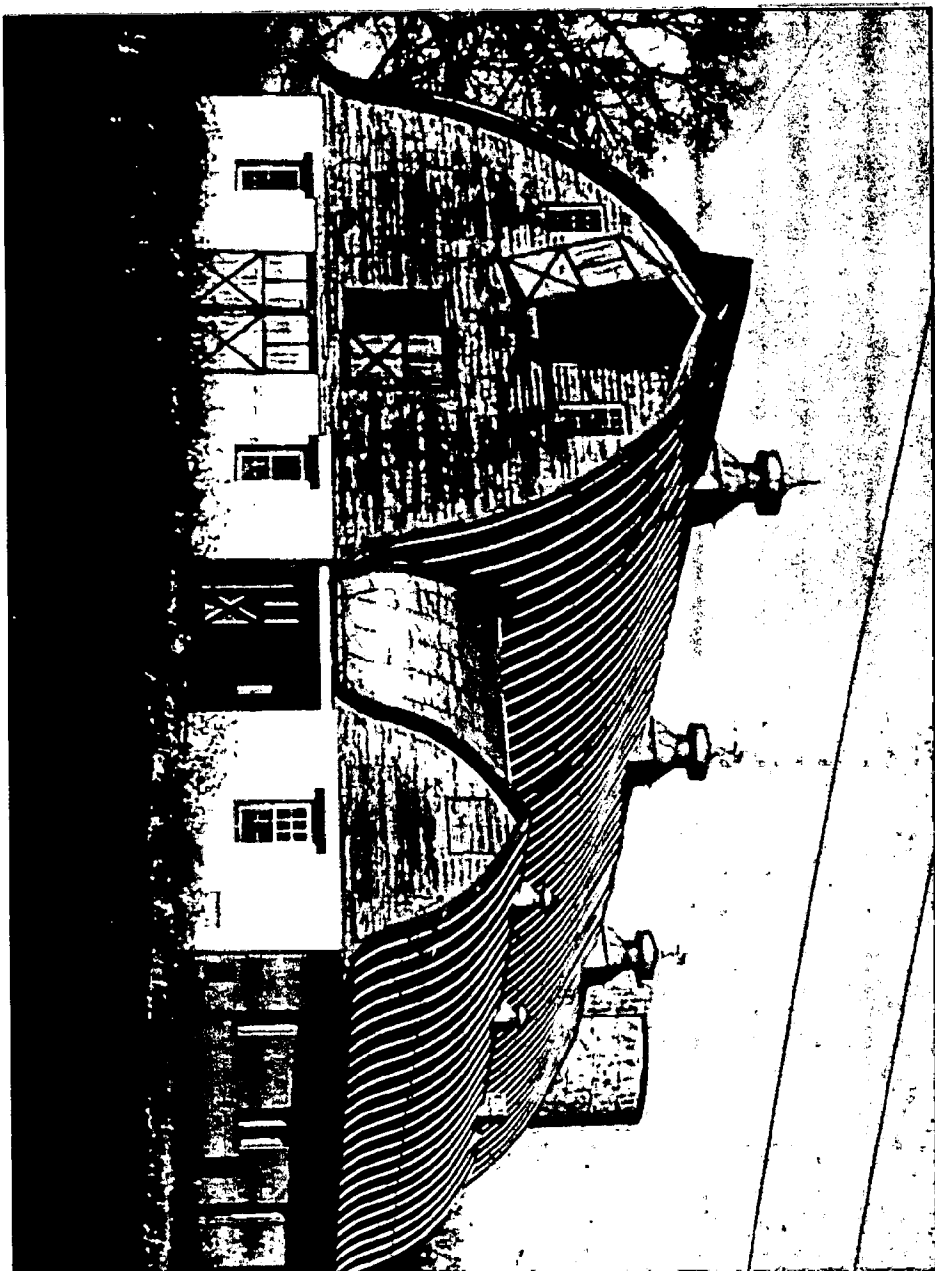
11 MR. CHRETIEN: That's correct. Right, so I've got  
12 no place to put my stuff.

13 MS. VELASQUEZ: Okay, I've got to keep this  
14 moving. I've got a public hearing starting shortly. Thank  
15 you for your time and please, just consult with Staff when  
16 you need -- when you have questions.

17 The next case is Case G, Debra and Al Forst for  
18 new construction in Germantown. Is there a Staff report?

19 MS. NARU: I am going to just not give a Staff  
20 report and just ask if you have any questions regarding the  
21 project and bring the applicants up. I think that we've  
22 heard this as a preliminary consultation and I personally  
23 don't think you need to hear from me again. I do have the  
24 photos that I presented the last time and I'm happy to show  
25 those to you as well.

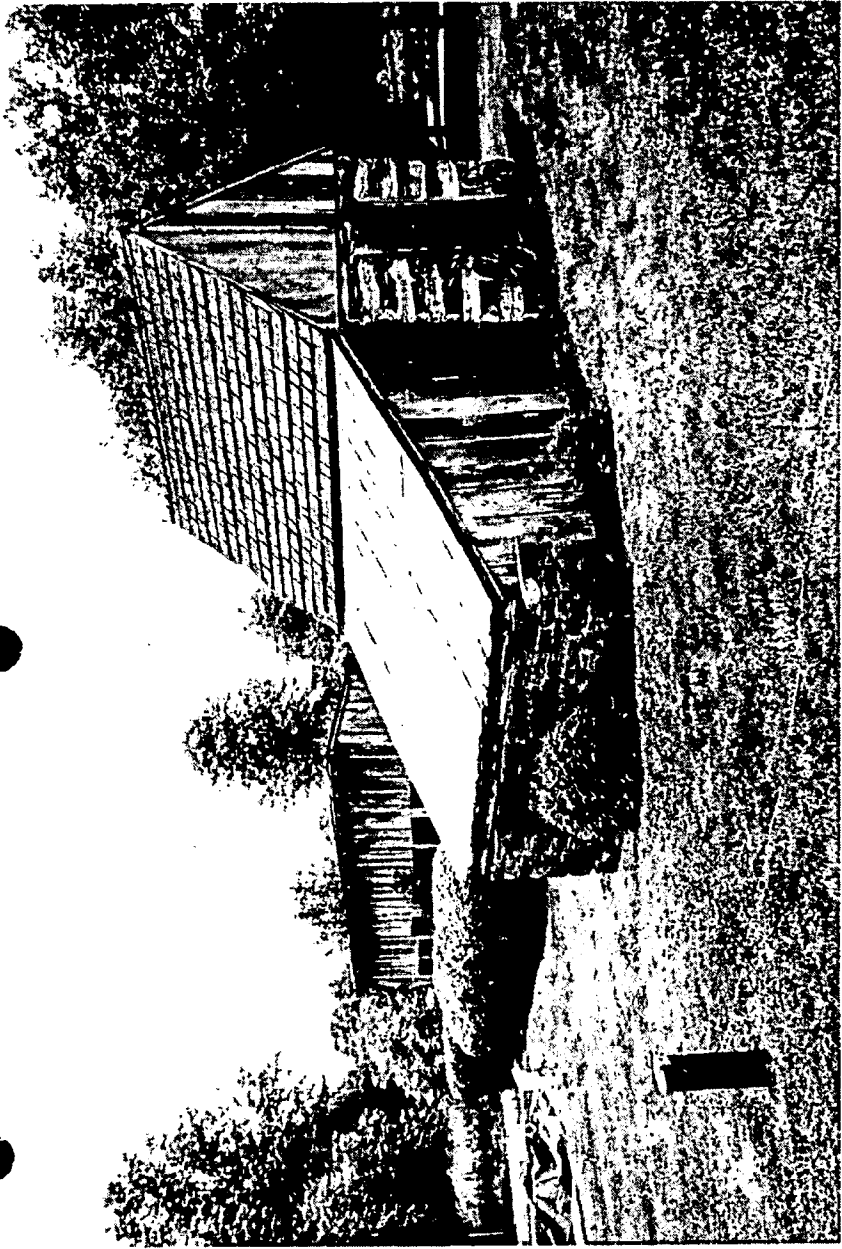




12/31 LAWRENCE WYTHE BARN

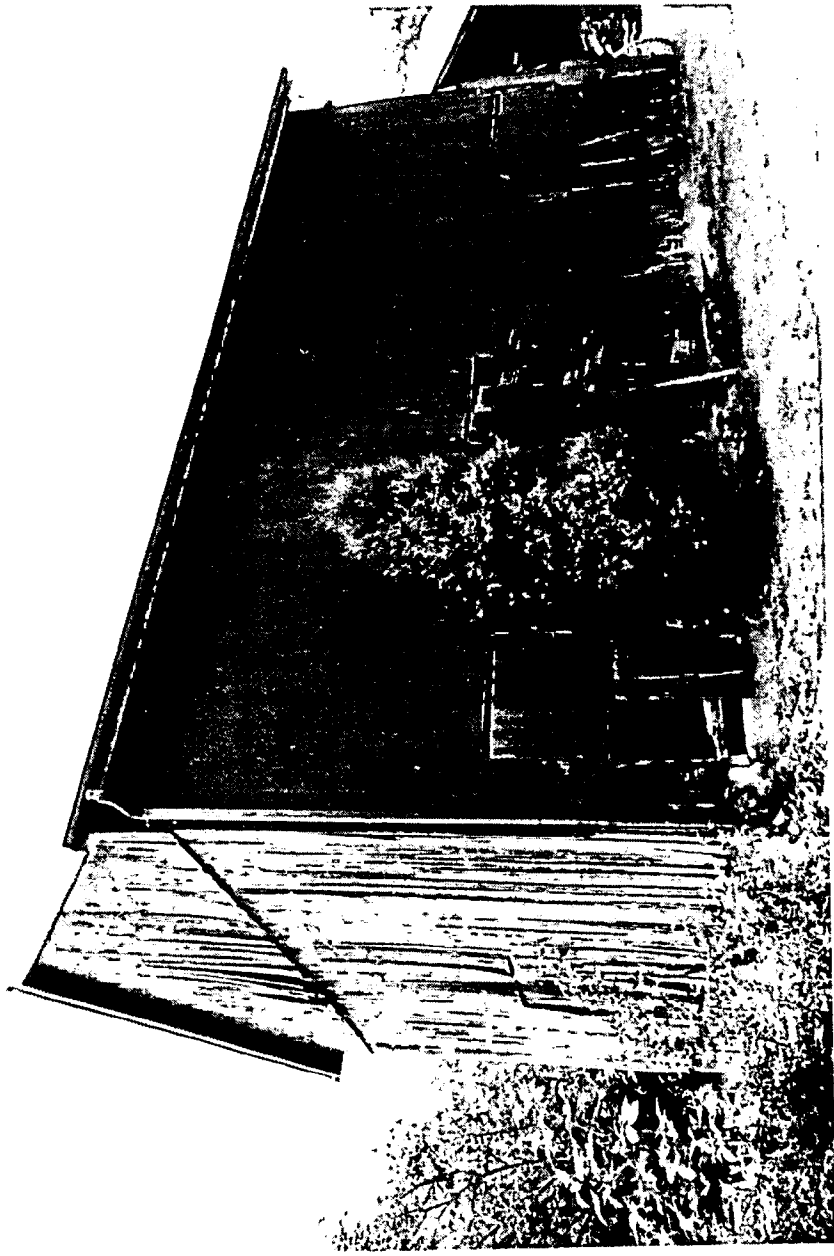
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62



↑ Smokehouse  
↓ Barn ↓

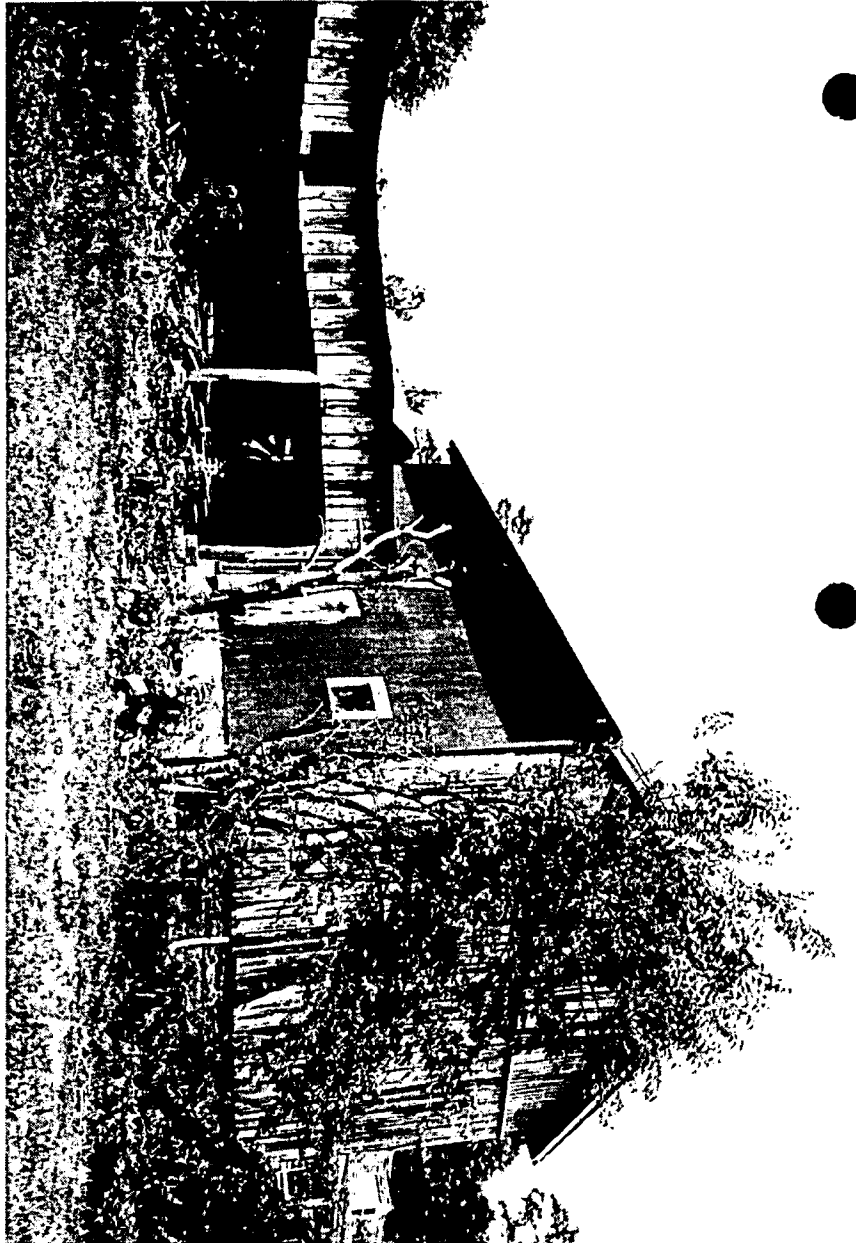
Old Chiswell Place 17/9

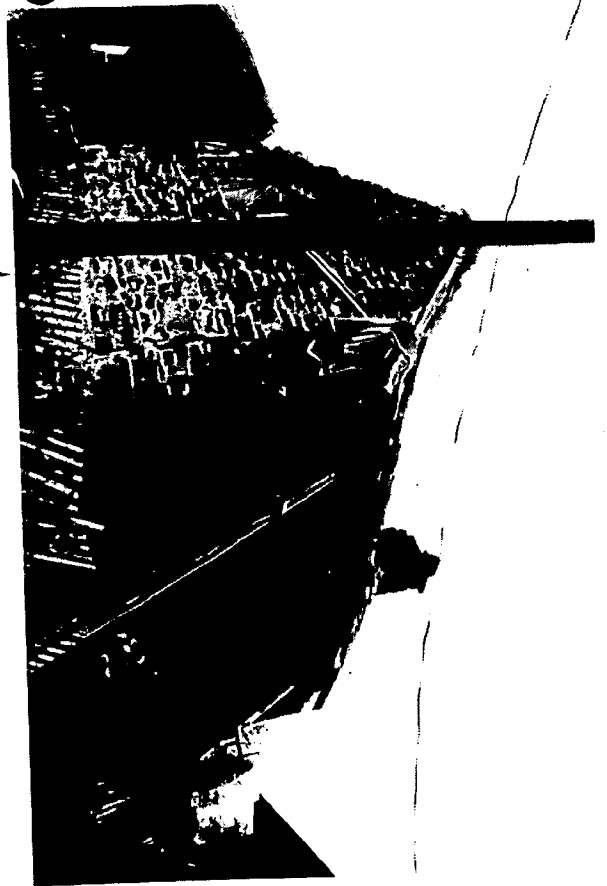
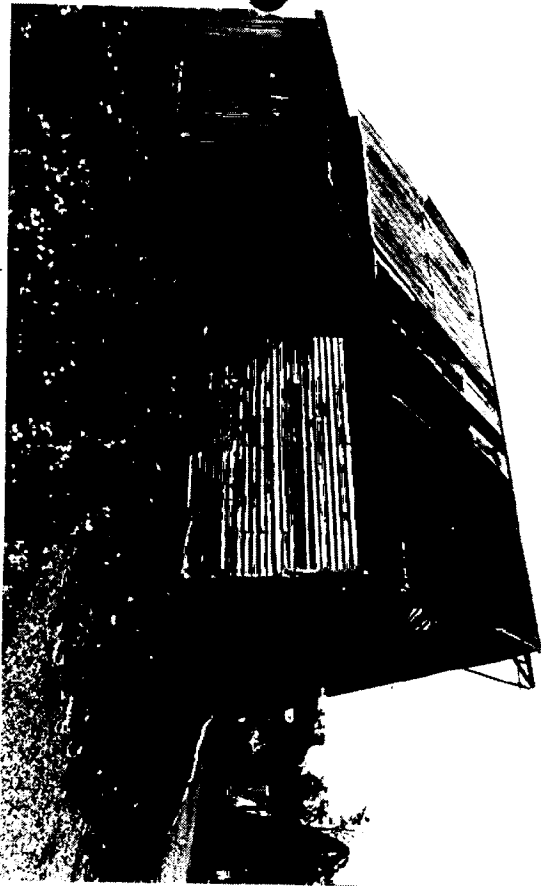




Old Chiswell Place

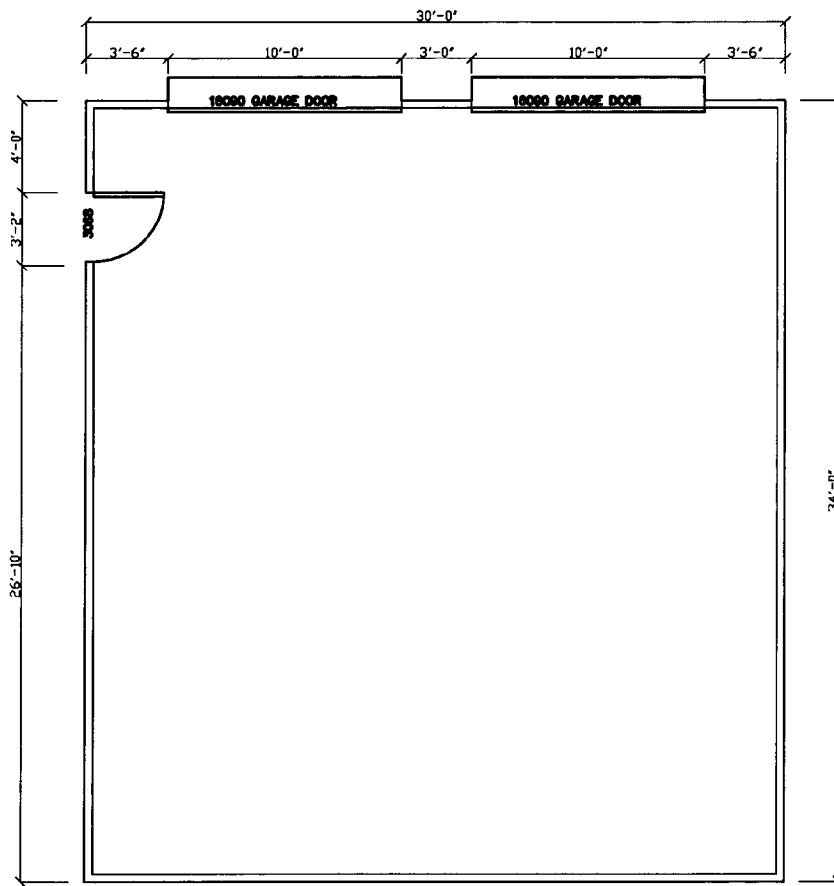
Barn & looting shed



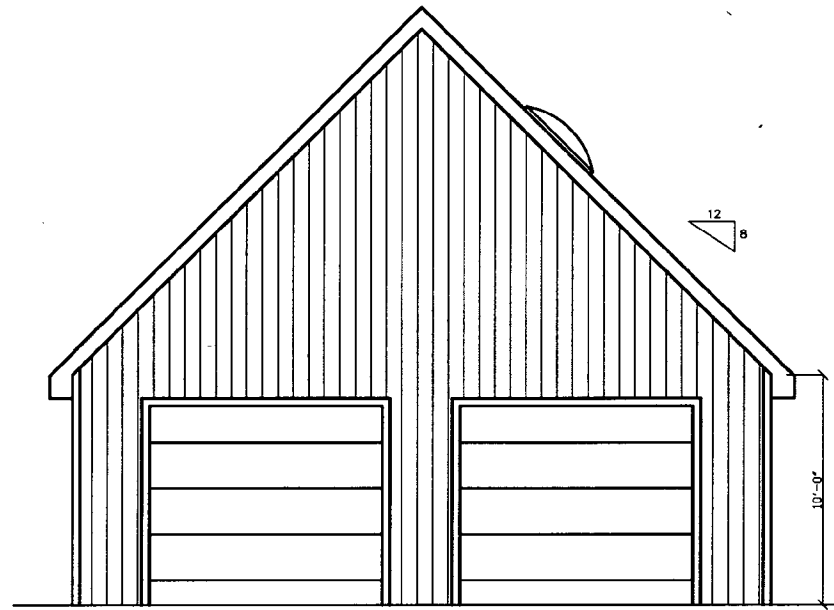


Darnall Place (18/21)



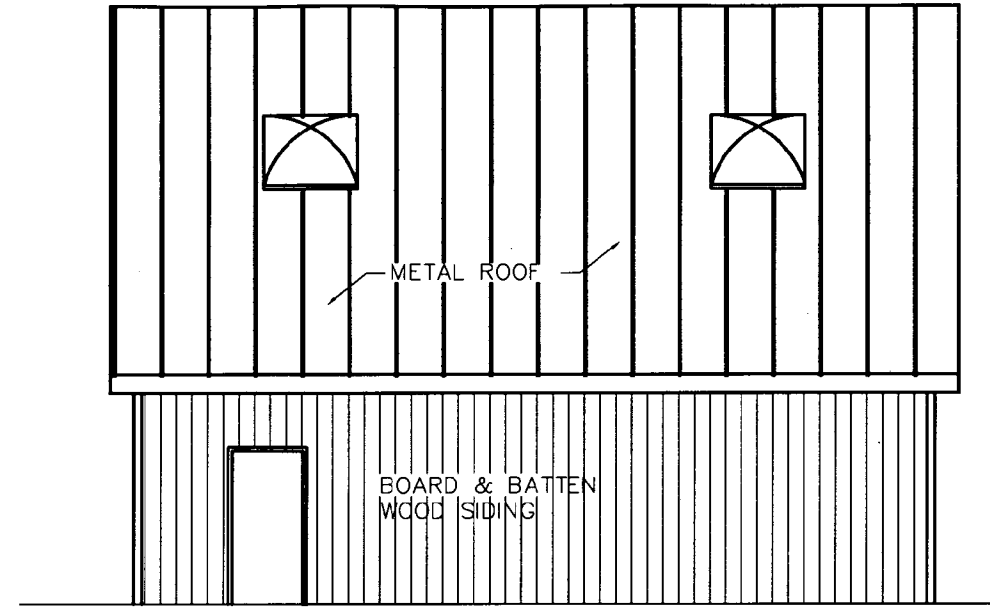


FLOOR PLAN  
1/4" = 1'-0"



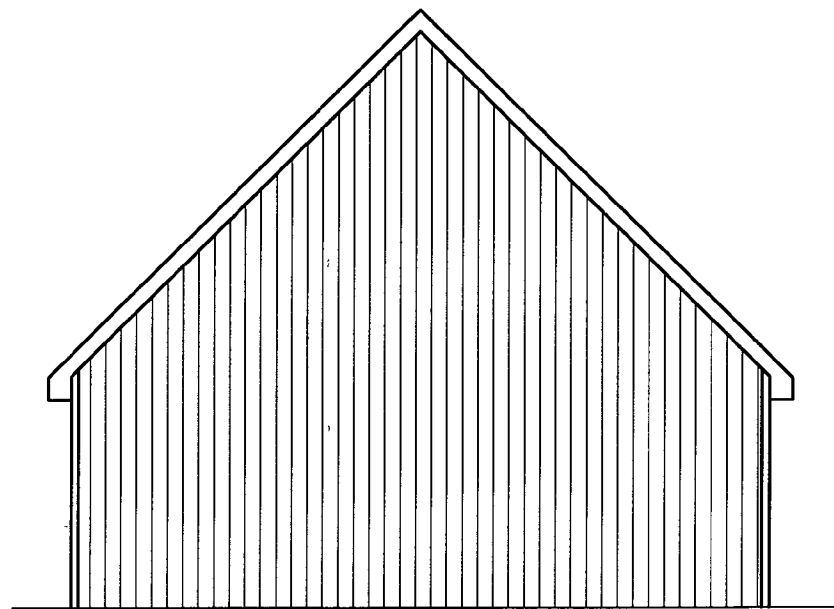
FRONT ELEVATION

1/4" = 1'-0"



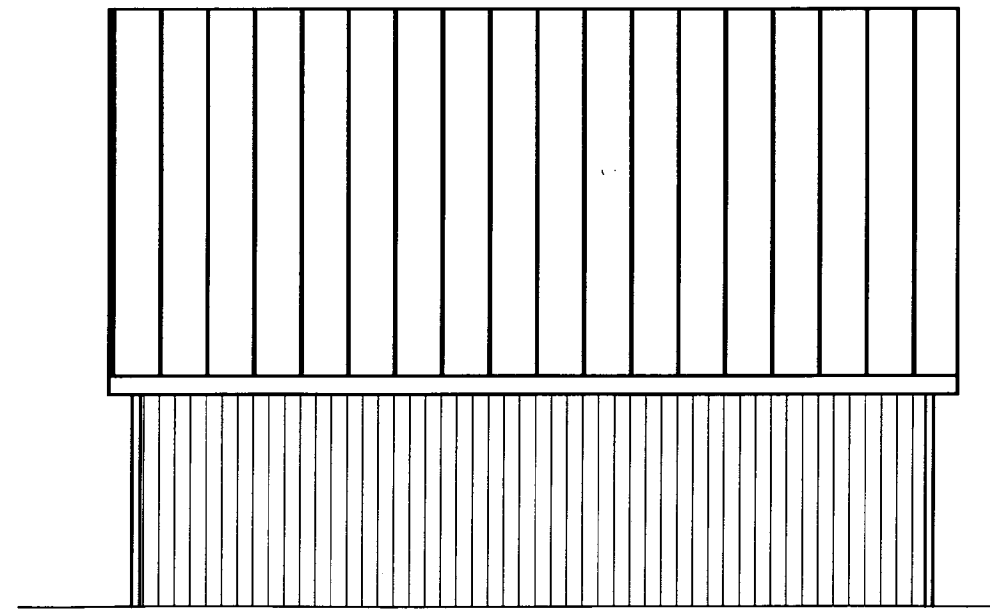
RIGHT ELEVATION

1/4" = 1'-0"



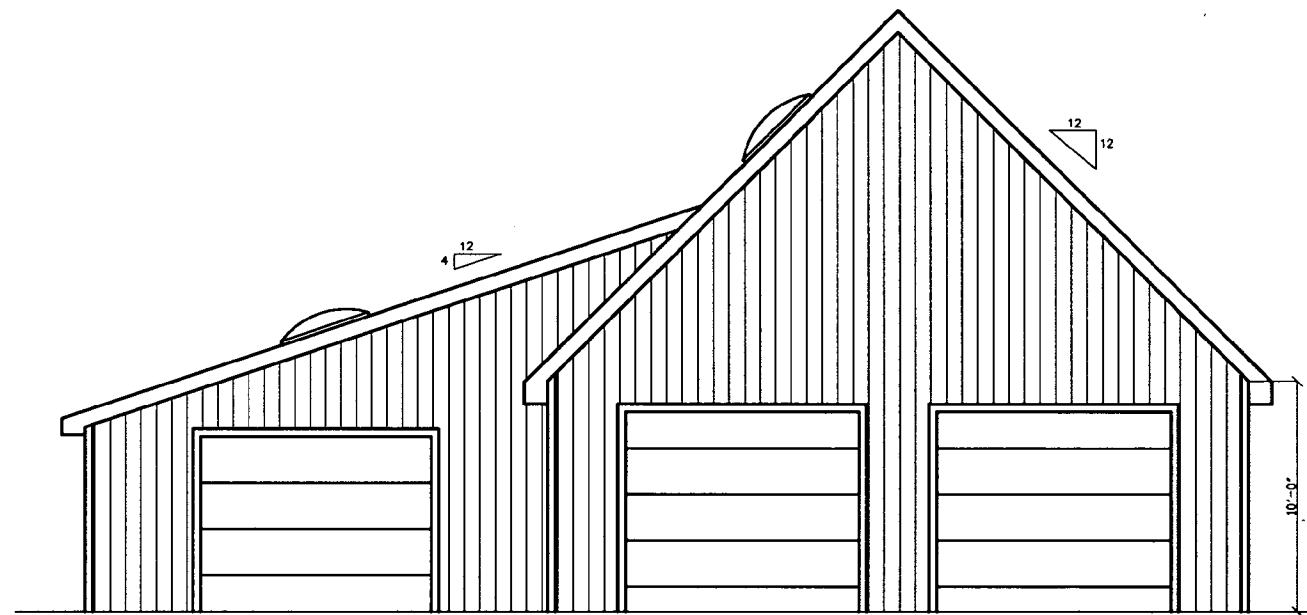
REAR ELEVATION

1/4" = 1'-0"

