

18/08-04A 19810 White Ground Road
Boys Historic District



THE MARYLAND-NATIONAL CAPITAL PARK & PLANNING COMMISSION

Date: March 26, 2004

MEMORANDUM

TO: Robert Hubbard, Director

FROM: Michele Naru, Senior Planner
Historic Preservation Section

SUBJECT: Historic Area Work Permit # 335998

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **APPROVED with conditions**. The HPC staff has reviewed and stamped the attached construction drawings. The conditions of approval are:

The cladding material for the exterior of the building will be clad in painted, Hardi-plank or wood lap siding with wood trim (to include window and doors surrounds, corner boards and cornice details). Soffits, gutters and downspouts may utilize vinyl products.

The door selections (garage and people) will be reviewed and approved by staff.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE APPROVED HISTORIC AREA WORK PERMIT (HAWP).

Applicant: Mark Shaw

Address: 19810 White Ground Road, Boyds Historic District

This HAWP approval is subject to the general condition that, after issuance of the Montgomery County Department of Permitting Services (DPS) permit, the applicant arrange for a field inspection by calling the Montgomery County DPS Field Services Office at 240-777-6210 or online at <http://permits.emontgomery.org> prior to commencement of work and not more than two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR HISTORIC AREA WORK PERMIT

Contact Person: Mark C. Shaw

Daytime Phone No.: 202 369 1979

Tax Account No.: 11-1-00920623

Name of Property Owner: Mark C. Shaw Daytime Phone No.: 301 353 1804

Address: 19810 White Ground rd Principles 20841
Street Number City Street Zip Code

Contractor: _____ Phone No.: _____

Contractor Registration No.: _____

Agent for Owner: _____ Daytime Phone No.: _____

LOCATION OF BUILDING/PREMISE

House Number: 19810 Street: White Ground rd

Town/City: Principles Nearest Cross Street: Clayton rd

Lot: 0050B Block: _____ Subdivision: _____

Liber: 2843 Folio: 68 Parcel: _____

RECEIVED

MAR 02 2004

Dept. of Permitting Services
Division of
Customer Management

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE: Construct Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
- Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
- Revision Repair Revocable Fence/Wall (complete Section 4) Other: _____

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit # _____

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

2A. Type of sewage disposal: 01 WSSC 02 Septic 03 Other: _____

2B. Type of water supply: 01 WSSC 02 Well 03 Other: _____

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

3A. Height _____ feet _____ inches

3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:

- On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Mark C. Shaw Signature of owner or authorized agent 11-12-03 Date

Approved: X W/CONDITIONS For Chairperson, Historic Preservation Commission

Disapproved: _____ Signature: Julia O'Malley Date: 3/26/04

Application/Permit No.: 335-998 Date Filed: 3/26/04 Date Issued: _____

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing 1873 Single family house located on a high point elevation of 1.87 Acre rural lot on White Ground Rd. in Boyds, MD has been modified substantially over its existence but still adds small town charm to our community in conjunction with the other houses on our street. 1980 features full size front sitting porch, original tin roofing, and a stone foundation.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Our plans for a two story barn style detached garage will blend in nicely with the theme of the community. On our street most of the houses are accompanied by a number of out buildings ranging from full size barns to wood sheds. In our barn style garage we will have tin roofing and garage doors that appear to be more like barn doors than garage doors. The new structure will blend into the property as well as the community.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date; ✓
- b. dimensions of all existing and proposed structures; and ✓
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping. ✓

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. Schematic construction plans, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For ALL projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355.



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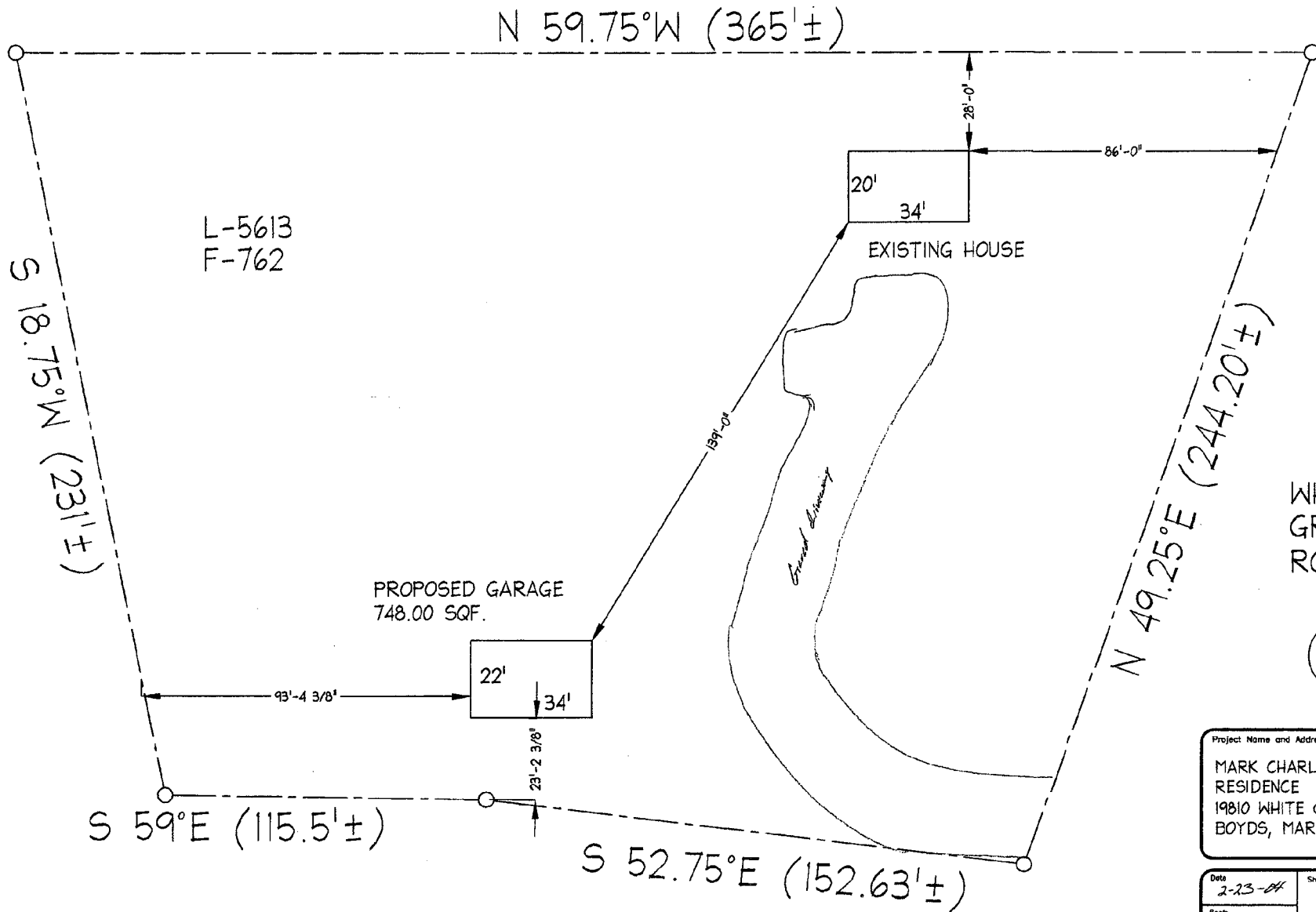
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Project Name and Address
 MARK CHARLES SHAW
 RESIDENCE
 19810 WHITE GROUND RD.
 BOYDS, MARYLNAD 20841

Date: 2-23-84
 Scale: 1"=20'
 Sheet: **A-1**

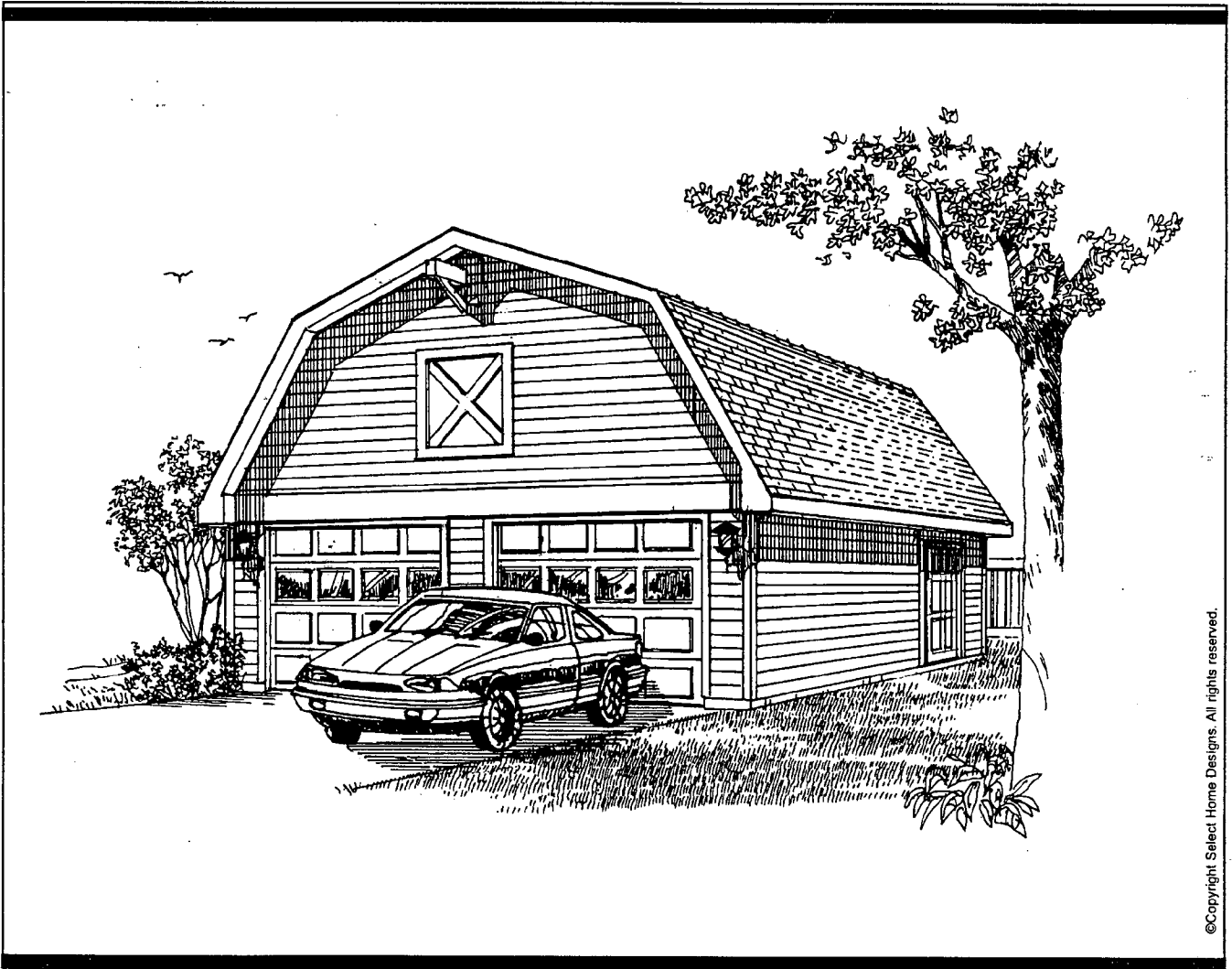
DRAWING SCALE: 1 : 20'

MATERIALS LIST

Garage

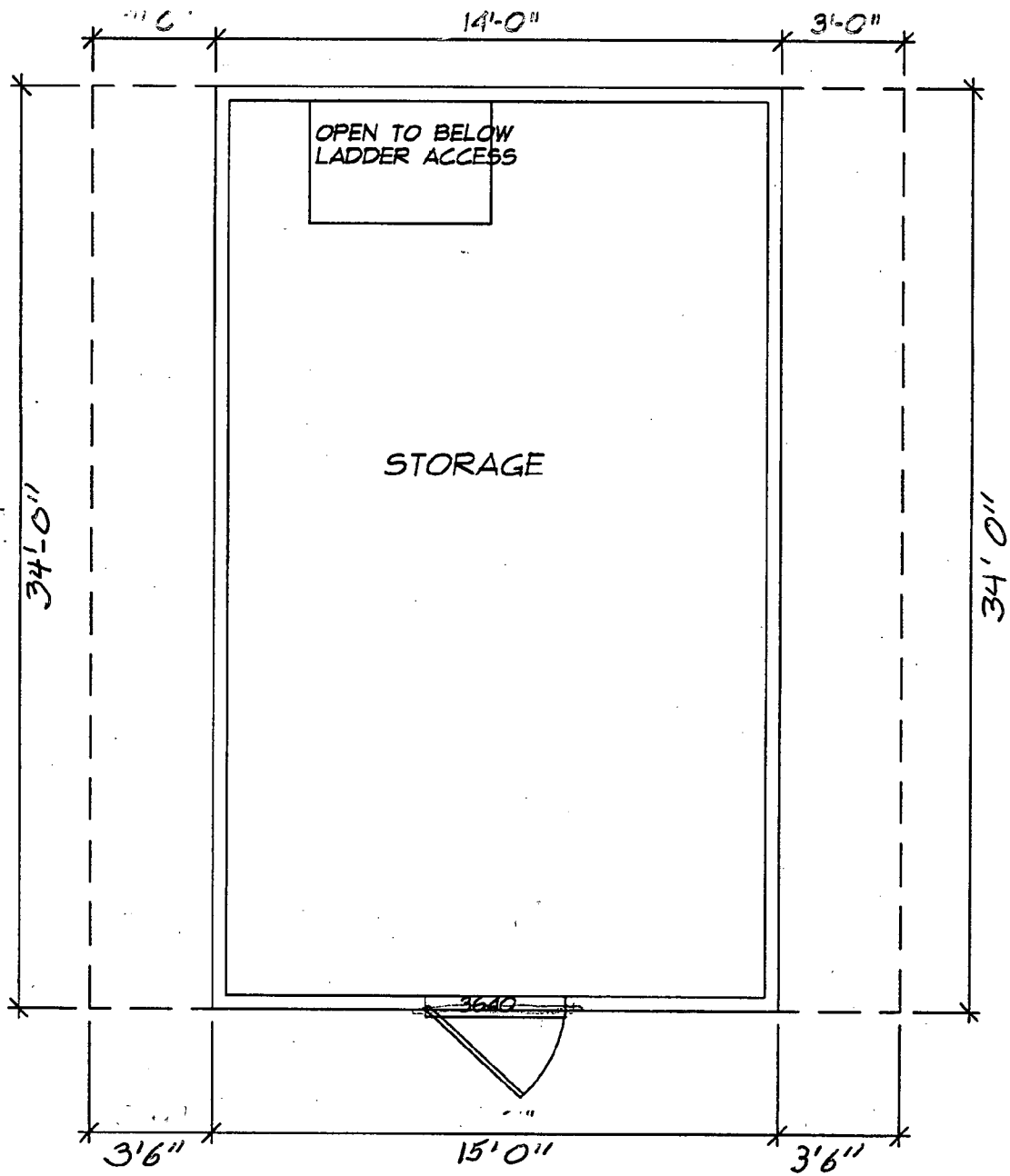
34' X 22'

Plan No. 804-14



©Copyright Select Home Designs. All rights reserved.

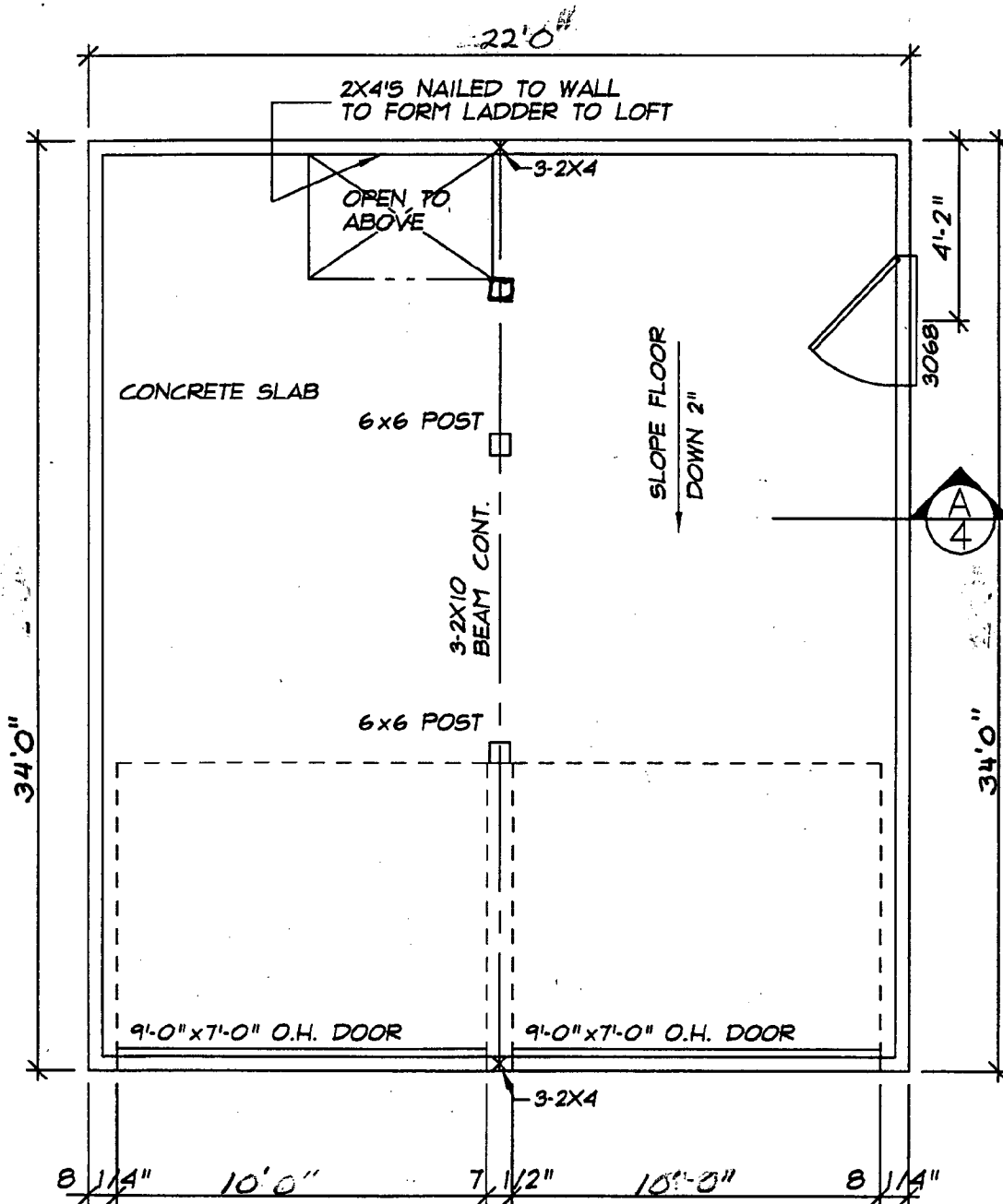
SELECT HOME DESIGNS



LOFT PLAN



DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	SHEET 3 OF 14
REVISIONS	



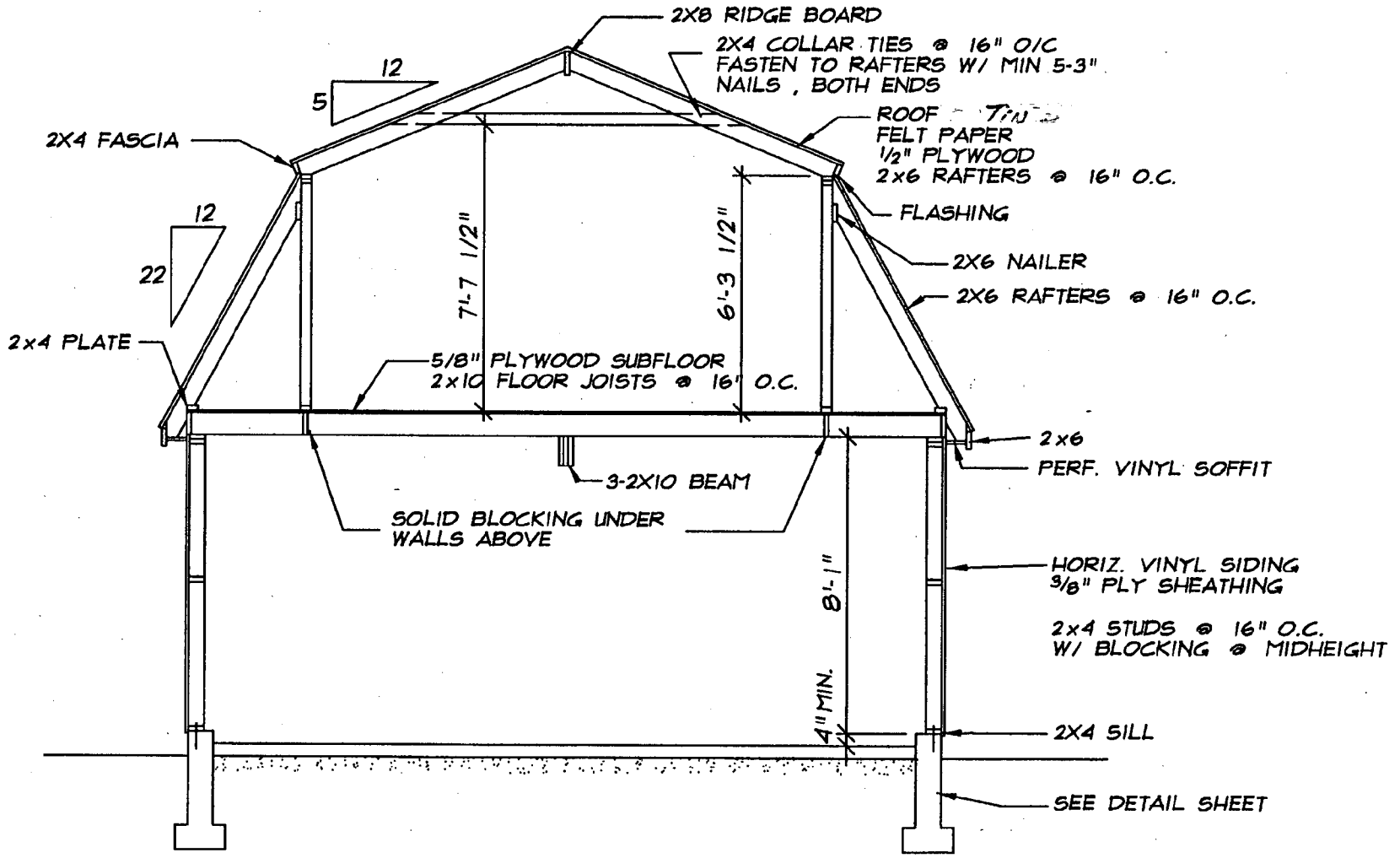
MAIN FLOOR PLAN



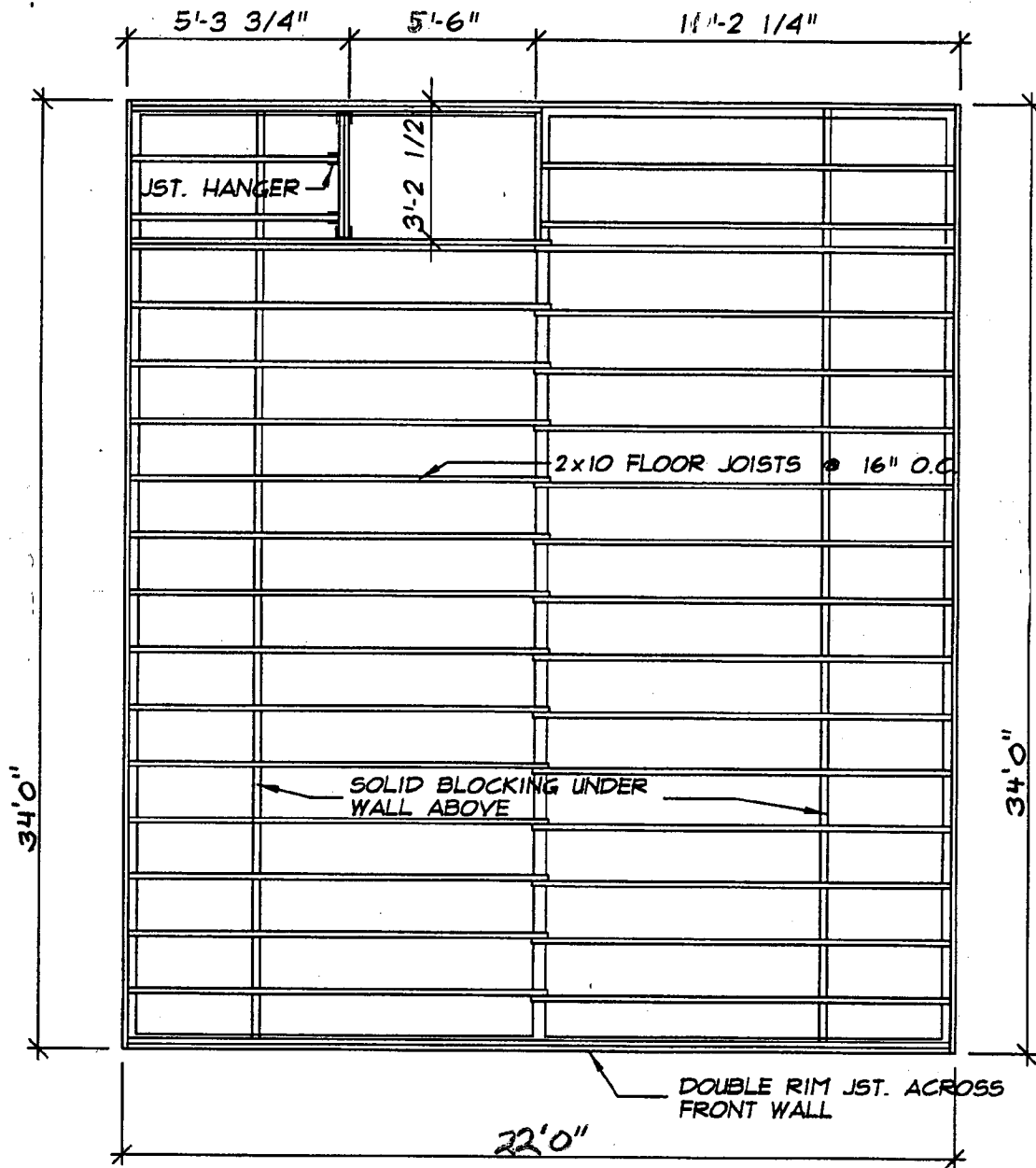
DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	SHEET 2 OF 14
REVISIONS	