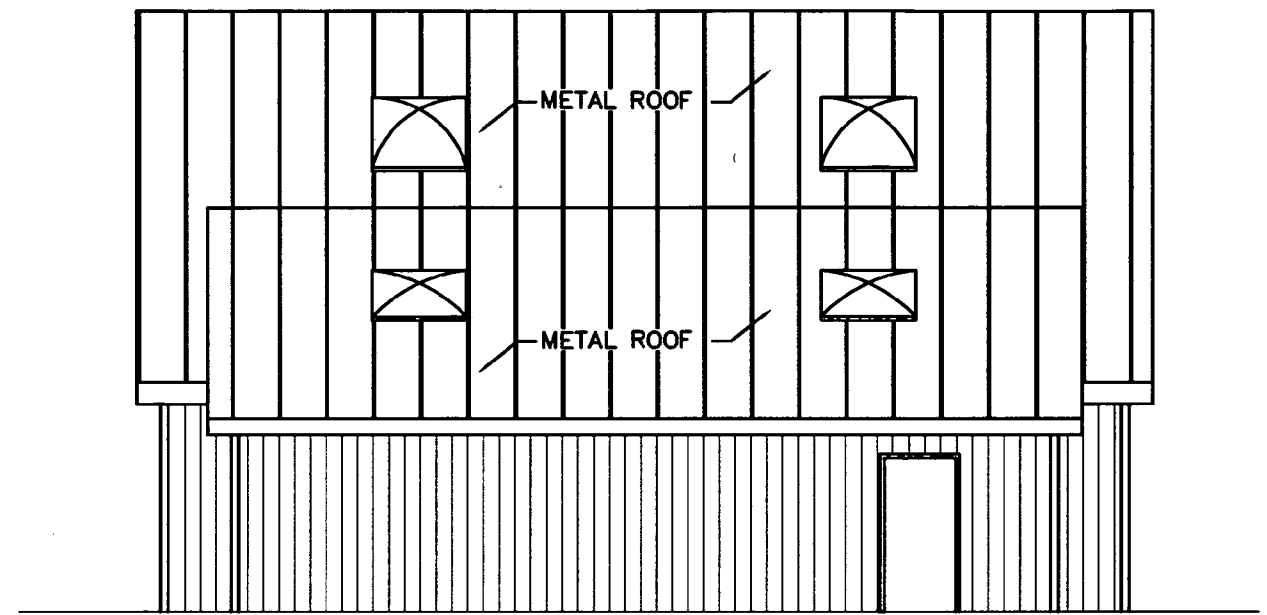


LEFT ELEVATION

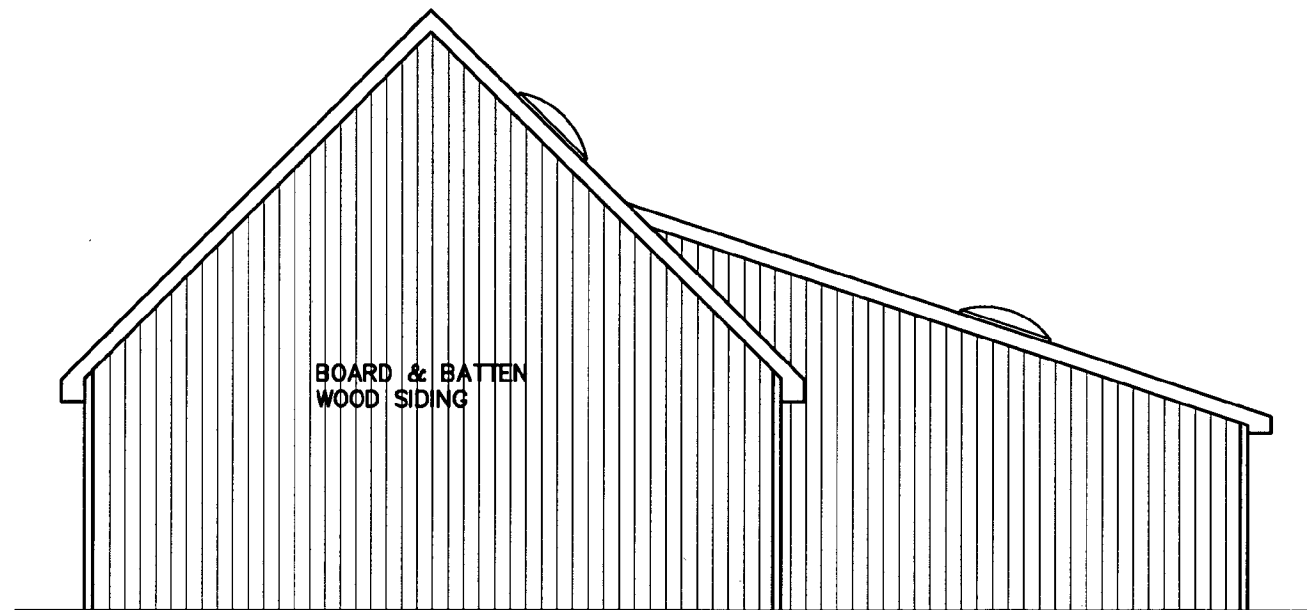
1/4" = 1'-0"



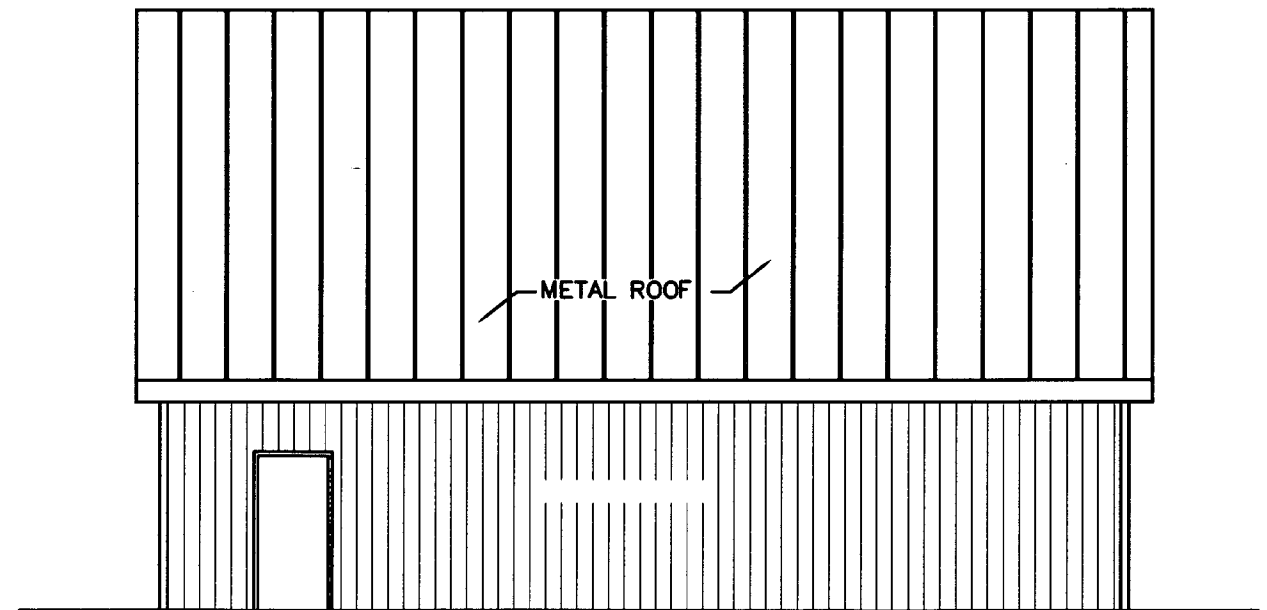
FRONT ELEVATION  
1/4" = 1'-0"



RIGHT ELEVATION  
1/4" = 1'-0"



REAR ELEVATION  
1/4" = 1'-0"



LEFT ELEVATION  
1/4" = 1'-0"

FLOOR PLAN  
1/4" = 1'-0"





1. L. 2.
2. W. 3. Co. 4. 5. 6. 7. 8. 9. 10. 11. 12. 13. 14. 15. 16. 17. 18. 19. 20. 21. 22. 23. 24. 25. 26. 27. 28. 29. 30. 31. 32. 33. 34. 35. 36. 37. 38. 39. 40. 41. 42. 43. 44. 45. 46. 47. 48. 49. 50. 51. 52. 53. 54. 55. 56. 57. 58. 59. 60. 61. 62. 63. 64. 65. 66. 67. 68. 69. 70. 71. 72. 73. 74. 75. 76. 77. 78. 79. 80. 81. 82. 83. 84. 85. 86. 87. 88. 89. 90. 91. 92. 93. 94. 95. 96. 97. 98. 99. 100. 101. 102. 103. 104. 105. 106. 107. 108. 109. 110. 111. 112. 113. 114. 115. 116. 117. 118. 119. 120. 121. 122. 123. 124. 125. 126. 127. 128. 129. 130. 131. 132. 133. 134. 135. 136. 137. 138. 139. 140. 141. 142. 143. 144. 145. 146. 147. 148. 149. 150. 151. 152. 153. 154. 155. 156. 157. 158. 159. 160. 161. 162. 163. 164. 165. 166. 167. 168. 169. 170. 171. 172. 173. 174. 175. 176. 177. 178. 179. 180. 181. 182. 183. 184. 185. 186. 187. 188. 189. 190. 191. 192. 193. 194. 195. 196. 197. 198. 199. 200. 201. 202. 203. 204. 205. 206. 207. 208. 209. 210. 211. 212. 213. 214. 215. 216. 217. 218. 219. 220. 221. 222. 223. 224. 225. 226. 227. 228. 229. 230. 231. 232. 233. 234. 235. 236. 237. 238. 239. 240. 241. 242. 243. 244. 245. 246. 247. 248. 249. 250. 251. 252. 253. 254. 255. 256. 257. 258. 259. 260. 261. 262. 263. 264. 265. 266. 267. 268. 269. 270. 271. 272. 273. 274. 275. 276. 277. 278. 279. 280. 281. 282. 283. 284. 285. 286. 287. 288. 289. 290. 291. 292. 293. 294. 295. 296. 297. 298. 299. 300. 301. 302. 303. 304. 305. 306. 307. 308. 309. 310. 311. 312. 313. 314. 315. 316. 317. 318. 319. 320. 321. 322. 323. 324. 325. 326. 327. 328. 329. 330. 331. 332. 333. 334. 335. 336. 337. 338. 339. 340. 341. 342. 343. 344. 345. 346. 347. 348. 349. 350. 351. 352. 353. 354. 355. 356. 357. 358. 359. 360. 361. 362. 363. 364. 365. 366. 367. 368. 369. 370. 371. 372. 373. 374. 375. 376. 377. 378. 379. 380. 381. 382. 383. 384. 385. 386. 387. 388. 389. 390. 391. 392. 393. 394. 395. 396. 397. 398. 399. 400. 401. 402. 403. 404. 405. 406. 407. 408. 409. 410. 411. 412. 413. 414. 415. 416. 417. 418. 419. 420. 421. 422. 423. 424. 425. 426. 427. 428. 429. 430. 431. 432. 433. 434. 435. 436. 437. 438. 439. 440. 441. 442. 443. 444. 445. 446. 447. 448. 449. 450. 451. 452. 453. 454. 455. 456. 457. 458. 459. 460. 461. 462. 463. 464. 465. 466. 467. 468. 469. 470. 471. 472. 473. 474. 475. 476. 477. 478. 479. 480. 481. 482. 483. 484. 485. 486. 487. 488. 489. 490. 491. 492. 493. 494. 495. 496. 497. 498. 499. 500. 501. 502. 503. 504. 505. 506. 507. 508. 509. 510. 511. 512. 513. 514. 515. 516. 517. 518. 519. 520. 521. 522. 523. 524. 525. 526. 527. 528. 529. 530. 531. 532. 533. 534. 535. 536. 537. 538. 539. 540. 541. 542. 543. 544. 545. 546. 547. 548. 549. 550. 551. 552. 553. 554. 555. 556. 557. 558. 559. 560. 561. 562. 563. 564. 565. 566. 567. 568. 569. 570. 571. 572. 573. 574. 575. 576. 577. 578. 579. 580. 581. 582. 583. 584. 585. 586. 587. 588. 589. 590. 591. 592. 593. 594. 595. 596. 597. 598. 599. 600. 601. 602. 603. 604. 605. 606. 607. 608. 609. 610. 611. 612. 613. 614. 615. 616. 617. 618. 619. 620. 621. 622. 623. 624. 625. 626. 627. 628. 629. 630. 631. 632. 633. 634. 635. 636. 637. 638. 639. 640. 641. 642. 643. 644. 645. 646. 647. 648. 649. 650. 651. 652. 653. 654. 655. 656. 657. 658. 659. 660. 661. 662. 663. 664. 665. 666. 667. 668. 669. 670. 671. 672. 673. 674. 675. 676. 677. 678. 679. 680. 681. 682. 683. 684. 685. 686. 687. 688. 689. 690. 691. 692. 693. 694. 695. 696. 697. 698. 699. 700. 701. 702. 703. 704. 705. 706. 707. 708. 709. 710. 711. 712. 713. 714. 715. 716. 717. 718. 719. 720. 721. 722. 723. 724. 725. 726. 727. 728. 729. 730. 731. 732. 733. 734. 735. 736. 737. 738. 739. 740. 741. 742. 743. 744. 745. 746. 747. 748. 749. 750. 751. 752. 753. 754. 755. 756. 757. 758. 759. 760. 761. 762. 763. 764. 765. 766. 767. 768. 769. 770. 771. 772. 773. 774. 775. 776. 777. 778. 779. 780. 781. 782. 783. 784. 785. 786. 787. 788. 789. 790. 791. 792. 793. 794. 795. 796. 797. 798. 799. 800. 801. 802. 803. 804. 805. 806. 807. 808. 809. 810. 811. 812. 813. 814. 815. 816. 817. 818. 819. 820. 821. 822. 823. 824. 825. 826. 827. 828. 829. 830. 831. 832. 833. 834. 835. 836. 837. 838. 839. 840. 841. 842. 843. 844. 845. 846. 847. 848. 849. 850. 851. 852. 853. 854. 855. 856. 857. 858. 859. 860. 861. 862. 863. 864. 865. 866. 867. 868. 869. 870. 871. 872. 873. 874. 875. 876. 877. 878. 879. 880. 881. 882. 883. 884. 885. 886. 887. 888. 889. 890. 891. 892. 893. 894. 895. 896. 897. 898. 899. 900. 901. 902. 903. 904. 905. 906. 907. 908. 909. 910. 911. 912. 913. 914. 915. 916. 917. 918. 919. 920. 921. 922. 923. 924. 925. 926. 927. 928. 929. 930. 931. 932. 933. 934. 935. 936. 937. 938. 939. 940. 941. 942. 943. 944. 945. 946. 947. 948. 949. 950. 951. 952. 953. 954. 955. 956. 957. 958. 959. 960. 961. 962. 963. 964. 965. 966. 967. 968. 969. 970. 971. 972. 973. 974. 975. 976. 977. 978. 979. 980. 981. 982. 983. 984. 985. 986. 987. 988. 989. 990. 991. 992. 993. 994. 995. 996. 997. 998. 999. 1000.

N/F RUFUS C & F.C. GILLIAM  
LIBER 1856 FOLIO 20

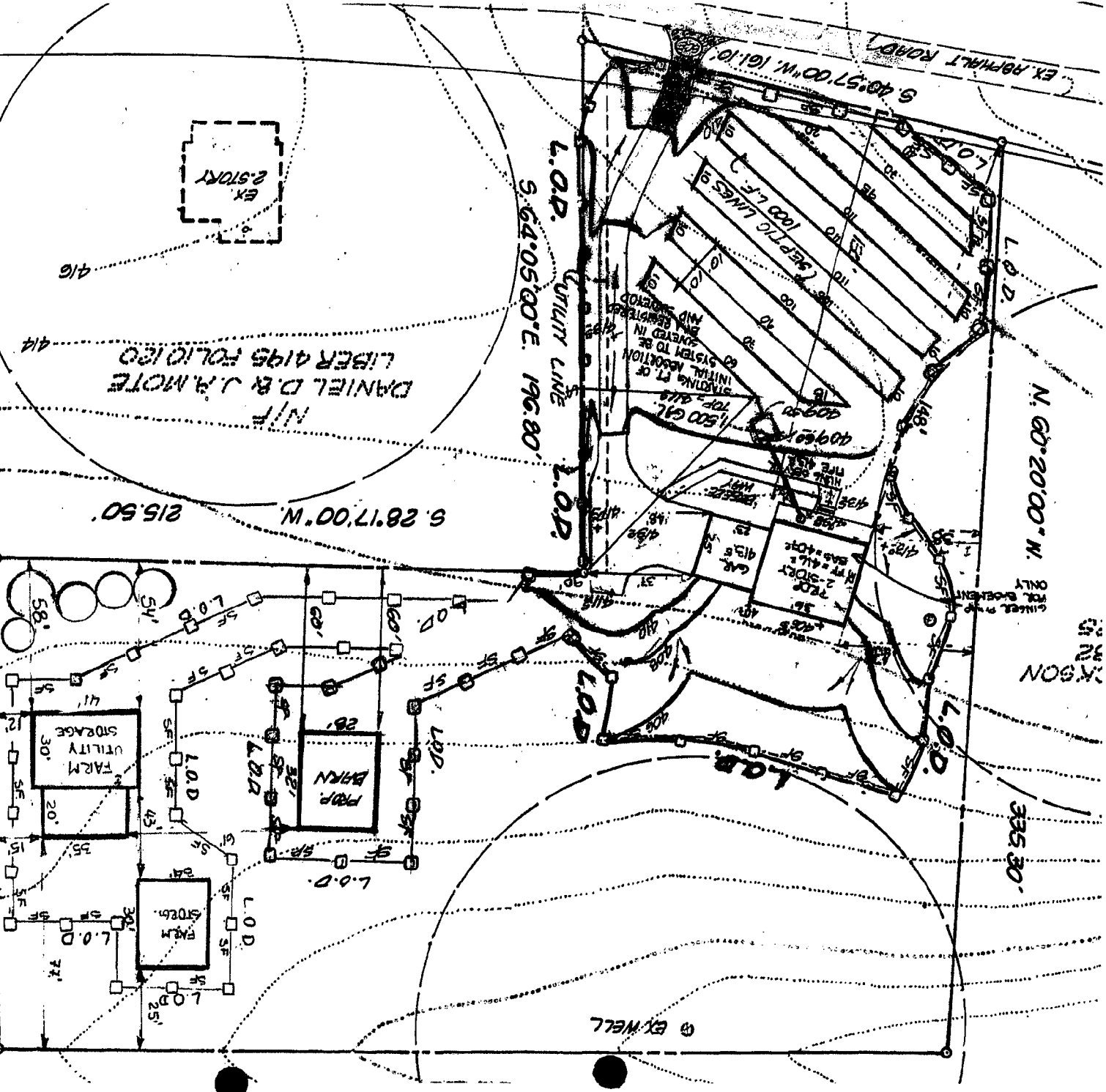
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S. 28' 17" 00" W. 215.50'

S. 64° 05' 00" E. 196.80'

N. 60° 20' 00" W.

335.30'



EX. WELL

JOHNSON

STANDARD F.T. OF INITIAL ASSOCIATION TO BE LAYED IN AND RECORDED AND APPROVED

7' 00" L.F. 100' LINES

EX. REPAIR T. ROAD 6. 40.57.00" W. 101.10'

410

408

58'

FARM UTILITY STORAGE

FARM BARN

FARM STORE

DANIEL D. & J. A. MOTE LIBER 4195 FOLIO 120

EX. 2-STORY

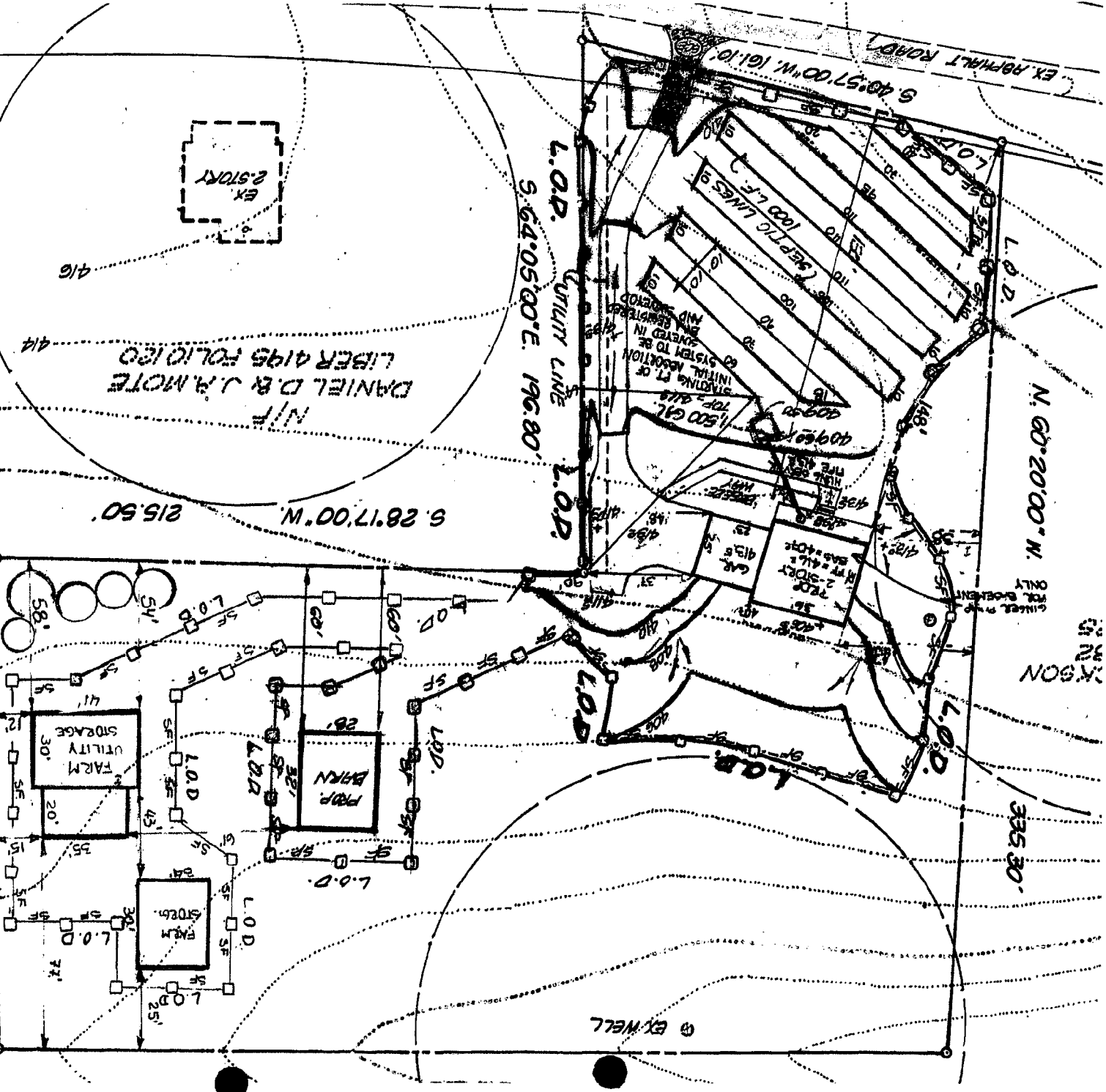
S. 28' 17" 00" W. 215.50'

S. 64° 05' 00" E. 196.80'

N. 60° 20' 00" W.

335.30'

S. 62° 28' 00" E. 181.73'



EX. WELL

JOHNSON

STANDARD F.T. OF INITIAL ASSOCIATION TO BE LAYED IN AND RECORDED AND APPROVED

7' 00" L.F. 100' LINES

EX. REPAIR T. ROAD 6. 40.57.00" W. 101.10'

410

408

58'

FARM UTILITY STORAGE

FARM BARN

FARM STORE

DANIEL D. & J. A. MOTE LIBER 4195 FOLIO 120

EX. 2-STORY

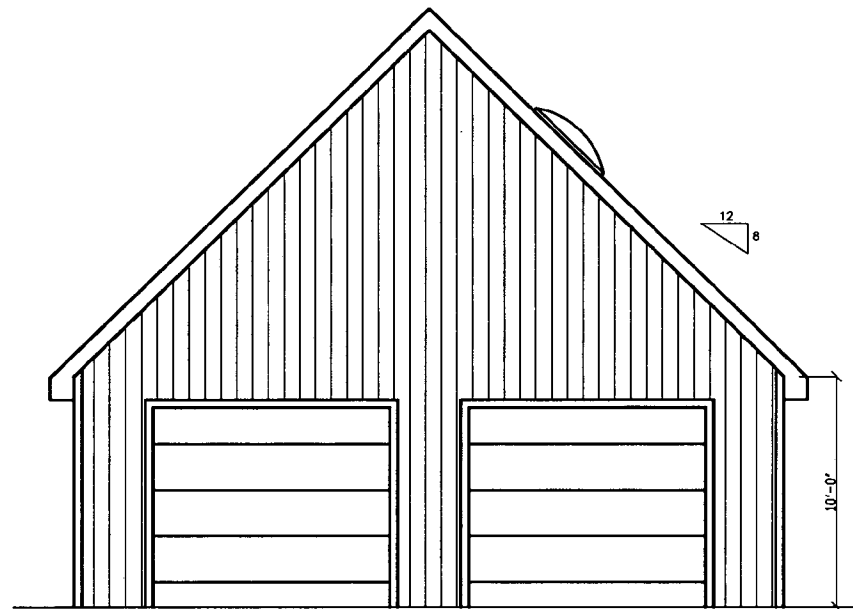
S. 28' 17" 00" W. 215.50'

S. 64° 05' 00" E. 196.80'

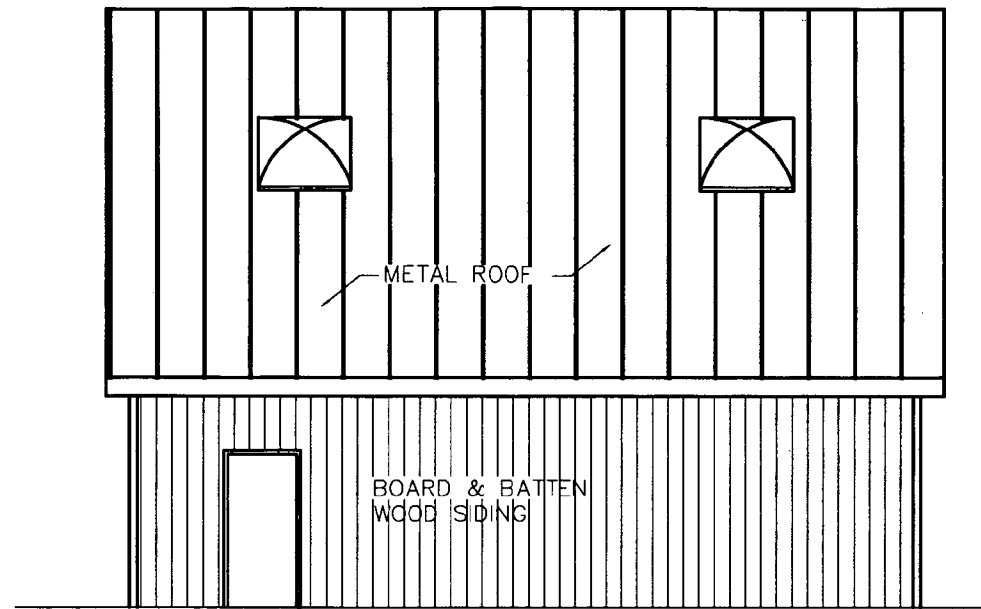
N. 60° 20' 00" W.

335.30'

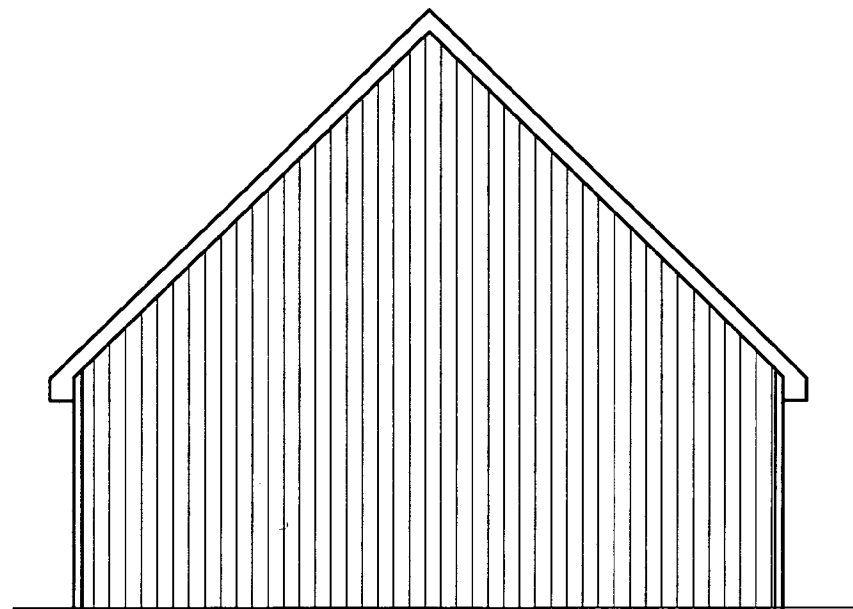
S. 62° 28' 00" E. 181.73'



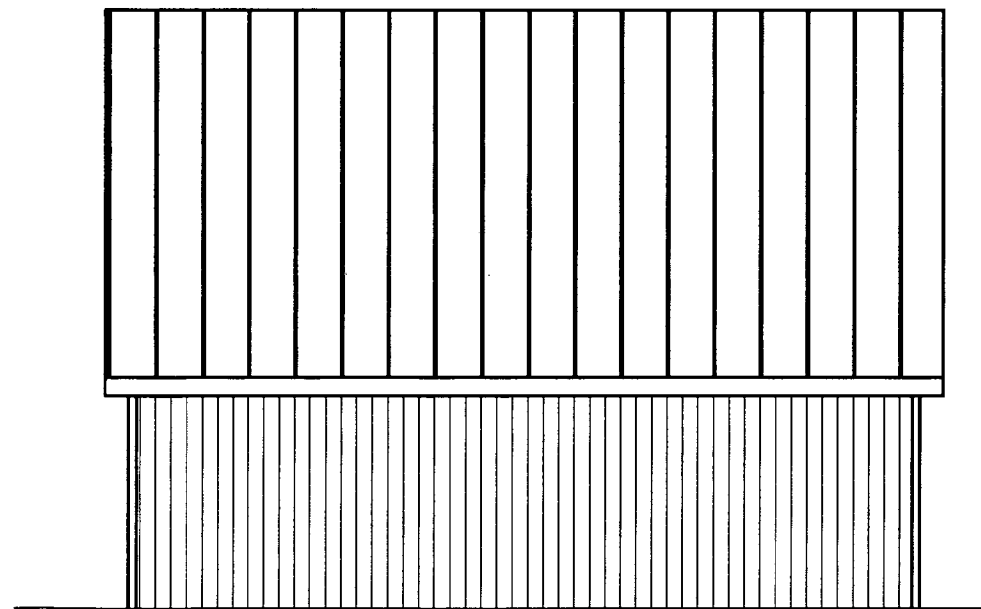
FRONT ELEVATION  
1/4" = 1'-0"



RIGHT ELEVATION  
1/4" = 1'-0"

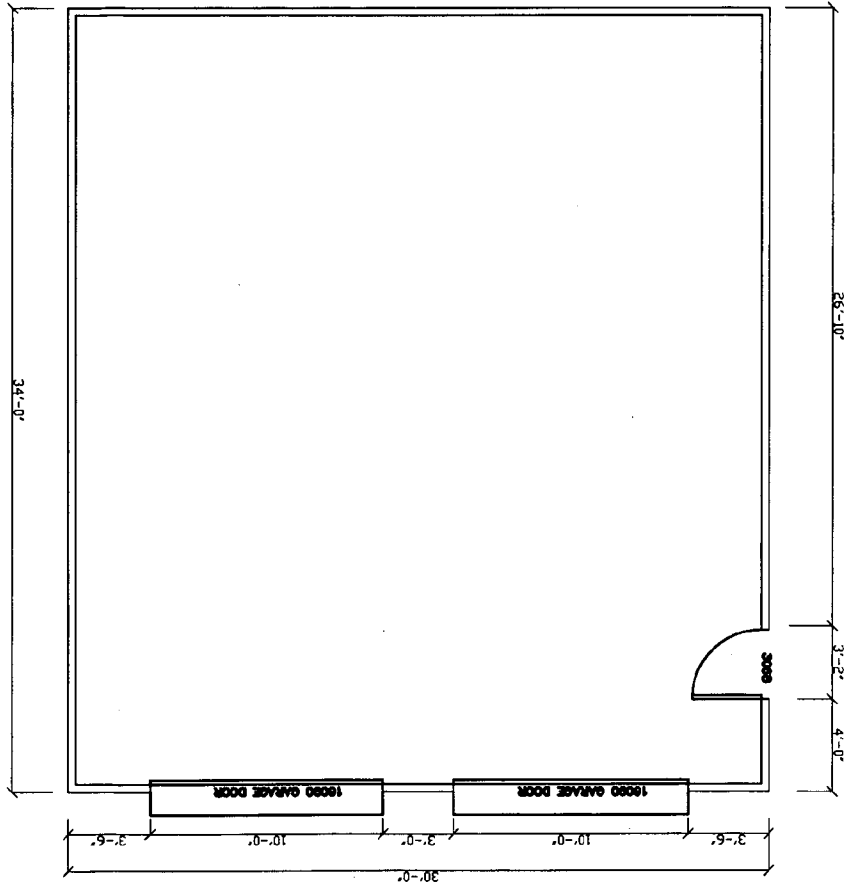


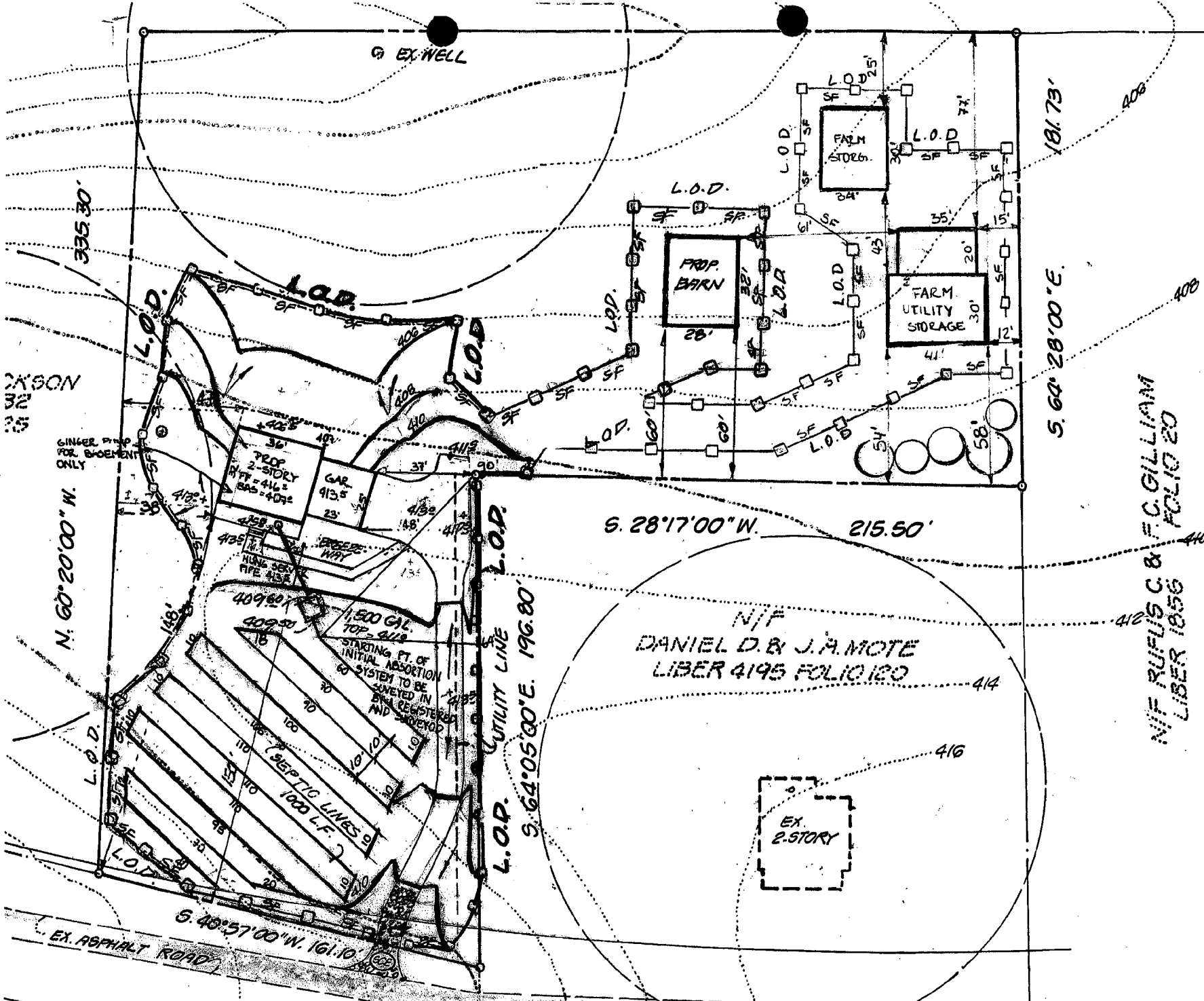
REAR ELEVATION  
1/4" = 1'-0"



LEFT ELEVATION  
1/4" = 1'-0"

FLOOR PLAN  
1/4" = 1'-0"





DAYSON

GINGER POND FOR CONCREMENT ONLY

N. 60° 20' 00" W.

EX. ASPHALT ROAD

EX. WELL

S. 28° 17' 00" W. 215.50'

181.73'  
5. 64° 28' 00" E.

N/P RUFUS C. & F. C. GILLIAM  
LIBER 1856 FOLIO 20

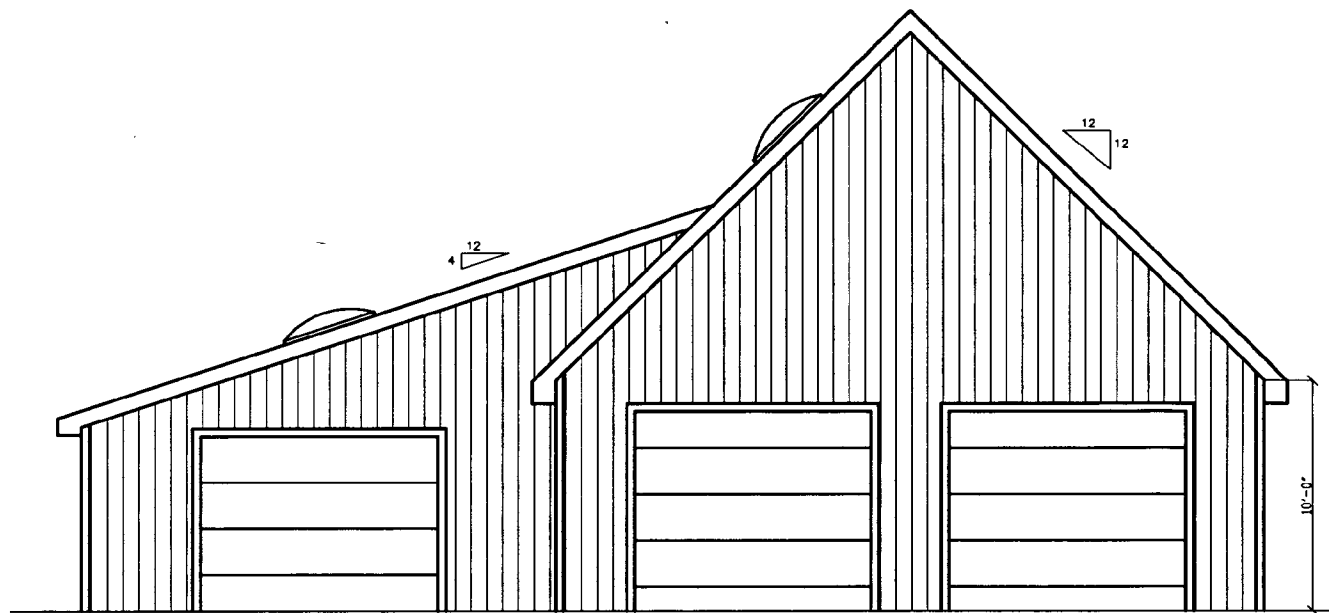
1. L
2. W
3. Co
4. Sta
5. Surt
6. Locat.
- U.S. DEPT. OF
- SOL. O



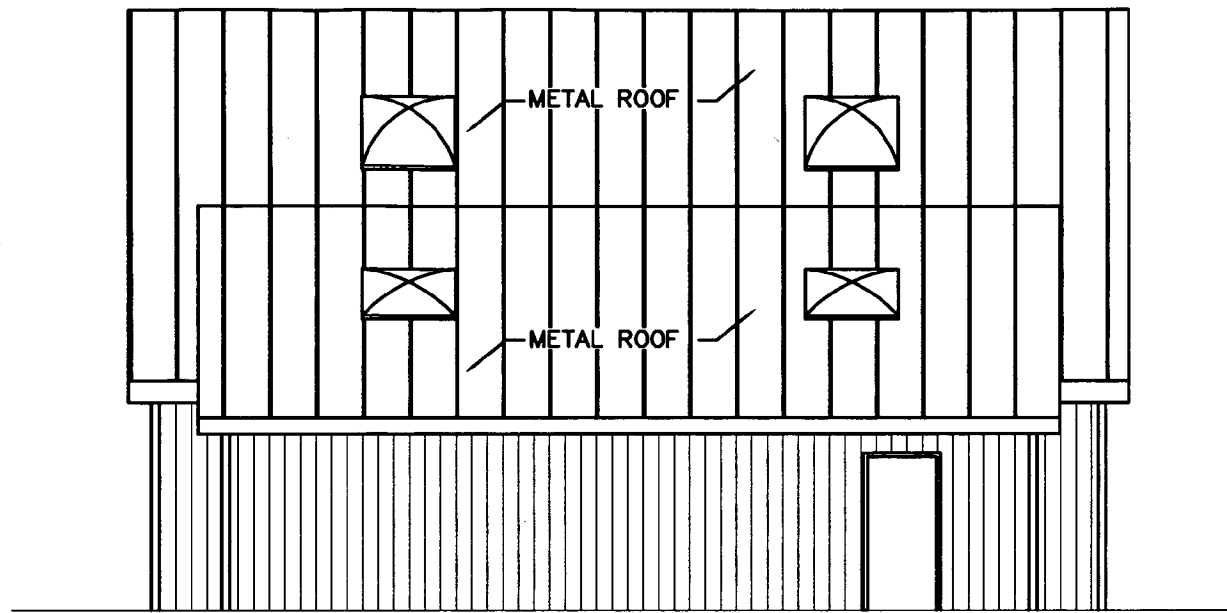
SECTION A

JOIN

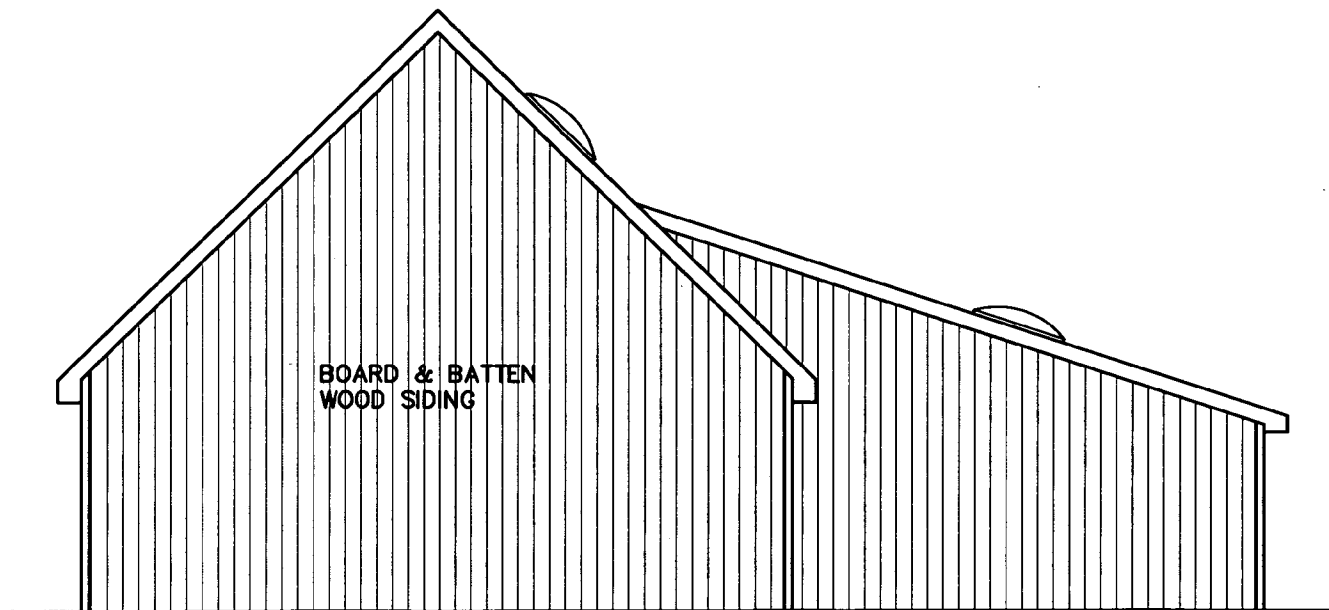
1. Fence pc



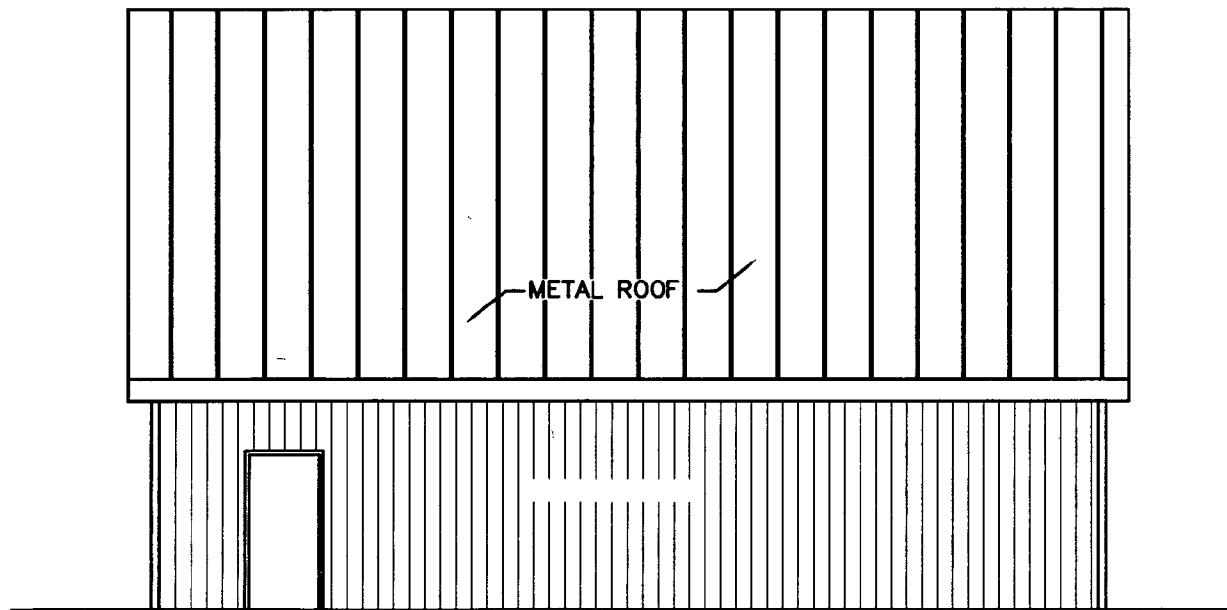
FRONT ELEVATION  
1/4" = 1'-0"



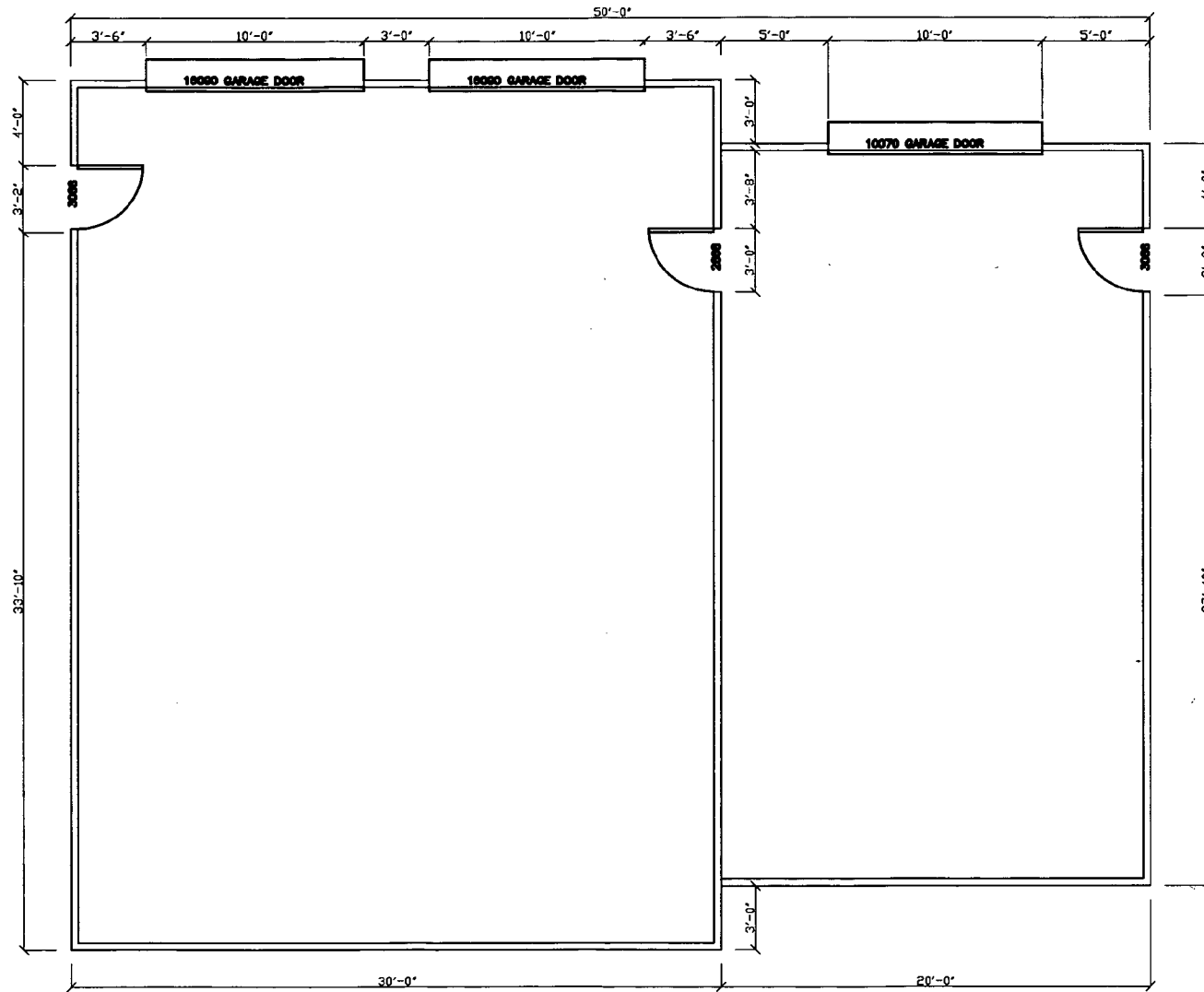
RIGHT ELEVATION  
1/4" = 1'-0"



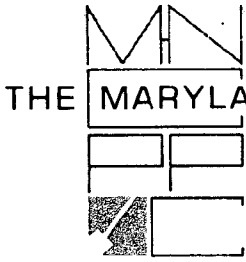
REAR ELEVATION  
1/4" = 1'-0"



LEFT ELEVATION  
1/4" = 1'-0"



FLOOR PLAN  
 1/4" = 1'-0"



THE MARYLAND-NATIONAL CAPITAL PARK AND PLANNING COMMISSION  
8787 Georgia Avenue • Silver Spring, Maryland 20910-3760

**FAX TRANSMITTAL SHEET**

**Historic Preservation Office  
Department of Park & Planning**

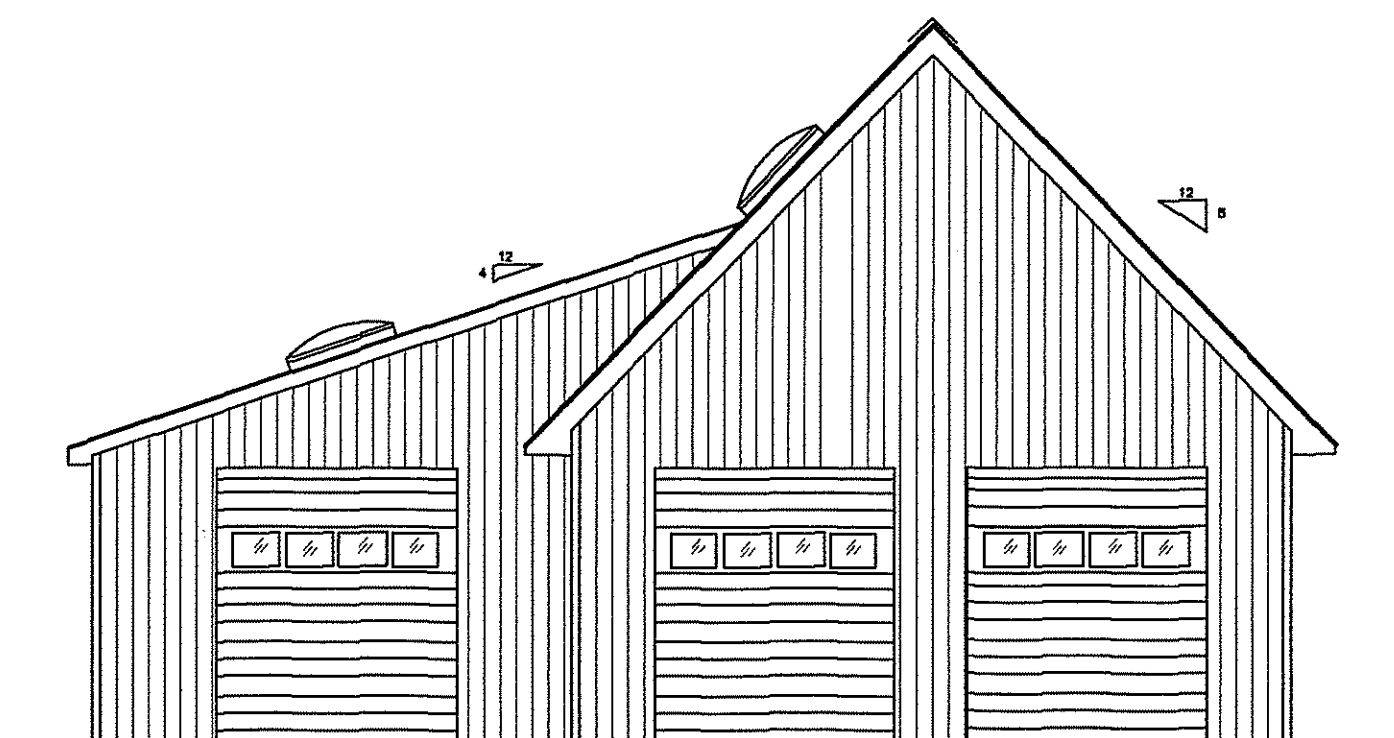
Telephone Number: (301) 563-3400

Fax Number: (301)-563-3412

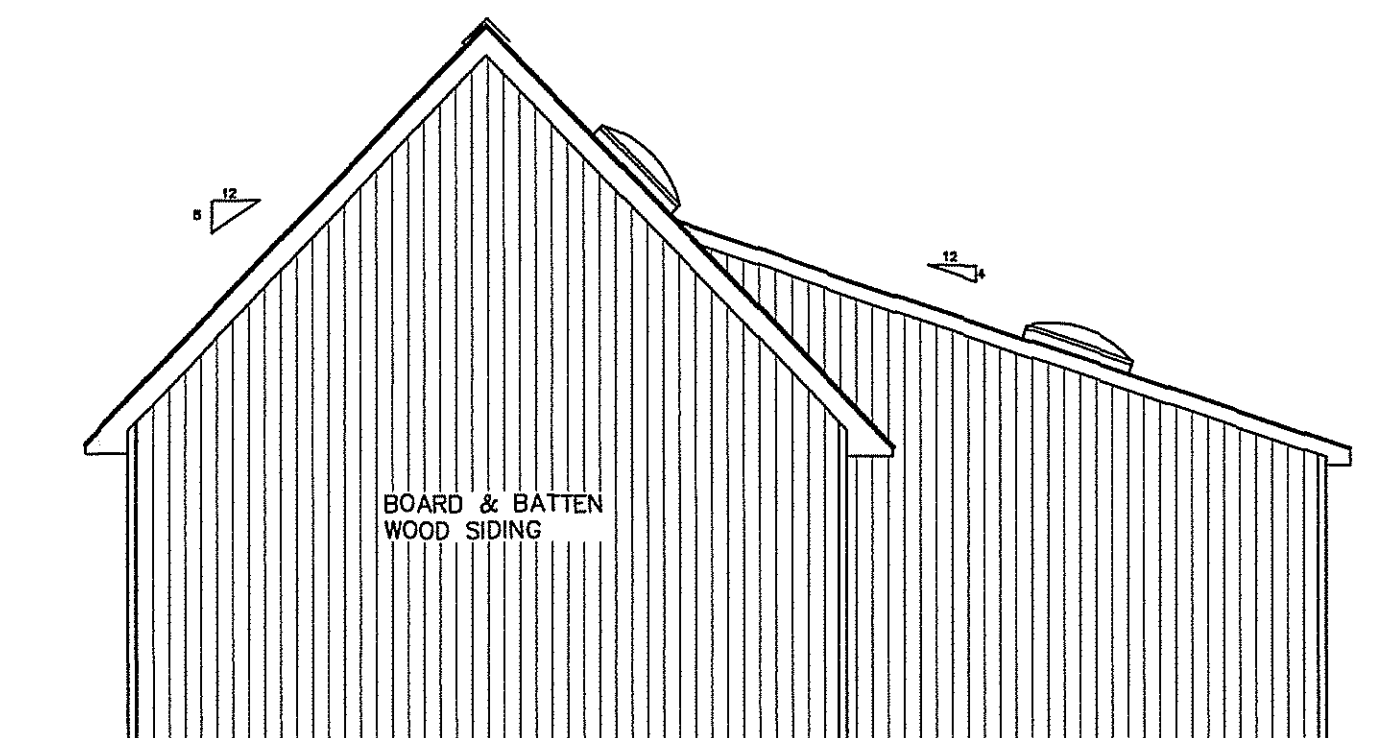
TO: Jane Moto FAX NUMBER: 301-948-7962  
FROM: Corri Jimenez (Corri.jimenez@mncppc-mc.org)  
DATE: 6/16/03  
NUMBER OF PAGES INCLUDING THIS TRANSMITTAL SHEET: 6

**NOTE:**

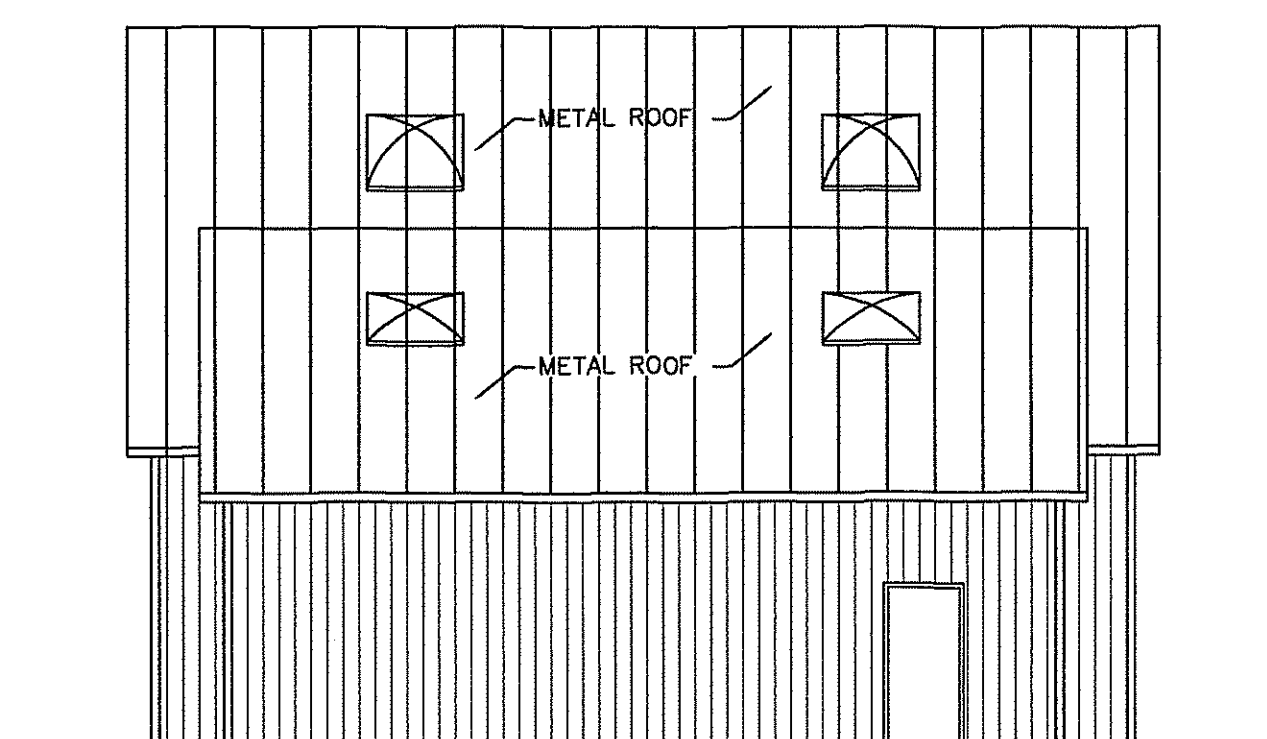
Jane - This is what I have in a way  
of a design for the new building. We met  
with Christen 2 weeks ago - thought it looked  
okay. Please let me know if you have  
any concerns. If you submit my letters,  
I will include them with my staff report  
which is due on Wednesday. Thanks, Corri  
J



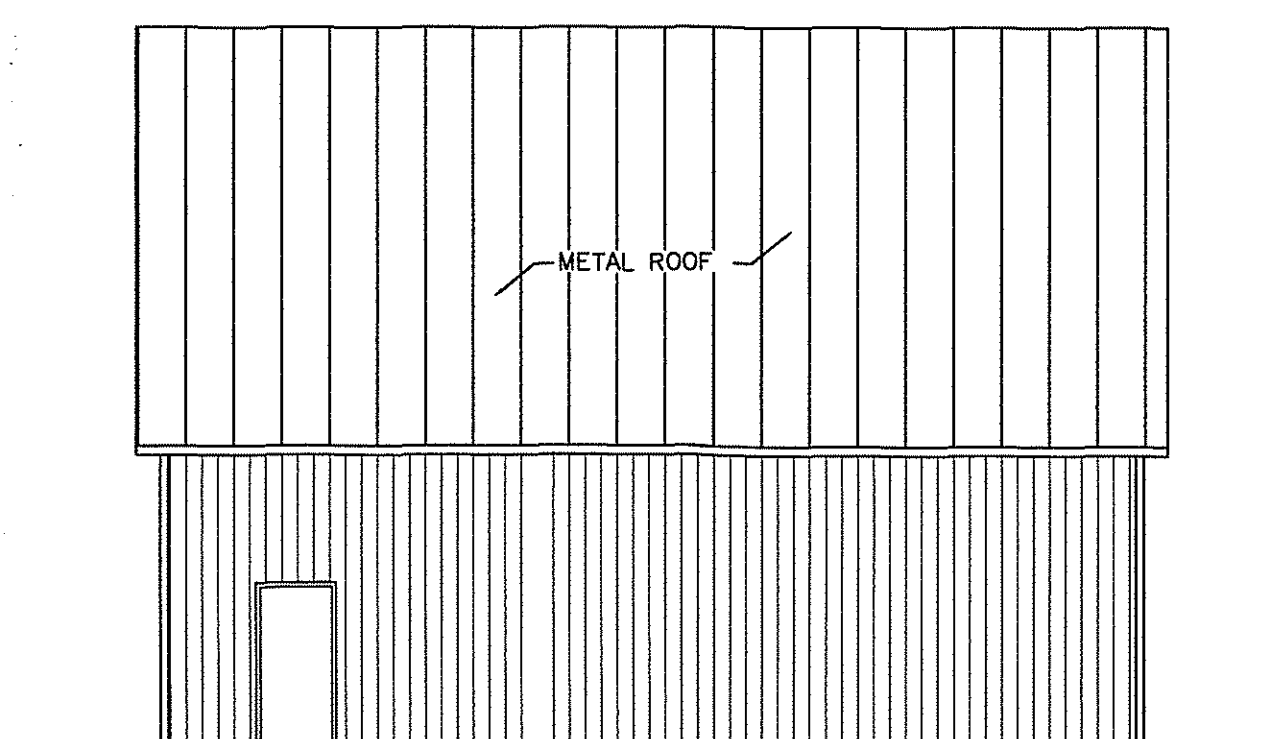
FRONT ELEVATION  
1/8" = 1'-0"