REVISIONS	DATE	DRAWN	SCALE	PLAN #
	JAN 29, 1996	SAS	1/4" = 1'-0"	804
				GARAGE 20' x 22'
				SHEET 4 OF 14



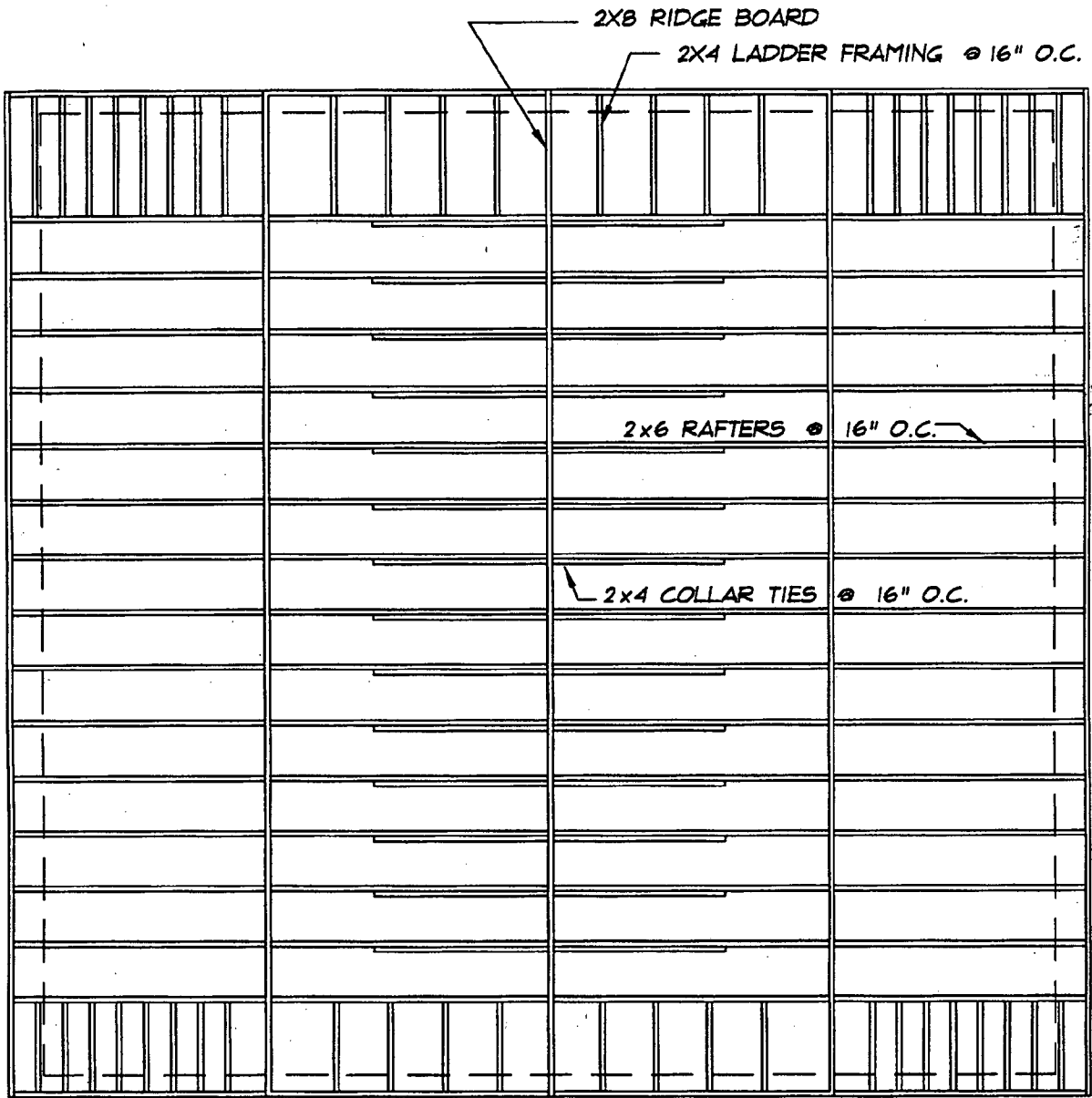
SECTION A



LOFT FLOOR FRAMING



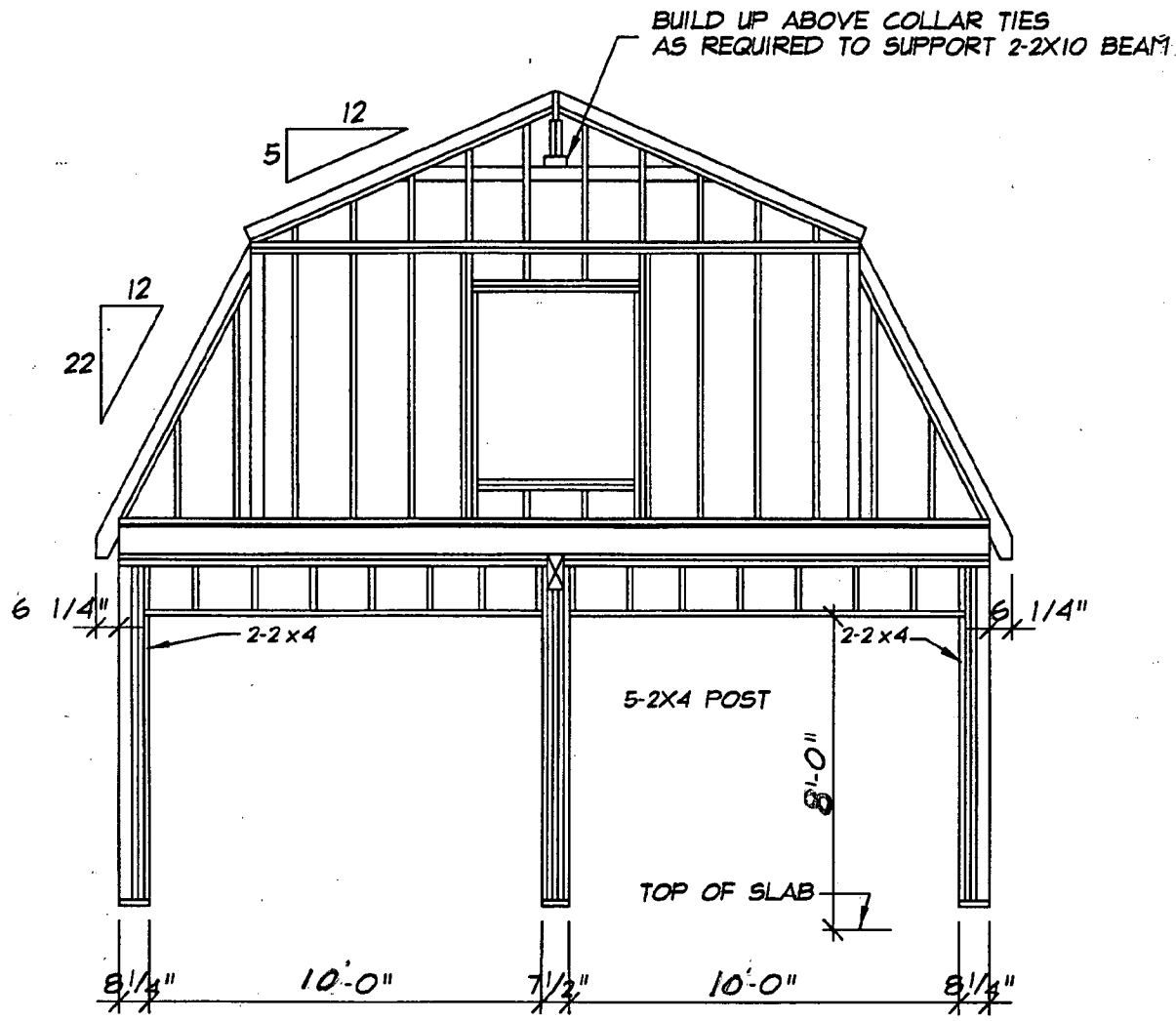
DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	SHEET 5 OF 14
REVISIONS	



ROOF FRAMING PLAN



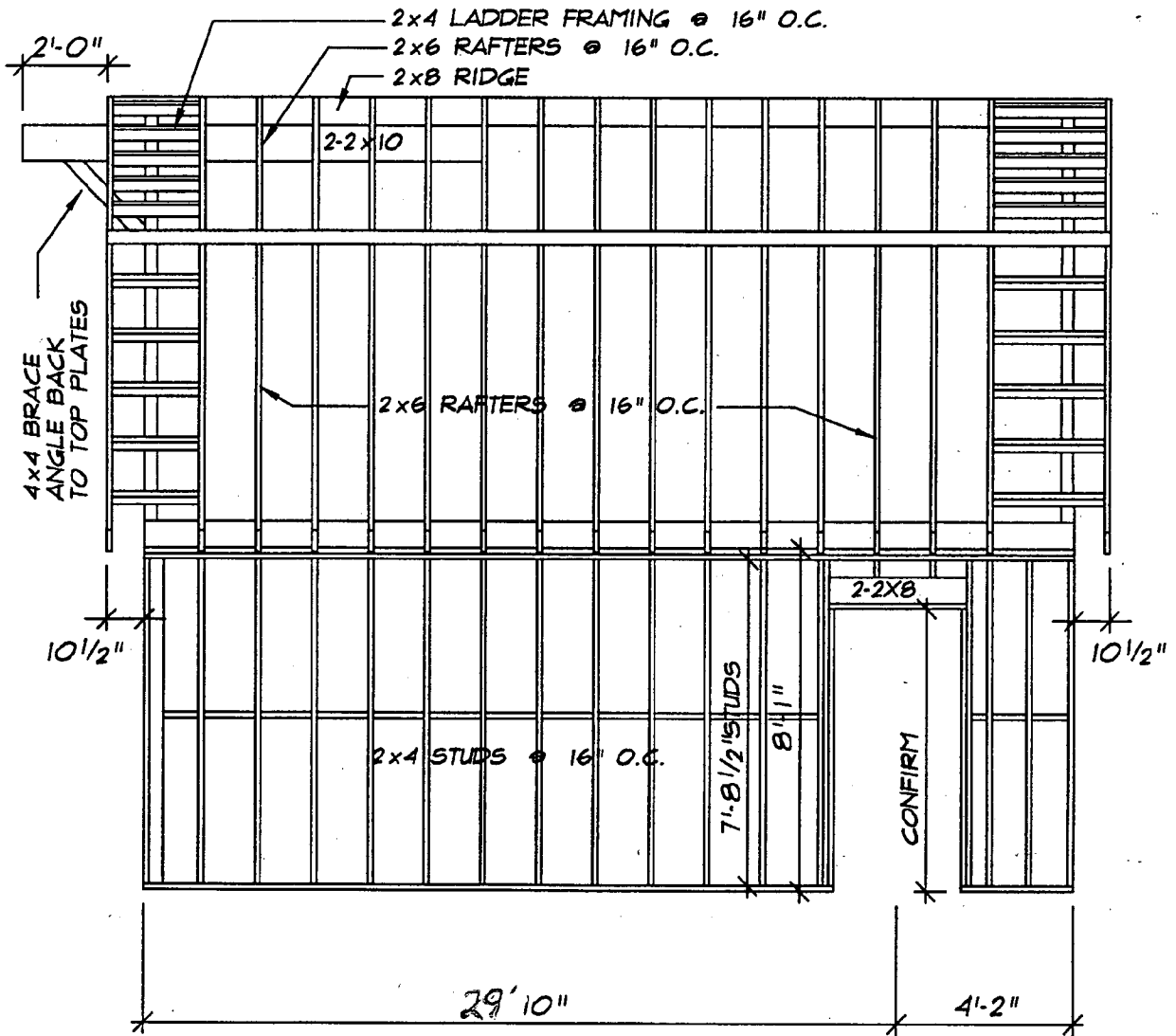
DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	SHEET 6 OF 14
REVISIONS	



FRONT FRAMING



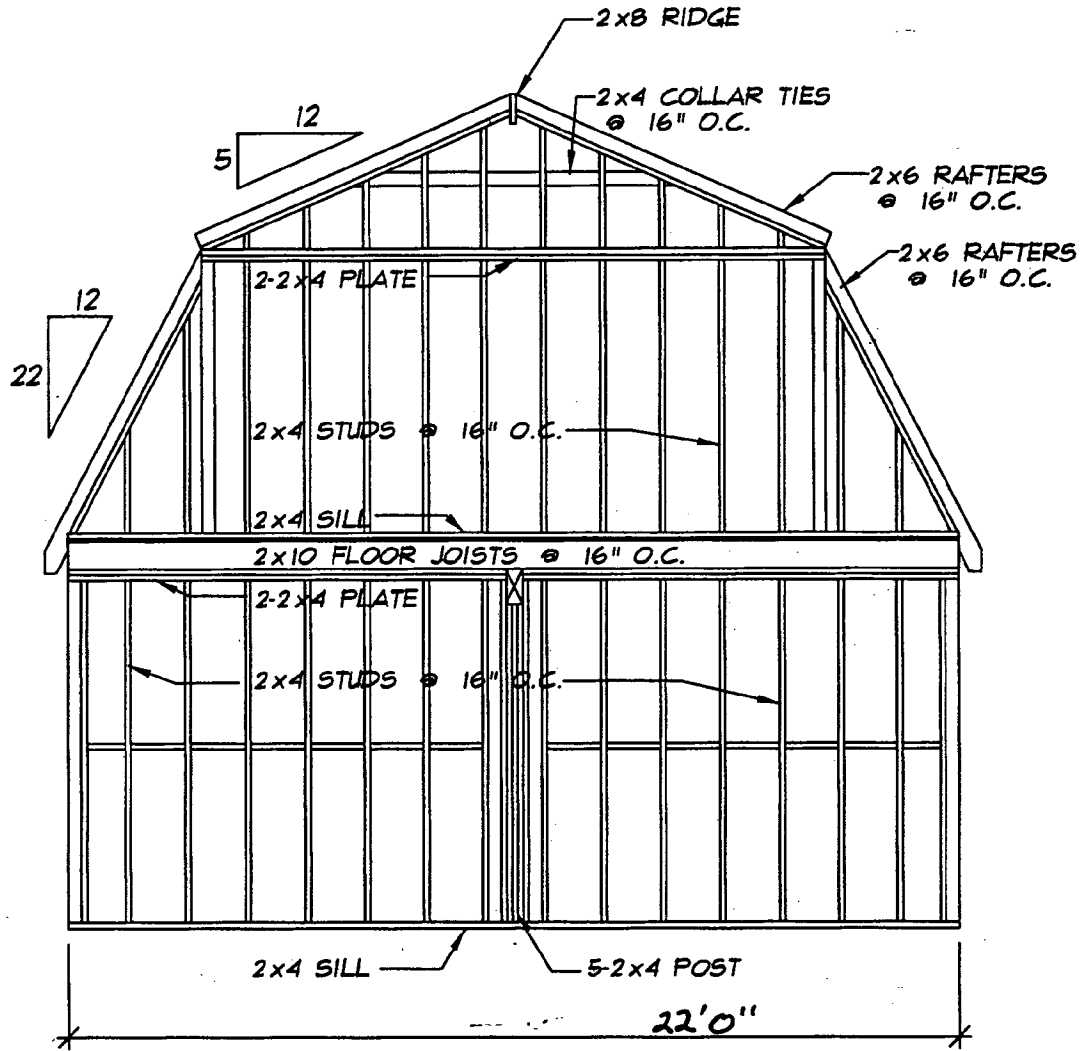
DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	
DATE JUNE 28, 1996	GARAGE 20' x 22'
REVISIONS	SHEET 7 OF 14



RIGHT FRAMING



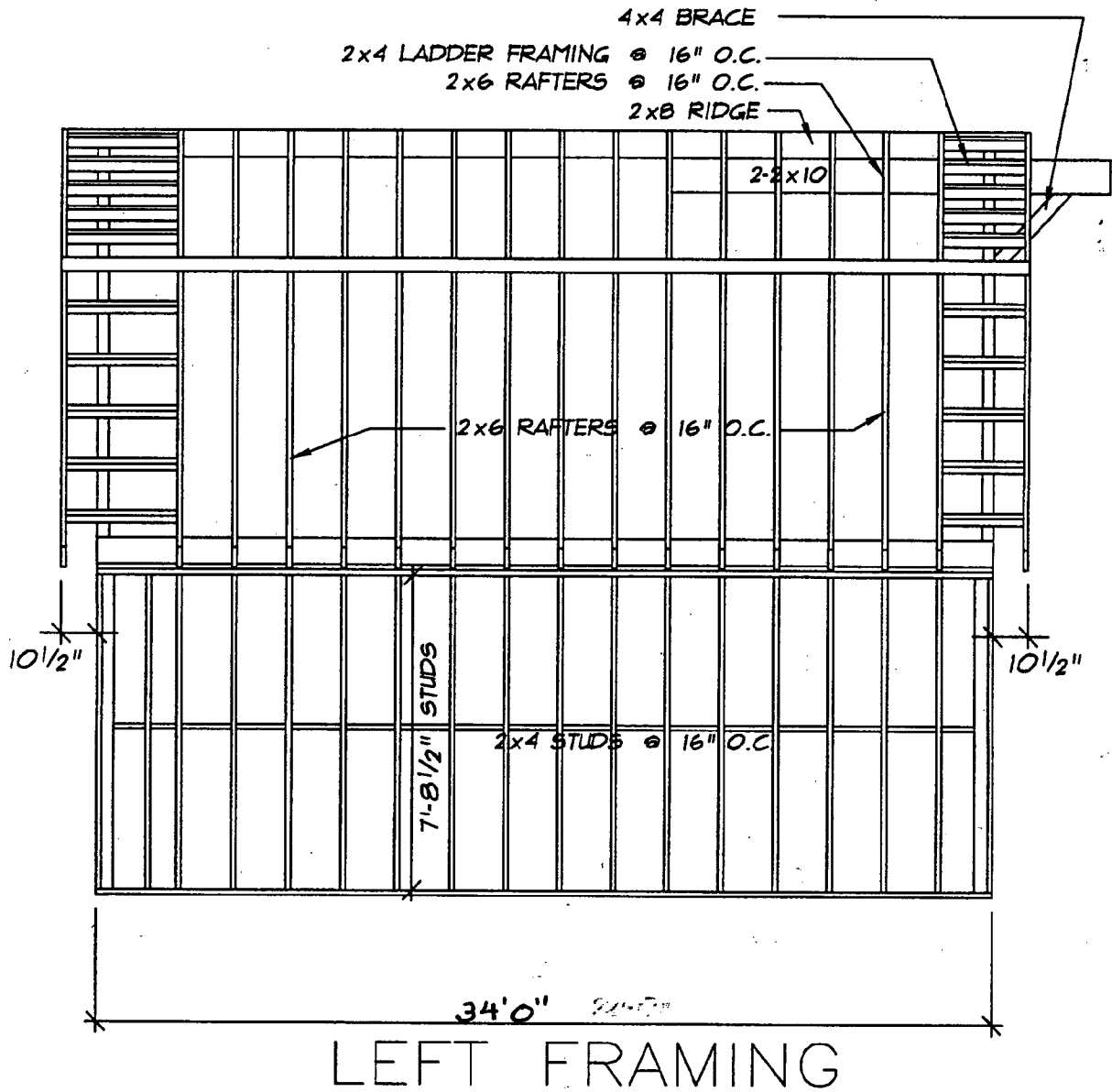
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SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	SHEET 8 OF 14
REVISIONS	



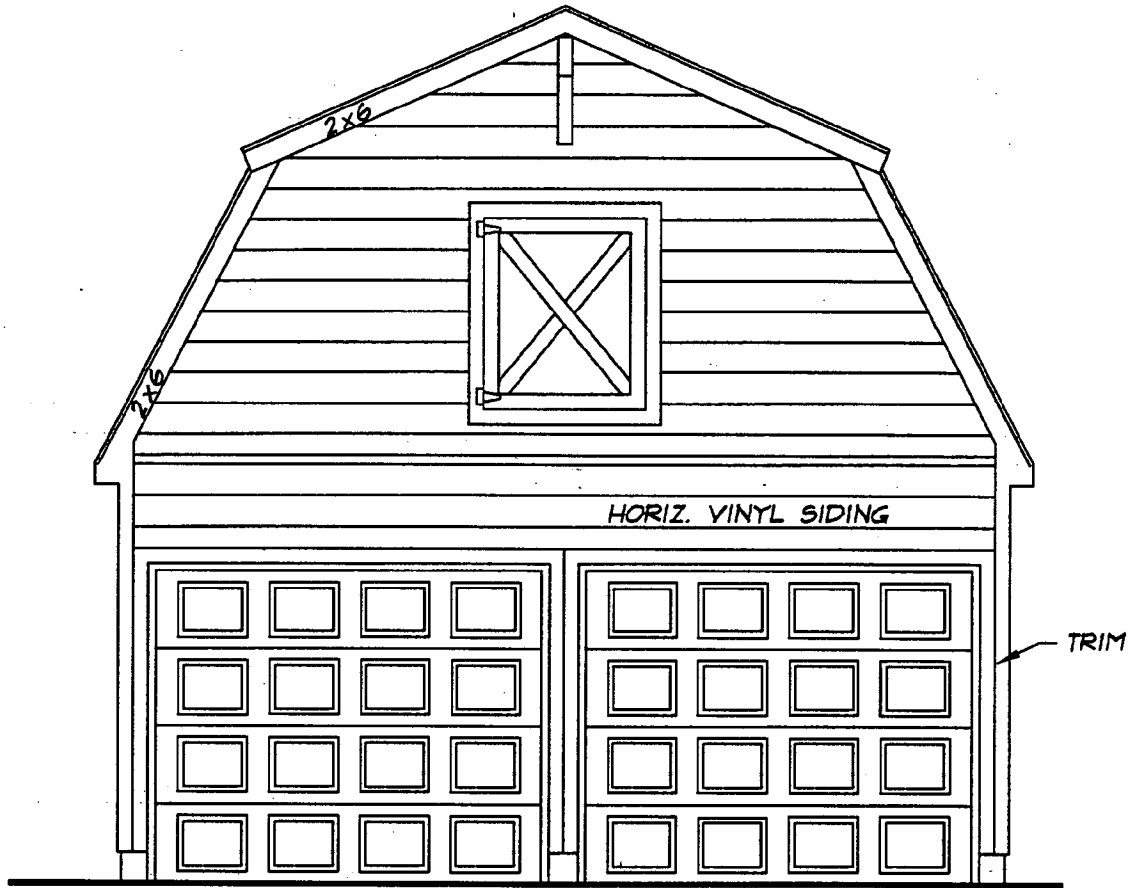
REAR FRAMING



DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	SHEET 9 OF 14
REVISIONS	



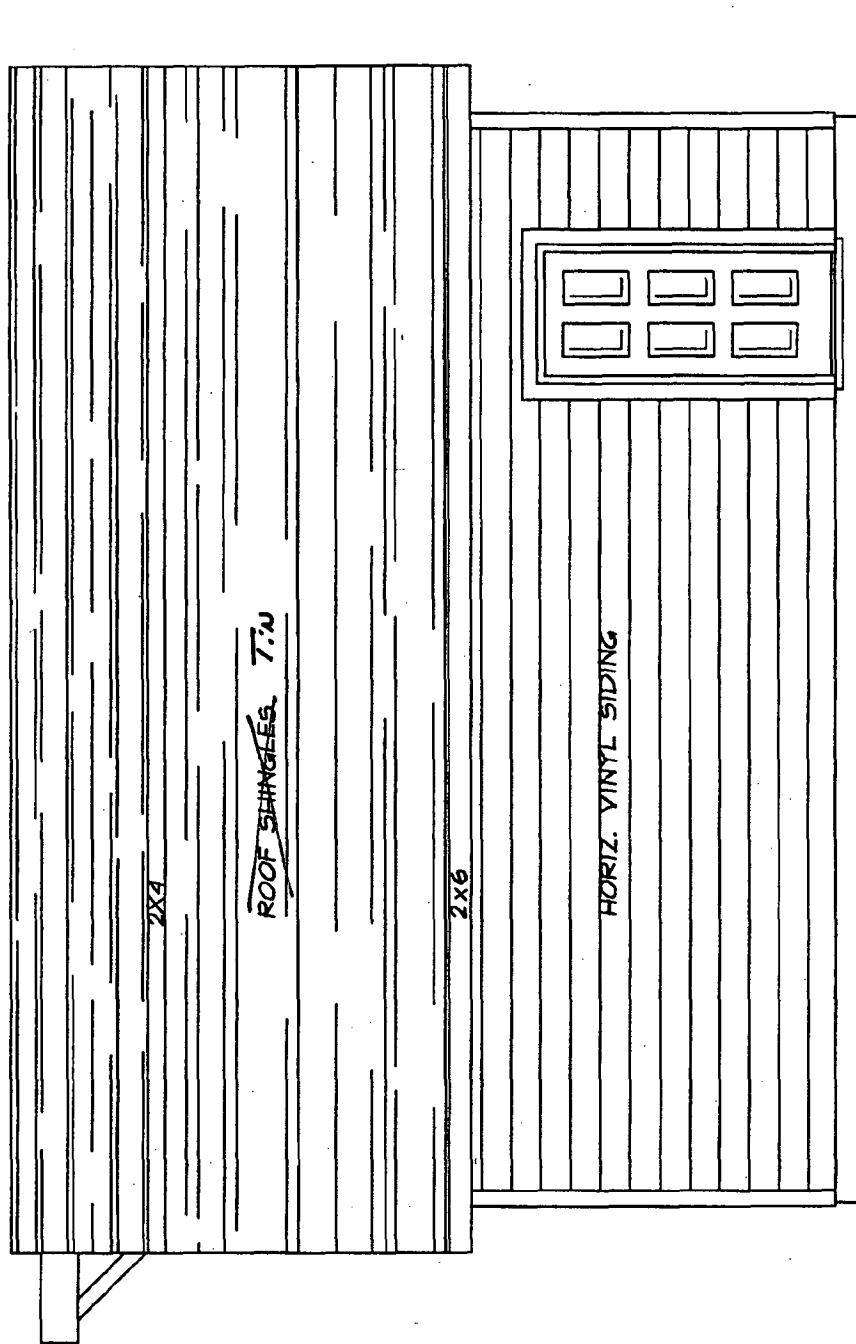
DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	
DATE JUNE 28, 1996	GARAGE 20' x 22'
REVISIONS	SHEET 10 OF 14



FRONT ELEVATION



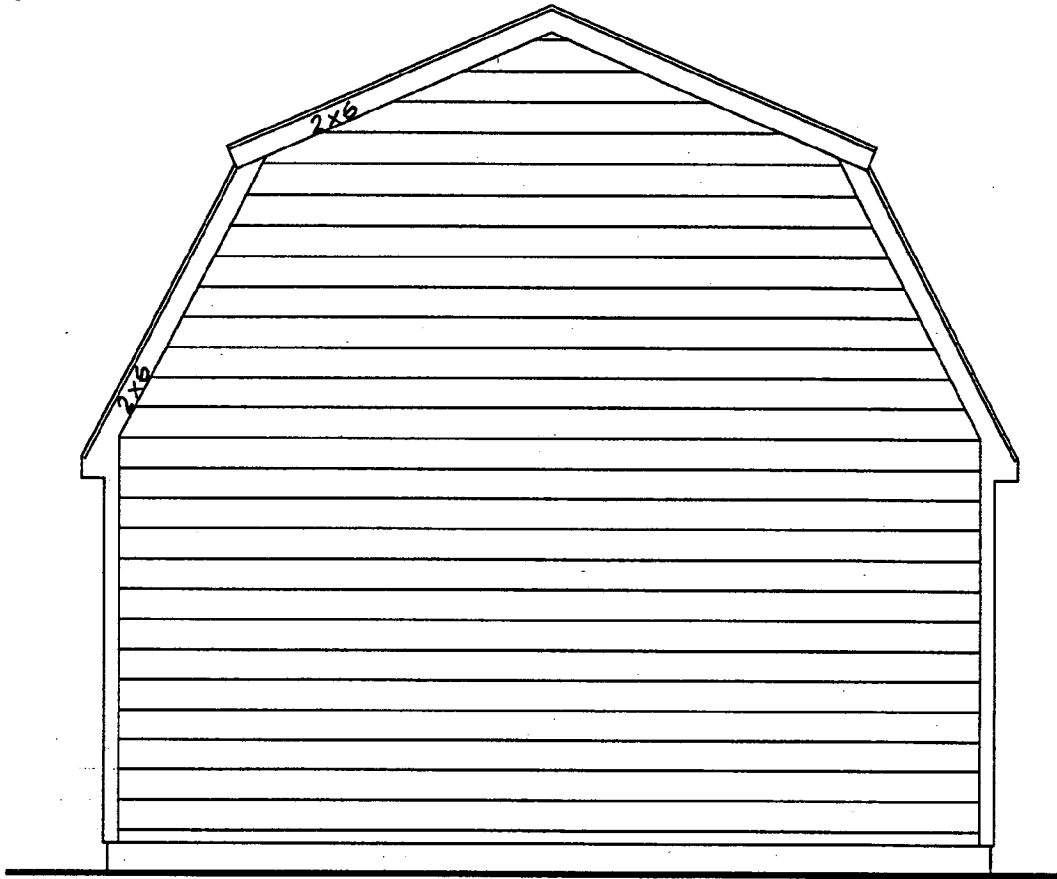
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SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	SHEET 11 OF 14
REVISIONS	



RIGHT ELEVATION



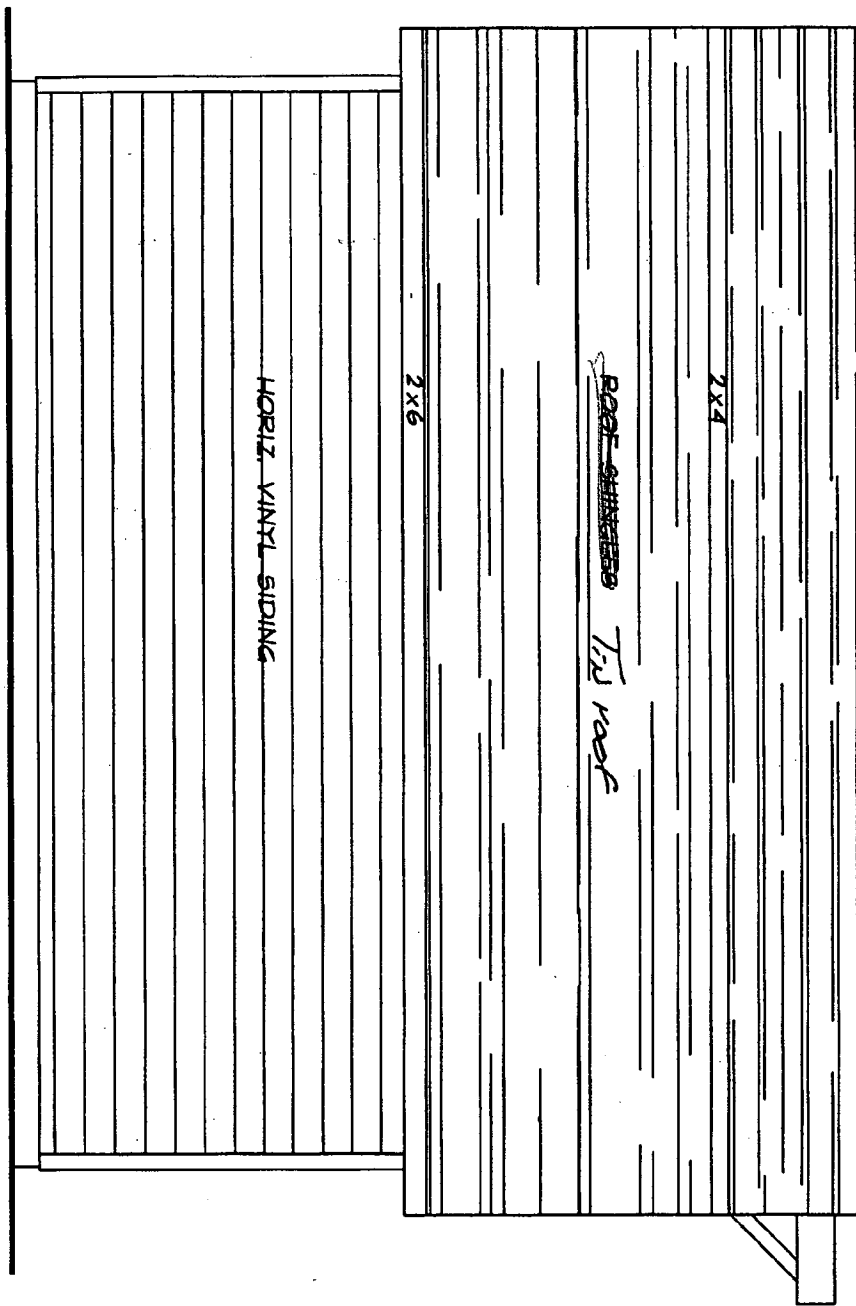
DRAWN: SAS	PLAN # 804
SCALE 1/4" = 1'-0"	
DATE JUNE 28, 1996	GARAGE 20' x 22'
REVISIONS	SHEET 12 OF 14



REAR ELEVATION



DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' X 22'
DATE JUNE 28, 1996	
REVISIONS	SHEET 13 OF 14



LEFT ELEVATION



DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' X 22'
DATE JUNE 28, 1996	
REVISIONS	SHEET 14 OF 14

GENERAL NOTES:

THE OWNER AND/OR BUILDER SHALL ENSURE THAT CONSTRUCTION COMPLIES WITH ALL NATIONAL, PROVINCIAL, STATE AND LOCAL STATUTES, ORDINANCES AND REGULATIONS.

PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS OF THIS PLAN. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED MEASUREMENTS.

ALL DIMENSIONS ARE FROM THE OUTSIDE FACE OF FRAMING AND CONCRETE FOUNDATIONS.

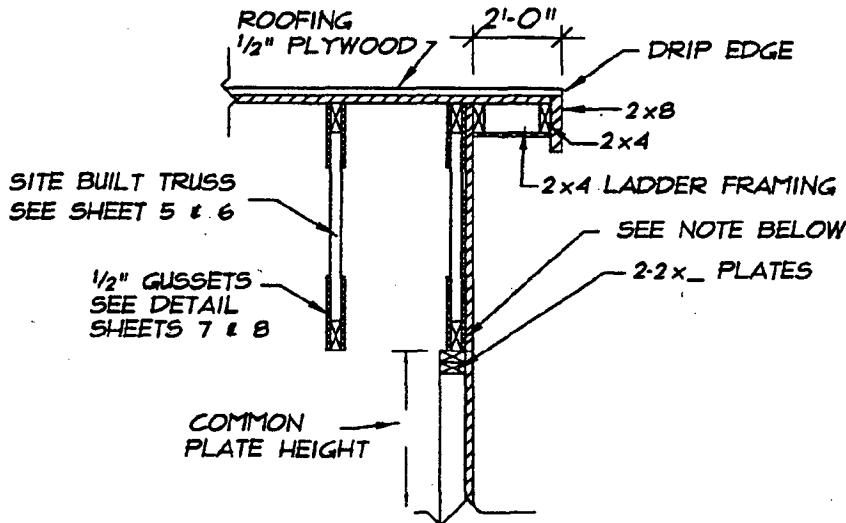
OWNER AND/OR BUILDER TO CONFIRM ALL REQUIREMENTS WITH RESPECT TO, HEATING, PLUMBING, ELECTRICAL, INSULATION, PERIMETER DRAINAGE, ROOF DRAINAGE, STORM DRAINAGE CONNECTION/ROCK DRAINAGE PITS AND SITING WITH THE APPROPRIATE AUTHORITY HAVING JURISDICTION PRIOR TO THE START OF CONSTRUCTION. WINDOW AND DOOR SIZES INDICATED ON THESE DRAWINGS ARE NOMINAL SIZES. ROUGH OPENINGS VARY BETWEEN MANUFACTURER'S. OWNER AND/OR BUILDER TO CONFIRM ALL ROUGH OPENINGS WITH SUPPLIER PRIOR TO THE START OF CONSTRUCTION AND TO ADJUST DIMENSIONS AND OR FRAMING DETAILS ACCORDINGLY.

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION. FOOTINGS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 1560 P.S.F.

FLOOR DESIGN LOAD FOR THIS PLAN IS BASED ON A 40 P.S.F. LIVE LOAD AND A 15 P.S.F. DEAD LOAD FOR A TOTAL DESIGN LOAD OF 55 P.S.F.

ROOF DESIGN LOAD FOR THIS PLAN IS BASED ON A COMPOSITE LIVE LOAD OF 32 P.S.F. AND A 10 P.S.F. DEAD LOAD FOR A TOTAL DESIGN LOAD OF 42 P.S.F.

IF A LESSER SOIL BEARING CAPACITY IS ENCOUNTERED, OR IF THE GROUND SNOW/RAIN LOADS FOR THE REGION IN WHICH THIS PLAN IS TO BE CONSTRUCTED ARE HIGHER THAN THOSE STATED ABOVE, IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO HAVE THIS PLAN REVISED ACCORDINGLY.



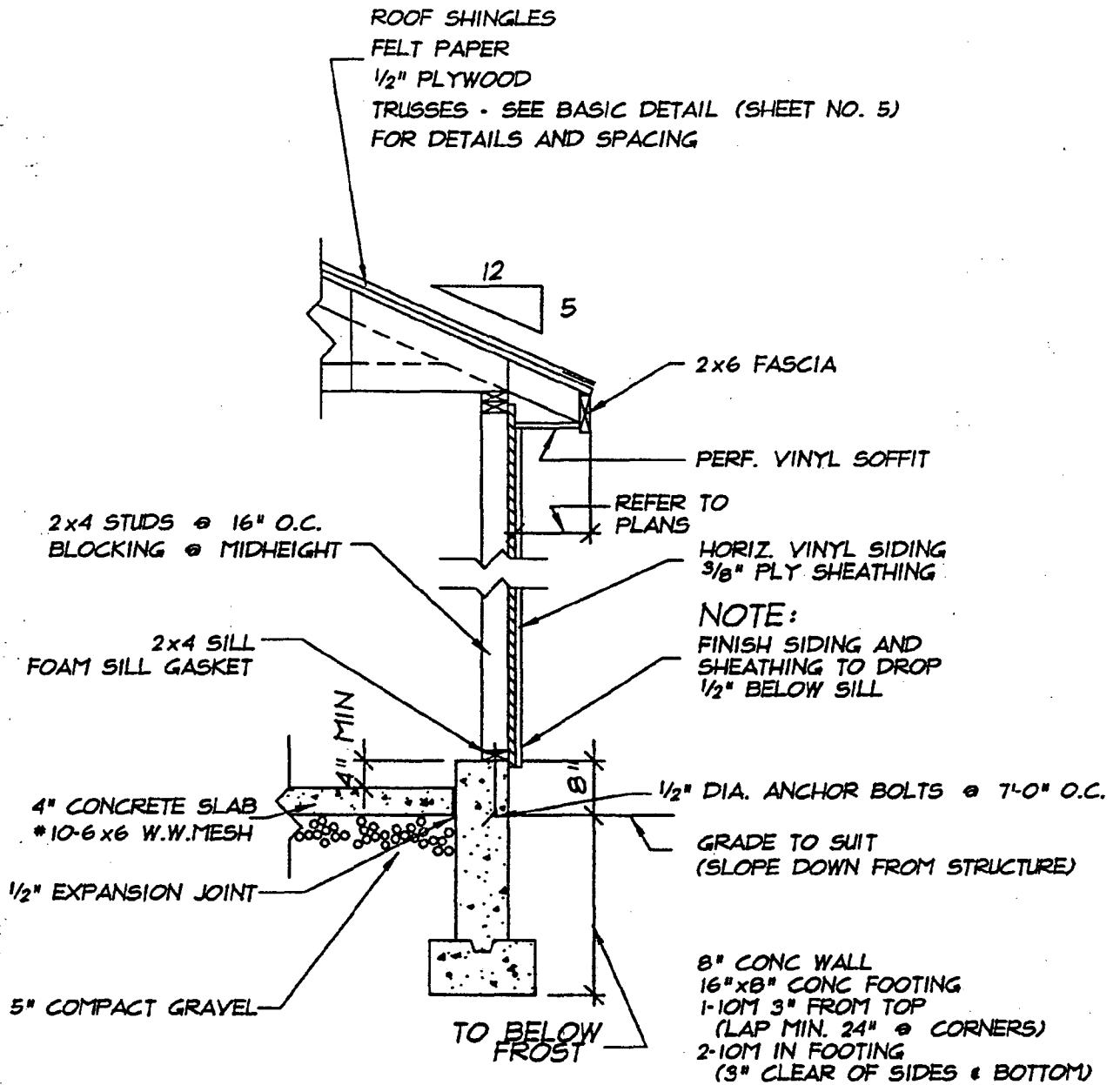
GABLE END

NOTE:

FOR EXTERIOR SIDE OF GABLE END TRUSSES SHIM BETWEEN GUSSET PLATES WITH 1/2" PLYWOOD. SET TRUSS BACK 1/2" FROM GABLE WALL SO GUSSET PLATES ARE FLUSH WITH STUD WALL.



DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 PITCH
REVISIONS SEPT. 24, 1996	SHEET 1 OF 3

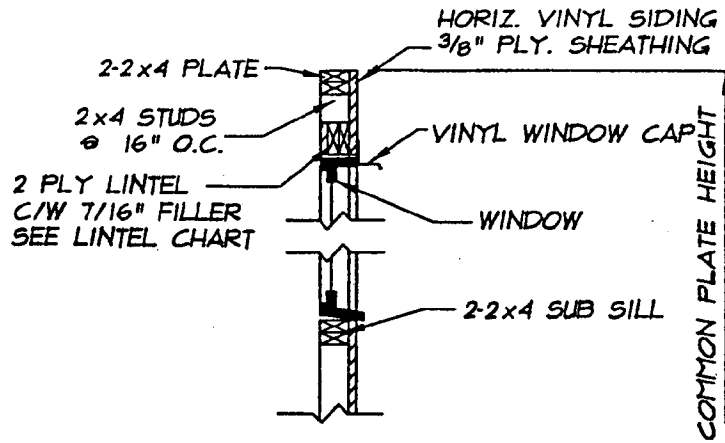


NOTE:
ALL CONCRETE PAD FOOTINGS
TO HAVE 3-15M EACH WAY
UNLESS NOTED OTHERWISE

TYPICAL WALL SECTION

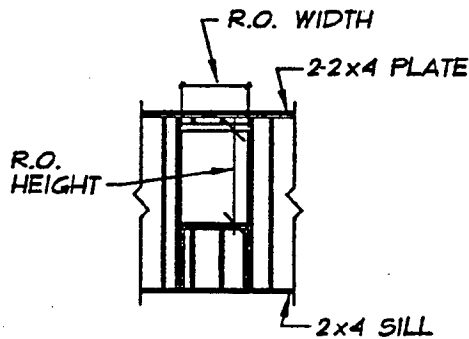


DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 PITCH
REVISIONS SEPT. 24, 1996	SHEET 2 OF 8



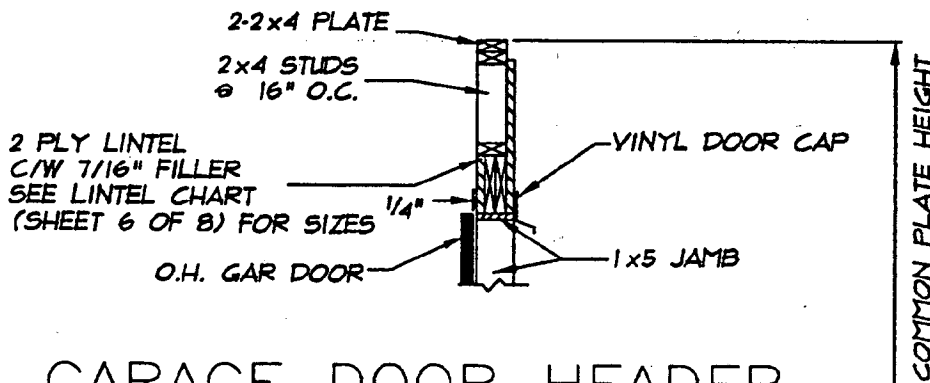
TYPICAL HEADER

FOR OPTIONAL DOOR OR WINDOW
 SEE LINTEL CHART (SHEET 6 OF 8) FOR SIZES



TYPICAL WINDOW FRAMING

CONFIRM R.O. WITH WINDOW SELECTED



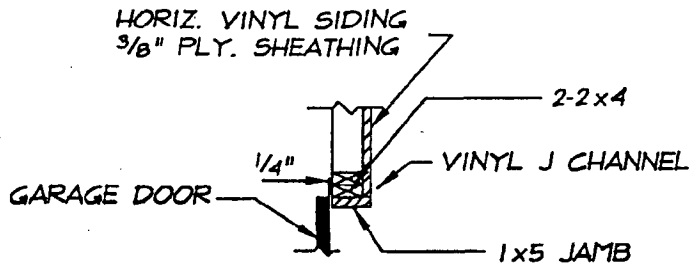
GARAGE DOOR HEADER

9' O.H. DOOR

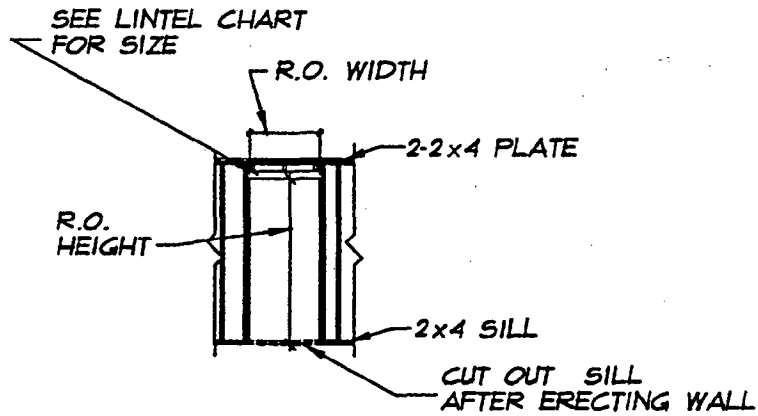
ROOF LOAD WITH ATTIC ONLY



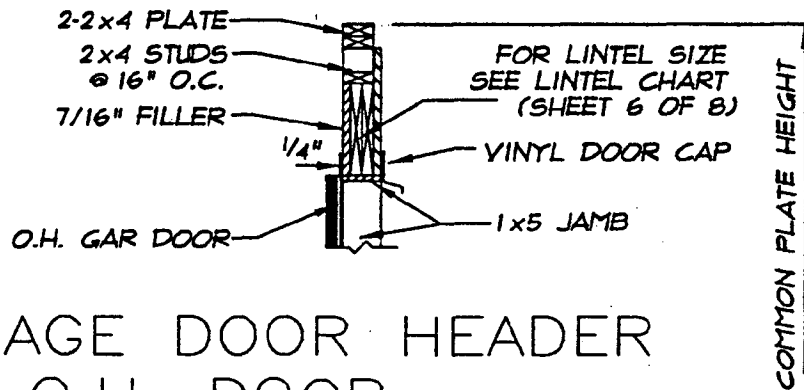
DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 FITCH
REVISIONS SEPT. 24, 1996	SHEET 3 OF 8



JAMB FOR 16' O.H. DOOR
 PLAN VIEW - FOR ROOF LOAD WITH ATTIC ONLY



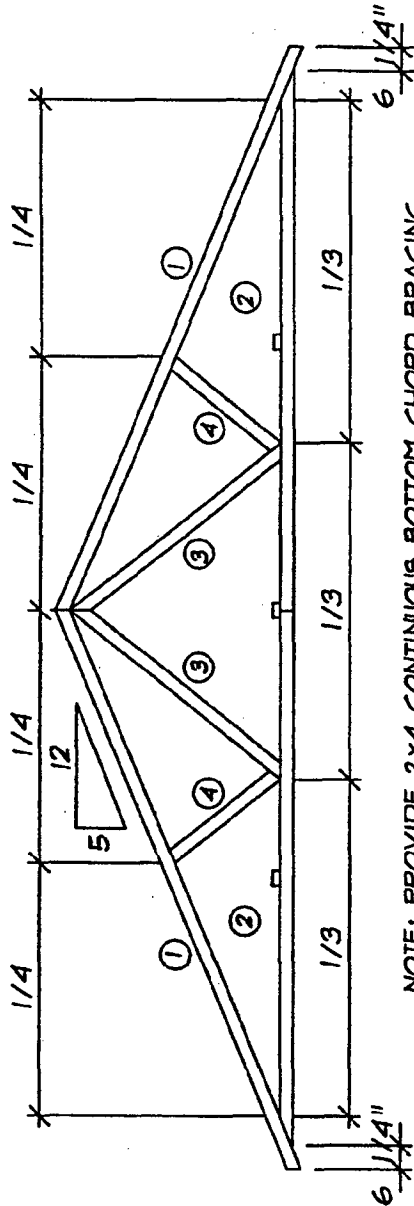
TYPICAL DOOR FRAMING
 CONFIRM R.O. WITH DOOR SELECTED



GARAGE DOOR HEADER
 16' O.H. DOOR
 ROOF LOAD WITH ATTIC ONLY



DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 PITCH
REVISIONS SEPT. 24, 1996	SHEET 4 OF 8



NOTE: PROVIDE 2x4 CONTINUOUS BOTTOM CHORD BRACING AT 6'-0" O.C. TYP. TO ALL TRUSS SPANS.

TRUSS SPAN	TRUSS SPACING	A	B	C	D	E	F	G
20'-0"	24" O/C	11'-4 3/4"	9'-4 3/16"	10'-0"	4'-4 11/16"	4'-11 7/8"	2'-4 1/8"	2'-5 15/16"
22'-0"	24" O/C	12'-5 3/4"	10'-4 3/16"	11'-0"	4'-11 1/8"	5'-6 1/4"	2'-7 5/16"	2'-9 1/8"
24'-0"	24" O/C	13'-6 3/4"	11'-4 3/16"	12'-0"	5'-5 1/2"	6'-0 11/16"	2'-10 9/16"	3'-0 5/16"
28'-0"	16" O/C	15'-8 3/4"	13'-4 3/16"	14'-0"	6'-6 5/16"	7'-1 1/2"	3'-4 15/16"	3'-6 3/4"

SITE BUILT ROOF *N/A*
 GABLE TRUSS DESIGN 5: 12 PITCH



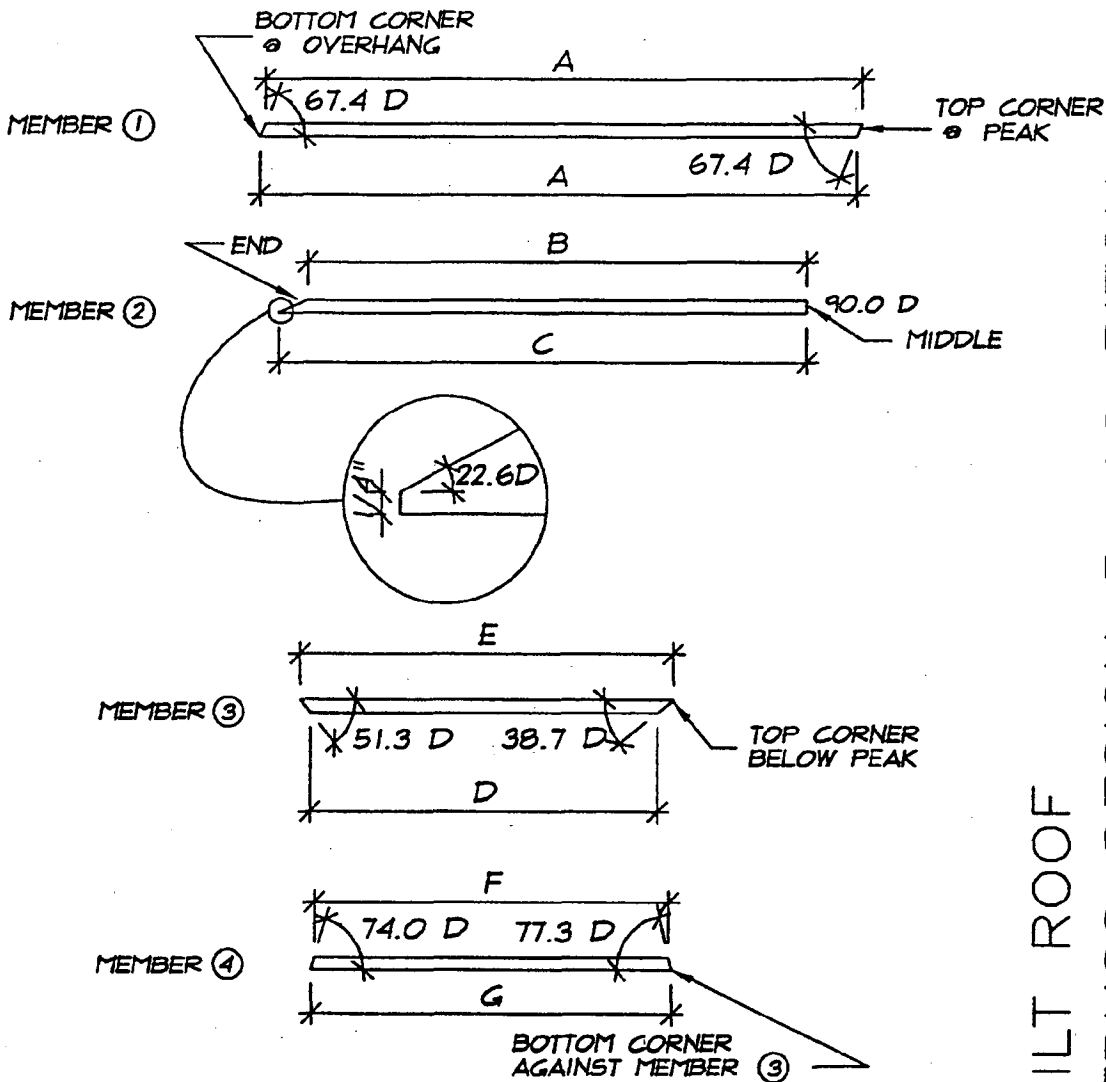
DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 PITCH
REVISIONS	SHEET 5 OF 8
SEPT. 24, 1996	

NOTE: ALL MEMBERS 2x4 NO.2 SPF

-CUTTING LIST APPLIES TO 5/12

PITCH TRUSSES ONLY

-REFER TO SHEET 7 OF 8 FOR GUSSET REQUIREMENTS



LINTEL CHART

-FOR 32 P.S.F. LIVE LOAD AND 10 P.S.F. DEAD LOAD.
 -MAXIMUM ROOF SPAN OF 24'-0".
 -ATTIC SPACE ONLY - NO LOFT OR STORAGE IN ATTIC FOR ALL GARAGE PACKAGES EXCEPT * 814-07.

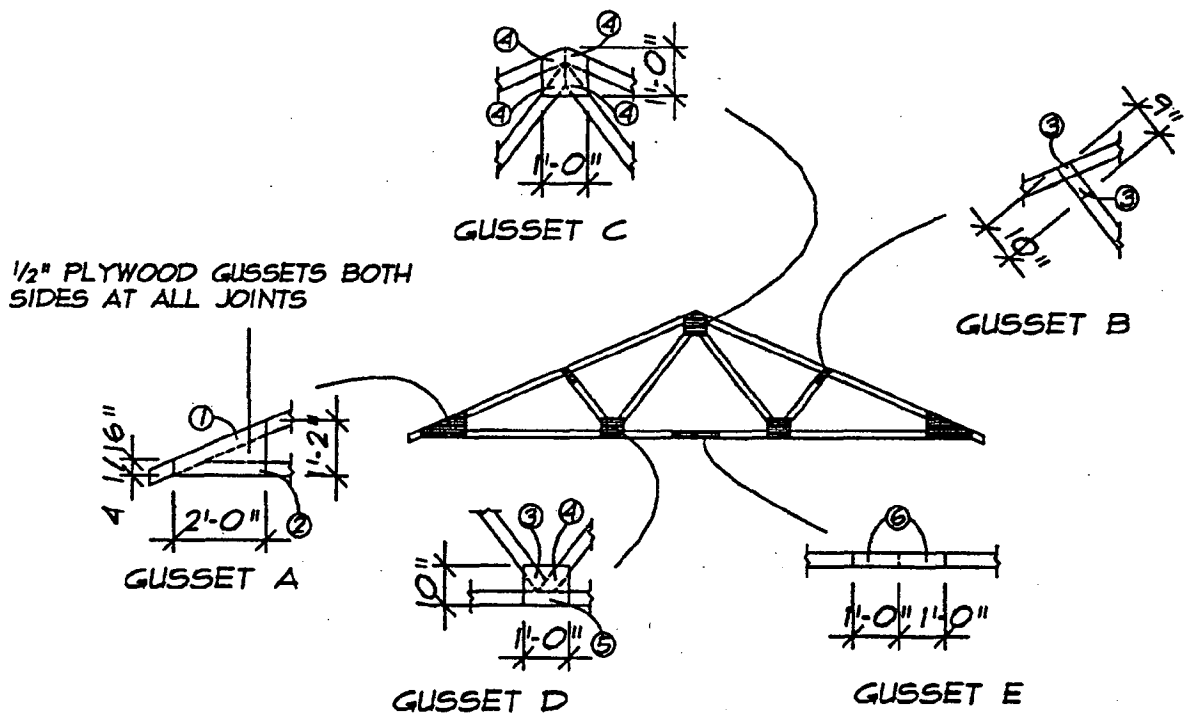
SPAN	CARRIES ROOF (+ 6" OVERHANG) (SIDE GABLE)	CARRIES GABLE (+ 12" OVERHANG) (FRONT GABLE)
3'-0"	2-2x6	2-2x4
9'-0"	2-2x12	2-2x8
16'-0"	3"x15" GLULAM @ 20F	2-2x12

SITE BUILT ROOF GABLE TRUSS DESIGN 5: 12 PITCH



DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 PITCH
REVISIONS SEPT. 24, 1996	SHEET 6 OF 8

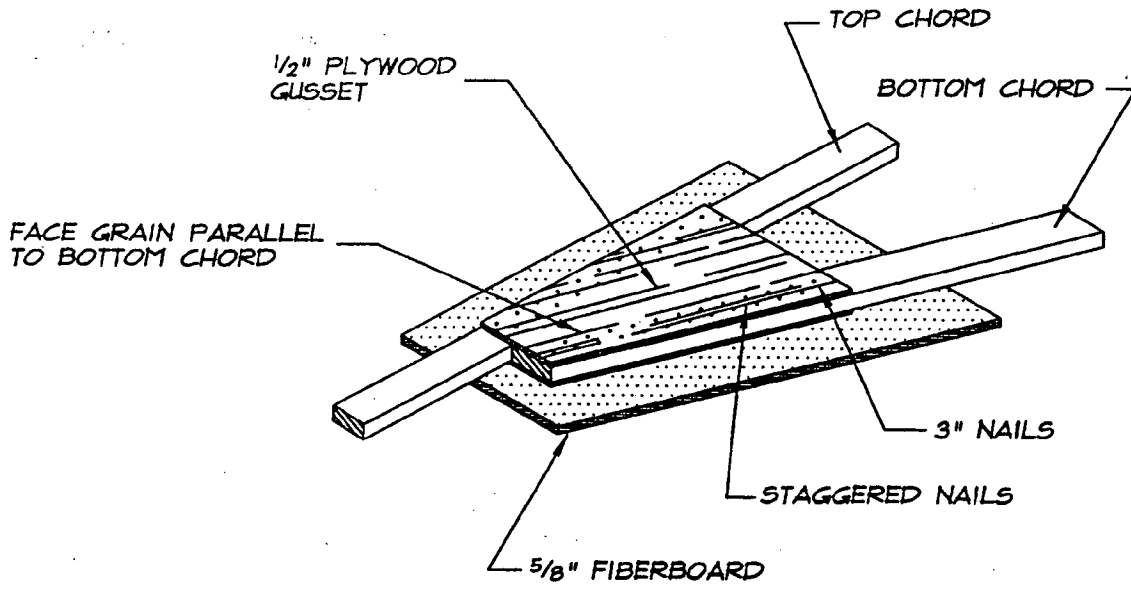
JOINT LOCATION	①	②	③	④	⑤	⑥
NUMBER OF NAILS @ JOINT LOCATION	13	12	4	6	8	10



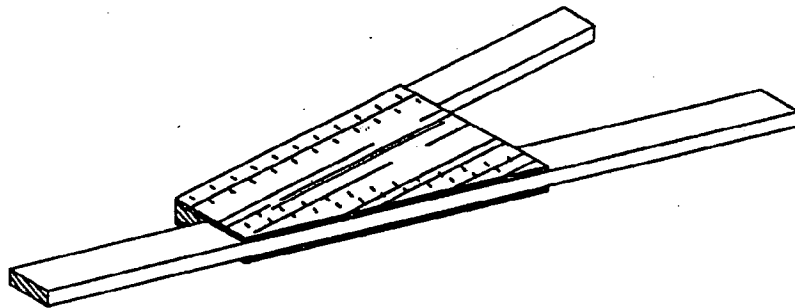
GUSSET DETAILING



DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 PITCH
REVISIONS SEPT. 24, 1996	SHEET 7 OF 8



1. REFER TO CHART FOR NAILING REQUIREMENTS
2. PLACE FIBERBOARD UNDER JOINT AND DRIVE ALL NAILS FROM ONE SIDE.



3. FLIP TRUSS. REMOVE FIBERBOARD PADS. BEND OVER PROJECTING TIPS OF NAIL AT RIGHT ANGLES TO PLYWOOD FACE GRAIN.

SITE BUILT ROOF TRUSS DESIGN 5: 12 PITCH



DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 PITCH
REVISIONS SEPT. 24, 1996	SHEET B OF 8

	Unit	Order
Framing Lumber (all framing material to be #2btr SPF)		
2x10x12' joists (end)	ea	6
2x10x10' joists, beam	ea	46
2x10x8' beam	ea	7
2x8x12' ridge board	ea	2
2x8x8' door header	ea	1
2x6x12' fascia, ledger	ea	6
2x6x10' ledger	ea	2
2x6x8' rafters	ea	70
2x4x12'	ea	34
2x4x10'	ea	35
2x4x8'	ea	36
2x4x92-1/2"-studs	ea	166
5/8"-4'x8' plywood, floor	ea	14
1/2"-4'x8' plywood, roor	ea	24
3/8-4'x8' plywood, walls	ea	36
6x6x8' posts	ea	2
4x4x4' posts	ea	1

sub total

Hardware

Common nails 3-1/2"	lbs	35
Common nails 3"	lbs	3
2-1/2" Common nails	lbs	25
Garage doors 9/0x7/0	ea	2
Exterior door 3/0x6/8	ea	1
Exterior door hardware	ea	1
Joist hanger single 2x10	ea	2
Joist hanger (double 2x10)-	ea	2
Galvanized roofing nails 1"	lbs	27
Asphalt shingles (33 sq. ft.)	bdl	27
Metal flashing	lft	48
#15 Building paper (500 sq. ft.)	roll	3
Sub-floor adhesive 30oz	tube	5
Roofing felt (500 sq. ft.)	roll	2
Hinges for loft door (c/w screws)	ea	2
Latch for loft door (c/w screws)	ea	1

— TO BE APPROVED
— BY HPC STAFF

STANDING SEAM METAL

T:2

sub total

~~Vinyl siding~~

HARDI PLANK OR WOOD HORIZONTAL

Horiz. 8" vinyl siding (10%-waste)	lft	1464
Outside corner (9.8')	ea	4
Starter strip (9.8')	ea	7
Undersill trim (9.8')	ea	5
3/4" J-channel (12.3')	ea	10
Window cap (9.8')	ea	3
1-1/2" H.D. galv. roofing nails	lbs	8
Perforated vinyl soffit 10" (9.8')	ea	11
'F' channel (9.8')	ea	23
Optional gutters	lft	48
Optional downspouts	lft	20

LAP SIDING TO BE USED.