REAR ELEVATION  
1/8" = 1'-0"



LEFT ELEVATION  
1/8" = 1'-0"

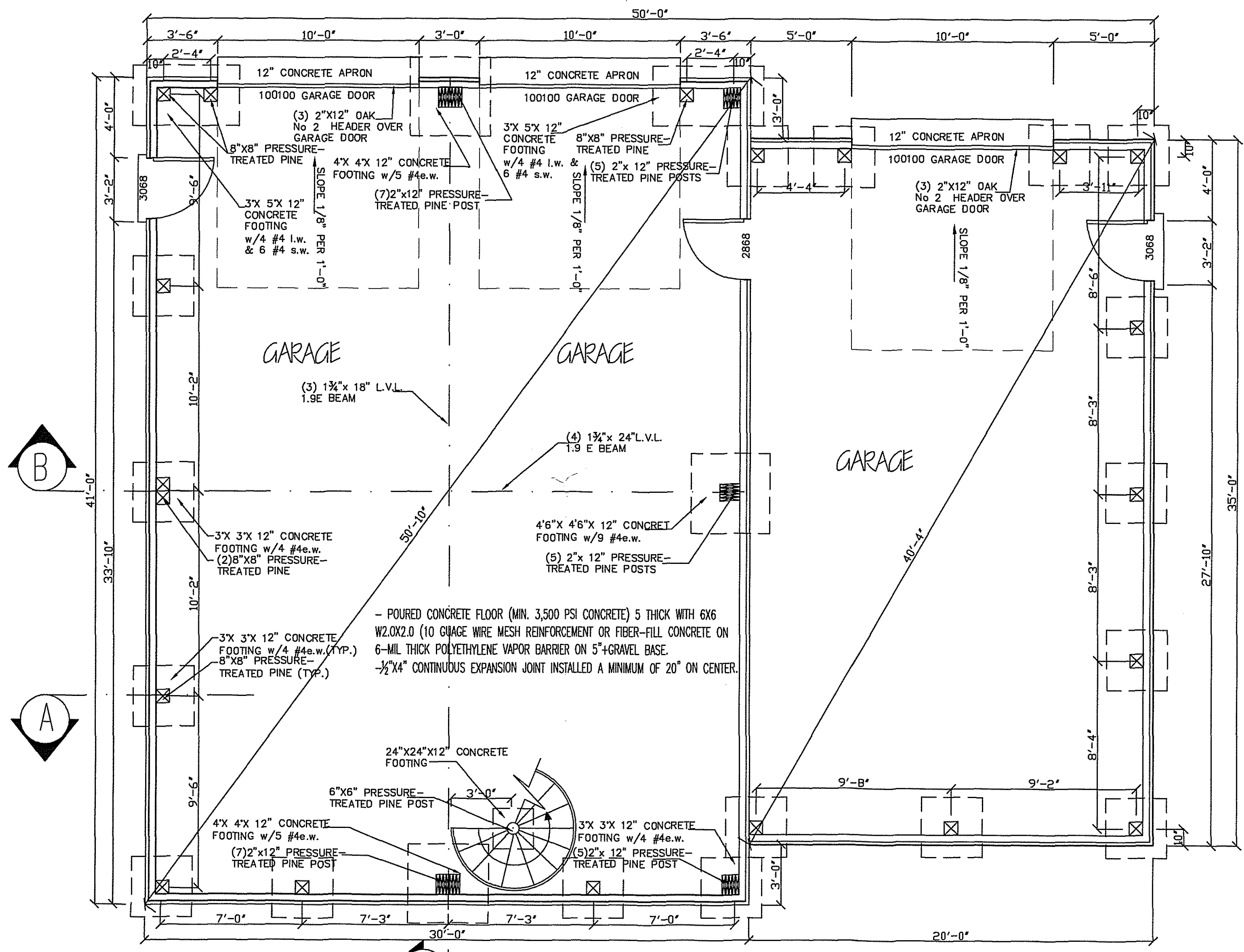


RIGHT ELEVATION  
1/8" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Jason* @ 2/22/04

*Paul Chrétien*  
#7590  
2/22/04



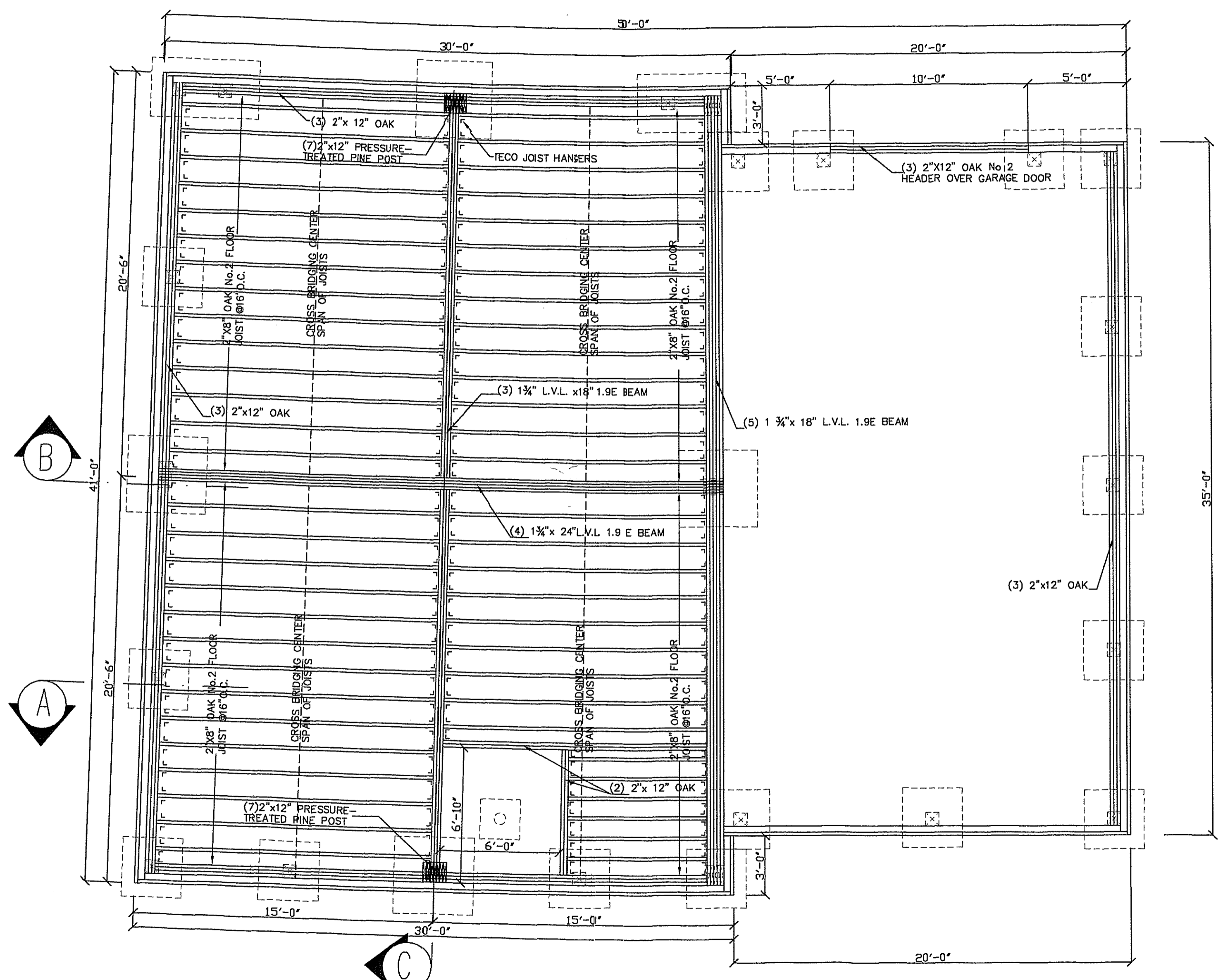


**FOUNDATION PLAN**  
 1/4" = 1'-0"

- NOTES:
- 1.-ALL FRAMING LUMBER IS RED OR WHITE OAK EXCEPT WHERE OTHERWISE NOTED.
  - 2.-SOIL PRESSURE ASSUMED TO BE 2500PSF.
  - 3.-CONCRETE TO BE 3000 PSI.

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]*  
 #755P  
 2/22/04

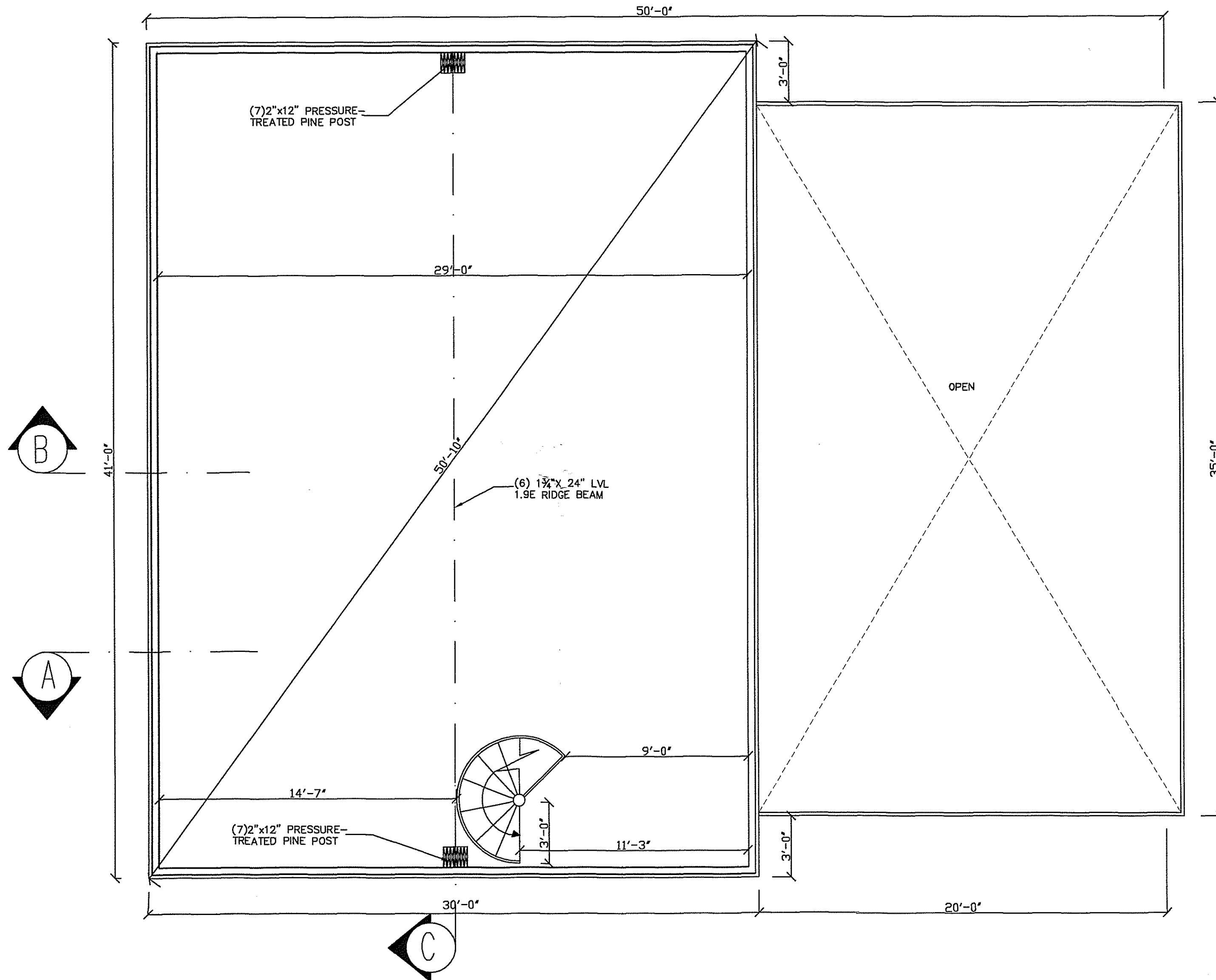


2nd FLOOR FRAMING PLAN

1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Handwritten signature and date:*  
 #7580  
 2/22/04



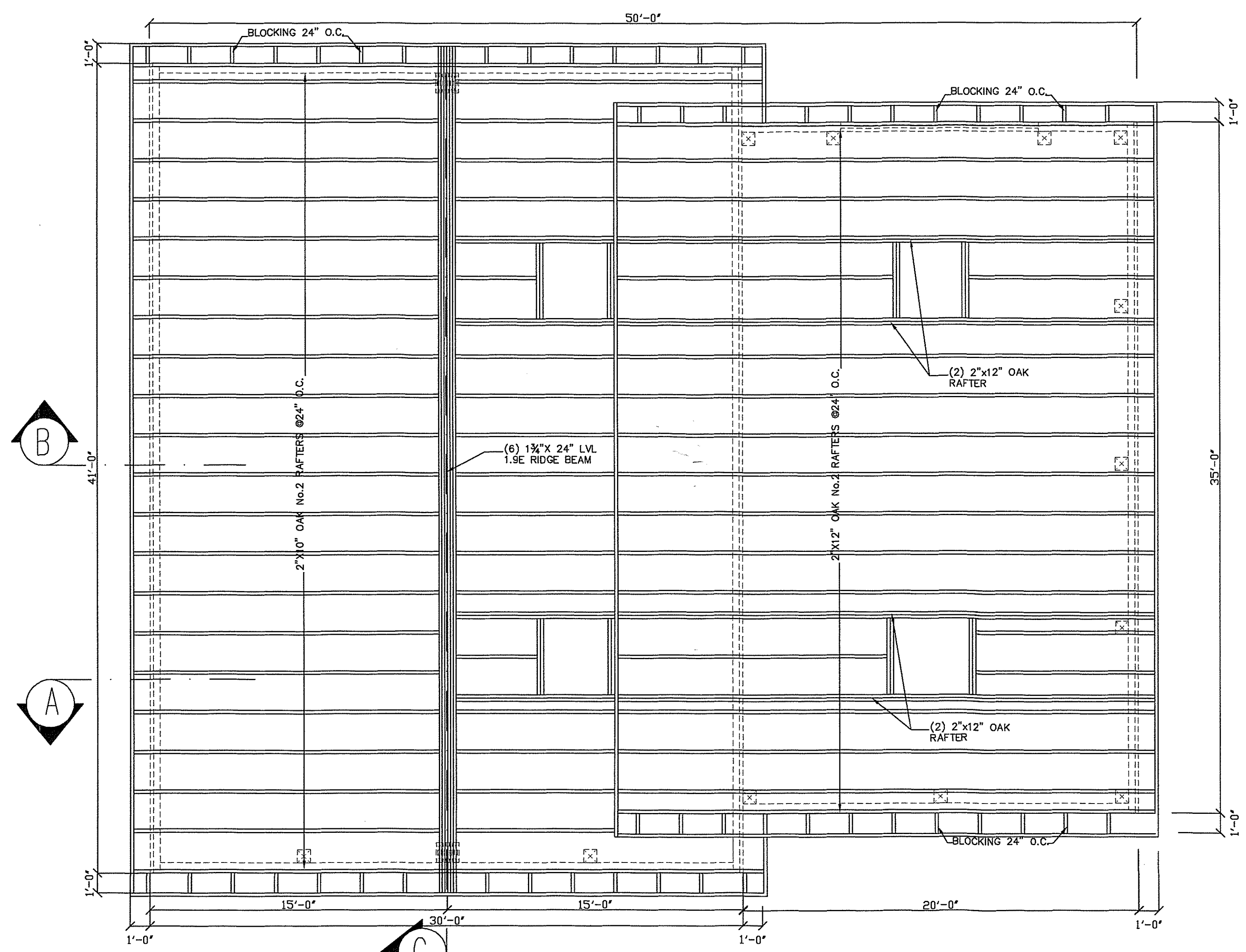
2nd FLOOR PLAN

1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Jason E. Williams*

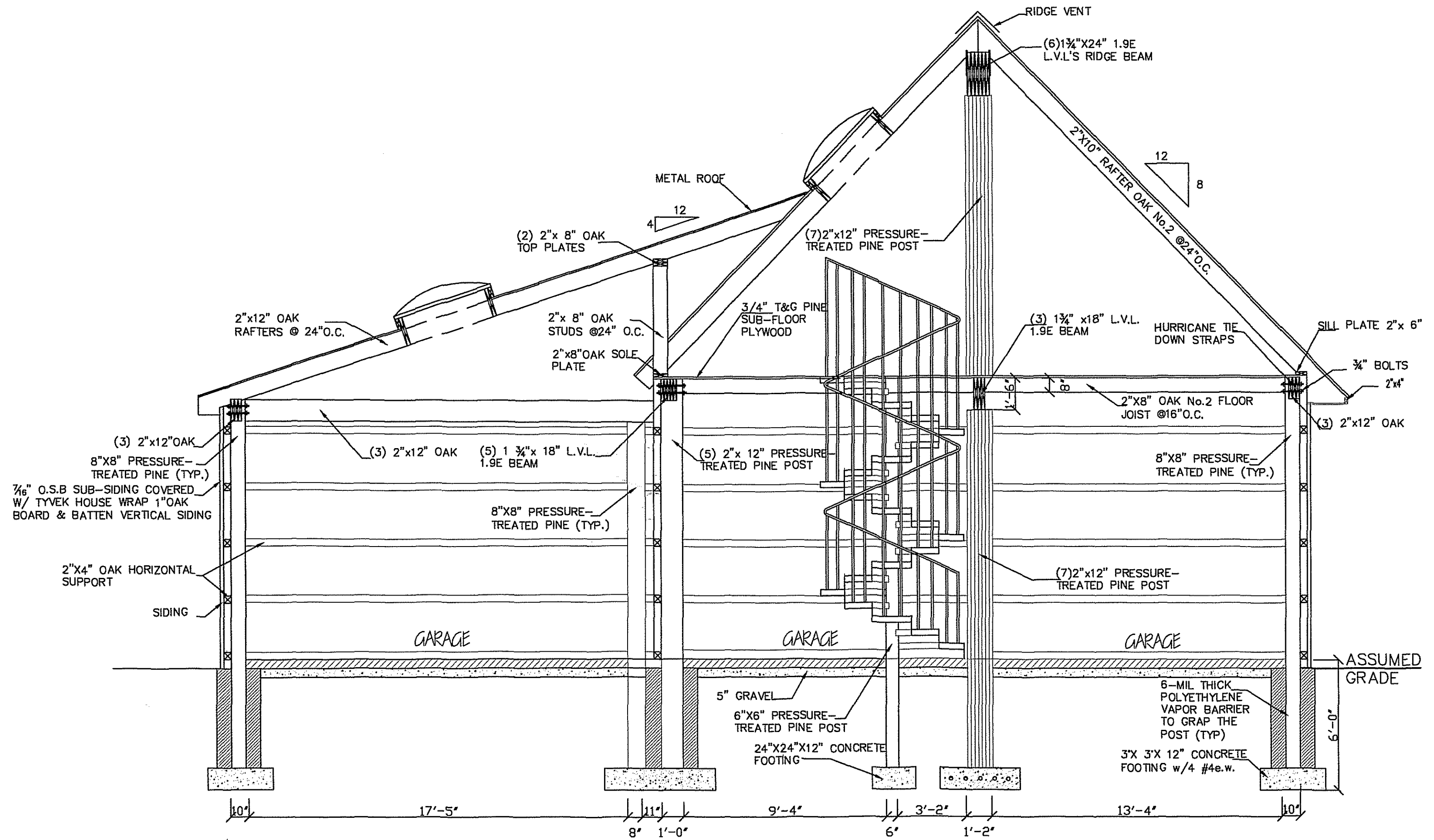
*Paul M. Witt*  
 #7588  
 2/22/04



**ROOF FRAMING PLAN**  
 1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission

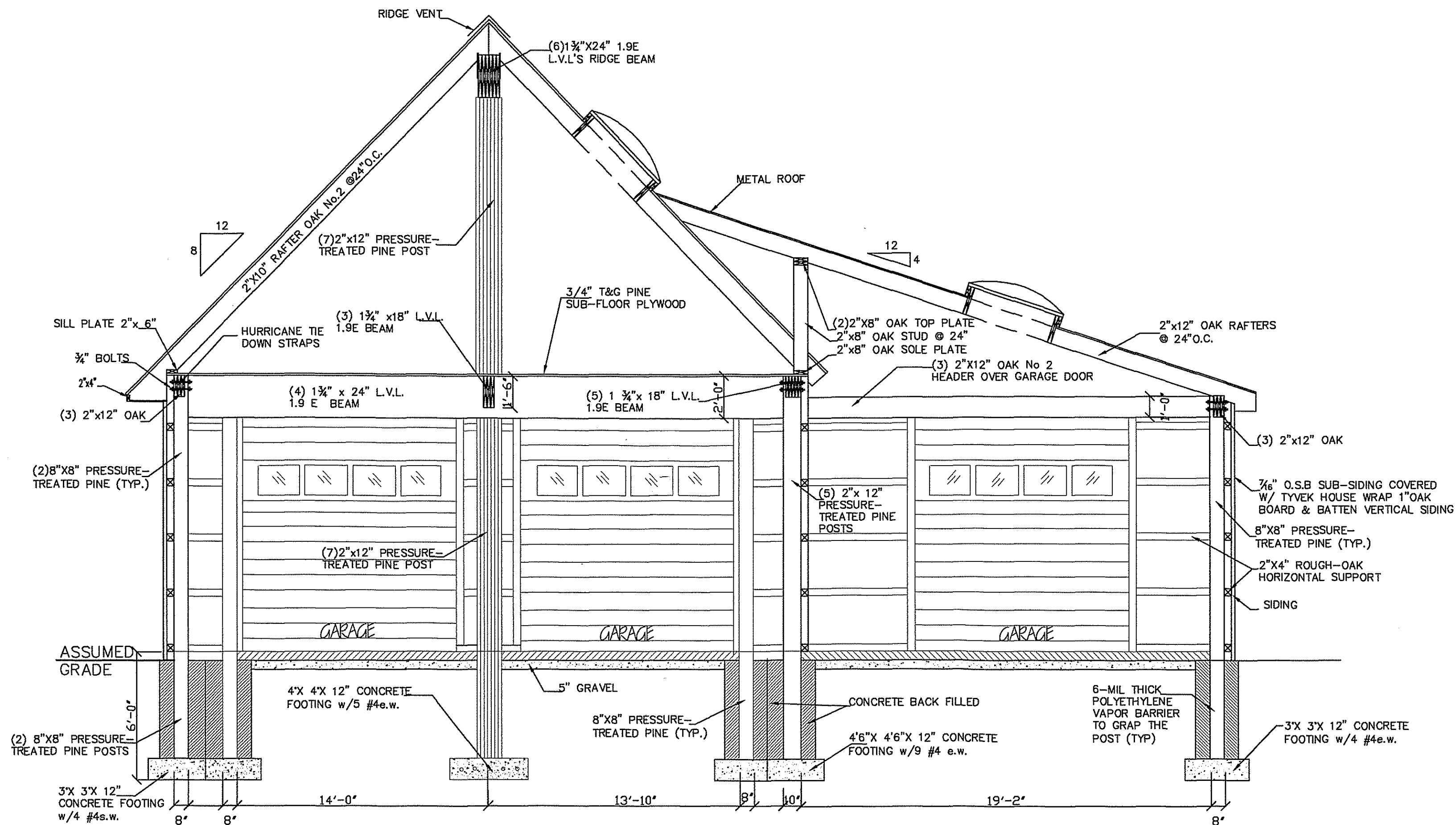
*Paul Chrétien*  
 #7580  
 2/22/04



**SECTION A**  
 1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Handwritten Signature]*  
 #7589  
 2/22/04

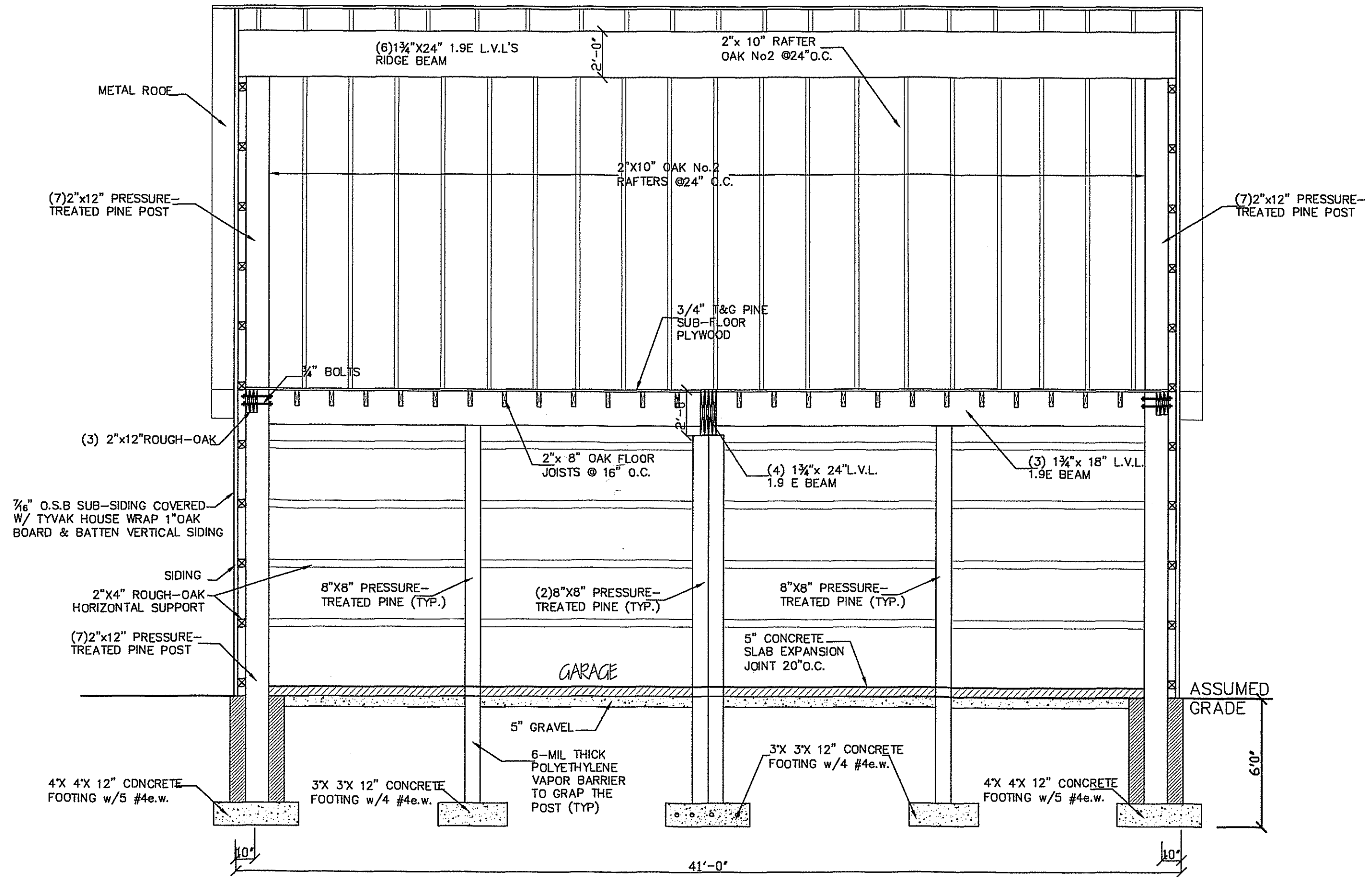


**SECTION B**

1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Handwritten signatures and dates:*  
 2/15/04  
 2/22/04



METAL ROOF

(7) 2"x12" PRESSURE-TREATED PINE POST

(6) 1 1/2" x 24" 1.9E L.V.L.'S RIDGE BEAM

2" x 10" RAFTER OAK No. 2 @ 24" O.C.

2" x 10" OAK No. 2 RAFTERS @ 24" O.C.

3/4" T&G PINE SUB-FLOOR PLYWOOD

3/4" BOLTS

(3) 2"x12" ROUGH-OAK

2" x 8" OAK FLOOR JOISTS @ 16" O.C.

(4) 1 1/2" x 24" L.V.L. 1.9 E BEAM

(3) 1 1/2" x 18" L.V.L. 1.9E BEAM

7/16" O.S.B SUB-SIDING COVERED W/ TYVAK HOUSE WRAP 1" OAK BOARD & BATTEN VERTICAL SIDING

SIDING 2" x 4" ROUGH-OAK HORIZONTAL SUPPORT

8" x 8" PRESSURE-TREATED PINE (TYP.)

(2) 8" x 8" PRESSURE-TREATED PINE (TYP.)

8" x 8" PRESSURE-TREATED PINE (TYP.)

(7) 2"x12" PRESSURE-TREATED PINE POST

5" CONCRETE SLAB EXPANSION JOINT 20" O.C.

GARAGE

ASSUMED GRADE

5" GRAVEL

3" x 3" x 12" CONCRETE FOOTING w/ 4 #4e.w.

4" x 4" x 12" CONCRETE FOOTING w/ 5 #4e.w.

3" x 3" x 12" CONCRETE FOOTING w/ 4 #4e.w.

6-MIL THICK POLYETHYLENE VAPOR BARRIER TO GRAB THE POST (TYP)

4" x 4" x 12" CONCRETE FOOTING w/ 5 #4e.w.

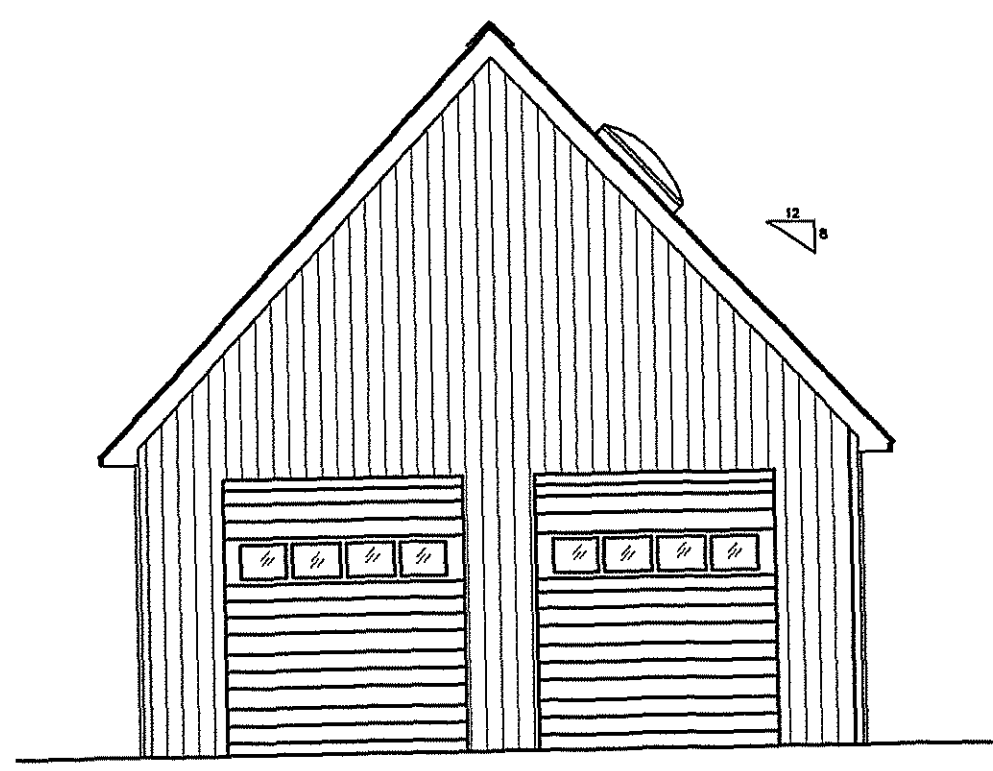
SECTION C

1/4" = 1'-0"

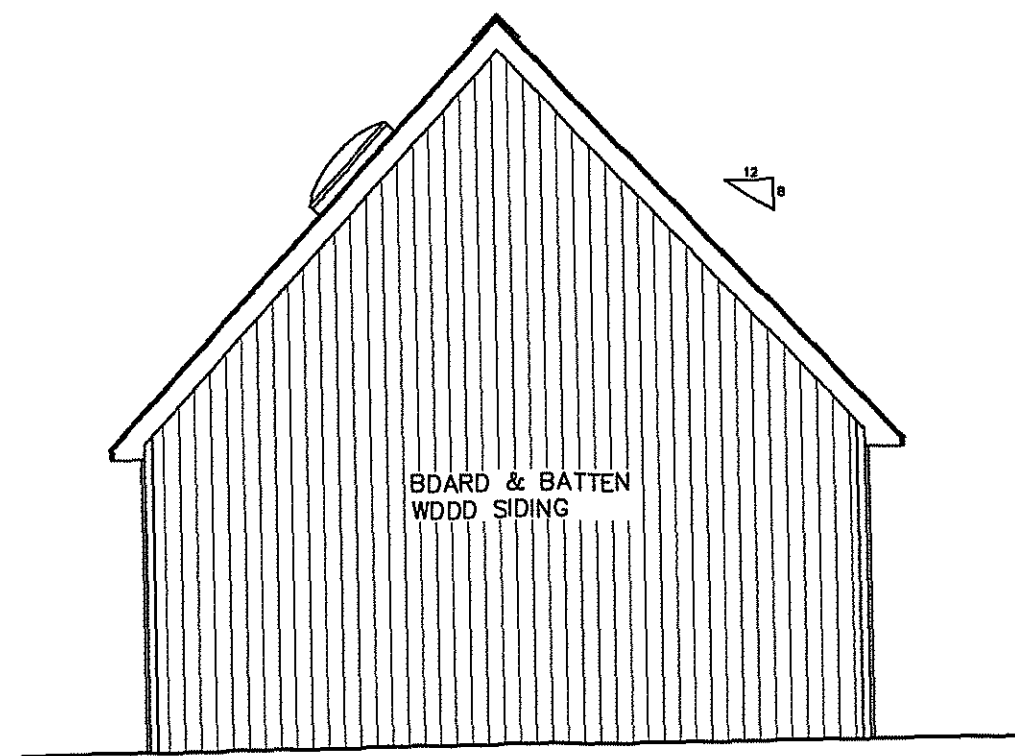
APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Handwritten signature]*  
 #75-SP  
 2/10/04

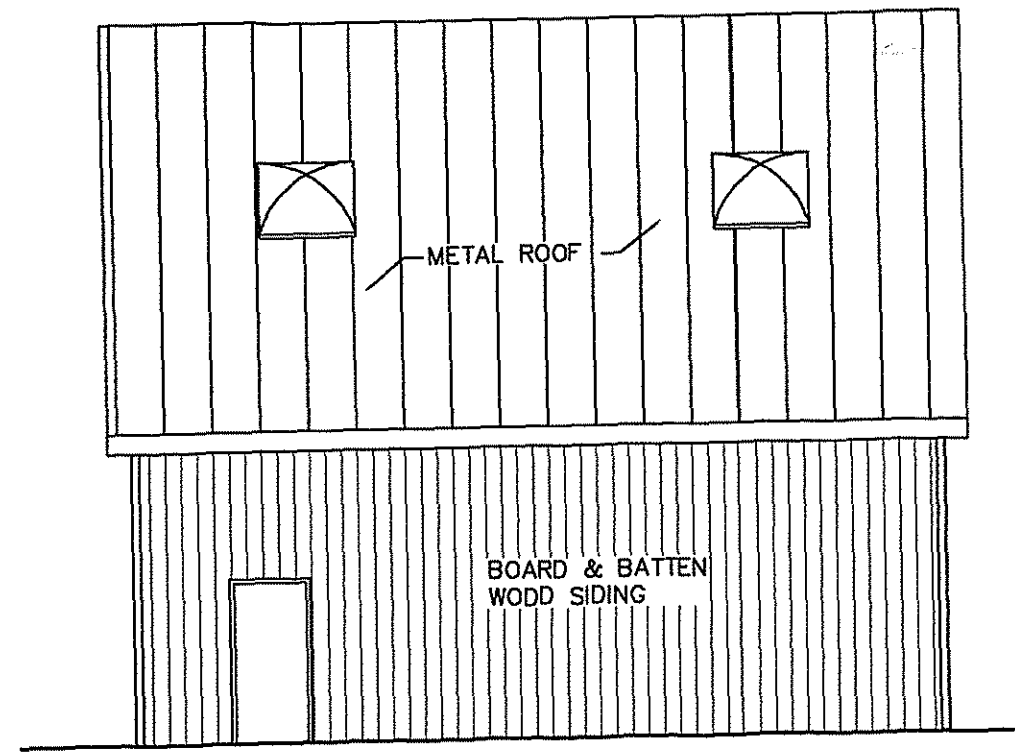




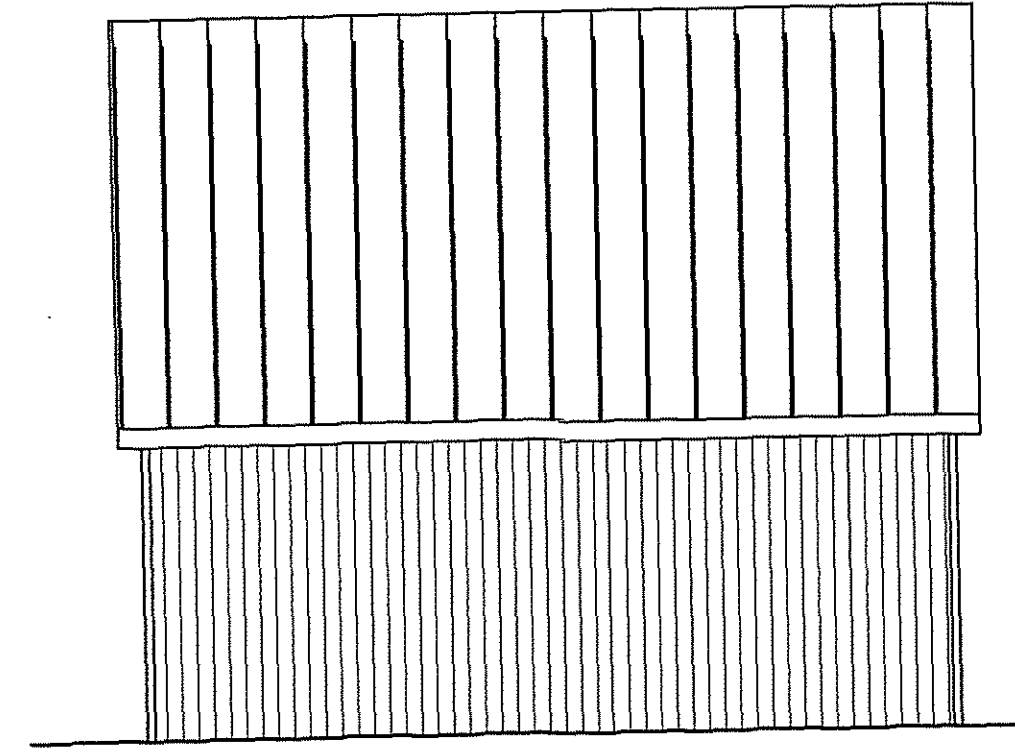
FRONT ELEVATION  
1/8" = 1'-0"



REAR ELEVATION  
1/8" = 1'-0"



RIGHT ELEVATION  
1/8" = 1'-0"

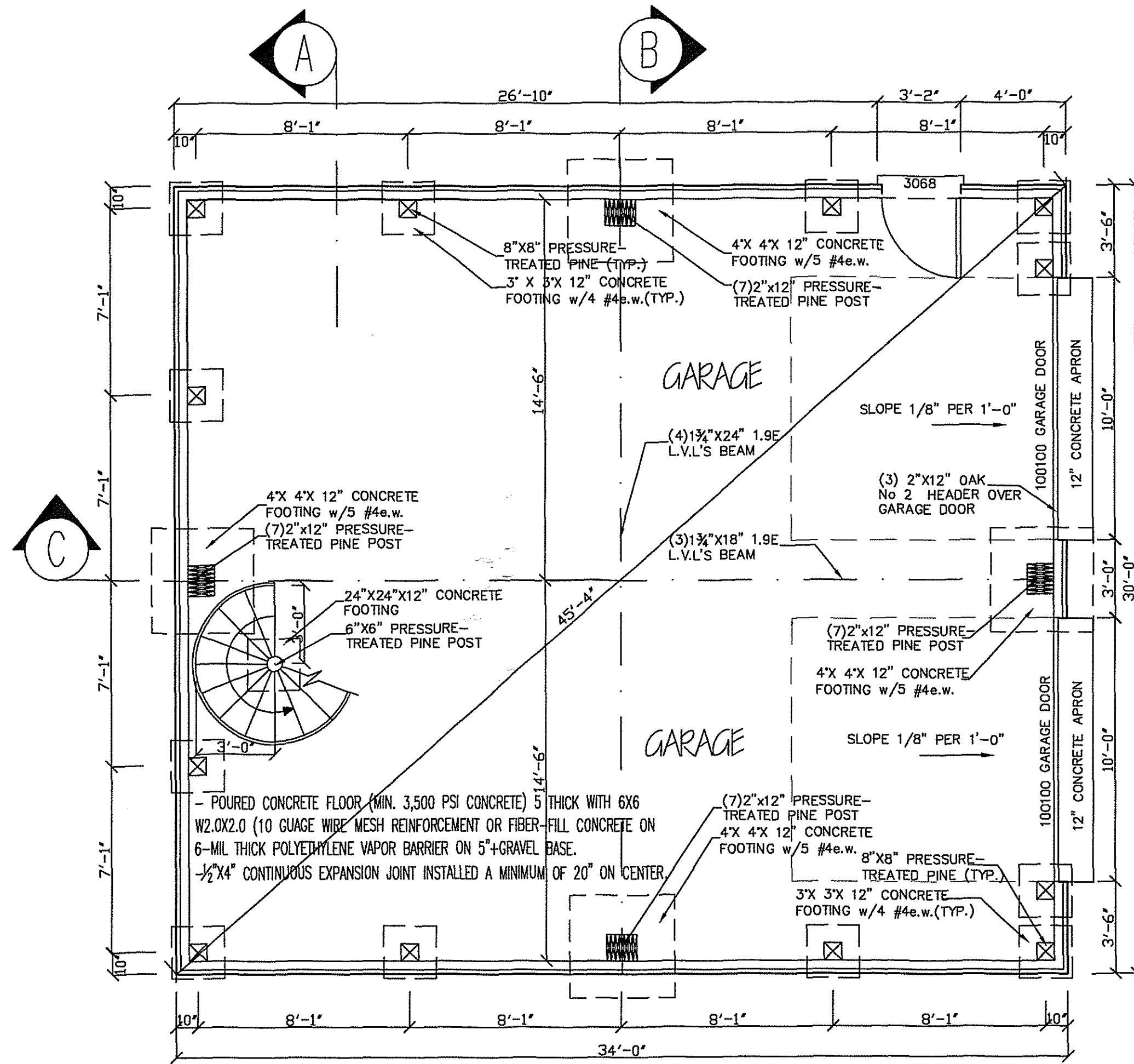


LEFT ELEVATION  
1/8" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

*Jason E. Culver*  
*Donald M. Weinath*  
*W. West*  
#7580  
*Orzuley*

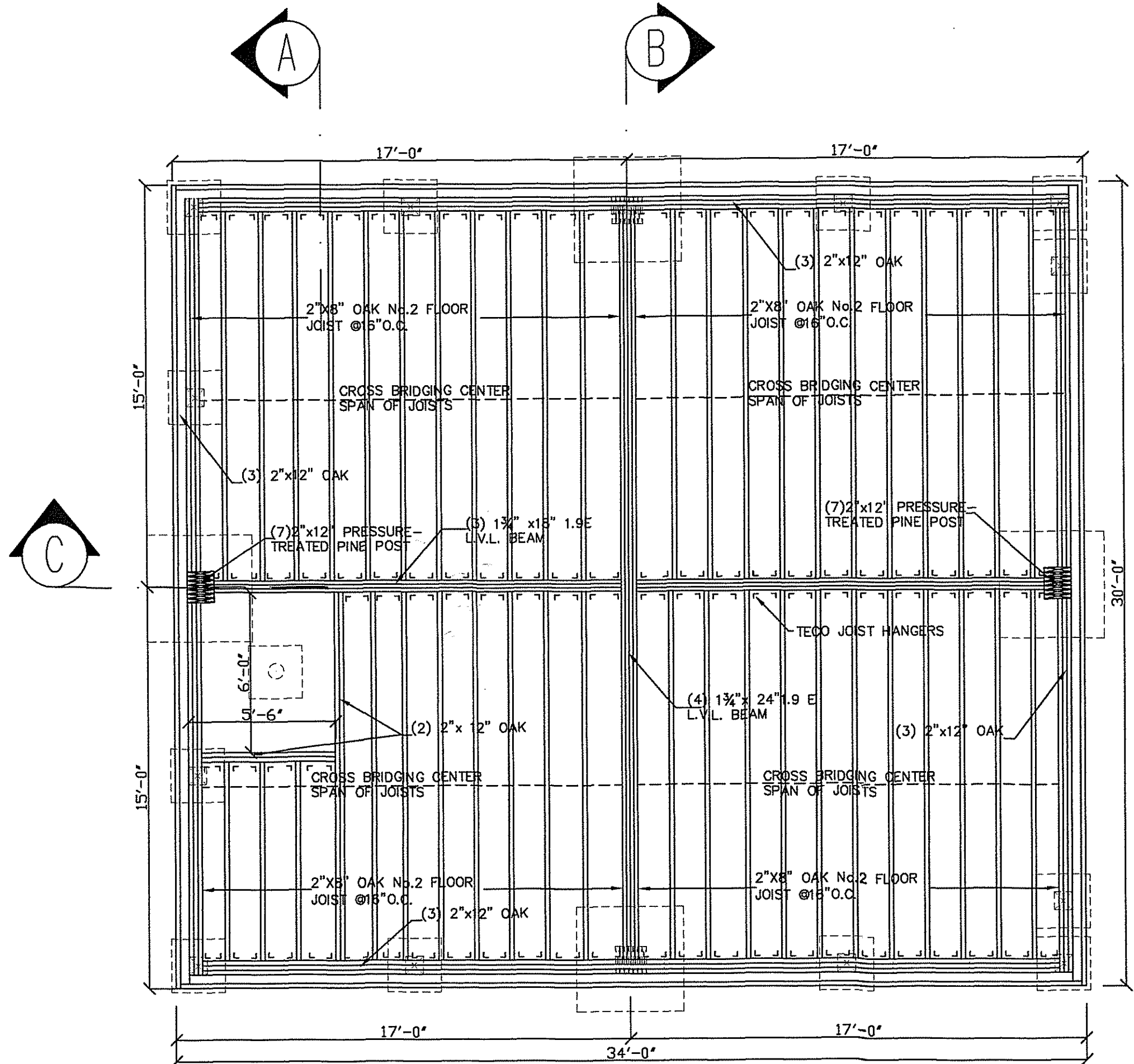




**FOUNDATION PLAN**  
 1/4" = 1'-0"

- NOTES:
- 1.-ALL FRAMING LUMBER IS RED OR WHITE OAK EXCEPT WHERE OTHERWISE NOTED.
  - 2.-SOIL PRESURE ASSUMED TO BE 2500PSF.
  - 3.-CONCRETE TO BE 3000 PSI.

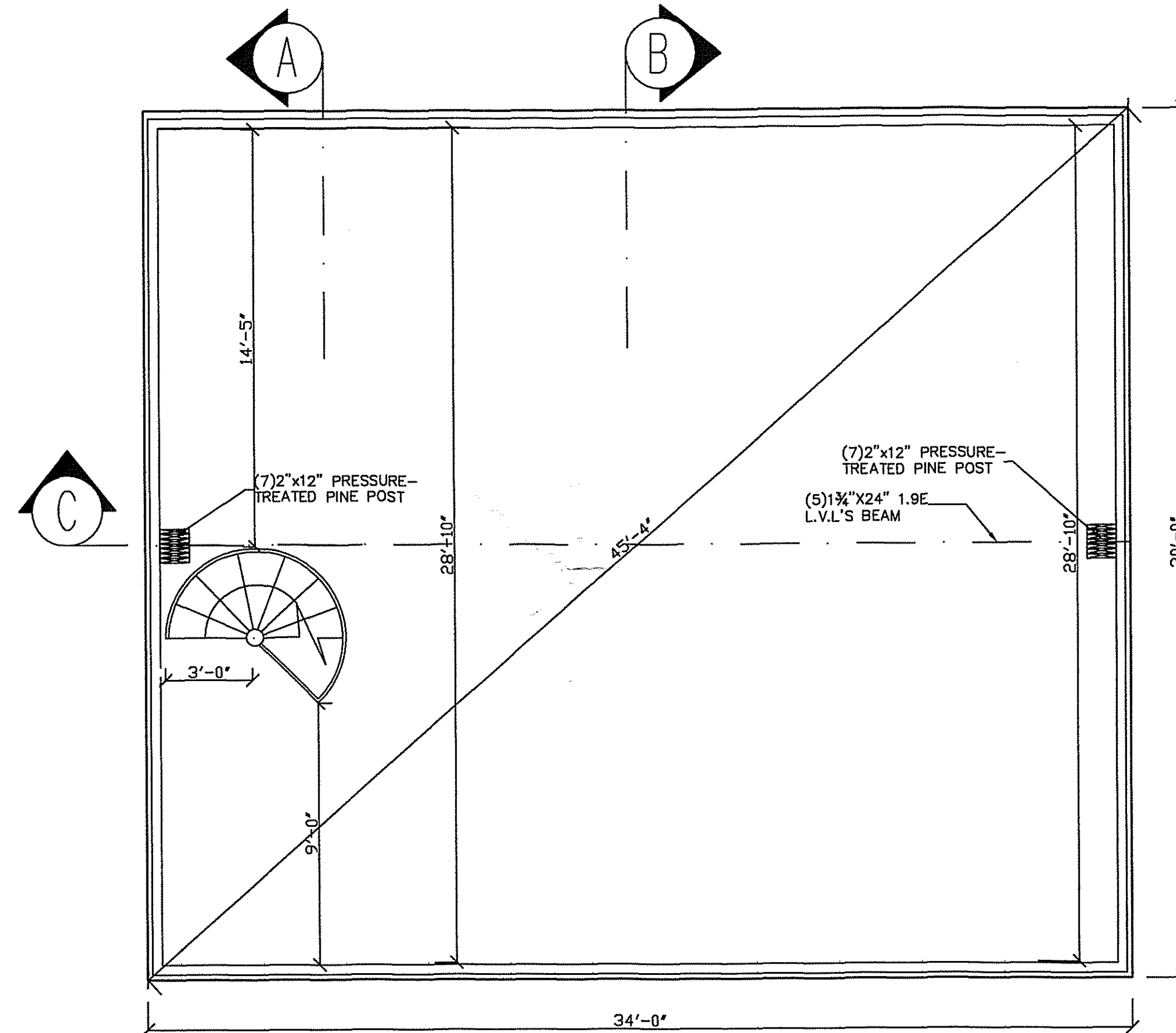
APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*



FLOOR FRAMING PLAN

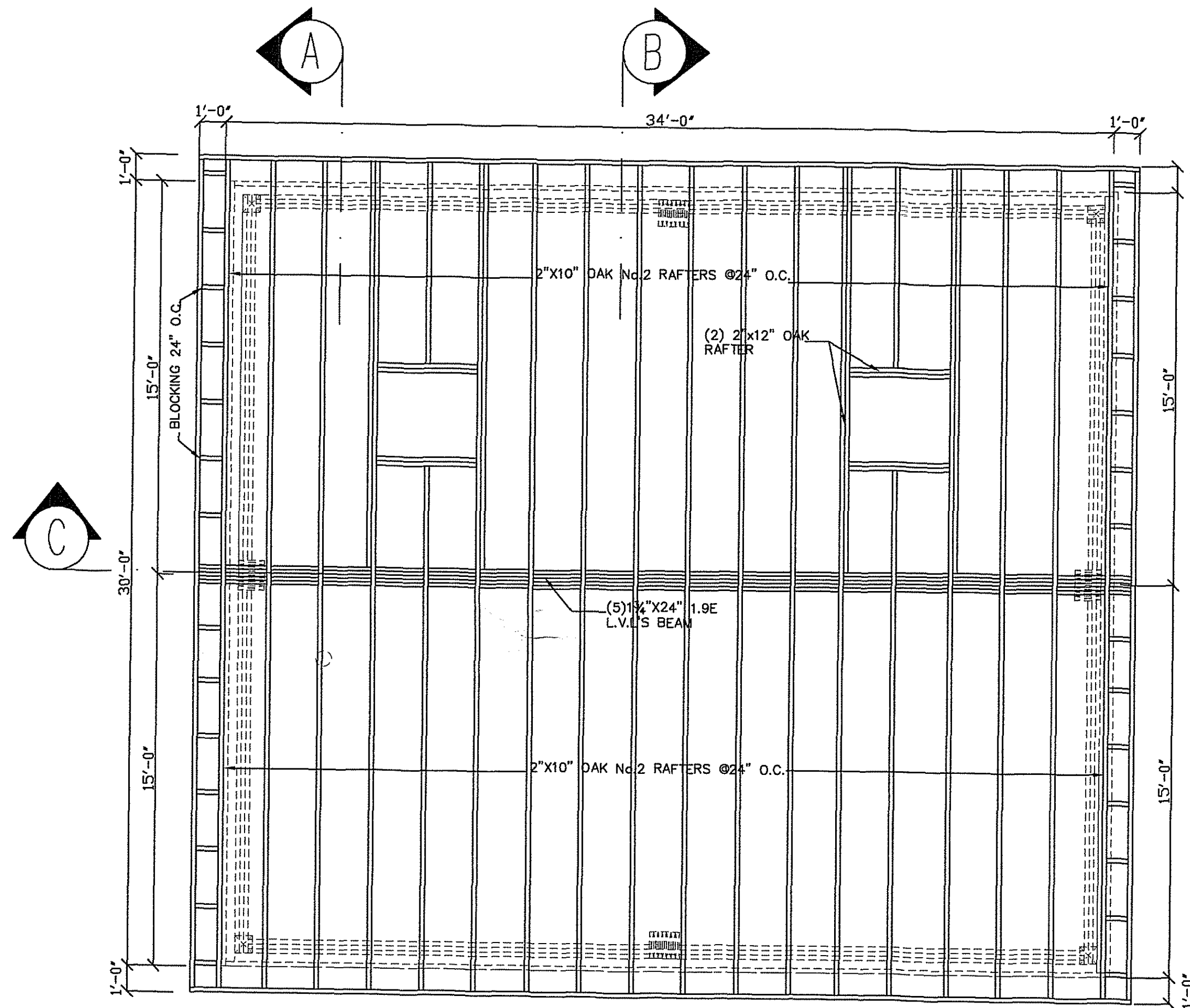
1/4" = 1'-0"

APPROVED:  
 Montgomery County  
 Historic Preservation Commission  
*Andrew E. Williams*



SECOND FLOOR PLAN  
1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Jason E. Williams*

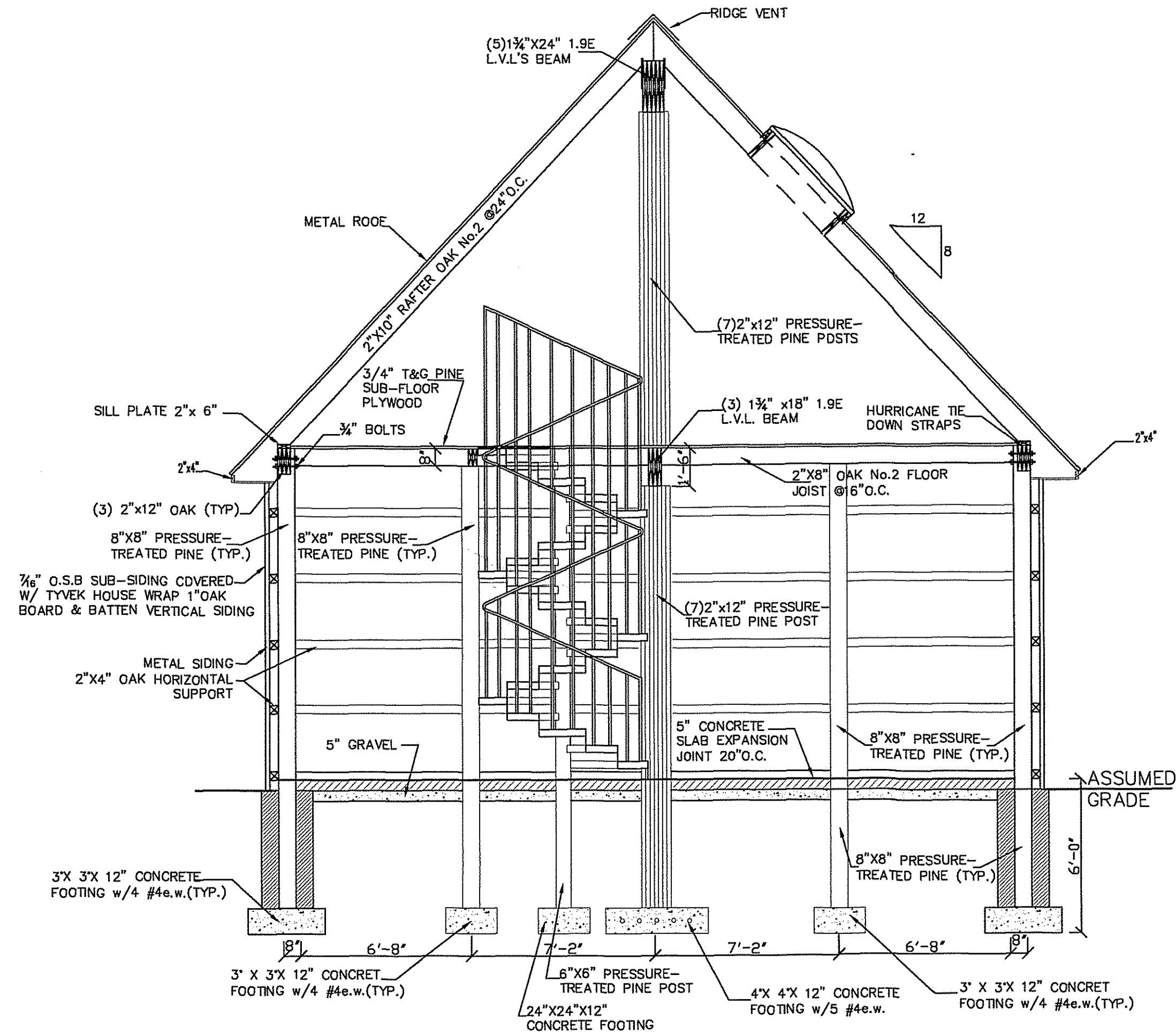


### ROOF FRAMING PLAN

1/4" = 1'-0"

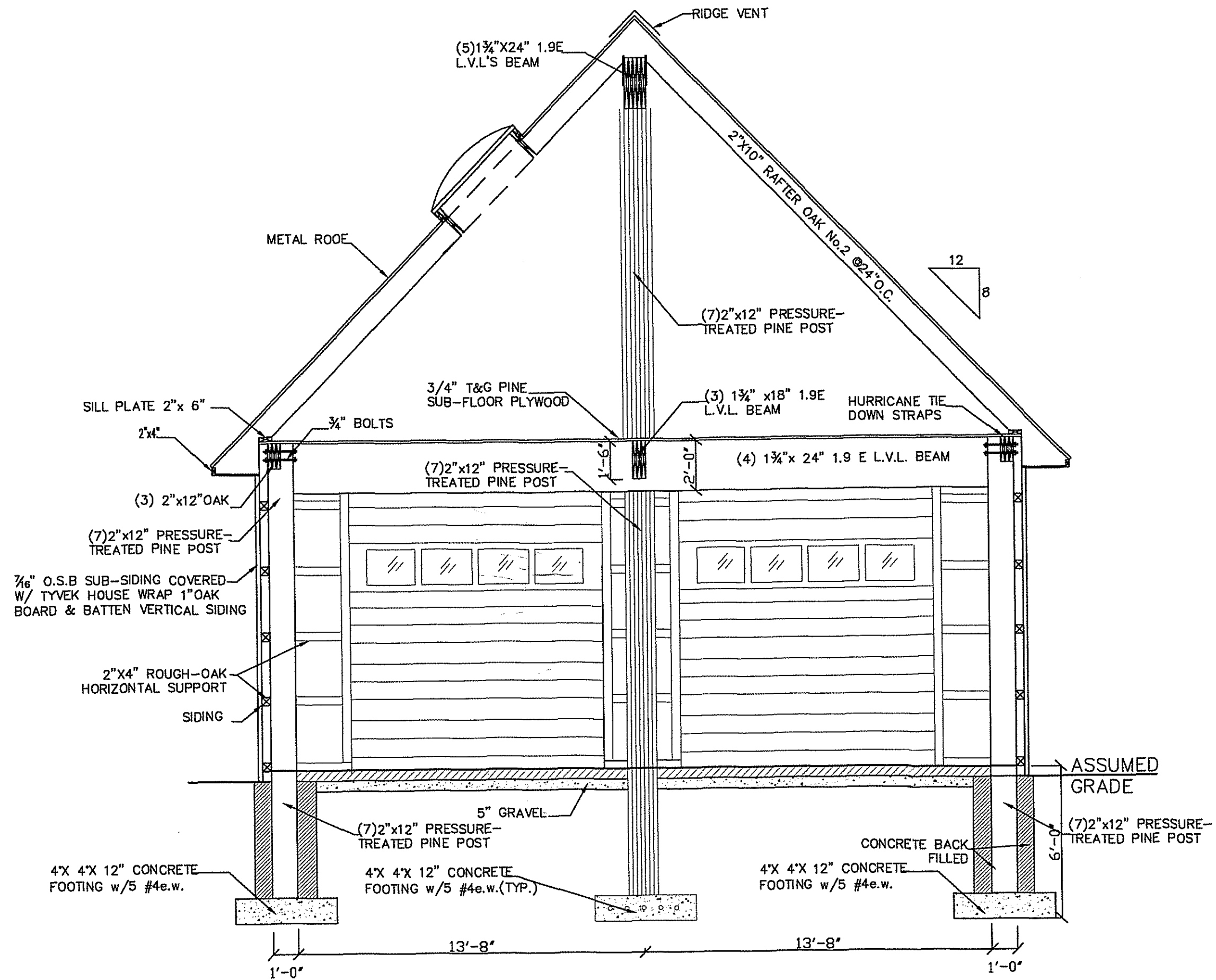
APPROVED  
Montgomery County  
Historic Preservation Commission  
*Jason C. [Signature]*