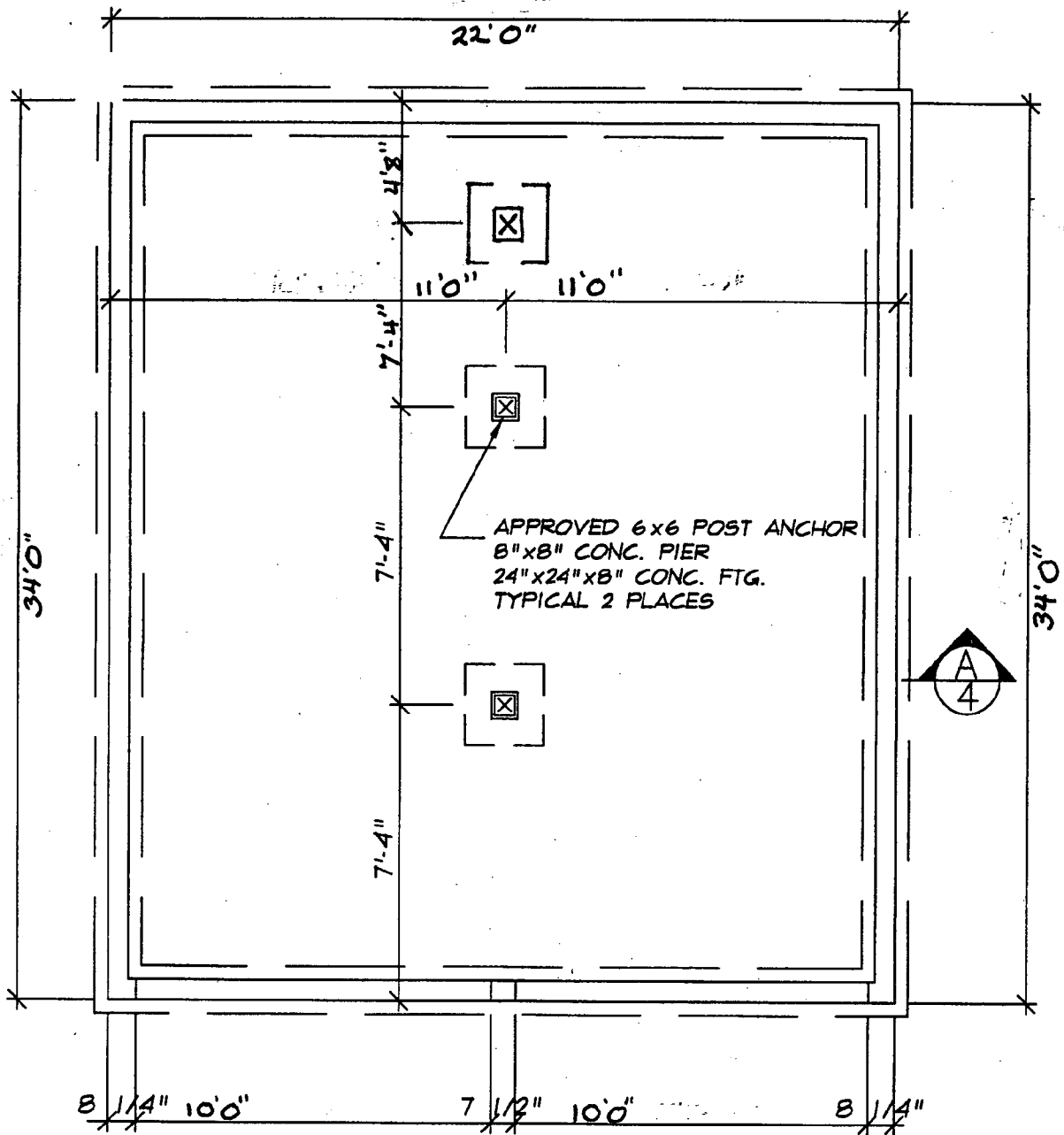
WOOD DETAILING.

VINYL SOFFITS,

gutters + downspouts MAY BE USED.

sub total

TOTAL PACKAGE



FOUNDATION PLAN



DRAWN SAS	PLAN # B04
SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	SHEET 1 OF 14
REVISIONS <i>length NTS</i>	

HISTORIC PRESERVATION COMMISSION STAFF REPORT

Address: 19810 White Ground Road, Boyds **Meeting Date:** 03/24/04
Applicant: Mark Shaw **Report Date:** 03/17/04
Resource: Outstanding Resource **Public Notice:** 03/10/04
Boyds Historic District
Master Plan Historic District #18/08
Review: HAWP **Tax Credit:** No
Case Number: 18/08-04A **Staff:** Michele Naru
PROPOSAL: New Garage Construction
RECOMMEND: Approve with Conditions

STAFF RECOMMENDATION: Staff recommends that the Commission approve the this HAWP application with the condition that:

The cladding material for the exterior of the building will be clad in painted, Hardi-plank or wood lap siding with wood trim (to include window and doors surrounds, corner boards and cornice details). Soffits, gutters and downspouts may utilize vinyl products.


The door selections (garage and people) will be reviewed and approved by staff.

PROJECT DESCRIPTION:

SIGNIFICANCE: Outstanding Resource within the Boyds Historic District
STYLE: Vernacular
DATE: 1873

The Boyds Historic District is a significant resource within Montgomery County because of its cohesive grouping of residential, religious, and commercial structures that are characteristic of a 19th century agricultural town. Founded by Col. James A. Boyd, the town was conveniently located for farmers along the B & O railroad who were transporting produce for shipment. As a result, railroad workers constructed many of the first dwellings in Boyds.

The design, setting, and building materials of the existing buildings in the district have not changed significantly since their original construction. The Boyds Historic District, from its originally mill era buildings to eventually B & O railroad era buildings, very much recalls a sense of place circa 1900 as a rural Maryland agricultural community.



The existing house is a simple vernacular late 19th century frame, two bay, dwelling set upon a stone foundation with a full-width front porch and sheathed in a standing seam tin roof. The house sits on a rural lot, 1.87 acres in size.

PROPOSAL:

The applicant is proposing to construct a two-story barn style detached garage measuring 34' L x 22' W x 18' H and located down slope from the main house approximately 139 feet from the left elevation and 65' from the rear elevation of the house. The applicant is proposing the clad the structure in vinyl siding with a tin roof and install overhead doors designed to look like barn doors.

No trees will need to be removed from the property for this project.

STAFF DISCUSSION:

Proposed new construction within the Boyds Historic District is reviewed under the Secretary of Interior's Standards for Rehabilitation. Rehabilitation is defined as the act or process of making possible a compatible use for a property through repair, alterations, and additions while preserving those portions or features, which convey its historical, cultural, or architectural values.

The Secretary of Interior's Standards for Rehabilitation that pertain to this project are as follows:

- #2 The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.
- #9 New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
- #10 New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

It is staff's opinion that this proposal demonstrates that if a structure is designed well, is sited significantly behind the historic house and with its most narrow side facing the street, a compatible structure can be achievable within the boundaries of the Boyds Historic District.

The existing lot is approximately two acres in size – with the majority of the acreage to the rear of the historic house. Staff feels that the proposed construction of this building, given the depth of the lot, and its topography will not negatively affect the perceived open space on the lot.

Finally, generally staff feels that the material specifications for this building are sympathetic to the historic character of the district – utilizing a standing seam tin roof, and overhead doors to replicate barn doors. The only concern staff has with the material specification is the proposed utilization of vinyl siding as the exterior cladding for this garage. The Commission generally does not approve the installation of vinyl siding on new construction within its historic districts. Staff asks that this material specification be changed to a more sympathetic building material such as painted, wood lap or hardi-plank cement siding.

STAFF RECOMMENDATION:

Staff recommends that the Commission *approve with the above-mentioned conditions* the HAWP application as being consistent with Chapter 25A-8(b) 3:

The proposal would enhance or aid in the protection, preservation and public or private utilization of the historic site or historic resource located within an historic district in a manner compatible with the historical, archaeological, architectural or cultural value of the historic site or historic district in which an historic resource is located.

and with the *Secretary of the Interior's Standards #2, #9 & #10*:

The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize the property will be avoided.

New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.

New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

with the general conditions applicable to all Historic Area Work Permits that the applicant shall also present any permit sets of drawings to HPC staff for review and stamping prior to submission for permits and shall arrange for a field inspection by the Montgomery County Department of Permitting Services (DPS), Field Services Office, five days prior to commencement of work, and within two weeks following completion of work.



RETURN TO: DEPARTMENT OF PERMITTING SERVICES
255 ROCKVILLE PIKE, 2nd FLOOR, ROCKVILLE, MD 20850
240/777-6370

DPS - #8

HISTORIC PRESERVATION COMMISSION
301/563-3400

APPLICATION FOR
HISTORIC AREA WORK PERMIT

Contact Person: Mark C. Shaud

Daytime Phone No.: 202 369 1979

Tax Account No.: 11-1-00920623

Name of Property Owner: Mark C. Shaud Daytime Phone No.: 301 353 1804

Address: 19810 White Ground rd Bowie MD 20841
Street Number City Street Zip Code

Contractor: Phone No.:

Contractor Registration No.:

Agent for Owner: Daytime Phone No.:

LOCATION OF BUILDING/PREMISE

House Number: 19810 Street: White Ground rd

Town/City: Bowie Nearest Cross Street: Claggett rd

Lot: 0050B Block: Subdivision:

Liber: 2843 Folio: 68 Parcel:

RECEIVED
MAR 02 2004
Dept. of Permitting Services
Division of
Casework Management

PART ONE: TYPE OF PERMIT ACTION AND USE

- 1A. CHECK ALL APPLICABLE:
Construct [checked] Extend Alter/Renovate A/C Slab Room Addition Porch Deck Shed
Move Install Wreck/Raze Solar Fireplace Woodburning Stove Single Family
Revision Repair Revocable Fence/Wall (complete Section 4) Other:

1B. Construction cost estimate: \$ 50,000

1C. If this is a revision of a previously approved active permit, see Permit #

PART TWO: COMPLETE FOR NEW CONSTRUCTION AND EXTEND/ADDITIONS

- 2A. Type of sewage disposal: 01 WSSC 02 Septic [checked] 03 Other:
2B. Type of water supply: 01 WSSC 02 Well [checked] 03 Other:

PART THREE: COMPLETE ONLY FOR FENCE/RETAINING WALL

- 3A. Height feet inches
3B. Indicate whether the fence or retaining wall is to be constructed on one of the following locations:
On party line/property line Entirely on land of owner On public right of way/easement

I hereby certify that I have the authority to make the foregoing application, that the application is correct, and that the construction will comply with plans approved by all agencies listed and I hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent: Mark C. Shaud Date: 11-12-03

Approved: For Chairperson, Historic Preservation Commission
Disapproved: Signature: Date:
Application/Permit No.: 335998 Date Filed: 2/2/04 Date Issued:

SEE REVERSE SIDE FOR INSTRUCTIONS

**THE FOLLOWING ITEMS MUST BE COMPLETED AND THE
REQUIRED DOCUMENTS MUST ACCOMPANY THIS APPLICATION.**

1. WRITTEN DESCRIPTION OF PROJECT

a. Description of existing structure(s) and environmental setting, including their historical features and significance:

The existing 1873 Single family house located on a high point elevation of 1.87 Acel rural lot on White Ground Rd. in Boyds, MD has been modified substantially over its existence but still adds small town charm to our community in conjunction with the other houses on our street. 19810 features full size front sitting porch, original tin roofing, and a stone foundation.

b. General description of project and its effect on the historic resource(s), the environmental setting, and, where applicable, the historic district:

Our plans for a two story barn style detached garage would blend in nicely with the theme of the community. On our street most of the houses are accompanied by a number of out buildings ranging from full size barns toward sheds. In our barn style garage we will have tin roofing and garage doors that appear to be more like barn doors than garage doors. The new structure will blend into the property as well as the community.

2. SITE PLAN

Site and environmental setting, drawn to scale. You may use your plat. Your site plan must include:

- a. the scale, north arrow, and date: ✓
- b. dimensions of all existing and proposed structures; and ✓
- c. site features such as walkways, driveways, fences, ponds, streams, trash dumpsters, mechanical equipment, and landscaping. ✓

3. PLANS AND ELEVATIONS

You must submit 2 copies of plans and elevations in a format no larger than 11" x 17". Plans on 8 1/2" x 11" paper are preferred.

- a. **Schematic construction plans**, with marked dimensions, indicating location, size and general type of walls, window and door openings, and other fixed features of both the existing resource(s) and the proposed work.
- b. Elevations (facades), with marked dimensions, clearly indicating proposed work in relation to existing construction and, when appropriate, context. All materials and fixtures proposed for the exterior must be noted on the elevations drawings. An existing and a proposed elevation drawing of each facade affected by the proposed work is required.

4. MATERIALS SPECIFICATIONS

General description of materials and manufactured items proposed for incorporation in the work of the project. This information may be included on your design drawings.

5. PHOTOGRAPHS

- a. Clearly labeled photographic prints of each facade of existing resource, including details of the affected portions. All labels should be placed on the front of photographs.
- b. Clearly label photographic prints of the resource as viewed from the public right-of-way and of the adjoining properties. All labels should be placed on the front of photographs.

6. TREE SURVEY

If you are proposing construction adjacent to or within the dripline of any tree 6" or larger in diameter (at approximately 4 feet above the ground), you must file an accurate tree survey identifying the size, location, and species of each tree of at least that dimension.

7. ADDRESSES OF ADJACENT AND CONFRONTING PROPERTY OWNERS

For **ALL** projects, provide an accurate list of adjacent and confronting property owners (not tenants), including names, addresses, and zip codes. This list should include the owners of all lots or parcels which adjoin the parcel in question, as well as the owner(s) of lot(s) or parcel(s) which lie directly across the street/highway from the parcel in question. You can obtain this information from the Department of Assessments and Taxation, 51 Monroe Street, Rockville, (301)279-1355).

PLEASE PRINT (IN BLUE OR BLACK INK) OR TYPE THIS INFORMATION ON THE FOLLOWING PAGE.
PLEASE STAY WITHIN THE GUIDES OF THE TEMPLATE, AS THIS WILL BE PHOTOCOPIED DIRECTLY ONTO MAILING LABELS.

HAWP APPLICATION: MAILING ADDRESSES FOR NOTICING
(Owner, Owner's Agent, Adjacent and Confronting Property Owners)

Owner's mailing address

Mr. and Mrs. Mark Shaw
19810 White Ground Rd.
Boys, MD 20841

Owner's mailing address

Mr. and Mrs. Shaw
19810 White Ground Rd.
Boys, MD 20841

Adjacent and confronting Property Owners mailing address

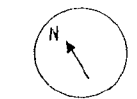
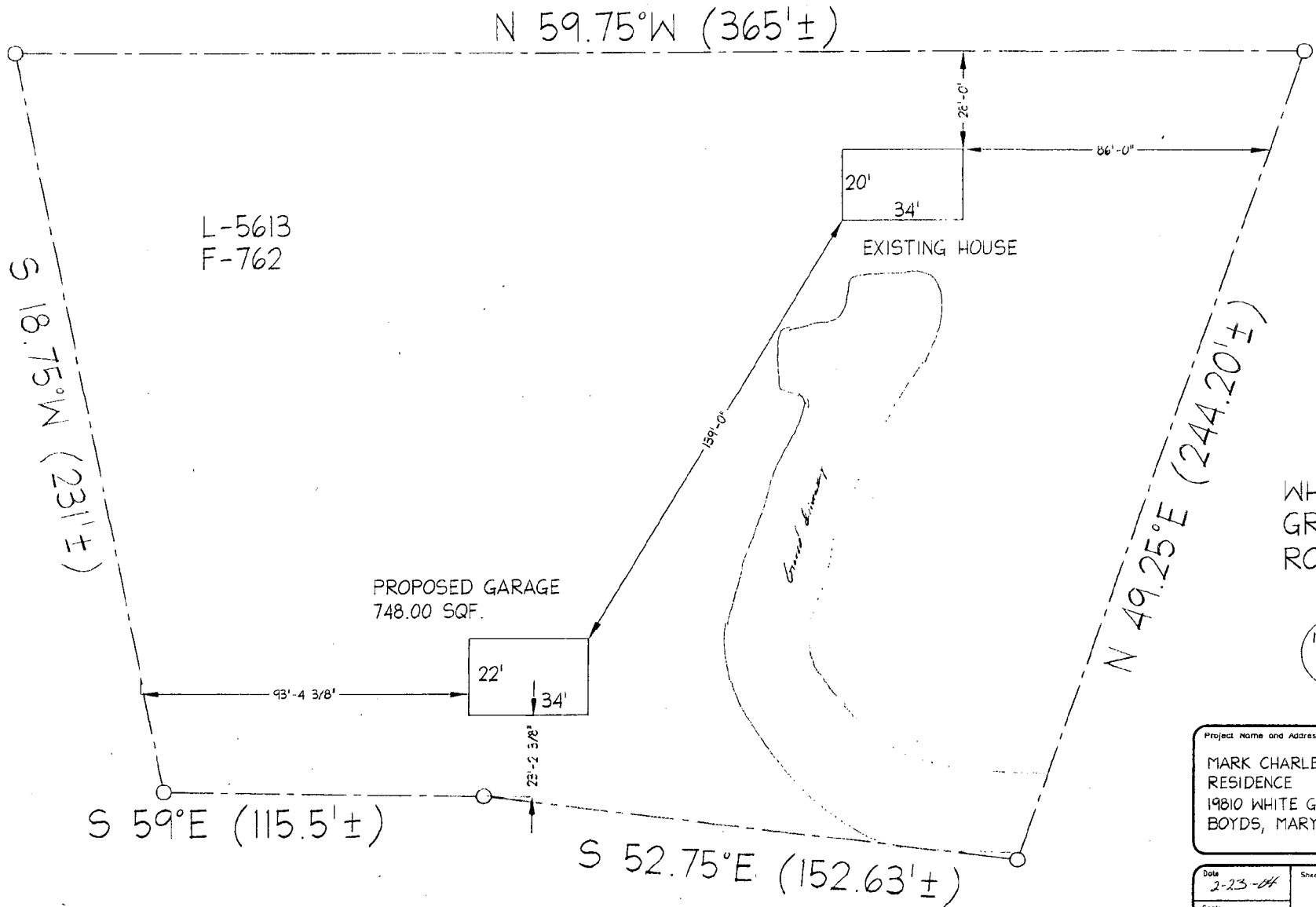
Boys Presbyterian Church
19821 White Ground Rd.
Boys, MD 20841

Paul H. Chretien
19820 White Ground Rd.
Boys, MD, 20841

Paul H. Chretien
P.O. BOX 79
Cabin John, MD 20854

Michael Rubin
Buck Lodge Rd.
Boys, MD 20841

Resident
19735 White Ground Rd.
Boys, MD 20841



Project Name and Address
 MARK CHARLES SHAW
 RESIDENCE
 19810 WHITE GROUND RD.
 BOYDS, MARYLNAD 20841

Date 2-23-04	Sheet A-1
Scale 1"=20'	

DRAWING SCALE: 1" = 20'

①

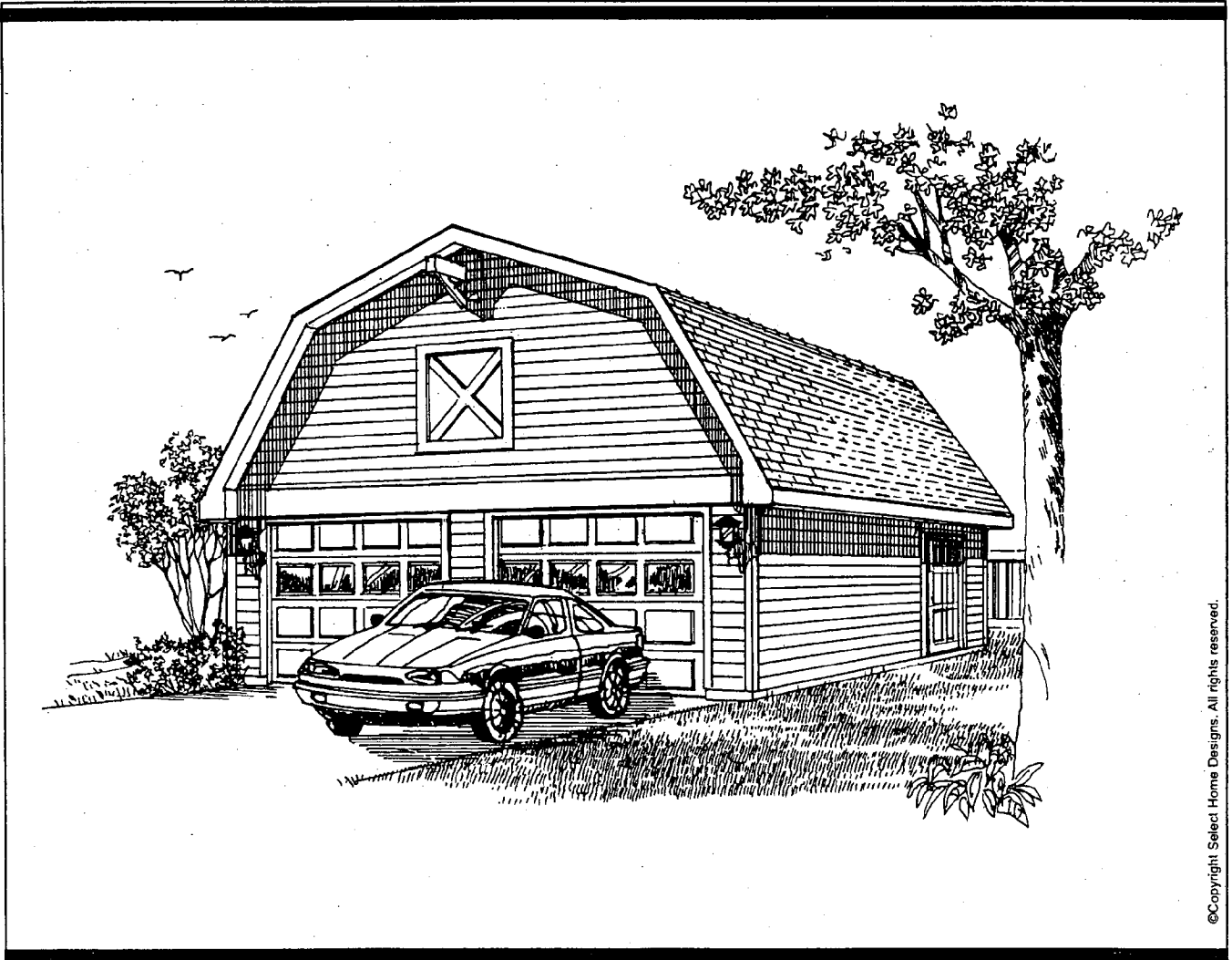
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MATERIALS LIST

Garage

34' X 22'

Plan No. 804-14



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SELECT HOME DESIGNS

3



MATERIALS LIST

20' X 22' GARAGE PLAN NO. 804-14

	Unit	Order
Concrete package		
Volume of concrete	cuyd	12
<u>Volume of gravel fill</u>	<u>cuyd</u>	<u>7</u>

sub total

Form material

2x10x10' footing pads	ea	2
2x8x10' footings	ea	18
2x6x12' slab edge	ea	2
2x4x10' keyway	ea	9
1x4x10' cleats	ea	10
1x2x10' leveling strip	ea	9
3/4"-4x8 wall forms	ea	12
8"-dia. x 8' sonotube	ea	1
1/2"-expansion joint	lft	80
Rebar 10mm	lft	300
Rebar 15mm	lft	24
Wire mesh #10 6x6	sqft	440
Post anchor for 6x6	ea	2
Sill gasket	lft	90
<u>1/2" x8" anchor bolts</u>	<u>ea</u>	<u>14</u>

sub total

Note:

*All concrete and formwork calculations are based on a 2' high foundation wall.

*Assumes rental forms, nails not included and formwork material not reused for framing.