*D.W. [Signature]*  
#1580



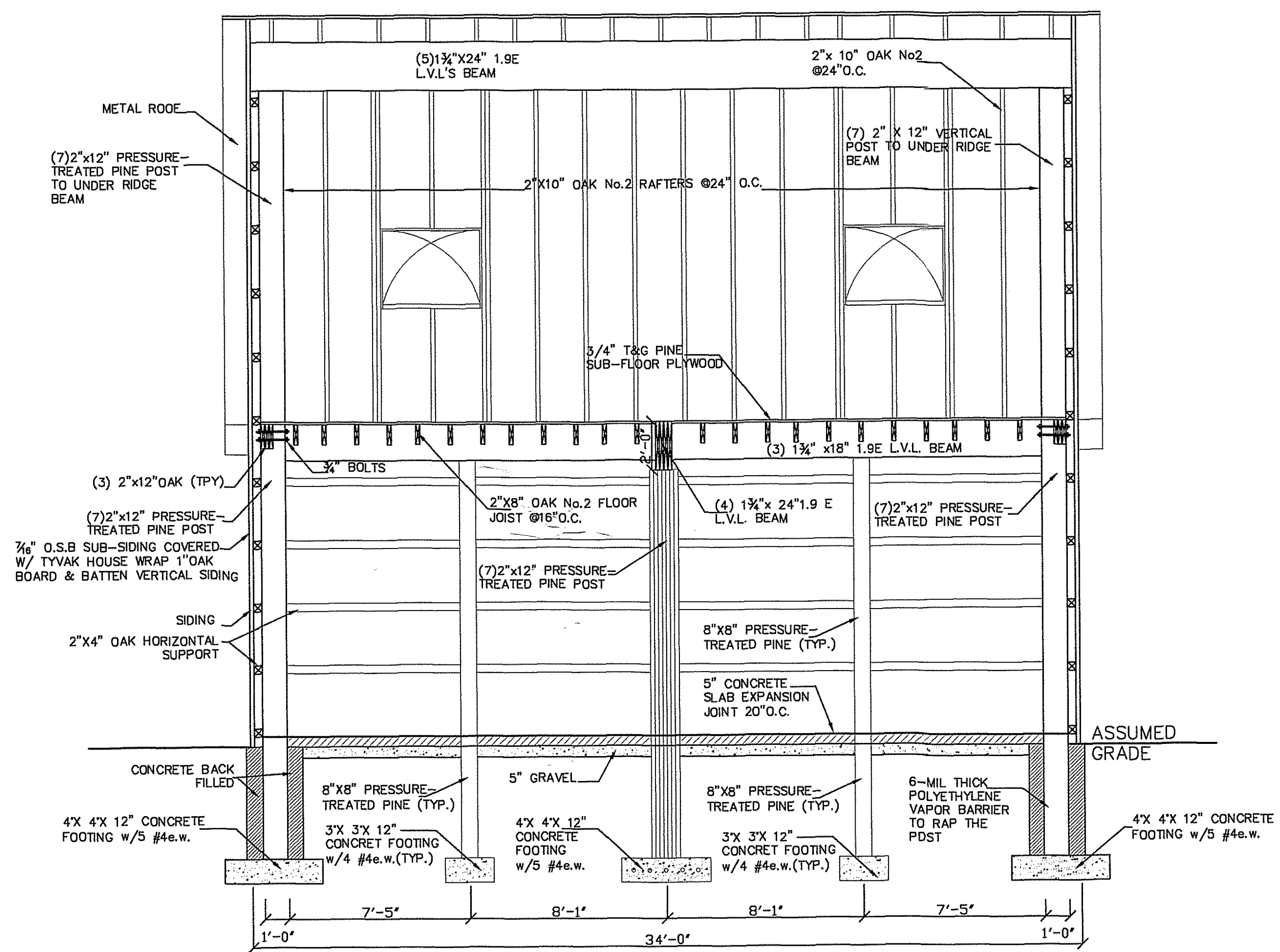
SECTION A  
 1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*[Signature]*



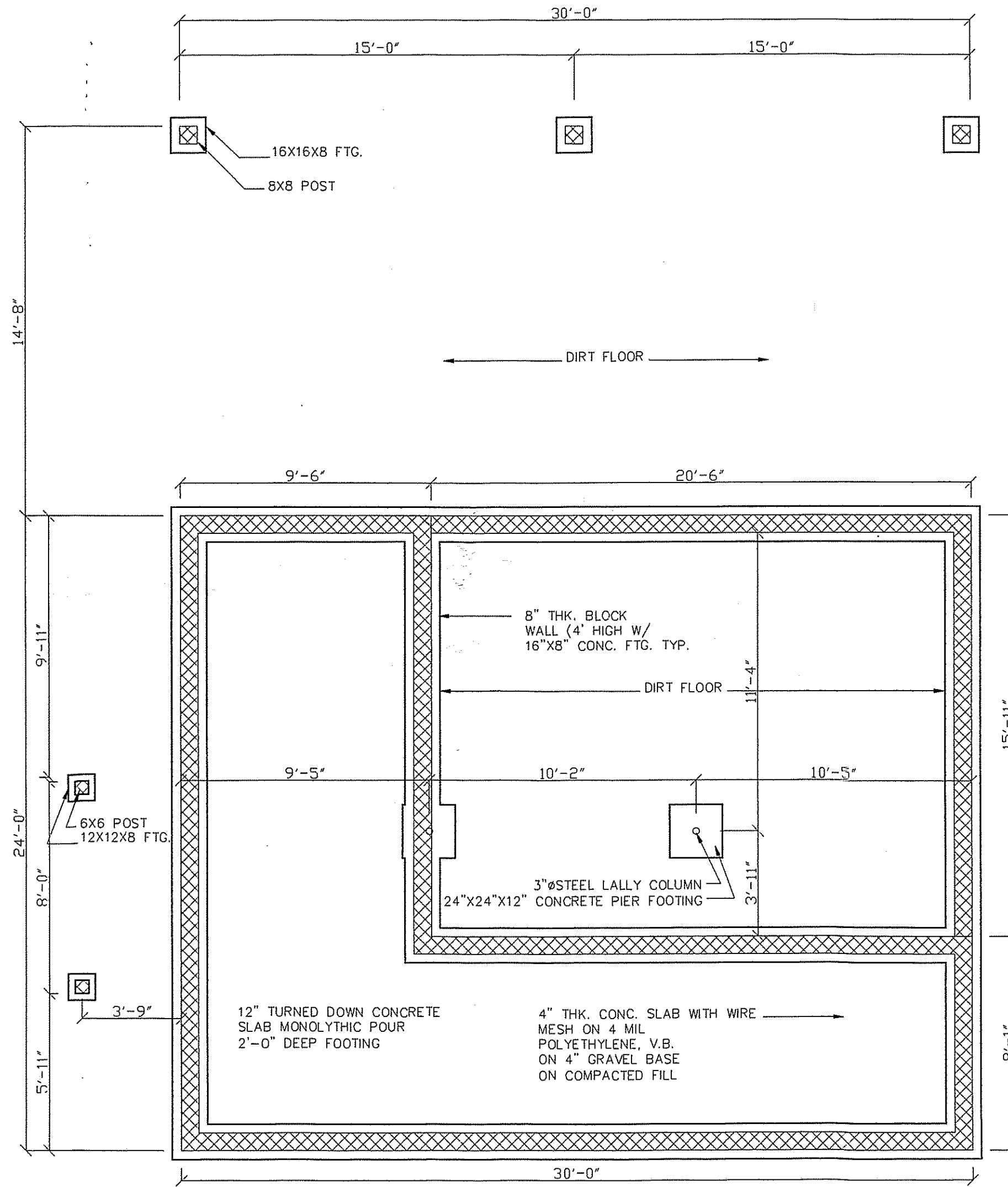
SECTION B  
 1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Jason E. Kelly*



SECTION C  
 1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission

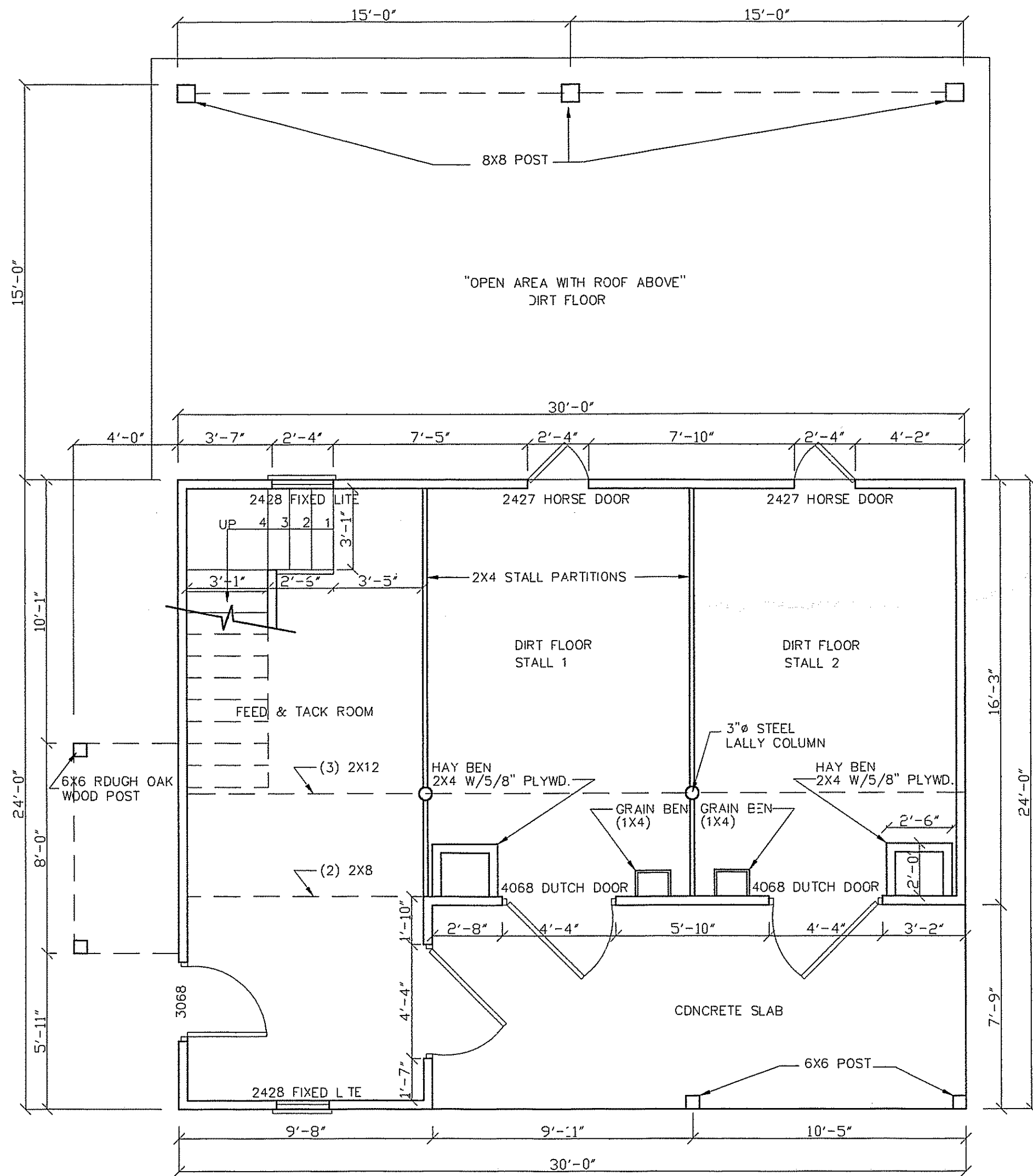


**FOUNDATION PLAN**

1/4" = 1'-0"

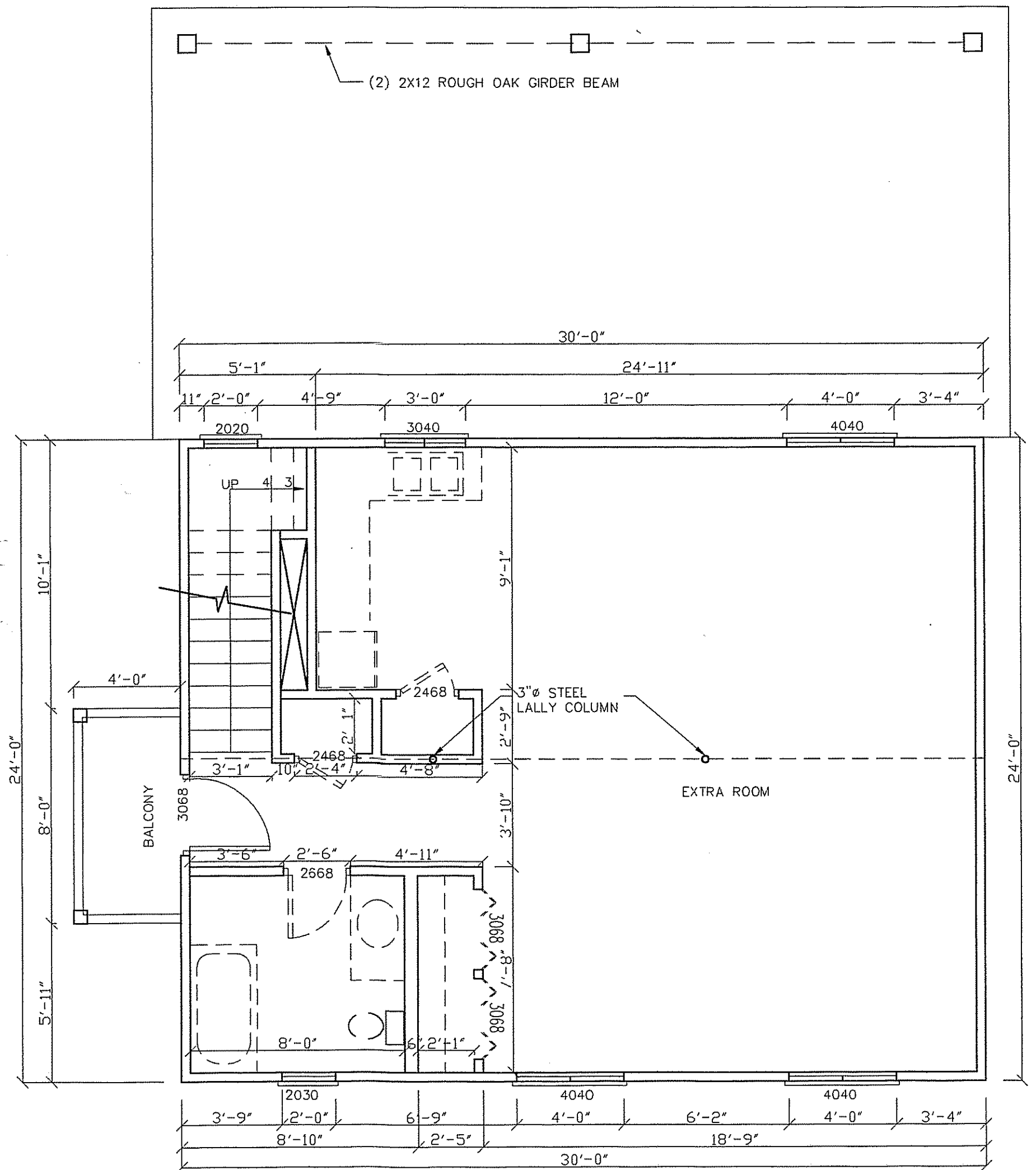
APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Steven Wright*  
 12/13/02





FIRST FLOOR PLAN

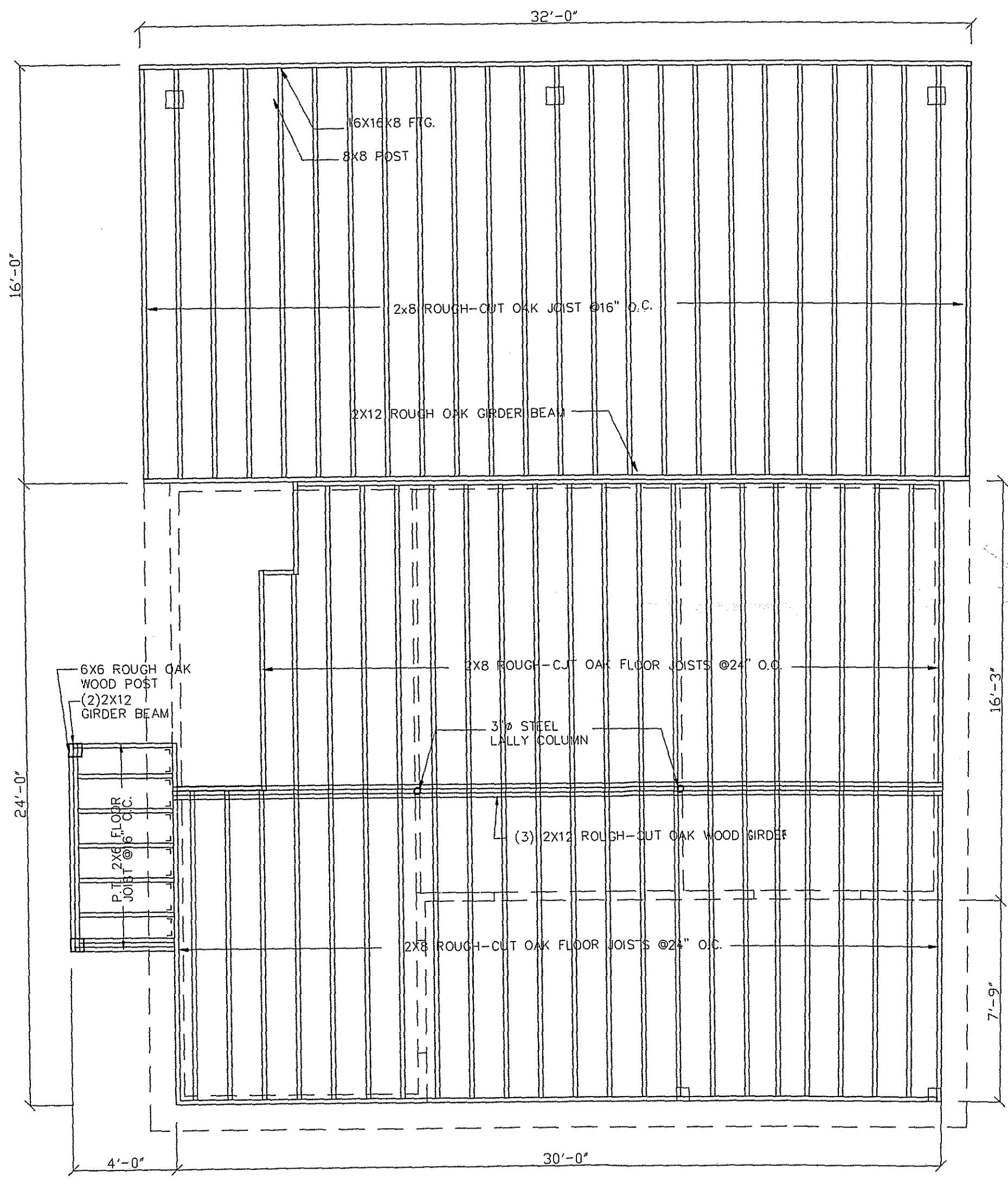
1/4" = 1'-0"



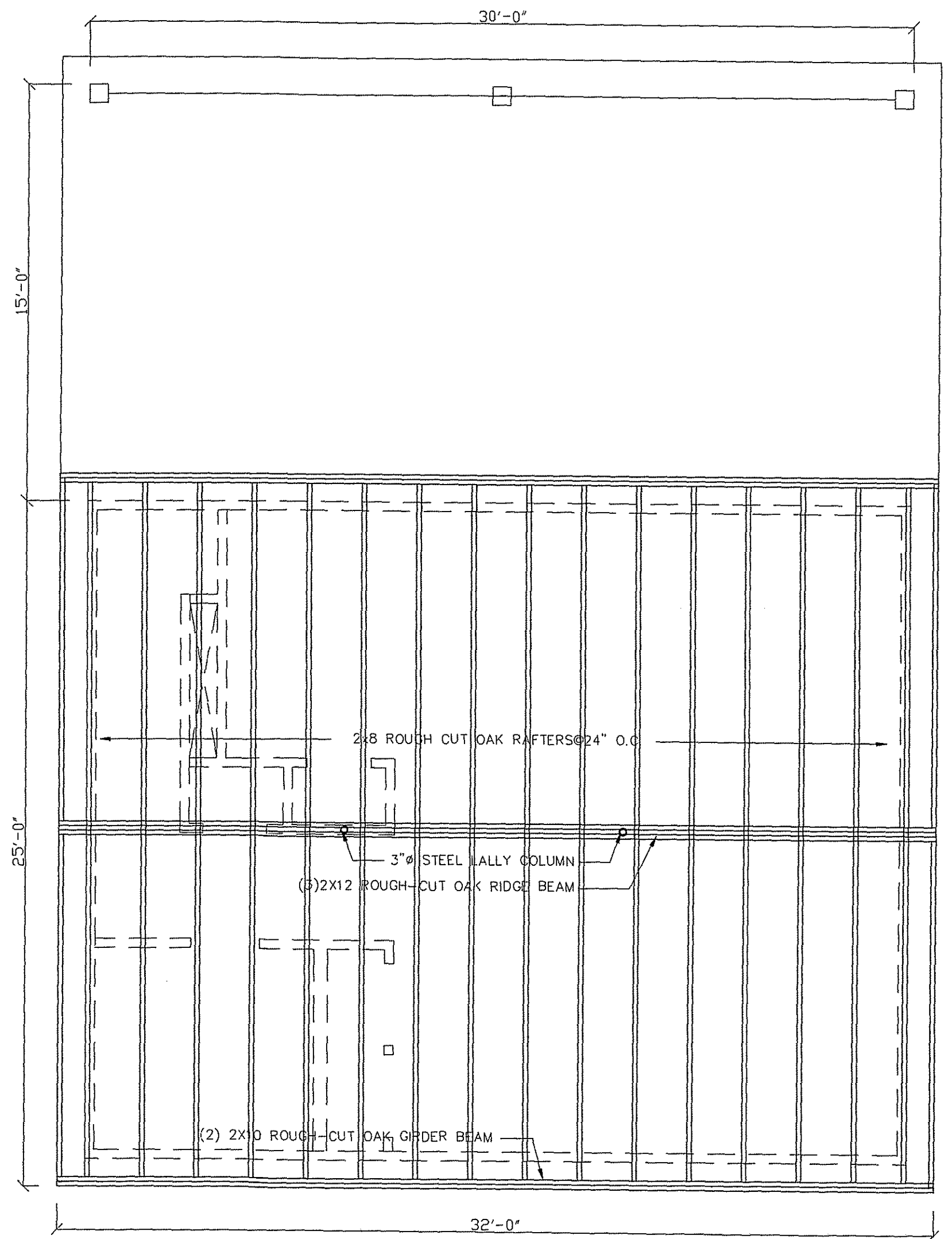
SECOND FLOOR PLAN

1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Amen Wright*  
 12/13/02

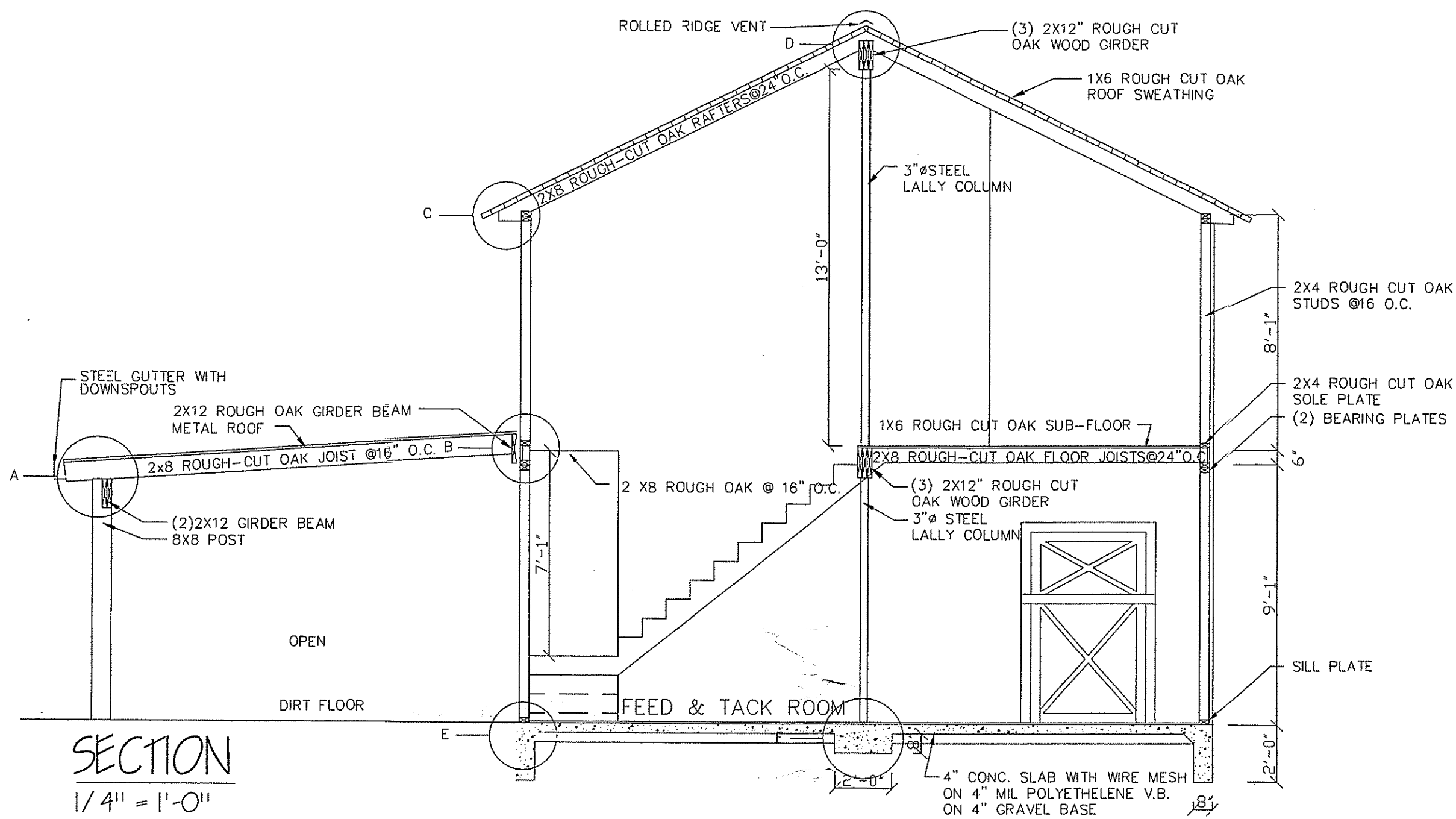


ATTIC / ROOF PLAN  
 1/4" = 1'-0"

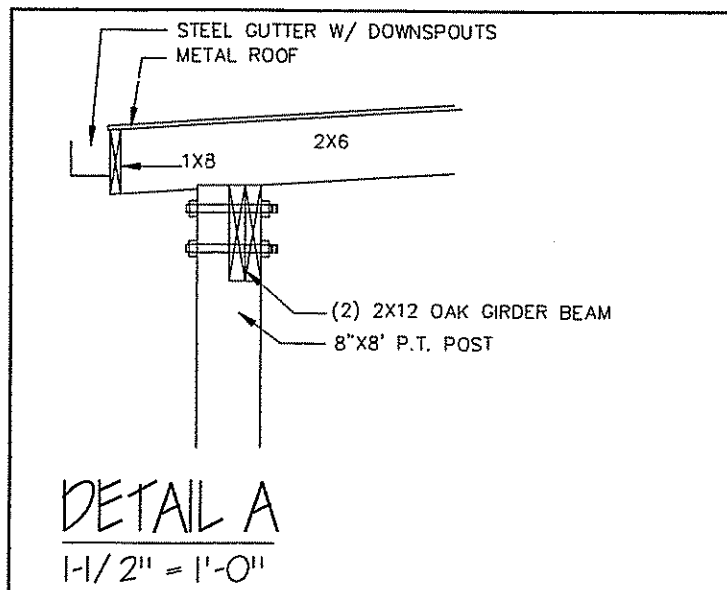


ROOF PLAN  
 1/4" = 1'-0"

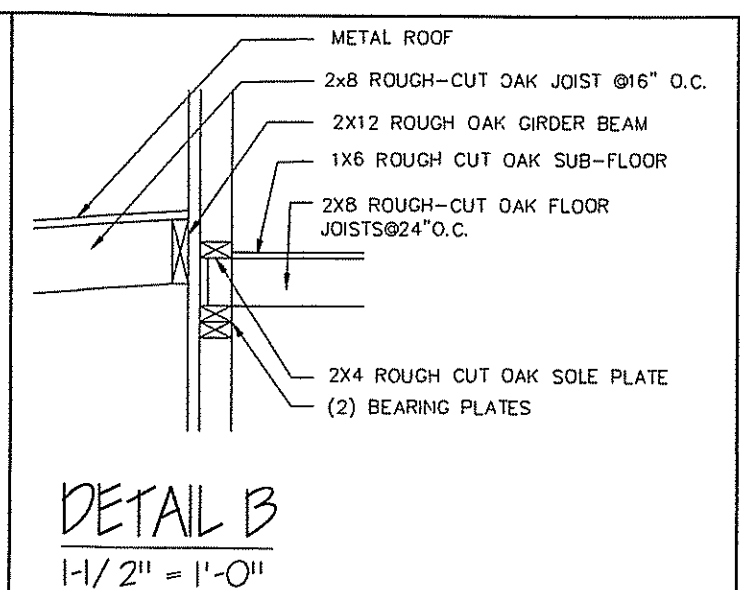
APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Amber Wright*  
 12/13/02



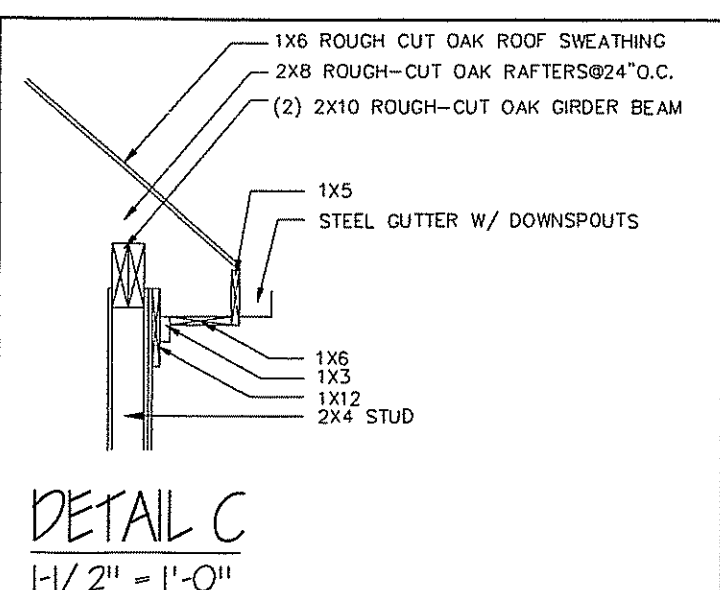
**SECTION**  
1/4" = 1'-0"



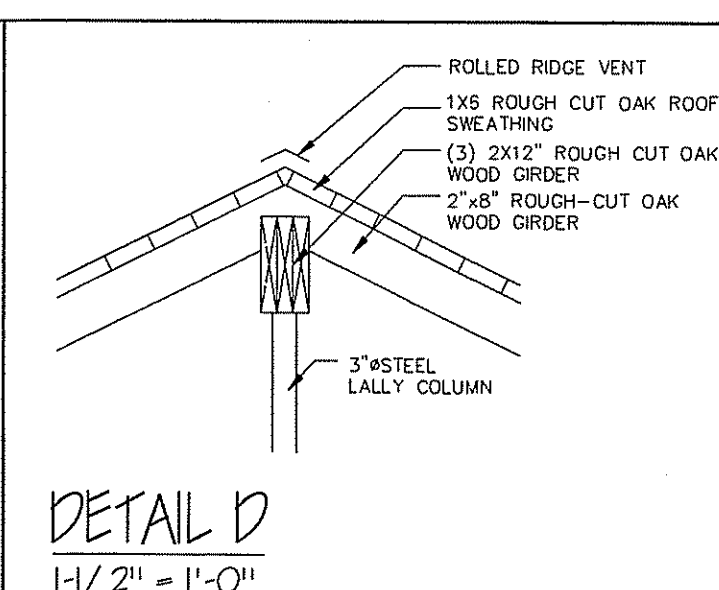
**DETAIL A**  
1-1/2" = 1'-0"



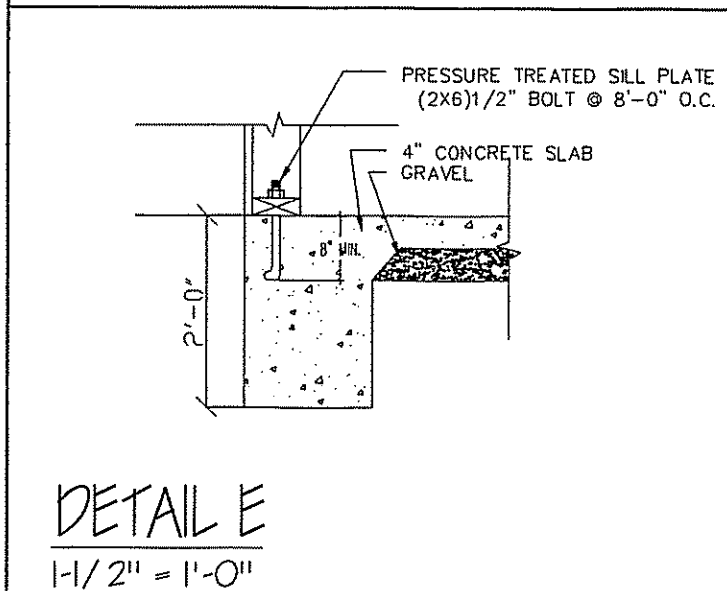
**DETAIL B**  
1-1/2" = 1'-0"



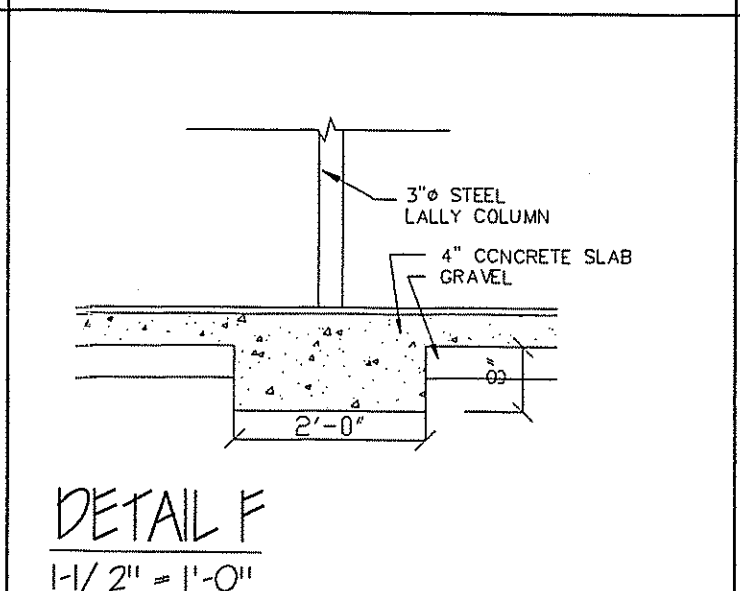
**DETAIL C**  
1-1/2" = 1'-0"



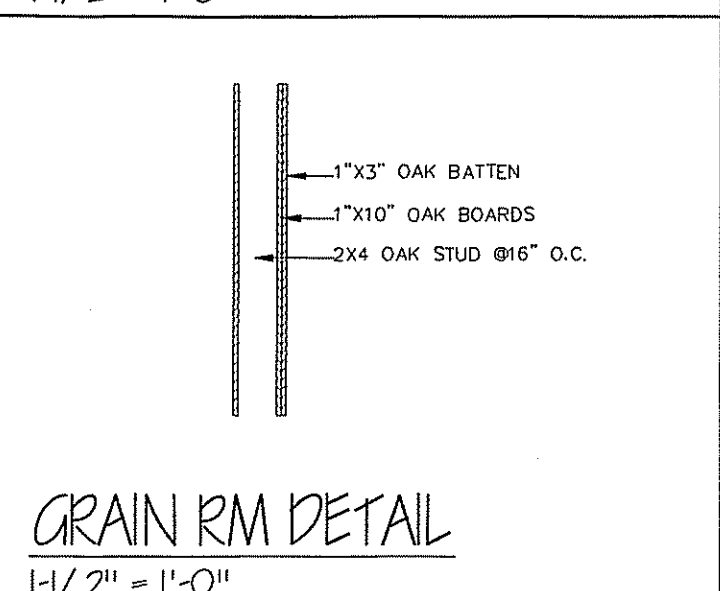
**DETAIL D**  
1-1/2" = 1'-0"



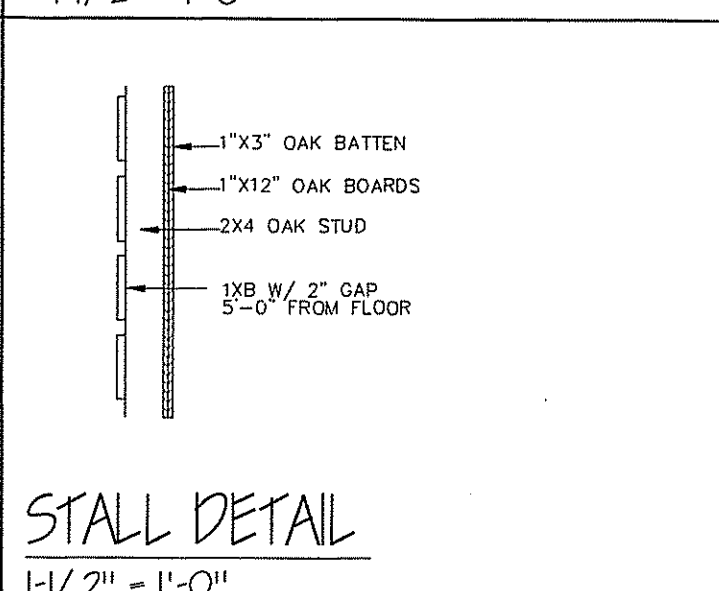
**DETAIL E**  
1-1/2" = 1'-0"



**DETAIL F**  
1-1/2" = 1'-0"

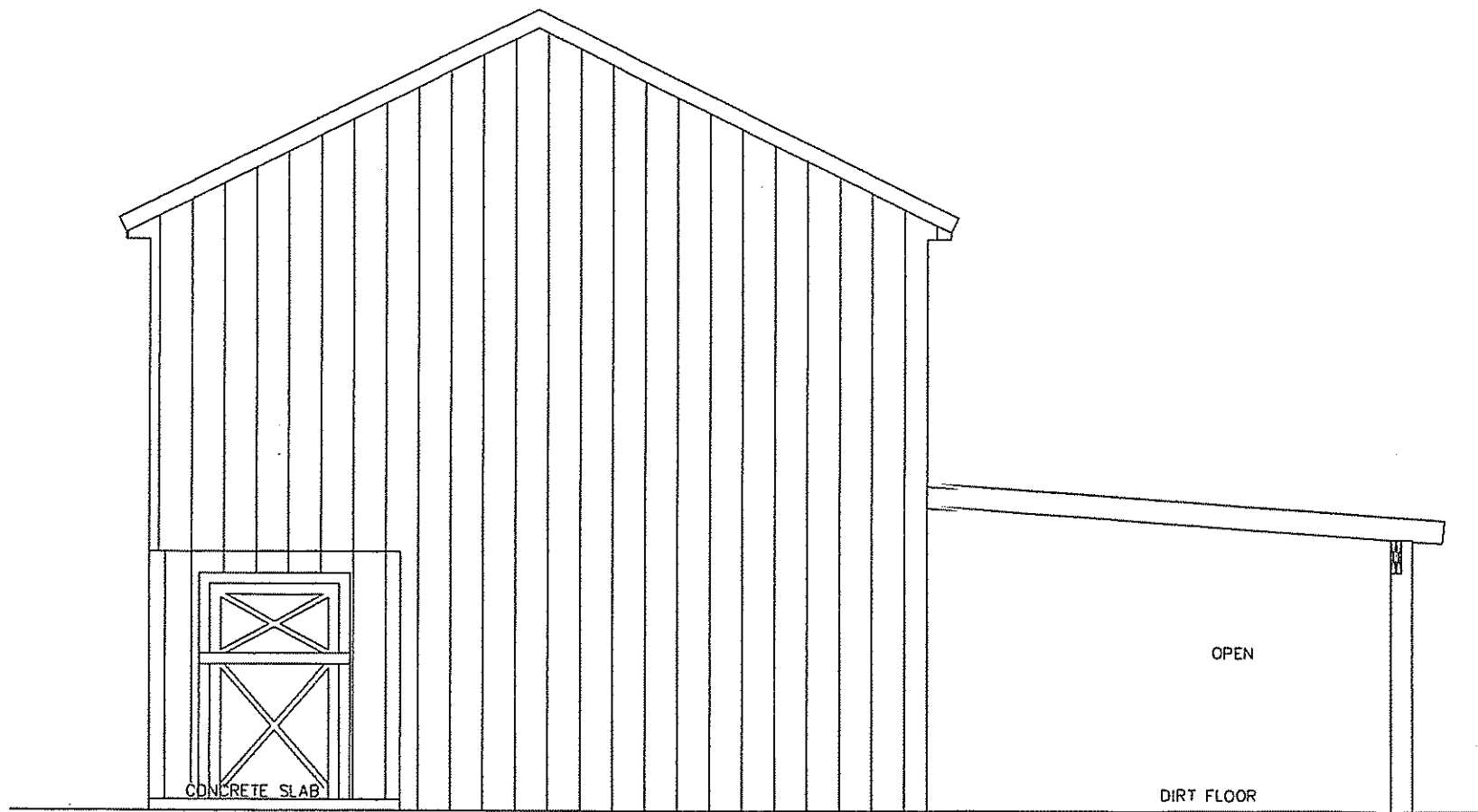


**GRAIN RM DETAIL**  
1-1/2" = 1'-0"

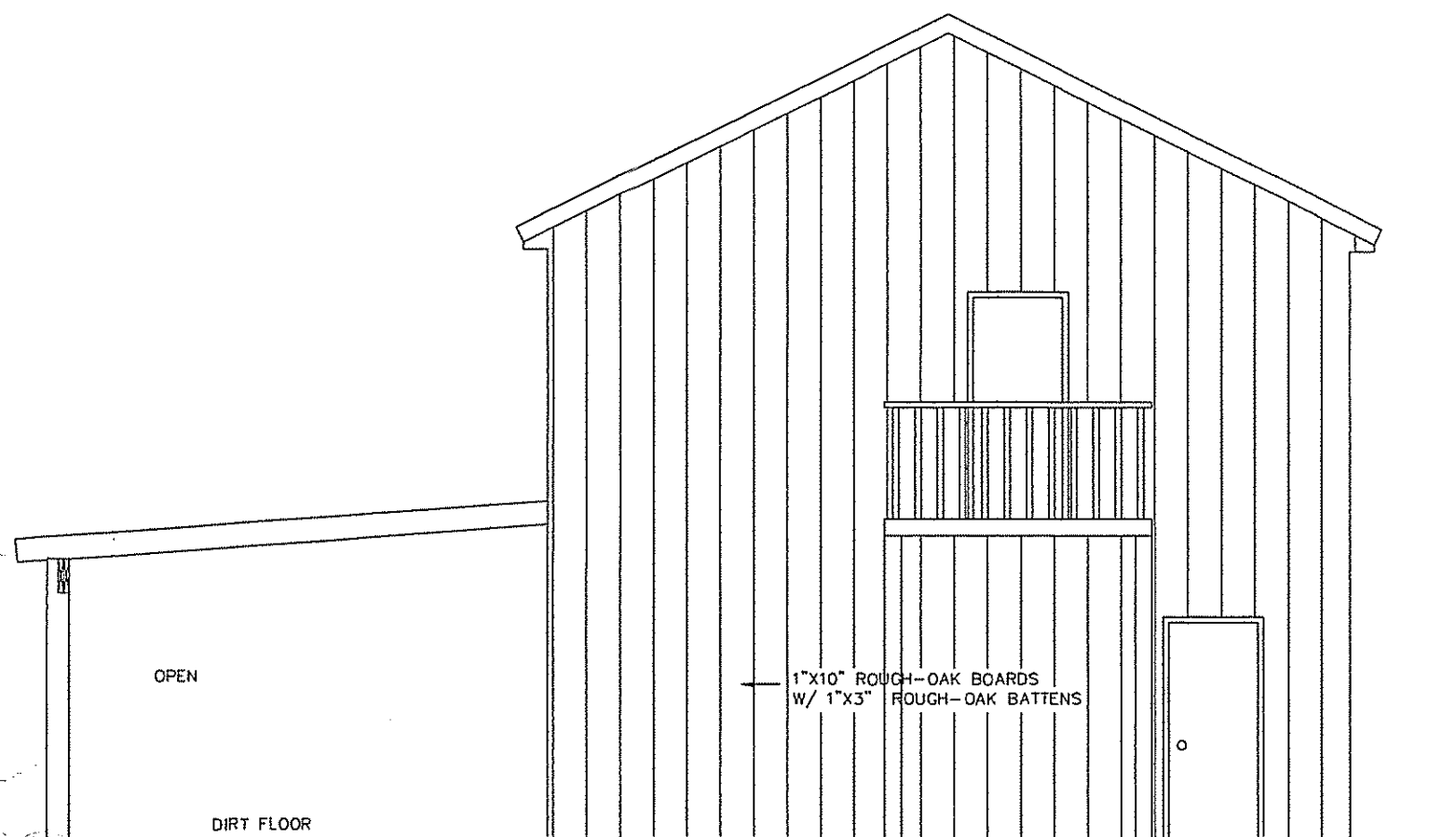


**STALL DETAIL**  
1-1/2" = 1'-0"

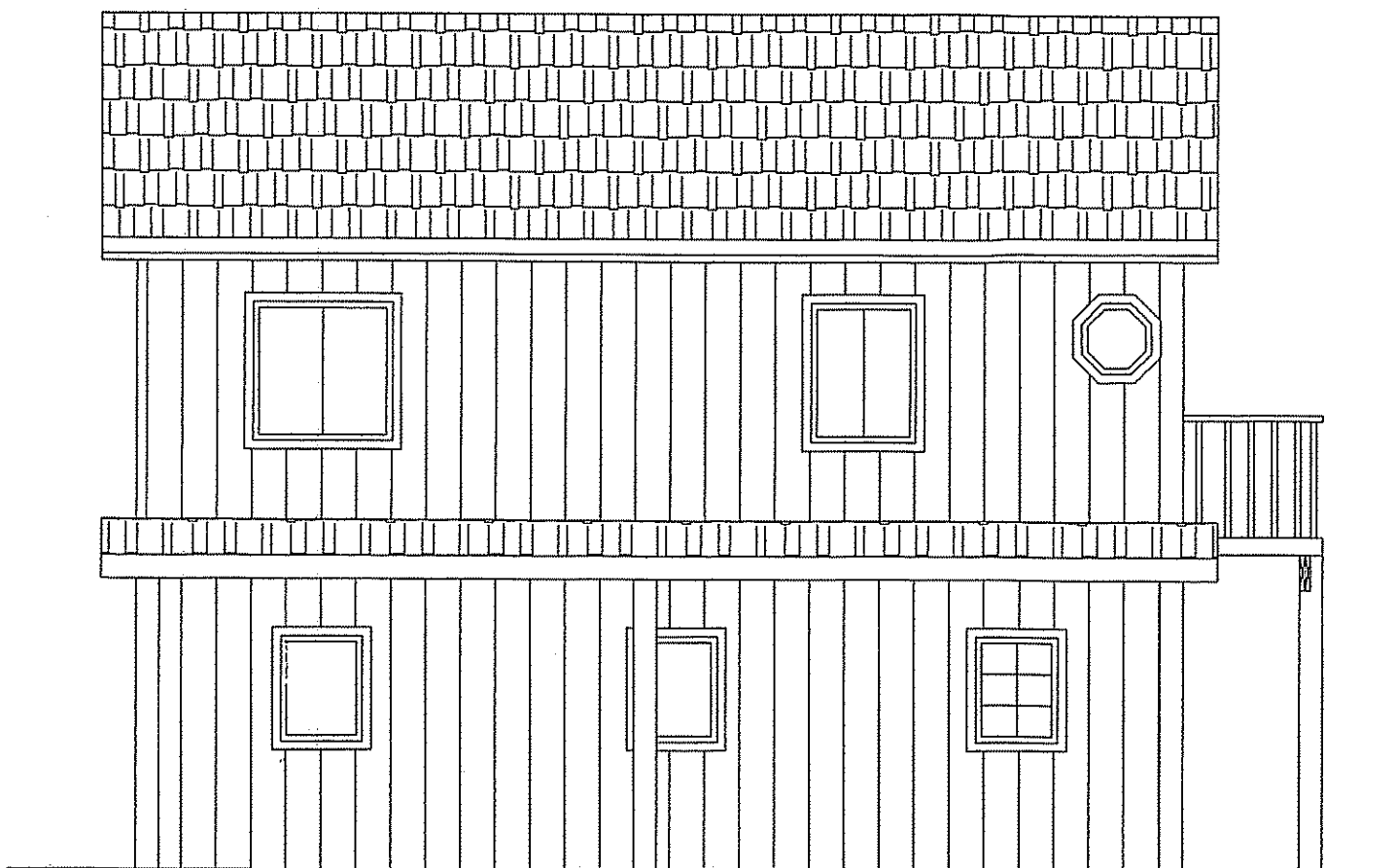
Montgomery County  
Historic Preservation Commission  
*Karen Wright*  
12/13/02



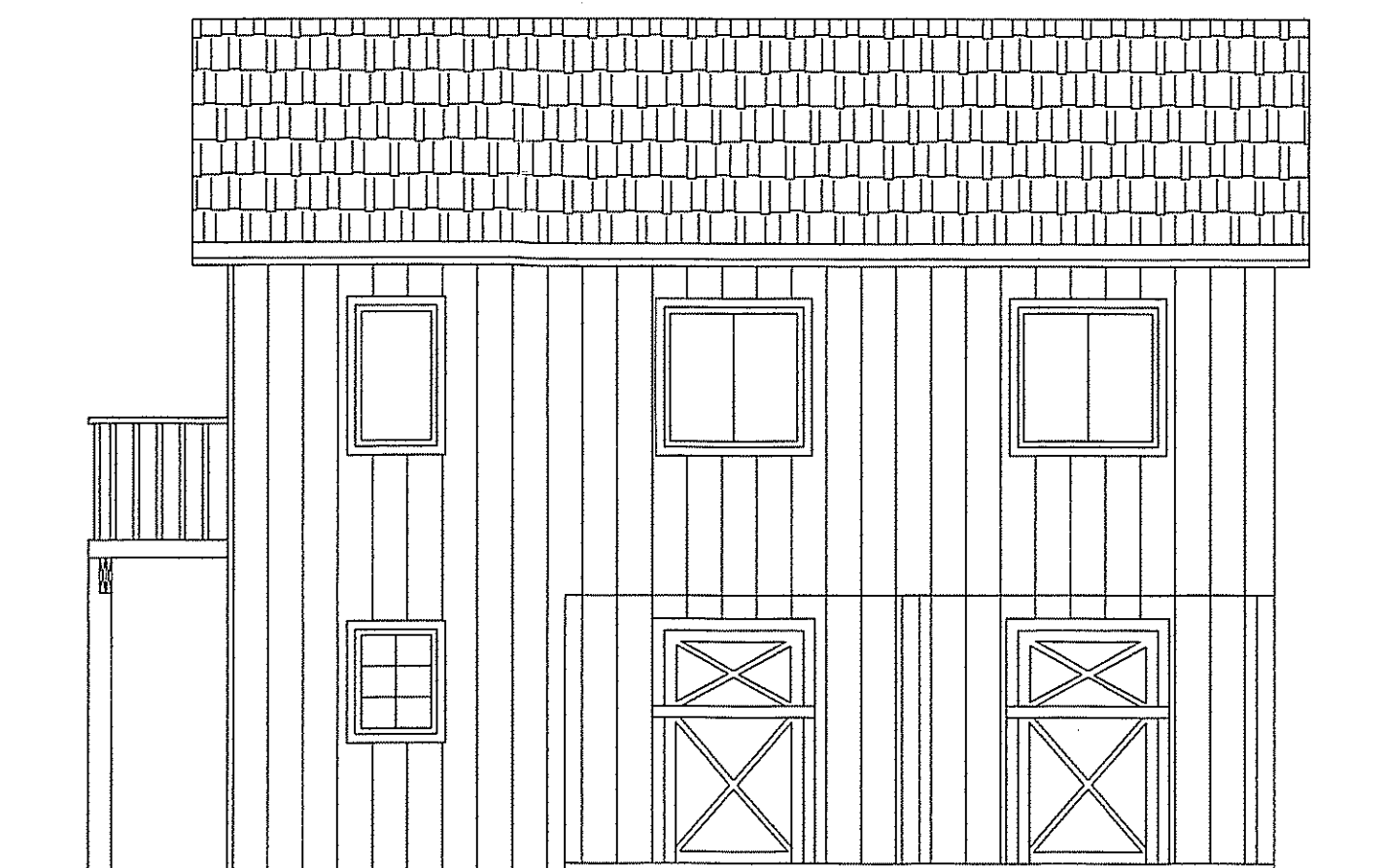
RIGHT ELEVATION  
1/4" = 1'-0"



LEFT ELEVATION  
1/4" = 1'-0"

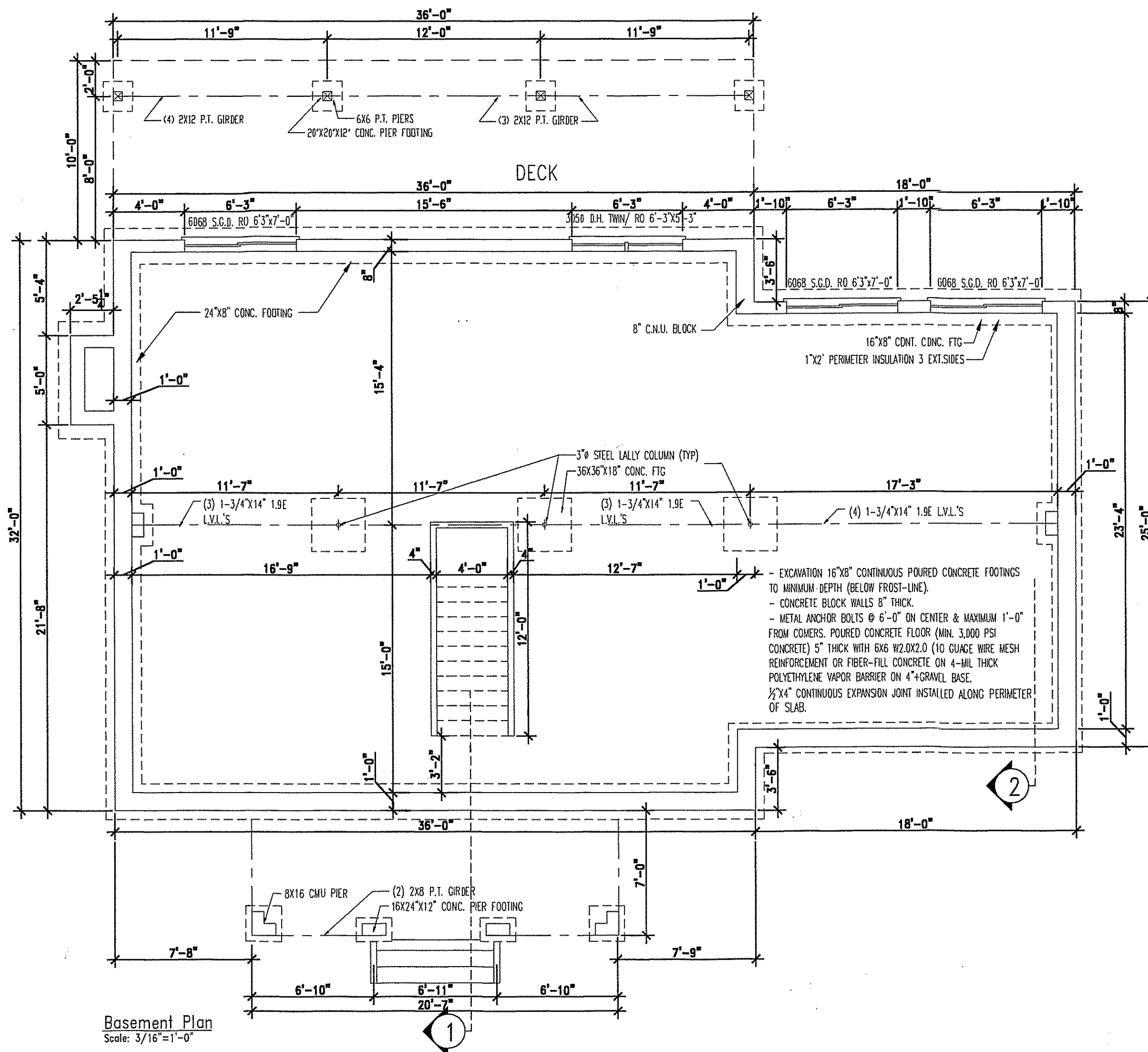


REAR ELEVATION  
1/4" = 1'-0"

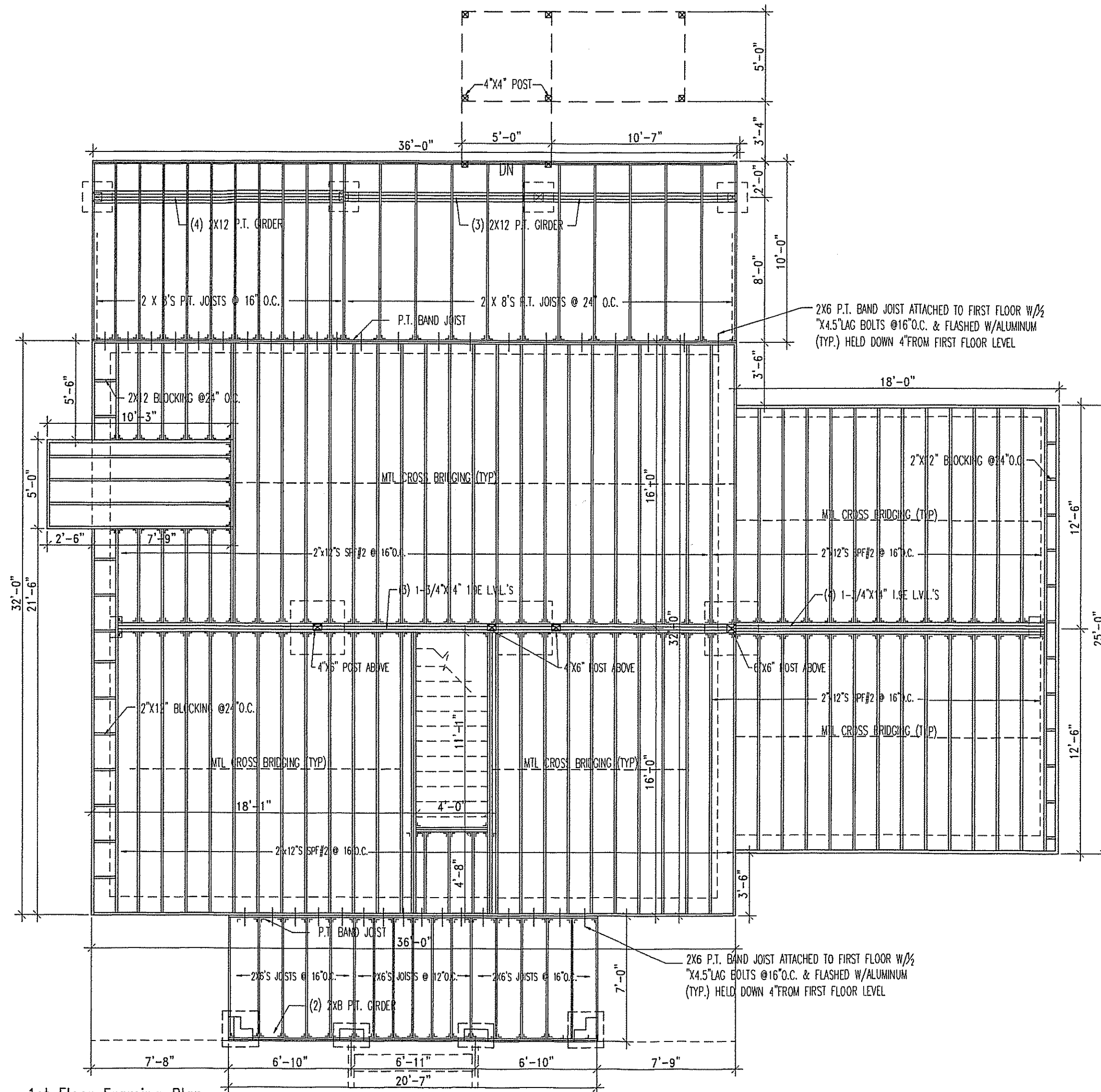


FRONT ELEVATION  
1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Kevin Wright*  
12/13/02