	Unit	Order
Framing Lumber (all framing material to be #2btr SPF)		
2x10x12' joists (end)	ea	6
2x10x10' joists, beam	ea	46
2x10x8' beam	ea	7
2x8x12' ridge board	ea	2
2x8x8' door header	ea	1
2x6x12' fascia , ledger	ea	6
2x6x10' ledger	ea	2
2x6x8' rafters	ea	70
2x4x12'	ea	34
2x4x10'	ea	35
2x4x8'	ea	36
2x4x92-1/2"-studs	ea	166
5/8"-4'x8' plywood, floor	ea	14
1/2"-4'x8' plywood, roor	ea	24
3/8-4'x8' plywood, walls	ea	36
6x6x8' posts	ea	2
4x4x4' posts	ea	1
		sub total

Hardware

Common nails 3-1/2"	lbs	35
Common nails 3"	lbs	3
2-1/2" Common nails	lbs	25
Garage doors 9/0x7/0	ea	2
Exterior door 3/0x6/8	ea	1
Exterior door hardware	ea	1
Joist hanger single 2x10	ea	2
Joist hanger (double 2x10)-	ea	2
Galvanized roofing nails 1"	lbs	27
Asphalt shingles (33 sq. ft.)	bdl	27
T.D. Metal flashing	lft	48
#15 Building paper (500 sq. ft.)	roll	3
Sub-floor adhesive 30oz	tube	5
Roofing felt (500 sq. ft.)	roll	2
Hinges for loft door (c/w screws)	ea	2
Latch for loft door (c/w screws)	ea	1

sub total

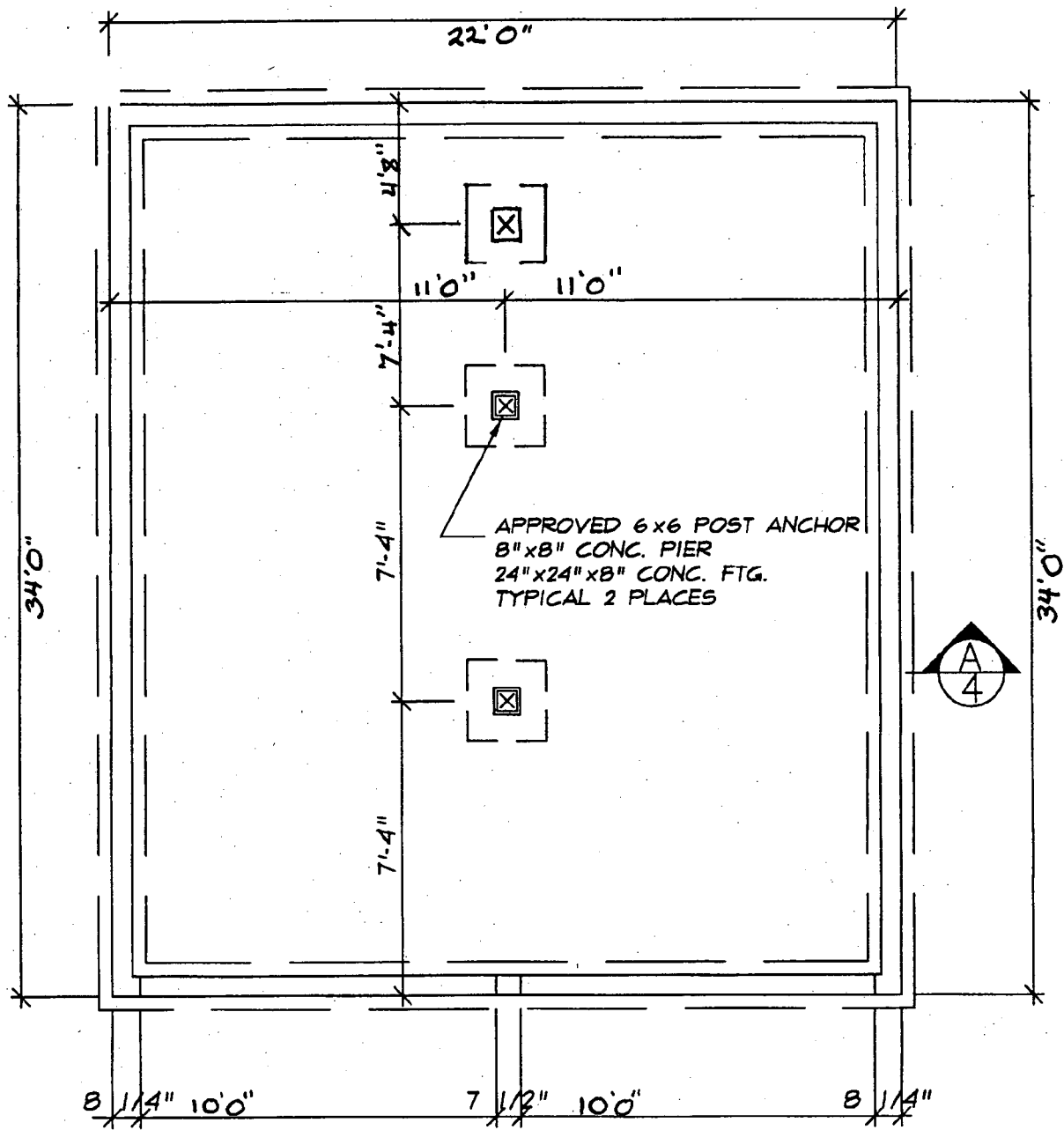


Vinyl siding

Horiz. 8" vinyl siding (10%-waste)	lft	1464
Outside corner (9.8')	ea	4
Starter strip (9.8')	ea	7
Undersill trim (9.8')	ea	5
3/4" J-channel (12.3')	ea	10
Window cap (9.8')	ea	3
1-1/2" H.D. galv. roofing nails	lbs	8
Perforated vinyl soffit 10" (9.8')	ea	11
'F' channel (9.8')	ea	23
Optional gutters	lft	48
Optional downspouts	lft	20

sub total

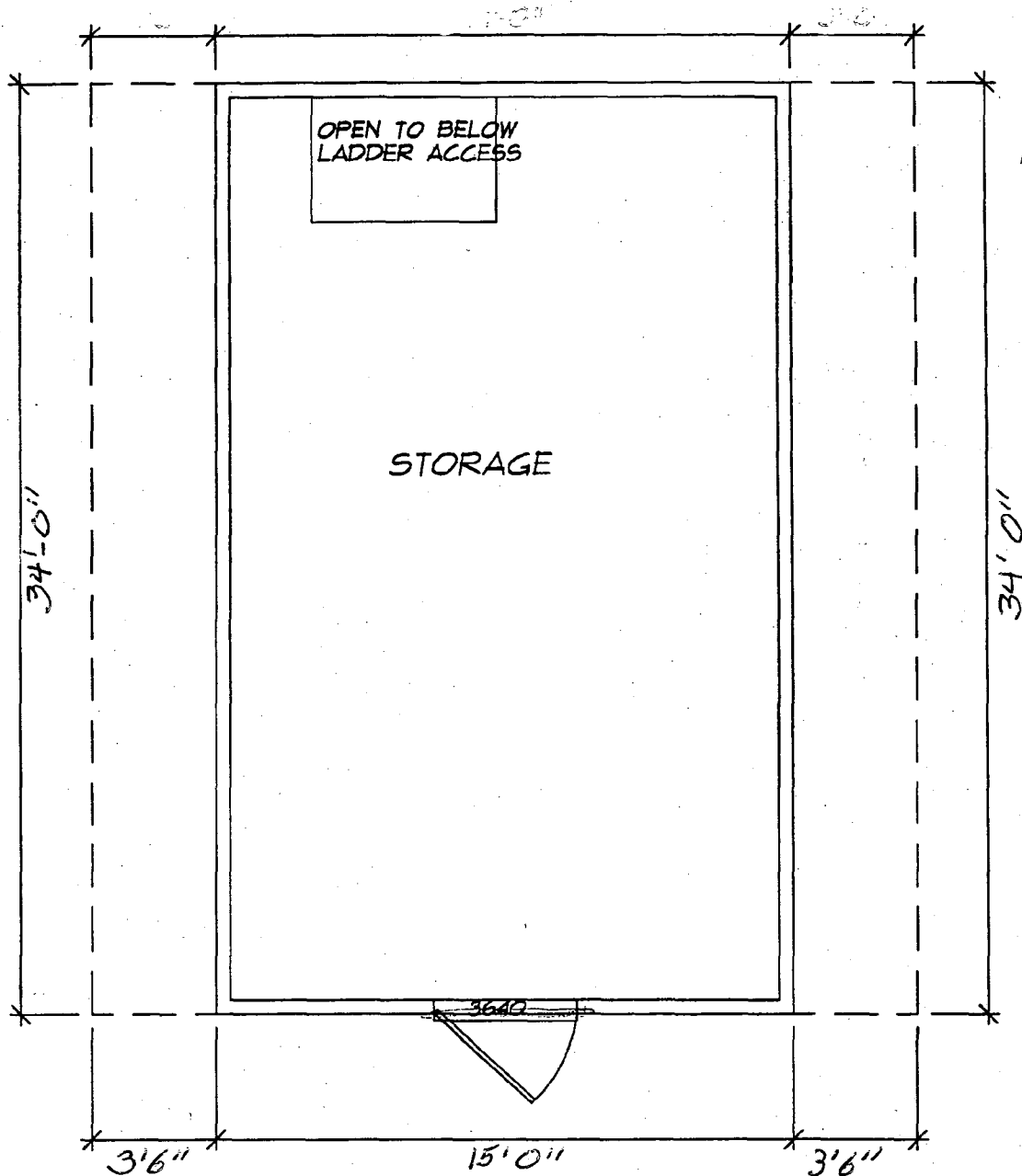
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FOUNDATION PLAN



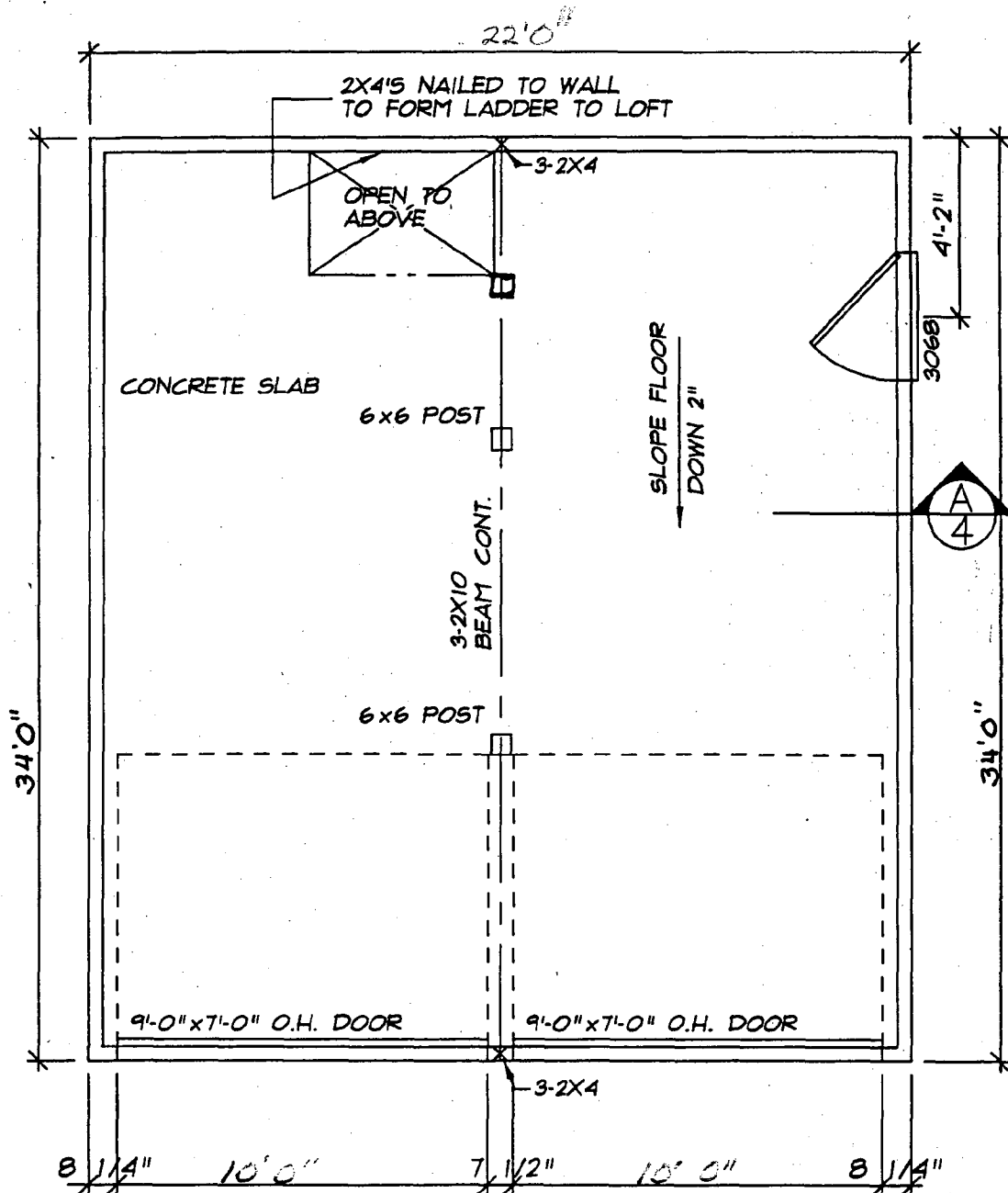
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DATE JUNE 28, 1996	SHEET 1 OF 14
REVISIONS <i>length NTS</i>	



LOFT PLAN



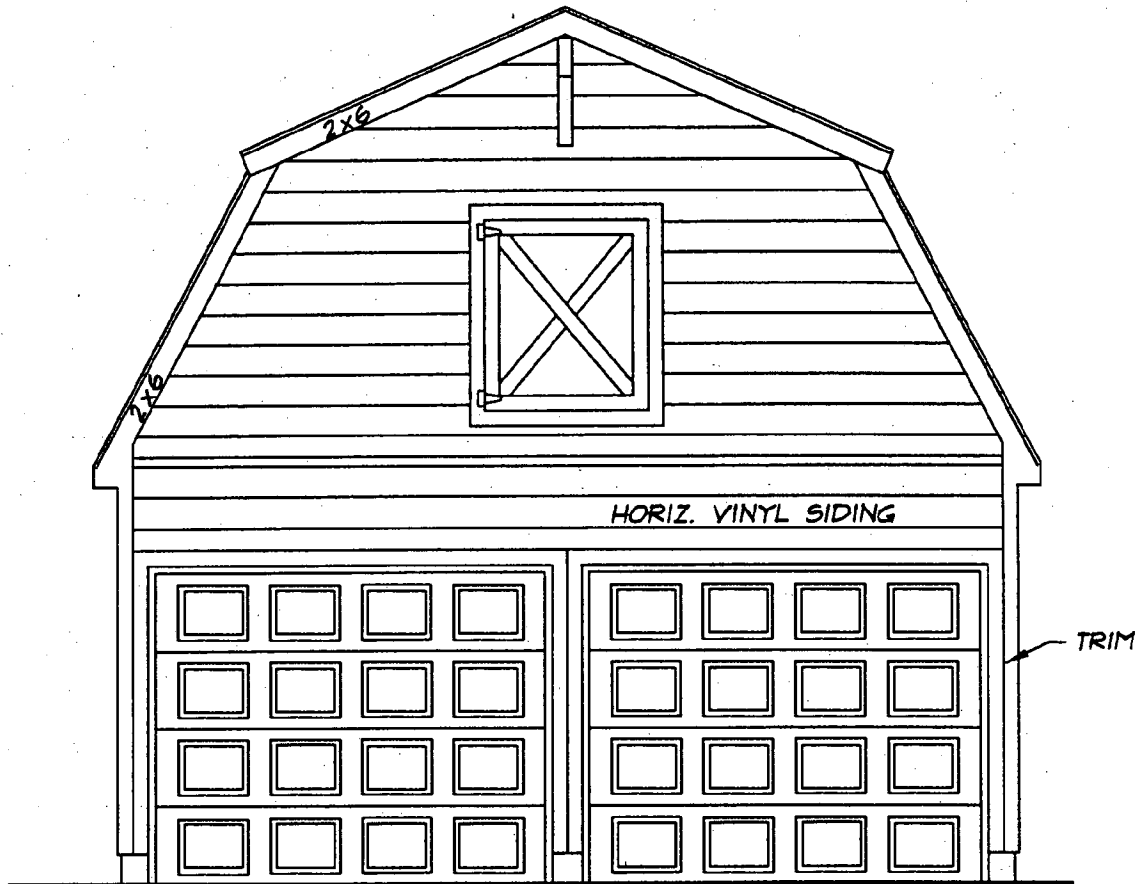
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DATE JUNE 28, 1996	SHEET 3 OF 14
REVISIONS	



MAIN FLOOR PLAN



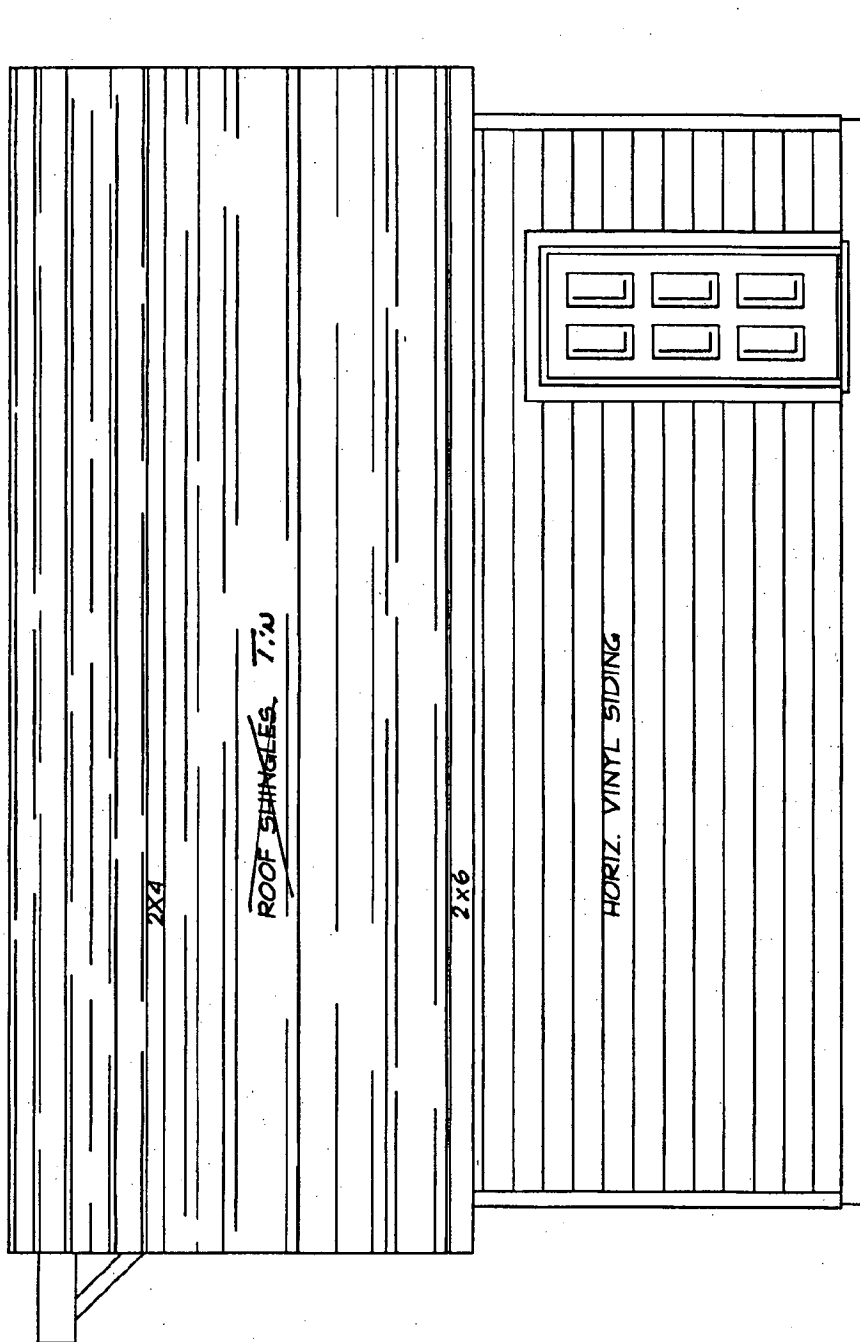
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DATE JUNE 28, 1996	SHEET 2 OF 14
REVISIONS	



FRONT ELEVATION



DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	SHEET 11 OF 14
REVISIONS	

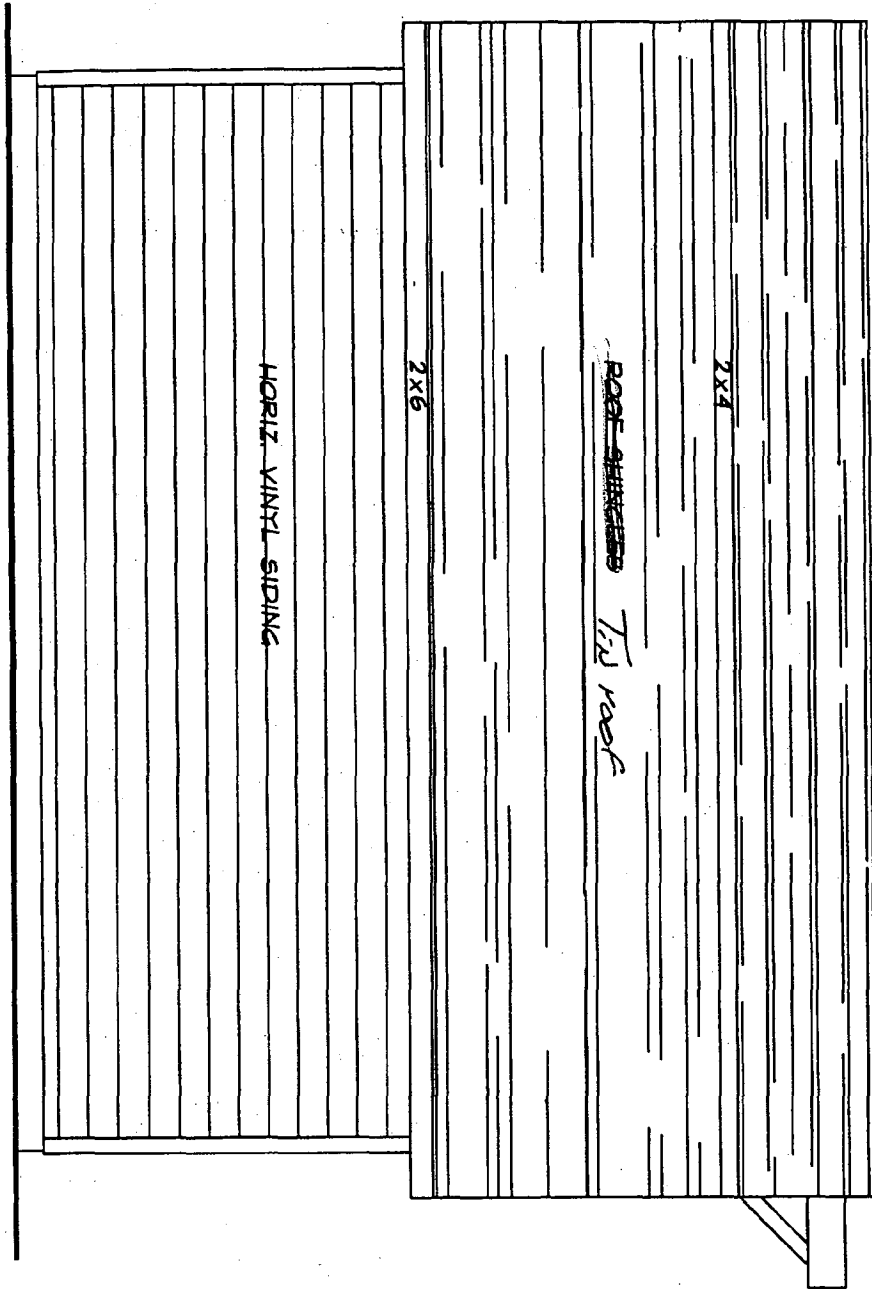


RIGHT ELEVATION



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DATE JUNE 28, 1996	SHEET 12 OF 14
REVISIONS	

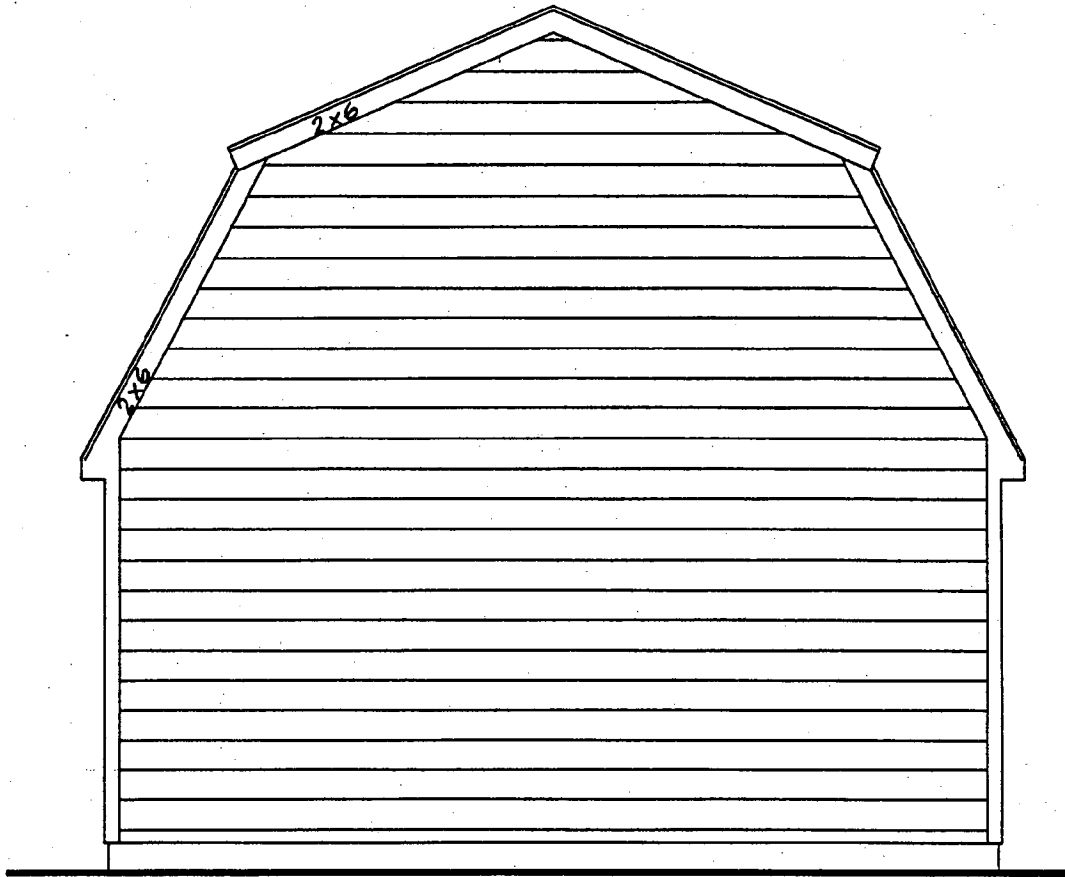
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LEFT ELEVATION



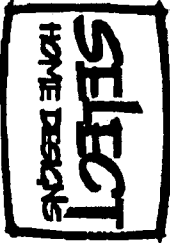
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DATE JUNE 28, 1996	GARAGE 20' x 22'
REVISIONS	SHEET 14 OF 14



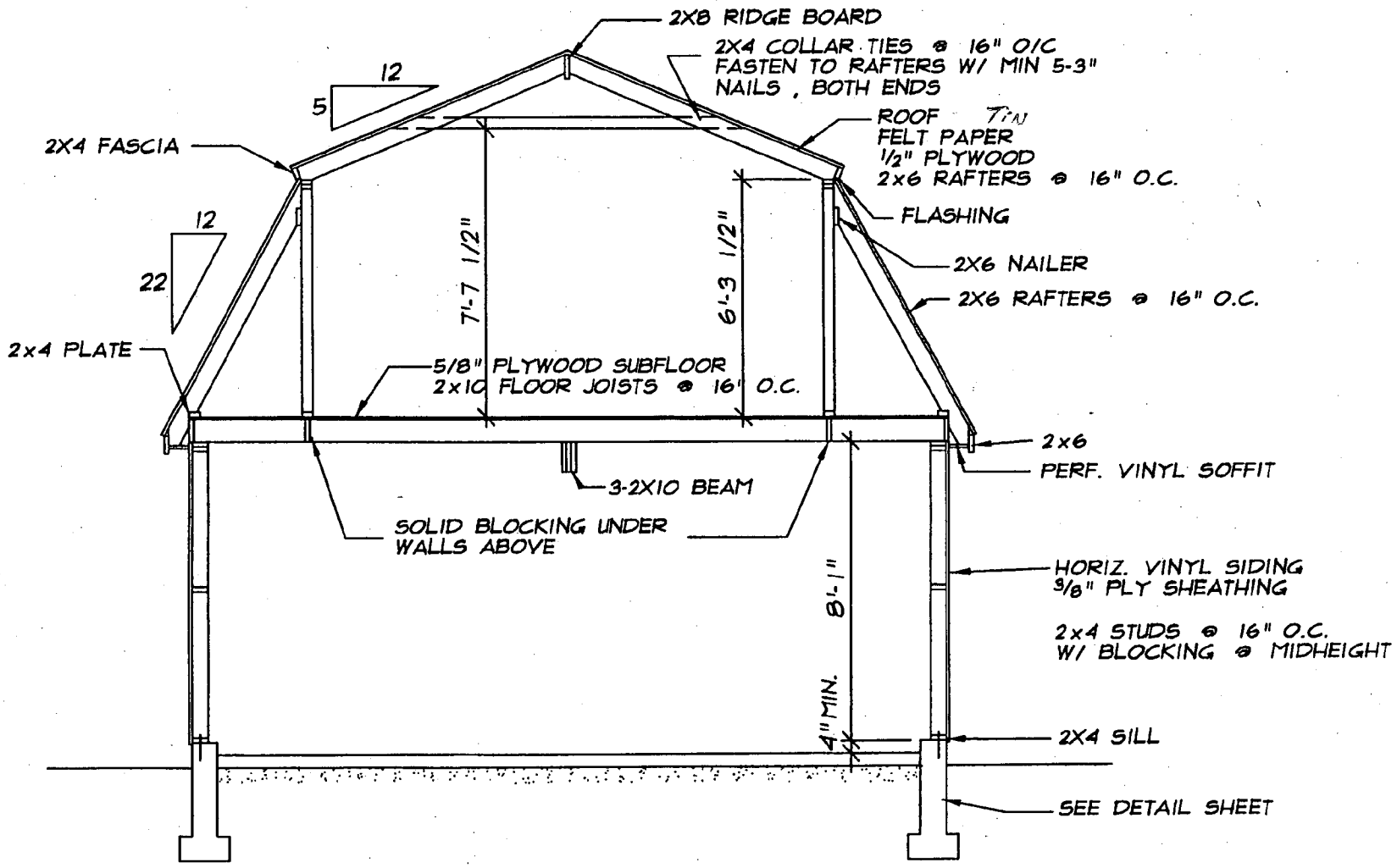
REAR ELEVATION



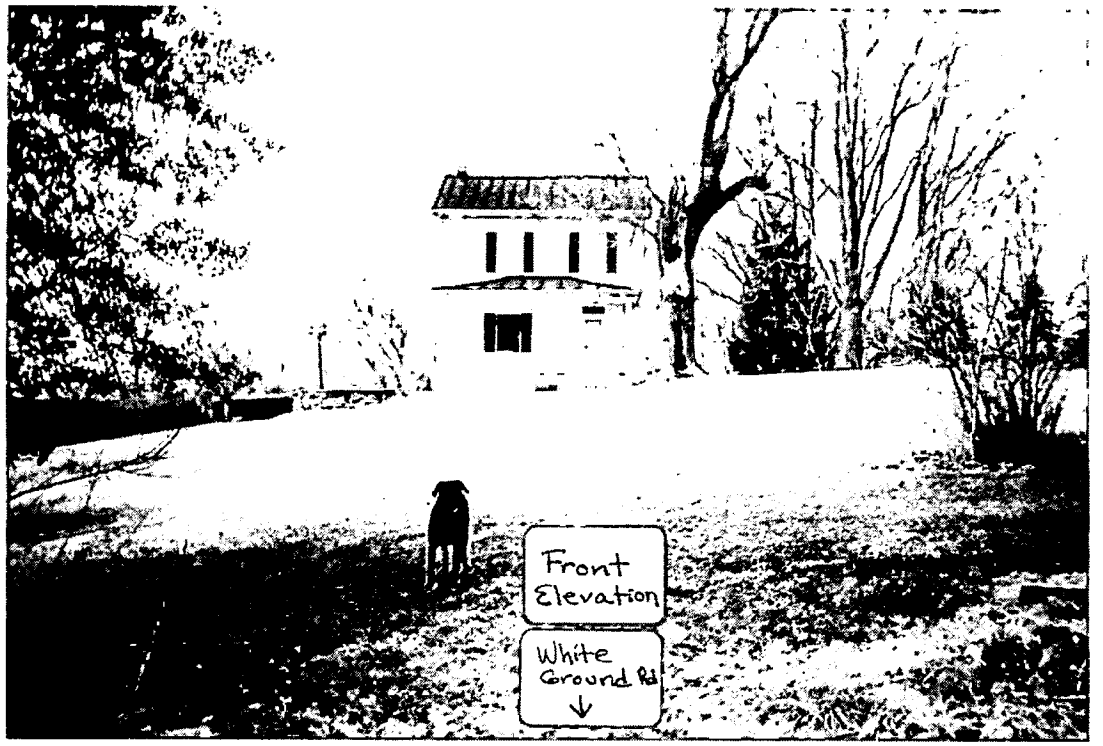
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DATE JUNE 28, 1996	
REVISIONS	SHEET 13 OF 14