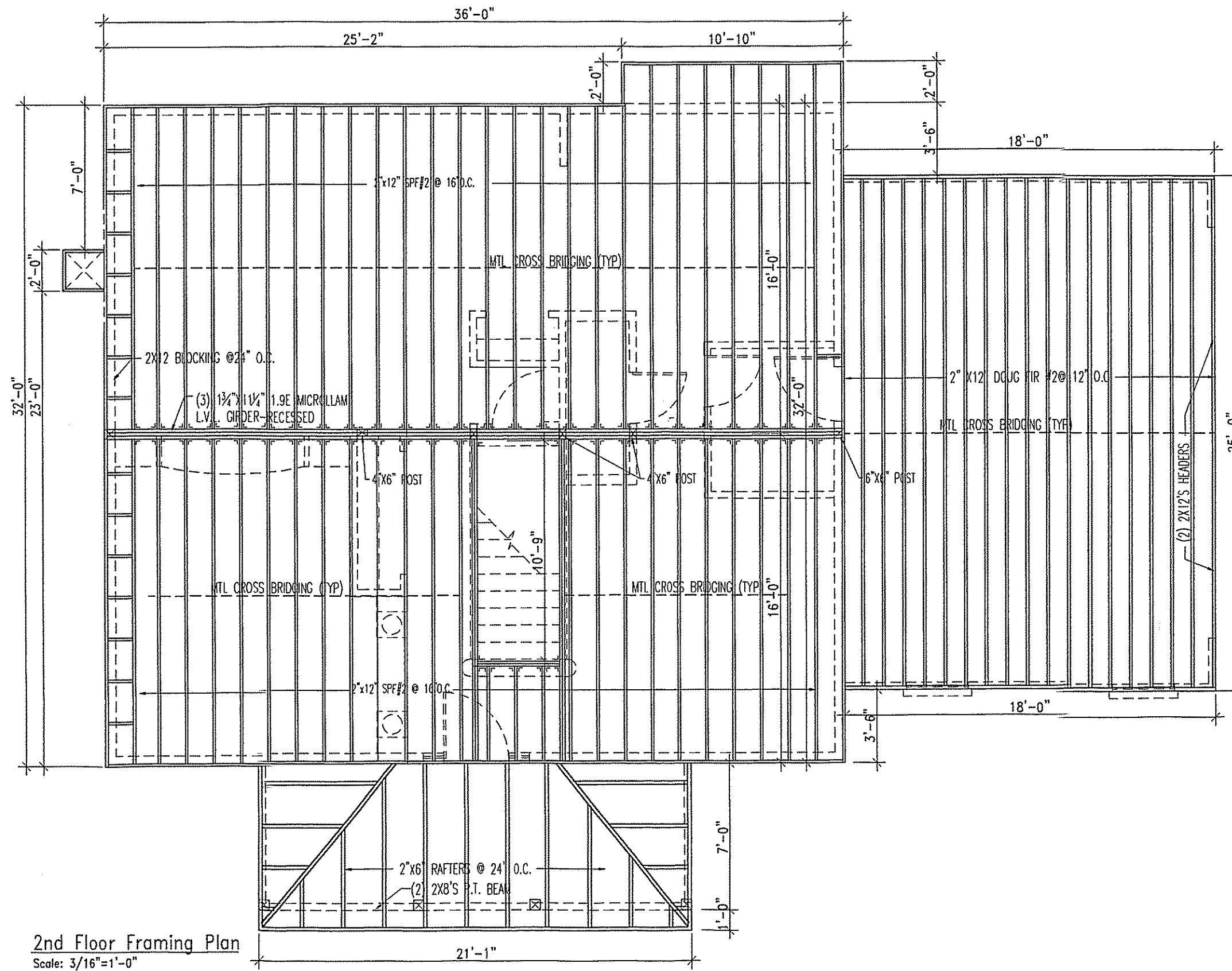
APPROVED  
Montgomery County  
Historic Preservation Commission  
*Green Wright*  
12/13/02



1st Floor Framing Plan  
 Scale: 3/16"=1'-0"

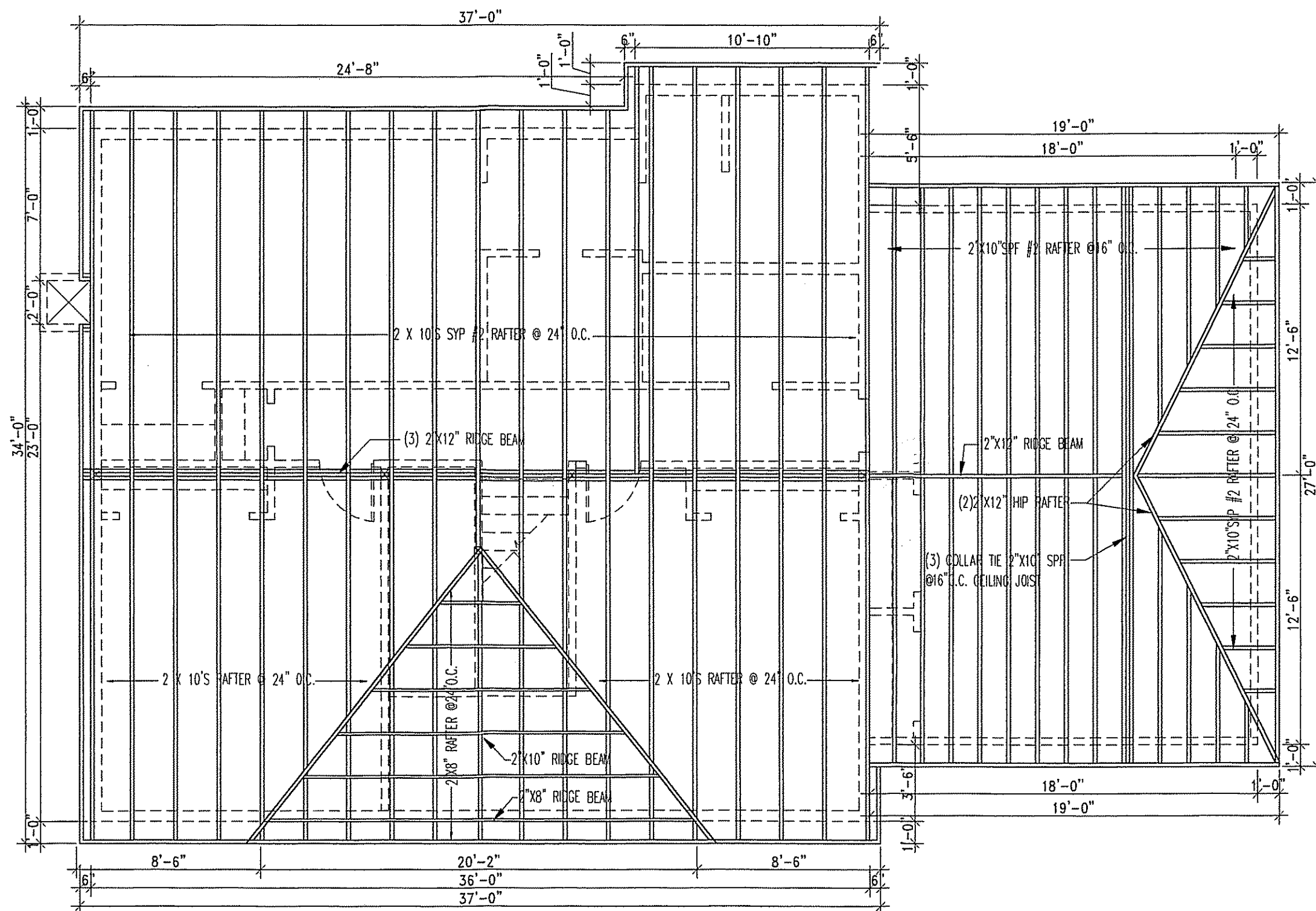
APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Ann Wright*  
 12/13/02





2nd Floor Framing Plan  
 Scale: 3/16"=1'-0"

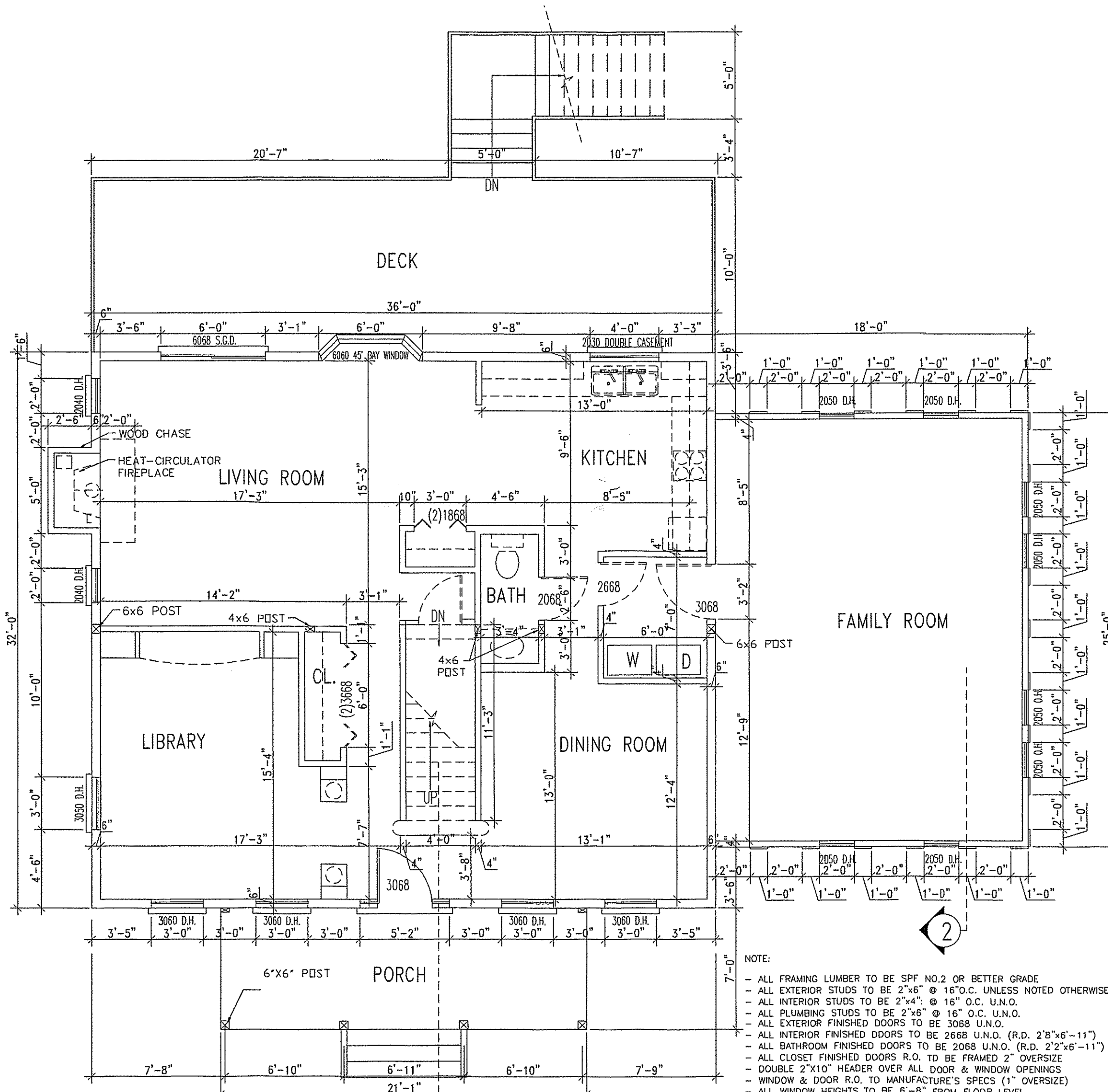
AP# 100-100-000000  
 Montgomery County  
 Historic Preservation Commission  
*Shawn Wright*  
 12/13/02



Roof Framing Plan  
 Scale: 1/4"=1'-0"

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*Steven Wright*  
 12/13/02

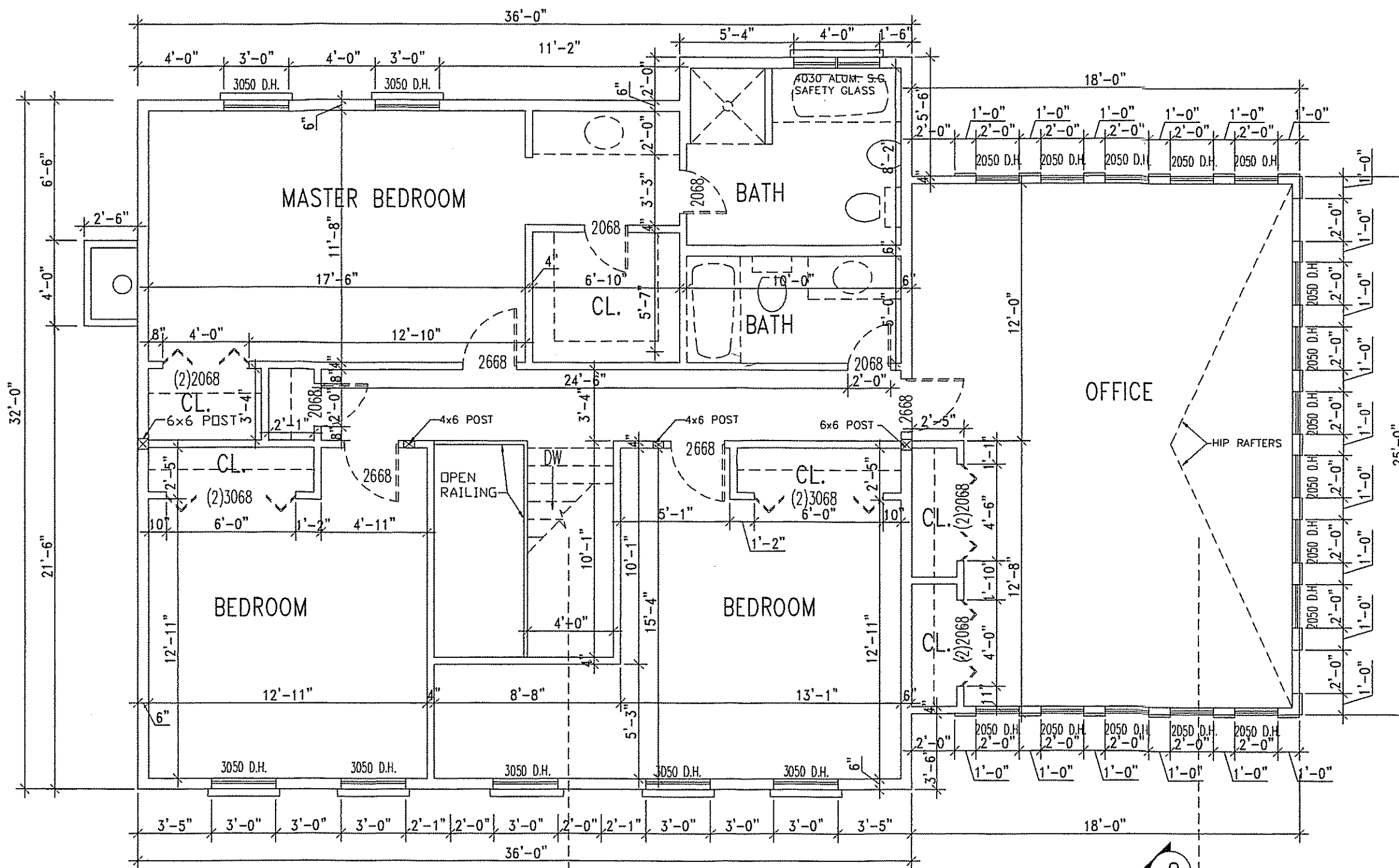




1st Floor Plan  
Scale: 3/16"=1'-0"

- NOTE:
- ALL FRAMING LUMBER TO BE SPF NO.2 OR BETTER GRADE
  - ALL EXTERIOR STUDS TO BE 2"x6" @ 16" O.C. UNLESS NOTED OTHERWISE (UNO)
  - ALL INTERIOR STUDS TO BE 2"x4" @ 16" O.C. U.N.O.
  - ALL PLUMBING STUDS TO BE 2"x6" @ 16" O.C. U.N.O.
  - ALL EXTERIOR FINISHED DOORS TO BE 3068 U.N.O.
  - ALL INTERIOR FINISHED DOORS TO BE 2668 U.N.O. (R.D. 2'8"x6'-11")
  - ALL BATHROOM FINISHED DOORS TO BE 2068 U.N.O. (R.D. 2'2"x6'-11")
  - ALL CLOSET FINISHED DOORS R.O. TO BE FRAMED 2" OVERSIZE
  - DOUBLE 2"x10" HEADER OVER ALL DOOR & WINDOW OPENINGS
  - WINDOW & DOOR R.O. TO MANUFACTURE'S SPECS (1" OVERSIZE)
  - ALL WINDOW HEIGHTS TO BE 6'-8" FROM FLOOR LEVEL

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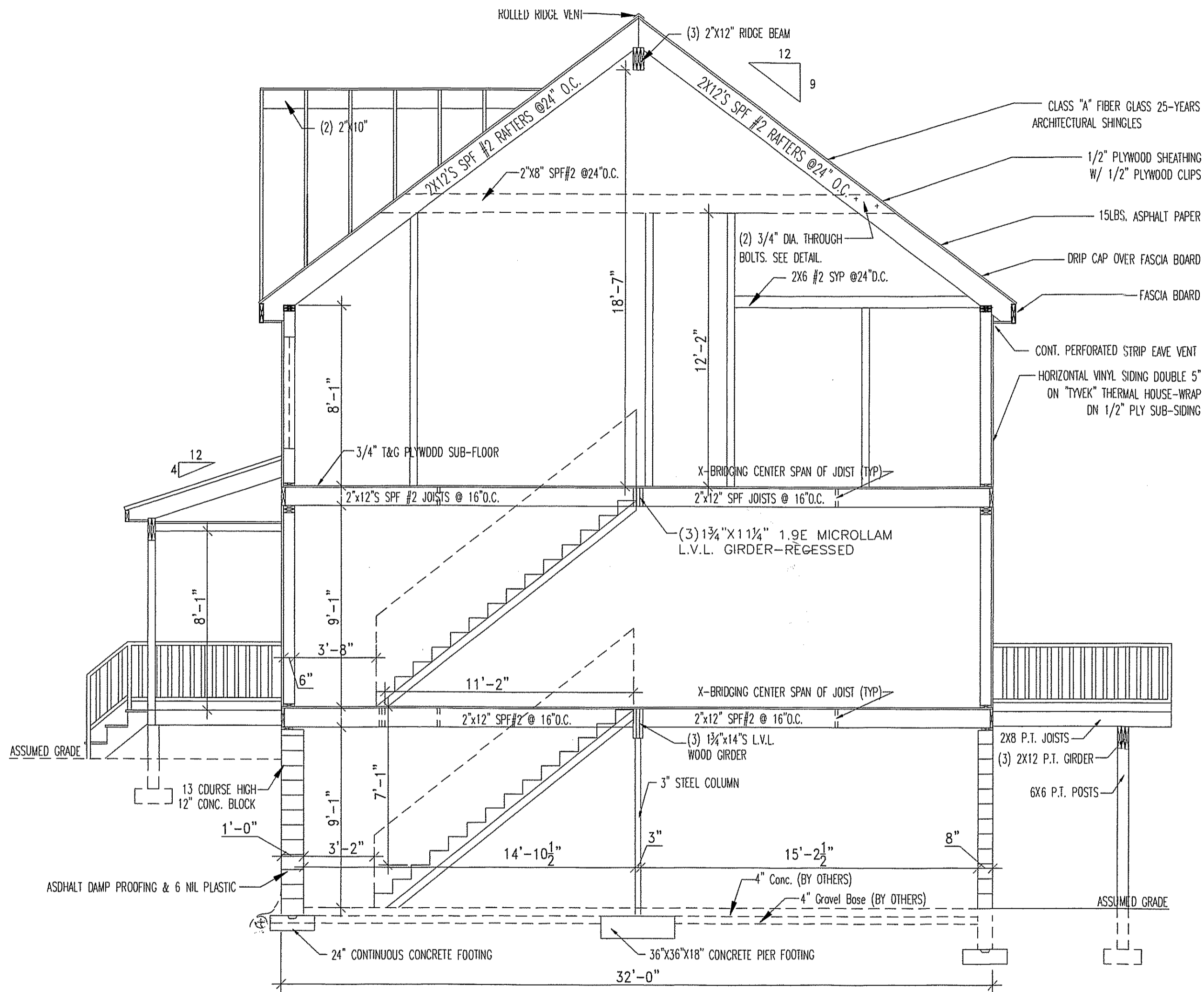


2nd Floor Plan  
 Scale: 1/4"=1'-0"

1

2

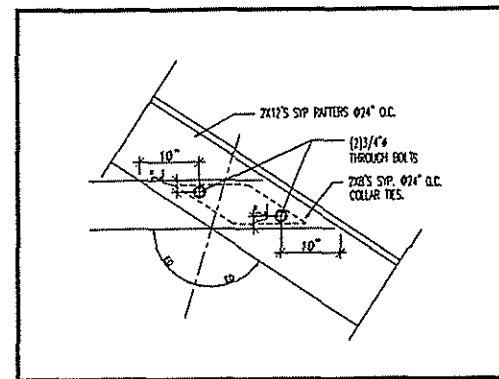
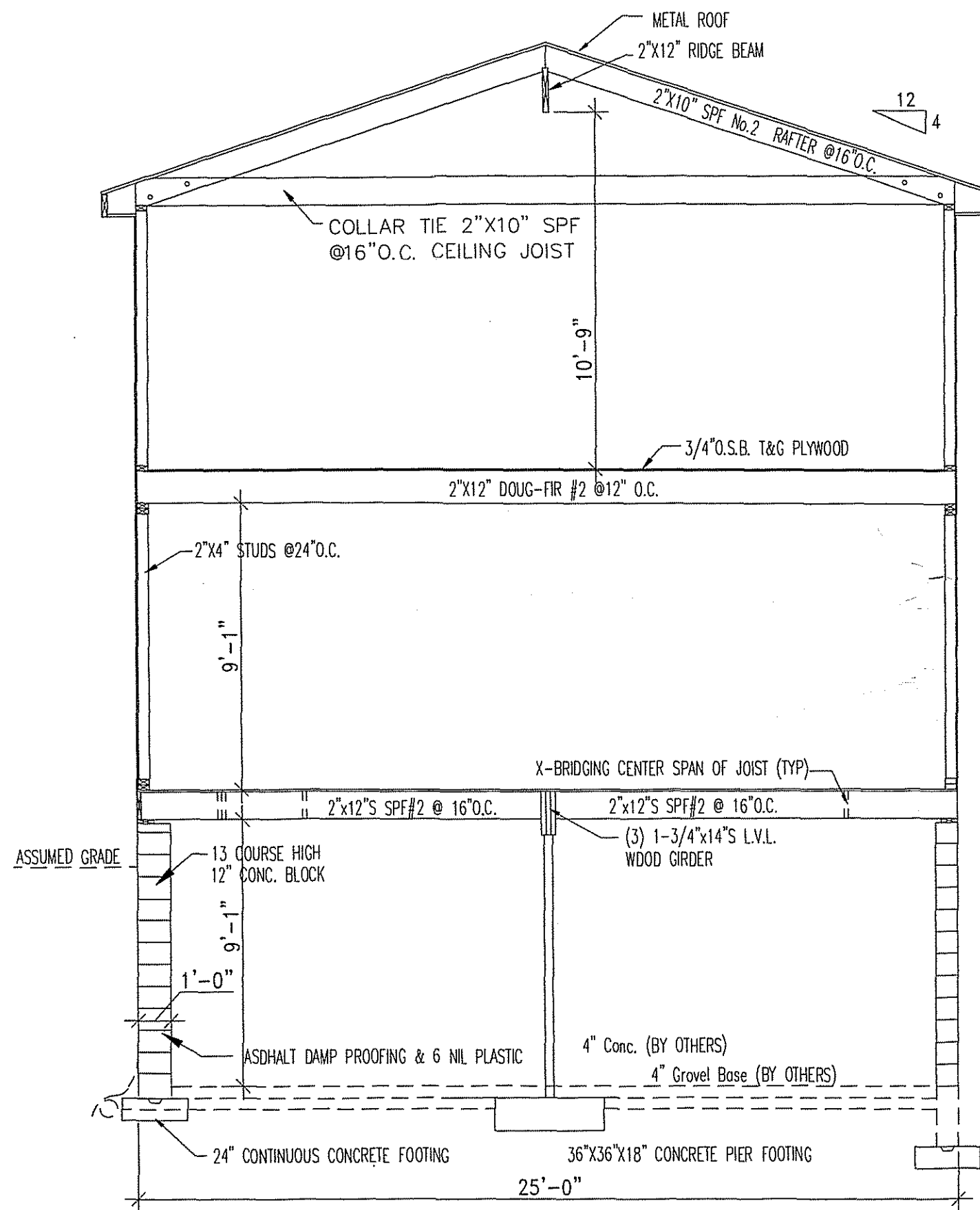
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*[Signature]*  
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Side Section Detail (1)

Scale: 1/4"=1'-0"

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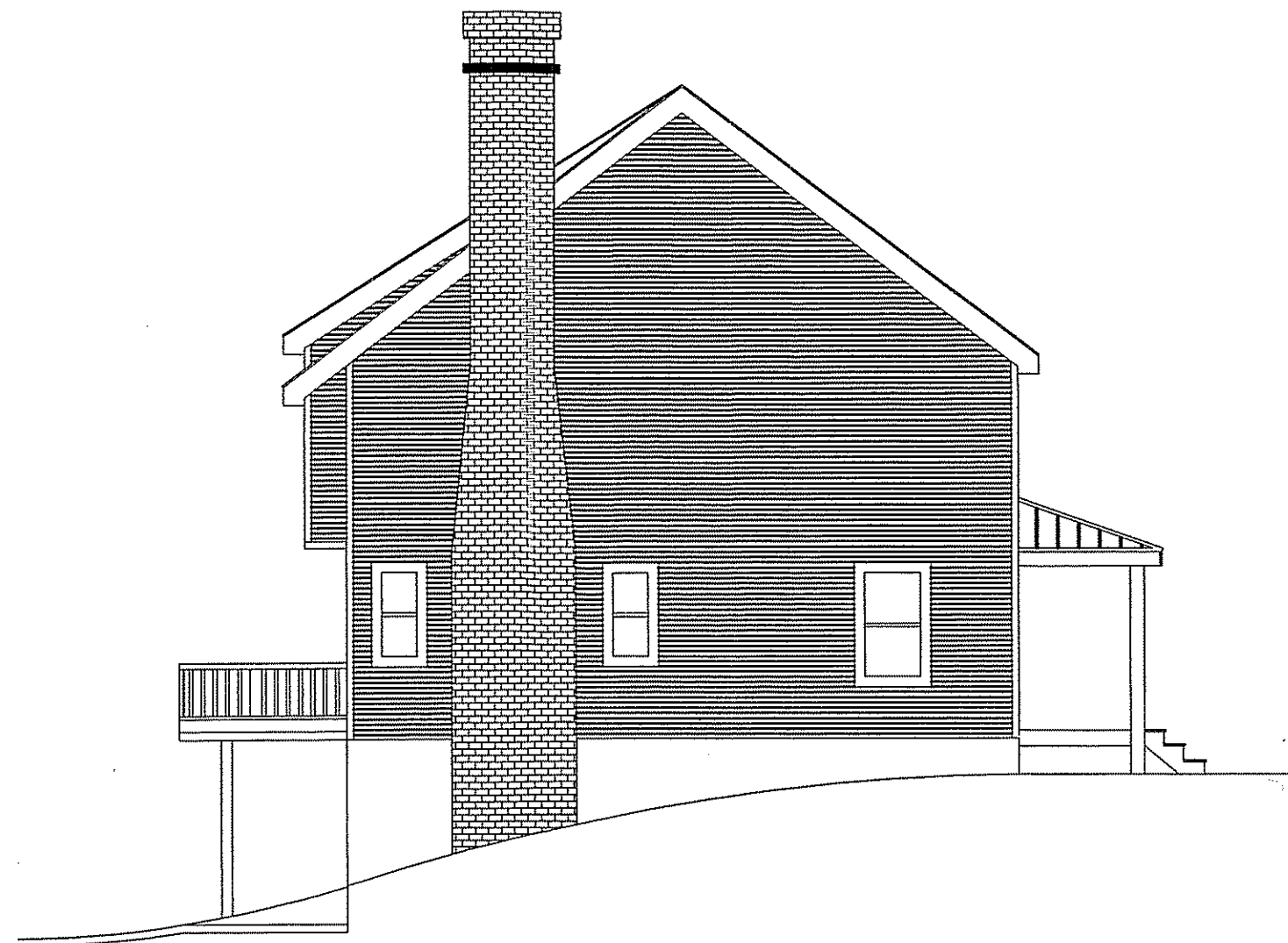


Side Section Detail (2)  
 Scale: 3/8" = 1'-0"

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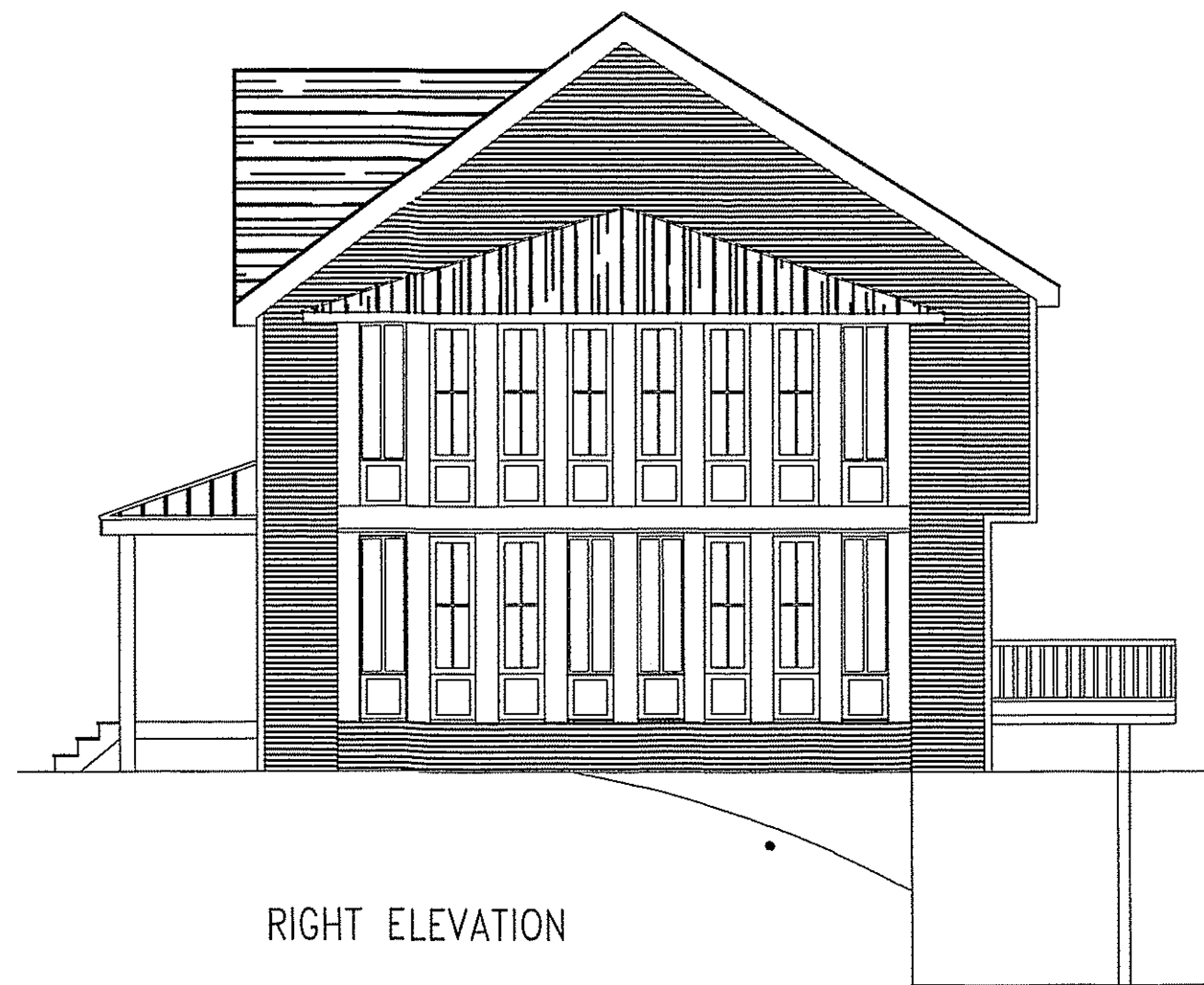
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION

Montgomery County  
Historic Preservation Commission  
*Glenn Wright*  
12/13/02