REVISIONS	DATE	SCALE	DRAWN	PLAN #
	JUNE 28, 1996	1/4" = 1'-0"	SAS	804
				GARAGE 20'x22'
				SHEET 4 OF 14



SECTION A









Rear
Elevation



North
Elevation

Right
Side







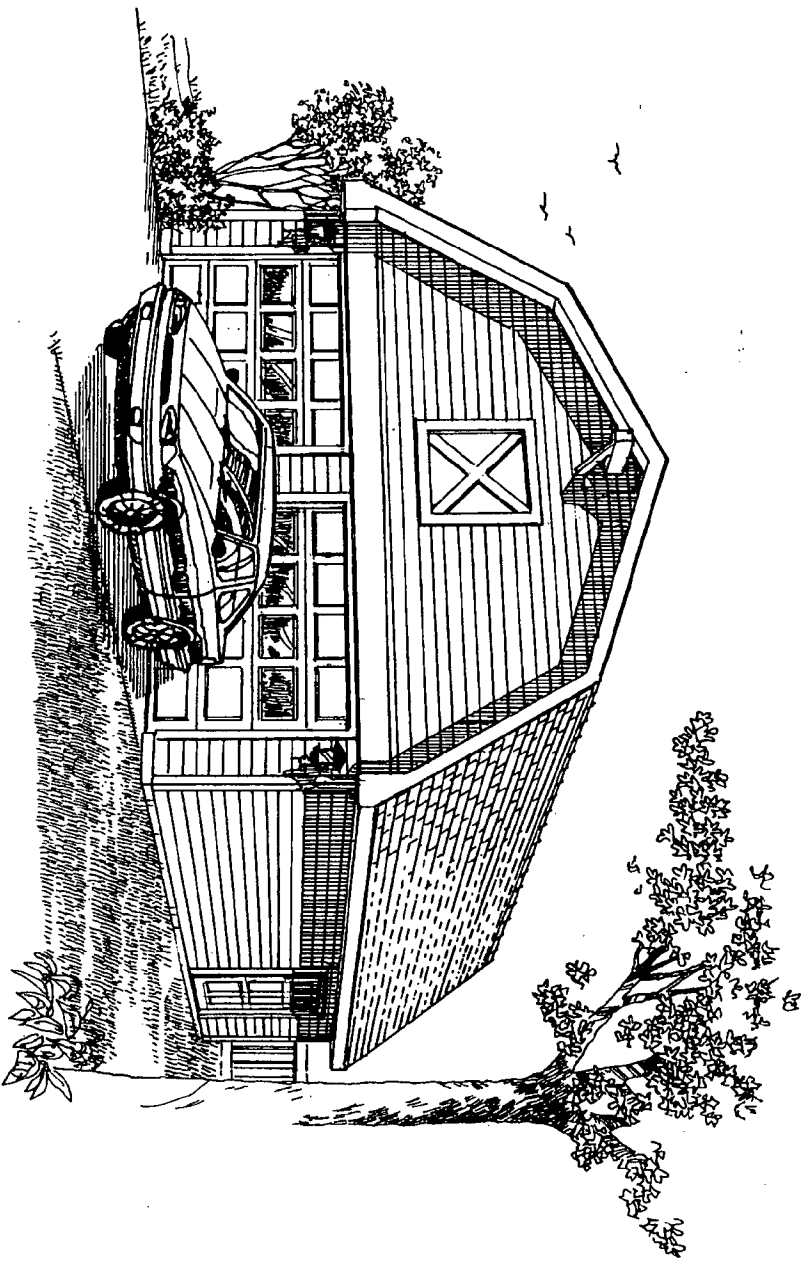
White
Ground
Rd.

MATERIALS LIST

Garage

34' X 22'

Plan No. 804-14



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SELECT HOME DESIGNS

MATERIALS LIST

20' X 22' GARAGE PLAN NO. 804-14

	Unit	Order
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Volume of concrete	cuyd	12
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sub total

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Roofing felt (500 sq. ft.)	roll	2
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Latch for loft door (c/w screws)	ea	1

sub total

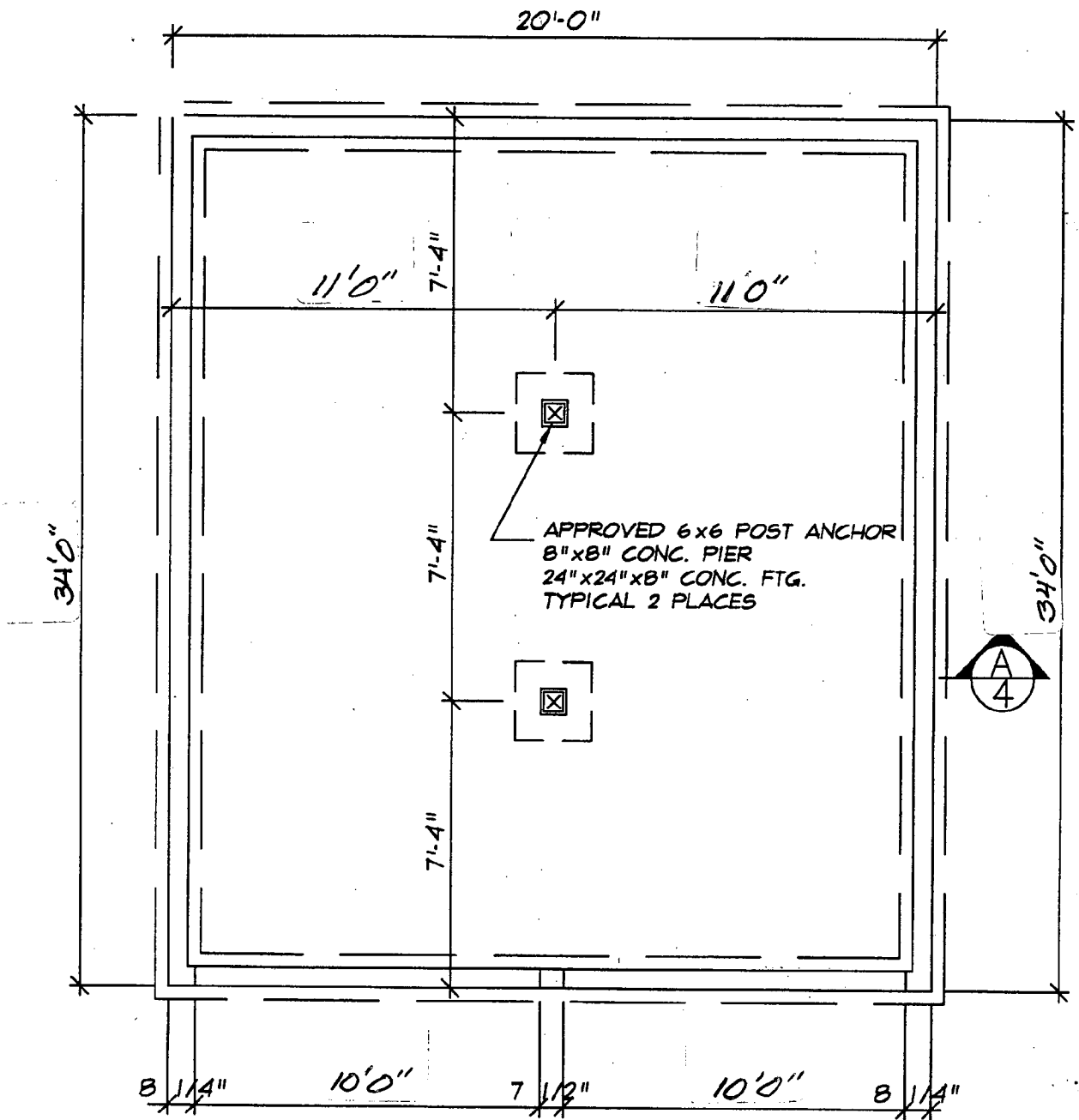


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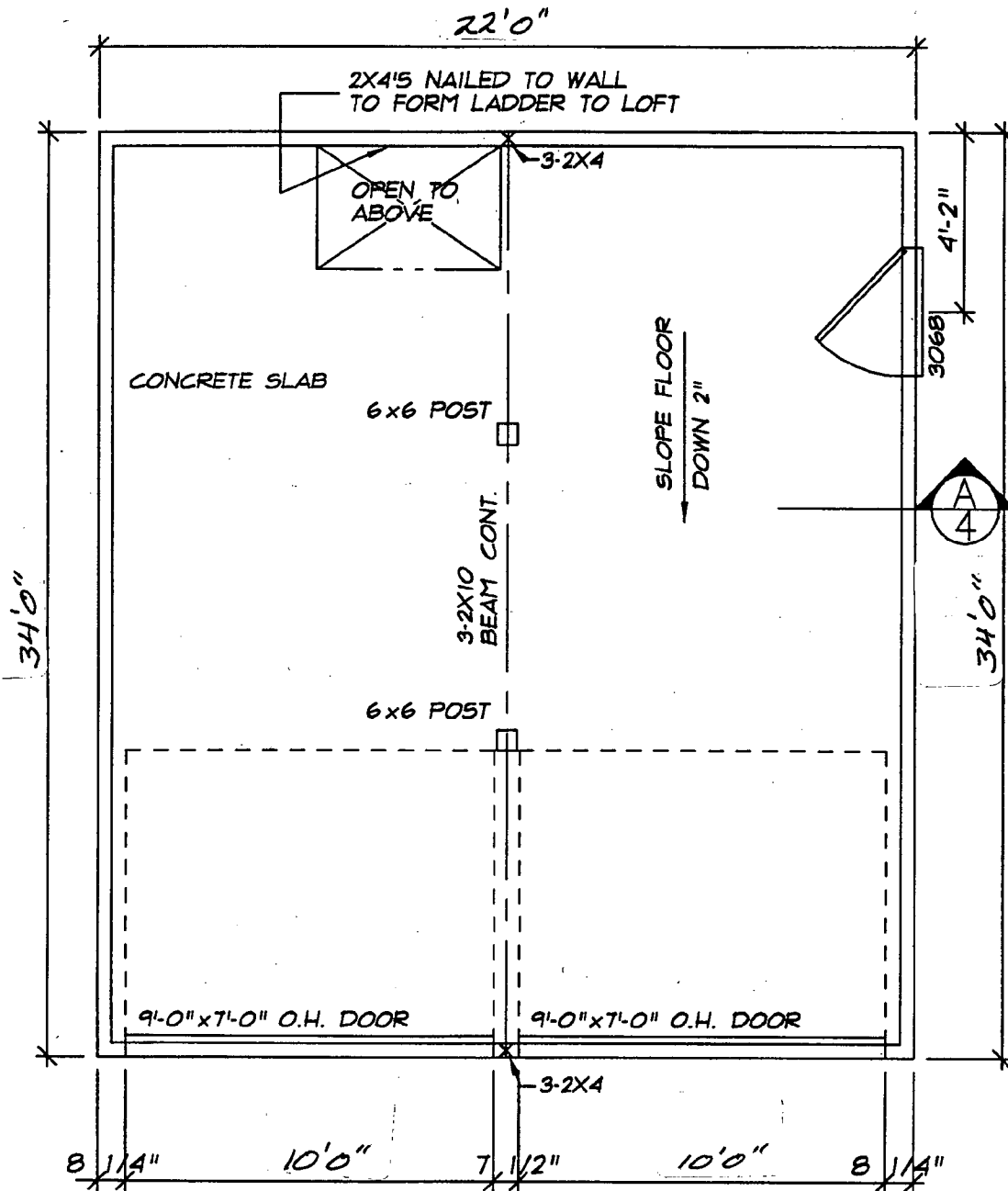
TOTAL PACKAGE



FOUNDATION PLAN



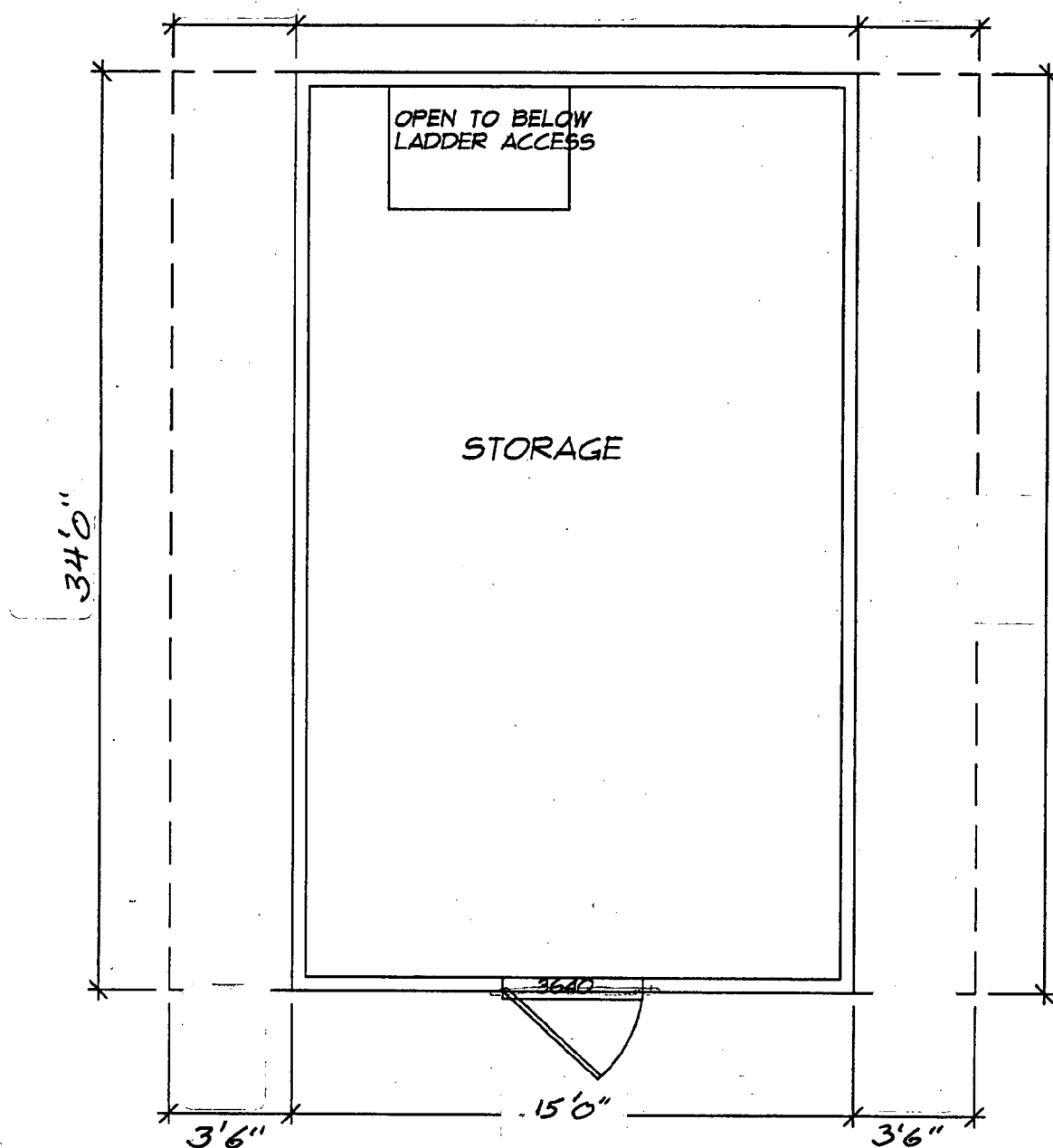
DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	
REVISIONS	SHEET 1 OF 14



MAIN FLOOR PLAN



DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	
DATE JUNE 28, 1996	GARAGE 20' x 22'
REVISIONS	SHEET 2 OF 14



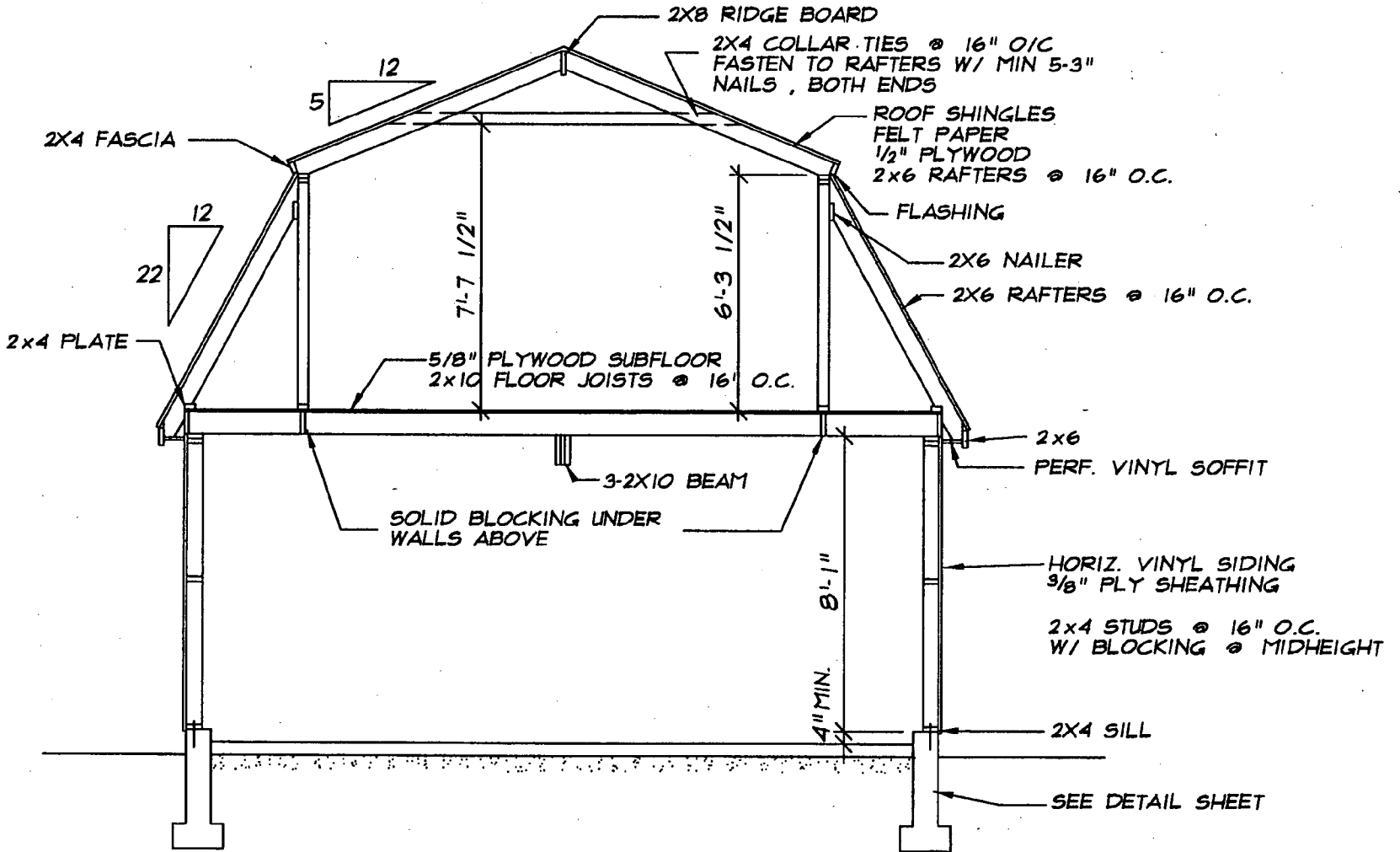
LOFT PLAN



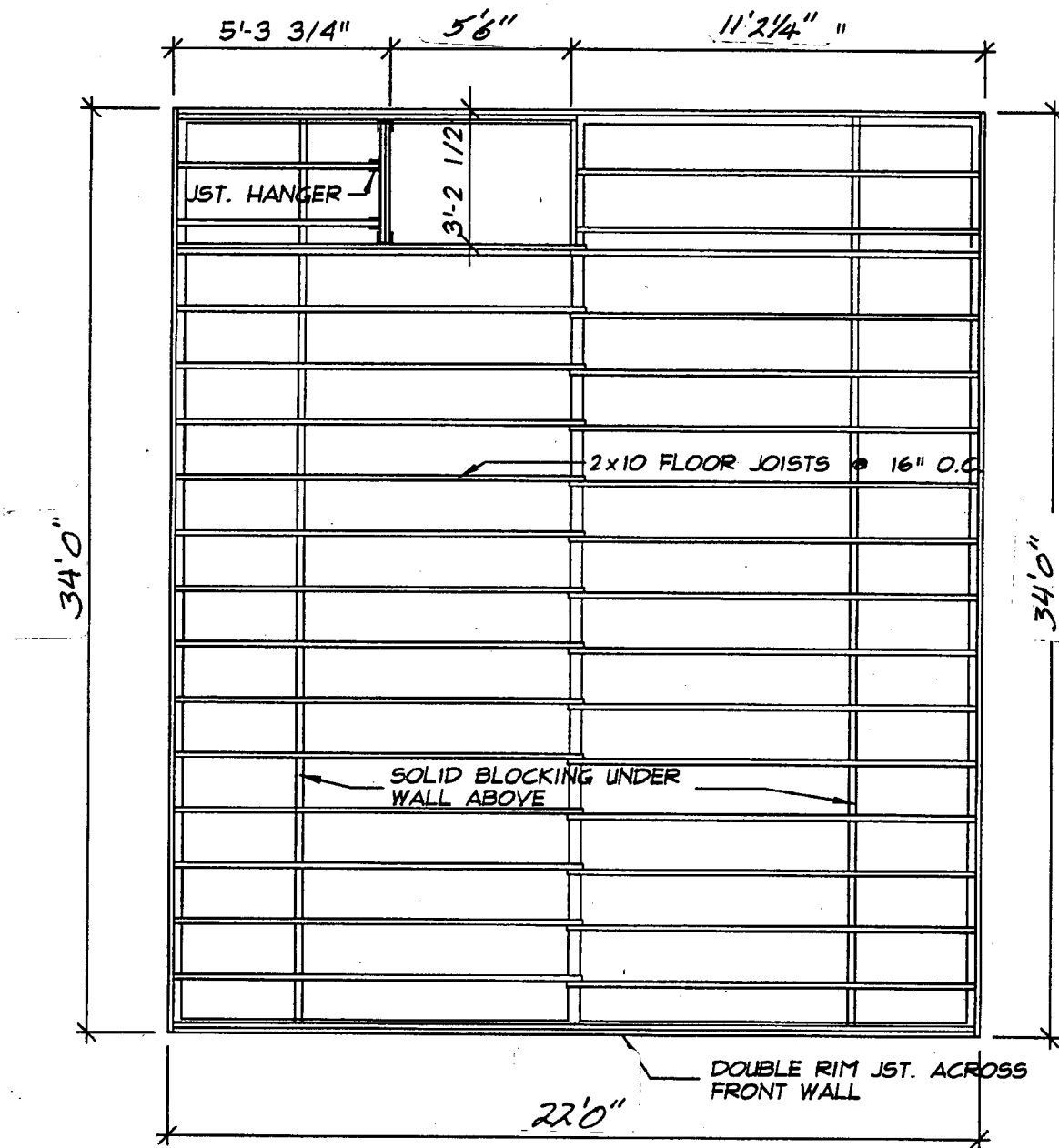
DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	SHEET 3 OF 14
REVISIONS	



DRAWN SAS	SCALE 1/4" = 1'-0"	PLAN # 804
REVISIONS		SHEET 4 OF 14



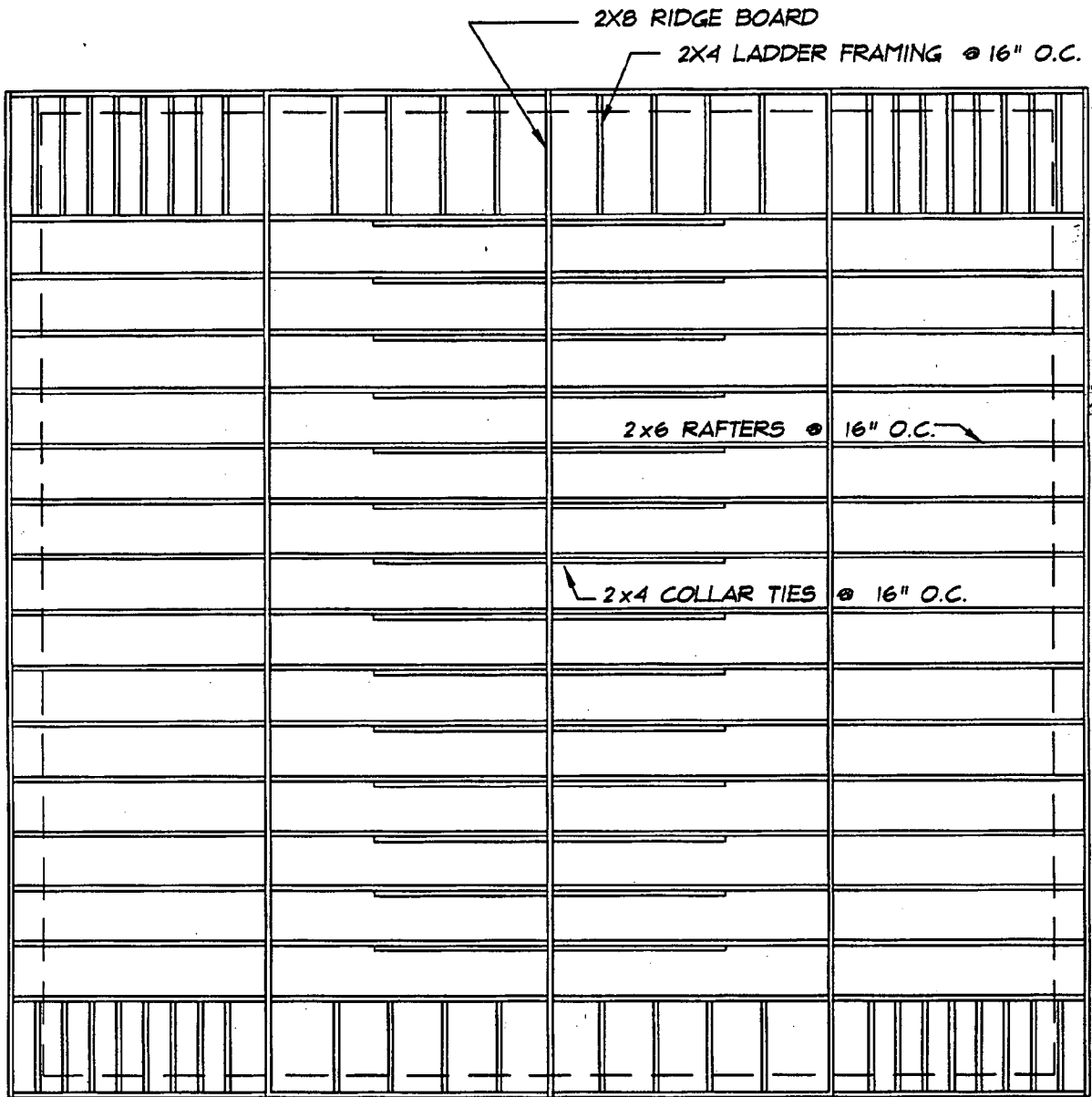
SECTION A



LOFT FLOOR FRAMING



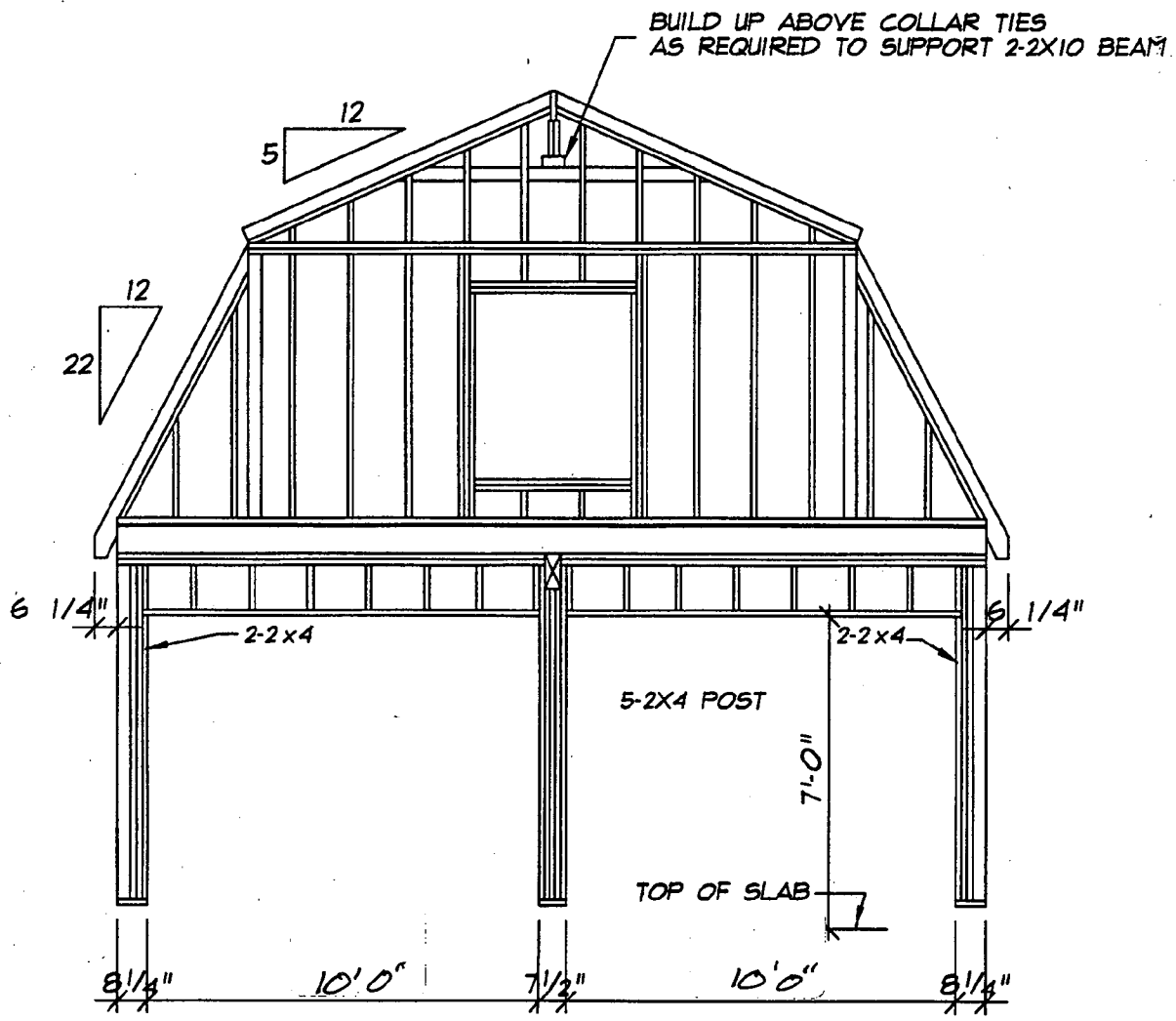
DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	
DATE JUNE 28, 1996	GARAGE 20' X 22'
REVISIONS	SHEET 5 OF 14



ROOF FRAMING PLAN



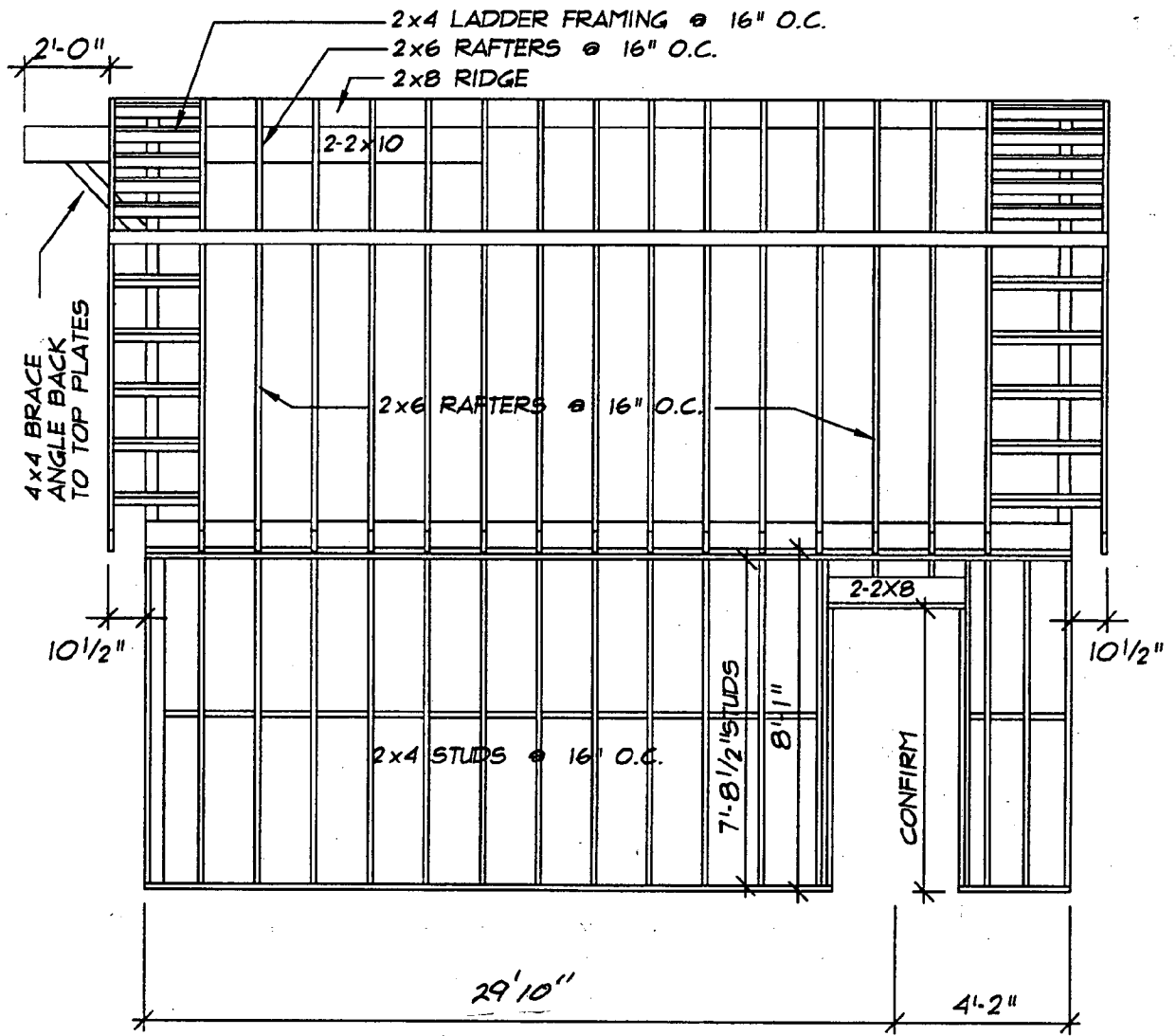
DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	SHEET 6 OF 14
REVISIONS	



FRONT FRAMING



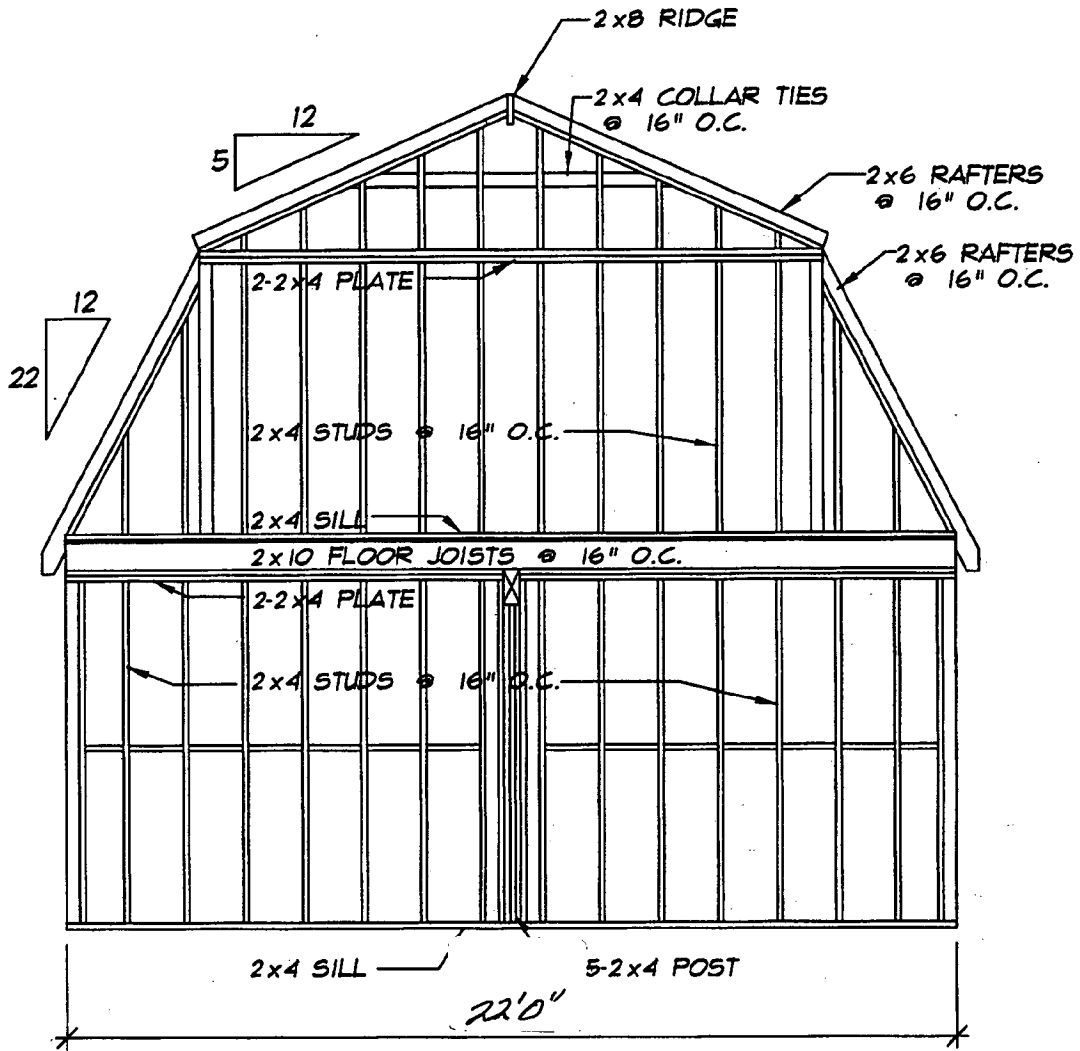
DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	SHEET 7 OF 14
REVISIONS	



RIGHT FRAMING



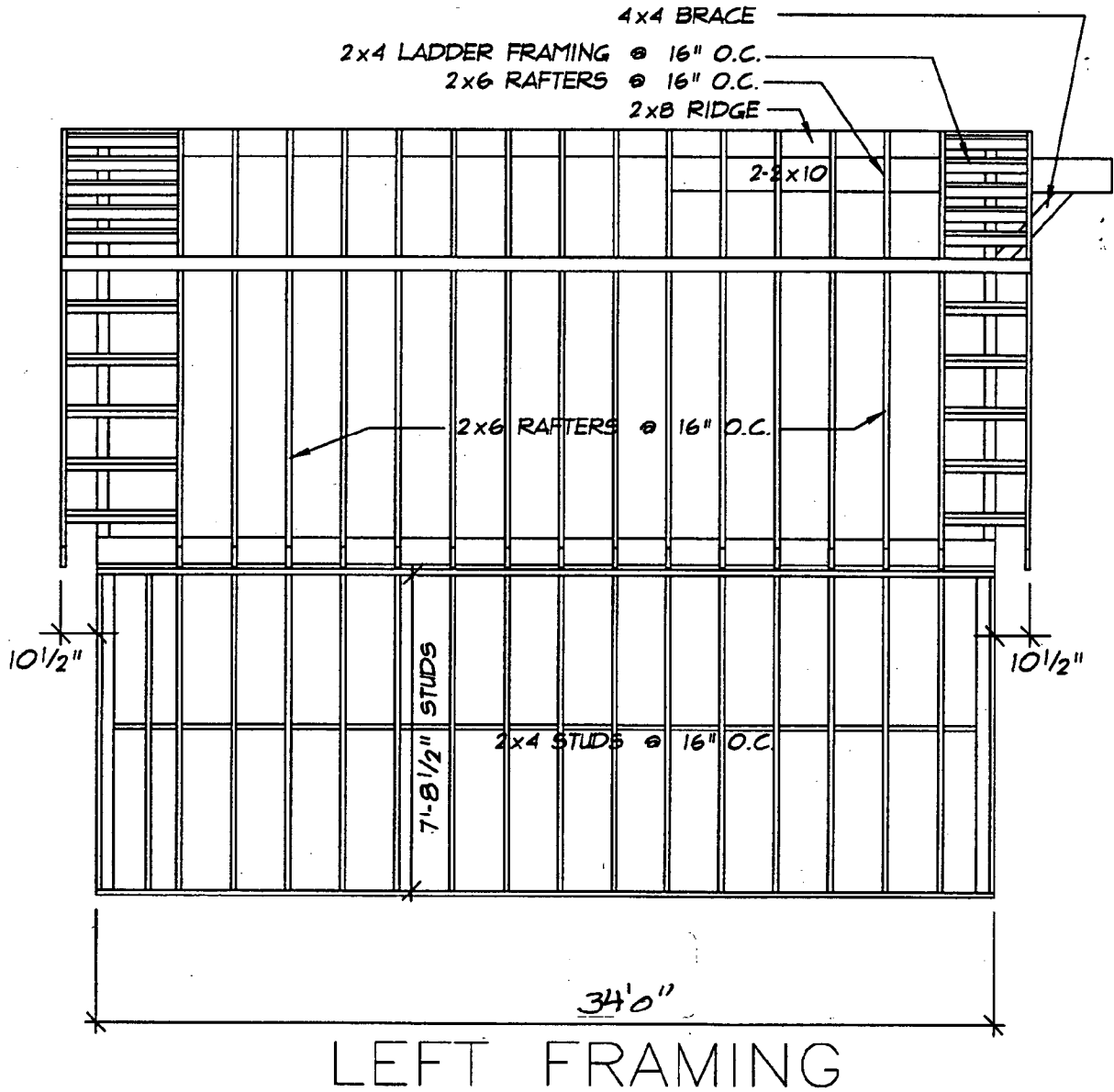
DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' X 22'
DATE JUNE 28, 1996	SHEET 8 OF 14
REVISIONS	



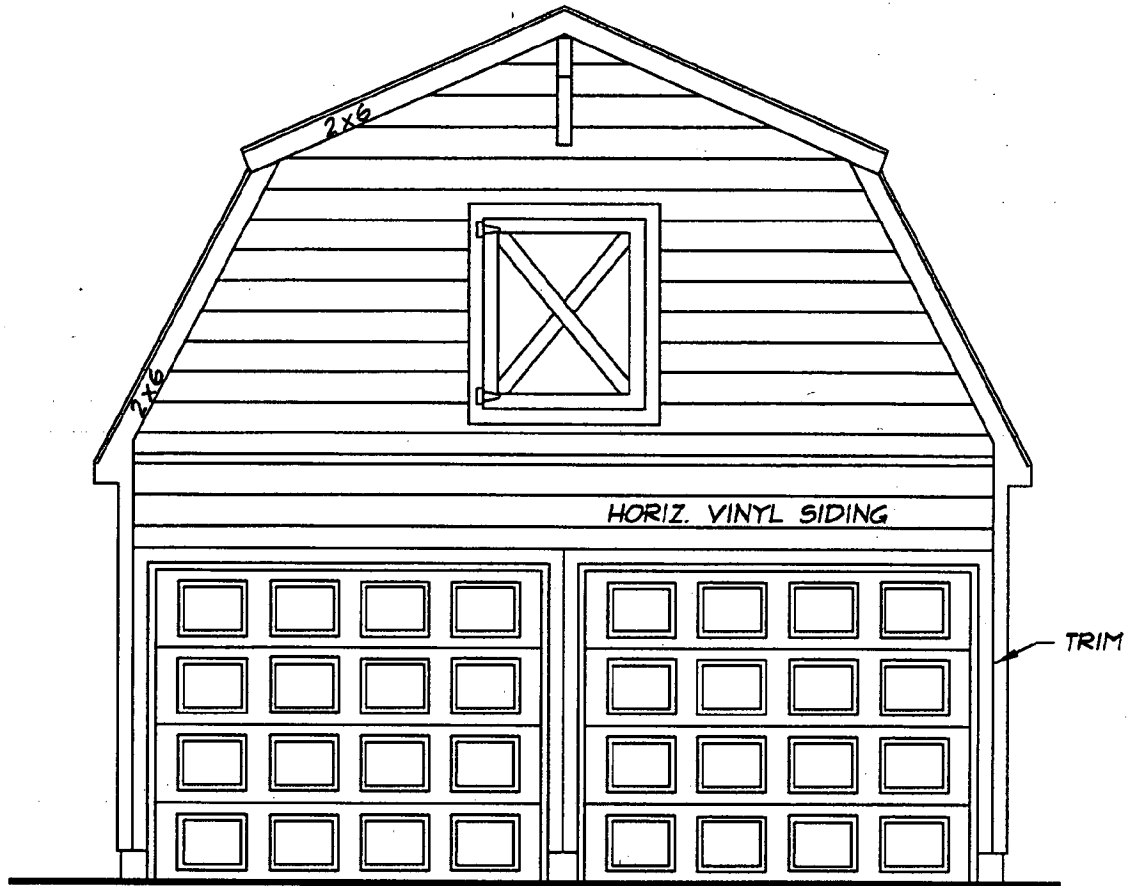
REAR FRAMING



DRAWN SAS	PLAN # B04
SCALE 1/4" = 1'-0"	
DATE JUNE 28, 1996	GARAGE 20' X 22'
REVISIONS	SHEET 9 OF 14



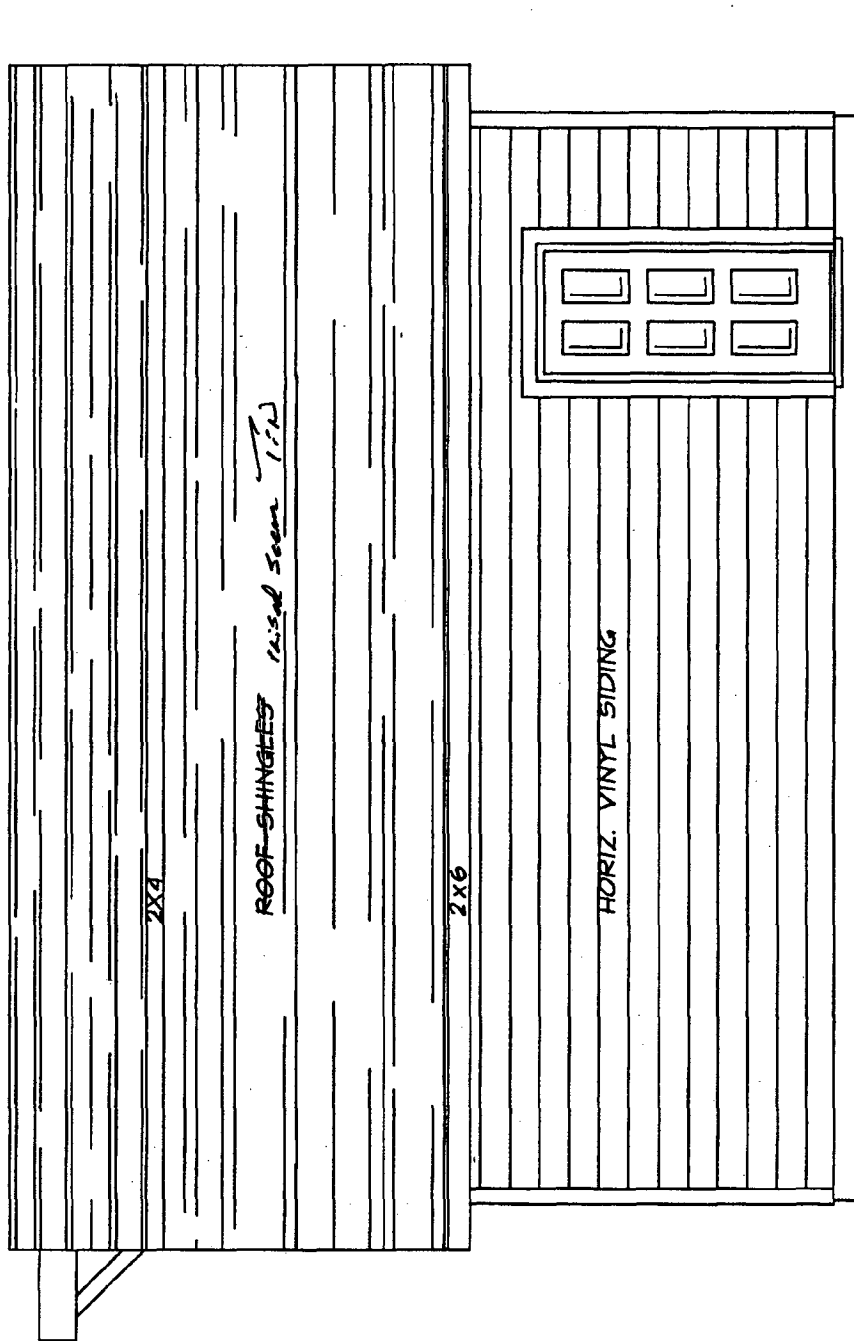
DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	
DATE JUNE 28, 1996	GARAGE 20' X 22'
REVISIONS	SHEET 10 OF 14



FRONT ELEVATION



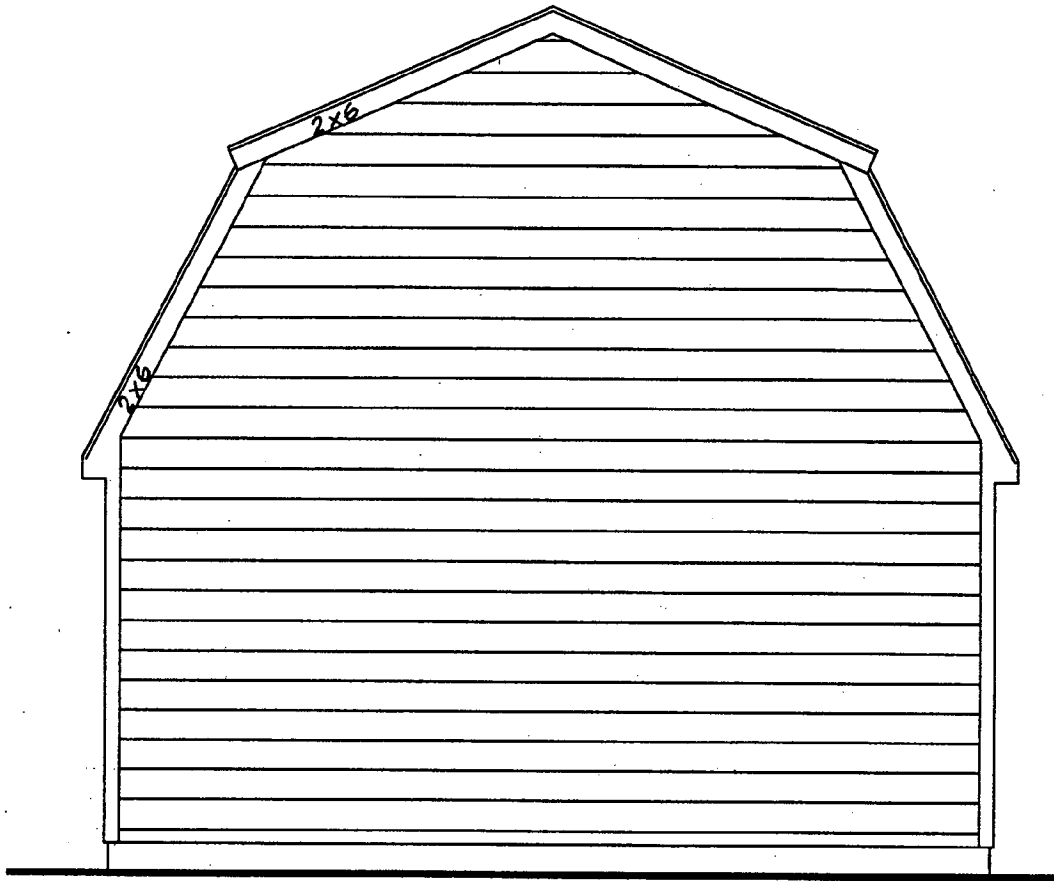
DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	SHEET 11 OF 14
REVISIONS	



RIGHT ELEVATION



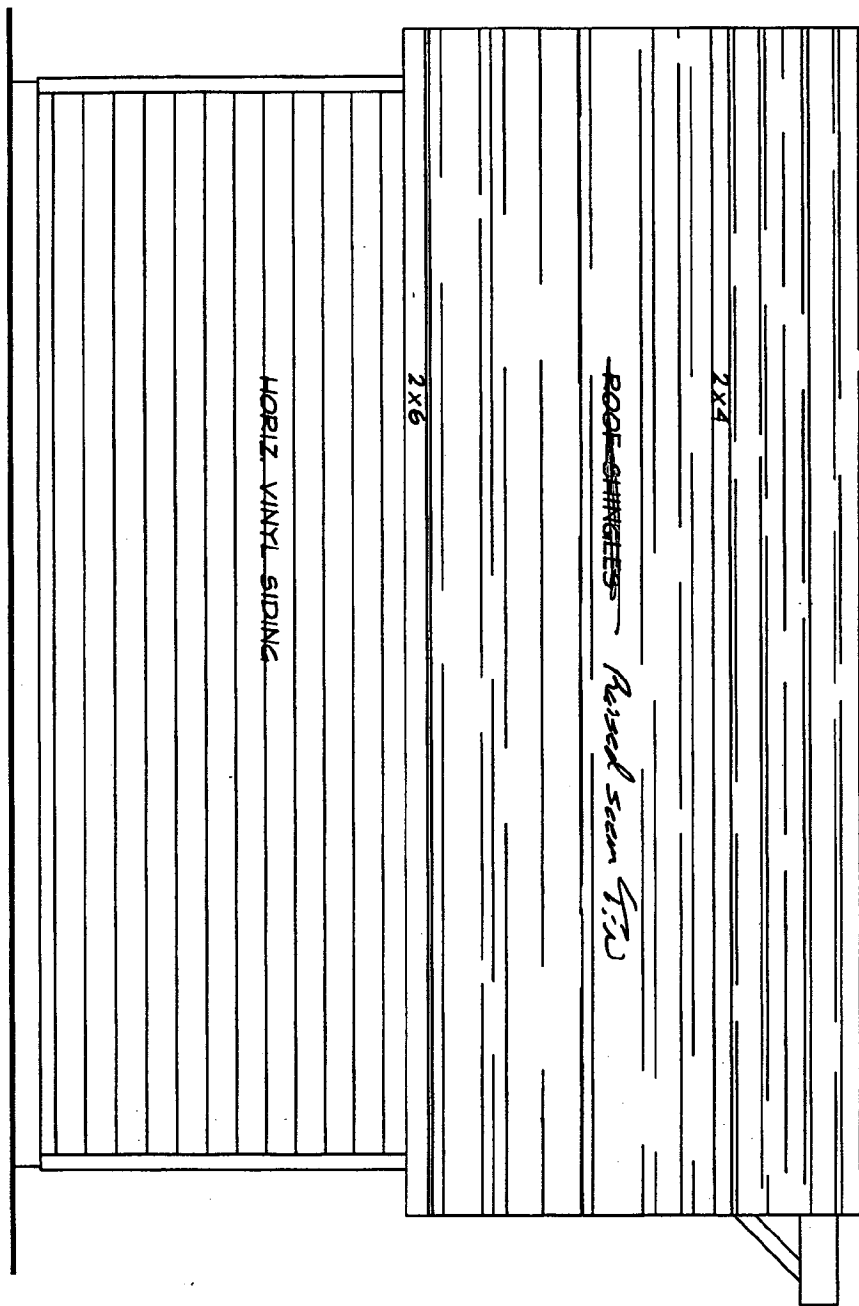
DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	
DATE JUNE 28, 1996	GARAGE 20' X 22'
REVISIONS	SHEET 12 OF 14



REAR ELEVATION



DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	SHEET 13 OF 14
REVISIONS	



LEFT ELEVATION



DRAWN SAS	PLAN # 804
SCALE 1/4" = 1'-0"	GARAGE 20' x 22'
DATE JUNE 28, 1996	
REVISIONS	SHEET 14 OF 14

GENERAL NOTES:

THE OWNER AND/OR BUILDER SHALL ENSURE THAT CONSTRUCTION COMPLIES WITH ALL NATIONAL, PROVINCIAL, STATE AND LOCAL STATUTES, ORDINANCES AND REGULATIONS.

PRIOR TO PROCEEDING WITH CONSTRUCTION, THE BUILDER MUST VERIFY ALL INFORMATION, DIMENSIONS AND SPECIFICATIONS OF THIS PLAN. WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED MEASUREMENTS.

ALL DIMENSIONS ARE FROM THE OUTSIDE FACE OF FRAMING AND CONCRETE FOUNDATIONS.

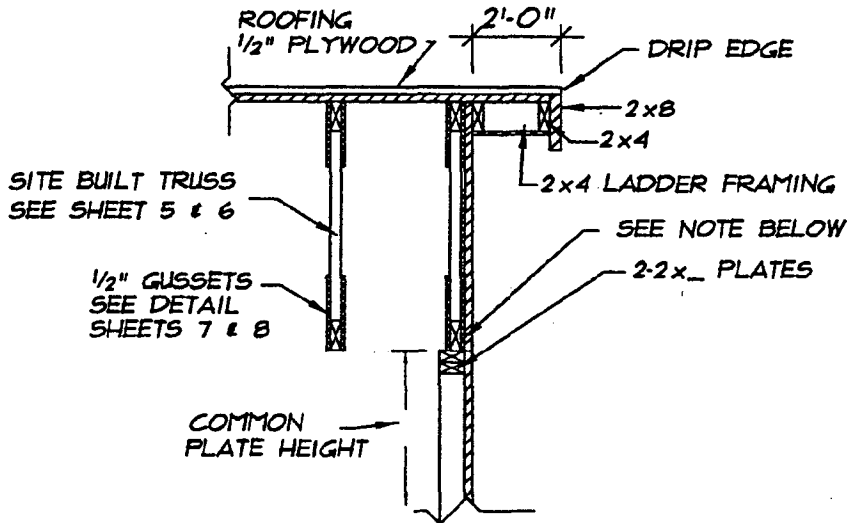
OWNER AND/OR BUILDER TO CONFIRM ALL REQUIREMENTS WITH RESPECT TO; HEATING, PLUMBING, ELECTRICAL, INSULATION, PERIMETER DRAINAGE, ROOF DRAINAGE, STORM DRAINAGE CONNECTION/ROCK DRAINAGE PITS AND SITING WITH THE APPROPRIATE AUTHORITY HAVING JURISDICTION PRIOR TO THE START OF CONSTRUCTION. WINDOW AND DOOR SIZES INDICATED ON THESE DRAWINGS ARE NOMINAL SIZES. ROUGH OPENINGS VARY BETWEEN MANUFACTURER'S. OWNER AND/OR BUILDER TO CONFIRM ALL ROUGH OPENINGS WITH SUPPLIER PRIOR TO THE START OF CONSTRUCTION AND TO ADJUST DIMENSIONS AND OR FRAMING DETAILS ACCORDINGLY.

CONCRETE FOOTINGS MUST BE PLACED ON UNDISTURBED OR COMPACTED SOIL TO AN ELEVATION BELOW FROST PENETRATION. FOOTINGS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR A SOIL BEARING CAPACITY OF 1560 P.S.F.

FLOOR DESIGN LOAD FOR THIS PLAN IS BASED ON A 40 P.S.F. LIVE LOAD AND A 15 P.S.F. DEAD LOAD FOR A TOTAL DESIGN LOAD OF 55 P.S.F.

ROOF DESIGN LOAD FOR THIS PLAN IS BASED ON A COMPOSITE LIVE LOAD OF 32 P.S.F. AND A 10 P.S.F. DEAD LOAD FOR A TOTAL DESIGN LOAD OF 42 P.S.F.

IF A LESSER SOIL BEARING CAPACITY IS ENCOUNTERED, OR IF THE GROUND SNOW/RAIN LOADS FOR THE REGION IN WHICH THIS PLAN IS TO BE CONSTRUCTED ARE HIGHER THAN THOSE STATED ABOVE, IT IS THE RESPONSIBILITY OF THE OWNER/BUILDER TO HAVE THIS PLAN REVISED ACCORDINGLY.



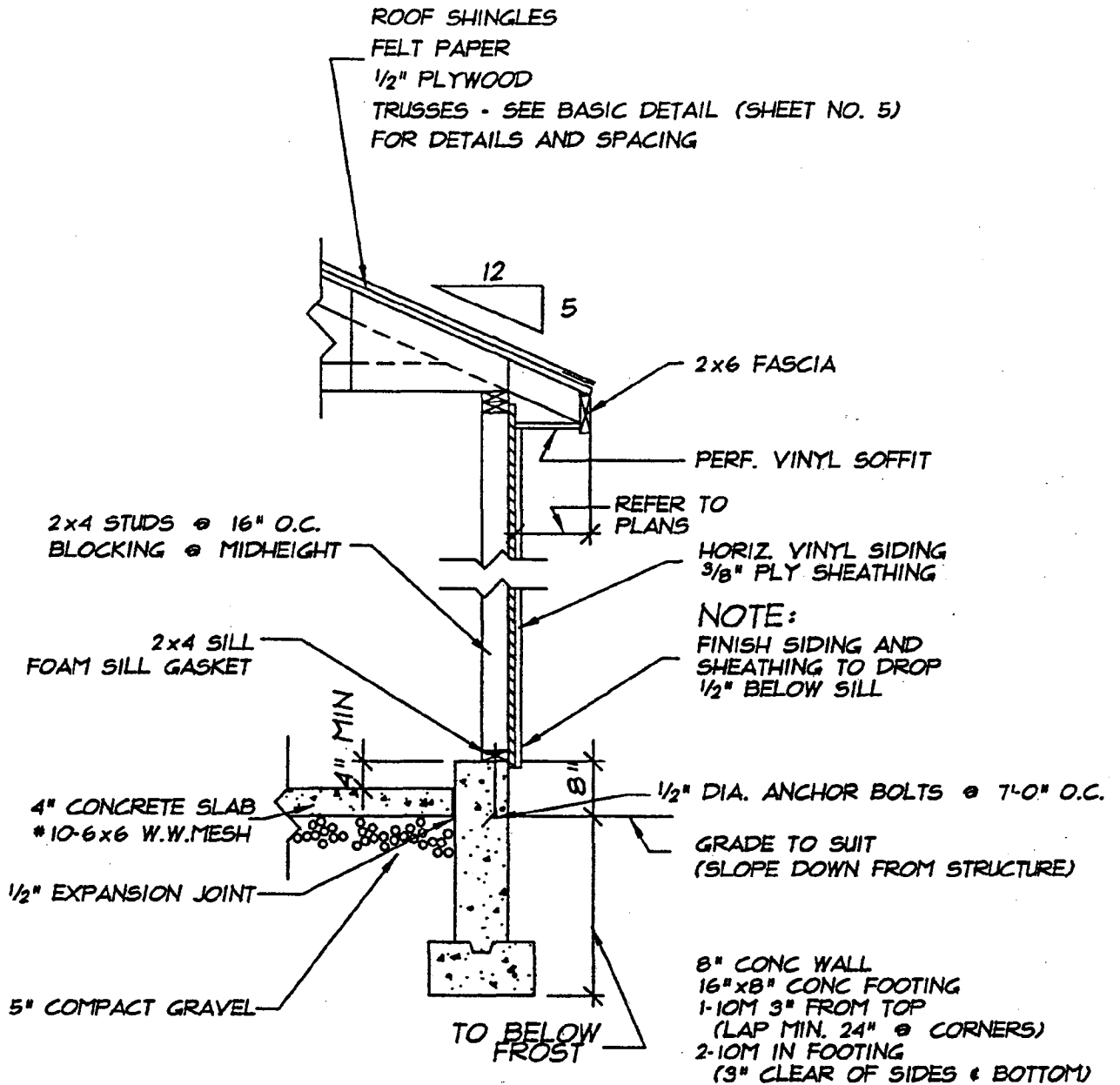
GABLE END

NOTE:

FOR EXTERIOR SIDE OF GABLE END TRUSSES SHIM BETWEEN GUSSET PLATES WITH 1/2" PLYWOOD. SET TRUSS BACK 1/2" FROM GABLE WALL SO GUSSET PLATES ARE FLUSH WITH STUD WALL.



DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 PITCH
REVISIONS SEPT. 24, 1996	SHEET 1 OF 3

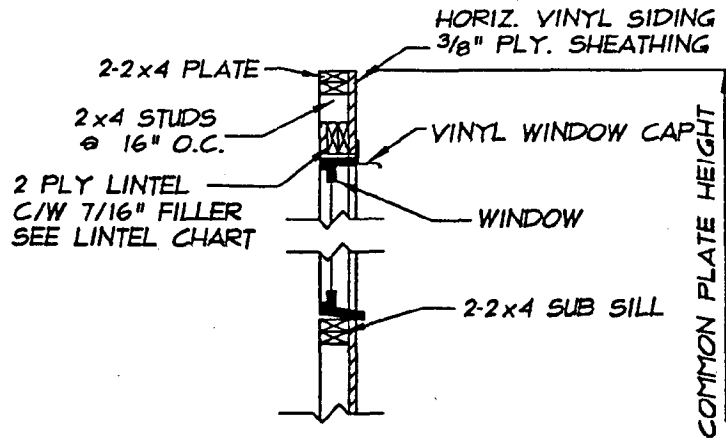


NOTE:
ALL CONCRETE PAD FOOTINGS
TO HAVE 3-15M EACH WAY
UNLESS NOTED OTHERWISE

TYPICAL WALL SECTION

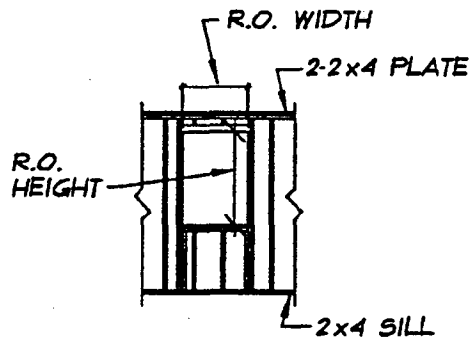


DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 PITCH
REVISIONS SEPT. 24, 1996	SHEET 2 OF 8



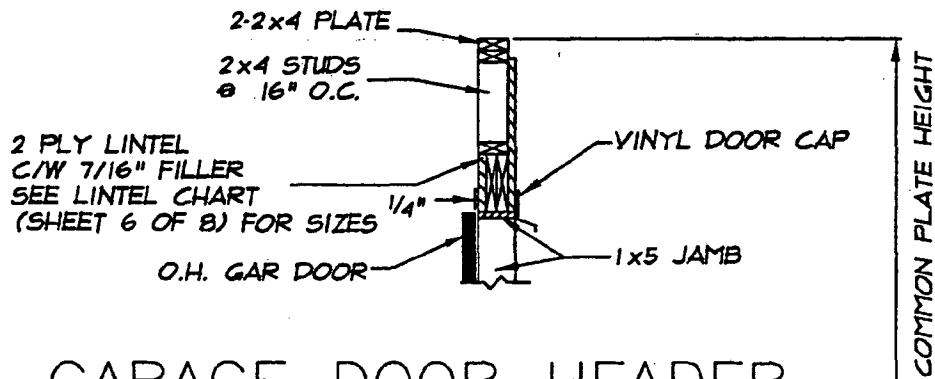
TYPICAL HEADER

FOR OPTIONAL DOOR OR WINDOW
SEE LINTEL CHART (SHEET 6 OF 8) FOR SIZES



TYPICAL WINDOW FRAMING

CONFIRM R.O. WITH WINDOW SELECTED



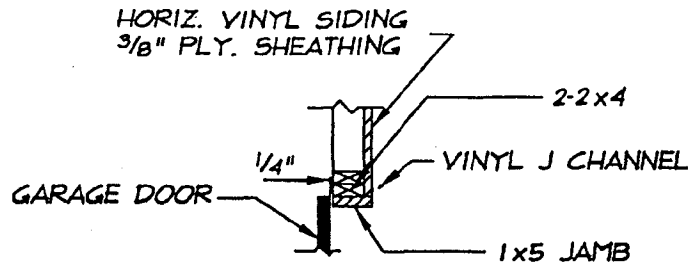
GARAGE DOOR HEADER

9' O.H. DOOR

ROOF LOAD WITH ATTIC ONLY

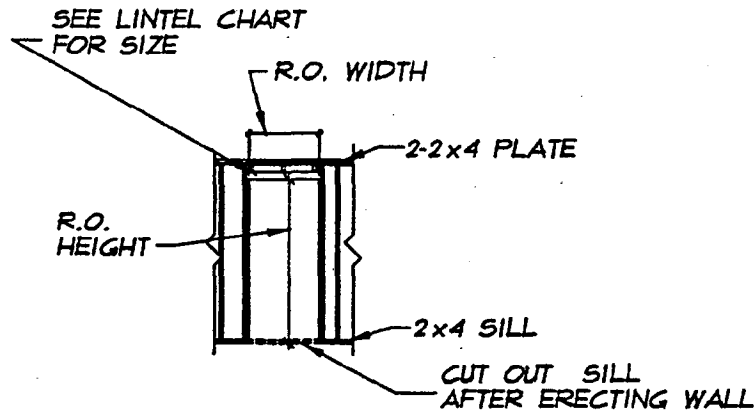


DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 PITCH
REVISIONS SEPT. 24, 1996	SHEET 3 OF 8



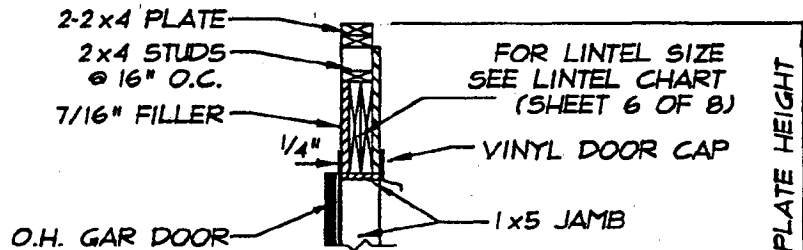
JAMB FOR 16' O.H. DOOR

PLAN VIEW - FOR ROOF LOAD WITH ATTIC ONLY



TYPICAL DOOR FRAMING

CONFIRM R.O. WITH DOOR SELECTED



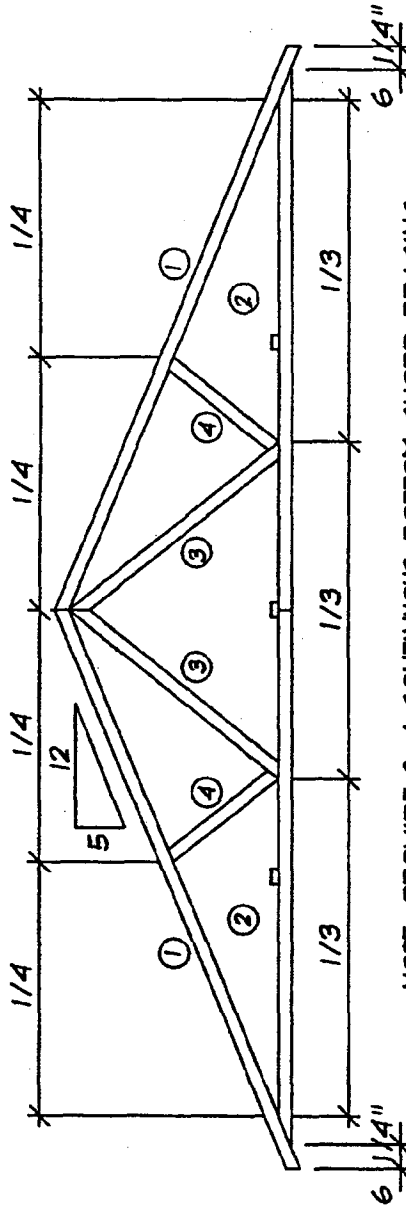
GARAGE DOOR HEADER

16' O.H. DOOR

ROOF LOAD WITH ATTIC ONLY



DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 PITCH
REVISIONS	SHEET 4 OF 8
SEPT. 24, 1996	



NOTE: PROVIDE 2x4 CONTINUOUS BOTTOM CHORD BRACING AT 6'-0" O.C. TYP. TO ALL TRUSS SPANS.

TRUSS SPAN	TRUSS SPACING	A	B	C	D	E	F	G
20'-0"	24" O/C	11'-4 3/4"	9'-4 3/16"	10'-0"	4'-4 11/16"	4'-11 7/8"	2'-4 1/8"	2'-5 15/16"
22'-0"	24" O/C	12'-5 3/4"	10'-4 3/16"	11'-0"	4'-11 1/8"	5'-6 1/4"	2'-7 5/16"	2'-9 1/8"
24'-0"	24" O/C	13'-6 3/4"	11'-4 3/16"	12'-0"	5'-5 1/2"	6'-0 11/16"	2'-10 9/16"	3'-0 5/16"
28'-0"	16" O/C	15'-8 3/4"	13'-4 3/16"	14'-0"	6'-6 5/16"	7'-1 1/2"	3'-4 15/16"	3'-6 3/4"

SITE BUILT ROOF GABLE TRUSS DESIGN 5: 12 PITCH



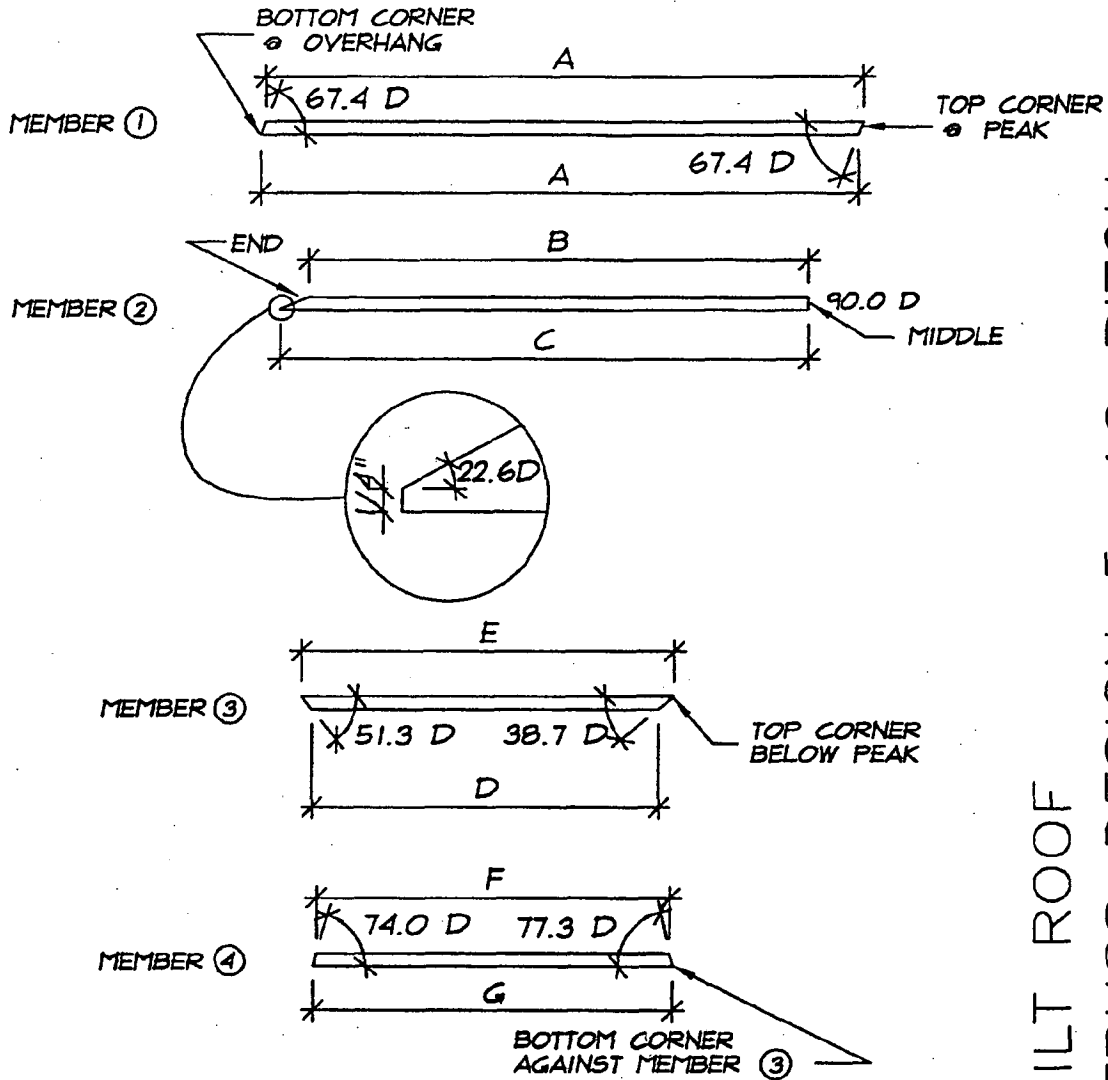
DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 PITCH
REVISIONS	SHEET 5 OF 8
SEPT. 24, 1996	

NOTE: ALL MEMBERS 2x4 NO.2 SPF

-CUTTING LIST APPLIES TO 5/12

PITCH TRUSSES ONLY

-REFER TO SHEET 7 OF 8 FOR GUSSET REQUIREMENTS



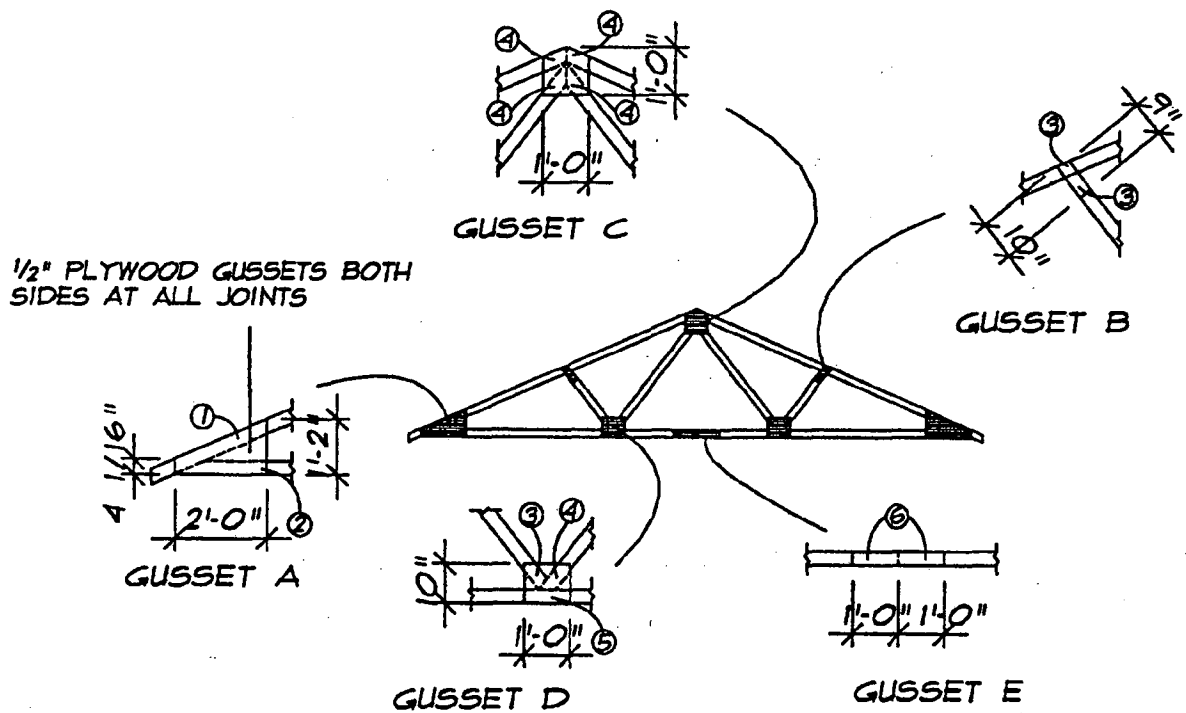
SITE BUILT ROOF
GABLE TRUSS DESIGN 5: 12 PITCH

LINTEL CHART		
-FOR 32' P.S.F. LIVE LOAD AND 10 P.S.F. DEAD LOAD.		
-MAXIMUM ROOF SPAN OF 24'-0".		
-ATTIC SPACE ONLY - NO LOFT OR STORAGE IN ATTIC FOR ALL GARAGE PACKAGES EXCEPT * 814-07.		
SPAN	CARRIES ROOF (+ 6" OVERHANG) (SIDE GABLE)	CARRIES GABLE (+ 12" OVERHANG) (FRONT GABLE)
3'-0"	2-2x6	2-2x4
9'-0"	2-2x12	2-2x8
16'-0"	3"x15" GLULAM @ 20F	2-2x12



DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 PITCH
REVISIONS SEPT. 24, 1996	SHEET 6 OF 8

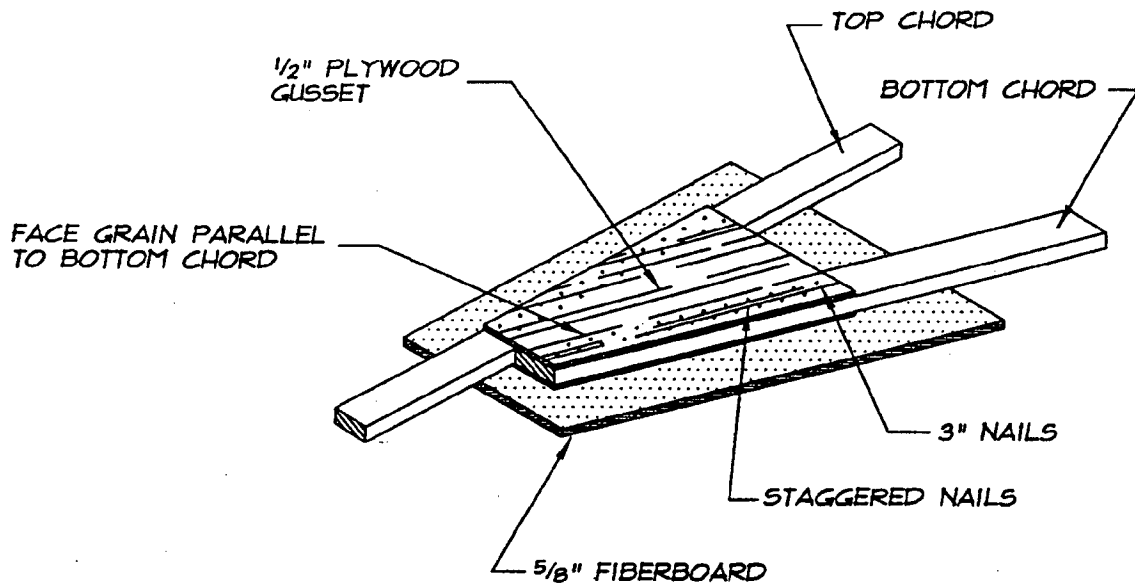
JOINT LOCATION	①	②	③	④	⑤	⑥
NUMBER OF NAILS @ JOINT LOCATION	13	12	4	6	8	10



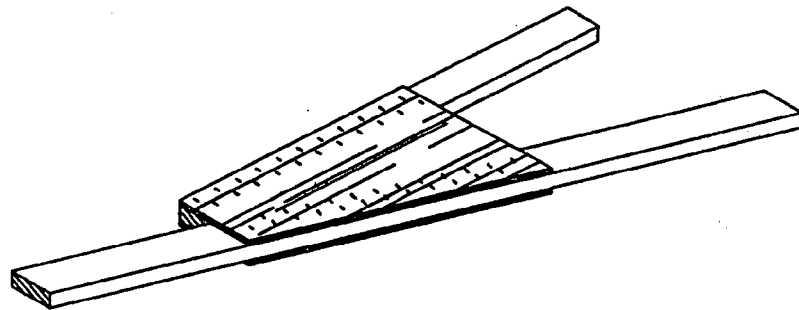
GUSSET DETAILING



DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 PITCH
REVISIONS	SHEET 7 OF 8
SEPT. 24, 1996	



1. REFER TO CHART FOR NAILING REQUIREMENTS
2. PLACE FIBERBOARD UNDER JOINT AND DRIVE ALL NAILS FROM ONE SIDE.



3. FLIP TRUSS. REMOVE FIBERBOARD PADS. BEND OVER PROJECTING TIPS OF NAIL AT RIGHT ANGLES TO PLYWOOD FACE GRAIN.

SITE BUILT ROOF TRUSS DESIGN 5: 12 PITCH



DRAWN SAS	PLAN NO.
SCALE NTS	GARAGE DETAIL
DATE APRIL, 1996	SHEET 5:12 PITCH
REVISIONS	SHEET B OF B
SEPT. 24, 1996	